

**COMMONWEALTH OF KENTUCKY**  
**BEFORE THE PUBLIC SERVICE COMMISSION**

**RECEIVED**

MAR 22 2010

**PUBLIC SERVICE  
COMMISSION**

**In the Matter of:**

**APPLICATION OF KENTUCKY RSA #4 CELLULAR  
GENERAL PARTNERSHIP FOR ISSUANCE OF A  
CERTIFICATE OF PUBLIC CONVENIENCE AND  
NECESSITY TO CONSTRUCT A CELL SITE  
(BRADFORDSVILLE) IN RURAL SERVICE AREA #4  
(MARION) OF THE COMMONWEALTH  
OF KENTUCKY**

**CASE NO. 2010-00047**

**APPLICATION FOR A CERTIFICATE  
OF PUBLIC CONVENIENCE AND NECESSITY (BRADFORDSVILLE)**

Kentucky RSA #4 Cellular General Partnership (“Kentucky RSA #4”), through counsel, pursuant to KRS 278.020 and 278.040 and 807 KAR 5:063, hereby submits this application for a certificate of public convenience and necessity to construct a cell site to be known as the Bradfordsville cell site in and for rural service area (“RSA”) #4 of the Commonwealth of Kentucky, namely the counties of Anderson, Green, Hardin, Larue, Marion, Mercer, Nelson, Spencer, Taylor and Washington, Kentucky.

1. As required by 807 KAR 5:001 Sections 8(1) and (3), and 807 KAR 5:063, Kentucky RSA #4 states that it is a Kentucky general partnership whose full name and post office address are: Kentucky RSA #4 Cellular General Partnership, 2902 Ring Road, Elizabethtown, Kentucky, 42701.

2. Pursuant to 807 KAR § 1 (1)(b), a copy of the applicant’s applications to the Federal Aviation Administration and Kentucky Airport Zoning Commission are Exhibit “A”. Written authorizations from these agencies will be supplied to the Commission upon their approval.

3. Pursuant to 807 KAR 5:063 §1(1)(d), applicant is submitting as Exhibit “B” a geotechnical investigation report, signed and sealed by a professional engineer registered in Kentucky, that includes boring logs, foundation design recommendations, and a finding as to the susceptibility of the area surrounding the proposed site to flood hazard.

4. Pursuant to 807 KAR 5:063 §1(1)(e), clear directions from the county seat to the proposed site, including highway numbers and street names, if applicable, with the telephone number of the person who prepared the directions are Exhibit “C”.

5. Pursuant to 807 KAR 5:063 §1(1)(f), a copy of the lease for the property on which the tower is proposed to be located, is Exhibit “D”.

6. Pursuant to 807 KAR §1(1)(g), experienced personnel will manage and operate the Bradfordsville cell site. The President of Bluegrass Cellular Inc., Mr. Ron Smith, is ultimately responsible for all construction and operations of the cellular system of Kentucky RSA #4, of which system the Bradfordsville cell site will be a part. Bluegrass Cellular Inc. provides management services to Kentucky RSA #4 under a management contract, just as it does with three (3) other wireless carriers in the Commonwealth. And, Bluegrass Cellular Inc. has been providing these management services to these other wireless carriers for well over a decade. This extensive management experience with Bluegrass Cellular demonstrates that Bluegrass Cellular Inc.'s management and technical ability to supervise the operations of a wireless carrier.

7. Pursuant to 807 KAR 5:063 §1(1)(g), World Tower Company, Inc. is responsible for the design specifications of the proposed tower (identified in Exhibit “B”).

8. Pursuant to 807 KAR 5:063 §1(1)(h), a site development plan and survey, signed and sealed by a professional engineer registered in Kentucky, that shows the proposed location of the tower and all easements and existing structures within 500 feet of the proposed site on the property on which the tower will be located, and all easements and existing structures within 200 feet of the access drive, including the intersection with the public street system, is Exhibit “B”.

9. Pursuant to 807 KAR 5:063 §1(1)(i), a vertical profile sketch of the tower, signed and sealed by a professional engineer registered in Kentucky, indicating the height of the tower and the placement of all antennas is Exhibit “B”.

10. Pursuant to 807 KAR 5:063 §1(1)(j), the tower and foundation design plans and a description of the standard according to which the tower was designed, signed and sealed by a professional engineer registered in Kentucky, is Exhibit “B”.

11. Pursuant to 807 KAR 5:063 § 1 (1)(k), a map, drawn to a scale no less than one (1) inch equals 200 feet, that identifies every structure and every owner of real estate within 500 feet of the proposed tower, is Exhibit “E”.

12. Pursuant to 807 KAR 5:063 § 1 (1)(l), applicant’s legal counsel hereby affirms that every person who owns property within 500 feet of the proposed tower has been: (i) notified by certified mail, return receipt requested, of the proposed construction; (ii) given the commission docket number under which the application will be processed; and (iii) informed of his right to request intervention.

13. Pursuant to KRS 278.665(2), applicant’s legal counsel hereby affirms that every person who, according to the records of the property valuation administrator, owns property contiguous to the property where the proposed cellular antenna tower will be located has been: (i) notified by certified mail, return receipt requested, of the proposed construction; (ii) given the commission docket number under which the application will be processed; and (iii) informed of his right to request intervention.

14. Pursuant to 807 KAR 5:063 §1(1)(m), a list of the property owners who received the notice together with copies of the certified letters sent to listed property owners, is Exhibit “F”.

15. Pursuant to 807 KAR 5:063 § 1 (1)(n), applicant’s legal counsel hereby affirms that the Marion County Judge Executive has been: (i) notified by certified mail, return receipt requested, of the proposed construction; (ii) given the commission docket number under which the application will be processed; and (iii) informed of its right to request intervention.

16. Pursuant to 807 KAR 5:063 §1(1)(o), a copy of the notice sent to the Marion County Judge Executive is Exhibit “G”.

17. Pursuant to 807 KAR 5:063 § 1 (1)(p), applicant’s legal counsel hereby affirms that (i) two written notices meeting subsection two (2) of this section have been posted, one in a visible location

on the proposed site and one on the nearest public road; and (ii) the notices shall remain posted for at least two weeks after the application has been filed.

18. Pursuant to 807 KAR 5:063 § 1 (2)(a), applicant's legal counsel affirms that:

(a) A written notice, of durable material at least two (2) feet by four (4) feet in size, stating that "***Kentucky RSA #4 Cellular General Partnership proposes to construct a telecommunications tower on this site,***" including the addresses of the applicant and the Kentucky Public Service Commission, has been posted and shall remain in a visible location on the proposed site until final disposition of the application; and

(b) A written notice, of durable material at least two (2) feet by four (4) feet in size, stating that "***Kentucky RSA #4 Cellular General Partnership proposes to construct a telecommunications tower near this site,***" including the addresses of the applicant and the Kentucky Public Service Commission, has been posted on the public road nearest the site.

A copy of each sign is attached as Exhibit "H".

19. Pursuant to 807 KAR 5:063 § 1 (1)(q), a statement that notice of the location of the proposed construction has been published in a newspaper of general circulation in the county in which the construction is proposed is attached as Exhibit "I".

20. Pursuant to 807 KAR 5:063 § 1(1)(r), the cell site, which has been selected, is in a relatively undeveloped, rural area in Lebanon, Kentucky. Existing land uses are characterized as residential and agricultural.

21. Pursuant to 807 KAR 5:063 §1(1)(s), Kentucky RSA #4 has considered the likely effects of the installation on nearby land uses and values and has concluded that there is no more suitable location reasonably available from which adequate service to the area can be provided, and that there is no reasonably available opportunity to co-locate. Kentucky RSA #4 has attempted to co-locate on towers designed to host multiple wireless service providers' facilities or existing structures, such as a telecommunications tower, or another suitable structure capable of supporting the utility's facilities.

22. Pursuant to 807 KAR 5:063 § 1(1)(t), attached as Exhibit "J" is a map of the area in which the tower is proposed to be located, that is drawn to scale and that clearly depicts the search area in which a site should, pursuant to radio frequency requirements, be located.

23. Pursuant to KRS 100.987(2)(a), a grid map, that is drawn to scale, that shows the location of all existing cellular antenna towers and that indicates the general position of proposed construction sites for new cellular antenna towers is Exhibit "K".

24. No reasonably available telecommunications tower, or other suitable structure capable of supporting the cellular facilities of Kentucky RSA #4 Cellular and which would provide adequate service to the area exists.

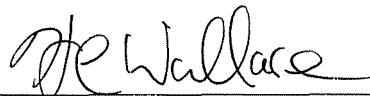
25. Correspondence and communication with regard to this application should be addressed to:

John E. Selent  
Holly C. Wallace  
**DINSMORE & SHOHL LLP**  
1400 PNC Plaza  
500 West Jefferson Street  
Louisville, KY 40202  
(502) 540-2300  
*john.selent@dinslaw.com*  
*holly.wallace@dinslaw.com*

WHEREFORE, Kentucky RSA #4 Cellular General Cellular Partnership requests the Commission to enter an order:

1. Granting a certificate of public convenience and necessity to construct the Bradfordsville cell site; and
2. Granting all other relief as appropriate.

Respectfully submitted,



John E. Selent  
Holly C. Wallace  
**DINSMORE & SHOHL LLP**  
1400 PNC Plaza  
500 West Jefferson Street  
Louisville, KY 40202  
(502) 540-2300  
*john.selent@dinslaw.com*  
*holly.wallace@dinslaw.com*



Kentucky Transportation Cabinet, Kentucky Airport Zoning Commission, 200 Mero Street, Frankfort, KY 40622  
**APPLICATION FOR PERMIT TO CONSTRUCT OR ALTER A STRUCTURE**  
INSTRUCTIONS INCLUDED

Kentucky Aeronautical Study Number

1. APPLICANT -- Name, Address, Telephone, Fax, etc.  
Scott McCloud  
Bluegrass Cellular, Inc.  
2902 Ring Road  
Elizabethtown, KY 42702  
T: 270-769-0339 F:270-737-0580

2. Representative of Applicant -- Name, Address, Telephone, Fax  
Leila Rezanavaz  
Lukas, Nace, Gutierrez & Sachs, LLP  
8300 Greensboro Drive, Suite 1200  
McLean, VA 22102  
T: 703-584-8668 F: 703-584-8694

3. Application for:  New Construction  Alteration  Existing  
4. Duration:  Permanent  Temporary (Months \_\_\_\_\_ Days \_\_\_\_\_)  
5. Work Schedule: Start 4/10/2010 End 4/15/2010  
6. Type:  Antenna Tower  Crane  Building  Power Line  
 Landfill  Water Tank  Other \_\_\_\_\_  
7. Marking/Painting and/or Lighting Preferred:  
 Red Lights and Paint  Dual - Red & Medium Intensity White  
 White - Medium Intensity  Dual - Red & High Intensity White  
 White - High Intensity  Other \_\_\_\_\_  
8. FAA Aeronautical Study Number 2010-ASO-772-OE

9. Latitude: 37 ° 29 ' 15 " 28 "  
10. Longitude: 85 ° 11 ' 8 " 16 "  
11. Datum:  NAD83  NAD27  Other \_\_\_\_\_  
12. Nearest Kentucky City: Bradfordsville County Marion  
13. Nearest Kentucky public use or Military airport:  
Lebanon-Springfield Airport  
14. Distance from #13 to Structure: 10.6 Miles  
15. Direction from #13 to Structure: SSE  
16. Site Elevation (AMSL): 767.00 Feet  
17. Total Structure Height (AGL): 255.00 Feet  
18. Overall Height (#16 + #17) (AMSL): 1,022.00 Feet  
19. Previous FAA and/or Kentucky Aeronautical Study Number(s):  
N/A  
20. Description of Location: (Attach USGS 7.5 minute Quadrangle Map or an Airport layout Drawing with the precise site marked and any certified survey)  
Site is located at:  
5210 Highway 1157  
Bradfordsville, KY 40033

21. Description of Proposal:  
Structure: Proposed self-supporting tower with top-mounted antennas for overall height of 255' AGL.  
Max. ERP: 250 Watts  
Frequencies: Cellular Band B

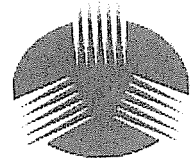
22. Has a "NOTICE OF CONSTRUCTION OR ALTERATION" (FAA Form 7460-1) been filed with the Federal Aviation Administration?  
 No  Yes, When February 12, 2010

**CERTIFICATION:** I hereby certify that all the above statements made by me are true, complete and correct to the best of my knowledge and belief.  
Leila Rezanavaz / Senior Consulting Engineer Leila Rezanavaz 2/16/2010  
Printed Name and Title Signature Date

**PENALTIES:** Persons failing to comply with Kentucky Revised Statutes (KRS 183.861 through 183.990) and Kentucky Administrative Regulations (602 KAR 050:Series) are liable for fines and/or imprisonment as set forth in KRS 183.990(3). Non-compliance with Federal Aviation Administration Regulations may result in further penalties.

**Commission Action:**  Chairman, KAZC  Administrator, KAZC  
 Approved  Disapproved \_\_\_\_\_ Date \_\_\_\_\_

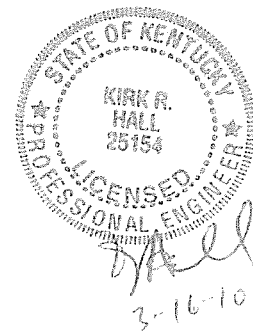




World Tower  
COMPANY, INC

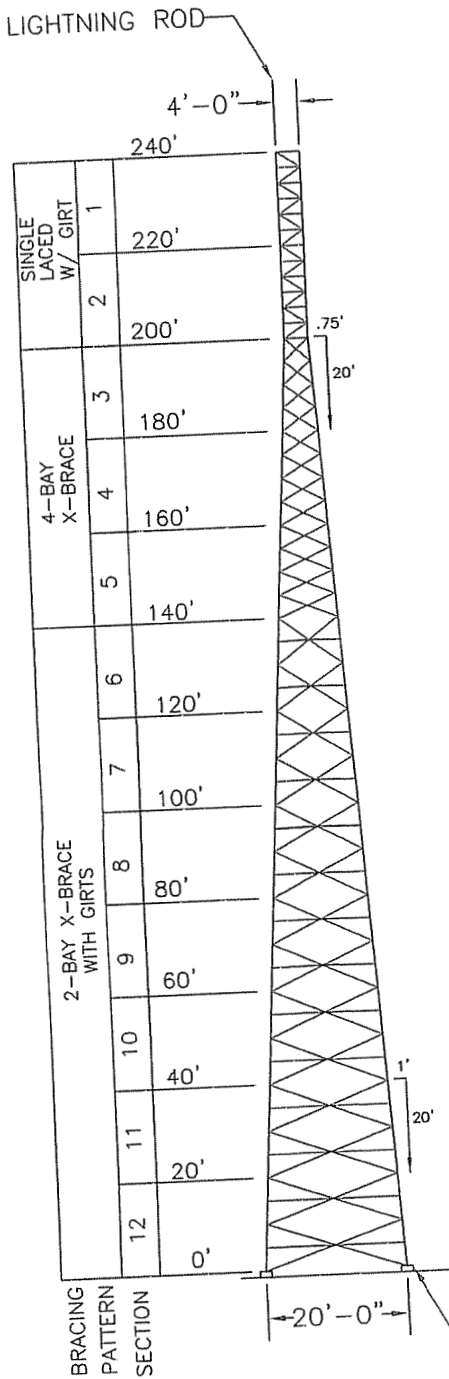
1213 Compressor Drive  
P O. Box 508  
Mayfield, KY 42066  
270-247-3642  
FAX: 270-247-0909  
E-mail: [worldtower@worldtower.com](mailto:worldtower@worldtower.com)  
Web: [www.worldtower.com](http://www.worldtower.com)

240' MODEL WSST TOWER  
FOR: BLUEGRASS CELLULAR  
SITE: BRADFORDSVILLE  
MARION COUNTY, KY  
DESIGN PACKAGE



*Fabrication, Installation, and Maintenance of TV, AM, FM & Wireless Communications Towers*





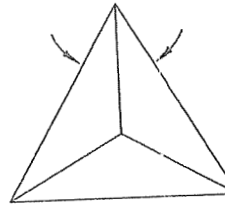
TOWER ELEVATION

ANCHOR BOLTS WITH EMBEDDED PL.

GENERAL NOTES

1. TOWER IS DESIGNED TO SUPPORT THE GIVEN LOAD AND MEET THE PROVISIONS OF TIA-222-G FOR A 90 MPH BASIC WIND SPEED WITH NO ICE. TOWER IS ALSO DESIGN FOR A 30 MPH BASIC WIND SPEED WITH 3/4" ICE. STRUCTURE CLASS II, EXP. CAT. C AND TOPO. CAT. 1.
2. WELDED CONNECTIONS SHALL CONFORM TO THE LATEST REVISION OF THE AMERICAN WELDING SOCIETY AWS. D 1.1.
3. TOWER AND ALL FABRICATED ACCESSORIES ARE HOT-DIP GALVANIZED.
4. ALL BOLTS SHALL BE GALVANIZED ACCORDING TO THE STANDARD SPECIFICATION FOR ZINC COATING OF IRON AND STEEL HARDWARE ASTM A153.
5. LEG STEEL IS 50 KSI MIN YIELD SOLID ROUND AND BRACING STEEL IS 36 KSI MIN YIELD SOLID ROUND OR STRUCTURAL ANGLE.
6. ALL STRUCTURAL BOLTS ARE ASTM A325.
7. TOWER IS DESIGNED FOR ALL LINES TO BE MOUNTED ACCORDING TO DRAWING Q10304WG.
8. TOWER SHOULD BE INSPECTED IN ACCORDANCE WITH EIA-222-G EVERY 5 YEARS.
9. TOWER INSPECTION SHOULD ONLY BE PERFORMED BY EXPERIENCED QUALIFIED PERSONNEL FOR ASSISTANCE IN PROPER MAINTENANCE OF YOUR TOWER, CALL WORLD TOWER AT 270-247-3642.
10. STEP BOLTS PROVIDED ON ONE LEG FROM 60' TO 240' AND 3 LEGS FROM 0' TO 60'.
11. CABLE SAFETY 0'-240'.

60° TYP.



TOWER PLAN

BASE REACTIONS

OTM:	6390.0	FT. KIPS
COMP.	395.0	KIPS
UPLIFT	330.0	KIPS
SHEAR (3 LEGS)	50.0	KIPS
WT. NO ICE	79.0	KIPS
WT. 3/4" ICE	188.0	KIPS

**WORLD TOWER**

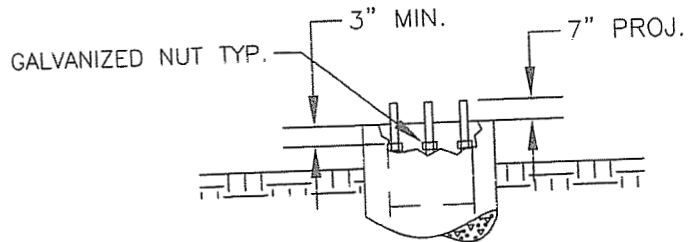
TITLE:

240' MODEL WSST TOWER  
FOR: BLUEGRASS CELLULAR  
SITE: BRADFORDSVILLE  
MARION COUNTY, KY

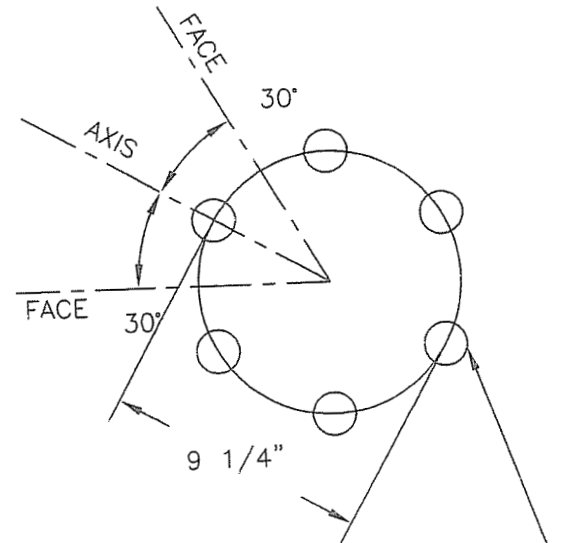
SCALE NONE	DWN. LKB	CHKD.	DATE 3-15-10
FILE		DWG. NO. Q10304	



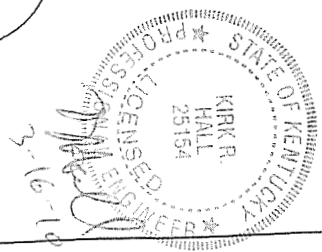
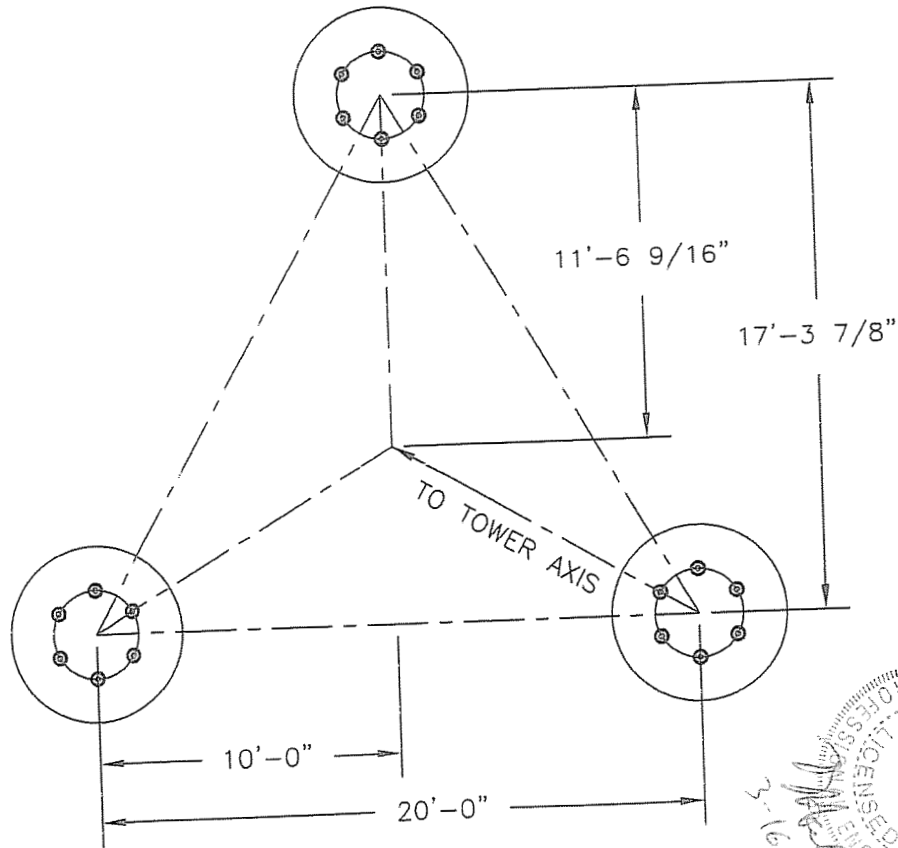
*[Handwritten signature]*  
3-16-10



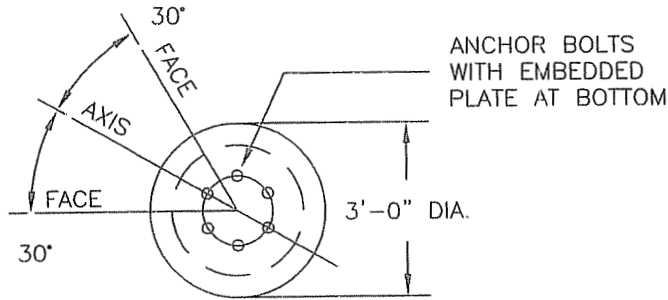
PIER ELEVATION



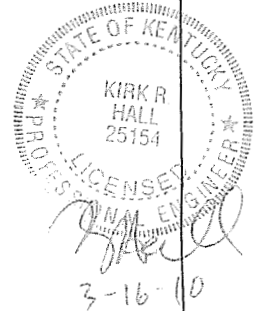
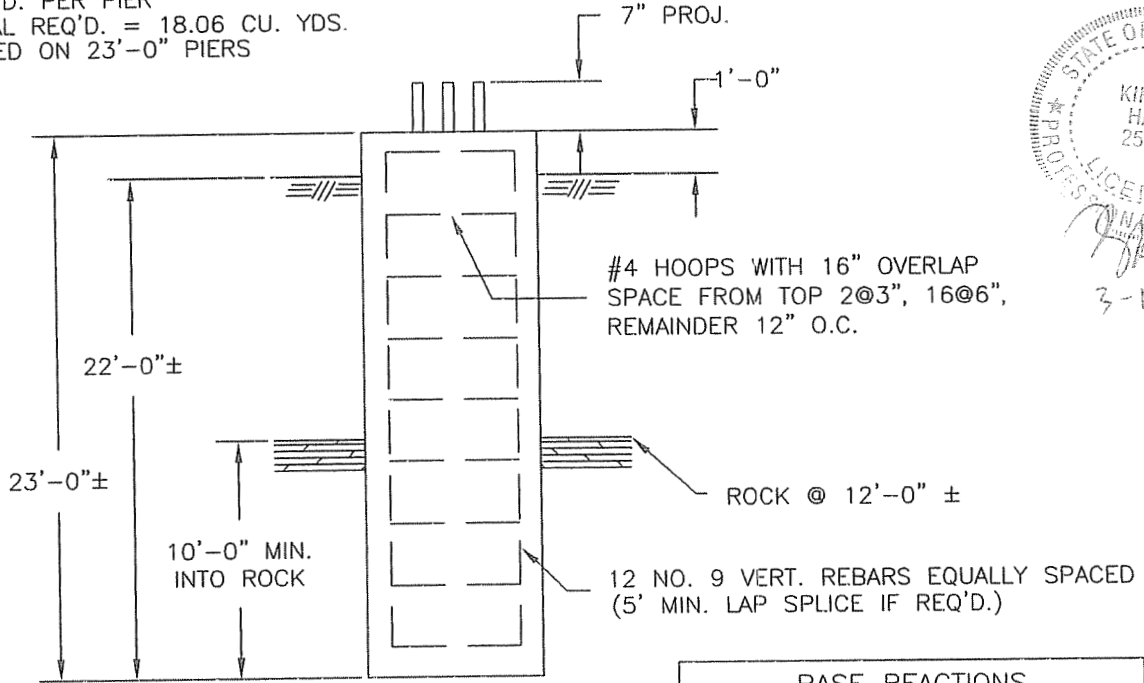
ANCHOR BOLTS 6 (18 TOTAL)  
 1 1/4"φ X 80" ASTM A354 GR. BC  
 EQUALLY SPACED ON A 9 1/4"  
 DIA. BOLT CIRCLE WITH TOP TEMPLATE  
 AND EMBEDDED PLATE



<b>WORLD TOWER</b>				
TITLE: ANCHOR BOLT LAYOUT				
240' MODEL WSST TOWER				
FOR: BLUEGRASS CELLULAR				
SITE: BRADFORDSVILLE				
MARION COUNTY, KY				
SCALE NONE	DWN. LKB	CKD.	DATE 3-15-10	
FILE	DWG. NO.		Q10304AB	



6.02 CU. YDS. CONCRETE  
REQ'D. PER PIER  
TOTAL REQ'D. = 18.06 CU. YDS.  
BASED ON 23'-0" PIERS



BASE REACTIONS	
OTM:	6390.0 FT. KIPS
COMP.	395.0 KIPS
UPLIFT	330.0 KIPS
SHEAR (3 LEGS)	50.0 KIPS
WT. NO ICE	79.0 KIPS
WT. 3/4" ICE	188.0 KIPS

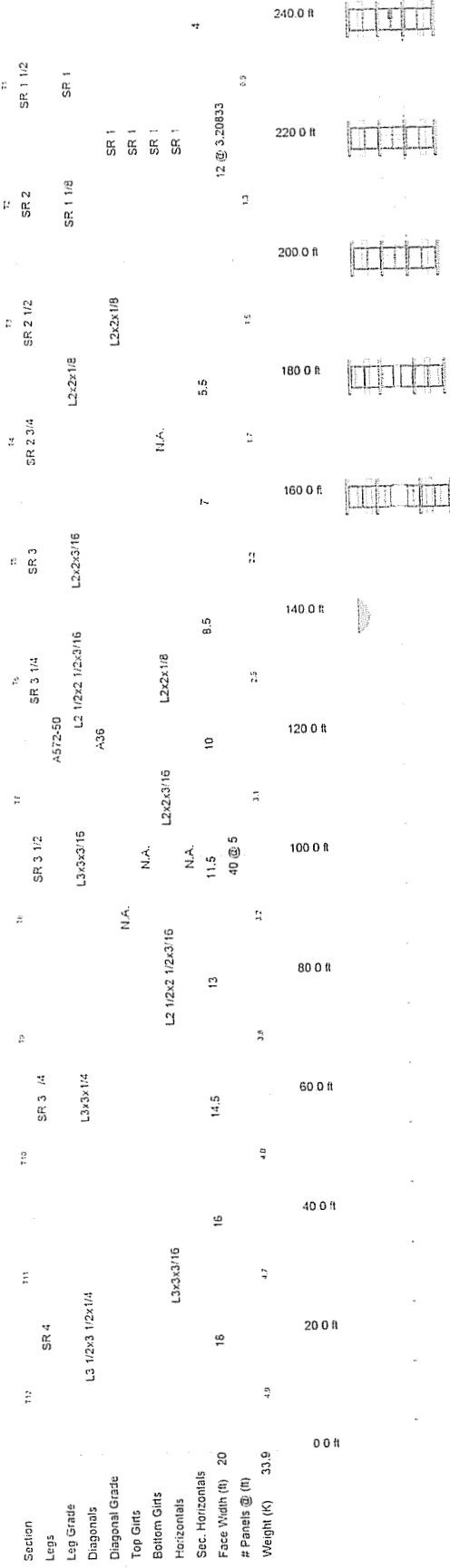
### GENERAL NOTES

1. CONCRETE TO HAVE 4000 PSI MIN. COMPRESSIVE STRENGTH AFTER 28 DAYS.
2. ALL REINFORCEMENT STEEL IS DEFORMED AND MEETS THE STRENGTH REQUIREMENTS OF ASTM A615 GRADE 60.
3. EMBEDDED STEEL TO HAVE 3" MIN. CONCRETE COVER.
4. FOUNDATION DESIGN IS BASED ON CUSTOMER SUPPLIED SOIL DATA FROM PATRIOT PROJECT NUMBER 5-09-0897 DATED FEBRUARY 10, 2010.

TITLE: FOUNDATION DETAIL  
240' MODEL WSST TOWER  
FOR: BLUEGRASS CELLULAR  
SITE: BRADFORDSVILLE  
MARION COUNTY, KY

## WORLD TOWER

SCALE NONE DWN. LKB CKD. DATE 3-15-10  
FILE DWG. NO. Q10304F



**DESIGNED APPURTENANCE LOADING**

TYPE	ELEVATION	TYPE	ELEVATION
Flash Beacon Lighting	240	(2) Antel RWB 80014/120 w/ mnt pipe(Panel 95.5"x11.2"x5.9")	200
WD13X53 Antenna Mounting Frame (w/ 75)	240	(2) Antel RWB 80014/120 w/ mnt pipe(Panel 95.5"x11.2"x5.9")	200
WD13X53 Antenna Mounting Frame (w/ 75)	240	(2) Antel RWB 80014/120 w/ mnt pipe(Panel 95.5"x11.2"x5.9")	200
WD13X53 Antenna Mounting Frame (w/ 75)	240	WD13X53 Antenna Mounting Frame (w/ 75)	180
(2) Antel RWB 80014/120 w/ mnt pipe(Panel 95.5"x11.2"x5.9")	240	WD13X53 Antenna Mounting Frame (w/ 75)	180
(2) Antel RWB 80014/120 w/ mnt pipe(Panel 95.5"x11.2"x5.9")	240	WD13X53 Antenna Mounting Frame (w/ 75)	180
(2) Antel RWB 80014/120 w/ mnt pipe(Panel 95.5"x11.2"x5.9")	240	(2) Antel RWB 80014/120 w/ mnt pipe(Panel 95.5"x11.2"x5.9")	180
WD13X53 Antenna Mounting Frame (w/ 75)	220	(2) Antel RWB 80014/120 w/ mnt pipe(Panel 95.5"x11.2"x5.9")	180
WD13X53 Antenna Mounting Frame (w/ 75)	220	(2) Antel RWB 80014/120 w/ mnt pipe(Panel 95.5"x11.2"x5.9")	180
(2) Antel RWB 80014/120 w/ mnt pipe(Panel 95.5"x11.2"x5.9")	220	WD13X53 Antenna Mounting Frame (w/ 75)	160
(2) Antel RWB 80014/120 w/ mnt pipe(Panel 95.5"x11.2"x5.9")	220	WD13X53 Antenna Mounting Frame (w/ 75)	160
(2) Antel RWB 80014/120 w/ mnt pipe(Panel 95.5"x11.2"x5.9")	220	(2) Antel RWB 80014/120 w/ mnt pipe(Panel 95.5"x11.2"x5.9")	160
WD13X53 Antenna Mounting Frame (w/ 75)	200	(2) Antel RWB 80014/120 w/ mnt pipe(Panel 95.5"x11.2"x5.9")	160
WD13X53 Antenna Mounting Frame (w/ 75)	200	(2) Antel RWB 80014/120 w/ mnt pipe(Panel 95.5"x11.2"x5.9")	160
WD13X53 Antenna Mounting Frame (w/ 75)	200	(2) Antel RWB 80014/120 w/ mnt pipe(Panel 95.5"x11.2"x5.9")	160
WD13X53 Antenna Mounting Frame (w/ 75)	200	6' Grid Dish	140

**MATERIAL STRENGTH**

GRADE	Fy	Fu	GRADE	Fy	Fu
A572-50	50 ksi	65 ksi	A36	36 ksi	58 ksi

**TOWER DESIGN NOTES**

- 1 Tower is located in Marion County, Kentucky.
- 2 Tower designed for Exposure C to the TIA-222-G Standard
- 3 Tower designed for a 90.00 mph basic wind in accordance with the TIA-222-G Standard.
- 4 Tower is also designed for a 30.00 mph basic wind with 0.75 in ice. Ice is considered to increase in thickness with height
- 5 Deflections are based upon a 60.00 mph wind
- 6 Tower Structure Class II.
- 7 Topographic Category 1 with Crest Height of 0.00 ft
- 8 Tower is designed for feedlines distributed on 3 tower faces with a maximum of 6 lines exposed to the wind on any one face.
- 9 Weak link in diagonals from 140' to 120'
- 10 TOWER RATING: 95.5%

ALL REACTIONS ARE FACTORED

MAX. CORNER REACTIONS AT BASE  
 DOWN: 395 K  
 UPLIFT -330 K  
 SHEAR: 32 K

AXIAL  
188 K

SHEAR 6 K      MOMENT 834 kip-ft

TORQUE 1 kip-ft  
30.00 mph WIND - 0.75 in ICE

AXIAL  
79 K

SHEAR 50 K      MOMENT 6390 kip-ft

TORQUE 3 kip-ft  
REACTIONS - 90.00 mph WIND



<b>World Tower Company</b> 1213 Compressor Drive Mayfield, Kentucky 42066 Phone: (270) 247-3642 FAX: (270) 247-0909	Job: <b>240' Standard WSST Job Q10-304</b> Project: <b>Bradfordsville, Kentucky</b> Client: <b>Bluegrass Cellular</b> Drawn by: <b>Kirk Hall</b> App'd: Code: <b>TIA-222-G</b> Date: <b>03/15/10</b> Scale: <b>NTS</b> Path: <b>C:\Tower\PE\Run\2010\Q10-304\Drawings\A\Btopmax.C10-204.dwg</b> Dwg No: <b>E-1</b>
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Report of  
Geotechnical Engineering Investigation  
**Bradfordsville Cell Tower**  
**Highway 1157**  
**Bradfordsville, Marion County, KY**  
Patriot Project No. 5-09-0897

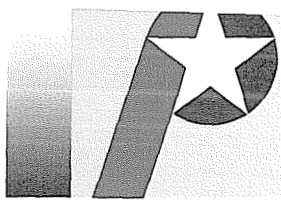
**Prepared For:**

Jeff Brewer  
Bluegrass Cellular  
2902 Ring Road  
P.O. Box 5012  
Elizabethtown, KY 42702

**Prepared By:**

Patriot Engineering and  
Environmental, Inc.  
400 Production Court  
Louisville, Kentucky 40299

February 10, 2010



**PATRIOT ENGINEERING  
and Environmental, Inc.**

Engineering Value for Project Success

Consulting Environmental, Geotechnical and Materials Engineers

February 10, 2010

Bluegrass Cellular  
2902 Ring Road  
P.O. Box 5012  
Elizabethtown, KY 42702

Attention: Jeff Brewer, Project Manager

RE: Report of Geotechnical Engineering Investigation  
**Bradfordsville Cell Tower**  
**Highway 1157**  
**Bradfordsville, Marion County, KY**  
Patriot Project Number 5-09-0897

Dear Jeff:

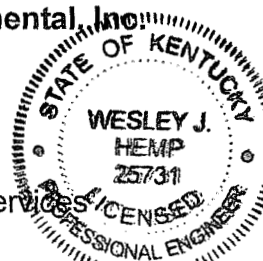
Submitted herewith is the report of our subsurface investigation for the above-referenced project. This investigation was completed in general accordance with our Proposal Number PLE08-0025 dated June 19, 2008.

This report includes detailed and graphic logs of the one (1) soil test boring drilled at the proposed site. Also included in the report are the results of laboratory tests performed on samples obtained from the site, and geotechnical recommendations pertinent to the foundation design and construction.

We appreciate the opportunity to have performed this geotechnical engineering investigation and are looking forward to working with you during the construction phase of the project. If you have any questions regarding this report or if we may be of any additional assistance regarding any geotechnical aspect of the project, please do not hesitate to contact our office.

Respectfully submitted,  
**Patriot Engineering and Environmental, Inc.**

Wesley J. Hemp, P.E., LEED AP  
Director – Louisville Geotechnical Services



Richard L. Johnson, P.E.  
Senior Project Engineer

Attachment: Report of Geotechnical Engineering Investigation

400 Production Court, Louisville, Kentucky 40299  
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## REPORT OF GEOTECHNICAL ENGINEERING INVESTIGATION

**Bradfordsville Cell Tower**  
**Highway 1157**  
Bradfordsville, Marion County, KY  
Patriot Project No. 5-09-0897

### 1.0 INTRODUCTION

#### 1.1 General

Bluegrass Cellular is planning the construction of a new cell tower to be located in Bradfordsville, Marion County, Kentucky. The results of our geotechnical engineering investigation for the project are presented in this report. This investigation was carried out in general accordance with *Patriot's* Proposal No. PLE08-0025, dated June 19, 2008.

#### 1.2 Purpose and Scope

The purpose of this investigation was to determine the general near surface and subsurface conditions within the project area and to develop the geotechnical engineering recommendations necessary for the design and construction of the structure. This was achieved by drilling a soil test boring at 1 location, and by conducting laboratory tests on samples taken from the boring. This report contains the results of our findings, an engineering interpretation of these results with respect to the available project information, and recommendations to aid in the design and construction of the proposed cell tower facility.

### 2.0 PROJECT INFORMATION

The proposed project includes a self-supported cell tower to be constructed in Bradfordsville, Marion County, KY. Structural loading information for this project was not available at the time of this report. However, information provided by the client in regards to projects of a similar size and scope indicates that the tower height will not exceed 240 feet. We estimate that the ultimate structural loads will not exceed the following loading conditions for each tower leg:

Vertical (Downward) Load:	400 kips
Uplift:	330 kips
Horizontal Shear:	50 kips



### **3.0 SITE AND SUBSURFACE CONDITIONS**

#### **3.1 Site Conditions**

The area for the proposed cell tower consists of a hay field located at the residence of 5690 Highway 1157 in Bradfordsville, KY. The area for the proposed tower is relatively flat. The property slopes down just beyond the hayfield perimeter on the north, south, and west sides. Various outbuildings (barns, sheds, etc.) are located on the property just south of the tower lease area. The ground surface was moist during our site visit with sporadic piles of manure present.

#### **3.2 Site Geology**

Information pertaining to soil characteristics in the project area was obtained through the Kentucky Geological Survey Interactive GIS Map, and experience with previous geotechnical investigations in the area.

The site is located in the Blue Grass Physiographic Region in central Kentucky, in The Knobs area. The bedrock at or near the surface consists of sedimentary rock and is of Ordovician age. Specifically, the underlying bedrock is most likely the Rowland Member of the Drakes Limestone formation. This formation consists of limestone described as medium-olive-gray, dolomitic, and silty. Parent soils in this area consist primarily of material weathered from limestone and the New Albany Shale. The project site is located in an area of low to medium karst potential with the closest identified sinkhole being located approximately 2000 feet northwest of the project site.

#### **3.3 Subsurface Conditions**

Our interpretation of the subsurface conditions is based upon one soil boring drilled at the approximate location shown on the Boring Location Map in Appendix A. The following discussion is general; for more specific information, please refer to the boring log presented in Appendix A. It should be noted that the dashed stratification lines shown on the soil boring log indicate approximate transitions between soil types. In situ stratification changes could occur gradually or at different depths. All depths discussed below refer to depths below the existing ground surface.

The parcel is generally covered with topsoil, a surficial layer of material that is a blend of silts, sands, and clays, with varying amounts of organic matter. The topsoil layer was about 3 inches thick in the test boring.

Below the topsoil surface cover, the boring encountered highly plastic (CH) clay described as medium to light brown, moist, stiff to very stiff, w/ trace small gravel to a depth of 6.0 feet. Highly plastic (CH) clay described as medium brown and black, moist, stiff to very stiff, w/ black phosphate nodules and trace small chert nodules was encountered below this layer to a depth of 12.0 feet, the auger refusal depth.

Standard Penetration Test blow counts (N-values) were 10 blows per foot (bpf) in the upper 3.5 feet, 10 bpf between 3.5 and 6.0 feet, 11 bpf between 6.0 and 8.5 feet, and 14 bpf between 8.5 and 10.0 feet. Natural moisture contents in these soils ranged from 25 to 44 percent with an average of about 32 percent. Unconfined compressive strengths as determined with a hand penetrometer ranged from 1.5 to 3.25 tsf (tons per square foot).

Atterberg Limits testing was performed on sample B-1, 6.0'-7.5' to determine the plasticity. The results revealed a liquid limit of 88%, a plastic limit of 38%, and a plasticity index of 50%, thereby classifying the tested soil as highly plastic (CH) fat clay.

Upon reaching auger refusal, 10 feet of rock coring was performed. Limestone described as medium olive gray in color, fine-grained, silty, and hard was recovered from the core holes. Please refer to the table below for more information in regards to rock coring recovery and RQD (Rock Quality Designation).

Depth (ft)	Recovery (%)	RQD (%)	Rock Quality
12.0-17.0	100	100	Excellent
17.0-22.0	100	100	Excellent

### **3.4 Groundwater Conditions**

Groundwater was not encountered during or upon completion of drilling operations.

The term groundwater, for the purpose of this report, pertains to any water that percolates through the naturally occurring soil materials found on site. This includes any overland flow that permeates through a given depth of soil, perched water, and water that occurs below the "water table", a zone that remains saturated and water bearing year round.

It should be recognized that fluctuations in the groundwater level should be expected to occur due to variations in rainfall and other environmental or physical factors at the time measurements are made. The true static groundwater level can only be determined through observations made in cased holes over a long period of time, the construction of which was beyond the scope of this investigation.

## **4.0 DESIGN RECOMMENDATIONS**

### **4.1 Basis**

Our recommendations are based on data presented in this report, which include a soil boring, laboratory testing and our experience with similar projects. Subsurface variations that may not be indicated by a dispersive exploratory boring program can exist on any site. If such variations or unexpected conditions are encountered during construction, or if the project information is incorrect or changed, we should be informed immediately since the validity of our recommendations may be affected. Refer to Appendix B for additional qualifications and contractual considerations.

### **4.2 Tower Foundation**

#### **Drilled Piers**

The structure may be supported on a deep foundation system consisting of drilled piers. Drilled piers may be designed using the net allowable end bearing pressures and allowable skin friction values shown in the table below.

<b>Depth Range (feet)</b>	<b>Soil Type</b>	<b>Allowable Skin Friction (psf)</b>	<b>Allowable End Bearing Pressure (psf)</b>	<b>Angle of Shearing Resistance (degrees)</b>	<b>*Cohesion (psf)</b>
0.0-5.0	Topsoil and Fat Clay	Ignore	Ignore	Ignore	Ignore
5.0-12.0	Fat Clay	260	5,200	0	1,750
12.0+	Limestone	3,500	60,000	0	20,000

\* It should be noted that the recommended cohesion value does not include a factor of safety.

\*\* Drilled piers on rock should bear at a minimum depth of 12 feet below existing site grade.

Development of the design capacity is based on the following conditions or criteria:

- Drilled Piers should be designed as straight shaft and have a minimum diameter of 30 inches and be installed to a minimum depth of four times the pier diameter.
- The center-to-center spacing of the shafts will be a minimum of 2.5 pier diameters.
- Load applied to the shaft cap is uniformly distributed to each of the piers.
- Shafts should be constructed in accordance with the recommendations for shaft construction in Section 5.1 of this report.
- The drilled piers should be installed by a specialty contractor experienced in drilled pier installation.

For drilled pier design, the net allowable end bearing pressure is based on loads applied at the pier cap. The weight of the pier or the pier cap need not be included in the downward axial load used to dimension the pier.

### **Mat Foundation**

Alternatively, the cell tower may be supported using a mat foundation. The maximum allowable bearing pressure for mat foundation design should not exceed the values provided in the table below.

<b><i>Depth Range (feet)</i></b>	<b><i>Soil Type</i></b>	<b><i>Allowable Bearing Pressure (psf)</i></b>	<b><i>Friction Coefficient</i></b>
2.0-12.0	Fat Clay	3,000	-
>12.0	Limestone	60,000	0.60

The thickness of the mat should be sufficient to support the tower as a rigid mat without flexure. For mat foundation design, we recommend that the modulus of subgrade reaction, "K<sub>30</sub>", not exceed **300** pounds per cubic inch for a mat bearing on competent limestone bedrock, and **75** pci for a mat bearing on highly-plastic fat clay. ***As noted in Section 3.3 of this report, highly plastic (CH) fat clays that are subject to volume change due to fluctuations in moisture content were encountered to a depth of 12 feet below the existing subgrade elevation. Should the mat foundation bear on these materials, the mat should be of sufficient thickness to withstand potential damage caused by the volume changes in that fat clay subgrade.***

The mat should be constructed in compliance with the recommendations discussed in the Construction Considerations (Section 5.0) of this report.

A detailed settlement analysis was beyond the scope of this report; however, we estimate that the total settlement of the mat foundation bearing on competent sandstone bedrock should not exceed approximately 1 inch. Careful field control during construction is necessary to minimize the actual settlement that will occur.

### 4.3 Maintenance Building Foundations

The proposed structure can be supported on spread footings bearing on structural fill after over-excavating to a minimum depth of 24 inches below the foundation bearing elevation and replacing with an equal amount of approved compacted structural fill. *The reason for this over-excavation and replacement is to reduce the potential for volume changes in the underlying highly plastic fat clay (CH) that could damage structure foundation due to changes in moisture content.* These footings may be proportioned using a net allowable soil bearing pressure not exceeding **2,400** pounds per square foot (psf) for wall footings, provided the foundations are constructed in compliance with the recommendations discussed in Section 5.0 of this report.

In using the above net allowable soil bearing pressure, the weight of the foundation and backfill over the foundation need not be considered. Hence, only loads applied at or above the minimum finished grade adjacent to the footing need to be used for dimensioning the foundations. Each new foundation should be positioned so it does not induce significant pressure on adjacent foundations; otherwise the stress overlap must be considered in the design.

All exterior foundations and foundations in unheated areas should be located at a depth of at least 24 inches below final exterior grade for frost protection. We recommend that strip footings be at least 18 inches wide and column footings be at least 24 inches wide.

We estimate that the total foundation settlement should not exceed approximately 1 inch and that differential settlement should not exceed about  $\frac{3}{4}$  inch for footings bearing at shallow depths on stiff clayey silt or structural fill. Careful field control during construction is necessary to minimize the actual settlement that will occur.

Positive drainage of surface water, including downspout discharge, should be maintained away from structure foundations to avoid wetting and weakening of the foundation soils both during construction and after construction is complete.

#### 4.4 Floor Slabs

*It should be noted that a test boring was not performed for the proposed maintenance building. Therefore, the following discussion should be considered general in regards to floor slabs.*

***The shallow highly plastic clay soils encountered in the test boring are not suitable for floor slab support without some remediation. Where encountered, any highly-plastic fat clay should be over-excavated to a minimum depth of 24 inches below the slab bearing elevation and replaced with an equal amount of approved compacted structural fill.***

*Depending upon the time of year in which floor slabs are constructed native subgrade may be soft or frozen. If floor slab construction takes place during the rainy season or the winter months, some undercutting should be expected prior to placement of the granular base course.*

We recommend that all floor slabs be designed as "floating", that is, fully ground supported and not structurally connected to walls or foundations. This is to minimize the possibility of cracking and displacement of the floor slab because of differential movements between the slab and the foundation. Although the movements are estimated to be within the tolerable limits for the structural safety, such movements could be detrimental to the slabs if they were rigidly connected to the foundations.

The building floor slab should be supported on a minimum 6-inch thick, granular base course, bearing on a suitably prepared subgrade (refer to Section 5.0 Construction Considerations). The granular base course is expected to help distribute loads and equalize moisture conditions beneath the slab. All slabs should be liberally jointed and designed with the appropriate reinforcement for the anticipated loading conditions.

#### 4.5 Modulus of Subgrade Reaction

A modulus of subgrade reaction, "K<sub>30</sub>", value of **75** pounds per cubic inch (pci) is recommended for the design of ground supported floor slabs bearing on native clay subgrade. It should be noted that the "K<sub>30</sub>" modulus is based on a 30-inch diameter plate load test and a CBR value of **1.5**.

#### 4.6 Access Road and Parking Area

No test borings were performed for the tower access drive. It is possible that conditions different than those encountered at the tower location may exist along the access drive. Therefore, the following discussion should be considered general in nature in regards to access road and parking areas.

***The near surface highly plastic (CH) soil encountered in the test boring are generally suitable for support of the access road and parking area, assuming that these areas will not be paved. If the areas are to be paved, we recommend that the areas be over-excavated to a minimum depth of 24 inches below the pavement bearing elevation where highly plastic clays are encountered and replaced with approved compacted structural fill. As previously discussed, highly plastic clays are subject to volume change due to changes in moisture content. Pavements are especially susceptible to these effects and damage caused by frost action during the cold season due to the presence of highly plastic soils.***

Depending upon the time of year in which access road and parking areas are constructed the exposed subgrade may be soft. If soft areas are encountered during construction, the areas should be undercut and replaced with approved compacted structural fill as outlined in section 5.0 of this report. If construction is performed during a wet or cold period, the contractor will need to exercise care during the grading and fill placement activities in order to achieve the necessary subgrade soil support for the access road (See Section 5.0 for Construction Considerations).

*It is assumed that the access drive/parking lot design for this project will be similar to past projects with the same general scope. The typical design generally consists of 6" to 8" of coarse-graded stone overlain by a minimum of 4" of compacted crusher run stone or DGA. A pavement section without asphalt or concrete surface cover will require regular maintenance due to degradation of soils caused by inclement weather, vegetation growth, and vehicular traffic. Therefore, the pavement section will require routine maintenance to keep the access drive and parking areas functional.*

The base soil for the access road and parking will need to be firm and dry. The subgrade should be sloped properly in order to provide good base drainage. To minimize the effects of groundwater or surface water conditions, the base section for



the driveway should be sufficiently high above adjacent ditches and properly graded to provide adequate drainage.

Our recommendations are based on the assumption that the access drive and parking areas will be constructed on proofrolled natural soils, or on structural fill overlying the same. Serviceable pavements can be achieved by different combinations of materials and thickness, varied to provide roughly equivalent strengths. In addition, local practice for existing pavement construction should be reviewed for other blends, combinations of materials that have been found satisfactory, and for applicable minimum standards.

#### **4.7 Seismic Considerations**

We have reviewed Section 1615 of the 2007 Kentucky Building Code with respect to the subsurface conditions disclosed by our geotechnical investigation and the following recommendations and comments are presented for your use in developing the seismic design criteria for the structural design. For structural design purposes, we recommend using a **Site Class of C** as defined by the 2007 Kentucky Building Code. Other earthquake resistant design parameters should be applied consistent with the minimum requirements of the Kentucky Building Code. The Site Class of C was based on cohesive (clayey) soils with an average shear wave velocity of 900 feet/second to a depth of 12 feet and hard limestone bedrock with an average shear wave velocity of 3000 feet/second from 12 to 100 feet.

#### **4.8 Earth Resistivity Testing**

Resistivity testing of the subsurface materials was performed utilizing a Metrel Earth-Insulation Tester. The four point Wenner Array was utilized. The setup of this array consists of placing four equally spaced electrodes in a straight line along the subgrade. A current is sent through the outer two probes via the test meter, while the two inner probes measure the voltage drop due the current flow. The resistance is then calculated utilizing Ohm's Law. Earth resistivity measurements were performed along two lines running perpendicular to one another through the center of the proposed tower location at 5, 10, 15, 20, 30, and 40 foot spacing's. Please refer to the table below for testing results.

<b>Figure 2 - Earth Resistivity Testing Results</b>			
<b>Line A-A'</b>		<b>Line B-B'</b>	
<b>Spacing (ft.)</b>	<b>Resistivity (<math>\Omega</math>-m)</b>	<b>Spacing (ft.)</b>	<b>Resistivity (<math>\Omega</math>-m)</b>
5	150	5	101
10	119	10	114
15	110	15	100
20	109	20	108
30	101	30	104
40	96	40	96

## 5.0 CONSTRUCTION CONSIDERATIONS

### 5.1 Site Preparation

All areas that will support foundations, floors, pavements or newly placed structural fill must be properly prepared. All loose surficial soil, topsoil, fill and other unsuitable materials must be removed. Unsuitable materials include: frozen soil, relatively soft material, relatively wet soils, deleterious material, soils that exhibit a high organic content.

Prior to construction of floor slabs or pavements or the placement of new structural fill, the exposed subgrade must be evaluated by the Patriot representative. The evaluation should include proofrolling of the subgrade.

Care must be exercised during grading and fill placement operations. The combination of heavy construction equipment traffic and excess surface moisture can cause pumping and deterioration of the near surface soils. The severity of this potential problem depends to a great extent on the weather conditions prevailing during construction.

## 5.2 Foundation Excavations

### Drilled Shaft Excavations

The drilled shaft excavations should be observed by *Patriot's* geotechnical engineer or his representative to verify that the foundations will bear at the specified minimum depth and with the minimum bearing requirements, as recommended in Section 4.2 of this report. To confirm adequate bearing, *Patriot's* site representative will visually examine a sample of the bedrock taken at the proposed bearing depth. Surface runoff or seepage water should be drained away from the drilled pier excavation and not be allowed to collect in the excavation.

Additional recommendations for drilled pier foundation construction are presented below:

- The geotechnical engineer should be retained to document the shaft diameter, depth, cleanliness, plumbness, and type of end bearing material during pier construction.
- The foundation bearing material should be evaluated after the bottom of the hole is leveled, cleared of any mud and extraneous materials, and dewatered.
- The drilling equipment should have the capacity to produce a torque of at least 500,000 inch-pounds and a downward force of at least 50,000 pounds.
- Temporary protective steel casing should be available to be installed in the pier, if necessary, to prevent sidewall collapse and excessive mud and water intrusion into the opened excavation. The casing may be extracted as the excavation is filled with concrete. However, the protective casing should not be removed until the weight of concrete placed into the pier exceeds the ground water head.
- A positive head of concrete (minimum of 5 feet) should be maintained above the bottom of the casing during withdrawal and the contractor should prevent concrete from "hanging-up" inside the shell, which may allow soil and water intrusion below the shell.
- If groundwater seepage into the drilled pier excavation is less than 20 gallons per minute, pumps should be used to maintain less than two inches of water. After observation and evaluation of the pier bottom by the geotechnical engineer, the pumps should be removed and concrete placement initiated immediately. If water is flowing into the hole at a rate greater than 20 gallons per minute, the geotechnical engineer should be consulted for guidance.

- Concrete with slumps ranging between four and seven inches should be used for backfilling the piers.
- Concrete placement into the drilled hole should be directed through a centering device located at the ground surface. If significant groundwater inflow is encountered, a tremie pipe should be used during the concrete placement.
- Construction techniques used for drilled pier installation should conform to applicable Occupational Safety and Health Administration (OSHA) regulations.

### **Spread Footing & Mat Foundation Excavations**

***The exposed clay or limestone bedrock in the base of the foundation (except for foundations bearing on structural backfill) should be observed by a Patriot site representative to confirm that bearing material of adequate strength has been reached and that no highly plastic (CH) clay materials are present beneath the foundations.*** Any localized soft soil zones encountered at the bearing elevation should be further excavated until adequate support materials encountered. The cavity should be backfilled with approved structural fill as outlined in Section 5.3 of this report.

When it is necessary to support the foundation on structural fill, then the fill pad must extend laterally a minimum distance beyond the edge of the mat foundation. The minimum structural pad width would correspond with a point at which an imaginary line extending downward from the outside edge of the footing at a 1H:2V slope intersects the surface of the natural soils. For example, if the depth to the bottom of excavation is 2 feet below the bottom of the foundation, the excavation would need to extend laterally beyond the edge of the footing at least 1 foot, as shown in Illustration A found at the conclusion of this report.

Excavation slopes should be maintained within OSHA requirements. In addition, we recommend that any surcharge fill or heavy equipment be kept at least 5 feet away from the edge of the excavation. In addition, excavations that occur near existing in-use foundations should be carefully performed, making a conscious effort not to undermine the support of the in-use foundations. If it is necessary to excavate soils adjacent to and below the bearing elevation of any in-use foundations *Patriot* should be contacted to make further recommendations regarding these excavations. Please refer to Illustration B in Appendix A for further details.

Construction traffic on the exposed surface of the bearing soils will potentially cause some disturbance of the subgrade and consequently loss of bearing capacity. However, the degree of disturbance can be minimized by proper protection of the exposed surface.

### 5.3 Structural Fill and Fill Placement Control

Structural fill, defined as any fill that will support structural loads, should be clean and free of organic material, debris, deleterious materials and frozen soils. Samples of the proposed fill materials should be tested prior to initiating the earthwork and backfilling operations to determine the classification, natural and optimum moisture contents, maximum dry density and overall suitability as a structural fill.

***Structural fill should be limited to compacted No. 57 Stone, DGA, or lean clay placed and compacted in accordance with this report, or lean concrete. Any clay borrow should have a liquid limit of less than 40 percent and a plasticity index of less than 20 percent. If the mat foundation bears directly on the bedrock surface, suitable structural fill should be limited to No. 57 Stone or lean concrete. The on-site highly plastic soils should not be used as fill (unless used as overburden backfill for the mat foundation, assuming the clay may be compacted to a sufficient unit weight).***

All structural fill placed beneath floor slabs and above the foundation bearing elevation should be compacted to at least 95 percent of its maximum Standard Proctor dry density (ASTM D-698). This minimum compaction requirement should be increased to 100 percent of the maximum Standard Proctor dry density for fill supporting footings or the mat foundation, provided foundations are designed as outlined in Recommendations, Section 4.2.

It may be necessary to scarify and recompact the near surface soil prior to placement of the pavement sections. Any fill placed or recompact within 1 ft of the base of the pavement section should also be compacted to at least 100 percent of the Standard Proctor maximum dry density. This can be reduced to 95 percent for engineered fill placed more than 1 ft below the base of the pavement section.

To achieve the recommended compaction of the structural fill, we suggest that the fill be

placed and compacted in layers not exceeding eight inches in loose thickness. A Patriot soils engineer or his representative should monitor all fill placements.

#### **5.4 Groundwater**

Groundwater was not encountered during or upon completion of drilling operations in the test boring. Groundwater inflow into shallow excavations above the groundwater table is expected to be adequately controlled by conventional methods such as gravity drainage and/or pumping from sumps. More significant inflow can be expected in deeper excavations below the groundwater table requiring more aggressive dewatering techniques, such as well or wellpoint systems. For groundwater to have minimal effects on the construction, foundation excavations should be constructed and poured in the same day, if possible.

## **6.0 INVESTIGATIONAL PROCEDURES**

### **6.1 Field Work**

A total of 1 boring was performed at the project site on January 25, 2010 at the approximate location shown on the Boring Location Plan in Appendix A. The boring was drilled in the center of the cell tower area to auger refusal, which was encountered at a depth of 12 feet. Upon reaching auger refusal, ten (10) feet of rock coring was performed. All depths are given as feet below the existing ground surface.

The boring was advanced using 3¼" I.D. (inside diameter) hollow-stem augers. Samples were recovered in the undisturbed material below the bottom of the augers using the standard drive sample technique in accordance with ASTM D 1586-74. A 2" O.D. by 1¾" I.D. split-spoon sampler was driven a total of 18 inches with the number of blows of a 140-pound hammer falling 30 inches of penetration is the Standard Penetration Test result commonly referred to as the N-value (or blow-count). Split-spoon samples were recovered at 2.5-foot intervals, beginning at a depth of 1 foot below the existing surface grade, extending to the auger refusal depth. Water levels were monitored at the borehole location during drilling and upon completion of the boring. The borehole was backfilled with auger cuttings prior to demobilization for safety considerations. For rock coring, a double-tube NX core barrel with a diamond bit was used to obtain the core sample.

Earth Resistivity Testing was performed at the site on February 3, 2010. The testing was performed along two lines running perpendicular to one another through the center of the proposed tower location.

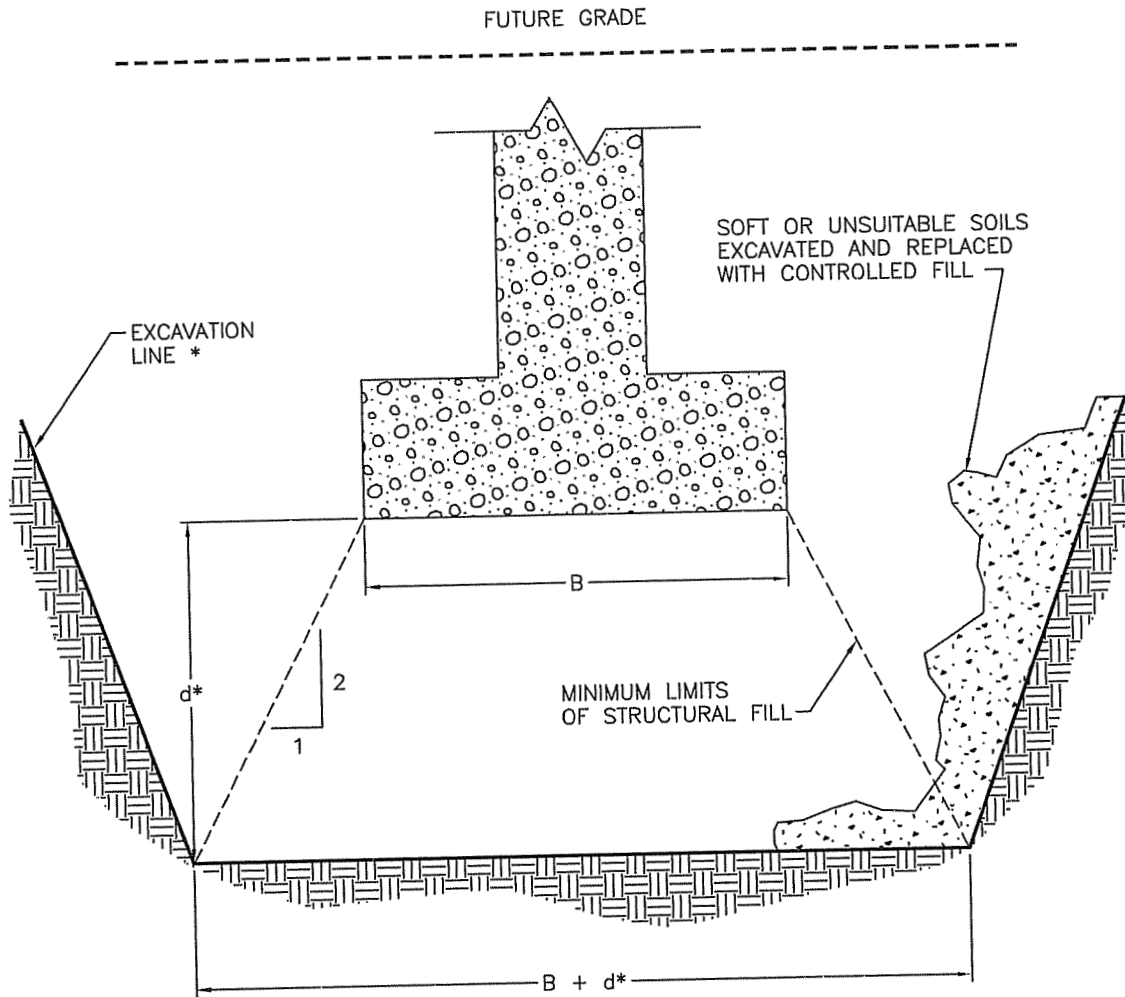
Upon completion of the boring program, all of the samples retrieved during drilling in this sampling program were returned to *Patriot's* soils testing laboratory where they were visually examined and classified. A laboratory generated log was prepared based upon the driller's field log, laboratory test results, and our visual classification. The test boring log and a description of the classification system are included in Appendix A in this report. Indicated on the log are the primary strata encountered, the approximate depth of each stratum change, depth of sample, the Standard Penetration Test results, groundwater conditions, and select laboratory test data. The laboratory log was prepared giving the appropriate sample data and the textural description and classification.

## **6.2 Laboratory Testing**

Representative samples recovered in the boring were selected for testing in the laboratory to evaluate their physical properties and engineering characteristics. Laboratory analyses included natural moisture content determinations (ASTM D 2216) and an estimate of unconfined compressive strength testing by use of a calibrated hand penetrometer. The results of all laboratory tests are shown on the boring log.

## **7.0 ILLUSTRATIONS**

See Illustrations A and B on the following pages. These illustrations are presented to further visually clarify the Construction Considerations presented in Section 5.2.



\*d IS DEPTH TO SUITABLE SOILS

\* IN COMPLIANCE WITH OSHA STANDARDS



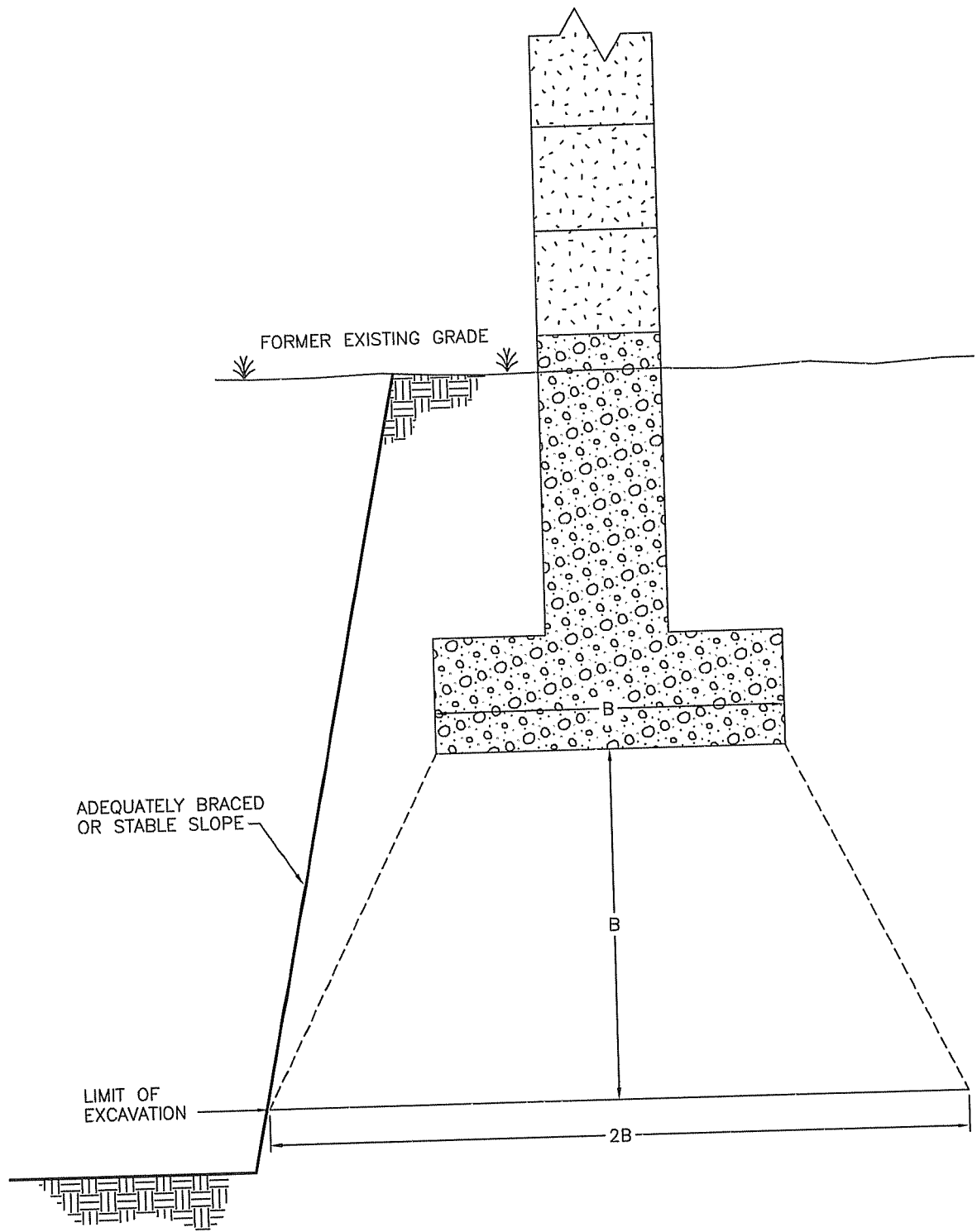
**PATRIOT ENGINEERING**  
 and Environmental, Inc.  
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 (502)961-5652 FAX (502)961-9256

**Excavation for Footings  
 In an Area of Fill  
 ILLUSTRATION A**

job. no.: PAT-UC

figure: 1





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Excavation Near Existing  
 In Use Foundations  
**ILLUSTRATION B**

job. no.:	PAT-UC1	figure:	1
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**APPENDIX A**

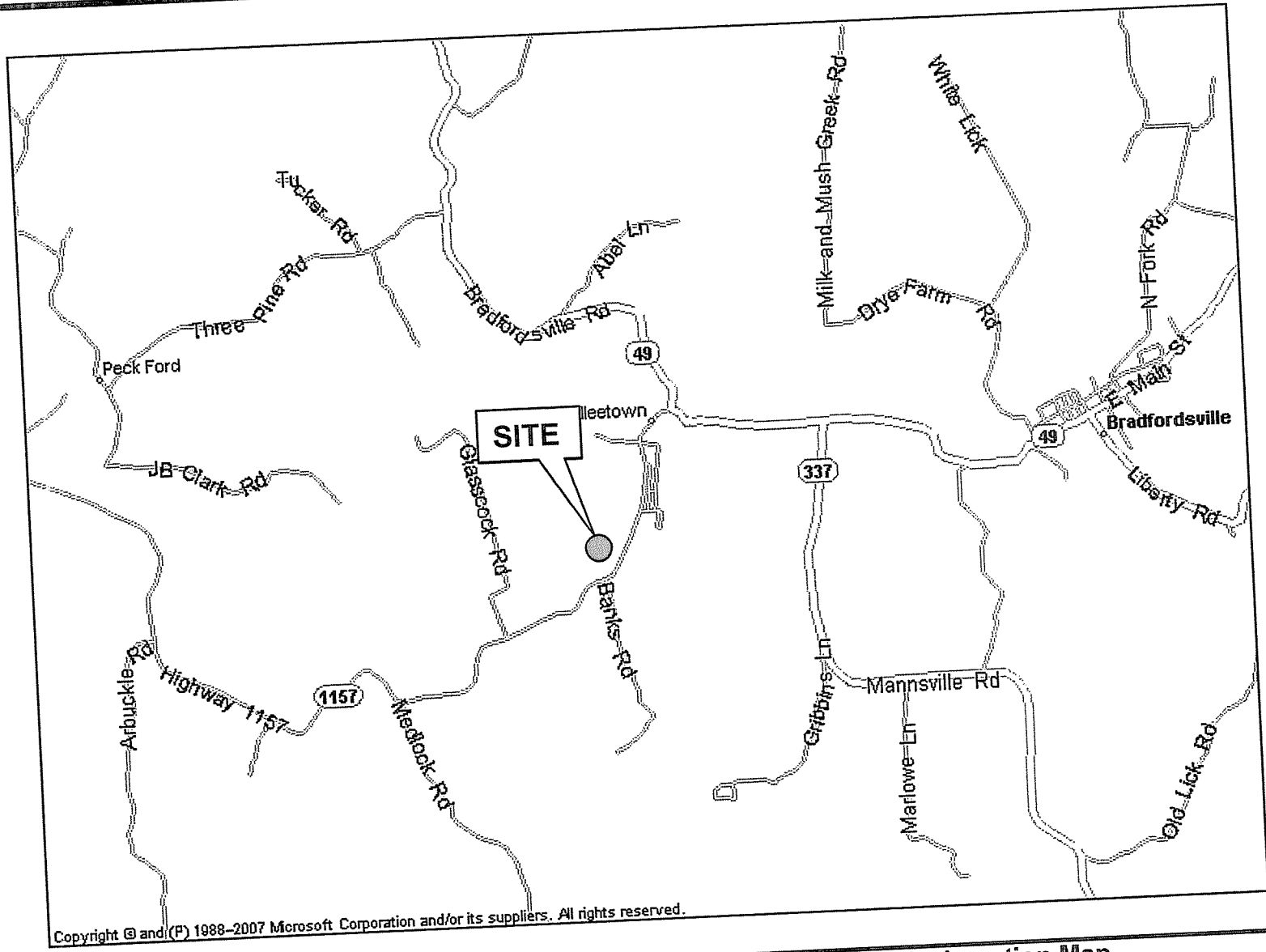
**Site Vicinity Map**

**Boring / Resistivity Test Location Map**

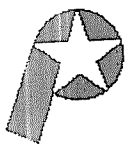
**Boring Log**

**Boring Log Key**

**Unified Soils Classification (USCS)**



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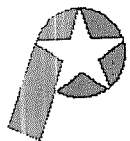
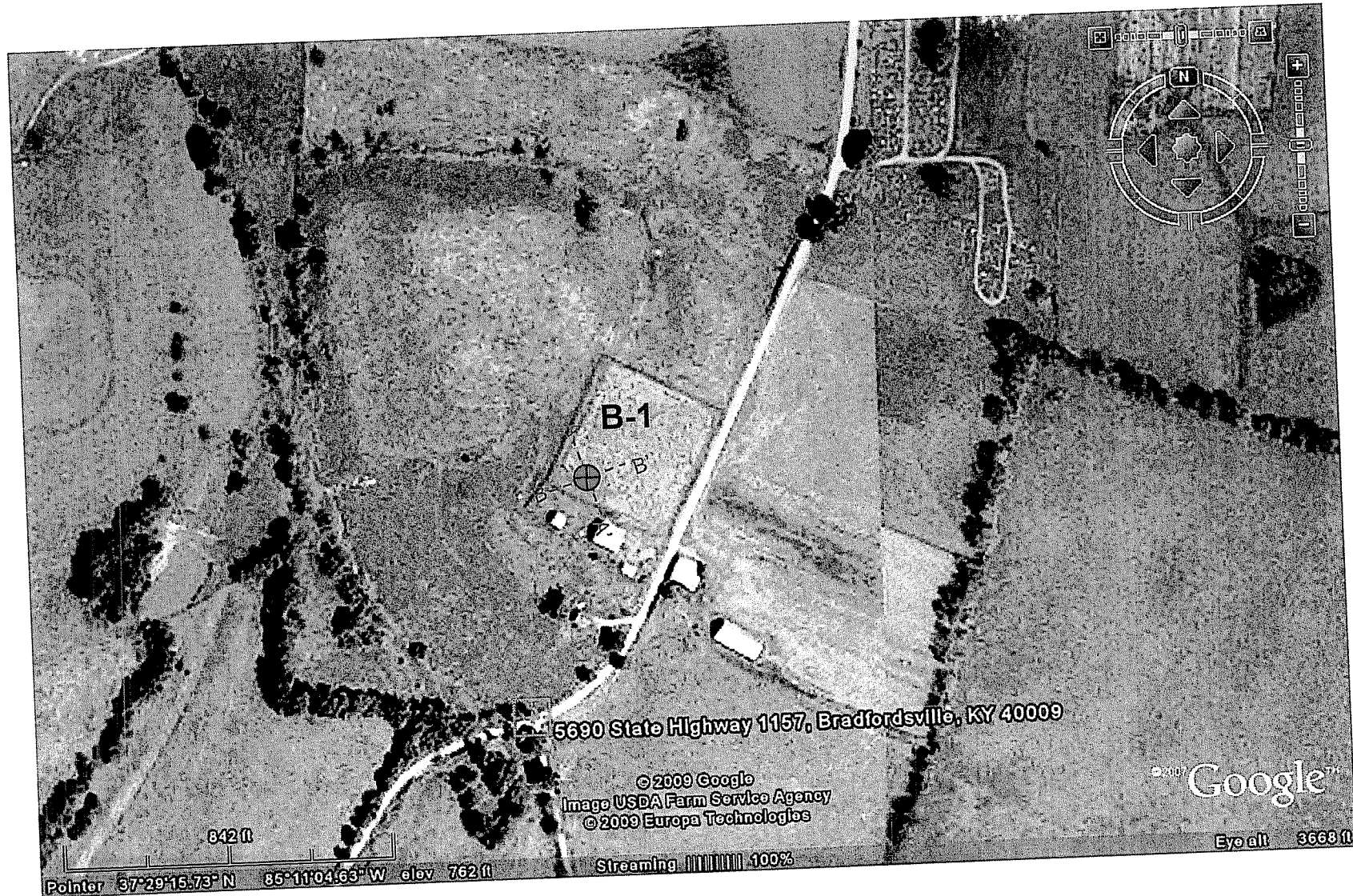


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and Environmental, Inc.  
Louisville, Kentucky 40299

**Site Location Map**  
Bradfordville Cell Tower  
Highway 1157  
Lebanon, Marion County, KY

Job No. 5-09-0879

Figure 1



**PATRIOT ENGINEERING**  
and Environmental, Inc.  
Louisville, Kentucky 40299

**Boring Location Map**  
Bradfordsville Cell Tower  
Highway 1157  
Lebanon, Marion County, KY

Job No. 5-09-0879

Figure 2



**PATRIOT ENGINEERING**  
and Environmental Inc.  
Indianapolis, Terre Haute, Evansville,  
Fort Wayne, South Bend, Lafayette,  
Louisville KY, Dayton OH,  
Charleston IL

# LOG OF BORING B-1

(Page 1 of 1)

Bradfordsville Cell Tower  
Highway 1157  
Bradfordsville, Marion County, KY

Client Name : Bluegrass Cellular  
Project Number : 5-09-0879  
Logged By : W. Hemp  
Start Date : 1/25/2010  
Drilling Method : HSA

Driller : G. Taylor  
Sampling : Splitspoon  
Approximate Elevation :  
Drill Rig : CME-750 ATV

Depth in Feet	Water Level	USCS	GRAPHIC	DESCRIPTION	Samples	Rec %	SPT Results	qp tsf	w %	RQD %	REMARKS
				Topsoil (3") CLAY, medium to light brown, moist, stiff to very stiff, w/ trace small gravel							
		CH				67	6/5/5	1.5	25		
		CH				67	4/5/5	2.75	25		
		CH		CLAY, medium brown and black, moist, stiff to very stiff, w/ black phosphate nodules and trace small chert nodules		78	7/6/5	2.25	44		Atterberg Limits LL=88%, PL=38%, PI=50%
		CH				67	8/8/6	3.25	32		
		LS		LIMESTONE, medium olive gray, fine-grained, silty, hard		100				100	Auger refusal encountered at 12.0'. Core rock from 12.0' to 17.0'. Boring caved to 12.0' upon auger removal.
		LS		LIMESTONE, medium olive gray, fine-grained, silty, hard		100				88	Core rock from 17.0' to 22.0'.
Boring terminated at 22.0'											

02-10-2010 P:\Borings\KY200915-09-0879\B-1.bor

# BORING LOG KEY

## UNIFIED SOIL CLASSIFICATION SYSTEM FIELD CLASSIFICATION SYSTEM FOR SOIL EXPLORATION

### NON COHESIVE SOILS (Silt, Sand, Gravel and Combinations)

Density		Grain Size Terminology		
		<u>Soil Fraction</u>	<u>Particle Size</u>	<u>US Standard Sieve Size</u>
Very Loose	-5 blows/ft. or less			
Loose	-6 to 10 blows/ft.			
Medium Dense	-11 to 30 blows/ft.	Boulders	Larger than 12"	Larger than 12"
Dense	-31 to 50 blows/ft.	Cobbles	3" to 12"	3" to 12"
Very Dense	-51 blows/ft. or more	Gravel: Coarse	¾" to 3"	¾" to 3"
		Small	4.76mm to ¾"	#4 to ¾"
		Sand: Coarse	2.00mm to 4.76mm	#10 to #4
		Medium	0.42mm to 2.00mm	#40 to #10
		Fine	0.074mm to 0.42mm	#200 to #40
		Silt	0.005mm to 0.074 mm	Smaller than #200
		Clay	Smaller than 0.005mm	Smaller than #200

### RELATIVE PROPORTIONS FOR SOILS

<u>Descriptive Term</u>	<u>Percent</u>
Trace	1 - 10
Little	11 - 20
Some	21 - 35
And	36 - 50

### COHESIVE SOILS (Clay, Silt and Combinations)

<u>Consistency</u>	<u>Field Identification</u>	<u>Unconfined Compressive Strength (tons/sq. ft.)</u>
Very Soft	Thumb will penetrate soil more than 1 inch	Less than 0.25
Soft	Thumb will penetrate soil about 1 inch	0.25 - < 0.5
Medium Stiff	Thumb will penetrate soil about ½ inch	0.5 - < 1.0
Stiff	Thumb will indent soil about ¼ inch	1.0 - < 2.0
Very Stiff	Readily indented by thumbnail	2.0 - < 4.0
Hard	Indented with difficulty by thumbnail	Over 4.0

**Classification** on logs are made by visual inspection.

**Standard Penetration Test** - Driving a 2.0" O.D., 1<sup>3/8</sup>" I.D., sampler a distance of 1.0 foot into undisturbed soil with a 140 pound hammer free falling a distance of 30.0 inches. It is customary for **Patriot** to drive the spoon 6.0 inches to seat into undisturbed soil, then perform the test. The number of hammer blows for seating the spoon and making the tests are recorded for each 6.0 inches of penetration on the drill log (Example - 6/8/9). The standard penetration test results can be obtained by adding the last two figures (i.e. 8 + 9 = 17 blows/ft.).

**Strata Changes** - In the column "Soil Descriptions" on the drill log the horizontal lines represent strata changes. A solid line (————) represents an actually observed change, a dashed line (- - - - -) represents an estimated change.

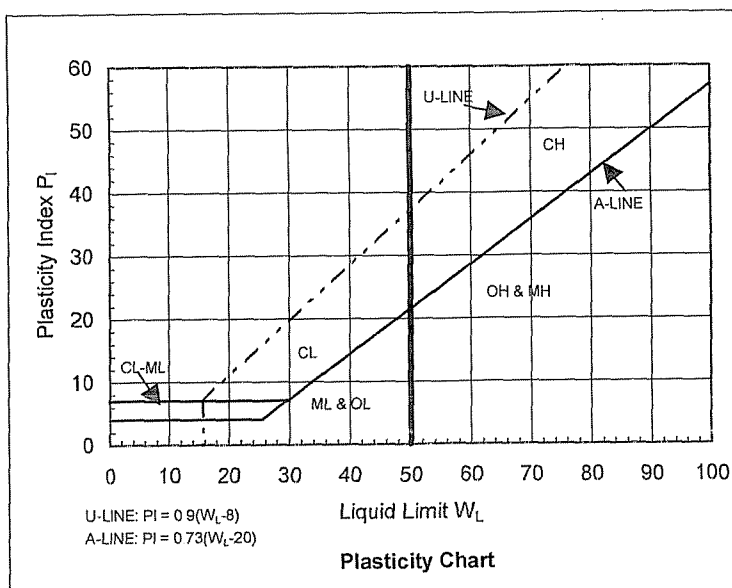
**Groundwater** observations were made at the times indicated. Porosity of soil strata, weather conditions, site topography, etc., may cause changes in the water levels indicated on the logs.

**Groundwater symbols:** ▼-observed groundwater elevation, encountered during drilling; ▽-observed groundwater elevation upon completion of boring.



## Unified Soil Classification

Major Divisions		Group Symbol	Typical Names	Classification Criteria for Coarse-Grained Soils			
Coarse-grained soils (more than half of material is larger than No. 200)	Gravels (more than half of coarse fraction is larger than No. 4 sieve size)	Clean gravels (little or no fines)	GW	Well-graded gravels, gravel-sand mixtures, little or no fines	$C_u \geq 4$ $1 \leq C_c \leq 3$	$C_u = \frac{D_{60}}{D_{10}}$	$C_c = \frac{D_{30}^2}{D_{10} D_{60}}$
		Gravels with fines (appreciable amount of fines)	GM	Silty gravels, gravel-sand-silt mixtures	Not meeting all gradation requirements for GW ( $C_u < 4$ or $1 > C_c > 3$ )		
		GC	Clayey gravels, gravel-sand-clay mixtures				
		Sands (more than half of coarse fraction is smaller than No. 4 sieve size)	Clean sands (little or no fines)	SW	Well-graded sands, gravelly sands, little or no fines	$C_u \geq 6$ $1 \leq C_c \leq 3$	$C_u = \frac{D_{60}}{D_{10}}$
	Sands with fines (appreciable amount of fines)		SM	Silty sands, sand-silt mixtures	Not meeting all gradation requirements for SW ( $C_u < 6$ or $1 > C_c > 3$ )		
	SC		Clayey sands, sand-clay mixtures				
			Atterberg limits below A line or $P_i < 4$	Limits plotting in hatched zone with $4 \leq P_i \leq 7$ are borderline cases requiring use of dual symbols			
			Atterberg limits above A line or $P_i > 7$				
	Fine-grained soils (more than half of material is smaller than No. 200)		Silt and clays (liquid limit $\leq 50$ )	ML	Inorganic silts and very fine sands, rock flour, silty or clayey fine sands, or clayey silts with slight plasticity	<ol style="list-style-type: none"> <li>Determine percentages of sand and gravel from grain size curve.</li> <li>Depending on percentages of fines (fraction smaller than 200 sieve size), coarse-grained soils are classified as follows:  Less than 5% - GW, GP, SW, SP  More than 12% - GM, GC, SM, SC  5-12% - Borderline cases requiring dual symbols</li> </ol>	
		CL		Inorganic clays of low to medium plasticity, gravelly clays, sandy clays, silty clays, lean clays			
OL		Organic silts and organic silty clays of low plasticity					
Silt and clays (liquid limit $> 50$ )		MH	Inorganic silts, micaceous or diatomaceous fine sandy or silty soils, elastic silts				
		CH	Inorganic clays or high plasticity, fat clays				
		OH	Organic clays of medium to high plasticity, organic silts				
Highly organic soils		PT	Peat and other highly organic soils				



**APPENDIX B**

**General Qualifications**

**and**

**Standard Clause for Unanticipated Subsurface Conditions**



**GENERAL QUALIFICATIONS**  
**of Patriot Engineering's Geotechnical Engineering Investigation**

This report has been prepared at the request of our client for his use on this project. Our professional services have been performed, findings obtained, and recommendations prepared in accordance with generally accepted geotechnical engineering principles and practices. This warranty is in lieu of all other warranties either expressed or implied.

The scope of our services did not include any environmental assessment or investigation for the presence or absence of wetlands, hazardous or toxic materials in the soil, groundwater, or surface water within or beyond the site studied. Any statements in this report or on the test borings logs regarding vegetation types, odors or staining of soils, or other unusual conditions observed are strictly for the information of our client and the owner.

This report may not contain sufficient information for purposes of other parties or other uses. This company is not responsible for the independent conclusions, opinions or recommendations made by others based on the field and laboratory data presented in this report. Should there be any significant differences in structural arrangement, loading or location of the structure, our analysis should be reviewed.

The recommendations provided herein were developed from the information obtained in the test borings, which depict subsurface conditions only at specific locations. The analysis, conclusions, and recommendations contained in our report are based on site conditions as they existed at the time of our exploration. Subsurface conditions at other locations may differ from those occurring at the specific drill sites. The nature and extent of variations between borings may not become evident until the time of construction. If, after performing on-site observations during construction and noting the characteristics of any variation, substantially different subsurface conditions from those encountered during our explorations are observed or appear to be present beneath excavations we must be advised promptly so that we can review these conditions and reconsider our recommendations where necessary.

If there is a substantial lapse of time between the submission of our report and the start of work at the site, or if conditions have changed due to natural causes or construction operations at or adjacent to the site, we urge that our report be reviewed to determine the applicability of the conclusions and recommendations considering the changed conditions and time lapse.

We urge that Patriot be retained to review those portions of the plans and specifications that pertain to earthwork and foundations to determine whether they are consistent with our recommendations. In addition, we are available to observe construction, particularly the compaction of structural backfill and preparation of the foundations, and such other field observations as may be necessary.

In order to fairly consider changed or unexpected conditions that might arise during construction, we recommend the following verbiage (Standard Clause for Unanticipated Subsurface Conditions) be included in the project contract.

## **STANDARD CLAUSE FOR UNANTICIPATED SUBSURFACE CONDITIONS**

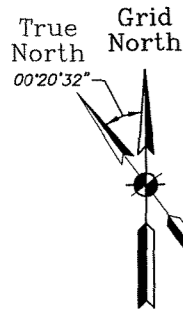
"The owner has had a subsurface exploration performed by a soils consultant, the results of which are contained in the consultant's report. The consultant's report presents his conclusions on the subsurface conditions based on his interpretation of the data obtained in the exploration. The contractor acknowledges that he has reviewed the consultant's report and any addenda thereto, and that his bid for earthwork operations is based on the subsurface conditions as described in that report. It is recognized that a subsurface exploration may not disclose all conditions as they actually exist and further, conditions may change, particularly groundwater conditions, between the time of a subsurface exploration and the time of earthwork operations. In recognition of these facts, this clause is entered in the contract to provide a means of equitable additional compensation for the contractor if adverse unanticipated conditions are encountered and to provide a means of rebate to the owner if the conditions are more favorable than anticipated.

At any time during construction operations that the contractor encounters conditions that are different than those anticipated by the soils consultant's report, he shall immediately (within 24 hours) bring this fact to the owner's attention. If the owner's representative on the construction site observes subsurface conditions which are different than those anticipated by the consultant's report, he shall immediately (within 24 hours) bring this fact to the contractor's attention. Once a fact of unanticipated conditions has been brought to the attention of either the owner or the contractor, and the consultant has concurred, immediate negotiations will be undertaken between the owner and the contractor to arrive at a change in contract price for additional work or reduction in work because of the unanticipated conditions. The contract agrees that the following unit prices would apply for additional or reduced work under the contract. For changed conditions for which unit prices are not provided, the additional work shall be paid for on a time and materials basis."

Another example of a changed conditions clause can be found in paper No. 4035 by Robert F. Borg, published in ASCE Construction Division Journal, No. CO2, September 1964, page 37.

# Lease Boundary and Topographic Survey Marion County, Kentucky

# Reduced Copy



### Basis of Bearings

The bearing system of this survey is based upon C.P.S. observations made on January 25, 2010 using the National Geodetic Survey monument "SPRINGPORT AZ MK" and the Kentucky State Plane Coordinate System, South Zone, NAD 1983 (2007). This system is grid north.

### Tower Location Information

Designation: Bradfordsville  
Site ID#: None  
Horizontal Datum: NAD 1983 (2007)  
Latitude: 37°29'15.28" North  
Longitude: 85°11'08.16" West  
Vertical Datum: NAVD 1988  
Ground Elevation: 766.6 feet (233.66 m)  
State Plane Coordinates  
Northing: 2,061,153.96 feet (628,240.983 m)  
Easting: 1,804,171.65 feet (549,912.619 m)

### Landowner Information

Landowner: Manuel Marlow  
Address: 5690 Highway 1157  
Lebanon, Kentucky 40033  
Contact Person: Manuel Marlow  
Phone: 270-337-3422  
PVA Map No. 074-023-02

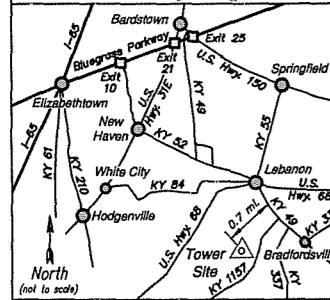
### Project Bench Mark

Northing: 2,061,054 feet (628,211 m)  
Easting: 1,804,249 feet (549,936 m)  
Elevation: 769.26 feet (234.471 m)  
Description: A MAG nail set in the north side of an 8" wood fence post, 12" above grade. The benchmark is approximately 126 feet southeast of the center of the tower.

### Flood Plain Statement

According to the Flood Insurance Rate Map for Marion County, Kentucky, Community Panel No. 211550285C, dated January 6, 2010, the subject site lies within "Other Areas - Zone X", which is defined as "Areas determined to be outside the 0.2% annual chance floodplain."

### Vicinity Map



### Directions to Site

From Elizabethtown, Kentucky: travel south on Kentucky Highway 210 to Hodgenville and U.S. Highway 31E; travel northeast on U.S. Highway 31E for about 5 miles to Kentucky Highway 84 in White City; travel east on Kentucky Highway 84 for about 25 miles to Kentucky Highway 2154 on the west side of Lebanon; turn right onto Kentucky Highway 2154 and travel south for 1.3 miles to U.S. Highway 68; turn left onto U.S. Highway 68 and travel east for 1.8 miles to downtown Lebanon and Kentucky Highway 49; turn right onto Kentucky Highway 49 and travel southeast for 7.4 miles to Kentucky Highway 1157, which is about 1.8 miles west of Bradfordsville; turn right onto Kentucky Highway 1157 and travel south for 0.7 miles to the tower site on the right or west side of the highway in a pasture near a barn.

### Proposed Self-Support Tower

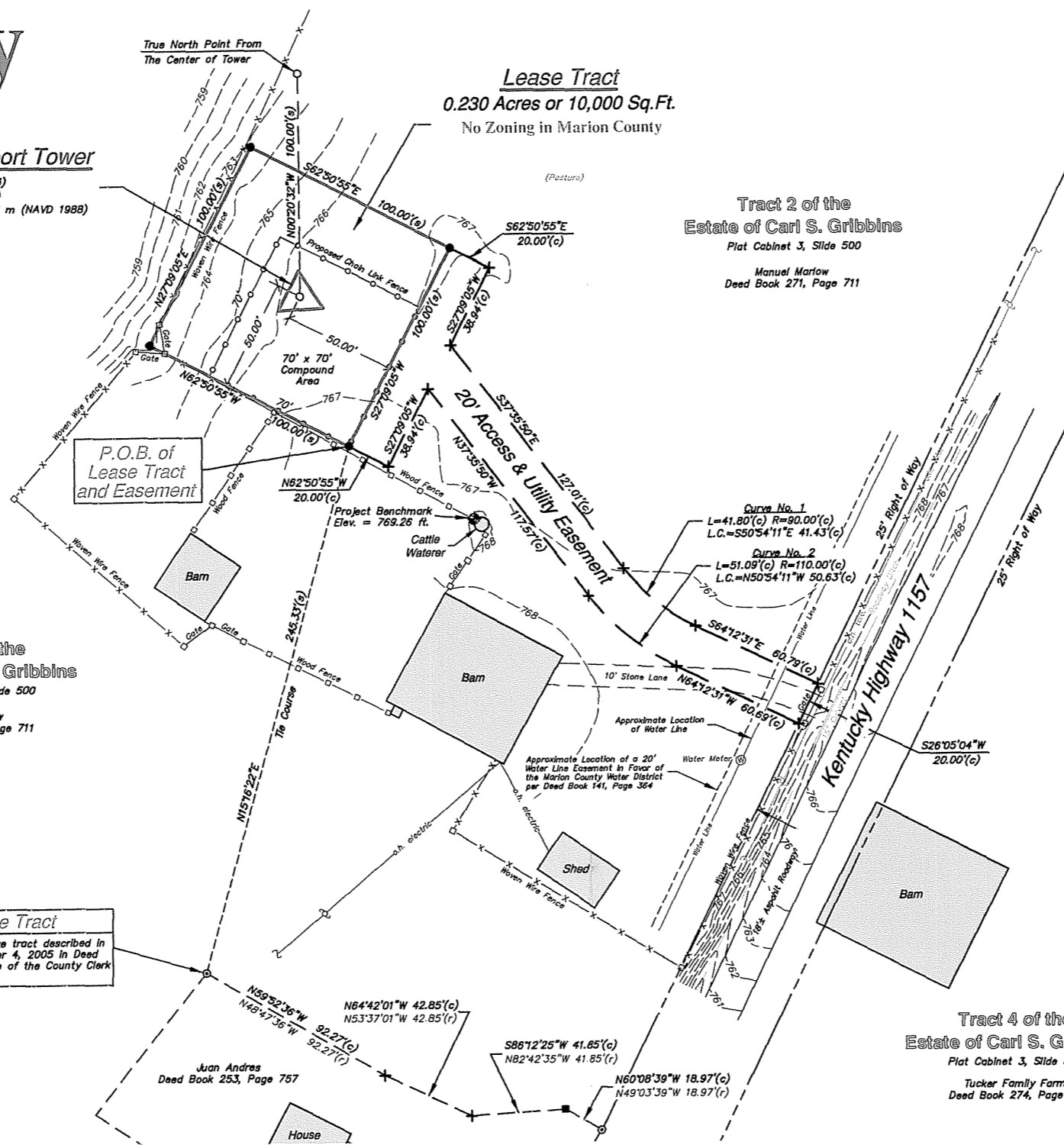
Lat. = 37°29'15.28" North (NAD 1983)  
Lon. = 85°11'08.16" West (NAD 1983)  
Ground Elev. = 766.6 feet or 233.66 m (NAVD 1988)

Tract 2 of the Estate of Carl S. Gribbins  
Plat Cabinet 3, Slide 500  
Manuel Marlow  
Deed Book 271, Page 711

P.O.C. of Lease Tract  
The north corner of the 0.40-acre tract described in deed to Juan Andres on November 4, 2005 in Deed Book 253, page 757 in the office of the County Clerk of Marion County, Kentucky.

- 1. This survey is subject to a statement of facts which may be disclosed by an Abstract of Title or a Title Commitment Policy. This documentation was not provided by the client.
- 2. No search of public records has been performed by this firm to determine any defects and/or ambiguities in the title of the parent tract.
- 3. The utilities shown on this plat may or may not represent all of the utilities located on the subject site. The presence of utilities was determined by a visual inspection of the property surface. No utility locate was called in prior to this survey. It shall be the responsibility of the contractor to locate utilities prior to construction.

- 4. The topographic information contained on this plat was as requested by the client and may or may not represent all of the topographic features located on the subject property.
- 5. According to John G. Mattingly, County Judge Executive of Marion County, no local planning unit exists which has geographical jurisdiction of the subject tower site. The County Judge Executive's Office may be contacted at 270-692-3451.
- 6. The proposed location of the Bradfordsville cell site will be located outside of an incorporated city.



Lease Tract  
0.230 Acres or 10,000 Sq.Ft.  
No Zoning in Marion County

Tract 2 of the Estate of Carl S. Gribbins  
Plat Cabinet 3, Slide 500  
Manuel Marlow  
Deed Book 271, Page 711

Tract 4 of the Estate of Carl S. Gribbins  
Plat Cabinet 3, Slide 500  
Tucker Family Farms  
Deed Book 274, Page 117

### Lease Boundary and Easement Description

A tract of land that is located 300 feet westerly of Kentucky Highway 1157 and 0.7 miles south of the intersection of said Highway and Kentucky Highway 49 in the Bradfordsville Community of Marion County, Kentucky; said tract is a portion of Tract 2 of the Estate of Carl S. Gribbins, as per plat or map thereof, recorded on May 9, 2008 in Plat Cabinet 3, Slide 500 in the office of the County Clerk of Marion County, Kentucky; said tract being described as follows:

COMMENCING AT a 1/2-inch rebar found flush with a survey cap inscribed "Anzelmo PLS 2688" at the north corner of the 0.40-acre tract described in deed to Juan Andres on November 4, 2005 in Deed Book 253, page 757 in the office of the County Clerk of Marion County, Kentucky; said rebar also being a corner in the southern boundary of the aforesaid Tract 2; thence North 15 degrees 16 minutes 22 seconds East 245.33 feet to a 5/8-inch rebar set flush with a survey cap inscribed "D.L. Helms PLS 3386" (referred to as a rebar in the remainder of this description) at the POINT OF BEGINNING of this description; thence North 62 degrees 50 minutes 55 seconds West 100.00 feet to a rebar set flush; thence North 27 degrees 09 minutes 05 seconds East 100.00 feet to a rebar set flush; thence South 62 degrees 50 minutes 55 seconds East 100.00 feet to a rebar set flush; thence South 27 degrees 09 minutes 05 seconds West 100.00 feet to the point of beginning and containing 0.230 acres (10,000 square feet), more or less.

TOGETHER WITH an access and utility easement from the above-described 0.230-acre lease tract to Kentucky Highway 1157; said easement being described as follows: BEGINNING AT a 5/8-inch rebar set flush with a survey cap inscribed "D.L. Helms PLS 3386" at the south corner of the above-described 0.230-acre lease; thence North 27 degrees 09 minutes 05 seconds East 100.00 feet to a 5/8-inch rebar set flush with said Helms survey cap at the east corner of the above-described 0.230-acre lease tract; thence South 62 degrees 50 minutes 55 seconds East 20.00 feet; thence South 27 degrees 09 minutes 05 seconds East 100.00 feet; thence South 37 degrees 35 minutes 50 seconds East 127.01 feet; thence Southwesterly 41.80 feet along an arc to the left and having a radius of 90.00 feet and subtended by a long chord having a bearing of South 50 degrees 54 minutes 11 seconds East and a length of 41.43 feet; thence South 64 degrees 12 minutes 31 seconds East 60.79 feet to the northwestern right of way of Kentucky Highway 1157 (25 feet from the centerline); thence along said right of way, South 26 degrees 05 minutes 04 seconds West 20.00 feet; thence North 64 degrees 12 minutes 31 seconds West 60.69 feet; thence Northwesterly 51.09 feet along an arc to the right and having a radius of 110.00 feet and subtended by a long chord having a bearing of North 50 degrees 54 minutes 11 seconds West and a length of 50.65 feet; thence North 37 degrees 35 minutes 50 seconds West 117.57 feet; thence South 27 degrees 09 minutes 05 seconds West 38.94 feet; thence North 62 degrees 50 minutes 55 seconds West 20.00 feet to the point of beginning.

The bearing system of these descriptions is based upon the Kentucky State Plane Coordinate System, South Zone, NAD 1983 (2007), as determined by C.P.S. observations made on January 25, 2010 using the National Geodetic Survey monument "SPRINGPORT AZ MK". These descriptions are based upon a survey completed by Landmark Surveying Co., Inc. and certified by Darren L. Helms, P.L.S. 3386, on January 29, 2010. This survey is hereby referenced and made a part of these descriptions.

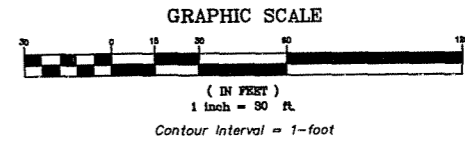
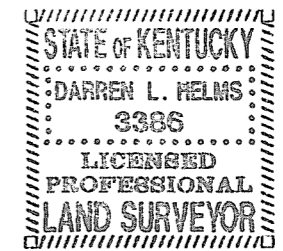
SOURCE OF TITLE: Being a portion of and lying entirely within the land described in deed to Manuel Marlow on June 6, 2008 in Deed Book 271, page 711 in the office of the County Clerk of Marion County, Kentucky.

### Surveyor's Certification

I hereby certify that this plat has been compiled from a survey actually made upon the ground under my direct supervision on January 25, 2010 by the method of random traverse with sightings. The unadjusted precision ratio of the traverse was 1:82,200 and it was not adjusted. This survey is a Class B survey and the accuracy and precision of this survey meets all the specifications of this class.

Signature: Darren L. Helms  
Darren L. Helms, P.L.S. 3386

Date: JAN. 29, 2010



- 5/8" Rebar Set Flush With A Survey Cap Inscribed "D.L. Helms PLS 3386"
- 5/8" Rebar Set Flush - No Cap
- ⊙ 1/2" Rebar Found Flush With A Survey Cap Inscribed "Anzelmo PLS 2688"
- 4" Wood Post Found
- ⊗ Calculated Position - No Monument Found or Set
- Subject Boundaries
- Easement Boundaries
- - - Other Boundaries
- - - Right of Way
- ⊕ Utility Pole
- Utility As Noted
- (m) Measured
- (r) Recorded
- (c) Calculated
- (s) Set

Landmark Surveying Co., Inc.  
15 NE 3rd Street  
Washington, Indiana 47501  
(812) 257-0850  
Email: landmark@landmarksurvey.com  
Project No. 10-01-0103

Lease Boundary Survey  
5210 Highway 1157  
Lebanon, Kentucky 40033

Bluegrass Cellular  
2902 Ring Road  
Elizabethtown, Kentucky 42701

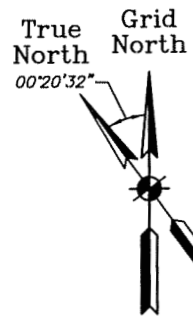
REVISIONS	DATE

DATE: 1-29-10  
DRAWN BY: A. Hinkler  
CHECKED BY: D.L. Helms

SHEET NO. 1 OF 1 SHEETS  
FILE NO. brod.dwg



# Site: Bradfordsville Lease Boundary and Topographic Survey Marion County, Kentucky



## Proposed Self-Support Tower

Lat. = 37°29'15.28" North (NAD 1983)  
Lon. = 85°11'08.16" West (NAD 1983)  
Ground Elev. = 766.6 feet or 233.66 m (NAVD 1988)

### Basis of Bearings

The bearing system of this survey is based upon G.P.S. observations made on January 25, 2010 using the National Geodetic Survey monument "SPRINGPORT AZ MK" and the Kentucky State Plane Coordinate System, South Zone, NAD 1983 (2007). This system is grid north.

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Easting: 1,804,171.65 feet (549,912.619 m)

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Contact Person: Manuel Marlow  
Phone: 270-337-3422  
PVA Map No. 074-023-02

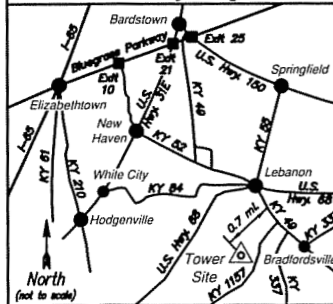
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### Vicinity Map

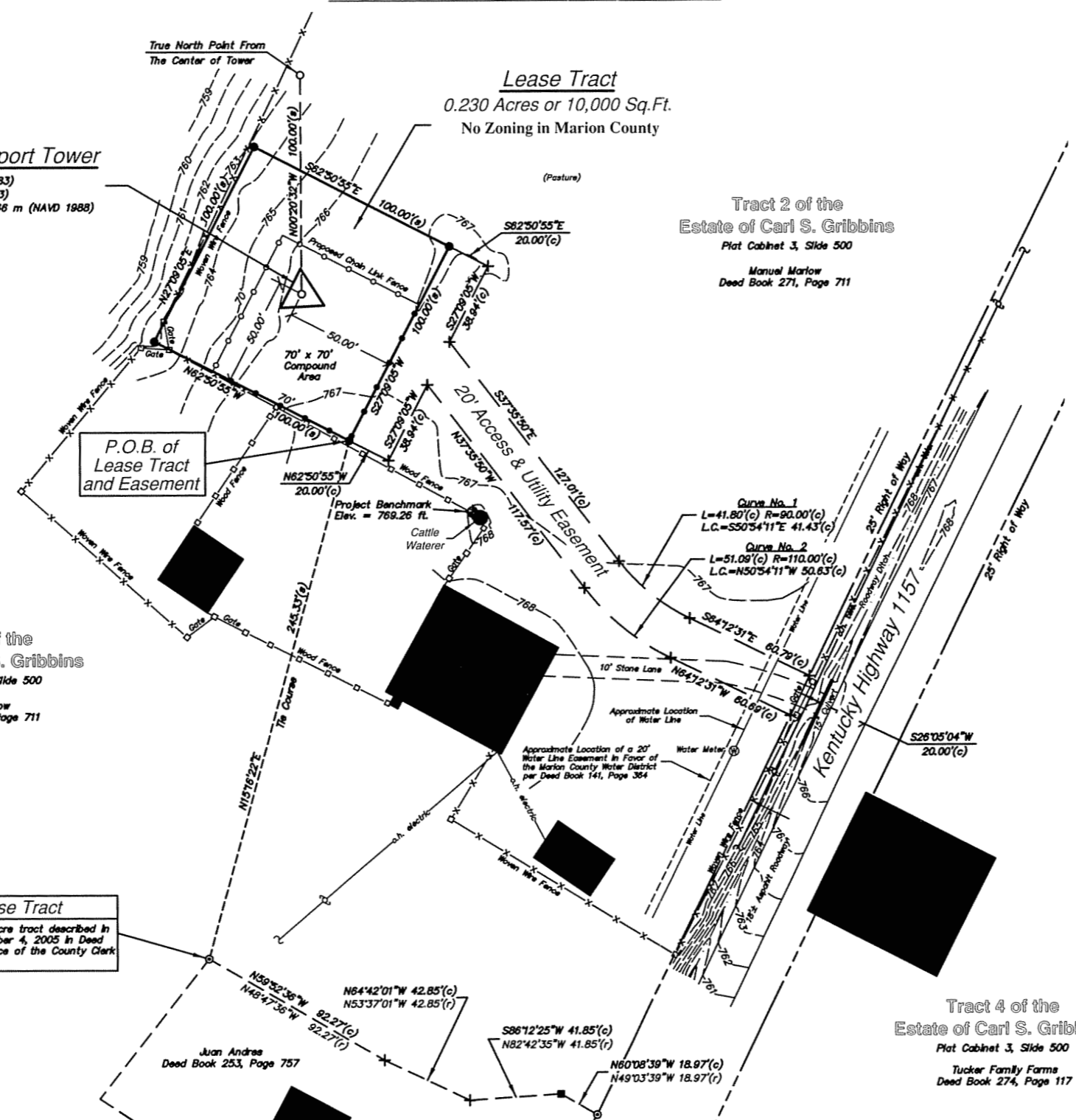


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## P.O.C. of Lease Tract

The north corner of the 0.40-acre tract described in deed to Juan Andres on November 4, 2005 in Deed Book 253, page 757 in the office of the County Clerk of Marion County, Kentucky.



### Surveyor's Notes

- This survey is subject to a statement of facts which was as requested by the client and may or may not represent all of the topographic features located on the subject property.
- No search of public records has been performed by this firm to determine any defects and/or ambiguities in the title of the parent tract.
- The utilities shown on this plot may or may not represent all of the utilities located on the subject site. The presence of utilities was determined by a visual inspection of the property surface. No utility locate was called in prior to this survey. It shall be the responsibility of the contractor to locate utilities prior to construction.
- The topographic information contained on this plot was as requested by the client and may or may not represent all of the topographic features located on the subject property.
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- The proposed location of the Bradfordsville cell site will be located outside of an incorporated city.

- ### Legend
- 5/8" Rebar Set Flush With A Survey Cap Inscribed "D.L. Helms PLS 3386"
  - 5/8" Rebar Set Flush - No Cap
  - ⊙ 1/2" Rebar Found Flush With A Survey Cap Inscribed "Anzelmo PLS 2688"
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  - X Calculated Position - No Monument Found or Set
  - Subject Boundaries
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  - - - Right of Way
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  - Utility As Noted
  - (m) Measured
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  - (s) Set

### Lease Boundary and Easement Description

A tract of land that is located 300 feet westerly of Kentucky Highway 1157 and 0.7 miles south of the intersection of said Highway and Kentucky Highway 49 in the Bradfordsville Community of Marion County, Kentucky; said tract is a portion of Tract 2 of the Estate of Carl S. Gribbins, as per plat or map thereof, recorded on May 9, 2008 in Plat Cabinet 3, Slide 500 in the office of the County Clerk of Marion County, Kentucky; said tract being described as follows:

COMMENCING AT A 1/4-inch rebar found flush with a survey cap inscribed "Anzelmo PLS 2688" at the north corner of the 0.40-acre tract described in deed to Juan Andres on November 4, 2005 in Deed Book 253, page 757 in the office of the County Clerk of Marion County, Kentucky; said rebar also being a corner in the southern boundary of the aforesaid Tract 2; thence North 15 degrees 16 minutes 22 seconds East 245.33 feet to a 5/8-inch rebar set flush with a survey cap inscribed D.L. Helms PLS 3386 (referred to as a rebar in the remainder of this description) at the POINT OF BEGINNING of this description; thence North 62 degrees 50 minutes 55 seconds West 100.00 feet to a rebar set flush; thence North 27 degrees 09 minutes 05 seconds East 100.00 feet to a rebar set flush; thence South 27 degrees 09 minutes 05 seconds West 100.00 feet to the point of beginning and containing 0.230 acres (10,000 square feet), more or less.

TOGETHER WITH an access and utility easement from the above-described 0.230-acre lease tract to Kentucky Highway 1157; said easement being described as follows: BEGINNING AT a 5/8-inch rebar set flush with a survey cap inscribed D.L. Helms PLS 3386 at the south corner of the above-described 0.230-acre lease; thence North 27 degrees 09 minutes 05 seconds East 100.00 feet to a 5/8-inch rebar set flush with said Helms survey cap at the east corner of the above-described 0.230-acre lease tract; thence South 62 degrees 50 minutes 55 seconds East 20.00 feet; thence South 27 degrees 09 minutes 05 seconds West 38.94 feet; thence South 37 degrees 35 minutes 50 seconds East 127.01 feet; thence Southeast 41.80 feet along an arc to the left and having a radius of 90.00 feet and subtended by a long chord having a bearing of South 50 degrees 54 minutes 11 seconds East and a length of 41.43 feet; thence South 64 degrees 12 minutes 31 seconds East 60.79 feet to the northwestern right of way of Kentucky Highway 1157 (25 feet from the centerline); thence, along said right of way, South 26 degrees 05 minutes 04 seconds West 20.00 feet; thence North 64 degrees 12 minutes 31 seconds West 60.69 feet; thence Northwest 51.09 feet along an arc to the right and having a radius of 110.00 feet and subtended by a long chord having a bearing of North 50 degrees 54 minutes 11 seconds West and a length of 50.63 feet; thence North 37 degrees 35 minutes 50 seconds West 38.94 feet; thence South 27 degrees 09 minutes 05 seconds West 20.00 feet to the point of beginning.

The bearing system of these descriptions is based upon the Kentucky State Plane Coordinate System, South Zone, NAD 1983 (2007), as determined by G.P.S. observations made on January 25, 2010 using the National Geodetic Survey monument "SPRINGPORT AZ MK". These descriptions are based upon a survey completed by Landmark Surveying Co., Inc. and certified by Darren L. Helms, P.L.S. 3386, on January 29, 2010. This survey is hereby referenced and made a part of these descriptions.

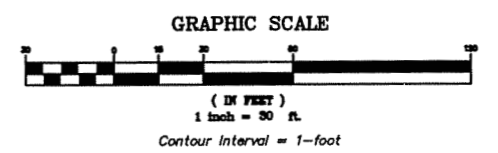
SOURCE OF TITLE: Being a portion of and lying entirely within the land described in deed to Manuel Marlow on June 5, 2008 in Deed Book 271, page 711 in the office of the County Clerk of Marion County, Kentucky.

### Surveyor's Certification

I hereby certify that this plat has been compiled from a survey actually made upon the ground under my direct supervision on January 25, 2010 by the method of random traverse with sideshots. The unadjusted precision ratio of the traverse was 1:82,200 and it was not adjusted. This survey is a Class B survey and the accuracy and precision of this survey meets all the specifications of this class.

Darren L. Helms, P.L.S. 3386

Date



Landmark Surveying Co., Inc.  
15 N.E. 3rd Street  
Washington, Indiana 47501  
(812) 257-0850  
Email: landmark@landmark.com  
Project No. 10-01-013



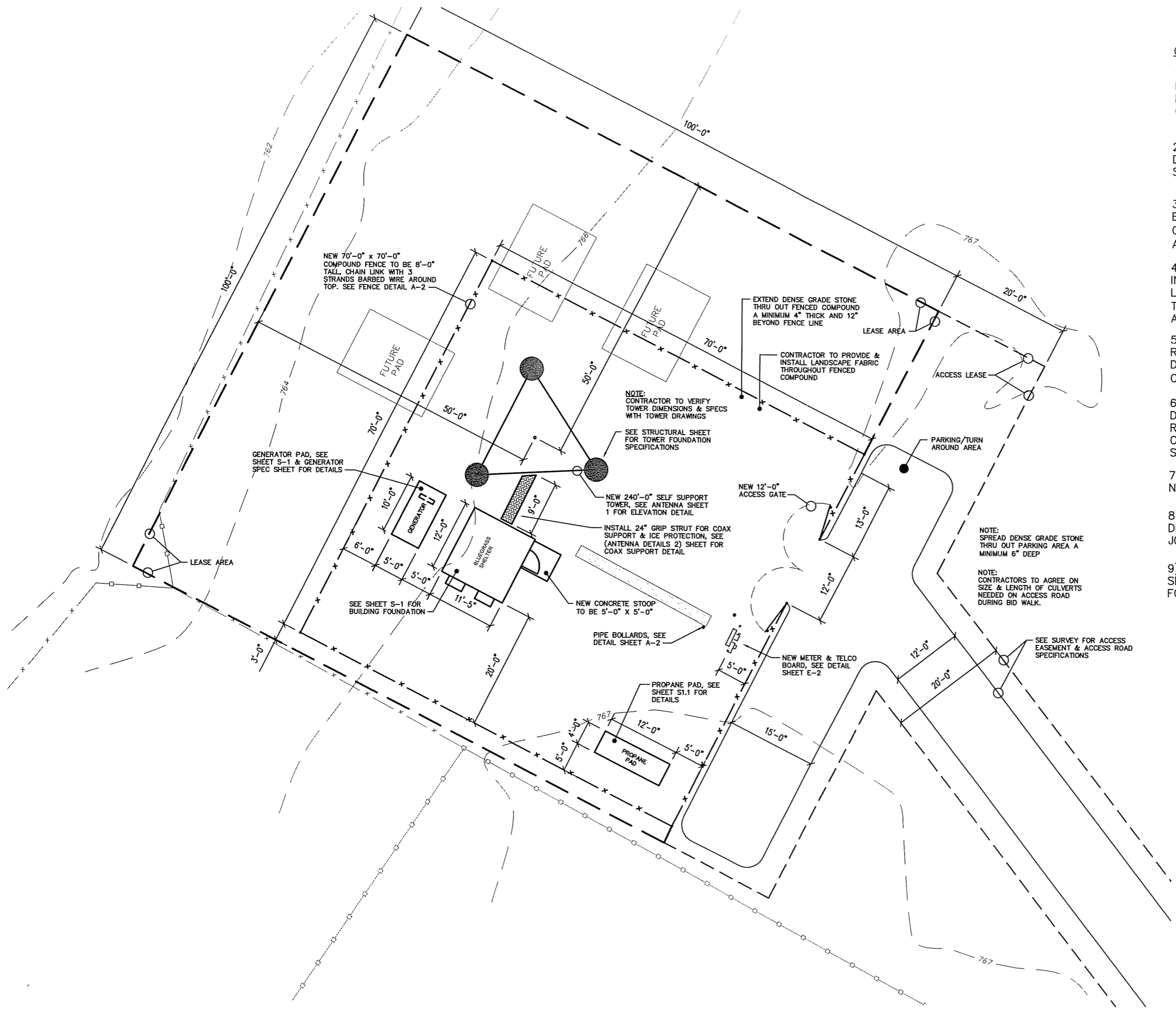
Lease Boundary Survey  
5210 Highway 1157  
Lebanon, Kentucky 40033

Bluegrass Cellular  
2902 Ring Road  
Elizabethtown, Kentucky 42701

REVISIONS	DATE

DATE 1-29-10  
DRAWN BY A. Walker  
CHECKED BY D.L. Helms

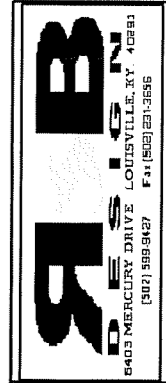
SHEET NO. 1  
OF 1 SHEETS  
FILE NO. brod.dwg



**GENERAL NOTES:**

- 1) EQUIPMENT PICK-UP AND DELIVERY TO SITE FROM BLUEGRASS CELLULAR STAGING FACILITY TO BE THE CONTRACTORS RESPONSIBILITY, INCLUDING CRANE SET, AND ALL COST INCURRED.
- 2) FOR BUILDING AND ALL CONCRETE PAD DETAILS REFER TO STRUCTURALS AND SHEET S1.1
- 3) ANY DAMAGE DUE TO CONSTRUCTION, TO BE REPAIRED OR REPLACED TO ORIGINAL CONDITION. (SUBJECT TO BLUEGRASS CELLULAR'S APPROVAL).
- 4) ANY DAMAGE OF NATURAL SURROUNDINGS, INCLUDING BUT NOT LIMITED TO, GRASS, TREES, LANDSCAPING, ETC.. TO BE REPAIRED OR REPLACED TO ORIGINAL CONDITION AT BLUEGRASS CELLULAR'S APPROVAL.
- 5) ROADWAYS TO BE GRADED SMOOTH AND EVEN, REMOVING ALL POTHOLES. ROADS TO HAVE PROPER DRAINAGE AND RUNOFF PER BLUEGRASS CELLULAR'S APPROVAL.
- 6) ANY RELOCATION OF EXISTING UTILITIES TO BE DONE IN ACCORDANCE WITH LOCAL CODES AND RECOMMENDATIONS, CONSULTING ALL UTILITY COMPANIES INVOLVED FOR APPROVAL AND SPECIFICATIONS REQUIRED.
- 7) FOR GRADING DETAILS, SEE GENERAL NOTESHEET
- 8) CONTRACTOR TO FIELD VERIFY ALL TOWER DIMENSIONS WITH TOWER MANUFACTURER PRIOR TO JOB BIDDING OR START OF ANY CONSTRUCTION
- 9) CONTRACTOR RESPONSIBLE FOR APPLYING FOR SERVICE TO SITE AND PAYING ANY FEES REQUIRED FOR PERMITS, HOOKUP, ETC..

**SITE PLAN**  
SCALE: 1/16" = 1'-0"

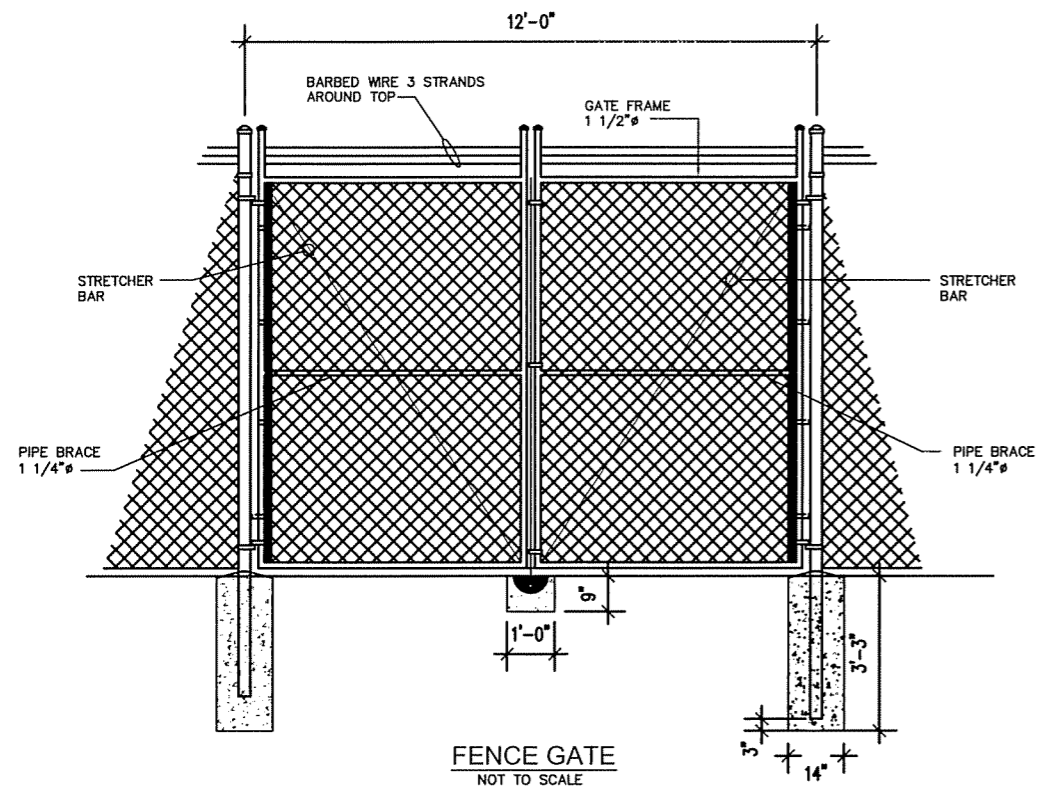


**BLUEGRASS CELLULAR, INC.**  
**STANDARD CELLULAR SITE**  
**BRADFORDSVILLE**  
5210 HWY. 1157 LEBANON, KY. 40033

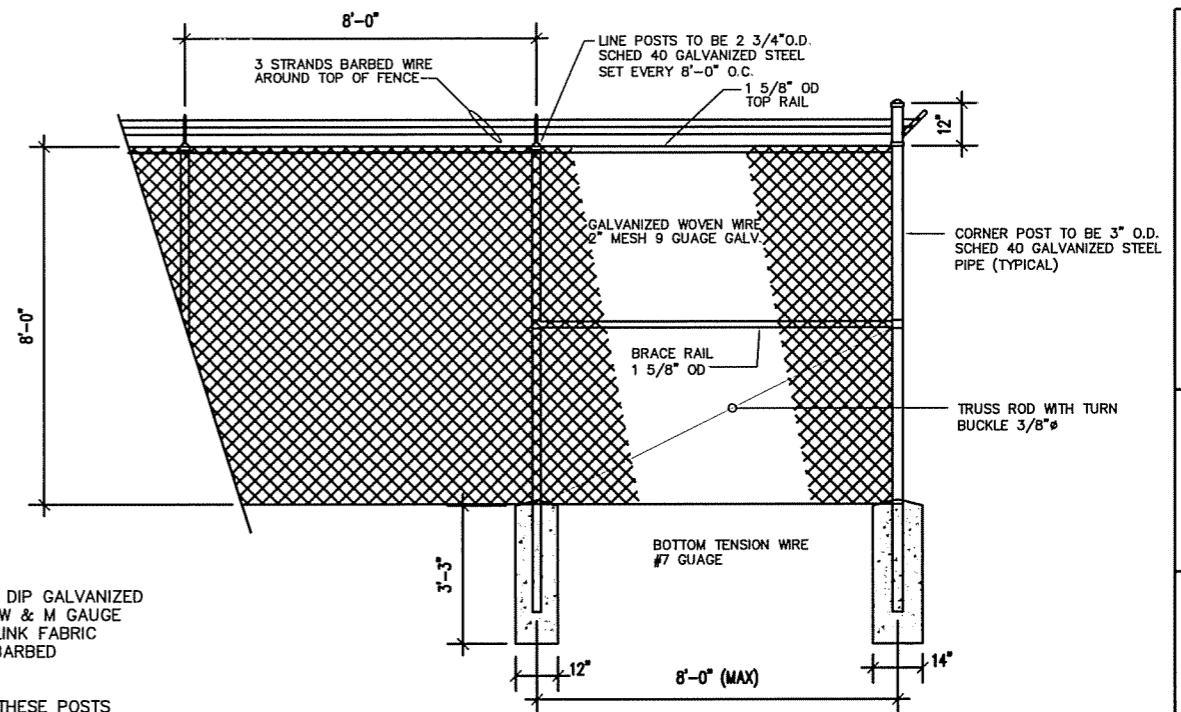
DRAWN BY:	R. BECKER
ISSUE DATE:	3-02-10
SCALE:	LISTED

SHEET NUMBER  
**A-1**

NO.	DATE	REVISION



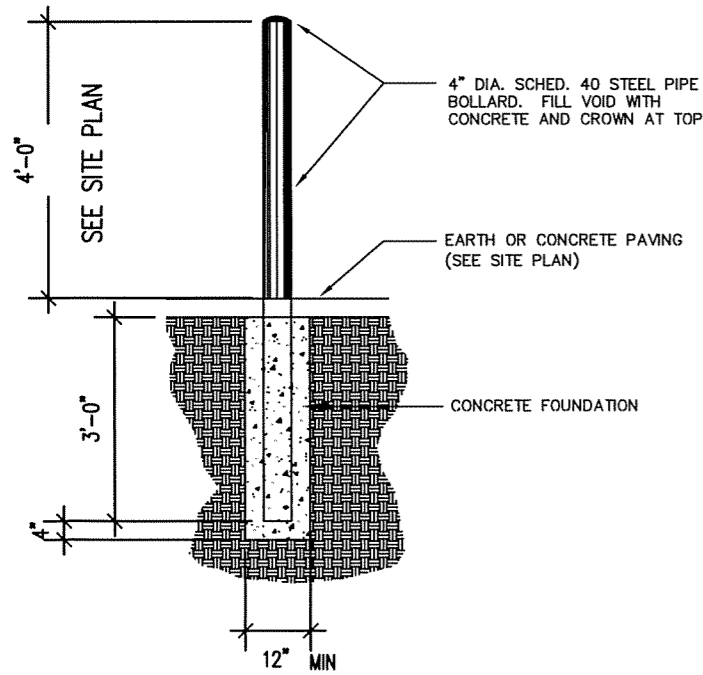
**FENCE GATE**  
NOT TO SCALE



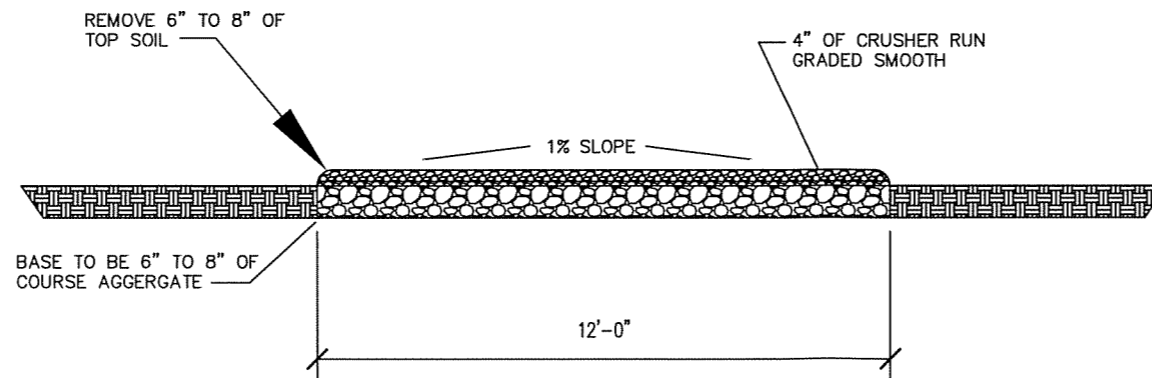
**FENCE DETAIL END POLES**  
NOT TO SCALE

**CHAIN LINK FENCING NOTES:**

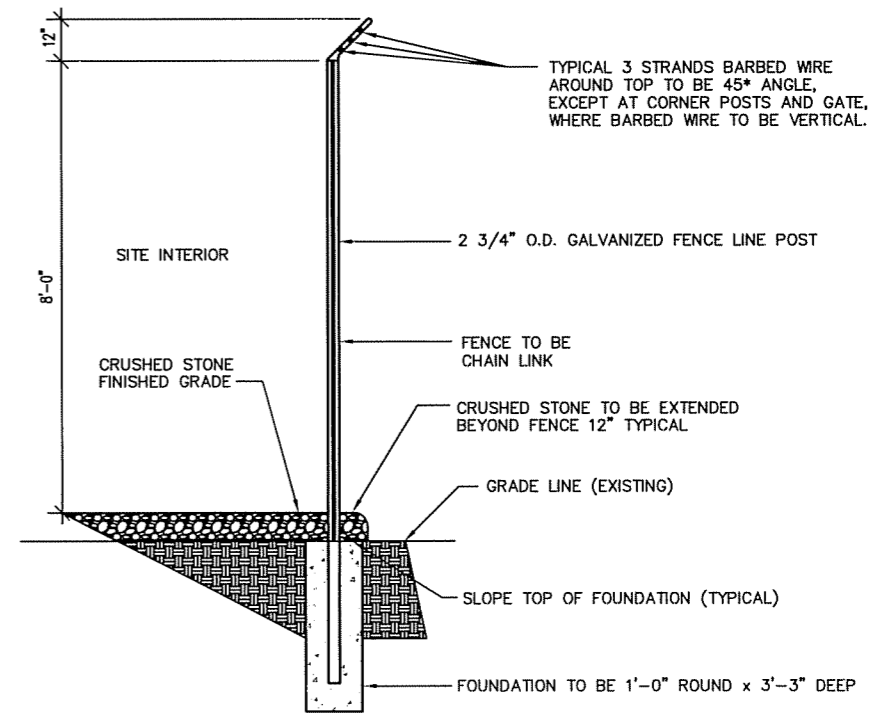
- 1 **FABRIC:** THE FABRIC SHALL BE COMPOSED OF INDIVIDUAL HOT DIP GALVANIZED WIRE PICKETS HELICALLY WOUND AND INTERWOVEN FROM NO.9 W & M GAUGE COPPER BEARING STEEL WIRE TO FORM A CONTINUOUS CHAIN LINK FABRIC HAVING A 2" MESH. TOP EDGES SHALL HAVE A TWISTED AND BARBED
- 2 **POSTS:** SHALL BE 2 3/4" O.D. SS 40 PIPE HOT GALVANIZED. THESE POSTS SHALL BE SPACED APPROXIMATELY 8'-0" ON CENTERS AND SET FULL 3'-3" IN BELL - SHAPED CONCRETE FOOTING, CROWNED AT TOP TO SHED WATER.
- 3 **TOP RAIL:** SHALL BE 1 5/8" O.C. STANDARD PIPE HOT GALVANIZED AND SHALL BE FURNISHED IN RANDOM LENGTHS AVERAGING NOT LESS THAN 20'.
- 4 **FABRIC TIES:** FOR ATTACHING FABRIC TO LINE POST, TOP RAIL OR TOP WIRE, SHALL BE ALUMINUM STRIP OF WIRE OF APPROVED GAUGE AND DESIGN. USED ON TOP OF RAIL EVERY 24" AND ONE POST EVERY 12'.
- 5 **EXTENSION ARMS:** CAST STEEL GALVANIZED TO ACCOMODATE 3 STRANDS OF BARB WIRE, SINGLE ARM SLOPED TO 45°, AND VERTICAL ON TOP OF SWING GATES.
- 6 **BARBED WIRE (STEEL):** ASTM A121 GALVANIZED STEEL, 12 GAUGE THICK WIRE, 3 STRANDS 4 POINTS AT 3" O.C.
- 7 **SWING GATE POSTS:** SHALL BE 3" O.C. STANDARD HOT GALVANIZED, WEIGHING 5.79 LBS. PER FOOT.
- 8 **GATES: (a) SWING GATES:** 2" O.C. STANDARD PIPE WITH INTERNAL BRACING OF 1 5/8" O.D. STANDARD PIPE; WELDED AT ALL JOINTS TO PROVIDE RIGID WATERTIGHT CONSTRUCTION. FABRIC SAME AS FENCE.
- 9 FENCE TO BE 100% ERECTED WITHIN TEN(10) DAYS OF COMPLETION OF CONSTRUCTION, IF TIME FRAME CANNOT BE MET, PLEASE NOTIFY PROJECT SUPERVISOR.
- 10 FENCE STOPS TO BE PLACED ON INSIDE OF COMPOUND PER ACCESS GATE SPECIFICATIONS.



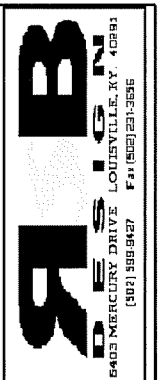
**BOLLARD DETAIL**  
NOT TO SCALE



**ROAD DETAIL**  
NOT TO SCALE



**FENCE DETAIL LINE POLES**  
NOT TO SCALE



REVISION

NO. DATE

**BLUEGRASS CELLULAR, INC.**  
**STANDARD CELLULAR SITE**  
**BRADFORDSVILLE**  
5210 HWY. 1157 LEBANON, KY. 40033

DRAWN BY: R. BECKER  
ISSUE DATE: 3-02-10  
SCALE: LISTED

SHEET NUMBER

A-2

ALL LINES AND ANTENNAS TO BE PROPERLY MOUNTED TO TOWER OR STRUCTURE PER BLUEGRASS CELLULAR SPECIFICATIONS.

ALL GROUND BARS TO BE INSTALLED AND CAD WELDED TO GROUND FIELD (WHERE REQUIRED)

ALL LINES TO BE GROUNDED AT THE TOP AND BASE OF STRUCTURE OR TOWER.

ALL LINES TO BE GROUNDED AT ENTRANCE OF SHELTER BEFORE WAVE GUIDE PORTS. (EXTERIOR OF BUILDING)

LINES ARE TO BE SECURED TO ICE BRIDGE

WAVE-GUIDE BOOTS ARE TO BE INSTALLED ON ALL LINES (BOTH INSIDE AND OUTSIDE)

ALL COAX CONNECTIONS ARE TO BE WEATHER PROOFED.

INVENTORY OF ALL MATERIAL IS TO BE DONE PRIOR TO INSTALLATION BY CONTRACTOR. (LIST WILL BE PROVIDED)

ALL TRASH AND REFUGE IS TO BE PROPERLY DISPOSED OF.

CONTRACTOR TO EXTEND HARDLINES INTO BUILDING 12" & INSTALL POLYPHASERS AND GROUNDING, PER INSTRUCTION OF PROJECT SUPERVISOR.

GENERAL CONTRACTOR TO MOUNT ANTENNA MOUNTS AT TOP OF STRUCTURE OR TOWER BY BLUEGRASS CELLULAR SPECIFICATIONS.

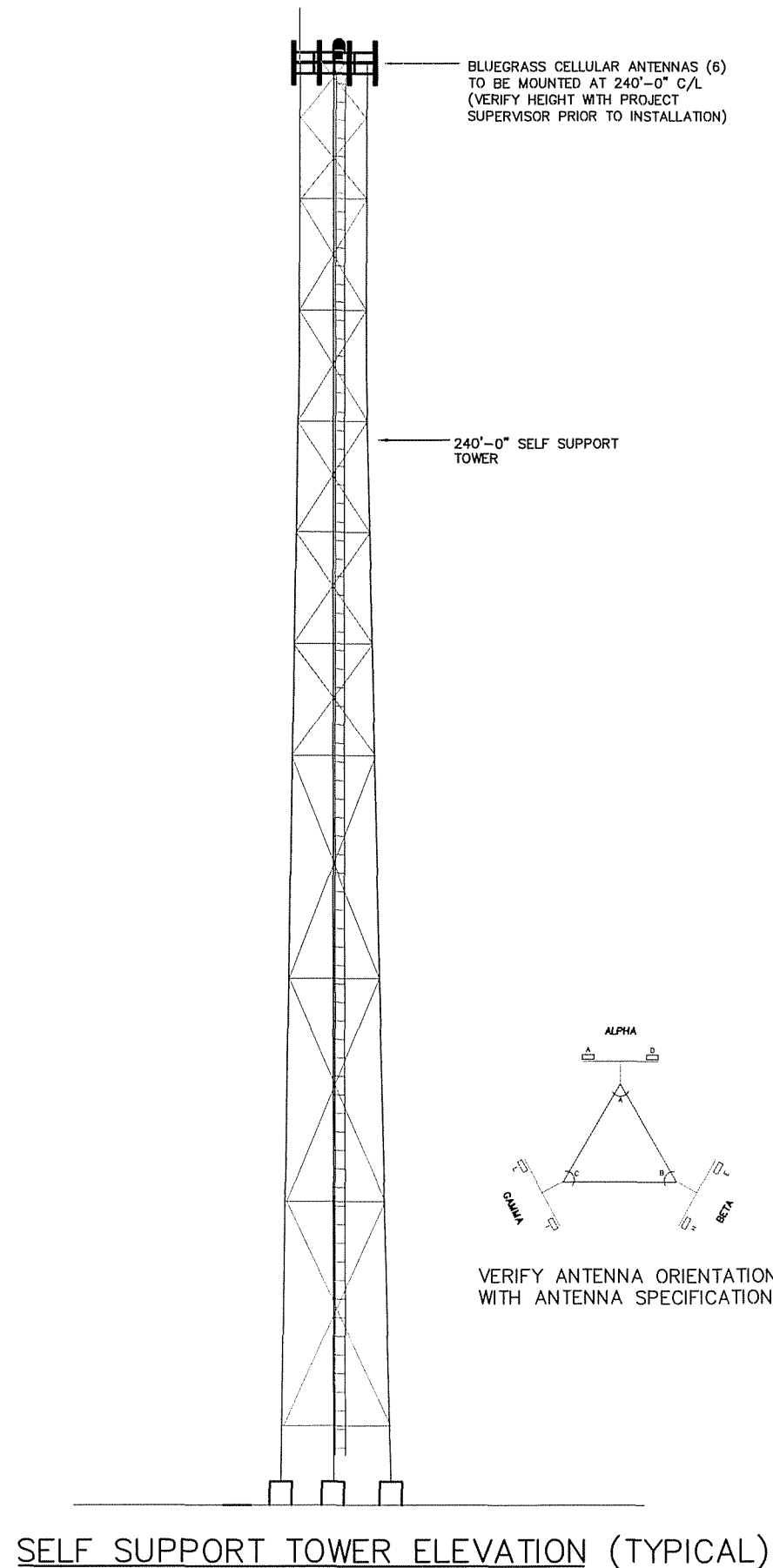
ICE BRIDGE TO BE SUPPLIED AND INSTALLED BY GENERAL CONTRACTOR. (Additional Ice Bridge if needed)

TRAPEZE KIT TO BE SUPPLIED AND INSTALLED BY GENERAL CONTRACTOR.

CONTRACTOR TO INSTALL GPS BRACKET & ANTENNAS COMPLETE.

CONTRACTOR TO INSTALL LIGHTING SYSTEM PER FAA ADVISORY 70/7460-1K CHANGE 2, OBSTRUCTION MARKING AND LIGHTING, A MED-DUAL SYSTEM - CHAPTERS 4,8(M-DUAL), & 12

## BLUEGRASS CELLULAR GENERAL NOTES & ANTENNA SPECS



### TOWER HEIGHT & TYPE

240'-0" SELF SUPPORT TOWER

### ANTENNA SPECS

	TYPE	SIZE L x W x D	NUMBER	AZIMUTH	MOUNTING HEIGHT
ANTENNA (PRIMARY)	AP13-880-850D-ADT-XP	L=78.6 W=10.3 D=4.6	6	95*, 215*, 335*	240'-0" C/L <small>VERIFY WITH CONSTRUCTION SUPERVISOR</small>
ANTENNA (SECONDARY)					

### ANTENNA MOUNTING HARDWARE SPECS

	TYPE	SIZE	NUMBER
MOUNT (PRIMARY)	TRI-SECTOR MOUNT		3
MOUNT (SECONDARY)			

### ANTENNA TRANSMISSION LINES SPECS

	TYPE	SIZE	NUMBER
TRANSMISSION LINE (PRIMARY)	ANDREW	1-5/8"	6
TRANSMISSION LINE (SECONDARY)			

### DISH SPECS

	MICROWAVE/DONOR	SIZE	NUMBER	AZIMUTH	MOUNTING HEIGHT
DISH #1					
DISH #2					

### DISH MOUNT SPECS

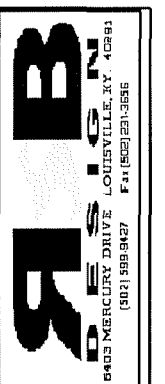
	TYPE	SIZE	NUMBER
MOUNT #1			
MOUNT #2			

### DISH TRANSMISSION LINES

	TYPE	SIZE	NUMBER
TRANSMISSION LINE #1			
TRANSMISSION LINE #2			

### ANTENNA SYNOPSIS

- \* ANTENNAS TO HAVE A 2\*E
- \* ANTENNA FREQUENCY 880.00 - 890.00



REVISION

DATE

NO.

BLUEGRASS CELLULAR, INC.  
STANDARD CELLULAR SITE  
**BRADFORDSVILLE**  
5210 HWY. 1157 LEBANON, KY. 40033

DRAWN BY: R. BECKER

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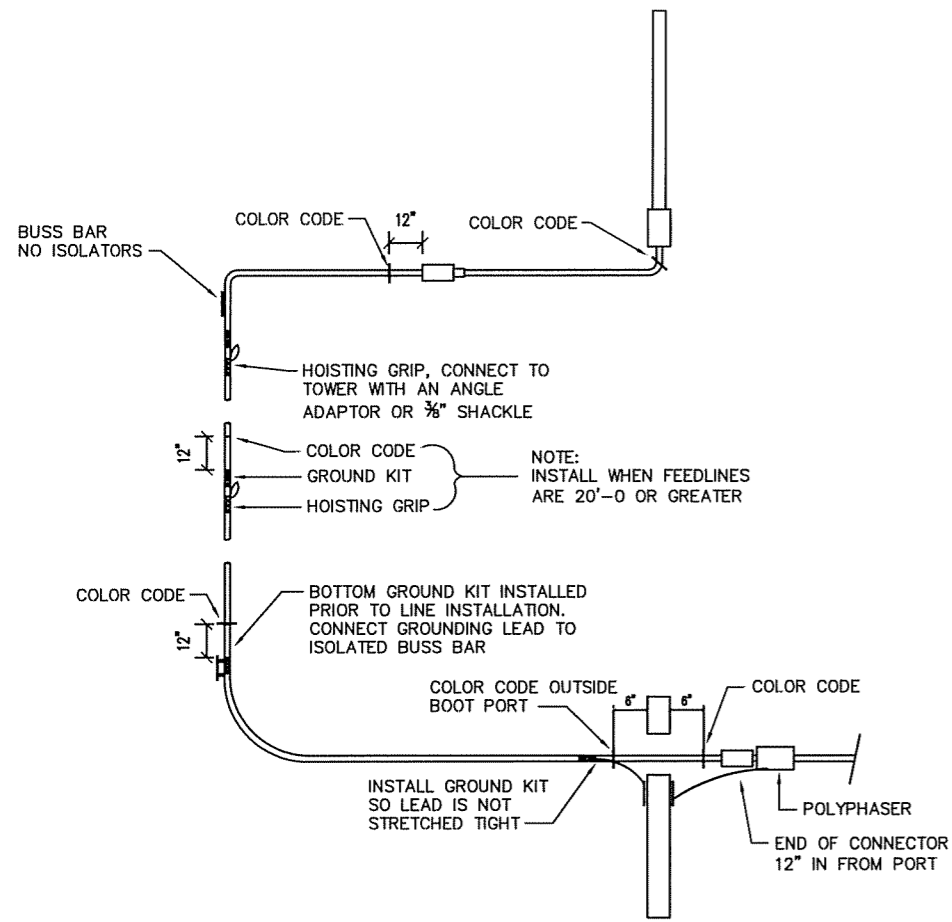
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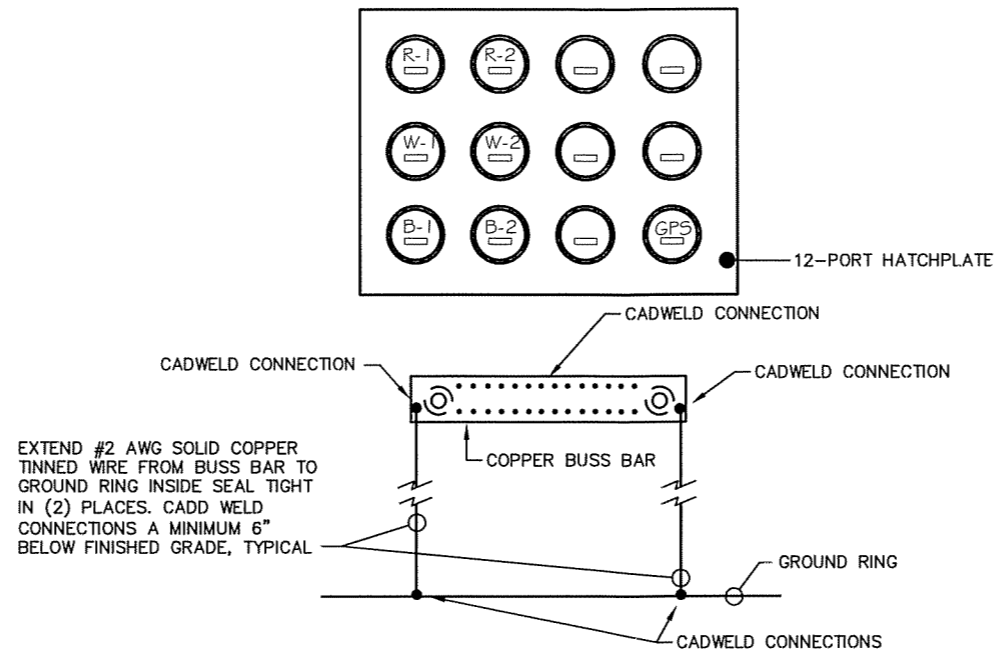
ANTENNA DETAILS

1

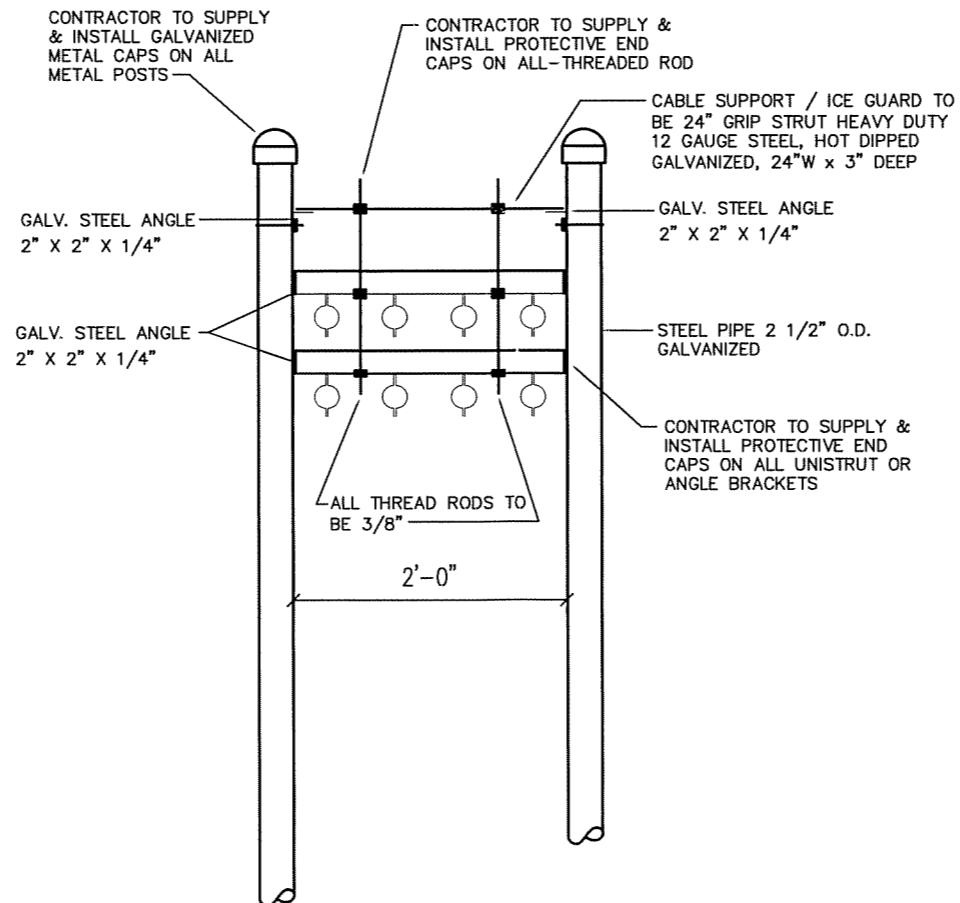




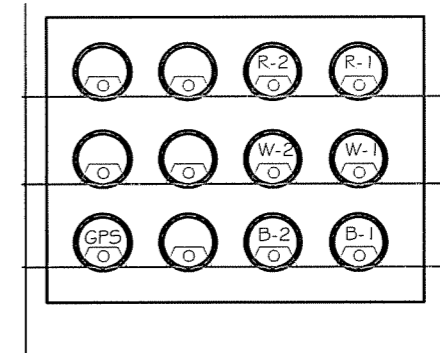
**COLOR CODING DETAIL**  
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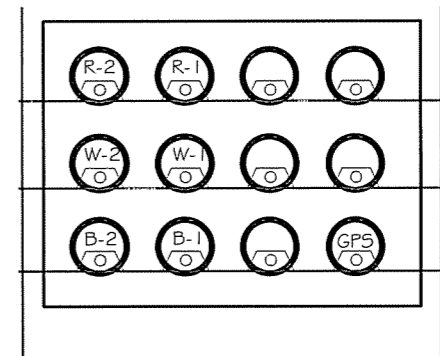
**BOOT PORT GROUNDING DETAIL**  
NO SCALE



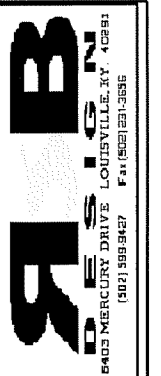
**ICE BRIDGE / COAX SUPPORT DETAIL**  
NO SCALE



**COAX ENTRY DETAIL POWER SIDE**  
(VIEW FROM INSIDE SHELTER)  
NO SCALE



**COAX ENTRY DETAIL A/C SIDE**  
(VIEW FROM INSIDE SHELTER)  
NO SCALE

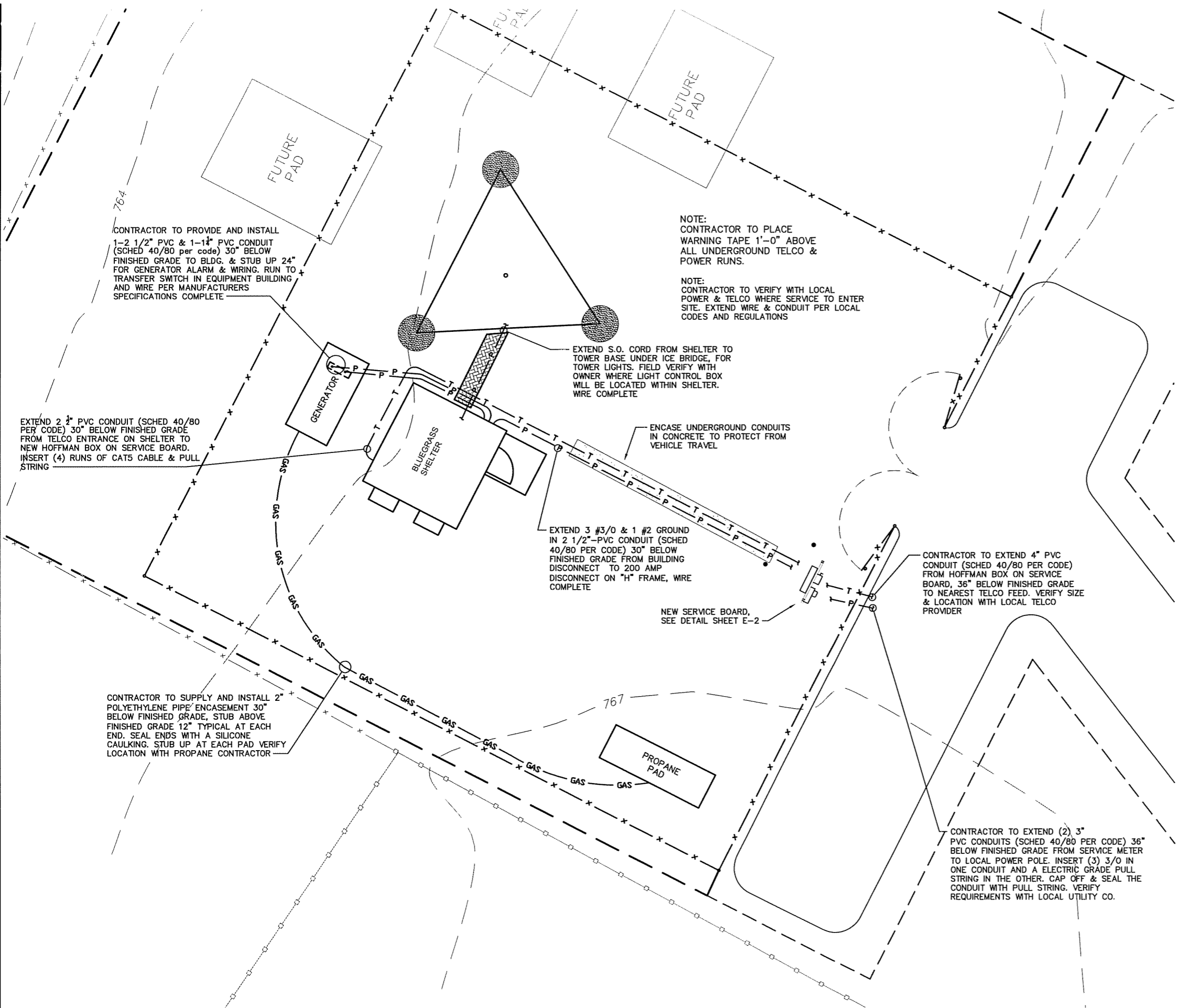


NO.	DATE	REVISION

**BLUEGRASS CELLULAR, INC.**  
STANDARD CELLULAR SITE  
**BRADFORDSVILLE**  
5210 HWY. 1157 LEBANON, KY. 40033

DRAWN BY: R. BECKER  
ISSUE DATE: 3-02-10  
SCALE: LISTED

SHEET NUMBER  
**ANTENNA DETAILS**  
2



- GENERAL ELECTRICAL NOTES:**
- 1) CONTRACTOR RESPONSIBLE FOR MAKING ALL ARRANGEMENTS WITH THE LOCAL UTILITIES FOR SERVICE AND FEE PAYMENTS REQUIRED TO OBTAIN SERVICE.
  - 2) CONTRACTOR RESPONSIBLE FOR MAKING ALL ARRANGEMENTS WITH THE LOCAL TELEPHONE COMPANY FOR SERVICE AND FEE PAYMENTS REQUIRED TO OBTAIN SERVICE.
  - 3) GROUND RING TO BE CONTAINED WITH IN THE COMPOUNDS FENCED AREA.
  - 4) FENCE TO BE GROUNDED FROM GROUND RING TO ALL CORNER POST & GATES. SPACE FENCE GROUNDING APPROXIMATELY 20'-0" O/C. (CAD WELD ALL CONNECTIONS)
  - 5) ALL GROUND RING CONNECTIONS TO BE AS CLOSE AS POSSIBLE, SHARP BENDS WILL NOT BE PERMITTED AS WELL AS "T" CONNECTIONS. ALL CONNECTIONS TO HAVE A SWEEPING RADIUS OF 8" MINIMUM. GROUNDING CONFIGURATION TO BE IN PARALLEL.
  - 6) CONTACT POINTS FOR GROUNDING TO BE CLEANED OF ANY RUST, PAINT, DIRT, ETC. TO CREATE A GOOD BOND FOR CONDUCTOR. AREA THAT HAS BEEN CLEANED TO BE RESEALED TO PREVENT RUSTING.
  - 7) PROPERLY GROUND ANY EXPOSED METAL THAT MAY EXIST ON EXTERIOR OF EQUIPMENT SHELTER OR CABINET.
  - 8) WHERE GROUND CONDUCTORS REQUIRE MECHANICAL BONDING, STAINLESS STEEL CONNECTORS ARE REQUIRED AT EACH CONNECTING POINT USING LOCK WASHERS.
  - 9) CONTRACTOR RESPONSIBLE FOR SEEING THAT UTILITY PERSONNEL MAKE FINAL CONNECTIONS, MAKING SURE THE TOWER ALARM IS CONNECTED AND WORKING. A TELEPHONE NUMBER FOR THE ALARM MUST BE SUPPLIED.
  - 10) CONTRACTOR RESPONSIBLE FOR MEG TESTING THE SITE AND SUPPLYING OWNER WITH FINAL READINGS IN OWNERS SPECIFICATIONS.
  - 11) IF CONDUIT RUNS BURIED LESS THAN REQUIRED DEPTHS, CONTACT BLUEGRASS CELLULAR FOR FURTHER INSTRUCTIONS

**NOTE:**  
 CONTRACTOR TO PROVIDE WARNING TAPE IN TRENCHES FOR ALL POWER AND TELCO RUNS UNDER GROUND. TAPE TO BE INSTALLED 1'-0" ABOVE CONDUIT RUNS. (TAKE PICTURES)

**SYMBOLS LEGEND**

—P—	POWER
—G—	GAS
—T—	TELEPHONE
—X—	FENCE
□	SWITCH (DISCONNECT)
⊞	METER PACK

**SITE PLAN- ELECTRICAL**

SCALE: 3/32" = 1'-0"

**NOTE:**  
 CONTRACTOR TO PLACE WARNING TAPE 1'-0" ABOVE ALL UNDERGROUND TELCO & POWER RUNS.

**NOTE:**  
 CONTRACTOR TO VERIFY WITH LOCAL POWER & TELCO WHERE SERVICE TO ENTER SITE. EXTEND WIRE & CONDUIT PER LOCAL CODES AND REGULATIONS

CONTRACTOR TO PROVIDE AND INSTALL 1-2 1/2" PVC & 1-1 1/2" PVC CONDUIT (SCHD 40/80 PER CODE) 30" BELOW FINISHED GRADE TO BLDG. & STUB UP 24" FOR GENERATOR ALARM & WIRING. RUN TO TRANSFER SWITCH IN EQUIPMENT BUILDING AND WIRE PER MANUFACTURERS SPECIFICATIONS COMPLETE

EXTEND 2 1/2" PVC CONDUIT (SCHD 40/80 PER CODE) 30" BELOW FINISHED GRADE FROM TELCO ENTRANCE ON SHELTER TO NEW HOFFMAN BOX ON SERVICE BOARD. INSERT (4) RUNS OF CAT5 CABLE & PULL STRING

EXTEND S.O. CORD FROM SHELTER TO TOWER BASE UNDER ICE BRIDGE, FOR TOWER LIGHTS. FIELD VERIFY WITH OWNER WHERE LIGHT CONTROL BOX WILL BE LOCATED WITHIN SHELTER. WIRE COMPLETE

ENCASE UNDERGROUND CONDUITS IN CONCRETE TO PROTECT FROM VEHICLE TRAVEL

EXTEND 3 #3/0 & 1 #2 GROUND IN 2 1/2" PVC CONDUIT (SCHD 40/80 PER CODE) 30" BELOW FINISHED GRADE FROM BUILDING DISCONNECT TO 200 AMP DISCONNECT ON "H" FRAME, WIRE COMPLETE

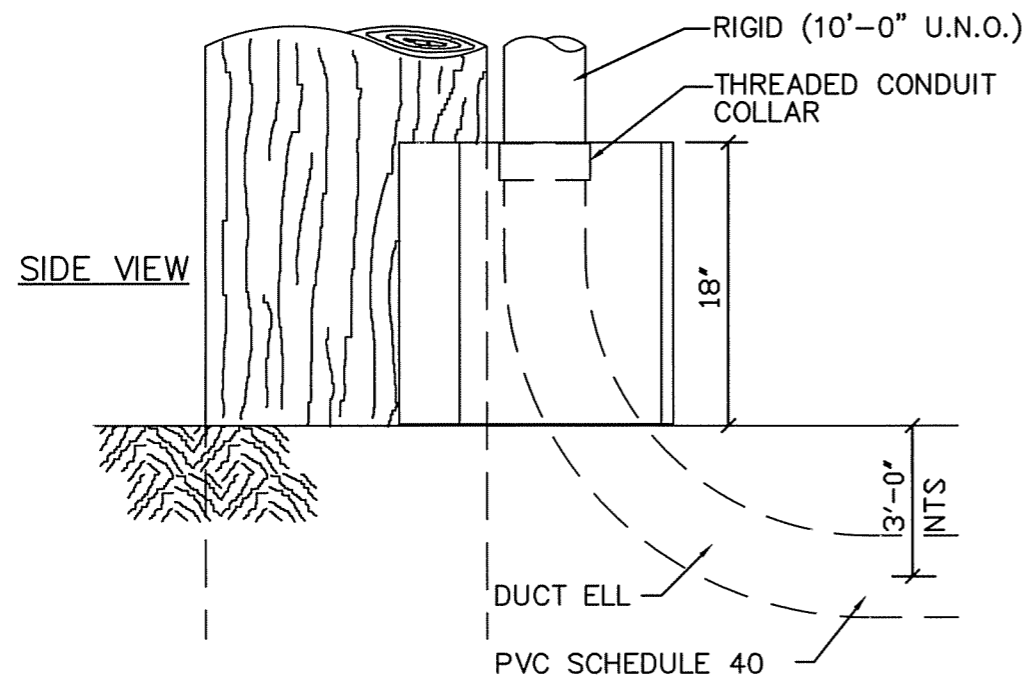
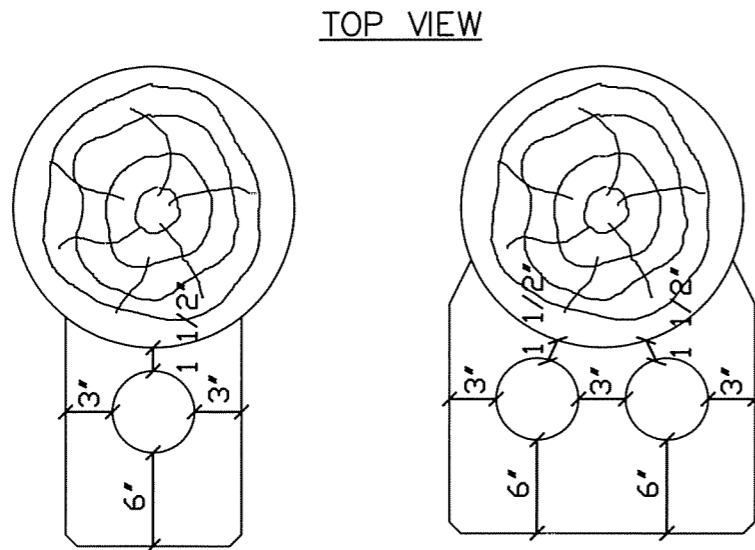
NEW SERVICE BOARD, SEE DETAIL SHEET E-2

CONTRACTOR TO EXTEND 4" PVC CONDUIT (SCHD 40/80 PER CODE) FROM HOFFMAN BOX ON SERVICE BOARD, 36" BELOW FINISHED GRADE TO NEAREST TELCO FEED. VERIFY SIZE & LOCATION WITH LOCAL TELCO PROVIDER

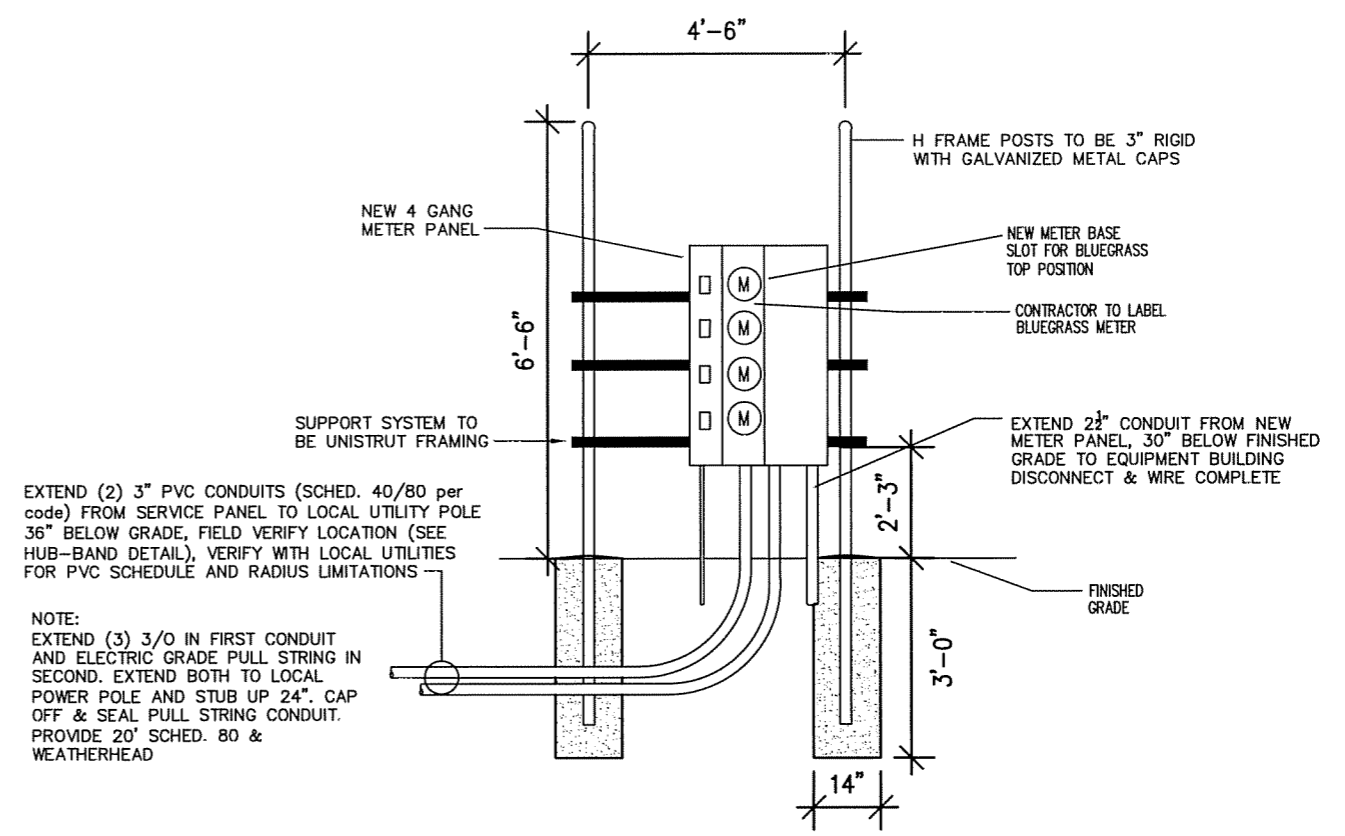
CONTRACTOR TO SUPPLY AND INSTALL 2" POLYETHYLENE PIPE ENCASEMENT 30" BELOW FINISHED GRADE, STUB ABOVE FINISHED GRADE 12" TYPICAL AT EACH END. SEAL ENDS WITH A SILICONE CAULKING. STUB UP AT EACH PAD VERIFY LOCATION WITH PROPANE CONTRACTOR

CONTRACTOR TO EXTEND (2) 3" PVC CONDUITS (SCHD 40/80 PER CODE) 36" BELOW FINISHED GRADE FROM SERVICE METER TO LOCAL POWER POLE. INSERT (3) 3/0 IN ONE CONDUIT AND A ELECTRIC GRADE PULL STRING IN THE OTHER. CAP OFF & SEAL THE CONDUIT WITH PULL STRING. VERIFY REQUIREMENTS WITH LOCAL UTILITY CO.

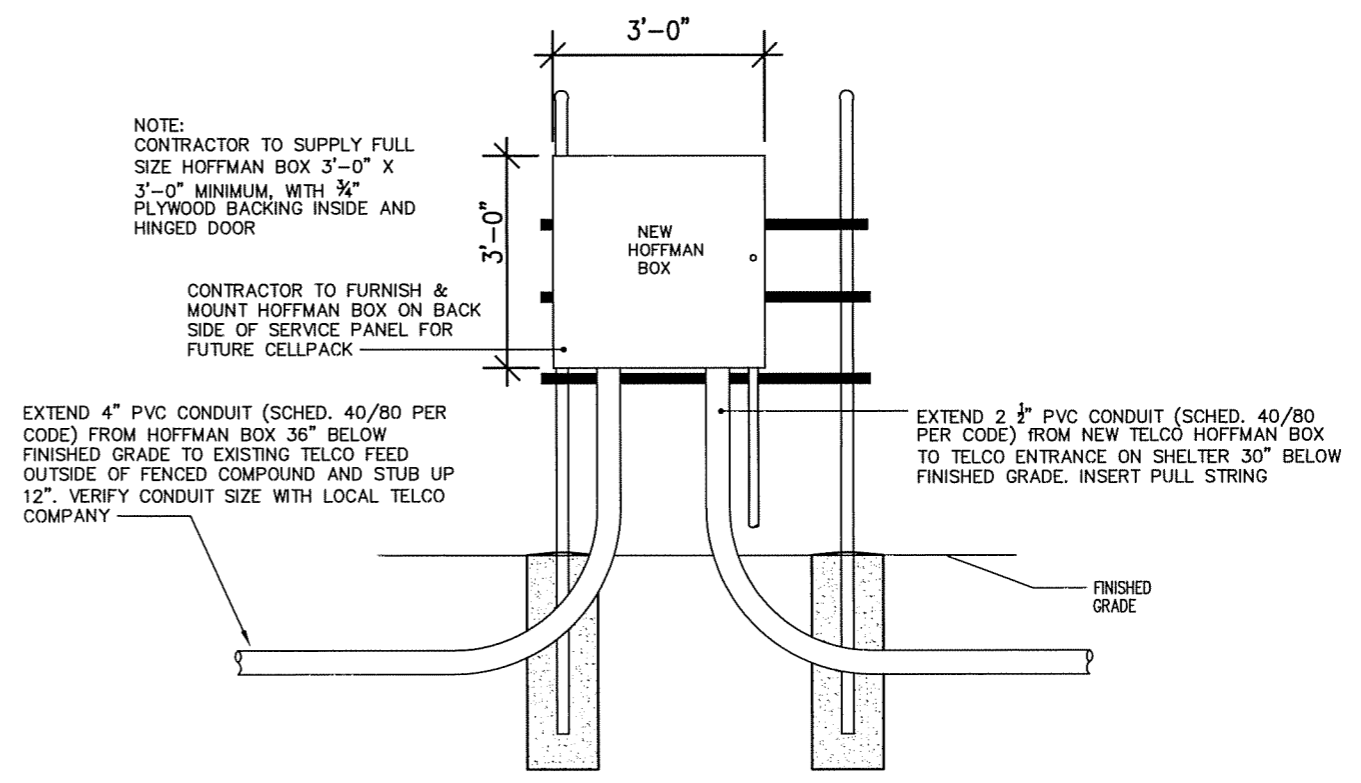
<b>R.B.</b>	
6465 MERCURY DRIVE LOUISVILLE, KY 40291 (502) 399-9427 FAX (502) 399-3666	
BLUEGRASS CELLULAR, INC. STANDARD CELLULAR SITE <b>BRADFORDSVILLE</b> 5210 HWY. 1157 LEBANON, KY. 40033	DRAWN BY: R. BECKER ISSUE DATE: 3-02-10 SCALE: LISTED SHEET NUMBER: E-1



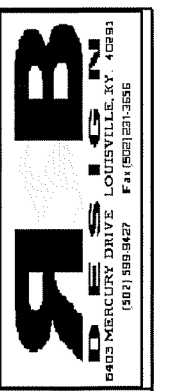
**HUB-BAND DETAIL**  
NO SCALE



**SERVICE BOARD DETAIL**  
NO SCALE



**BACKBOARD DETAIL**  
NO SCALE

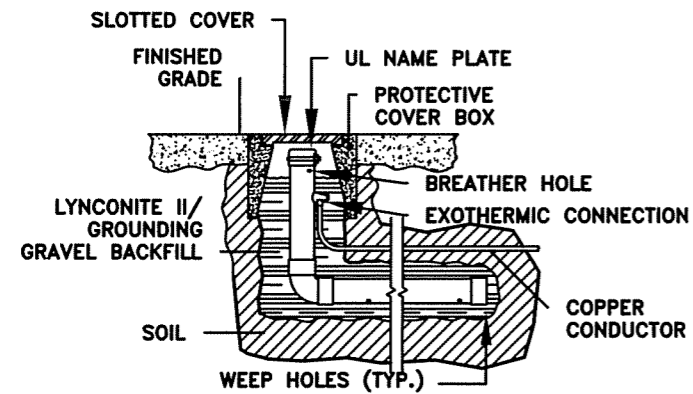


NO.	DATE	REVISION

**BLUEGRASS CELLULAR, INC.**  
**STANDARD CELLULAR SITE**  
**BRADFORDSVILLE**  
5210 HWY. 1157 LEBANON, KY. 40033

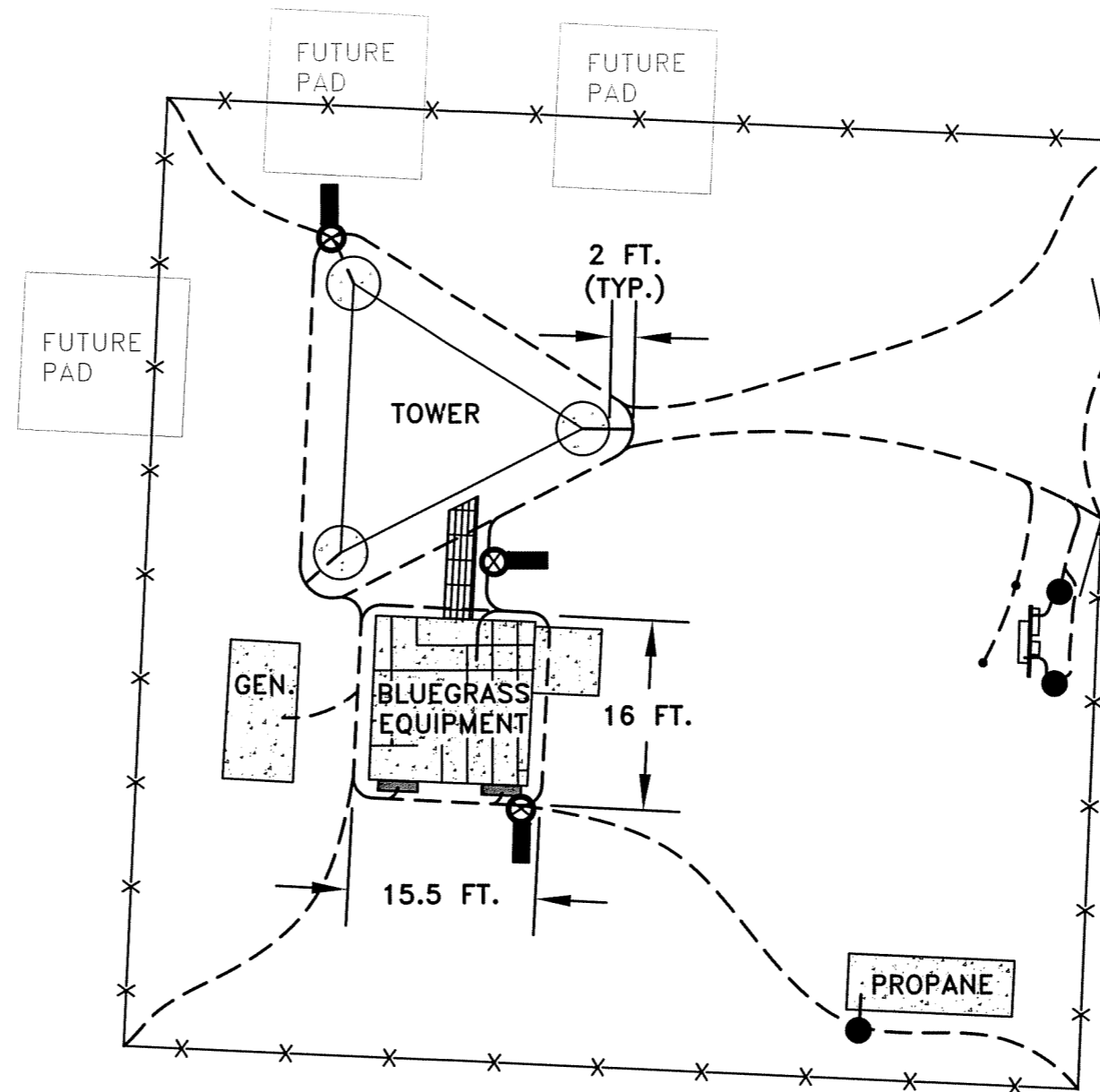
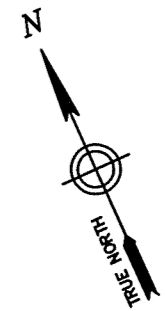
DRAWN BY: R. BECKER  
ISSUE DATE: 3-02-10  
SCALE: LISTED

SHEET NUMBER  
**F-2**



L-SHAPE MODEL  
LYNCOLE XIT GROUNDING  
(800) 962-2610

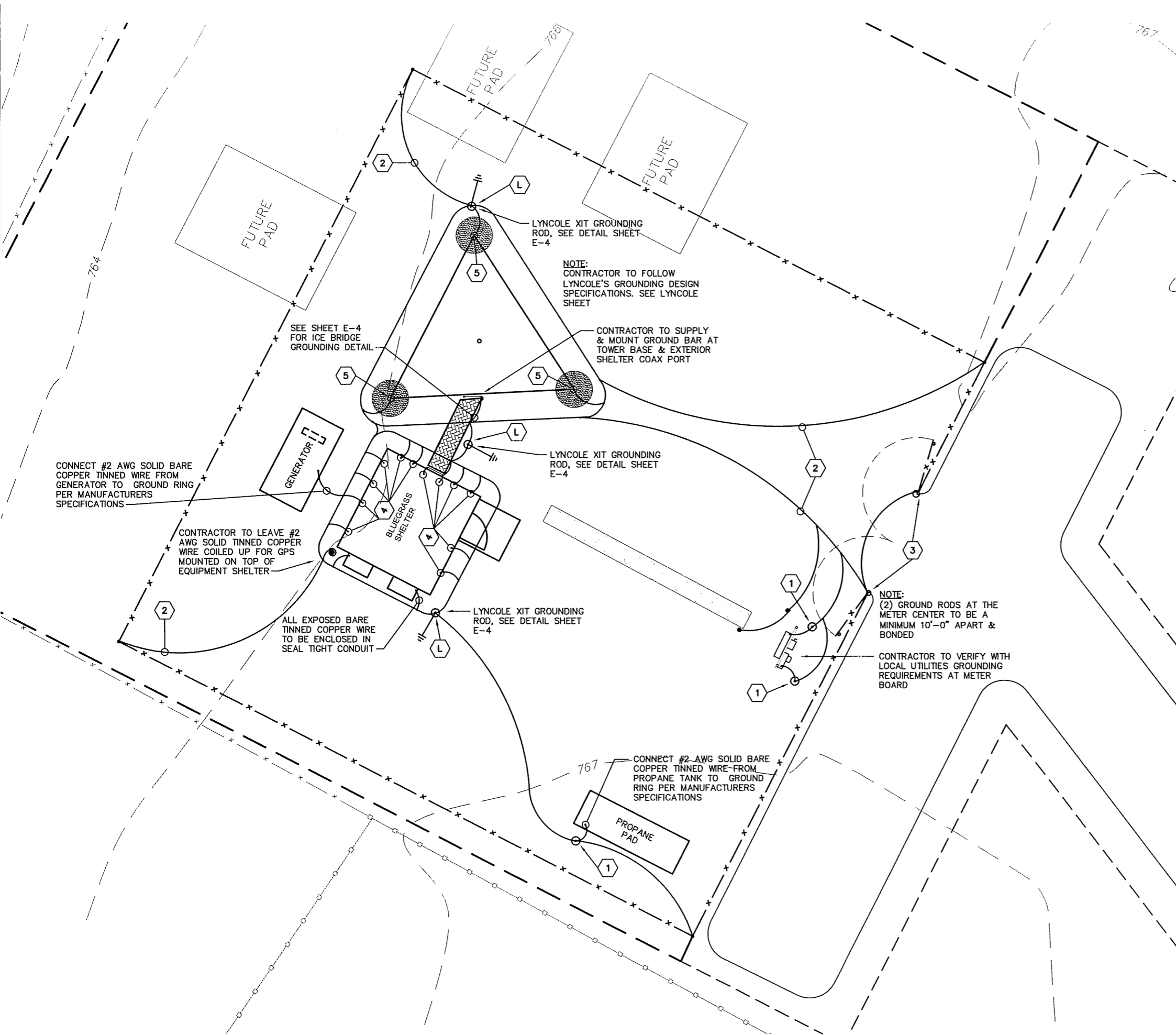
**DETAIL**



**NOTES:**

- X — FENCE LINE
- - - - BARE #2 AWG TINNED SOLID COPPER CONDUCTOR  
BURIED 30 IN. BELOW GRADE OR 6 IN. BELOW FROST LINE
- ALL BENDS IN GROUND CONDUCTORS TO BE MADE  
WITH 12 IN. RADIUS OR LARGER
- ⊗ K2L-10CS (SEE DETAIL)
- 3/4" X 10' DRIVEN ROD

		CLIENT / END USER RSB DESIGN / BLUEGRASS CELLULAR	
		DRAWING 1	PROJECT NAME BRADFORDSVILLE
TECHNICAL SERVICES 3547 VOYAGER STREET, SUITE 204 TORRANCE, CA. 90503 (800)962-2610 FAX (310)214-1114 ENGINEERING@LYNCOLE.COM		TITLE GROUNDING OPTION - REVISED	
SOIL DATA PROVIDED BY PATRIOT ENGINEERING		LOCATION: CITY, STATE LEBANON, KY	CALCULATED RESISTANCE < 5 OHMS
DRAWN BY PD	APPROVED BY	DATE 3/5/10	
REFERENCE NUMBER N/A	SCALE NONE	LTS NUMBER 100021	



**GENERAL ELECTRICAL NOTES:**

- 1) CONTRACTOR RESPONSIBLE FOR MAKING ALL ARRANGEMENTS WITH THE LOCAL UTILITIES FOR SERVICE AND FEE PAYMENTS REQUIRED TO OBTAIN SERVICE.
- 2) CONTRACTOR RESPONSIBLE FOR MAKING ALL ARRANGEMENTS WITH THE LOCAL TELEPHONE COMPANY FOR SERVICE AND FEE PAYMENTS REQUIRED TO OBTAIN SERVICE.
- 3) GROUND RING TO BE CONTAINED WITH IN THE COMPOUNDS FENCED AREA.
- 4) FENCE TO BE GROUNDED FROM GROUND RING TO ALL CORNER POST & GATES. SPACE FENCE GROUNDED APPROXIMATELY 20'-0" O/C. (CAD WELD ALL CONNECTIONS)
- 5) ALL GROUND RING CONNECTIONS TO BE AS CLOSE AS POSSIBLE, SHARP BENDS WILL NOT BE PERMITTED AS WELL AS "T" CONNECTIONS. ALL CONNECTIONS TO HAVE A SWEEPING RADIUS OF 8" MINIMUM. GROUNDED CONFIGURATION TO BE IN PARALLEL.
- 6) CONTACT POINTS FOR GROUNDED TO BE CLEANED OF ANY RUST, PAINT, DIRT, ETC. TO CREATE A GOOD BOND FOR CONDUCTOR. AREA THAT HAS BEEN CLEANED TO BE RESEALED TO PREVENT RUSTING.
- 7) PROPERLY GROUND ANY EXPOSED METAL THAT MAY EXIST ON EXTERIOR OF EQUIPMENT SHELTER OR CABINET.
- 8) WHERE GROUND CONDUCTORS REQUIRE MECHANICAL BONDING, STAINLESS STEEL CONNECTORS ARE REQUIRED AT EACH CONNECTING POINT USING LOCK WASHERS.
- 9) CONTRACTOR RESPONSIBLE FOR SEEING THAT UTILITY PERSONNEL MAKE FINAL CONNECTIONS, MAKING SURE THE TOWER ALARM IS CONNECTED AND WORKING. A TELEPHONE NUMBER FOR THE ALARM MUST BE SUPPLIED.
- 10) CONTRACTOR RESPONSIBLE FOR MEG TESTING THE SITE AND SUPPLYING OWNER WITH FINAL READINGS IN OWNERS SPECIFICATIONS.

**NOTE:**  
CONTRACTOR TO PROVIDE WARNING TAPE IN ALL POWER & TELCO TRENCHES, 12" ABOVE CONDUIT RUNS, BUT BELOW FINISHED GRADE.

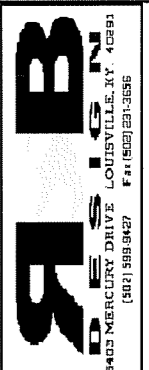
**NOTE:**  
CONTRACTOR TO FOLLOW LYNCOLES GROUNDED SPECIFICATIONS WHEN USING THEIR XIT GROUNDED RODS. SEE DETAIL SHEET E-4.

**KEYNOTES:**

- (L) LYNCOLE XIT GROUNDED ROD TO BE INSTALLED WHERE SHOWN AND TO MANUFACTURERS SPECIFICATIONS. (SEE LYNCOLE SPECIFICATIONS)
- (1) GROUNDED RODS 10'-0" LONG x 3/4" COPPER BONDED GROUNDED RODS
- (2) INSTALL AND PROVIDE SOLID BARE TINNED COPPER WIRE #2 AWG, GROUNDED RING BELOW GRADE 30". USE #2 AWG SOLID BARE TINNED COPPER GROUNDED "TAP" CONNECTING CONDUCTORS. (CONNECTIONS FOR ALL TAP CONDUCTORS TO BE PARALLEL AND "CAD WELD" CONNECTIONS)
- (3) FLEXIBLE GROUNDED STRAP TO BE USED TO PROVIDE A COMMON BOND BETWEEN GATE AND CHAIN LINK FENCE, #2 AWG SOLID COPPER BARE TINNED CONDUCTOR FROM GROUNDED RING TO FENCE USING CAD WELD CONNECTIONS. GROUNDED TAP TO BE PROVIDED ON EACH 4 SIDES TO GROUNDED RING AS DESCRIBED ABOVE.
- (4) BONDED GROUNDED TO BE PROVIDED TO GROUNDED RING FOR EACH OF THE FOLLOWING: BUILDING STEEL, HATCH PLATE, EMERGENCY RECEPTACLE, WAVE GUIDE STRUCTURE, FRAME WORK, BUILDING DISCONNECT.
- (5) FOR TOWER FRAME GROUNDED, REMOVE GALVANIZED COATING COMPLETELY AT SPOT TO "CAD WELD" TO AND CLEAN. #2 AWG SOLID BARE TINNED COPPER CONDUCTOR TO BE CAD WELDED APPROXIMATELY 1'-0" ABOVE FOUNDATION OR AT FLANGE IF PROVIDED BY TOWER MANUFACTURER. EXTEND CONDUCTOR TO GROUNDED RING. RIGHT ANGLES NOT ACCEPTED ALL BENDS TO BE SWEEPING.

**SITE PLAN-GROUNDED**

SCALE: 3/32" = 1'-0"



6405 MERCURY DRIVE LOUISVILLE, KY 40261  
 (502) 588-9427 FAX (502) 291-3586

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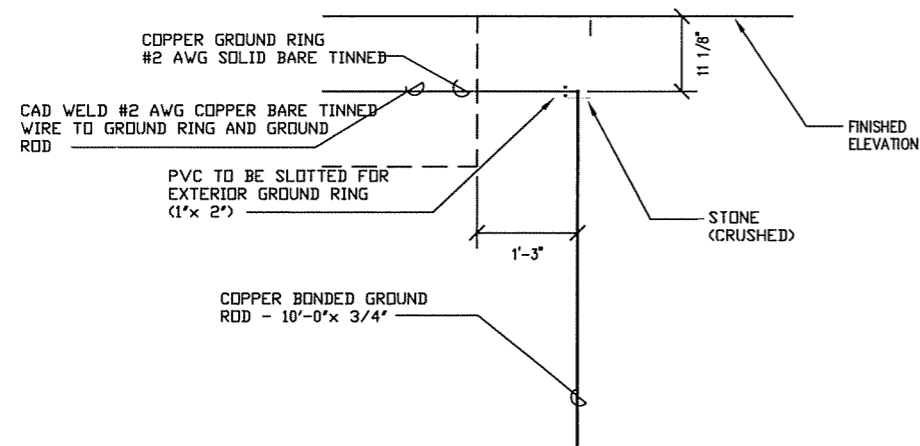
REVISION	DATE	NO.

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**BLUEGRASS CELLULAR, INC.**  
**STANDARD CELLULAR SITE**  
**BRADFORDSVILLE**  
 5210 HWY. 1157 LEBANON, KY. 40033

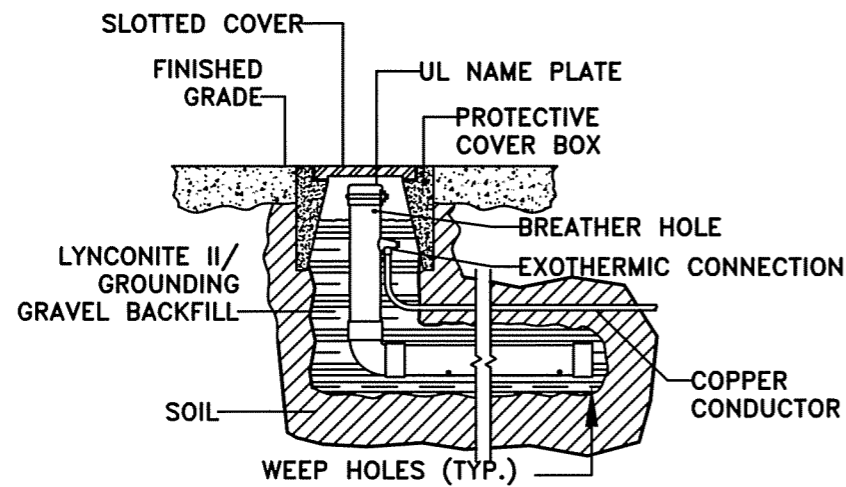
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DRAWN BY: R. BECKER	ISSUE DATE: 3-02-10	SCALE: LISTED
SHEET NUMBER <b>E-3</b>		



**GROUND ROD DETAIL**

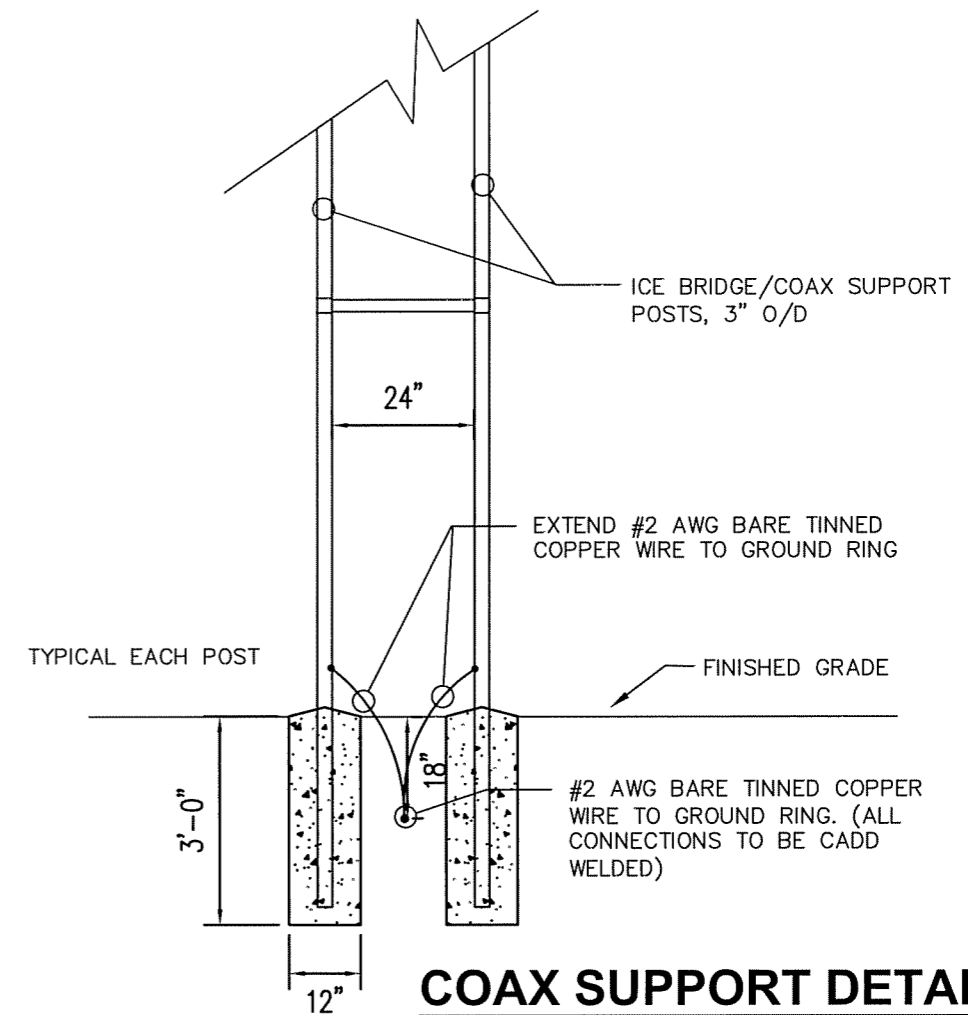
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L-SHAPE MODEL  
LYNCOLE XIT GROUNDING  
(800) 962-2610

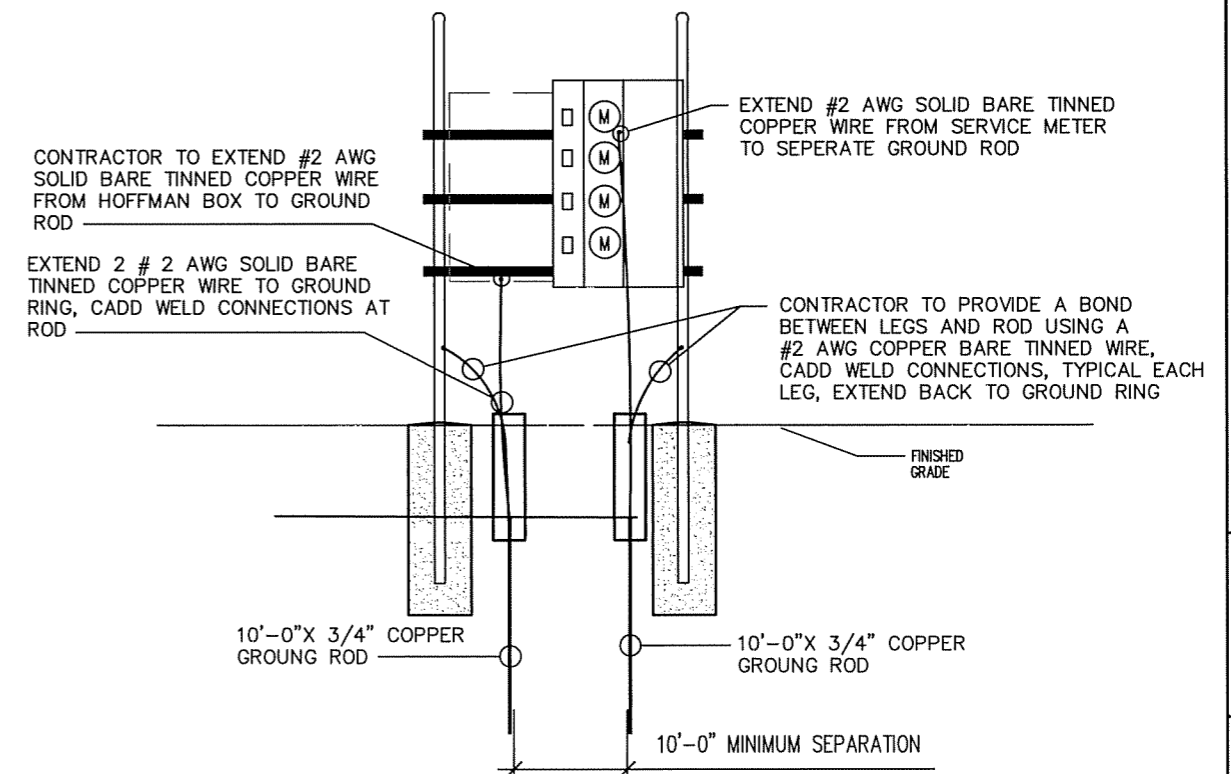
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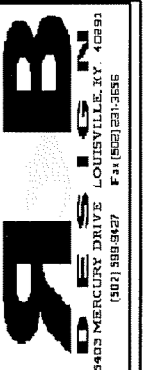
**COAX SUPPORT DETAIL**

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**SERVICE BOARD DETAIL**

NO SCALE

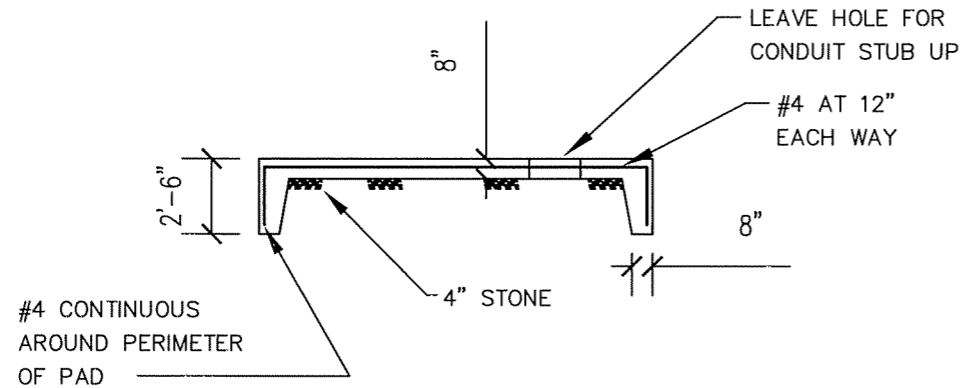
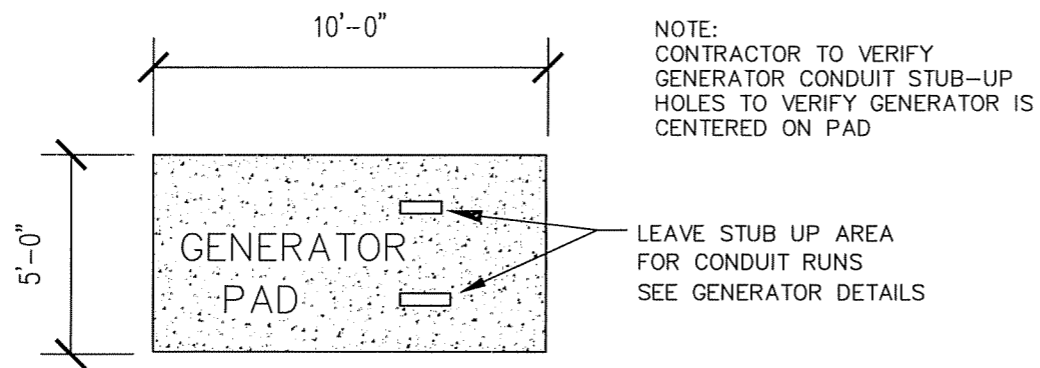


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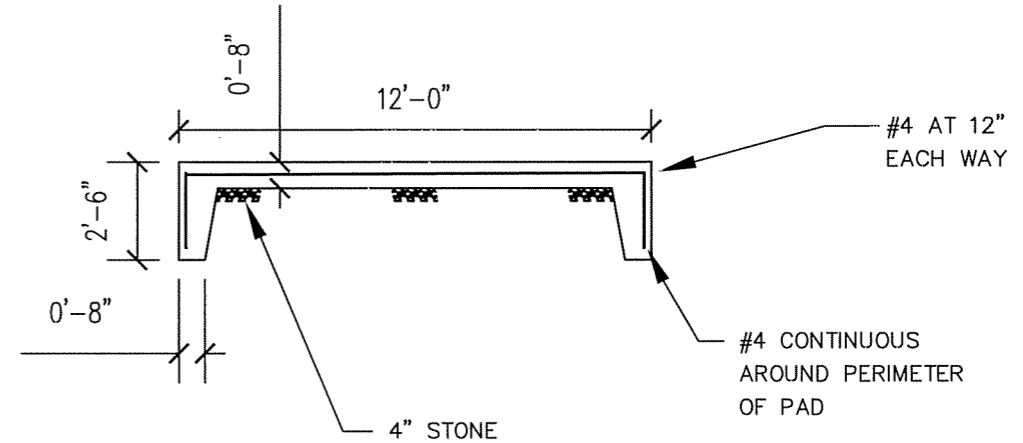
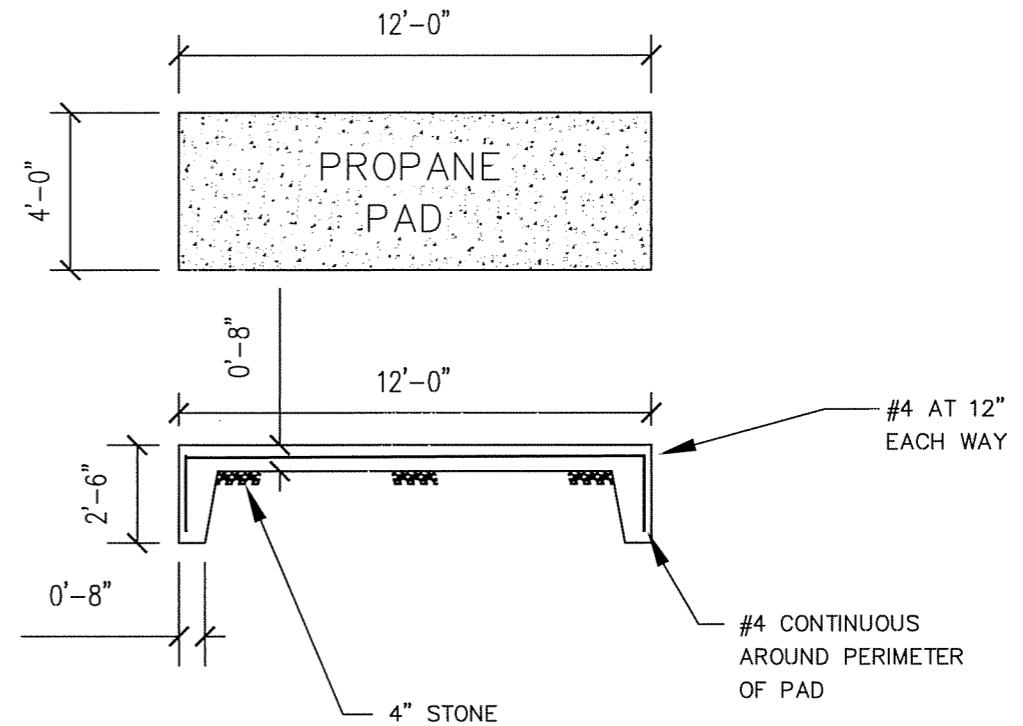
**BLUEGRASS CELLULAR, INC.**  
STANDARD CELLULAR SITE  
**BRADFORDSVILLE**  
5210 HWY. 1157 LEBANON, KY. 40033

DRAWN BY: R. BECKER	ISSUE DATE: 3-02-10	SCALE: LISTED
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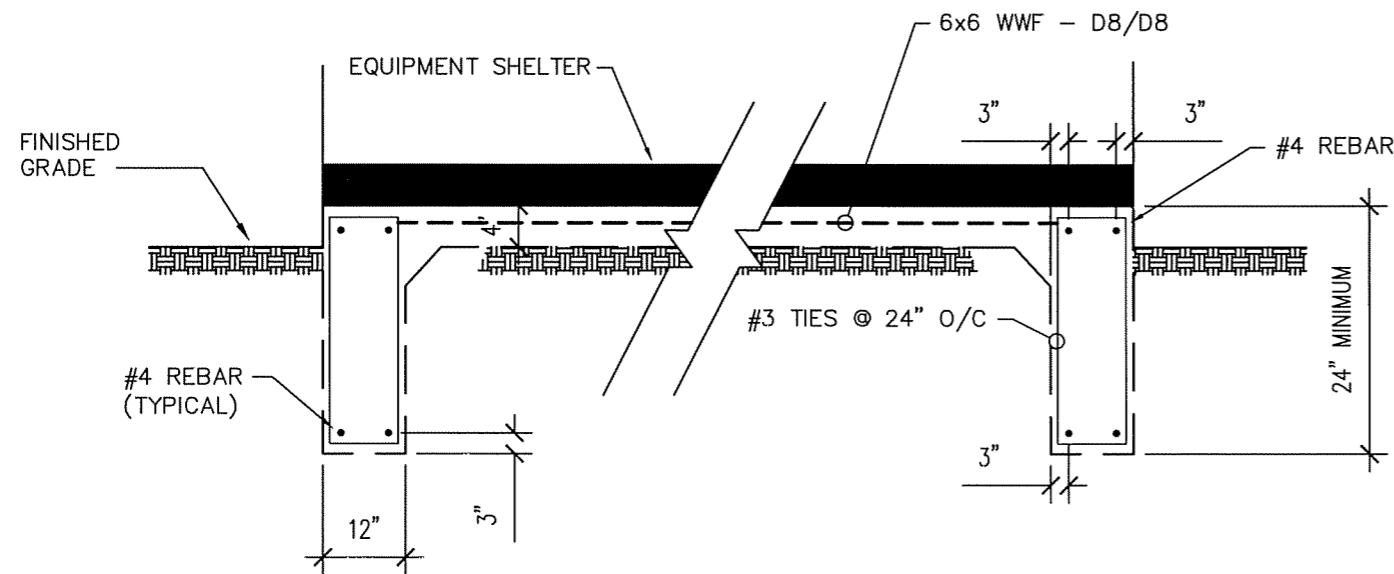
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**E-4**



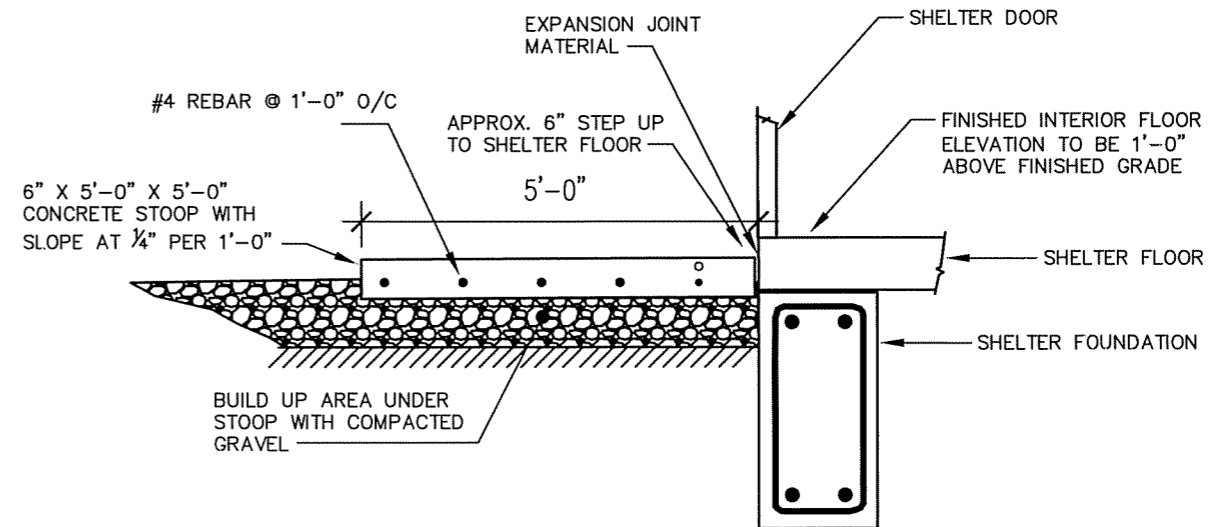
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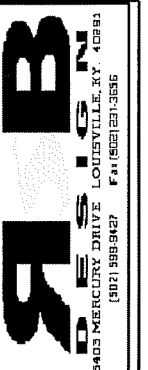
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**SHELTER FOUNDATION PLAN**  
NO SCALE



**CONCRETE STOOP DETAIL**  
NO SCALE



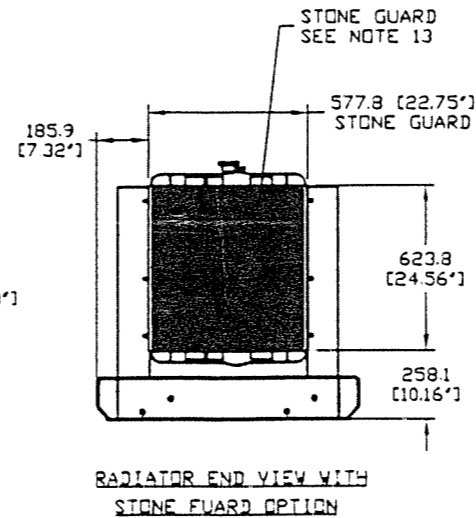
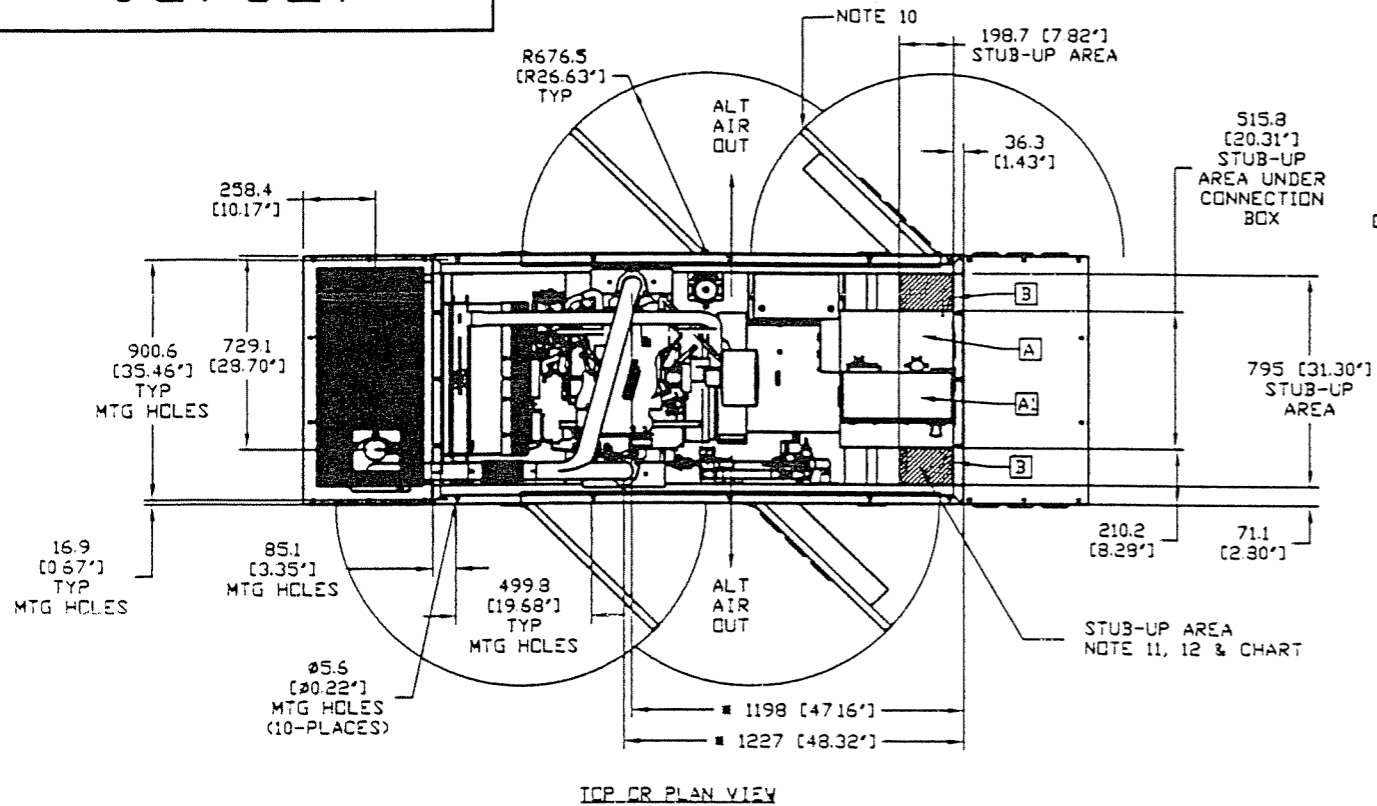
NO.	DATE	REVISION

**BLUEGRASS CELLULAR, INC.**  
STANDARD CELLULAR SITE  
**BRADFORDSVILLE**  
5210 HWY. 1157 LEBANON, KY. 40033

DRAWN BY: R. BECKER  
ISSUE DATE: 3-02-10  
SCALE: LISTED

SHEET NUMBER  
S-1

0G7627



RECOMMENDED FUEL/ELECTRICAL STUB-UPS (SEE TOP VIEW)

DESCRIPTION	INSIDE BASE
AC LOAD LEAD CONDUIT (RIGHT) (LEFT)	A A'
ADDITIONAL STUB UP AREA FOR 120VAC GFCI OUTLET, (STANDARD BLOCK HEATER, BATTERY CHARGER, AND OTHER 120 VAC OPTIONS).	B

NOTE:  
FUEL SYSTEM SET UP WITH OUTSIDE STUB-UPS (SEE RIGHT SIDE VIEW).

WEIGHT DATA  
UNIT: ??? kg [??? lbs.]  
STEEL ENCLOSURE: ??? kg [??? lbs.]

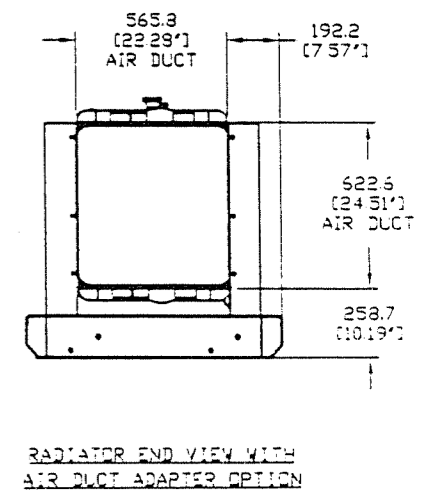
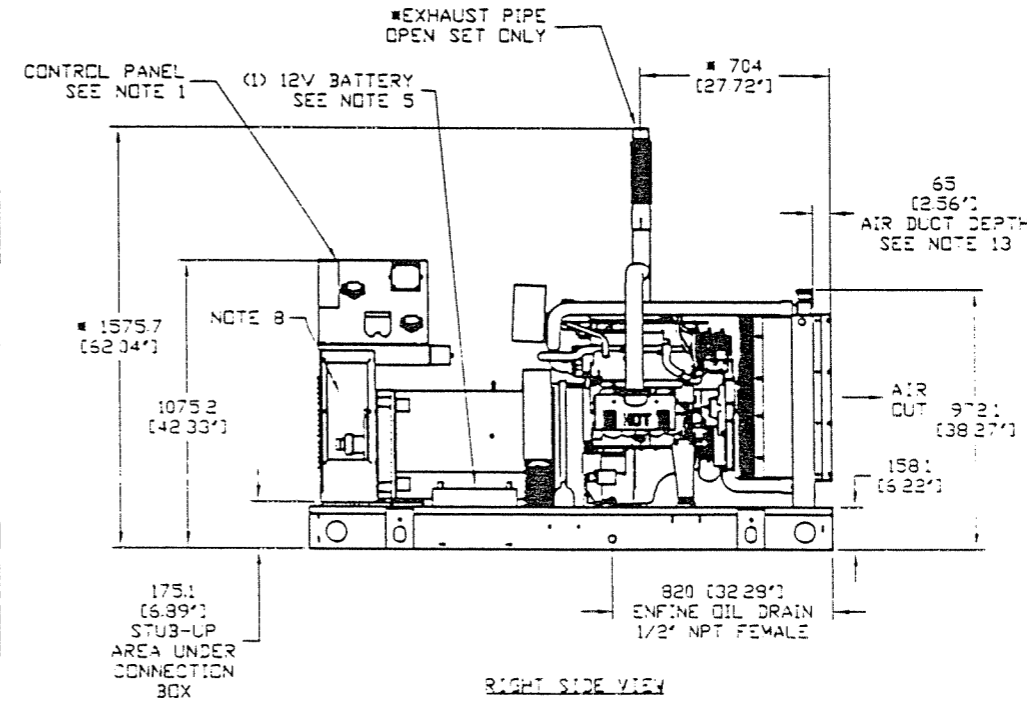
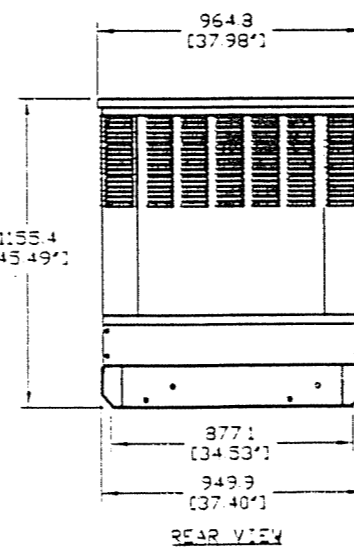
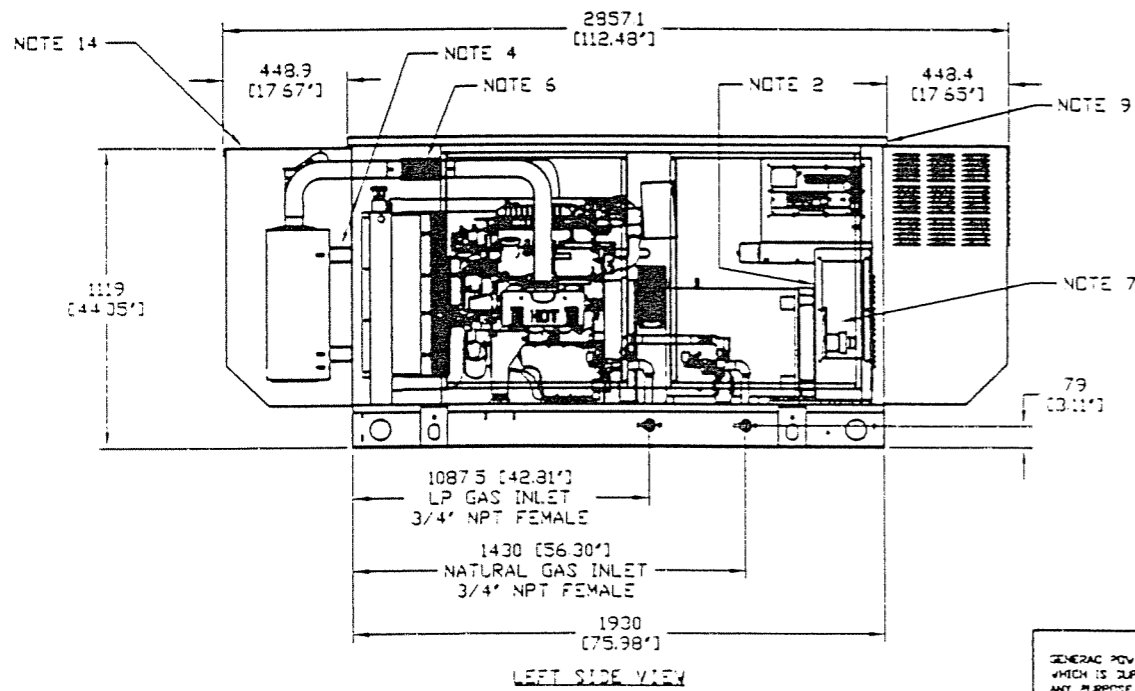
UNITS: mm [INCHES]

ENGINE SERVICE CONNECTIONS

INLET L/P GAS = 3/4" NPT COUPLING  
INLET NATURAL GAS = 3/4" NPT COUPLING  
OIL DRAIN = 1/2" NPT COUPLING  
EXHAUST OUTLET - EXHAUST MANIFOLDS AS SHOWN ON OPEN SET, 3" OD MUFFLER OUTLET WITH ENCLOSURE

NOTES:

- CONTROL PANEL MAY BE ROTATED 180° IN EITHER DIRECTION.
  - STANDARD 20A GFCI DUPLEX OUTLET - 120VAC REQUIRED.
  - CONNECTION POINTS FOR CONTROL WIRES PROVIDED IN AC CONNECTION PANEL.
  - EXHAUST MUFFLER SUPPORT BRACKETS SUPPLIED WITH OPTIONAL ENCLOSURE.
  - 12 VOLT NEGATIVE GROUND SYSTEM.
  - 2.5" I. D. FLEX EXHAUST, STANDARD WITH ENCLOSURE UNITS, OPTIONAL WITHOUT.
  - MAIN LINE CIRCUIT BREAKER (MLCB) AND AC LOAD LEAD CONNECTION.
  - REMOVABLE BLANK PANEL FOR OPTIONAL 2nd MAIN LINE CIRCUIT BREAKER.
  - OPTIONAL ENCLOSURE.
  - DOORS MUST BE ABLE TO OPEN 90 DEG. TO BE REMOVED.
  - STUB-UPS:  
STANDARD BASE TANK REQUIRES ALL STUB-UPS TO BE OUTSIDE OR IN THE REAR TANK STUB-UP AREA.
  - A OR A' IS THE STUB UP AREA UNDER THE MLCB, DEPENDING ON CIRCUIT BREAKER LOCATION. AREA B IS STUB UP AVAILABLE FOR UNITS WITH A BASE TANK.
  - STONE GUARD AND AIR DUCT ADAPTER STANDARD WITH OPEN SET ONLY.
  - SEE DRAWING CC3850 FOR DUCT REMOVAL. REMOVAL OF FRONT DUCT WILL PROVIDE ACCESS TO MUFFLER FOR SERVICING.
- \*NOTE: DIMENSIONS TO THE CENTER OF EXHAUST FLANGE SHOULD BE USED AS A REFERENCE WHEN EXHAUST SYSTEM IS NOT ORDERED. APPLIES TO OPEN SET ONLY.



APPLICABLE TO 4.5L G3 35, 40 & 45KW

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SG 35, 40, 45 KW (UPSIZED 100 KW)

4.2L DIRECT DRIVE

ACOUSTIC ENCLOSURE

ISSUE DATE: 11/13/07

GENERAC POWER SYSTEMS  
Waukesha  
P.O. BOX 8  
WAUKESHA, WIS. 53187

FILE NAME 0G7627-A.DWG SIZE E

SCALE NTS FIRST USE 4.2L G3

DWG NO. 0G7627 REV A

INSTALLATION DRAWING



**GENERAL NOTES:**

- 1) THE CONTRACTOR IS RESPONSIBLE FOR EQUIPMENT PICK UP DELIVERY TO SITE, ERECTION OF TOWER, AND CRANE SET, ALL COSTS INCURRED.
- 2) THE CONTRACTOR IS RESPONSIBLE FOR VISITING THE SITE PRIOR TO BIDDING AND REVIEWING EXISTING STRUCTURES OR UTILITIES THAT MIGHT BE LOCATED ON OR AROUND THE COMPOUND THAT COULD INTERFERE.
- 3) THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING LOCAL AUTHORITIES NECESSARY FOR INSPECTIONS IF REQUIRED, PLEASE PROVIDE AMPLE NOTICE.
- 4) THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING PERSONS RESPONSIBLE FOR ANY MATERIALS TESTING, PLEASE PROVIDE AMPLE NOTICE.
- 5) THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE OWNER WITH FINAL TEST RESULTS ON ALL MATERIALS TESTING. IF ANY PROBLEMS ARE FOUND PRIOR TO FINAL RESULTS PLEASE NOTIFY A&E OR OWNER IMMEDIATELY.
- 6) THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO ADJOINING PROPERTY, AND REPAIRING OR REPLACING WHAT IS NECESSARY TO OWNERS APPROVAL.
- 7) THE CONTRACTOR IS TO VERIFY DIMENSIONS ON SITE PRIOR TO CONSTRUCTION STARTING, ANY PROBLEMS OR CHANGE FOUND CONTACT A&E OR OWNER TO VERIFY.
- 8) THE CONTRACTOR IS RESPONSIBLE FOR ANY TEMPORARY LIGHTING ON THE TOWER AND CONTACTING PROPER AUTHORITIES IF ANY LIGHTING PROBLEMS OCCUR, ALL FINAL LIGHTING TO BE MOUNTED ON TOWER DURING CONSTRUCTION, NOTIFY OWNER WHEN TOWER HAS REACHED FINAL HEIGHT.
- 9) THE CONTRACTOR IS RESPONSIBLE FOR ALL ON SITE WORK MEANS AND METHODS.
- 10) CONTRACTOR, ANY CONTRACTOR EMPLOYEES OR REPRESENTATIVES, OR SUB-CONTRACTOR, ANY SUB-CONTRACTOR EMPLOYEES OR REPRESENTATIVES, WILL CONFORM TO ALL LAWS AND REGULATIONS APPLICABLE TO THE WORK BEING PERFORMED, INCLUDING BUT NOT LIMITED TO, ALL OCCUPATIONAL SAFETY AND HEALTH ACT ("OSHA") STATUTES AND REGULATIONS AS WELL AS ALL OTHER FEDERAL, STATE AND/OR LOCAL LAWS OR REGULATIONS APPLICABLE TO THE WORK BEING PERFORMED BY CONTRACTOR.
- 11) THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL SITE DRAINAGE, AND PROVIDING SILT AND EROSION CONTROL NECESSARY TO MAINTAIN ANY RUN OFF.
- 12) THE CONTRACTOR IS RESPONSIBLE FOR ALL SEED AND STRAW WORK NECESSARY TO REPAIR DAMAGED AREAS.
- 13) CONTRACTOR TO GRADE SMOOTH OR REPAIR ANY POT HOLES OR DITCHING ON PROPERTY OR ROAD THAT HAS OCCURRED DURING CONSTRUCTION AT CONTRACTORS EXPENSE.
- 14) CONTRACTOR'S RESPONSIBILITIES REGARDING BUILD OUT ON FIBREBOND EQUIPMENT SHELTERS TO INCLUDE:
  - \* INSTALLING THE DOOR CANOPY & BOND TO DOOR FRAME
  - \* INSTALLING EXTERIOR LIGHT ON WALL DETERMINED BY PROJECT SUPERVISOR AND PHOTOCCELL REQUIREMENTS
  - \* INSTALLING INTRUDER ALARMS
  - \* CHECK OPERATIONS OF DOOR AND DOOR HARDWARE
  - \* ADJUST WEATHERSTRIPPING ON DOORS AS NEEDED
  - \* INSPECT ROOF FOR DAMAGE AND POSSIBLE LEAKS
  - \* INSPECT INTERIOR FINISH FOR IMPERFECTIONS AND REPAIR AS NEEDED
  - \* CHECK OPERATION OF LIGHTS AND ELECTRICAL OUTLETS
  - \* INSTALL GUTTER SYSTEM
  - \* CHECK OPERATION OF ENVIRONMENTAL CONTROLS AND HVAC UNITS
  - \* INSTALL AND PAINT SHELTER TIE-DOWNS TO MATCH
- 15) INSTALL CONCRETE PADS FOR BUILDING, PROPANE TANK, GENERATOR PAD.
- 16) INSTALL ELECTRIC AND GROUND FIELD FOR COMPOUND.

17) GC WILL BE RESPONSIBLE FOR ALL CRANE OPERATIONS IN ORDER TO SET FIBREBOND BUILDING. COORDINATE BUILDING DELIVERY DATE THROUGH BLUEGRASS CELLULAR.

18) GC WILL BE RESPONSIBLE FOR OFF LOADING AND STACKING OF TOWER WHEN APPLICABLE.

19) GC WILL BE RESPONSIBLE FOR MOUNTING ALL LINES AND ANTENNAS.

20) GC WILL BE RESPONSIBLE FOR SUPPLYING AND INSTALLING ICE BRIDGE.

21) GC WILL BE RESPONSIBLE FOR SCHEDULING PROPANE TANK DELIVERY AND HOOK-UP. PREFERRED SUPPLIERS ARE EMPIRE & AMERIGAS

22) GC WILL BE RESPONSIBLE FOR COORDINATING THE CLEANING OF THE INSIDE OF THE BUILDING WITH THE PROJECT SUPERVISOR AFTER THE SITE HAS BEEN TURNED OVER TO THE OPERATIONS DEPARTMENT AND ALL TURN-UP PROCEDURES HAVE BEEN COMPLETED. THIS WILL INCLUDE SUPPLYING A 30 GALLON TRASHCAN, 30 GALLON TRASH BAGS, BROOM, DUST PAN AND DOORMAT FOR BUILDING.

23) GC TO VERIFY ALL BLUEGRASS CELLULAR EQUIPMENT DIMENSIONS & SPECIFICATIONS WITH MANUFACTURER'S DRAWINGS, (FIBREBOND, GENERAC, EASTPOINTE ETC.) PRIOR TO CONSTRUCTION. ADDRESS ANY ISSUES WITH PROJECT SUPERVISOR BEFORE WORK BEGINS.

24) ALL WAREHOUSE MATERIAL (LINES, ANTENNAS, MOUNTING HARDWARE, GENERATOR, TOWER FOUNDATION KIT, ETC.) WILL NEED TO BE PICKED UP BY GC.

25) GC WILL BE RESPONSIBLE FOR SCHEDULING GENERATOR START-UP WITH CONTACT SCOTT ANDERSON (EVAPAR) 502-267-6315

26) GC TO LABEL BLUEGRASS CELLULAR METER WITH NAME PLATE ON METER BACKBOARD.

27) GC WILL BE RESPONSIBLE FOR INSTALLATION OF ALL FENCING.

28) ALL TRASH AND DEBRIS TO BE REMOVED BY GC

29) GC WILL BE RESPONSIBLE FOR APPLYING FOR ELECTRICAL SERVICE AND PAYING NECESSARY FEES REQUIRED.

30) GC WILL BE RESPONSIBLE FOR SUPPLYING & INSTALLING PROTECTIVE END CAPS ON ANY EXPOSED THREADED ROD OR UNISTRUT USED ON SITE. VERIFY TYPE WITH PROJECT SUPERVISOR PRIOR TO INSTALLATION.

31) GC WILL BE RESPONSIBLE FOR HAVING A CERTIFIED ELECTRICIAN HOOK UP THE BATTERIES (IMMEDIATELY) AFTER POWER HAS BEEN TURNED UP AT THE SITE, PREVENTING THE DELAY OF ANY WORK FOR OPERATIONS. THE GENERAL CONTRACTOR MUST NOTIFY THE PROJECT SUPERVISOR IMMEDIATELY AT THIS TIME SO HE CAN COORDINATE A CELL TECH TO BE ONSITE WHEN THIS OCCURS.

32) GC WILL BE RESPONSIBLE FOR RUNNING (CAT5) FROM THE GENERATOR ALARM PANEL MOUNTED ON THE SIDE OF THE TRANSFER SWITCH (BY THE CONTRACTOR), THROUGH THE TRANSFER SWITCH AND UP TO THE EXISTING CONDUIT BESIDE THE A/C POWER FAIL RELAY. THE (CAT5) WILL BE PULLED THROUGH EXISTING CONDUIT AROUND THE SHELTER AND EXTENDED TO THE ALARM BLOCK. THERE SHOULD BE A MINIMUM 3'-0" OF (CAT5) LEFT HANGING ON EACH END FOR THE CELL TECH TO HOOK UP THE GENERATOR ALARMS.

33) GC MUST SUBMIT A COPY OF THE BUILDING PERMIT AND CONSTRUCTION SCHEDULE TO THE PROJECT SUPERVISOR PRIOR TO RECEIVING (NTP) TO BEGIN CONSTRUCTION (NO EXCEPTIONS).

34) GC MUST DISPLAY FCC TOWER REGISTRATION NUMBER AND EMERGENCY PHONE NUMBERS ON 3'-0 X 4'-0" MINIMUM WOODEN BACKBOARD SOMEWHERE ON SITE LOCATION PRIOR TO BREAKING GROUND.

**GRADING & EXCAVATING NOTES:**

1) ANY DAMAGE TO EXISTING UTILITIES, STRUCTURES, ROADS AND PARKING AREAS TO BE REPAIRED OR REPLACED TO OWNERS SATISFACTION.

2) PREPARATION FOR FILL:  
REMOVAL OF ALL DEBRIS, WET AND UNSATISFACTORY SOIL MATERIALS, TOPSOIL, VEGETATION, AND HARMFUL MATERIALS FROM SURFACE OF GROUND PRIOR TO PLOWING, STRIPPING, PLACING FILLS OR BREAKING UP OF SLOPED SURFACES GREATER THAN 1 VERTICAL TO 4 HORIZONTAL SO MATERIAL FOR FILL WILL BOND TO EXISTING SURFACE. WHEN AREA TO RECEIVE FILL HAS A DENSITY LESS THAN REQUIRED, BREAK UP GROUND SURFACE TO DEPTH REQUIRED, AERATE, MOISTURE - CONDITION, OR PULVERIZE SOIL AND RECOMPACT TO REQUIRED DENSITY.

3) BACK FILLING:  
- EXCAVATED AREA SHALL BE CLEARED FROM STONES OR CLODS OVER 2 1/2" MAXIMUM DIAMETER  
- SHALL BE PLACED IN LAYERS OF 6" AND COMPACTED TO A 95% STANDARD PROCTOR, USE A 90% PROCTOR IN GRASSED / LANDSCAPED AREAS WHERE REQUIRED.  
- SHALL BE APPROVED MATERIALS CONSISTING OF SANDY CLAY, GRAVEL AND SAND, SOFT SHALE, EARTH OR LOAM. CONSULT WITH OWNER PRIOR TO FILL BEING ADDED.

4) ALL MATERIAL FOR FILL TO BE APPROVED BY OWNER AND ALL COMPACTING TEST TO BE COMPLETED TO SPEC'S ALL COMPACTING RESULTS TO BE TURNED OVER TO OWNER.

5) AFTER COMPLETION OF BELOW GRADE EXCAVATING, AREA TO BE CLEANED AND CLEARED OF ANY UNSUITABLE MATERIALS, SUCH AS TRASH, DEBRIS, VEGETATION AND SO FORTH.

6) ANY EXCAVATING IN WHICH CONCRETE IS TO BE PLACED SHALL BE SUBSTANTIALLY HORIZONTAL ON UNDISTURBED AND UNFROZEN SOIL AND BE FREE OF ANY LOOSE MATERIAL AND EXCESS GROUND WATER.

7) IF SOUND SOIL IS NOT REACHED AT DESIGNATED EXCAVATION DEPTH, THE POOR SOIL IS TO BE EXCAVATED TO ITS FULL DEPTH AND EITHER REPLACED WITH MECHANICALLY COMPACTED GRANULAR MATERIAL OR THE EXCAVATION TO BE FILLED WITH THE SAME QUALITY CONCRETE SPECIFIED FOR THE FOUNDATION. PLEASE NOTIFY THE PROJECT SUPERVISOR AND THEY WILL HAVE A 3RD PARTY ENGINEERING FIRM CONTACT YOU WITH RECOMMENDATIONS.

8) MECHANICALLY COMPACTED GRANULAR MATERIAL OR CONCRETE OF THE SAME QUALITY SPECIFIED FOR THE FOUNDATIONS TO BE USED IF EXCAVATION EXCEEDED THE OVERALL REQUIRED DEPTH. FOR STABILIZATION OF THE BOTTOM OF THE EXCAVATION, CRUSHED STONE MAY BE USED. STONE, IF USED, SHALL NOT BE USED AS COMPILING CONCRETE THICKNESS. PLEASE NOTIFY THE PROJECT SUPERVISOR AND THEY WILL HAVE A 3RD PARTY ENGINEERING FIRM CONTACT YOU WITH RECOMMENDATIONS.

9) EXCAVATION TO COMPOUND TO INCLUDE WEED CONTROL MAT.


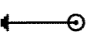






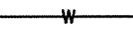
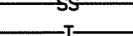

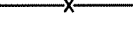



10) SITE TO HAVE PROPER DRAINAGE & EROSION CONTROL (CROWNED FORMATION)

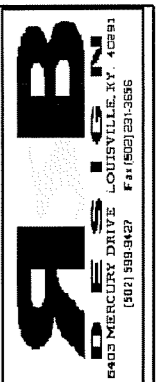
11) GC WILL BE RESPONSIBLE FOR REPAIR OF ALL AREAS DISTURBED DURING CONSTRUCTION. (EXCAVATING ISSUES)

**"CALL BEFORE YOU DIG"**

THE CONTRACTOR'S ATTENTION IS DIRECTED TO THE UTILITY PROTECTION CENTER, PHONE 811 IN KENTUCKY, WHICH WAS ESTABLISHED TO PROVIDE ACCURATE LOCATIONS OF UNDERGROUND UTILITIES. THE CONTRACTOR SHALL NOTIFY THE UTILITY PROTECTION CENTER 48 HOURS IN ADVANCE OF ANY CONSTRUCTION ON THIS PROJECT. ALL NEW SERVICE AND GROUNDING TRENCHES PROVIDE A WARNING TAPE @ 12 INCHES BELOW GRADE.

**SYMBOLS LEGEND**

-  KEYNOTE
-  INSPEC. SLEEVE / GRND ROD
-  INSPECTION SLEEVE
-  CAD WELD CONNECTION
-  TRANSFORMER
-  LIGHTNING SUPPRESSOR
-  SWITCH (DISCONNECT)
-  METER PACK
-  POWER
-  GAS LINE
-  WATER LINE
-  SANITARY SEWER
-  TELEPHONE
-  STORM SEWER DRAIN
-  FENCE



NO.	DATE	REVISION

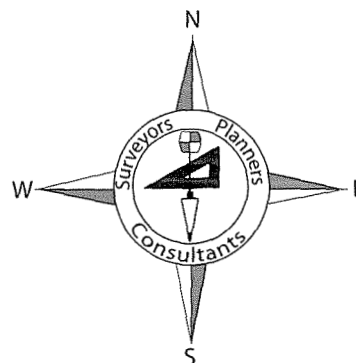
**BLUEGRASS CELLULAR, INC.**  
STANDARD CELLULAR SITE  
**BRADFORDSVILLE**  
5210 HWY. 1157, LEBANON, KY. 40033

DRAWN BY: R. BECKER  
ISSUE DATE: 3-02-10  
SCALE: LISTED

SHEET NUMBER  
**General Notes**

# Landmark Surveying Co., Inc.

Darren L. Helms, P.L.S., PRESIDENT  
Dennis N. Helms, P.L.S., VICE PRESIDENT



15 N.E. 3rd Street  
Washington, Indiana 47501  
Phone: 812-257-0950  
Fax: 812-257-0953  
Email: landmark97@sbcglobal.net

## Directions to the Site From the County Seat of Marion County, Kentucky

### **Bradfordsville Site**

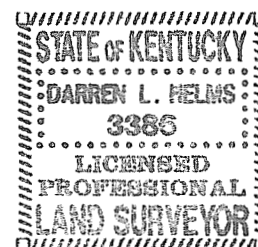
From the intersection of U.S. Highway 68 (Main Street) and Kentucky Highway 49 (Proctor Knott Avenue) in downtown Lebanon, Kentucky: travel south on Kentucky Highway 49 for 7.4 miles to Kentucky Highway 1157, which is about 1.8 miles west of Bradfordsville; turn right onto Kentucky Highway 1157 and travel south for 0.7 miles to the tower site on the right or west side of the highway in a pasture near a barn. The address of the site is 5210 Highway 1157, Lebanon, Kentucky 40033.

*Darren L. Helms*

Darren L. Helms, Kentucky Professional Land Surveyor No. 3386

JAN. 29, 2010

Date



Site Name: Bradfordsville

## **OPTION TO LEASE AND LEASE AGREEMENT**

### **I.**

#### **OPTION TO LEASE REAL PROPERTY**

**THIS OPTION TO LEASE REAL PROPERTY** (the "Option Agreement") is made and entered into this 11 day of December, 2009, by and between Manuel Marlow, single, whose mailing address is 5690 Highway 1157, Lebanon, KY 40033 (the "Optionor (s)") and Kentucky RSA 4 Cellular General Partnership, d/b/a Bluegrass Cellular, a Kentucky general partnership with principal office and place of business at 2902 Ring Road, Elizabethtown, KY 42701 (the "Optionee").

#### **WITNESSETH:**

**WHEREAS**, the Optionor(s) is the owner of certain real property located in Marion County, **Kentucky** as more particularly described on Exhibit A attached hereto and incorporated herein by reference (the "Property"); and

**WHEREAS**, the Optionor(s) wishes to grant to the Optionee, and the Optionee wishes to obtain from the Optionor(s), an option to lease the Property upon the terms and conditions set forth herein;

**NOW, THEREFORE**, in consideration of the foregoing premises and for other good and valuable consideration, the mutuality, receipt and sufficiency of which are hereby acknowledged, the parties hereto do agree as follows.

Site Name: Bradfordsville

1. In consideration of **One Thousand Eight Hundred Dollars and Zero Cents (\$1,800.00)** paid by the Optionee to the Optionor(s) (the "Option Consideration"), the receipt of which is hereby acknowledged by the Optionor(s), the Optionor(s) hereby grants to the Optionee an exclusive and irrevocable option to lease the Property (the "Option"), upon the terms and conditions hereinafter set forth, upon the exercise of the Option at any time before 4:00 p.m. prevailing time on 11 June 2011, (the "Option Period") as set forth in Paragraph 5 thereof.
2. The parties hereto anticipate that the Property comprises approximately a **One Hundred Foot by One Hundred Foot** area, and that a right of way will be given by the Optionor(s) for the purposes of ingress and egress throughout the term of the lease. The Optionee shall obtain an accurate survey of the Property by a registered land surveyor licensed in the Commonwealth of Kentucky at the sole expense of the Optionee. A copy of the survey shall be provided to the Optionor(s). The description of the Property shall include the number of acres determined by the surveyor. The Optionee shall obtain said survey within a reasonable time following the date of the Option Agreement.
3. During the term of the Option, the Optionee may enter onto the Property at its own risk to obtain soil samples and to bore soil for the purposes of determining the suitability of the Property for a communications tower.
4. Upon the Optionee's proper exercise of the Option in accordance with Paragraph 5 hereof, the Optionor(s) shall be deemed to have immediately executed, acknowledged and delivered to the Optionee the Lease Agreement contained in Section II hereof. The description of the Property shall be that determined by the registered land surveyor in accordance with Paragraph 2 hereof.

Site Name: Bradfordsville

5. If the Optionee elects to exercise the Option in accordance with the terms hereof, notice of such election shall be deemed sufficient if personally delivered or sent by registered or certified mail, return receipt requested, to the address of the Optionor(s) set forth in Paragraph 14 hereof.
6. The Optionor(s) agrees not to sell, lease or offer for sale or lease the Property during the term of this Option or any renewal or extension of the Option.
7. In the event the Optionee fails to exercise the Option as set forth herein (unless such failure is due to the discovery of a defect in the Property or other matter unsatisfactory to the Optionee), the Optionor(s) shall have the right to retain the Option Consideration.
8. The Optionee may assign this Option with written consent of the Optionor(s), which consent shall not be unreasonably withheld, and upon any assignment such assignee shall have all the rights, remedies and obligations as if it were the original Optionee hereunder. From and after any such assignment, the term "Optionee" shall refer to such assignee.
9. Each party hereto shall bear any and all of its own expenses in connection with the negotiation, execution or settlement of this Option.
10. Risk of loss with respect to the Property during the term of this Option and during the term of the lease shall be upon the Optionor(s). If, during the term of the Option, any portion of the Property shall be acquired by public authority under the right or threat of eminent domain, the Optionee may, at its sole option, either (i) exercise the

Site Name: Bradfordsville

Option, and in such event, all sums received from the public authority by the Optionor(s) by reason of the taking of a portion of the Property shall reduce the rent due under the lease, or (ii) terminate this Option and thereupon the Optionor(s) shall be obligated to return to the Optionee the full amount of the Option Consideration previously paid to the Optionor(s) in “good and collected funds.”

11. The parties hereto represent to each other that neither has engaged any broker to represent their interests in connection with the transactions contemplated hereby, and each agrees to indemnify the other against any and all claims made by any brokers engaged or purported to be engaged by the other for brokerage commissions or fees in connection with the transactions contemplated hereby.
12. The Optionor(s) represents, warrants and covenants to the Optionee that the Optionor(s) has not caused or permitted, and shall not cause or permit, and to the best of Optionor(s)' knowledge no other person has caused or permitted any hazardous material (as defined by any applicable federal, state or local law, rule or regulation) to be brought upon, placed, held, located or disposed of at the Property. In the event any such contamination occurs for which the Optionee becomes legally liable, the Optionor(s) shall indemnify the Optionee against all claims, damages, judgments, penalties and costs and expenses, including reasonable attorneys' fees, which Optionee may incur.
13. This Option Agreement and the rights and obligations of the parties hereto shall be construed in accordance with the laws of the Commonwealth of Kentucky.

Site Name: Bradfordsville

14. For the purposes of giving notice as permitted or required herein, the address of the Optionor(s) shall be: **5690 Highway 1157, Lebanon, KY 40033**; the Optionee's address shall be: **2902 Ring Road, Elizabethtown, KY 42701**. Any inquiry by the Optionor to the Optionee regarding the terms and conditions of the Option Agreement or Lease Agreement, or otherwise related to the Option Agreement or Lease Agreement, shall be made in writing and submitted to the attention of the Optionee's Lease Administrator at the above address.
15. The Optionee shall have the right, in its sole discretion, to record this Option in the Office of the Clerk of the County Court of Marion County, Kentucky.

## II.

### LEASE AGREEMENT

16. In the event the Optionee elects to exercise the Option to lease the Property, the terms of the Lease Agreement ("Lease Agreement" or "Lease") shall become immediately effective upon such exercise and shall be as follows.
  1. The term of the Lease shall commence on the date that the Optionor(s) receives proper notice that the Optionee has exercised the Option, pursuant to Paragraph 5 therein. The initial term shall expire **five (5) year(s)** from the commencement date of the Lease Agreement and shall include **six (6) additional five (5)-year terms** per the Lease Agreement. Optionee may, by providing written notice at least sixty (60) days prior to the expiration of the original or any renewal Lease term, elect to unilaterally terminate this Lease at the end of any original or renewal Lease term. Such notice must be

Site Name: Bradfordsville

personally delivered or sent via registered or certified mail, return receipt requested, to the address of the Optioner(s) set forth in Paragraph 14 hereof. The Lease amount shall be adjusted at the end of each term by an increase of 12%.

2. The Optionee shall pay to the Optionor(s) rent for the Property in the sum of Four Thousand Eight Hundred Dollars and Zero Cents (\$4,800.00) yearly, to be paid in advance. All rent payments shall be personally delivered or mailed to the Optionor(s) at the address set forth in Paragraph 14 hereof. Any check payment of the rent due under the Lease shall be payable to the order of Optionor(s).
3. The Optionee shall be entitled to use and occupy the Property for the purpose of erecting, maintaining and operating a communications tower and communications facilities thereon and for all such other uses as Optionee may, in its sole discretion, deem necessary in connection therewith.
4. The Optionor(s) shall be responsible for the payment of all real estate taxes which shall be assessed against the Property during the term of the lease. The Optionee shall pay all charges for heat, water, gas, electricity, sewer use charges and any other utility used or consumed on the Property. The Optionee shall, at its own cost and expense, maintain and keep in full force and effect during the term of the lease public liability insurance with coverage in the amount of at least one million dollars (\$1,000,000.00) per person for bodily injury, disease, or death and shall maintain property insurance on any property the Optionee located on the Property.



Site Name: Bradfordsville

5. The Optionee may assign the lease. The Optionee may sublet all or part of the space on the tower or ground space.
6. The Optionor(s) covenants that upon the Optionee's payment of the rent agreed upon herein, as well as Optionee's observing and performing all of the covenants and conditions contained in the Lease, the Optionee may peacefully and quietly enjoy the Property subject to the terms and conditions set forth in the Lease.
7. The Optionee agrees to maintain an access road in a passable manner for the term of the lease.
8. Optionee's Payment of Taxes, Fees and Assessments. Optionee shall pay directly to the applicable federal, state or local governmental unit or agency ("Governmental Entity") or to Optionor if Optionor is invoiced by such Governmental Entity, all taxes, fees, assessments or other charges assessed by any Governmental Entity directly against Optionee's Equipment and/or Optionee's use of the Facility. Optionee shall also pay to Optionor Optionee's Pro Rata Share of all taxes, fees, assessments or charges including, but not limited to, personal property taxes attributable to Optionee's equipment and antenna(s), municipal franchise fees, use fees, municipal application fees, installation fees and increases thereof. "Pro Rata Share" shall mean the fraction of decimal equivalent of dividing one (1) by the total number of then existing users occupying a tower on the last day of the applicable calendar year.

Site Name: Bradfordsville

17. This Option and Lease Agreement contains the entire agreement between the parties hereto and no modification or amendment shall be binding upon any party unless made in writing and signed by each of the parties hereto.
18. Upon the termination or other end of this Lease Agreement, Optionee shall have the right to remove any and all of its property (real or personal) from the Property regardless of whether or not such property may be considered a fixture thereto.
19. Upon abandonment of the property, Optionee shall have thirty (30) days to dismantle and remove the cellular antenna tower and any/all equipment located on Optionor's property.

[Remainder of Page Intentionally Left Blank]

Site Name: Bradfordsville

**EXECUTION OF AGREEMENT(S)**

IN WITNESS WHEREOF, the parties hereto have set their hands and affixed their respective seals.

Manuel Marlow

Date: 12/11/2009

("Optionor(s)")

**By: Manuel Marlow  
Property Owner (s)**

Ron Smith

Date: 12/11/9

("Optionee")

**By: Ron Smith  
Authorized Representative**

Site Name: Bradfordsville

STATE OF KENTUCKY  
COUNTY OF MARION

The foregoing instrument was acknowledged before me this 11<sup>th</sup> day of December,  
2009, by Marquel Marlow to be his/her free act and deed.

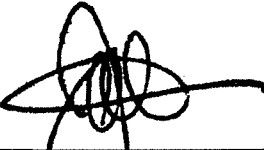
William S. Ingham  
NOTARY PUBLIC STATE AT LARGE  
My commission expires: 9/28/2011

STATE OF KENTUCKY  
COUNTY OF HARDIN

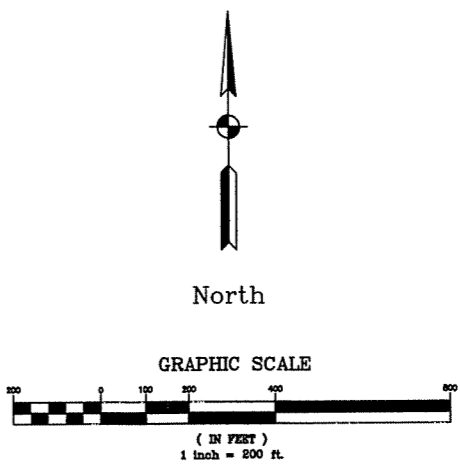
The foregoing instrument was acknowledged before me this 11 day of December,  
2009, by **Ron Smith**, to be his free act and deed.

Jan L. Vici  
NOTARY PUBLIC STATE AT LARGE  
My commission expires: 1-21-13

This instrument prepared by:

  
\_\_\_\_\_  
John E. Selent  
**DINSMORE & SHOHL LLP**  
1400 FNC Plaza  
500 West Jefferson Street  
Louisville, KY 40202  
(502) 540-2300

Site: Bradfordsville  
500-Foot Radius Map for Structures and Landowners  
Marion County, Kentucky



Note

The location of the boundaries shown are approximate, and they are based upon aerial photographs and information on file in the office of the Property Valuation Administrator of Marion County, Kentucky.

Surveyor's Certification

I hereby certify that the information shown is correct to the best of my knowledge; and it is in accordance with the records found in the office of the Property Valuation Administrator of Marion County, Kentucky on January 25, 2010.

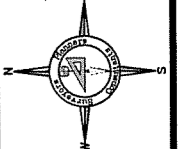
*Darren L. Helms*  
Darren L. Helms, P.L.S. 3386

Date JAN. 29, 2010

STATE OF KENTUCKY  
 DARREN L. HELMS  
 3386  
 LICENSED  
 PROFESSIONAL  
 LAND SURVEYOR

**Reduced Copy**

Landmark Surveying Co., Inc.  
 15 N.E. 3rd Street  
 Washington, Indiana 47501  
 (812) 257-0950  
 Email: landmark@bellsouth.net  
 Project No. 10-01-0703



500-Foot Radius Map  
 5210 Highway. 1157  
 Lebanon, Kentucky 40033

**Bluegrass Cellular**  
 2902 Ring Road  
 Elizabethtown, Kentucky 42701

REVISIONS	DATE

DATE 1-29-10	DRAWN BY A. Winkler	CHECKED BY D.L.Helms
-----------------	------------------------	-------------------------

SHEET NO.  
1  
OF 1 SHEETS  
FILE NO.  
brad-radius.dwg

**COMMONWEALTH OF KENTUCKY**  
**BEFORE THE PUBLIC SERVICE COMMISSION**

**In the Matter of:**

**APPLICATION OF KENTUCKY RSA #4 CELLULAR  
GENERAL PARTNERSHIP FOR ISSUANCE OF A  
CERTIFICATE OF PUBLIC CONVENIENCE AND  
NECESSITY TO CONSTRUCT A CELL SITE  
(BRADFORDSVILLE) IN RURAL SERVICE AREA #4  
(MARION) OF THE COMMONWEALTH  
OF KENTUCKY**

**CASE NO. 2010-00047**

**AFFIDAVIT OF HOLLY C. WALLACE**

I, Holly C. Wallace, being duly sworn, depose and state as follows:

1. My name is Holly C. Wallace and I am a member of the Kentucky Bar Association. I am legal counsel to Kentucky RSA #4 Cellular General Partnership and am submitting this affidavit in conjunction with the above referenced matter.
2. In order to demonstrate compliance with 807 KAR 5:063 §1(1)(l) & (m), Exhibit 1 identifies, with the exception of the individuals identified in paragraphs 4, 5, 6, 7 & 8, the names of the residents/tenants and property owners within 500 feet of the proposed tower who have been: (i) notified by written notice of the proposed construction, sufficient postage prepaid, by United States Certified Mail, return receipt requested; (ii) given the Commission docket number under which the application will be processed; and (iii) informed of the right to request intervention.
3. Attached as Exhibit 2 is a copy of the United States Certified Mail return receipt that demonstrates proof of service of the written notice of the proposed construction upon: (1) Michael E. Bradshaw; (2) Tucker Family Farms c/o Thomas T. Tucker; and (3) Billy Cox;
4. Affiant attempted to serve written notice of the proposed construction upon Carl S. Gribbins c/o Juan Andres (see Exhibit 1) via United States Certified Mail pursuant to 807 KAR 5:063 §1(1)(l) & (m). Service of the written notice of the proposed construction to Carl S.

Gribbins c/o Juan Andres was attempted via United States Certified Mail and was returned marked "Return to Sender - Unclaimed." (See attached Exhibit 3) Therefore, another copy of the written notice of proposed construction was sent to Carl S. Gribbins c/o Juan Andres via United States First Class Mail. (See Exhibit 1.)

5. Affiant attempted to serve written notice of the proposed construction upon Manuel Marlow (see Exhibit 1) via United States Certified Mail pursuant to 807 KAR 5:063 §1(1)(l) & (m). Service of the written notice of the proposed construction to Manuel Marlow was attempted via United States Certified Mail and was returned marked "Return to Sender - Unclaimed." (See attached Exhibit 4) Therefore, another copy of the written notice of proposed construction was sent to Manuel Marlow via United States First Class Mail. (See Exhibit 1.)

6. Affiant attempted to serve written notice of the proposed construction upon Old Liberty Cemetery Committee (see Exhibit 1) via United States Certified Mail pursuant to 807 KAR 5:063 §1(1)(l) & (m). Service of the written notice of the proposed construction to Old Liberty Cemetery Committee was attempted via United States Certified Mail and was returned marked "Return to Sender - Unclaimed." (See attached Exhibit 5) Therefore, another copy of the written notice of proposed construction was sent to Old Liberty Cemetery Committee via United States First Class Mail. (See Exhibit 1.)

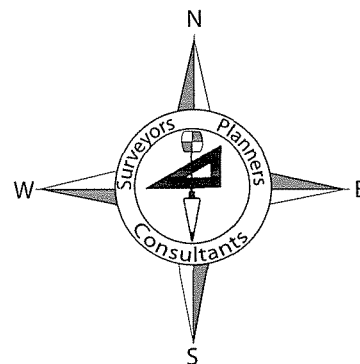
7. Affiant attempted to serve written notice of the proposed construction upon John R. and Mary J. Blake (see Exhibit 1) via United States Certified Mail pursuant to 807 KAR 5:063 §1(1)(l) & (m). Service of the written notice of the proposed construction to John R. and Mary J. Blake was attempted via United States Certified Mail and was returned marked "Return to Sender - Unclaimed." (See attached Exhibit 6) Therefore, another copy of the written notice of proposed construction was sent to John R. and Mary J. Blake via United States First Class Mail. (See Exhibit 1.)





# Landmark Surveying Co., Inc.

Darren L. Helms, P.L.S., PRESIDENT  
Dennis N. Helms, P.L.S., VICE PRESIDENT



15 N.E. 3rd Street  
Washington, Indiana 47501  
Phone: 812-257-0950  
Fax: 812-257-0953  
Email: landmark97@sbcglobal.net

## Landowner and Adjacent Landowner List

Bluegrass Cellular, Inc.  
Bradfordsville Site  
Marion County, Kentucky

Billy Cox  
4865 Hwy. 1157  
Lebanon, KY 40033

Mary Jean Wiser  
5039 Hwy. 1157  
Lebanon, KY 40033

John R. and Mary J. Blake  
5039 Hwy. 1157  
Lebanon, KY 40033

Tucker Family Farms  
c/o Thomas T. Tucker  
3800 Brier East  
Lexington, KY 40589

Old Liberty Cemetery Committee  
5960 Hwy. 1157  
Lebanon, KY 40033

Michael E. Bradshaw  
300 Settles Road  
Lebanon, KY 40033

Carl S. Gribbins  
c/o Juan Andres  
5160 Hwy. 1157  
Lebanon, KY 40033

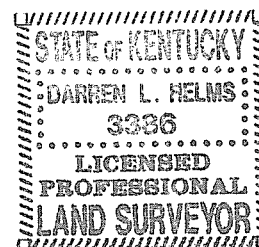
Manuel Marlow  
5690 Hwy. 1157  
Lebanon, KY 40033

Darren L. Helms

Darren L. Helms, Kentucky Professional Land Surveyor No. 3386

JAN. 29, 2010

Date



February 12, 2010

Michael E. Bradshaw  
300 Settles Road  
Lebanon, Kentucky 40033

## Public Notice

Kentucky RSA #4 Cellular General Partnership is a Kentucky general partnership that markets its services as Bluegrass Cellular. Bluegrass Cellular has been serving Central Kentucky with wireless communications services for over 15 years.

Kentucky RSA #4 Cellular General Partnership is applying to the Public Service Commission of the Commonwealth of Kentucky (the "Commission") for a Certificate of Public Convenience and Necessity to construct and operate a new cell facility to provide cellular telephone service. This facility will include a 240 foot tower and an equipment shelter to be located at 5210 Highway 1157, Lebanon, Kentucky, 40033. A map showing the location is attached.

**The Commission invites your comments regarding this proposed construction. Also, the Commission wants you to be aware of your right to intervene in this matter. Your comments and request for intervention should be addressed to:**

**Executive Director's Office  
Public Service Commission of Kentucky  
P.O. Box 615  
Frankfort, Kentucky, 40602.**

**Please refer to case number 2010-00047 in your correspondence.**

Bluegrass Cellular welcomes the opportunity to serve and provide wireless service in your community! (For more information, please check us out online at [www.myblueworks.com](http://www.myblueworks.com))

SENDER: COMPLETE THIS SECTION	COMPLETE THIS SECTION ON DELIVERY	
<ul style="list-style-type: none"><li>■ Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.</li><li>■ Print your name and address on the reverse so that we can return the card to you.</li><li>■ Attach this card to the back of the mailpiece, or on the front if space permits.</li></ul>	A. Signature <input checked="" type="checkbox"/> <i>Carl Bradshaw</i> <input type="checkbox"/> Agent <input type="checkbox"/> Addressee	
1. Article Addressed to:  <i>Michael Bradshaw 300 Settles Rd. Lebanon, KY 40033</i>	B. Received by (Printed Name) <i>CARL BRADSHAW</i>	C. Date of Delivery <i>2-17-10</i>
2. Article Number (Transfer from service label)	D. Is delivery address different from item 1? <input type="checkbox"/> Yes If YES, enter delivery address below: <input type="checkbox"/> No	
PS Form 3811 February 2004	3. Service Type <input type="checkbox"/> Certified Mail <input type="checkbox"/> Express Mail <input type="checkbox"/> Registered <input type="checkbox"/> Return Receipt for Merchandise <input type="checkbox"/> Insured Mail <input type="checkbox"/> C.O.D.	
	4. Restricted Delivery? (Extra Fee) <input checked="" type="checkbox"/> Yes	
	7009 2820 0003 2671 4018	

February 12, 2010

Tucker Family Farms  
c/o Thomas T. Tucker  
3800 Brier East  
Lexington, Kentucky 40589

## Public Notice

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Public Service Commission of Kentucky  
P.O. Box 615  
Frankfort, Kentucky, 40602.**

**Please refer to case number 2010-00047 in your correspondence.**

Bluegrass Cellular welcomes the opportunity to serve and provide wireless service in your community! (For more information, please check us out online at [www.myblueworks.com](http://www.myblueworks.com))

SENDER: COMPLETE THIS SECTION	COMPLETE THIS SECTION ON DELIVERY
<ul style="list-style-type: none"><li>■ Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.</li><li>■ Print your name and address on the reverse so that we can return the card to you.</li><li>■ Attach this card to the back of the mailpiece, or on the front if space permits.</li></ul>	<p>A. Signature <input checked="" type="checkbox"/> <i>Caron Tucker</i> <input type="checkbox"/> Agent <input type="checkbox"/> Addressee</p> <p>B. Received by (Printed Name) <i>Caron Tucker</i> C. Date of Delivery <i>3/6/10</i></p> <p>D. Is delivery address different from item 1? <input type="checkbox"/> Yes If YES, enter delivery address below: <input type="checkbox"/> No</p>
<p>1. Article Addressed to: <i>Tucker Family Farms c/o Thomas T. Tucker 3800 Brier East Lexington, KY 40589</i></p>	<p>3. Service Type <input checked="" type="checkbox"/> Certified Mail <input type="checkbox"/> Express Mail <input type="checkbox"/> Registered <input type="checkbox"/> Return Receipt for Merchandise <input type="checkbox"/> Insured Mail <input type="checkbox"/> C.O.D.</p> <p>4. Restricted Delivery? (Extra Fee) <input type="checkbox"/> Yes</p>
<p>2. Article Number (Transfer from service label)</p>	<p>7005 1160 0000 2923 4709</p>



February 12, 2010

Carl S. Gribbins  
c/o Juan Andres  
5160 Highway 1157  
Lebanon, Kentucky 40033

## **Public Notice**

Kentucky RSA #4 Cellular General Partnership is a Kentucky general partnership that markets its services as Bluegrass Cellular. Bluegrass Cellular has been serving Central Kentucky with wireless communications services for over 15 years.

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**Executive Director's Office  
Public Service Commission of Kentucky  
P.O. Box 615  
Frankfort, Kentucky, 40602.**

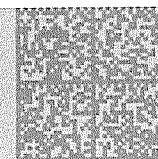
**Please refer to case number 2010-00047 in your correspondence.**

Bluegrass Cellular welcomes the opportunity to serve and provide wireless service in your community! (For more information, please check us out online at [www.myblueworks.com](http://www.myblueworks.com))

**IRE & SHOHL LLP**  
ATTORNEYS AT LAW  
1400 PNC PLAZA  
V. JEFFERSON STREET  
SVILLE, KY 40202



7009 2820 0003 2671 4025



UNITED STATES POSTAL SERVICE  
FITNEY BOWES  
02 1A  
000 460 8059 FEB 16 2010  
MAILED FROM ZIP CODE 40202  
**\$ 06.15<sup>0</sup>**

*NL 2-17-10 PB*

Carl S. Gribbins  
c/o Juan Andres  
5160 Highway 1157  
Lebanon, Kentucky 40033

*3-3*  
*3-5*



- A INSUFFICIENT ADDRESS
- C ATTEMPTED NOT KNOWN
- S NO SUCH NUMBER/ STREET
- NOT DELIVERABLE AS ADDRESSED
- UNABLE TO FORWARD

OTHER



*unclaimed*

**SENDER: COMPLETE THIS SECTION**

- Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

Carl S. Gribbins  
 C/o Juan Andres  
 5160 Highway 1157  
 Lebanon, KY 40033

2. Article Number

*(Transfer from service label)*

7009 2820 0003 2671 4025

PS Form 3811, February 2004

Domestic Return Receipt

102595-02-M-1540

**COMPLETE THIS SECTION ON DELIVERY**

A. Signature

X

 Agent AddresseeB. Received by (*Printed Name*)

C. Date of Delivery

D. Is delivery address different from item 1?  YesIf YES, enter delivery address below:  No

3. Service Type

 Certified Mail  Express Mail Registered  Return Receipt for Merchandise Insured Mail  C.O.D.4. Restricted Delivery? (*Extra Fee*) Yes

February 12, 2010

Manuel Marlow  
5690 Highway 1157  
Lebanon, Kentucky 40033

## **Public Notice**

Kentucky RSA #4 Cellular General Partnership is a Kentucky general partnership that markets its services as Bluegrass Cellular. Bluegrass Cellular has been serving Central Kentucky with wireless communications services for over 15 years.

Kentucky RSA #4 Cellular General Partnership is applying to the Public Service Commission of the Commonwealth of Kentucky (the "Commission") for a Certificate of Public Convenience and Necessity to construct and operate a new cell facility to provide cellular telephone service. This facility will include a 240 foot tower and an equipment shelter to be located at 5210 Highway 1157, Lebanon, Kentucky, 40033. A map showing the location is attached.

**The Commission invites your comments regarding this proposed construction. Also, the Commission wants you to be aware of your right to intervene in this matter. Your comments and request for intervention should be addressed to:**

**Executive Director's Office  
Public Service Commission of Kentucky  
P.O. Box 615  
Frankfort, Kentucky, 40602.**

**Please refer to case number 2010-00047 in your correspondence.**

Bluegrass Cellular welcomes the opportunity to serve and provide wireless service in your community! (For more information, please check us out online at [www.myblueworks.com](http://www.myblueworks.com))



**E & SHOHL LLP**  
ATTORNEYS AT LAW  
100 PNC PLAZA  
JEFFERSON STREET  
LEBANON, KY 40202



7009 2820 0003 2671 4100



UW7  
02 1A  
0004608059  
MAILED FROM ZIP CODE 40202  
\$ 06.15<sup>0</sup>  
FEB 16 2010  
FITNEY BOWES

*INC 2-17-10 PB*

Manuel Marlow  
5690 Highway 1157  
Lebanon, Kentucky 40033

*3-3*  
*3-5*

A  
 C  
 S

- INSUFFICIENT ADDRESS
- ATTEMPTED NOT KNOWN
- NO SUCH NUMBER/ STREET
- NOT DELIVERABLE AS ADDRESSED
- UNABLE TO FORWARD

OTHER



*unclaimed*

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- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

Manuel marlow  
 5690 Highway 1157  
 Lebanon, KY 40033

X

Addressee

B. Received by (*Printed Name*)

C. Date of Delivery

D. Is delivery address different from item 1?  Yes  
 If YES, enter delivery address below:  No

3. Service Type

- Certified Mail  Express Mail
- Registered  Return Receipt for Merchandise
- Insured Mail  C.O.D.

4. Restricted Delivery? (*Extra Fee*)

Yes

2. Article Number  
 (Transfer from service label)

7009 2820 0003 2671 4100

February 12, 2010

Old Liberty Cemetery Committee  
5960 Highway 1157  
Lebanon, Kentucky 40033

## **Public Notice**

Kentucky RSA #4 Cellular General Partnership is a Kentucky general partnership that markets its services as Bluegrass Cellular. Bluegrass Cellular has been serving Central Kentucky with wireless communications services for over 15 years.

Kentucky RSA #4 Cellular General Partnership is applying to the Public Service Commission of the Commonwealth of Kentucky (the "Commission") for a Certificate of Public Convenience and Necessity to construct and operate a new cell facility to provide cellular telephone service. This facility will include a 240 foot tower and an equipment shelter to be located at 5210 Highway 1157, Lebanon, Kentucky, 40033. A map showing the location is attached.

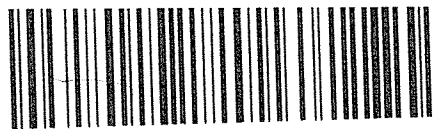
**The Commission invites your comments regarding this proposed construction. Also, the Commission wants you to be aware of your right to intervene in this matter. Your comments and request for intervention should be addressed to:**

**Executive Director's Office  
Public Service Commission of Kentucky  
P.O. Box 615  
Frankfort, Kentucky, 40602.**

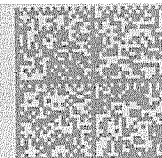
**Please refer to case number 2010-00047 in your correspondence.**

Bluegrass Cellular welcomes the opportunity to serve and provide wireless service in your community! (For more information, please check us out online at [www.myblueworks.com](http://www.myblueworks.com))

**RE & SHOHL LLP**  
ATTORNEYS AT LAW  
1400 PNC PLAZA  
7. JEFFERSON STREET  
SVILLE, KY 40202



7009 2820 0003 2671 4001



UNITED STATES POSTAL SERVICE  
FITNEY BOWES  
02 1A  
0004608059  
\$06.15<sup>0</sup>  
FEB 16 2010  
MAILED FROM ZIP CODE 40202

*NL 2-17-10 PB*

Old Liberty Cemetery Committee  
5960 Highway 1157  
Lebanon, Kentucky 40033

*3-3*

*3-5*



- A INSUFFICIENT ADDRESS
- C ATTEMPTED NOT KNOWN
- S NO SUCH NUMBER/ STREET
- NOT DELIVERABLE AS ADDRESSED
- UNABLE TO FORWARD

*OTHER*



*unclaimed*

**SENDER: COMPLETE THIS SECTION**

- Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

Old Liberty Cemetery Comm. Hse  
5960 Highway 1157  
Lebanon, KY 40033

2. Article Number  
(Transfer from service label)

7009 2820 0003 2671 4001

PS Form 3811, February 2004

Domestic Return Receipt

102595-02-M-1540

**COMPLETE THIS SECTION ON DELIVERY**

A. Signature

X

Agent

Addressee

B. Received by (*Printed Name*)

C. Date of Delivery

D. Is delivery address different from item 1?  Yes  
If YES, enter delivery address below:  No

3. Service Type

Certified Mail

Express Mail

Registered

Return Receipt for Merchandise

Insured Mail

C.O.D.

4. Restricted Delivery? (*Extra Fee*)

Yes

February 12, 2010

John R. and Mary J. Blake  
5039 Highway 1157  
Lebanon, Kentucky 40033

## **Public Notice**

Kentucky RSA #4 Cellular General Partnership is a Kentucky general partnership that markets its services as Bluegrass Cellular. Bluegrass Cellular has been serving Central Kentucky with wireless communications services for over 15 years.

Kentucky RSA #4 Cellular General Partnership is applying to the Public Service Commission of the Commonwealth of Kentucky (the "Commission") for a Certificate of Public Convenience and Necessity to construct and operate a new cell facility to provide cellular telephone service. This facility will include a 240 foot tower and an equipment shelter to be located at 5210 Highway 1157, Lebanon, Kentucky, 40033. A map showing the location is attached.

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Public Service Commission of Kentucky  
P.O. Box 615  
Frankfort, Kentucky, 40602.**

**Please refer to case number 2010-00047 in your correspondence.**

Bluegrass Cellular welcomes the opportunity to serve and provide wireless service in your community! (For more information, please check us out online at [www.myblueworks.com](http://www.myblueworks.com))

**SMORE & SHOHL LLP**  
ATTORNEYS AT LAW  
1400 PNC PLAZA  
500 W. JEFFERSON STREET  
LOUISVILLE, KY 40202



7005 1160 0000 2923 4693



02 1A \$06.1  
0004608059 FEB 16  
MAILED FROM ZIP CODE 4

John R. and Mary J. Blake  
5039 Highway 1157  
Lebanon, Kentucky 40033

HL 3-17-10 PB  
3-3  
3-5

- A
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- INSUFFICIENT ADDRESS
- ATTEMPTED NOT KNOWN
- NO SUCH NUMBER/ STREET
- NOT DELIVERABLE AS ADDRESSED
- UNABLE TO FORWARD

**RTS**  
RETURN TO SENDER  
OTHER  
unclaimed

**SENDER: COMPLETE THIS SECTION**

- Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

John R. & Mary J. Blake  
5039 Highway 1157  
Lebanon, KY 40033

2. Article Number

(Transfer from service label)

7005 1160 0000 2923 4693

PS Form 3811, February 2004

Domestic Return Receipt

102595-02-M-1540

**COMPLETE THIS SECTION ON DELIVERY**

A. Signature

X

Agent

Addressee

B. Received by (Printed Name)

C. Date of Delivery

D. Is delivery address different from item 1?  Yes

If YES, enter delivery address below:  No

3. Service Type

Certified Mail

Express Mail

Registered

Return Receipt for Merchandise

Insured Mail

C.O.D.

4. Restricted Delivery? (Extra Fee)

Yes



February 12, 2010

Mary Jean Wiser  
50389 Highway 1157  
Lebanon, Kentucky 40033

## **Public Notice**

Kentucky RSA #4 Cellular General Partnership is a Kentucky general partnership that markets its services as Bluegrass Cellular. Bluegrass Cellular has been serving Central Kentucky with wireless communications services for over 15 years.

Kentucky RSA #4 Cellular General Partnership is applying to the Public Service Commission of the Commonwealth of Kentucky (the "Commission") for a Certificate of Public Convenience and Necessity to construct and operate a new cell facility to provide cellular telephone service. This facility will include a 240 foot tower and an equipment shelter to be located at 5210 Highway 1157, Lebanon, Kentucky, 40033. A map showing the location is attached.

**The Commission invites your comments regarding this proposed construction. Also, the Commission wants you to be aware of your right to intervene in this matter. Your comments and request for intervention should be addressed to:**

**Executive Director's Office  
Public Service Commission of Kentucky  
P.O. Box 615  
Frankfort, Kentucky, 40602.**

**Please refer to case number 2010-00047 in your correspondence.**

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**INSMORE & SHOHL LLP**

ATTORNEYS AT LAW

1400 PNC PLAZA

500 W. JEFFERSON STREET

**LOUISVILLE, KY 40202**



7005 1160 0000 2923 4686



02 1A \$ 06  
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MAILED FROM ZIP CODE

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- INSUFFICIENT ADDRESS
- ATTEMPTED NOT KNOWN
- NO SUCH NUMBER/ STREET
- NOT DELIVERABLE AS ADDRESSED
- UNABLE TO FORWARD

OTHER

unclaimed  
**RTS**  
RETURN TO SENDER

*NL 2-17-10 PB*

*5039* Mary Jean Wisner  
~~5039~~ Highway 1157  
Lebanon, Kentucky 40033

*3-3*

*3-5*

**SENDER: COMPLETE THIS SECTION**

- Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

Mary Jean Wisser  
 50309 Highway 1157  
 Lebanon, KY 40033

2. Article Number  
(Transfer from service label)

7005 1160 0000 2923 4686

**COMPLETE THIS SECTION ON DELIVERY**

A. Signature

**X**

- 
- Agent
- 
- 
- Addressee

B. Received by (Printed Name)

C. Date of Delivery

D. Is delivery address different from item 1?  Yes  
If YES, enter delivery address below:  No

3. Service Type

- 
- Certified Mail
- 
- Express Mail
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- 
- Registered
- 
- Return Receipt for Merchandise
- 
- 
- Insured Mail
- 
- C.O.D.

4. Restricted Delivery? (Extra Fee)  Yes

Kerry W. Ingle  
502-540-2354  
kerry.ingle@dinslaw.com

February 12, 2010

***Via Certified Mail***

Hon. John G. Mattingly  
Marion County Judge Executive  
223 North Spalding Avenue, Suite 201  
Lebanon, Kentucky 40033

**Re: *Application of Kentucky RSA #4 Cellular General Partnership d/b/a Bluegrass Cellular for a Certificate of Public Convenience and Necessity to construct a cellular tower to be located at 5210 Highway 1157, Lebanon, Kentucky 40033, before the Public Service Commission of the Commonwealth of Kentucky, Case No. 2010-00047***

Dear Judge Mattingly:

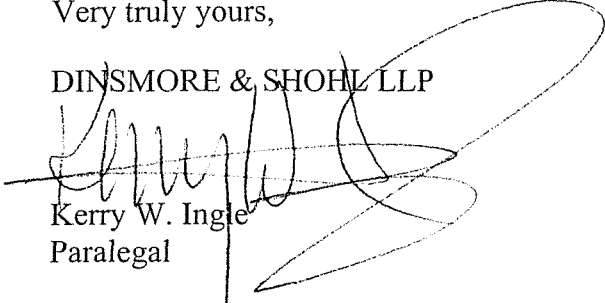
Kentucky RSA #4 Cellular General Partnership is a Kentucky General Partnership that markets its services as Bluegrass Cellular. Kentucky RSA #4 Cellular General Partnership is applying to the Public Service Commission of Kentucky (the "Commission") for a Certificate of Public Convenience and Necessity to propose construction and operation for a new facility to provide cellular radio telecommunications service in rural service area (RSA) #4 in Marion County. The facility will include a 240 ft. tower and an equipment shelter to be located at 5210 Highway 1157, Lebanon, Kentucky, 40033. A map showing the location of the proposed new facility is enclosed.

The Commission invites your comments regarding the proposed construction. You also have the right to intervene in this matter.

Your comments and request for intervention should be addressed to: Executive Director's Office, Public Service Commission, P.O. Box 615, Frankfort, Kentucky 40602. Please refer to case number 2010-00047.

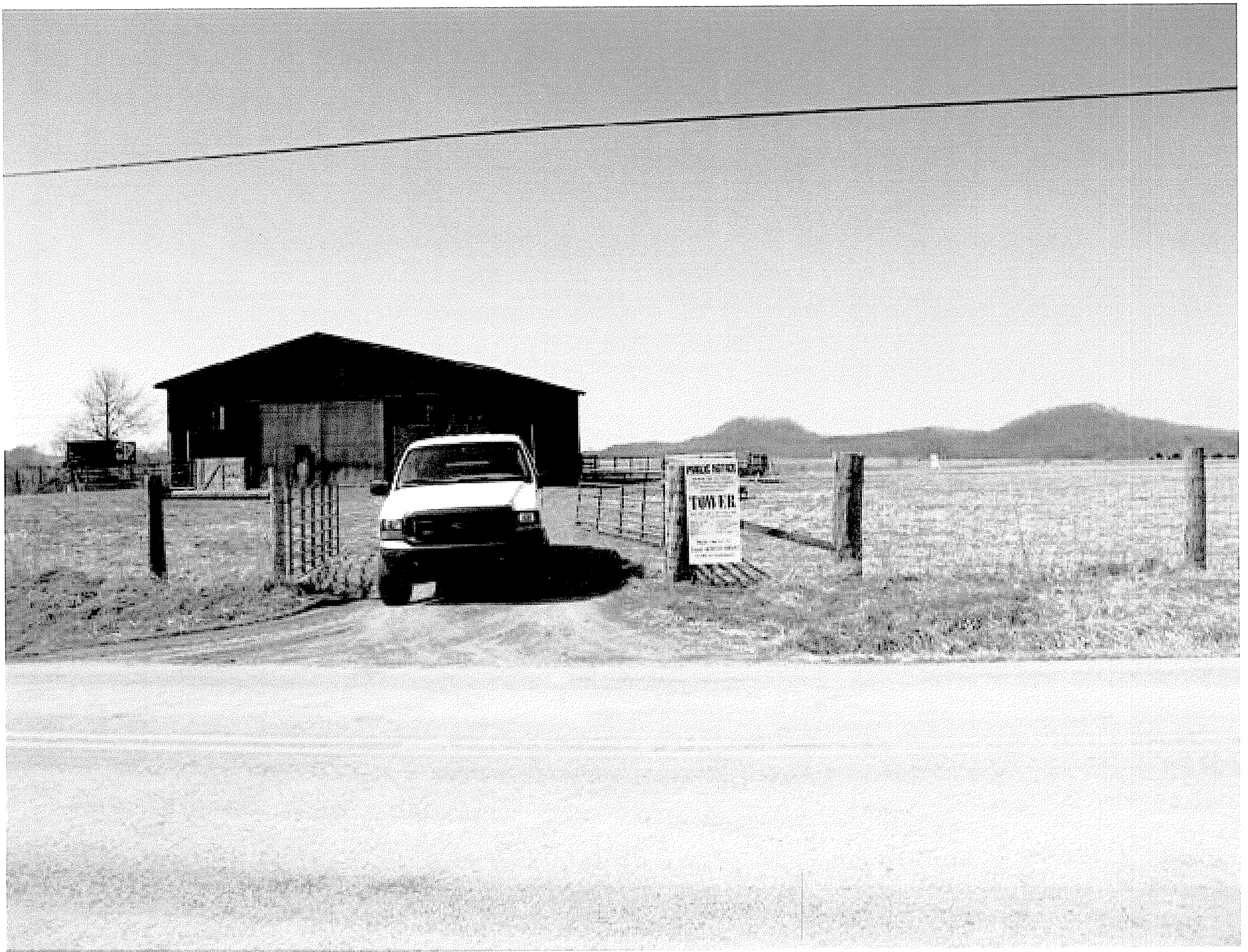
Very truly yours,

DINSMORE & SHOHL LLP

  
Kerry W. Ingle  
Paralegal

enclosure

SENDER: COMPLETE THIS SECTION	COMPLETE THIS SECTION ON DELIVERY	
<ul style="list-style-type: none"> <li>■ Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.</li> <li>■ Print your name and address on the reverse so that we can return the card to you.</li> <li>■ Attach this card to the back of the mailpiece, or on the front if space permits.</li> </ul>	<p>A. Signature <span style="float: right;"><input checked="" type="checkbox"/> Agent <input type="checkbox"/> Addressee</span></p> <p><i>[Handwritten Signature]</i></p> <p>B. Received by (<i>Printed Name</i>) <span style="float: right;">C. Date of Delivery</span></p> <p><i>Leticia Ann Elder</i> <span style="float: right;"><i>2-17-10</i></span></p> <p>D. Is delivery address different from item 1? <input type="checkbox"/> Yes If YES, enter delivery address below: <input type="checkbox"/> No</p>	
<p>1. Article Addressed to:</p> <p><i>Hon. John B. Mattingly</i> <i>Marion County Judge Exec</i> <i>223 N. Spalding Avenue</i> <i>Suite 201</i> <i>Lebanon, KY 40033</i></p>	<p>3. Service Type</p> <p><input checked="" type="checkbox"/> Certified Mail <input type="checkbox"/> Express Mail  <input type="checkbox"/> Registered <input type="checkbox"/> Return Receipt for Merchandise  <input type="checkbox"/> Insured Mail <input type="checkbox"/> C.O.D.</p> <p>4. Restricted Delivery? (<i>Extra Fee</i>) <input type="checkbox"/> Yes</p>	
<p>2. Article Number <span style="float: right;">7008 1300 0000 4494 9377</span> (<i>Transfer from service label</i>)</p>		





# **PUBLIC NOTICE**

**Kentucky RSA #4 Cellular  
General Partnership proposes  
to construct a cellular  
communications**

# **TOWER**

**on this site. If you have any  
questions please contact:**

**Kentucky RSA #4 Cellular  
General Partnership  
P. O. Box 5002  
2902 Ring Road  
Elizabethtown, KY 42701**

**Executive Director,  
The Public Service Commission  
211 Sower Boulevard  
P. O. Box 615  
Frankfort, KY 40602**

**Please refer to P.S.C.  
Case #2010-00047  
in your correspondence.**



# **PUBLIC NOTICE**

**Kentucky RSA #4 Cellular  
General Partnership proposes  
to construct a cellular  
communications**

# **TOWER**

**near this site. If you have any  
questions please contact:**

**Kentucky RSA #4 Cellular  
General Partnership  
P.O. Box 5012  
2502 King Road  
Elizabethtown, NY 42701**

**Executive Director,  
The Public Service Commission  
211 Sower Boulevard  
P.O. Box 615  
Frankfort, NY 40602**

**Please refer to P.S.C.  
Case #2010-00047  
in your correspondence.**

**PUBLIC NOTICE**

Kentucky RBA and Cellular  
General Partnership proposes  
to construct a cellular  
communication tower

**TOWER**

near this site. If you have any  
questions please contact:

Robert D. G. Baker	Cellular
Robert G. Baker	Cellular
1111 1st St.	Cellular
PO Box 100	Cellular
Franklin, KY 40501	Cellular

Please refer to P.S.E.  
**Case #2010-00047**  
in your correspondence.

# The Lebanon Enterprise

119 S. Proctor Knott Ave. • Lebanon, KY 40033

Phone: (270) 692-6026 • FAX: (270) 692-2118

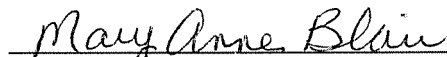
Editorial: [editor@lebanonenterprise.com](mailto:editor@lebanonenterprise.com) • Advertising: [mblair@lebanonenterprise.com](mailto:mblair@lebanonenterprise.com) • Bookkeeping:  
[enugent@lebanonenterprise.com](mailto:enugent@lebanonenterprise.com)

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## AFFIDAVIT OF PUBLICATION

The following affidavit is to be executed by an officer of the newspaper attesting publication of legal advertisements as required under an Act of Kentucky Legislature of 1958.

*Mary Anne Blair of Lebanon, Kentucky, being first duly sworn, says that she is Advertising Manager of The Lebanon Enterprise, a newspaper published in the State of Kentucky, County of Marion, and having general circulation in the County of Marion, and that the advertisement of which the annexed is a true copy has been published in said newspaper on the following dates, viz Feb. 24 and March 3, 2010*

  
\_\_\_\_\_  
Mary Anne Blair

Subscribed and sworn to before me, a Notary Public within and for the State and County aforesaid, by Mary Anne Blair to me personally known, this 3rd day of March, 2010. My commission expires the 6th day of February, 2013.

  
\_\_\_\_\_  
Eva Jo Watson-Nugent  
Notary Public, State At Large

**20 Apartments For Rent**

**BEDROOM** - Appliances furnished, Lebanon city units, \$325 deposit, \$325 monthly. (270) 699-9609

**APARTMENTS FOR RENT**

**\$495**

**per month**

**Extra nice - 2 bedroom, 1 bath, stove, refrigerator, dishwasher furnished. Washer/dryer hookups in utility room, patio off the back.**

**LIL JODIE DR. IN LEBANON.**

**Call (270) 692-3669 or (270) 402-3636**

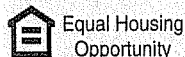
**APARTMENTS AVAILABLE**

**SOME NEWLY REMODELED.**

**The Lebanon Housing Authority**

is now accepting applications for one, two, three, four and five bedroom units. If you are interested contact the Authority at 101 Hamilton Heights, Lebanon, Ky. or phone **270-692-3481.**

- includes:
- Stove & refrigerator
  - All utilities
  - Private entrances
  - Maintenance provided
  - Convenient to downtown & shopping



**Marion Centennial Apartments**

**Now Accepting Applications for our Section 202 Elderly Housing**

Our apartments are all ground-level and are all furnished with a stove, refrigerator, central heat and air. Handicap accessible. Also, our spacious, fully-equipped Community Room is open to our residents at no extra charge.

**Stop by today and pick up an application at our 560 Maple Street Apartments #60, Lebanon, KY location**

**125 Real Estate Rentals**

**2 BEDROOM, 1 bath** house, stove & refrigerator furnished, W/D hook up. \$450 a month plus deposit & references (270)402-2560

**2 BEDROOM, 1.5 BATH TOWNHOUSE,** 405 College St. Lebanon. Appliances include: refrigerator, stove, washer/dryer hook-up Central heat/air. \$450 a month plus deposit. Call (270) 699-6886 after 5pm or leave message. Morgeson Development, LLC.

**FULL SIZE** like new very Firm Temperpedic Mattress with Foundation (Box Springs) & two pillows. Price negotiable. Call (270) 692-3246 leave message if no answer.

**RENTAL PROPERTY:** Houses & Apartments. Call to check openings. Tom Simms, (270) 692-6321 days; (270) 692-4577 nights.

**130 Real Estate Sales**

**LORETTO, KENTUCKY 2 BEDROOM.** 1 bath. Approx 1000 sq feet, recently remodeled throughout. All appliances stay including washer & dryer. Fenced back yard with storage shed. Also includes 2 car carport. Perfect starter home. Call 270-692-8793 for more information.

**LORETTO, KENTUCKY 2 BEDROOM.** 1 bath. Approx 1000 sq feet, recently remodeled throughout. All appliances stay including washer & dryer. Fenced back yard with storage shed. Also includes 2 car carport. Perfect starter home. Call 270-692-8793 for more information.



**132 Lots & Acreage**

**67.2 ACRES.** 3 barns, all in grass. Loretto Area. County water. 4% financing to qualified buyers. John Downs 502-349-3587 or Billy-Frank Harned 502-349-9707. Harned Auctioneers, LLC

**300 Legals**

**LEGAL NOTICE**  
Notice is hereby given that a hearing will be held on the Final Settlement on April 7, 2010, in the Marion District Court, and any exceptions or objections to said Final Settlement must be filed with the Court prior to the date of said hearing.  
**Name and Address of Decedent or Ward; Name, Title and Address of Fiduciary:**  
Joseph William Mattingly; 09-P-00028; Mark K. Mattingly - Ex'r. James O. Spivey; 08-P-00141; Barbara Gribbins - Ex'x. Paul Zane Robison; 09-P-00006; Michael Paul Robison - Adm'r.

The **MARION/WASHINGTON COUNTY AIRPORT BOARD** will be accepting bids for mowing the grounds of the airport until **THURSDAY, MARCH 11** at 12:00 noon. Specifications and bid form may be picked up at the airport terminal building, 650 Airport Lane. The board reserves the right to accept and/or reject any/or all bids.

**SEEKING HEALTH INSURANCE PROPOSALS**  
The City of Lebanon will accept proposals for employee Health Insurance until 4:00 p.m., March 26, 2010. To obtain a set of requested quotes and a copy of the current plan, contact John O. Thomas, City Administrator at the City of Lebanon Administrative offices located at 118 South Proctor Knott Avenue, Lebanon, Kentucky 40033, or call 270-692-6272 during normal business hours. **CITY OF LEBANON, KY.**

**NOTICE**  
Kentucky RSA #4 Cellular General Partnership is applying to the Public Service Commission of Kentucky for a Certificate of Public Convenience and Necessity to construct and operate a new facility to provide cellular radio telecommunications service in rural service area #4 of the Commonwealth of Kentucky (Bradfordsville Cell Site). The facility is a 240 foot tower and an equipment shelter to be located at 5210 Highway 1157, Lebanon, Kentucky 40033. Your comments and requests for intervention should be addressed to: Executive Director's Office, Public Service Commission, Post Office Box 615, 211 Sower Boulevard, Frankfort, Kentucky 40602. Please refer to Case No. 2010-00047 in your correspondence.

**PUBLIC NOTICE**  
As required by State and Federal regulations, the public is hereby informed that Portland Forge was in violation of their Industrial User Permit during 2009 and has been identified as being in Significant Noncompliance (SNC) under guidelines set by the City of Lebanon, U.S. EPA and the Kentucky Division of Water. For violations of the discharge limit for zinc, Portland Forge was issued Notices of Violation (NOVs) and an investigation was required. The facility identified the cause of the violations as failure to maintain and clean pumping and filtering equipment. Proper maintenance was conducted and increased sampling indicated a return to compliance. No other action by the City was necessary. Questions regarding this matter can be addressed to John O. Thomas, the City Administrator, at (270) 692-6272 or Cynthia Leasor, the City's pretreatment consultant, at (859) 873-3331.

**ADVERTISEMENT FOR BIDS**  
Project No.08NN01-01/02  
City Of Bradfordsville, Kentucky (Owner)  
Separate sealed bids for General Construction for Bradfordsville Community Storm Shelter and Senior Citizens Center will be received by Mayor David Edelen for the City of Bradfordsville, Kentucky at

#015 Perry W. Single / Legal Notice 3/3

#015 Kerry W. Sng

### 125 Real Estate Rentals

**2 BEDROOM, 1.5 BATH TOWNHOUSE**, 405 College St. Lebanon. Appliances include: refrigerator, stove, washer/dryer hook-up Central heat/air. \$450 a month plus deposit. Call (270) 699-6886 after 5pm or leave message. Morgeson Development, LLC.

**RENTAL PROPERTY:** Houses & Apartments. Call to check openings. Tom Simms, (270) 692-6321 days; (270) 692-4577 nights.

**2 BEDROOM, 1 bath** house, stove & refrigerator furnished, W/D hook up. \$450 a month plus deposit & references (270)402-2560

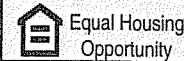
### Housing Authority

is now accepting applications for one, two, three, four and five bedroom units. If you are interested

contact the Authority at 101 Hamilton Heights, Lebanon, Ky. or phone **270-692-3481.**

Includes:

- Stove & refrigerator
- All utilities
- Private entrances
- Maintenance provided
- Convenient to downtown & shopping



### Marion Centennial Apartments

Now Accepting Applications for our Section 202 Elderly Housing

Our apartments are all ground-level and are all furnished with a stove, refrigerator, central heat and air. Handicap accessible. Also, our spacious, fully-equipped Community Room is open to our residents at no extra charge.

Stop by today and pick up an application at our **560 Maple Street Apartments #60, Lebanon, KY** location or call **(270) 692-6138.**

TDD# 711

Monday & Wednesday, 9 a.m. - 2 p.m.  
Friday, 11 a.m.-2 p.m.

Income limitations & age requirements apply. Equal Housing Opportunity

Enterprise

UPON EXPIRES MARCH 5, 2010

Must see to appreciate. Immediate possession. For more info please call (270) 699-6277 after 5pm.

**OLDER COUNTRY** 3 bedroom home, with 2 acres, needs work, \$30,000. Jes-sietown. (859) 332-4113.

**ADVERTISE & Sell it Today**

The **MARION/ WASHINGTON COUNTY AIRPORT BOARD** will be accepting bids for mowing the grounds of the airport until **THURSDAY, MARCH 11** at 12:00 noon. Specifications and bid form may be picked up at the airport terminal building, 650 Airport Lane. The board reserves the right to accept and/or reject any/or all bids.

**Poor Boys 1 Stop LLC** 5350 New Campbellsville Hwy, Lebanon, Kentucky. 40033 hereby declares intention to apply for a Restaurant Liquor by the Drink license no later than March 30th 2010. The business to be licensed will be located at 5346 New Campbellsville Hwy., Lebanon, Kentucky. 40033, doing business as Poor Boys. The members are as follows: Sherry Livers and James Rickie Livers, 762 East Moores Creek Rd., Campbellsville, Kentucky 42718. Any person, association, corporation, or body politic may protest the granting of the license by writing the Department of Alcoholic Beverage Control, 1003 Twilight Trail, Frankfort, Kentucky 40601-8400, within 30 days of the date of this legal publication.

#### NOTICE

Kentucky RSA #4 Cellular General Partnership is applying to the Public Service Commission of Kentucky for a Certificate of Public Convenience and Necessity to construct and operate a new facility to provide cellular radio telecommunications service in rural service area #4 of the Commonwealth of Kentucky (Bradfordsville Cell Site). The facility is a 240 foot tower and an equipment shelter to be located at 5210 Highway 1157, Lebanon, Kentucky 40033. Your comments and requests for intervention should be addressed to: Executive Director's Office, Public Service Commission, Post Office Box 615, 211 Sower Boulevard, Frankfort, Kentucky 40602. Please refer to Case No. 2010-00047 in your correspondence.

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We Got the Word


### Search Area Map


7.5 Minute Map:	Bradfordsville, KY Quadrangle
Site Name:	<i>Bradfordsville</i>
Latitude:	37-29-40 N
Longitude:	85-10-51 W
Ground Elevation:	720' (AMSL)
Tower Height:	255' AGL
Note:	<i>Minimum GE is 700 ft AMSL</i>


### Site Candidate Information

7.5 Minute Map:	Bradfordsville, KY Quadrangle
Site Name:	<i>Bradfordsville</i> ⊗
Latitude:	37-29-15.28 N
Longitude:	85-11-8.16 W
Ground Elevation:	767' (AMSL)
Tower Height:	255' AGL

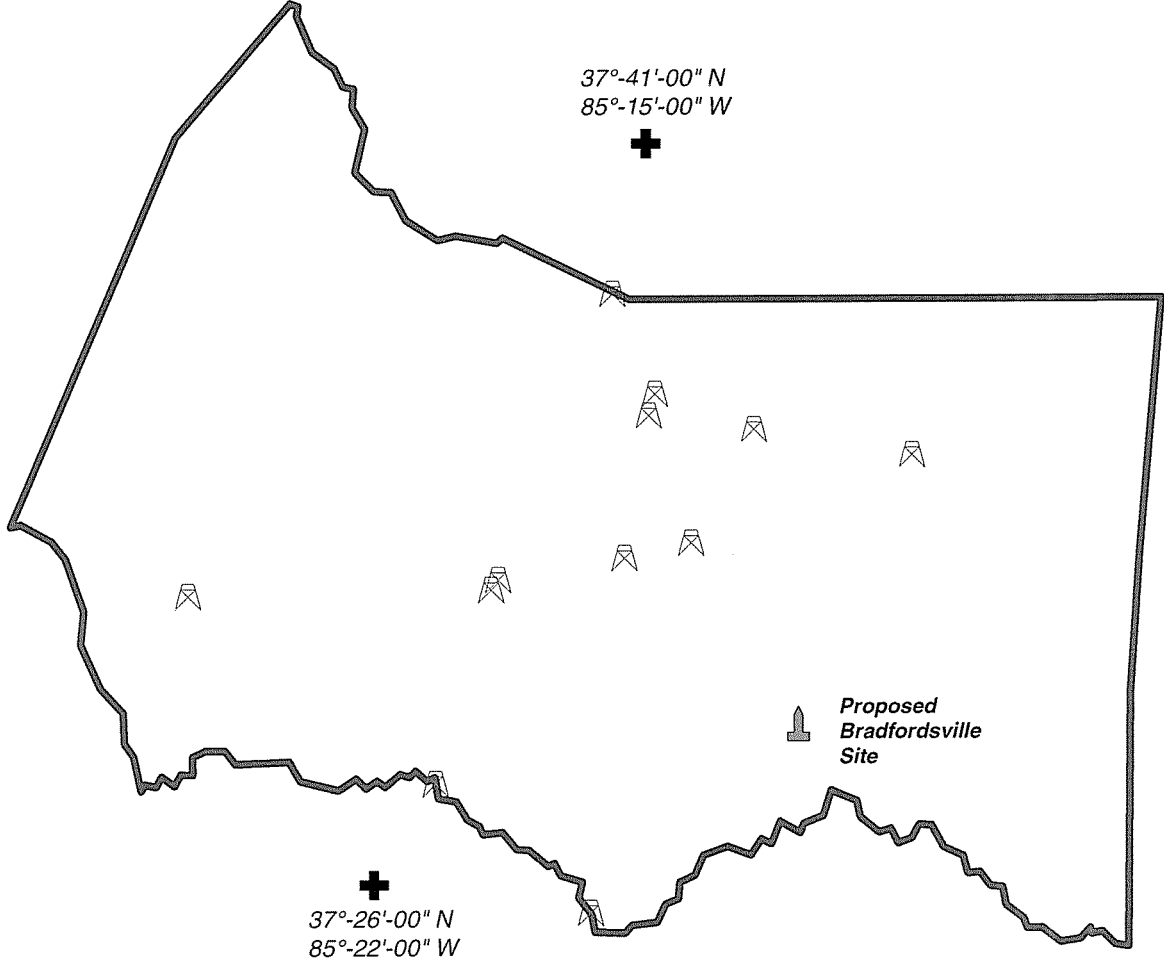
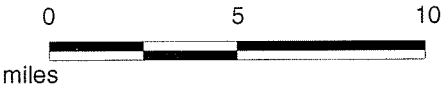
— Marion County Boundary

 Constructed Wireless Tower Locations Registered with the FCC

 Proposed Tower location

 Tick Marks

*Prepared By: LNGS Engineering 2/18/2010*



***Information on Constructed Towers Registered with the FCC  
in Marion County and 1/2 Mile Area Outside of the County Boundary***

<b><i>FCC Tower Reg. No.</i></b>	<b><i>North Lat.</i></b>	<b><i>West Lon.</i></b>	<b><i>Nearest City</i></b>	<b><i>State</i></b>	<b><i>Tower Owner</i></b>
1043055	37-31-58	85-18-59	Lebanon	KY	KENTUCKY RSA 4 CELLULAR GENERAL PARTNERSHIP DBA = BLUEGRASS CELLULAR
1044407	37-32-54.2	85-13-51.9	Lebanon	KY	Time Warner NY Cable LLC
1044801	37-25-25	85-16-27	Spurlington	KY	KENTUCKY, COMMONWEALTH OF DBA = KY EMERGENCY WARNING SYSTEM KEWS
1052450	37-28-03	85-20-25	Finley	KY	P & B TOWERS, LLC
1063302	37-35-12	85-12-15	Lebanon	KY	COMMONWELATH BROADCASTING COPRPORATION DBA = CBC
1203419	37-32-36	85-15-34	Lebanon	KY	Global Tower, LLC
1205220	37-31-51	85-26-45	Raywick	KY	Louisville Communications, LLC
1234007	37-35-55	85-14-47	Lebanon	KY	CBC of Marion Co.
1238634	37-32-10	85-18-48	Lebanon	KY	Inter County Energy Cooperative Corporation
1260096	37-37-57.6	85-15-51.8	Springfeild	KY	Shared Towers, LLC
1261393	37-34-40.5	85-8-12.5	Lebanon	KY	SBA Towers II LLC
1267688	37-35-28.7	85-14-56.6	Lebanon	KY	Mobilitie Investments II, LLC