

**COMMONWEALTH OF KENTUCKY  
BEFORE THE PUBLIC SERVICE COMMISSION**

In the Matter of:

THE APPLICATION OF	)	
THE TOWERS, LLC D/B/A VERTICAL BRIDGE	)	
AND KENTUCKY RSA 1 PARTNERSHIP BY CELLCO	)	
PARTNERSHIP D/B/A VERIZON WIRELESS, ITS	)	
MANAGING PARTNER	)	
FOR ISSUANCE OF A CERTIFICATE OF PUBLIC	)	CASE NO.: 2025-00373
CONVENIENCE AND NECESSITY TO CONSTRUCT	)	
A WIRELESS COMMUNICATIONS FACILITY	)	
IN THE COMMONWEALTH OF KENTUCKY	)	
IN THE COUNTY OF GRAVES	)	

SITE NAME: PURCHASE PARKWAY

\* \* \* \* \*

**APPLICATION FOR  
CERTIFICATE OF PUBLIC CONVENIENCE AND NECESSITY  
FOR CONSTRUCTION OF A WIRELESS COMMUNICATIONS FACILITY**

The Towers, LLC d/b/a Vertical Bridge and Kentucky RSA 1 Partnership by Cellco Partnership d/b/a Verizon Wireless, its Managing Partner (“Applicants”), by counsel, pursuant to (i) KRS §§ 278.020, 278.040, 278.650, 278.665, and other statutory authority, and the rules and regulations applicable thereto, and (ii) the Telecommunications Act of 1996, respectfully submit this Application requesting issuance of a Certificate of Public Convenience and Necessity (“CPCN”) from the Kentucky Public Service Commission (“PSC”) to construct, maintain, and operate a Wireless Communications Facility (“WCF”) to serve the customers of Verizon Wireless with wireless communications services.

In support of this Application, Applicants respectfully provide and state the following information:

1. The complete name and address of the Applicants are: The Towers, LLC

d/b/a Vertical Bridge, a Delaware limited liability company, having an address of 22 W Atlantic Avenue, Suite 310, Delray Beach, Florida 33444 and Kentucky RSA 1 Partnership by Cellco Partnership d/b/a Verizon Wireless, its Managing Partner, having an address of 2421 Holloway Road, Louisville, Kentucky 40299.

2. Applicants propose construction of an antenna tower for communications services, which is to be located in an area outside the jurisdiction of a planning commission, and Applicants submit this application to the PSC for a certificate of public convenience and necessity pursuant to KRS §§ 278.020(1), 278.040, 278.650, 278.665, and other statutory authority.

3. The Towers, LLC d/b/a Vertical Bridge is a limited liability company organized in the State of Delaware. The Towers, LLC's Certificate of Good Standing issued by the State of Delaware is attached as part of **Exhibit A** and hereby incorporated by reference. The Towers, LLC is in good standing in the state in which it is organized and further states that it is authorized to transact business in Kentucky, and a copy of the Certificate of Authorization issued by the Kentucky Secretary of State is attached as part of **Exhibit A** and is hereby incorporated by reference.

4. Kentucky RSA 1 Partnership by Cellco Partnership d/b/a Verizon Wireless, its managing partner, is a Delaware general partnership, and a copy of the Statement of Good Standing from Delaware and Certificate of Assumed Name on file with the Kentucky Secretary of State are included as a part of **Exhibit A**. Verizon Wireless is in good standing in the state in which it is organized and further state that they are authorized to transact business in Kentucky.

5. Verizon Wireless operates on frequencies licensed by the Federal Communications Commission ("FCC") pursuant to applicable FCC requirements. A copy of Verizon Wireless' FCC applications and licenses to provide wireless services are attached to this Application or described as part of **Exhibit A**, and the facility will be constructed and operated in accordance with applicable FCC regulations.

6. The public convenience and necessity require the construction of the proposed WCF. The construction of the WCF will bring or improve Verizon Wireless' services to an area currently not served or not adequately served by Verizon Wireless by increasing coverage or capacity and thereby enhancing the public's access to innovative and competitive wireless communications services. The WCF will provide a necessary link in Verizon Wireless' communications network that is designed to meet the increasing demands for wireless services in Kentucky's wireless communications service area. The WCF is an integral link in Verizon Wireless' network design that must be in place to provide adequate coverage to the service area.

7. To address the above-described service needs, Applicants propose to construct a WCF in a lease area located at 7960 State Route 58 E, Mayfield, KY 42066 (36° 46' 39.13" North latitude, 88° 30' 24.97" West longitude) on a parcel of land located entirely within the county referenced in the caption of this application. The property on which the WCF will be located is owned by Frances Swift and Henry R. Smith pursuant to a deed recorded in Book 295 Page 125 in the office of the County Clerk. The proposed WCF will consist of a 255-foot tall self-support tower, with an approximately 10-foot tall lightning arrestor attached at the top, for a total height of 265-feet. The WCF will also include

concrete foundations and a shelter or cabinets to accommodate the placement of radio electronics equipment and appurtenant equipment. The equipment cabinet or shelter will be approved for use in the Commonwealth of Kentucky by the relevant building inspector. The WCF compound will be fenced and all access gate(s) will be secured. A description of the manner in which the proposed WCF will be constructed is attached as **Exhibit B** and **Exhibit C**.

8. A list of utilities, corporations, or persons with whom the proposed WCF is likely to compete is attached as **Exhibit D**.

9. The site development plan and a vertical profile sketch of the WCF signed and sealed by a professional engineer registered in Kentucky depicting the tower height, as well as a proposed configuration for the antennas of Verizon Wireless has also been included as part of **Exhibit B**.

10. Foundation design plans signed and sealed by a professional engineer registered in Kentucky and a description of the standards according to which the tower was designed are included as part of **Exhibit C**.

11. Applicants have considered the likely effects of the installation of the proposed WCF on nearby land uses and values and have concluded that there is no more suitable location reasonably available from which adequate services can be provided, and that there are no reasonably available opportunities to co-locate antennas on an existing structure. When suitable towers or structures exist, Verizon Wireless attempts to co-locate on existing structures such as communications towers or other structures capable of supporting carrier's facilities; however, no other suitable or available co-location site was



found to be located in the vicinity of the site.

12. A Determination of No Hazard to Air Navigation issued by the Federal Aviation Administration ("FAA") for the proposed tower is attached as **Exhibit E**.

13. A copy of the application to the Kentucky Airport Zoning Commission ("KAZC") for the proposed construction is attached as **Exhibit F**.

14. A geotechnical engineering firm has performed soil boring(s) and subsequent geotechnical engineering studies at the WCF site. A copy of the geotechnical engineering report, signed and sealed by a professional engineer registered in the Commonwealth of Kentucky, is attached as **Exhibit G**. The name and address of the geotechnical engineering firm and the professional engineer registered in the Commonwealth of Kentucky who supervised the examination of this WCF site are included as part of this exhibit.

15. Clear directions to the proposed WCF site from the County seat are attached as **Exhibit H**. The name and telephone number of the preparer of **Exhibit H** are included as part of this exhibit.

16. The Towers, LLC, pursuant to a written agreement, has acquired the right to use the WCF site and associated property rights. A copy of the agreement or an abbreviated agreement recorded with the County Clerk is attached as **Exhibit I**.

17. Personnel directly responsible for the design and construction of the proposed WCF are well qualified and experienced. The tower and foundation drawings for the proposed tower submitted as part of **Exhibit C** bear the signature and stamp of a professional engineer registered in the Commonwealth of Kentucky. All tower designs

meet or exceed the minimum requirements of applicable laws and regulations.

18. The construction manager for the proposed facility is Adam Johnson and the identity and qualifications of each person directly responsible for design and construction of the proposed tower are contained in **Exhibits B & C**.

19. As noted on the Survey attached as part of **Exhibit B**, the surveyor has determined that the site is not within any flood hazard area.

20. **Exhibit B** includes a map drawn to an appropriate scale that shows the location of the proposed tower and identifies every owner of real estate within 500 feet of the proposed tower (according to the records maintained by the County Property Valuation Administrator). Every structure and every easement within 500 feet of the proposed tower or within 200 feet of the access road including intersection with the public street system is illustrated in **Exhibit B**.

21. Applicants have sent notice to every person who, according to the records of the County Property Valuation Administrator (“PVA”), owns property which is within 500 feet of the proposed tower or contiguous to the site property, by certified mail, return receipt requested, of the proposed construction. Each notified property owner has been provided with a map of the location of the proposed construction, the PSC docket number for this application, the address of the PSC, and has been informed of his or her right to request intervention. A list of the notified property owners and a copy of the form of the notice sent by certified mail to each landowner are attached as **Exhibit J** and **Exhibit K**, respectively.

22. Copies of the Graves County PVA records obtained on November 17, 2025 (and re-verified on January 14, 2026) and used to generate the notice list are attached as

part of **Exhibit J**.

23. Twelve notice letters were sent to the landowners on the notice list at the mailing addresses shown on the PVA records. Copies of the “Certified Mail Receipts” confirming the dates on which the letters were sent are attached as part of **Exhibit J**.

24. To date, eight signed United States Postal Service Form 3811 “green cards” have been returned. Copies of the returned “green cards” are attached as a part of **Exhibit J**. Three notice letters were returned and marked “Return to Sender / Unclaimed / Unable to Forward.” One notice letter was returned and marked “Return to Sender / Gibson Moved Left No Address / Unable to Forward / Return to Sender.” A copy of the returned undelivered letters are attached as part of **Exhibit J**. There are no unaccountable notices.

25. Applicants have notified the applicable County Judge/Executive by certified mail, return receipt requested, of the proposed construction. This notice included the PSC docket number under which the application will be processed and informed the County Judge/Executive of his/her right to request intervention. A copy of this notice is attached as **Exhibit L**. A copy of the “Certified Mail Receipt” and a copy of the USPS Form 3811 “green card” for this mailing are also attached as a part of **Exhibit L**.

26. Notice signs meeting the requirements prescribed by 807 KAR 5:063, Section 1(2) that measure at least 2 feet in height and 4 feet in width and that contain all required language in letters of required height, have been posted, one in a visible location on the proposed site and one on the nearest public road. Such signs shall remain posted for at least two weeks after filing of the Application, and a copy of the posted text is attached as **Exhibit M**. A legal notice advertisement regarding the location of the proposed facility has

been published in a newspaper of general circulation in the county in which the WCF is proposed to be located. A tear sheet from the newspaper that includes the notice advertisement and an affidavit verifying that the advertisement has been published is attached as part of **Exhibit M**.

27. The general area where the proposed facility will be located is predominantly rural in character and consists primarily of heavily wooded areas, agricultural uses and sparse residential uses. The site parcel itself is rural with significant wooded areas providing substantial natural screening.

28. The process that was used by Verizon Wireless' radio frequency engineers in selecting the site for the proposed WCF was consistent with the general process used for selecting all other existing and proposed WCF facilities within the proposed network design area. Verizon Wireless' radio frequency engineers have conducted studies and tests in order to develop a highly efficient network that is designed to handle voice and data traffic in the service area. The engineers determined an optimum area for the placement of the proposed facility in terms of elevation and location to provide the best quality service to customers in the service area. A radio frequency design search area prepared in reference to these radio frequency studies was considered by the Applicants when searching for sites for its antennas that would provide the coverage deemed necessary by Verizon Wireless' Radio Frequency Engineers. A map of the area in which the tower is proposed to be located which is drawn to scale and clearly depicts the necessary search area within which the site should be located pursuant to radio frequency requirements is attached as **Exhibit N**.

29. The tower must be located at the proposed location and proposed height to provide necessary service to wireless communications users in the subject area.

30. All Exhibits to this Application are hereby incorporated by reference as if fully set out as part of the Application.

31. All responses and requests associated with this Application may be directed to:

David A. Pike and  
F. Keith Brown  
Pike Legal Group, PLLC  
1578 Highway 44 East, Suite 6  
P. O. Box 369  
Shepherdsville, KY 40165-0369  
Telephone: (502) 955-4400  
Telefax: (502) 543-4410  
Email: dpike@pikelegal.com  
kbrown@pikelegal.com

**WHEREFORE**, Applicants respectfully request that the PSC accept the foregoing Application for filing, and having met the requirements of KRS §§ 278.020(1), 278.650, and 278.665 and all applicable rules and regulations of the PSC, grant a Certificate of Public Convenience and Necessity to construct and operate the WCF at the location set forth herein.

Respectfully submitted,



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David A. Pike  
And



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F. Keith Brown

Pike Legal Group, PLLC  
1578 Highway 44 East, Suite 6  
P. O. Box 369  
Shepherdsville, KY 40165-0369  
Telephone: (502) 955-4400  
Telefax: (502) 543-4410  
Email: dpike@pikelegal.com  
Email: kbrown@pikelegal.com  
Attorneys for Applicants

## **LIST OF EXHIBITS**

- A - Business Documentation & FCC Documentation
- B - Site Development Plan:
  - 500' Vicinity Map
  - Legal Descriptions
  - Flood Plain Certification
  - Site Plan
  - Vertical Tower Profile
- C - Tower and Foundation Design
  - Construction Manager Letter
  - List of Qualified Professionals
  - Tower and Foundation Drawings
- D - Competing Utilities, Corporations, or Persons List
- E - Federal Aviation Administration Documentation
- F - Kentucky Airport Zoning Commission Documentation
- G - Geotechnical Report
- H - Directions to WCF Site
- I - Copy of Real Estate Agreement
- J - Notification Listing, PVA Records & Proof of Notice
- K - Copy of Property Owner Notification
- L - Copy of County Judge/Executive Notice & Proof of Notice
- M - Copy of Posted Notices, Newspaper Notice Advertisement Tear Sheet
- N - Copy of Radio Frequency Design Search Area

**EXHIBIT A**

**BUSINESS DOCUMENTATION & FCC LICENSE  
DOCUMENTATION**



# Delaware

The First State

Page 1

I, JEFFREY W. BULLOCK, SECRETARY OF STATE OF THE STATE OF DELAWARE, DO HEREBY CERTIFY "THE TOWERS, LLC" IS DULY FORMED UNDER THE LAWS OF THE STATE OF DELAWARE AND IS IN GOOD STANDING AND HAS A LEGAL EXISTENCE SO FAR AS THE RECORDS OF THIS OFFICE SHOW, AS OF THE SIXTH DAY OF DECEMBER, A.D. 2024.

AND I DO HEREBY FURTHER CERTIFY THAT THE SAID "THE TOWERS, LLC" WAS FORMED ON THE TWENTY-FOURTH DAY OF MARCH, A.D. 2023.

AND I DO HEREBY FURTHER CERTIFY THAT THE ANNUAL TAXES HAVE BEEN PAID TO DATE.



7370717 8300

SR# 20244414963

You may verify this certificate online at [corp.delaware.gov/authver.shtml](http://corp.delaware.gov/authver.shtml)

A handwritten signature of Jeffrey W. Bullock in black ink, written over a horizontal line.

Jeffrey W. Bullock, Secretary of State

Authentication: 205056961

Date: 12-06-24

**Commonwealth of Kentucky**  
**Michael G. Adams, Secretary of State**

Michael G. Adams  
Secretary of State  
P. O. Box 718  
Frankfort, KY 40602-0718  
(502) 564-3490  
<http://www.sos.ky.gov>

**Certificate of Authorization**

Authentication number: 307364

Visit <https://web.sos.ky.gov/fts/certvalidate.aspx> to authenticate this certificate.

I, Michael G. Adams, Secretary of State of the Commonwealth of Kentucky, do hereby certify that according to the records in the Office of the Secretary of State,

**THE TOWERS, LLC**

, a limited liability company authorized under the laws of the state of Florida, is authorized to transact business in the Commonwealth of Kentucky, and received the authority to transact business in Kentucky on February 22, 2024.

I further certify that all fees and penalties owed to the Secretary of State have been paid; that an application for certificate of withdrawal has not been filed; and that the most recent annual report required by KRS 14A.6-010 has been delivered to the Secretary of State.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my Official Seal at Frankfort, Kentucky, this 18<sup>th</sup> day of March, 2024, in the 232<sup>nd</sup> year of the Commonwealth.



*Michael G. Adams*

Michael G. Adams  
Secretary of State  
Commonwealth of Kentucky  
307364/1343772



COMMONWEALTH OF KENTUCKY  
MICHAEL G. ADAMS, SECRETARY OF STATE

1343772.06

mmoore  
AOC

Michael G. Adams  
Kentucky Secretary of State  
Received and Filed:  
12/13/2024 1:54 PM  
Fee Receipt: \$20.00

Division of Business Filings  
Business Filings  
P.O. Box 718,  
Frankfort, KY 40602  
(502) 564-3490  
sosfilings@ky.gov to submit via email  
Filing Fee: \$15.00 (\$20.00 for LLC)

Articles of Correction

AOC

Pursuant to the provisions of KRS 14A-2.090, the undersigned applies correct articles and for that purpose, submits the following statement:

1. Name of the entity is: THE TOWERS, LLC  
Document to be corrected is: Certificate of Authority  
Date the document being corrected was originally filed: 2/22/2024

2. Please specify the inaccuracies or defects to be corrected:  
The domestic state in item 4 was incorrectly typed in as Florida.

3. The inaccuracy or defect stated above should be corrected as follows:  
The state or county under whose law the entity is organized is: Delaware

I declare under penalty of perjury under the laws of Kentucky that the forgoing is true and correct.

<u>/s/ Allison Cannella</u>	<u>Allison Cannella</u>	<u>Authorized Person</u>	<u>12/12/2024</u>
Signature	Printed Name	Title	Date

1343772.06

mmoore  
ADD

Michael G. Adams  
 Kentucky Secretary of State  
 Received and Filed:  
 2/22/2024 11:15 AM  
 Fee Receipt: \$90.00



COMMONWEALTH OF KENTUCKY  
 MICHAEL G. ADAMS, SECRETARY OF STATE

Division of Business Filings  
 P.O. Box 718  
 Frankfort, KY 40602  
 (502) 564-3490  
[www.sos.ky.gov](http://www.sos.ky.gov)

Certificate of Authority  
 (Foreign Business Entity)

FBE

Pursuant to the provisions of KRS 14A - 030 the undersigned hereby applies for authority to transact business in Kentucky on behalf of the entity named below and, for that purpose, submits the following statements:

1. The entity is a:
- |  |   |   |
|--|---|---|
| <input type="checkbox"/> profit corporation  | <input type="checkbox"/> nonprofit corporation                | <input type="checkbox"/> professional limited liability company |
| <input type="checkbox"/> business trust      | <input checked="" type="checkbox"/> limited liability company | <input type="checkbox"/> statutory trust                        |
| <input type="checkbox"/> limited partnership | <input type="checkbox"/> ltd cooperative association          | <input type="checkbox"/> public benefit corporation             |
| <input type="checkbox"/> non-profit llc      | <input type="checkbox"/> professional service corporation     | <input type="checkbox"/> other                                  |

2. The name of the entity is THE TOWERS, LLC  
 (The name must be identical to the name on record with the Secretary of State.)

3. The name of the entity to be used in Kentucky is (if applicable): \_\_\_\_\_  
 (Only provide if "real name" is unavailable for use; otherwise, leave blank.)

4. The state or country under whose law the entity is organized is FLORIDA

5. The date of organization is 03/24/2023 and the period of duration is \_\_\_\_\_  
 (If left blank, duration is considered perpetual.)

6. The mailing address of the entity's principal office is  
750 PARK OF COMMERCE DR, STE 200 BOCA RATON FL 33487  
 Street Address City State Zip Code

7. The street address of the entity's registered office in Kentucky is  
828 Lane Allen Road Suite 219 Lexington KY 40504  
 Street Address (No P.O. Box Numbers) City State Zip Code

and the name of the registered agent at that office is Cogency Global Inc.

8. The names and business addresses of the entity's representatives (secretary, officers and directors, managers, trustees or general partners):

<u>Ron Bizick</u>	<u>750 Park of Commerce Dr Ste 2</u>	<u>Boca Raton</u>	<u>FL</u>	<u>33487</u>
Name	Street or P.O. Box	City	State	Zip Code
<u></u>	<u></u>	<u></u>	<u></u>	<u></u>
Name	Street or P.O. Box	City	State	Zip Code
<u></u>	<u></u>	<u></u>	<u></u>	<u></u>
Name	Street or P.O. Box	City	State	Zip Code

9. If a professional service corporation, all the individual shareholders, not less than one half (1/2) of the directors, and all of the officers other than the secretary and treasurer are licensed in one or more states or territories of the United States or District of Columbia to render a professional service described in the statement of purposes of the corporation.

10. I certify that, as of the date of filing this application, the above-named entity validly exists under the laws of the jurisdiction of its formation.

11. If a limited partnership, it elects to be a limited liability limited partnership. Check the box if applicable: ☐

12. If a limited liability company, check box if manager-managed: ☐

13. This application will be effective upon filing.

Signature of Authorized Representative Ron Bizick, CEO 02/05/2024  
 Printed Name & Title Date

I, Cogency Global Inc., consent to serve as the registered agent on behalf of the business entity.  
 Type/Print Name of Registered Agent

Joelle Churik Joelle Churik Asst. Secretary 02/06/2024  
 Signature of Registered Agent Printed Name Title Date

# Delaware

The First State

Page 1

I, JEFFREY W. BULLOCK, SECRETARY OF STATE OF THE STATE OF DELAWARE, DO HEREBY CERTIFY "CELLCO PARTNERSHIP" IS DULY FORMED UNDER THE LAWS OF THE STATE OF DELAWARE AND IS IN GOOD STANDING AND HAS A LEGAL EXISTENCE SO FAR AS THE RECORDS OF THIS OFFICE SHOW, AS OF THE TWENTY-SEVENTH DAY OF APRIL, A.D. 2023.

AND I DO HEREBY FURTHER CERTIFY THAT THE ANNUAL TAXES HAVE BEEN PAID TO DATE.



3341134 8300

SR# 20231665976

You may verify this certificate online at [corp.delaware.gov/authver.shtml](http://corp.delaware.gov/authver.shtml)

A handwritten signature in black ink, appearing to read "JB", is written over a horizontal line. Below the line, the text "Jeffrey W. Bullock, Secretary of State" is printed.

Authentication: 203227418

Date: 04-27-23



**Michael G. Adams**  
**Secretary of State**

**Certificate**

I, Michael G. Adams, Secretary of State for the Commonwealth of Kentucky, do hereby certify that the foregoing writing has been carefully compared by me with the original thereof, now in my official custody as Secretary of State and remaining on file in my office, and found to be a true and correct copy of

CERTIFICATE OF ASSUMED NAME OF VERIZON WIRELESS ADOPTED BY  
GENERAL PARTNERS OF CELLCO PARTNERSHIP FILED JUNE 21, 2006.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my  
Official Seal at Frankfort, Kentucky, this 10th day of May, 2023.



*Michael G. Adams*

Michael G. Adams  
Secretary of State  
Commonwealth of Kentucky  
kdcoleman/0641227 - Certificate ID: 290787

COMMONWEALTH OF KENTUCKY  
TREY GRAYSON  
SECRETARY OF STATE



0641227.07

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C226

Trey Grayson  
Secretary of State  
Received and Filed  
06/21/2006 12:06:09 PM  
Fee Receipt: \$20.00

CERTIFICATE OF ASSUMED NAME

This certifies that the assumed name of  
Verizon Wireless

(Name under which the business will be conducted)

has been adopted by See Addendum

(Real name - KRS 365.015(1))

which is the "real name" of (YOU MUST CHECK ONE)

- |  |   |
|--|---|
| <input type="checkbox"/> a Domestic General Partnership                      | <input checked="" type="checkbox"/> a Foreign General Partnership           |
| <input type="checkbox"/> a Domestic Registered Limited Liability Partnership | <input type="checkbox"/> a Foreign Registered Limited Liability Partnership |
| <input type="checkbox"/> a Domestic Limited Partnership                      | <input type="checkbox"/> a Foreign Limited Partnership                      |
| <input type="checkbox"/> a Domestic Business Trust                           | <input type="checkbox"/> a Foreign Business Trust                           |
| <input type="checkbox"/> a Domestic Corporation                              | <input type="checkbox"/> a Foreign Corporation                              |
| <input type="checkbox"/> a Domestic Limited Liability Company                | <input type="checkbox"/> a Foreign Limited Liability Company                |
| <input type="checkbox"/> a Joint Venture                                     |   |

organized and existing in the state or country of Delaware, and whose address is

One Verizon Way Basking Ridge NJ 07920

Street address, if any

City

State

Zip Code

The certificate of assumed name is executed by

NYNEX PCS Inc.

*Jane A. Schepker*

Jane A. Schepker-Assistant Secretary

Print or type name and title

June 15, 2006

Date

Signature

Print or type name and title

Date

### **Addendum**

The full name of the Partnership is Cellco Partnership; a Delaware general partnership with its headquarters located One Verizon Way, Basking Ridge NJ 07920-1097.

<b>General Partners of Cellco Partnership</b>	<b>Address</b>
Bell Atlantic Cellular Holdings, L.P.	One Verizon Way Basking Ridge, NJ 07920
NYNEX PCS Inc.	One Verizon Way Basking Ridge, NJ 07920
PCSCO Partnership	One Verizon Way Basking Ridge, NJ 07920
GTE Wireless Incorporated	One Verizon Way Basking Ridge, NJ 07920
GTE Wireless of Ohio Incorporated	One Verizon Way Basking Ridge, NJ 07920
PCS Nucleus, L.P.	2999 Oak Road, 7 <sup>th</sup> Floor Walnut Creek, CA 94597
JV PartnerCo, LLC	2999 Oak Road, 7 <sup>th</sup> Floor Walnut Creek, CA 94597



**Commonwealth of Kentucky**  
**Alison Lundergan Grimes, Secretary of State**

C227

0641227.07  
Alison Lundergan Grimes  
KY Secretary of State  
Received and Filed  
5/31/2016 1:54:34 PM  
Fee receipt: \$20.00

Alison Lundergan Grimes  
Secretary of State  
P. O. Box 718  
Frankfort, KY 40602-0718  
(502) 564-3490  
<http://www.sos.ky.gov>

**Renewal Certificate of  
Assumed Name**

**REN**

This certifies that the assumed name of

**VERIZON WIRELESS**

is hereby renewed by the general partnership listed above, organized and existing in the state of Delaware.

**Signatures**

**Signature**

Karen M. Shipman

**Title**

Assistatn Secretary

**Date**

5/31/2016 1:54:34 PM

**REFERENCE COPY**

This is not an official FCC license. It is a record of public information contained in the FCC's licensing database on the date that this reference copy was generated. In cases where FCC rules require the presentation, posting, or display of an FCC license, this document may not be used in place of an official FCC license.



**Federal Communications Commission  
Wireless Telecommunications Bureau**

**RADIO STATION AUTHORIZATION**

LICENSEE: KENTUCKY RSA NO. 1 PARTNERSHIP

ATTN: LICENSING MANAGER  
KENTUCKY RSA NO. 1 PARTNERSHIP  
5055 NORTH POINT PKWY, NP2NE NETWORK ENGINEERING  
ALPHARETTA, GA 30022

<b>Call Sign</b> KNKQ306	<b>File Number</b> 0009611390
<b>Radio Service</b> CL - Cellular	
<b>Market Numer</b> CMA443	<b>Channel Block</b> B
<b>Sub-Market Designator</b> 0	

**FCC Registration Number (FRN):** 0001836709

<b>Market Name</b> Kentucky 1 - Fulton				
<b>Grant Date</b> 08-31-2021	<b>Effective Date</b> 08-31-2021	<b>Expiration Date</b> 10-01-2031	<b>Five Yr Build-Out Date</b>	<b>Print Date</b> 08-31-2021

**Site Information:**

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
1	36-20-59.2 N	089-22-12.3 W	98.0		

**Address:** 0.68 MILE SOUTH OF LASSITER CORNER & REEL FOOT LAKE  
**City:** LASSITER CORNER **County:** LAKE **State:** TN **Construction Deadline:**

**Antenna: 1**

**Maximum Transmitting ERP in Watts:** 135.800

Azimuth(from true north)	<b>0</b>	<b>45</b>	<b>90</b>	<b>135</b>	<b>180</b>	<b>225</b>	<b>270</b>	<b>315</b>
<b>Antenna Height AAT (meters)</b>	148.000	117.000	107.000	117.000	121.000	147.000	149.000	146.000
<b>Transmitting ERP (watts)</b>	133.300	103.500	36.500	4.500	1.500	3.900	38.800	109.600

**Conditions:**

Pursuant to §309(h) of the Communications Act of 1934, as amended, 47 U.S.C. §309(h), this license is subject to the following conditions: This license shall not vest in the licensee any right to operate the station nor any right in the use of the frequencies designated in the license beyond the term thereof nor in any other manner than authorized herein. Neither the license nor the right granted thereunder shall be assigned or otherwise transferred in violation of the Communications Act of 1934, as amended. See 47 U.S.C. § 310(d). This license is subject in terms to the right of use or control conferred by §706 of the Communications Act of 1934, as amended. See 47 U.S.C. §606.

Licensee Name: KENTUCKY RSA NO. 1 PARTNERSHIP

Call Sign: KNKQ306

File Number: 0009611390

Print Date: 08-31-2021

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
2	36-45-58.0 N	088-38-50.0 W	143.0	147.8	1043917

Address: 416 Jintown Road

City: MAYFIELD County: GRAVES State: KY Construction Deadline:

**Antenna: 2**

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	124.300	120.000	100.800	92.100	88.300	103.100	108.600	100.800
Transmitting ERP (watts)	91.200	87.100	85.110	85.110	89.130	87.100	89.130	89.130

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
4	36-54-35.5 N	089-04-01.6 W	110.3	121.0	1030662

Address: (Wickliffe) 353 CR 1307

City: Bardwell County: CARLISLE State: KY Construction Deadline:

**Antenna: 4**

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	107.500	98.100	119.800	96.700	86.900	133.300	130.900	130.400
Transmitting ERP (watts)	189.230	48.640	1.690	0.930	0.930	0.930	1.810	52.120

**Antenna: 5**

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	107.500	98.100	119.800	96.700	86.900	133.300	130.900	130.400
Transmitting ERP (watts)	1.710	64.860	368.980	174.580	8.750	0.930	0.930	0.930

**Antenna: 6**

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	107.800	98.100	119.800	96.700	86.900	133.300	130.900	130.400
Transmitting ERP (watts)	0.350	0.350	1.230	35.330	112.440	35.270	1.000	0.350

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
6	36-31-12.4 N	088-50-41.5 W	144.2	122.2	1030665

Address: (Fulton) 550 Powell Road

City: Fulton County: HICKMAN State: KY Construction Deadline:

**Antenna: 4**

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	128.200	122.800	123.200	135.200	147.500	157.200	143.900	141.700
Transmitting ERP (watts)	110.570	412.100	98.560	4.220	1.510	0.920	0.920	6.530

**Antenna: 5**

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	128.200	122.800	123.200	135.200	147.500	157.200	143.900	141.700
Transmitting ERP (watts)	0.550	0.550	0.550	0.550	1.480	16.430	11.480	0.700

Licensee Name: KENTUCKY RSA NO. 1 PARTNERSHIP

Call Sign: KNKQ306

File Number: 0009611390

Print Date: 08-31-2021

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
6	36-31-12.4 N	088-50-41.5 W	144.2	122.2	1030665

Address: (Fulton) 550 Powell Road

City: Fulton County: HICKMAN State: KY Construction Deadline:

Antenna: 6

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	128.200	122.800	123.200	135.200	147.500	157.200	143.900	141.700
Transmitting ERP (watts)	135.480	5.650	2.230	0.920	1.320	5.450	78.640	402.820

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
7	36-38-26.2 N	088-16-00.1 W	165.8	90.8	1030663

Address: (Murray) 1431 Van Cleave Road

City: Murray County: CALLOWAY State: KY Construction Deadline:

Antenna: 4

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	106.900	107.100	115.000	106.900	87.400	91.300	86.200	97.500
Transmitting ERP (watts)	124.240	6.420	0.560	0.560	0.560	0.830	39.630	251.940

Antenna: 5

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	106.900	107.100	115.000	106.900	87.400	91.300	86.200	97.500
Transmitting ERP (watts)	3.450	96.460	263.070	57.230	1.700	0.560	0.560	0.560

Antenna: 6

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	106.900	107.100	115.000	106.900	87.400	91.300	86.200	97.500
Transmitting ERP (watts)	0.370	0.370	0.370	12.730	121.110	104.340	9.310	0.370

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
8	37-03-51.4 N	088-57-23.6 W	116.4	92.4	1030664

Address: (La Center) 220 RICHARDSON LN

City: LA CENTER County: BALLARD State: KY Construction Deadline:

Antenna: 2

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	85.600	78.400	71.900	66.000	65.300	67.000	87.700	96.100
Transmitting ERP (watts)	2.110	71.430	167.460	63.670	0.330	0.640	0.330	0.330

Antenna: 3

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	85.600	78.400	71.900	66.000	65.300	67.000	87.700	96.100
Transmitting ERP (watts)	1.230	1.000	1.380	23.440	338.840	457.090	66.070	2.240

Licensee Name: KENTUCKY RSA NO. 1 PARTNERSHIP

Call Sign: KNKQ306

File Number: 0009611390

Print Date: 08-31-2021

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
8	37-03-51.4 N	088-57-23.6 W	116.4	92.4	1030664

Address: (La Center) 220 RICHARDSON LN

City: LA CENTER County: BALLARD State: KY Construction Deadline:

Antenna: 4

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	85.600	78.400	71.900	66.000	65.300	67.000	87.700	96.100
Transmitting ERP (watts)	165.960	6.610	0.910	0.500	0.500	0.890	45.710	223.870

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
10	36-44-07.9 N	088-58-29.2 W	131.9	92.9	1030723

Address: 3975 State Route 2206

City: CLINTON County: HICKMAN State: KY Construction Deadline:

Antenna: 2

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	100.500	101.900	98.900	84.700	107.900	118.900	119.900	100.400
Transmitting ERP (watts)	96.610	96.610	96.610	96.610	96.610	96.610	96.610	96.610

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
11	37-02-00.0 N	088-22-10.0 W	105.5	106.7	1040303

Address: (Calvert City) 641 Jary Johnson Rd.

City: Calvert City County: MARSHALL State: KY Construction Deadline:

Antenna: 2

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	78.900	77.600	88.100	83.000	68.600	85.300	97.900	93.100
Transmitting ERP (watts)	23.380	330.300	378.360	36.130	0.970	0.970	0.970	0.970

Antenna: 3

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	78.900	77.600	88.100	83.000	68.600	85.300	97.900	93.100
Transmitting ERP (watts)	0.970	0.970	0.970	14.730	240.930	357.480	49.940	1.230

Antenna: 4

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	78.900	77.600	88.100	83.000	68.600	85.300	97.900	93.100
Transmitting ERP (watts)	63.740	2.060	0.660	0.660	0.660	4.020	107.530	274.970

Licensee Name: KENTUCKY RSA NO. 1 PARTNERSHIP

Call Sign: KNKQ306

File Number: 0009611390

Print Date: 08-31-2021

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
12	36-34-49.2 N	088-31-45.2 W	155.5	91.4	1202399

Address: 12201 SR 97

City: TriCity County: GRAVES State: KY Construction Deadline:

**Antenna: 2**

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	75.100	73.400	74.100	70.100	102.600	100.900	74.700	81.300
Transmitting ERP (watts)	0.280	4.680	67.610	91.200	13.180	0.450	0.250	0.200

**Antenna: 3**

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	75.100	73.400	74.100	70.100	102.600	100.900	74.700	81.300
Transmitting ERP (watts)	0.360	0.200	0.200	0.350	18.200	89.130	66.070	2.630

**Antenna: 4**

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	75.100	73.400	74.100	70.100	102.600	100.900	74.700	81.300
Transmitting ERP (watts)	100.000	38.020	0.200	0.380	0.200	0.200	1.260	42.660

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
14	37-05-47.2 N	088-42-35.2 W	104.2	63.4	1200593

Address: (Paducah West) 4415 Merredith Rd.

City: Paducah County: MCCracken State: KY Construction Deadline: 07-08-2014

**Antenna: 4**

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	59.900	55.900	65.200	50.700	38.200	34.700	42.800	64.600
Transmitting ERP (watts)	24.580	50.820	50.310	19.100	0.840	0.330	0.330	1.370

**Antenna: 5**

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	59.900	55.900	65.200	50.700	38.200	34.700	42.800	64.600
Transmitting ERP (watts)	0.440	0.440	12.210	76.570	112.800	57.980	5.460	0.440

**Antenna: 6**

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	59.900	55.900	65.200	50.700	38.200	34.700	42.800	64.600
Transmitting ERP (watts)	20.830	0.780	0.440	0.440	2.790	42.940	108.040	89.900

Licensee Name: KENTUCKY RSA NO. 1 PARTNERSHIP

Call Sign: KNKQ306

File Number: 0009611390

Print Date: 08-31-2021

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
15	36-46-54.2 N	088-03-28.1 W	199.0	126.5	1205551

Address: 14664 Canton Road

City: Golden Pond County: TRIGG State: KY Construction Deadline: 05-19-2006

**Antenna: 2**

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	165.000	178.000	160.400	174.500	170.600	167.000	177.000	183.900
Transmitting ERP (watts)	96.610	96.610	96.610	96.610	96.610	96.610	96.610	96.610

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
16	36-34-03.0 N	089-10-30.9 W	109.4	91.4	1282534

Address: (Hickman site) Holley Street

City: Hickman County: FULTON State: KY Construction Deadline: 05-28-2014

**Antenna: 1**

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	105.500	102.800	96.700	89.300	75.700	68.400	107.900	107.300
Transmitting ERP (watts)	141.700	118.910	1.140	0.580	0.580	0.580	0.580	4.050

**Antenna: 2**

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	105.500	102.800	96.700	89.300	75.700	68.400	107.900	107.300
Transmitting ERP (watts)	0.580	4.050	141.730	118.910	1.140	0.580	0.580	0.580

**Antenna: 3**

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	105.500	102.800	96.700	89.300	75.700	68.400	107.900	107.300
Transmitting ERP (watts)	0.460	0.460	0.460	0.460	0.460	7.710	45.610	24.600

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
17	37-10-55.4 N	088-56-43.7 W	102.7	99.1	1252613

Address: (Monkey's Eyebrow) 4625 Odgen Colvin Circle

City: Kevil County: BALLARD State: KY Construction Deadline: 10-24-2014

**Antenna: 1**

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	85.900	83.500	90.600	69.600	74.300	84.600	86.500	83.200
Transmitting ERP (watts)	7.080	125.890	478.630	112.200	4.570	1.580	1.000	1.000

**Antenna: 2**

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	85.900	83.500	90.600	69.600	74.300	84.600	86.500	83.200
Transmitting ERP (watts)	1.000	1.410	12.020	213.800	446.680	64.570	2.820	1.000

**Licensee Name:** KENTUCKY RSA NO. 1 PARTNERSHIP

**Call Sign:** KNKQ306

**File Number:** 0009611390

**Print Date:** 08-31-2021

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
17	37-10-55.4 N	088-56-43.7 W	102.7	99.1	1252613

**Address:** (Monkey's Eyebrow) 4625 Odgen Colvin Circle

**City:** Kevil **County:** BALLARD **State:** KY **Construction Deadline:** 10-24-2014

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**Antenna: 4**

**Maximum Transmitting ERP in Watts:** 140.820

Azimuth (from true north)	0	45	90	135	180	225	270	315
<b>Antenna Height AAT (meters)</b>	85.900	83.500	90.600	69.600	74.300	84.600	86.500	83.200
<b>Transmitting ERP (watts)</b>	2.000	2.000	2.000	2.000	2.000	398.110	549.540	4.900

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**Control Points:**

**Control Pt. No. 3**

**Address:** 500 W. Dove Rd.

**City:** Southlake **County:** TARRANT **State:** TX **Telephone Number:** (800)264-6620

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**Waivers/Conditions:**

NONE





## Universal Licensing System

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ULS Application

### Cellular - 0009611390 - KENTUCKY RSA NO. 1 PARTNERSHIP

[? HELP](#)[New Search](#) [Refine Search](#) [Printable Page](#) [Reference Copy](#)**MAIN****ADMIN****TRANS LOG****SERVICE SPECIFIC**

File Number	0009611390	Radio Service	CL - Cellular
Call Sign	<a href="#">KNKQ306</a>	Application Status	G - Granted

**General Information**

Application Purpose	RO - Renewal Only		
Existing Radio Service			
Authorization Type	Regular	Emergency STA	
Receipt Date	07/06/2021	Action Date	08/31/2021
Entered Date	07/06/2021	Requested Expiration Date	
Waiver	No	Number of Rules	
Attachments	No	Grandfathered Privileges	No
Application Fee Exempt	No	Regulatory Fee Exempt	No
Major Request			
Use Question			

**Market Data**

Market	CMA443 - Kentucky 1 - Fulton	Channel Block	B ( <a href="#">View Frequencies</a> )
Submarket Designator	0	Phase	2

**Applicant Information**

FRN	0001836709 ( <a href="#">View Ownership Filing</a> )	Type	General Partnership
Name	KENTUCKY RSA NO. 1 PARTNERSHIP 5055 North Point Pkwy, NP2NE Network Engineering Alpharetta, GA 30022 ATTN Licensing Manager		P:(770)797-1070 F:(770)797-1036 E:LicensingCompliance@VerizonWireless.com
Real Party in Interest		FRN of Real Party in Interest	

<b>Contact Information</b>			
Name	Verizon Wireless Licensing Manager 5055 North Point Pkwy, NP2NE Network Engineering Alpharetta, GA 30022 ATTN Regulatory		P:(770)797-1070 F:(770)797-1036 E:LicensingCompliance@VerizonWireless.com
<b>Qualifications, Ownership</b>			
Radio Service Type	Mobile		
Regulatory Status	Common Carrier	Interconnected	Yes
<b>Alien Ownership</b> The Applicant answered "No" to each of the <a href="#">Alien Ownership</a> questions.			
<b>Basic Qualifications</b> The Applicant answered "No" to each of the <a href="#">Basic Qualification</a> questions.			
<b>Demographics</b>			
Race			
Ethnicity		Sex	
<b>Additional Certifications</b>			
<b>Operation/Performance Requirement Certification</b>			
<b>For a site-based license</b>			
Applicant certifies that it is continuing to operate consistent with its most recently filed construction notification (or most recent authorization, if no construction notification was required).			
<b>For a geographic license, commercial service - licensee in its initial license term with an interim performance requirement</b>			
Applicant certifies that it has met its interim performance requirement, that over the portion of the license term following the interim performance requirement, it continues to use its facilities to provide at least the level of service required by its interim performance requirement, it has met its final performance requirement, and it continues to use its facilities to provide at least the level of service required by its final performance requirement through the end of the license term.			
<b>For a geographic license, commercial service - licensee in its initial license term with no interim performance requirement</b>			
Applicant certifies that it has met its final performance requirement and it continues to use its facilities to provide at least the level of service required by its final performance requirement through the end of the license term.			
<b>For a geographic license, commercial service - licensee in any subsequent term</b>			
Applicant certifies that it continues to use its facilities to provide at least the level of service required by its final performance requirement through the end of any subsequent license terms.			
<b>For a geographic license, private systems - licensee in its initial license term with an interim performance requirement</b>			
Applicant certifies that it has met its interim performance requirement, that over the portion of the license term following the interim performance requirement, it continues to use its facilities to further its private business or public interest/public safety communications needs at or above the level required to meet its interim performance requirement, it has met its final			

performance requirement, and it continues to use its facilities to provide at least the level of operation required by its final performance requirement through the end of the license term.	
<b>For a geographic license, private systems - licensee in its initial license term with no interim performance requirement</b>	
Applicant certifies that it has met its final performance requirement, it continues to use its facilities to further its private business or public interest/public safety communications needs, and it continues to use its facilities to provide at least the level of operation required by its final performance requirement through the end of the license term.	
<b>For a geographic license, private systems - licensee in any subsequent term</b>	
Applicant certifies that it continues to use its facilities to further its private business or public interest/public safety communications needs at or above the level required to meet its final performance requirement through the end of any subsequent license terms.	
<b>For a partitioned or disaggregated license without a performance requirement, for the first renewal application filed after 05/30/2020.</b>	
Applicant certifies that the partitioned and/or disaggregated license that is the subject of this renewal application has no separate performance requirement and that this is the first renewal of this license filed subsequent 10/01/2020.	
<b>For a partitioned or disaggregated license without a performance requirement, for any subsequent renewal filings</b>	
Applicant certifies that it continues to use its facilities to provide service or to further the applicant's private business or public interest/public safety needs.	
<b>Discontinuance of Service Certification</b>	
Applicant certifies that no permanent discontinuance of service or operation, as applicable, occurred during its current license term.	
<b>Regulatory Compliance Certification</b>	
Applicant certifies that it has substantially complied with all applicable FCC rules, policies, and the Communications Act of 1934, as amended.	

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# **Federal Communications Commission**

## **Wireless Telecommunications Bureau**

**RADIO STATION AUTHORIZATION**

LICENSEE: CELLCO PARTNERSHIP

ATTN: REGULATORY  
CELLCO PARTNERSHIP  
5055 NORTH POINT PKWY, NP2NE NETWORK ENGINEERING  
ALPHARETTA, GA 30022

<b>Call Sign</b> KNLH404	<b>File Number</b>
<b>Radio Service</b> CW - PCS Broadband	

**FCC Registration Number (FRN):** 0003290673

<b>Grant Date</b> 04-24-2017	<b>Effective Date</b> 11-30-2017	<b>Expiration Date</b> 04-28-2027	<b>Print Date</b> 01-10-2018
<b>Market Number</b> BTA339	<b>Channel Block</b> D	<b>Sub-Market Designator</b> 0	
<b>Market Name</b> Paducah-Murray-Mayfield, KY			
<b>1st Build-out Date</b> 04-28-2002	<b>2nd Build-out Date</b>	<b>3rd Build-out Date</b>	<b>4th Build-out Date</b>

**Waivers/Conditions:**

This authorization is subject to the condition that, in the event that systems using the same frequencies as granted herein are authorized in an adjacent foreign territory (Canada/United States), future coordination of any base station transmitters within 72 km (45 miles) of the United States/Canada border shall be required to eliminate any harmful interference to operations in the adjacent foreign territory and to ensure continuance of equal access to the frequencies by both countries.

**Conditions:**

Pursuant to §309(h) of the Communications Act of 1934, as amended, 47 U.S.C. §309(h), this license is subject to the following conditions: This license shall not vest in the licensee any right to operate the station nor any right in the use of the frequencies designated in the license beyond the term thereof nor in any other manner than authorized herein. Neither the license nor the right granted thereunder shall be assigned or otherwise transferred in violation of the Communications Act of 1934, as amended. See 47 U.S.C. § 310(d). This license is subject in terms to the right of use or control conferred by §706 of the Communications Act of 1934, as amended. See 47 U.S.C. §606.

This license may not authorize operation throughout the entire geographic area or spectrum identified on the hardcopy version. To view the specific geographic area and spectrum authorized by this license, refer to the Spectrum and Market Area information under the Market Tab of the license record in the Universal Licensing System (ULS). To view the license record, go to the ULS homepage at <http://wireless.fcc.gov/uls/index.htm?job=home> and select "License Search". Follow the instructions on how to search for license information.

**Licensee Name:** CELLCO PARTNERSHIP

**Call Sign:** KNLH404

**File Number:**

**Print Date:** 01-10-2018

**700 MHz Relicensed Area Information:**

<b>Market</b>	<b>Market Name</b>	<b>Buildout Deadline</b>	<b>Buildout Notification</b>	<b>Status</b>
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### 0009135432 - Verizon Communications Inc.

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File Number	0009135432	Application Status	Q - Accepted
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#### General Information

Application Purpose	TC - Transfer of Control		
Receipt Date	07/21/2020		
Entered Date	07/21/2020	Action Date	08/13/2020
Waiver	No	Number of Rules	
Attachments	<a href="#">Yes</a>		
Application Fee Exempt	No	Waiver/Deferral Fee	No

#### Licensee Information

FRN	0003290673 ( <a href="#">View Ownership Filing</a> )	Type	General Partnership
Name	Cellco Partnership ATTN Regulatory 5055 North Point Pkwy, NP2NE Engineering Alpharetta, GA 30022		P:(770)797-1070 E:Licensing.Compliance@verizonwireless.com
Race		Sex	
Ethnicity			

#### Licensee Contact Information

Name	Verizon Sarah Trosch 1300 I Street, NW - Suite 500 East Washington, DC 20005		P:(202)515-2453 E:sarah.trosch@verizon.com
------	--	--	---

#### Transferor Information

FRN	0003257094 ( <a href="#">View Ownership Filing</a> )	Type	Corporation
Name	Verizon Communications Inc. ATTN Sarah Trosch		P:(202)515-2453 E:sarah.trosch@verizon.com

	1300 I Street, NW - Suite 500 East Washington, DC 20005		
Race		Sex	
Ethnicity			

#### Transferor Contact Information

Name	Wilkinson Barker Knauer, LLP ATTN Jennifer L. Kostyu 1800 M. St., NW, Suite 800N Washington, DC 20036		P:(202)783-4141 F:(202)783-5851 E:jkostyu@wbklaw.com
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#### Transferee Information

FRN	0003257094 ( <a href="#">View Ownership</a> )	Type	Corporation
Name	Verizon Communications Inc. ATTN Sarah Trosch 1300 I Street, NW - Suite 500 East Washington, DC 20005		P:(202)515-2453 E:sarah.trosch@verizon.com
Real Party In Interest	Cellco Partnership	FRN of Real Party in Interest	0003290673
Race		Sex	
Ethnicity			

#### Transferee Contact Information

Name	Wilkinson Barker Knauer, LLP ATTN Jennifer L. Kostyu 1800 M. St., NW, Suite 800N Washington, DC 20036		P:(202)783-4141 F:(202)783-5851 E:jkostyu@wbklaw.com
------	--	--	--

#### Transferee Qualifications and Ownership Information

##### Alien Ownership

The Applicant answered "No" to each of the [Alien Ownership](#) questions.

##### Basic Qualifications

The Applicant answered "No" to each of the [Basic Qualification](#) questions.

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# **Federal Communications Commission**

## **Wireless Telecommunications Bureau**

**RADIO STATION AUTHORIZATION**

LICENSEE: CELLCO PARTNERSHIP

ATTN: REGULATORY  
CELLCO PARTNERSHIP  
5055 NORTH POINT PKWY, NP2NE ENGINEERING  
ALPHARETTA, GA 30022

<b>Call Sign</b> KNLH414	<b>File Number</b> 0008495448
<b>Radio Service</b> CW - PCS Broadband	

**FCC Registration Number (FRN):** 0003290673

<b>Grant Date</b> 03-31-2017	<b>Effective Date</b> 04-30-2019	<b>Expiration Date</b> 04-28-2027	<b>Print Date</b> 04-19-2019
<b>Market Number</b> BTA314	<b>Channel Block</b> D	<b>Sub-Market Designator</b> 0	
<b>Market Name</b> Nashville, TN			
<b>1st Build-out Date</b> 04-28-2002	<b>2nd Build-out Date</b>	<b>3rd Build-out Date</b>	<b>4th Build-out Date</b>

**Waivers/Conditions:**

This authorization is subject to the condition that, in the event that systems using the same frequencies as granted herein are authorized in an adjacent foreign territory (Canada/United States), future coordination of any base station transmitters within 72 km (45 miles) of the United States/Canada border shall be required to eliminate any harmful interference to operations in the adjacent foreign territory and to ensure continuance of equal access to the frequencies by both countries.

**Conditions:**

Pursuant to §309(h) of the Communications Act of 1934, as amended, 47 U.S.C. §309(h), this license is subject to the following conditions: This license shall not vest in the licensee any right to operate the station nor any right in the use of the frequencies designated in the license beyond the term thereof nor in any other manner than authorized herein. Neither the license nor the right granted thereunder shall be assigned or otherwise transferred in violation of the Communications Act of 1934, as amended. See 47 U.S.C. § 310(d). This license is subject in terms to the right of use or control conferred by §706 of the Communications Act of 1934, as amended. See 47 U.S.C. §606.

This license may not authorize operation throughout the entire geographic area or spectrum identified on the hardcopy version. To view the specific geographic area and spectrum authorized by this license, refer to the Spectrum and Market Area information under the Market Tab of the license record in the Universal Licensing System (ULS). To view the license record, go to the ULS homepage at <http://wireless.fcc.gov/uls/index.htm?job=home> and select "License Search". Follow the instructions on how to search for license information.

**Licensee Name:** CELLCO PARTNERSHIP

**Call Sign:** KNLH414

**File Number:** 0008495448

**Print Date:** 04-19-2019

**700 MHz Relicensed Area Information:**

<b>Market</b>	<b>Market Name</b>	<b>Buildout Deadline</b>	<b>Buildout Notification</b>	<b>Status</b>
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### 0009135432 - Verizon Communications Inc.

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**REVENUE**

File Number	0009135432	Application Status	Q - Accepted
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#### General Information

Application Purpose	TC - Transfer of Control		
Receipt Date	07/21/2020		
Entered Date	07/21/2020	Action Date	08/13/2020
Waiver	No	Number of Rules	
Attachments	<a href="#">Yes</a>		
Application Fee Exempt	No	Waiver/Deferral Fee	No

#### Licensee Information

FRN	0003290673 ( <a href="#">View Ownership Filing</a> )	Type	General Partnership
Name	Cellco Partnership ATTN Regulatory 5055 North Point Pkwy, NP2NE Engineering Alpharetta, GA 30022		P:(770)797-1070 E:Licensing.Compliance@verizonwireless.com
Race		Sex	
Ethnicity			

#### Licensee Contact Information

Name	Verizon Sarah Trosch 1300 I Street, NW - Suite 500 East Washington, DC 20005		P:(202)515-2453 E:sarah.trosch@verizon.com
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#### Transferor Information

FRN	0003257094 ( <a href="#">View Ownership Filing</a> )	Type	Corporation
Name	Verizon Communications Inc. ATTN Sarah Trosch		P:(202)515-2453 E:sarah.trosch@verizon.com

	1300 I Street, NW - Suite 500 East Washington, DC 20005		
Race		Sex	
Ethnicity			

#### Transferor Contact Information

Name	Wilkinson Barker Knauer, LLP ATTN Jennifer L. Kostyu 1800 M. St., NW, Suite 800N Washington, DC 20036		P:(202)783-4141 F:(202)783-5851 E:jkostyu@wbklaw.com
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#### Transferee Information

FRN	0003257094 ( <a href="#">View Ownership</a> )	Type	Corporation
Name	Verizon Communications Inc. ATTN Sarah Trosch 1300 I Street, NW - Suite 500 East Washington, DC 20005		P:(202)515-2453 E:sarah.trosch@verizon.com
Real Party In Interest	Cellco Partnership	FRN of Real Party in Interest	0003290673
Race		Sex	
Ethnicity			

#### Transferee Contact Information

Name	Wilkinson Barker Knauer, LLP ATTN Jennifer L. Kostyu 1800 M. St., NW, Suite 800N Washington, DC 20036		P:(202)783-4141 F:(202)783-5851 E:jkostyu@wbklaw.com
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#### Transferee Qualifications and Ownership Information

##### Alien Ownership

The Applicant answered "No" to each of the [Alien Ownership](#) questions.

##### Basic Qualifications

The Applicant answered "No" to each of the [Basic Qualification](#) questions.

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**FEDERAL COMMUNICATIONS COMMISSION**  
**Wireless Telecommunications Bureau**

**Spectrum Leasing Arrangement**

11/24/2025

ATTN: REGULATORY  
KENTUCKY RSA NO. 1 PARTNERSHIP  
1120 SANCTUARY PKWY #150 - GASA5REG  
ALPHARETTA, GA 30009

Reference Number:

This approval allows the Lessee to lease spectrum from the Licensee pursuant to the provisions and requirements of Subpart X of Part 1 of the Commission's Rules, 47 C.F.R. Part 1, and as described in the associated spectrum leasing application or notification.

Type of Lease Arrangement	Lease Term	Lease Identifier
Spectrum Manager Lease	Long Term	L000008155

Lease Grant/Accepted Date	Lease Commencement Date	Lease Expiration Date
03/17/2011	03/25/2011	06/13/2029

Call Sign	Radio Service
WQJQ692	WU - 700 MHz Upper Band (Block C)

Lessee Information
0001836709
KENTUCKY RSA NO. 1 PARTNERSHIP
Attn: REGULATORY
1120 SANCTUARY PKWY #150 - GASA5REG
ALPHARETTA, GA 30009

Licensee Information
0003290673
CELLCO PARTNERSHIP
Attn: REGULATORY
5055 NORTH POINT PKWY, NP2NE NETWORK ENGINEERING
ALPHARETTA, GA 30022

<b>Geographically-Licensed Services</b>		
Market Number	Market Name	Channel Block
REA004	Mississippi Valley	C

**Condition:**

This lease may not authorize operation throughout the entire geographic area or spectrum identified on the hardcopy version. To view the specific geographic area and spectrum associated with this leasing agreement, refer to the Spectrum and Market Area information under the Market Tab of the license record in the Universal Licensing System (ULS). To view the license record, go to the ULS homepage at <https://www.fcc.gov/wireless/universal-licensing-system> and select "License Search". Follow the instructions on how to search for license information.

**Conditions:**

Pursuant to §309(h) of the Communications Act of 1934, as amended, 47 U.S.C. §309(h), this license is subject to the following conditions: This license shall not vest in the licensee any right to operate the station nor any right in the use of the frequencies designated in the license beyond the term thereof nor in any other manner than authorized herein. Neither the license nor the right granted thereunder shall be assigned or otherwise transferred in violation of the Communications Act of 1934, as amended. See 47 U.S.C. § 310(d). This license is subject in terms to the right of use or control conferred by §706 of the Communications Act of 1934, as amended. See 47 U.S.C. §606.

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### 0008616845 - Kentucky RSA No. 1 Partnership

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File Number	0008616845	Application Status	Q - Accepted
Application Purpose	LE - Extend Term of a Lease	Classification of Lease	Spectrum Manager

#### General Information

Application Purpose	LE - Extend Term of a Lease		
Receipt Date	04/25/2019		
Entered Date	04/25/2019	Action Date	01/16/2020
Waiver	No	Number of Rules	
Attachments	No		
Application Fee Exempt	No	Waiver/Deferral Fee	No

#### Licensee Information

FRN	0003290673 ( <a href="#">View Ownership Filing</a> )	Type	General Partnership
Name	Cellco Partnership ATTN Regulatory 5055 North Point Pkwy, NP2NE Network Engineering Alpharetta, GA 30022		P:(770)797-1070 E:LicensingCompliance@verizonwireless.com
Race		Sex	
Ethnicity			

#### Licensee Contact Information

Name	Verizon Sarah Trosch 1300 I St NW - Suite 500 East Washington, DC 20005		P:(202)515-2453 E:sarah.trosch@verizon.com
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#### Lessee Information

FRN	0001836709 ( <a href="#">View Ownership</a> )	Type	General Partnership
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Name	Kentucky RSA No. 1 Partnership ATTN Cellco Partnership 5055 North Point Pkwy, NP2NE Network Engineering Alpharetta, GA 30022		P:(770)797-1070 E:LicensingCompliance@verizonwireless.com
Real Party In Interest	Cellco Partnership	FRN of Real Party in Interest	0003290673
Race		Sex	
Ethnicity			
<b>Lessee Contact Information</b>			
Name	Verizon Sarah Trosch 1300 I Street, NW - Suite 500 East Washington, DC 20005		P:(202)515-2453 E:sarah.trosch@verizon.com

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# **Federal Communications Commission**

## **Wireless Telecommunications Bureau**

**RADIO STATION AUTHORIZATION**

**LICENSEE:** CELLCO PARTNERSHIP

ATTN: REGULATORY  
CELLCO PARTNERSHIP  
5055 NORTH POINT PKWY, NP2NE ENGINEERING  
ALPHARETTA, GA 30022

<b>Call Sign</b> WQGD606	<b>File Number</b> 0009565676
<b>Radio Service</b> AW - AWS (1710-1755 MHz and 2110-2155 MHz)	

**FCC Registration Number (FRN):** 0003290673

<b>Grant Date</b> 12-16-2021	<b>Effective Date</b> 12-16-2021	<b>Expiration Date</b> 12-18-2036	<b>Print Date</b> 07-09-2022
<b>Market Number</b> BEA072	<b>Channel Block</b> C	<b>Sub-Market Designator</b> 0	
<b>Market Name</b> Paducah, KY-IL			
<b>1st Build-out Date</b>	<b>2nd Build-out Date</b>	<b>3rd Build-out Date</b>	<b>4th Build-out Date</b>

**Waivers/Conditions:**

This authorization is conditioned upon the licensee, prior to initiating operations from any base or fixed station, making reasonable efforts to coordinate frequency usage with known co-channel and adjacent channel incumbent federal users operating in the 1710-1755 MHz band whose facilities could be affected by the proposed operations. See, e.g., FCC and NTIA Coordination Procedures in the 1710-1755 MHz Band, Public Notice, FCC 06-50, WTB Docket No. 02-353, rel. April 20, 2006.

Grant of the request to update licensee name is conditioned on it not reflecting an assignment or transfer of control (see Rule 1.948); if an assignment or transfer occurred without proper notification or FCC approval, the grant is void and the station is licensed under the prior name.

**Conditions:**

Pursuant to §309(h) of the Communications Act of 1934, as amended, 47 U.S.C. §309(h), this license is subject to the following conditions: This license shall not vest in the licensee any right to operate the station nor any right in the use of the frequencies designated in the license beyond the term thereof nor in any other manner than authorized herein. Neither the license nor the right granted thereunder shall be assigned or otherwise transferred in violation of the Communications Act of 1934, as amended. See 47 U.S.C. § 310(d). This license is subject in terms to the right of use or control conferred by §706 of the Communications Act of 1934, as amended. See 47 U.S.C. §606.

This license may not authorize operation throughout the entire geographic area or spectrum identified on the hardcopy version. To view the specific geographic area and spectrum authorized by this license, refer to the Spectrum and Market Area information under the Market Tab of the license record in the Universal Licensing System (ULS). To view the license record, go to the ULS homepage at <http://wireless.fcc.gov/uls/index.htm?job=home> and select "License Search". Follow the instructions on how to search for license information.

**Licensee Name:** CELLCO PARTNERSHIP

**Call Sign:** WQGD606

**File Number:** 0009565676

**Print Date:** 07-09-2022

**700 MHz Relicensed Area Information:**

<b>Market</b>	<b>Market Name</b>	<b>Buildout Deadline</b>	<b>Buildout Notification</b>	<b>Status</b>
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### 0010093348 - Cellco Partnership

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NOTIFICATION

File Number	0010093348	Application Status	Q - Accepted
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#### General Information

Application Purpose	NT - Required Notification		
Existing Radio Service			
Authorization Type		Emergency STA	
Receipt Date	06/16/2022	Action Date	06/17/2022
Entered Date	06/16/2022	Requested Expiration Date	
Waiver	No	Number of Rules	
Attachments		Grandfathered Privileges	
Application Fee Exempt	No	Regulatory Fee Exempt	
Major Request			

#### Applicant Information

FRN	0003290673 ( <a href="#">View Ownership Filing</a> )	Type	General Partnership
Name	Cellco Partnership 5055 North Point Pkwy, NP2NE Engineering Alpharetta, GA 30022 ATTN Regulatory		P:(770)797-1070 E:Licensing.Compliance@verizonwireless.com
Real Party in Interest		FRN of Real Party in Interest	

#### Contact Information

Name	Verizon Sarah Trosch 1300 I Street, NW - Suite 500 East Washington, DC 20005		P:(202)515-2453 E:sarah.trosch@verizon.com
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**Federal Communications Commission**  
**Wireless Telecommunications Bureau****RADIO STATION AUTHORIZATION**

LICENSEE: CELLCO PARTNERSHIP

ATTN: REGULATORY  
CELLCO PARTNERSHIP  
5055 NORTH POINT PKWY, NP2NE NETWORK ENGINEERING  
ALPHARETTA, GA 30022

<b>Call Sign</b> WQJQ692	<b>File Number</b> 0008587218
<b>Radio Service</b> WU - 700 MHz Upper Band (Block C)	

FCC Registration Number (FRN): 0003290673

<b>Grant Date</b> 01-10-2020	<b>Effective Date</b> 06-25-2025	<b>Expiration Date</b> 06-13-2029	<b>Print Date</b> 01-14-2020
<b>Market Number</b> REA004	<b>Channel Block</b> C	<b>Sub-Market Designator</b> 0	
<b>Market Name</b> Mississippi Valley			
<b>1st Build-out Date</b> 06-13-2013	<b>2nd Build-out Date</b> 06-13-2019	<b>3rd Build-out Date</b>	<b>4th Build-out Date</b>

**Waivers/Conditions:**

If the facilities authorized herein are used to provide broadcast operations, whether exclusively or in combination with other services, the licensee must seek renewal of the license either within eight years from the commencement of the broadcast service or within the term of the license had the broadcast service not been provided, whichever period is shorter in length. See 47 CFR §27.13(b).

This authorization is conditioned upon compliance with section 27.16 of the Commission's rules

**Conditions:**

Pursuant to §309(h) of the Communications Act of 1934, as amended, 47 U.S.C. §309(h), this license is subject to the following conditions: This license shall not vest in the licensee any right to operate the station nor any right in the use of the frequencies designated in the license beyond the term thereof nor in any other manner than authorized herein. Neither the license nor the right granted thereunder shall be assigned or otherwise transferred in violation of the Communications Act of 1934, as amended. See 47 U.S.C. § 310(d). This license is subject in terms to the right of use or control conferred by §706 of the Communications Act of 1934, as amended. See 47 U.S.C. §606.

This license may not authorize operation throughout the entire geographic area or spectrum identified on the hardcopy version. To view the specific geographic area and spectrum authorized by this license, refer to the Spectrum and Market Area information under the Market Tab of the license record in the Universal Licensing System (ULS). To view the license record, go to the ULS homepage at <http://wireless.fcc.gov/uls/index.htm?job=home> and select "License Search". Follow the instructions on how to search for license information.

**Licensee Name:** CELLCO PARTNERSHIP

**Call Sign:** WQJQ692

**File Number:** 0008587218

**Print Date:** 01-14-2020

**700 MHz Relicensed Area Information:**

<b>Market</b>	<b>Market Name</b>	<b>Buildout Deadline</b>	<b>Buildout Notification</b>	<b>Status</b>
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## 0011715806 - Trace-Tek

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File Number	0011715806			Application Status	G - Granted						
Application Purpose	LN - New Lease			Classification of Lease	De Facto Transfer						
<b>General Information</b>											
Application Purpose	LN - New Lease										
Receipt Date	09/04/2025										
Entered Date	09/04/2025			Action Date	09/11/2025						
Waiver	No			Number of Rules							
Attachments	<a href="#">Yes</a>										
Application Fee Exempt	No			Waiver/Deferral Fee	No						
<b>Licensee Information</b>											
FRN	0003290673 ( <a href="#">View Ownership Filing</a> )			Type	General Partnership						
Name	Cellco Partnership ATTN Network Engineering 5055 North Point Pkwy, NP2NE Engineering Alpharetta, GA 30022				P:(770)797-1070 E:Licensing.Compliance@verizonwireless.com						
Race				Sex							
Ethnicity											
<b>Licensee Contact Information</b>											
Name	Verizon Sarah Trosch 1300 I St, NW- Suite 500 East Washington, DC 20005				P:(202)515-2453 E:sarah.trosch@verizon.com						
<b>Lessee Information</b>											
FRN	0030856223 ( <a href="#">View Ownership</a> )			Type	Limited Liability Company						



Name	Trace-Tek ATTN licenses@trace-tek.com 2625 Commons Boulevard Beavercreek, OH 45341		P:(972)672-0477 E:licenses@trace-tek.com
Real Party In Interest	Trace-Tek	FRN of Real Party in Interest	0030856223
Race		Sex	
Ethnicity			

--

### Lessee Contact Information

Name	Trace-Tek ATTN licenses@trace-tek.com 2625 Commons Boulevard Beavercreek, OH 45341		P:(972)672-0477 E:licenses@trace-tek.com
------	---	--	---

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### Lessee Qualifications and Ownership Information

Radio Service Type			
Regulatory Status		Interconnected	

**Alien Ownership**  
The Applicant answered "No" to each of the [Alien Ownership](#) questions.

**Basic Qualifications**  
The Applicant answered "No" to each of the [Basic Qualification](#) questions.

[Return to the Top](#)

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Federal Communications Commission  
45 L Street NE  
Washington, DC 20554

Phone: 1-877-480-3201  
ASL Videophone: 1-844-432-2275  
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**EXHIBIT B**

**SITE DEVELOPMENT PLAN:  
500' VICINITY MAP  
LEGAL DESCRIPTIONS  
FLOOD PLAIN CERTIFICATION  
SITE PLAN  
VERTICAL TOWER PROFILE**



THE TOWERS, LLC  
22 W ATLANTIC AVE, SUITE 310  
DELRAY BEACH, FLORIDA 33444

# PURCHASE PARKWAY KY

## US-KY-5239

7960 STATE ROUTE 58 E  
MAYFIELD, KY 42066  
GRAVES COUNTY

TENANT: KENTUCKY RSA NO. 1 PARTNER d/b/a VERIZON  
WIRELESS  
"EV PURCHASE PARKWAY"

NEW 255'-0" SELF-SUPPORT TOWER  
w/ 10' LIGHTNING ROD  
TOTAL TOWER HEIGHT 265'-0"

**TOWER OWNER SITE**  
PURCHASE PARKWAY KY  
SITE #: US-KY-5239

**VERIZON WIRELESS SITE**  
EV PURCHASE PARKWAY  
PROJECT#: 17409146  
MARKET ID: 232  
MDG#: 5000957862

**SITE ADDRESS**  
7960 STATE ROUTE 58 E  
MAYFIELD, KY 42066  
GRAVES COUNTY  
E911 ADDRESS: 7960 STATE ROUTE 58 E

**TOWER OWNER**  
THE TOWERS, LLC  
22 W ATLANTIC AVE, SUITE 310  
DELRAY BEACH, FLORIDA 33444  
CONTACT: MATT GRUGAN  
PHONE: 678-488-1866  
E-MAIL: Matthew.grugan@verticalbridge.com

**PROPERTY OWNER**  
FRANCES SWIFT & HENRY R. SMITH  
7996 STATE ROUTE 58 E  
MAYFIELD, KY 42066  
CONTACT: FRANCES SWIFT  
PHONE: 270-705-3288

**POLICE**  
GRAVES COUNTY SHERIFF DEPARTMENT  
101 E SOUTH STREET #3  
MAYFIELD, KY 42066  
PHONE: 270-247-4501

**FIRE**  
MAYFIELD FIRE DEPARTMENT  
228 ANDREA DRIVE  
MAYFIELD, KY 42066  
PHONE: 270-251-6240

**GENERAL INFORMATION**  
LATITUDE - 36° 46' 39.13" N  
LONGITUDE - 88° 30' 24.97" W  
1983 (NAD83)  
ELEVATION - 494 AMSL  
1988 (NAVD88)

**TOWER OWNER LEASE AREA**  
100' X 100'  
(10,000 SF)

**VERIZON WIRELESS LEASE AREA**  
500 SF

**PROJECT TOTAL DISTURBED AREA**  
COMPOUND: (5,625 SF)=(0.13 ACRE)  
ACCESS DRIVE: (6,872 SF)=(0.16 ACRE)  
GROSS AREA: (12,497 SF)=(0.29 ACRE)

ALL CONSTRUCTION ITEMS ARE TO BE COMPLETED BY THE TOWER OWNER GENERAL CONTRACTOR UNLESS NOTED AS (VZW GC) WHICH SHALL BE COMPLETED BY THE VERIZON WIRELESS GENERAL CONTRACTOR

### PROJECT SUMMARY



VICINITY MAP

**PROJECT DESCRIPTION:**  
NOTE: ALL ITEMS WITHIN THESE CONSTRUCTION DOCUMENTS ARE BY TOWER OWNER'S GENERAL CONTRACTOR AND THEIR SUB-CONTRACTORS UNLESS NOTED AS (VZW GC) WHICH SHALL INCLUDE VERIZON WIRELESS GENERAL CONTRACTOR AND THEIR SUB-CONTRACTORS. GENERALLY DESCRIBED BELOW:

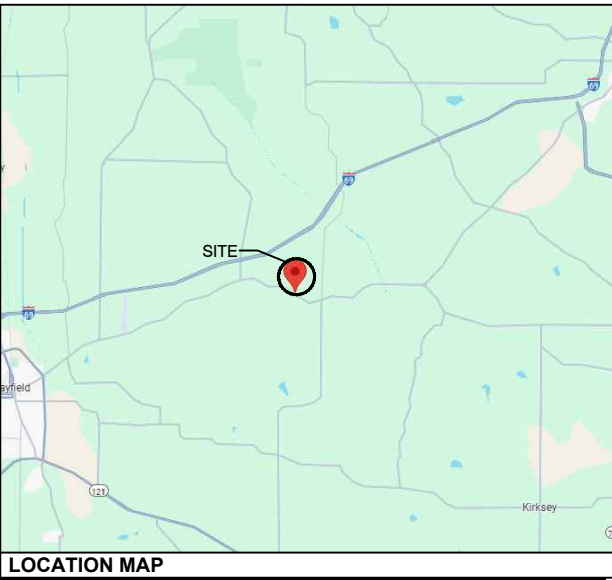
**BTS COMPANY SCOPE:**

- INSTALL A NEW 255'-0" SELF-SUPPORT TOWER w/CABLE SUPPORT AND FOUNDATION
- PURCHASE AND DELIVERY TO SITE OF VZW ANTENNA MOUNTING FRAME ASSEMBLY
- INSTALL A NEW FENCED GRAVEL COMPOUND AND ALL GENERAL SITE CONSTRUCTION ITEMS
- INSTALL A NEW ELECTRICAL SERVICE RUN TO NEW UTILITY H-FRAME
- INSTALL A NEW GRAVEL ACCESS DRIVE
- INSTALL NEW TOWER & SITE GROUNDING SYSTEM
- INSTALL NEW VZW SUBSURFACE GROUNDING SYSTEM
- INSTALL NEW VZW CONCRETE EQUIPMENT AND GENERATOR PADS
- INSTALL VZW ICE BRIDGE AND FOUNDATIONS
- INSTALL VZW EQUIPMENT H-FRAME AND FOUNDATIONS
- INSTALL ELECTRICAL SERVICE CONDUIT WITH PULL TAPES FROM ILC ENCLOSURE STUB-UP TO UTILITY H-FRAME
- INSTALL NEW CONDUITS WITH PULL TAPES FROM VZW ILC STUB-UP LOCATION TO THE GENERATOR STUB-UP AT VZW EQUIPMENT PAD
- INSTALL (2) 1-1/4" SMOOTHWALL SDR-11 HDPE FIBER OPTIC CONDUITS w/PULL TAPES AND TRACER WIRE FROM "VERIZON WIRELESS ONLY" HAND HOLE OUTSIDE COMPOUND TO VZW EQUIPMENT PAD.
- INSTALL (3) NEW "VERIZON WIRELESS ONLY" 1-1/4" SMOOTHWALL SDR-11 HDPE FIBER OPTIC CONDUITS WITH PULL TAPES AND TRACER WIRE FROM NEW "VERIZON WIRELESS ONLY" 24"x36" HAND HOLE OUTSIDE COMPOUND TO NEW "VERIZON WIRELESS ONLY" 24"x36" HAND HOLE AT R.O.W.
- PERMANENT ELECTRIC POWER MUST BE AVAILABLE FOR VERIZON WIRELESS AT THE METER BASE PRIOR TO THE SITE BEING RELEASED AS TENANT READY.

**VERIZON WIRELESS SCOPE (VZW GC):**

- INSTALL VZW PREFABRICATED CANOPY AND FOUNDATIONS
- INSTALL VZW ANTENNA MOUNTING SUPPORT STRUCTURE ON TOWER
- INSTALL VZW ANTENNAS, LINES, COAX, GPS ANTENNA AND RADIO EQUIPMENT
- INSTALL EXISTING SUBSURFACE GROUND LEADS TO VZW EQUIPMENT & FACILITIES
- INSTALL VZW ELECTRIC SERVICE CONDUCTORS FROM UTILITY H-FRAME TO VZW ILC ENCLOSURE
- INSTALL NEW CONDUITS WITH PULL TAPES FROM RF CABINET TO OVP H-FRAME LIT FIBER LOCATION
- INSTALL NEW CONDUITS AND CIRCUITS FROM VZW ILC ENCLOSURE TO EQUIPMENT ENCLOSURES AT VZW EQUIPMENT PAD
- INSTALL VZW GENERATOR CIRCUITS FROM VZW ILC & EQUIPMENT ENCLOSURES TO VZW GENERATOR
- INSTALL NEW OUTDOOR OVPS AND CABLING ON VERIZON EQUIPMENT H-FRAME

### PROJECT DESCRIPTION



LOCATION MAP

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUCTED TO PERMIT WORK NOT CONFORMING TO THESE CODES.

BUILDING CODE	2018 KENTUCKY BUILDING CODE (IBC 2015)
STRUCTURAL CODE	TIA/EIA-222 - REVISION H (INCLUDES ADDENDUM #2)
MECHANICAL CODE	2015 INTERNATIONAL MECHANICAL CODE (IMC 2015)
PLUMBING CODE	KENTUCKY STATE PLUMBING CODE (815 KAR CHAP. 20)
ELECTRICAL CODE	2017 NATIONAL ELECTRICAL CODE (NEC) - NFPA 70
FIRE/LIFE SAFETY CODE	2015 INTERNATIONAL FIRE CODE (2015 IFC)
ENERGY CODE	2012 INTERNATIONAL ENERGY CODE (COMMERCIAL)
GAS CODE	2012 NATIONAL FUEL GAS CODE (NFPA 54)

**ACCESSIBILITY REQUIREMENTS:**  
FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. HANDICAPPED ACCESS REQUIREMENTS ARE NOT REQUIRED IN ACCORDANCE WITH THE 2015 IBC BUILDING CODE.

### APPLICABLE CODES

<b>SURVEYOR</b> BENCHMARK SERVICES, INC. PHONE: 812-683-3049	<b>ARCHITECTURAL</b> KIMLEY-HORN AND ASSOCIATES 500 EAST 96TH STREET INDIANAPOLIS, IN 46240 CONTACT: JASON RIGGS PHONE: 317-505-0681 EMAIL: Jason.riggs@kimley-horn.com
<b>ELECTRICAL</b> WEST KY RECC 1218 WEST BROADWAY MAYFIELD, KY 42066 CONTACT: PHONE: 1-877-495-7322 EMAIL:	

### CONSULTANT TEAM



AERIAL

SHEET NUMBER	DESCRIPTION
T-1	PROJECT INFORMATION, SITE MAPS, SHEET INDEX
DIR	SURVEY PLAN (2 PAGES)
CIVIL	DRIVING DIRECTIONS
C-0A	500' RADIUS & ADJOINERS MAP
C-0B	200' RADIUS & ADJOINERS MAP
C-0C	MAP OF CONTIGUOUS PARCELS TO SITE PARCEL
C-1	OVERALL SITE PLAN
C-2	GRADING AND E&S CONTROL PLAN
C-3	DETAILED SITE PLAN
C-4	DIMENSIONED SITE PLAN
C-7	EROSION CONTROL DETAILS AND NOTES

**SITE DETAILS**  
D-1 FENCE DETAILS AND NOTES  
D-2 SITE DETAILS

**TOWER ELEVATION**  
TE-1 TOWER ELEVATION



THE TOWERS, LLC  
22 W ATLANTIC AVE, SUITE 310  
DELRAY BEACH, FLORIDA 33444

PLANS PREPARED BY:

**Kimley»Horn**

500 E 96TH STREET  
SUITE 300  
INDIANAPOLIS, IN 46240

REV: DATE: DESCRIPTION: BY:

C	12/15/25	ISSUED FOR ZONING	GT
B	11/05/25	ISSUED FOR ZONING	GP
A	07/10/25	ISSUED FOR ZONING	GP

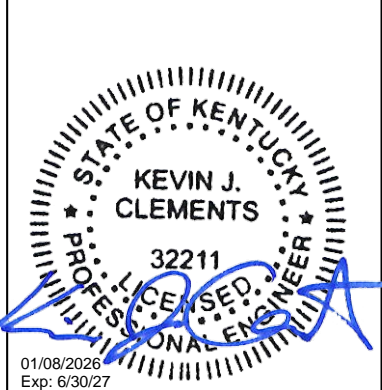
DRAWN BY: CHECKED BY:

GP JR

KHA PROJECT NUMBER:

180052002.1.102

ENGINEER SEAL:



PROJECT INFORMATION:

US-KY-5239  
5000957862  
7960 STATE ROUTE 58 E  
MAYFIELD, KY 42066  
GRAVES COUNTY

SHEET TITLE:

TITLE SHEET

SHEET NUMBER:

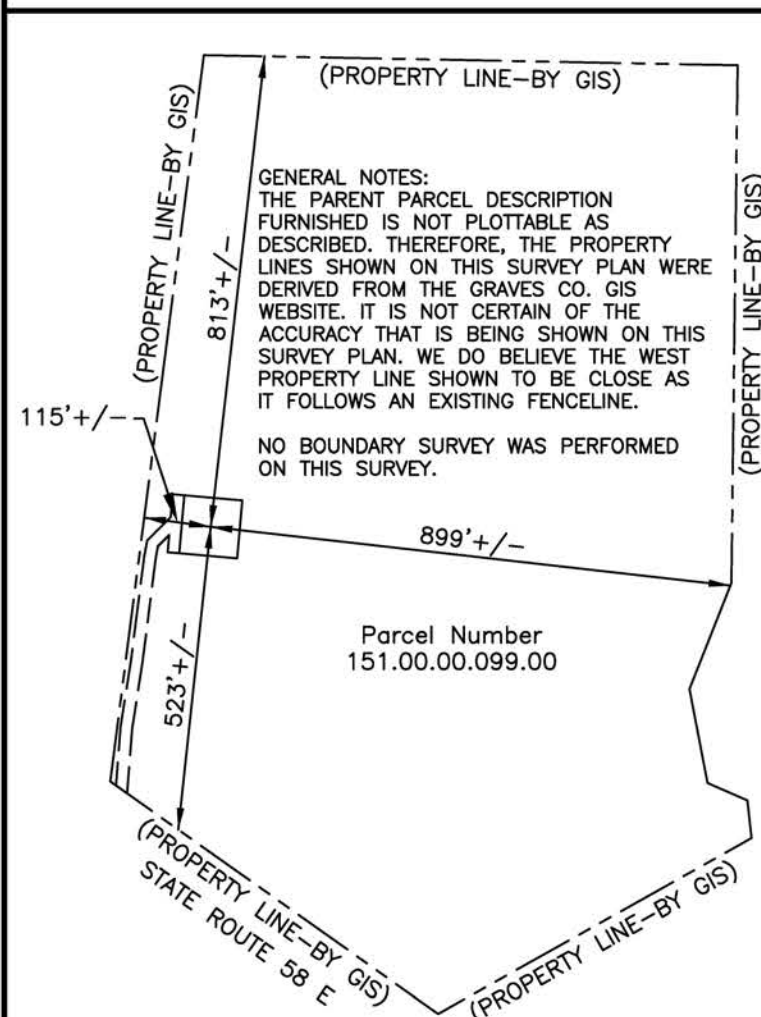
T-1 ZD



CENTER OF TOWER  
COORDINATE POINT LOCATION  
NAD 1983  
LATITUDE: 36°46'39.13" N  
(36.77753478)  
LONGITUDE: 88°30'24.97" W  
(-88.50693503)  
NAVD 1988  
ELEVATION 494.00 AMSL

STATE OF KENTUCKY  
RALPH M.  
WALLEM  
2195  
LICENSED  
PROFESSIONAL  
LAND SURVEYOR

POINT OF COMMENCEMENT  
CAPPED IRON PIN (FOUND)  
NORTH R/W LINE AT CORNER  
PARCEL:151.00.00.101.01 &  
PARCEL:151.00.00.101.00



PARCEL DETAIL  
SCALE: NONE

## LAND SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THIS PLAT AND SURVEY WERE MADE BY ME OR UNDER MY SUPERVISION AND THAT THE ANGULAR AND LINERAR MEASUREMENTS AS WITNESSED BY MONUMENTS SHOWN HEREON ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

*Ralph M. Wallem*

RALPH M. WALLEM

PLS NO. KY LS 2195

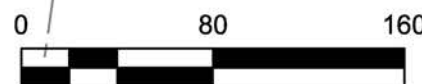
## FLOOD DATA

THIS PROPERTY APPEARS TO BE IN ZONE "X" OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 21083C0175C WHICH HAS AN EFFECTIVE DATE OF DECEMBER 3, 2009.

NOTE: FLOOD ZONE INFORMATION SHOWN HEREON IS BASED ON INFORMATION FROM A FEMA SCALED MAP AND GPS OBSERVATION.

SCALE: 1"=80'  
(11"X17" PLOT)

NORTH IS BASED ON KENTUCKY STATE PLANE  
COORDINATE SYSTEM SINGLE ZONE AND WAS  
DETERMINED BY COMPUTATION FROM G.P.S.  
OBSERVATION ON MAY 5, 2025



SURVEYOR NOTE:  
THIS EXHIBIT DRAWING IS FOR GENERAL INFORMATION  
ONLY. DISTANCES SHOWN FROM THE CENTER OF  
TOWER TO PROPERTY LINES WERE DERIVED FROM  
PROVIDED PLATS, AND DESCRIPTIONS. THE DATA  
SHOWN IS BASED ON LIMITED ACCURACY  
MEASUREMENTS, THEREFORE NO LIABILITY WILL BE  
ASSUMED FOR ANY USE OF THIS DATA FOR  
CONSTRUCTION OF NEW IMPROVEMENTS AND/OR  
FENCES

GENERAL NOTES:  
THE ACCESS & UTILITY EASEMENT TERMINATE AT THE  
NORTH RIGHT OF WAY LINE OF STATE ROUTE 58 E  
AND IS THE SOUTHERLY PROPERTY LINE OF PARCEL  
151.00.00.099.00

THE LEASE AREA AND EASEMENT LIE ENTIRELY WITHIN  
THE PARENT PARCEL.

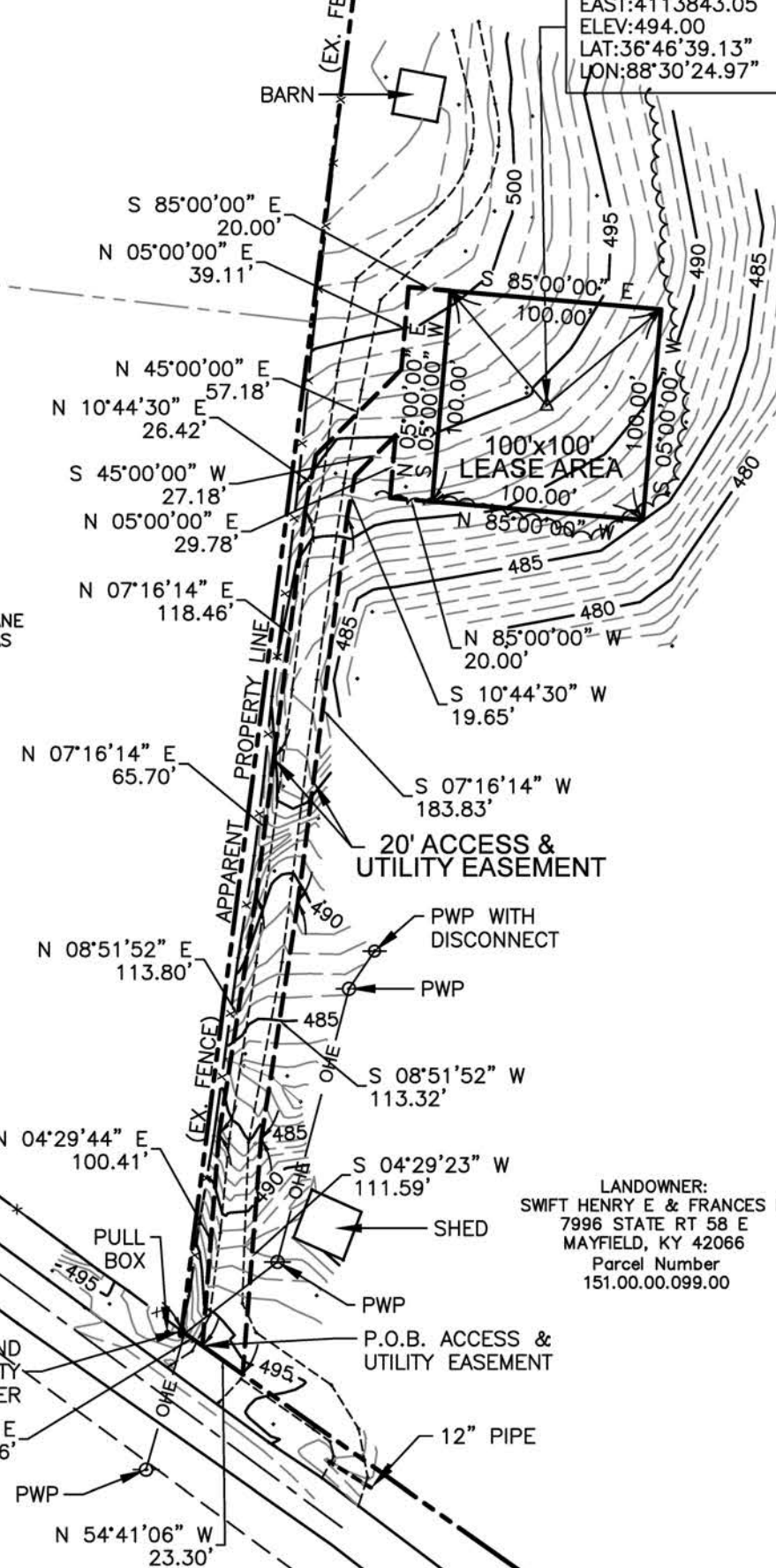
AT THE TIME OF THE SURVEY, THERE WERE NO VISIBLE  
ENCROACHMENTS LOCATED ON THE LEASE AREA OR  
EASEMENTS.

NOTE: THIS DRAWING DOES NOT REPRESENT A BOUNDARY SURVEY.

CENTER OF TOWER  
COORDINATE POINT LOCATION

NORTH:3454509.37  
EAST:4113843.05  
ELEV:494.00  
LAT:36°46'39.13"  
LON:88°30'24.97"

GRID NORTH BY G.P.S.  
OBSERVATION +/- 10 SECONDS



LANDOWNER:  
SWIFT HENRY E & FRANCES M  
7996 STATE RT 58 E  
MAYFIELD, KY 42066  
Parcel Number  
151.00.00.099.00

Kimley»Horn

500 EAST 96TH STREET  
INDIANAPOLIS, IN 46240  
PHONE: (317) 218-9560

THE TOWERS, LLC

verticalbridge

22 W ATLANTIC AVE  
SUITE 310  
DELRAY BEACH, FL 33444

BENCHMARK  
SERVICES, INC.

Consulting Engineers  
Land Surveyors  
318 North Main Street  
Huntingburg, IN 47542  
(812) 683-3049  
benchmark@mw.twcbc.com

SITE ID:

US-KY-5239

SITE NAME:

PURCHASE PARKWAY KY

PARCEL ID NUMBER:

151.00.00.099.00

LANDOWNER:

HENRY E & FRANCES M  
SWIFT  
7996 STATE RT 58 E  
MAYFIELD, KY 42066

SITE ADDRESS:

7960 STATE RT 58 E  
MAYFIELD, KY 42066

LEASE AREA:

10000 SQ. FT.

DEED BOOK-PAGE

BK 295, PG 125

COUNTY:

GRAVES COUNTY

LATITUDE: 36°46'39.13"N

LONGITUDE: 88°30'24.97"W

DWG BY:

GVW

CHKD BY:

RMW

DATE:

5.8.25

NO.

REVISION/ISSUE

DATE:

1.	REVIEW	9.22.25
2.	REVIEW	10.31.25
3.	ADDRESS	11.5.25

TITLE:

SURVEY PLAN

SHEET:

1 OF 2



TITLE COMMITMENT

Issuing Agent: Tower Title, LLC

Loan ID Number: US-KY-5239  
Commitment Number: VTB-200461-C  
Issuing Office File Number: VTB-200461-C  
Property Address: 7996 St Rt 58 E, Mayfield, KY 42066  
Commitment Date: November 8, 2024

The Title is, at the Commitment Date, vested in: Henry E. Swift and wife, Frances M. Swift, jointly as life tenants with the remainder in fee simple to the survivor of them  
The Land is described as follows: All that property located in the County of Graves, State of Kentucky, and further described in Exhibit A.

SURVEYOR CERTIFICATION

I hereby certify to: Vertical Bridge REIT, LLC, a Delaware limited liability company, its subsidiaries, and their respective successors and/or assigns; and (ii) Toronto Dominion (Texas) LLC, as Administrative Agent, for itself and on behalf of the lenders parties from time to time to that certain Second Amended and Restated Loan Agreement dated June 17, 2016 with Vertical Bridge Holdco, LLC, as borrower, and Vertical Bridge Holdco Parent, LLC, as parent, as may be amended, restated, modified or renewed, their successors and assigns as their interests may appear; and

Title: I hereby certify to: Vertical Bridge REIT, LLC, a Delaware limited liability company, its subsidiaries, and their respective successors and/or assigns, its lenders, and administrative agents and each of their respective successors and/or assigns, and Tower Title of Louisiana, LLC.

I CERTIFY THAT THIS PLAT AND SURVEY WERE MADE BY ME UNDER MY SUPERVISION, AND THAT THE ANGULAR AND LINEAR MEASUREMENTS, AS WITNESSED BY MONUMENTS SHOWN HEREON, ARE TRUE AND CORRECT TO THE BEST OF MY ABILITY AND BELIEF. THIS SURVEY AND PLAT MEETS OR EXCEEDS THE MINIMUM STANDARDS OF THE GOVERNING AUTHORITIES.

SURVEYOR STATEMENT—MY COMMENTS ARE BASED SOLELY ON THE TITLE DOCUMENT THAT HAVE BEEN SUPPLIED TO ME BY THE TITLE COMPANY. SINCE THE TITLE DOCUMENTS ARE FURNISHED FOR THE PARENT TRACT, OUR TOPOGRAPHIC SURVEY IS OF A PORTION OF THAT TRACT. MY COMMENTS ARE RESTRICTED TO EXCLUSIONS THAT I CAN DETERMINE AFFECT ONLY OUR PORTION OF THE PARENT TRACT. NO BOUNDARY SURVEY WAS PERFORMED ON THE PARENT TRACT. THUS IT IS NOT POSSIBLE TO DETERMINE WITH CERTAINTY EXCLUSIONS REFERENCING THE PARENT TRACT.

ITEMS 1 THRU 3 (NOT A SURVEYOR RELATED ITEM)

4. Discrepancies, conflicts in boundary lines, encroachments, overlaps, variations or shortage in area or content, party walls and any other matters that would be disclosed by a correct survey and/or physical inspection of the land. (BENCHMARK SERVICES, INC WAS HIRED TO CREATE LEASE AND ACCESS AND UTILITY DESCRIPTIONS. NO BOUNDARY SURVEY WAS PERFORMED.

ITEMS 5 THRU 10 (NOT A SURVEYOR RELATED ITEM)

END OF SCHEDULE "B" ITEMS

Ralph M. Wallem

RALPH M. WALLEM

PLS NO. KY LS 2195



DESCRIPTION OF LEASE AREA

A PART OF THE NORTHEAST QUARTER OF SECTION 35, TOWNSHIP 4, RANGE 2 EAST, GRAVES COUNTY, KENTUCKY, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A 5/8" CAPPED REBAR FOUND THIS SURVEY ON THE NORTH RIGHT OF WAY LINE OF STATE ROUTE 58 EAST AND BEING THE COMMON CORNER OF PARCEL 151.00.00.101.01 AND PARCEL 151.00.00.101.00, AS RECORDED IN THE GRAVES COUNTY RECORDERS OFFICE; THENCE SOUTH 53 DEGREES 39 MINUTES 34 SECONDS EAST ALONG THE NORTH RIGHT OF WAY LINE OF SAID STATE ROUTE 58 EAST 360.26 FEET (MEASURED) AND BEING BY DEED (RECORD) WESTERLY 297 FEET; THENCE CONTINUING ALONG SAID RIGHT OF WAY LINE BEARING SOUTH 53 DEGREES 28 MINUTES 23 SECONDS EAST 336.53 FEET (MEASURED) TO A WOODEN POST FOUND THIS SURVEY; THENCE CONTINUING ON SAID RIGHT OF WAY BEARING SOUTH 54 DEGREES 41 MINUTES 06 SECONDS EAST 12.16; THENCE NORTH 04 DEGREES 29 MINUTES 44 SECONDS EAST 100.41 FEET; THENCE NORTH 08 DEGREES 51 MINUTES 52 SECONDS EAST 113.80 FEET; THENCE NORTH 07 DEGREES 16 MINUTES 14 SECONDS EAST 65.70 FEET; THENCE CONTINUING NORTH 07 DEGREES 16 MINUTES 14 SECONDS EAST 118.46 FEET; THENCE NORTH 10 DEGREES 44 MINUTES 30 SECONDS EAST 26.42 FEET; THENCE NORTH 45 DEGREES 00 MINUTES 00 SECONDS EAST 57.18 FEET; THENCE NORTH 05 DEGREES 00 MINUTES 00 SECONDS EAST 39.11 FEET; THENCE SOUTH 85 DEGREES 00 MINUTES 00 SECONDS EAST 20.00 FEET TO THE NORTHWEST LEASE CORNER AND BEING THE TRUE PLACE OF BEGINNING; THENCE SOUTH 85 DEGREES 00 MINUTES 00 SECONDS EAST 100.00 FEET; THENCE SOUTH 05 DEGREES 00 MINUTES 00 SECONDS WEST 100.00 FEET; THENCE NORTH 85 DEGREES 00 MINUTES 00 SECONDS WEST 100.00 FEET; THENCE NORTH 05 DEGREES 00 MINUTES 00 SECONDS EAST 100.00 FEET TO THE TRUE PLACE OF BEGINNING AND CONTAINING 10,000 SQUARE FEET, (0.23 ACRES), MORE OR LESS.

DESCRIPTION OF NON-EXCLUSIVE 20' ACCESS & UTILITY EASEMENT

A PART OF THE NORTHEAST QUARTER OF SECTION 35, TOWNSHIP 4, RANGE 2 EAST, GRAVES COUNTY, KENTUCKY, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A 5/8" CAPPED REBAR FOUND THIS SURVEY ON THE NORTH RIGHT OF WAY LINE OF STATE ROUTE 58 EAST AND BEING THE COMMON CORNER OF PARCEL 151.00.00.101.01 AND PARCEL 151.00.00.101.00, AS RECORDED IN THE GRAVES COUNTY RECORDERS OFFICE; THENCE SOUTH 53 DEGREES 39 MINUTES 34 SECONDS EAST ALONG THE NORTH RIGHT OF WAY LINE OF SAID STATE ROUTE 58 EAST 360.26 FEET (MEASURED) AND BEING BY DEED (RECORD) WESTERLY 297 FEET; THENCE CONTINUING ALONG SAID RIGHT OF WAY LINE BEARING SOUTH 53 DEGREES 28 MINUTES 23 SECONDS EAST 336.53 FEET (MEASURED) TO A WOODEN POST FOUND THIS SURVEY; THENCE CONTINUING ON SAID RIGHT OF WAY BEARING SOUTH 54 DEGREES 41 MINUTES 06 SECONDS EAST 12.16; THENCE NORTH 04 DEGREES 29 MINUTES 44 SECONDS EAST 100.41 FEET; THENCE NORTH 08 DEGREES 51 MINUTES 52 SECONDS EAST 113.80 FEET; THENCE NORTH 07 DEGREES 16 MINUTES 14 SECONDS EAST 65.70 FEET; THENCE CONTINUING NORTH 07 DEGREES 16 MINUTES 14 SECONDS EAST 118.46 FEET; THENCE NORTH 10 DEGREES 44 MINUTES 30 SECONDS EAST 26.42 FEET; THENCE NORTH 45 DEGREES 00 MINUTES 00 SECONDS EAST 57.18 FEET; THENCE NORTH 05 DEGREES 00 MINUTES 00 SECONDS EAST 39.11 FEET; THENCE SOUTH 85 DEGREES 00 MINUTES 00 SECONDS EAST 20.00 FEET TO THE NORTHWEST LEASE CORNER; THENCE SOUTH 05 DEGREES 00 MINUTES 00 SECONDS WEST 100.00 FEET; THENCE NORTH 85 DEGREES 00 MINUTES 00 SECONDS WEST 20.00 FEET; THENCE NORTH 05 DEGREES 00 MINUTES 00 SECONDS EAST 29.78 FEET; THENCE SOUTH 45 DEGREES 00 MINUTES 00 SECONDS WEST 27.18 FEET; THENCE SOUTH 10 DEGREES 44 MINUTES 30 SECONDS WEST 19.65 FEET; THENCE SOUTH 07 DEGREES 16 MINUTES 14 SECONDS WEST 183.83 FEET; THENCE SOUTH 08 DEGREES 51 MINUTES 52 SECONDS WEST 113.59 FEET; THENCE SOUTH 04 DEGREES 29 MINUTES 23 SECONDS WEST 111.59 FEET TO A POINT ON THE NORTH RIGHT OF WAY LINE OF STATE ROUTE 58 EAST; THENCE ALONG SAID RIGHT OF WAY LINE BEARING NORTH 54 DEGREES 41 MINUTES 06 SECONDS WEST 23.30 FEET TO THE TRUE PLACE OF BEGINNING AND CONTAINING 11,376 SQUARE FEET, (0.26 ACRES), MORE OR LESS.

THE ABOVE DESCRIBED PARCELS ARE SUBJECT TO ALL LEGAL RIGHTS OF WAYS AND EASEMENTS OF RECORD.

DESCRIPTION OF LEGAL DESCRIPTION-EXHIBIT "A" TITLE REPORT

EXHIBIT "A"

Legal Description

Being 28 acres, more or less, and described as follows: Being 59 acres of land in the N E Qr of Sec 35 T 4 R 2 E and described as beginning at a stone at the South East corner of said Quarter; thence North ¼ deg. E 158—1/3 poles to a stone at the North East corner of said Quarter; thence South 87 deg. W along the North line of said Quarter, 59 poles to a stake; thence South ½ deg. W 159 poles 21 links to a stone on the South line of said Quarter; thence North 87 deg. E 59 poles to the beginning. except about 1 ½ acres, more or less, out of the said boundary, and being all the land in said boundary that lies East of the ditch which was conveyed by Willie Compton to J. W. Copeland. Also except 30 acres conveyed to W. H. Hollan by deed from W. E. Cope and wife, H. O. Cope, dated August 22, 1935, recorded in Deed Book 104, Page 484, Graves County Court Clerk's Office.

There is also conveyed by this deed a strip of land beginning at a stake on the Wadesboro Road where the land of L. B. Harris joins the land of John Cope; thence North with and off the East line of L. B. Harris' 59 acres tract to the North East corner of same; thence East to the South West corner of L. B. Harris' 26 ½ acre tract; thence North with the West line of said 26 ½ acre tract to the land of G. R. Cope.

Parcel ID: 151.00.00.099.00

This being the same property conveyed to Henry E. Swift and wife, Frances M. Swift, jointly as life tenants with the remainder in fee simple to the survivor of them from William Henry Hollan, widower and unmarried n a Warranty Deed dated July 18, 1984, recorded July 19, 1984 in Book 295 Page 125 in Graves County, Kentucky.

Kimley»Horn

500 EAST 96TH STREET  
INDIANAPOLIS, IN 46240  
PHONE: (317) 218-9560

THE TOWERS, LLC



22 W ATLANTIC AVE  
SUITE 310  
DELRAY BEACH, FL 33444



SITE ID:

US-KY-5239

SITE NAME:

PURCHASE PARKWAY KY

PARCEL ID NUMBER:

151.00.00.099.00

LANDOWNER:

HENRY E & FRANCES M  
SWIFT  
7996 STATE RT 58 E  
MAYFIELD, KY 42066

SITE ADDRESS:

7960 STATE RT 58 E  
MAYFIELD, KY 42066

LEASE AREA:

10000 SQ. FT.

DEED BOOK-PAGE

BK 295, PG 125

COUNTY:

GRAVES COUNTY

LATITUDE: 36°46'39.13"N

LONGITUDE: 88°30'24.97"W

DWG BY:	CHKD BY:	DATE:
GVW	RMW	5.8.25
NO.	REVISION/ISSUE	DATE:
1.	REVIEW	9.22.25
2.	REVIEW	10.31.25
3.	ADDRESS	11.5.25

TITLE:

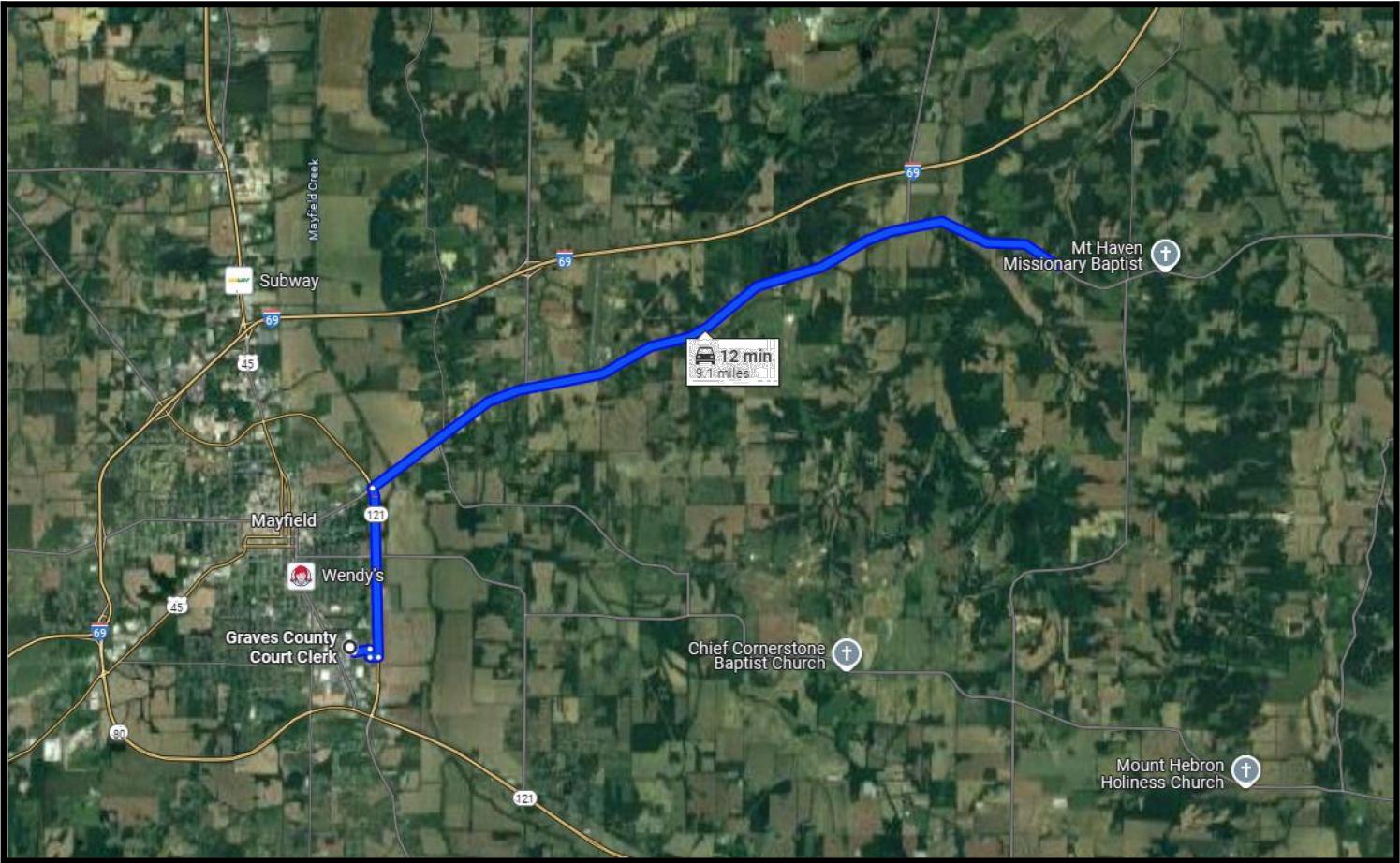
SURVEY PLAN

SHEET:

2 OF 2



DIRECTION TO PROPOSED SITE FROM COUNTY SEAT



Graves County Court Clerk  
1102 Paris Rd ste 4, Mayfield, KY 42066

- Beginning at 1102 Paris Road, Mayfield, KY, head south toward Barton Drive and continue for approximately 0.1 miles.
- Turn left onto Barton Drive and continue for approximately 0.1 mile
- Turn right onto S Commonwealth Drive and continue for approximately 0.3 miles.
- Turn left onto Charles Drive and continue for approximately 400 feet.
- Turn left onto KY-121 Bypass S and continue for approximately 1.8 miles.
- Turn right onto KY-58 E and continue for approximately 7.1 miles.
- The site is on the left at 7960 State Route 58 E.

Prepared by: Ryan Whitley – (P): 317-218-9454



THE TOWERS, LLC  
22 W ATLANTIC AVE, SUITE 310  
DELRAY BEACH, FLORIDA 33444

PLANS PREPARED BY:



500 E 96TH STREET  
SUITE 300  
INDIANAPOLIS, IN 46240

REV: DATE: DESCRIPTION: BY:

C	12/15/25	ISSUED FOR ZONING	GT
B	11/05/25	ISSUED FOR ZONING	GP
A	07/10/25	ISSUED FOR ZONING	GP

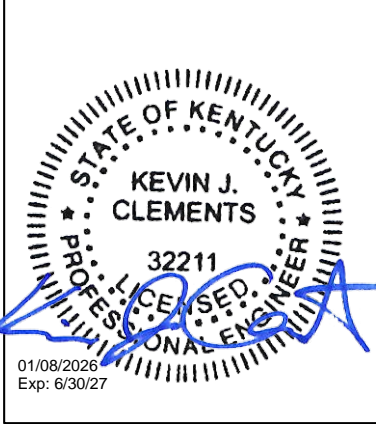
DRAWN BY: CHECKED BY:

GP JR

KHA PROJECT NUMBER:

180052002.1.102

ENGINEER SEAL:



PROJECT INFORMATION:

US-KY-5239  
5000957862  
7960 STATE ROUTE 58 E  
MAYFIELD, KY 42066  
GRAVES COUNTY

SHEET TITLE:

DRIVING  
DIRECTIONS

SHEET NUMBER:

DIR



APWA UTILITY COLOR CODES

	PROPOSED CONSTRUCTION
	TEMPORARY SURVEY MARKINGS
	ELECTRIC POWER LINES, CABLES, CONDUIT, AND LIGHTING CABLES
	GAS, OIL, STEAM, PETROLEUM OR GASEOUS MATERIALS
	COMMUNICATION, ALARM OR SIGNAL LINES, CABLES OR CONDUIT
	POTABLE WATER
	RECLAIMED WATER, IRRIGATION AND SLURRY LINES
	SEWERS AND DRAIN LINES



PARCEL ID 151.00.00.101.00  
PHYSICAL ADDRESS  
STATE ROUTE 58 E  
MAILING ADDRESS  
PATRICIA BUTLER  
124 PANTHER CREEK ROAD  
MAYFIELD, KY 42066

PARCEL ID 151.00.00.100.00  
MAILING ADDRESS  
PATRICIA BUTLER  
124 PANTHER CREEK ROAD  
MAYFIELD, KY 42066

PARCEL ID 151.00.00.098.00  
MAILING ADDRESS  
PATRICIA BUTLER  
124 PANTHER CREEK  
SCHOOL ROAD  
MAYFIELD, KY 42066

PARCEL ID 151.00.00.097.00  
MAILING ADDRESS  
VAUGHN BRUCE LEE  
1021 N 15TH EXT  
MAYFIELD, KY 42066

GENERAL CONTRACTOR SHALL  
IMPROVE EXISTING DRIVE & INSTALL  
NEW 12'-0" GRAVEL ACCESS DRIVE  
- NEW DRIVE @ ±490 L.F.T.  
- SEE SURVEY FOR LOCATION

PARCEL ID 151.00.00.025.00  
MAILING ADDRESS  
VAUGHN BRUCE LEE  
1021 N 15TH EXT  
MAYFIELD, KY 42066

PARCEL ID 151.00.00.099.00  
PHYSICAL ADDRESS  
7996 STATE ROUTE 58 E  
MAILING ADDRESS  
FRANCES SWIFT & HENRY SWIFT  
7996 STATE ROUTE 58 E  
MAYFIELD, KY 42066

500' RADIUS FROM  
TOWER LEGS OF TOWER

EXISTING  
BARN

VARY WIDE ACCESS/UTILITY  
EASEMENT  
- SEE SURVEY FOR LOCATION

255'-0" SELF-SUPPORT TOWER  
w/10' LIGHTNING ROD  
-TOTAL TOWER HEIGHT 265'-0"

6'-0" TALL CHAIN LINK FENCE  
75'-0"x75'-0" COMPOUND  
- 300 L.F.

100' X 100' TOWER  
OWNER LEASE AREA  
- SEE SURVEY FOR  
DESCRIPTION

EXISTING  
HOUSE

EXISTING  
UTILITY  
POLE

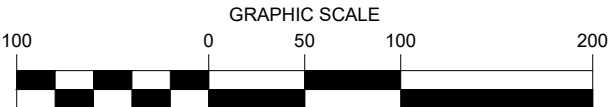
200' RADIUS  
FROM ACCESS

EXISTING  
BARN

EXISTING  
BARN



Know what's below.  
Call before you dig.  
Call Monday thru Friday - 7 am. to 6 pm.  
1-800-752-6007  
PER KENTUCKY STATE LAW, IT IS AGAINST THE  
LAW TO EXCAVATE WITHOUT NOTIFYING THE  
UNDERGROUND LOCATION SERVICE TWO (2)  
WORKING DAYS BEFORE COMMENCING WORK.



OVERALL SITE PLAN

SCALE: 1" = 100'



THE TOWERS, LLC  
22 W ATLANTIC AVE, SUITE 310  
DELRAY BEACH, FLORIDA 33444

PLANS PREPARED BY:

**Kimley»Horn**

500 E 96TH STREET  
SUITE 300  
INDIANAPOLIS, IN 46240

REV: DATE: DESCRIPTION: BY:

C	12/15/25	ISSUED FOR ZONING	GT
B	11/05/25	ISSUED FOR ZONING	GP
A	07/10/25	ISSUED FOR ZONING	GP

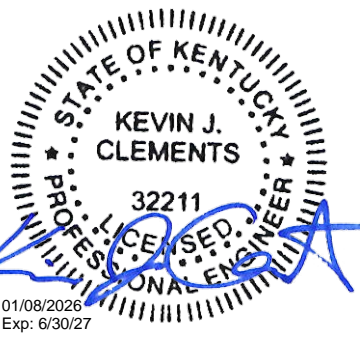
DRAWN BY: CHECKED BY:

GP	JR
----	----

KHA PROJECT NUMBER:

180052002.1.102

ENGINEER SEAL:



PROJECT INFORMATION:

US-KY-5239  
5000957862  
7960 STATE ROUTE 58 E  
MAYFIELD, KY 42066  
GRAVES COUNTY

SHEET TITLE:

500' RADIUS &  
ADJOINERS MAP

SHEET NUMBER:

C-0A



APWA UTILITY COLOR CODES

- PROPOSED CONSTRUCTION
- TEMPORARY SURVEY MARKINGS
- ELECTRIC POWER LINES, CABLES, CONDUIT, AND LIGHTING CABLES
- GAS, OIL, STEAM, PETROLEUM OR GASEOUS MATERIALS
- COMMUNICATION, ALARM OR SIGNAL LINES, CABLES OR CONDUIT
- POTABLE WATER
- RECLAIMED WATER, IRRIGATION AND SLURRY LINES
- SEWERS AND DRAIN LINES

PARCEL ID 151.00.00.013.00  
MAILING ADDRESS  
YOUNGBLOOD EDDIE LEE  
7685 STATE ROUTE 58 E  
MAYFIELD, KY 42066

PARCEL ID 151.00.00.025.00  
MAILING ADDRESS  
VAUGHN BRUCE LEE  
1021 N 15TH EXT  
MAYFIELD, KY 42066

GENERAL CONTRACTOR SHALL IMPROVE EXISTING DRIVE & INSTALL NEW 12'-0" GRAVEL ACCESS DRIVE  
- NEW DRIVE @ ±490 L.F.T.  
- SEE SURVEY FOR LOCATION

20'-0" WIDE ACCESS/UTILITY EASEMENT  
- SEE SURVEY FOR LOCATION

PARCEL ID 151.00.00.097.00  
MAILING ADDRESS  
VAUGHN BRUCE LEE  
1021 N 15TH EXT  
MAYFIELD, KY 42066

PARCEL ID 151.00.00.099.00  
PHYSICAL ADDRESS  
7996 STATE ROUTE 58 E  
MAILING ADDRESS  
FRANCES SWIFT & HENRY SWIFT  
7996 STATE ROUTE 58 E  
MAYFIELD, KY 42066

PARCEL ID 151.00.00.026.01  
MAILING ADDRESS  
BELL MEGAN JEAN  
7931 STATE RT 58 EAST  
MAYFIELD, KY 42066

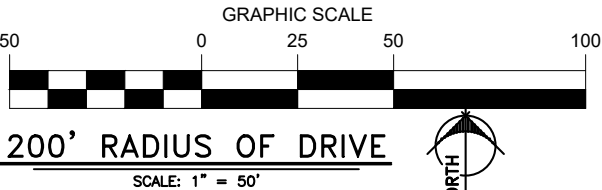
PARCEL ID 151.00.00.027.00  
MAILING ADDRESS  
MASON JERRY T & JOHNNY & MICHAEL  
8105 STATE ROUTE 58 E  
MAYFIELD, KY 42066

LEGEND:

- EXISTING CONTOUR
- PROPOSED CONTOUR
- LOD/SILT FENCE
- UNDERGROUND TELEPHONE CONDUIT
- UNDERGROUND ELECTRICAL CONDUIT
- EDGE OF NEW DRIVE
- LEASE AREA/EASEMENT
- OVERHEAD UTILITY LINE
- NEW FENCE LINE
- IRON PIN
- CONCRETE
- ACCESS DRIVE



Call Monday thru Friday - 7 am. to 6 pm.  
1-800-752-6007  
PER KENTUCKY STATE LAW, IT IS AGAINST THE LAW TO EXCAVATE WITHOUT NOTIFYING THE UNDERGROUND LOCATION SERVICE TWO (2) WORKING DAYS BEFORE COMMENCING WORK.



THE TOWERS, LLC  
22 W ATLANTIC AVE, SUITE 310  
DELRAY BEACH, FLORIDA 33444

PLANS PREPARED BY:

Kimley»Horn

500 E 96TH STREET  
SUITE 300  
INDIANAPOLIS, IN 46240

REV: DATE: DESCRIPTION: BY:

C	12/15/25	ISSUED FOR ZONING	GT
B	11/05/25	ISSUED FOR ZONING	GP
A	07/10/25	ISSUED FOR ZONING	GP

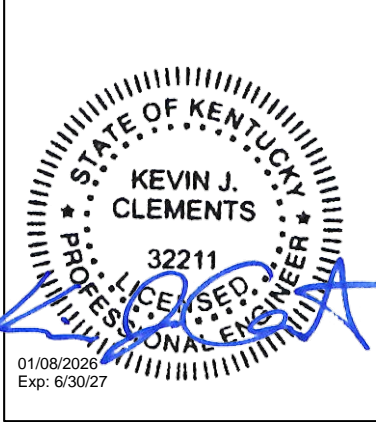
DRAWN BY: CHECKED BY:

GP JR

KHA PROJECT NUMBER:

180052002.1.102

ENGINEER SEAL:



PROJECT INFORMATION:

US-KY-5239  
5000957862  
7960 STATE ROUTE 58 E  
MAYFIELD, KY 42066  
GRAVES COUNTY

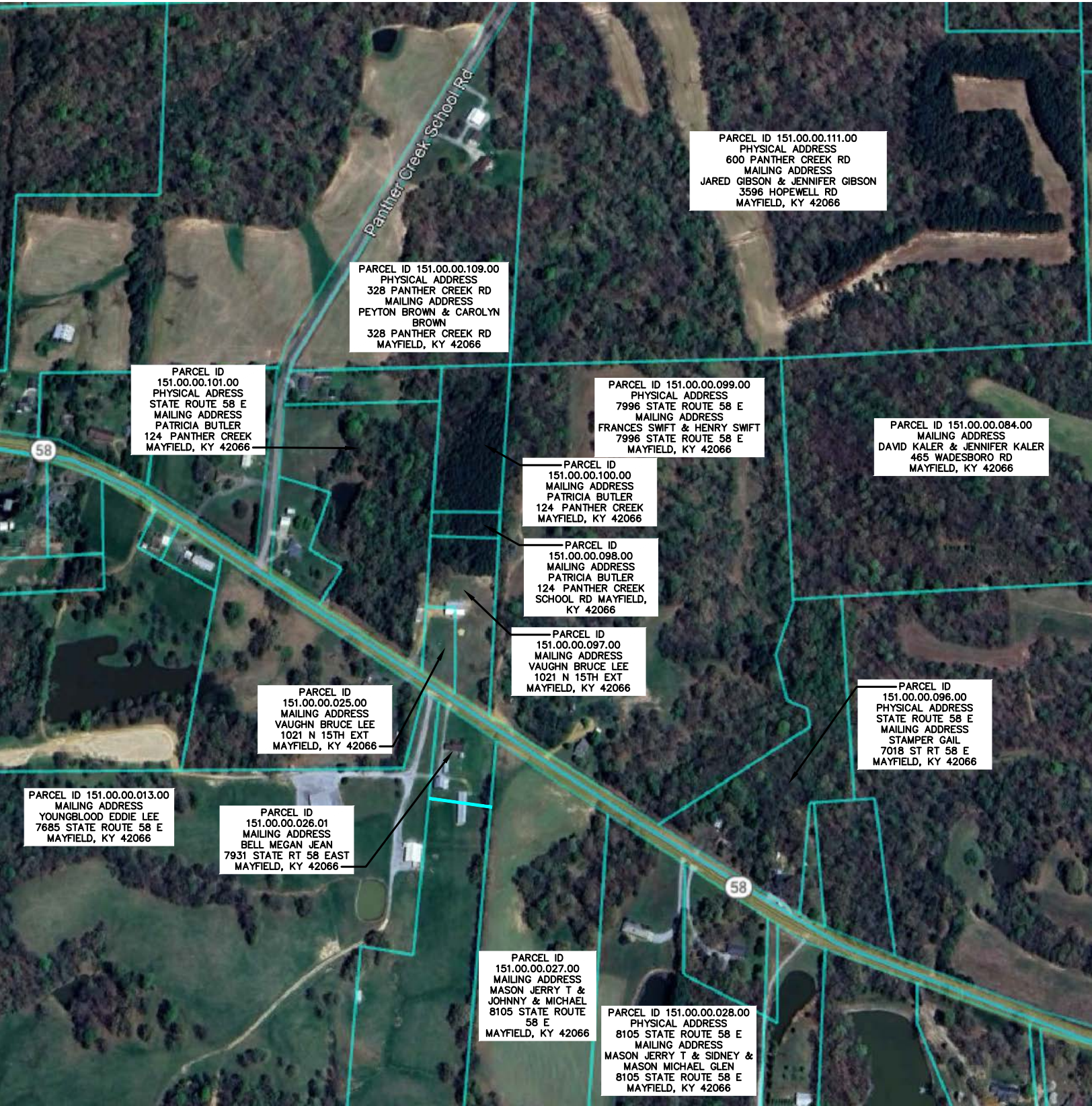
SHEET TITLE:

200' RADIUS &  
ADJOINERS MAP

SHEET NUMBER:

C-0B





PARCEL ID  
151.00.00.026.01  
MAILING ADDRESS  
BELL MEGAN JEAN  
7931 STATE RT 58  
EAST  
MAYFIELD, KY 42066

CONTINGENT PARCELS  
TO SITE PARCEL

SCALE: NTS



Know what's Below.  
Call before you dig.  
Call Monday thru Friday - 7 am. to 6 pm.  
1-800-752-6007  
PER KENTUCKY STATE LAW, IT IS AGAINST THE  
LAW TO EXCAVATE WITHOUT NOTIFYING THE  
UNDERGROUND LOCATION SERVICE TWO (2)  
WORKING DAYS BEFORE COMMENCING WORK.

LEGEND:

- EXISTING CONTOUR — XXX —
- PROPOSED CONTOUR — XXX —
- LOD/SILT FENCE — LOD —
- UNDERGROUND TELEPHONE CONDUIT — — — — —
- UNDERGROUND ELECTRICAL CONDUIT — — — — —
- EDGE OF NEW DRIVE — — — — —
- LEASE AREA/EASEMENT — . — . — . — . —
- OVERHEAD UTILITY LINE — — OE — — OE —
- NEW FENCE LINE — X — X — X — X —
- IRON PIN — — — — —
- CONCRETE — — — — —
- ACCESS DRIVE — — — — —



THE TOWERS, LLC  
22 W ATLANTIC AVE, SUITE 310  
DELRAY BEACH, FLORIDA 33444

PLANS PREPARED BY:



500 E 96TH STREET  
SUITE 300  
INDIANAPOLIS, IN 46240

REV: DATE: DESCRIPTION: BY:

C	12/15/25	ISSUED FOR ZONING	GT
B	11/05/25	ISSUED FOR ZONING	GP
A	07/10/25	ISSUED FOR ZONING	GP

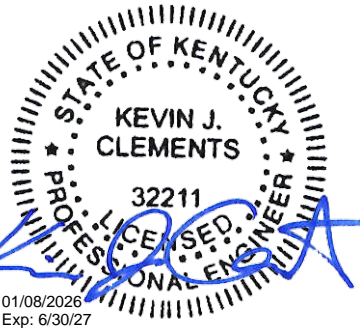
DRAWN BY: CHECKED BY:

GP	JR
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KHA PROJECT NUMBER:

180052002.1.102

ENGINEER SEAL:



PROJECT INFORMATION:

US-KY-5239  
5000957862  
7960 STATE ROUTE 58 E  
MAYFIELD, KY 42066  
GRAVES COUNTY

SHEET TITLE:

MAP OF CONTINGUOUS  
SITE PARCEL  
PARCELS TO

SHEET NUMBER:

C-0C



APWA UTILITY COLOR CODES

	PROPOSED CONSTRUCTION
	TEMPORARY SURVEY MARKINGS
	ELECTRIC POWER LINES, CABLES, CONDUIT, AND LIGHTING CABLES
	GAS, OIL, STEAM, PETROLEUM OR GASEOUS MATERIALS
	COMMUNICATION, ALARM OR SIGNAL LINES, CABLES OR CONDUIT
	POTABLE WATER
	RECLAIMED WATER, IRRIGATION AND SLURRY LINES
	SEWERS AND DRAIN LINES

GENERAL CONTRACTOR SHALL INSTALL  
NEW 12'-0" GRAVEL ACCESS DRIVE  
- NEW DRIVE @ ±490 L.F.T.  
- SEE SURVEY FOR LOCATION

20'-0" WIDE  
ACCESS/UTILITY EASEMENT  
- SEE SURVEY FOR LOCATION

24"x36" VEHICLE RATED  
VERIZON WIRELESS ONLY  
FIBER SERVICE HAND HOLE

EXISTING  
UTILITY  
POLE

EXISTING  
EDGE  
OF PAVEMENT

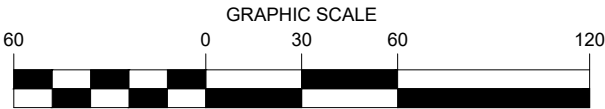
LANDOWNER:  
SWIFT HENRY E & FRANCES M  
7996 STATE RT 58 E  
MAYFIELD, KY 42066  
Parcel Number  
151.00.00.099.00

EXISTING OVERHEAD POWER

ASSUMED EXISTING  
RIGHT OF WAY

LEGEND:

EXISTING CONTOUR	--- XXX ---
PROPOSED CONTOUR	— XXX —
LOD/SILT FENCE	— LOD —
UNDERGROUND TELEPHONE CONDUIT	— — — — —
UNDERGROUND ELECTRICAL CONDUIT	— — — — —
EDGE OF NEW DRIVE	— — — — —
LEASE AREA/EASEMENT	— — — — —
OVERHEAD UTILITY LINE	— OE — OE —
NEW FENCE LINE	— X — X — X —
IRON PIN	●
CONCRETE	■
ACCESS DRIVE	■



OVERALL SITE PLAN

SCALE: 1" = 60'



Call Monday thru Friday - 7 am. to 6 pm.  
1-800-752-6007

PER KENTUCKY STATE LAW, IT IS AGAINST THE  
LAW TO EXCAVATE WITHOUT NOTIFYING THE  
UNDERGROUND LOCATION SERVICE TWO (2)  
WORKING DAYS BEFORE COMMENCING WORK.



THE TOWERS, LLC  
22 W ATLANTIC AVE, SUITE 310  
DELRAY BEACH, FLORIDA 33444

PLANS PREPARED BY:

Kimley»Horn

500 E 96TH STREET  
SUITE 300  
INDIANAPOLIS, IN 46240

REV: DATE: DESCRIPTION: BY:

C 12/15/25	ISSUED FOR ZONING	GT	
B 11/05/25	ISSUED FOR ZONING	GP	
A 07/10/25	ISSUED FOR ZONING	GP	

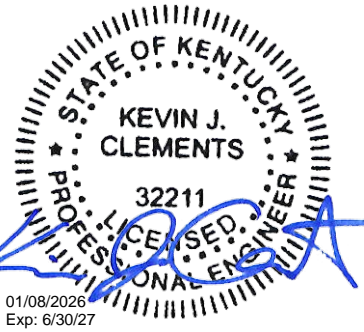
DRAWN BY: CHECKED BY:

GP	JR
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KHA PROJECT NUMBER:

180052002.1.102

ENGINEER SEAL:



PROJECT INFORMATION:

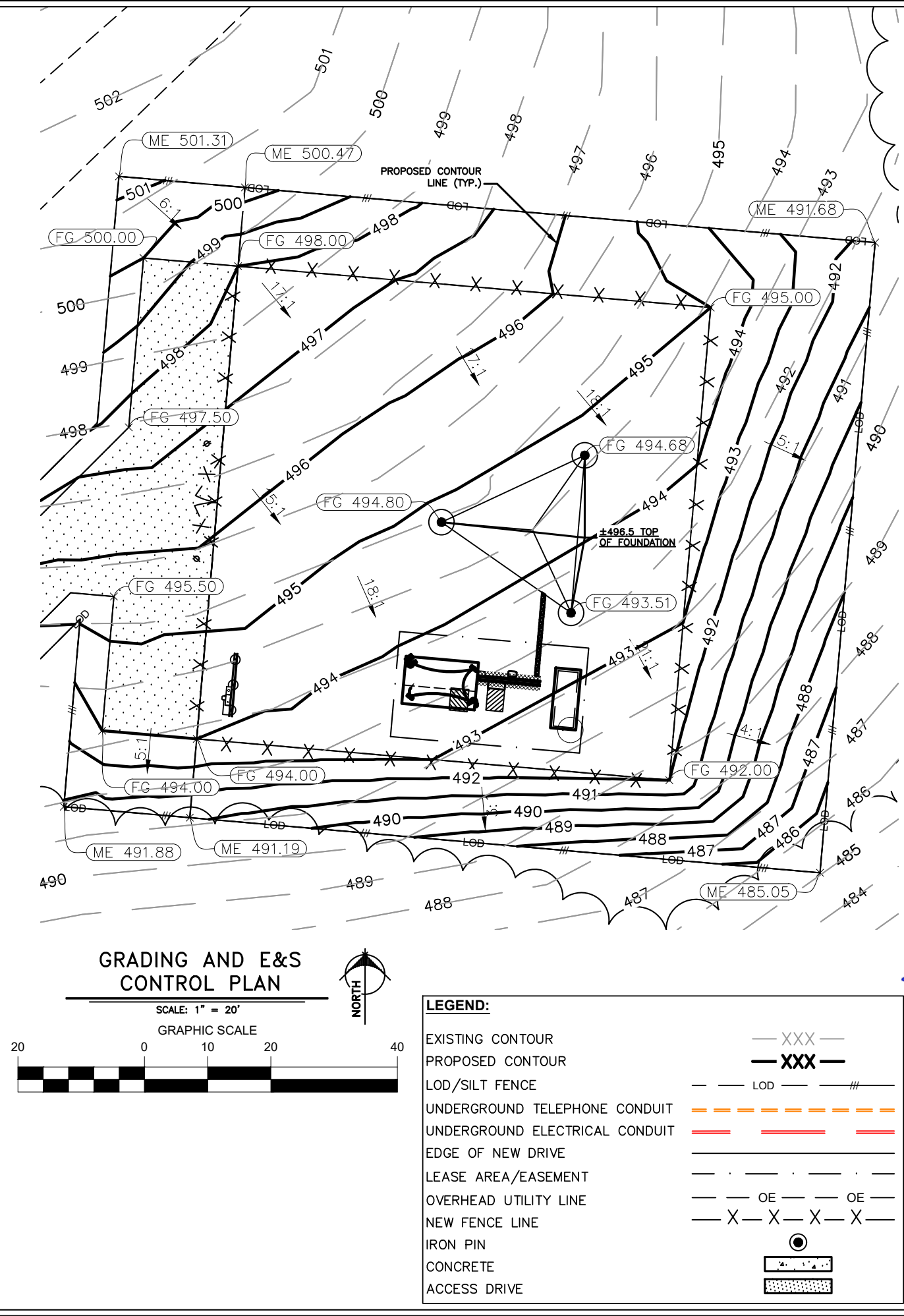
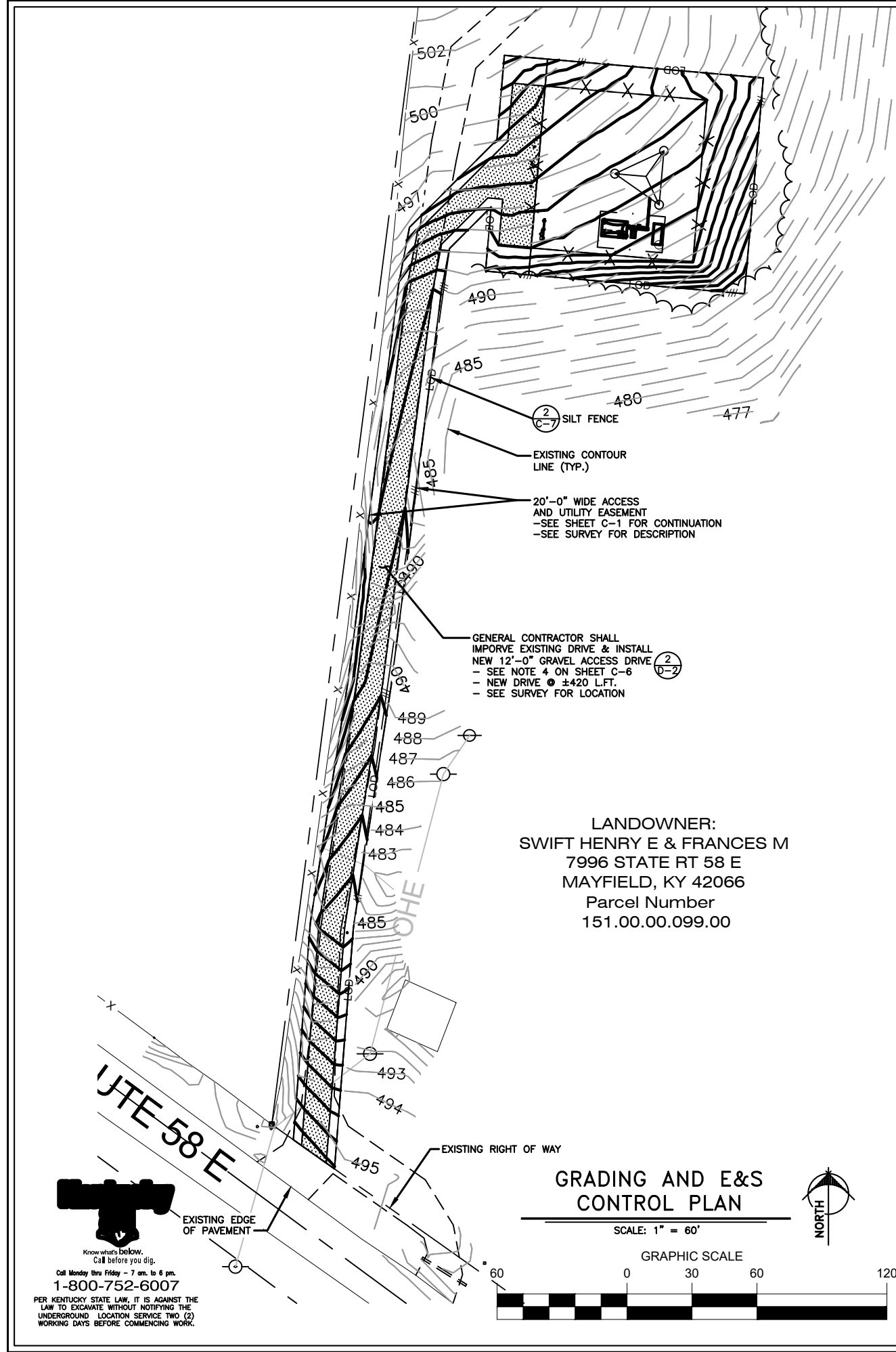
US-KY-5239  
5000957862  
7960 STATE ROUTE 58 E  
MAYFIELD, KY 42066  
GRAVES COUNTY

SHEET TITLE:

OVERALL SITE PLAN  
AND UTILITY PLAN

SHEET NUMBER:

C-1



THE TOWERS, LLC  
22 W ATLANTIC AVE, SUITE 310  
DELRAY BEACH, FLORIDA 33444

PLANS PREPARED BY:

**Kimley»Horn**

500 E 96TH STREET  
SUITE 300  
INDIANAPOLIS, IN 46240

REV:    DATE:    DESCRIPTION:    BY:

C	12/15/25	ISSUED FOR ZONING	GT
B	11/05/25	ISSUED FOR ZONING	GP
A	07/10/25	ISSUED FOR ZONING	GP

DRAWN BY:    CHECKED BY:

GP    JR

KHA PROJECT NUMBER:

180052002.1.102

ENGINEER SEAL:

STATE OF KENTUCKY

KEVIN J. CLEMENTS

32211

PROFESSIONAL ENGINEER

01/08/2026  
Exp: 6/30/27

PROJECT INFORMATION:

US-KY-5239  
5000957862  
7960 STATE ROUTE 58 E  
MAYFIELD, KY 42066  
GRAVES COUNTY

SHEET TITLE:

**GRADING PLAN**

SHEET NUMBER:

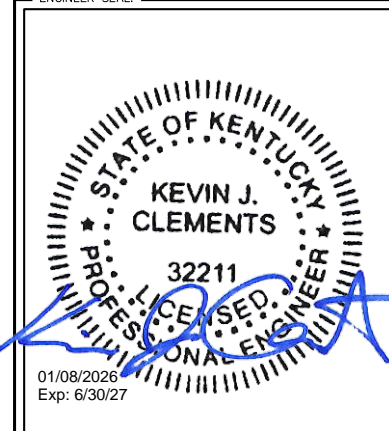
C-2

REV	DATE	DESCRIPTION	BY
C	12/15/25	ISSUED FOR ZONING	GT
B	11/05/25	ISSUED FOR ZONING	GP
A	07/10/25	ISSUED FOR ZONING	GP

DRAWN BY:	CHECKED BY:
GP	JR

KHA PROJECT NUMBER:
180052002.1.102

ENGINEER SEAL:
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PROJECT INFORMATION:
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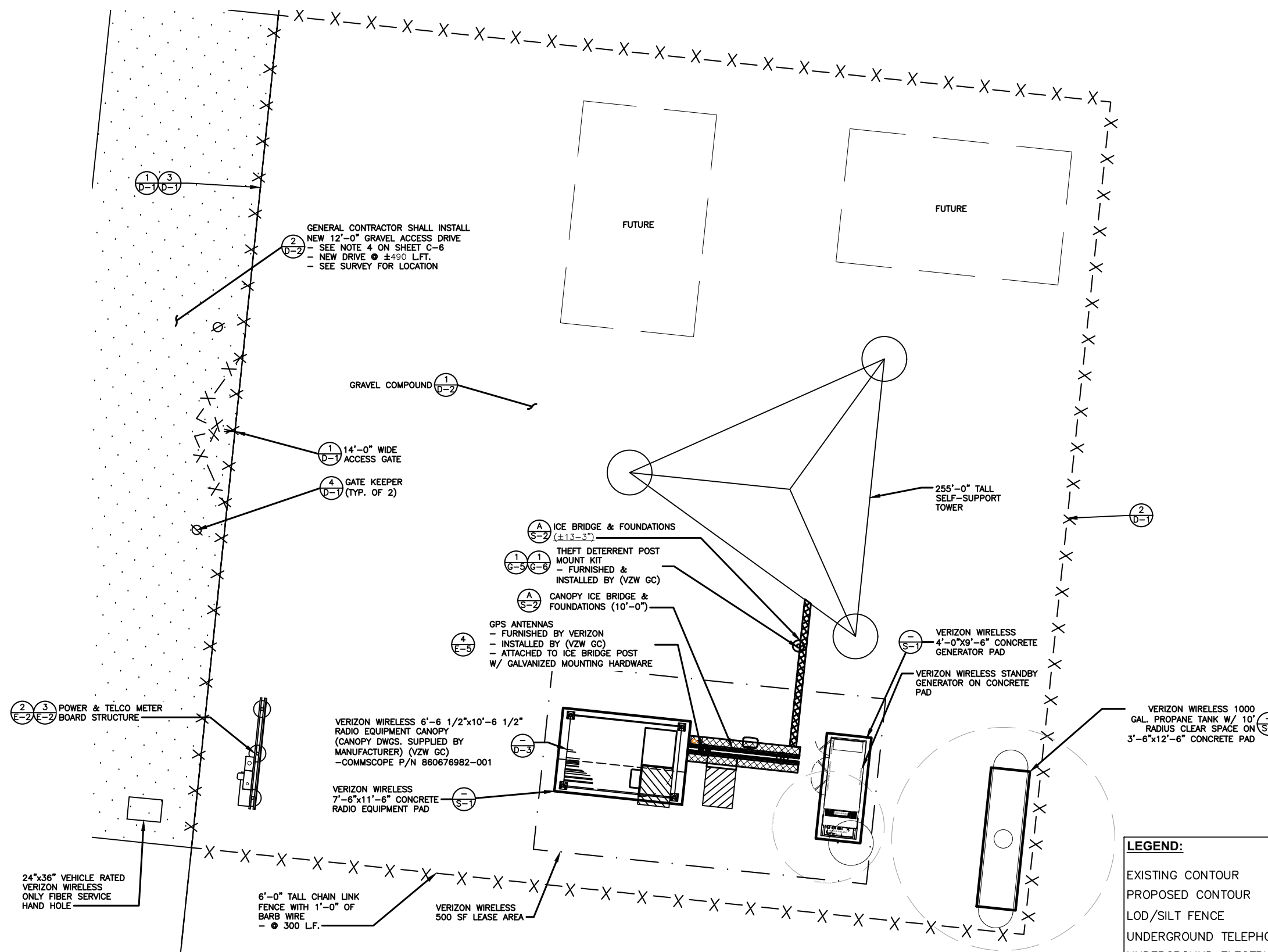
US-KY-5239  
5000957862  
7960 STATE ROUTE 58 E  
MAYFIELD, KY 42066  
GRAVES COUNTY

SHEET TITLE:
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**DETAILED SITE PLAN**

SHEET NUMBER:
---------------

C-3



# DETAILED SITE PLAN

SCALE: 1" = 10'-0"



## LEGEND:

EXISTING CONTOUR	--- XXX ---
PROPOSED CONTOUR	--- XXX ---
LOD/SILT FENCE	--- LOD ---
UNDERGROUND TELEPHONE CONDUIT	--- ---
UNDERGROUND ELECTRICAL CONDUIT	--- ---
EDGE OF NEW DRIVE	--- ---
LEASE AREA/EASEMENT	--- ---
OVERHEAD UTILITY LINE	--- OE --- OE ---
NEW FENCE LINE	--- X-X-X-X ---
IRON PIN	●
CONCRETE	■
ACCESS DRIVE	■

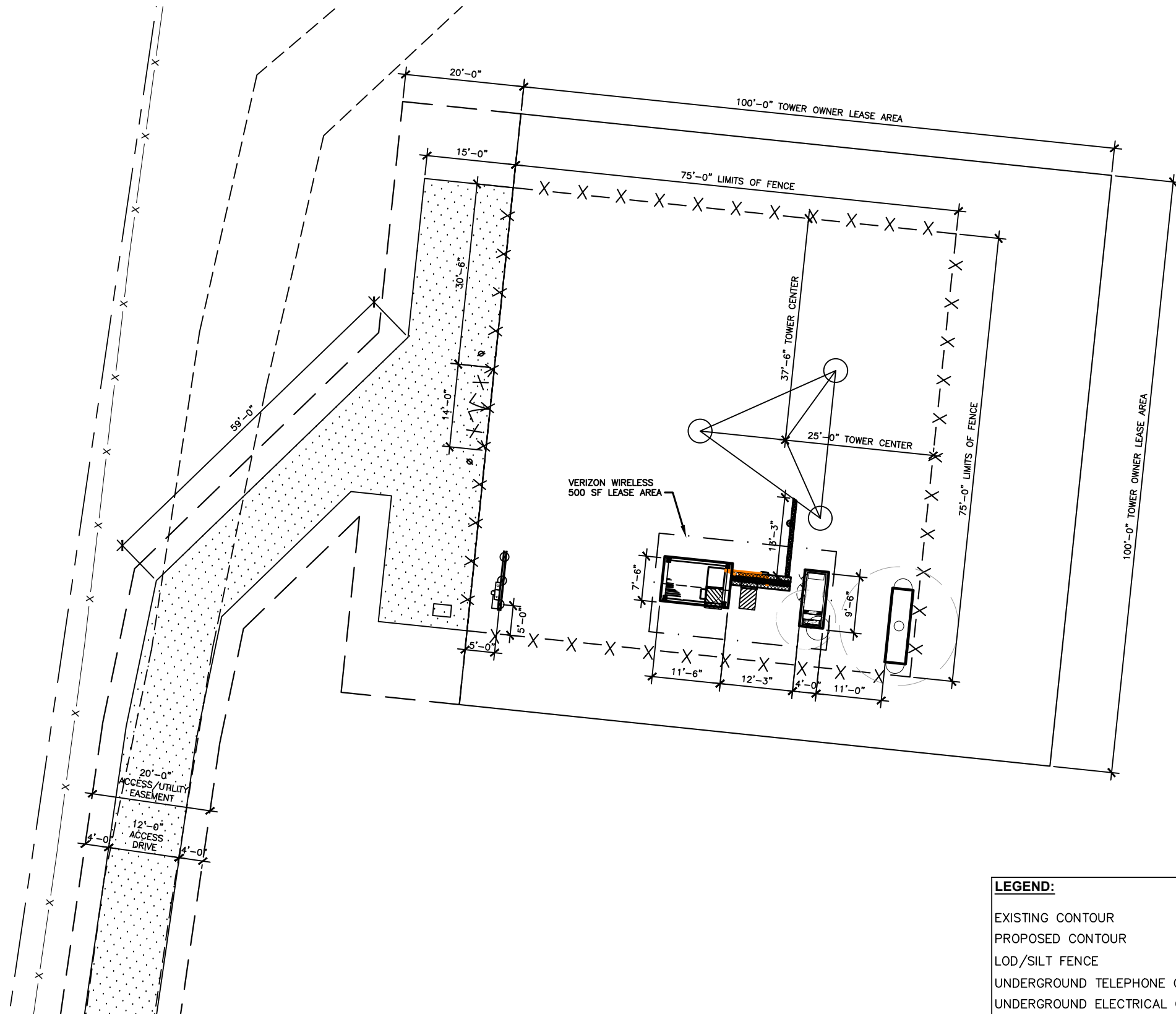
Know what's below.  
Call before you dig.

Call Monday thru Friday - 7 am. to 6 pm.  
1-800-752-6007

PER KENTUCKY STATE LAW, IT IS AGAINST THE LAW TO EXCAVATE WITHOUT NOTIFYING THE UNDERGROUND LOCATION SERVICE TWO (2) WORKING DAYS BEFORE COMMENCING WORK.

\*NOTE:  
GENERAL CONTRACTOR IS TO ENSURE THERE IS NO DISTURBANCE OF PROPERTY, SOIL, ETC. OUTSIDE OF THE STAKED LEASE AREA WITHOUT APPROVAL FROM VERIZON WIRELESS CONSTRUCTION MANAGER





**LEGEND:**

EXISTING CONTOUR	— XXX —
PROPOSED CONTOUR	— XXX —
LOD/SILT FENCE	— — LOD — —
UNDERGROUND TELEPHONE CONDUIT	— — — — —
UNDERGROUND ELECTRICAL CONDUIT	— — — — —
EDGE OF NEW DRIVE	— — — — —
LEASE AREA/EASEMENT	— . — . — .
OVERHEAD UTILITY LINE	— — OE — — OE —
NEW FENCE LINE	— X — X — X — X —
IRON PIN	●
CONCRETE	■
ACCESS DRIVE	■

\*NOTE:  
GENERAL CONTRACTOR IS TO ENSURE  
THERE IS NO DISTURBANCE OF  
PROPERTY, SOIL, ETC. OUTSIDE OF  
THE STAKED LEASE AREA WITHOUT  
APPROVAL FROM VERIZON WIRELESS  
CONSTRUCTION MANAGER

**DIMENSIONED SITE PLAN**

SCALE: 1" = 20'-0"



Know what's below.  
Call before you dig.  
Call Monday thru Friday - 7 am. to 6 pm.  
**1-800-752-6007**  
PER KENTUCKY STATE LAW, IT IS AGAINST THE  
LAW TO EXCAVATE WITHOUT NOTIFYING THE  
UNDERGROUND LOCATION SERVICE TWO (2)  
WORKING DAYS BEFORE COMMENCING WORK.



THE TOWERS, LLC  
22 W ATLANTIC AVE, SUITE 310  
DELRAY BEACH, FLORIDA 33444

PLANS PREPARED BY:

**Kimley»Horn**

500 E 96TH STREET  
SUITE 300  
INDIANAPOLIS, IN 46240

REV: DATE: DESCRIPTION: BY:

C 12/15/25	ISSUED FOR ZONING	GT
B 11/05/25	ISSUED FOR ZONING	GP
A 07/10/25	ISSUED FOR ZONING	GP

DRAWN BY: CHECKED BY:

GP JR

KHA PROJECT NUMBER:

180052002.1.102

ENGINEER SEAL:



01/08/2026  
Exp: 6/30/27

PROJECT INFORMATION:

US-KY-5239  
5000957862  
7960 STATE ROUTE 58 E  
MAYFIELD, KY 42066  
GRAVES COUNTY

SHEET TITLE:

**DIMENSIONED  
SITE PLAN**

SHEET NUMBER:

**C-4**



GENERAL SITE CONSTRUCTION NOTES

1. SCHEDULE:

THE CONSTRUCTION OF THE SITE REQUIRES A CERTAIN SEQUENCE OF EVENTS TO MINIMIZE CONSTRUCTION TIME REQUIRED UNTIL AVAILABILITY OF CELLULAR TELEPHONE SERVICE. VERIFY SCHEDULE DURING BID WALK.

2. TOWER OWNER REPRESENTATIVE:

THE TOWERS, LLC  
22 W ATLANTIC AVE, SUITE 310  
DELRAY BEACH, FLORIDA 33444  
CONTACT: MATT GRUGAN  
PHONE: 678-488-1866  
E-MAIL: Matthew.grugan@verticalbridge.com

PROPERTY OWNER REPRESENTATIVE:

FRANCES SWIFT  
7996 STATE ROUTE 58 E  
MAYFIELD, KY 42006  
CONTACT: FRANCES SWIFT  
PHONE: 270-705-3288

3. ANTENNA INSTALLATION:

THE VERIZON WIRELESS CONTRACTOR (VZW GC) INSTALLING THE FRAME/PLATFORM SHALL ENSURE THAT THE PLATFORM IS ALIGNED BASED ON THE VERIZON WIRELESS RF PLAN. DURING THIS WORK, THE GENERAL CONTRACTOR SHALL BE LIMITED TO THE WORK WHICH CAN BE PERFORMED OUTSIDE THE VICINITY OF THE TOWER.

4. ACCESS DRIVEWAY:

THE GENERAL CONTRACTOR SHALL CONSTRUCT THE ACCESS DRIVE PER THE ALIGNMENT AS SHOWN ON THESE DRAWINGS. IF ANY AREA OF CONSTRUCTION REQUIRES ADDITIONAL FILL OF AGGREGATE STONE THAN SHOWN ON THE DRAWINGS, THE GENERAL CONTRACTOR SHALL NOTIFY THE ENGINEER FOR APPROVAL OF THE SIZE, TYPE AND QUANTITY OF STONE/FILL NECESSARY AND SHALL NOT BE USED UNTIL APPROVAL BY THE ENGINEER. THE GENERAL CONTRACTOR SHALL ALSO OBTAIN DRIVE PERMIT FOR NEW ACCESS DRIVE.

5. PREFABRICATED EQUIPMENT CABINETS, CANOPY AND GENERATOR:

THIS VERIZON WIRELESS CONTRACTOR (VZW GC) SHALL PROVIDE ALL LABOR, EQUIPMENT AND MATERIALS FOR THE PROPER LIFTING, TRANSPORTING AND ASSEMBLY OF THE PREFABRICATED EQUIPMENT CANOPY FROM THE TRANSPORT TRUCK BED TO THE FINAL POSITION. THE EQUIPMENT CABINETS SHALL BE LIFTED INTO PLACE ON THE CONCRETE EQUIPMENT PAD. THE GENERATOR SHALL BE LIFTED INTO PLACE BY USING TWO SPREADER BAR ASSEMBLIES. EACH SPREADER BAR SHALL BE A MINIMUM 3' WIDE (RATED TO CARRY 3 TONS). THE GENERATOR WEIGHT IS 1,425# WITH TANK PEDESTAL. VERIZON WIRELESS CONTRACTOR (VZW GC) SHALL ANCHOR THE EQUIPMENT CABINETS AND GENERATOR BASE TO THE CONCRETE SLAB USING ANCHOR BOLTS. EXTREME CAUTION SHALL BE TAKEN IN THE INSTALLATION OF ALL EQUIPMENT TO AVOID CONTACT WITH EXISTING OVERHEAD UTILITY LINES.

THE VERIZON WIRELESS CONTRACTOR (VZW GC) IS RESPONSIBLE FOR ATTACHING, SECURING OR ASSEMBLING ANY ACCESSORY OR LOOSE ITEMS THAT ARE SHIPPED WITH THE PREFABRICATED EQUIPMENT CABINETS, CANOPY AND GENERATOR AND SHALL INCLUDE THIS WORK IN THE VZW EQUIPMENT INSTALLATION PORTION OF THE BID.

6. UTILITIES:

THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE EXCAVATION AND PROPER BACKFILLING OF TRENCHES AND SUPPLY CONDUIT REQUIRED FOR UNDERGROUND TELEPHONE & ELECTRICAL UTILITIES. ALL TRENCHING SHALL BE COMPACTED TO 95% MAXIMUM DRY DENSITY IN ACCORDANCE W/ASTM D-1557.

THE CONTRACTOR SHALL RUN AN ELECTRICAL TRENCH WITH 2 1/2" CONDUIT AND DETECTABLE PULL TAPE FROM THE NEW RADIO EQUIPMENT PAD AND END AT THE NEW METER BOARD STRUCTURE. CONTACT THE ELECTRIC PROVIDER @ 812-738-4115, WITH HARRISON REMC BEFORE BEGINNING CONSTRUCTION TO VERIFY LOCATION OF CONDUIT AND TRANSFORMER. CONDUITS MUST HAVE A MINIMUM DEPTH OF 36". CONTRACTOR SHALL CONTACT ELECTRIC PROVIDER TO HAVE TRENCH AND CONDUIT INSPECTED BEFORE THE TRENCH IS COVERED, THE ELECTRIC PROVIDER SHALL SUPPLY SERVICE TO THE NEW METER BOARD STRUCTURE. THE CONTRACTOR SHALL CONTACT THE ELECTRIC PROVIDER TO SETUP AN INSPECTION OF THE TRENCHES BEFORE THEY ARE BACKFILLED. THE CONTRACTOR SHALL PROPERLY BACKFILL THE TRENCHES AFTER INSPECTION AND SETTLEMENT. CONTACT ELECTRIC PROVIDER THREE TO FOUR WEEKS PRIOR TO CONSTRUCTION FOR NEW SERVICE AND COORDINATION OF ACCESS TO SITE. THE CONTRACTOR SHALL CONTACT THE ELECTRIC PROVIDER FOR A COPY OF THEIR SPECIFICATIONS BEFORE CONSTRUCTION

THE TOWER OWNER SHALL ENSURE PERMANENT ELECTRIC POWER IS AVAILABLE FOR VERIZON WIRELESS AT THE METER BASE PRIOR TO THE SITE BEING RELEASED TO VERIZON WIRELESS AS TENANT READY.

THE VERIZON WIRELESS GENERAL CONTRACTOR (VZW GC) SHALL RUN ELECTRICAL CONDUCTORS FROM NEW METER CENTER TO NEW VZW INTEGRATED LOAD CENTER WITHIN TOWER OWNER INSTALLED 2 1/2" CONDUIT CONTACT ELECTRIC PROVIDER TO HAVE NEW METER INSTALLED.

THE VERIZON WIRELESS GENERAL CONTRACTOR (VZW GC) SHALL BE RESPONSIBLE FOR THE ORDERING AND COORDINATING THE DELIVERY OF A FIBER OPTIC SERVICE LINE TO THE RADIO EQUIPMENT ENCLOSURE. COORDINATE WITH THE FIBER PROVIDER AND THE VERIZON WIRELESS FACILITY ENGINEER.

1. (3) 1-1/4" SMOOTHWALL SDR-11 HDPE CONDUITS AND PULLTAPES SHALL BE INSTALLED FROM HANDHOLE OUTSIDE COMPOUND MEET POINT AT THE PUBLIC RIGHT-OF-WAY WITHIN UTILITY EASEMENT WITH PULL TAPE THE HANDHOLE MODEL AS FOLLOWS:
- THE VERIZON FIBER CONDUIT HANDHOLES SHALL BE OLDCASTLE INFRASTRUCTURE MODEL 24361480 PC2436-30 T22 - VERIZON LOGO OR QUAZITEHUBBELL POWER SYSTEMS MODEL PG2436Z1857B4 ASSY T22 SW 08 24x36x30 VERIZON V, OR APPROVED EQUALS. ALTERNATIVE HANDHOLES MAY BE USED IF MEETING THE DESIGNATED LOADING AND HAVING DIMENSIONS OF AT LEAST 2'x3'x2.5'. ALL VERIZON HANDHOLES TO HAVE "VERIZON" LOGO ON COVER.
  - THE GENERAL USE FIBER CONDUIT HANDHOLE SHALL BE A MODEL AS APPROVED BY THE CONSTRUCTION MANAGER.
2. CONTRACTOR SHALL PLACE ADDITIONAL HANDHOLES ALONG ROUTE, AS NECESSARY, SO THAT SPACING BETWEEN HANDHOLES IS NO GREATER THAN 500 FEET.
3. CONTRACTOR SHALL PLACE (1) COPPERHEAD INDUSTRIES ORANGE TRACER WIRE (PART NO. 1230N-HS) OR APPROVED EQUIVALENT ABOVE PROPOSED FIBER CONDUIT(S)
4. (2) 1-1/4" SMOOTHWALL SDR-11 HDPE CONDUITS WITH PULLTAPES SHALL BE INSTALLED FROM VERIZON WIRELESS ONLY HANDHOLE OUTSIDE COMPOUND TO VERIZON WIRELESS EQUIPMENT PAD LOCATION (PER PLANS)

ELECTRIC SERVICE PROVIDED BY:

WEST KY RECC  
1218 WEST BROADWAY  
MAYFIELD, KY 42066  
CONTACT:  
PHONE: 1-877-495-7322  
EMAIL:

FIBER OPTIC SERVICE PROVIDED BY:

FIBER PROVIDER TO BE  
DETERMINED BY VERIZON  
WIRELESS

7. SITE GRADING

A. UNIFORMLY GRADE AREA TO BE SMOOTH SURFACE FREE FROM IRREGULAR SURFACE CHANGES. COMPLY WITH COMPACTION REQUIREMENTS AND GRADE TO CROSS SECTION, TOPO LINES AND ELEVATIONS INDICATED.

1. COMPOUND SURFACE GRADES ARE TO BE SLOPED TO DIRECT WATER AWAY FROM EQUIPMENT PAD AND TOWER TO PREVENT STANDING AND PONDING WATER.

2. COMPOUND SURFACE SHALL BE COMPACTED TO A 95% MAXIMUM DRY DENSITY TO ALLOW PROPER STERILIZATION FOR ACCESS TO ALL CUSTOMERS DENSITY TESTING MAY BE REQUIRED AT VERIZON WIRELESS' DISCRETION DUE TO QUESTIONABLE COMPACTION OF FINISH SURFACE GRADE OR SUB-GRADE.

3. DITCHES/SWALES AROUND THE COMPOUND AREA AND ALONG ACCESS ROAD SHALL BE CONSTRUCTED SO TO PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING GRADES/SLOPE AND NEW PROPOSED GRADES.

4. SITE GRADING AND DRAINAGE SHOULD BE CONSTRUCTED TO PREVENT WATER FROM ENTERING THE COMPOUND SURFACE OR THE ACCESS ROAD SUB-GRADE.

B. MOISTURE CONTROL - UNIFORMLY MOISTEN OR AERATE SUB-GRADE AND EACH SUBSEQUENT FILL OR BACK FILL LAYER BEFORE COMPACTION TO WITHIN 90% OF OPTIMUM MOISTURE CONTENT. DO NOT PLACE BACK FILL OR FILL MATERIAL ON SURFACES THAT ARE MUDDY, FROZEN OR CONTAIN FROST, SNOW OR ICE.

C. STOCKPIILING MATERIAL (TOP SOIL OR FILL DIRT) - SHOULD BE PLACED IN AN AREA THAT CAN BE CONTROLLED TO PREVENT WATER, SNOW, OR ICE FROM EFFECTING MOISTURE CONTENT. STOCKPILES MAY HAVE TO BE COVERED TO PREVENT ADDITIONAL MOISTURE FROM ACCUMULATING SO ACCEPTABLE FILL CAN BE USED.

D. DE-WATERING - PREVENT SURFACE WATER AND SUBSURFACE OR GROUND WATER FROM ENTERING EXCAVATIONS, FROM PONDING ON PREPARED SUB-GRADE, AND FROM FLOODING PROJECT OR BUILD AREA.

E. EROSION CONTROL - MEASURES SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT.

1. ALL INLETS, DRAINS, PIPES, SWELLS, AND ROADS SHALL BE KEPT CLEAN AND FREE OF DIRT AND SILT.

F. GEOTEXTILE FABRIC - AFTER PLACEMENT AND COMPACTION OF FILL WITHIN THE WORK AREA AND BEFORE THE PLACEMENT OF LIMESTONE AGGREGATE, (SEE SITE AREA SURFACING DETAIL ON D-1), THE ENTIRE DISTURBED WORK AREA SHALL BE COVERED WITH A GEOTEXTILE FABRIC. THIS FABRIC SHALL BE "TENCATE (MIRAFI 500X) WOVEN ENGINEERING FABRIC" INSTALLED ACCORDING TO THE MANUFACTURERS RECOMMENDATIONS.

8. TRASH REMOVAL & SANITATION:

THE GENERAL CONTRACTOR AND VERIZON WIRELESS GENERAL CONTRACTOR (VZW GC) SHALL REMOVE ALL TRASH AS CREATED BY THEMSELVES AND THEIR SUBCONTRACTORS. TRASH SHALL BE REMOVED FROM THE SITE IN A TIMELY FASHION TO A LEGAL DISPOSAL AREA. THE GENERAL CONTRACTOR SHALL ALSO REMOVE ALL TRASH CREATED BY OTHER CONTRACTORS INCLUDING CABLE REELS, CARDBOARD BOXES AND PACKING. NO BURNING OR BURYING OF TRASH IS PERMITTED.

THE GENERAL CONTRACTOR SHALL PROVIDE AND MAINTAIN A PORTABLE TOILET FOR THE DURATION OF THE CONSTRUCTION PROJECT.

9. TOWER:

A. THE GENERAL CONTRACTOR SHALL VERIFY THE EQUIPMENT PAD FOUNDATION IS LOCATED CORRECTLY WITH RESPECT TO THE TOWER FOUNDATION. THE CONTRACTOR MUST NOTIFY THE ARCHITECT/ENGINEER OF ANY DISCREPANCIES PRIOR TO POURING CONCRETE.

B. TOWER & FOUNDATION DESIGN ARE BY OTHERS FOR TOWER OWNER. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL VERIFY IN WRITING FROM TOWER OWNER THAT THE TOWER IS STRUCTURALLY SUFFICIENT TO SUPPORT ALL LOADINGS AS OUTLINED IN THESE DOCUMENTS. TOWER AND FOUNDATION DESIGN SHALL BE PERFORMED BY A LICENSED ENGINEER.

C. THE GENERAL CONTRACTOR SHALL VERIFY THE TOP OF FOUNDATION MATCHES THE FAA APPROVAL LETTER.

10. EXCAVATION OF UTILITIES:

A. FIELD VERIFY THE LOCATION OF ANY EXISTING UNDERGROUND UTILITIES PRIOR TO EXCAVATING IN THE VICINITY OF THE SITE. ALL EXCAVATIONS SHALL BE MADE BY HAND OVER OR UNDER OR IMMEDIATELY ADJACENT TO ANY EXISTING UTILITIES & GROUNDING.

B. ALL UTILITY COMPANIES SHALL BE NOTIFIED AT LEAST 48 HOURS PRIOR TO ANY CONSTRUCTION ON THIS PROJECT. CONTACT UNDERGROUND UTILITY PROTECTION SERVICE BEFORE YOU DIG AT 1-800-382-5544 OR 811.

C. EXISTING UTILITIES ARE SHOWN FROM THE SURVEY AND ARE NOT NECESSARILY COMPLETE AND ACCURATE. THE CONTRACTOR SHALL BE RESPONSIBLE TO LOCATE, EXPOSE AND DETERMINE IF CONFLICTS EXIST WITH THE NEW IMPROVEMENTS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER (A&E FIRM) IN ORDER TO RESOLVE ANY CONFLICTS.

11. CONTRACTOR'S LICENSE:

THE GENERAL CONTRACTOR, VERIZON WIRELESS GENERAL CONTRACTOR (VZW GC) AND ALL OF THEIR SUBCONTRACTORS THAT DO ANY WORK ON THIS PROJECT SHALL BE CURRENTLY LICENSED TO PERFORM WORK IN THE LOCATION OF THIS SITE. PROOF OF LICENSES SHALL BE SUPPLIED TO VERIZON WIRELESS PRIOR TO THE COMMENCEMENT OF ANY WORK.

12. SEEDING:

ALL DISTURBED AREAS SHALL BE REPAIRED AND SEEDED BY THE GENERAL CONTRACTOR, UNLESS OTHERWISE NOTED. SEED DISTURBED AREAS W/4 POUNDS/1000 SQ. FT. - 60% KENTUCKY BLUEGRASS, 18% CREEPING RED FESCUE, 22% ANNUAL RYEGRASS.

13. TRAFFIC CONTROL:

THE CONTRACTOR SHALL FURNISH, INSTALL AND MAINTAIN ALL REQUIRED TRAFFIC CONTROL DEVICES IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES OR GOVERNING LOCAL AGENCIES.

14. CONSTRUCTION STAKING:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION STAKING NEEDED TO COMPLETE ALL THE CONSTRUCTION SHOWN HEREON. CONTACT DESIGN ENGINEER TO SCHEDULE CONSTRUCTION STAKING.

15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING PROPERTY RESULTING FROM THE CONSTRUCTION ACTIVITIES, INCLUDING BUT NOT LIMITED TO PAVEMENT, FINISHED GRADES, LANDSCAPING, BUILDINGS, SURVEY MARKERS, FIELD TILES, CULVERTS, ETC.

16. IN THE EVENT ANY DISCREPANCIES OR ERRORS ARE FOUND ON THESE PLANS OR ANY CONFLICT OR PROBLEMS ARE ENCOUNTERED DURING CONSTRUCTION, THE GENERAL CONTRACTOR OR VERIZON WIRELESS GENERAL CONTRACTOR (VZW GC) SHALL NOTIFY THE ENGINEER BEFORE PROCEEDING WITH THE WORK. NO ADDITIONAL COMPENSATION WILL BE PAID TO THE GENERAL CONTRACTOR OR VERIZON WIRELESS GENERAL CONTRACTOR (VZW GC) FOR WORK HAVING TO BE REDONE FOR GRADE OR GEOMETRIC DISCREPANCIES IF NOTICE TO THE ENGINEER HAS NOT BEEN PROVIDED. THE ENGINEER RESERVES THE RIGHT TO MAKE MINOR ADJUSTMENTS AS NECESSARY TO ACCOMPLISH THE INTENT OF THESE PLANS.

17. ALL SITE WORK AND CONSTRUCTION SHALL CONFORM TO ANY AND ALL APPLICABLE CODES AND VERIZON WIRELESS STANDARDS AND SPECIFICATIONS.

18. ALL ELEVATIONS AND TOPOGRAPHIC INFORMATION WAS TAKEN FROM A SURVEY SUPPLIED TO KIMLEY-HORN BY BENCHMARK SERVICES, INC. KIMLEY-HORN HAS NOT VERIFIED THIS INFORMATION AND DOES NOT WARRANT ANY INFORMATION SUPPLIED BY OTHERS.

19. THE GENERAL CONTRACTOR SHALL MAINTAIN A COMPLETE AS-BUILT SET OF PLANS AND CONDITIONS, AND SUBMIT SAME TO THE ENGINEER WITHIN 7 DAYS OF COMPLETION OF CONSTRUCTION. AS-BUILT PLANS SUBMITTED TO THE ENGINEER SHALL INCLUDE A DRAWING WITH DIMENSIONS SHOWING THE LOCATION OF THE UNDERGROUND UTILITIES, GROUNDING GRID, EQUIPMENT PAD, TOWER FOUNDATION, TOWER PLATFORM ORIENTATION, AND FENCE WITHIN THE LEASE AREA OR PROPERTY AND BE CERTIFIED BY A LICENSED PROFESSIONAL SURVEYOR.

20. THE GENERAL CONTRACTOR AND VERIZON WIRELESS GENERAL CONTRACTOR (VZW GC) SHALL BE RESPONSIBLE FOR NOTIFICATION OF ALL GOVERNING AGENCIES THAT REQUIRE SITE INSPECTION OF THE WORK AND/OR SIMPLY NOTIFICATION.

21. THE GENERAL CONTRACTOR AND VERIZON WIRELESS GENERAL CONTRACTOR (VZW GC) SHALL BE RESPONSIBLE FOR NOTIFICATION AND COORDINATION OF ALL TESTING AGENCIES THAT REQUIRE SITE INSPECTION OR TESTING OF THE WORK AS DIRECTED IN THESE PLANS, GOVERNING AGENCIES AND ALL APPLICABLE CODES.

22. PRIOR TO THE SUBMISSION OF BIDS, THE GENERAL CONTRACTOR AND HIS SUBCONTRACTORS SHALL VERIFY ALL DETAILS AND SCHEDULES ON THE DRAWINGS AND SPECIFICATIONS PROVIDED BY THE OWNER, FOR MEANING OF ABBREVIATIONS AND ADDITIONAL REQUIREMENTS AND INFORMATION. CHECK ALL CONSTRUCTION DOCUMENTS TO INCLUDE, BUT NOT LIMITED TO, GEOTECHNICAL REPORT, STRUCTURAL ANALYSIS, TOWER, MECHANICAL AND ELECTRICAL DRAWINGS, FOR SCALE, SPACE LIMITATIONS, DOOR SWINGS, ADJACENT CARRIER EQUIPMENT COORDINATION AND ADDITIONAL INFORMATION, ETC. REPORT ANY DISCREPANCIES, CONFLICTS, ETC. TO THE OWNER BEFORE SUBMITTING BIDS.

24. WORK SITE SAFETY:

A. CONSTRUCTION WORK PRESENTS UNIQUE THREATS TO HEALTH AND SAFETY. THE CONTRACTOR AND VERIZON WIRELESS CONTRACTOR (VZW GC) ARE RESPONSIBLE TO EDUCATE THEIR WORK FORCE OF THESE DANGERS AND LIMIT THEIR EXPOSURE TO HAZARDS. THIS EDUCATION SHALL INCLUDE BUT NOT BE LIMITED TO APPLICABLE TRAINING COURSES AND CERTIFICATIONS, PROPER PERSONAL PROTECTIVE EQUIPMENT USAGE, DAILY TAILGATE MEETINGS AND ANY OTHER PREVENTATIVE MEASURES WHICH MAY BE REASONABLY EXPECTED. THE CONTRACTOR, VERIZON WIRELESS CONTRACTOR (VZW GC) AND ALL SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR THE SAFETY OF THE WORK AREA, ADJACENT AREAS AND ANY PROPERTY OCCUPANTS WHO MAY BE AFFECTED BY THE WORK UNDER CONTRACT. ALL CONTRACTORS SHALL REVIEW ALL LANDOWNER, PRIME CONTRACTOR, CARRIER, OSHA, AND LOCAL SAFETY GUIDELINES AND AT ALL TIMES SHALL CONFORM TO THE MOST RESTRICTIVE OF THESE STANDARDS TO ENSURE A SAFE WORKPLACE.

B. TOWER WORK PRESENTS ADDITIONAL THREATS TO HEALTH AND SAFETY. ALL TOWER WORKERS WORKING ON A TOWER MUST BE ADEQUATELY TRAINED AND MONITORED TO ENSURE THAT SAFE WORK PRACTICES ARE LEARNED AND FOLLOWED. AS REQUIRED BY OSHA, WHEN WORKING ON EXISTING COMMUNICATION TOWERS, EMPLOYEES MUST BE PROVIDED WITH APPROPRIATE FALL PROTECTION, TRAINED TO USE THIS FALL PROTECTION PROPERLY, AND THE USE OF FALL PROTECTION MUST BE CONSISTENTLY SUPERVISED AND ENFORCED BY THE CONTRACTOR.

C. ALL SAFETY EQUIPMENT SHALL BE INSPECTED ACCORDING TO ALL OSHA AND INDUSTRY SCHEDULED INTERVALS AND ALL INSPECTIONS SHALL BE DOCUMENTED PER APPLICABLE CODES AND STANDARDS.

D. ALL ANCHORS, CONNECTORS, CLAMPS, TIE WRAPS, ETC. WHEN FIELD CUT SHALL BE DONE SO WITH APPROVED CUTTING TOOLS TO REMOVE ALL SHARP EDGES AND BURRS.



THE TOWERS, LLC  
22 W ATLANTIC AVE, SUITE 310  
DELRAY BEACH, FLORIDA 33444

PLANS PREPARED BY:



500 E 96TH STREET  
SUITE 300  
INDIANAPOLIS, IN 46240

REV: DATE: DESCRIPTION: BY:

C	12/15/25	ISSUED FOR ZONING	GT
B	11/05/25	ISSUED FOR ZONING	GP
A	07/10/25	ISSUED FOR ZONING	GP

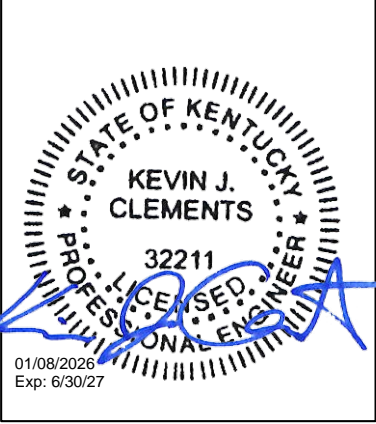
DRAWN BY: CHECKED BY:

GP	JR
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KHA PROJECT NUMBER:

180052002.1.102

ENGINEER SEAL:



PROJECT INFORMATION:

US-KY-5239  
5000957862  
7960 STATE ROUTE 58 E  
MAYFIELD, KY 42066  
GRAVES COUNTY

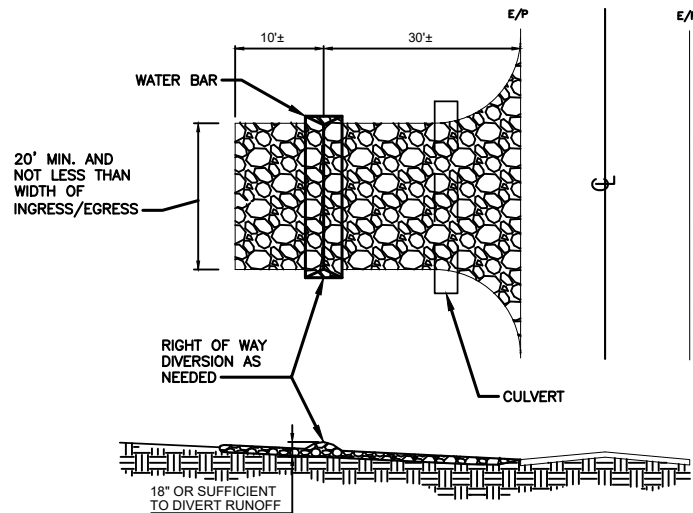
SHEET TITLE:

GENERAL SITE  
CONSTRUCTION NOTES

SHEET NUMBER:

C-6





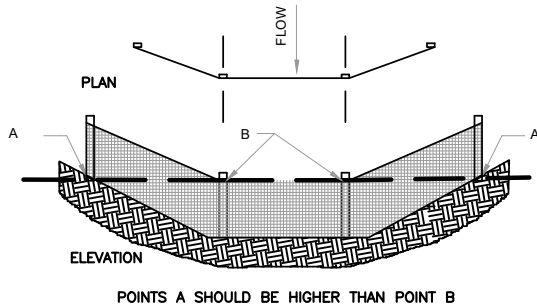
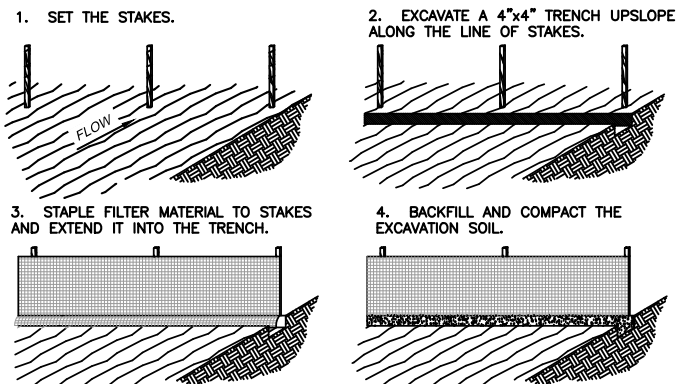
#### NOTES:

- STONE SIZE – TWO INCH STONE SHALL BE USED, OR RECYCLED CONCRETE EQUIVALENT.
- THE CONSTRUCTION ENTRANCE SHALL COINCIDE WITH THE PROPOSED DRIVE AS SHOWN ON THE PLAN.
- PAVEMENT THICKNESS – STONE LAYER SHALL BE AT LEAST 6" THICK.
- DRIVEWAY WIDTH – THE ENTRANCE SHALL BE AT LEAST 10' WIDE, BUT NOT LESS THAN FULL WIDTH AT POINTS WHERE INGRESS/EGRESS OCCURS.
- BEDDING – A GEOTEXTILE SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING STONE. IT SHALL HAVE A TENSILE STRENGTH OF AT LEAST 200 LBS. AND A MULLEN BURST STRENGTH OF AT LEAST 190 LBS.
- CULVERT – A PIPE OR CULVERT SHALL BE CONSTRUCTED UNDER THE ENTRANCE IF NEEDED TO PREVENT SURFACE WATER FLOWING ACROSS THE ENTRANCE FROM BEING DIRECTED OUT ONTO PAVED SURFACES.
- WATER BAR – A WATER BAR SHALL BE CONSTRUCTED AS PART OF THE CONSTRUCTION ENTRANCE IF NEEDED TO PREVENT SURFACE RUNOFF FROM FLOWING THE LENGTH OF THE CONSTRUCTION ENTRANCE AND OUT ONTO PAVED SURFACES.
- MAINTENANCE – TOP DRESSING OF ADDITIONAL STONE SHALL BE APPLIED AS CONDITIONS DEMAND, MUD SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC ROADS, OR ANY SURFACE WHERE RUNOFF IS NOT CHECKED BY SEDIMENT CONTROLS, SHALL BE REMOVED IMMEDIATELY, REMOVAL SHALL BE ACCOMPLISHED BY SCRAPING OR SWEEPING.
- CONSTRUCTIONS ENTRANCES SHALL NOT BE RELIED UPON TO REMOVE MUD FROM VEHICLES AND PREVENT OFF SITE TRACKING. VEHICLES THAT ENTER AND LEAVE THE CONSTRUCTION SHALL BE RESTRICTED FROM MUDDY AREAS.

### TEMPORARY STABILIZED CONSTRUCTION ENTRANCE

SCALE: N.T.S.

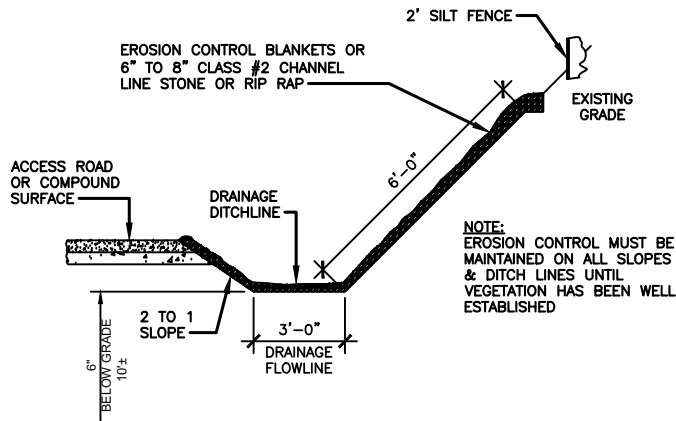
1  
C-7



### SILT FENCE DETAIL

SCALE: N.T.S.

2  
C-7



#### NOTES:

- WHEN FACED WITH SLOPES LESS THAN 2 TO 1 SLOPES, ALL SLOPES SHOULD BE DOZER TRACKED PRIOR TO SEEDING. ALL SLOPES SHOULD HAVE EROSION CONTROL BLANKETS OR RIP RAP EMBEDDED ON SLOPES SURFACES TO REDUCE EROSION.
- ALL FLOWLINES MUST BE INSTALLED BELOW SUB-GRADE OF COMPOUND. (AT MINIMUM OF 6" BELOW)

### DRAINAGE DITCHLINE DETAIL (SWALE)

SCALE: N.T.S.

3  
C-7

## EROSION & SEDIMENT CONTROL NOTES

- ALL WORK SPECIFIED AS A/AN DOT ITEM SHALL BE GOVERNED BY THE STATE OF INDIANA OF DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIAL SPECIFICATION HANDBOOK. IT IS CONTRACTORS RESPONSIBILITY TO POSSESS AND BE FAMILIAR WITH APPLICABLE SECTIONS.
- THIS CONTRACT DRAWING SHALL BE MADE AVAILABLE ON SITE AT ALL TIMES AND PRESENTED UPON REQUEST. IF UNFORESEEN STORM WATER POLLUTION PREVENTION IS ENCOUNTERED, ADDITIONAL STORM WATER POLLUTION PREVENTION (SWPP) MEASURES MAY BE REQUESTED BY THE OWNER, COUNTY ENGINEER, PROJECT ENGINEER OR SOIL CONSERVATION SERVICE REPRESENTATIVE AT ANYTIME. SUCH REQUESTS SHALL BE IMPLEMENTED IMMEDIATELY AT CONTRACTOR'S EXPENSE.
- ALL STORM WATER POLLUTION PREVENTION ITEMS SHALL BE INSTALLED AS SHOWN OR NOTED ON THIS SHEET.
- PLANT TEMPORARY SEEDING AND MULCHING IN ALL AREAS THAT SHALL BE INACTIVE FOR 7 DAYS OR MORE. ALL DISTURBED AND ERODED EARTH SHALL BE REGRADED AND SEEDED WITHIN 14 DAYS WITH SEEDING, AS DEFINED ABOVE AND AS SHOWN ON THE TABLE BELOW. TO ESTABLISH STABILITY AND PROVIDE SEDIMENT CONTROL, WHERE POSSIBLE. TEMPORARY SEEDING GROWTH SHALL NOT BE MOWED UNTIL IT HAS GONE TO SEED FOR 1 YEAR.

JAN. FEB. MAR. APR. MAY JUN. JUL. AUG. SEP. OCT. NOV. DEC.

PERMANENT SEEDINGS			A			*	*		**		
DORMANT SEEDINGS	B									B	
TEMPORARY SEEDINGS			C		D						
SODDING			E**								
MULCHING	F										

A. KENTUCKY BLUEGRASS  
90 LBS./AC/MIXED  
PERENNIAL RYEGRASS 30  
LBS./ACRE

B. KENTUCKY BLUEGRASS  
135 LBS./AC/MIXED  
PERENNIAL RYEGRASS 45  
LBS./AC. 2 TON STRAW  
MULCH PER ACRE

C. SPRING OATS 100 LBS./ACRE

D. WHEAT OR CEREAL RYE 150 LBS./ACRE

E. SOD (NURSERY CROWN KENTUCKY BLUEGRASS)  
150 LBS./ACRE

F. STRAW MULCH 2 TONS PER ACRE

\* IRRIGATION NEEDED DURING JUNE, JULY &  
SEPTEMBER

\*\* IRRIGATION NEEDED FOR 2-3 WEEKS AFTER  
SODDING

- PERMANENT VEGETATION SHALL BE INSTALLED WITHIN 10 DAYS AT THE COMPLETION OF ANY GRADED AREAS, WEATHER PERMITTING. ALL PERMANENT VEGETATION SHALL CONSIST OF PLANTING AND SOD
- AT SUCH TIME ROUGH GRADING OF THE SITE IS COMPLETE AND DRAINAGE DIVERTS TO INLETS, INLET SEDIMENT FILTERS SHALL BE INSTALLED AT ALL INLET STRUCTURES TO KEEP PIPING SYSTEMS FREE OF SILTATION.
- SILT BARRIERS SHALL BE INSTALLED AROUND ALL EXISTING OR NEW STORM INLETS, CATCH BASINS, AND YARD DRAINS. INSTALL ROCK CHECK DAMS FOR HEADWALL INLETS FOR STORM WATER POLLUTION PREVENTION.
- STORM WATER POLLUTION PREVENTION MEASURES SHALL BE INSTALLED OR TOPSOIL STOCKPILES AND OTHER TEMPORARILY DISTURBED AREAS AS SHOWN ON THESE PLANS AND AS DIRECTED BY THE ENGINEER.
- CONTRACTOR SHALL INSPECT ALL SWPP MEASURES DAILY AND REPAIR AS NECESSARY TO PREVENT EROSION. SILTATION SHALL BE REMOVED FROM AREAS WHERE FAILURES HAVE OCCURRED AND CORRECTIVE ACTION TAKEN WITHIN 24 HOURS TO MAINTAIN ALL SWPP.
- SILT BARRIERS, CONSTRUCTION ENTRANCES, AND SILT FENCES SHALL REMAIN IN PLACE UNTIL A GOOD STAND OF GRASS HAS BEEN OBTAINED AND/OR PAVING OPERATIONS ARE COMPLETE. CONTRACTOR SHALL KEEP SILT FROM ENTERING ANY STORM DRAINAGE SYSTEM. ONCE SITE HAS BEEN COMPLETELY STABILIZED, ANY SILT IN PIPES AND DRAINAGE SWALES SHALL BE REMOVED WITHIN 10 DAYS.
- TEMPORARY SEDIMENTATION AND STORM WATER POLLUTION PREVENTION MEASURES MUST BE INSPECTED AND LOGGED BY THE CONTRACTOR FOR INSPECTION, LOGGING SHALL BE WEEKLY AND AFTER RAIN STORMS.
- UTILITY COMPANIES MUST COMPLY WITH ALL STORM WATER POLLUTION PREVENTION MEASURES AS DEFINED ON THE STORM WATER PREVENTION PLANS, DETAILS AND NOTES.
- THE TOTAL AREA OF DISTURBANCE FOR THIS PROJECT IS APPROXIMATELY 0.96 ACRES.
- ALL EXISTING WATER COURSES WITHIN THE PROJECT LIMITS SHALL BE TEMPORARILY PROTECTED DURING LAND CLEARING AND GRADING OPERATIONS. SOILS WITHIN 50 FEET OF SAID WATER COURSES SHALL BE STABILIZED WITHIN 2 DAYS OF THE INITIAL CLEARING / GRADING OPERATION AS SHOWN ON PLANS.
- ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 7 DAYS OF FINAL GRADING.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN ALL SEDIMENTATION AND STORM WATER POLLUTION PREVENTION ITEMS AT ALL TIMES.
- ALL STORM WATER POLLUTION PREVENTION PRACTICES WILL BE INSTALLED BEFORE ANY OTHER EARTH MOVING OCCURS.
- THE FOLLOWING STORM WATER POLLUTION PREVENTION AND SEDIMENT CONTROL MEASURES WILL BE USED ON THIS SITE:
  - SILT BARRIERS
  - SILT FENCE
  - CONSTRUCTION ENTRANCE
  - EROSION CONTROL SEED BLANKETS – SPEC FOR TEMPORARY EROSION CONTROL BLANKETS ON SLOPES/DITCHES

## CONSTRUCTION SEQUENCE

- STAKE AND/OR FLAG LIMITS OF CLEARING
- DURING PRECONSTRUCTION MEETING ALL EROSION & SEDIMENT CONTROL FACILITIES & PROCEDURES SHALL BE DISCUSSED.
- CLEARING & GRUBBING, AS NECESSARY, FOR INSTALLATION OF PERIMETER CONTROLS.
- INSTALL SILT FENCE PERIMETER CONTROLS AS SHOWN ON PLANS.
- INSTALL CONSTRUCTION ENTRANCE. IF CONDITIONS ARE SUCH THAT MUD IS COLLECTION ON VEHICLE TIRES, THE TIRES MUST BE CLEANED BEFORE THE VEHICLES ENTER THE PUBLIC ROADWAY. THE SITE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT THE TRACKING OR FLOW OF MUD INTO THE PUBLIC RIGHT-OF-WAY. ALL MATERIALS SPILLED, DROPPED, WASHED OR TRACKED FROM VEHICLES ONTO THE ROADWAY MUST BE REMOVED PROMPTLY.
- CLEARING & GRUBBING THE REMAINING SITE AS NECESSARY.
- BEGIN FILLING & GRADING AS REQUIRED TO REACH SUBGRADE.
- CONSTRUCT AND MAINTAIN TEMPORARY DRAINAGE SWALES DURING FILLING AND GRADING ACTIVITIES.
- CONSTRUCT SITE WORK INCLUDING STORM DRAINAGE FACILITIES.
- MAINTAIN EROSION & SEDIMENTATION CONTROL MEASURES UNTIL THE SITE HAS BEEN COMPLETELY STABILIZED.
- REMOVE SEDIMENT CONTROLS.

verticalbridge

THE TOWERS, LLC  
22 W ATLANTIC AVE, SUITE 310  
DELRAY BEACH, FLORIDA 33444

PLANS PREPARED BY:

Kimley»Horn

500 E 96TH STREET  
SUITE 300  
INDIANAPOLIS, IN 46240

REV: DATE: DESCRIPTION: BY:

C 12/15/25	ISSUED FOR ZONING	GT
B 11/05/25	ISSUED FOR ZONING	GP
A 07/10/25	ISSUED FOR ZONING	GP

DRAWN BY: CHECKED BY:

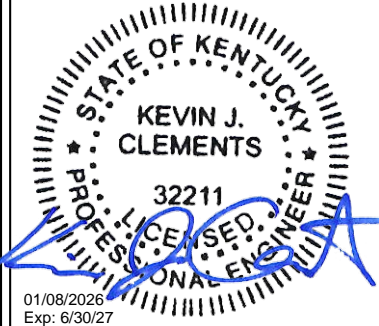
GP

JR

KHA PROJECT NUMBER:

180052002.1.102

ENGINEER SEAL:



01/08/2026  
Exp: 6/30/27

PROJECT INFORMATION:

US-KY-5239  
5000957862  
7960 STATE ROUTE 58 E  
MAYFIELD, KY 42066  
GRAVES COUNTY

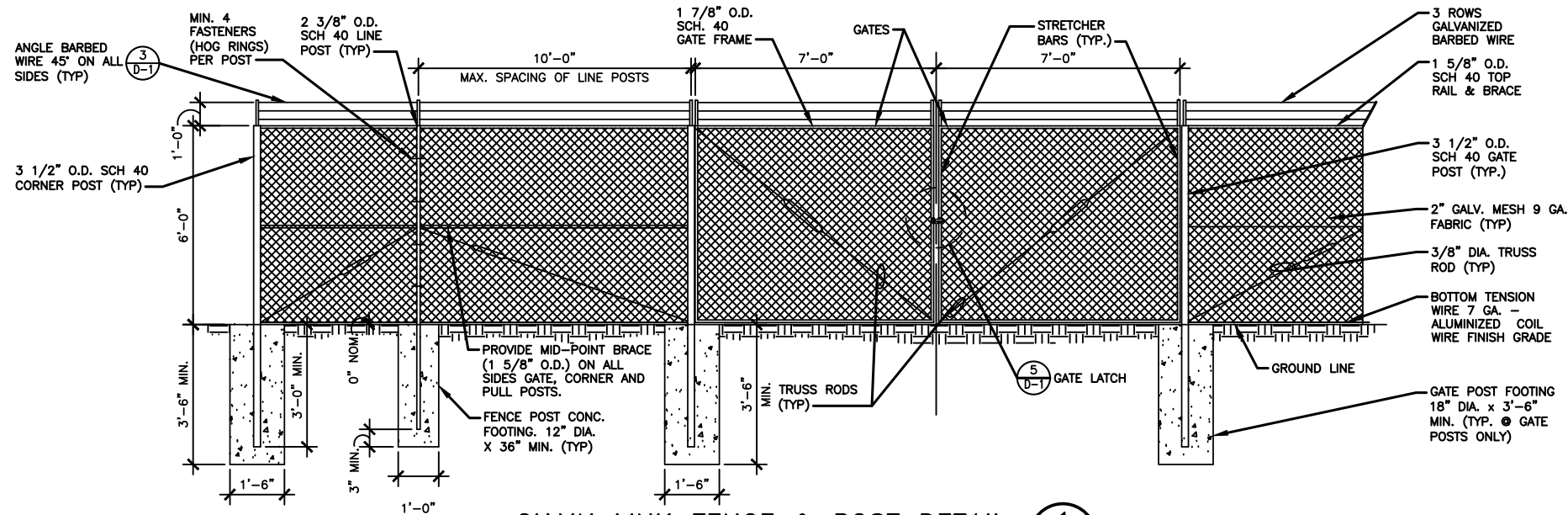
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EROSION CONTROL  
DETAILS & NOTES

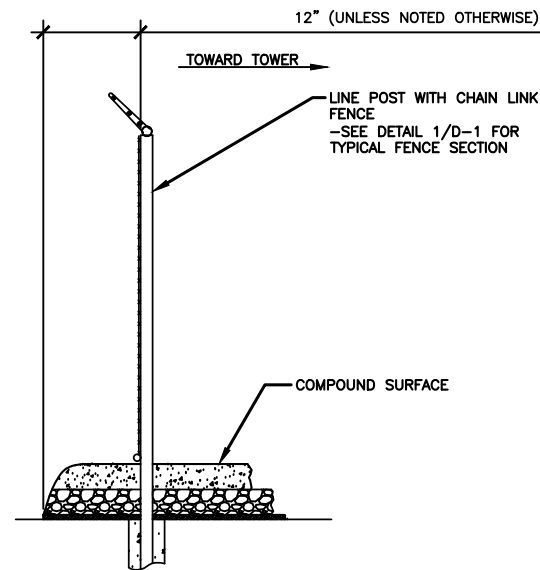
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C-7

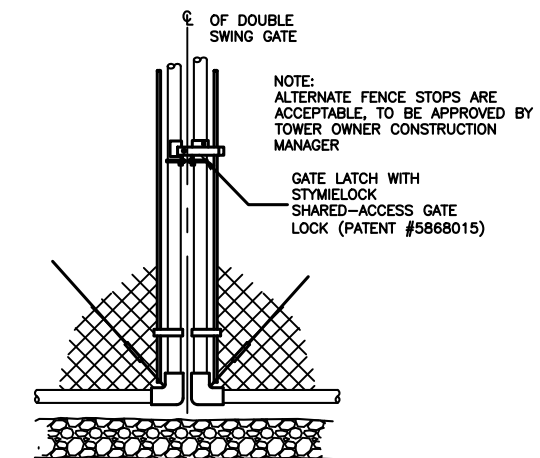




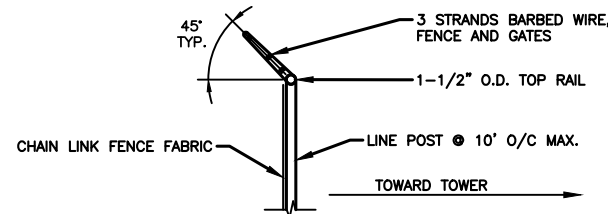
CHAIN LINK FENCE & POST DETAIL 1 D-1  
SCALE: N.T.S.



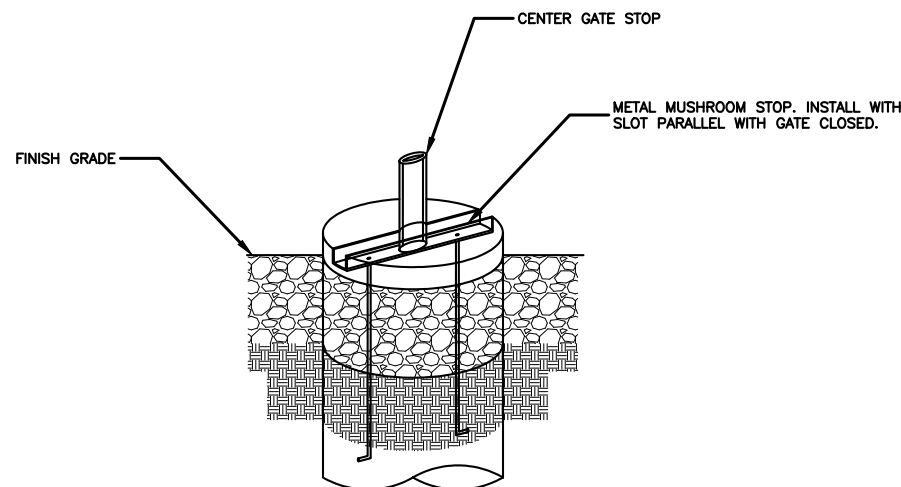
SITE AREA SURFACING 2 D-1  
SCALE: N.T.S.



GATE LATCH DETAIL 5 D-1  
SCALE: N.T.S.



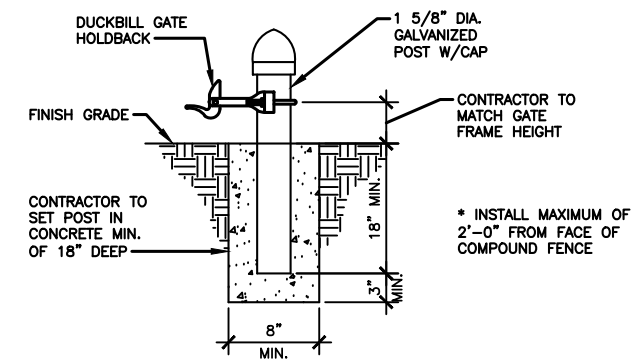
TYPICAL BARBED WIRE DETAIL 3 D-1  
SCALE: N.T.S.



MUSHROOM STOP DETAIL 6 D-1  
SCALE: N.T.S.

## CHAIN LINK FENCING NOTES

1. ALL FENCE AND FABRIC SHALL BE HOT DIPPED GALVANIZED WITH A MINIMUM OF 2 OZ. PER SQUARE FOOT, 9 GAUGE WIRE (MIN. BREAKING STRENGTH OF 1,290 LBS) WITH 2" MESH. ALL BARBED WIRE SHALL BE ALUMINUM OR COATED PER NOTE #4.
2. BOTTOM EDGE OF FENCE FABRIC SHALL EXTEND TO FINISHED GRADE.
3. SITE FENCE SHALL BE 6'-0" FABRIC W/ 3 STRAND BARBED WIRE FOR TOTAL HEIGHT OF 7'-0".
4. BARBED WIRE SHALL MEET ASTM A 121, CLASS 3 GALV. OR ASTM A 585, TYPE I, CLASS 2 COATING (NOT LESS THAN 0.8 OZ. PER SQ. FT.) AND SHALL BE THREE STRAND 12.5 GAGE W/4 POINT BARBS AT 5" O/C.
5. BOTTOM OF CONCRETE BASE SHALL BE SET BELOW FROSTLINE (SEE LOCAL CODE). WHERE SOIL BEARING CAPACITY IS LESS THAN 2000 PSF, INCREASE CONCRETE SURROUNDING FENCE POST FOUNDATION DIAMETERS BY 8", PROVIDE CONCRETE WITH A 28 DAY STRENGTH OF 3000 PSI (MIN.)
6. PROVIDE A DIAGONAL BRACE ROD AND TURN BUCKLE ON BOTH GATE LEAFS.
7. ALL RAILS AND BRACES SHALL BE SCHEDULE 40 STEEL PIPE, AND ALL FENCE POSTS SHALL BE SCHEDULE 40 STEEL PIPE, AND BE 2 OZ. GALVANIZED COATED.
8. CONTRACTOR SHALL ENSURE ALL POSTS ARE PLUMB.
9. ALL FENCE SHALL BE FABRICATED AND INSTALLED PER ASTM F2611-15, ASTM F567-14a AND CHAIN LINK FENCE MANUFACTURES INSTITUTE CLFMI-PM 2445.
10. CONTRACTOR SHALL FURNISH AND INSTALL ONE (1) MASTER LOCK LONG SHANK #175LH COMBINATION PADLOCK. VERIZON COMBINATION TO BE SET AT 7011. VERTICAL BRIDGE COMBINATION TO BE SET AT 0951.



GATE KEEPER DETAIL 4 D-1  
SCALE: N.T.S.

verticalbridge

THE TOWERS, LLC  
22 W ATLANTIC AVE, SUITE 310  
DELRAY BEACH, FLORIDA 33444

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Kimley»Horn

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SUITE 300  
INDIANAPOLIS, IN 46240

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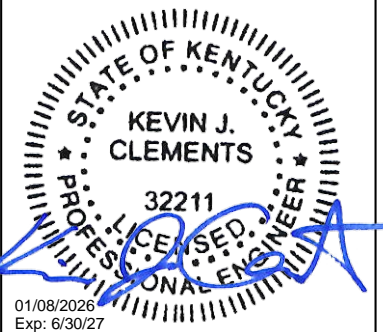
DRAWN BY: CHECKED BY:

GP JR

KHA PROJECT NUMBER:

180052002.1.102

ENGINEER SEAL:



PROJECT INFORMATION:

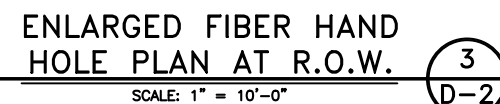
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5000957862  
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MAYFIELD, KY 42066  
GRAVES COUNTY

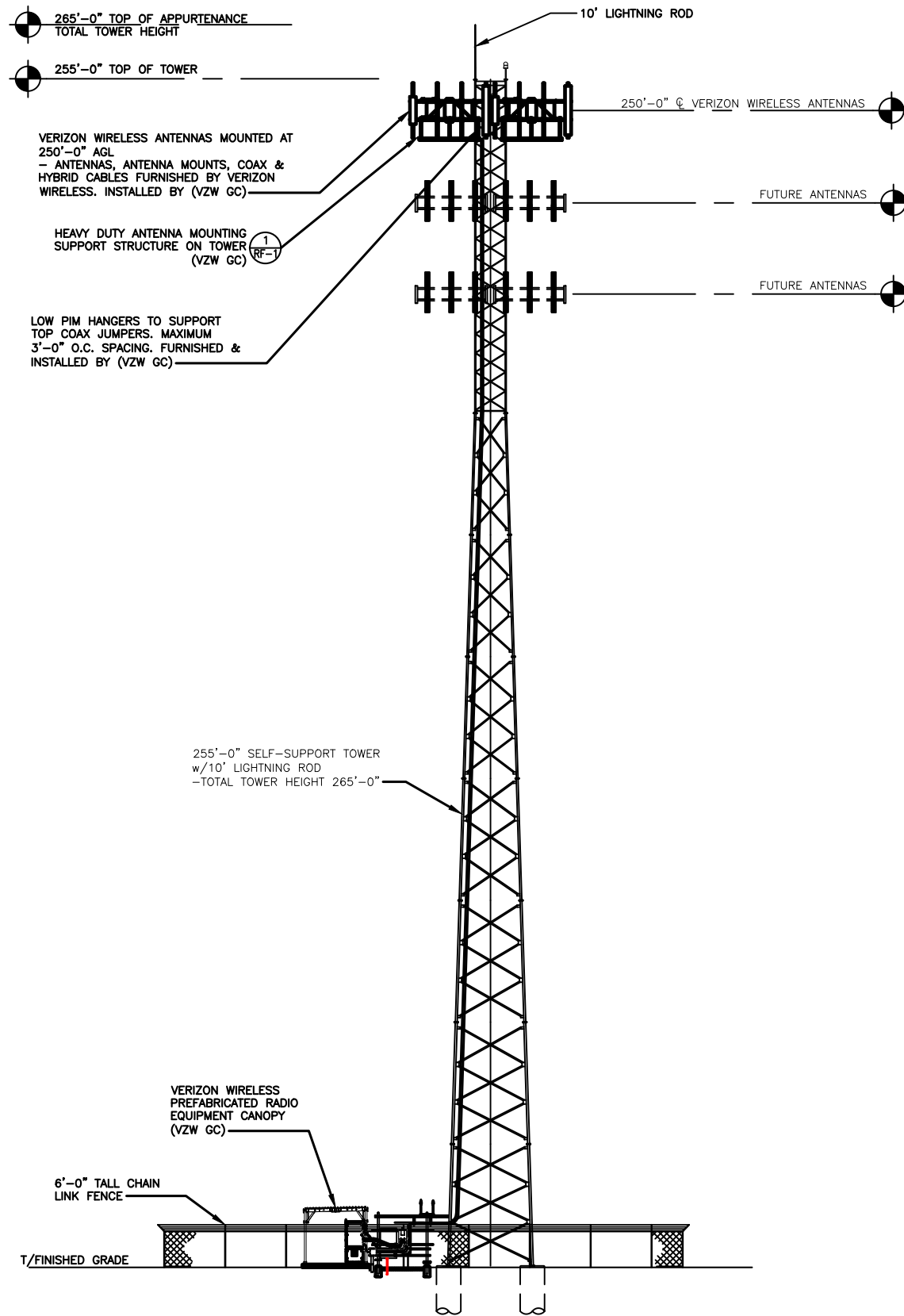
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FENCE DETAILS  
AND NOTES

SHEET NUMBER:

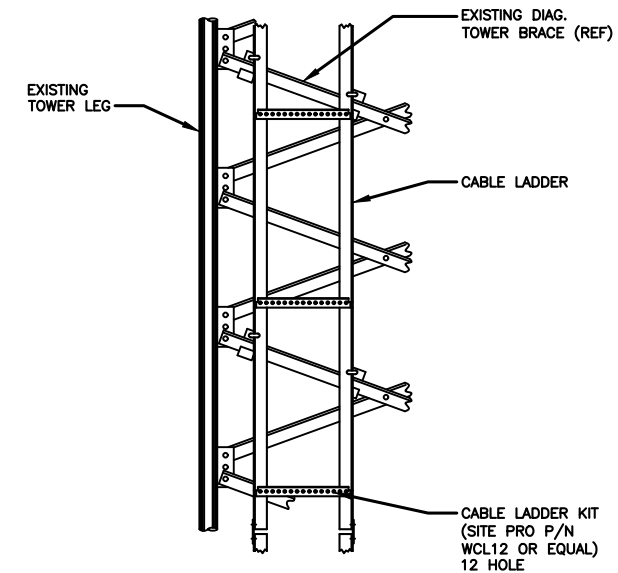
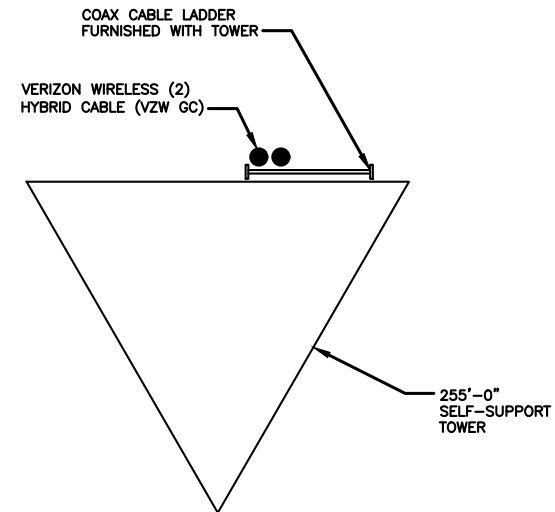
D-1





NOTE:

1. IT IS THE INSTALLING CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL ANTENNA INFORMATION AGAINST FINAL RADIO ENGINEERING PLAN PROVIDED BY KENTUCKY RSA NO. 1 PARTNER d/b/a VERIZON WIRELESS (VZW GC)
2. ALL TOWER LIGHTING SHALL BE INSTALLED AS REQUIRED BY THE FEDERAL AVIATION ADMINISTRATION AND RECOMMENDED BY THE USFWS INTERIM GUIDELINES (2000) FOR LIGHTING OF TOWERS OVER 200' IN HEIGHT.
3. THE TOWER LIGHTING SYSTEM WILL BE MANUFACTURED BY FLASH TECHNOLOGY AND PROVIDED BY VERTICAL BRIDGE. THE GENERAL CONTRACTOR SHALL PROVIDE ALL CONDUIT, CONDUCTORS, ELECTRICAL PANEL, CIRCUIT BREAKER, HARDWARE AND LABOR TO INSTALL THE ENTIRE OPERATING TOWER OBSTRUCTION LIGHTING SYSTEM.



CABLE LADDER ATTACHMENT DETAIL

SCALE: N.T.S.

2  
TE-1

TOWER ELEVATION

SCALE: N.T.S.

1  
TE-1



THE TOWERS, LLC  
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B	11/05/25	ISSUED FOR ZONING	GP
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DRAWN BY: CHECKED BY:

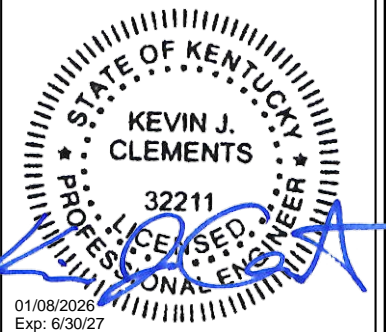
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JR

KHA PROJECT NUMBER:

180052002.1.102

ENGINEER SEAL:



PROJECT INFORMATION:

US-KY-5239  
5000957862  
7960 STATE ROUTE 58 E  
MAYFIELD, KY 42066  
GRAVES COUNTY

SHEET TITLE:

TOWER ELEVATION

SHEET NUMBER:

TE-1

## **EXHIBIT C**

### **CONSTRUCTION MANAGER LETTER LIST OF QUALIFIED PROFESSIONALS TOWER AND FOUNDATION DESIGN**



January 8, 2026

Kentucky Public Service Commission  
P.O. Box 615, 211 Sower Boulevard  
Frankfort, Kentucky 40602-0615

RE: Site Name – Purchase Parkway KY (US-KY-5239)  
Proposed Cell Tower  
36° 46' 39.13" North Latitude, 88° 30' 24.97" West Longitude

Dear Commissioners:

The Construction Manager for the proposed new communications facility will be Adam Johnson. His contact information is (843) 817-8279 or [adam.johnson@verticalbridge.com](mailto:adam.johnson@verticalbridge.com)

Adam has been in the industry completing civil construction and constructing towers since 2017. He has worked at Vertical Bridge since 2017 completing project and construction management on new site build projects.

Thank you,

*Adam Johnson*

Adam Johnson, Construction Manager – KY/TN/NC/SC/VA Market  
The Towers, LLC  
(843) 817-8279

**Purchase Parkway – List of Qualified Professionals**

Kevin J. Clements  
Licensed Professional Engineer, License No. 32211  
Professional Engineer  
Kimley Horn  
500 W 96<sup>th</sup> Street, Suite 300  
Indianapolis, IN 46240

Ralph M. Wallem  
Licensed Professional Land Surveyor, License No. 2195  
Professional Land Surveyor  
Benchmark Services, Inc.  
318 North Main Street  
Huntingburg, IN 47542

Adam Johnson  
Construction Manager  
The Towers, LLC  
22 W Atlantic Avenue, Suite 310  
Delray Beach, Florida 33444

Allen Schneider  
Licensed Professional Engineer, License No. 37506  
Senior Design Engineer  
Rohn Products LLC  
1 Fairholm Avenue  
Peoria, IL 61603

Adam Sindermann  
Environmental Manager  
Ramaker & Associates, Inc.  
1955 Atwood Avenue, Suite 202  
Madison, Wisconsin 53704

**Purchase Parkway – List of Qualified Professionals**

Jeffrey H. Zander

Licensed Professional Engineer, License No. 35988

MEPS Service Group Leader

Ramaker & Associates, Inc.

1955 Atwood Avenue, Suite 202

Madison, Wisconsin 53704

Jimmy Polly

RF Engineer

2421 Holloway Road

Louisville, KY 40299



1 Fairholm Avenue  
Peoria, IL 61603 USA  
Phone: (309)-566-3000  
Fax: (309)-566-3079

**DATE:** DECEMBER 05, 2025

**PURCHASER:** THE TOWERS, LLC

**PROJECT:** 255FT RTL SELF SUPPORT TOWER  
KY-5293 PURCHASE PARKWAY KY

**FILE NUMBER:** 250084

I CERTIFY THAT THE ATTACHED DRAWINGS WERE PREPARED UNDER MY SUPERVISION  
IN ACCORDANCE WITH THE DESIGN AND LOADING CRITERIA SPECIFIED BY THE PURCHASER  
AND THAT I AM A REGISTERED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF  
KENTUCKY.

*Allen Schneider*

12/05/2025



***Products for a Growing World of Technology®***





1 Fairholm Avenue  
Peoria, IL 61603 USA  
Phone: (309)-566-3000  
Fax: (309)-566-3079

December 05, 2025

The Towers, LLC  
750 Park of Commerce Drive  
Suite 200  
Boca Raton, FL 33487

Attn: Sean Gassner

Reference: 255 FT RTL Tower  
KY-5293 Purchase Parkway, KY  
250084

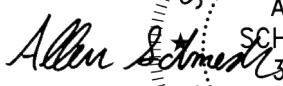
To Whom It May Concern,

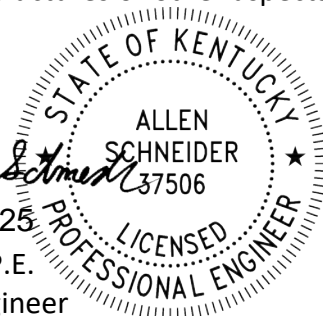
The referenced Tower is designed to meet the specified loading requirements in accordance with ANSI/TIA-222-H for a 106 mph 7-16 Ultimate Wind Speed with no ice and a 30 mph 3-second gust wind speed with 1.50 inches radial ice, Risk Category II, Exposure Category C, and Topographic Category 1.

It is our understanding that the design of the referenced Tower requires consideration of a contained fall radius in the event that a catastrophic wind speed would result in collapse. Although the Tower will not be designed to fail, stronger sections where required by analysis are provided in the lower sections of the Tower. This will result in an increased safety factor in the lower sections of the Tower. This design will enable the Tower to fail through a combination of bending and buckling in the upper portion of the Tower under a catastrophic wind loading. Failure in this manner would result in the upper portion of the Tower folding over the lower portion, resulting in a fall radius no greater than 0 feet.

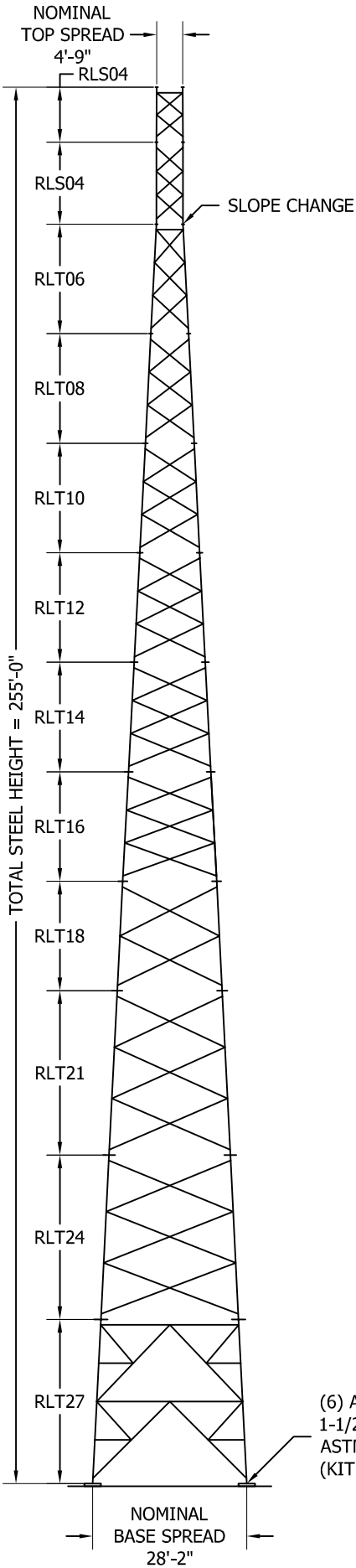
Please contact us at your convenience should you have further questions concerning the safety of Tower structures or other aspects of Tower design.

Sincerely,

  
12/05/2025  
Allen Schneider, P.E.  
Senior Design Engineer

A circular professional engineer seal for the State of Kentucky. The outer ring contains the text "STATE OF KENTUCKY" at the top and "LICENSED PROFESSIONAL ENGINEER" at the bottom, separated by two stars. The inner circle contains the text "ALLEN SCHNEIDER" and "37506".

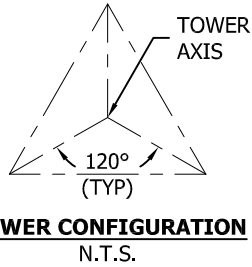
***Products for a Growing World of Technology®***



GENERAL NOTES

1. ROHN PRODUCTS, LLC TOWER DESIGNS CONFORM TO ANSI/TIA-222-H UNLESS OTHERWISE SPECIFIED UNDER TOWER DESIGN LOADING.
2. THE DESIGN LOADING CRITERIA INDICATED HAS BEEN PROVIDED TO ROHN. THE DESIGN LOADING CRITERIA HAS BEEN ASSUMED TO BE BASED ON SITE-SPECIFIC DATA IN ACCORDANCE WITH ANSI/TIA-222-H AND MUST BE VERIFIED BY OTHERS PRIOR TO INSTALLATION.
3. ANTENNAS AND LINES LISTED IN TOWER DESIGN LOADING TABLE ARE PROVIDED BY OTHERS UNLESS OTHERWISE SPECIFIED.
4. STEP BOLTS WITH SAFETY CLIMB SYSTEM ARE PROVIDED AS A CLIMBING FACILITY FOR THE INSTALLATION OF THE STRUCTURE.
5. TOWER MEMBER DESIGN DOES NOT INCLUDE STRESSES DUE TO ERECTION SINCE ERECTION EQUIPMENT AND CONDITIONS ARE UNKNOWN. DESIGN ASSUMES COMPETENT AND QUALIFIED PERSONNEL WILL ERECT THE TOWER.
6. WORK SHALL BE IN ACCORDANCE WITH ANSI/TIA-222-H, "STRUCTURAL STANDARDS FOR STEEL ANTENNA TOWERS AND ANTENNA SUPPORTING STRUCTURES".
7. THE MINIMUM YIELD STRENGTH OF STRUCTURAL STEEL MEMBERS SHALL BE 50 KSI.
8. FIELD CONNECTIONS SHALL BE BOLTED. NO FIELD WELDS SHALL BE ALLOWED.
9. STRUCTURAL BOLTS SHALL CONFORM TO GRADE A325 PER ASTM F3125, EXCEPT WHERE NOTED.
10. A NUT LOCKING DEVICE IS PROVIDED FOR ALL TOWER BOLTS.
11. STRUCTURAL STEEL AND CONNECTION BOLTS SHALL BE HOT-DIPPED GALVANIZED AFTER FABRICATION, IN ACCORDANCE WITH ANSI/TIA-222-H.
12. ALL HIGH STRENGTH BOLTS, UNLESS OTHERWISE NOTED FOR DOUBLE ANGLE MEMBERS, ARE TO BE TIGHTENED TO A "SNUG TIGHT" CONDITION AS DEFINED IN THE RCSC "SPECIFICATION FOR STRUCTURAL JOINTS USING HIGH-STRENGTH BOLTS". NO OTHER MINIMUM BOLT TENSION OR TORQUE VALUES ARE REQUIRED.
13. PURCHASER SHALL VERIFY THE INSTALLATION IS IN CONFORMANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS FOR OBSTRUCTION MARKING AND LIGHTING.
14. TOLERANCE ON TOWER STEEL HEIGHT IS EQUAL TO PLUS 1% OR MINUS 1/2%.
15. DESIGN ASSUMES THAT, AS A MINIMUM, MAINTENANCE AND INSPECTION WILL BE PERFORMED OVER THE LIFE OF THE STRUCTURE IN ACCORDANCE WITH ANSI/TIA-222-H.
16. DESIGN ASSUMES LEVEL GRADE AT TOWER SITE.
17. DESIGN ASSUMES ALL ANTENNAS ARE MOUNTED SYMMETRICALLY TO MINIMIZE TORQUE, IF APPLICABLE.
18. FOUNDATIONS SHALL BE DESIGNED TO SUPPORT THE REACTIONS SHOWN FOR THE CONDITIONS EXISTING AT THE SITE.
19. TOWER DESIGN INCLUDES CONSIDERATION OF A CONTAINED FALL RADIUS EQUAL TO 0 FT BY PROVIDING STRONGER SECTIONS WHERE REQUIRED BY ANALYSIS IN THE LOWER PORTION OF THE TOWER.

MAXIMUM FACTORED REACTIONS			
COMPRESSION PER LEG	=	459.4	KIPS
TENSION PER LEG	=	392.7	KIPS
SHEAR PER LEG	=	41.5	KIPS
TOTAL SHEAR	=	68.5	KIPS
TOTAL O.T.M	=	10,535.5	FT-KIPS



TOWER DESIGN LOADING

DESIGN WIND LOAD PER ANSI/TIA-222-H USING THE FOLLOWING DESIGN CRITERIA:  
RISK CATEGORY: II  
BASIC WIND SPEED (NO ICE): 106 MPH PER ASCE 7-16  
BASIC WIND SPEED (W/ICE): 30 MPH PER ASCE 7-16  
DESIGN ICE THICKNESS: 1.50 INCHES PER ASCE 7-16  
GROUND ELEVATION, Z<sub>s</sub>: 494 FT  
EXPOSURE CATEGORY: C  
TOPOGRAPHIC METHOD: 1 , CATEGORY: 1  
SEISMIC DESIGN PARAMETERS , S<sub>s</sub>: 0.910, S<sub>1</sub>: 0.305, T<sub>L</sub>: 12, SITE CLASS: D

THIS STRUCTURE HAS BEEN DESIGNED TO SUPPORT THE FOLLOWING LOADS:

ELEVATION (FT)	ANTENNA LOADING	LINE SIZE (NOM)
TOP	BEACON & LIGHTNING ROD	(1) 0-3/4" CONDUIT
250	42,000 SQ-IN [292 SQFT] MAX EPA [K <sub>A</sub> = 0.82]	(18) 1-5/8"
239	30,000 SQ-IN [209 SQFT] MAX EPA [K <sub>A</sub> = 0.82]	(12) 1-5/8"
229	30,000 SQ-IN [209 SQFT] MAX EPA [K <sub>A</sub> = 0.82]	(12) 1-5/8"
219	(1) 6FT STD. DISH [AZ. 0 DEG][6 GHz]	(1) 1-5/8"

SECTION MAIN MEMBER SCHEDULE

SECTION	LEGS	DIAGONALS	HORIZONTALS
RLS04	PIPE 2.875X0.203	L1 3/4X1 3/4X1/8 (2)	L1 3/4X1 3/4X3/16 (1)
RLS04	PIPE 3.500X0.216	L1 3/4X1 3/4X3/16 (3)	N/A
RLT06	PIPE 4.500X0.237	L2X2X3/16 (3)	L1 3/4X1 3/4X3/16 (1)
RLT08	PIPE 5.563X0.258	L2X2X3/16 (3)	N/A
RLT10	PIPE 5.563X0.375	L2X2X1/4 (3)	N/A
RLT12	PIPE 5.563X0.375	L2 1/2X2 1/2X3/16 (3)	N/A
RLT14	PIPE 6.625X0.340	L2 1/2X2 1/2X3/16 (3)	N/A
RLT16	PIPE 6.625X0.432	L2 1/2X2 1/2X1/4 (3)	N/A
RLT18	PIPE 8.625X0.375	L3X3X1/4 (2)	N/A
RLT21	PIPE 8.625X0.500	L3 1/2X3 1/2X1/4 (3)	N/A
RLT24	PIPE 8.625X0.500	L3 1/2X3 1/2X1/4 (3)	N/A
RLT27	PIPE 8.625X0.500	L4X4X1/4 (2)	L3 1/2X3 1/2X1/4 (2)


**NOTE:**  
SECTION NUMBERS ARE FOR REFERENCE ONLY.  
FOR NOMINAL FACE WIDTH DIMENSIONS, REFER TO THE STRESS ANALYSIS.  
THE NUMBERS SHOWN IN PARENTHESES INDICATE THE NUMBER OF BAYS FROM TOP TO BOTTOM.

FILE NO. 250084

REVISIONS

REV.	DESCRIPTION	DWN	CHK	APP
2	REVISED CUSTOMER NAME	AS		AS

DATE: 12/05/2025

  
PRODUCTS LLC  
PO BOX 5999  
PEORIA, IL 61601-5999  
TOLL FREE 800-727-ROHN

THIS DRAWING IS THE PROPERTY OF ROHN. IT IS NOT TO BE REPRODUCED, COPIED OR TRACED IN WHOLE OR IN PART WITHOUT OUR WRITTEN CONSENT.

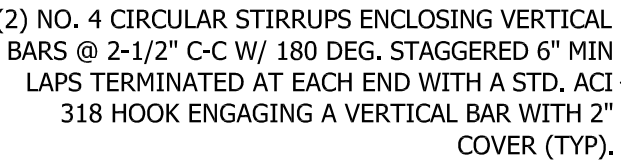
THE TOWERS, LLC  
DESIGN PROFILE  
255 FT RTL TOWER  
KY-5293 PURCHASE PARKWAY, KY

DWN:	CHK'D:	DATE:
AS	SY	09/09/2025

ENGR:	SHEET #:
AS	1 OF 1

PRJ. ENGR:	PRJ. MANG'R:
AS	

DRAWING NO:	REV:
250084-01-D1	2



0'-6"

4'-0" (TYP)

6'-0"

1'-9"

GROUND LEVEL

12 BAR DIA. (MIN)

NO. 4 CIRCULAR STIRRUPS ENCLOSING VERTICAL BARS WITH 24" LAPS STAGGERED 180 DEG, ON 6' CENTERS (TYP)

(60) NO. 7 HORIZONTAL BARS EQUALLY SPACED EACH WAY, TOP & BOTTOM (240 TOTAL)

(16) NO. 8 VERTICAL BARS EQUALLY SPACED ON 39" DIA. CIRCULAR CAGE (CENTERLINE OF VERT. BARS) W/ STD ACI 318 HOOKS AT BOTTOM (TYP)

COVER (TYP).

Maximum O.T.M =	10,535.5 FT-K
Total Tower Wt =	66.9 KIPS
Total Shear =	69.0 KIPS
Max. Shear/Leg =	41.5 KIPS
Max. Ten./Leg =	392.7 KIPS
Max. Comp./Leg =	459.4 KIPS

ROUND PIERS	6.6	CU.YDS
PAD	79.4	CU.YDS
TOTAL	86.0	CU.YDS

FOUNDATION DESIGN HAS BEEN DEVELOPED WITH GENERALLY ACCEPTED PROFESSIONAL ENGINEERING PRINCIPLES AND PRACTICES WITHIN THE LIMITS OF THE SUBSURFACE DATA PROVIDED. FOUNDATION DESIGN MODIFICATIONS MAY BE REQUIRED IN THE EVENT THE FOLLOWING DESIGN PARAMETERS ARE NOT APPLICABLE FOR THE SUBSURFACE CONDITIONS ENCOUNTERED.

- A) ULTIMATE SOIL BEARING PRESSURE AT 6 FT DEPTH = 20,000 PSF.
- B) GROUND WATER TABLE IS AT OR BELOW FOUNDATION DEPTH.
- C) MAXIMUM FROST PENETRATION DEPTH LESS THAN FOUNDATION DEPTH.

WORK SHALL BE IN ACCORDANCE WITH THE PROJECT CONSTRUCTION DOCUMENTS, LOCAL CODES, SAFETY REGULATIONS AND UNLESS OTHERWISE NOTED, THE LATEST REVISION OF ACI 318, "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE". PROCEDURES FOR THE PROTECTION OF EXCAVATIONS, EXISTING CONSTRUCTION AND UTILITIES SHALL BE ESTABLISHED PRIOR TO FOUNDATION INSTALLATION.

CONCRETE MATERIALS SHALL CONFORM TO THE APPROPRIATE STATE REQUIREMENTS FOR EXPOSED STRUCTURAL CONCRETE.

PROPORTIONS OF CONCRETE MATERIALS SHALL BE SUITABLE FOR THE INSTALLATION METHOD UTILIZED AND SHALL RESULT IN DURABLE CONCRETE FOR RESISTANCE TO LOCAL ANTICIPATED AGGRESSIVE ACTIONS. THE DURABILITY REQUIREMENTS OF ACI 318 SHALL BE SATISFIED BASED ON THE CONDITIONS EXPECTED AT THE SITE. AS A MINIMUM, CONCRETE SHALL DEVELOP A MINIMUM COMPRESSIVE STRENGTH OF 4,500 PSI IN 28 DAYS.

MAXIMUM SIZE OF AGGREGATE SHALL NOT EXCEED SIZE SUITABLE FOR INSTALLATION METHOD UTILIZED OR 3/4 CLEAR DISTANCE BEHIND OR BETWEEN REINFORCING. WORKABILITY AND METHODS OF CONSOLIDATION SUCH AS VIBRATING SHALL BE UTILIZED TO PREVENT HONEYCOMBS OR VOIDS.

REINFORCEMENT SHALL BE DEFORMED AND CONFORM TO THE REQUIREMENTS OF ASTM A615 GRADE 60 UNLESS OTHERWISE NOTED. SPLICES IN REINFORCEMENT SHALL NOT BE ALLOWED UNLESS OTHERWISE INDICATED.

WELDING IS PROHIBITED ON REINFORCING STEEL AND EMBEDMENTS.

MINIMUM CONCRETE COVER FOR REINFORCEMENT SHALL BE 3 INCHES UNLESS OTHERWISE NOTED. APPROVED SPACERS SHALL BE USED TO INSURE A 3 INCH MINIMUM COVER ON REINFORCEMENT.

CONCRETE COVER FROM TOP OF FOUNDATION TO ENDS OF VERTICAL REINFORCEMENT SHALL NOT EXCEED 3 INCHES NOR BE LESS THAN 2 INCHES.

FOUNDATION DESIGN ASSUMES STRUCTURAL BACKFILL TO BE COMPACTED IN 8 INCH MAXIMUM LAYERS TO 95% OF MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE CONTENT IN ACCORDANCE WITH ASTM D1557. ADDITIONALLY, STRUCTURAL BACKFILL MUST HAVE A MINIMUM COMPACTED UNIT WEIGHT OF 110 POUNDS PER CUBIC FOOT.

FOUNDATION DESIGN HAS BEEN BASED ON GEOTECHNICAL REPORT NO. **62988** DATED **8/20/2025** BY **RAMAKER & ASSOCIATES, INC.**

FOUNDATION DEPTH INDICATED IS BASED ON THE GRADE LINE DESCRIBED IN THE REFERENCED GEOTECHNICAL REPORT. FOUNDATION MODIFICATION MAY BE REQUIRED IN THE EVENT CUT OR FILL OPERATIONS HAVE TAKEN PLACE SUBSEQUENT TO THE GEOTECHNICAL INVESTIGATION.

FOUNDATION DESIGN ASSUMES THE RECOMMENDATIONS IN THE REFERENCED GEOTECHNICAL REPORT CONCERNING VERIFICATION OF SUBSURFACE CONDITIONS ARE IMPLEMENTED PRIOR TO PLACEMENT OF CONCRETE.

FOUNDATION INSTALLATION SHALL BE SUPERVISED BY PERSONNEL KNOWLEDGEABLE AND EXPERIENCED WITH THE PROPOSED FOUNDATION TYPE. CONSTRUCTION SHALL BE IN ACCORDANCE WITH GENERALLY ACCEPTED INSTALLATION PRACTICES.

ALL CONSTRUCTION AND SAFETY EQUIPMENT AND TEMPORARY SUPPORTS REQUIRED FOR CONSTRUCTION SHALL BE DETERMINED, FURNISHED AND INSTALLED BY THE CONTRACTOR BASED ON THE MEANS AND METHODS CHOSEN BY THE CONTRACTOR. ALL CONSTRUCTION ACTIVITIES SHALL BE PERFORMED BY COMPETENT, QUALIFIED AND TRAINED PERSONNEL.

FOUNDATION DESIGN ASSUMES INSTALLATION PROCEDURES WILL INCORPORATE THE PROCEDURES RECOMMENDED IN THE REFERENCED GEOTECHNICAL REPORT.

FOUNDATION DESIGN ASSUMES FIELD INSPECTIONS WILL BE PERFORMED TO VERIFY THAT CONSTRUCTION MATERIALS, INSTALLATION METHODS AND ASSUMED DESIGN PARAMETERS ARE ACCEPTABLE BASED ON CONDITIONS EXISTING AT THE SITE.

FOR FOUNDATION AND ANCHOR TOLERANCES SEE ANCHOR ROD LAYOUT DRAWING.

LOOSE MATERIAL SHALL BE REMOVED FROM BOTTOM OF EXCAVATION PRIOR TO CONCRETE PLACEMENT. SIDES OF EXCAVATION SHALL BE ROUGH AND FREE OF LOOSE CUTTINGS.


CONCRETE SHALL BE PLACED IN A MANNER THAT WILL PREVENT SEGREGATION OF CONCRETE MATERIALS INFILTRATION OF WATER OR SOIL AND OTHER OCCURRENCES WHICH MAY DECREASE THE STRENGTH OR DURABILITY OF THE FOUNDATION.

CONCRETE PREFERABLY SHALL BE PLACED AGAINST UNDISTURBED SOIL. WHEN FORMS ARE NECESSARY, THEY SHALL BE REMOVED PRIOR TO PLACING STRUCTURAL BACKFILL.

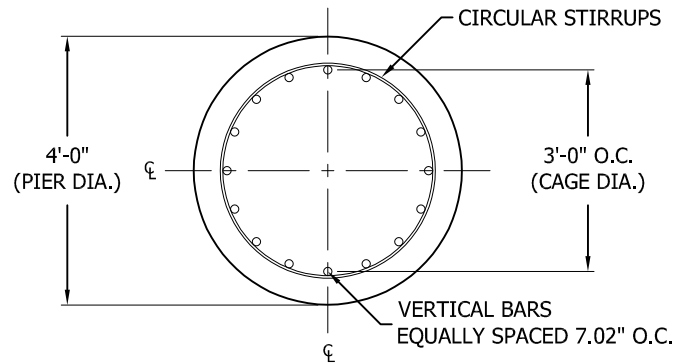
CONSTRUCTION JOINTS, IF REQUIRED AT THE BASE OF THE PIERS, SHALL BE INTENTIONALLY ROUGHENED TO A FULL AMPLITUDE OF 1/4 INCH. FOUNDATION DESIGN ASSUMES NO OTHER CONSTRUCTION JOINTS.

TOP OF FOUNDATION SHALL BE SLOPED TO DRAIN WITH A FLOATED FINISH.

EXPOSED EDGES OF CONCRETE SHALL BE CHAMFERED 3/4" X 3/4" MINIMUM.

FILE NO.		250084		
REVISIONS				
REV.	DESCRIPTION	DWN	CHK	APP
2	REVISED CUSTOMER NAME  DATE: 12/05/2025	AS		AS
<div><p>PO BOX 5999 PEORIA, IL 61601-5999 TOLL FREE 800-727-ROHN</p></div>				
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THE TOWERS, LLC MAT W/RAISED PIERS FOUNDATION DESIGN KY-5293 PURCHASE PARKWAY, KY				
DWN: AS		CHK'D: SY		DATE: 09/09/2025
ENG'R: AS		SHEET #: 1 OF 1		
PRJ. ENG'R: AS		PRJ. MANG'R:		
DRAWING NO: 250084-01-F1				REV: 2

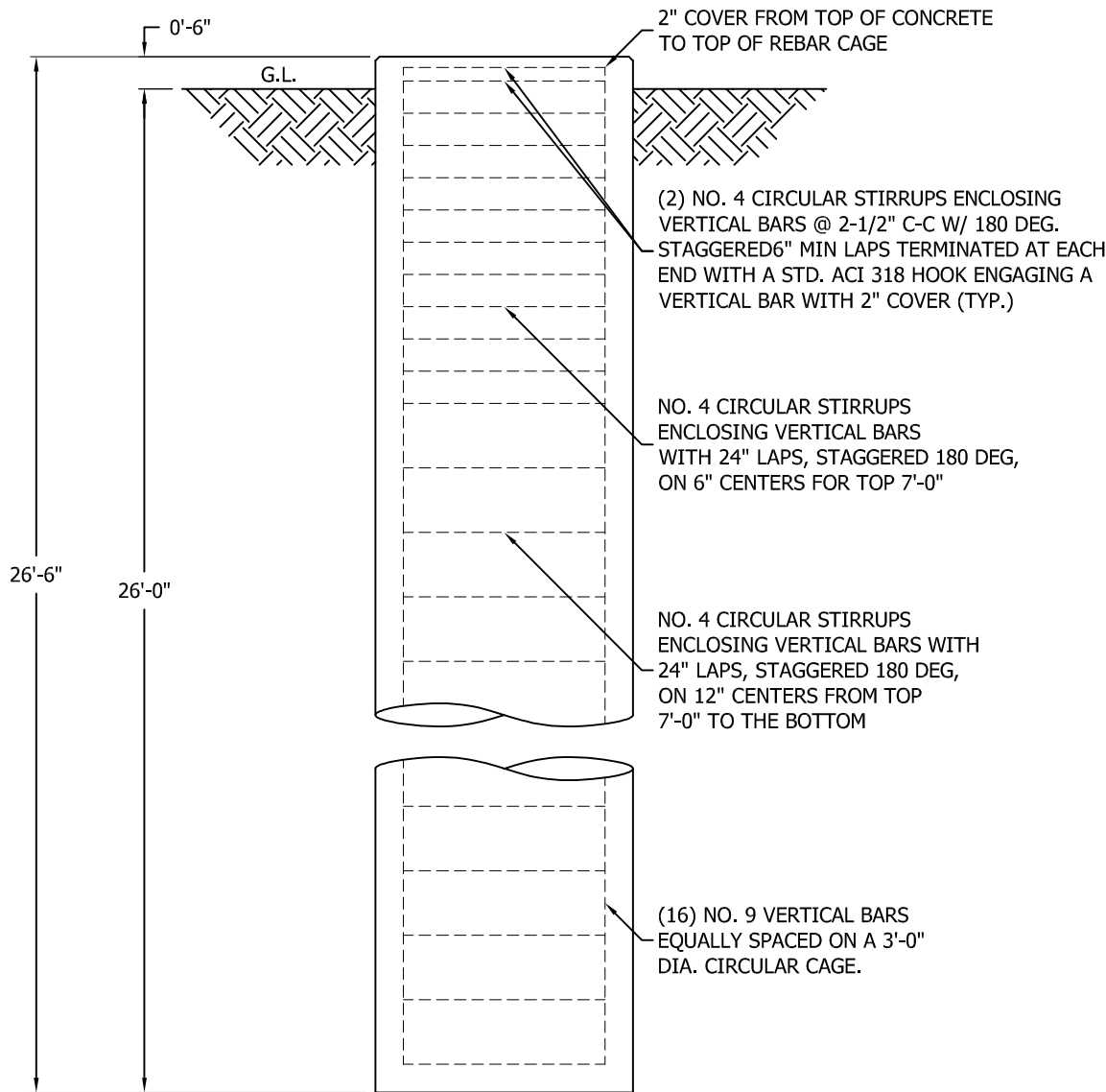




**PLAN VIEW**

N.T.S.

**NOTE:**  
CAGE DIA. FROM CENTERLINE  
OF VERTICAL BARS.



**ELEVATION VIEW**

N.T.S.

**FACTORED REACTIONS/LEG**

DOWNLOAD = 459.4 KIPS  
UPLIFT = 392.7 KIPS  
SHEAR = 41.5 KIPS

**VOLUME OF CONCRETE**

(1) FOUNDATION 12.3 CU. YDS  
(3) FOUNDATIONS 36.9 CU. YDS

**GENERAL NOTES:**

- FOUNDATION DESIGN HAS BEEN DEVELOPED IN ACCORDANCE WITH GENERALLY ACCEPTED PROFESSIONAL ENGINEERING PRINCIPLES AND PRACTICES WITHIN THE LIMITS OF THE SUBSURFACE DATA PROVIDED. FOUNDATION DESIGN MODIFICATIONS MAY BE REQUIRED IN THE EVENT THE FOLLOWING DESIGN PARAMETERS ARE NOT APPLICABLE FOR THE SUBSURFACE CONDITIONS ENCOUNTERED.
  - DEPTH NEGLECTED FOR SKIN FRICTION = TOP 2.0 FT
  - AVERAGE ULTIMATE SKIN SHEAR FOR UPLIFT: 2.0 FT TO 4.5 FT DEPTH = 900 PSF, AND 4.5 FT TO 6.0 FT DEPTH = 2600 PSF, AND 6.0 FT TO 8.5 FT DEPTH = 2900 PSF, AND 8.5 FT TO 11.0 FT DEPTH = 900 PSF, AND 11.0 FT TO 12.5 FT DEPTH = 1100 PSF, AND 12.5 FT TO 18.5 FT DEPTH = 1300 PSF, AND 18.5 FT TO 20.0 FT DEPTH = 1500 PSF, AND 20.0 FT TO 26.0 FT DEPTH = 1800 PSF.
  - AVERAGE ULTIMATE SKIN SHEAR FOR DOWNLOAD: 2.0 FT TO 4.5 FT DEPTH = 900 PSF, AND 4.5 FT TO 6.0 FT DEPTH = 2800 PSF, AND 6.0 FT TO 8.5 FT DEPTH = 3200 PSF, AND 8.5 FT TO 11.0 FT DEPTH = 1200 PSF, AND 11.0 FT TO 12.5 FT DEPTH = 1400 PSF, AND 12.5 FT TO 18.5 FT DEPTH = 1800 PSF, AND 18.5 FT TO 20.0 FT DEPTH = 2000 PSF, AND 20.0 FT TO 26.0 FT DEPTH = 2400 PSF
  - ULTIMATE NET END BEARING AT 26.0 FT = 24.80 KSF.
  - GROUNDWATER TABLE BELOW FOUNDATION DEPTH.
- WORK SHALL BE IN ACCORDANCE WITH LOCAL CODES, SAFETY REGULATIONS AND UNLESS OTHERWISE NOTED, THE LATEST REVISION OF ACI 318, "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE". PROCEDURES FOR THE PROTECTION OF EXCAVATIONS, EXISTING CONSTRUCTION AND UTILITIES SHALL BE ESTABLISHED PRIOR TO FOUNDATION INSTALLATION.
- CONCRETE MATERIALS SHALL CONFORM TO THE APPROPRIATE STATE REQUIREMENTS FOR EXPOSED STRUCTURAL CONCRETE.
- PROPORTIONS OF CONCRETE MATERIALS SHALL BE SUITABLE FOR THE INSTALLATION METHOD UTILIZED AND SHALL RESULT IN DURABLE CONCRETE FOR RESISTANCE TO LOCAL ANTICIPATED AGGRESSIVE ACTIONS. THE DURABILITY REQUIREMENTS OF ACI 318 CHAPTER 4 SHALL BE SATISFIED BASED ON THE CONDITIONS EXPECTED AT THE SITE. AS A MINIMUM, CONCRETE SHALL DEVELOP A MINIMUM COMPRESSIVE STRENGTH OF 4,500 PSI (31.0 MPA) IN 28 DAYS.
- MAXIMUM SIZE OF AGGREGATE SHALL NOT EXCEED SIZE SUITABLE FOR INSTALLATION METHOD UTILIZED OR 1/3 CLEAR DISTANCE BEHIND OR BETWEEN REINFORCING. MAXIMUM SIZE MAY BE INCREASED TO 2/3 CLEAR DISTANCE PROVIDED WORKABILITY AND METHODS OF CONSOLIDATION SUCH AS VIBRATING WILL PREVENT HONEYCOMBS OR VOIDS.
- REINFORCEMENT SHALL BE DEFORMED AND CONFORM TO THE REQUIREMENTS OF ASTM A615 GRADE 60 UNLESS OTHERWISE NOTED. SPLICES IN REINFORCEMENT SHALL NOT BE ALLOWED UNLESS OTHERWISE INDICATED.
- REINFORCING CAGES SHALL BE BRACED TO RETAIN PROPER DIMENSIONS DURING HANDLING AND THROUGHOUT PLACEMENT OF CONCRETE. WHEN TEMPORARY CASING IS UTILIZED, BRACING SHALL BE ADEQUATE TO RESIST FORCES OCCURRING FROM FLOWING CONCRETE DURING CASING EXTRACTION.
- WELDING IS PROHIBITED ON REINFORCING STEEL AND EMBEDMENTS.
- MINIMUM CONCRETE COVER FOR REINFORCEMENT SHALL BE 3 INCHES (76 MM) UNLESS OTHERWISE NOTED. APPROVED SPACERS SHALL BE USED TO INSURE A 3 INCH (76 MM) MINIMUM COVER ON REINFORCEMENT.
- SPACERS SHALL BE ATTACHED INTERMITTENTLY THROUGHOUT THE ENTIRE LENGTH OF VERTICAL REINFORCING CAGES TO INSURE CONCENTRIC PLACEMENT OF CAGES IN EXCAVATIONS.
- FOUNDATION DESIGN HAS BEEN BASED ON GEOTECHNICAL REPORT NO. **62988** DATED **08/20/2025** BY **RAMAKER & ASSOCIATES, INC..**
- FOUNDATION DEPTH INDICATED IS BASED ON THE GRADE LINE DESCRIBED IN THE REFERENCED GEOTECHNICAL REPORT. FOUNDATION MODIFICATION MAY BE REQUIRED IN THE EVENT CUT OR FILL OPERATIONS HAVE TAKEN PLACE SUBSEQUENT TO THE GEOTECHNICAL INVESTIGATION.
- FOUNDATION DESIGN ASSUMES THE RECOMMENDATIONS IN THE REFERENCED GEOTECHNICAL REPORT CONCERNING VERIFICATION OF SUBSURFACE CONDITIONS ARE IMPLEMENTED PRIOR TO PLACEMENT OF CONCRETE.
- FOUNDATION INSTALLATION SHALL BE SUPERVISED BY PERSONNEL KNOWLEDGEABLE AND EXPERIENCED WITH THE PROPOSED FOUNDATION TYPE. CONSTRUCTION SHALL BE IN ACCORDANCE WITH GENERALLY ACCEPTED INSTALLATION PRACTICES.
- FOUNDATION DESIGN ASSUMES INSTALLATION PROCEDURES WILL INCORPORATE THE PROCEDURES RECOMMENDED IN THE REFERENCED GEOTECHNICAL REPORT.
- FOUNDATION DESIGN ASSUMES FIELD INSPECTIONS WILL BE PERFORMED TO VERIFY THAT CONSTRUCTION MATERIALS, INSTALLATION METHODS AND ASSUMED DESIGN PARAMETERS ARE ACCEPTABLE BASED ON CONDITIONS EXISTING AT THE SITE.
- FOR FOUNDATION INSTALLATION TOLERANCES SEE STRUCTURE ASSEMBLY DRAWING.
- LOOSE MATERIAL SHALL BE REMOVED FROM BOTTOM OF EXCAVATION PRIOR TO CONCRETE PLACEMENT. SIDES OF EXCAVATION SHALL BE ROUGH AND FREE OF LOOSE CUTTINGS.
- CONCRETE SHALL BE PLACED IN A MANNER THAT WILL PREVENT SEGREGATION OF CONCRETE MATERIALS, INFILTRATION OF WATER OR SOIL AND OTHER OCCURRENCES WHICH MAY DECREASE THE STRENGTH OR DURABILITY OF THE FOUNDATION.
- FREE FALL CONCRETE MAY BE USED PROVIDED FALL IS VERTICAL DOWN WITHOUT HITTING SIDES OF EXCAVATION, FORMWORK, REINFORCING BARS, FORM TIES, CAGE BRACING OR OTHER OBSTRUCTIONS. UNDER NO CIRCUMSTANCES SHALL CONCRETE FALL THROUGH WATER.
- TOP OF FOUNDATION OUTSIDE LIMITS OF ANCHOR BOLTS SHALL BE SLOPED TO DRAIN WITH A FLOATED FINISH. AREA INSIDE LIMITS OF ANCHOR BOLTS SHALL BE LEVEL WITH A SCRATCHED FINISH.
- EXPOSED EDGES OF CONCRETE SHALL BE CHAMFERED 3/4" X 3/4" (19MM X 19MM) MINIMUM.
- FOUNDATION DESIGN ASSUMES CASING, IF USED, WILL NOT BE LEFT IN PLACE. EQUIPMENT, PROCEDURES, AND PROPORTIONS OF CONCRETE MATERIALS SHALL INSURE CONCRETE WILL NOT BE ADVERSELY DISTURBED UPON CASING REMOVAL.

FILE NO.

250084

REVISIONS

REV.	DESCRIPTION	DWN	CHK	APP
2	REVISED CUSTOMER NAME	AS		AS
DATE: 12/05/2025				

**ROHN**  
PRODUCTS LLC

PO BOX 5999  
PEORIA, IL 61601-5999  
TOLL FREE 800-727-ROHN

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THE TOWERS, LLC  
DRILLED PIER  
FOUNDATION DETAILS  
KY-5293 PURCHASE PARKWAY, KY

DWN: AS	CHK'D: SY	DATE: 09/09/2025
ENG'R: AS	SHEET #: 1 OF 1	
PRJ. ENG'R: AS	PRJ. MANG'R:	
DRAWING NO: 250084-01-F2		REV: 2



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File: J:\2025\250084\ENGINEERING\250084.out  
Contract: 250084  
Project: 255 FT RTL TOWER  
Date and Time: 10/23/2025 3:19:29 PM

Revision: 2  
Site: KY-5293 PARKWAY- KY  
Engineer: AS

## Section A: PROJECT DATA

Project Title: 255 FT RTL TOWER  
Customer Name: THE TOWERS, LLC  
Site: KY-5293 PARKWAY- KY  
Contract No.: 250084  
Revision: 2  
Engineer: AS  
Date: Oct 23 2025  
Time: 02:44:19 PM

Design Standard: ANSI/TIA-222-H-2017

### GENERAL DESIGN CONDITIONS

Start wind direction: 0.00 (Deg)  
End wind direction: 330.00 (Deg)  
Increment wind direction: 30.00 (Deg)  
Elevation above ground: 0.00 (ft)  
Mean elevation of base of structure above sea level Zs: 494.00 (ft)  
Rooftop wind speed-up factor Ks: 1.00  
Gust Response Factor Gh: 0.85  
Risk category: II  
Exposure category: C  
Topographic category: 1  
Material Density: 490.1(lbs/ft<sup>3</sup>)  
Young's Modulus: 29000.0(ksi)  
Poisson Ratio: 0.30  
Weight Multiplier: 1.25  
Minimum Bracing Resistance as per 4.4.1

WIND ONLY CONDITIONS:  
Basic Wind Speed (No Ice): 106.00(mph)  
Directionality Factor Kd: 0.85  
Importance Factor I: 1.00  
Wind Load Factor: 1.00  
Dead Load Factor: 1.20  
Dead Load Factor for Uplift: 0.90

WIND AND ICE CONDITIONS:  
Basic Wind Speed (With Ice): 30.00(mph)  
Directionality Factor Kd: 0.85  
Wind Load Importance Factor Iw: 1.00  
Ice Thickness Importance Factor Ii: 1.00  
Ice Thickness: 1.50 (in)  
Ice Density: 56.19(lbs/ft<sup>3</sup>)  
Wind Load Factor: 1.00  
Dead Load Factor: 1.20  
Ice Load Factor: 1.00

WIND ONLY SERVICEABILITY CONDITIONS:  
Serviceability Wind Speed: 60.00(mph)  
Directionality Factor Kd: 0.85  
Importance Factor I: 1.00  
Wind Load Factor: 1.00  
Dead Load Factor: 1.00

EARTHQUAKE CONDITIONS:  
Site class definition: D  
Spectral response acceleration Ss: 0.910  
Spectral response acceleration Sl: 0.305  
Long-period transition period TL: 12.000



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Project: 255 FT RTL TOWER

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Site: KY-5293 PARKWAY- KY

Engineer: AS

Accelaration-based site coefficient Fa: 1.136  
Velocity-based site coefficient Fv: 1.995  
Design spectral response acceleration Sds: 0.689  
Design spectral response acceleration Sd1: 0.406  
Seismic analysis method: 1  
Fundamental frequency of structure f1: 0.745  
Total seismic shear Vs (Kips) : 6.95

Analysis performed using: TowerSoft Finite Element Analysis Program



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Contract: 250084

Project: 255 FT RTL TOWER

Date and Time: 10/23/2025 3:19:29 PM

Revision: 2

Site: KY-5293 PARKWAY- KY

Engineer: AS

## Section B: STRUCTURE GEOMETRY

### TOWER GEOMETRY

Cross-Section	Height (ft)	Tot Height (ft)	# of Section	Bot Width (in)	Top Width (in)
Triangular	255.00	330.00	12	337.97	56.99

### SECTION GEOMETRY

Sec #	Sec. Name	Elevation Bottom (ft)	Top (ft)	Widths Bottom (in)	Top (in)	Legs (lbs)	Brcg. (lbs)	Sec.Brc (lbs)	Int.Brc (lbs)	Sect. (lbs)	Database (lbs)	Brcg. Clear. (in)
12	RLS04*	245.00	255.00	58	57	217	186	0	0	403	0	0.787
11	RLS04	230.00	245.00	58	58	427	330	0	0	757	0	0.787
10	RLT06	210.00	230.00	83	58	814	524	0	0	1338	0	0.787
9	RLT08	190.00	210.00	107	83	1103	565	0	0	1668	0	0.787
8	RLT10	170.00	190.00	131	107	1565	862	0	0	2427	0	0.787
7	RLT12	150.00	170.00	156	131	1565	946	0	0	2511	0	0.787
6	RLT14*	130.00	150.00	180	156	1717	1070	0	0	2788	0	0.787
5	RLT16*	110.00	130.00	206	180	2154	1588	0	0	3742	0	0.787
4	RLT18*	90.00	110.00	230	206	2482	1524	0	0	4005	0	0.787
3	RLT21	60.00	90.00	266	230	4893	2972	0	0	7865	0	0.787
2	RLT24	30.00	60.00	302	266	4896	3325	0	0	8222	0	0.787
1	RLT27*	0.00	30.00	338	302	4893	3132	1372	559	9956	0	0.787
Total Mass:						26726	17024	1372	559	45681	0	

### PANEL GEOMETRY

Sec#	Pnl#	Type	SecBrcg	Mid. Horiz Continuous	Horiz Height (ft)	Bottom Width (in)	Top Width (in)	Plan Bracing	Hip Bracing	Gusset Plate Area (ft^2)	Gusset Plate Weight (lbs)
12	2	X	(None)	Yes	5.0	57.3	57.0	(None)	(None)	0.000	0.00
12	1	X	(None)	None	5.0	57.5	57.3	(None)	(None)	0.000	0.00
11	3	X	(None)	None	5.0	57.8	57.5	(None)	(None)	0.000	0.00
11	2	X	(None)	None	5.0	58.1	57.8	(None)	(None)	0.000	0.00
11	1	X	(None)	None	5.0	58.4	58.1	(None)	(None)	0.000	0.00
10	3	X	(None)	Yes	6.7	66.7	58.4	(None)	(None)	0.300	0.30
10	2	X	(None)	None	6.7	75.0	66.7	(None)	(None)	0.300	0.30
10	1	X	(None)	None	6.7	83.3	75.0	(None)	(None)	0.300	0.30
9	3	X	(None)	None	6.7	91.3	83.3	(None)	(None)	0.300	0.30
9	2	X	(None)	None	6.7	99.3	91.3	(None)	(None)	0.300	0.30
9	1	X	(None)	None	6.7	107.3	99.3	(None)	(None)	0.300	0.30
8	3	X	(None)	None	6.7	115.3	107.3	(None)	(None)	0.300	0.30
8	2	X	(None)	None	6.7	123.3	115.3	(None)	(None)	0.300	0.30
8	1	X	(None)	None	6.7	131.3	123.3	(None)	(None)	0.300	0.30
7	3	X	(None)	None	6.7	139.6	131.3	(None)	(None)	0.300	0.30
7	2	X	(None)	None	6.7	147.9	139.6	(None)	(None)	0.300	0.30
7	1	X	(None)	None	6.7	156.2	147.9	(None)	(None)	0.300	0.30
6	3	X	(None)	None	6.7	164.2	156.2	(None)	(None)	0.300	0.30
6	2	X	(None)	None	6.7	172.2	164.2	(None)	(None)	0.300	0.30
6	1	X	(None)	None	6.7	180.2	172.2	(None)	(None)	0.300	0.30
5	3	X	(None)	None	6.7	188.8	180.2	(None)	(None)	0.300	0.30
5	2	X	(None)	None	6.7	197.4	188.8	(None)	(None)	0.300	0.30
5	1	X	(None)	None	6.7	206.0	197.4	(None)	(None)	0.300	0.30
4	2	X	(None)	None	10.0	218.0	206.0	(None)	(None)	0.000	0.00
4	1	X	(None)	None	10.0	230.0	218.0	(None)	(None)	0.000	0.00
3	3	X	(None)	None	10.0	242.0	230.0	(None)	(None)	0.000	0.00
3	2	X	(None)	None	10.0	254.0	242.0	(None)	(None)	0.000	0.00
3	1	X	(None)	None	10.0	266.0	254.0	(None)	(None)	0.000	0.00
2	3	X	(None)	None	10.0	278.0	266.0	(None)	(None)	0.300	0.30
2	2	X	(None)	None	10.0	290.0	278.0	(None)	(None)	0.300	0.30
2	1	X	(None)	None	10.0	302.0	290.0	(None)	(None)	0.300	0.30



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Contract: 250084

Project: 255 FT RTL TOWER

Date and Time: 10/23/2025 3:19:29 PM

Revision: 2

Site: KY-5293 PARKWAY- KY

Engineer: AS

1	2	K	2-Subdiv.	Yes	15.0	320.0	302.0	2-Subdiv. (None)	0.000	0.00
1	1	K	2-Subdiv.	Yes	15.0	338.0	320.0	2-Subdiv. (None)	0.000	0.00

MEMBER PROPERTIES

Sec/ Member Pnl Spacing	Type	Description	Steel Grade	Conn. Type	Bolt #-Size	Bolt Grade	End Dist.	Edge Dist.	Gusset Thick.	Gusset Grade	Bolt Space	Dble Mem.
Stitch												
Bolt												
(ft)					(in)		(in)	(in)	(in)		(in)	(in)
12/2	Leg	PIPE 2.875x0.203	A500	gr.CSTension	4-0.750	A325X						
12/2	Diag	L1 3/4x1 3/4x1/8	A529	gr.50Bolted	1-0.625	A325X	1.500	0.875	0.250	A572	gr.50	
											2.000	
12/2	Horiz	L1 3/4x1 3/4x3/16	A529	gr.50Bolted	1-0.625	A325X	1.500	0.875	0.250	A572	gr.50	
											2.000	
12/1	Leg	PIPE 2.875x0.203	A500	gr.CSTension	4-0.750	A325X						
12/1	Diag	L1 3/4x1 3/4x1/8	A529	gr.50Bolted	1-0.625	A325X	1.500	0.875	0.250	A572	gr.50	
											2.000	
11/3	Leg	PIPE 3.500x0.216	A500	gr.CSTension	5-0.875	A325X						
11/3	Diag	L1 3/4x1 3/4x3/16	A529	gr.50Bolted	1-0.625	A325X	1.500	0.875	0.250	A572	gr.50	
											2.000	
11/2	Leg	PIPE 3.500x0.216	A500	gr.CSTension	5-0.875	A325X						
11/2	Diag	L1 3/4x1 3/4x3/16	A529	gr.50Bolted	1-0.625	A325X	1.500	0.875	0.250	A572	gr.50	
											2.000	
11/1	Leg	PIPE 3.500x0.216	A500	gr.CSTension	5-0.875	A325X						
11/1	Diag	L1 3/4x1 3/4x3/16	A529	gr.50Bolted	1-0.625	A325X	1.500	0.875	0.250	A572	gr.50	
											2.000	
10/3	Leg	PIPE 4.500x0.237	A500	gr.CSTension	5-1.000	A325X						
10/3	Diag	L2x2x3/16	A529	gr.50Bolted	1-0.625	A325X	1.500	1.000	0.250	A572	gr.50	
											2.000	
10/3	Horiz	L1 3/4x1 3/4x3/16	A529	gr.50Bolted	1-0.625	A325X	1.500	0.875	0.250	A572	gr.50	
											2.000	
10/2	Leg	PIPE 4.500x0.237	A500	gr.CSTension	5-1.000	A325X						
10/2	Diag	L2x2x3/16	A529	gr.50Bolted	1-0.625	A325X	1.500	1.000	0.250	A572	gr.50	
											2.000	
10/1	Leg	PIPE 4.500x0.237	A500	gr.CSTension	5-1.000	A325X						
10/1	Diag	L2x2x3/16	A529	gr.50Bolted	1-0.625	A325X	1.500	1.000	0.250	A572	gr.50	
											2.000	
9/3	Leg	PIPE 5.563x0.258	A500	gr.CSTension	5-1.000	A325X						
9/3	Diag	L2x2x3/16	A529	gr.50Bolted	1-0.625	A325X	1.500	1.000	0.250	A572	gr.50	
											2.000	
9/2	Leg	PIPE 5.563x0.258	A500	gr.CSTension	5-1.000	A325X						
9/2	Diag	L2x2x3/16	A529	gr.50Bolted	1-0.625	A325X	1.500	1.000	0.250	A572	gr.50	
											2.000	
9/1	Leg	PIPE 5.563x0.258	A500	gr.CSTension	5-1.000	A325X						
9/1	Diag	L2x2x3/16	A529	gr.50Bolted	1-0.625	A325X	1.500	1.000	0.250	A572	gr.50	
											2.000	
8/3	Leg	PIPE 5.563x0.375	A500	gr.CSTension	5-1.000	A325X						
8/3	Diag	L2x2x1/4	A529	gr.50Bolted	1-0.625	A325X	1.500	1.000	0.250	A572	gr.50	
											2.000	
8/2	Leg	PIPE 5.563x0.375	A500	gr.CSTension	5-1.000	A325X						
8/2	Diag	L2x2x1/4	A529	gr.50Bolted	1-0.625	A325X	1.500	1.000	0.250	A572	gr.50	
											2.000	
8/1	Leg	PIPE 5.563x0.375	A500	gr.CSTension	5-1.000	A325X						
8/1	Diag	L2x2x1/4	A529	gr.50Bolted	1-0.625	A325X	1.500	1.000	0.250	A572	gr.50	
											2.000	



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7/3	Leg	PIPE 5.563x0.375	A500	gr.CSTension	6-1.000	A325X						
7/3	Diag	L2 1/2x2 1/2x3/16	A529	gr.50Bolted	1-0.625	A325X	1.500	1.250	0.250	A572	gr.50	
											2.000	
7/2	Leg	PIPE 5.563x0.375	A500	gr.CSTension	6-1.000	A325X						
7/2	Diag	L2 1/2x2 1/2x3/16	A529	gr.50Bolted	1-0.625	A325X	1.500	1.250	0.250	A572	gr.50	
											2.000	
7/1	Leg	PIPE 5.563x0.375	A500	gr.CSTension	6-1.000	A325X						
7/1	Diag	L2 1/2x2 1/2x3/16	A529	gr.50Bolted	1-0.625	A325X	1.500	1.250	0.250	A572	gr.50	
											2.000	
6/3	Leg	PIPE 6.625x0.340	A500	gr.CSTension	6-1.000	A325X						
6/3	Diag	L2 1/2x2 1/2x3/16	A529	gr.50Bolted	1-0.625	A325X	1.500	1.250	0.250	A572	gr.50	
											2.000	
6/2	Leg	PIPE 6.625x0.340	A500	gr.CSTension	6-1.000	A325X						
6/2	Diag	L2 1/2x2 1/2x3/16	A529	gr.50Bolted	1-0.625	A325X	1.500	1.250	0.250	A572	gr.50	
											2.000	
6/1	Leg	PIPE 6.625x0.340	A500	gr.CSTension	6-1.000	A325X						
6/1	Diag	L2 1/2x2 1/2x3/16	A529	gr.50Bolted	1-0.625	A325X	1.500	1.250	0.250	A572	gr.50	
											2.000	
5/3	Leg	PIPE 6.625x0.432	A500	gr.CSTension	6-1.500	A325X						
5/3	Diag	L2 1/2x2 1/2x1/4	A529	gr.50Bolted	2-0.625	A325X	1.125	1.250	0.375	A572	gr.50	
											2.000	
5/2	Leg	PIPE 6.625x0.432	A500	gr.CSTension	6-1.500	A325X						
5/2	Diag	L2 1/2x2 1/2x1/4	A529	gr.50Bolted	2-0.625	A325X	1.125	1.250	0.375	A572	gr.50	
											2.000	
5/1	Leg	PIPE 6.625x0.432	A500	gr.CSTension	6-1.500	A325X						
5/1	Diag	L2 1/2x2 1/2x1/4	A529	gr.50Bolted	2-0.625	A325X	1.125	1.250	0.375	A572	gr.50	
											2.000	
4/2	Leg	PIPE 8.625x0.375	A500	gr.CSTension	6-1.500	A325X						
4/2	Diag	L3x3x1/4	A529	gr.50Bolted	2-0.625	A325X	1.125	1.500	0.375	A572	gr.50	
											2.000	
4/1	Leg	PIPE 8.625x0.375	A500	gr.CSTension	6-1.500	A325X						
4/1	Diag	L3x3x1/4	A529	gr.50Bolted	2-0.625	A325X	1.125	1.500	0.375	A572	gr.50	
											2.000	
3/3	Leg	PIPE 8.625x0.500	A500	gr.CSTension	6-1.500	A325X						
3/3	Diag	L3 1/2x3 1/2x1/4	A529	gr.50Bolted	2-0.625	A325X	1.125	1.750	0.375	A572	gr.50	
											2.000	
3/2	Leg	PIPE 8.625x0.500	A500	gr.CSTension	6-1.500	A325X						
3/2	Diag	L3 1/2x3 1/2x1/4	A529	gr.50Bolted	2-0.625	A325X	1.125	1.750	0.375	A572	gr.50	
											2.000	
3/1	Leg	PIPE 8.625x0.500	A500	gr.CSTension	6-1.500	A325X						
3/1	Diag	L3 1/2x3 1/2x1/4	A529	gr.50Bolted	2-0.625	A325X	1.125	1.750	0.375	A572	gr.50	
											2.000	
2/3	Leg	PIPE 8.625x0.500	A500	gr.CSTension	6-1.500	A325X						
2/3	Diag	L3 1/2x3 1/2x1/4	A529	gr.50Bolted	2-0.625	A325X	1.125	1.750	0.375	A572	gr.50	
											2.000	
2/2	Leg	PIPE 8.625x0.500	A500	gr.CSTension	6-1.500	A325X						
2/2	Diag	L3 1/2x3 1/2x1/4	A529	gr.50Bolted	2-0.625	A325X	1.125	1.750	0.375	A572	gr.50	
											2.000	
2/1	Leg	PIPE 8.625x0.500	A500	gr.CSTension	6-1.500	A325X						
2/1	Diag	L3 1/2x3 1/2x1/4	A529	gr.50Bolted	2-0.625	A325X	1.125	1.750	0.375	A572	gr.50	
											2.000	
1/2	Leg	PIPE 8.625x0.500	A500	gr.CSTension	6-1.500	A325X						
1/2	Diag	L4x4x1/4	A529	gr.50Bolted	2-0.625	A325X	1.125	2.000	0.375	A572	gr.50	
											2.000	
1/2	Horiz	L3 1/2x3 1/2x1/4	A529	gr.50Bolted	2-0.625	A325X	1.125	1.750	0.375	A572	gr.50	
											2.000	
1/2	SecD1	L3x3x1/4	A529	gr.50Bolted	1-0.625	A325X	1.500	1.500	0.250	A572	gr.50	
											2.000	
1/2	SecH1	L3x3x1/4	A529	gr.50Bolted	1-0.625	A325X	1.500	1.500	0.250	A572	gr.50	
											2.000	



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1/2	PlanH1	L3 1/2x3 1/2x1/4	A529 gr.50Bolted	1-0.625	A325X	1.500	1.750	0.250	A572 gr.50	2.000
1/1	Leg	PIPE 8.625x0.500	A500 gr.CSTension	6-1.500	A325X					
1/1	Diag	L4x4x1/4	A529 gr.50Bolted	2-0.625	A325X	1.125	2.000	0.375	A572 gr.50	2.000
1/1	Horiz	L3 1/2x3 1/2x1/4	A529 gr.50Bolted	2-0.625	A325X	1.125	1.750	0.375	A572 gr.50	2.000
1/1	SecD1	L3x3x1/4	A529 gr.50Bolted	1-0.625	A325X	1.500	1.500	0.250	A572 gr.50	2.000
1/1	SecH1	L3x3x1/4	A529 gr.50Bolted	1-0.625	A325X	1.500	1.500	0.250	A572 gr.50	2.000
1/1	PlanH1	L3 1/2x3 1/2x1/4	A529 gr.50Bolted	1-0.625	A325X	1.500	1.750	0.250	A572 gr.50	2.000



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### Section C: ANTENNA DATA

Structure Azimuth from North: 0

#### ANTENNAS

Ant No.	Elev. (ft)	Antenna (#) Type	Ant. Azim.	Mount. Radius (ft)	Mount Type	Mount Azim.	Tx Line (#)Type	Mounting Pipe Size Length (ft) (in) Full Shielded	Ka
1	219.00	(1) SD6ft TIA w/o radome	0	4.00		0			
		Vert. Offset 0.00 (ft)							

#### ANTENNA AND MOUNT WIND AREAS AND WEIGHTS

Ant No.	Antenna/Mount	Frontal Bare Area (ft)^2	Lateral Bare Area (ft)^2	Frontal Iced Area (ft)^2	Lateral Iced Area (ft)^2	Weight Bare (lbs)	Weight Iced (lbs)	Frequency GHz	Allowable Signal Loss dB	Gh Ka
1	SD6ft TIA w/o radome	43.85	1.19	43.85	1.19	140.00	732.78	6.00	10	0.85



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#### Section D: TRANSMISSION LINE DATA

##### Transmission Lines Position

No.	Bot El (ft)	Top El (ft)	Desc.	Radius (ft)	Az.	Orient.	No.	No. of Rows	Vert.	Antenna	User Ka
1	0.00	255.00	3/8 CABLE	16.50	0.00	0.00	1	1	Yes		
2	0.00	255.00	RC0.75-Cnd	13.67	60.00	5.00	1	1	No		
3	0.00	250.00	TX Ladder	9.05	60.00	30.00	1	1	No		
4	0.00	250.00	LDF7P-50A	9.05	60.00	30.00	18	2	No		
5	0.00	239.00	TX Ladder	9.05	180.00	150.00	1	1	No		
6	0.00	239.00	LDF7P-50A	9.05	180.00	150.00	12	2	No		
7	0.00	229.00	TX Ladder	9.05	300.00	270.00	1	1	No		
8	219.00	229.00	LDF7P-50A	2.00	300.00	270.00	12	2	No		
9	0.00	219.00	LDF7P-50A	9.39	300.00	270.00	13	2	No		

##### Transmission Lines Details

No.	Desc.	Width (in)	Depth (in)	Unit Mass (lb/ft)	Line Spacing (in)	Row Spacing (in)
1	3/8 CABLE	0.38	0.38	1.00	2.750	2.750
2	RC0.75-Cnd	1.05	1.05	1.09	2.750	2.750
3	TX Ladder	4.70	1.50	4.00	2.750	2.750
4	LDF7P-50A	2.01	2.01	0.92	2.250	2.750
5	TX Ladder	4.70	1.50	4.00	2.750	2.750
6	LDF7P-50A	2.01	2.01	0.92	2.250	2.750
7	TX Ladder	4.70	1.50	4.00	2.750	2.750
8	LDF7P-50A	2.01	2.01	0.92	2.250	2.750
9	LDF7P-50A	2.01	2.01	0.92	2.250	2.750



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Engineer: AS

## Section F: POINT LOAD DATA

Structure Azimuth from North:0.00

### POINT LOADS

No.	Description	Elev.	Radius	Azim.	Orient.	Vertical Offset	Tx Line	Comments
		(ft)	(ft)	(Deg)	(Deg)	(ft)		
1	BEACON & LR	255.00	1.00	0.0	0.0	0.00		
2	42,000 SQ-IN MAX EPA	250.00	1.00	0.0	0.0	0.00		
3	30,000 SQ-IN MAX EPA	239.00	1.00	0.0	0.0	0.00		
4	30,000 SQ-IN MAX EPA	229.00	1.00	0.0	0.0	0.00		

### POINT LOADS WIND AREAS AND WEIGHTS

No.	Description	Frontal Bare Area	Lateral Bare Area	Frontal Iced Area	Lateral Iced Area	Weight Bare	Weight Iced	Gh
		(ft^2)	(ft^2)	(ft^2)	(ft^2)	(Kips)	(Kips)	
1	BEACON & LR	5.00	5.00	10.00	10.00	0.25	0.50	0.85
2	42,000 SQ-IN MAX EPA	239.17	239.17	478.33	478.33	4.00	12.00	0.85
3	30,000 SQ-IN MAX EPA	170.83	170.83	341.67	341.67	3.00	9.00	0.85
4	30,000 SQ-IN MAX EPA	170.83	170.83	341.67	341.67	3.00	9.00	0.85



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#### Section H: STRUCTURE DISPLACEMENT DATA

Load Combination Wind Only - Serviceability

Wind Direction

Maximum displacements

Node	Elev. (ft)	N-S Disp (in)	W-E Disp (in)	Vert.Disp (in)	N-S Rot (Deg)	W-E Rot (Deg)	Twist (Deg)
108	255.0	13.5	13.2	-0.1	0.62	0.59	-0.20
105	250.0	12.9	12.6	-0.1	0.64	0.61	0.21
102	245.0	12.2	11.9	-0.1	0.61	0.59	0.18
99	240.0	11.6	11.3	-0.1	0.62	0.60	-0.19
96	235.0	10.9	10.7	-0.1	0.59	0.57	0.16
93	230.0	10.3	10.1	-0.1	0.57	0.55	-0.15
90	223.3	9.5	9.3	-0.1	0.53	0.51	0.11
87	216.7	8.8	8.6	-0.1	0.50	0.48	-0.10
84	210.0	8.1	7.9	-0.1	0.46	0.45	0.08
81	203.3	7.5	7.3	-0.1	0.43	0.42	-0.07
78	196.7	6.8	6.7	-0.1	0.40	0.39	0.06
75	190.0	6.3	6.2	-0.1	0.37	0.36	-0.05
72	183.3	5.8	5.7	-0.1	0.36	0.35	0.05
69	176.7	5.3	5.2	-0.1	0.33	0.32	-0.04
66	170.0	4.8	4.7	-0.1	0.32	0.31	0.04
63	163.3	4.4	4.3	-0.1	0.29	0.28	-0.03
60	156.7	4.0	3.9	-0.1	0.28	0.27	0.03
57	150.0	3.6	3.5	-0.1	0.25	0.24	0.02
54	143.3	3.2	3.2	-0.1	0.24	0.24	0.03
51	136.7	2.9	2.9	-0.1	0.21	0.21	0.02
48	130.0	2.6	2.6	-0.1	0.20	0.20	0.02
45	123.3	2.3	2.3	-0.1	0.18	0.17	0.01
42	116.7	2.1	2.0	-0.1	0.18	0.17	0.02
39	110.0	1.8	1.8	-0.1	0.15	0.15	0.01
36	100.0	1.5	1.5	-0.1	0.14	0.13	0.01
33	90.0	1.2	1.2	-0.1	0.12	0.12	0.01
30	80.0	1.0	1.0	0.0	0.11	0.10	0.01
27	70.0	0.8	0.7	0.0	0.09	0.09	0.01
24	60.0	0.6	0.6	0.0	0.08	0.08	0.00
21	50.0	0.4	0.4	0.0	0.07	0.07	0.00
18	40.0	0.3	0.3	0.0	0.05	0.05	0.00
14	30.0	0.1	-0.1	0.0	0.03	0.03	0.00
8	15.0	0.0	0.0	0.0	0.01	-0.01	0.00
3	0.0	0.0	0.0	0.0	0.00	0.00	0.00



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#### Section J: ANTENNA DISPLACEMENT DATA

Load Combination Wind Only - Serviceability

Wind Direction		Maximum displacements						
Ant.	Elev. (ft)	N-S Disp (in)	W-E Disp (in)	Vert.Disp (in)	N-S Rot (Deg)	W-E Rot (Deg)	Twist Tot (Deg)	Allow. (Deg)
1	219.00	9.0	8.9	-0.1	0.51	0.49	0.10	1.48



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#### Section L: STRENGTH ASSESSMENT SORTED DATA

Load Combination

Max Envelope

Wind Direction

Maximum

Sec	Pnl	Elev.	MType	Desc.	Len	kl/r	Gov.	Gov.	Max	Max	Asses.
		(ft)			(ft)		comp.	tens.	Compr.	Tens.	Ratio
							cap.	cap.	(Kips)	(Kips)	
							(Kips)	(Kips)			
12	2	250.00	Leg	PIPE 2.875x0.203	5.00	63.4	57.1	76.5	1.6	1.4	0.03
12	1	245.00	Leg	PIPE 2.875x0.203	5.00	63.4	57.1	76.5	9.2	4.4	0.16
11	3	240.00	Leg	PIPE 3.500x0.216	5.00	51.7	82.5	100.4	18.5	14.4	0.22
11	2	235.00	Leg	PIPE 3.500x0.216	5.00	51.7	82.5	100.4	32.7	26.4	0.40
11	1	230.00	Leg	PIPE 3.500x0.216	5.00	51.7	82.5	100.4	51.4	44.6	0.62
10	3	223.33	Leg	PIPE 4.500x0.237	6.68	53.1	116.1	142.6	71.4	62.7	0.62
10	2	216.67	Leg	PIPE 4.500x0.237	6.68	53.1	116.1	142.6	93.9	84.1	0.81
10	1	210.00	Leg	PIPE 4.500x0.237	6.68	53.1	116.1	142.6	111.6	101.7	0.96
9	3	203.33	Leg	PIPE 5.563x0.258	6.68	42.6	169.4	193.5	129.5	118.6	0.76
9	2	196.67	Leg	PIPE 5.563x0.258	6.68	42.6	169.4	193.5	144.7	132.8	0.85
9	1	190.00	Leg	PIPE 5.563x0.258	6.68	42.6	169.4	193.5	160.2	146.8	0.95
8	3	183.33	Leg	PIPE 5.563x0.375	6.68	43.6	239.4	275.0	173.3	158.8	0.72
8	2	176.67	Leg	PIPE 5.563x0.375	6.68	43.6	239.4	275.0	186.9	170.8	0.78
8	1	170.00	Leg	PIPE 5.563x0.375	6.68	43.6	239.4	275.0	198.8	181.5	0.83
7	3	163.33	Leg	PIPE 5.563x0.375	6.68	43.6	239.3	275.0	210.7	192.0	0.88
7	2	156.67	Leg	PIPE 5.563x0.375	6.68	43.6	239.3	275.0	221.5	201.4	0.93
7	1	150.00	Leg	PIPE 5.563x0.375	6.68	43.6	239.3	275.0	232.4	210.9	0.97
6	3	143.33	Leg	PIPE 6.625x0.340	6.68	36.0	274.8	302.1	242.9	220.0	0.88
6	2	136.67	Leg	PIPE 6.625x0.340	6.68	36.0	274.8	302.1	253.5	229.2	0.92
6	1	130.00	Leg	PIPE 6.625x0.340	6.68	36.0	274.8	302.1	264.0	238.3	<u>0.96</u>
5	3	123.33	Leg	PIPE 6.625x0.432	6.68	36.4	343.5	378.5	273.9	246.6	<u>0.80</u>
5	2	116.67	Leg	PIPE 6.625x0.432	6.68	36.4	343.5	378.5	283.7	254.7	0.83
5	1	110.00	Leg	PIPE 6.625x0.432	6.68	36.4	343.5	378.5	292.8	262.3	0.85
4	2	100.00	Leg	PIPE 8.625x0.375	10.02	41.2	386.4	437.4	305.5	272.6	0.79
4	1	90.00	Leg	PIPE 8.625x0.375	10.02	41.2	386.4	437.4	319.7	284.5	0.83
3	3	80.00	Leg	PIPE 8.625x0.500	10.02	41.7	505.5	574.2	335.4	297.1	0.66
3	2	70.00	Leg	PIPE 8.625x0.500	10.02	41.7	505.5	574.2	349.8	308.5	0.69
3	1	60.00	Leg	PIPE 8.625x0.500	10.02	41.7	505.5	574.2	365.2	320.7	0.72
2	3	50.00	Leg	PIPE 8.625x0.500	10.02	41.7	505.5	574.2	379.5	332.0	0.75
2	2	40.00	Leg	PIPE 8.625x0.500	10.02	41.7	505.5	574.2	394.7	343.9	0.78
2	1	30.00	Leg	PIPE 8.625x0.500	10.02	41.7	505.5	574.2	408.9	354.9	0.81
1	2	15.00	Leg	PIPE 8.625x0.500	15.02	31.3	534.5	574.2	417.7	359.9	0.78
1	1	0.00	Leg	PIPE 8.625x0.500	15.02	31.3	534.5	574.2	439.6	376.4	0.82
12	2	250.00	Diag	L1 3/4x1 3/4x1/8	6.90	106.8	10.5	7.1	2.3	2.3	0.32
12	1	245.00	Diag	L1 3/4x1 3/4x1/8	6.92	107.1	10.5	7.1	4.6	4.6	0.65
11	3	240.00	Diag	L1 3/4x1 3/4x3/16	6.94	108.6	15.0	10.7	4.9	4.9	0.46
11	2	235.00	Diag	L1 3/4x1 3/4x3/16	6.95	108.9	15.0	10.7	8.0	8.0	0.75
11	1	230.00	Diag	L1 3/4x1 3/4x3/16	6.97	109.1	14.9	10.7	8.6	8.6	0.81
10	3	223.33	Diag	L2x2x3/16	8.47	118.4	14.5	11.8	10.7	10.1	0.86
10	2	216.67	Diag	L2x2x3/16	8.91	125.5	12.9	11.8	9.1	9.7	0.82
10	1	210.00	Diag	L2x2x3/16	9.38	133.5	11.4	11.8	9.1	8.7	0.80
9	3	203.33	Diag	L2x2x3/16	9.87	139.3	10.5	11.8	8.0	8.4	0.76
9	2	196.67	Diag	L2x2x3/16	10.37	147.6	9.3	11.8	8.0	7.6	0.86
9	1	190.00	Diag	L2x2x3/16	10.89	155.9	8.4	11.8	7.2	7.4	0.86
8	3	183.33	Diag	L2x2x1/4	11.43	164.5	9.9	15.7	7.3	6.9	0.73
8	2	176.67	Diag	L2x2x1/4	11.97	173.2	9.0	15.7	6.8	6.9	0.75
8	1	170.00	Diag	L2x2x1/4	12.53	182.0	8.1	15.7	6.9	6.6	0.86
7	3	163.33	Diag	L2 1/2x2 1/2x3/16	13.11	152.0	11.2	14.1	6.4	6.4	0.57
7	2	156.67	Diag	L2 1/2x2 1/2x3/16	13.71	159.5	10.1	14.1	6.5	6.4	0.65
7	1	150.00	Diag	L2 1/2x2 1/2x3/16	14.32	167.1	9.2	14.1	6.4	6.4	0.70
6	3	143.33	Diag	L2 1/2x2 1/2x3/16	14.93	173.2	8.6	14.1	6.8	6.7	0.79
6	2	136.67	Diag	L2 1/2x2 1/2x3/16	15.53	180.7	7.9	14.1	6.8	6.9	0.87
6	1	130.00	Diag	L2 1/2x2 1/2x3/16	16.13	188.2	7.3	14.1	7.0	6.9	0.96
5	3	123.33	Diag	L2 1/2x2 1/2x1/4	16.76	177.2	10.8	25.0	6.7	6.5	0.61





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Contract: 250084

Project: 255 FT RTL TOWER

Date and Time: 10/23/2025 3:19:29 PM

Revision: 2

Site: KY-5293 PARKWAY- KY

Engineer: AS

5	2	116.67	Diag	L2 1/2x2 1/2x1/4	17.42	183.4	10.1	25.0	6.6	6.6	0.66
5	1	110.00	Diag	L2 1/2x2 1/2x1/4	18.08	189.7	9.5	25.0	6.9	6.7	0.73
4	2	100.00	Diag	L3x3x1/4	20.30	178.6	12.9	28.1	8.1	8.2	0.63
4	1	90.00	Diag	L3x3x1/4	21.18	185.5	12.0	28.1	8.6	8.3	0.71
3	3	80.00	Diag	L3 1/2x3 1/2x1/4	22.06	168.6	17.0	31.1	8.5	8.5	0.50
3	2	70.00	Diag	L3 1/2x3 1/2x1/4	22.96	174.6	15.9	31.1	8.9	8.7	0.56
3	1	60.00	Diag	L3 1/2x3 1/2x1/4	23.86	180.6	14.8	31.1	9.0	9.0	0.61
2	3	50.00	Diag	L3 1/2x3 1/2x1/4	24.77	186.8	13.9	31.1	9.3	9.2	0.67
2	2	40.00	Diag	L3 1/2x3 1/2x1/4	25.69	192.9	13.0	31.1	9.5	9.5	0.73
2	1	30.00	Diag	L3 1/2x3 1/2x1/4	26.62	199.1	12.2	31.1	9.7	9.6	0.80
1	2	15.00	Diag	L4x4x1/4	20.07	177.0	17.7	34.1	14.4	14.4	0.81
1	1	0.00	Diag	L4x4x1/4	20.58	181.9	16.8	34.1	14.4	14.4	0.86
12	2	250.00	Horiz	L1 3/4x1 3/4x3/16	4.75	145.7	8.4	10.7	1.5	1.5	0.18
10	3	223.33	Horiz	L1 3/4x1 3/4x3/16	4.87	145.1	8.4	10.7	1.7	1.6	0.20
1	2	15.00	Horiz	L3 1/2x3 1/2x1/4	12.58	174.3	15.9	31.1	9.6	9.5	0.60
1	1	0.00	Horiz	L3 1/2x3 1/2x1/4	13.33	182.4	14.5	31.1	10.0	9.8	0.68
1	2	15.00	SecH1	L3x3x1/4	6.29	128.0	17.2	17.2	7.2	7.2	0.42
1	2	15.00	SecD1	L3x3x1/4	9.55	194.3	10.9	17.2	5.8	5.8	0.53
1	2	15.00	PlanH1	L3 1/2x3 1/2x1/4	12.58	218.8	10.1	17.2	0.1	0.1	0.01
1	1	0.00	SecH1	L3x3x1/4	6.67	135.6	17.2	17.2	7.6	7.6	0.44
1	1	0.00	SecD1	L3x3x1/4	9.79	199.1	10.4	17.2	5.9	5.9	0.57
1	1	0.00	PlanH1	L3 1/2x3 1/2x1/4	13.33	231.9	9.0	17.2	0.1	0.1	0.01

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Contract: 250084

Project: 255 FT RTL TOWER

Date and Time: 10/23/2025 3:19:29 PM

Revision: 2

Site: KY-5293 PARKWAY- KY

Engineer: AS

# Section M: SECTION PROPERTIES DATA

Sec	Pan	Memb.	Steel	Conn.	Bolts	Bolt	Bolt	End	Gusset	kl/r	Comp	Tens	Bolt	Bear.	Block
		Type	Grade	Type	Bolts	Size	Grade	Dist.	Thick.		Cap.	Cap.	Cap.	Cap.	Shear
						(in)		(in)	(in)		(Kips)	(Kips)	(Kips)	(Kips)	(Kips)
12	2	Leg	A500 gr.CS	Tension	4	0.750	A325X	1.125	N/A	63.4	57.1	76.5	121.7T	N/A	N/A
12	2	Diag	A529 gr.50	Bolted	1	0.625	A325X	1.500	0.250	106.8	10.5	11.9	17.2S	9.8	7.1
12	2	Horiz	A529 gr.50	Bolted	1	0.625	A325X	1.500	0.250	145.7	8.4	17.4	17.2S	14.7	10.7
12	1	Leg	A500 gr.CS	Tension	4	0.750	A325X	1.125	N/A	63.4	57.1	76.5	121.7T	N/A	N/A
12	1	Diag	A529 gr.50	Bolted	1	0.625	A325X	1.500	0.250	107.1	10.5	11.9	17.2S	9.8	7.1
11	3	Leg	A500 gr.CS	Tension	5	0.875	A325X	1.313	N/A	51.7	82.5	100.4	209.9T	N/A	N/A
11	3	Diag	A529 gr.50	Bolted	1	0.625	A325X	1.500	0.250	108.6	15.0	17.4	17.2S	14.7	10.7
11	2	Leg	A500 gr.CS	Tension	5	0.875	A325X	1.313	N/A	51.7	82.5	100.4	209.9T	N/A	N/A
11	2	Diag	A529 gr.50	Bolted	1	0.625	A325X	1.500	0.250	108.9	15.0	17.4	17.2S	14.7	10.7
11	1	Leg	A500 gr.CS	Tension	5	0.875	A325X	1.313	N/A	51.7	82.5	100.4	209.9T	N/A	N/A
11	1	Diag	A529 gr.50	Bolted	1	0.625	A325X	1.500	0.250	109.1	14.9	17.4	17.2S	14.7	10.7
10	3	Leg	A500 gr.CS	Tension	5	1.000	A325X	2.400	N/A	53.1	116.1	142.6	275.3T	N/A	N/A
10	3	Diag	A529 gr.50	Bolted	1	0.625	A325X	1.500	0.250	118.4	14.5	20.7	17.2S	14.7	11.8
10	3	Horiz	A529 gr.50	Bolted	1	0.625	A325X	1.500	0.250	145.1	8.4	17.4	17.2S	14.7	10.7
10	2	Leg	A500 gr.CS	Tension	5	1.000	A325X	2.400	N/A	53.1	116.1	142.6	275.3T	N/A	N/A
10	2	Diag	A529 gr.50	Bolted	1	0.625	A325X	1.500	0.250	125.5	12.9	20.7	17.2S	14.7	11.8
10	1	Leg	A500 gr.CS	Tension	5	1.000	A325X	2.400	N/A	53.1	116.1	142.6	275.3T	N/A	N/A
10	1	Diag	A529 gr.50	Bolted	1	0.625	A325X	1.500	0.250	133.5	11.4	20.7	17.2S	14.7	11.8
9	3	Leg	A500 gr.CS	Tension	5	1.000	A325X	2.400	N/A	42.6	169.4	193.5	275.3T	N/A	N/A
9	3	Diag	A529 gr.50	Bolted	1	0.625	A325X	1.500	0.250	139.3	10.5	20.7	17.2S	14.7	11.8
9	2	Leg	A500 gr.CS	Tension	5	1.000	A325X	2.400	N/A	42.6	169.4	193.5	275.3T	N/A	N/A
9	2	Diag	A529 gr.50	Bolted	1	0.625	A325X	1.500	0.250	147.6	9.3	20.7	17.2S	14.7	11.8
9	1	Leg	A500 gr.CS	Tension	5	1.000	A325X	2.400	N/A	42.6	169.4	193.5	275.3T	N/A	N/A
9	1	Diag	A529 gr.50	Bolted	1	0.625	A325X	1.500	0.250	155.9	8.4	20.7	17.2S	14.7	11.8
8	3	Leg	A500 gr.CS	Tension	5	1.000	A325X	2.400	N/A	43.6	239.4	275.0	275.3T	N/A	N/A
8	3	Diag	A529 gr.50	Bolted	1	0.625	A325X	1.500	0.250	164.5	9.9	27.3	17.2S	19.5	15.7
8	2	Leg	A500 gr.CS	Tension	5	1.000	A325X	2.400	N/A	43.6	239.4	275.0	275.3T	N/A	N/A
8	2	Diag	A529 gr.50	Bolted	1	0.625	A325X	1.500	0.250	173.2	9.0	27.3	17.2S	19.5	15.7
8	1	Leg	A500 gr.CS	Tension	5	1.000	A325X	2.400	N/A	43.6	239.4	275.0	275.3T	N/A	N/A
8	1	Diag	A529 gr.50	Bolted	1	0.625	A325X	1.500	0.250	182.0	8.1	27.3	17.2S	19.5	15.7
7	3	Leg	A500 gr.CS	Tension	6	1.000	A325X	2.400	N/A	43.6	239.3	275.0	330.3T	N/A	N/A
7	3	Diag	A529 gr.50	Bolted	1	0.625	A325X	1.500	0.250	152.0	11.2	27.7	17.2S	14.7	14.1
7	2	Leg	A500 gr.CS	Tension	6	1.000	A325X	2.400	N/A	43.6	239.3	275.0	330.3T	N/A	N/A
7	2	Diag	A529 gr.50	Bolted	1	0.625	A325X	1.500	0.250	159.5	10.1	27.7	17.2S	14.7	14.1
7	1	Leg	A500 gr.CS	Tension	6	1.000	A325X	2.400	N/A	43.6	239.3	275.0	330.3T	N/A	N/A
7	1	Diag	A529 gr.50	Bolted	1	0.625	A325X	1.500	0.250	167.1	9.2	27.7	17.2S	14.7	14.1
6	3	Leg	A500 gr.CS	Tension	6	1.000	A325X	2.400	N/A	36.0	274.8	302.1	330.3T	N/A	N/A
6	3	Diag	A529 gr.50	Bolted	1	0.625	A325X	1.500	0.250	173.2	8.6	27.7	17.2S	14.7	14.1
6	2	Leg	A500 gr.CS	Tension	6	1.000	A325X	2.400	N/A	36.0	274.8	302.1	330.3T	N/A	N/A
6	2	Diag	A529 gr.50	Bolted	1	0.625	A325X	1.500	0.250	180.7	7.9	27.7	17.2S	14.7	14.1
6	1	Leg	A500 gr.CS	Tension	6	1.000	A325X	2.400	N/A	36.0	274.8	302.1	330.3T	N/A	N/A
6	1	Diag	A529 gr.50	Bolted	1	0.625	A325X	1.500	0.250	188.2	7.3	27.7	17.2S	14.7	14.1
5	3	Leg	A500 gr.CS	Tension	6	1.500	A325X	3.600	N/A	36.4	343.5	378.5	765.3T	N/A	N/A
5	3	Diag	A529 gr.50	Bolted	2	0.625	A325X	1.125	0.375	177.2	10.8	36.5	34.5S	34.1	25.0
5	2	Leg	A500 gr.CS	Tension	6	1.500	A325X	3.600	N/A	36.4	343.5	378.5	765.3T	N/A	N/A
5	2	Diag	A529 gr.50	Bolted	2	0.625	A325X	1.125	0.375	183.4	10.1	36.5	34.5S	34.1	25.0
5	1	Leg	A500 gr.CS	Tension	6	1.500	A325X	3.600	N/A	36.4	343.5	378.5	765.3T	N/A	N/A
5	1	Diag	A529 gr.50	Bolted	2	0.625	A325X	1.125	0.375	189.7	9.5	36.5	34.5S	34.1	25.0
4	2	Leg	A500 gr.CS	Tension	6	1.500	A325X	3.600	N/A	41.2	386.4	437.4	765.3T	N/A	N/A
4	2	Diag	A529 gr.50	Bolted	2	0.625	A325X	1.125	0.375	178.6	12.9	45.6	34.5S	34.1	28.1



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Contract: 250084

Project: 255 FT RTL TOWER

Date and Time: 10/23/2025 3:19:29 PM

Revision: 2

Site: KY-5293 PARKWAY- KY

Engineer: AS

4	1	Leg	A500	gr.CS	Tension	6	1.500	A325X	3.600	N/A	41.2	386.4	437.4	765.3T	N/A	N/A
4	1	Diag	A529	gr.50	Bolted	2	0.625	A325X	1.125	0.375	185.5	12.0	45.6	34.5S	34.1	28.1
3	3	Leg	A500	gr.CS	Tension	6	1.500	A325X	3.600	N/A	41.7	505.5	574.2	765.3T	N/A	N/A
3	3	Diag	A529	gr.50	Bolted	2	0.625	A325X	1.125	0.375	168.6	17.0	54.8	34.5S	34.1	31.1
3	2	Leg	A500	gr.CS	Tension	6	1.500	A325X	3.600	N/A	41.7	505.5	574.2	765.3T	N/A	N/A
3	2	Diag	A529	gr.50	Bolted	2	0.625	A325X	1.125	0.375	174.6	15.9	54.8	34.5S	34.1	31.1
3	1	Leg	A500	gr.CS	Tension	6	1.500	A325X	3.600	N/A	41.7	505.5	574.2	765.3T	N/A	N/A
3	1	Diag	A529	gr.50	Bolted	2	0.625	A325X	1.125	0.375	180.6	14.8	54.8	34.5S	34.1	31.1
2	3	Leg	A500	gr.CS	Tension	6	1.500	A325X	3.600	N/A	41.7	505.5	574.2	765.3T	N/A	N/A
2	3	Diag	A529	gr.50	Bolted	2	0.625	A325X	1.125	0.375	186.8	13.9	54.8	34.5S	34.1	31.1
2	2	Leg	A500	gr.CS	Tension	6	1.500	A325X	3.600	N/A	41.7	505.5	574.2	765.3T	N/A	N/A
2	2	Diag	A529	gr.50	Bolted	2	0.625	A325X	1.125	0.375	192.9	13.0	54.8	34.5S	34.1	31.1
2	1	Leg	A500	gr.CS	Tension	6	1.500	A325X	3.600	N/A	41.7	505.5	574.2	765.3T	N/A	N/A
2	1	Diag	A529	gr.50	Bolted	2	0.625	A325X	1.125	0.375	199.1	12.2	54.8	34.5S	34.1	31.1
1	2	Leg	A500	gr.CS	Tension	6	1.500	A325X	3.600	N/A	31.3	534.5	574.2	765.3T	N/A	N/A
1	2	Diag	A529	gr.50	Bolted	2	0.625	A325X	1.125	0.375	177.0	17.7	63.9	34.5S	34.1	34.2
1	2	Horiz	A529	gr.50	Bolted	2	0.625	A325X	1.125	0.375	174.3	15.9	54.8	34.5S	34.1	31.1
1	2	SecH1	A529	gr.50	Bolted	1	0.625	A325X	1.500	0.250	128.0	25.2	45.6	17.2S	19.5	21.8
1	2	SecD1	A529	gr.50	Bolted	1	0.625	A325X	1.500	0.250	194.3	10.9	45.6	17.2S	19.5	21.8
1	2	PlanH1	A529	gr.50	Bolted	1	0.625	A325X	1.500	0.250	218.8	10.1	54.8	17.2S	19.5	24.8
1	1	Leg	A500	gr.CS	Tension	6	1.500	A325X	3.600	N/A	31.3	534.5	574.2	765.3T	N/A	N/A
1	1	Diag	A529	gr.50	Bolted	2	0.625	A325X	1.125	0.375	181.9	16.8	63.9	34.5S	34.1	34.2
1	1	Horiz	A529	gr.50	Bolted	2	0.625	A325X	1.125	0.375	182.4	14.5	54.8	34.5S	34.1	31.1
1	1	SecH1	A529	gr.50	Bolted	1	0.625	A325X	1.500	0.250	135.6	22.4	45.6	17.2S	19.5	21.8
1	1	SecD1	A529	gr.50	Bolted	1	0.625	A325X	1.500	0.250	199.1	10.4	45.6	17.2S	19.5	21.8
1	1	PlanH1	A529	gr.50	Bolted	1	0.625	A325X	1.500	0.250	231.9	9.0	54.8	17.2S	19.5	24.8



TSTower - v 6.1.5.0 Tower Analysis Program  
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Peoria, IL

File: J:\2025\250084\ENGINEERING\250084.out

Contract: 250084

Project: 255 FT RTL TOWER

Date and Time: 10/23/2025 3:19:29 PM

Revision: 2

Site: KY-5293 PARKWAY- KY

Engineer: AS

#### Section N: LEG REACTION DATA

Load Combination		Max Envelope		
Wind Direction		Maximum		
Force-Y Download (Kips)	Force-Y Uplift (Kips)	Shear-X (Kips)	Shear-Z (Kips)	Max Shear (Kips)
459.37	392.70			41.49



TS Tower - v 6.1.5.0 Tower Analysis Program  
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Peoria, IL

File: J:\2025\250084\ENGINEERING\250084.out

Contract: 250084

Project: 255 FT RTL TOWER

Date and Time: 10/23/2025 3:19:29 PM

Revision: 2

Site: KY-5293 PARKWAY- KY

Engineer: AS

#### Section O: TOWER FOUNDATION DATA

Load Combination                      Max Envelope  
Wind Direction                      Maximum

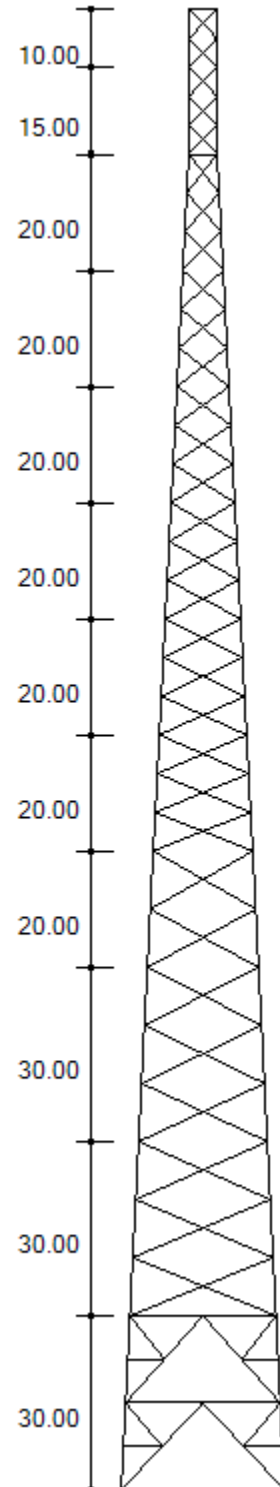
Axial Load (Kips)	Shear Load-X (Kips)	Shear Load-Z (Kips)	Total Shear (Kips)	Moment-X (Kipsft)	Moment-Y (Kipsft)	Moment-Z (Kipsft)	Total Moment (Kipsft)
62.14	35.20	58.79	68.52	9003.33	-19.22	-5471.38	10535.46
62.14	35.20	58.79	68.52	9003.33	-19.22	-5471.38	10535.46

File: J:\2025\250084\ENGINEERING\250084.out  
Contract: 250084  
Project: 255 FT RTL TOWER  
Date and Time: 10/23/2025 3:19:29 PM

Revision: 2  
Site: KY-5293 PARKWAY- KY  
Engineer: AS

### DESIGN SPECIFICATION

Sct.	Length (ft)	Top W. (in)	Bot Width (in)
1	30.00	301.97	337.97
2	30.00	265.97	301.97
3	30.00	229.97	265.97
4	20.00	205.97	229.97
5	20.00	180.24	205.97
6	20.00	156.24	180.24
7	20.00	131.32	156.24
8	20.00	107.32	131.32
9	20.00	83.32	107.32
10	20.00	58.40	83.32
11	15.00	57.53	58.40
12	10.00	56.99	57.53



### MAXIMUM BASE REACTIONS

Download (Kips)	459.4
Uplift (Kips)	392.7
Shear (Kips)	41.5

Customer: THE TOWERS, LLC  
 Project: 255 FT RTL TOWER  
 Site: KY-5293 PARKWAY, KY  
 Engr. File: 250084  
 Build Code: ANSI/TIA-222-H-2016



# Mat Foundation

ver.3.0.9

## Design Parameters

Description	Load Case					
	1	2	3	4	5	Service
Total Moment, ft-kips	10,533.48	10,535.46	1,475.92	1,303.90	1,300.17	3,447.68
Total Shear, kips	68.51	68.52	8.78	6.95	6.95	22.62
Total Tower Wt, kips	82.85	62.14	231.94	82.81	62.11	69.02
Max. Uplift, kips	385.87	392.70	.00	25.57	32.38	112.79
Shear, kips	36.72	37.10	37.10	2.72	3.10	11.31
Max Download, kips	459.37	452.55	137.82	81.06	74.01	164.33
Shear	41.49	41.11	9.57	5.77	5.39	14.51
Soil L.F.	1.20	0.90	1.20	1.20	0.90	1.00
Concrete L.F.	1.20	0.90	1.20	1.20	0.90	1.00

Foundation	
Ht. AGL, ft	0.50
Depth, ft.	6.00
Tower	
Face Width, ft	28.16
Offset, in	54.00
Soil	
Blow Count	N/A
Inplace Unit Wt, pcf	110.00
Submerged Unit Wt, pcf	60.00
Friction Angle, $\phi$ , deg.	35.00
Cohesion, ksf	N/A
Uplift Angle, deg.	30.00
Water Depth, ft	None
Ult Bearing Capacity, ksf	20.00

Mat	
Thickness, ft	1.75
Width, ft	35.00
EA, in	15.00
Batter, in/ft	0.00

Pier	
Height, ft	4.75
Diameter, ft	4.00
No. Piers	3
Shape	Round

Anchor Bolts	
Diameter, in	1.5000
No.	6
Length, in	74.00
Bolt Circle, in	20.00
Projection, in	9.00

Pocket	
Diameter, in	N/A
Thickness, ft	N/A

Concrete	
28 Day Strength, ksi	4.50
Dry Unit Wt, pcf	150.00
Wet Unit Wt, pcf	88.00

Rebar Fy	
Vertical, ksi	60.00
Circular, ksi	60.00
Horizontal, ksi	60.00

## Results

$\phi M_N$  – Parallel Axis                      14,550.45    ft-kips  
 $\phi M_N$  – Diagonal Axis                      16,019.05    ft-kips  
 Moment – Interaction Ratio                      0.777  
 $\phi V_N$  – Lateral Load                      229.76    kips  
 Lateral Load – Interaction Ratio                      0.298

Final Mat Dimension : 35.00 x 35.00 x 1.75 ft. thick w/ (3) 4.00 ft. Dia. Piers

Final Pocket Dimension : Pockets not required

Total Volume of Concrete : 86.0 yd<sup>3</sup>

Designed By: AS  
 Date: 23 October, 2025 @ 03:39 PM

Customer: THE TOWERS, LLC  
 Project: 255 FT RTL TOWER  
 Site: KY-5293 PARKWAY, KY  
 Engr. File: 250084  
 Build Code: ANSI/TIA-222-H-2016



# Mat Foundation

ver.3.0.9

## OTM Capacity

Controlling Load Case: 2 [Wind w/Min. Dead Load]

Foundation Width = 35.00 ft

$M_U = 11,302.0$  ft-kips

	$\phi M_N$ , ft-kips	x, ft	N	$\sigma_{ur}$
Parallel	14,550.5	3.500	0.100	9.87
Diagonal	16,019.1	11.068	0.224	9.87

$\phi M_N = 14,550.45$  ft-kips

IRatio = 0.777

$\phi V_N = 229.76$  kips

IRatio = 0.298

## Mat Design

$\gamma_c = 121.67$  pcf

Exterior Slab	x, ft	N	$\sigma_R$ , ksf	$P_s$ , kips	$P_{su}$ , kips	Moment, ft-kips/ft		Shear, kips/ft	
						DownLoad Side	Uplift Side	Download Side	Uplift Side
Parallel	10.254	0.293	2.51	31.22	0.00	12.95	9.31	6.92	4.13
Diagonal	18.563	0.375	2.61	31.22	0.00	81.92	43.23	18.14	9.05

Interior Slab	Moment, ft-kips/ft		Shear, kips/ft		
	DownLoad Side	Uplift Side	Download Side	Uplift Side	Soil Pressure Termination
	32.32	62.32	6.57	7.58	6.68

Punching Shear	Download			Uplift			Description
	Interior	Edge	Corner	Interior	Edge	Corner	
b <sub>o</sub> , ft	19.51	16.60	13.17	16.85	15.27	12.50	2-Way Shear
V <sub>su</sub> , psi	138.18	171.54	227.00	133.99	155.61	201.33	
ϕV <sub>c</sub> , psi	228.08	228.08	228.08	228.08	228.08	228.08	
IR	0.61	0.75	1.00	0.59	0.68	0.88	
M <sub>ut</sub> , ft-kips	118.2			105.7			Moment transfer to slab
B <sub>e</sub> , ft	8.0			7.7			
M <sub>u</sub> , ft-kips/ft	14.7			13.8			
Edge Distances: a = 5.74 ft.				b = 3.42 ft.	c = 4.87 ft.		

Summary	Max. Value	Utilization
Slab Moment, ft-kips/ft	81.92	0.978
Slab Shear, kips/ft	18.14	0.828
Punching Shear, psi	227.00	0.995
Soil Bearing Required, $\sigma_{ur}$ , ksf	3.48	0.174

Mat Reinforcement	
Min. Steel Area (Strength)	.999 in <sup>2</sup> /ft.
Min. Steel Area (Temperature)	.227 in <sup>2</sup> /ft.
Steel Strain Actual	0.013
Minimum Steel Strain Required	0.005

60 - #7 Horizontal bars equally spaced @7.02 in., each way, top and bottom, total of 240,  $A_s = 1.031$  in<sup>2</sup>/ft

Designed By: AS  
 Date: 23 October, 2025 @ 03:39 PM



Customer: THE TOWERS, LLC  
Project: 255 FT RTL TOWER  
Site: KY-5293 PARKWAY, KY  
Engr. File: 250084  
Build Code: ANSI/TIA-222-H-2016



# Mat Foundation

ver.3.0.9

## Pier Design

Controlling Load Case: 2 [Wind w/Min. Dead Load]

C = 452.55 kips	Vc = 41.11 kips	Mc = 195.27 ft-kips
T = 392.70 kips	Vt = 37.10 kips	Mt = 176.23 ft-kips
Fy = 60.00 ksi	Fyt = 60.00 ksi	L.F. = 1.00
H = 48.00 in.	Ds = 39.00 in.	F'c = 4.50 ksi
U = 1.00	Irs = Round	

\*\*\* NOTE: Pier cross section is Round \*\*\*

## SUMMARY OF ANALYSIS

Minimum area of steel required	= 12.508 in <sup>2</sup>	(Rhomin = 0.0069)
Area of steel provided.	= 12.566 in <sup>2</sup>	(Rhoactual = 0.0069)
Maximum steel area limit	= 144.765 in <sup>2</sup>	(Rhomax = 0.0800)

(16) #8 Vertical Bars equally spaced w/ #4 Circular Ties @ 6" on center.

## CIRCULAR TIE DATA

$V_u < 0.85 \cdot V_c / 2$ , shear reinforcement is not required

Use maximum tie spacing specified in ACI 318,  
Section 7.10.5 for compression reinforcement.

## DEVELOPMENT LENGTH MODIFIERS FOR BAR DEVELOPMENT

Modifier for tension development = 1.000

Modifier for compression development = 0.166

REQUIRED Ld = MODIFIER \* BASIC Ld \* ACI 318 MODIFIERS, (12 in. min.)

Designed By: AS  
Date: 23 October, 2025 @ 03:39 PM

File no : 250084

Customer: **THE TOWERS, LLC**

Date 12/05/25

By: AS

Description: **255 FT RTL TOWER**

Page 1

Chk: \_\_\_\_\_

**KY-5293 PARKWAY, KY**

Ver. 07/08/2024

**FACTORED REACTIONS / LEG**Tower Type: RT

COMPRESSION = 459.37 k

UPLIFT = 392.70 k

SHEAR = 41.49 k

UPLIFT FROM SOIL HEAVE = 0.00 k

( 6 ) - 1.5 " dia 74 " A.B. per leg

 $f'_c = 4,500$  psi $f_y = 60,000$  psi**SOIL PARAMETERS**

A) Depth neglected for skin friction = Top 2.0 ft

B) Average ultimate skin shear for uplift:

2.0 ft to 4.5 ft depth = 900 psf, and 4.5 ft to 6.0 ft depth = 2600 psf, and 6.0 ft to 8.5 ft depth = 2900 psf, and  
 8.5 ft to 11.0 ft depth = 900 psf, and 11.0 ft to 12.5 ft depth = 1100 psf, and 12.5 ft to 18.5 ft depth = 1300 psf, and  
 18.5 ft to 20.0 ft depth = 1500 psf, and 20.0 ft to 26.0 ft depth = 1800 psf.

C) Average ultimate skin shear for download:

2.0 ft to 4.5 ft depth = 900 psf, and 4.5 ft to 6.0 ft depth = 2800 psf, and 6.0 ft to 8.5 ft depth = 3200 psf, and  
 8.5 ft to 11.0 ft depth = 1200 psf, and 11.0 ft to 12.5 ft depth = 1400 psf, and 12.5 ft to 18.5 ft depth = 1800 psf, and  
 18.5 ft to 20.0 ft depth = 2000 psf, and 20.0 ft to 26.0 ft depth = 2400 psf

D) Ultimate net end bearing at 26.0 ft = 24.80 ksf.

E) Groundwater table below foundation depth.

**USE 4'- 0" DIAMETER AND 26'- 0" DEEP DRILLED PIER WITH 0'- 6" CAP**

Perimeter = 12.57 ft

Area = 12.57 ft<sup>2</sup>

Total Download = 459.37 + [1.2 x 0.15 - 0.75 x 0.120] x 26 x 12.57 = 489.3 k

$$\begin{aligned} \text{Tension Capacity} &= 12.57 \times (26.5 \times 0.15 + 0.0 \times 0.09) \times 0.90 + 12.57 \times \\ &\quad (0.900 \times 2.5 + 2.600 \times 1.5 + 2.900 \times 2.5 + 0.900 \times 2.5 + 1.100 \times 1.5 + 1.300 \times 6.0 + \\ &\quad 1.500 \times 1.5 + 1.800 \times 6.0) \times 0.75 = \\ &\quad 45.0 + 359.7 = 404.7 \text{ k} \\ &\quad 404.7 \geq 392.70 \text{ OK} \end{aligned}$$

$$\begin{aligned} \text{Comp. Capacity} &= 12.57 \times 24.80 \times 0.75 + 12.57 \times \\ &\quad (0.900 \times 2.5 + 2.800 \times 1.5 + 3.200 \times 2.5 + 1.200 \times 2.5 + 1.400 \times 1.5 + 1.800 \times 6.0 + \\ &\quad 2.000 \times 1.5 + 2.400 \times 6.0) \times 0.75 = \\ &\quad 233.8 + 450.2 = 684.0 \text{ k} \\ &\quad 684.0 \geq 489.3 \text{ OK} \end{aligned}$$

**LATERAL - SEE ATTACHED CALCULATIONS USING WIGGINS METHOD**

Max M = 333.60 ft-k

Max V = 41.49 k

**REINFORCEMENT - SEE ATTACHED SHAFT PROGRAM**

USE 16 - # 9 BARS VERTICAL WITH  
 # 4 TIES AT 6" IN TOP 7.0 FT AND AT  
 12 " IN REST OF PIER

**STEEL AREA = 15.99 in<sup>2</sup> OK**

{36.0 in Cage Diameter}

**CONCRETE VOL. = 12.57 x 26.5 / 27 = 12.3 cu yds / pier**

# Drilled Pier Analysis

```

*****
** WIGGINS METHOD **
*****
** DETERMINE MAXIMUM LATERAL SOIL PRESSURE **
** AND MAXIMUM MOMENT IN THE SHAFT FOR **
** A DRILLED PIER FOUNDATION **
***** Fri Dec 5 11:31:34 2025 *****
Ver. 2.3 NT

```

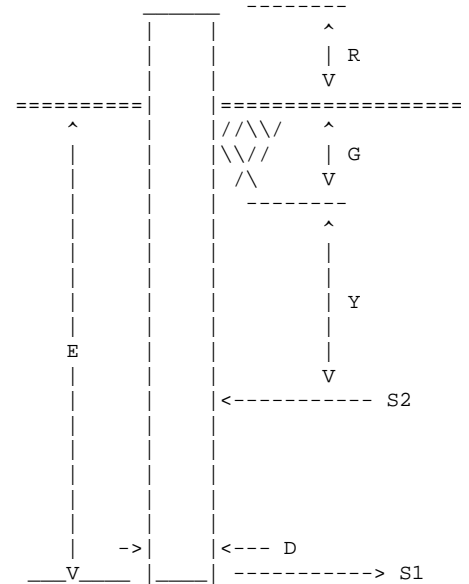
FILE NO.- 250084

ENGR.- AS

DESCR.- THE TOWERS, LLC 255 FT RTL TOW

## FORMULAS USED

$$\begin{aligned}
 S1 &= \frac{6 \cdot P \cdot (1+N)}{D \cdot L \cdot (1-N) \cdot (1-N)} & L &= (MA/P) + R + E \\
 S2 &= \frac{(N+3) \cdot (N+3) \cdot S1}{8 \cdot (N+1) \cdot (N+2)} & NL &= (MA/P) + R + G \\
 K &= \frac{1 - (N \cdot N)}{2 \cdot (2+N)} & N &= NL / L \\
 Y &= \frac{L \cdot (1-K) - NL}{2} & SP1 &= S1 / E \\
 M &= P \cdot (NL + 5/8 \cdot Y) & SP2 &= S2 / (Y + G) \\
 V &= S1 \cdot D \cdot K \cdot L / 2. \text{ or } & & \\
 &P \text{ whichever is greater} & &
 \end{aligned}$$



Diameter of Pier = D = 4.00 ft  
 Projection Above Grade = R = .50 ft  
 Embedment Depth = E = 26.00 ft  
 Depth of Soil Ignored = G = 2.00 ft

Equivalent Length of Pier = L = 26.50 ft  
 Length for NO Soil Resistance = NL = 2.50 ft  
 Applied Moment at Top of Pier = MA = .00 ft-k  
 Shear at Top of Pier = P = 41.49 kips

## MAXIMUM LATERAL SOIL PRESSURES

## MAXIMUM VALUES IN SHAFT

K = .2366  
 Y = 8.86 ft  
 S1 = 3.133 ksf  
 S2 = 1.636 ksf  
 SP1 = 121 psf/ft  
 SP2 = 151 psf/ft

M = 333.60 ft-k  
 V = 41.49 kips

\*\*\*\*\*  
\*\*  
\*\*           COMPARISION DATA       \*\*  
\*\*  
\*\*\*\*\*

BROMS ---->	SAND	CLAY
PHI =	30.0 degrees	C = 1.00 ksf
DENSITY =	100.00 pcf	
E =	16.14 ft	E = 16.70 ft
Max. M =	291.53 ft-k	Max. M = 317.50 ft-k
Max. V =	107.19 kips	Max. V = 75.60 kips
Ls =	12.853 ft	

EIA REV. E NORMAL SOIL -----> E = 12.43 ft

EIA REV. F NORMAL SOIL -----> E = 15.80 ft

•&amp;l8DNAME: AS

FILE NO. 250084

PAGE NO. 1

## SHAFT REINFORCING PROGRAM VER. 91.7

=====

DESIGNED BY: AS  
 ENG. FILE NO.: 250084  
 DATE: 12/05/25

CUSTOMER: THE TOWERS, LLC  
 DESCRIPTION: 255 FT RTL TOWERKY-5293 PARKWAY, KY

## INPUT DATA

=====

C = 459.37 Kips	Vc = 41.49 Kips	Mc = 333.60 Ft-K
T = 392.70 Kips	Vt = 41.49 Kips	Mt = 333.60 Ft-K
Fy = 60.00 Ksi	Fyt = 60.00 Ksi	L.F. = 1.00
H = 48.00 In.	Ds = 36.00 In.	F'c = 4.50 Ksi
U = 1.00	Irs = 1	

\*\*\* SHAFT CROSS SECTION IS ROUND \*\*\*

## SUMMARY OF ANALYSIS

=====

Minimum area of steel req'd. = 15.06 sq.in. (Rhomin = 0.0083)  
 Maximum steel area limit = 144.76 sq.in. (Rhomax = 0.0800)

## CIRCULAR TIE DATA

=====

$V_u < 0.85 V_c / 2$ , shear reinforcement is not required.

Use maximum tie spacing specified in A.C.I. 318-83,  
 Section 7.10.5 for compression reinforcement.

## DEVELOPMENT LENGTH MODIFIERS FOR TENSION AND COMPRESSION BAR DEVELOPMENT

=====

DLMT = MODIFIER FOR TENSION DEVELOPMENT =	1.000
DLMC = MODIFIER FOR COMPRESSION DEVELOPMENT =	.313
REQUIRED Ld = MODIFIER * BASIC Ld * ACI 318 MODIFIERS (12 in. min.)	
DLMT = MODIFIER FOR TENSION DEVELOPMENT =	1.000
DLMC = MODIFIER FOR COMPRESSION DEVELOPMENT =	.339
REQUIRED Ld = MODIFIER * BASIC Ld * ACI 318 MODIFIERS (12 in. min.)	

**EXHIBIT D**

**COMPETING UTILITIES, CORPORATIONS, OR PERSONS LIST**

## KY Public Service Commission

### Master Utility Search

- Search for the utility of interest by using any single or combination of criteria.
- Enter Partial names to return the closest match for Utility Name and Address/City/Contact entries.

Utility ID	Utility Name	Address/City/Contact	Utility Type	Status
<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	Active <input type="text"/>
<input type="button" value="Search"/>				

	Utility ID	Utility Name	Utility Type	Class	City	State
<input type="button" value="View"/>	4002000	1GLOBAL Operations (US) Inc.	Cellular	D	Durham	NC
<input type="button" value="View"/>	4115150	ACN Communication Services, LLC dba Flash Wireless dba Flash Mobile	Cellular	D	Charlotte	NC
<input type="button" value="View"/>	4115750	Affiniti Ventures, Inc.	Cellular	C	New York	NY
<input type="button" value="View"/>	4113600	AFNET, LLC	Cellular	D	Alpharetta	GA
<input type="button" value="View"/>	4108300	Air Voice Wireless, LLC d/b/a AirTalk Wireless	Cellular	A	Houston	TX
<input type="button" value="View"/>	4115200	Airespring, Inc.	Cellular	D	Clearwater	FL
<input type="button" value="View"/>	4111900	ALLNETAIR, INC.	Cellular	D	West Palm Beach	FL
<input type="button" value="View"/>	44451184	Alltel Corporation d/b/a Verizon Wireless	Cellular	A	Lisle	IL
<input type="button" value="View"/>	4110850	AltaWorx, LLC	Cellular	D	Fairhope	AL
<input type="button" value="View"/>	4107800	American Broadband and Telecommunications Company	Cellular	D	Toledo	OH
<input type="button" value="View"/>	4108650	AmeriMex Communications Corp.	Cellular	D	Safety Harbor	FL

<a href="#">View</a>	4105100	AmeriVision Communications, Inc. d/b/a Affinity 4	Cellular	D	Virginia Beach	VA
<a href="#">View</a>	4114250	Approved Contact LLC	Cellular	D	Reno	NV
<a href="#">View</a>	4115050	Aquarius Silver LLC	Cellular	D	Sheridan	WY
<a href="#">View</a>	4105700	Assurance Wireless USA, L.P.	Cellular	D	Atlanta	GA
<a href="#">View</a>	4116450	Atomic Mobile, Inc.	Cellular	C	Spring Lake	NJ
<a href="#">View</a>	4113100	BARK TECHNOLOGIES, INC.	Cellular	D	Charlotte	NC
<a href="#">View</a>	4108600	BCN Telecom, Inc.	Cellular	D	Morristown	NJ
<a href="#">View</a>	4106000	Best Buy Health, Inc. d/b/a GreatCall d/b/a Jitterbug	Cellular	A	San Diego	CA
<a href="#">View</a>	4116500	Best Networks, Inc dba Pronto Mobile	Cellular	C	Lewes	DE
<a href="#">View</a>	4111050	BlueBird Communications, LLC	Cellular	D	New York	NY
<a href="#">View</a>	4107600	Boomerang Wireless, LLC	Cellular	A	Dallas	TX
<a href="#">View</a>	4112000	Boost SubscriberCo, L.L.C.	Cellular	A	Littleton	CO
<a href="#">View</a>	4115500	CALL CENTERS INDIA INCORPORATED d/b/a Blueconnects	Cellular	D	Seattle	WA
<a href="#">View</a>	4100700	Cellco Partnership dba Verizon Wireless	Cellular	A	Basking Ridge	NJ
<a href="#">View</a>	4106600	Cintex Wireless, LLC	Cellular	D	Houston	TX
<a href="#">View</a>	4114550	Cliq Communications LLC d/b/a Cliq Mobile	Cellular	D	Coral Gables	FL
<a href="#">View</a>	4111150	Comcast OTR1, LLC	Cellular	A	Phoeniexville	PA
<a href="#">View</a>	4116350	Compax MVNO Venture, Inc.	Cellular	C	Hillsboro	OR
<a href="#">View</a>	4101900	Consumer Cellular, Incorporated	Cellular	A	Portland	OR
<a href="#">View</a>	4112700	Cox Wireless, LLC	Cellular	D	Atlanta	GA
<a href="#">View</a>	4108850	Cricket Wireless, LLC	Cellular	A	San Antonio	TX
<a href="#">View</a>	4111500	CSC Wireless, LLC d/b/a Altice Wireless	Cellular	A	Long Island City	NY
<a href="#">View</a>	4114000	Daywalker Mobile Inc.	Cellular	D	Bartlesville	OK
<a href="#">View</a>	4111200	Dynalink Communications, Inc.	Cellular	C	Brooklyn	NY
<a href="#">View</a>	4111800	Earthlink, LLC	Cellular	C	Atlanta	GA
<a href="#">View</a>	4101000	East Kentucky Network, LLC dba Appalachian Wireless	Cellular	A	Ivel	KY



<a href="#">View</a>	4002300	Easy Telephone Service Company dba Easy Wireless	Cellular	D	Ocala	FL
<a href="#">View</a>	4109500	Enhanced Communications Group, LLC	Cellular	D	Bartlesville	OK
<a href="#">View</a>	4113800	EVOLVE WIRELESS LLC	Cellular	D	Maumee	OH
<a href="#">View</a>	4110450	Excellus Communications, LLC	Cellular	D	Harrisburg	SD
<a href="#">View</a>	4112400	Excess Telecom Inc.	Cellular	D	Beverly Hills	CA
<a href="#">View</a>	4116100	Fierce Data Solutions, LLC	Cellular	C	Las Vegas	NV
<a href="#">View</a>	4116050	Flex Mobile, Inc.	Cellular	C	Las Vegas	NV
<a href="#">View</a>	4104800	France Telecom Corporate Solutions L.L.C.	Cellular	D	Herndon	VA
<a href="#">View</a>	4111750	Gabb Wireless, Inc.	Cellular	A	Lehi	UT
<a href="#">View</a>	4109350	Global Connection Inc. of America	Cellular	D	Miami	FL
<a href="#">View</a>	4102200	Globalstar USA, LLC	Cellular	C	Covington	LA
<a href="#">View</a>	4112850	GO TECHNOLOGY MANAGEMENT, LLC	Cellular	D	Atlanta	GA
<a href="#">View</a>	4109600	Google North America Inc.	Cellular	A	Mountain View	CA
<a href="#">View</a>	33350363	Granite Telecommunications, LLC	Cellular	D	Quincy	MA
<a href="#">View</a>	4114300	Group F Consulting, LLC	Cellular	D		
<a href="#">View</a>	4114050	Helix Wireless Inc.	Cellular	D	Monmouth Junction	NJ
<a href="#">View</a>	4111350	HELLO MOBILE TELECOM LLC	Cellular	D	Dania Beach	FL
<a href="#">View</a>	4112950	Hoop Wireless, LLC	Cellular	D	Lakewood	NJ
<a href="#">View</a>	4103100	i-Wireless, LLC	Cellular	D	Newport	KY
<a href="#">View</a>	4112550	IDT Domestic Telecom, Inc.	Cellular	D	Newark	NJ
<a href="#">View</a>	4109800	IM Telecom, LLC d/b/a Infiniti Mobile	Cellular	D	Plano	TX
<a href="#">View</a>	4112650	Insight Mobile, Inc.	Cellular	D	Los Angeles	CA
<a href="#">View</a>	4111950	J Rhodes Enterprises LLC	Cellular	D	Gulf Breeze	FL
<a href="#">View</a>	22215360	KDDI America, Inc.	Cellular	D	Staten Island	NY
<a href="#">View</a>	10872	Kentucky RSA #1 Partnership	Cellular	A	Basking Ridge	NJ
<a href="#">View</a>	4112200	Lexvor Inc.	Cellular	D	Irvine	CA
<a href="#">View</a>	4111250	Liberty Mobile Wireless, LLC	Cellular	B	Sunny Isles Beach	FL
<a href="#">View</a>	4114750	Link Mobile, Inc.	Cellular	D	New York	NY

<a href="#">View</a>	4111400	Locus Telecommunications, LLC	Cellular	B	Fort Lee	NJ
<a href="#">View</a>	4114500	Lux Mobile USA, Inc	Cellular	D	Baton Rouge	LA
<a href="#">View</a>	4107300	Lycamobile USA, Inc.	Cellular	D	Newark	NJ
<a href="#">View</a>	4112500	Marconi Wireless Holdings, LLC	Cellular	B	Westlake Village	CA
<a href="#">View</a>	4113850	MAXSIP TEL KENTUCKY LLC d/b/a Maxsip Telecom	Cellular	D	Woodmere	NY
<a href="#">View</a>	4114800	Mediacom Wireless LLC	Cellular	D	Mediacom Park	NY
<a href="#">View</a>	4108800	MetroPCS Michigan, LLC	Cellular	A	Bellevue	WA
<a href="#">View</a>	4111700	Mint Mobile, LLC	Cellular	A	Costa Mesa	CA
<a href="#">View</a>	4115100	Mobile 13, Inc	Cellular	D	South Jordan	UT
<a href="#">View</a>	4114950	Moxee Technologies LLC dba COLLEGIATE MOBILE	Cellular	D	Sparks	NV
<a href="#">View</a>	4114100	MVNO Connect LLC	Cellular	D	St. Petersburg	FL
<a href="#">View</a>	4113350	NatWireless, LLC	Cellular	D	Houston	TX
<a href="#">View</a>	4202400	New Cingular Wireless PCS, LLC	Cellular	A	San Antonio	TX
<a href="#">View</a>	4110700	Norcell, LLC	Cellular	D	Clayton	WA
<a href="#">View</a>	4113700	Nova Labs, Inc. dba Helium Mobile	Cellular	D	San Francisco	CA
<a href="#">View</a>	4110750	Onvoy Spectrum, LLC	Cellular	D	Chicago	IL
<a href="#">View</a>	4109050	Patriot Mobile LLC	Cellular	A	Grapevine	TX
<a href="#">View</a>	4116150	Peak Data Solutions, LLC	Cellular	C	Camden	DE
<a href="#">View</a>	4115600	PHREELI COMPANY	Cellular	D	Lewes	DE
<a href="#">View</a>	4110250	Plintron Technologies USA LLC	Cellular	D	Bellevue	WA
<a href="#">View</a>	4115650	PLUG MOBILE LLC	Cellular	D	St. Louis	MO
<a href="#">View</a>	33351182	PNG Telecommunications, Inc. dba PowerNet Global Communications	Cellular	D	Cincinnati	OH
<a href="#">View</a>	4114850	POWER MOBILE LLC	Cellular	D	Rockville Centre	NY
<a href="#">View</a>	4112800	Prepaid Wireless Group, LLC dba Prepaid Wireless Wholesale	Cellular	D	Rockville	MD
<a href="#">View</a>	4114350	PRESTO WIRELESS Corp.	Cellular	D	Fair Lawn	NJ
<a href="#">View</a>	4107700	Puretalk Holdings, Inc.	Cellular	B	Covington	GA
<a href="#">View</a>	4106700	Q Link Wireless, LLC	Cellular	A	Dania	FL
<a href="#">View</a>	4115900	RABONA CORPORATION	Cellular	C	New York	NY

<a href="#">View</a>	4113200	Red Pocket Inc.	Cellular	D	Thousand Oaks	CA
<a href="#">View</a>	4116000	Ringer Mobile, LLC	Cellular	C	Peachtree Corners	GA
<a href="#">View</a>	4116400	Rizz Wireless LLC	Cellular	C	San Francisco	CA
<a href="#">View</a>	4114200	Roccstar Wireless LLC	Cellular	D	Bedford	TX
<a href="#">View</a>	4114700	Rocket Mobile LLC	Cellular	D	West Palm Beach	FL
<a href="#">View</a>	4115400	RSCU Mobile, LLC	Cellular	D	Alpine	UT
<a href="#">View</a>	4106200	Rural Cellular Corporation	Cellular	A	Basking Ridge	NJ
<a href="#">View</a>	4108550	Sage Telecom Communications, LLC dba TruConnect	Cellular	A	Los Angeles	CA
<a href="#">View</a>	4113050	Sarver Corporation	Cellular	D	Rancho Cucamonga	CA
<a href="#">View</a>	4109150	SelectTel, Inc. d/b/a SelectTel Wireless	Cellular	A	Fremont	NE
<a href="#">View</a>	4110150	Spectrotel of the South LLC dba Touch Base Communications	Cellular	D	Neptune	NJ
<a href="#">View</a>	4111450	Spectrum Mobile, LLC	Cellular	A	St. Louis	MO
<a href="#">View</a>	4114400	Splash Cellular Inc.	Cellular	D	Bountiful	UT
<a href="#">View</a>	4111600	STX Group LLC dba Twigby	Cellular	D	Murfreesboro	TN
<a href="#">View</a>	4115450	Surf Telecom, LLC	Cellular	D	Key Bixcayne	FL
<a href="#">View</a>	4115950	Switch Mobile, LLC	Cellular	C	Layton	UT
<a href="#">View</a>	4113450	Syntegra North America, LLC	Cellular	D	Denton	TX
<a href="#">View</a>	4202200	T-Mobile Central, LLC dba T-Mobile	Cellular	A	Bellevue	WA
<a href="#">View</a>	4002500	TAG Mobility, LLC d/b/a TAG Mobile	Cellular	D	Plano	TX
<a href="#">View</a>	4115850	TELCO Communications LLC dba TELCO CELLULAR	Cellular	C	Oceanside	NY
<a href="#">View</a>	4116200	Telco Papa Ltd	Cellular	C	Palo Alto	CA
<a href="#">View</a>	4107200	Telefonica Global Solutions USA, Inc.	Cellular	D	Miami	FL
<a href="#">View</a>	4112100	Tello LLC	Cellular	A	Atlanta	GA
<a href="#">View</a>	4108900	Telrite Corporation	Cellular	D	Covington	GA
<a href="#">View</a>	4108450	Tempo Telecom, LLC	Cellular	D	Dallas	TX
<a href="#">View</a>	4113900	TERRACOM Inc. d/b/a Maxsip Tel	Cellular	D	Chattanooga	TN
<a href="#">View</a>	4113950	THE LIGHT PHONE INC.	Cellular	D	Brooklyn	NY
<a href="#">View</a>	4113250	Thrive Health Tech, Inc.	Cellular	D	Nashville	TN
<a href="#">View</a>	4110400	Torch Wireless Corp.	Cellular	C	Bartlett	TN

<a href="#">View</a>	4103300	Touchtone Communications, Inc.	Cellular	D	Cedar Knolls	NJ
<a href="#">View</a>	4115350	TREK CELLULAR, LLC	Cellular	D	Stevensville	MD
<a href="#">View</a>	4112250	TROOMI WIRELESS, Inc.	Cellular	B	Orem	UT
<a href="#">View</a>	4114600	TruConnect Communications, Inc.	Cellular	D	Los Angeles	CA
<a href="#">View</a>	4112600	Tube Incorporated dba Reach Mobile	Cellular	D	Atlanta	GA
<a href="#">View</a>	4112750	Unity Wireless, Inc.	Cellular	D	Pembroke Pines	FL
<a href="#">View</a>	4116300	US Mobile, Inc.	Cellular	C	New York	NY
<a href="#">View</a>	4115800	USA Mobile LLC	Cellular	C	Laguna Beach	CA
<a href="#">View</a>	4110300	UVNV, Inc. d/b/a Mint Mobile	Cellular	C	Costa Mesa	CA
<a href="#">View</a>	10630	Verizon Americas LLC dba Verizon Wireless	Cellular	A	Basking Ridge	NJ
<a href="#">View</a>	4104200	Verizon Value, Inc.	Cellular	D	Miami	FL
<a href="#">View</a>	4110800	Visible Service LLC	Cellular	D	Basking Ridge	NJ
<a href="#">View</a>	4115700	Viva-US Communications, Inc.	Cellular	C	San Diego	CA
<a href="#">View</a>	4113750	VOLT MOBILE Inc	Cellular	D	Delray Beach	FL
<a href="#">View</a>	4114450	WeIncentivize LLC d/b/a ChosenWireless	Cellular	D	San Diego	CA
<a href="#">View</a>	4113000	Whoop Connect Inc.	Cellular	D	Melbourne	FL
<a href="#">View</a>	4115250	WHOOB MOBILE INC.	Cellular	D	Melbourne	FL
<a href="#">View</a>	4106500	WiMacTel, Inc.	Cellular	D	Calgary, AB	CA
<a href="#">View</a>	4110950	Wing Tel Inc.	Cellular	C	New York	NY
<a href="#">View</a>	4113650	XCHANGE TELECOM LLC	Cellular	D	Brooklyn	NY
<a href="#">View</a>	4116250	Yonder Media Mobile Inc. dba Yo Mobile	Cellular	C	Bronx	NY
<a href="#">View</a>	4112150	Zefcom, LLC	Cellular	C	Wichita Falls	TX

**EXHIBIT E**

**FEDERAL AVIATION ADMINISTRATION  
DOCUMENTATION**



Mail Processing Center  
Federal Aviation Administration  
Southwest Regional Office  
Obstruction Evaluation Group  
10101 Hillwood Parkway  
Fort Worth, TX 76177

Aeronautical Study No.  
2025-ASO-11114-OE

Issued Date: 10/09/2025

THE TOWERS, LLC  
RICHARD HICKEY  
22 West Atlantic Avenue  
Suite 310  
Delray Beach, FL 33444

**\*\* DETERMINATION OF NO HAZARD TO AIR NAVIGATION \*\***

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure: Antenna Tower US-KY-5239 - Purchase Parkway KY  
County, State: Graves, Kentucky

Collected Point(s):

Label	Latitude	Longitude	SE	DET AGL	AMSL
pt-1	36-46-39.13N	88-30-24.97W	494 Ft	265 Ft	759 Ft

This aeronautical study revealed that the structure does not exceed obstruction standards and would not be a hazard to air navigation provided the following condition(s), if any, is(are) met:

Emissions from this site must be in compliance with the parameters set by collaboration between the FAA and telecommunications companies and reflected in the FAA 5G C band compatibility evaluation process (such as power, frequencies, and tilt angle). Operational use of this frequency band is not objectionable provided the Wireless Providers (WP) obtain and adhere to the parameters established by the FAA 5G C band compatibility evaluation process. **Failure to comply with this condition will void this determination of no hazard.**

As a condition to this Determination, the structure is to be marked/lighted in accordance with FAA Advisory circular 70/7460-1 M Change 1, Obstruction Marking and Lighting, a med-dual system-Chapters 4,8(M-Dual),&15.

Any failure or malfunction that lasts more than thirty (30) minutes and affects a top light or flashing obstruction light, regardless of its position, should be reported immediately to (877) 487-6867 so a Notice to Airmen (NOTAM) can be issued. As soon as the normal operation is restored, notify the same number.

It is required that FAA Form 7460-2, Notice of Actual Construction or Alteration, be e-filed any time the project is abandoned or:

☐ At least 10 days prior to start of construction (7460-2, Part 1)  
☒ Within 5 days after the construction reaches its greatest height (7460-2, Part 2)



**See attachment for additional condition(s) or information.**

This determination expires on 04/09/2027 unless:

- (a) the construction is started (not necessarily completed) and FAA Form 7460-2, Notice of Actual Construction or Alteration, is received by this office.
- (b) extended, revised, or terminated by the issuing office.
- (c) the construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the FCC, within 6 months of the date of this determination. In such case, the determination expires on the date prescribed by the FCC for completion of construction, or the date the FCC denies the application.

**NOTE: REQUEST FOR EXTENSION OF THE EFFECTIVE PERIOD OF THIS DETERMINATION MUST BE E-FILED AT LEAST 15 DAYS PRIOR TO THE EXPIRATION DATE. AFTER RE-EVALUATION OF CURRENT OPERATIONS IN THE AREA OF THE STRUCTURE TO DETERMINE THAT NO SIGNIFICANT AERONAUTICAL CHANGES HAVE OCCURRED, YOUR DETERMINATION MAY BE ELIGIBLE FOR ONE EXTENSION OF THE EFFECTIVE PERIOD.**

This determination is based, in part, on the foregoing description which includes specific coordinates, heights, frequency(ies) and power. Any changes in coordinates, heights, and frequencies or use of greater power, except those frequencies specified in the Colo Void Clause Coalition; Antenna System Co-Location; Voluntary Best Practices, will void this determination. Any future construction or alteration, including increase to heights, power, or the addition of other transmitters, requires separate notice to the FAA. This determination includes all previously filed frequencies and power for this structure.

If construction or alteration is dismantled or destroyed, you must submit notice to the FAA within 5 days after the construction or alteration is dismantled or destroyed.

This determination does include temporary construction equipment such as cranes, derricks, etc., which may be used during actual construction of the structure. However, this equipment shall not exceed the overall heights as indicated above. Equipment which has a height greater than the studied structure requires separate notice to the FAA.

This determination concerns the effect of this structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

A copy of this determination will be forwarded to the Federal Communications Commission (FCC) because the structure is subject to their licensing authority.

If we can be of further assistance, please contact [joseph.ctr.burkhardt@faa.gov](mailto:joseph.ctr.burkhardt@faa.gov), at 1-404-305-5958, or [Joseph.CTR.Burkhardt@faa.gov](mailto:Joseph.CTR.Burkhardt@faa.gov). On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2025-ASO-11114-OE.

**Signature Control No: 660269656-681060280**

( DNE )

Julie A. Morgan

Manager, Obstruction Evaluation Group

Attachment(s)  
Additional Information  
Frequency Data  
Map(s)

cc: FCC

Part 77 authorizes the FAA to evaluate a structure or object's potential electromagnetic effects on air navigation, communication facilities, and other surveillance systems. It also authorizes study of impact on arrival, departure, and en route procedures for aircraft operating under visual or instrument flight rules, as well as the impact on airport traffic capacity at existing public use airports. Broadcast in the 3.7 to 3.98 GHz frequency (5G C band) currently causes errors in certain aircraft radio altimeters and the FAA has determined they cannot be relied upon to perform their intended function when experiencing interference from wireless broadband operations in the 5G C band. The FAA has adopted Airworthiness Directives for all transport and commuter category aircraft equipped with radio altimeters that prohibit certain operations when in the presence of 5G C band.

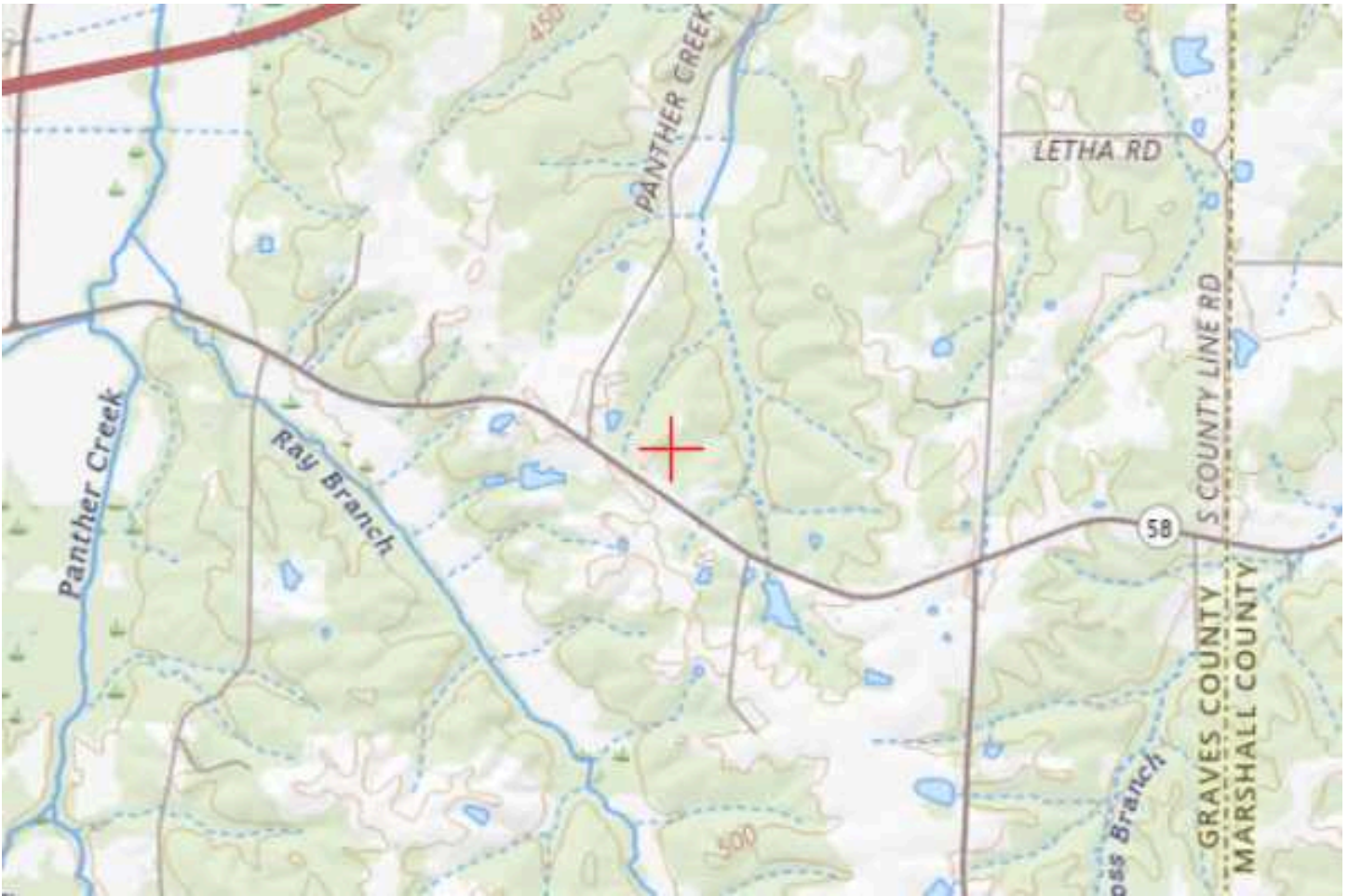
This determination of no hazard is based upon those mitigations implemented by the FAA and operators of transport and commuter category aircraft, and helicopters operating in the vicinity of your proposed location. It is also based on telecommunication industry and FAA collaboration on acceptable power levels and other parameters as reflected in the FAA 5G C band evaluation process.

The FAA 5G C band compatibility evaluation is a data analytics system used by FAA to evaluate operational hazards related to aircraft design. The FAA 5G C band compatibility evaluation process refers to the process in which the telecommunication companies and the FAA have set parameters, such as power output, locations, frequencies, and tilt angles for antenna that mitigate the hazard to aviation. As the telecommunication companies and FAA refine the tools and methodology, the allowable frequencies and power levels may change in the FAA 5G C band compatibility evaluation process. Therefore, your proposal will not have a substantial adverse effect on the safe and efficient use of the navigable airspace by aircraft provided the equipment and emissions are in compliance with the parameters established through the FAA 5G C band compatibility evaluation process.

Any future changes that are not consistent with the parameters listed in the FAA 5G C band compatibility evaluation process will void this determination of no hazard.

# Frequency Data for ASN 2025-ASO-11114-OE

LOW FREQUENCY	HIGH FREQUENCY	FREQUENCY UNIT	ERP	ERP UNIT
6	7	GHz	42	dBW
6	7	GHz	55	dBW
10	11.7	GHz	42	dBW
10	11.7	GHz	55	dBW
17.7	19.7	GHz	42	dBW
17.7	19.7	GHz	55	dBW
21.2	23.6	GHz	42	dBW
21.2	23.6	GHz	55	dBW
614	698	MHz	1000	W
614	698	MHz	2000	W
698	806	MHz	1000	W
806	824	MHz	500	W
806	901	MHz	500	W
824	849	MHz	500	W
851	866	MHz	500	W
869	894	MHz	500	W
896	901	MHz	500	W
901	902	MHz	7	W
929	932	MHz	3500	W
930	931	MHz	3500	W
931	932	MHz	3500	W
932	932.5	MHz	17	dBW
935	940	MHz	1000	W
940	941	MHz	3500	W
1670	1675	MHz	500	W
1710	1755	MHz	500	W
1850	1910	MHz	1640	W
1850	1990	MHz	1640	W
1930	1990	MHz	1640	W
1990	2025	MHz	500	W
2110	2200	MHz	500	W
2305	2360	MHz	2000	W
2305	2310	MHz	2000	W
2345	2360	MHz	2000	W
2496	2690	MHz	500	W
3700	3980	MHz	3280	W





**EXHIBIT F**

**KENTUCKY AIRPORT ZONING COMMISSION  
DOCUMENTATION**



## **APPLICATION FOR PERMIT TO CONSTRUCT OR ALTER A STRUCTURE**

### **JURISDICTION**

602 KAR 50:030

Section 1. The commission has zoning jurisdiction over that airspace over and around the public use and military airports within the Commonwealth which lies above the imaginary surface that extends outward and upward at one (1) of the following slopes:

- (1) 100 to one (1) for a horizontal distance of 20,000 feet from the nearest point of the nearest runway of each public use airport and military airport with at least one (1) runway 3,200 feet or more in length; or
- (2) fifty (50) to one (1) for a horizontal distance of 10,000 feet from the nearest point of the nearest runway of each public use and military airport with its longest runway less than 3,200 feet in length.

Section 2. The commission has zoning jurisdiction over the use of land and structures within public use airports within the state.

Section 3. The commission has jurisdiction from the ground upward within the limits of the primary and approach surfaces of each public use airport and military airport as depicted on airport zoning maps approved by the Kentucky Airport Zoning Commission.

Section 4. The Commission has jurisdiction over the airspace of the Commonwealth that exceeds 200 feet in height above the ground.

Section 5. The owner or person who has control over a structure which penetrates or will penetrate the airspace over which the Commission has Jurisdiction shall apply for a permit from the Commission in accordance with 602 KAR 50:090.

### **INSTRUCTIONS**

1. "Alteration" means to increase or decrease the height of a structure or change the obstruction marking and lighting.
2. "Applicant" means the person who will own or have control over the completed structure.
3. "Certification by Applicant" shall be made by the individual who will own or control the completed structure; or a partner in a partnership; or the president or authorized officer of a corporation company, or association; or the authorized official of a body politic; or the legally designated representative of a trustee, receiver, or assignee.
4. Prepare the application and forward to the Kentucky Dept. of Aviation, ATTN: Airport Zoning Commission, 90 Airport Drive, Frankfort KY 40601. For questions, telephone 502-782-4043.
5. The statutes applicable to the Kentucky Airport Commission are KRS 183.861 to 183.990 and the administrative regulations are 602 KAR Chapter 50.
6. When applicable, attach the following appendices to the application:

Appendix A. A 7.5 minute quadrangle topographical map prepared by the U.S. Geological Survey and the Kentucky Geological Survey with the exact location of the structure which is the subject of the application indicated thereon. (*The 7.5 minute quadrangle map may be obtained from the Kentucky Geological Survey, Department of Mines and Minerals, Lexington, KY 40506.*)

Appendix B. For structures on or very near to property of a public use airport, a copy of the airport layout drawing (ALP) with the exact location of the structure which is the subject of this application indicated thereon. (*The ALP may be obtained from the Chairperson of the local airport board or the Kentucky Airport Zoning Commission.*)

Appendix C. Copies of Federal Aviation Administration Applications (*FFA Form 7460-1*) or any orders issued by the manager, Air Traffic Division, FAA regional office.

Appendix D. If the applicant has indicated in item number 7 of the application that the structure will not be marked or lighted in accordance with the regulations of the Commission, the applicant shall attach a written request for a determination by the commission that the marking and lighting are not necessary. The applicant shall specifically state the reasons that the absence of marking and lighting will not impair the safety of air navigation.

Appendix E. The overall height in feet of the overhead transmission line or static wire above ground level or mean water level with span length 1,000 feet and over shall be depicted on a blueprint profile map.

### **PENALTIES**

1. Persons failing to comply with the Airport Zoning Commission statutes and regulations are liable for a fine or imprisonment as set forth in KRS 183.990(3).
2. Applicants are cautioned: Noncompliance with Federal Aviation Administration Regulations may provide for further penalties.

### APPLICATION FOR PERMIT TO CONSTRUCT OR ALTER A STRUCTURE

<b>APPLICANT (name)</b> The Towers, LLC		<b>PHONE</b> 561-406-4015	<b>FAX</b>	<b>KY AERONAUTICAL STUDY #</b>	
<b>ADDRESS (street)</b> 750 Park of Commerce Dr, Suite 200		<b>CITY</b> Boca Raton		<b>STATE</b> FL	<b>ZIP</b> 33487
<b>APPLICANT'S REPRESENTATIVE (name)</b> Robert Rodriguez		<b>PHONE</b> 561-596-9780	<b>FAX</b>		
<b>ADDRESS (street)</b> 750 Park of Commerce Dr, Suite 200		<b>CITY</b> Boca Raton		<b>STATE</b> FL	<b>ZIP</b> 33487
<b>APPLICATION FOR</b> <input checked="" type="checkbox"/> New Construction <input type="checkbox"/> Alteration <input type="checkbox"/> Existing				<b>WORK SCHEDULE</b>	
<b>DURATION</b> <input type="checkbox"/> Permanent <input type="checkbox"/> Temporary (months days )				Start End	
<b>TYPE</b> <input type="checkbox"/> Crane <input type="checkbox"/> Building <input checked="" type="checkbox"/> Antenna Tower <input type="checkbox"/> Power Line <input type="checkbox"/> Water Tank <input type="checkbox"/> Landfill <input type="checkbox"/> Other		<b>MARKING/PAINTING/LIGHTING PREFERRED</b> <input type="checkbox"/> Red Lights & Paint <input type="checkbox"/> White- medium intensity <input type="checkbox"/> White- high intensity <input checked="" type="checkbox"/> Dual- red & medium intensity white <input type="checkbox"/> Dual- red & high intensity white <input type="checkbox"/> Other			
<b>LATITUDE</b> 36° 46' 39.13 "		<b>LONGITUDE</b> 88° 30' 24.97 "		<b>DATUM</b> <input checked="" type="checkbox"/> NAD83 <input type="checkbox"/> NAD27 <input type="checkbox"/> Other	
<b>NEAREST KENTUCKY</b> Mayfield, Graves County		<b>NEAREST KENTUCKY PUBLIC USE OR MILITARY AIRPORT</b> Mayfield Graves County Airport			
<b>SITE ELEVATION (AMSL, feet)</b> 494		<b>TOTAL STRUCTURE HEIGHT (AGL, feet)</b> 265		<b>CURRENT (FAA aeronautical study #)</b> 2025-ASO-15822-OE	
<b>OVERALL HEIGHT (site elevation plus total structure height, feet)</b> 759				<b>PREVIOUS (FAA aeronautical study #)</b>	
<b>DISTANCE (from nearest Kentucky public use or Military airport to structure)</b> 4.35 miles				<b>PREVIOUS (KY aeronautical study #)</b>	
<b>DIRECTION (from nearest Kentucky public use or Military airport to structure)</b> East					
<b>DESCRIPTION OF LOCATION</b> (Attach USGS 7.5 minute quadrangle map or an airport layout drawing with the precise site marked and any certified survey.) 36 46 39.13, -88 30 24.97 - Please find attached 1-A. Site Address TBD.					
<b>DESCRIPTION OF PROPOSAL</b> 255' SST with 10' lightning rod for cellular communications.					
<b>FAA Form 7460-1</b> (Has the "Notice of Construction or Alteration" been filed with the Federal Aviation Administration?) <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes, when?					
<b>CERTIFICATION</b> (I hereby certify that all the above entries, made by me, are true, complete, and correct to the best of my knowledge and belief.)					
<b>PENALTIES</b> (Persons failing to comply with KRS 183.861 to 183.990 and 602 KAR 050 are liable for fines and/or imprisonment as set forth in KRS 183.990(3). Noncompliance with FAA regulations may result in further penalties.)					
<b>NAME</b> Robert Rodriguez	<b>TITLE</b> Project Manager	<b>SIGNATURE</b> <i>Robert Rodriguez</i>		<b>DATE</b> 10/23/2025	
<b>COMMISSION ACTION</b>		<input type="checkbox"/> Chairperson, KAZC <input type="checkbox"/> Administrator, KAZC			
<input type="checkbox"/> Approved <input type="checkbox"/> Disapproved		<b>SIGNATURE</b>		<b>DATE</b>	

**BENCHMARK SERVICES, INC.**  
*Consulting Engineers & Land Surveyors*

318 NORTH MAIN STREET  
HUNTINGBURG, INDIANA 47542  
(812) 683-3049  
[BENCHMARK@MW.TWCBC.COM](mailto:BENCHMARK@MW.TWCBC.COM)

**KIMLEY-HORN**  
**VERTICAL BRIDGE**

**1A CERTIFICATION**  
**DATE: MAY 9, 2025**

**SITE NAME: PURCHASE PARKWAY KY**

**SITE NUMBER: US-KY-5239**

**SITE ADDRESS: 7996 STATE ROUTE 58 E**  
**MAYFIELD, KY 42066**

<b>NAD 83</b>	<b>LATITUDE</b>	<b>36° 46' 39.13" N</b> <b>(36.77753478)</b>
	<b>LONGITUDE:</b>	<b>88° 30' 24.97" W</b> <b>(-88.50693503)</b>

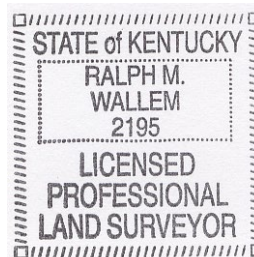
<b>GROUND ELEVATION:</b>	<b>494.00' +/-AMSL</b>
--------------------------	------------------------

I CERTIFY, THAT THE LATITUDE AND THE LONGITUDE LISTED ARE ACCURATE WITHIN +/- 20 FOOT HORIZONTALLY; AND THAT THE SITE ELEVATION IS ACCURATE WITHIN +/- 3 FOOT VERTICALLY.

THE HORIZONTAL DATUM (COORDINATES) IS IN TERMS OF THE NORTH AMERICAN DATUM 1983 (NAD83) AND EXPRESSED IN DEGREES, MINUTES, AND SECONDS, TO THE NEAREST HUNDREDTH OF A SECOND.

THE VERTICAL DATUM (HEIGHT) IS IN TERMS OF THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) AND ARE DETERMINED TO THE NEAREST HUNDREDTH OF A FOOT.

**RALPH M. WALLEM**  
**BENCHMARK SERVICES, INC.**  
*Consulting Engineers & Land Surveyors*  
DATE: 5.9.2025  
PROFESSIONAL LAND SURVEYOR NO. 2195



**EXHIBIT G**  
**GEOTECHNICAL REPORT**

**PURCHASE PARKWAY KY (US-KY-5239)  
7996 STATE ROUTE 58  
MAYFIELD, GRAVES COUNTY, KENTUCKY 42066**

**PREPARED FOR:  
THE TOWERS, LLC**

**RAMAKER & ASSOCIATES, INC.  
PROJECT NUMBER: 62988**

**GEOTECHNICAL INVESTIGATION**

## GEOTECHNICAL INVESTIGATION

**PROJECT:** Purchase Parkway KY  
7996 State Route 58  
Mayfield, Graves County, Kentucky 42066

**CLIENT SITE NUMBER:** US-KY-5239

**PREPARED FOR:** The Towers, LLC  
750 Park of Commerce Drive  
Boca Raton, Florida 33487

**PREPARED BY:** Ramaker & Associates, Inc.  
1955 Atwood Avenue  
Suite 202  
Madison, Wisconsin 53704  
Phone: (608) 643-4100  
Fax: (608) 643-7999

**RAMAKER JOB NUMBER:** 62988

**DATE OF ISSUANCE:** August 20, 2025



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Adam Sindermann  
Environmental Manager



---

Jeffrey H. Zander, P.E.  
MEPS Service Group Leader

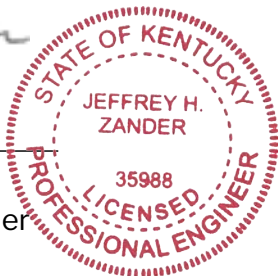


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Figure 1	USGS 7.5-Minute Quadrangle
Figure 2	Site Plan
Figure 3	Boring Log(s)

## 1.0 INTRODUCTION

### 1.1 PROJECT INFORMATION

Ramaker & Associates, Inc. (Ramaker) was retained by The Towers, LLC to complete a Geotechnical Investigation for the project site summarized below.

PROPERTY INFORMATION	
Address:	7996 State Route 58 in Mayfield, Graves County, Kentucky
Tower Coordinates:	36.777535, -88.506935
Tower Base Elevation:	484 feet above mean sea level (AMSL)
Topography:	Topography at the site slopes to the southeast
Proposed Development:	self-support tower

### 1.2 PURPOSE AND OBJECTIVES

The purpose of this investigation was to obtain and provide The Towers, LLC with engineering parameters, soil characteristics, foundation design recommendations, and geotechnical recommendations with respect to the proposed tower.

### 1.3 SCOPE OF SERVICES

Ramaker completed the geotechnical investigation following generally accepted industry standards and in general accordance with *Annex G: Geotechnical Investigations of Telecommunications Industries Association, Structural Standard for Antenna Supporting Structures and Antennas, TIA Standard ANSI/TIA-222-H*, Washington, D.C. The scope of work included the following:

- One boring was advanced near each of the tower legs. Drilling was completed on July 30, 2025.
- Representative soil samples were obtained using a standard 2-inch diameter split spoon sampler in general accordance with ASTM D 1586, "Penetration Testing and Split-Barrel Sampling of Soils." Sample intervals are recorded on the boring log(s) in Figure 3.
- Soil samples collected from each interval were classified using the Unified Soil Classification System (USCS) in general accordance with ASTM D 2487, "Standard Practice for Classification of Soils for Engineering Purposes" and ASTM D 2488, "Standard Practice for Description and Identification of Soils". No laboratory testing was conducted for this site.
- Ramaker analyzed boring logs and assessed the engineering characteristics of the in situ soils. The boring log(s) include a general subsurface profile, USCS classifications, and Standard Penetration Test values for each soil layer.
- Ramaker reviewed available physical and chemical setting sources for pertinent soil data (e.g. local soil types, geology, corrosive properties, pH, and frost depth).

## 1.4 LIMITATIONS

The scope of services for this report did not include any environmental assessment or investigation for the presence of hazardous or toxic materials in the soil, groundwater, or surface water within or beyond the subject site. Any statements in this report or on the test boring log regarding odors, staining of soils, or other unusual conditions observed are strictly for the information of The Towers, LLC.

Data was obtained from sample locations identified in Figure 2; no other areas were investigated. The report summarizes subsurface conditions, only at specific locations and times, and only to depths penetrated. All recommendations contained herein are valid only for the described boring location(s) at the site investigated. This report was prepared on the assumption that soil conditions do not deviate from those investigated. Variations can occur between boring locations, the nature and extent of which may not become evident until after construction commences. These variations may not be represented by this report.

The recommendations contained within this report were developed based on the identified sample locations, general project information provided by the owner, reference information, field observations, and laboratory testing data, as applicable. Ramaker reserves the right to modify our recommendations should alterations to the proposed development occur. No other warranty, expressed or implied, is made.

*Study Limitations & Restrictions* that apply to this geotechnical investigation are further detailed in Section 5.

## **2.0 EXPLORATION PROGRAM RESULTS**

### **2.1 SUBSURFACE CONDITIONS**

A general subsurface profile describing subsurface conditions is included in Figure 3. According to geologic references, bedrock is mapped as loess or continental deposits.

Bedrock was not encountered during drilling operations.

### **2.2 GROUNDWATER**

Groundwater was not encountered during drilling operations. Seasonal fluctuations in groundwater table elevation are expected, however these fluctuations are not expected to affect the recommended foundation at this site.

### **2.3 FROST DEPTH**

According to TIA Standard ANSI/TIA-222-G-2005, the frost depth design criteria for Graves County is 20 inches (approximately 1.7 feet) BGS.

### **2.4 PH VALUES AND CORROSIVE NATURE**

Ramaker reviewed the USDA National Cooperative Web Soil Survey. Soil at the site is classified as Brandon-Saffell-Smithdale complex. The pH of this soil type ranges from 4.5 to 7.0 and has a weighted average value of 5.1. This soil is rated with a moderate risk of corrosion to concrete and a low risk of corrosion to steel.

### **2.5 ELECTROLYTIC CORROSION**

Underground pipelines, electrical substations and buried concentric neutral power wires may affect electrolytic corrosion.

Ramaker reviewed the National Pipeline Mapping System (NPMS) for underground pipelines near the site. The NPMS Public Map Viewer includes gas transmission pipelines and hazardous liquid trunk lines. Gathering and distribution pipelines are not available from this source. No transmission pipelines were shown within 1,000 feet of the proposed site.

Ramaker reviewed a recent aerial photograph (Google Earth) for the area surrounding the site to identify potential electrical substations and buried concentric neutral power wires. No electrical substations were visible within 1,000 feet of the proposed site. No structures that may be indicative of buried concentric neutral power wires were visible within 1,000 feet of the proposed site.

### 3.0 RECOMMENDATIONS

#### 3.1 SHALLOW TOWER FOUNDATION SYSTEM

The following design parameters are provided for a shallow foundation system consisting of a spread footing. The base of the foundation should be placed a minimum of 6 feet BGS. The material at the proposed tower location is expected to provide an **ultimate net bearing capacity of 20,000 psf**.

B1						
Depth (ft)		USCS Soil Type	Effective Unit Weight (pcf)	Cohesion (psf)	Friction Angle (degrees)	N-Value
Top	Bottom					
0.0	2.0	CL	120	2000	---	16
2.0	4.5	CL	120	2000	---	16
4.5	6.0	SC	122	5500	---	44
6.0	8.5	SC	122	5900	---	50
8.5	11.0	SM	120	---	42	50
11.0	12.5	SP-SM	120	---	42	50
12.5	18.5	SP-SM	117	---	36	30
18.5	20.0	SP-SM	120	---	42	50
20.0	28.5	SP-SM	119	---	39	39
28.5	35.0	SP-SM	120	---	42	50
35.0	43.5	SP-SM	117	---	36	30
43.5	45.0	SP-SM	118	---	37	31
45.0	50.0	SP-SM	116	---	33	20

B2						
Depth (ft)		USCS Soil Type	Effective Unit Weight (pcf)	Cohesion (psf)	Friction Angle (degrees)	N-Value
Top	Bottom					
0.0	3.5	CL	117	1500	---	12
3.5	6.0	SP-SM	117	---	35	26
6.0	8.5	SC	122	3500	---	28
8.5	11.0	SC	122	5900	---	50
11.0	20.0	SP-SM	120	---	42	50

B3						
Depth (ft)		USCS Soil Type	Effective Unit Weight (pcf)	Cohesion (psf)	Friction Angle (degrees)	N-Value
Top	Bottom					
0.0	3.5	CL	118	1800	---	15
3.5	6.0	CL	122	5900	---	50
6.0	8.5	SC	122	4600	---	37
8.5	11.0	SP-SM	119	---	40	41
11.0	20.0	SP-SM	120	---	42	50

### 3.2 DEEP TOWER FOUNDATION SYSTEM

The following foundation design parameters are provided for a deep foundation system consisting of drilled piers.

B1								
Depth (ft)		USCS Soil Type	Effective Unit Weight (pcf)	Cohesion (psf)	Friction Angle (degrees)	Ultimate Skin Friction (psf)		Ultimate Net Tip Bearing Capacity (psf)
Top	Bottom					Compression	Uplift	
0.0	2.0	CL	120	2000	---	0	0	---
2.0	4.5	CL	120	2000	---	900	900	---
4.5	6.0	SC	122	5500	---	2,800	2,600	---
6.0	8.5	SC	122	5900	---	3,200	2,900	35,000
8.5	11.0	SM	120	---	42	1,200	900	12,500
11.0	12.5	SP-SM	120	---	42	1,400	1,100	14,200
12.5	18.5	SP-SM	117	---	36	1,800	1,300	12,000
18.5	20.0	SP-SM	120	---	42	2,000	1,500	22,700
20.0	28.5	SP-SM	119	---	39	2,400	1,800	24,800
28.5	35.0	SP-SM	120	---	42	2,800	2,100	37,200
35.0	43.5	SP-SM	117	---	36	3,000	2,200	20,500
43.5	45.0	SP-SM	118	---	37	3,100	2,300	21,200
45.0	50.0	SP-SM	116	---	33	3,200	2,400	12,000

**\*Bearing capacities are provided assuming direct sidewall contact is made between soil and concrete and length/diameter ratio is greater than 3. If a drilled shaft is designed with a ratio less than 3, Ramaker should be contacted to provide updated bearing capacities.**

### 3.3 SEISMIC DESIGN CATEGORY

Soils at the proposed tower site consist of clays, sandy clays, and silty sands. Based on the soil types and site location, Ramaker recommends using Seismic Design Category D.

### **3.4 SITE GRADING**

Grading for the site should be completed in accordance with the following:

- Strip and dispose of any remains of previous improvements discovered within the areas to be graded. This shall include removal of all vegetation, debris, and other deleterious material. Any cobbles, boulders, concrete, and/or asphaltic rubble larger than six (6) inches in diameter should be removed and wasted in accordance with all applicable regulations.
- Scarify the surface in areas where fill will be placed.
- Remove at least six (6) inches of the subgrade soil beneath slabs and footings and replace with on-site or imported fill material meeting the criteria below.
- Fill material should meet the following minimum standards:
  - Less than 15% passing the No. 200 sieve (<15% fines),
  - Plasticity index not more than 6 (PI<6), and
  - Liquid limit below 20 (LL<20)
- Fill material should be placed in lifts of 6 to 9 inches.
- Fill material should be moist at the time of placement. Dry or saturated fill material should not be used.
- Compact all soils, wherein the term “compact” and its derivatives mean a minimum of 98 percent of the Standard Proctor dry density (ASTM D698). Moisture conditioning may be required to achieve compaction requirements.
- Utility trenches are to be backfilled and compacted to a minimum 98 percent of the Standard Proctor dry density (ASTM D698) under slabs or other improvements. In all other areas, utility trenches are to be backfilled and compacted to a minimum of 90 percent of the Standard Proctor dry density (ASTM D698).
- Frozen material should not be used as fill material. Compacted fill should not be placed on frozen material or allowed to freeze.
- The site should be graded such that storm water is directed away from all foundations. Water should not be allowed to pond next to any foundation elements.
- Finished grade slopes should be graded to minimum of a 3:1 ratio.

### **3.5 OTHER PERTINENT DESIGN DATA AND RECOMMENDATIONS**

There are no other pertinent design data and recommendations at this site.



## 4.0 REFERENCES

- 7.5 - Minute Series United States Geological Survey Quadrangle.
- ASTM International, ASTM D1586-11: Standard Test Method for Standard Penetration Test (SPT) and Split-Barrel Sampling of Soils
- ASTM International, ASTM D2487-11: Standard Practice for Classification of Soils for Engineering Purposes (Unified Soil Classification System)
- ASTM International, ASTM D2488-09a: Standard Practice for Description and Identification of Soils (Visual-Manual Procedure)
- ASTM International, ASTM D698-12: Standard Test Methods for Laboratory Compaction Characteristics of Soil Using Standard Effort
- Telecommunications Industries Association, *Structural Standard for Antenna Supporting Structures and Antennas*, TIA Standard ANSI/TIA-222-H, Washington, D.C.
- United States Department of Agriculture National Resources Conservation Service, National Cooperative Web Soil Survey (<http://websoilsurvey.sc.egov.usda.gov/App/HomePage.htm>).
- National Pipeline Mapping System ([www.npms.phmsa.dot.gov](http://www.npms.phmsa.dot.gov))
- Dan A. Brown, Ph.D, P.E., John P. Turner, Ph.D, P.E., and Raymond J. Castelli, P.E., Drilled Shafts: Construction Procedures and LRFD Design Methods NHI Course No. 132014, Geotechnical Engineering Circular No. 10, Federal Highway Administration Publication No. FHWA-NHI-10-016, May 2010
- Reese, Lymon C., Ph.D., P.E. and Michael W. O'Neill Ph.D., P.E., *Drilled Shafts: Construction Procedures and Design Methods*, Publication Nos. FHWA-IF-99-025, August 1999
- Das, Braja M., *Principles of Geotechnical Engineering*, 7<sup>th</sup> Edition, 2010
- Bowles, Joseph E., *Foundation Analysis and Design*, 5<sup>th</sup> Edition, 1997
- Terzaghi, Karl; Peck, Ralph B; Mesri, Gholamreza; *Soil Mechanics in Engineering Practice*, 3<sup>rd</sup> Edition, 1996
- Reese, Lymon C.; Isenhower, William M.; Wang, Shin-Tower; *Analysis and Design of Shallow and Deep Foundations*, 2006
- NAVFAC DM-7.1, *Soil Mechanics, Design Manual 7.1*, Department of the Navy, Naval Facilities Engineering Command, Alexandria, VA, 1986
- NAVFAC DM-7.2, *Foundations & Earth Structures*, Department of the Navy, Naval Facilities Engineering Command, Alexandria, VA, 1986
- Google Earth
- United States Geological Survey, *The National Geologic Map Database*, [ngmdb.usgs.gov](http://ngmdb.usgs.gov)

## 5.0 STUDY LIMITATIONS AND RESTRICTIONS

In preparing this Report, Ramaker & Associates, Inc.'s professional services were provided in a manner consistent with that level of skill, care and judgment ordinarily exercised by similar professionals providing services in this locality under similar conditions, all as measured as of the time Ramaker & Associates, Inc. services were rendered. The findings, opinions, conclusions, analysis and recommendations presented herein constitute the professional opinions of Ramaker & Associates, Inc. These opinions are based upon the prevailing and accepted hydrogeologic, scientific, engineering and environmental consulting professional practices in this locality, all as measured as of the time Ramaker & Associates, Inc.'s services were rendered. No other warranty or guarantee, express or implied, is made as to Ramaker & Associates, Inc.'s findings, opinions, conclusions and recommendations included in this assessment.

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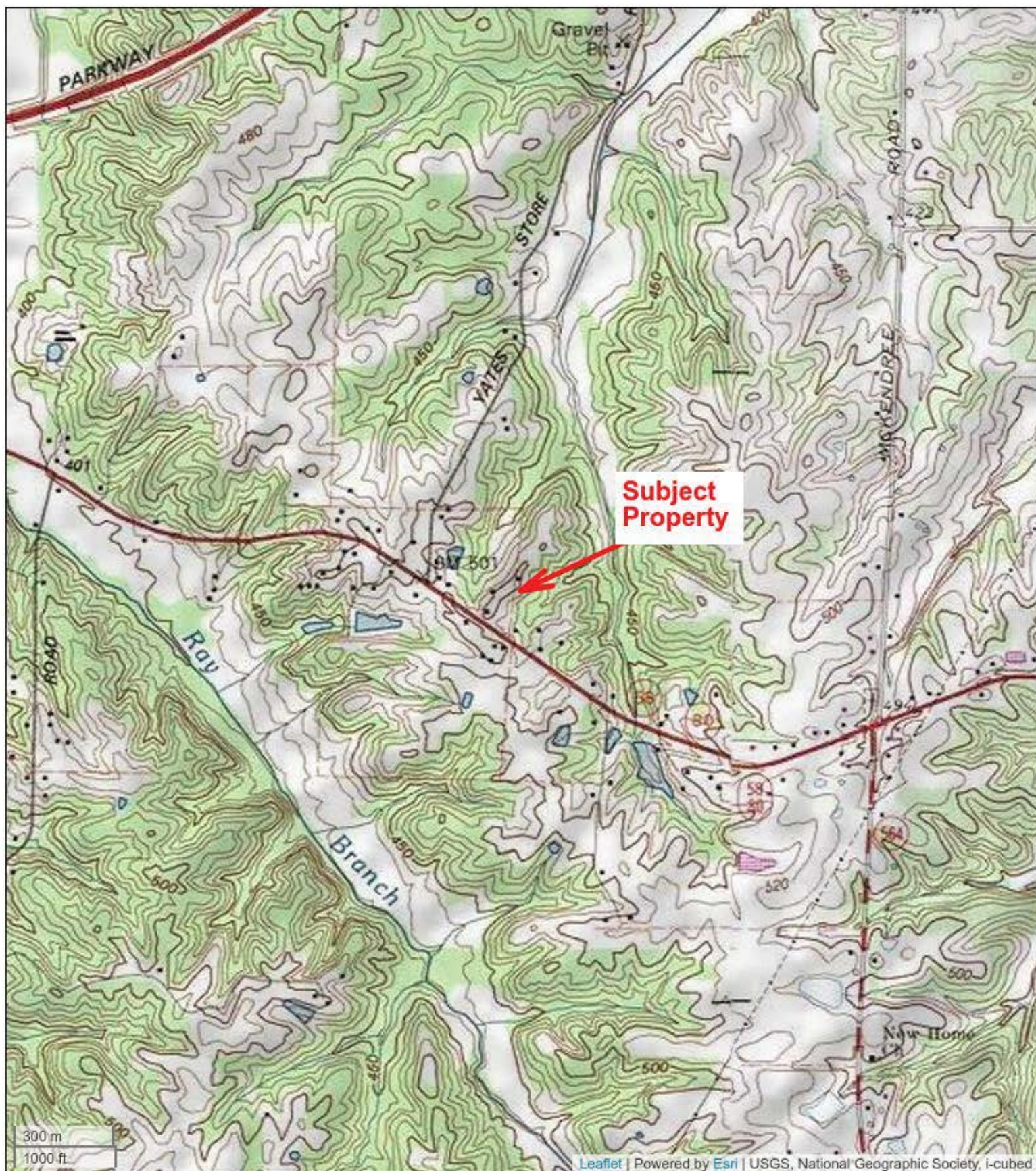
The information reported herein may trigger for the Client certain obligations pursuant to local, state or federal ordinances, laws, rules or regulations to report the discovery of environmental releases or conditions to local, state or federal regulatory or governmental authorities or to take other action. Client has not requested and Ramaker & Associates, Inc. has not provided herein any advice, recommendation or conclusion regarding the reportable nature of any of the findings or observations described herein. The determination of Client's reporting requirements or obligations, if any, under law is a legal conclusion for which Ramaker & Associates, Inc. assumes no responsibility and about which Ramaker & Associates, Inc. provides no opinion, conclusion, finding or certification. Client is advised to seek the advice of legal counsel to determine Client's obligations should environmental releases or conditions be noted herein.

The scope of work reflected in this Report was approved by Client and has inherent limitations regarding the amount of data or evidence collected. Because professional judgments incorporated into this Report are based on limited evidence, there is inherent uncertainty in the conclusions drawn and reported herein. The Client has, after consultation, approved the level of effort for Ramaker & Associates, Inc. to undertake and, therefore, has determined the corresponding degree of uncertainty as acceptable for Client's purposes.

This report was prepared for the exclusive use of Client and not for use or reliance by any third party. Any third party necessarily has different interests, purposes, concerns, and motives than the Client with regard to this report or assessment. Therefore, use of this report by any third party is expressly prohibited without the joint written authorization of the Client and Ramaker & Associates, Inc., which shall necessarily include the precondition that the third-party agree to accept Ramaker & Associates, Inc.'s "Terms and Conditions of Agreement," including the limitation of liability and indemnification protections.

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USGS 7.5-Minute Quadrangle

Purchase Parkway KY (US-KY-5239)

7996 State Route 58

Mayfield, Kentucky 42066

Graves County



**RAMAKER**  
employee-owned





750 PARK OF COMMERCE DRIVE  
SUITE 200, BOCA RATON, FL 33487

PLANS PREPARED BY:

**Kimley»Horn**

500 E 96TH STREET  
SUITE 300  
INDIANAPOLIS, IN 46240

REV: DATE: DESCRIPTION: BY:

A	06/18/25	ISSUED FOR ZONING GP

DRAWN BY: CHECKED BY:

GP JR

KHA PROJECT NUMBER:

180052002.1.102

ENGINEER SEAL:



07/17/2025  
Exp: 6/30/27

PROJECT INFORMATION:

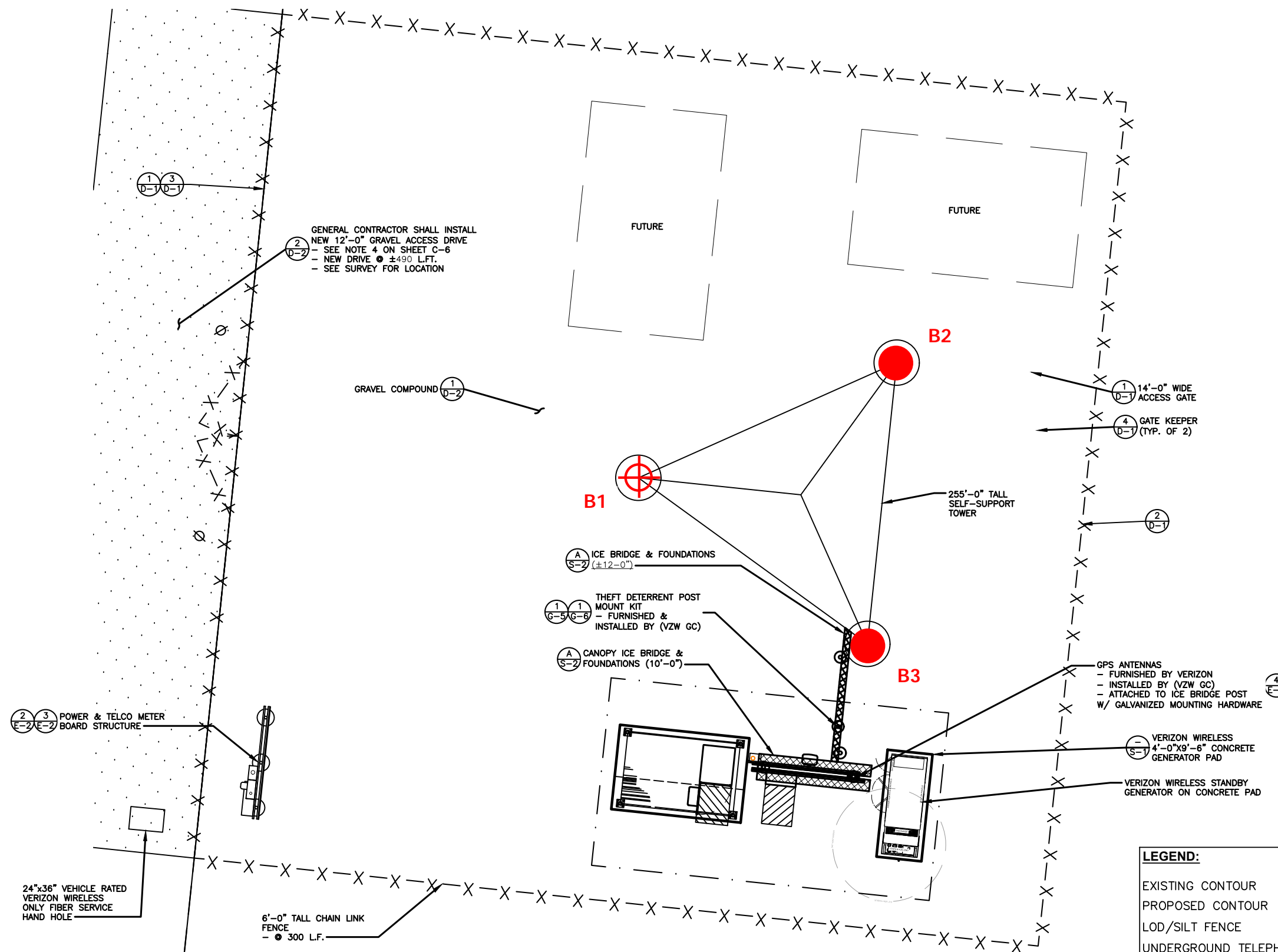
US-KY-5239  
5000957862  
7996 STATE ROUTE 58  
MAYFIELD, KY 42066  
GRAVES COUNTY

SHEET TITLE:

**DETAILED SITE PLAN**

SHEET NUMBER:

C-3



### DETAILED SITE PLAN

SCALE: 1" = 20'-0"



#### LEGEND:

EXISTING CONTOUR	— XXX —
PROPOSED CONTOUR	— XXX —
LOD/SILT FENCE	— LOD —
UNDERGROUND TELEPHONE CONDUIT	— — — — —
UNDERGROUND ELECTRICAL CONDUIT	— — — — —
EDGE OF NEW DRIVE	— — — — —
LEASE AREA/EASEMENT	— — — — —
OVERHEAD UTILITY LINE	— OE — OE —
NEW FENCE LINE	— X — X — X — X —
IRON PIN	●
CONCRETE	■
ACCESS DRIVE	■

GENERAL CONTRACTOR SHALL INSTALL  
NEW 12'-0" GRAVEL ACCESS DRIVE  
- SEE NOTE 4 ON SHEET C-6  
- NEW DRIVE @ ±490 L.F.  
- SEE SURVEY FOR LOCATION

GRAVEL COMPOUND

ICE BRIDGE & FOUNDATIONS  
(±12'-0")

THEFT DETERRENT POST  
MOUNT KIT  
- FURNISHED &  
INSTALLED BY (VZW GC)

CANOPY ICE BRIDGE &  
FOUNDATIONS (10'-0")

B2

B1

B3

GPS ANTENNAS  
- FURNISHED BY VERIZON  
- INSTALLED BY (VZW GC)  
- ATTACHED TO ICE BRIDGE POST  
W/ GALVANIZED MOUNTING HARDWARE

VERIZON WIRELESS  
4'-0"x9'-6" CONCRETE  
GENERATOR PAD

VERIZON WIRELESS STANDBY  
GENERATOR ON CONCRETE PAD

POWER & TELCO METER  
BOARD STRUCTURE

24"x36" VEHICLE RATED  
VERIZON WIRELESS  
ONLY FIBER SERVICE  
HAND HOLE

6'-0" TALL CHAIN LINK  
FENCE  
- ● 300 L.F.



Know what's below.  
Call Monday thru Friday - 7 am. to 6 pm.  
1-800-752-6007  
PER KENTUCKY STATE LAW, IT IS AGAINST THE  
LAW TO EXCAVATE WITHOUT NOTIFYING THE  
UNDERGROUND LOCATION SERVICE TWO (2)  
WORKING DAYS BEFORE COMMENCING WORK.

\*NOTE:  
GENERAL CONTRACTOR IS TO ENSURE  
THERE IS NO DISTURBANCE OF  
PROPERTY, SOIL, ETC. OUTSIDE OF  
THE STAKED LEASE AREA WITHOUT  
APPROVAL FROM VERIZON WIRELESS  
CONSTRUCTION MANAGER

**Project Number:** 62988  
**Project Name:** Purchase Parkway KY  
**Address:** 7996 State Route 58  
**City, State:** Mayfield, KY  
**County:** Graves  
**Sample Method:** Split Spoon  
**Elevation (ft AMSL):** 484 (per CDs)

**Boring Number:** B1  
**Drill Start Date:** 07/30/25  
**Drill End Date:** 07/30/25  
**Boring Depth (ft BGS):** 50  
**GW Depth During (ft BGS):** Not Encountered  
**GW Depth After (ft BGS):** Not Encountered  
**Depth of Collapse (ft BGS):** 29.3

▽/ ▼ = Water Level (After/During)

Sample Number	Sample From (ft)	Sample To (ft)	Recovery (in)	Moisture	Blow Counts			N-Value	USCS Classification	Water	Depth (ft) BGS	Description
									CL		—	Brown silty clay
1	1	2.5	8	M	4	8	8	16			1	
											2	
									SC		3	
2	3.5	5	7	M	4	13	31	44			4	Reddish brown silty clay, some fine to coarse sand, trace gravel
											5	Reddish brown fine to coarse sand, some clayey silt
									SM		6	
3	6	7.5	12	M	16	41	30	50+			7	
											8	
									SP-SM		9	Brown fine to coarse sand, some gravel, some clayey silt
4	8.5	10	17	M	17	26	27	50+			10	
											11	
											12	Reddish brown fine to medium sand, little silt
5	11	12.5	9	M	15	34	42	50+			13	Reddish brown fine to medium sand, little silt, some gravel
											14	
											15	
6	13.5	15	9	M	1	15	15	30			16	
											17	
											18	
											19	Reddish brown fine to medium sand, little silt
7	18.5	20	5	M	20	50/5"	---	50+			20	

**Project Number:** 62988  
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▽/ ▼ = Water Level (After/During)

Sample Number	Sample From (ft)	Sample To (ft)	Recovery (in)	Moisture	Blow Counts			N-Value	USCS Classification	Water	Depth (ft) BGS	Description
									SP-SM		20	Reddish brown fine to medium sand, little silt
											21	
											22	
											23	
											24	
8	23.5	25	16	M	11	15	24	39			25	
											26	
											27	
											28	
											29	
9	28.5	30	9	M	14	25	27	50+			30	
											31	
											32	
											33	
											34	
10	33.5	35	13	M	12	22	28	50			35	
											36	
											37	
											38	
											39	
11	38.5	40	10	M	12	15	15	30			40	



**Project Number:** 62988  
**Project Name:** Purchase Parkway KY  
**Address:** 7996 State Route 58  
**City, State:** Mayfield, KY  
**County:** Graves  
**Sample Method:** Split Spoon  
**Elevation (ft AMSL):** 484 (per CDs)

**Boring Number:** B1  
**Drill Start Date:** 07/30/25  
**Drill End Date:** 07/30/25  
**Boring Depth (ft BGS):** 50  
**GW Depth During (ft BGS):** Not Encountered  
**GW Depth After (ft BGS):** Not Encountered  
**Depth of Collapse (ft BGS):** 29.3

▽/ ▼ = Water Level (After/During)

Sample Number	Sample From (ft)	Sample To (ft)	Recovery (in)	Moisture	Blow Counts			N-Value	USCS Classification	Water	Depth (ft) BGS	Description
									SP-SM		40	Reddish brown fine to medium sand, little silt
											41	
											42	
											43	
											44	
12	43.5	45	10	M	10	14	17	31			45	Brown fine to medium sand, little silt
											46	
											47	
											48	
											49	
13	48.5	50	11	M	9	10	10	20			50	
											51	
											52	
											53	
											54	
											55	
											56	
											57	
											58	
											59	
											60	

**Project Number:** 62988  
**Project Name:** Purchase Parkway KY  
**Address:** 7996 State Route 58  
**City, State:** Mayfield, KY  
**County:** Graves  
**Sample Method:** Split Spoon  
**Elevation (ft AMSL):** 484 (per CDs)

**Boring Number:** B2  
**Drill Start Date:** 07/30/25  
**Drill End Date:** 07/30/25  
**Boring Depth (ft BGS):** 20  
**GW Depth During (ft BGS):** Not Encountered  
**GW Depth After (ft BGS):** Not Encountered  
**Depth of Collapse (ft BGS):** 14.9

▽/ ▼ = Water Level (After/During)

Sample Number	Sample From (ft)	Sample To (ft)	Recovery (in)	Moisture	Blow Counts			N-Value	USCS Classification	Water	Depth (ft) BGS	Description
1	1	2.5	18	M	3	6	6	12	CL		1	Brown silty clay
											2	
											3	
2	3.5	5	9	M	4	7	19	26	SP-SM		4	Brown fine to coarse sand, some gravel, little clayey silt
											5	
											6	
3	6	7.5	16	M	7	10	18	28			7	Reddish brown silty clay and fine to medium sand
									SC		8	
											9	
4	8.5	10	9	M	8	50/5"	---	50+			10	
											11	
5	11	12.5	5	M	19	50/4"	---	50+			12	Reddish brown fine to medium sand, little silt
											13	
											14	
6	13.5	15	12	M	13	34	50/5"	50+			15	
									SP-SM		16	
											17	
											18	
7	18.5	20	11	M	15	33	50/4"	50+			19	
											20	

**Project Number:** 62988  
**Project Name:** Purchase Parkway KY  
**Address:** 7996 State Route 58  
**City, State:** Mayfield, KY  
**County:** Graves  
**Sample Method:** Split Spoon  
**Elevation (ft AMSL):** 484 (per CDs)

**Boring Number:** B3  
**Drill Start Date:** 07/30/25  
**Drill End Date:** 07/30/25  
**Boring Depth (ft BGS):** 20  
**GW Depth During (ft BGS):** Not Encountered  
**GW Depth After (ft BGS):** Not Encountered  
**Depth of Collapse (ft BGS):** 17.5

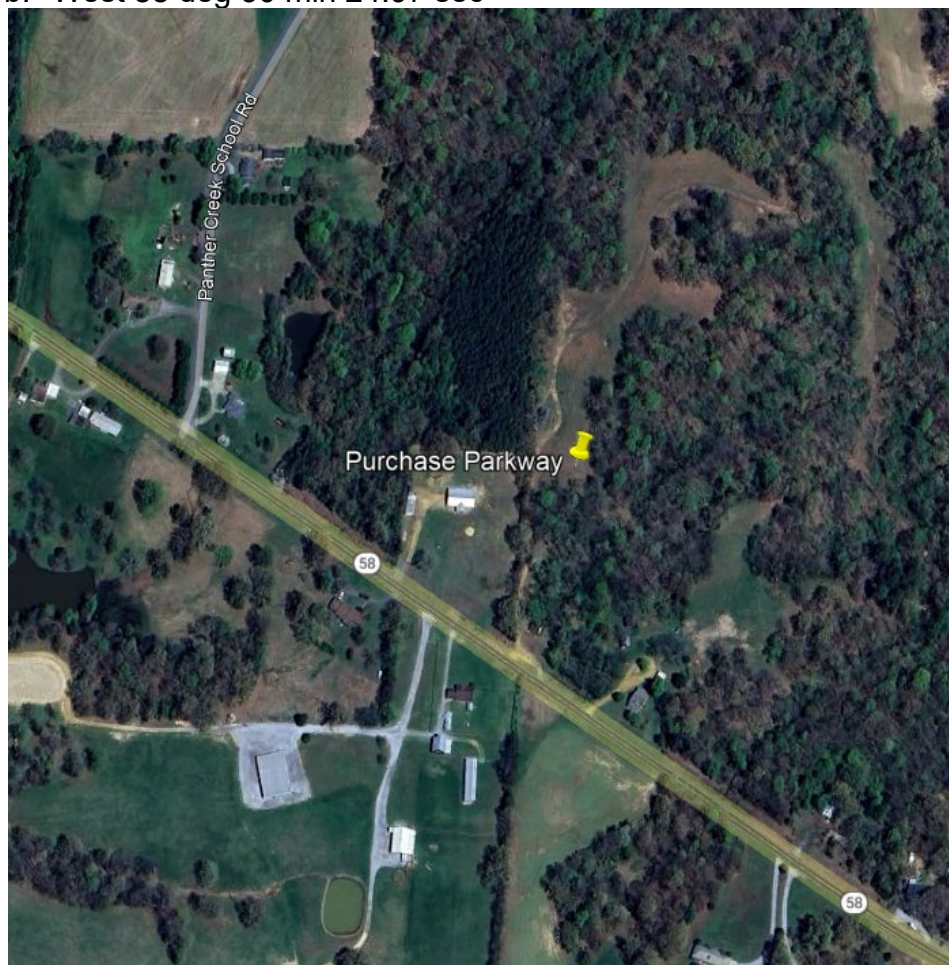
▽/ ▼ = Water Level (After/During)

Sample Number	Sample From (ft)	Sample To (ft)	Recovery (in)	Moisture	Blow Counts			N-Value	USCS Classification	Water	Depth (ft) BGS	Description
									CL		1	Brown silty clay
1	1	2.5	18	M	3	5	10	15			2	
											3	
2	3.5	5	13	M	14	41	17	50+	SC		4	Reddish brown silty clay, some fine to coarse sand, trace gravel
											5	
											6	
3	6	7.5	13	M	7	17	20	37	SC		7	Reddish brown silty clay and fine to medium sand
											8	
											9	Reddish brown fine to medium sand, little silt
4	8.5	10	16	M	5	17	24	41	SP-SM		10	
											11	
5	11	12.5	13	M	17	44	50/3"	50+			12	
											13	
											14	
6	13.5	15	9	M	20	45	50/4"	50+			15	
											16	
											17	
											18	
											19	
7	18.5	20	16	M	10	21	33	50+			20	

**EXHIBIT H**  
**DIRECTIONS TO WCF SITE**

## **Driving Directions to Proposed Tower Site**

1. Beginning at 1102 Paris Rd., Mayfield, KY 42066, travel south towards Barton Dr. for approximately 350 feet.
2. Turn left onto Barton Dr. and travel approximately 0.1 miles.
3. Turn right onto S Commonwealth Dr. and travel approximately 0.3 miles.
4. Turn left onto Charles Dr. and travel approximately 400 ft.
5. Turn left onto KY-121 S / S Castleman Byp. and travel approximately 1.8 miles.
6. Turn right onto KY-58 E and travel approximately 7.1 miles.
7. Site is on the left.
8. The site coordinates are
  - a. North 36 deg 46 min 39.13 sec
  - b. West 88 deg 30 min 24.97 sec



Prepared by:  
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**EXHIBIT I**

**COPY OF REAL ESTATE AGREEMENT**

**Landlord:**

Frances M. Swift  
[REDACTED]

**Tenant:**

The Towers, LLC  
750 Park of Commerce Drive, Suite 200  
Boca Raton, Florida 33487

**Site #: US-KY-5239**

**Site Name: Purchase Parkway KY**

**OPTION AND LEASE AGREEMENT**

**THIS OPTION AND LEASE AGREEMENT** (this "Agreement") is made this 14<sup>th</sup> day of May, 20 25 (the "Effective Date") by and between **Frances M. Swift**, a widow, ("Landlord"), whose address is [REDACTED], and **The Towers, LLC**, a Delaware limited liability company ("Tenant"), whose address is 750 Park of Commerce Drive, Suite 200, Boca Raton, Florida 33487.

**WHEREAS**, Landlord owns certain real property located in the County of Graves, in the State or Commonwealth of Kentucky, that is more particularly described and/or depicted in **Exhibit 1** attached hereto (the "Property"); and,

**WHEREAS**, Tenant desires to lease from Landlord a certain portion of the Property measuring approximately 10,000 square feet and to obtain easements for landscape buffer, utilities and access (collectively, the "Premises"), which Premises is more particularly described and/or depicted in **Exhibit 2** attached hereto, for the placement of Communications Facilities (defined below).

**NOW THEREFORE**, for good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the parties hereto agree:

**1. OPTION TO LEASE.**

(a) As of the Effective Date, Landlord grants to Tenant the exclusive option to lease the Premises (the "Option") during the Option Period (defined below). At any time during the Option Period and Term (defined below), Tenant and its agents, engineers, surveyors and other representatives will have the right to enter upon the Property to inspect, examine, conduct soil borings, drainage testing, material sampling, and other geological or engineering tests or studies of the Property (collectively, the "Tests"), to apply for and obtain licenses, permits, approvals, or other relief required of or deemed necessary or appropriate at Tenant's sole discretion for its use of the Premises including, without limitation, applications for zoning variances, zoning ordinances, amendments, special use permits, construction permits and any other permits and approvals deemed necessary by Tenant (collectively, the "Government Approvals"), initiate the ordering and/or scheduling of necessary utilities, obtain a title report with respect to the Property, and otherwise to do those things on or off the Property that, in the opinion of Tenant, are necessary in Tenant's sole discretion to determine the physical condition of the Property, the environmental history of the Property, and the feasibility or suitability of the Property for Tenant's permitted use under this Agreement, all at Tenant's expense. Tenant shall be authorized to apply for the Government Approvals on



behalf of Landlord and Landlord agrees to reasonably cooperate with such applications. Tenant will not be liable to Landlord or any third party on account of any pre-existing defect or condition on or with respect to the Property, whether or not such defect or condition is disclosed by Tenant's Tests. Tenant will restore the Property to its condition as it existed prior to conducting any Tests, reasonable wear and tear and casualty not caused by Tenant excepted. In addition, Tenant shall indemnify, defend and hold Landlord harmless from and against any and all injury, loss, damage or claims arising directly out of Tenant's Tests.

(b) In consideration of Landlord granting Tenant the Option, Tenant agrees to pay Landlord the sum of [REDACTED] within thirty (30) days of the full execution of this Agreement. The Option Period will be for a term of four (4) years from the Effective Date (the "**Option Period**").

(c) Tenant may exercise the Option at any time during the Option Period by delivery of written notice to Landlord (the "**Notice of Exercise of Option**"). The Notice of Exercise of Option shall set forth the commencement date (the "**Commencement Date**") of the Initial Term (defined below). If Tenant does not provide a Notice of Exercise of Option during the Option Period, this Agreement will terminate and the parties will have no further liability to each other.

(d) During the Option Period or the Term, Landlord shall not take any action to change the zoning status or land use of the Property which would diminish, impair, or adversely affect the use of the Premises by Tenant for its permitted uses hereunder.

## **2. TERM.**

(a) Effective as of the Commencement Date, Landlord leases the Premises to Tenant subject to the terms and conditions of this Agreement for an initial term of five (5) years (the "**Initial Term**").

(b) Tenant shall have the option to extend the Initial Term for nine (9) successive terms of five (5) years each (each a "**Renewal Term**"). Each Renewal Term shall commence automatically, unless Tenant delivers notice to Landlord, not less than thirty (30) days prior to the end of the then-current Term, of Tenant's intent not to renew. For purposes of this Agreement, "**Term**" shall mean the Initial Term and any applicable Renewal Term(s).

## **3. RENT**

(a) Beginning on the first (1<sup>st</sup>) day of the third (3<sup>rd</sup>) month after the Commencement Date ("**Rent Commencement Date**"), Tenant shall pay to Landlord a monthly rent payment of [REDACTED] ("**Rent**") at the address set forth in Section 29 below on or before the fifth (5<sup>th</sup>) day of each calendar month in advance. The initial payment of Rent will be forwarded by Tenant to Landlord within thirty (30) days after the Rent Commencement Date.

(b) The Rent shall increase by [REDACTED] annually on each anniversary of the Rent Commencement Date.

(c) Starting with the second (2<sup>nd</sup>) Broadband Carrier, and each additional Broadband Carrier thereafter, Tenant's monthly Rent due hereunder shall increase by [REDACTED] per month for each such additional Broadband Carrier (each a "**Revenue Share Fee**"), subject to the following terms and conditions. The applicable Revenue Share Fee shall commence on the first day of the month following the date that the second (2<sup>nd</sup>) Broadband Carrier (and each additional Broadband Carrier thereafter) commences rental payments to Tenant under its respective sublease. The Revenue Share Fee

shall only be due and payable in the event there are two (2) or more Broadband Carriers. If at any time subsequent to the addition of a second (2<sup>nd</sup>) Broadband Carrier the number of Broadband Carriers is reduced to one (1) Broadband Carrier, then no Revenue Share Fee shall be due and payable. Notwithstanding anything to the contrary contained herein, the Revenue Share Fee shall only be due and payable by Tenant to Landlord hereunder during the term of such Broadband Carrier's sublease agreement and for so long as such Broadband Carrier is actually paying to Tenant the requisite rental set forth therein. For purposes herein, the term "**Broadband Carrier**" shall mean Verizon, AT&T, Dish, and T-Mobile and such similar national broadband carriers.

4. **TAXES.** Tenant shall pay any personal property taxes assessed on, or any portion of such taxes attributable to, the Communications Facilities located on the Premises. Landlord shall pay when due all real property taxes and all other fees and assessments attributable to the Property and the Premises. Tenant shall pay as additional rent any increase in real property taxes levied against the Premises, which are directly attributable to Tenant's use of the Premises (but not, however, taxes attributable to periods prior to the Commencement Date such as roll-back or greenbelt assessments) if Landlord furnishes proof of such increase to Tenant (such increase, the "**Landlord Tax Reimbursement**"). In the event that Landlord fails to pay when due any taxes affecting the Premises or any easement relating to the Premises, Tenant shall have the right, but not the obligation, to pay such taxes and any applicable interest, penalties or similar charges, and deduct the full amount of the taxes and such charges paid by Tenant on Landlord's behalf from future installments of Rent. Notwithstanding the foregoing, Tenant shall not have the obligation to pay any tax, assessment, or charge that Tenant is disputing in good faith in appropriate proceedings prior to a final determination that such tax is properly assessed, provided that no lien attaches to the Property. In addition, Tenant shall not have the obligation to pay or reimburse Landlord for the Landlord Tax Reimbursement if Landlord has not provided proof of such amount and demand therefor within one (1) year of the date such amount is due and payable by Landlord.

5. **USE.** The Premises are being leased for the purpose of erecting, installing, operating, maintaining, repairing and replacing radio or communications towers, transmitting and receiving equipment, antennas, dishes, satellite dishes, mounting structures, equipment shelters and buildings, solar energy conversion and electrical power generation system, fencing and other supporting structures and related equipment (collectively, the "**Communications Facilities**"), and to alter, supplement and/or modify same. Tenant may, subject to the foregoing, make any improvements, alterations or modifications to the Premises as are deemed appropriate by Tenant for the permitted use herein. Tenant shall have the right to clear the Premises of any trees, vegetation, or undergrowth which interferes with the use of the Premises for the intended purposes by Tenant and/or its subtenants and licensees, as applicable. Tenant shall have the exclusive right to install and operate the Communications Facilities upon the Premises.

6. **ACCESS AND UTILITIES.** During the Term, Tenant and its guests, agents, employees, customers, invitees, subtenants, licensees and assigns shall have the unrestricted, exclusive right to use, and shall have free and unfettered access to, the Premises seven (7) days a week, twenty-four (24) hours a day. Landlord for itself, its successors and assigns, hereby grants and conveys unto Tenant, its customers, employees, agents, invitees, subtenants, licensees, successors and assigns a non-exclusive easement throughout the Term to a public right of way (a) for ingress and egress, and (b) for the construction, installation, operation, maintenance, repair and replacement of overhead and underground electric and other utility facilities (including fiber, backhaul, wires, poles, guys, cables, conduits and appurtenant equipment), with the right to reconstruct, improve, add to, enlarge, change and remove such facilities, over, across and through any easement for the benefit of and access to the Premises, subject to the terms and conditions herein set forth. Landlord agrees to coordinate, cooperate and assist Tenant with obtaining the required access and utility easements to the Premises from a public right of way up to and including negotiating and obtaining such access and utility rights from any applicable neighbor parcel. If there are utilities already

existing on the Premises which serve the Premises, Tenant may utilize such utilities and services. The rights granted to Tenant herein shall also include the right to partially assign its rights hereunder to any public or private utility company or authority to facilitate the uses contemplated herein, and all other rights and privileges reasonably necessary for Tenant's safe and efficient use and enjoyment of the easements for the purposes described above. Upon Tenant's request, Landlord shall execute and deliver to Tenant requisite recordable documents evidencing the easements contemplated hereunder within fifteen (15) days of Tenant's request, and Landlord shall obtain the consent and joinder of Landlord's mortgagee to any such grant, if applicable.

**7. EQUIPMENT, FIXTURES AND REMOVAL.** The Communications Facilities shall at all times be the personal property of Tenant and/or its subtenants and licensees, as applicable. Tenant or its customers, subtenants or licensees shall have the right to erect, install, maintain, repair, replace and operate on the Premises such equipment, structures, fixtures, signs, and personal property as Tenant, its customers, subtenants or licensees may deem necessary or appropriate, and such property, including the equipment, structures, fixtures, signs, and personal property currently on the Premises, shall not be deemed to be part of the Premises, but shall remain the property of Tenant or its customers, subtenants or licensees. Within ninety (90) days after the expiration or earlier termination of this Agreement (the "**Removal Period**"), Tenant, customers, subtenants or licensees shall remove its improvements and personal property and restore the Premises including any footings and foundations down to a depth of three (3') feet below grade level, but excluding underground utilities (if any) and perform all obligations under this Agreement during the Removal Period, including, without limitation, the payment of Rent at the rate in effect upon the expiration or termination of this Agreement.

**8. ASSIGNMENT AND SUBLEASE.** Tenant may transfer or assign this Agreement to Tenant's Lender (defined below), principal, affiliates, subsidiaries, subsidiaries of its principal or to any entity which acquires all of or substantially all of Tenant's assets or ownership interests by reasons of merger, acquisition or other business reorganization without Landlord's consent (a "**Permitted Assignment**"). As to transfers or assignments which do not constitute a Permitted Assignment, Tenant is required to obtain Landlord's written consent prior to effecting such transfer or assignment, which consent shall not be unreasonably withheld, conditioned or delayed. Upon such assignment, including a Permitted Assignment, Tenant will be relieved and released of all obligations and liabilities hereunder. Tenant shall have the exclusive right to sublease or grant licenses without Landlord's consent to use all or part of the Premises and/or the Communications Facilities, but no such sublease or license shall relieve or release Tenant from its obligations under this Agreement. Landlord may assign this Agreement only in its entirety and only to any person or entity who or which acquires fee title to the Property, subject to Section 15. Landlord may subdivide the Property without Tenant's prior written consent provided the resulting parcels from such subdivision are required to afford Tenant the protections set forth in Section 14 hereof.

**9. COVENANTS, WARRANTIES AND REPRESENTATIONS.**

(a) Landlord warrants and represents that it is the owner in fee simple of the Property, free and clear of all liens and encumbrances except as to those which may have been disclosed to Tenant in writing prior to the execution hereof, and that it alone has full right to lease the Premises for the Term.

(b) Landlord shall pay promptly, when due, any other amounts or sums due and owing with respect to its ownership and operation of the Property, including, without limitation, judgments, taxes, liens, mortgage payments and other similar encumbrances. If Landlord fails to make any payments required under this Agreement, or breaches any other obligation or covenant under this Agreement, Tenant may (without obligation), after providing ten (10) days written notice to Landlord, make such payment or

perform such obligation on behalf of Landlord and offset such payment (including any reasonable attorneys' fees incurred in connection with Tenant performing such obligation) against payments of Rent.

(c) Landlord shall not do or knowingly permit anything that will interfere with or negate any special use permit or approval pertaining to the Premises or cause Tenant's use of the Premises to be in nonconformance with applicable local, state, or federal laws. Landlord shall cooperate with Tenant in any effort by Tenant to obtain certificates, permits, licenses and other approvals that may be required by any governmental authorities. Landlord agrees to execute any necessary applications, consents or other documents as may be reasonably necessary for Tenant to apply for and obtain the Government Approvals required to use and maintain the Premises and the Communications Facilities.

(d) To the best of Landlord's knowledge, Landlord has complied and shall comply with all laws with respect to the Property. No asbestos-containing thermal insulation or products containing PCB, formaldehyde, chlordane, or heptachlor or other hazardous materials have been placed on or in the Property by Landlord or, to the knowledge of Landlord, by any prior owner or user of the Property. There has been no release of or contamination by hazardous materials on the Property by Landlord, or to the knowledge of Landlord, any prior owner or user of the Property.

(e) Tenant shall have access to all utilities required for the operation of Tenant's improvements on the Premises that are existing on the Property.

(f) Landlord warrants and represents that there currently exist no licenses, sublicenses, or other agreements, written or oral, granting to any party or parties the right of use or occupancy of any portion of the Property; there are no outstanding options or rights of first refusal to purchase the Property or any portion thereof or interest therein, or any equity or interest in Landlord if Landlord is an entity; and there are no parties (other than Landlord) in possession of the Property except as to those that may have been disclosed to Tenant in writing prior to the execution hereof.

**10. HOLD OVER TENANCY.** Should Tenant or any assignee, sublessee or licensee of Tenant hold over the Premises or any part thereof after the expiration of this Agreement, such holdover shall constitute and be construed as a tenancy from month-to-month only, but otherwise upon the same terms and conditions.

**11. INDEMNITIES.** Each party agrees to indemnify, defend and hold harmless the other party, its parent company or other affiliates, successors, assigns, officers, directors, shareholders, managers, members, agents and employees (collectively, "**Indemnified Persons**") from and against all claims, actions, judgments, damages, liabilities, losses, expenses and costs (including, without limitation, reasonable attorneys' fees and court costs) (collectively, "**Losses**") caused by or arising out of (a) such party's breach of any of its obligations, covenants, representations or warranties contained herein, or (b) such party's acts or omissions with regard to this Agreement; provided, however, in no event shall a party indemnify the other party for any such Losses to the extent arising from the gross negligence or willful misconduct of the party seeking indemnification. However, in the event of an Indemnified Person's contributory negligence or other fault, the Indemnified Person shall not be indemnified hereunder to the extent that the Indemnified Person's negligence or other fault caused such Losses. Tenant will indemnify Landlord from and against any mechanic's liens or liens of contractors and subcontractors engaged by or through Tenant.

**12. WAIVERS.**



(a) Landlord hereby waives any and all lien rights it may have, statutory or otherwise, in and to the Communications Facilities or any portion thereof, regardless of whether or not such is deemed real or personal property under applicable laws. Landlord will not assert any claim whatsoever against Tenant for loss of anticipatory profits or any other indirect, special, incidental or consequential damages incurred by Landlord as a result of the construction, maintenance, operation or use of the Premises by Tenant.

(b) EACH PARTY HERETO WAIVES ANY AND ALL CLAIMS AGAINST THE OTHER FOR ANY LOSS, COST, DAMAGE, EXPENSE, INJURY OR OTHER LIABILITY WHICH IS IN THE NATURE OF INDIRECT, SPECIAL, INCIDENTAL, PUNITIVE OR CONSEQUENTIAL DAMAGES WHICH ARE SUFFERED OR INCURRED AS THE RESULT OF, ARISE OUT OF, OR ARE IN ANY WAY CONNECTED TO THE PERFORMANCE OF THE OBLIGATIONS UNDER THIS AGREEMENT.

**13. INSURANCE.** Tenant shall insure against property damage and bodily injury arising by reason of occurrences on or about the Premises in the amount of not less than [REDACTED]. The insurance coverage provided for herein may be maintained pursuant to master policies of insurance covering other communication facilities of Tenant and its corporate affiliates. All insurance policies required to be maintained by Tenant hereunder shall be with responsible insurance companies, authorized to do business in the State or Commonwealth where the Premises are located if required by law, and shall provide for cancellation only upon ten (10) days' prior written notice to Landlord. Tenant shall evidence such insurance coverage by delivering to Landlord, if requested, a copy of a certificate of insurance of such policies issued by the insurance companies underwriting such risks.

**14. INTERFERENCE.** During the Option Period and the Term, Landlord, its successors and assigns, will not grant any ground lease, license, or easement with respect to the Property (outside of the Premises) and any property adjacent or contiguous to the Property or in the immediate vicinity of the Property that is fee owned by Landlord: (a) for any of the uses contemplated in Section 5 herein; or (b) if such lease, license, or easement would detrimentally impact the Communications Facilities or Tenant's economic opportunities at the Premises, or the use thereof. Landlord shall not cause or permit the construction of communications or broadcast towers or structures, fiber optic backhaul facilities, or satellite facilities on the Property or on any other property of Landlord adjacent or contiguous to or in the immediate vicinity of the Property, except for the Communications Facilities constructed by Tenant. Landlord and Tenant intend by this Agreement for Tenant (and persons deriving rights by, through, or under Tenant) to be the sole parties to market, use, or sublease any portion of the Property for Communications Facilities during the Option Period and the Term. Landlord agrees that this restriction on the use of the Property is commercially reasonable, not an undue burden on Landlord, not injurious to the public interest, and shall be specifically enforceable by Tenant (and persons deriving rights by, through or under Tenant) in a court of competent jurisdiction. The foregoing restriction shall run with the land and be binding on the successors and assigns of Landlord.

**15. RIGHT OF FIRST REFUSAL.** In the event Landlord determines to sell, transfer, license or otherwise convey any interest, whether fee simple interest, easement interest, leasehold, or otherwise, and whether direct or indirect by way of transfer of ownership interests in Landlord if Landlord is an entity, which interest underlies or affects any or all of the Premises (the "**ROFR Property**") to any third party that is a Third Party Competitor (as defined below), Landlord shall offer Tenant a right of first refusal to purchase the Premises (or such larger portion of the Property that encompasses the Premises, if applicable). For purposes herein, a "**Third Party Competitor**" is any person or entity directly or indirectly engaged in the business of owning, acquiring, operating, managing, investing in or leasing communications infrastructure or any person or entity directly or indirectly engaged in the business of owning, acquiring, or investing in real property leases or easements underlying communications infrastructure. In such event,

Landlord shall send a written notice to Tenant in accordance with Section 29 below that shall contain an offer to Tenant of a right of first refusal to purchase the ROFR Property, together with a copy of any offer to purchase, or any executed purchase agreement or letter of intent (each, an **"Offer"**), which copy shall include, at a minimum, the purchase price or acquisition price, proposed closing date, and financing terms (collectively, the **"Minimum Terms"**). Within thirty (30) days of receipt of such Offer, Tenant shall provide written notice to Landlord of Tenant's election to purchase the ROFR Property on the same Minimum Terms, provided: (a) the closing date shall be no sooner than sixty (60) days after Tenant's purchase election notice; (b) given Landlord's direct relationship and access to Tenant, Tenant shall not be responsible for payment of any broker fees associated with an exercise of Tenant's rights to acquire the ROFR Property; and, (c) Tenant shall not be required to match any components of the purchase price which are speculative or incalculable at the time of the Offer. In such event, Landlord agrees to sell the ROFR Property to Tenant subject to Tenant's payment of the purchase price and compliance with a purchase and sale agreement to be negotiated in good faith between Landlord and Tenant. If Tenant provides written notice that it does not elect to exercise its right of first refusal to purchase the ROFR Property, or if Tenant does not provide notice of its election within the thirty (30) day period, Tenant shall be deemed to have waived such right of first refusal only with respect to the specific Offer presented (and any subsequent Offers shall again be subject to Tenant's continuing right of first refusal hereunder), and Landlord shall be permitted to consummate the sale of the ROFR Property in accordance with the strict terms of the Offer (**"Permitted Sale"**). If Landlord does not consummate the Permitted Sale within ninety (90) days of the date of Tenant's waiver of its right of first refusal, including if the Minimum Terms are modified between Landlord and the Third Party Competitor, Landlord shall be required to reissue a New Offer to Tenant.

**16. SECURITY.** The parties recognize and agree that Tenant shall have the right to safeguard and protect its improvements located upon or within the Premises. Consequently, Tenant may elect, at its expense, to construct such enclosures and/or fences as Tenant reasonably determines to be necessary to secure the Communications Facilities. Tenant may also undertake any other appropriate means to restrict access to the Communications Facilities including, without limitation, if applicable, installing security systems, locks and posting signs for security purposes and as may otherwise be required by law.

**17. FORCE MAJEURE.** The time for performance by Landlord or Tenant of any term, provision, or covenant of this Agreement shall be deemed extended by time lost due to delays resulting from acts of God, strikes, civil riots, floods, pandemics, material or labor restrictions by governmental authority, government shutdowns, quarantines, and/or other disease control measures and any other cause not within the control of Landlord or Tenant, as the case may be.

**18. CONDEMNATION; CASUALTY.**

(a) In the event Landlord receives any notice of any condemnation proceedings, or other proceedings in the nature of eminent domain related to the Property or the Premises, it will forthwith send a copy of such notice to Tenant. If all or any part of the Premises is taken by eminent domain, Tenant may, upon written notice to Landlord, elect to terminate this Agreement, whereupon neither party shall have any further liability or obligation hereunder. Notwithstanding any provision of this Agreement to the contrary, in the event of condemnation of all or any part of the Premises, Landlord and Tenant shall be entitled to separate awards with respect to the Premises, in the amount determined by the court conducting such condemnation proceedings based upon Landlord's and Tenant's respective interests in the Premises. If a separate condemnation award is not determined by such court, Landlord shall permit Tenant to participate in the allocation and distribution of the award. In no event shall the condemnation award to Landlord exceed the unimproved value of the Premises, without taking into account the improvements located thereon.

(b) In case of damage to the Premises or the Communications Facilities by fire or other casualty, Landlord shall, at its expense, cause any damage to the Property (excluding the Communications Facilities) to be repaired to a condition as nearly as practicable to that existing prior to the damage, with reasonable speed and diligence, subject to delays which may arise by reason of adjustment of loss under insurance policies, governmental regulations, and for delays beyond the control of Landlord, including a force majeure. Landlord shall coordinate with Tenant as to the completion of Landlord's work to restore the Property so as not to adversely impact Tenant's use of the Premises and the Communications Facilities. Landlord shall not be liable for any inconvenience or annoyance to Tenant, or injury to Tenant's business or for any consequential damages resulting in any way from such damage or the repair thereof, except to the extent and for the time that the Communications Facilities or the Premises are thereby rendered unusable for Tenant's intended purpose the Rent shall proportionately abate. In the event the damage shall be so extensive that Tenant shall decide, in its sole discretion, not to repair or rebuild the Communications Facilities, or if the casualty shall not be of a type insured against under standard fire policies with extended type coverage, or if the holder of any mortgage, deed of trust or similar security interest covering the Communications Facilities shall not permit the application of adequate insurance proceeds for repair or restoration, this Agreement shall, at the sole option of Tenant, exercisable by written notice to Landlord, be terminated as of the date of such casualty, and the obligation to pay Rent (taking into account any abatement as aforesaid) shall cease as of the termination date and Tenant shall thereupon promptly vacate the Premises.

**19. DEFAULT.** The failure of Tenant or Landlord to perform any of the covenants of this Agreement shall constitute a default. The non-defaulting party shall give the other written notice of such default, and the defaulting party shall cure such default within thirty (30) days after receipt of such notice. In the event any such default cannot reasonably be cured within such thirty (30) day period, if the defaulting party shall proceed promptly after the receipt of such notice to cure such default, and shall pursue curing such default with due diligence, the time for curing shall be extended for such period of time as may be necessary to complete such curing, however, in no event shall this extension of time be in excess of sixty (60) days, unless agreed upon by the non-defaulting party.

**20. REMEDIES.** Should the defaulting party fail to cure a default under this Agreement, the other party shall have all remedies available either at law or in equity, and the right to terminate this Agreement. In the event Landlord elects to terminate this Agreement due to a default by Tenant (which remains uncured by Lender), Landlord shall continue to honor all sublease and license commitments made by Tenant through the expiration of the term of any such commitment and shall be entitled to collect and retain the rents or license fees associated with such subleases or license commitments, it being intended hereby that each such commitment shall survive the early termination of this Agreement.

**21. ATTORNEYS' FEES.** If there is any legal proceeding between Landlord and Tenant arising from or based on this Agreement, the unsuccessful party to such action or proceeding shall pay to the prevailing party all costs and expenses, including, without limitation, reasonable attorneys' fees and disbursements, incurred by such prevailing party in such action or proceeding and in any appeal in connection therewith. If such prevailing party recovers a judgment in any such action, proceeding or appeal, such costs, expenses and attorneys' fees and disbursements shall be included in and as a part of such judgment.

**22. ADDITIONAL TERMINATION RIGHT.** If at any time during the Term, Tenant determines, in Tenant's sole and absolute discretion, with or without cause, that the Premises is no longer suitable or desirable for Tenant's intended use and/or purposes, Tenant shall have the right to terminate this Agreement upon sixty (60) days prior written notice to Landlord.

**23. PRIOR AGREEMENTS.** The parties hereby covenant, recognize and agree that the terms and provisions of this Agreement shall constitute the sole embodiment of the arrangement between the parties



with regard to the Premises, and that all other written or unwritten agreements, contracts, or leases by and between the parties with regard to the Premises are hereby terminated, superseded and replaced by the terms hereof.

**24. SUBORDINATION, NON-DISTURBANCE AND ATTORNMENT.** In the event the Property is encumbered by a mortgage or deed of trust or other security instrument of any kind (a "**Landlord Mortgage**"), Landlord, within fifteen (15) days following Tenant's request or immediately prior to the creation of any encumbrance created after the date this Agreement is fully executed, will obtain from the holder of each such Landlord Mortgage a fully-executed subordination, non-disturbance and attornment agreement (an "**SNDA**") in recordable form, which shall be prepared or approved by Tenant. The holder of every such Landlord Mortgage shall, in the SNDA, agree that in the event of a foreclosure, or conveyance in lieu of foreclosure of Landlord's interest in the Premises, such Landlord Mortgage holder shall recognize and confirm the validity and existence of this Agreement, not disturb the tenancy of Tenant (and its customers, subtenants, and licensees) and Tenant (and its customers, subtenants, and licensees) shall have the right to continue its use and occupancy of the Premises in accordance with the provisions of this Agreement, provided Tenant is not in default of this Agreement beyond applicable notice and cure periods.

**25. LENDER'S RIGHTS.**

(a) Landlord agrees to recognize the subleases and licenses of all subtenants and licensees and will permit each of them to remain in occupancy of its premises notwithstanding any default hereunder by Tenant so long as each such respective subtenant or licensee is not in default under the lease/license covering its premises. Landlord agrees to execute such documents as any such subtenant and/or licensee might reasonably require, including customary subordination, non-disturbance and attornment agreements and/or Landlord recognition agreements, to further memorialize the foregoing, and further agrees to use Landlord's best efforts to also cause its lenders to similarly acknowledge, in writing, subtenant's and licensee's right to continue to occupy its premises as provided above.

(b) Tenant shall have the right from time to time to mortgage or otherwise encumber Tenant's interest in this Agreement, the Communications Facilities and/or leasehold estate in the Premises (a "**Tenant Mortgage**") and Landlord consents to the granting by Tenant of a lien and security interest in Tenant's interest in this Agreement and/or leasehold estate of the Premises and all of Tenant's personal property and fixtures attached to the real property described herein, and furthermore consents to the exercise by any such lender of Tenant ("**Lender**") of its rights of foreclosure with respect to its lien and security interest. Landlord agrees to recognize Lender as Tenant hereunder upon any such exercise by Lender of its rights of foreclosure. The term "**Lender**" as used in this Agreement shall mean the lender identified in Section 29 hereof and its successors, assigns, designees or nominees.

(c) Landlord hereby agrees to give Lender written notice of any breach or default of Tenant of the terms of this Agreement within fifteen (15) days after the occurrence thereof at the address set forth in Section 29. Landlord further agrees that no default under this Agreement by Tenant shall be deemed to have occurred unless such notice to Lender is also given and that, in the event of any such breach or default under the terms of this Agreement, Lender shall have the right, to the same extent, for the same period and with the same effect, as Tenant, plus an additional ninety (90) days after any applicable grace period to cure or correct any such default.

(d) Landlord acknowledges that nothing contained herein shall be deemed or construed to obligate Lender to take any action hereunder, or to perform or discharge any obligation, duty or liability of Tenant under this Agreement. Lender shall not become liable under the provisions of this Agreement or

any lease executed pursuant to Section 26 hereof unless and until such time as it becomes, and then only for as long as it remains, the owner of the leasehold estate created hereby or thereby.

(e) This Agreement shall not be amended or modified without the consent of Lender. In the event that Lender shall become the owner of such leasehold estate, Lender shall not be bound by any modification or amendment of this Agreement made subsequent to the date of a Tenant Mortgage unless Lender shall have consented to such modification or amendment at the time it was made.

## **26. RIGHT TO NEW LEASE.**

(a) In the case of termination of this Agreement for any reason, or in the event this Agreement is rejected or disaffirmed pursuant to any bankruptcy, insolvency or other law affecting creditor's rights, Landlord shall give prompt notice thereof to Lender at the address set forth in Section 29 or as may be provided to Landlord by Tenant following the Commencement Date. Thereafter, Landlord, upon written request of Lender, and within thirty (30) days after the receipt of such request, shall promptly execute and deliver a new lease of the Premises, which shall be subject to the same terms and conditions as this Agreement, and assignment of all subleases and licenses to Lender or its designee or nominee, for the remainder of the Term upon all the covenants, conditions, limitations and agreements contained herein (including, without limitation, options to extend the Term) except for such provisions which must be modified to reflect such termination, rejection or disaffirmance and the passage of time, provided that Lender (i) shall pay to Landlord, simultaneously with the delivery of such new lease, all unpaid rent due under this Agreement up to and including the date of the commencement of the term of such new lease and all reasonable expenses, including, without limitation, reasonable attorneys' fees and disbursements and court costs, incurred by Landlord in connection with the default by Tenant, the termination of this Agreement and the preparation of the new lease, and (ii) shall cure all defaults existing under this Agreement which are susceptible to being cured by Lender promptly and with due diligence after the delivery of such new lease. Notwithstanding anything to the contrary contained herein, provided Lender shall have otherwise complied with the provisions of this Section, Lender shall have no obligation to cure any defaults which are not susceptible to being cured by Lender (for example, the bankruptcy of Tenant).

(b) For so long as Lender shall have the right to enter into a new lease with Landlord pursuant to this Section, Landlord shall not enter into a new lease of the Premises with any person or entity other than Lender, without the prior written consent of Lender.

## **27. ADDITIONAL PROVISIONS.**

(a) The parties hereto agree that (i) Tenant is in possession of the Premises notwithstanding the fact that Tenant has subleased or licensed, or may in the future sublease or license, certain of the improvements thereon or portions of the Premises to third parties, and (ii) the requirements of Section 365(h) of Title 11 of the United States Code (the Bankruptcy Code) with respect to Tenant's possession of the leasehold under this Agreement are satisfied. Accordingly, the right of Tenant to remain in possession of the leasehold under this Agreement shall continue notwithstanding any rejection of this Agreement in any bankruptcy proceeding involving Landlord, or any other actions by any party in such a proceeding. This provision, while included in this Agreement, has been separately negotiated and shall constitute a separate contract between the parties as well as a part of this Agreement. The provisions of this Section are for the benefit of Tenant and its assigns, including, without limitation, Lender. The parties hereto also agree that Lender is a party in interest and shall have the right to appear as a party in any proceeding brought under any bankruptcy law or under any other law which may affect this Agreement.

(b) The provisions of Section 25 and Section 26 hereof shall survive the termination, rejection or disaffirmance of this Agreement and shall continue in full force and effect thereafter to the same extent as if such Sections were a separate and independent contract made by Landlord, Tenant and Lender and, from the effective date of such termination, rejection or disaffirmance of this Agreement to the date of execution and delivery of such new lease, Lender may use and enjoy the leasehold estate created by this Agreement without hindrance by Landlord. The aforesaid agreement of Landlord to enter into a new lease with Lender shall be deemed a separate agreement between Landlord and Lender, separate and apart from this Agreement as well as a part of this Agreement, and shall be unaffected by the rejection of this Agreement in any bankruptcy proceeding by any party.

(c) Landlord shall have no right, and expressly waives any right arising under applicable law, in and to the rentals or other fees payable to Tenant, if any, under any sublease or license of the Premises by Tenant, which rentals or fees may be assigned by Tenant to Lender.

(d) If a Tenant Mortgage is in effect, this Agreement shall not be modified or amended by the parties hereto, or terminated or surrendered by Tenant, nor shall Landlord accept any such termination or surrender of this Agreement by Tenant, without the prior written consent of Lender.

(e) The provisions of Section 25 and Section 26 hereof are for the benefit of Lender and may be relied upon and shall be enforceable by Lender as if Lender were a party to this Agreement.

(f) Landlord shall, within ten (10) days of the request of Tenant or any Lender or prospective Lender, provide an estoppel certificate as to any matters reasonably requested by Tenant or Lender.

(g) The right to extend or renew this Agreement and any right of first refusal to purchase the Premises may be exercisable by the holder of a Tenant Mortgage and, before the expiration of any periods to exercise such a right, Landlord must provide to Lender at least thirty (30) days prior written notice before the expiration of the right to so extend or renew in order to extinguish Lender's right to so extend, renew or purchase.

(h) Under no circumstances shall the fee estate of Landlord and the leasehold estate created hereby merge, even though owned by the same party, without the written consent of the holder of a Tenant Mortgage.

**28. QUIET ENJOYMENT.** So long as Tenant is not in default under this Agreement beyond the applicable notice and cure period, Landlord covenants and agrees that Tenant shall peaceably and quietly hold and enjoy the Premises throughout the Term, without any hindrance, molestation or ejection by Landlord, its successors or assigns or by those claiming by, through or under them.

**29. NOTICES.** All notices, requests, claims, demands, and other communications hereunder shall be in writing and may be hand delivered (provided the deliverer provides proof of delivery) or sent by nationally established overnight courier that provides proof of delivery, or certified or registered mail (postage prepaid, return receipt requested). Notice shall be deemed received on the date of delivery as demonstrated by the receipt of delivery. Notices shall be delivered to a party at the party's respective address below, or to such other address that a party below may provide from time to time:

**If to Landlord:**

Frances M. Swift

[REDACTED]

**If to Tenant:**

The Towers, LLC

750 Park of Commerce Drive,  
Suite 200

**If to Lender:**

Toronto Dominion (Texas) LLC

[REDACTED]

Boca Raton, Florida 33487  
Ref: US-KY-5239  
Attn: VP Asset Management

Attn: Admin Agent  
Fax No. [REDACTED]

With a copy to: General Counsel

**30. MISCELLANEOUS.**

- (a) Each party hereto warrants and represents that it has the necessary power and authority to enter into and perform its respective obligations under this Agreement.
- (b) If any term of this Agreement is found to be void or invalid, such invalidity shall not affect the remaining terms of this Agreement, which shall continue in full force and effect.
- (c) All attached exhibits are hereby incorporated by this reference as if fully set forth herein.
- (d) Failure of a party to insist on strict performance of any of the conditions or provisions of this Agreement, or failure to exercise any of a party's rights hereunder, shall not waive such rights.
- (e) This Agreement shall be governed by and construed in accordance with the laws of the State or Commonwealth in which the Premises are located.
- (f) This Agreement constitutes the entire agreement and understanding of the parties and supersedes all offers, negotiations, other leases and/or agreements with regard to the Premises. There are no representations or understandings of any kind not set forth herein. Any amendment to this Agreement must be in writing and executed by both parties.
- (g) This Agreement shall be binding upon and shall inure to the benefit of the parties hereto and their respective heirs, legal representatives, successors and assigns.
- (h) A short-form Memorandum of Option to Lease (and a short-form Memorandum of Lease in the event Tenant exercises its option to lease the Premises) may be recorded at Landlord's or Tenant's option in the form as depicted in **Exhibit 3** and **Exhibit 4** respectively, attached hereto. In addition, Tenant's subtenants and licensees shall have the right to record a memorandum of its sublease or license with Tenant.
- (i) Landlord shall keep the terms of this Agreement confidential and shall not disclose any terms contained within this Agreement to any third party other than such terms as are set forth in Memorandum of the Option to Lease or Memorandum of Lease.

**SIGNATURES BEGIN ON NEXT PAGE**



IN WITNESS WHEREOF, the parties hereto have executed this Agreement as of the Effective Date (date last signed by a party hereto).

<b>WITNESSES:</b>  <u>Warren K. Hopkins</u> Name: <u>Warren K. Hopkins</u>  <u>Kim McKinney</u> Name: <u>Kim McKinney</u>	<b>LANDLORD:</b>  <u>Frances M. Swift</u> Frances M. Swift  Date: <u>05-02-2025</u>
---	--

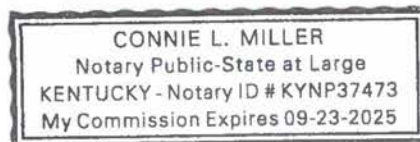
STATE OF Kentucky  
COUNTY OF Calloway

The foregoing instrument was acknowledged before me this 2<sup>nd</sup> day of May  
20 25 by Frances M. Swift.

Connie Miller  
Notary Public

Print Name: Connie Miller

My Commission Expires: 9/23/25



(Tenant signature page to Option and Lease Agreement)

<b>WITNESSES:</b>  <u>Jacqueline Mattas</u> Name: <u>Jacqueline Mattas</u>  <u>Sandra Marguerdt</u> Name: <u>Sandra Marguerdt</u>	<b>TENANT:</b>  <b>The Towers, LLC</b> a Delaware limited liability company  By: <u>[Signature]</u>  Name: <u>Randy Wilson</u> Title: <u>Vice President Development</u>  Date: <u>5/14/2025</u>
---	---

STATE OF FLORIDA

Leasing Ops

DS  
L9

COUNTY OF PALM BEACH

The foregoing instrument was acknowledged before me this May 14, 2025 by Randy Wilson (name of signatory), VP Development (title of signatory) of The Towers, LLC, a Delaware limited liability company, on behalf of the company.

Elise Reichbach  
Notary Public

Print Name: Elise Reichbach

My Commission Expires: 7/16/2026





## EXHIBIT 1

### Legal Description of the Property (Parent Parcel)

(may be updated by Tenant upon receipt of final legal description from title)

Being 28 acres, more or less, and described as follows: Being 59 acres of land in the N E Qr of Sec 35 T 4 R 2 E and described as beginning at a stone at the South East corner of said Quarter; thence North  $\frac{1}{4}$  deg. E 158-1/3 poles to a stone at the North East corner of said Quarter; thence South 87 deg. W along the North line of said Quarter, 59 poles to a stake; thence South  $\frac{1}{2}$  deg. W 159 poles 21 links to a stone on the South line of said Quarter; thence North 87 deg. E 59 poles to the beginning. except about 1  $\frac{1}{2}$  acres, more or less, out of the said boundary, and being all the land in said boundary that lies East of the ditch which was conveyed by Willie Compton to J. W. Copeland. Also except 30 acres conveyed to W. H. Hollan by deed from W. E. Cope and wife, H. O. Cope, dated August 22, 1935, recorded in Deed Book 104, Page 484, Graves County Court Clerk's Office.

There is also conveyed by this deed a strip of land beginning at a stake on the Wadesboro Road where the land of L. B. Harris joins the land of John Cope; thence North with and off the East line of L. B. Harris' 59 acres tract to the North East corner of same; thence East to the South West corner of L. B. Harris' 26  $\frac{1}{2}$  acre tract; thence North with the West line of said 26  $\frac{1}{2}$  acre tract to the land of G. R. Cope.

Parcel ID: 151.00.00.099.00

This being the same property conveyed to Henry E. Swift and wife, Frances M. Swift, jointly as life tenants with the remainder in fee simple to the survivor of them from William Henry Hollan, widower and unmarried n a Warranty Deed dated July 18, 1984, recorded July 19, 1984 in Book 295 Page 125 in Graves County, Kentucky.

## EXHIBIT 2

### Premises

(below may be replaced with a final survey, which shall be approved by Landlord and legal description of the Premises)



**EXHIBIT J**

**NOTIFICATION LIST  
PVA RECORDS  
PROOF OF NOTICE**

**Purchase Parkway – Notice List**

YOUNGBLOOD EDDIE LEE  
7685 STATE RT 58 E  
MAYFIELD, KY 42066

BELL MEGAN JEAN  
7931 STATE RT 58 EAST  
MAYFIELD, KY 42066

GIBSON JARED & JENNIFER  
3596 HOPEWELL RD  
MAYFIELD, KY 42066

BROWN PEYTON JR & CAROLYN  
328 PANTHER CREEK RD  
MAYFIELD, KY 42066

BUTLER PATRICIA S  
124 PANTHER CREEK RD  
MAYFIELD, KY 42066

SWIFT HENRY E & FRANCES M  
7996 STATE RT 58 E  
MAYFIELD, KY 42066

BUTLER PATRICIA  
124 PANTHER CREEK SCHOOL RD  
MAYFIELD, KY 42066

VAUGHN BRUCE LEE  
1021 N 15TH EXT  
MAYFIELD, KY 42066

STAMPER GAIL  
7018 ST RT 58 E  
MAYFIELD, KY 42066

KALER DAVID & JENNIFER  
465 WADESBORO RD  
MAYFIELD, KY 42066

MASON JERRY T & SIDNEY & MASON  
MICHAEL GLEN  
8105 STATE RT 58 E  
MAYFIELD, KY 42066

MASON JERRY T & JOHNNY &  
MICHAEL  
8105 STATE RT 58 E  
MAYFIELD, KY 42066

# Graves County, KY PVA

## Summary

**Parcel Number** 151.00.00.099.00  
**Account Number** 383533  
**Location Address** 7996 ST RT 58 E  
**Description** HOUSE & .23 ACRE (151-48)  
(Note: Not to be used on legal documents)  
**Class** RESIDENTIAL (10)  
**Tax District** 02 Graves County

[View Map](#)



## Ownership

SWIFT HENRY E & FRANCES M  
 7996 STATE RT 58 E  
 MAYFIELD, KY 42066

## Land Characteristics

<b>Condition</b>	Average	<b>Topography</b>	Level
<b>Plat Book/Page</b>	H-331	<b>Drainage</b>	None
<b>Subdivision</b>		<b>Flood Hazard</b>	
<b>Lot</b>		<b>Zoning</b>	Residential
<b>Block</b>		<b>Electric</b>	Yes
<b>Acres</b>	0.23	<b>Water</b>	Yes
<b>Front</b>	0	<b>Gas</b>	Yes
<b>Depth</b>	0	<b>Sewer</b>	Yes
<b>Lot Size</b>	0x0	<b>Road</b>	2 Lane
<b>Lot Sq Ft</b>	10018	<b>Sidewalks</b>	No
<b>Shape</b>	None	<b>Information Source</b>	

## Tax Roll Information

	Working Value	Certified Value
+ Land Value	\$67,000	\$15,000
+ Improvement Value	\$0	\$65,000
= Total Taxable Value	<b>\$67,000</b>	<b>\$80,000</b>
- Exemption Value	(\$49,100)	(\$49,100)
= Net Taxable Value	<b>\$17,900</b>	<b>\$30,900</b>
Exemption	Homestead: Yes - \$49,100	Homestead: Yes - \$46,350

## Tax Statements

[2024 Tax Statements \(PDF\)](#)  
[2023 Tax Statements \(PDF\)](#)  
[2022 Tax Statements \(PDF\)](#)  
[2021 Tax Statements \(PDF\)](#)  
[2020 Tax Statements \(PDF\)](#)  
[2019 Tax Statements \(PDF\)](#)  
[2018 Tax Statements \(PDF\)](#)  
[2017 Tax Statements \(PDF\)](#)

## Improvement Information

<b>Building Number</b>	1	<b>Kitchens</b>	1
<b>Description</b>	HOUSE	<b>Dining Rooms</b>	1
<b>Residence Type</b>	Single Family	<b>Living Rooms</b>	0
<b>Comm Type</b>		<b>Family Rooms</b>	0
<b>Mobile Home Type</b>		<b>Bedrooms</b>	0
<b>Year Built</b>	0	<b>Full Baths</b>	0
<b>Effective Age</b>	0	<b>Half Baths</b>	0
<b>Ave. Wall Height</b>	0	<b>Other Rooms</b>	0
<b>Structure</b>	1 1/2 Story	<b>Total Rooms</b>	2
<b>Number of Stories</b>	1.5	<b>Living Sq Ft</b>	1,749
<b>Exterior</b>	Cut Stone	<b>Basement Sq Ft</b>	1090
<b>Foundation</b>	Brick/Stone	<b>Fireplaces</b>	1
<b>Construction Type</b>	Wood Frame	<b>Water</b>	N

**Construction Quality** Average/Standard  
**Building Condition** Fair  
**Roof Type** RY-Gable  
**Roof Cover** RF-Asphalt Shingles  
**Roof Pitch** RP-None  
**Basement Type** BT-None  
**Basement Finish** None  
**Basement Size** BS-None  
**Garage/Carport**  
**Garage Size**  
**Garage Type**  
**Garage Exterior**  
**Width** 0  
**Length** 0  
**Garage Sq Ft** 0  
**Pool** None  
**Pool Size** 0  
**Tennis Courts** None

**Supplemental Heat** None  
**Mobile Home Model**  
**Mobile Home Manufacturer**  
**MH Skirt Foundation**  
**Heat** N  
**Heat Source** None  
**Heat Type** None  
**Air Conditioning** N  
**AC/Type** None  
**Special Improvements** N  
**Fire Alarm** N  
**Sprinklers** N  
**Porch/Deck** None  
**Porch Sq Ft** 224  
**Deck Sq Ft** 0  
**Concrete Sq Ft** 0  
**Farm Bldg Type**  
**Value** \$0.00  
**Driveway** Gravel  
**Fence** 0

## Sales

Sale Date	Sale Price	Deed Book	Deed Page	Grantee	Grantor
7/20/1984	\$35,000	295	125	SWIFT FRANCES & HENRY	HOLLAN WILLIAM
3/11/1966	\$0	199	123	HOLLAN WILLIAM & MAVIS	HOLLAN HENRY & OTHERS

## Photos

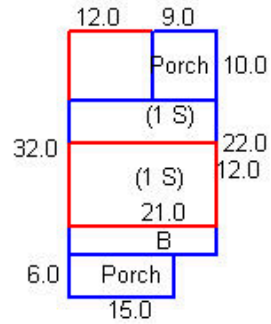


## Sketches

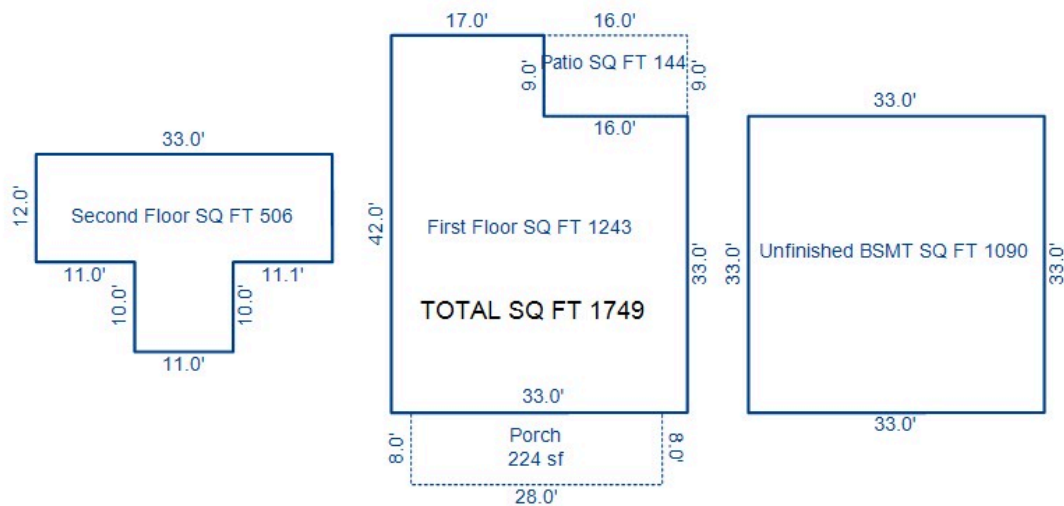


# Sketch Summary

LivingArea=834.00  
Porch=180.00  
BsmtUnfin=462.00



Scale: 1 inch = 30.0



Recent Sales In Area

Sale date range:

From:

11/17/20

To:

11/17/20

Sales by Area

Distance:

1500

Units:

Feet



Search Sales by Distance

Graves County makes every effort to produce the most accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use or interpretation. The assessment information is from the last certified taxroll. All data is subject to change before the next certified taxroll.

| [User Privacy Policy](#) | [GDPR Privacy Notice](#)

[Last Data Upload: 11/14/2025, 3:48:31 PM](#)

Contact Us

Developed by



Graves County, KY PVA

Summary

Parcel Number 151.00.00.013.00  
Account Number 383432  
Location Address ST RT 58 E  
Description BLDG W/ LIVING, BLDGS & 77 ACRES (151-51)  
(Note: Not to be used on legal documents)  
Class FARM (20)  
Tax District 02 Graves County

[View Map](#)



Ownership

YOUNGBLOOD EDDIE LEE  
7685 STATE RT 58 E  
MAYFIELD, KY 42066

Land Characteristics

Condition	None	Topography	Not Used
Plat Book/Page		Drainage	None
Subdivision		Flood Hazard	
Lot		Zoning	Residential
Block		Electric	No
Acres	77.00	Water	No
Front	0	Gas	No
Depth	0	Sewer	No
Lot Size	0x0	Road	
Lot Sq Ft	3354120	Sidewalks	No
Shape	None	Information Source	

Tax Roll Information

	Working Value	Certified Value
+ Land Value	\$46,000	\$46,000
+ Improvement Value	\$94,000	\$94,000
= Total Taxable Value	\$140,000	\$140,000
- Exemption Value	(\$49,100)	(\$49,100)
= Net Taxable Value	\$90,900	\$90,900
+ Land FCV	\$255,000	\$255,000
+ Improvement FCV	\$94,000	\$94,000
= Total FCV	\$349,000	\$349,000
Exemption	Homestead: Yes - \$49,100	Homestead: Yes - \$46,350

Tax Statements

[2024 Tax Statements \(PDF\)](#)  
[2023 Tax Statements \(PDF\)](#)

Improvement Information

Building Number	1	Kitchens	0
Description		Dining Rooms	0
Residence Type	Shop W/Living Area	Living Rooms	0
Comm Type		Family Rooms	0
Mobile Home Type		Bedrooms	0
Year Built	2003	Full Baths	0
Effective Age	0	Half Baths	0
Ave. Wall Height	0	Other Rooms	0
Structure	None	Total Rooms	0
Number of Stories	0	Living Sq Ft	1,038
Exterior	Frame	Basement Sq Ft	0
Foundation	Slab	Fireplaces	0
Construction Type	Steel Frame	Water	N
Construction Quality	Average/Standard	Supplemental Heat	None
Building Condition	Good/Average	Mobile Home Model	

Roof Type RY-Gable  
 Roof Cover RF-Metal  
 Roof Pitch RP-Medium  
 Basement Type BT-None  
 Basement Finish None  
 Basement Size BS-None  
 Garage/Carport  
 Garage Size  
 Garage Type  
 Garage Exterior  
 Width 70  
 Length 100  
 Garage Sq Ft 0  
 Pool  
 Pool Size 0  
 Tennis Courts

Mobile Home Manufacturer  
 MH Skirt Foundation  
 Heat N  
 Heat Source None  
 Heat Type None  
 Air Conditioning N  
 AC/Type None  
 Special Improvements Y  
 Fire Alarm N  
 Sprinklers N  
 Porch/Deck  
 Porch Sq Ft 0  
 Deck Sq Ft 0  
 Concrete Sq Ft 0  
 Farm Bldg Type General Barn  
 Value \$0.00  
 Driveway None  
 Fence 0

## Sales

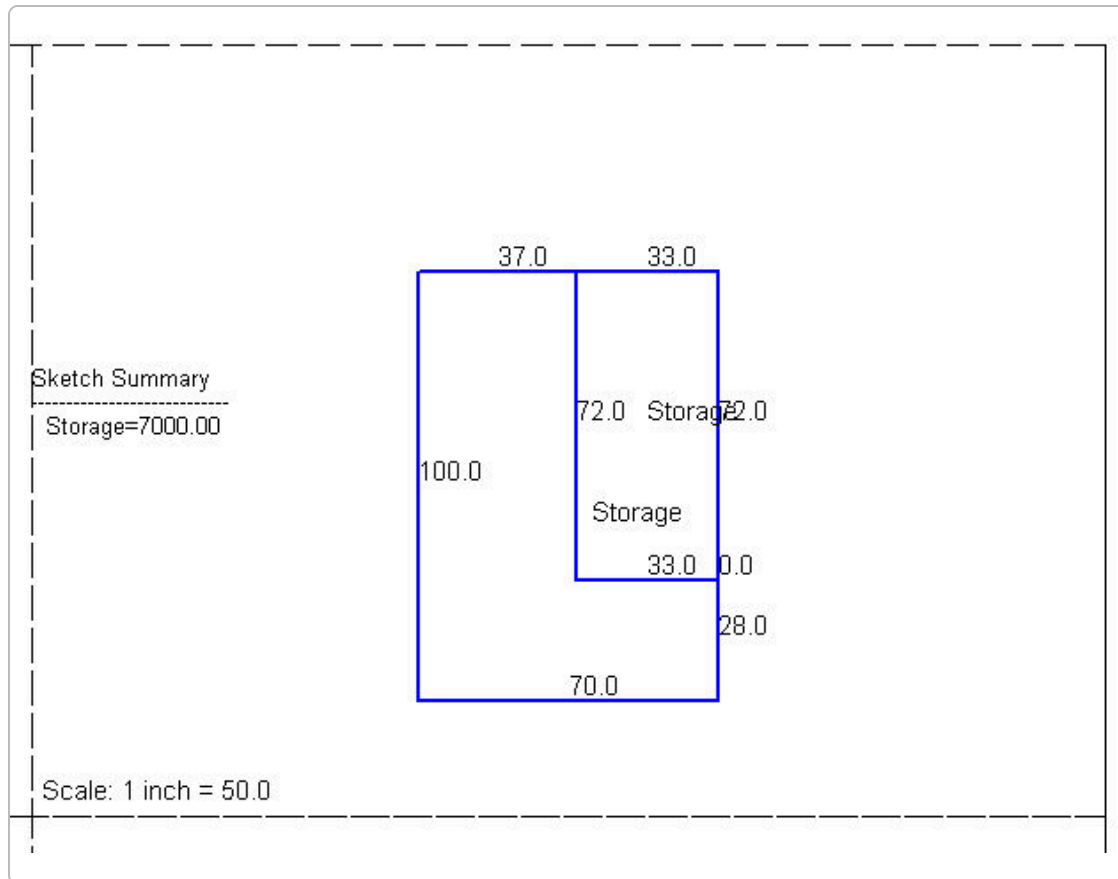
Sale Date	Sale Price	Deed Book	Deed Page	Grantee	Grantor
5/19/1994	\$61,000	348	385	YOUNGBLOOD EDDIE	WOODS VORIS & PAMELA
10/14/1958	\$0	169	593	WOODS VORIS & EVALINA	WOODS GARLAND & OTHERS

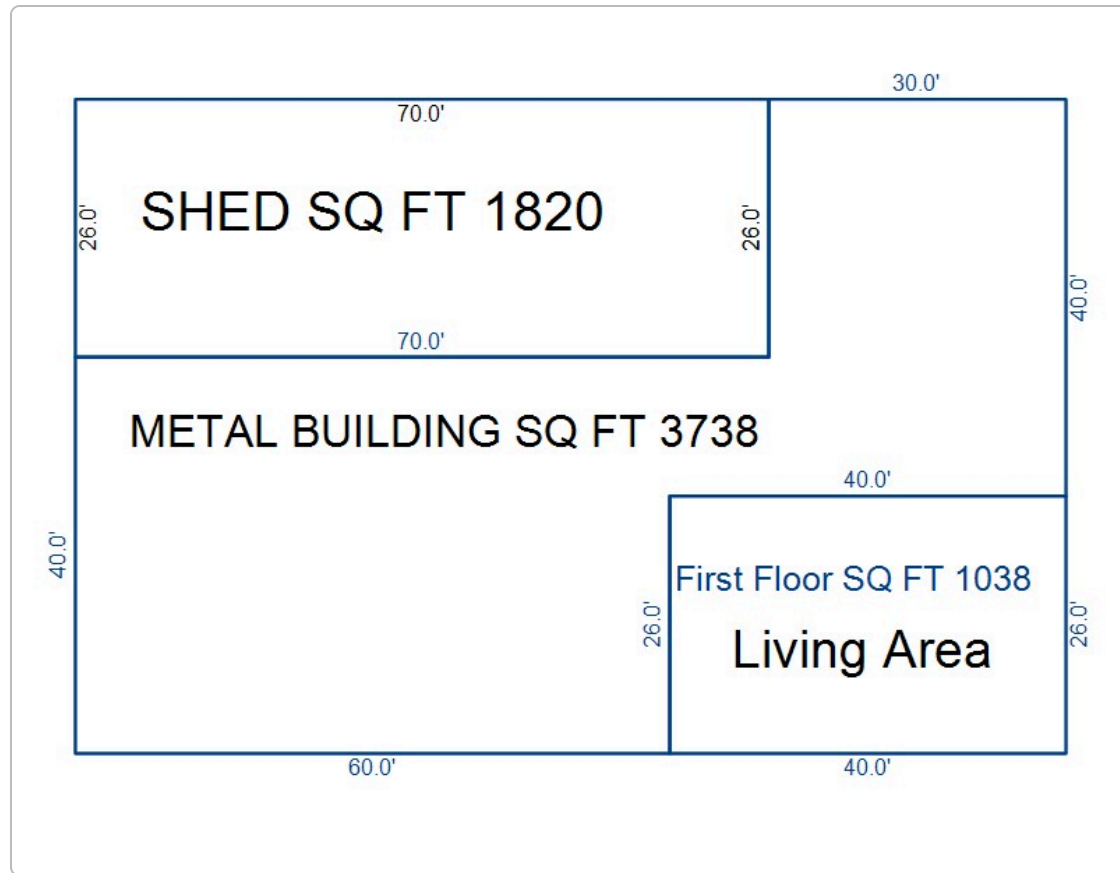
## Photos





### Sketches





### Recent Sales In Area

#### Sale date range:

From:

11/17/20

To:

11/17/20

Sales by Area

Distance:

1500

Units:

Feet



Search Sales by Distance

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# Graves County, KY PVA

## Summary

**Parcel Number** 151.00.00.025.00  
**Account Number** 383445  
**Location Address** ST RT 58 E  
**Description** BLDG U/C, EQUIPMENT SHED & .5 ACRE (151-49A)  
 (Note: Not to be used on legal documents)  
**Class** RESIDENTIAL (10)  
**Tax District** 02 Graves County

[View Map](#)



## Ownership

VAUGHN BRUCE LEE  
 1021 N 15TH EXT  
 MAYFIELD, KY 42066

## Land Characteristics

<b>Condition</b>	Good	<b>Topography</b>	Level
<b>Plat Book/Page</b>		<b>Drainage</b>	None
<b>Subdivision</b>		<b>Flood Hazard</b>	
<b>Lot</b>		<b>Zoning</b>	Residential
<b>Block</b>		<b>Electric</b>	No
<b>Acres</b>	0.50	<b>Water</b>	No
<b>Front</b>	0	<b>Gas</b>	No
<b>Depth</b>	0	<b>Sewer</b>	No
<b>Lot Size</b>	0x0	<b>Road</b>	2 Lane
<b>Lot Sq Ft</b>	21780	<b>Sidewalks</b>	No
<b>Shape</b>	None	<b>Information Source</b>	

## Tax Roll Information

	Working Value	Certified Value
+ Land Value	\$60,000	\$5,000
+ Improvement Value	\$0	\$0
= Total Taxable Value	\$60,000	\$5,000
- Exemption Value	\$0	\$0
= Net Taxable Value	\$60,000	\$5,000

Exemption	Homestead: No	Homestead: No
-----------	---------------	---------------

## Tax Statements

[2024 Tax Statements \(PDF\)](#)  
[2023 Tax Statements \(PDF\)](#)  
[2022 Tax Statements \(PDF\)](#)  
[2021 Tax Statements \(PDF\)](#)

## Improvement Information

<b>Building Number</b>	1	<b>Kitchens</b>	1
<b>Description</b>	EQUIP. STORAGE	<b>Dining Rooms</b>	1
<b>Residence Type</b>	None	<b>Living Rooms</b>	0
<b>Comm Type</b>		<b>Family Rooms</b>	1
<b>Mobile Home Type</b>		<b>Bedrooms</b>	3
<b>Year Built</b>	0	<b>Full Baths</b>	1
<b>Effective Age</b>	0	<b>Half Baths</b>	0
<b>Ave. Wall Height</b>	0	<b>Other Rooms</b>	0
<b>Structure</b>	1 1/2 Story	<b>Total Rooms</b>	7
<b>Number of Stories</b>	1.5	<b>Living Sq Ft</b>	0
<b>Exterior</b>	Frame	<b>Basement Sq Ft</b>	0
<b>Foundation</b>	None	<b>Fireplaces</b>	0
<b>Construction Type</b>	None	<b>Water</b>	N
<b>Construction Quality</b>	Average/Standard	<b>Supplemental Heat</b>	None
<b>Building Condition</b>	Fair	<b>Mobile Home Model</b>	
<b>Roof Type</b>	RY-None	<b>Mobile Home Manufacturer</b>	
<b>Roof Cover</b>	RF-Tile	<b>MH Skirt Foundation</b>	
<b>Roof Pitch</b>	RP-None	<b>Heat</b>	N

Basement Type	BT-None	Heat Source	None
Basement Finish	None	Heat Type	None
Basement Size	BS-None	Air Conditioning	N
Garage/Carport		AC/Type	None
Garage Size		Special Improvements	N
Garage Type		Fire Alarm	N
Garage Exterior		Sprinklers	N
Width	0	Porch/Deck	
Length	0	Porch Sq Ft	0
Garage Sq Ft	0	Deck Sq Ft	0
Pool		Concrete Sq Ft	0
Pool Size	0	Farm Bldg Type	None
Tennis Courts		Value	\$0.00
		Driveway	Gravel
		Fence	0

Building Number	2	Kitchens	0
Description	BLDG U/C	Dining Rooms	0
Residence Type	None	Living Rooms	0
Comm Type		Family Rooms	0
Mobile Home Type		Bedrooms	0
Year Built	0	Full Baths	0
Effective Age	0	Half Baths	0
Ave. Wall Height	0	Other Rooms	0
Structure	None	Total Rooms	0
Number of Stories	0	Living Sq Ft	0
Exterior	None	Basement Sq Ft	0
Foundation	None	Fireplaces	0
Construction Type	None	Water	N
Construction Quality	Average/Standard	Supplemental Heat	None
Building Condition	Good/Average	Mobile Home Model	
Roof Type	RY-None	Mobile Home Manufacturer	
Roof Cover	RF-None	MH Skirt Foundation	
Roof Pitch	RP-None	Heat	N
Basement Type	BT-None	Heat Source	None
Basement Finish	None	Heat Type	None
Basement Size	BS-None	Air Conditioning	N
Garage/Carport		AC/Type	None
Garage Size		Special Improvements	Y
Garage Type		Fire Alarm	N
Garage Exterior		Sprinklers	N
Width	0	Porch/Deck	
Length	0	Porch Sq Ft	0
Garage Sq Ft	0	Deck Sq Ft	0
Pool		Concrete Sq Ft	0
Pool Size	0	Farm Bldg Type	None
Tennis Courts		Value	\$0.00
		Driveway	Gravel
		Fence	0

## Sales

Sale Date	Sale Price	Deed Book	Deed Page	Grantee	Grantor
7/3/2025	\$70,000	573	445	VAUGHN BRUCE LEE	STANLEY MARK & REBECCA
10/5/2020	\$15,000	533	272	STANLEY MARK & REBECCA	DRIVER WILLIAM DAVID TRUSTEE
2/26/2019	\$13,000	521	817	DRIVER WILLIAM DAVID TRUSTEE	YANKEY DANIEL & MARY
8/11/1997	\$25,000	369	528	YANKEY DANIEL & MARY	BLANTON LONNIE C & CONNIE SUE
11/12/1991	\$8,100	334	7	BLANTON LONNIE & CONNIE	BOWLING LARRY
12/7/1989	\$10,500	323	497	BOWLING LARRY	GOFF MICHAEL
6/6/1984	\$21,500	294	469	GOFF MICHAEL P	BUTLER MAVIS & ROY
5/26/1982	\$0	286	24	BUTLER ROY & MAVIS	HEATH JAMES & OTHERS
2/18/1981	\$2,000	281	86	SHELTON C W & OTHERS	DOUGHTY FRED & OTHERS
3/23/1979	\$32,500	273	222	DOUGHTY FRED & ROSETTA	BUTLER C W & VIRGINIA
10/24/1978	\$0	271	276	BUTLER C W & VIRGINIA	SHELBY BRENDA & KENNETH
6/12/1974	\$9,000	246	141	SHELBY KENNETH & BRENDA	BUTLER C W & VIRGINIA

## Photos



### Recent Sales In Area

Sale date range:

From:

11/17/20

To:

11/17/20

Sales by Area

Distance:

1500

Units:

Feet



Search Sales by Distance

No data available for the following modules: Sketches.

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Graves County, KY PVA

Summary

Parcel Number 151.00.00.026.01  
Account Number 393397  
Location Address 7931 ST RT 58 E  
Description HOUSE & .916 ACRE (151-51B)  
(Note: Not to be used on legal documents)  
Class RESIDENTIAL (10)  
Tax District 02 Graves County

[View Map](#)



Ownership

BELL MEGAN JEAN  
7931 STATE RT 58 EAST  
MAYFIELD, KY 42066

Land Characteristics

Condition	Good	Topography	Not Used
Plat Book/Page		Drainage	
Subdivision		Flood Hazard	
Lot		Zoning	Residential
Block		Electric	No
Acres	0.92	Water	No
Front	0	Gas	No
Depth	0	Sewer	No
Lot Size	0x0	Road	2 Lane
Lot Sq Ft	39900	Sidewalks	No
Shape		Information Source	

Tax Roll Information

	Working Value	Certified Value
+ Land Value	\$125,000	\$125,000
+ Improvement Value	\$0	\$0
= Total Taxable Value	\$125,000	\$125,000
- Exemption Value	\$0	\$0
= Net Taxable Value	\$125,000	\$125,000
Exemption	Homestead: No	Homestead: No

Tax Statements

- [2024 Tax Statements \(PDF\)](#)
- [2023 Tax Statements \(PDF\)](#)
- [2022 Tax Statements \(PDF\)](#)
- [2021 Tax Statements \(PDF\)](#)
- [2020 Tax Statements \(PDF\)](#)

Improvement Information

Building Number	1	Kitchens	1
Description	HOUSE	Dining Rooms	1
Residence Type	Single Family	Living Rooms	0
Comm Type		Family Rooms	0
Mobile Home Type		Bedrooms	0
Year Built	0	Full Baths	0
Effective Age	0	Half Baths	0
Ave. Wall Height	0	Other Rooms	0
Structure	1 Story	Total Rooms	2
Number of Stories	1	Living Sq Ft	1,618
Exterior	Frame/Brick	Basement Sq Ft	0
Foundation	Brick/Stone	Fireplaces	1
Construction Type	Wood Frame	Water	N
Construction Quality	Average/Standard	Supplemental Heat	None
Building Condition	Good/Average	Mobile Home Model	
Roof Type	RY-Gable	Mobile Home Manufacturer	
Roof Cover	RF-Asphalt Shingles	MH Skirt Foundation	

Roof Pitch RP-None  
 Basement Type BT-None  
 Basement Finish None  
 Basement Size BS-None  
 Garage/Carport  
 Garage Size None  
 Garage Type None  
 Garage Exterior None  
 Width 0  
 Length 0  
 Garage Sq Ft 0  
 Pool None  
 Pool Size 0  
 Tennis Courts None

Heat N  
 Heat Source None  
 Heat Type None  
 Air Conditioning N  
 AC/Type None  
 Special Improvements N  
 Fire Alarm N  
 Sprinklers N  
 Porch/Deck Covered  
 Porch Sq Ft 84  
 Deck Sq Ft 0  
 Concrete Sq Ft 0  
 Farm Bldg Type  
 Value \$0.00  
 Driveway Gravel  
 Fence 0

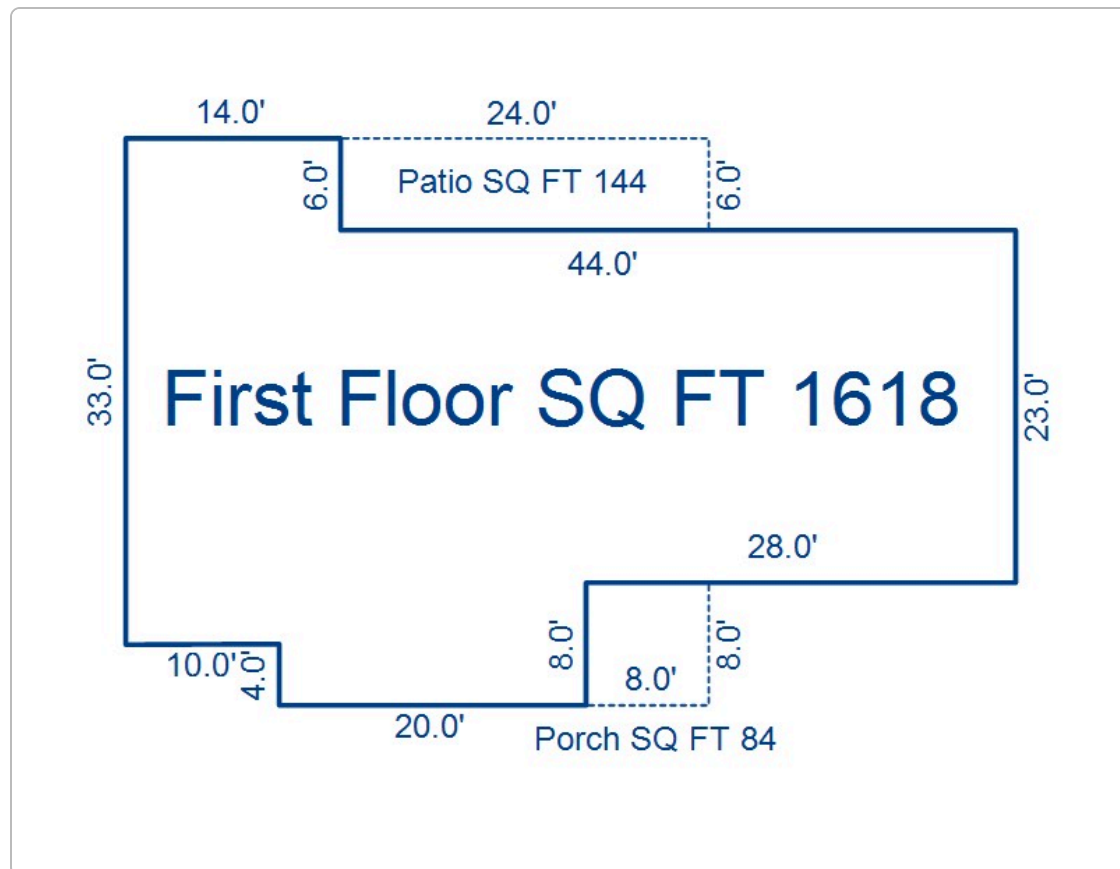
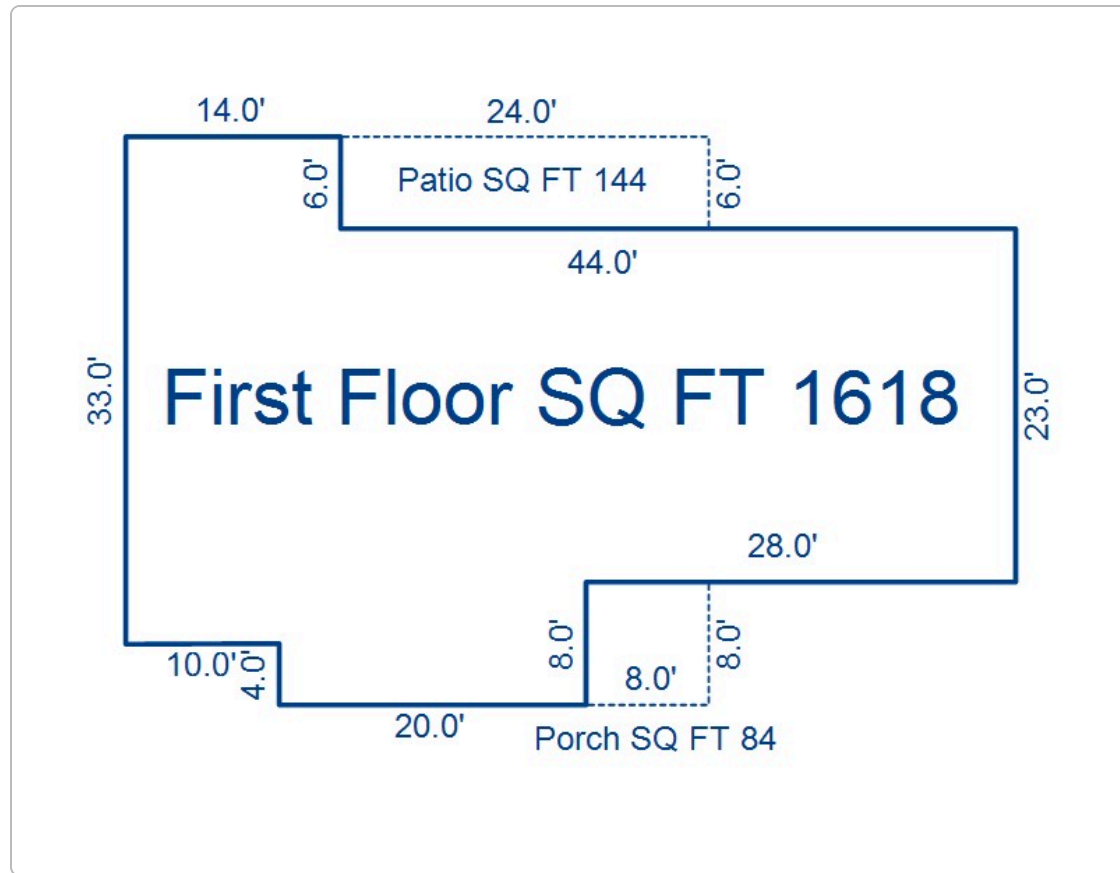
### Sales

Sale Date	Sale Price	Deed Book	Deed Page	Grantee	Grantor
6/25/2019	\$105,000	524	298	BELL MEGAN JEAN	YOUNGBLOOD EDDIE LEE
5/18/2012	\$100,000	473	796	YOUNGBLOOD EDDIE	YANKEY DANIEL & MARY

### Photos



### Sketches





Recent Sales In Area

Sale date range:

From:

11/17/20

To:

11/17/20

Sales by Area

Distance:

1500

Units:

Feet



Search Sales by Distance

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# Graves County, KY PVA

## Summary

**Parcel Number** 151.00.00.027.00  
**Account Number** 383447  
**Location Address** ST RT 58 E  
**Description** 10 ACRES (151-48B-1)  
(Note: Not to be used on legal documents)  
**Class** FARM (20)  
**Tax District** 02 Graves County

[View Map](#)

## Ownership

MASON JERRY T & JOHNNY & MICHAEL  
 8105 STATE RT 58 E  
 MAYFIELD, KY 42066

## Land Characteristics

<b>Condition</b>	None	<b>Topography</b>	Not Used
<b>Plat Book/Page</b>		<b>Drainage</b>	None
<b>Subdivision</b>		<b>Flood Hazard</b>	
<b>Lot</b>		<b>Zoning</b>	Residential
<b>Block</b>		<b>Electric</b>	No
<b>Acres</b>	10.00	<b>Water</b>	No
<b>Front</b>	0	<b>Gas</b>	No
<b>Depth</b>	0	<b>Sewer</b>	No
<b>Lot Size</b>	0x0	<b>Road</b>	
<b>Lot Sq Ft</b>	435600	<b>Sidewalks</b>	No
<b>Shape</b>	None	<b>Information Source</b>	

## Tax Roll Information

	Working Value	Certified Value
+ Land Value	\$8,000	\$8,000
+ Improvement Value	\$0	\$0
= Total Taxable Value	<b>\$8,000</b>	<b>\$8,000</b>
- Exemption Value	\$0	\$0
= Net Taxable Value	<b>\$8,000</b>	<b>\$8,000</b>
+ Land FCV	\$45,000	\$45,000
+ Improvement FCV	\$0	\$0
= Total FCV	<b>\$45,000</b>	<b>\$45,000</b>
Exemption	Homestead: No	Homestead: No

## Tax Statements

[2024 Tax Statements \(PDF\)](#)  
[2023 Tax Statements \(PDF\)](#)  
[2022 Tax Statements \(PDF\)](#)  
[2021 Tax Statements \(PDF\)](#)  
[2020 Tax Statements \(PDF\)](#)  
[2019 Tax Statements \(PDF\)](#)  
[2018 Tax Statements \(PDF\)](#)  
[2017 Tax Statements \(PDF\)](#)

## Sales

Sale Date	Sale Price	Deed Book	Deed Page	Grantee	Grantor
10/20/1997	\$30,000	370	793	MASON JERRY T & JOHNNY &	MASON JERRY T & SIDNEY

Recent Sales In Area

Sale date range:

From:

11/17/20

To:

11/17/20

Sales by Area

Distance:

1500

Units:

Feet



Search Sales by Distance

No data available for the following modules: Improvement Information, Photos, Sketches.

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Contact Us



# Graves County, KY PVA

## Summary

**Parcel Number** 151.00.00.028.00  
**Account Number** 383448  
**Location Address** 8105 ST RT 58 E  
**Description** HOUSE & 10.92 ACRES (151-48B)  
(Note: Not to be used on legal documents)  
**Class** FARM (20)  
**Tax District** 02 Graves County

[View Map](#)



## Ownership

MASON JERRY T & SIDNEY & MASON MICHAEL GLEN  
 8105 STATE RT 58 E  
 MAYFIELD, KY 42066

## Land Characteristics

<b>Condition</b>	Good	<b>Topography</b>	Level
<b>Plat Book/Page</b>		<b>Drainage</b>	None
<b>Subdivision</b>		<b>Flood Hazard</b>	
<b>Lot</b>		<b>Zoning</b>	
<b>Block</b>		<b>Electric</b>	No
<b>Acres</b>	10.92	<b>Water</b>	No
<b>Front</b>	0	<b>Gas</b>	No
<b>Depth</b>	0	<b>Sewer</b>	No
<b>Lot Size</b>	0x0	<b>Road</b>	2 Lane
<b>Lot Sq Ft</b>	475675	<b>Sidewalks</b>	No
<b>Shape</b>	None	<b>Information Source</b>	

## Tax Roll Information

	Working Value	Certified Value
+ Land Value	\$8,000	\$8,000
+ Improvement Value	\$144,000	\$144,000
= Total Taxable Value	<b>\$152,000</b>	<b>\$152,000</b>
- Exemption Value	(\$49,100)	(\$49,100)
= Net Taxable Value	<b>\$102,900</b>	<b>\$102,900</b>
+ Land FCV	\$65,000	\$65,000
+ Improvement FCV	\$144,000	\$144,000
= Total FCV	<b>\$209,000</b>	<b>\$209,000</b>
Exemption	Homestead: Yes - \$49,100	Homestead: Yes - \$46,350

## Tax Statements

[2024 Tax Statements \(PDF\)](#)  
[2023 Tax Statements \(PDF\)](#)  
[2022 Tax Statements \(PDF\)](#)  
[2021 Tax Statements \(PDF\)](#)  
[2020 Tax Statements \(PDF\)](#)  
[2019 Tax Statements \(PDF\)](#)  
[2018 Tax Statements \(PDF\)](#)  
[2017 Tax Statements \(PDF\)](#)

## Improvement Information

<b>Building Number</b>	1	<b>Kitchens</b>	1
<b>Description</b>	HOUSE	<b>Dining Rooms</b>	0
<b>Residence Type</b>	Single Family	<b>Living Rooms</b>	0
<b>Comm Type</b>		<b>Family Rooms</b>	1
<b>Mobile Home Type</b>		<b>Bedrooms</b>	3
<b>Year Built</b>	1992	<b>Full Baths</b>	2
<b>Effective Age</b>	0	<b>Half Baths</b>	0
<b>Ave. Wall Height</b>	0	<b>Other Rooms</b>	0
<b>Structure</b>	1 Story	<b>Total Rooms</b>	7

Number of Stories	1	Living Sq Ft	1,920
Exterior	Frame/Brick	Basement Sq Ft	0
Foundation	Concrete Block	Fireplaces	0
Construction Type	Wood Frame	Water	N
Construction Quality	Average/Standard	Supplemental Heat	None
Building Condition	Good/Average	Mobile Home Model	
Roof Type	RY-Gable	Mobile Home Manufacturer	
Roof Cover	RF-Asphalt Shingles	MH Skirt Foundation	
Roof Pitch	RP-None	Heat	Y
Basement Type	BT-None	Heat Source	Natural Gas
Basement Finish	None	Heat Type	Forced Air
Basement Size	BS-None	Air Conditioning	Y
Garage/Carport	Garage	AC/Type	Central
Garage Size	2 Car	Special Improvements	N
Garage Type	Attached Garage	Fire Alarm	N
Garage Exterior	None	Sprinklers	N
Width	0	Porch/Deck	Covered
Length	0	Porch Sq Ft	144
Garage Sq Ft	576	Deck Sq Ft	0
Pool	None	Concrete Sq Ft	0
Pool Size	0	Farm Bldg Type	
Tennis Courts	None	Value	\$0.00
		Driveway	Concrete
		Fence	0

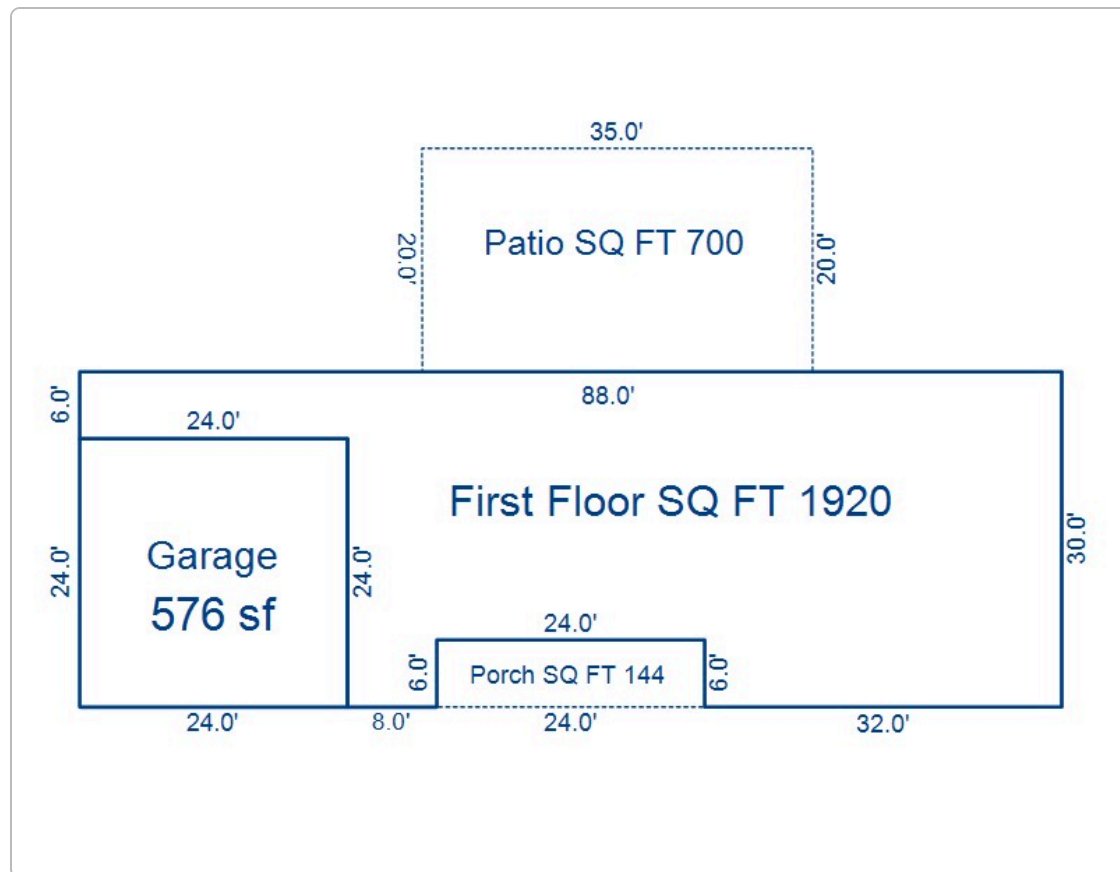
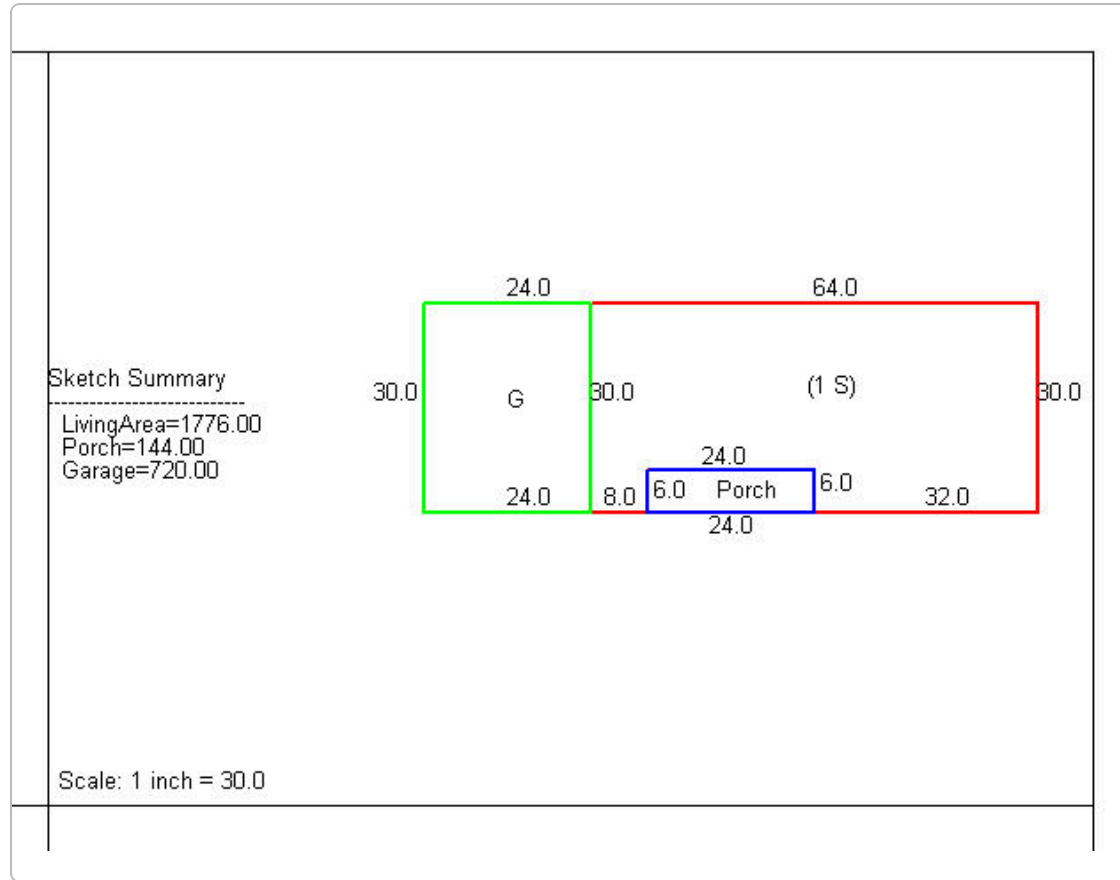
### Sales

Sale Date	Sale Price	Deed Book	Deed Page	Grantee	Grantor
12/29/2015	\$0	499	473	MASON JERRY T & SIDNEY	MASON JERRY T & SIDNEY
8/31/1981	\$15,000	283	261	MASON JERRY T & SIDNEY	BURD ROY & HELEN
7/19/1977	\$12,000	263	317	BURD ROY & HELEN	HOLLAND WILLIAM & MAVIS

### Photos



### Sketches





Recent Sales In Area

Sale date range:

From:

11/17/20

To:

11/17/20

Sales by Area

Distance:

1500

Units:

Feet



Search Sales by Distance

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# Graves County, KY PVA

## Summary

**Parcel Number** 151.00.00.084.00  
**Account Number** 383517  
**Location Address** WADESBORO RD  
**Description** 47.66 ACRES (151-12)  
(Note: Not to be used on legal documents)  
**Class** FARM (20)  
**Tax District** 02 Graves County

[View Map](#)



## Ownership

KALER DAVID & JENNIFER  
 465 WADESBORO RD  
 MAYFIELD, KY 42066

## Land Characteristics

<b>Condition</b>	Good	<b>Topography</b>	Rolling
<b>Plat Book/Page</b>		<b>Drainage</b>	None
<b>Subdivision</b>		<b>Flood Hazard</b>	
<b>Lot</b>		<b>Zoning</b>	Residential
<b>Block</b>		<b>Electric</b>	Yes
<b>Acres</b>	47.66	<b>Water</b>	Yes
<b>Front</b>	0	<b>Gas</b>	Yes
<b>Depth</b>	0	<b>Sewer</b>	Yes
<b>Lot Size</b>	0x0	<b>Road</b>	2 Lane
<b>Lot Sq Ft</b>	2076069	<b>Sidewalks</b>	No
<b>Shape</b>	None	<b>Information Source</b>	

## Tax Roll Information

	Working Value	Certified Value
+ Land Value	\$23,000	\$23,000
+ Improvement Value	\$0	\$0
= Total Taxable Value	\$23,000	\$23,000
- Exemption Value	\$0	\$0
= Net Taxable Value	\$23,000	\$23,000
+ Land FCV	\$155,000	\$155,000
+ Improvement FCV	\$0	\$0
= Total FCV	\$155,000	\$155,000
Exemption	Homestead: No	Homestead: No

## Tax Statements

[2024 Tax Statements \(PDF\)](#)  
[2023 Tax Statements \(PDF\)](#)  
[2022 Tax Statements \(PDF\)](#)  
[2021 Tax Statements \(PDF\)](#)  
[2020 Tax Statements \(PDF\)](#)  
[2019 Tax Statements \(PDF\)](#)  
[2018 Tax Statements \(PDF\)](#)  
[2017 Tax Statements \(PDF\)](#)

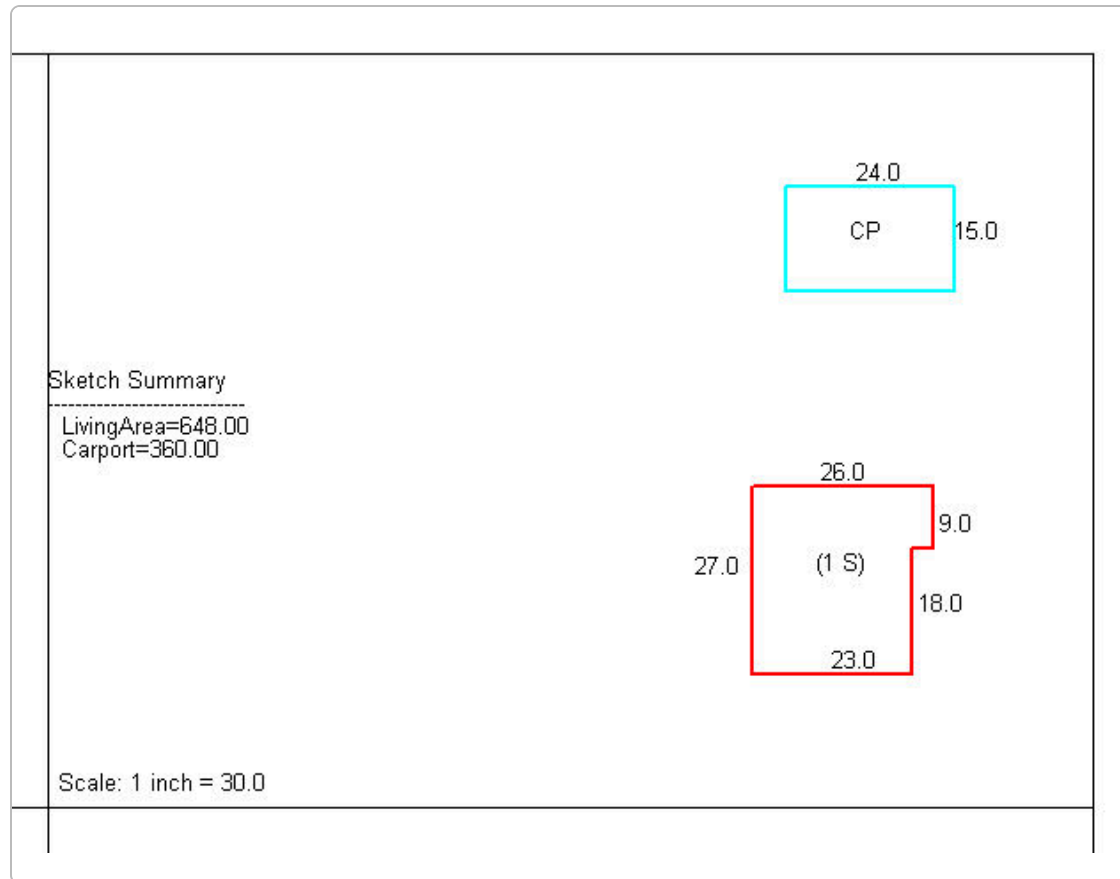
## Sales

Sale Date	Sale Price	Deed Book	Deed Page	Grantee	Grantor
3/19/2012	\$100,000	472	580	KALER DAVID & JENNIFER	PRATHER DAVID E & RITA M
11/18/2004	\$95,000	419	729	PRATHER DAVID E & RITA M	CRONCH DARELL & OTHERS
1/31/1949	\$0	144	489	CRONCH K B & OTHERS	CREASON & PRYOR

## Photos



## Sketches



## Recent Sales In Area

### Sale date range:

From:

11/17/20

To:

11/17/20

Sales by Area

Distance:

1500

Units:

Feet



Search Sales by Distance

No data available for the following modules: Improvement Information.

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Graves County, KY PVA

Summary

Parcel Number 151.00.00.096.00  
Account Number 383530  
Location Address ST RT 58 E  
Description MFG HOME (STORAGE), GARAGE & 8.25 ACRES (151-48A)  
(Note: Not to be used on legal documents)  
Class MOBILE/MANUFAC HOME (70)  
Tax District 02 Graves County

[View Map](#)



Ownership

STAMPER GAIL  
7018 ST RT 58 E  
MAYFIELD, KY 42066

Land Characteristics

Condition	None	Topography	Not Used
Plat Book/Page		Drainage	None
Subdivision		Flood Hazard	
Lot		Zoning	Residential
Block		Electric	No
Acres	8.25	Water	No
Front	0	Gas	No
Depth	0	Sewer	No
Lot Size	0x0	Road	
Lot Sq Ft	359370	Sidewalks	No
Shape	None	Information Source	

Tax Roll Information

	Working Value	Certified Value
+ Land Value	\$20,000	\$20,000
+ Improvement Value	\$0	\$0
= Total Taxable Value	\$20,000	\$20,000
- Exemption Value	\$0	\$0
= Net Taxable Value	\$20,000	\$20,000

Exemption	Homestead: No	Homestead: No
-----------	---------------	---------------

Tax Statements

- [2024 Tax Statements \(PDF\)](#)
- [2023 Tax Statements \(PDF\)](#)
- [2022 Tax Statements \(PDF\)](#)
- [2021 Tax Statements \(PDF\)](#)
- [2020 Tax Statements \(PDF\)](#)
- [2019 Tax Statements \(PDF\)](#)
- [2018 Tax Statements \(PDF\)](#)
- [2017 Tax Statements \(PDF\)](#)

Improvement Information

Building Number	1	Kitchens	0
Description		Dining Rooms	0
Residence Type	None	Living Rooms	0
Comm Type		Family Rooms	0
Mobile Home Type		Bedrooms	0
Year Built	0	Full Baths	0
Effective Age	0	Half Baths	0
Ave. Wall Height	0	Other Rooms	0
Structure	None	Total Rooms	0
Number of Stories	0	Living Sq Ft	0
Exterior	None	Basement Sq Ft	0
Foundation	None	Fireplaces	0
Construction Type	None	Water	N
Construction Quality	Average/Standard	Supplemental Heat	None

**Building Condition** Good/Average  
**Roof Type** RY-None  
**Roof Cover** RF-None  
**Roof Pitch** RP-None  
**Basement Type** BT-None  
**Basement Finish** None  
**Basement Size** BS-None  
**Garage/Carport**  
**Garage Size**  
**Garage Type**  
**Garage Exterior**  
**Width** 0  
**Length** 0  
**Garage Sq Ft** 0  
**Pool**  
**Pool Size** 0  
**Tennis Courts**

**Mobile Home Model**  
**Mobile Home Manufacturer**  
**MH Skirt Foundation**  
**Heat** N  
**Heat Source** None  
**Heat Type** None  
**Air Conditioning** N  
**AC/Type** None  
**Special Improvements** Y  
**Fire Alarm** N  
**Sprinklers** N  
**Porch/Deck**  
**Porch Sq Ft** 0  
**Deck Sq Ft** 0  
**Concrete Sq Ft** 0  
**Farm Bldg Type**  
**Value** \$0.00  
**Driveway** None  
**Fence** 0

## Sales

Sale Date	Sale Price	Deed Book	Deed Page	Grantee	Grantor
3/12/2024	\$0	N	2-115	STAMPER GAIL	HOLLAND ELNORA
1/5/1995	\$18,000	352	666	HOLLAND ELNORA	PRATHER BOBBY L JR & MELINDA
10/21/1993	\$10,000	345	167	PRATHER BOBBY L JR & MELINDA	WYNN JOE L
1/31/1989	\$8,500	318	648	WYNN JOE & SHIRLEY	SWIFT HENRY & FRANCES
4/18/1985	\$0	298	397	SWIFT HENRY & FRANCES	MOSS FRANCES
10/3/1980	\$0	279	686	MOSS FRANCES M	MOSS CHARLES R
3/23/1979	\$0	273	220	MOSS CHARLES R	MOSS FRANCES
6/28/1977	\$1,500	263	1	SWIFT FRANCES	HOLLAN MAVIS & W H

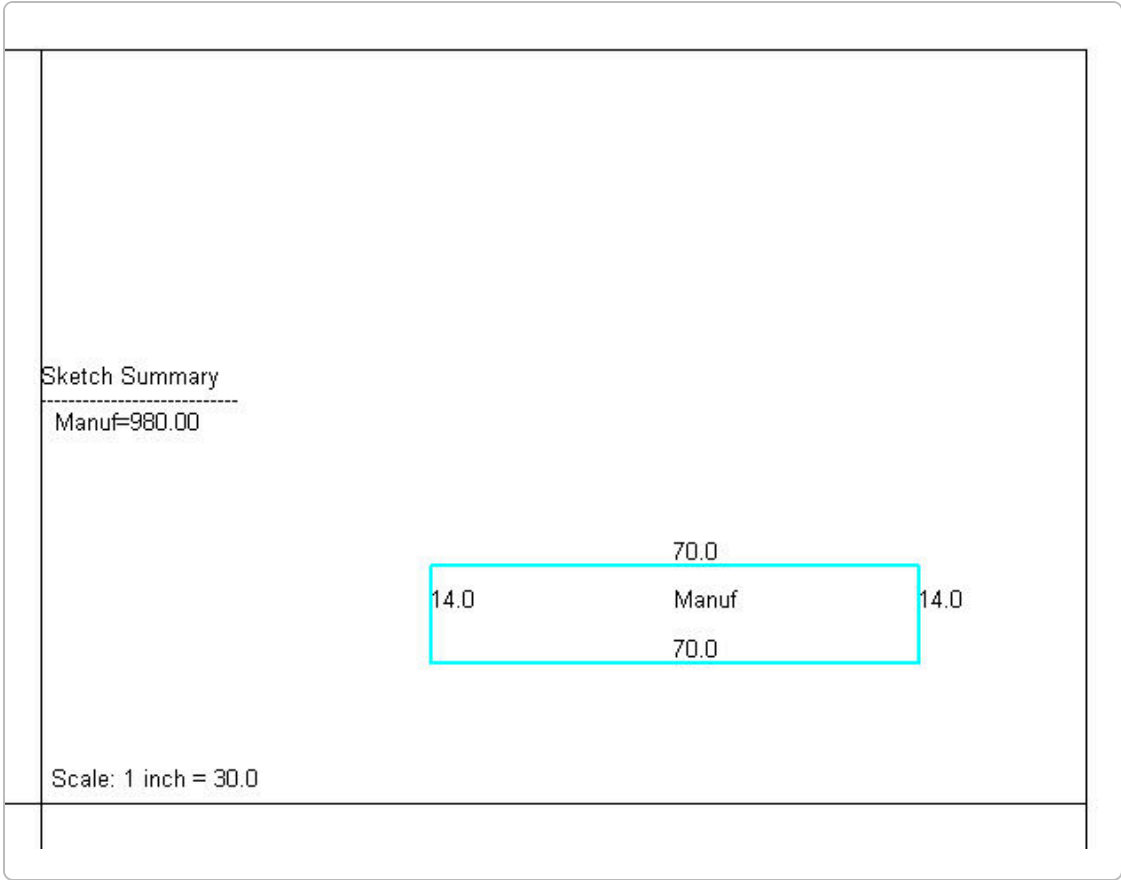
## Photos



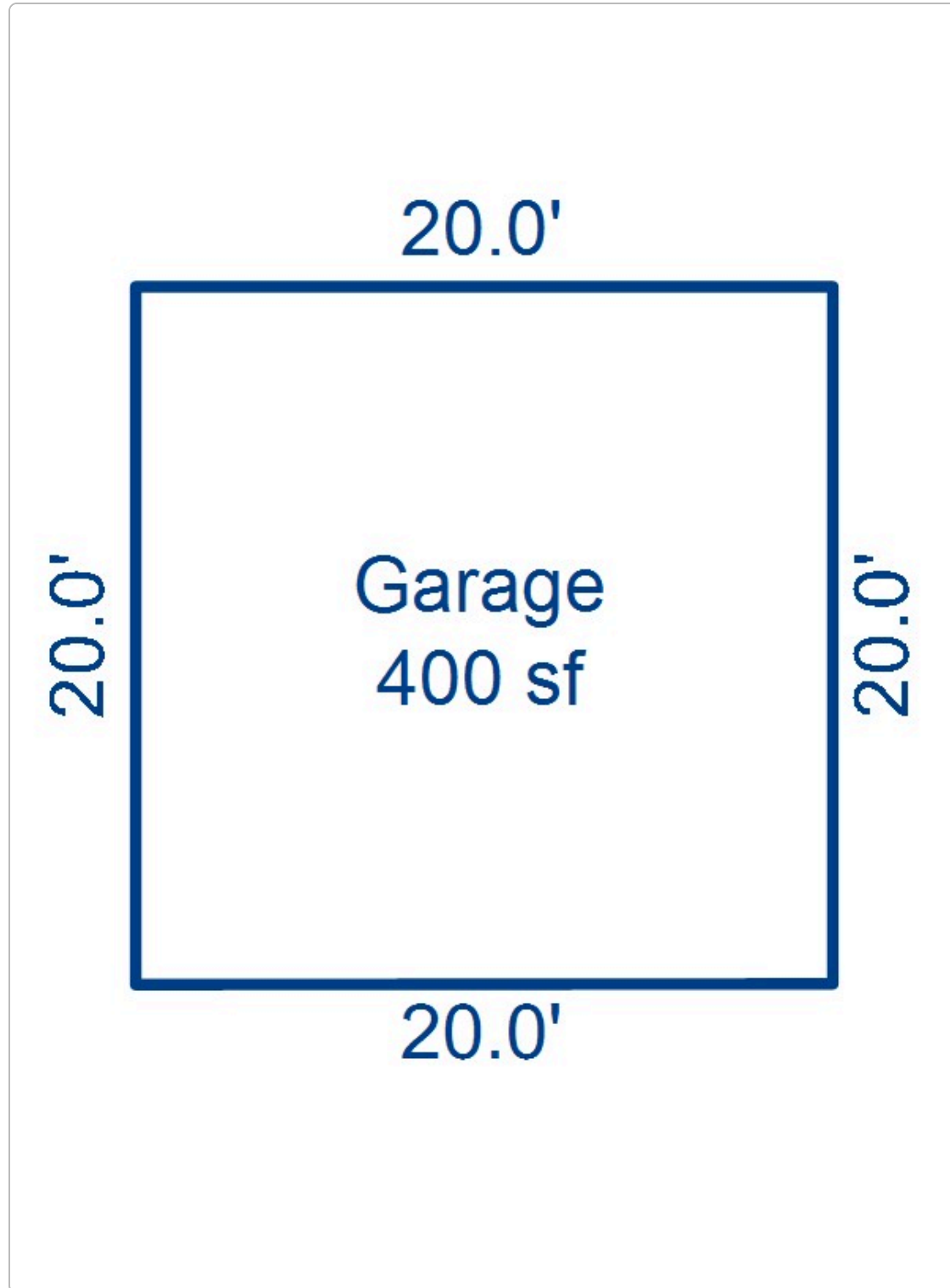




Sketches







Recent Sales In Area

Sale date range:

From:

11/17/20

To:

11/17/20

Sales by Area

Distance:

1500

Units:

Feet



Search Sales by Distance

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# Graves County, KY PVA

## Summary

**Parcel Number** 151.00.00.097.00  
**Account Number** 383531  
**Location Address** ST RT 58 E  
**Description** 2.1 ACRES (151-49)  
(Note: Not to be used on legal documents)  
**Class** RESIDENTIAL (10)  
**Tax District** 02 Graves County

[View Map](#)

## Ownership

VAUGHN BRUCE LEE  
 1021 N 15TH EXT  
 MAYFIELD, KY 42066

## Land Characteristics

<b>Condition</b>	None	<b>Topography</b>	Not Used
<b>Plat Book/Page</b>		<b>Drainage</b>	None
<b>Subdivision</b>		<b>Flood Hazard</b>	
<b>Lot</b>		<b>Zoning</b>	Residential
<b>Block</b>		<b>Electric</b>	No
<b>Acres</b>	2.10	<b>Water</b>	No
<b>Front</b>	0	<b>Gas</b>	No
<b>Depth</b>	0	<b>Sewer</b>	No
<b>Lot Size</b>	0x0	<b>Road</b>	
<b>Lot Sq Ft</b>	91476	<b>Sidewalks</b>	No
<b>Shape</b>	None	<b>Information Source</b>	

## Tax Roll Information

	Working Value	Certified Value
+ Land Value	\$10,000	\$10,000
+ Improvement Value	\$0	\$0
= Total Taxable Value	<b>\$10,000</b>	<b>\$10,000</b>
- Exemption Value	\$0	\$0
= Net Taxable Value	<b>\$10,000</b>	<b>\$10,000</b>
Exemption	Homestead: No	Homestead: No

## Tax Statements

[2024 Tax Statements \(PDF\)](#)  
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[2022 Tax Statements \(PDF\)](#)  
[2021 Tax Statements \(PDF\)](#)  
[2020 Tax Statements \(PDF\)](#)  
[2019 Tax Statements \(PDF\)](#)  
[2017 Tax Statements \(PDF\)](#)

## Sales

Sale Date	Sale Price	Deed Book	Deed Page	Grantee	Grantor
7/3/2025	\$70,000	573	445	VAUGHN BRUCE LEE	STANLEY MARK & REBECCA
10/5/2020	\$15,000	533	272	STANLEY MARK & REBECCA	DRIVER WILLIAM DAVID TRUSTEE
2/26/2019	\$13,000	521	817	DRIVER WILLIAM DAVID TRUSTEE	YANKEY DANIEL & MARY
8/11/1997	\$25,000	369	528	YANKEY DANIEL & MARY	BLANTON LONNIE & CONNIE
11/12/1991	\$8,100	334	7	BLANTON LONNIE & CONNIE	BOWLING LARRY
12/7/1989	\$10,500	323	497	BOWLING LARRY	GOFF MICHAEL
6/6/1984	\$21,500	294	469	GOFF MICHAEL	BUTLER ROY & MAVIS
11/19/1982	\$0	287	781	BUTLER ROY W	BUTLER MAVIS

Recent Sales In Area

Sale date range:

From:

11/17/20

To:

11/17/20

Sales by Area

Distance:

1500

Units:

Feet



Search Sales by Distance

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Graves County, KY PVA

Summary

Parcel Number 151.00.00.098.00  
Account Number 383532  
Location Address ST RT 58 E  
Description .64 ACRE (151-49C)  
(Note: Not to be used on legal documents)  
Class FARM (20)  
Tax District 02 Graves County

[View Map](#)

Ownership

BUTLER PATRICIA  
124 PANTHER CREEK SCHOOL RD  
MAYFIELD, KY 42066

Land Characteristics

Condition	None	Topography	Not Used
Plat Book/Page		Drainage	None
Subdivision		Flood Hazard	
Lot		Zoning	Residential
Block		Electric	No
Acres	0.64	Water	No
Front	0	Gas	No
Depth	0	Sewer	No
Lot Size	0x0	Road	
Lot Sq Ft	27878	Sidewalks	No
Shape	None	Information Source	

Tax Roll Information

	Working Value	Certified Value
+ Land Value	\$300	\$300
+ Improvement Value	\$0	\$0
= Total Taxable Value	\$300	\$300
- Exemption Value	\$0	\$0
= Net Taxable Value	\$300	\$300
+ Land FCV	\$1,000	\$1,000
+ Improvement FCV	\$0	\$0
= Total FCV	\$1,000	\$1,000
Exemption	Homestead: No	Homestead: No

Sales

Sale Date	Sale Price	Deed Book	Deed Page	Grantee	Grantor
3/1/1985	\$300	297	687	BUTLER C W & VIRGINIA	GOFF MICHAEL

Recent Sales In Area

Sale date range:

From:

To:

Sales by Area

Distance:

Units: 

Feet

Search Sales by Distance

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# Graves County, KY PVA

## Summary

**Parcel Number** 151.00.00.100.00  
**Account Number** 383534  
**Location Address** PANTHER CREEK RD  
**Description** 4.91 ACRES (151-49B)  
(Note: Not to be used on legal documents)  
**Class** FARM (20)  
**Tax District** 02 Graves County

[View Map](#)

## Ownership

BUTLER PATRICIA S  
 124 PANTHER CREEK RD  
 MAYFIELD, KY 42066

## Land Characteristics

<b>Condition</b>	None	<b>Topography</b>	Not Used
<b>Plat Book/Page</b>		<b>Drainage</b>	None
<b>Subdivision</b>		<b>Flood Hazard</b>	
<b>Lot</b>		<b>Zoning</b>	Residential
<b>Block</b>		<b>Electric</b>	No
<b>Acres</b>	4.91	<b>Water</b>	No
<b>Front</b>	0	<b>Gas</b>	No
<b>Depth</b>	0	<b>Sewer</b>	No
<b>Lot Size</b>	0x0	<b>Road</b>	
<b>Lot Sq Ft</b>	213879	<b>Sidewalks</b>	No
<b>Shape</b>	None	<b>Information Source</b>	

## Tax Roll Information

	Working Value	Certified Value
+ Land Value	\$1,500	\$1,500
+ Improvement Value	\$0	\$0
= Total Taxable Value	<b>\$1,500</b>	<b>\$1,500</b>
- Exemption Value	\$0	\$0
= Net Taxable Value	<b>\$1,500</b>	<b>\$1,500</b>
+ Land FCV	\$7,000	\$7,000
+ Improvement FCV	\$0	\$0
= Total FCV	<b>\$7,000</b>	<b>\$7,000</b>
Exemption	Homestead: No	Homestead: No

## Tax Statements

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[2023 Tax Statements \(PDF\)](#)  
[2022 Tax Statements \(PDF\)](#)  
[2021 Tax Statements \(PDF\)](#)  
[2020 Tax Statements \(PDF\)](#)  
[2019 Tax Statements \(PDF\)](#)  
[2018 Tax Statements \(PDF\)](#)  
[2017 Tax Statements \(PDF\)](#)

## Sales

Sale Date	Sale Price	Deed Book	Deed Page	Grantee	Grantor
5/6/2002	\$80,000	400	472	BUTLER PATRICIA S	BUTLER C W
2/11/1985	\$3,500	297	548	BUTLER C W & VIRGINIA	GOFF MICHAEL



Recent Sales In Area

Sale date range:

From:

11/17/20

To:

11/17/20

Sales by Area

Distance:

1500

Units:

Feet



Search Sales by Distance

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# Graves County, KY PVA

## Summary

**Parcel Number** 151.00.00.101.00  
**Account Number** 383535  
**Location Address** ST RT 58 E  
**Description** 7.3 ACRES (151-54)  
(Note: Not to be used on legal documents)  
**Class** FARM (20)  
**Tax District** 02 Graves County

[View Map](#)



## Ownership

BUTLER PATRICIA S  
 124 PANTHER CREEK RD  
 MAYFIELD, KY 42066

## Land Characteristics

<b>Condition</b>	Good	<b>Topography</b>	Level
<b>Plat Book/Page</b>		<b>Drainage</b>	None
<b>Subdivision</b>		<b>Flood Hazard</b>	
<b>Lot</b>		<b>Zoning</b>	Residential
<b>Block</b>		<b>Electric</b>	No
<b>Acres</b>	7.30	<b>Water</b>	No
<b>Front</b>	0	<b>Gas</b>	No
<b>Depth</b>	0	<b>Sewer</b>	No
<b>Lot Size</b>	0x0	<b>Road</b>	2 Lane
<b>Lot Sq Ft</b>	317988	<b>Sidewalks</b>	No
<b>Shape</b>	None	<b>Information Source</b>	

## Tax Roll Information

	Working Value	Certified Value
+ Land Value	\$2,000	\$2,000
+ Improvement Value	\$0	\$0
= Total Taxable Value	\$2,000	\$2,000
- Exemption Value	\$0	\$0
= Net Taxable Value	\$2,000	\$2,000
+ Land FCV	\$40,000	\$40,000
+ Improvement FCV	\$0	\$0
= Total FCV	\$40,000	\$40,000
Exemption	Homestead: No	Homestead: No

## Tax Statements

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[2023 Tax Statements \(PDF\)](#)  
[2022 Tax Statements \(PDF\)](#)  
[2021 Tax Statements \(PDF\)](#)  
[2020 Tax Statements \(PDF\)](#)  
[2019 Tax Statements \(PDF\)](#)  
[2018 Tax Statements \(PDF\)](#)  
[2017 Tax Statements \(PDF\)](#)

## Improvement Information

<b>Building Number</b>	1	<b>Kitchens</b>	1
<b>Description</b>	HOUSE	<b>Dining Rooms</b>	1
<b>Residence Type</b>	Single Family	<b>Living Rooms</b>	0
<b>Comm Type</b>		<b>Family Rooms</b>	1
<b>Mobile Home Type</b>		<b>Bedrooms</b>	3
<b>Year Built</b>	1900	<b>Full Baths</b>	1
<b>Effective Age</b>	0	<b>Half Baths</b>	0
<b>Ave. Wall Height</b>	0	<b>Other Rooms</b>	0
<b>Structure</b>	1 Story	<b>Total Rooms</b>	7
<b>Number of Stories</b>	1	<b>Living Sq Ft</b>	1,476

Exterior	Frame/Brick	Basement Sq Ft	1476
Foundation	Brick/Stone	Fireplaces	0
Construction Type	None	Water	N
Construction Quality	Average/Standard	Supplemental Heat	None
Building Condition	Good/Average	Mobile Home Model	
Roof Type	RY-Hip	Mobile Home Manufacturer	
Roof Cover	RF-Asphalt Shingles	MH Skirt Foundation	
Roof Pitch	RP-None	Heat	N
Basement Type	BT-Walkout	Heat Source	None
Basement Finish	Unfinished	Heat Type	None
Basement Size	BS-Full	Air Conditioning	N
Garage/Carport	Garage	AC/Type	None
Garage Size	1 Car	Special Improvements	N
Garage Type	Attached Garage	Fire Alarm	N
Garage Exterior	None	Sprinklers	N
Width	0	Porch/Deck	None
Length	0	Porch Sq Ft	90
Garage Sq Ft	752	Deck Sq Ft	0
Pool	None	Concrete Sq Ft	0
Pool Size	0	Farm Bldg Type	
Tennis Courts	None	Value	\$0.00
		Driveway	Gravel
		Fence	0

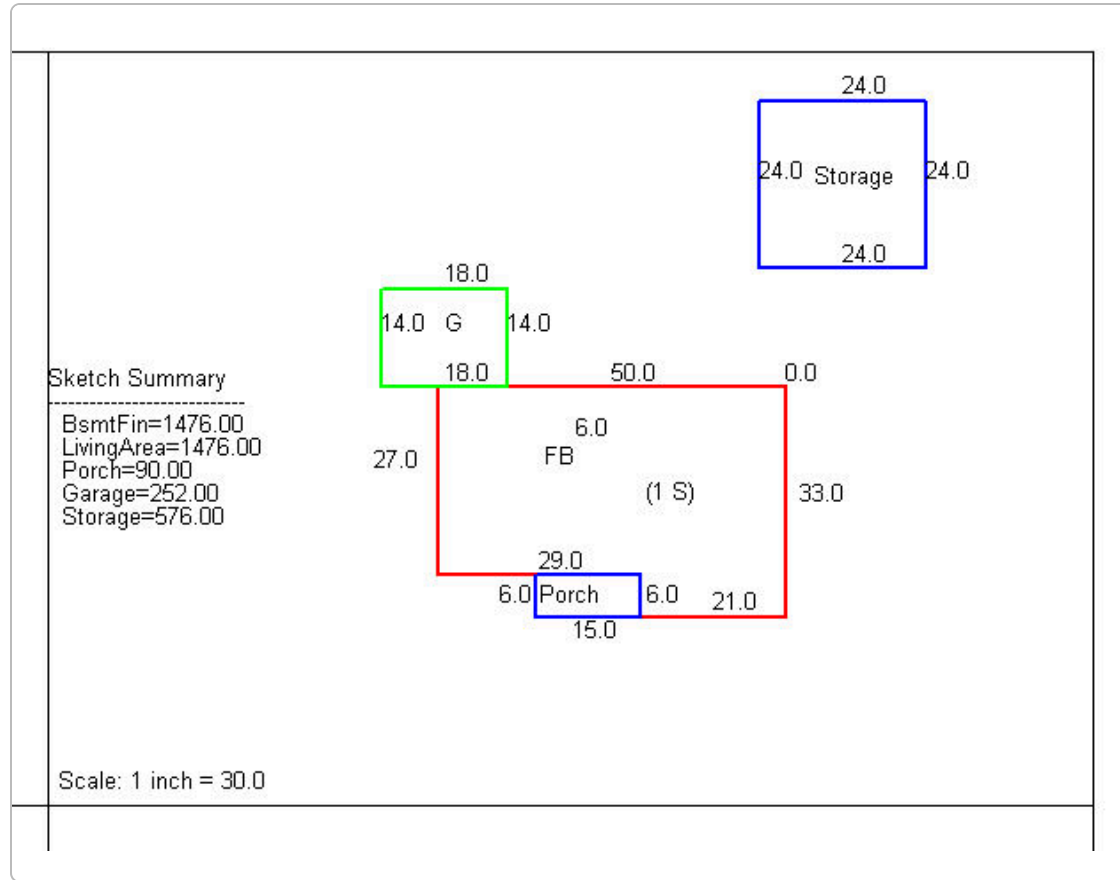
### Sales

Sale Date	Sale Price	Deed Book	Deed Page	Grantee	Grantor
5/6/2002	\$80,000	400	472	BUTLER PATRICIA S	BUTLER C W
6/27/1955	\$0	160	5	BUTLER C W & VIRGINIA	GIBBS NAT & NANNIE

### Photos



### Sketches



### Recent Sales In Area

Sale date range:

From:

11/17/20

To:

11/17/20

Sales by Area

Distance:

1500

Units:

Feet



Search Sales by Distance

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# Graves County, KY PVA

## Summary

**Parcel Number** 151.00.00.109.00  
**Account Number** 383544  
**Location Address** 328 PANTHER CREEK RD  
**Description** HOUSE, BLDG & 19.61 ACRES (151-58A)  
(Note: Not to be used on legal documents)  
**Class** FARM (20)  
**Tax District** 02 Graves County

[View Map](#)



## Ownership

BROWN PEYTON JR & CAROLYN  
 328 PANTHER CREEK RD  
 MAYFIELD, KY 42066

## Land Characteristics

Condition	Good	Topography	Level
Plat Book/Page		Drainage	None
Subdivision		Flood Hazard	
Lot		Zoning	Residential
Block		Electric	No
Acres	19.61	Water	No
Front	0	Gas	No
Depth	0	Sewer	No
Lot Size	0x0	Road	2 Lane
Lot Sq Ft	854211	Sidewalks	No
Shape	None	Information Source	

## Tax Roll Information

	Working Value	Certified Value
+ Land Value	\$13,000	\$13,000
+ Improvement Value	\$207,000	\$207,000
= Total Taxable Value	<b>\$220,000</b>	<b>\$220,000</b>
- Exemption Value	(\$49,100)	(\$49,100)
= Net Taxable Value	<b>\$170,900</b>	<b>\$170,900</b>
+ Land FCV	\$60,000	\$60,000
+ Improvement FCV	\$207,000	\$207,000
= Total FCV	<b>\$267,000</b>	<b>\$267,000</b>
Exemption	Homestead: Yes - \$49,100	Homestead: Yes - \$46,350

## Tax Statements

[2024 Tax Statements \(PDF\)](#)  
[2023 Tax Statements \(PDF\)](#)  
[2022 Tax Statements \(PDF\)](#)  
[2021 Tax Statements \(PDF\)](#)  
[2020 Tax Statements \(PDF\)](#)  
[2019 Tax Statements \(PDF\)](#)  
[2017 Tax Statements \(PDF\)](#)

## Improvement Information

<b>Building Number</b>	1	<b>Kitchens</b>	1
<b>Description</b>	HOUSE	<b>Dining Rooms</b>	1
<b>Residence Type</b>	Single Family	<b>Living Rooms</b>	0
<b>Comm Type</b>		<b>Family Rooms</b>	1
<b>Mobile Home Type</b>		<b>Bedrooms</b>	3
<b>Year Built</b>	1986	<b>Full Baths</b>	2
<b>Effective Age</b>	0	<b>Half Baths</b>	1
<b>Ave. Wall Height</b>	0	<b>Other Rooms</b>	0
<b>Structure</b>	1 1/2 Story	<b>Total Rooms</b>	9
<b>Number of Stories</b>	1.5	<b>Living Sq Ft</b>	2,162

Exterior	Vinyl	Basement Sq Ft	0
Foundation	Concrete Block	Fireplaces	0
Construction Type	Wood Frame	Water	N
Construction Quality	Custom	Supplemental Heat	None
Building Condition	Very Good/Excellent	Mobile Home Model	
Roof Type	RY-Gable	Mobile Home Manufacturer	
Roof Cover	RF-Asphalt Shingles	MH Skirt Foundation	
Roof Pitch	RP-None	Heat	Y
Basement Type	BT-None	Heat Source	Other
Basement Finish	None	Heat Type	Other
Basement Size	BS-None	Air Conditioning	Y
Garage/Carport	Garage	AC/Type	Central
Garage Size	None	Special Improvements	N
Garage Type	Attached Garage	Fire Alarm	N
Garage Exterior	Wood	Sprinklers	N
Width	0	Porch/Deck	Covered
Length	0	Porch Sq Ft	408
Garage Sq Ft	0	Deck Sq Ft	0
Pool	None	Concrete Sq Ft	0
Pool Size	0	Farm Bldg Type	
Tennis Courts	None	Value	\$0.00
		Driveway	Gravel
		Fence	0

Building Number	2	Kitchens	0
Description		Dining Rooms	0
Residence Type	None	Living Rooms	0
Comm Type		Family Rooms	0
Mobile Home Type		Bedrooms	0
Year Built	1991	Full Baths	0
Effective Age	0	Half Baths	0
Ave. Wall Height	0	Other Rooms	0
Structure	None	Total Rooms	0
Number of Stories	0	Living Sq Ft	0
Exterior	Frame	Basement Sq Ft	0
Foundation	Slab	Fireplaces	0
Construction Type	Wood Frame	Water	N
Construction Quality	Average/Standard	Supplemental Heat	None
Building Condition	Good/Average	Mobile Home Model	
Roof Type	RY-Gable	Mobile Home Manufacturer	
Roof Cover	RF-Asphalt Shingles	MH Skirt Foundation	
Roof Pitch	RP-None	Heat	N
Basement Type	BT-None	Heat Source	None
Basement Finish	None	Heat Type	None
Basement Size	BS-None	Air Conditioning	N
Garage/Carport	Garage	AC/Type	None
Garage Size	None	Special Improvements	Y
Garage Type	Detached Garage	Fire Alarm	N
Garage Exterior	Wood	Sprinklers	N
Width	36	Porch/Deck	
Length	40	Porch Sq Ft	0
Garage Sq Ft	0	Deck Sq Ft	0
Pool		Concrete Sq Ft	0
Pool Size	0	Farm Bldg Type	
Tennis Courts		Value	\$0.00
		Driveway	Gravel
		Fence	0

Building Number	3	Kitchens	0
Description	metal building	Dining Rooms	0
Residence Type	None	Living Rooms	0
Comm Type		Family Rooms	0
Mobile Home Type		Bedrooms	0
Year Built	0	Full Baths	0
Effective Age	0	Half Baths	0
Ave. Wall Height	0	Other Rooms	0
Structure	None	Total Rooms	0
Number of Stories	0	Living Sq Ft	0
Exterior	Frame	Basement Sq Ft	0
Foundation	None	Fireplaces	0
Construction Type	None	Water	N
Construction Quality	Average/Standard	Supplemental Heat	None
Building Condition	Good/Average	Mobile Home Model	
Roof Type	RY-None	Mobile Home Manufacturer	
Roof Cover	RF-Metal	MH Skirt Foundation	
Roof Pitch	RP-None	Heat	N
Basement Type	BT-None	Heat Source	None
Basement Finish	None	Heat Type	None
Basement Size	BS-None	Air Conditioning	N
Garage/Carport		AC/Type	None
Garage Size		Special Improvements	Y
Garage Type		Fire Alarm	N

Garage Exterior		Sprinklers	N
Width	40	Porch/Deck	
Length	50	Porch Sq Ft	0
Garage Sq Ft	0	Deck Sq Ft	0
Pool		Concrete Sq Ft	0
Pool Size	0	Farm Bldg Type	
Tennis Courts		Value	\$0.00
		Driveway	Gravel
		Fence	0

Sales

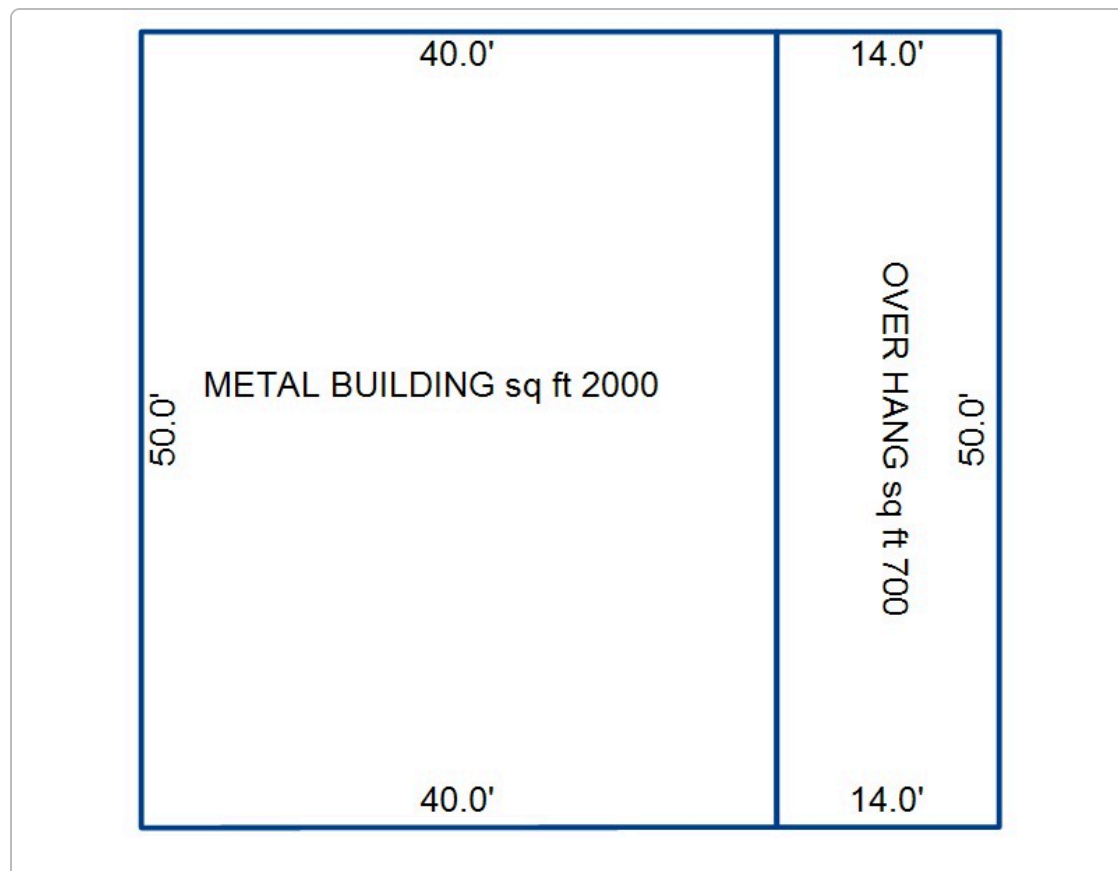
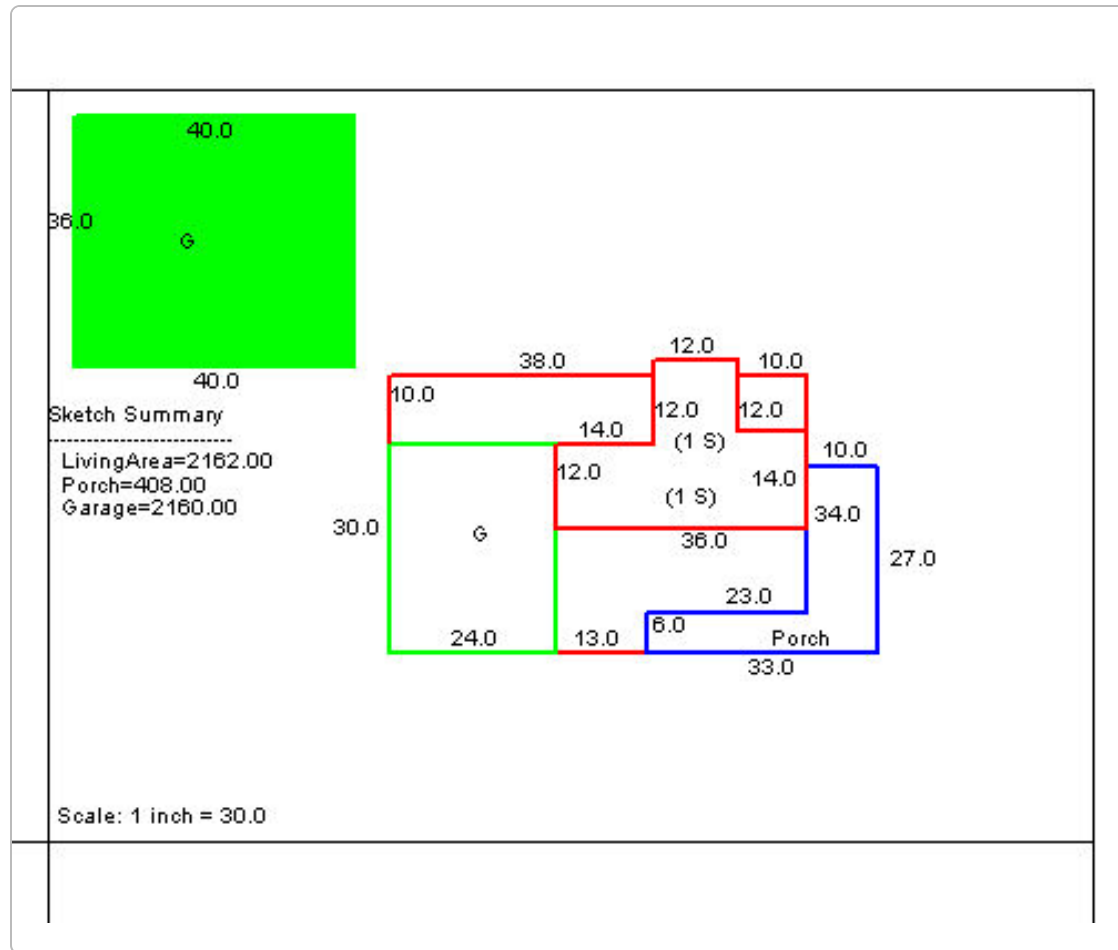
Sale Date	Sale Price	Deed Book	Deed Page	Grantee	Grantor
3/25/1985	\$0	298	126	BROWN PEYTON JR & CAROLYN	BROWN GENELLA

Photos



Sketches





Recent Sales In Area

Sale date range:

From:

11/17/20

To:

11/17/20

Sales by Area

Distance:

1500

Units:

Feet



Search Sales by Distance

Graves County makes every effort to produce the most accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use or interpretation. The assessment information is from the last certified taxroll. All data is subject to change before the next certified taxroll.

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[Last Data Upload: 11/14/2025, 3:48:31 PM](#)

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# Graves County, KY PVA

## Summary

**Parcel Number** 151.00.00.111.00  
**Account Number** 383546  
**Location Address** 600 PANTHER CREEK RD  
**Description** HOUSE & 100 ACRES (151-68A)  
(Note: Not to be used on legal documents)  
**Class** FARM (20)  
**Tax District** 02 Graves County

[View Map](#)



## Ownership

GIBSON JARED & JENNIFER  
 3596 HOPEWELL RD  
 MAYFIELD, KY 42066

## Land Characteristics

<b>Condition</b>	Good	<b>Topography</b>	Level
<b>Plat Book/Page</b>		<b>Drainage</b>	None
<b>Subdivision</b>		<b>Flood Hazard</b>	
<b>Lot</b>		<b>Zoning</b>	Residential
<b>Block</b>		<b>Electric</b>	No
<b>Acres</b>	100.00	<b>Water</b>	No
<b>Front</b>	0	<b>Gas</b>	No
<b>Depth</b>	0	<b>Sewer</b>	No
<b>Lot Size</b>	0x0	<b>Road</b>	2 Lane
<b>Lot Sq Ft</b>	4356000	<b>Sidewalks</b>	No
<b>Shape</b>	None	<b>Information Source</b>	

## Tax Roll Information

	Working Value	Certified Value
+ Land Value	\$58,000	\$58,000
+ Improvement Value	\$15,000	\$15,000
= Total Taxable Value	<b>\$73,000</b>	<b>\$73,000</b>
- Exemption Value	\$0	\$0
= Net Taxable Value	<b>\$73,000</b>	<b>\$73,000</b>
+ Land FCV	\$340,000	\$340,000
+ Improvement FCV	\$15,000	\$15,000
= Total FCV	<b>\$355,000</b>	<b>\$355,000</b>
Exemption	Homestead: No	Homestead: No

## Tax Statements

[2024 Tax Statements \(PDF\)](#)  
[2023 Tax Statements \(PDF\)](#)  
[2022 Tax Statements \(PDF\)](#)  
[2021 Tax Statements \(PDF\)](#)  
[2020 Tax Statements \(PDF\)](#)  
[2019 Tax Statements \(PDF\)](#)  
[2018 Tax Statements \(PDF\)](#)  
[2017 Tax Statements \(PDF\)](#)

## Improvement Information

<b>Building Number</b>	1	<b>Kitchens</b>	1
<b>Description</b>	HOUSE	<b>Dining Rooms</b>	1
<b>Residence Type</b>	Single Family	<b>Living Rooms</b>	0
<b>Comm Type</b>		<b>Family Rooms</b>	0
<b>Mobile Home Type</b>		<b>Bedrooms</b>	0
<b>Year Built</b>	0	<b>Full Baths</b>	0
<b>Effective Age</b>	0	<b>Half Baths</b>	0
<b>Ave. Wall Height</b>	0	<b>Other Rooms</b>	0
<b>Structure</b>	1 1/2 Story	<b>Total Rooms</b>	2
<b>Number of Stories</b>	1.5	<b>Living Sq Ft</b>	1,569

Exterior	Wood	Basement Sq Ft	0
Foundation	Poured Concrete	Fireplaces	0
Construction Type	Wood Frame	Water	N
Construction Quality	Fair/Economy	Supplemental Heat	None
Building Condition	Good/Average	Mobile Home Model	
Roof Type	RY-Gable	Mobile Home Manufacturer	
Roof Cover	RF-Asphalt Shingles	MH Skirt Foundation	
Roof Pitch	RP-None	Heat	Y
Basement Type	BT-None	Heat Source	Natural Gas
Basement Finish	None	Heat Type	Forced Air
Basement Size	BS-None	Air Conditioning	Y
Garage/Carport		AC/Type	Wall Units
Garage Size		Special Improvements	N
Garage Type		Fire Alarm	N
Garage Exterior		Sprinklers	N
Width	0	Porch/Deck	None
Length	0	Porch Sq Ft	144
Garage Sq Ft	0	Deck Sq Ft	0
Pool	None	Concrete Sq Ft	0
Pool Size	0	Farm Bldg Type	
Tennis Courts	None	Value	\$0.00
		Driveway	Gravel
		Fence	0

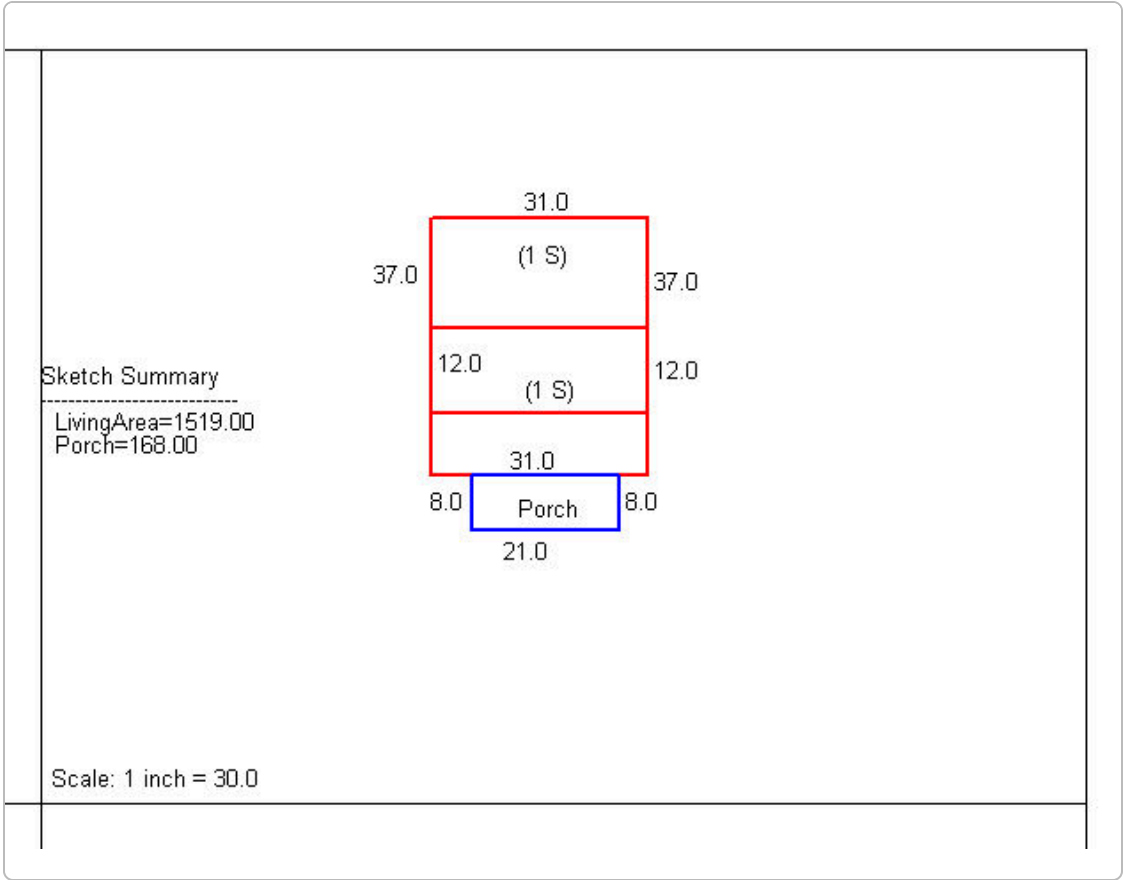
### Sales

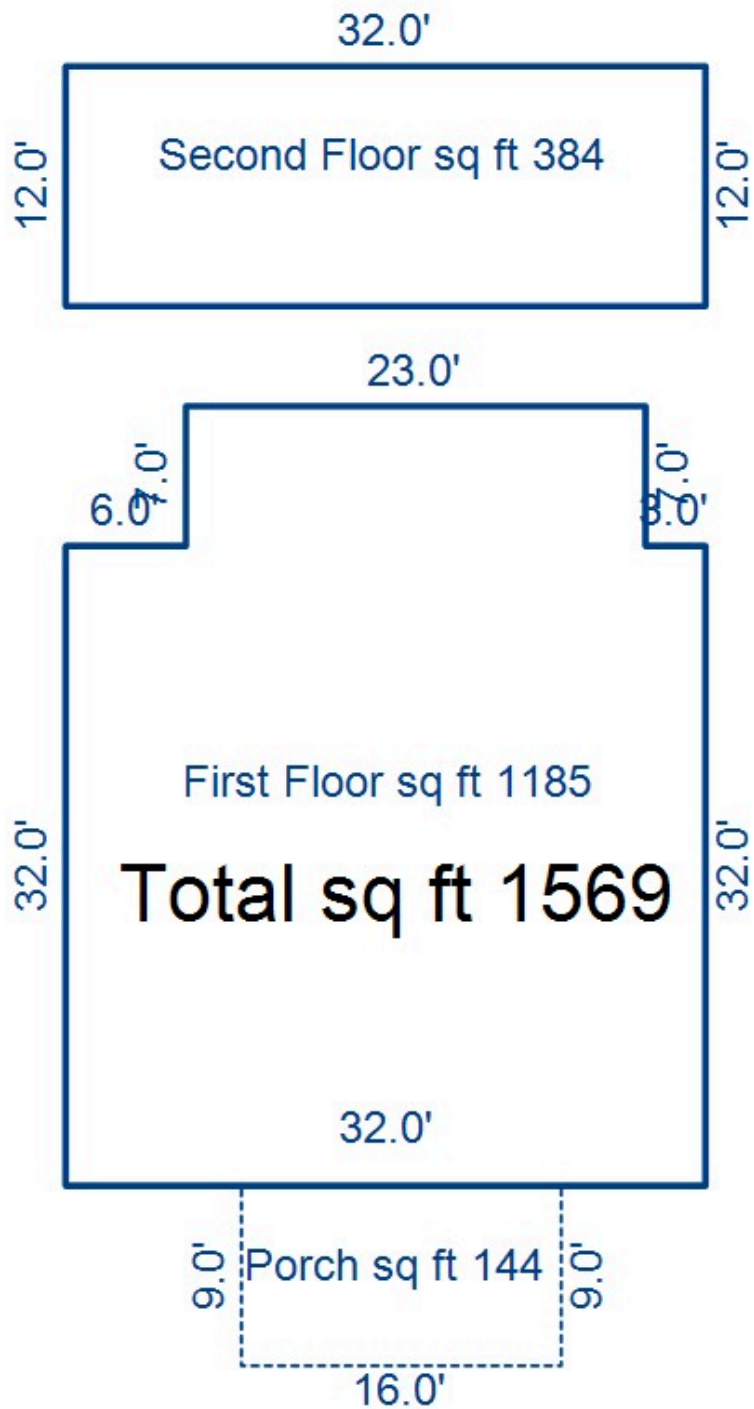
Sale Date	Sale Price	Deed Book	Deed Page	Grantee	Grantor
4/6/2021	\$272,000	537	356	GIBSON JARED & JENNIFER	MOHLER BOBBY & JUNE
5/11/1993	\$0	342	566	MOHLER BOBBY & JUNE	MOHLER OWEN & VIVIAN
5/20/1985	\$33,000	298	819	MOHLER OWEN & VIVIAN	HAM MONA
6/27/1975	\$6,000	250	668	HAM JAMES & MONA	STONE CECLI & MUSA

### Photos



### Sketches





Recent Sales In Area

Sale date range:

From:

11/17/20

To:

11/17/20

Sales by Area

Distance:

1500

Units:

Feet



Search Sales by Distance

Graves County makes every effort to produce the most accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use or interpretation. The assessment information is from the last certified taxroll. All data is subject to change before the next certified taxroll.

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Certified Mail Fee

\$

Extra Services & Fees (check box, add fee as appropriate)

- ☐ Return Receipt (hardcopy) \$
- ☐ Return Receipt (electronic) \$
- ☐ Certified Mail Restricted Delivery \$
- ☐ Adult Signature Required \$
- ☐ Adult Signature Restricted Delivery \$

Postmark  
Here

BROWN PEYTON JR & CAROLYN  
328 PANTHER CREEK RD  
MAYFIELD, KY 42066

PS Form 3800, January 2023 PSN 7530-02-000-9047 See Reverse for Instructions

9589 0710 5270 3100 7721 95

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- ☐ Return Receipt (electronic) \$
- ☐ Certified Mail Restricted Delivery \$
- ☐ Adult Signature Required \$
- ☐ Adult Signature Restricted Delivery \$

Postmark  
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BUTLER PATRICIA S  
124 PANTHER CREEK RD  
MAYFIELD, KY 42066

PS Form 3800, January 2023 PSN 7530-02-000-9047 See Reverse for Instructions

9589 0710 5270 3100 7722 32

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- ☐ Return Receipt (electronic) \$
- ☐ Certified Mail Restricted Delivery \$
- ☐ Adult Signature Required \$
- ☐ Adult Signature Restricted Delivery \$

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YOUNGBLOOD EDDIE LEE  
7685 STATE RT 58 E  
MAYFIELD, KY 42066

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- ☐ Certified Mail Restricted Delivery \$
- ☐ Adult Signature Required \$
- ☐ Adult Signature Restricted Delivery \$

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GIBSON JARED & JENNIFER  
3596 HOPEWELL RD  
MAYFIELD, KY 42066

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- ☐ Adult Signature Required \$
- ☐ Adult Signature Restricted Delivery \$

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MASON JERRY T & JOHNNY & MICHAEL  
8105 STATE RT 58 E  
MAYFIELD, KY 42066

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- ☐ Return Receipt (electronic) \$
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- ☐ Adult Signature Required \$
- ☐ Adult Signature Restricted Delivery \$

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BELL MEGAN JEAN  
7931 STATE RT 58 EAST  
MAYFIELD, KY 42066

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☐ Return Receipt (electronic) \$  
☐ Certified Mail Restricted Delivery \$  
☐ Adult Signature Required \$  
☐ Adult Signature Restricted Delivery \$

Postmark  
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City

KALER DAVID & JENNIFER  
465 WADESBORO RD  
MAYFIELD, KY 42066

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9589 0710 5270 3100 7734 51

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☐ Return Receipt (hardcopy) \$  
☐ Return Receipt (electronic) \$  
☐ Certified Mail Restricted Delivery \$  
☐ Adult Signature Required \$  
☐ Adult Signature Restricted Delivery \$

Postmark  
Here

Postage

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To

\$

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City

MASON JERRY T & SIDNEY &  
MASON MICHAEL GLEN  
8105 STATE RT 58 E  
MAYFIELD, KY 42066

PS Form 3800, January 2023 PSN 7530-02-000-9047 See Reverse for Instructions

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☐ Return Receipt (hardcopy) \$  
☐ Return Receipt (electronic) \$  
☐ Certified Mail Restricted Delivery \$  
☐ Adult Signature Required \$  
☐ Adult Signature Restricted Delivery \$

Postmark  
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Postage

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To

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City

VAUGHN BRUCE LEE  
1021 N 15TH EXT  
MAYFIELD, KY 42066

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Extra Services &amp; Fees (check box, add fee as appropriate)

☐ Return Receipt (hardcopy) \$  
☐ Return Receipt (electronic) \$  
☐ Certified Mail Restricted Delivery \$  
☐ Adult Signature Required \$  
☐ Adult Signature Restricted Delivery \$

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Postage

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To

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City

STAMPER GAIL  
7018 ST RT 58 E  
MAYFIELD, KY 42066

PS Form 3800, January 2023 PSN 7530-02-000-9047 See Reverse for Instructions

9589 0710 5270 3100 7734 13

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Extra Services &amp; Fees (check box, add fee as appropriate)

☐ Return Receipt (hardcopy) \$  
☐ Return Receipt (electronic) \$  
☐ Certified Mail Restricted Delivery \$  
☐ Adult Signature Required \$  
☐ Adult Signature Restricted Delivery \$

Postmark  
Here

Postage

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To

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City

SWIFT HENRY E & FRANCES M  
7996 STATE RT 58 E  
MAYFIELD, KY 42066

PS Form 3800, January 2023 PSN 7530-02-000-9047 See Reverse for Instructions

9589 0710 5270 3100 7734 20

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Extra Services &amp; Fees (check box, add fee as appropriate)

☐ Return Receipt (hardcopy) \$  
☐ Return Receipt (electronic) \$  
☐ Certified Mail Restricted Delivery \$  
☐ Adult Signature Required \$  
☐ Adult Signature Restricted Delivery \$

Postmark  
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Postage

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City

BUTLER PATRICIA  
124 PANTHER CREEK SCHOOL RD  
MAYFIELD, KY 42066

PS Form 3800, January 2023 PSN 7530-02-000-9047 See Reverse for Instructions



SENDER: COMPLETE THIS SECTION		COMPLETE THIS SECTION ON DELIVERY	
<p>■ Complete items 1, 2, and 3.</p> <p>■ Print your name and address on the reverse so that we can return the card to you.</p> <p>■ Attach this card to the back of the mailpiece, or on the front if space permits.</p> <p>1. Article Addressed to:</p> <p>BELL MEGAN JEAN 7931 STATE RT 58 EAST MAYFIELD, KY 42066</p> <p>9590 9402 7926 2305 8867 98</p> <p>2. Article Number (Transfer from service label) 9589 0710 5270 3100 7722 25</p>		<p>A. Signature <b>X</b></p> <p><input type="checkbox"/> Agent <input type="checkbox"/> Addressee</p> <p>B. Received by (Printed Name)</p> <p>C. Date of Delivery</p> <p>D. Is delivery address different from item 1? <input type="checkbox"/> Yes If YES, enter delivery address below: <input type="checkbox"/> No</p> <p>3. Service Type  <input type="checkbox"/> Adult Signature  <input type="checkbox"/> Adult Signature Restricted Delivery  <input checked="" type="checkbox"/> Certified Mail®  <input type="checkbox"/> Certified Mail Restricted Delivery  <input type="checkbox"/> Collect on Delivery  <input type="checkbox"/> Collect on Delivery Restricted Delivery  <input type="checkbox"/> Insured Mail  <input type="checkbox"/> Insured Mail Restricted Delivery (over \$500)  <input type="checkbox"/> Priority Mail Express®  <input type="checkbox"/> Registered Mail™  <input type="checkbox"/> Registered Mail Restricted Delivery  <input type="checkbox"/> Signature Confirmation™  <input type="checkbox"/> Signature Confirmation Restricted Delivery</p>	

PS Form 3811, July 2020 PSN 7530-02-000-9053 Domestic Return Receipt

SENDER: COMPLETE THIS SECTION		COMPLETE THIS SECTION ON DELIVERY	
<p>■ Complete items 1, 2, and 3.</p> <p>■ Print your name and address on the reverse so that we can return the card to you.</p> <p>■ Attach this card to the back of the mailpiece, or on the front if space permits.</p> <p>1. Article Addressed to:</p> <p>STAMPER GAIL 7018 ST RT 58 E MAYFIELD, KY 42066</p> <p>9590 9402 7926 2305 8586 34</p> <p>2. Article Number (Transfer from service label) 9589 0710 5270 3100 7734 44</p>		<p>A. Signature <b>X</b> <i>Stamper</i></p> <p><input type="checkbox"/> Agent <input type="checkbox"/> Addressee</p> <p>B. Received by (Printed Name)</p> <p>C. Date of Delivery</p> <p>D. Is delivery address different from item 1? <input type="checkbox"/> Yes If YES, enter delivery address below: <input type="checkbox"/> No</p> <p>3. Service Type  <input type="checkbox"/> Adult Signature  <input type="checkbox"/> Adult Signature Restricted Delivery  <input checked="" type="checkbox"/> Certified Mail®  <input type="checkbox"/> Certified Mail Restricted Delivery  <input type="checkbox"/> Collect on Delivery  <input type="checkbox"/> Collect on Delivery Restricted Delivery  <input type="checkbox"/> Insured Mail  <input type="checkbox"/> Insured Mail Restricted Delivery (over \$500)  <input type="checkbox"/> Priority Mail Express®  <input type="checkbox"/> Registered Mail™  <input type="checkbox"/> Registered Mail Restricted Delivery  <input type="checkbox"/> Signature Confirmation™  <input type="checkbox"/> Signature Confirmation Restricted Delivery</p>	

PS Form 3811, July 2020 PSN 7530-02-000-9053 Domestic Return Receipt

SENDER: COMPLETE THIS SECTION		COMPLETE THIS SECTION ON DELIVERY	
<p>■ Complete items 1, 2, and 3.</p> <p>■ Print your name and address on the reverse so that we can return the card to you.</p> <p>■ Attach this card to the back of the mailpiece, or on the front if space permits.</p> <p>1. Article Addressed to:</p> <p>YOUNGBLOOD EDDIE LEE 7685 STATE RT 58 E MAYFIELD, KY 42066</p> <p>9590 9402 7926 2305 8867 81</p> <p>2. Article Number (Transfer from service label) 9589 0710 5270 3100 7722 32</p>		<p>A. Signature <b>X</b> <i>Eddie Youngblood</i></p> <p><input type="checkbox"/> Agent <input checked="" type="checkbox"/> Addressee</p> <p>B. Received by (Printed Name) Eddie Youngblood</p> <p>C. Date of Delivery 11.21.25</p> <p>D. Is delivery address different from item 1? <input type="checkbox"/> Yes If YES, enter delivery address below: <input type="checkbox"/> No</p> <p>3. Service Type  <input type="checkbox"/> Adult Signature  <input type="checkbox"/> Adult Signature Restricted Delivery  <input checked="" type="checkbox"/> Certified Mail®  <input type="checkbox"/> Certified Mail Restricted Delivery  <input type="checkbox"/> Collect on Delivery  <input type="checkbox"/> Collect on Delivery Restricted Delivery  <input type="checkbox"/> Insured Mail  <input type="checkbox"/> Insured Mail Restricted Delivery (over \$500)  <input type="checkbox"/> Priority Mail Express®  <input type="checkbox"/> Registered Mail™  <input type="checkbox"/> Registered Mail Restricted Delivery  <input type="checkbox"/> Signature Confirmation™  <input type="checkbox"/> Signature Confirmation Restricted Delivery</p>	

SENDER: COMPLETE THIS SECTION		COMPLETE THIS SECTION ON DELIVERY	
<ul style="list-style-type: none"> <li>Complete items 1, 2, and 3.</li> <li>Print your name and address on the reverse so that we can return the card to you.</li> <li>Attach this card to the back of the mailpiece, or on the front if space permits.</li> </ul>		<p>A. Signature  <input checked="" type="checkbox"/> <i>Jim Mason</i> <input type="checkbox"/> Agent  <input type="checkbox"/> Addressee</p>	
<p>1. Article Addressed to:  MASON JERRY T &amp; SIDNEY &amp;  MASON MICHAEL GLEN  8105 STATE RT 58 E  MAYFIELD, KY 42066</p>		<p>B. Received by (Printed Name)  <i>Jim Mason</i></p> <p>C. Date of Delivery  <input type="checkbox"/> Yes  <input type="checkbox"/> No</p>	
<p>2. Article Number (Transfer from service label)  9589 0710 5270 3100 7734 51</p>		<p>D. Is delivery address different from item 1?  If YES, enter delivery address below: <input type="checkbox"/> Yes  <input type="checkbox"/> No</p>	
<p>3. Service Type  <input type="checkbox"/> Adult Signature  <input type="checkbox"/> Adult Signature Restricted Delivery  <input checked="" type="checkbox"/> Certified Mail®  <input type="checkbox"/> Certified Mail Restricted Delivery  <input type="checkbox"/> Collect on Delivery  <input type="checkbox"/> Collect on Delivery Restricted Delivery  <input type="checkbox"/> Insured Mail  <input type="checkbox"/> Insured Mail Restricted Delivery (over \$500)</p>		<p><input type="checkbox"/> Priority Mail Express®  <input type="checkbox"/> Registered Mail™  <input type="checkbox"/> Registered Mail Restricted Delivery  <input type="checkbox"/> Signature Confirmation™  <input type="checkbox"/> Signature Confirmation Restricted Delivery</p>	
<p>PS Form 3811, July 2020 PSN 7530-02-000-9053</p>		<p>Domestic Return Receipt</p>	

SENDER: COMPLETE THIS SECTION		COMPLETE THIS SECTION ON DELIVERY	
<ul style="list-style-type: none"> <li>Complete items 1, 2, and 3.</li> <li>Print your name and address on the reverse so that we can return the card to you.</li> <li>Attach this card to the back of the mailpiece, or on the front if space permits.</li> </ul>		<p>A. Signature  <input checked="" type="checkbox"/> <i>Frances Swift</i> <input type="checkbox"/> Agent  <input type="checkbox"/> Addressee</p>	
<p>1. Article Addressed to:  SWIFT HENRY E &amp; FRANCES M  7996 STATE RT 58 E  MAYFIELD, KY 42066</p>		<p>B. Received by (Printed Name)  <i>Frances Swift</i></p> <p>C. Date of Delivery  <input type="checkbox"/> Yes  <input type="checkbox"/> No</p>	
<p>2. Article Number (Transfer from service label)  9589 0710 5270 3100 7734 13</p>		<p>D. Is delivery address different from item 1?  If YES, enter delivery address below: <input type="checkbox"/> Yes  <input type="checkbox"/> No</p>	
<p>3. Service Type  <input type="checkbox"/> Adult Signature  <input type="checkbox"/> Adult Signature Restricted Delivery  <input checked="" type="checkbox"/> Certified Mail®  <input type="checkbox"/> Certified Mail Restricted Delivery  <input type="checkbox"/> Collect on Delivery  <input type="checkbox"/> Collect on Delivery Restricted Delivery  <input type="checkbox"/> Insured Mail  <input type="checkbox"/> Insured Mail Restricted Delivery (over \$500)</p>		<p><input type="checkbox"/> Priority Mail Express®  <input type="checkbox"/> Registered Mail™  <input type="checkbox"/> Registered Mail Restricted Delivery  <input type="checkbox"/> Signature Confirmation™  <input type="checkbox"/> Signature Confirmation Restricted Delivery</p>	
<p>PS Form 3811, July 2020 PSN 7530-02-000-9053</p>		<p>Domestic Return Receipt</p>	

SENDER: COMPLETE THIS SECTION		COMPLETE THIS SECTION ON DELIVERY	
<ul style="list-style-type: none"> <li>Complete items 1, 2, and 3.</li> <li>Print your name and address on the reverse so that we can return the card to you.</li> <li>Attach this card to the back of the mailpiece, or on the front if space permits.</li> </ul>		<p>A. Signature  <input checked="" type="checkbox"/> <i>Carolyn Brown</i> <input type="checkbox"/> Agent  <input type="checkbox"/> Addressee</p>	
<p>1. Article Addressed to:  BROWN PEYTON JR &amp; CAROLYN  328 PANTHER CREEK RD  MAYFIELD, KY 42066</p>		<p>B. Received by (Printed Name)  <i>Carolyn Brown</i></p> <p>C. Date of Delivery  11-19-20</p>	
<p>2. Article Number (Transfer from service label)  9589 0710 5270 3100 7722 56</p>		<p>D. Is delivery address different from item 1?  If YES, enter delivery address below: <input type="checkbox"/> Yes  <input type="checkbox"/> No</p>	
<p>3. Service Type  <input type="checkbox"/> Adult Signature  <input type="checkbox"/> Adult Signature Restricted Delivery  <input checked="" type="checkbox"/> Certified Mail®  <input type="checkbox"/> Certified Mail Restricted Delivery  <input type="checkbox"/> Collect on Delivery  <input type="checkbox"/> Collect on Delivery Restricted Delivery  <input type="checkbox"/> Insured Mail  <input type="checkbox"/> Insured Mail Restricted Delivery (over \$500)</p>		<p><input type="checkbox"/> Priority Mail Express®  <input type="checkbox"/> Registered Mail™  <input type="checkbox"/> Registered Mail Restricted Delivery  <input type="checkbox"/> Signature Confirmation™  <input type="checkbox"/> Signature Confirmation Restricted Delivery</p>	
<p>PS Form 3811, July 2020 PSN 7530-02-000-9053</p>		<p>Domestic Return Receipt</p>	



SENDER: COMPLETE THIS SECTION		COMPLETE THIS SECTION ON DELIVERY	
<ul style="list-style-type: none"> <li>■ Complete items 1, 2, and 3.</li> <li>■ Print your name and address on the reverse so that we can return the card to you.</li> <li>■ Attach this card to the back of the mailpiece, or on the front if space permits.</li> </ul>		<p>A. Signature  <input checked="" type="checkbox"/> <i>Jerry Mason</i> <input type="checkbox"/> Agent  <input type="checkbox"/> Addressee</p>	
<p>MASON JERRY T &amp; JOHNNY &amp; MICHAEL              8105 STATE RT 58 E              MAYFIELD, KY 42066</p>		<p>B. Received by (Printed Name) <i>Jerry Mason</i> C. Date of Delivery</p>	
<p>9590 9402 7926 2305 8868 04</p>		<p>D. Is delivery address different from item 1? <input type="checkbox"/> Yes              If YES, enter delivery address below: <input type="checkbox"/> No</p>	
<p>2. Article Number (Transfer from service label)              9589 0710 5270 3100 7722 94</p>		<p>3. Service Type  <input type="checkbox"/> Adult Signature <input type="checkbox"/> Priority Mail Express®  <input type="checkbox"/> Adult Signature Restricted Delivery <input type="checkbox"/> Registered Mail™  <input checked="" type="checkbox"/> Certified Mail® <input type="checkbox"/> Registered Mail Restricted Delivery  <input type="checkbox"/> Certified Mail Restricted Delivery <input type="checkbox"/> Signature Confirmation™  <input type="checkbox"/> Collect on Delivery <input type="checkbox"/> Signature Confirmation Restricted Delivery  <input type="checkbox"/> Collect on Delivery Restricted Delivery <input type="checkbox"/> Insured Mail  <input type="checkbox"/> Insured Mail Restricted Delivery (over \$500)</p>	
PS Form 3811, July 2020 PSN 7530-02-000-9053		Domestic Return Receipt	

SENDER: COMPLETE THIS SECTION		COMPLETE THIS SECTION ON DELIVERY	
<ul style="list-style-type: none"> <li>■ Complete items 1, 2, and 3.</li> <li>■ Print your name and address on the reverse so that we can return the card to you.</li> <li>■ Attach this card to the back of the mailpiece, or on the front if space permits.</li> </ul>		<p>A. Signature  <input checked="" type="checkbox"/> <i>David Kaler</i> <input type="checkbox"/> Agent  <input type="checkbox"/> Addressee</p>	
<p>KALER DAVID &amp; JENNIFER              465 WADESBORO RD              MAYFIELD, KY 42066</p>		<p>B. Received by (Printed Name) C. Date of Delivery</p>	
<p>9590 9402 7926 2305 8584 50</p>		<p>D. Is delivery address different from item 1? <input type="checkbox"/> Yes              If YES, enter delivery address below: <input type="checkbox"/> No</p>	
<p>2. Article Number (Transfer from service label)              9589 0710 5270 3100 7704 98</p>		<p>3. Service Type  <input type="checkbox"/> Adult Signature <input type="checkbox"/> Priority Mail Express®  <input type="checkbox"/> Adult Signature Restricted Delivery <input type="checkbox"/> Registered Mail™  <input checked="" type="checkbox"/> Certified Mail® <input type="checkbox"/> Registered Mail Restricted Delivery  <input type="checkbox"/> Certified Mail Restricted Delivery <input type="checkbox"/> Signature Confirmation™  <input type="checkbox"/> Collect on Delivery <input type="checkbox"/> Signature Confirmation Restricted Delivery  <input type="checkbox"/> Collect on Delivery Restricted Delivery <input type="checkbox"/> Insured Mail  <input type="checkbox"/> Insured Mail Restricted Delivery (over \$500)</p>	
PS Form 3811, July 2020 PSN 7530-02-000-9053		Domestic Return Receipt	

12/11  
Pike  
P. O. Box 369  
Shepherdsville, KY 40165-0369

**CERTIFIED MAIL**



9589 0710 5270 3100 7734 37

LOUISVILLE KY 400

17 NOV 2025 PM 4:11

FIRST-CLASS



US POSTAGE<sup>TM</sup> PITNEY BOWES

ZIP 40165  
02 7H  
0006034260

**\$ 010.44<sup>0</sup>**

NOV 17 2025

VAUGHN BRUCE LEE  
1021 N 15TH EXT  
MAYFIELD, KY 42066

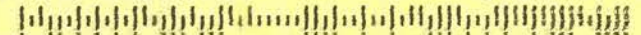
11-19-23  
11-23-4

NIXIE 402 DE 1 0012/10/25

RETURN TO SENDER  
UNCLAIMED  
UNABLE TO FORWARD

UNC  
42066-11-23-4  
40165-0369

BC: 40165036969 \*1770-02536-17-37



**CERTIFIED MAIL**



9589 0710 5270 3100 7721 95

LOUISVILLE KY 400

17 NOV 2025 PM 4:11

FIRST-CLASS



US POSTAGE<sup>TM</sup> PITNEY BOWES

ZIP 40165  
02 7H  
0006034260

**\$ 010.44<sup>0</sup>**

NOV 17 2025

BUTLER PATRICIA S  
124 PANTHER CREEK RD  
MAYFIELD, KY 42066

C.V.  
11-19-25  
11-23-4  
2-4

NIXIE 402 DE 1 0012/10/25



**SENDER: COMPLETE THIS SECTION**

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

BUTLER PATRICIA S  
124 PANTHER CREEK RD  
MAYFIELD, KY 42066



9590 9402 7926 2305 8867 50

2. Article Number (Transfer from service label)

9589 0710 5270 3100 7721 95

PS Form 3811, July 2020 PSN 7530-02-000-9053

**COMPLETE THIS SECTION ON DELIVERY**

A. Signature

X

- ☐ Agent  
☐ Addressee

B. Received by (Printed Name)

C. Date of Delivery

D. Is delivery address different from item 1? ☐ Yes  
If YES, enter delivery address below: ☐ No

3. Service Type

- |  |   |
|--|---|
| <input type="checkbox"/> Adult Signature                               | <input type="checkbox"/> Priority Mail Express®                     |
| <input type="checkbox"/> Adult Signature Restricted Delivery           | <input type="checkbox"/> Registered Mail™                           |
| <input checked="" type="checkbox"/> Certified Mail®                    | <input type="checkbox"/> Registered Mail Restricted Delivery        |
| <input type="checkbox"/> Certified Mail Restricted Delivery            | <input type="checkbox"/> Signature Confirmation™                    |
| <input type="checkbox"/> Collect on Delivery                           | <input type="checkbox"/> Signature Confirmation Restricted Delivery |
| <input type="checkbox"/> Collect on Delivery Restricted Delivery       |   |
| <input type="checkbox"/> Insured Mail                                  |   |
| <input type="checkbox"/> Insured Mail Restricted Delivery (over \$500) |   |

Domestic Return Receipt

**SENDER: COMPLETE THIS SECTION**

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

VAUGHN BRUCE LEE  
1021 N 15TH LXT  
MAYFIELD, KY 42066



9590 9402 7926 2305 8577 43

2. Article Number (Transfer from service label)

9589 0710 5270 3100 7734 37

PS Form 3811, July 2020 PSN 7530-02-000-9053

**COMPLETE THIS SECTION ON DELIVERY**

A. Signature

X

- ☐ Agent  
☐ Addressee

B. Received by (Printed Name)

C. Date of Delivery

D. Is delivery address different from item 1? ☐ Yes  
If YES, enter delivery address below: ☐ No

3. Service Type

- |  |   |
|--|---|
| <input type="checkbox"/> Adult Signature                               | <input type="checkbox"/> Priority Mail Express®                     |
| <input type="checkbox"/> Adult Signature Restricted Delivery           | <input type="checkbox"/> Registered Mail™                           |
| <input checked="" type="checkbox"/> Certified Mail®                    | <input type="checkbox"/> Registered Mail Restricted Delivery        |
| <input type="checkbox"/> Certified Mail Restricted Delivery            | <input type="checkbox"/> Signature Confirmation™                    |
| <input type="checkbox"/> Collect on Delivery                           | <input type="checkbox"/> Signature Confirmation Restricted Delivery |
| <input type="checkbox"/> Collect on Delivery Restricted Delivery       |   |
| <input type="checkbox"/> Insured Mail                                  |   |
| <input type="checkbox"/> Insured Mail Restricted Delivery (over \$500) |   |

Domestic Return Receipt



Pike  
P. O. Box 369  
Shepherdsville, KY 40165-0369

C.V.  
11-19-25  
11-23  
12-1

CERTIFIED MAIL



9589 0710 5270 3100 7734 20

BUTLER PATRICIA  
124 PANTHER CREEK SCHOOL RD  
MAYFIELD, KY 42066

LOUISVILLE KY 400  
10 NOV 2025 PM 4:1

FIRST-CLASS



US POSTAGE IMPITNEY BOWES



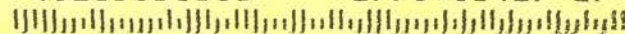
ZIP 40165  
02 7H  
0006034260  
\$ 010.44<sup>0</sup>  
NOV 17 2025

NIXIE 402 DE 1 0012/10/25

RETURN TO SENDER  
UNCLAIMED  
UNABLE TO FORWARD

UNC  
42066-9589  
40165-0369

BC: 40165036969 \*1770-02417-17-37



CERTIFIED MAIL



9589 0710 5270 3100 7722 49

GIBSON JARED & JENNIFER  
3596 HOPEWELL RD  
MAYFIELD, KY 42066

LOUISVILLE KY 400  
17 NOV 2025 PM 3:1

FIRST-CLASS



US POSTAGE IMPITNEY BOWES



ZIP 40165  
02 7H  
0006034260  
\$ 010.44<sup>0</sup>  
NOV 17 2025

CS

402 NFE 1 A25C0011/23/25  
RETURN TO SENDER

GIBSON

Pike  
P. O. Box 369  
Shepherdsville, KY 40165-0369

11/24

- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

GIBSON JARED & JENNIFER  
3596 HOPEWELL RD  
MAYFIELD, KY 42066



9590 9402 7926 2305 8867 74

2. Article Number (Transfer from service label)

1589 0710 5270 3100 7722 49

PS Form 3811, July 2020 PSN 7530-02-000-9053

X

☐ Addressee

B. Received by (Printed Name)

C. Date of Delivery

D. Is delivery address different from item 1? ☐ Yes  
If YES, enter delivery address below: ☐ No

3. Service Type

- ☐ Adult Signature
- ☐ Adult Signature Restricted Delivery
- ☒ Certified Mail®
- ☐ Certified Mail Restricted Delivery
- ☐ Collect on Delivery
- ☐ Collect on Delivery Restricted Delivery
- ☐ Insured Mail
- ☐ Insured Mail Restricted Delivery (over \$500)

- ☐ Priority Mail Express®
- ☐ Registered Mail™
- ☐ Registered Mail Restricted Delivery
- ☐ Signature Confirmation™
- ☐ Signature Confirmation Restricted Delivery

Domestic Return Receipt

PLACE STICKER AT TOP OF ENVELOPE TO THE RIGHT OF THE RETURN ADDRESS FOR A RETURN RECEIPT

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

BUTLER PATRICIA  
124 PANTHER CREEK SCHOOL RD  
MAYFIELD, KY 42066



9590 9402 7926 2305 8577 50

2. Article Number (Transfer from service label)

9589 0710 5270 3100 7734 20

PS Form 3811, July 2020 PSN 7530-02-000-9053

COMPLETE THIS SECTION ON DELIVERY

A. Signature

X

☐ Agent

☐ Addressee

B. Received by (Printed Name)

C. Date of Delivery

D. Is delivery address different from item 1? ☐ Yes  
If YES, enter delivery address below: ☐ No

3. Service Type

- ☐ Adult Signature
- ☐ Adult Signature Restricted Delivery
- ☒ Certified Mail®
- ☐ Certified Mail Restricted Delivery
- ☐ Collect on Delivery
- ☐ Collect on Delivery Restricted Delivery
- ☐ Insured Mail
- ☐ Insured Mail Restricted Delivery (over \$500)

- ☐ Priority Mail Express®
- ☐ Registered Mail™
- ☐ Registered Mail Restricted Delivery
- ☐ Signature Confirmation™
- ☐ Signature Confirmation Restricted Delivery

Domestic Return Receipt

**EXHIBIT K**

**COPY OF PROPERTY OWNER NOTIFICATION**



**PIKE LEGAL GROUP PLLC**  
1578 Highway 44 East, Unit 6  
PO Box 369  
Shepherdsville, KY 40165-0369  
Phone: 502-955-4400  
Fax: 502-543-4410

**VIA CERTIFIED MAIL**

## **Notice of Proposed Construction of Wireless Communications Facility**

Dear Landowner:

The Towers, LLC and Kentucky RSA 1 Partnership by Cellco Partnership d/b/a Verizon Wireless, its Managing Partner, are filing an application with the Kentucky Public Service Commission ("PSC") to construct a new wireless communications facility on a site located at 7960 State Route 58 E, Mayfield, KY 42066 (36° 46' 39.13" North latitude, 88° 30' 24.97" West longitude). The proposed facility will include a 255-foot tall tower with a 10-foot tall lightning arrestor attached at the top for a total height of 265 feet, plus related ground facilities. This facility is needed to provide improved service for wireless communications in the area.

This notice is being sent to you because the County Property Valuation Administrator's records indicate that you may own property that is within a 500' radius of the proposed tower site or contiguous to the property on which the tower is to be constructed. You have a right to submit testimony to the PSC, either in writing or to request intervention in the PSC's proceedings on the application. You may contact the PSC for additional information concerning this matter at: Kentucky Public Service Commission, Executive Director, 211 Sower Boulevard, P.O. Box 615, Frankfort, Kentucky 40602. Please refer to docket number 2025-00373 in any correspondence sent in connection with this matter.

We have attached a map showing the site location for the proposed tower. Verizon Wireless radio frequency engineers assisted in selecting the proposed site for the facility, and they have determined it is the proper location and elevation needed to provide quality service to wireless customers in the area.

Please feel free to contact us toll free at (800) 516-4293 if you have any comments or questions about this proposal. The Applicants' site name is Purchase Parkway.

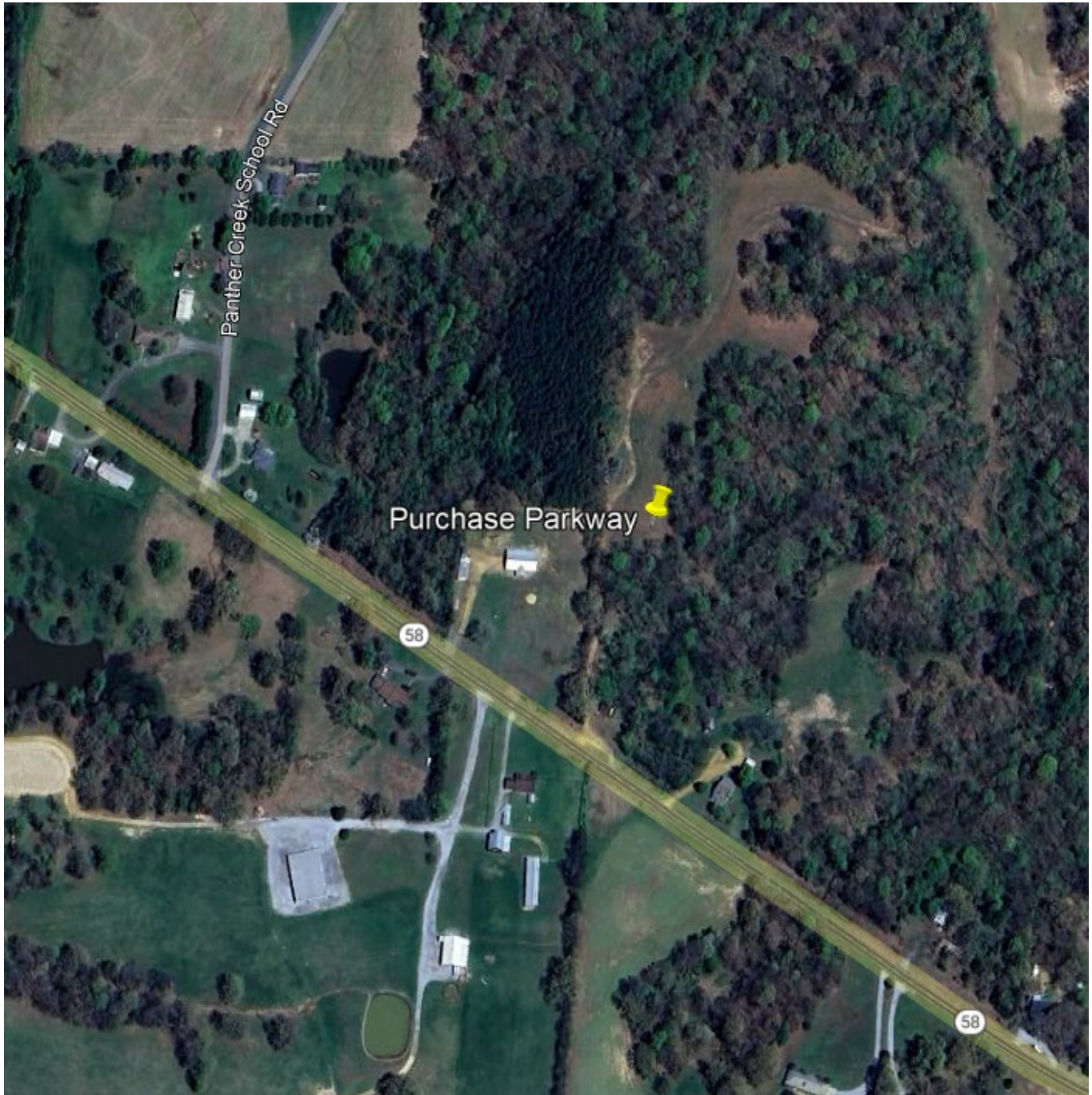
Sincerely,  
Robert W. Grant  
Attorney for Applicant

enclosures





**PIKE LEGAL GROUP PLLC**  
1578 Highway 44 East, Unit 6  
PO Box 369  
Shepherdsville, KY 40165-0369  
Phone: 502-955-4400  
Fax: 502-543-4410



**EXHIBIT L**

**COPY OF COUNTY JUDGE/EXECUTIVE NOTICE &  
PROOF OF NOTICE**





**PIKE LEGAL GROUP PLLC**  
1578 Highway 44 East, Unit 6  
PO Box 369  
Shepherdsville, KY 40165-0369  
Phone: 502-955-4400  
Fax: 502-543-4410

**VIA CERTIFIED MAIL**

Jesse Perry  
County Judge Executive  
1102 Paris Road  
Suite 2  
Mayfield, KY 42066

RE: Notice of Proposal to Construct Wireless Communications Facility  
Kentucky Public Service Commission Docket No. 2025-00373

Dear Judge/Executive:

The Towers, LLC and Kentucky RSA 1 Partnership by Cellco Partnership d/b/a Verizon Wireless, its Managing Partner, are filing an application with the Kentucky Public Service Commission ("PSC") to construct a new wireless communications facility on a site located at 7960 State Route 58 E, Mayfield, KY 42066 (36° 46' 39.13" North latitude, 88° 30' 24.97" West longitude). The proposed facility will include a 255-foot tower with a 10-foot lightning arrestor attached at the top for a total height of 265-feet, plus related ground facilities. This facility is needed to provide improved service for wireless communications in the area.

You have a right to submit comments to the PSC or to request intervention in the PSC's proceedings on the application. You may contact the PSC at: Executive Director, Public Service Commission, 211 Sower Boulevard, P.O. Box 615, Frankfort, Kentucky 40602. Please refer to docket number 2025-00373 in any correspondence sent in connection with this matter.

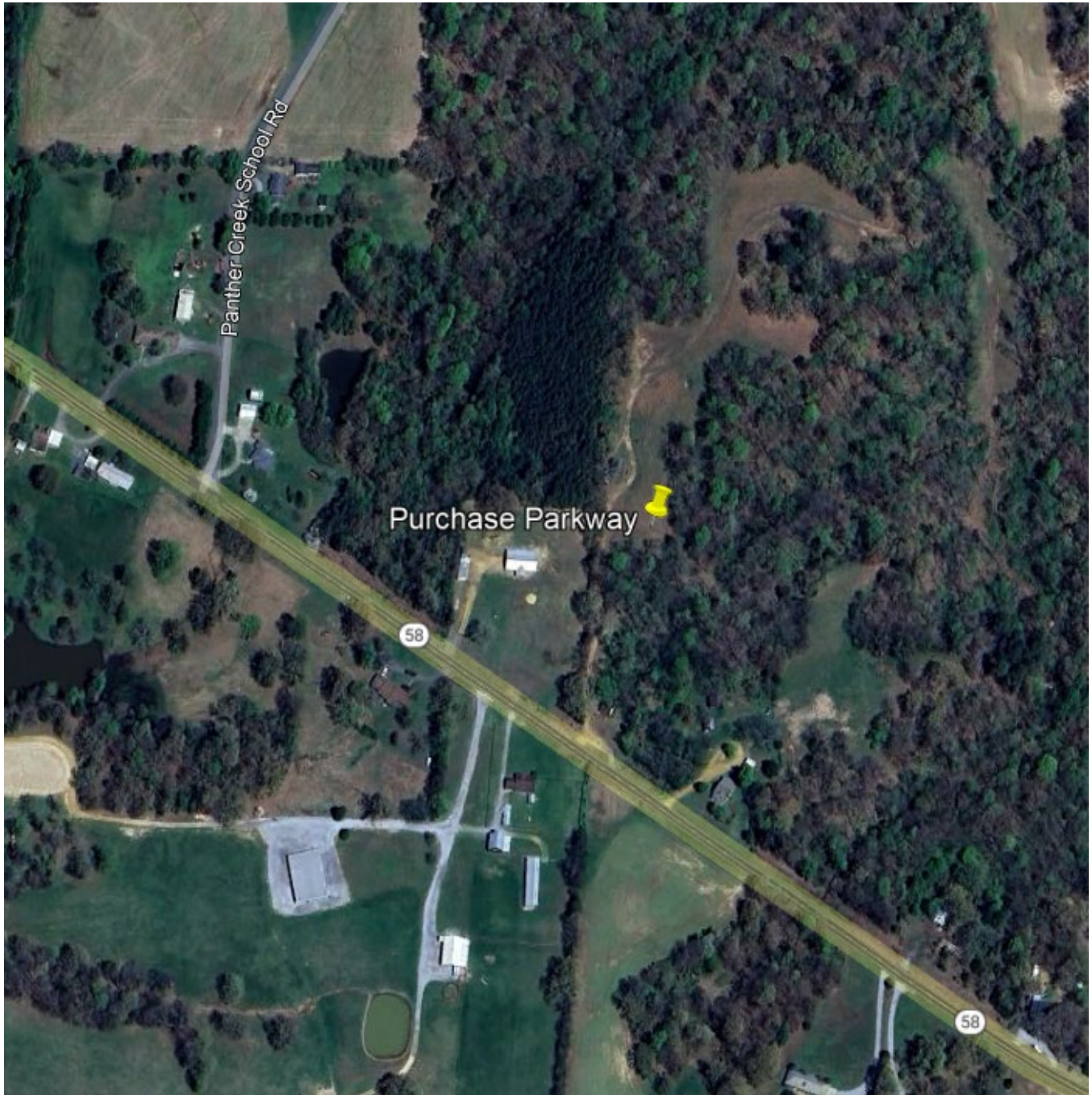
We have attached a map showing the site location for the proposed tower. Verizon Wireless' radio frequency engineers assisted in selecting the proposed site for the facility, and they have determined it is the proper location and elevation needed to provide quality service to wireless customers in the area. Please feel free to contact us at (800) 516-4293 with any comments or questions you may have. The Applicants' site name is Purchase Parkway.

Sincerely,  
Robert W. Grant  
Attorney for Applicants

Enclosures



**PIKE LEGAL GROUP PLLC**  
1578 Highway 44 East, Unit 6  
PO Box 369  
Shepherdsville, KY 40165-0369  
Phone: 502-955-4400  
Fax: 502-543-4410





9589 0710 5270 3100 7705 04

**U.S. Postal Service™**  
**CERTIFIED MAIL® RECEIPT**  
*Domestic Mail Only*

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**OFFICIAL USE**

Certified Mail Fee

Extra Services & Fees (check box, add fee as appropriate)  
☐ Return Receipt (hardcopy) \$  
☐ Return Receipt (electronic) \$  
☐ Certified Mail Restricted Delivery \$  
☐ Adult Signature Required \$  
☐ Adult Signature Restricted Delivery \$

Postmark  
 Here  
 2025

Jesse Perry  
 County Judge Executive  
 1102 Paris Road  
 Suite 2  
 Mayfield, KY 42066

City, State, ZIP+4®

PS Form 3800, January 2023 PSN 7530-02-000-9047 See Reverse for Instructions

**SENDER: COMPLETE THIS SECTION**

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

Jesse Perry  
 County Judge Executive  
 1102 Paris Road  
 Suite 2  
 Mayfield, KY 42066



9590 9402 7926 2305 8584 43

2. Article Number (Transfer from service label)

9589 0710 5270 3100 7705 04

PS Form 3811, July 2020 PSN 7530-02-000-9053

**COMPLETE THIS SECTION ON DELIVERY**

A. Signature

x *Menar*

☐ Agent  
☐ Addressee

B. Received by (Printed Name)

C. Date of Delivery

D. Is delivery address different from item 1? ☐ Yes  
 If YES, enter delivery address below: ☐ No

*Menar*

3. Service Type

- ☐ Adult Signature
- ☐ Adult Signature Restricted Delivery
- ☒ Certified Mail®
- ☐ Certified Mail Restricted Delivery
- ☐ Collect on Delivery
- ☐ Collect on Delivery Restricted Delivery
- ☐ Insured Mail
- ☐ Insured Mail Restricted Delivery (over \$500)
- ☐ Priority Mail Express®
- ☐ Registered Mail™
- ☐ Registered Mail Restricted Delivery
- ☐ Signature Confirmation™
- ☐ Signature Confirmation Restricted Delivery

Domestic Return Receipt

**EXHIBIT M**

**COPY OF POSTED NOTICES &  
NEWSPAPER NOTICE ADVERTISEMENT TEAR SHEET**

**SITE NAME: PURCHASE PARKWAY**  
**NOTICE SIGNS**

The signs are at least (2) feet by four (4) feet in size, of durable material, with the text printed in black letters at least one (1) inch in height against a white background, except for the word “**tower**,” which is at least four (4) inches in height.

The Towers, LLC and Kentucky RSA 1 Partnership by Cellco Partnership d/b/a Verizon Wireless, its Managing Partner, propose to construct a telecommunications **tower** on this site. If you have questions, please contact Pike Legal Group, PLLC, P.O. Box 369, Shepherdsville, KY 40165; (800) 516-4293, or the Executive Director, Public Service Commission, 211 Sower Boulevard, PO Box 615, Frankfort, Kentucky 40602. Please refer to docket number 2025-00373 in your correspondence.

The Towers, LLC and Kentucky RSA 1 Partnership by Cellco Partnership d/b/a Verizon Wireless, its Managing Partner, propose to construct a telecommunications **tower** near this site. If you have questions, please contact Pike Legal Group, PLLC, P.O. Box 369, Shepherdsville, KY 40165; (800) 516-4293, or the Executive Director, Public Service Commission, 211 Sower Boulevard, PO Box 615, Frankfort, Kentucky 40602. Please refer to docket number 2025-00373 in your correspondence.



**PIKE LEGAL GROUP PLLC**  
1578 Highway 44 East, Unit 6  
PO Box 369  
Shepherdsville, KY 40165-0369  
Phone: 502-955-4400  
Fax: 502-543-4410

**VIA EMAIL:** ads@mayfield-messenger.com

The Mayfield Messenger  
86A Commerce Blvd  
Benton, KY 42025  
Phone: (270) 527-4560

RE: Legal Notice Advertisement  
Site Name: Purchase Parkway

Dear Staff:

Please publish the following legal notice advertisement in the next edition of *The Mayfield Messenger*:

**NOTICE**

**The Towers, LLC and Kentucky RSA 1 Partnership by Cellco Partnership d/b/a Verizon Wireless, its Managing Partner, are filing an application with the Kentucky Public Service Commission ("PSC") to construct a new wireless communications facility on a site located at 7960 State Route 58 E, Mayfield, KY 42066 (36° 46' 39.13" North latitude, 88° 30' 24.97" West longitude). You may contact the PSC for additional information concerning this matter at: Kentucky Public Service Commission, Executive Director, 211 Sower Boulevard, P.O. Box 615, Frankfort, Kentucky 40602. Please refer to docket number 2025-00373 in any correspondence sent in connection with this matter.**

After this advertisement has been published, please forward a tearsheet copy, affidavit of publication, and invoice to Pike Legal Group, PLLC, P. O. Box 369, Shepherdsville, KY 40165. Please call me at (800) 516-4293 if you have any questions. Thank you for your assistance.

Sincerely,  
Jacob Proctor  
Pike Legal Group, PLLC





Contributed photos

## Kindergarteners get surprise read-aloud

Kindergarteners at Mayfield Elementary School enjoyed a surprise when Superintendent Billy Edwards stopped by the classroom for a special Thanksgiving read-aloud. Students listened as Edwards shared the festive story. Teachers and staff at the elementary school said Edwards' visit brought an extra touch of magic to the day, making the holiday season feel even more special for the school's youngest learners. "Thank you, Mr. Edwards, for spreading Thanksgiving cheer and creating a memory our students won't soon forget!" said a news release from the school system.



WILL SPENCER/The Mayfield Messenger

Above left: Mayfield Elementary students participated in a schoolwide parade celebrating tradition and creativity. Above right: MES students proceeded in the parade by grade. Below left: Mayfield Independent Schools Superintendent Billy Edwards joined in on the fun. He helped carry a banner that read "Mayfield's Thanksgiving Day Parade," a playful reference to Macy's Thanksgiving Day Parade. Below center: MES Principal Jamie Trice "interviewed" students asking them what they're thankful for in the style of the Macy's Parade. Below right: Two MES students carried a commemorative balloon of Dakarai Saxton, a Mayfield High School freshman who passed away last month from bone cancer.



## Mayfield Elementary celebrates Thanksgiving

**BY WILL SPENCER**  
SPENCER@MAYFIELD-MESSENGER.COM

It couldn't rain on Mayfield Elementary School's parade Tuesday. Despite a light drizzle, roughly 950 students from preschool through fourth grade gathered for a joyful welcome to the Thanksgiving holiday. They were released for the holiday break that afternoon.

Modeled after the Macy's Thanksgiving Day Parade, children of all ages lined along the bus loop for a colorful procession building upon community and educational values. It perhaps even started a new tradition at the school.

MES Principal Jamie Trice said this occasion is the first time the entire school has participated in the parade activity, and it reinforced a sense of fellowship among students and staff.

"Last year, they had two grades. This year, we wanted to come just as a school and just get all of our students together," Trice said.

Trice said the parade was made possible by dedicated MES staff who strove for the occasion to be special and memorable for children.

STEM instructor Tiffany Whaley collaborated with homeroom teachers for students to express their creativity and craft their "floats," which were festive handmade items from balloons, paper mache and other materials.

"I depend on my people. We have a great team up front, and we have a great staff," Trice said. "We had a plan, we had a vision, and honestly, it came to life better than I expected."

Trice said the parade was an opportunity for students to feel seen and valued, which ultimately encourages them to perform their best academically.

During the parade, she approached students and "interviewed" them with a microphone like-typical news coverage for the Macy's Thanksgiving Day Parade.

SEE PARADE/PAGE A5

## Bagged leaf pickup dates set

City workers will make a sweep of the city to pick up bagged leaves only starting Monday, Dec. 8, in the area south of Broadway in Mayfield. Leaf pickup north of Broadway will begin the following week, Monday, Dec. 15.

Residents may place bags at the curb no earlier than 48 hours before the scheduled pickup day. Bagged leaves may also be dropped off at any time to the Public Works department, 1101 Old Pryorsburg Road in Mayfield.

No trash should be included with the leaves, or a citation will be issued. Another leaf pickup service will be set for the end of January, according to the city.

### NOTICE

The Towers, LLC and Kentucky RSA 1 Partnership by Celco Partnership d/b/a Verizon Wireless, its Managing Partner, are filing an application with the Kentucky Public Service Commission ("PSC") to construct a new wireless communications facility on a site located at 7960 State Route 58 E, Mayfield, KY 42066 (36° 46' 39.13" North latitude, 88° 30' 24.97" West longitude). You may contact the PSC for additional information concerning this matter at: Kentucky Public Service Commission, Executive Director, 211 Sower Boulevard, P.O. Box 615, Frankfort, Kentucky 40602. Please refer to docket number 2025-00373 in any correspondence sent in connection with this matter.



### Honoring the Memory of Your Loved One

Funerals | Burials | Cremation | Pre-Panning

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As a family-owned and operated funeral home, we take our commitment to your family personally. We value your trust in us, and it is our honor to help you through your time of sorrow with compassionate service, professional guidance and a dignified tribute to your dearly departed loved one.

**Kirk Byrn IV**  
Owner & Funeral Director

**BYRN FUNERAL HOME**

www.byrnfuneralhome.net  
1020 Paris Road, Mayfield, KY • (270) 247-3592

AFFIDAVIT

I, SELENA WARD, Sales Executive of The Mayfield Messenger, a newspaper of general circulation, published in the City of Mayfield, County of Graves, State of Kentucky, do hereby affirm the legal advertisement attached was published in the November 21st, 2025 issue of The Mayfield Messenger.

*Selena Ward*

Selena Ward  
Sales Executive  
Paducah Sun

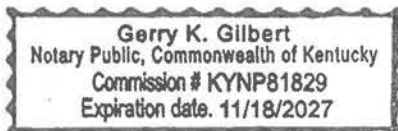
Sworn to and before me, a Notary, on this the 21<sup>st</sup> day of November, 2025.

*Gerry K. Gilbert*

(Notary signature)

My commission expires:

November 18, 2027



**EXHIBIT N**


**COPY OF RADIO FREQUENCY DESIGN SEARCH AREA**




# Purchase Parkway Scaled Search Area

Write a description for your map.

Legend

 37.11771, -87.90773

 36.7825461, -88.5034751

