

**COMMONWEALTH OF KENTUCKY
BEFORE THE PUBLIC SERVICE COMMISSION**

In the Matter of:

THE APPLICATION OF APC TOWERS IV, LLC, AND	)	
CELLCO PARTNERSHIP D/B/A VERIZON WIRELESS	)	
FOR ISSUANCE OF A CERTIFICATE OF PUBLIC	)	CASE NO. 2025-00368
CONVENIENCE AND NECESSITY TO CONSTRUCT A	)	
WIRELESS COMMUNICATIONS FACILITY IN THE	)	
COMMONWEALTH OF KENTUCKY IN THE COUNTY	)	
OF RUSSELL	)	

SITE NAME: EAST LAKE CUMBERLAND

* * * * *

**APPLICATION FOR
CERTIFICATE OF PUBLIC CONVENIENCE AND NECESSITY
FOR CONSTRUCTION OF A WIRELESS COMMUNICATIONS FACILITY**

APC Towers IV, LLC and Cellco Partnership, d/b/a Verizon Wireless and (“Co-Applicants”), by counsel, pursuant to (i) KRS §§278.020, 278.040, 278.650, 278.665, and other statutory authority, and the rules and regulations applicable thereto, and (ii) the Telecommunications Act of 1996, respectfully submit this Application requesting issuance of a Certificate of Public Convenience and Necessity (“CPCN”) from the Kentucky Public Service Commission (“PSC”) to construct, maintain, and operate a Wireless Communications Facility (“WCF”) to serve the customers of the Co-Applicant with wireless communications services.

In support of this Application, Co-Applicants respectfully provide and state the following information:

1. The complete name and address of the Co-Applicants:
 - a. APC Towers IV, LLC, having a local address of 8601 Six Forks Rd; Raleigh, NC 27615
 - b. Cellco Partnership, d/b/a Verizon Wireless, having a local address of 2902 Ring Road, Elizabethtown, KY, 42701.

2. Co-Applicants:

- a. APC Towers IV, LLC is a Delaware limited liability company and copies of the formulation document and the Statement of Good Standing from Delaware, and the Certificate of Authorization is on file with the Secretary of State of Commonwealth of Kentucky, are included as part of **Exhibit A**.
- b. Cellco Partnership, d/b/a Verizon Wireless is a Delaware general partnership and a copy of the Statement of Good Standing from Delaware, and the Certificate of Assumed Name is on file with the Secretary of State of Commonwealth of Kentucky and included as part of **Exhibit A**.

3. Co-Applicants propose construction of an antenna tower for communications services, which is to be located in an area outside the jurisdiction of a planning commission, and Co-Applicants submit this application to the PSC for a certificate of public convenience and necessity pursuant to KRS §§ 278.020(1), 278.040, 278.650, 278.665, and other statutory authority.

4. The Co-Applicant operates on frequencies licensed by the Federal Communications Commission ("FCC") pursuant to applicable FCC requirements. A copy of the Co-Applicants' Application for FCC Antenna Structure Registration to provide wireless services are attached to this Application, described as part of **Exhibit B**, and the facility will be constructed and operated in accordance with applicable FCC regulations. An approved Antenna Structure Registration will be provided as soon as it is received.

5. The public convenience and necessity require the construction of the proposed WCF. The construction of the WCF will bring or improve the Co-Applicant's services to an area currently not served or not adequately served by the Co-Applicants by increasing coverage or

capacity and thereby enhancing the public's access to innovative and competitive wireless communications services. A statement from Co-Applicants' RF Design Engineers outlining said need is attached as **Exhibit Q** along with Propagation Maps attached as **Exhibit R**. The WCF is an integral link in the Applicant's network design that must be in place to provide adequate coverage to the service area.

6. To address the above-described service needs, Co-Applicants propose to construct a WCF located at 380 Swan Pond Road; Jamestown KY 42629 (North Latitude: (36° 52' 33.07", West Longitude 85° 09' 26.37", on a parcel of land located entirely within the county referenced in the caption of this application. The property on which the WCF will be located is owned by Wilkerson Investment, LLC to a Deed recorded in Deed Book 354 Page 199 recorded on December 18, 2020, in the office of the Russell County Clerk. The proposed WCF will consist of a 240-foot-tall tower, with an approximately 10-foot tall lightning arrestor attached at the top, for a total height of 250-feet. The WCF will also include concrete foundations and a shelter or cabinets to accommodate the placement of the Co-Applicants' radio electronics equipment and appurtenant equipment. The Co-Applicants' equipment cabinet or shelter will be approved for use in the Commonwealth of Kentucky by the relevant building inspector. The WCF compound will be fenced, and all access gate(s) will be secured. A description of the manner in which the proposed WCF will be constructed is attached as **Exhibit C** and **Exhibit D**.

7. A list of utilities, corporations, or persons with whom the proposed WCF is likely to compete along with a map showing the proposed location as well as the identified like facilities is attached as **Exhibit E**.

8. The site development plan and a vertical profile sketch of the WCF signed and sealed by a professional engineer registered in Kentucky depicting the tower height, as well as a

proposed configuration for the antennas of the Co-Applicant has also been included as part of **Exhibit C**.

9. Foundation design plans signed and sealed by a professional engineer registered in Kentucky and a description of the standards according to which the tower was designed are included as part of **Exhibit D**.

10. Co-Applicants have considered the likely effects of the installation of the proposed WCF on nearby land uses and values and has concluded that there is no more suitable location reasonably available from which adequate services can be provided, and that there are no reasonably available opportunities to co-locate Co-Applicant's antennas on an existing structure. When suitable towers or structures exist, Co-Applicant attempts to co-locate on existing structures such as communications towers or other structures capable of supporting Co-Applicant's facilities; however, no other suitable or available co-location site was found to be located in the vicinity of the site. A statement from Co-Applicant, Cellco Partnership, d/b/a Verizon Wireless's RF Design Engineer outlining exploration of co-location opportunities is attached as **Exhibit Q**.

11. A copy of the Determination of No Hazard from the Federal Aviation Administration's ("FAA"), study number 2025-ASO-24265-OE, is attached as **Exhibit F**.

12. A copy of the Kentucky Airport Zoning Commission ("KAZC") documentation of Application is attached as **Exhibit G**. The KAZC Approval will be provided as soon as received.

13. A geotechnical engineering report was performed at the WCF site by Engineered Tower Solutions, PLLC, 3227 Wellington Court, Raleigh, NC 27615, dated December 2, 2025 and is attached as **Exhibit H**. The name and address of the geotechnical engineering firm and the professional engineer registered in Kentucky who prepared the report are included as part of **Exhibit H and Exhibit S**.

14. Clear directions to the proposed WCF site from the County seat are attached as **Exhibit I**. The name and telephone number of the preparer of **Exhibit I** are included as part of this exhibit.

15. Applicant, pursuant to a written agreement, has acquired the right to use the WCF site and associated property rights. A copy of the, redacted, option and ground lease agreement is attached as **Exhibit J**.

16. Personnel directly responsible for the design and construction of the proposed WCF are well qualified and experienced. The tower and foundation drawings for the proposed tower submitted as part of **Exhibit D** bear the signature and stamp of a professional engineer registered in the Commonwealth of Kentucky. All tower designs meet or exceed the minimum requirements of applicable laws and regulations. The identity and qualifications of each person directly responsible for design and construction of the proposed tower are contained in **Exhibit S**.

17. The Construction Manager for the proposed facility is Jay Parker and the identity and qualifications of each person directly responsible for design and construction of the proposed tower are contained in **Exhibit S**.

18. As noted on the Survey attached as part of **Exhibit C**, the surveyor has determined that the tower site and access easement are not within any flood hazard area per Flood Hazard Boundary Map, Community Panel Number 21207C0195C, Dated August 19, 2010.

19. **Exhibit C** includes a map drawn to an appropriate scale that shows the location of the proposed tower and identifies every owner of real estate within 500 feet of the proposed tower, every owner of real estate within 200 feet of the access road including intersection with the public street system and all abutting property owners (according to the records maintained by the County Property Valuation Administrator). Attached as **Exhibit K** is the Notification List with screen

shots of the PVA records verified and updated using the Russell County PVA on November 14, 2025. **Exhibit C** also identifies every structure and every easement within 500 feet of the proposed tower or within 200 feet of the access road including intersection with the public street system.

20. Co-Applicants have sent certified notices to every person who, according to the records of the County Property Valuation Administrator, owns property which is within 500 feet of the proposed tower or contiguous to the site property, by certified mail, return receipt requested, of the proposed construction. Each notified property owner has been provided with a map of the location of the proposed construction, the PSC docket number for this application, the address of the PSC, and informed of his or her right to request intervention. A list of the notified property owners, verified on November 14, 2025, using the Russell County Kentucky Property Valuation Administration records and a copy of the form of the notice sent by certified mail to each landowner on November 14, 2025, are attached as **Exhibit K** and **Exhibit L**, respectively. Eight (8) notices were sent to surrounding property owners; to date seven (7) notice green cards have been returned with USPS tracking showing the remaining notice showing as delivered on November 18, 2025; however, no green card was returned. Copies of the updated tracking data, mailed envelopes and returned green cards are included in **Exhibit L**. There are no unaccountable notices.

21. Co-Applicants have notified the applicable County Judge/Executive by certified mail, return receipt requested, of the proposed construction. This notice included the PSC docket number under which the application will be processed and informed the County Judge/Executive of his/her right to request intervention. A copy of this notice along with a copy of the mailed envelope and returned green card is attached as **Exhibit M**.

22. Notice signs meeting the requirements prescribed by 807 KAR 5:063, Section 1(2) that measure at least 2 feet in height and 4 feet in width and that contain all required language in letters of required height, have been posted, one in a visible location on the proposed site and one on the nearest public road. Such signs shall remain posted for at least two weeks after filing of the Application, and a copy of the posted text is attached as **Exhibit N**.

23. A legal notice advertisement regarding the location of the proposed facility has been published in a newspaper of general circulation in the county in which the WCF is proposed to be located. A copy of the newspaper legal notice advertisement is attached as **Exhibit O**.

24. The area of the proposed facility is in the unincorporated area of Russell County, Kentucky. The site is located at 380 Swan Pond Road; Jamestown KY 42629. The site is buffered by heavily wooded areas to the West, South, and East. The area is largely undeveloped West of the Cumberland River. The parcel is open pasture and undeveloped open space. The terrain is rugged with significant elevation variations across the subject property. There is no zoning or Plan Commission in this area of Russell County. The proposed facility is removed a significant distance from any residential structures. The nearest residential structure is approximately 1,000 feet from the proposed tower site.

25. The process that was used by the Co-Applicant's radio frequency engineers in selecting the site for the proposed WCF was consistent with the general process used for selecting all other existing and proposed WCF facilities within the proposed network design area. Co-Applicant's radio frequency engineers have conducted studies and tests in order to develop a highly efficient network that is designed to handle voice and data traffic in the service area. The engineers determined an optimum area for the placement of the proposed facility in terms of elevation and location to provide the best quality service to customers in the service area. A radio frequency

design search area prepared in reference to these radio frequency studies was considered by the Co-Applicant when searching for sites for its antennas that would provide the coverage deemed necessary by the Co-Applicant. A map of the area in which the tower is proposed to be located which is drawn to scale and clearly depicts the necessary search area within which the site should be located pursuant to radio frequency requirements is attached as **Exhibit P**.

26. The tower must be located at the proposed location and proposed height to provide necessary service to wireless communications users in the subject area, as set out and documented in the RF Design Engineer's Statement of Need and Propagation Maps attached as **Exhibit Q** and **Exhibit R**, respectively. The proposed tower will expand and improve voice and data service for Verizon Wireless customers.

27. Attached hereto as **Exhibit T** please find an Affidavit of Certification for all information contained in this application.

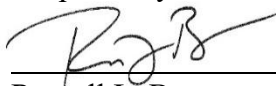
28. All Exhibits to this Application are hereby incorporated by reference as if fully set out as part of the Application.

29. All responses and requests associated with this Application may be directed to:

Russell L. Brown
Clark, Quinn, Moses, Scott & Grahm, LLP
320 North Meridian Street, Suite 1100
Indianapolis, IN 46204
Phone: (317) 637-1321
FAX: (317) 687-2344
Email: rbrown@clarkquinnlaw.com

WHEREFORE, Co-Applicants respectfully request that the PSC accept the foregoing Application for filing and, having met the requirements of KRS §§278.020(1), 278.650, and 278.665 and all applicable rules and regulations of the PSC, grant a Certificate of Public Convenience and Necessity to construct and operate the WCF at the location set forth herein.

Respectfully submitted,



Russell L. Brown

Clark, Quinn, Moses, Scott & Grahn, LLP

320 North Meridian Street, Suite 1100

Indianapolis, IN 46204

Phone: (317) 637-1321 / FAX: (317) 687-2344

Email: rbrown@clarkquinnlaw.com

Attorney for Cellco Partnership d/b/a Verizon Wireless
and APC Towers IV, LLC

LIST OF EXHIBITS

- A Applicant Entities
- B FCC Registration and License Documentation
- C Site Development Plan:
 - 500' Vicinity Map Legal Descriptions
 - Flood Plain Certification Site Plan
 - Vertical Tower Profile
- D Tower and Foundation Design
- E Competing Utilities, Corporations, or Persons List
And Map of Like Facilities in Vicinity
- F FAA Application and Determination of No Hazard
- G KAZC Documentation of Application
- H Geotechnical Report
- I Directions to WCF Site
- J Real Estate Agreement
- K Notification Listing with PVA Verification
- L Property Owner Notification
- M County Judge/Executive notice
- N Posted Notices
- O Newspaper Legal Notice Advertisement
- P Radio Frequency Design Search Area
- Q Copy of RF Design Engineer Statement of Need
- R Propagation Maps
- S List of Qualified Professionals
- T Affidavit of Certification

Commonwealth of Kentucky
Michael G. Adams, Secretary of State

Michael G. Adams
Secretary of State
P. O. Box 718
Frankfort, KY 40602-0718
(502) 564-3490
<http://www.sos.ky.gov>

Certificate of Authorization

Authentication number: 343271
Visit <https://web.sos.ky.gov/ftshow/certvalidate.aspx> to authenticate this certificate.

I, Michael G. Adams, Secretary of State of the Commonwealth of Kentucky, do hereby certify that according to the records in the Office of the Secretary of State,

APC TOWERS IV, LLC

, a limited liability company authorized under the laws of the state of Delaware, is authorized to transact business in the Commonwealth of Kentucky, and received the authority to transact business in Kentucky on February 22, 2023.

I further certify that all fees and penalties owed to the Secretary of State have been paid; that an application for certificate of withdrawal has not been filed; and that the most recent annual report required by KRS 14A.6-010 has been delivered to the Secretary of State.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my Official Seal at Frankfort, Kentucky, this 3rd day of September, 2025, in the 234th year of the Commonwealth.



Michael G. Adams

Michael G. Adams
Secretary of State
Commonwealth of Kentucky
343271/1262373

Delaware

The First State

Page 1

I, CHARUNI PATIBANDA-SANCHEZ, SECRETARY OF STATE OF THE STATE OF DELAWARE, DO HEREBY CERTIFY "APC TOWERS IV, LLC" IS DULY FORMED UNDER THE LAWS OF THE STATE OF DELAWARE AND IS IN GOOD STANDING AND HAS A LEGAL EXISTENCE SO FAR AS THE RECORDS OF THIS OFFICE SHOW, AS OF THE FIFTH DAY OF MAY, A.D. 2025.

AND I DO HEREBY FURTHER CERTIFY THAT THE SAID "APC TOWERS IV, LLC" WAS FORMED ON THE THIRD DAY OF MARCH, A.D. 2022.

AND I DO HEREBY FURTHER CERTIFY THAT THE ANNUAL TAXES HAVE BEEN PAID TO DATE.



6650861 8300

SR# 20251979186

You may verify this certificate online at corp.delaware.gov/authver.shtml

A handwritten signature in black ink, reading "C. P. Sanchez", is written over a horizontal line.

Charuni Patibanda-Sanchez, Secretary of State

Authentication: 203603171

Date: 05-05-25

Delaware

Page 1

The First State

I, CHARUNI PATIBANDA-SANCHEZ, SECRETARY OF STATE OF THE STATE OF DELAWARE, DO HEREBY CERTIFY "CELLCO PARTNERSHIP" IS DULY FORMED UNDER THE LAWS OF THE STATE OF DELAWARE AND IS IN GOOD STANDING AND HAS A LEGAL EXISTENCE SO FAR AS THE RECORDS OF THIS OFFICE SHOW, AS OF THE FOURTEENTH DAY OF FEBRUARY, A.D. 2025.

AND I DO HEREBY FURTHER CERTIFY THAT THE ANNUAL TAXES HAVE BEEN PAID TO DATE.



3341134 8300

SR# 20250539476

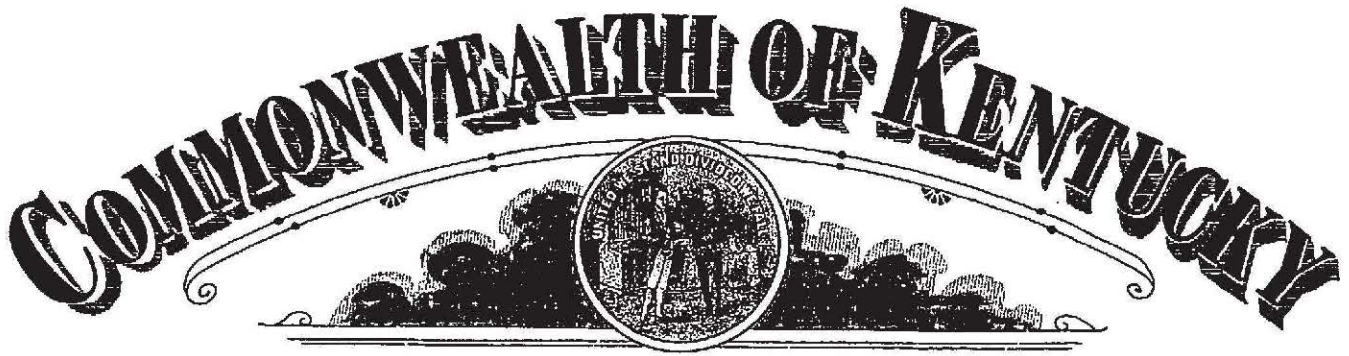
You may verify this certificate online at corp.delaware.gov/authver.shtml

A handwritten signature in cursive script, reading "C. P. Sanchez", is written over a horizontal line.

Charuni Patibanda-Sanchez, Secretary of State

Authentication: 202935577

Date: 02-14-25



Michael G. Adams
Secretary of State

Certificate

I, Michael G. Adams, Secretary of State for the Commonwealth of Kentucky, do hereby certify that the foregoing writing has been carefully compared by me with the original thereof, now in my official custody as Secretary of State and remaining on file in my office, and found to be a true and correct copy of

CERTIFICATE OF ASSUMED NAME OF VERIZON WIRELESS ADOPTED BY
GENERAL PARTNERS OF CELLCO PARTNERSHIP FILED JUNE 21, 2006.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my
Official Seal at Frankfort, Kentucky, this 10th day of May, 2023.



Michael G. Adams

Michael G. Adams
Secretary of State
Commonwealth of Kentucky
kdcoleman/0641227 - Certificate ID: 290787

COMMONWEALTH OF KENTUCKY
TREY GRAYSON
SECRETARY OF STATE



0641227.07

Doornish
C226

Trey Grayson
Secretary of State
Received and Filed

06/21/2006 12:06:09 PM
Fee Receipt: \$20.00

CERTIFICATE OF ASSUMED NAME

This certifies that the assumed name of
Verizon Wireless

(Name under which the business will be conducted)

has been adopted by See Addendum

(Real name - KRS 305.015(1))

which is the "real name" of (YOU MUST CHECK ONE)

- | | |
|--|---|
| ☐ a Domestic General Partnership | ☒ a Foreign General Partnership |
| ☐ a Domestic Registered Limited Liability Partnership | ☐ a Foreign Registered Limited Liability Partnership |
| ☐ a Domestic Limited Partnership | ☐ a Foreign Limited Partnership |
| ☐ a Domestic Business Trust | ☐ a Foreign Business Trust |
| ☐ a Domestic Corporation | ☐ a Foreign Corporation |
| ☐ a Domestic Limited Liability Company | ☐ a Foreign Limited Liability Company |
| ☐ a Joint Venture | |

organized and existing in the state or country of Delaware, and whose address is

One Verizon Way

Basking Ridge

NJ

07920

Street address, if any

City

State

Zip Code

The certificate of assumed name is executed by
NYNEX PCS Inc.

Jane A. Schepker
Signature
Jane A. Schepker-Assistant Secretary

Print or type name and title
June 15, 2006
Date

Signature

Print or type name and title

Date

Addendum

The full name of the Partnership is Celco Partnership; a Delaware general partnership with its headquarters located One Verizon Way, Basking Ridge NJ 07920-1097.

General Partners of Celco Partnership	Address
Bell Atlantic Cellular Holdings, L.P.	One Verizon Way Basking Ridge, NJ 07920
NYNEX PCS Inc.	One Verizon Way Basking Ridge, NJ 07920
PCSCO Partnership	One Verizon Way Basking Ridge, NJ 07920
GTE Wireless Incorporated	One Verizon Way Basking Ridge, NJ 07920
GTE Wireless of Ohio Incorporated	One Verizon Way Basking Ridge, NJ 07920
PCS Nucleus, L.P.	2999 Oak Road, 7 th Floor Walnut Creek, CA 94597
JV PartnerCo, LLC	2999 Oak Road, 7 th Floor Walnut Creek, CA 94597

**FCC Form 854
Main Form**

Approved by OMD – 3060-0139
See instructions for public burden estimate

Application for Antenna Structure Registration

Purpose of Filing

1) Enter the application purpose: (AM)	
AM – Amendment of a Pending Application AU – Administrative Update CA – Cancellation of an Antenna Structure Registration DI – Notification of an Antenna Structure Dismantlement MD – Modification of a Antenna Structure Registration	NE – Registration of a New Antenna Structure NT – Required Construction/Alteration Notification OC – Ownership Change RE – Registration of a Replacement Antenna Structure WD – Withdrawal of a Pending Application
2a) If the answer to 1 is AU, CA, DI, MD, NT, OC or RE, provide the FCC Antenna Structure Registration (ASR) Number.	FCC ASR Number:
2b) If the answer to 1 is AM or WD, provide the File Number of the pending application on file.	File Number: A1347819
2c) If the answer to 1 is MD or NT, provide the date the Antenna Structure was constructed or the date it was last altered (mm/dd/yyyy).	Date:
2d) If the answer to 1 is DI, provide the date the Antenna Structure was dismantled (mm/dd/yyyy).	Date:

Antenna Structure Ownership Information

3) Select one of the entity types:			
() Individual	() Unincorporated Association	() Trust	() Government Entity
() Corporation	(X) Limited Liability Company	() General Partnership	() Limited Partnership
() Consortium	() Limited Liability Partnership	() Other: _____	
4) FCC Registration Number (FRN): 0023897788		5) Assignor FCC Registration Number (FRN):	
6) First Name (if individual):	MI:	Last Name:	Suffix:
7) Legal Entity Name (if not an individual): APC Towers, LLC			
8) Attention To: Jonathan Greene		9) P.O. Box:	And/Or
10a) Street Address 1: 8601 Six Forks Road		10b) Street Address 2: Suite 250	
11) City: RALEIGH	12) State: NC	13) Zip Code: 27615	
14) Telephone Number (xxx-xxx-xxxx): (919) 948-4788		15) Fax Number: (xxx-xxx-xxxx):	
16) E-mail Address: jgreene@apctowers.com			

Contact Representative Information

17) First Name (if individual): Eric	MI:	Last Name: Johnson	Suffix:
18) Business Name: ECA-USA			
19) Attention To: Eric Johnson	20) P.O. Box		And/Or
21a) Street Address 1: 1375 Union Hill Industrial Court		21b) Street Address 2: Suite A	
22) City: Alpharetta	23) State: GA	24) Zip Code: 30004	
25) Telephone Number (xxx-xxx-xxxx): (770) 667-2040		26) Fax Number: (xxx-xxx-xxxx):	
27) E-mail Address: eric.johnson@eca-usa.com			

Antenna Structure Information

28a) Latitude (DD-MM-SS.S): 36- 52- 33.1		28b) North or South: North	
29a) Longitude (DDD-MM-SS.S): 085- 09- 26.4		29b) East or West: West	
30) Street Address or Geographic Location: Swan Pond Road		31) City: Jamestown	
32) County: RUSSELL	33) State: KENTUCKY	34) Zip Code: 42629	
35) Elevation of site above mean sea level (meters):			183.2 meters
36) Overall height above ground level (AGL) of the supporting structure without appurtenances:			73.1 meters
37) Overall height above ground level (AGL) of the antenna structure including all appurtenances:			74.7 meters
38) Overall height above mean sea level (add items 35 and 37 together):			257.9 meters
39a) Enter the type of structure on which the antenna will be mounted: (LTOWER)			
B – Building BANT – Building with Antenna on Top BMAST – Building with Mast BPIPE – Building with Pipe BPOLE – Building with Pole BRIDG – Bridge BTWR – Building with Tower GTOWER – Guyed Structure Used For Communication Purposes LTOWER – Lattice Tower MAST – Mast MTOWER – Monopole NNGTANN – Guyed Tower Array NNLTANN – Lattice Tower Array NNMTANN – Monopole Array PIPE – Any type of Pipe POLE – Any type of Pole RIG – Oil or Other Type of Rig SIGN – Any type of Sign or Billboard SILO – Any type of Silo STACK – Smoke Stack TANK – Any type of Tank (water, gas, etc.) TREE – When used as a support for an antenna UPOLE – Utility Pole/Tower used to provide service (electric, telephone, etc.)			
39b) Number of Towers in Array:		39c) Position of this Tower in the Array:	
40a) Array Center Latitude (DD-MM-SS.S):		40b) North or South	
41a) Array Center Longitude (DDD-MM-SS.S):		41b) East or West:	

Proposed Marking and/or Lighting

42) Enter the proposed marking and/or lighting: (7)
See Form 854 Item 42 Instructions for detailed tier and lighting information.

- | | | |
|----------------|----------------|-----------------|
| 1) None | 4) FAA Style B | 7) FAA Style E |
| 2) Paint Only | 5) FAA Style D | 8) FAA Style F |
| 3) Other _____ | 6) FAA Style C | 9) FAA Style A |
| | | 10) FAA Style G |

FAA Notification

43) FAA Study Number:	44) Date Issued:
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Environmental Compliance

45) Does the applicant request a waiver of the Commission's rules for environmental notice prior to construction due to an emergency situation?	(No) Yes or No
46a) If the answer to 45 is No, is another federal agency taking responsibility for environmental review of the Antenna Structure?	(No) Yes or No
46b) If the answer to 46a is Yes, indicate why: 1) The Antenna Structure is on Federal Land and the landholding agency is taking responsibility for the environmental review of the Antenna Structure. 2) Another federal agency has agreed with the FCC in writing to take responsibility for the environmental review of the Antenna Structure.	() 1 or 2
46c) If the answer to 46a is Yes, provide the name of the federal agency taking responsibility for the environmental review of the Antenna Structure.	Name:
47) If the answers to 45 and 46a are No, provide the National Notice Date for the application to be posted on the FCC's website (mm/dd/yyyy).	Date: 12/04/2025
48) Is the applicant submitting an environmental assessment?	(No) Yes or No
49) Does the applicant certify that grant of Authorizations at this location would not have a significant environmental effect pursuant to Section 1.1307 of the FCC's rules?	() Yes or No
50) If the answer to 49 is Yes, select the basis for this certification. 1) The construction is exempt from environmental notification (other than due to another agency's review) and it does not fall within one of the categories in Section 1.1307(a) or (b) of the FCC's rules? 2) The construction is exempt from environmental notification due to another agency's review, and the other agency has issued a Finding of No Significant Impact. 3) The environmental notification has been completed, and the FCC has notified the applicant that an Environmental Assessment is not required under Section 1.1307(c) or (d) of the FCC's rules, and the Construction does not fall within one of the categories in Section 1.1307(a) or (b) of the FCC's rules. 4) The FCC has issued a Finding of No Significant Impact.	() 1, 2, 3, 4
51) If the answer to 50 is 3 or 4, enter the date that Local Notice was provided (mm/dd/yyyy).	Date:

Certification Statements

- 1) The applicant certifies that all statements made in this application and in the exhibits, attachments, or documents incorporated by reference are material, are part of this application, and are true, complete, correct, and made in good faith.
- 2) The applicant certifies that neither the applicant nor any other party to the application is subject to a denial of Federal benefits pursuant to Section 5301 of the Anti-Drug Abuse Act of 1988, 21 U.S.C. § 862, because of a conviction for possession or distribution of a controlled substance. See Section 1.2002(b) of the rules, 47 CFR § 1.2002(b), for the definition of "party to the application" as used in this certification.

Signature (Typed or Printed Name of Party Authorized to Sign) (For OC Applications, to be completed by Assignee)

52) First Name: Jacqueline	MI:	Last Name: Franklin	Suffix:
53) Title: Project Manager			
54) Signature: Jacqueline Franklin			55) Date: Dec 12, 2025

Signature (Typed or Printed Name of Party Authorized to Sign) (For OC Applications, to be completed by Assignor)

56) First Name:	MI:	Last Name:	Suffix:
57) Title:			
58) Signature:			59) Date:

CK EAST LAKE CUMBERLAND

KY-4076

380 SWAN POND RD
JAMESTOWN, KY 42629
RUSSELL COUNTY

TENANT: LEGAL BUSINESS ENTITY d/b/a VERIZON WIRELESS
"CK EAST LAKE CUMBERLAND"



8601 SIX FORKS RD
RALEIGH, NORTH CAROLINA 27615

NEW 240'-0" SELF SUPPORT TOWER
w/10'-0" LIGHTNING ROD
TOTAL TOWER HEIGHT 250'-0"

TOWER OWNER SITE
CK EAST LAKE CUMBERLAND
SITE # : KY-4076

VERIZON WIRELESS SITE
CK EAST LAKE CUMBERLAND
PROJECT #: 17607750
MARKET ID: LOUISVILLE
MDGR: 5000908531

SITE ADDRESS
380 SWAN POND RD
JAMESTOWN, KY 42629
RUSSELL COUNTY
E911 ADDRESS: TBD

TOWER OWNER
APC TOWERS
8601 SIX FORKS RD
RALEIGH, NORTH CAROLINA 27615
CONTACT: JONATHAN GREENE
PHONE: 704-724-8382
E-MAIL: jgreene@apctowers.com

PROPERTY OWNER
WILKERSON INVESTMENT LLC
238 DEVELOPMENT DR
COLUMBIA KY 42728
CONTACT: TBD
PHONE: 270-634-1466
E-MAIL: rob@atsmodility.com

POLICE
RUSSELL COUNTY SHERIFF DEPT.
410 MONUMENT SQ # 109
JAMESTOWN, KY 42629
PHONE: 270-343-2191

FIRE
SOUTH RUSSELL VOLUNTEER FIRE DEPT.
300 MONUMENT SQUARE
JAMESTOWN, KY 42629
PHONE: 270-343-4333

GENERAL INFORMATION
LATITUDE - 36° 52' 33.07" N
LONGITUDE - 85° 09' 26.37" W
1983 (NAD83)
ELEVATION - 600.5' AMSL
1985 (NAVD88)

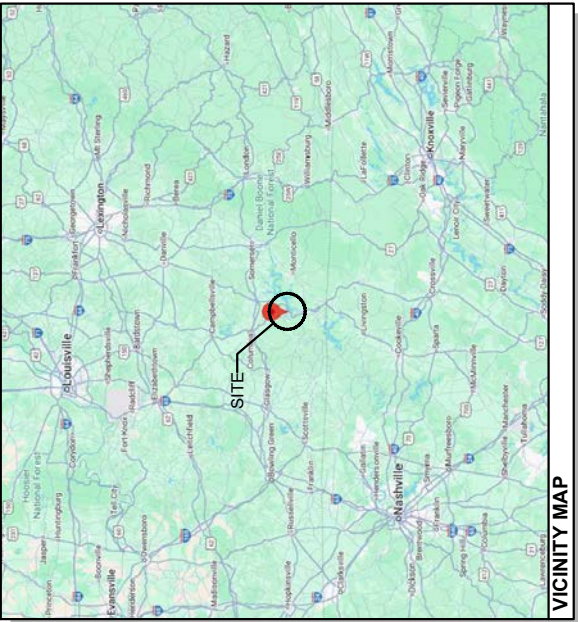
TOWER OWNER LEASE AREA
100'-0"x100'-0"
(10000 SF)

VERIZON WIRELESS LEASE AREA
12'-0"x30'-0"
(360 SF)

PROJECT TOTAL DISTURBED AREA
COMPOUND: (6925 SF) = (0.126 ACRE)
ACCESS DRIVE: (107 SF) = (0.002 ACRE)
GROSS AREA: (10286.95 SF) = (0.236 ACRE)

ALL CONSTRUCTION ITEMS ARE TO BE COMPLETED BY THE TOWER OWNER GENERAL CONTRACTOR UNLESS NOTED AS [VZW GC] WHICH SHALL BE COMPLETED BY THE VERIZON WIRELESS GENERAL CONTRACTOR

PROJECT SUMMARY



VICINITY MAP

PROJECT DESCRIPTION:
NOTE: ALL ITEMS WITHIN THESE CONSTRUCTION DOCUMENTS ARE BY TOWER OWNERS GENERAL CONTRACTOR AND HIS SUB-CONTRACTORS UNLESS NOTED AS [VZW GC] WHICH SHALL BE COMPLETED BY THE VERIZON WIRELESS GENERAL CONTRACTOR AND HIS SUB-CONTRACTORS. GENERALLY DESCRIBED BELOW:

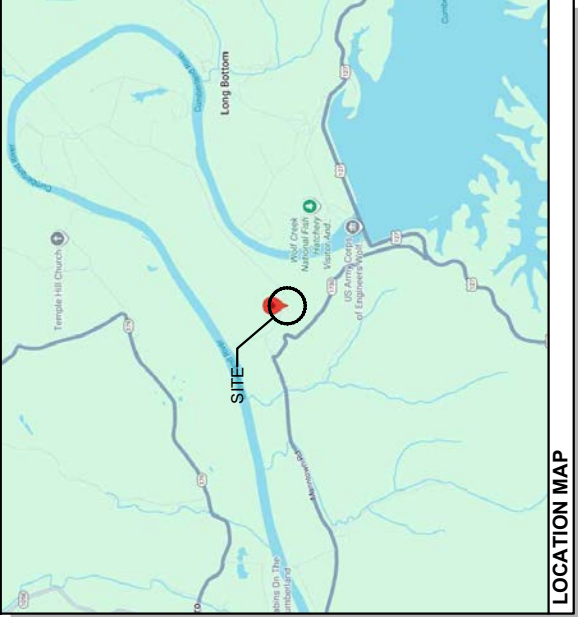
TOWER OWNER SCOPE:

- INSTALL A NEW 240'-0" SELF SUPPORT TOWER w/ 10'-0" LIGHTNING ROD (TOTAL 250'-0")
- INSTALL A NEW 10'-0" TOWER FOUNDATION SYSTEM
- INSTALL A NEW 75'-0" X 75'-0" FENCED GRAVEL COMPOUND
- INSTALL A NEW ELECTRICAL SERVICE RUN TO SITE UTILITY H-FRAME
- INSTALL A NEW GRAVEL ACCESS DRIVE
- NO WATER OR SEWAGE SERVICES RUN TO SITE
- INSTALL NEW TOWER & SITE GROUNDING SYSTEM
- INSTALL NEW TOWER & SITE LIGHTING SYSTEM
- INSTALL A NEW VZW CONCRETE EQUIPMENT AND GENERATOR PADS
- INSTALL VZW ICE BRIDGE AND FOUNDATIONS
- INSTALL ELECTRICAL SERVICE CONDUIT WITH PULL TAPES FROM ILC ENCLOSURE STUB-UP TO UTILITY H-FRAME
- INSTALL NEW CONDUITS WITH PULL TAPES FROM VZW ILC STUB-UP LOCATION TO THE GENERATOR STUB-UP AT VZW GENERATOR PAD
- INSTALL (2) 1'-1/4" SMOOTHWALL SDR-11 HDPE FIBER OPTIC CONDUITS w/PULL TAPES AND TRACER WIRE FROM "VERIZON WIRELESS ONLY" HAND HOLE OUTSIDE COMPOUND TO VZW EQUIPMENT PAD
- INSTALL (3) NEW "VERIZON WIRELESS ONLY" 1'-1/4" SMOOTHWALL SDR-11 HDPE FIBER OPTIC CONDUITS WITH PULL TAPES AND TRACER WIRE FROM NEW "VERIZON WIRELESS ONLY" 24" X30" R.O.W. HAND HOLE OUTSIDE COMPOUND TO NEW "VERIZON WIRELESS ONLY" 24" X30" HAND HOLE AT BASE PRIOR TO THE SITE BEING RELEASED AS TENANT READY
- PERMANENT ELECTRIC POWER MUST BE AVAILABLE FOR VERIZON WIRELESS AT THE METER

VERIZON WIRELESS SCOPE [VZW GC]:

- INSTALL VZW PREFABRICATED CANOPY AND FOUNDATIONS
- INSTALL VZW ANTENNA MOUNTING SUPPORT STRUCTURE ON TOWER
- INSTALL VZW ANTENNAS, LINES, COAX, GPS ANTENNA AND RADIO EQUIPMENT
- INSTALL EXISTING SUBSURFACE GROUND LEADS TO VZW EQUIPMENT & FACILITIES
- INSTALL VZW ELECTRIC SERVICE CONDUCTORS FROM UTILITY H-FRAME TO VZW ILC ENCLOSURE LOCATION
- INSTALL NEW CONDUITS WITH PULL TAPES FROM R/F CABINET TO OVP H-FRAME LIT FIBER LOCATION
- INSTALL NEW CONDUITS AND CIRCUITS FROM VZW ILC ENCLOSURE TO EQUIPMENT ENCLOSURES AT VZW EQUIPMENT PAD
- INSTALL VZW GENERATOR CIRCUITS FROM VZW ILC & EQUIPMENT ENCLOSURES TO VZW GENERATOR
- INSTALL NEW OUTDOOR OVPs AND CABLING ON VERIZON EQUIPMENT H-FRAME

PROJECT DESCRIPTION



LOCATION MAP

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUCTED TO PERMIT WORK NOT CONFORMING TO THESE CODES.

BUILDING CODE
2018 KENTUCKY BUILDING CODE (IBC 2015)

STRUCTURAL CODE
TIA/EA-222 - REVISION H

MECHANICAL CODE
2015 INTERNATIONAL MECHANICAL CODE (IMC 2015)

ELECTRICAL CODE
KENTUCKY STATE PLUMBING CODE (815 KAR CHAP. 20)

ELECTRICAL CODE
2015 NATIONAL ELECTRICAL CODE (NFPA 70)

FIRE/LIFE SAFETY CODE
2015 INTERNATIONAL FIRE CODE (2015 IFC)

ENERGY CODE
2012 INTERNATIONAL ENERGY CODE (COMMERCIAL)

GAS CODE
2012 NATIONAL FUEL GAS CODE (NFPA 54)

ACCESSIBILITY REQUIREMENTS:
FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. HANDICAPPED ACCESS REQUIREMENTS ARE NOT REQUIRED IN ACCORDANCE WITH THE 2015 IBC BUILDING CODE.

APPLICABLE CODES

SURVEYOR
THE LAND CONSULTANTS LLC
2820 15TH AVE SW
HUNTSVILLE, AL 35805
PHONE: 423-304-6722

ARCHITECTURAL
TELECAD WIRELESS
1961 NORTHPOINT BLVD, SITE 130
HIXSON, TN 37343
CONTACT: MATT BATES
PHONE: 423-843-9500
EMAIL: matt.bates@telecadeng.com

ELECTRICAL
SOUTH KENTUCKY RECC
ADDRESS: 200 ELECTRIC AVENUE
CONTACT: MATT BATES
CONTACT NAME
PHONE: 806-678-4121
EMAIL: name@powercompany.com

ELECTRICAL UTILITY COORDINATION IS NOT FINALIZED. DO NOT PROCEED WITH CONSTRUCTION.

CONSULTANT TEAM



AERIAL

PREPARED FOR:



8601 SIX FORKS RD
RALEIGH, NORTH CAROLINA 27615

PREPARED BY:



1961 NORTHPOINT BLVD, SUITE 130
HIXSON, TN 37343
PH: 423-843-9500
FAX: 423-843-9509

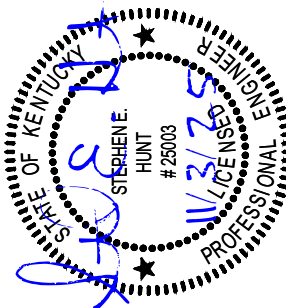
DRAWING NOTICE:

THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO THE CLIENT IS STRICTLY PROHIBITED.

DRAWN BY:	MDR
CHECKED BY:	DS

REVISIONS			
0	11/03/25	JAE	ZONING ISSUE
B	10/24/25	WAM	PRELIMINARY REVIEW
A	10/16/25	MDR	PRELIMINARY REVIEW
NO.	DATE	BY	DESCRIPTION

ENGINEER'S STAMP:



NOT VALID WITHOUT P.E. STAMP & SIGNATURE

SITE NAME:	CK EAST LAKE CUMBERLAND
ADDRESS:	380 SWAN POND RD JAMESTOWN, KY 42629
COUNTY:	RUSSELL
LATITUDE:	36° 52' 33.07" N
LONGITUDE:	85° 09' 26.37" W
SITE NUMBER:	KY-4076

SHEET TITLE:	TITLE SHEET
--------------	-------------

DRAWING NO.	T-1
REVISION:	0

GENERAL NOTES:

- This Survey is prepared exclusively to show site conditions and/or for use in support of instruments related to Leases and Easements as may be shown hereon. Any property boundary information shown hereon is a composite of information gathered from current or previous Surveys, Plat & Deed Description and/or Assessor's Tax Maps as may be referenced hereon. This Survey is not a Boundary Survey of any Tax Parcels or Deed Tracts, and does not create, combine, or divide any existing properties.
- Survey shown hereon was performed under the supervision of a state-registered Land Surveyor and conforms to all applicable State Board Requirements.
- Instruments Used: One or more of: Topcon Total Station, Topcon Hiperlite Plus GPS, Carlson Surveyor Data Collector, DJI UAV.
- Where shown, improvements (utilities, buildings, trees, fences, etc.) are based on field Survey and/or aerial mapping.
- Any Underground Utilities shown according to surface markings made by others, found at time of survey. Additional marked utilities outside the area covered by this survey map may be shown in provided CAD Files. Utility Markings may not be comprehensive, and conditions may change after the time of survey; this survey does not relieve design and construction personnel of the responsibility to determine the locations of underground utilities prior to land disturbance activities. See also 2021 ALTA Standards, page 10, "Note to clients...."
- This Survey is presented in the format required by Clients. Clients are advised that Official Jurisdictions may require the Survey to be presented in another format with additional notes and certifications. In the event other formats, notes or certifications are requested by applicable jurisdictions, it is the responsibility of the Client to request same be prepared by Surveyor. Survey as published is not intended to be suitable for recording as a Subdivision Plat.
- This survey may have been reduced or enlarged in size due to subsequent reproduction. This should be taken into consideration when obtaining scaled data.
- Geographic Coordinates, if published, meet FAA Accuracy Code 1A, and are accurate to within ± 20 feet horizontally and to within ± 3 feet vertically.
- Any Flood Zone information presented hereon is according to current FEMA Flood Map information as may be referenced hereon. No Flood Elevation Survey of Certification performed.
- This survey is not valid without the original signature seal of a State-Licensed Land Surveyor, and is not complete without the total of sheets as specified in Survey Title Blocks.
- Unless indicated otherwise by reference to Record Instruments, any Lessee's Leases, Premises or Easements shown hereon are NOT YET OF RECORD and may be subject to change pending review and approval by Carrier, applicable jurisdictions and/or other involved parties.
- Any Survey Markers placed as required by Standards of Practice and/or Client request represent the Leases and/or Easements as requested or designed by Clients at the time of this survey issue and may not reflect changes to site design which have not been communicated to Surveyor in the form of a Survey revision request. Surveyor shall not be liable for any circumstance arising as a result of revisions to Site Design (which may invalidate existing survey markers) occurring after the date of this Survey issue.

SURVEYOR'S CERTIFICATION

To: APC Towers IV, LLC and Old Republic National Title Insurance Company:
I hereby certify that this survey was completed in accordance with the current requirements of the Standards of Practice for Surveying in the State of Kentucky to the best of my knowledge, information, and belief.



Travis L. Shields
Kentucky PLS
License No. 4246

PROPOSED TOWER LOCATION DATA

Latitude: NORTH: 36.875853° 36° 52' 33.07"
Longitude: WEST: 85.157324° 85° 09' 26.37"
Ground Elev: 600.5 FEET AMSL (NAVD88)
Benchmark: DK7555 KYDH

PARENT TAX PARCEL

WILKERSON INVESTMENTS, LLC.
TAX PARCEL: 018-00-00-004.00
TAX PARCEL: 017-00-00-030.00

NORTH ORIENTATION

KENTUCKY SOUTH STATE PLANE COORDINATE SYSTEM
Based on GPS Survey relative to NGS CORS Network, NAD83 (2011)
ELEVATION DATUM: NAVD88, GEOID 12B
DATE OF SURVEY: 09-10-2025
Method: RTK (CORS); Confidence Level: 95%
Positional Accuracy: HZ ± 0.10'
EPOCH 2010.0000
Convergence: 0.35943611"; Combined Factor: 0.99995334

FLOOD DATA

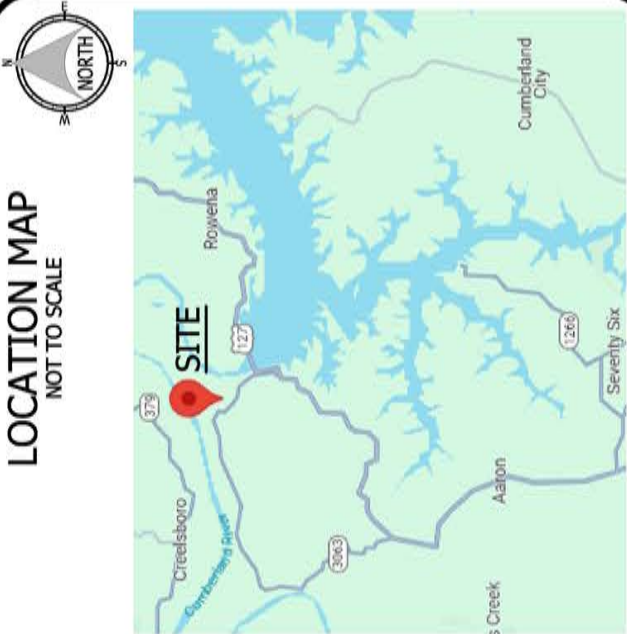
FEMA FLOOD MAP PANEL: 21207C0195C, Effective Date: 08-19-2010
Surveyed Area appears to lie within: ZONE X (Areas of Minimal Flood Hazard)

TITLE EXAMINATION:

See Sheet #5

LOCATION MAP

NOT TO SCALE



SURVEY MAP LEGEND

- MONUMENT FOUND
- UTILITY POLE
- GUY ANCHOR
- PROPOSED TOWER CENTR
- SITTE BENCHMARK
- R/W
- RIGHT-OF-WAY
- C/L
- CENTER LINE
- AU
- ACCESS & UTILITY
- ESMT
- EASEMENT
- P.O.C.
- POINT OF COMMENCEMENT
- P.O.B.
- POINT OF BEGINNING
- Sq Ft
- SQUARE FEET

- PAVEMENT EDGE
- OVERHEAD UTILITY LINES
- GUY WIRE
- FENCE
- DITCH
- STORMWATER PIPE
- RIPRAP
- 5' CONTOURS
- 1' CONTOURS
- PUBLIC R/W
- TAX PARCEL BOUNDARY
- TIE LINE
- LESSEE'S PREMISES
- LESSEE'S EASEMENTS

(Not a Boundary Survey of Parent Lands. Not intended for fee simple Land Transfer)

SITE SURVEY

Site Number: KY-4076

Swan Pond Road, Jamestown, KY 42629

Russell County, Kentucky

COVER SHEET

DWG#: 25187
ISSUE #: 0
ISSUE DATE: 10-02-2025
SEE SHEET #1

SHEET 1 OF 5

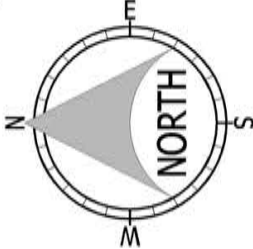
PROPERTY INFORMATION

PARENT TAX PARCEL
A. WILKERSON INVESTMENTS, LLC.
TAX PARCEL: 018-00-00-004.00
DEED BOOK 354, PAGE 199
PLAT BOOK 4, PAGE 1535

EASEMENT TAX PARCELS
B. WILKERSON INVESTMENTS, LLC.
TAX PARCEL: 017-00-00-030.00
DEED BOOK 361, PAGE 559

ADJACENT LANDS
C. BILLY POLSTON
(NOT REPRESENTED ON TAX MAPS)
DEED BOOK 132, PAGE 516

D. NO ASSESSOR INFORMATION LISTED





THE
LAND CONSULTANTS
LLC
2820 15TH AVE SW
HUNTSVILLE, AL 35805
423-304-6722

PREPARED FOR



APC TOWERS IV, LLC

8601 Six Forks Rd, Suite 250,
Raleigh, NC 27615

SITE SURVEY
CK EAST LAKE CUMBERLAND
Site Number: KY-4076
Swan Pond Road, Jamestown, KY 42629
Russell County, Kentucky

OVERVIEW MAP

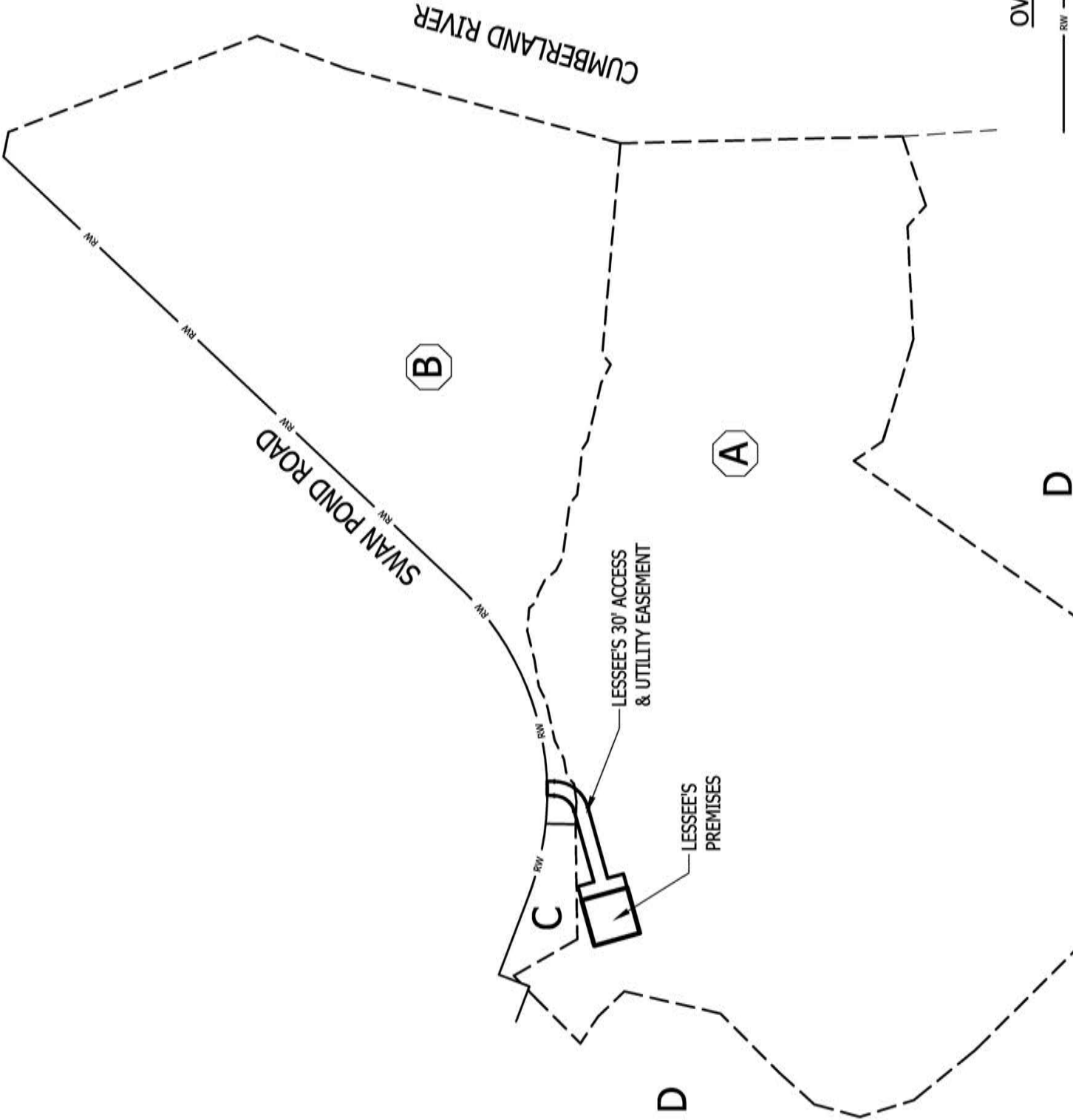
DWG#: 25187
ISSUE #: 0
ISSUE DATE: 10-02-2025
SEE SHEET #1

SHEET
2
OF
5

OVERVIEW MAP LEGEND

- PUBLIC R/W
- VESTING LAND
- ADJOINING TAX PARCEL
- LESSEE'S PREMISES
- LESSEE'S EASEMENT(S)

OVERVIEW MAP CAVEAT:
OVERVIEW MAP IS NOT A SURVEY BUT A VICINITY / LOCATION MAP INTENDED ONLY TO SHOW SURVEYED PROPERTY IN RELATION TO SURROUNDING AREA. VESTING AND ADJOINING PARCEL BOUNDARIES ARE NOT INCLUDED IN OR CERTIFIED BY THIS SURVEY. BOUNDARY LINES ARE A COMPOSITE OF DEED, PLAT AND/OR TAX MAP INFORMATION
SEE SURVEY MAP FOR ALL MATTERS RELATED TO SITE SURVEY



P.O.C.
Monument with Disk
N: 1,838,779.10'
E: 1,813,724.07'
NAD83, KY SOUTH

Site Benchmark
PK Nail Set:
EL: 613.81'

Chord Tie Line
S 19°46'30" E 248.07'

Cemetery

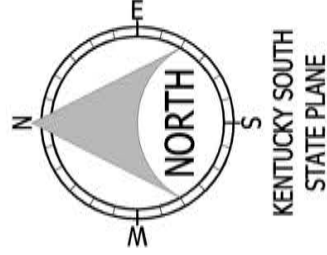
Lands between Plat PB 4-1535 and Highway
assumed: Billy Polston, Deed 132-516

North Line Plat PB 4-1535 per located line evidence

P.O.B.
Premises
AU Esmt

LESSEE'S
PREMISES
10,000 Sq. Ft.
0.23± Ac

LESSEE'S 30'
ACCESS & UTILITY
EASEMENT
10,424 Sq. Ft. - 0.24± Ac



SWAN POND ROAD

Public R/W

60' wide at this location
Ref: KYDOT Plans SP104-718-3

THE
LAND CONSULTANTS
2820 15TH AVE SW
HUNTSVILLE, AL 35805
423-304-6722



PREPARED FOR



APC TOWERS IV, LLC

8601 Six Forks Rd, Suite 250,
Raleigh, NC 27615

(Not a Boundary Survey of Parent Lands. Not intended for fee simple Land Transfer)

SITE SURVEY

Site Number: KY-4076

Swan Pond Road, Jamestown, KY 42629

Russell County, Kentucky

SITE SURVEY

DWG#: 25187
ISSUE #: 0
ISSUE DATE: 10-02-2025
SEE SHEET #1

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OF
5

CURVE DATA TABLE				CURVE DATA TABLE			
CURVE	RADIUS	ARC LEN	TANGENT	DELTA ANGLE	CHORD BEARING	CHORD LEN	
C1	45.00'	57.81'	33.67'	73°36'34"	N 37°45'47" E	53.92'	
C2	75.00'	96.35'	56.12'	73°36'34"	S 37°45'47" W	89.86'	

LINE DATA TABLE		LINE DATA TABLE	
LINE	BEARING		DISTANCE
L1	S 15°25'56" E		100.00'
L2	S 74°34'04" W		100.00'
L3	N 15°25'56" W		100.00'
L4	N 74°34'04" E		100.00'
L5	N 74°34'04" E		30.00'
L6	S 15°25'56" E		35.00'
L7	N 74°34'04" E		155.36'
L8	N 00°57'30" E		14.50'
L9	N 88°55'12" E		30.02'
L10	S 00°57'30" W		15.57'
L11	S 74°34'04" W		155.36'
L12	S 15°25'56" E		35.00'
L13	S 74°34'04" W		30.00'
L14	N 15°25'56" W		100.00'



LESSEE'S PREMISES

All that tract or parcel of land lying and being in Russell County, Kentucky, and being a portion of the property of Wilkerson Investments, LLC., of record in Deeds Book 354, Page 199, Office of the Russell County Court Clerk, and being more particularly described as follows:

COMMENCE at a Monument & Disk found at Kentucky South State Plane Coordinates: North: 1,838,779.10 feet, East: 1,813,724.07 Feet, NAD83;

Thence along a Chord Tie Line having a Bearing of S 19°46'30" E, a distance of 248.07 feet to the POINT OF BEGINNING;

Thence S 15°25'56" E, a distance of 100.00 feet;

Thence S 74°34'04" W, a distance of 100.00 feet;

Thence N 15°25'56" W, a distance of 100.00 feet;

Thence N 74°34'04" E, a distance of 100.00 feet to the POINT OF BEGINNING.

Said Premises contains 0.23 Acres (10,000 Square Feet), more or less.

LESSEE'S 30' ACCESS & UTILITY EASEMENT

All that tract or parcel of land lying and being in Russell County, Kentucky, and being a portion of the property of Wilkerson Investments, LLC., of record in Deeds: Book 354, Page 199, and Book 361, Page 559, Office of the Russell County Court Clerk, and being more particularly described as follows:

COMMENCE at a Monument & Disk found at Kentucky South State Plane Coordinates: North: 1,838,779.10 feet, East: 1,813,724.07 Feet, NAD83;

Thence along a Chord Tie Line having a Bearing of S 19°46'30" E, a distance of 248.07 feet to the POINT OF BEGINNING;

Thence N 74°34'04" E, a distance of 30.00 feet;

Thence S 15°25'56" E, a distance of 35.00 feet;

Thence N 74°34'04" E, a distance of 155.36 feet;

Thence with a curve to the left with an arc length of 57.81 feet, with a radius of 45.00 feet, with a chord bearing of N 37°45'47" E, with a chord length of 53.92 feet;

Thence N 00°57'30" E, a distance of 14.50 feet to a point on the Southern

Right-of-Way Line of Swan Pond Road;

Thence N 88°55'12" E, along said Right-of-Way Line, a distance of 30.02 feet;

Thence S 00°57'30" W, leaving said Right-of-Way Line, a distance of 15.57 feet;

Thence with a curve to the right with an arc length of 96.35 feet, with a radius of 75.00 feet, with a chord bearing of S 37°45'47" W, with a chord length of 89.86 feet;

Thence S 74°34'04" W, a distance of 155.36 feet;

Thence S 15°25'56" E, a distance of 35.00 feet;

Thence S 74°34'04" W, a distance of 30.00 feet;

Thence N 15°25'56" W, a distance of 100.00 feet to the POINT OF BEGINNING.

Said Easement contains 0.24 Acres (10,424 Square Feet), more or less.



THE
LAND CONSULTANTS
2820 15TH AVE SW
HUNTSVILLE, AL 35805
423-304-6722

PREPARED FOR



APC TOWERS IV, LLC

8601 Six Forks Rd, Suite 250,
Raleigh, NC 27615

(Not a Boundary Survey of Parent Lands. Not intended for fee simple Land Transfer)

SITE SURVEY
CK EAST LAKE CUMBERLAND
Site Number: KY-4076
Swan Pond Road, Jamestown, KY 42629

Russell County, Kentucky

DESCRIPTIONS

DWG#: 25187
ISSUE #: 0
ISSUE DATE: 10-02-2025
SEE SHEET #1

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OF
5



TITLE EXAMINATION

Surveyor's treatment of Title Examination Items is limited to the scope described in ALTA/NSPS 2021 requirements, Section 6. C. ii., and is limited to determination of the extent of land, that Title Items may influence, if any. "Extent of Property" may be: Blanket in nature for a Parcel or Parcels (not subject to mapping, but assumed to also apply to Lessee's Areas (if any) insofar as these may lie on Parcel(s) influenced by instrument); specifically described by instrument (mapped and shown only if within the Surveyed Area). Determination of physical location may not be possible if: instrument is illegible; instrument lacks sufficient descriptive information; or instrument refers to other instruments which were not included in the title exam and not otherwise available to surveyor. Factors beyond physical location, such as the type of influence that "Restrictions, Covenants, Terms or Conditions" contained in instruments may impart upon Parcels or Lessee's Site or Easements are not evaluated by Land Surveyor. Review by Title Attorney may be warranted. Land Surveyors may not practice Law.)

Reference: Commitment for Title Insurance prepared by Old Republic National Title Insurance Company, Commitment Number: 01-25013389-01T, Commitment Date: 03/14/2025, Schedule B, Part II, Exceptions.

Item 1 - 6: General Items (no record instruments listed) or Taxes, not addressed by Survey.

Item 7: Plat Book 4, Page 1535: Shows no relevant Matters within Survey Area or upon Lessee's Site or Easement.

LEGAL DESCRIPTION OF PARENT TAX PARCEL

Situated in the County of Russell, Commonwealth of Kentucky:

FIRST TRACT: Bounded on the North by the lands formerly of B.B. Barnes; said line being established as the creek and road between the said parties; bounded on the east and south by the lands of the U.S. Government; bounded on the west by the lands of W.G. Conner and Lee Starnes and containing 27 acres more or less.

SECOND TRACT: Beginning at a cedar on a bench in original line of tract of which this is a part, thence said line N 45 E 77 feet to a stone at fence; thence with Polston's line S 26 E 186 feet to a stake at the road Polston's Corner; thence up road East 200 feet to an elm on Bank of Branch; thence up said branch as it meanders N 69 E 377 feet; N 82 E 94 feet; S 65 E 165 feet; S 74 E 350 feet; N 87 E 200 feet; thence with S 85 E 257 feet to top of River Bluff near a Large white oak; thence over the Bluff on same course about 200 feet to a stake at low water mark; thence up the river with said low water line to a stake in said line a corner to Wolf Creek Dam Project taken from tract of which this is a part; thence with Government line up river Bluff N 89 W to a Cherry tree on top of Bluff; thence N 34-3/4 W 4 poles; thence S 86-3/4 W 21.2 poles; N 80 W 4 poles; N 34 W 9 poles; S 34 W 15 poles to a Road at a large Elm near Branch; thence down branch as it meanders N 72 W 295 feet; N 45 W 41 feet; N 65 W 200 feet N 55 W 329 feet to a Buckeye on Bank of Branch; thence N 18 W 600 feet to the beginning, containing 32 acres more or less.

Tax ID: 018-00-00-004.00

Being the tame property conveyed to Wilkerson Investments, LLC, a Kentucky Limited Liability Company, Grantee, from Rachel Witt- West, single; Alan Witt and Julie Witt, Husband and Wife; Ashley Gomez and Jose Gomez, her Husband; Joshua Witt, single; and, Karen Fae Premo, unmarried Widow, Grantor, by Warranty Deed Recorded 12/18/2020, in Book 354, Page 199, of the Russell County Records.



THE
LAND CONSULTANTS
LLC
2820 15TH AVE SW
HUNTSVILLE, AL 35805
423-304-6722

PREPARED FOR



APC TOWERS IV, LLC

8601 Six Forks Rd, Suite 250,
Raleigh, NC 27615

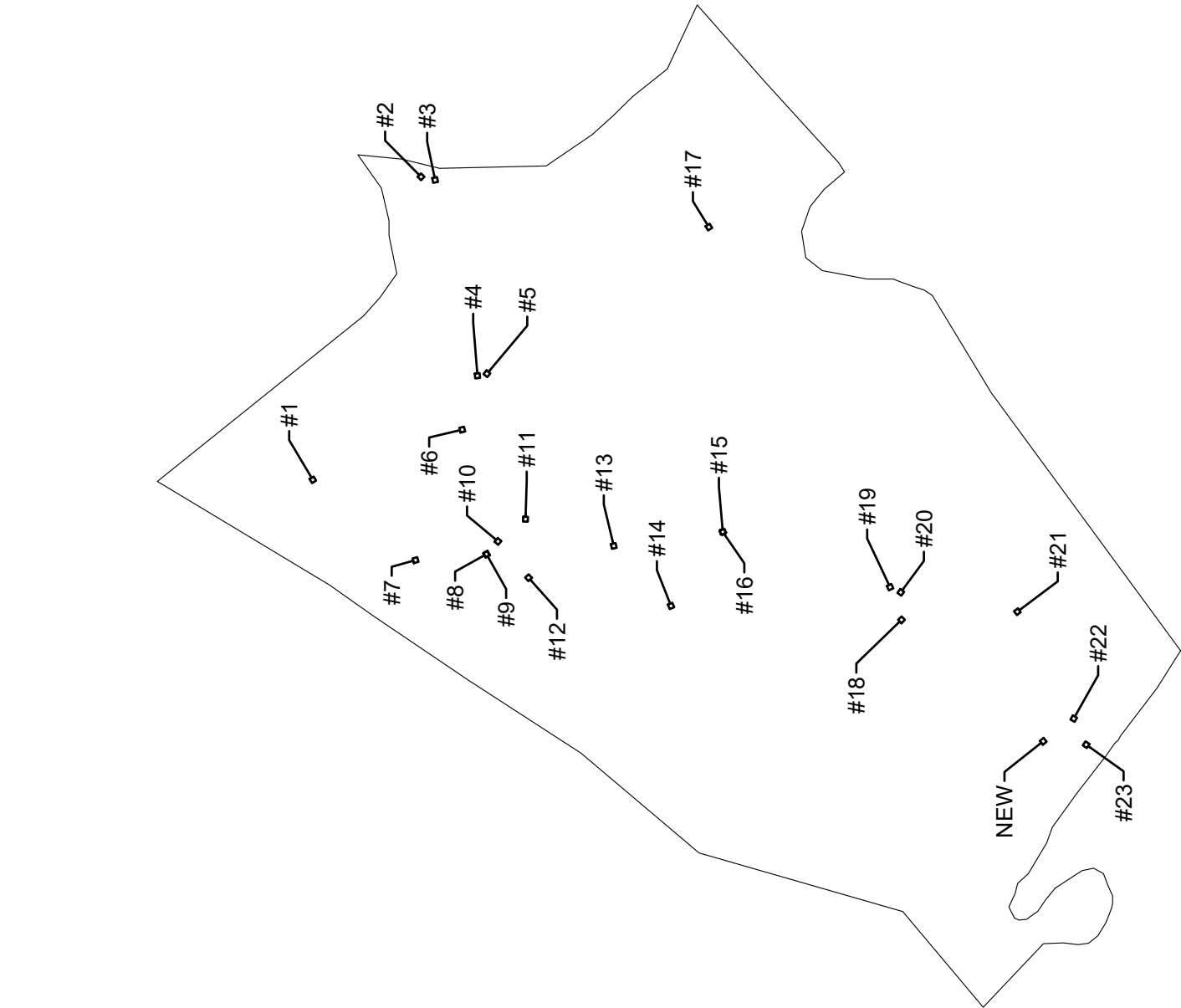
CK EAST LAKE CUMBERLAND
SITE SURVEY
Site Number: KY-4076
Swan Pond Road, Jamestown, KY 42629
Russell County, Kentucky

(Not a Boundary Survey of Parent Lands. Not intended for fee simple Land Transfer)

TITLE

DWG#: 25187
ISSUE #: 0
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SEE SHEET #1

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5
OF
5



RUSSELL COUNTY

FCC REGISTERED TOWERS

TOWER	TOWER OWNER	ASR	LATITUDE	LONGITUDE
1	CELLCO PARTNERSHIP	1257754	37° 7'44.70"N	85° 2'39.70"W
2	UNITI TOWERS LLC	1318405	37° 5'25.30"N	84° 5'44.80"W
3	SBA INFRASTRUCTURES, LLC	1232264	37° 5'19.70"N	84° 5'47.30"W
4	SBA TOWERS VII, LLC	1257488	37° 4'19.50"N	84° 5'59.40"W
5	TILLMAN INFRASTRUCTURE, LLC	1321407	37° 4'6.80"N	84° 5'55.80"W
6	CTI ASSETS II, LLC	1309775	37° 4'40.80"N	85° 1'23.50"W
7	HAMMOND BROADCASTING INC	1065125	37° 5'39.00"N	85° 4'49.00"W
8	UNITI TOWERS LLC	1316896	37° 4'7.30"N	85° 4'37.40"W
9	HARMONI TOWERS LLC	1319987	37° 4'7.30"N	85° 4'37.40"W
10	SBA INFRASTRUCTURES, LLC	1232919	37° 3'51.90"N	85° 4'19.50"W
11	GLOBAL TOWER, LLC, THROUGH AMERICAN TOWERS, LLC	1013822	37° 3'21.00"N	85° 3'45.00"W
12	DUO COUNTY TELEPHONE COOPERATIVE CORPORATION, INC.	1060800	37° 3'15.40"N	85° 5'14.80"W
13	HOOVER, MAE DBA = LAKE CUMBERLAND BROADCASTERS	1043881	37° 1'31.00"N	85° 4'23.00"W
14	RUSSELL COUNTY AIRPORT	1272430	37° 0'20.00"N	85° 5'59.00"W
15	UNITI TOWERS LLC	1316461	36° 59'15.30"N	85° 4'2.00"W
16	SBA INFRASTRUCTURES, LLC	1249806	36° 59'14.90"N	85° 4'3.00"W
17	CELLCO PARTNERSHIP	1259175	36° 59'34.10"N	84° 5'6'3.70"W
18	EAST KENTUCKY POWER COOPERATIVE, INC	1044511	36° 55'25.00"N	85° 6'22.00"W
19	SBA TOWERS III LLC	1261129	36° 55'30.60"N	85° 5'33.60"W
20	TILLMAN INFRASTRUCTURE, LLC	1321265	36° 55'26.20"N	85° 5'37.90"W
21	CELLCO PARTNERSHIP	1254846	36° 53'3.20"N	85° 6'5.40"W
22	US ARMY CORPS OF ENGINEERS	1289489	36° 51'48.80"N	85° 8'57.50"W
23	SBA TOWERS III LLC	1261117	36° 51'35.70"N	85° 9'37.10"W
NEW	APC TOWERS	TBD	36° 52'33.07"N	85° 09'26.37"W

PREPARED FOR:



8801 SIX FORKS RD
RALEIGH, NORTH CAROLINA 27615

PREPARED BY:



1961 NORTHPOINT BLVD, SUITE 130
HIXSON, TN 37343
PH: 423-843-9500
FAX: 423-843-9509

DRAWING NOTICE:

THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO THE CLIENT IS STRICTLY PROHIBITED.

DRAWN BY:

MDR

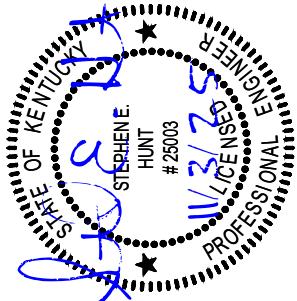
CHECKED BY:

DS

REVISIONS

0	11/03/25	JAE	ZONING ISSUE	
B	10/24/25	WAM	PRELIMINARY REVIEW	
A	10/16/25	MDR	PRELIMINARY REVIEW	
NO.	DATE	BY	DESCRIPTION	

ENGINEER'S STAMP:



NOT VALID WITHOUT P.E. STAMP & SIGNATURE

SITE NAME:

CK EAST LAKE CUMBERLAND

ADDRESS:

380 SWAN POND RD
JAMESTOWN, KY 42629

COUNTY:

RUSSELL

LATITUDE:

36° 52' 33.07" N

LONGITUDE:

85° 09' 26.37" W

SITE NUMBER:

KY-4076

SHEET TITLE:

TITLE SHEET

DRAWING NO.

ASR

REVISION:

0

PREPARED FOR:



8801 SIX FORKS RD
RALEIGH, NORTH CAROLINA 27615

PREPARED BY:



1961 NORTHPOINT BLVD, SUITE 130
HIXSON, TN 37343
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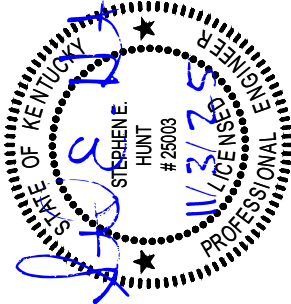
CHECKED BY:

DS

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NO.	DATE	BY	DESCRIPTION
0	11/03/25	JAE	ZONING ISSUE
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A	10/16/25	MDR	PRELIMINARY REVIEW

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SITE NAME:

CK EAST LAKE CUMBERLAND

ADDRESS:

380 SWAN POND RD
JAMESTOWN, KY 42629

COUNTY:

RUSSELL

LATITUDE:

36° 52' 33.07" N

LONGITUDE:

85° 09' 26.37" W

SITE NUMBER:

KY-4076

SHEET TITLE:

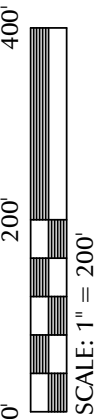
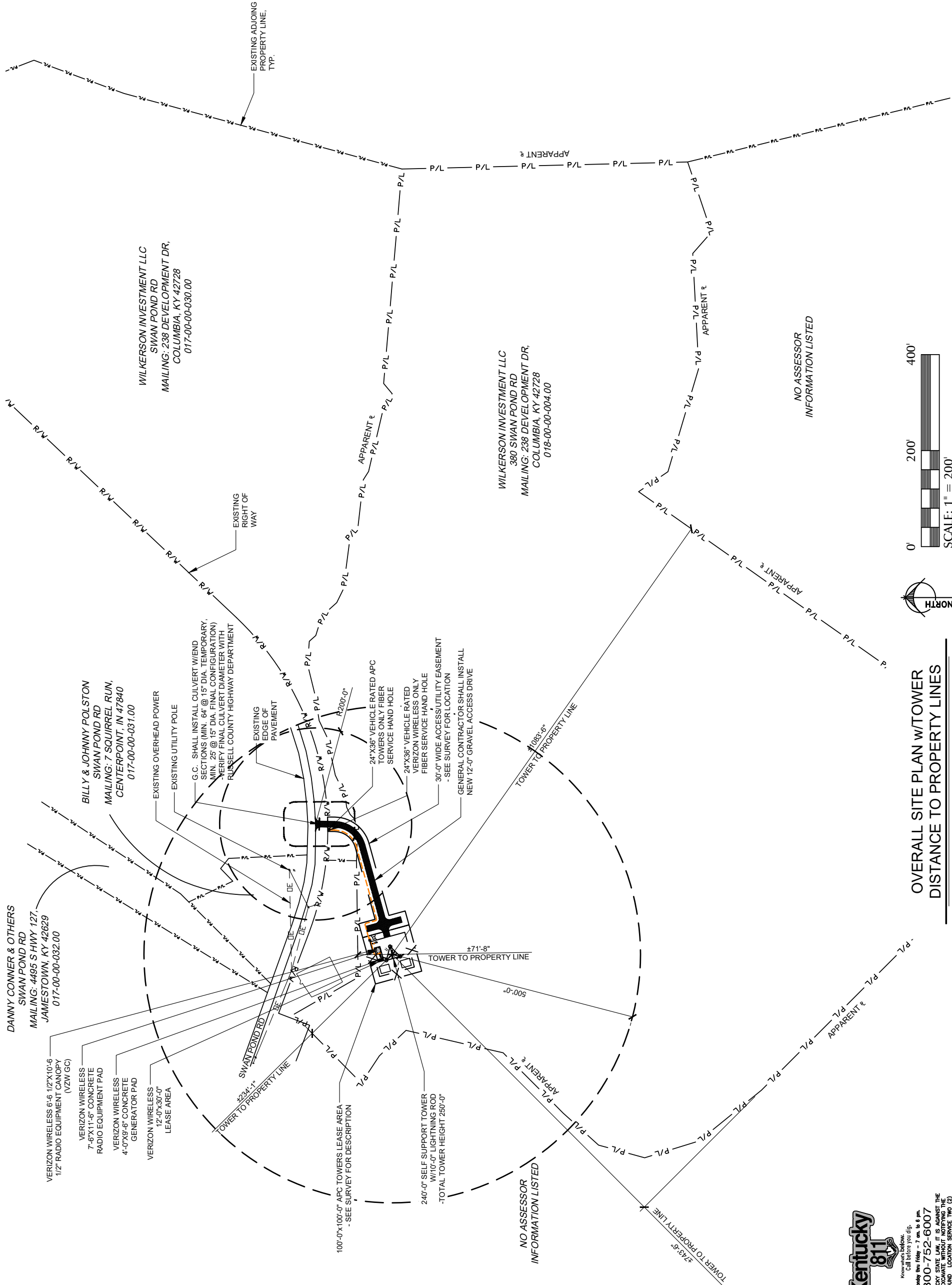
OVERALL SITE PLAN

DRAWING NO.

Z-2

REVISION:

0



OVERALL SITE PLAN w/TOWER
DISTANCE TO PROPERTY LINES



Call Monday thru Friday - 7 am. to 6 pm.
1-800-752-6007
PER KENTUCKY STATE LAW, IT IS AGAINST THE LAW TO EXCAVATE WITHOUT NOTIFYING THE KENTUCKY 811 SERVICE CENTER (800) 752-6007 BEFORE COMMENCING WORK.

PREPARED FOR:



8801 SIX FORKS RD
RALEIGH, NORTH CAROLINA 27615

PREPARED BY:



1961 NORTHPOINT BLVD, SUITE 130
HIXSON, TN 37343
PH: 423-843-9500
FAX: 423-843-9509

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MDR

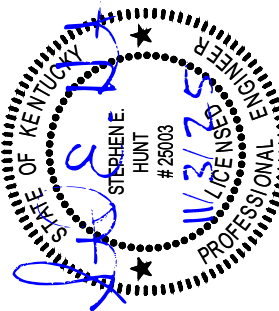
CHECKED BY:

DS

REVISIONS

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A	10/16/25	MDR	PRELIMINARY REVIEW

ENGINEER'S STAMP:



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SITE NAME:

CK EAST LAKE CUMBERLAND

ADDRESS:

380 SWAN POND RD
JAMESTOWN, KY 42629

COUNTY:

RUSSELL

LATITUDE:

36° 52' 33.07" N

LONGITUDE:

85° 09' 26.37" W

SITE NUMBER:

KY-4076

SHEET TITLE:

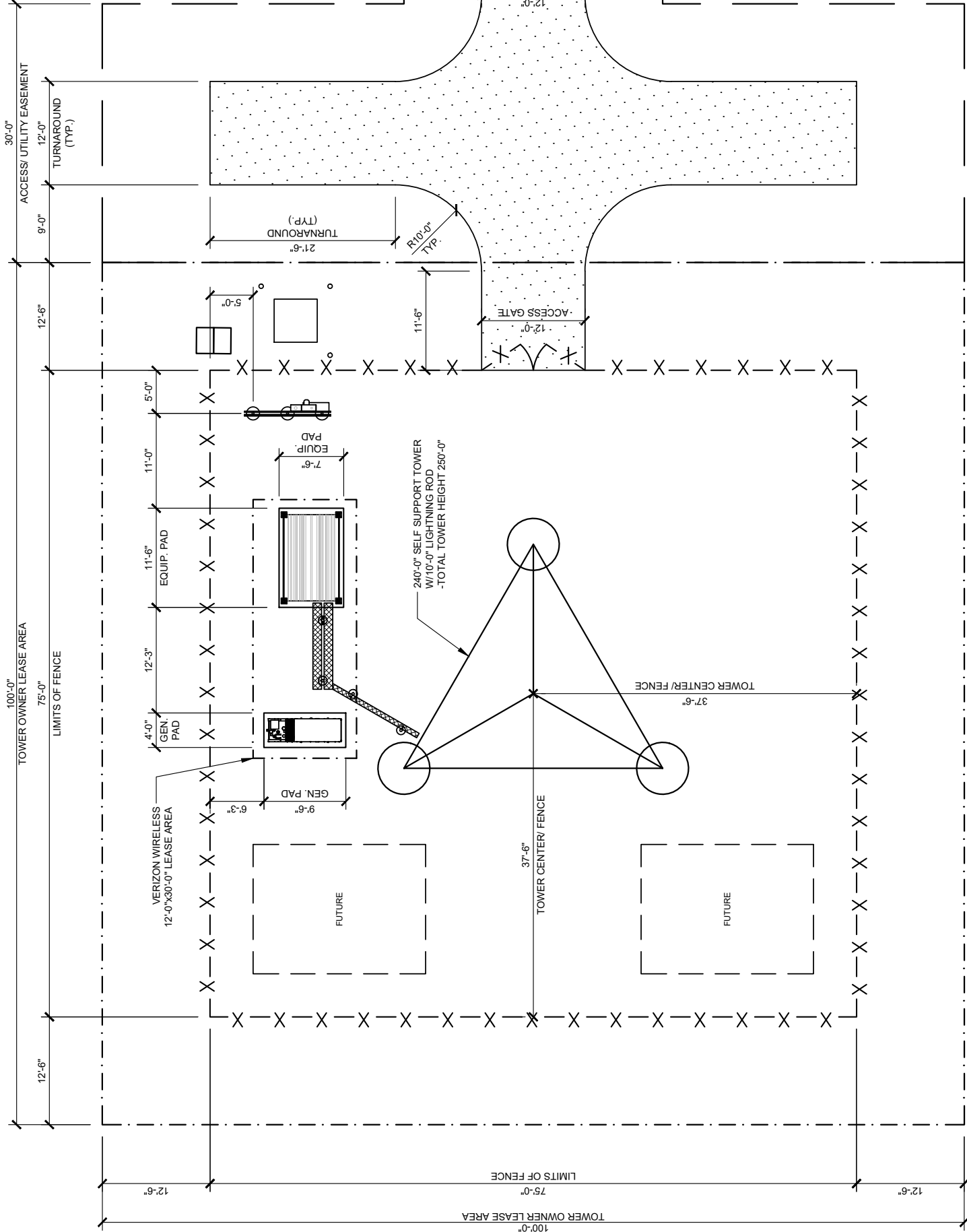
DIMENSIONED SITE PLAN

DRAWING NO.

Z-4

REVISION:

0



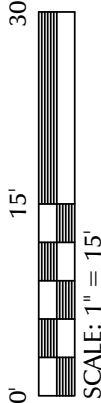
LEGEND

- IRON PIN
- DRAINAGE LINE
- SPOT ELEVATION
- GRAVEL COMPOUND
- CENTER LINE
- NEW FENCE LINE
- NEW SILT FENCE LINE
- POWER POLE/OVERHEAD ELEC./TELE.
- EDGE OF NEW DRIVE
- UNDERGROUND ELECTRICAL CONDUIT
- UNDERGROUND TELEPHONE CONDUIT
- EXISTING CONTOURS
- NEW CONTOURS
- NEW LEASE AREA AND EASEMENT

- FENCED COMPOUND
- CONCRETE
- ACCESS DRIVE



DIMENSIONED SITE PLAN



*NOTE:
GENERAL CONTRACTOR IS TO ENSURE
THERE IS NO DISTURBANCE OF
PROPERTY, SOIL, ETC. OUTSIDE OF THE
STAKED LEASE AREA WITHOUT
APPROVAL FROM VERIZON WIRELESS
CONSTRUCTION MANAGER

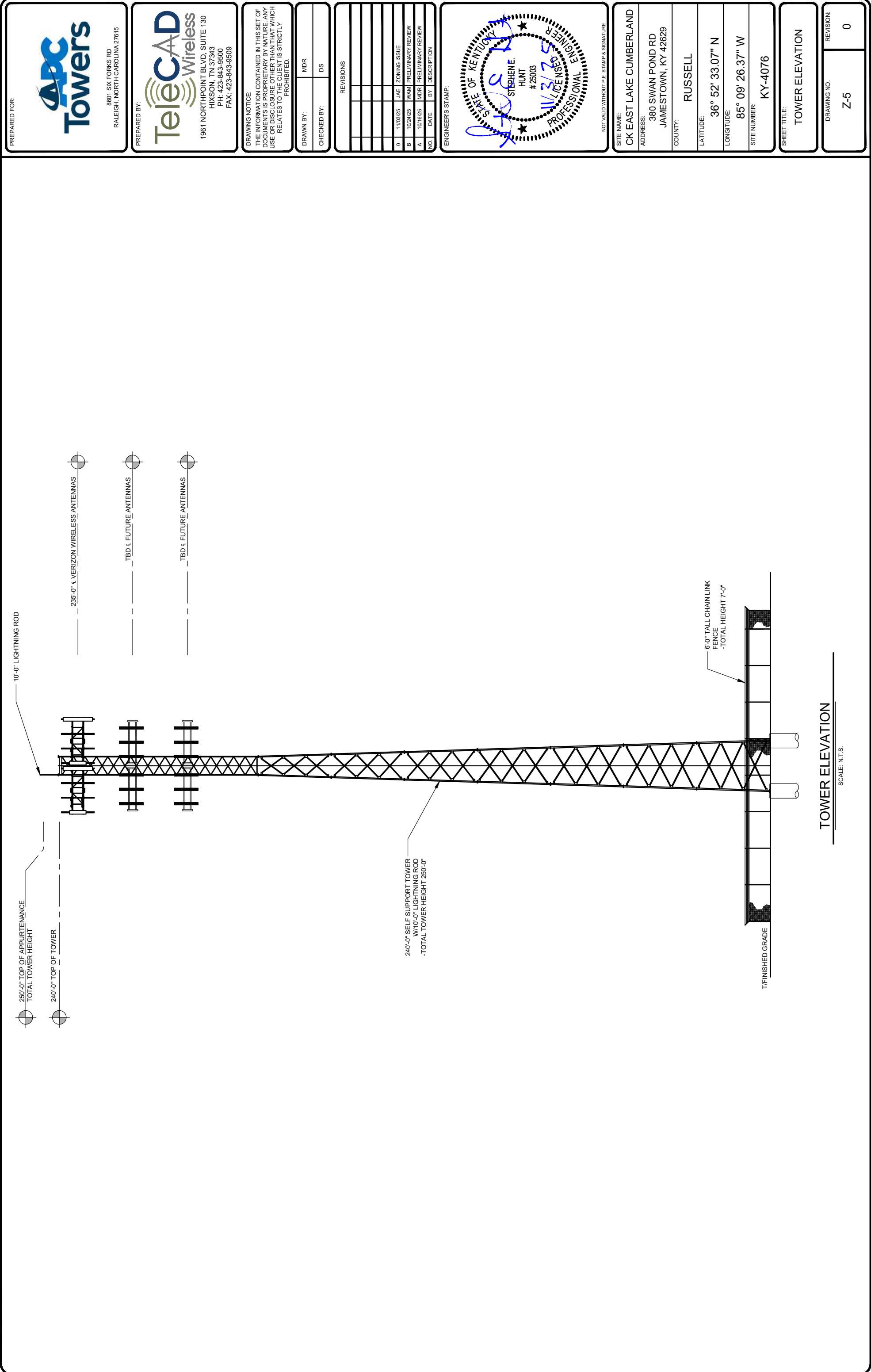


Know what's below.
Call before you dig.

Call Monday thru Friday -- 7 am. to 6 pm.

1-800-752-6007

PER KENTUCKY STATE LAW, IT IS AGAINST THE
LAW TO EXCAVATE WITHOUT NOTIFYING THE
COMMONWEALTH OF KENTUCKY (800) 752-6007
WORKING DAYS BEFORE COMMENCING WORK.



PREPARED FOR:



8801 SIX FORKS RD
RALEIGH, NORTH CAROLINA 27615

PREPARED BY:



1961 NORTHPOINT BLVD, SUITE 130
HIXSON, TN 37343
PH: 423-843-9500
FAX: 423-843-9509

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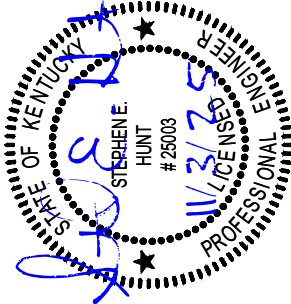
DRAWN BY: MDR

CHECKED BY: DS

REVISIONS

0	11/03/25	JAE	ZONING ISSUE		
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A	10/16/25	MDR	PRELIMINARY REVIEW		
NO.	DATE	BY	DESCRIPTION		

ENGINEER'S STAMP:



NOT VALID WITHOUT P.E. STAMP & SIGNATURE

SITE NAME:

CK EAST LAKE CUMBERLAND

ADDRESS:

380 SWAN POND RD
JAMESTOWN, KY 42629

COUNTY:

RUSSELL

LATITUDE:

36° 52' 33.07" N

LONGITUDE:

85° 09' 26.37" W

SITE NUMBER:

KY-4076

SHEET TITLE:

TOWER ELEVATION

TOWER ELEVATION

SCALE: N.T.S.

DRAWING NO.

Z-5

REVISION:

0

PREPARED FOR:



8801 SIX FORKS RD
RALEIGH, NORTH CAROLINA 27615

PREPARED BY:



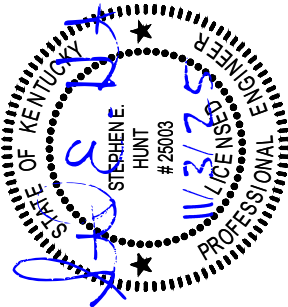
1961 NORTHPOINT BLVD, SUITE 130
HIXSON, TN 37343
PH: 423-843-9500
FAX: 423-843-9509

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DRAWN BY:	MDR
CHECKED BY:	DS

REVISIONS			
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A	10/16/25	MDR	PRELIMINARY REVIEW
NO.	DATE	BY	DESCRIPTION

ENGINEER'S STAMP:

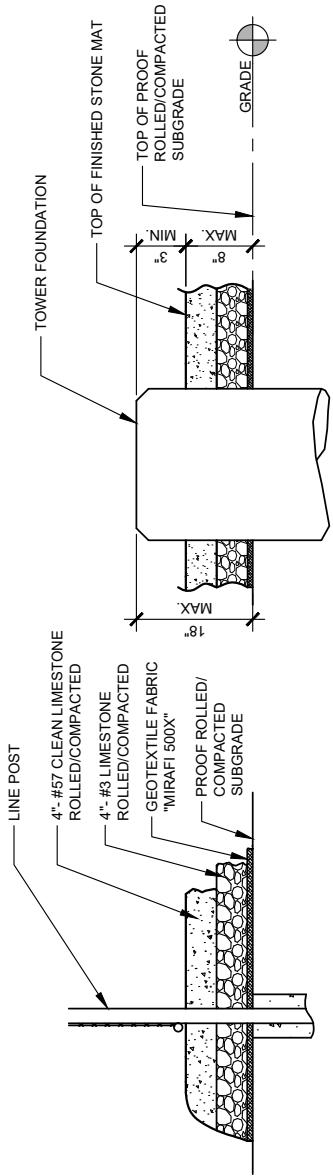


NOT VALID WITHOUT P.E. STAMP & SIGNATURE

SITE NAME:	CK EAST LAKE CUMBERLAND
ADDRESS:	380 SWAN POND RD JAMESTOWN, KY 42629
COUNTY:	RUSSELL
LATITUDE:	36° 52' 33.07" N
LONGITUDE:	85° 09' 26.37" W
SITE NUMBER:	KY-4076

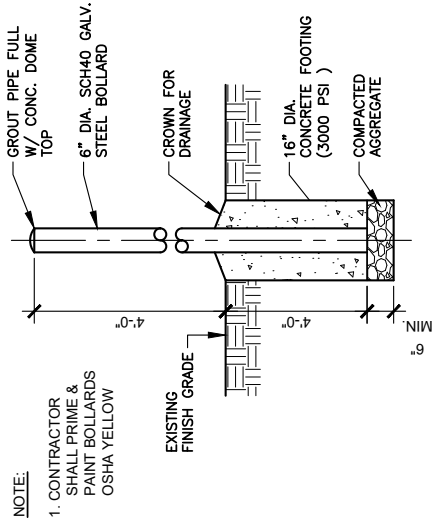
SHEET TITLE:	SITE DETAILS
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DRAWING NO.	Z-6
REVISION:	0



PARTIAL COMPOUND SECTION

SCALE: N.T.S.

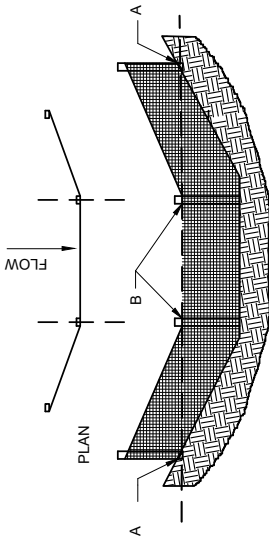
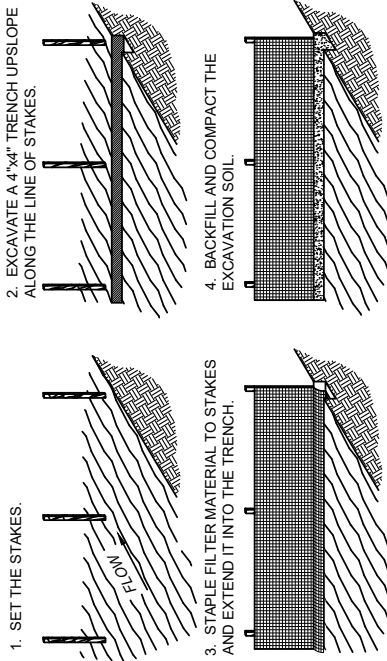


NOTE:

- CONTRACTOR SHALL PRIME & PAINT BOLLARDS OSHA YELLOW

BOLLARD DETAIL

SCALE: N.T.S.



SILT FENCE DETAIL

SCALE: N.T.S.

PREPARED FOR:



8801 SIX FORKS RD
RALEIGH, NORTH CAROLINA 27615

PREPARED BY:



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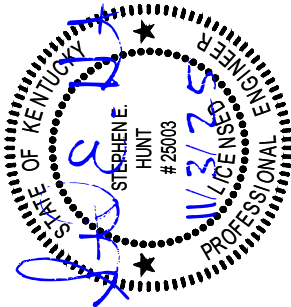
DRAWN BY: MDR

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REVISIONS

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SITE NAME:

CK EAST LAKE CUMBERLAND

ADDRESS:

380 SWAN POND RD
JAMESTOWN, KY 42629

COUNTY:

RUSSELL

LATITUDE:

36° 52' 33.07" N

LONGITUDE:

85° 09' 26.37" W

SITE NUMBER:

KY-4076

SHEET TITLE:

FENCE DETAILS
AND NOTES

DRAWING NO.

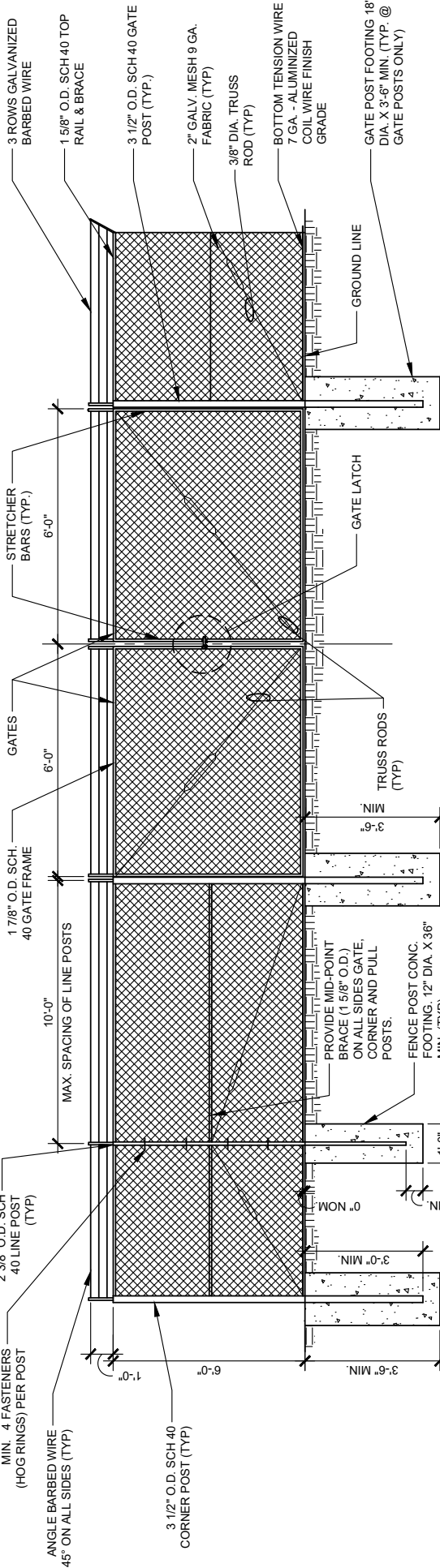
Z-7

REVISION:

0

CHAIN LINK FENCING NOTES

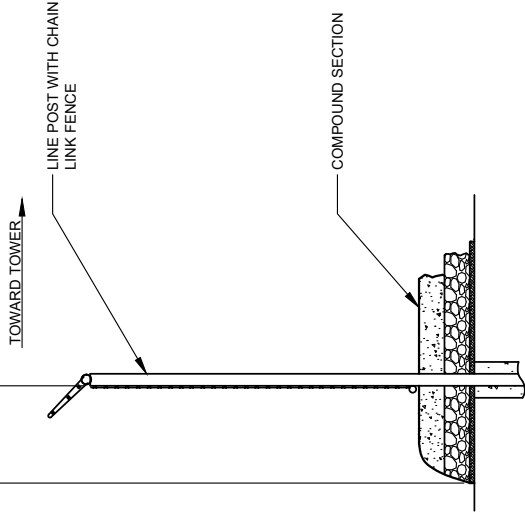
- ALL FENCE AND FABRIC SHALL BE HOT DIPPED GALVANIZED WITH A MINIMUM OF 2 OZ. PER SQUARE FOOT; 9 GAUGE WIRE (MIN. BREAKING STRENGTH OF 1,290 LBS) WITH 2" MESH. ALL BARBED WIRE SHALL BE ALUMINUM OR COATED PER NOTE #4.
- BOTTOM EDGE OF FENCE FABRIC SHALL EXTEND TO FINISHED GRADE.
- SITE FENCE SHALL BE 6'-0" FABRIC W/ 3 STRAND BARBED WIRE FOR TOTAL HEIGHT OF 7'-0".
- BARBED WIRE SHALL MEET ASTM A 121, CLASS 3 GALV. OR ASTM A 585, TYPE 1, CLASS 2 COATING (NOT LESS THAN 0.8 OZ. PER SQ. FT.) AND SHALL BE THREE STRAND 12.5 GAGE w/4 POINT BARBS AT 5" O/C.
- BOTTOM OF CONCRETE BASE SHALL BE SET BELOW FROSTLINE (SEE LOCAL CODE), WHERE SOIL BEARING CAPACITY IS LESS THAN 2000 PSF, INCREASE CONCRETE SURROUNDING FENCE POST FOUNDATION DIAMETERS BY 8". PROVIDE CONCRETE WITH A 28 DAY STRENGTH OF 3000 PSI (MIN.).
- PROVIDE A DIAGONAL BRACE ROD AND TURN BUCKLE ON BOTH GATE LEAFS.
- ALL RAILS AND BRACES SHALL BE SCHEDULE 40 STEEL PIPE, AND ALL FENCE POSTS SHALL BE SCHEDULE 40 STEEL PIPE, AND BE 2 OZ. GALVANIZED COATED.
- CONTRACTOR SHALL ENSURE ALL POSTS ARE PLUMB.
- ALL FENCE SHALL BE FABRICATED AND INSTALLED PER ASTM F2611-15, ASTM F567-14a AND CHAIN LINK FENCE MANUFACTURES INSTITUTE CLFM-PM 2445.
- CONTRACTOR SHALL FURNISH AND INSTALL ONE (1) MASTER LOCK LONG SHANK #175LH COMBINATION PADLOCK. COMBINATION TO BE SET AT 7011.



CHAIN LINK FENCE & POST DETAIL

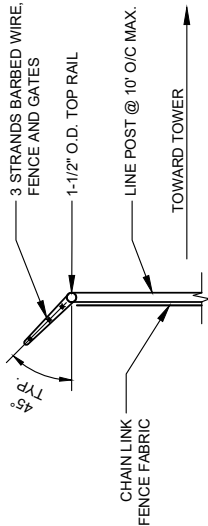
SCALE: N.T.S.

12" (UNLESS NOTED OTHERWISE)



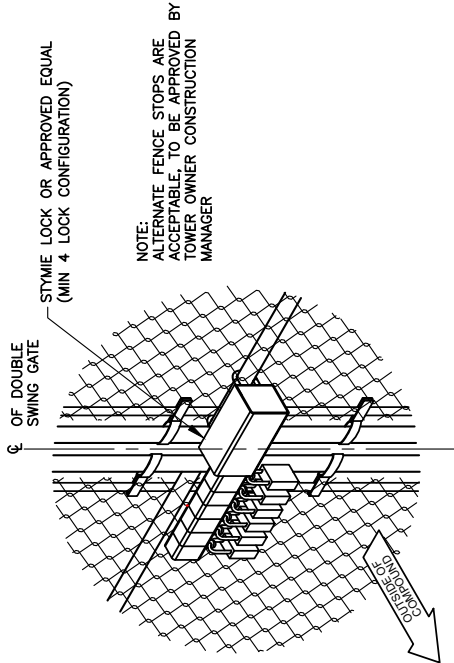
SITE AREA SURFACING

SCALE: N.T.S.



TYPICAL BARBED WIRE DETAIL

SCALE: N.T.S.



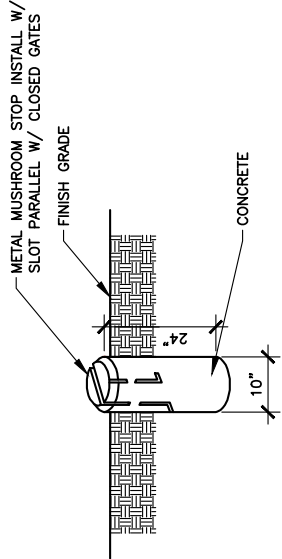
NOTE:
ALTERNATE FENCE STOPS ARE
ACCEPTABLE, TO BE APPROVED BY
TOWER OWNER CONSTRUCTION
MANAGER

GATE LOCK DETAIL

SCALE: N.T.S.

MUSHROOM STOP DETAIL

SCALE: N.T.S.

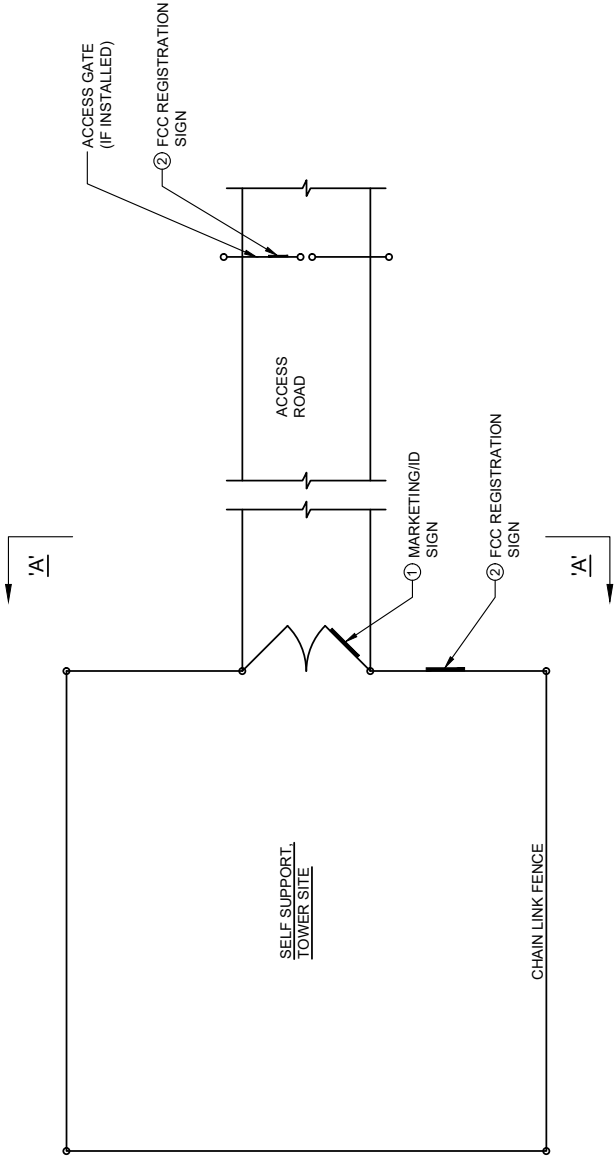


MUSHROOM STOP DETAIL

SCALE: N.T.S.

NOTES:

VERIZON WIRELESS SITE ID SIGN, REF SIGNS, NOC INFORMATION SIGN AND ALL OTHER SIGNAGE NOT REFERENCED IN THIS DRAWING WILL BE FURNISHED AND INSTALLED BY VERIZON WIRELESS PERSONELL PER VERIZON WIRELESS RFC SIGNAGE & DEMARCATION POLICY.



TYPICAL SITE FENCE SIGNAGE PLAN

SCALE: N. T. S.



SITE NUMBER: KY-4076

SITE NAME: CK EAST LAKE CUMBERLAND

SITE ADDRESS: 380 SWAN POND RD

FCC ASR: TBD

JAMESTOWN, KY 42629

NOC/LEASING/EMERGENCY CONTACT

Log in before entering
(800) 640-1379
www.apctowers.com

PRIVATE PROPERTY- NO TRESPASSING

WHITE BACKGROUND
w/BLACK LETTERING

MARKETING/ID SIGN

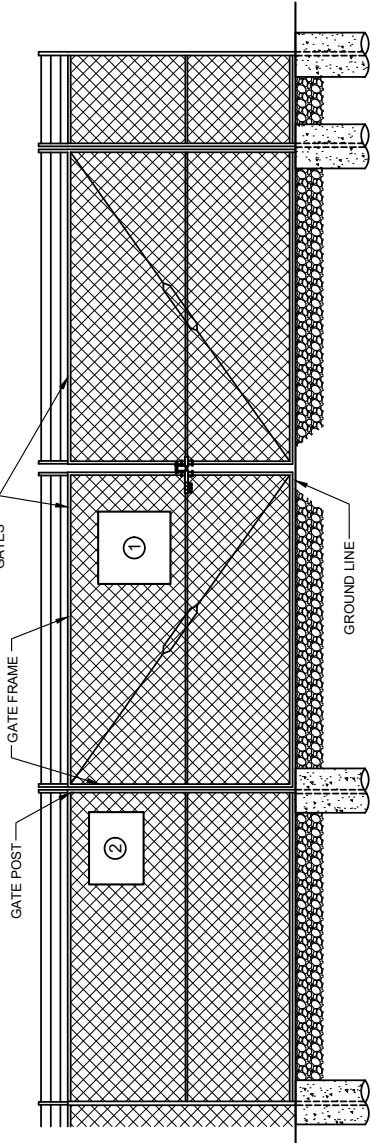
24" WIDE x 32" HIGH

FCC ANTENNA
STRUCTURE
REGISTRATION

WHITE BACKGROUND
w/BLACK LETTERING

FCC REGISTRATION SIGN

24" WIDE x 18" HIGH



ELEVATION "A-A"

SCALE: N. T. S.

PREPARED FOR:



8801 SIX FORKS RD
RALEIGH, NORTH CAROLINA 27615

PREPARED BY:



1961 NORTHPOINT BLVD, SUITE 130
HIXSON, TN 37343
PH: 423-843-9500
FAX: 423-843-9509

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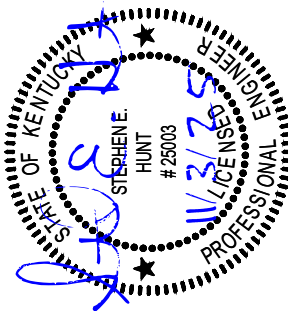
DRAWN BY: MDR

CHECKED BY: DS

REVISIONS

0	11/03/25	JAE	ZONING ISSUE	
B	10/24/25	WAM	PRELIMINARY REVIEW	
A	10/16/25	MDR	PRELIMINARY REVIEW	
NO.	DATE	BY	DESCRIPTION	

ENGINEER'S STAMP:



NOT VALID WITHOUT P.E. STAMP & SIGNATURE

SITE NAME:	CK EAST LAKE CUMBERLAND
ADDRESS:	380 SWAN POND RD JAMESTOWN, KY 42629
COUNTY:	RUSSELL
LATITUDE:	36° 52' 33.07" N
LONGITUDE:	85° 09' 26.37" W
SITE NUMBER:	KY-4076

SHEET TITLE:

TOWER OWNER SIGNAGE

DRAWING NO.	REVISION:
Z-8	0



(918) 587-4630

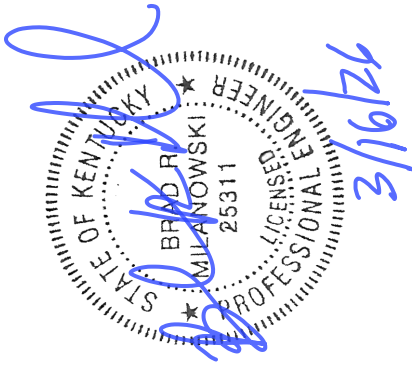


8601 SIX FORKS RD., STE. 250, RALEIGH, NC

ISSUED FOR:

COA: 4011

EXPIRES: 12/31/2026



IT IS A VIOLATION OF LAW FOR ANY PERSON UNLESS
THEY ARE ACTING UNDER THE DIRECTIONS OF A
LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS
DOCUMENT

PROJECT INFORMATION:

PROJECT NO: 26-000551
SITE NAME: EAST LAKE CUMBERLAND
SITE NO: KY-4076
CLIENT NAME: APC TOWERS IV, LLC

DRAWN BY: CLINT COODY
CHECKED BY: JL

SHEET TITLE:

DRILLED PIER FOUNDATION

SHEET NUMBER:

REVISION:

SST-DPF

NOTES:

1. REINFORCEMENT STEEL SHALL CONFIRM TO THE REQUIREMENT OF ASTM A-615 (GRADE 60) EXCEPT THAT TIES MAY BE ASTM-615 (GRADE 40) WITH MINIMUM CLEAR COVER.
2. REINFORCEMENT STEEL SHALL BE DETAILED, FABRICATED, BENT, AND PLACED IN ACCORDANCE WITH THE CRSI MANUAL OF STANDARD PRACTICE AND THE ACI 315 (LATEST EDITION).
3. THE CONTRACTOR SHALL THOROUGHLY REVIEW THE GEOTECH REPORT FOR THIS PROJECT AND FOLLOW THE RECOMMENDATIONS IN THAT REPORT WHEN CONSTRUCTING THE FOUNDATION.
GEOTECHNICAL PROPERTIES BY: ENGINEERED TOWER SOLUTIONS, PLLC
PROJECT NUMBER: 25141626
DATE: DECEMBER 2, 2025
4. THIS FOUNDATION HAS BEEN DESIGNED, IN ACCORDANCE WITH THE TIA 222-H STANDARD, SPECIFICALLY FOR THE TOWER AND SOIL CONDITION REFERENCED ABOVE. IF ANYTHING DIFFERS THIS DESIGN SHALL BE CONSIDERED INVALID AND MUST BE REDESIGNED PRIOR TO CONSTRUCTION.
5. TOTAL CONCRETE VOLUME FOR ALL (3) PIERS IN CUBIC YARDS: 21.6
6. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS.
7. CONCRETE MIXTURES SHALL MEET DURABILITY REQUIREMENTS OF CHAPTER 19 OF THE ACI 318-14
8. ALL CONCRETE TESTING SHALL BE IN ACCORDANCE WITH ACI 318-14. A MINIMUM OF (2) 6"x12" OR (3) 4"x8" CONCRETE CYLINDERS PER INDIVIDUAL FOUNDATION AND A MINIMUM OF (6) 6"x12" OR (6) 4"x8" CYLINDERS PER BATCH REQUIRED.
9. SLUMP TEST SHALL BE MADE IN ACCORDANCE WITH ASTM C143. THE ALLOWABLE CONCRETE SLUMP SHALL BE 4 INCHES (±1") UNLESS ADMIXTURES ARE USED. ADMIXTURE SHALL BE IN ACCORDANCE WITH ASTM C494 STANDARD TYPES A, B, C, D OR E. THE ENGINEER SHALL PRE-APPROVE SUPER PLASTICIZER USE. DO NOT USE CHLORIDE-CONTAINING ADMIXTURES. AIR ENTRAINING ADMIXTURES SHALL CONFORM TO ASTM C260.
10. BACKFILL MATERIAL SHALL BE COMPACTED TO A MINIMUM UNIT WEIGHT SPECIFIED IN GEOTECH REPORT. THE SOIL SHALL BE INSTALLED IN 6" TO 8" LIFTS AND COMPACTED THOROUGHLY TO ACHIEVE APPROPRIATE UNIT WEIGHT UNLESS GEOTECH SPECIFIES OTHER COMPACTION REQUIREMENTS. VERIFY ALL DIMENSIONS AGAINST MANUFACTURER'S DRAWINGS.

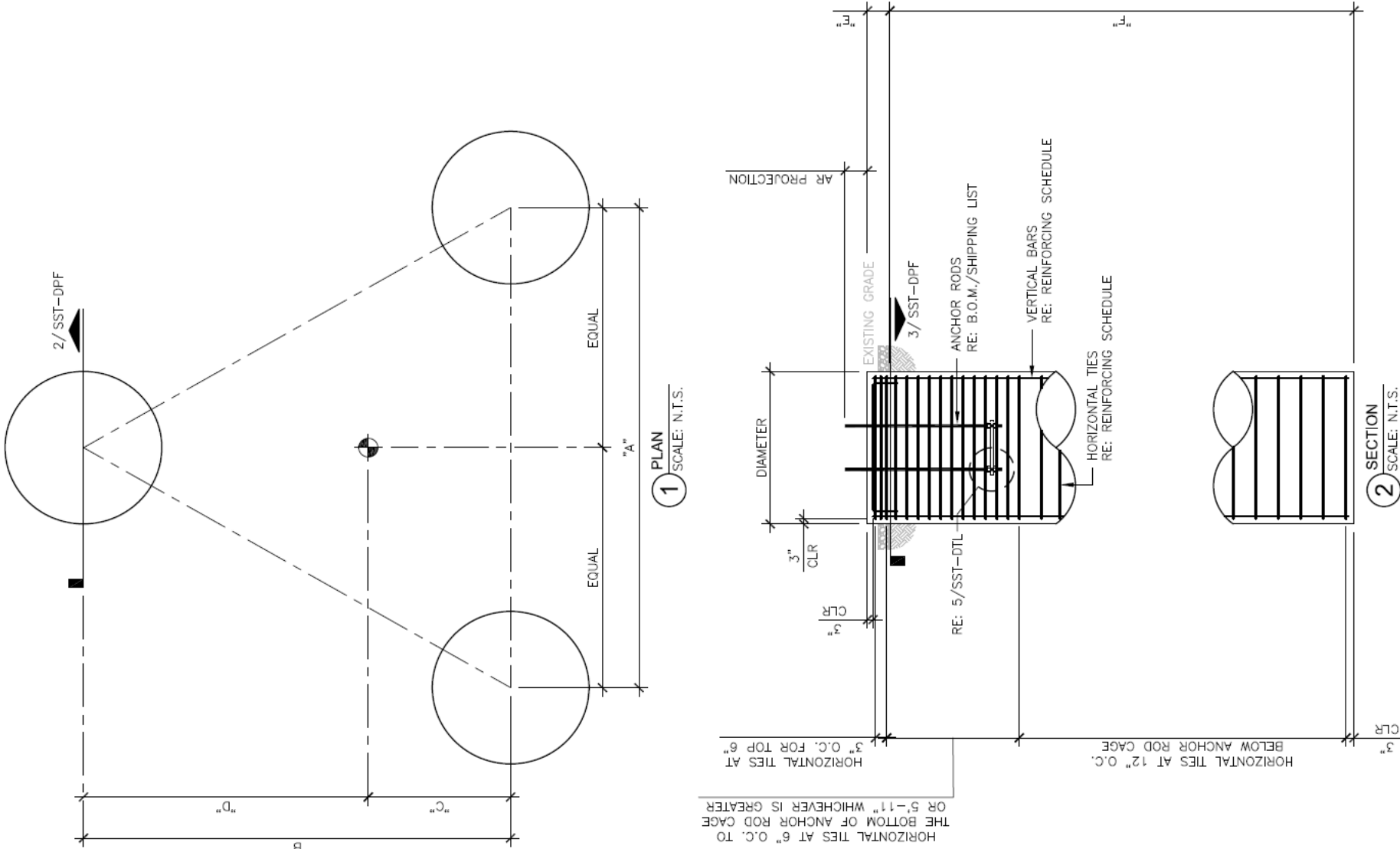
STIPULATION FOR REUSE:

1. THIS DRAWING WAS SPECIFICALLY DESIGNED FOR USE BY THE CUSTOMER ON THIS DRAWING AT THE SPECIFIED LOCATION. USE OF THIS DRAWING FOR ANY OTHER PROJECT OR FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF THE ENGINEER OF RECORD IS PROHIBITED. THE ENGINEER OF RECORD ASSUMES NO LIABILITY FOR ANY DAMAGE, LOSS, OR INJURY RESULTING FROM THE USE OF THIS DRAWING FOR ANY OTHER PROJECT OR FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF THE ENGINEER OF RECORD.

DIMENSIONING SCHEDULE	
A	22' 6"
B	19' 5 13/16"
C	6' 5 15/16"
D	12' 11 7/8"
E	0' 6"
F	27' 0"
MIN. OVERLAP	"G"
DIAMETER	3' 0"
AR PROJECTION	REF TO MFG

REINFORCING SCHEDULE	SIZE	TOTAL QTY
VERTICAL BARS	# 8	30
HORIZONTAL TIES	# 4	105
U-BAR HORIZONTAL	# 4	12

GLOBAL REACTIONS		
MOMENT	7579	KIP-FT
AXIAL	68	KIPS
SHEAR	52	KIPS
REACTIONS PER LEG		
COMPRESSION AXIAL	412	KIPS
COMPRESSION SHEAR	31	KIPS
UPLIFT AXIAL	352	KIPS
UPLIFT SHEAR	28	KIPS





1717 S BOULDER AVE #300, TULSA, OK 74119
(918) 587-4630

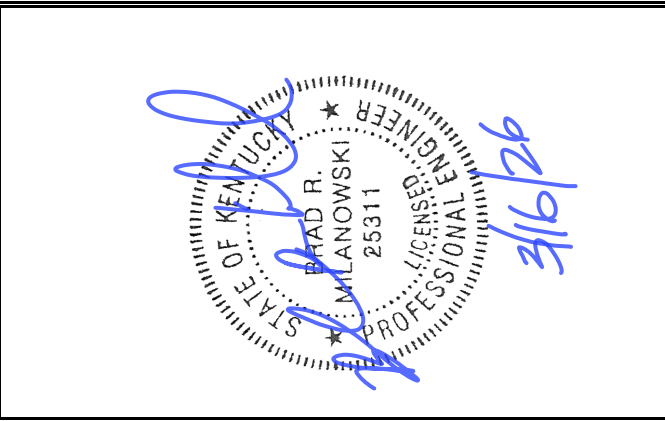


8601 SIX FORKS RD., STE. 250, RALEIGH, NC

ISSUED FOR:		
REV	DATE	DESCRIPTION
0	03/16/26	ISSUED FOR CONSTRUCTION

COA: 4011
EXPIRES: 12/31/2026

COA: 4011
EXPIRES: 12/31/2026



IT IS A VIOLATION OF LAW FOR ANY PERSON UNLESS
THEY ARE ACTING UNDER THE DIRECTIONS OF A
LICENSES PROFESSIONAL ENGINEER, TO ALTER THIS
DOCUMENT

PROJECT INFORMATION:

PROJECT NO: 26-00051
SITE NAME: EAST LAKE CUMBERLAND
SITE NO: KY-4076
CLIENT NAME: APC TOWERS IV, LLC

DRAWN BY: CLINT COODY
CHECKED BY: JL

PROJECT INFORMATION:

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CHECKED BY: JL

SHEET TITLE:
DIMENSIONING DETAIL

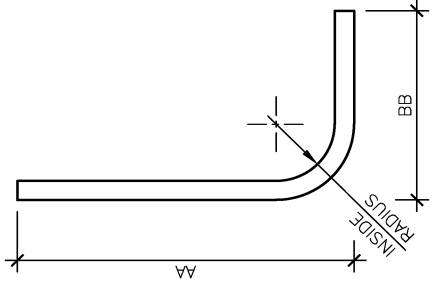
SHEET TITLE:
DIMENSIONING DETAIL

SHEET NUMBER: SST-DTL	REVISION: 0
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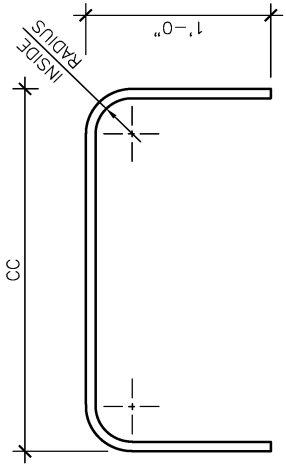
SHEET NUMBER: SST-DTL	REVISION: 0
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DIMENSIONING SCHEDULE	
CC*	2' 4-5/16"

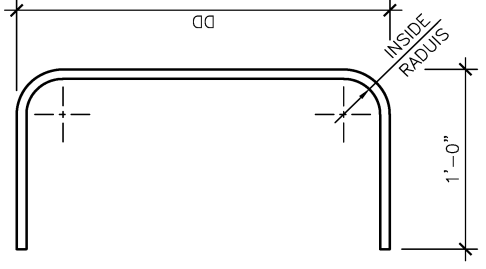
***NOTE: CONTRACTOR TO VERIFY DIMENSIONS PRIOR TO FABRICATION**



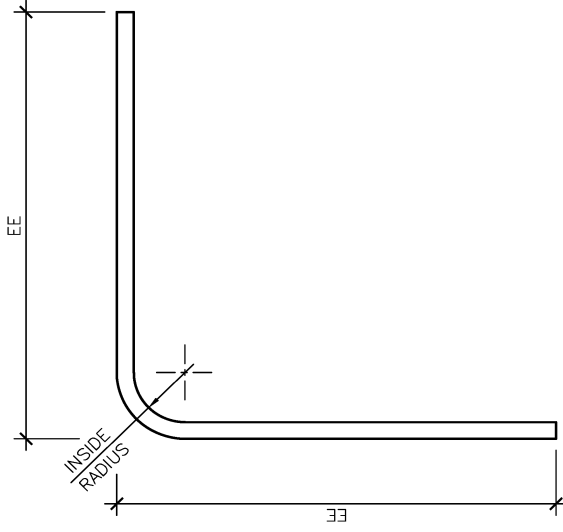
① L-BAR
SCALE: N.T.S.



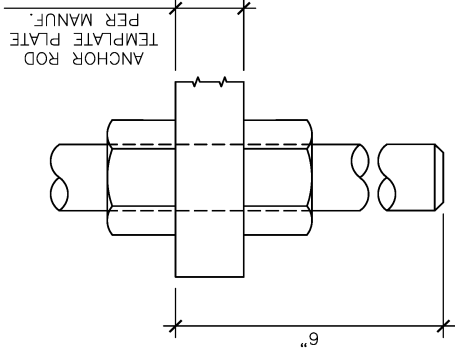
2 HORIZONTAL U-BAR
SCALE: N.T.S.



3 VERTICAL U-BAR
SCALE: N.T.S.



4 CORNER BAR
SCALE: N.T.S.



5 ANCHOR ROD DETAIL
SCALE: N.T.S.

Drilled Pier Foundation

BT # :	26-000551
Site Name:	East Lake Cumberland
Site Number:	KY-4076
TIA-222 Revision:	H
Tower Type:	Self Support

Applied Loads		
	Comp.	Uplift
Moment (kip-ft)		
Axial Force (kips)	412	352
Shear Force (kips)	31	28

Material Properties	
Concrete Strength, f'c:	4 ksi
Rebar Strength, Fy:	60 ksi
Tie Yield Strength, Fyt:	40 ksi

Pier Design Data	
Depth	27 ft
Ext. Above Grade	0.5 ft
Pier Section 1	
From 0.5' above grade to 27' below grade	
Pier Diameter	3 ft
Rebar Quantity	10
Rebar Size	8
Clear Cover to Ties	3 in
Tie Size	4
Tie Spacing	12 in

[Rebar & Pier Options](#)

[Embedded Pole Inputs](#)

[Belled Pier Inputs](#)

BT # :

Site Name:

Site Number:

TIA-222 Revision:

Tower Type:

Analysis Results

Soil Lateral Check	Compression	Uplift
D _{vc0} (ft from TOC)	11.72	11.72
Soil Safety Factor	63.66	70.48
Max Moment (kip-ft)	234.85	212.12
Rating	2.1%	1.9%

Soil Vertical Check	Compression	Uplift
Skin Friction (kips)	339.29	339.29
End Bearing (kips)	232.60	-
Weight of Concrete (kips)	34.99	26.24
Total Capacity (kips)	571.89	365.53
Axial (kips)	446.99	352.00
Rating	78.2%	96.3%

Reinforced Concrete Flexure	Compression	Uplift
Critical Depth (ft from TOC)	12.32	7.98
Critical Moment (kip-ft)	234.16	188.30
Critical Moment Capacity	760.87	216.11
Rating	30.8%	87.1%

Reinforced Concrete Shear	Compression	Uplift
Critical Depth (ft from TOC)	19.61	0.00
Critical Shear (kip)	29.76	28.00
Critical Shear Capacity	206.10	54.34
Rating	14.4%	51.5%

Structural Foundation Rating	87.1%
Soil Interaction Rating	96.3%

Soil Profile

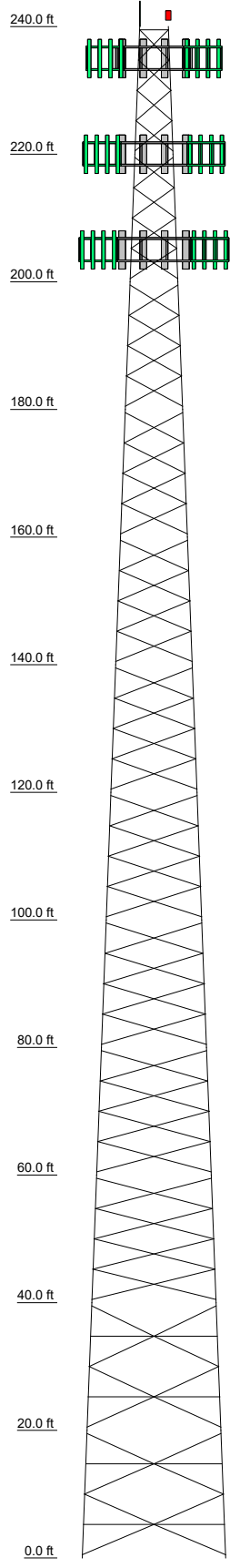
# of Layers	3
-------------	---

Layer	Top (ft)	Bottom (ft)	Thickness (ft)	γ _{soil} (pcf)	γ _{concrete} (pcf)	Cohesion (ksf)	Angle of Friction (degrees)	Calculated Ultimate Skin Friction Comp (ksf)	Calculated Ultimate Skin Friction Uplift (ksf)	Ultimate Skin Friction Comp Override (ksf)	Ultimate Skin Friction Uplift Override (ksf)	Ult. Net Bearing Capacity (ksf)	SPT Blow Count	Soil Type
1	0	1	1	105	150	0	0	0.000	0.000	0.00	0.00			Cohesionless
2	1	3	2	145	150	0	0	0.000	0.000	0.00	0.00			Cohesionless
3	3	27	24	145	150	10	0	4.500	4.500	2.00	2.00	40		Cohesive

Check Limitation	
Apply TIA-222-H Section 15.5:	☐
N/A	☐
Design Options	
Input Effective Depths (else Actual):	☐
Consider non-tapered moment capacity:	☐
Check Shear along Depth of Pier:	☒
Utilize Shear-Friction Methodology:	☐
Override Critical Depth:	☐

[Go to Soil Calculations](#)

Section	T1	T2	T3	T4	T5	T6	T7	T8	T9	T10	T11	T12	
Legs	SR 1 3/4	SR 2 1/4	SR 2 1/2	SR 2 3/4	SR 3	SR 3 1/4	SR 3 1/2	SR 3 3/4	SR 3 3/4	SR 4			
Leg Grade	L1 3/4x1 3/4x3/16												
Diagonals	L2x2x3/16												
Diagonal Grade	A529-50												
Top Girts	L2 1/2x2 1/2x3/16												
Horizontals	A36M-50												
Inner Bracing	N.A.												
Face Width (ft)	N.A.												
# Panels @ (ft)	N.A.												
Weight (K)	N.A.												



DESIGNED APPURTENANCE LOADING

TYPE	ELEVATION	TYPE	ELEVATION
4' Lightning Rod	240	Sector2(CaAa=10000 Sq.in)No Ice (Carrier 2)	220
Top Beacon	240	Sector3(CaAa=10000 Sq.in)No Ice (Carrier 2)	220
Sector1(CaAa=14000 Sq.in)No Ice (Carrier 1)	235	Sector1(CaAa=10000 Sq.in)No Ice (Carrier 3)	205
Sector2(CaAa=14000 Sq.in)No Ice (Carrier 1)	235	Sector2(CaAa=10000 Sq.in)No Ice (Carrier 3)	205
Sector3(CaAa=14000 Sq.in)No Ice (Carrier 1)	235	Sector3(CaAa=10000 Sq.in)No Ice (Carrier 3)	205
Sector1(CaAa=10000 Sq.in)No Ice (Carrier 2)	220		

MATERIAL STRENGTH

GRADE	Fy	Fu	GRADE	Fy	Fu
A529-50	50 ksi	65 ksi	A36M-50	50 ksi	65 ksi

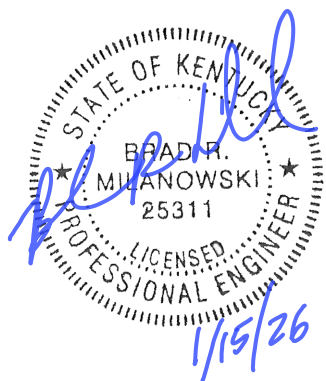
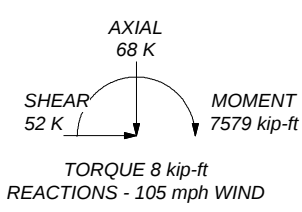
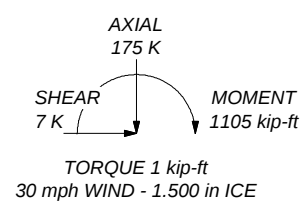
TOWER DESIGN NOTES

1. Tower is located in Russell County, Kentucky.
2. Tower designed for Exposure C to the TIA-222-H Standard.
3. Tower designed for a 105 mph basic wind in accordance with the TIA-222-H Standard.
4. Tower is also designed for a 30 mph basic wind with 1.50 in ice. Ice is considered to increase in thickness with height.
5. Deflections are based upon a 60 mph wind.
6. Tower Risk Category II.
7. Topographic Category 1 with Crest Height of 0.000 ft
8. Please see feedline plan for proper feedline placement. Deviation from plan may reduce tower capacity.

ALL REACTIONS
ARE FACTORED

MAX. CORNER REACTIONS AT BASE:
DOWN: 412 K
SHEAR: 31 K

UPLIFT: -352 K
SHEAR: 28 K

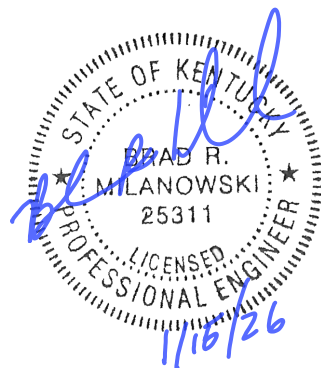
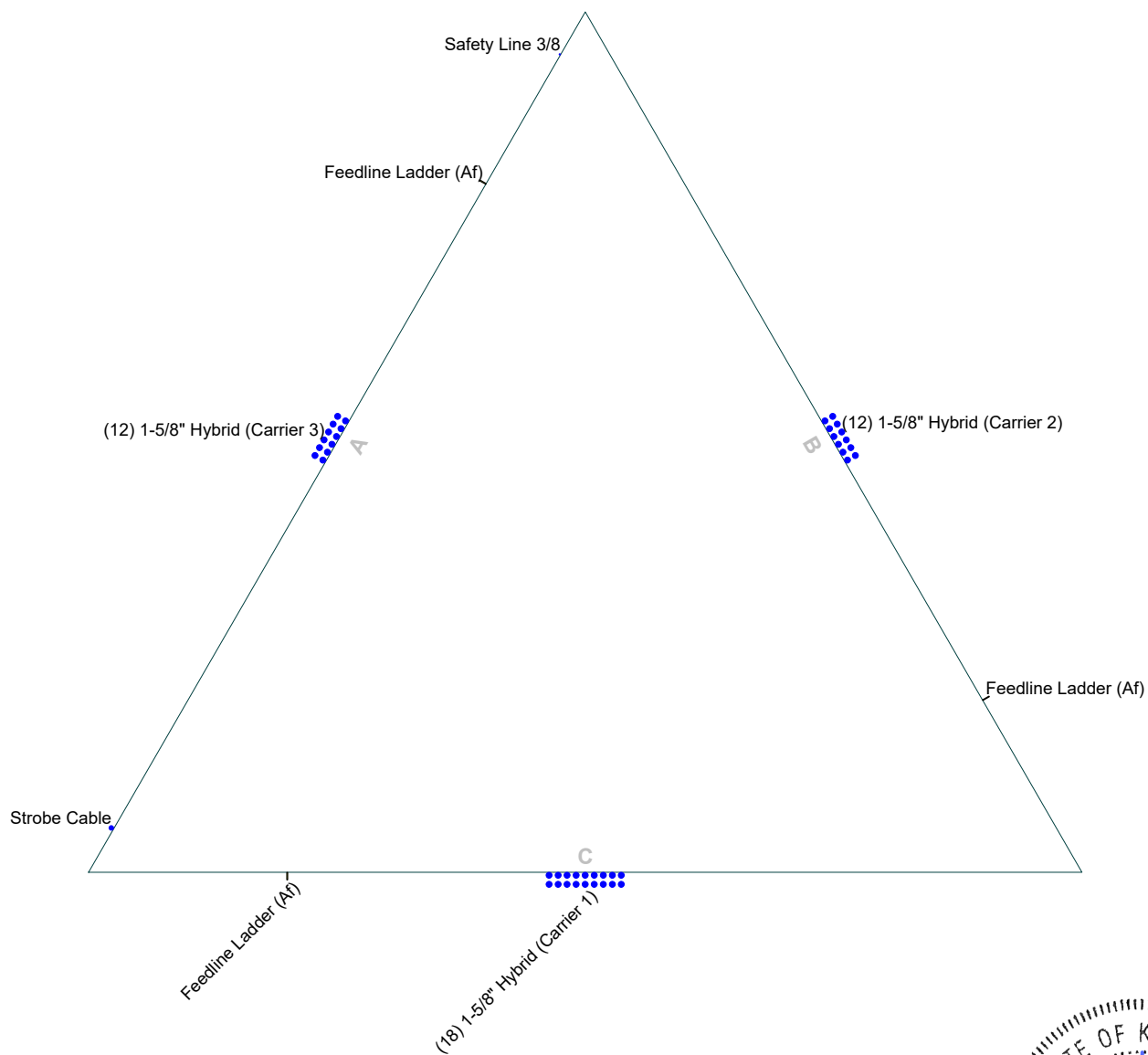


B+T Group
1717 S Boulder Ave, Suite 300
Tulsa, OK 74119
Phone: (918) 587-4630
FAX: (918) 295-0265

Job: ATS#: C163 - East Lake Cumberland (Site# KY-4076)		
Project: 240' SST/36.875853, -85.157324		
Client: APC Towers	Drawn by: aashwood	App'd:
Code: TIA-222-H	Date: 01/15/26	Scale: NTS
Path:		Dwg No. E-1

Feed Line Plan

Round Flat App In Face App Out Face



ARCOSA
TELECOM STRUCTURES



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Tulsa, OK 74119
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Project: 240' SST/36.875853, -85.157324		
Client: APC Towers	Drawn by: aashwood	App'd:
Code: TIA-222-H	Date: 01/15/26	Scale: NTS
Path:	Dwg No. E-7	

tnxTower B+T Group 1717 S Boulder Ave, Suite 300 Tulsa, OK 74119 Phone: (918) 587-4630 FAX: (918) 295-0265	Job AT# #: C163 - East Lake Cumberland (Site# KY-4076)	Page 1 of 31
	Project 240' SST/36.875853, -85.157324	Date 14:18:16 01/15/26
	Client APC Towers	Designed by aashwood

Tower Input Data

The main tower is a 3x free standing tower with an overall height of 240.000 ft above the ground line.

The base of the tower is set at an elevation of 0.000 ft above the ground line.

The face width of the tower is 4.500 ft at the top and 22.500 ft at the base.

This tower is designed using the TIA-222-H standard.

The following design criteria apply:

Tower is located in Russell County, Kentucky.

Tower base elevation above sea level: 601.000 ft.

Basic wind speed of 105 mph.

Risk Category II.

Exposure Category C.

Simplified Topographic Factor Procedure for wind speed-up calculations is used.

Topographic Category: 1.

Crest Height: 0.000 ft.

Nominal ice thickness of 1.500 in.

Ice thickness is considered to increase with height.

Ice density of 56.000 pcf.

A wind speed of 30 mph is used in combination with ice.

Temperature drop of 50.000 °F.

Deflections calculated using a wind speed of 60 mph.

Please see feedline plan for proper feedline placement. Deviation from plan may reduce tower capacity..

Non-linear (P-delta) analysis was used.

Pressures are calculated at each section.

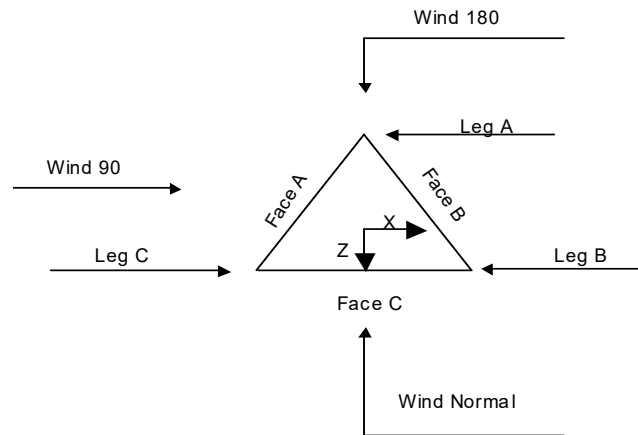
Stress ratio used in tower member design is 1.

Local bending stresses due to climbing loads, feed line supports, and appurtenance mounts are not considered.

Options

Consider Moments - Legs	✓ Assume Legs Pinned	✓ Calculate Redundant Bracing Forces
Consider Moments - Horizontals	✓ Assume Rigid Index Plate	Ignore Redundant Members in FEA
Consider Moments - Diagonals	✓ Use Clear Spans For Wind Area	✓ SR Leg Bolts Resist Compression
Use Moment Magnification	✓ Use Clear Spans For KL/r	All Leg Panels Have Same Allowable
✓ Use Code Stress Ratios	Retension Guys To Initial Tension	Offset Girt At Foundation
✓ Use Code Safety Factors - Guys	✓ Bypass Mast Stability Checks	✓ Consider Feed Line Torque
Escalate Ice	✓ Use Azimuth Dish Coefficients	✓ Include Angle Block Shear Check
Always Use Max Kz	✓ Project Wind Area of Appurtenances	Use TIA-222-H Bracing Resist. Exemption
Kz In Exposure D Hurricane Region	Alternative Appurt. EPA Calculation	Use TIA-222-H Tension Splice Exemption
✓ Include Bolts In Member Capacity	Autocalc Torque Arm Areas	Poles
✓ Leg Bolts Are At Top Of Section	Add IBC .6D+W Combination	Include Shear-Torsion Interaction
✓ Secondary Horizontal Braces Leg	✓ Sort Capacity Reports By Component	Always Use Sub-Critical Flow
Use Diamond Inner Bracing (4 Sided)	Triangulate Diamond Inner Bracing	Use Top Mounted Sockets
SR Members Have Cut Ends	Treat Feed Line Bundles As Cylinder	Pole Without Linear Attachments
SR Members Are Concentric	Ignore KL/ry For 60 Deg. Angle Legs	Pole With Shroud Or No Appurtenances
Distribute Leg Loads As Uniform	Use ASCE 10 X-Brace Ly Rules	Outside and Inside Corner Radii Are Known
Use Special Wind Profile		

tnxTower B+T Group 1717 S Boulder Ave, Suite 300 Tulsa, OK 74119 Phone: (918) 587-4630 FAX: (918) 295-0265	Job ATS#: C163 - East Lake Cumberland (Site# KY-4076)	Page 2 of 31
	Project 240' SST/36.875853, -85.157324	Date 14:18:16 01/15/26
	Client APC Towers	Designed by aashwood



Triangular Tower

Tower Section Geometry

Tower Section	Tower Elevation	Assembly Database	Description	Section Width	Number of Sections	Section Length
	ft			ft		ft
T1	240.000-220.000			4.500	1	20.000
T2	220.000-200.000			6.000	1	20.000
T3	200.000-180.000			7.500	1	20.000
T4	180.000-160.000			9.000	1	20.000
T5	160.000-140.000			10.500	1	20.000
T6	140.000-120.000			12.000	1	20.000
T7	120.000-100.000			13.500	1	20.000
T8	100.000-80.000			15.000	1	20.000
T9	80.000-60.000			16.500	1	20.000
T10	60.000-40.000			18.000	1	20.000
T11	40.000-20.000			19.500	1	20.000
T12	20.000-0.000			21.000	1	20.000

Tower Section Geometry (cont'd)

Tower Section	Tower Elevation	Diagonal Spacing	Bracing Type	Has K Brace End Panels	Has Horizontals	Top Girt Offset	Bottom Girt Offset
	ft	ft				in	in
T1	240.000-220.000	4.750	X Brace	No	No	6.000	6.000
T2	220.000-200.000	4.750	X Brace	No	No	6.000	6.000
T3	200.000-180.000	4.750	X Brace	No	No	6.000	6.000

tnxTower B+T Group 1717 S Boulder Ave, Suite 300 Tulsa, OK 74119 Phone: (918) 587-4630 FAX: (918) 295-0265	Job	Page
	ATS#: C163 - East Lake Cumberland (Site# KY-4076)	3 of 31
	Project	Date
	240' SST/36.875853, -85.157324	14:18:16 01/15/26
	Client	Designed by
	APC Towers	aashwood

Tower Section	Tower Elevation	Diagonal Spacing	Bracing Type	Has K Brace End Panels	Has Horizontals	Top Girt Offset	Bottom Girt Offset
	ft	ft				in	in
T4	180.000-160.000	4.750	X Brace	No	No	6.000	6.000
T5	160.000-140.000	4.750	X Brace	No	No	6.000	6.000
T6	140.000-120.000	4.750	X Brace	No	No	6.000	6.000
T7	120.000-100.000	4.750	X Brace	No	No	6.000	6.000
T8	100.000-80.000	4.750	X Brace	No	No	6.000	6.000
T9	80.000-60.000	4.750	X Brace	No	No	6.000	6.000
T10	60.000-40.000	4.750	X Brace	No	No	6.000	6.000
T11	40.000-20.000	4.750	Double K	No	Yes	6.000	6.000
T12	20.000-0.000	4.750	Double K	No	Yes	6.000	6.000

Tower Section Geometry (cont'd)

Tower Elevation ft	Leg Type	Leg Size	Leg Grade	Diagonal Type	Diagonal Size	Diagonal Grade
T1 240.000-220.000	Solid Round	1 3/4	A529-50 (50 ksi)	Equal Angle	L1 3/4x1 3/4x3/16	A36M-50 (50 ksi)
T2 220.000-200.000	Solid Round	2 1/4	A529-50 (50 ksi)	Equal Angle	L1 3/4x1 3/4x3/16	A36M-50 (50 ksi)
T3 200.000-180.000	Solid Round	2 1/2	A529-50 (50 ksi)	Equal Angle	L2x2x3/16	A36M-50 (50 ksi)
T4 180.000-160.000	Solid Round	2 3/4	A529-50 (50 ksi)	Equal Angle	L2x2x3/16	A36M-50 (50 ksi)
T5 160.000-140.000	Solid Round	3	A529-50 (50 ksi)	Equal Angle	L2 1/2x2 1/2x3/16	A36M-50 (50 ksi)
T6 140.000-120.000	Solid Round	3 1/4	A529-50 (50 ksi)	Equal Angle	L2 1/2x2 1/2x3/16	A36M-50 (50 ksi)
T7 120.000-100.000	Solid Round	3 1/4	A529-50 (50 ksi)	Equal Angle	L2 1/2x2 1/2x3/16	A36M-50 (50 ksi)
T8 100.000-80.000	Solid Round	3 1/2	A529-50 (50 ksi)	Equal Angle	L3x3x3/16	A36M-50 (50 ksi)
T9 80.000-60.000	Solid Round	3 3/4	A529-50 (50 ksi)	Equal Angle	L3x3x3/16	A36M-50 (50 ksi)
T10 60.000-40.000	Solid Round	3 3/4	A529-50 (50 ksi)	Equal Angle	L3x3x1/4	A36M-50 (50 ksi)
T11 40.000-20.000	Solid Round	4	A529-50 (50 ksi)	Double Equal Angle	2L2 1/2x2 1/2x3/16x3/8	A36M-50 (50 ksi)
T12 20.000-0.000	Solid Round	4	A529-50 (50 ksi)	Double Equal Angle	2L2 1/2x2 1/2x3/16x3/8	A36M-50 (50 ksi)

Tower Section Geometry (cont'd)

Tower Elevation ft	Top Girt Type	Top Girt Size	Top Girt Grade	Bottom Girt Type	Bottom Girt Size	Bottom Girt Grade
T1 240.000-220.000	Equal Angle	L1 3/4x1 3/4x3/16	A36M-50 (50 ksi)	Solid Round		A36M-50 (50 ksi)

tnxTower B+T Group 1717 S Boulder Ave, Suite 300 Tulsa, OK 74119 Phone: (918) 587-4630 FAX: (918) 295-0265	Job	Page
	ATS#: C163 - East Lake Cumberland (Site# KY-4076)	4 of 31
	Project	Date
	240' SST/36.875853, -85.157324	14:18:16 01/15/26
	Client	Designed by
	APC Towers	aashwood

Tower Section Geometry (cont'd)

Tower Elevation ft	No. of Mid Girts	Mid Girt Type	Mid Girt Size	Mid Girt Grade	Horizontal Type	Horizontal Size	Horizontal Grade
T11 40.000-20.000	None	Flat Bar		A36 (36 ksi)	Double Equal Angle	2L2x2x3/16x3/8	A36M-50 (50 ksi)
T12 20.000-0.000	None	Flat Bar		A36 (36 ksi)	Double Equal Angle	2L2x2x3/16x3/8	A36M-50 (50 ksi)

Tower Section Geometry (cont'd)

Tower Elevation ft	Secondary Horizontal Type	Secondary Horizontal Size	Secondary Horizontal Grade	Inner Bracing Type	Inner Bracing Size	Inner Bracing Grade
T11 40.000-20.000	Solid Round		A36M-50 (50 ksi)	Single Angle	L1 3/4x1 3/4x3/16	A36M-50 (50 ksi)
T12 20.000-0.000	Solid Round		A36M-50 (50 ksi)	Single Angle	L1 3/4x1 3/4x3/16	A36M-50 (50 ksi)

Tower Section Geometry (cont'd)

Tower Elevation ft	Gusset Area (per face) ft ²	Gusset Thickness in	Gusset Grade	Adjust. Factor A _f	Adjust. Factor A _r	Weight Mult.	Double Angle Stitch Bolt Spacing Diagonals in	Double Angle Stitch Bolt Spacing Horizontals in	Double Angle Stitch Bolt Spacing Redundants in
T1 240.000-220.000	0.000	0.375	A36M-50 (50 ksi)	1	1	1	36.000	36.000	36.000
T2 220.000-200.000	0.000	0.375	A36M-50 (50 ksi)	1	1	1	36.000	36.000	36.000
T3 200.000-180.000	0.000	0.375	A36M-50 (50 ksi)	1	1	1	36.000	36.000	36.000
T4 180.000-160.000	0.000	0.375	A36M-50 (50 ksi)	1	1	1	36.000	36.000	36.000
T5 160.000-140.000	0.000	0.375	A36M-50 (50 ksi)	1	1	1	36.000	36.000	36.000
T6 140.000-120.000	0.000	0.375	A36M-50 (50 ksi)	1	1	1	36.000	36.000	36.000
T7 120.000-100.000	0.000	0.375	A36M-50 (50 ksi)	1	1	1	36.000	36.000	36.000
T8 100.000-80.000	0.000	0.375	A36M-50 (50 ksi)	1	1	1	36.000	36.000	36.000
T9 0	0.000	0.375	A36M-50	1	1	1	36.000	36.000	36.000

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	Project 240' SST/36.875853, -85.157324	Date 14:18:16 01/15/26
	Client APC Towers	Designed by aashwood

Tower Elevation	Gusset Area (per face)	Gusset Thickness	Gusset Grade	Adjust. Factor A_f	Adjust. Factor A_r	Weight Mult.	Double Angle Stitch Bolt Spacing Diagonals in	Double Angle Stitch Bolt Spacing Horizontals in	Double Angle Stitch Bolt Spacing Redundants in
ft	ft ²	in							
80.000-60.000 T10	0.000	0.375	(50 ksi) A36M-50	1	1	1	36.000	36.000	36.000
60.000-40.000 T11	0.000	0.375	(50 ksi) A36M-50	1	1	1	Mid-Pt	Mid-Pt	36.000
40.000-20.000 T12	0.000	0.375	(50 ksi) A36M-50	1	1	1	Mid-Pt	Mid-Pt	36.000
20.000-0.000			(50 ksi)						

Tower Section Geometry (cont'd)

Tower Elevation	Calc K Single Angles	Calc K Solid Rounds	Legs	K Factors ¹						
				X Brace Diags	K Brace Diags	Single Diags	Girts	Horiz.	Sec. Horiz.	Inner Brace
				X Y	X Y	X Y	X Y	X Y	X Y	X Y
ft										
T1	No	No	1	1	1	1	1	1	1	1
240.000-220.000 T2	No	No	1	1	1	1	1	1	1	1
220.000-200.000 T3	No	No	1	1	1	1	1	1	1	1
200.000-180.000 T4	No	No	1	1	1	1	1	1	1	1
180.000-160.000 T5	No	No	1	1	1	1	1	1	1	1
160.000-140.000 T6	No	No	1	1	1	1	1	1	1	1
140.000-120.000 T7	No	No	1	1	1	1	1	1	1	1
120.000-100.000 T8	No	No	1	1	1	1	1	1	1	1
100.000-80.000 T9	No	No	1	1	1	1	1	1	1	1
80.000-60.000 T10	No	No	1	1	1	1	1	1	1	1
60.000-40.000 T11	No	No	1	1	1	1	1	1	1	1
40.000-20.000 T12	No	No	1	1	1	1	1	1	1	1
20.000-0.000				1	1	1	1	1	1	1

¹Note: K factors are applied to member segment lengths. K-braces without inner supporting members will have the K factor in the out-of-plane direction applied to the overall length.

Tower Section Geometry (cont'd)

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	Project 240' SST/36.875853, -85.157324	Date 14:18:16 01/15/26
	Client APC Towers	Designed by aashwood

Tower Elevation ft	Leg		Diagonal		Top Girt		Bottom Girt		Mid Girt		Long Horizontal		Short Horizontal	
	Net Width Deduct in	U	Net Width Deduct in	U	Net Width Deduct in	U	Net Width Deduct in	U	Net Width Deduct in	U	Net Width Deduct in	U	Net Width Deduct in	U
T1 240.000-220.000	0.000	1	0.000	0.75	0.000	0.75	0.000	0.75	0.000	0.75	0.000	0.75	0.000	0.75
T2 220.000-200.000	0.000	1	0.000	0.75	0.000	0.75	0.000	0.75	0.000	0.75	0.000	0.75	0.000	0.75
T3 200.000-180.000	0.000	1	0.000	0.75	0.000	0.75	0.000	0.75	0.000	0.75	0.000	0.75	0.000	0.75
T4 180.000-160.000	0.000	1	0.000	0.75	0.000	0.75	0.000	0.75	0.000	0.75	0.000	0.75	0.000	0.75
T5 160.000-140.000	0.000	1	0.000	0.75	0.000	0.75	0.000	0.75	0.000	0.75	0.000	0.75	0.000	0.75
T6 140.000-120.000	0.000	1	0.000	0.75	0.000	0.75	0.000	0.75	0.000	0.75	0.000	0.75	0.000	0.75
T7 120.000-100.000	0.000	1	0.000	0.75	0.000	0.75	0.000	0.75	0.000	0.75	0.000	0.75	0.000	0.75
T8 100.000-80.000	0.000	1	0.000	0.75	0.000	0.75	0.000	0.75	0.000	0.75	0.000	0.75	0.000	0.75
T9 80.000-60.000	0.000	1	0.000	0.75	0.000	0.75	0.000	0.75	0.000	0.75	0.000	0.75	0.000	0.75
T10 60.000-40.000	0.000	1	0.000	0.75	0.000	0.75	0.000	0.75	0.000	0.75	0.000	0.75	0.000	0.75
T11 40.000-20.000	0.000	1	0.000	0.75	0.000	0.75	0.000	0.75	0.000	0.75	0.000	0.75	0.000	0.75
T12 20.000-0.000	0.000	1	0.000	0.75	0.000	0.75	0.000	0.75	0.000	0.75	0.000	0.75	0.000	0.75

Tower Elevation ft	Redundant Horizontal		Redundant Diagonal		Redundant Sub-Diagonal		Redundant Sub-Horizontal		Redundant Vertical	Redundant Hip		Redundant Hip Diagonal	
	Net Width Deduct in	U	Net Width Deduct in	U	Net Width Deduct in	U	Net Width Deduct in	U	Net Width Deduct in	Net Width Deduct in	U	Net Width Deduct in	U
T1 240.000-220.000	0.000	0.75 (1)	0.000	0.75 (1)	0.000	0.75	0.000	0.75	0.000	0.75 (1)		0.000	0.75 (1)
	0.000	0.75 (2)	0.000	0.75 (2)						0.000	0.75 (2)	0.000	0.75 (2)
	0.000	0.75 (3)	0.000	0.75 (3)						0.000	0.75 (3)	0.000	0.75 (3)
	0.000	0.75 (4)	0.000	0.75 (4)						0.000	0.75 (4)	0.000	0.75 (4)
T2 220.000-200.000	0.000	0.75 (1)	0.000	0.75 (1)	0.000	0.75	0.000	0.75	0.000	0.75 (1)		0.000	0.75 (1)
	0.000	0.75 (2)	0.000	0.75 (2)						0.000	0.75 (2)	0.000	0.75 (2)

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	Project 240' SST/36.875853, -85.157324	Date 14:18:16 01/15/26
	Client APC Towers	Designed by aashwood

Tower Elevation ft	Redundant Horizontal		Redundant Diagonal		Redundant Sub-Diagonal		Redundant Sub-Horizontal		Redundant Vertical	Redundant Hip		Redundant Hip Diagonal	
	Net Width Deduct in	U	Net Width Deduct in	U	Net Width Deduct in	U	Net Width Deduct in	U	Net Width Deduct in	Net Width Deduct in	U	Net Width Deduct in	U
T9 80.000-60.000	0.000	0.75 (4)	0.000	0.75 (4)	0.000	0.75	0.000	0.75	0.000	0.75		0.000	0.75 (4)
	0.000	0.75 (1)	0.000	0.75 (1)								0.000	0.75 (1)
	0.000	0.75 (2)	0.000	0.75 (2)								0.000	0.75 (2)
	0.000	0.75 (3)	0.000	0.75 (3)								0.000	0.75 (3)
T10 60.000-40.000	0.000	0.75 (4)	0.000	0.75 (4)	0.000	0.75	0.000	0.75	0.000	0.75		0.000	0.75 (4)
	0.000	0.75 (1)	0.000	0.75 (1)								0.000	0.75 (1)
	0.000	0.75 (2)	0.000	0.75 (2)								0.000	0.75 (2)
	0.000	0.75 (3)	0.000	0.75 (3)								0.000	0.75 (3)
T11 40.000-20.000	0.000	0.75 (4)	0.000	0.75 (4)	0.000	0.75	0.000	0.75	0.000	0.75		0.000	0.75 (4)
	0.000	0.75 (1)	0.000	0.75 (1)								0.000	0.75 (1)
	0.000	0.75 (2)	0.000	0.75 (2)								0.000	0.75 (2)
	0.000	0.75 (3)	0.000	0.75 (3)								0.000	0.75 (3)
T12 20.000-0.000	0.000	0.75 (4)	0.000	0.75 (4)	0.000	0.75	0.000	0.75	0.000	0.75		0.000	0.75 (4)
	0.000	0.75 (1)	0.000	0.75 (1)								0.000	0.75 (1)
	0.000	0.75 (2)	0.000	0.75 (2)								0.000	0.75 (2)
	0.000	0.75 (3)	0.000	0.75 (3)								0.000	0.75 (3)
	0.000	0.75 (4)	0.000	0.75 (4)								0.000	0.75 (4)

Tower Section Geometry (cont'd)

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	Client APC Towers	Designed by aashwood

Tower Elevation ft	Leg Connection Type	Leg		Diagonal		Top Girt		Bottom Girt		Mid Girt		Long Horizontal		Short Horizontal	
		Bolt Size in	No.	Bolt Size in	No.	Bolt Size in	No.	Bolt Size in	No.	Bolt Size in	No.	Bolt Size in	No.	Bolt Size in	No.
T1 240.000-220.0 00	Flange	0.000 A325N	0	0.625 A325X	1	0.625 A325X	1	0.000 A325X	0	0.625 A325N	0	0.000 A325X	0	0.625 A325N	0
T2 220.000-200.0 00	Flange	0.750 A325N	6	0.625 A325X	1	0.000 A325X	0	0.000 A325X	0	0.625 A325N	0	0.000 A325X	0	0.625 A325N	0
T3 200.000-180.0 00	Flange	0.750 A325N	6	0.625 A325X	1	0.000 A325X	0	0.000 A325X	0	0.625 A325N	0	0.000 A325X	0	0.625 A325N	0
T4 180.000-160.0 00	Flange	0.750 A325N	6	0.625 A325X	1	0.000 A325X	0	0.000 A325X	0	0.625 A325N	0	0.000 A325X	0	0.625 A325N	0
T5 160.000-140.0 00	Flange	1.000 A325N	6	0.625 A325X	1	0.000 A325X	0	0.000 A325X	0	0.625 A325N	0	0.000 A325X	0	0.625 A325N	0
T6 140.000-120.0 00	Flange	1.000 A325N	6	0.625 A325X	1	0.000 A325X	0	0.000 A325X	0	0.625 A325N	0	0.000 A325X	0	0.625 A325N	0
T7 120.000-100.0 00	Flange	1.000 A325N	6	0.625 A325X	1	0.000 A325X	0	0.000 A325X	0	0.625 A325N	0	0.000 A325X	0	0.625 A325N	0
T8 100.000-80.00 0	Flange	1.000 A325N	6	0.625 A325X	1	0.000 A325X	0	0.000 A325X	0	0.625 A325N	0	0.000 A325X	0	0.625 A325N	0
T9 80.000-60.000	Flange	1.250 A325N	6	0.625 A325X	1	0.000 A325X	0	0.000 A325X	0	0.625 A325N	0	0.000 A325X	0	0.625 A325N	0
T10 60.000-40.000	Flange	1.250 A325N	6	0.625 A325X	1	0.000 A325X	0	0.000 A325X	0	0.625 A325N	0	0.000 A325X	0	0.625 A325N	0
T11 40.000-20.000	Flange	1.250 A325N	6	0.625 A325X	1	0.000 A325X	0	0.000 A325X	0	0.625 A325N	0	0.625 A325X	1	0.625 A325N	0
T12 20.000-0.000	Flange	1.250 A325N	6	0.625 A325X	1	0.000 A325X	0	0.000 A325X	0	0.625 A325N	0	0.625 A325X	1	0.625 A325N	0

Feed Line/Linear Appurtenances - Entered As Round Or Flat

Description	Face or Leg	Allow Shield	Exclude From Torque Calculation	Component Type	Placement ft	Face Offset in	Lateral Offset (Frac FW)	#	# Per Row	Clear Spacing in	Width or Diameter in	Perimeter in	Weight klf
1-5/8" Hybrid (Carrier 1) **	C	No	No	Ar (CaAa)	235.000 - 10.000	0.000	0	18	9	0.750	1.625		0.001
1-5/8" Hybrid (Carrier 2) **	B	No	No	Ar (CaAa)	220.000 - 10.000	0.000	0	12	6	0.750	1.625		0.001
1-5/8" Hybrid (Carrier 3) **	A	No	No	Ar (CaAa)	205.000 - 10.000	0.000	0	12	6	0.750	1.625		0.001
Safety Line 3/8	A	No	No	Ar (CaAa)	240.000 - 10.000	0.000	0.45	1	1	0.375	0.375		0.000
Strobe Cable **	A	No	No	Ar (CaAa)	240.000 - 10.000	0.000	-0.45	1	1	1.250	1.250		0.001
Feedline	C	No	No	Af (CaAa)	235.000 -	0.000	0.3	1	1	3.000	0.250		0.008

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	Client APC Towers	Designed by aashwood

Description	Face or Leg	Allow Shield	Exclude From Torque Calculation	Component Type	Placement ft	Face Offset in	Lateral Offset (Frac FW)	#	# Per Row	Clear Spacing in	Width or Diameter in	Perimeter in	Weight klf
Ladder (Af)					10.000								
Feedline	B	No	No	Af (CaAa)	220.000 -	0.000	0.3	1	1	3.000	0.250		0.008
Ladder (Af)					10.000								
Feedline	A	No	No	Af (CaAa)	205.000 -	0.000	0.3	1	1	3.000	0.250		0.008
Ladder (Af)					10.000								
**													

Feed Line/Linear Appurtenances - Entered As Area

Description	Face or Leg	Allow Shield	Exclude From Torque Calculation	Component Type	Placement ft	Total Number	C _A A _A ft ² /ft	Weight klf
**								

Feed Line/Linear Appurtenances Section Areas

Tower Section	Tower Elevation ft	Face	A _R ft ²	A _F ft ²	C _A A _A In Face ft ²	C _A A _A Out Face ft ²	Weight K
T1	240.000-220.000	A	0.000	0.000	3.250	0.000	0.018
		B	0.000	0.000	0.000	0.000	0.000
		C	0.000	0.000	44.500	0.000	0.407
T2	220.000-200.000	A	0.000	0.000	13.208	0.000	0.123
		B	0.000	0.000	39.833	0.000	0.418
		C	0.000	0.000	59.333	0.000	0.542
T3	200.000-180.000	A	0.000	0.000	43.083	0.000	0.436
		B	0.000	0.000	39.833	0.000	0.418
		C	0.000	0.000	59.333	0.000	0.542
T4	180.000-160.000	A	0.000	0.000	43.083	0.000	0.436
		B	0.000	0.000	39.833	0.000	0.418
		C	0.000	0.000	59.333	0.000	0.542
T5	160.000-140.000	A	0.000	0.000	43.083	0.000	0.436
		B	0.000	0.000	39.833	0.000	0.418
		C	0.000	0.000	59.333	0.000	0.542
T6	140.000-120.000	A	0.000	0.000	43.083	0.000	0.436
		B	0.000	0.000	39.833	0.000	0.418
		C	0.000	0.000	59.333	0.000	0.542
T7	120.000-100.000	A	0.000	0.000	43.083	0.000	0.436
		B	0.000	0.000	39.833	0.000	0.418
		C	0.000	0.000	59.333	0.000	0.542
T8	100.000-80.000	A	0.000	0.000	43.083	0.000	0.436
		B	0.000	0.000	39.833	0.000	0.418
		C	0.000	0.000	59.333	0.000	0.542
T9	80.000-60.000	A	0.000	0.000	43.083	0.000	0.436
		B	0.000	0.000	39.833	0.000	0.418
		C	0.000	0.000	59.333	0.000	0.542
T10	60.000-40.000	A	0.000	0.000	43.083	0.000	0.436
		B	0.000	0.000	39.833	0.000	0.418
		C	0.000	0.000	59.333	0.000	0.542

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	Project	Date
	240' SST/36.875853, -85.157324	14:18:16 01/15/26
	Client	Designed by
	APC Towers	aashwood

Tower Section	Tower Elevation ft	Face	A _R ft ²	A _F ft ²	C _A A _A In Face ft ²	C _A A _A Out Face ft ²	Weight K
T11	40.000-20.000	A	0.000	0.000	43.083	0.000	0.436
		B	0.000	0.000	39.833	0.000	0.418
		C	0.000	0.000	59.333	0.000	0.542
T12	20.000-0.000	A	0.000	0.000	21.542	0.000	0.218
		B	0.000	0.000	19.917	0.000	0.209
		C	0.000	0.000	29.667	0.000	0.271

Feed Line/Linear Appurtenances Section Areas - With Ice

Tower Section	Tower Elevation ft	Face or Leg	Ice Thickness in	A _R ft ²	A _F ft ²	C _A A _A In Face ft ²	C _A A _A Out Face ft ²	Weight K
T1	240.000-220.000	A	1.821	0.000	0.000	17.821	0.000	0.253
		B		0.000	0.000	0.000	0.000	0.000
		C		0.000	0.000	53.795	0.000	1.357
T2	220.000-200.000	A	1.805	0.000	0.000	31.406	0.000	0.587
		B		0.000	0.000	54.868	0.000	1.350
		C		0.000	0.000	71.557	0.000	1.800
T3	200.000-180.000	A	1.787	0.000	0.000	72.223	0.000	1.587
		B		0.000	0.000	54.677	0.000	1.341
		C		0.000	0.000	71.372	0.000	1.789
T4	180.000-160.000	A	1.767	0.000	0.000	71.855	0.000	1.573
		B		0.000	0.000	54.468	0.000	1.332
		C		0.000	0.000	71.170	0.000	1.777
T5	160.000-140.000	A	1.745	0.000	0.000	71.447	0.000	1.557
		B		0.000	0.000	54.235	0.000	1.321
		C		0.000	0.000	70.944	0.000	1.764
T6	140.000-120.000	A	1.720	0.000	0.000	70.986	0.000	1.540
		B		0.000	0.000	53.972	0.000	1.309
		C		0.000	0.000	70.690	0.000	1.749
T7	120.000-100.000	A	1.692	0.000	0.000	70.456	0.000	1.521
		B		0.000	0.000	53.671	0.000	1.295
		C		0.000	0.000	70.398	0.000	1.732
T8	100.000-80.000	A	1.658	0.000	0.000	69.831	0.000	1.498
		B		0.000	0.000	53.315	0.000	1.279
		C		0.000	0.000	70.053	0.000	1.713
T9	80.000-60.000	A	1.617	0.000	0.000	69.067	0.000	1.470
		B		0.000	0.000	52.880	0.000	1.260
		C		0.000	0.000	69.632	0.000	1.689
T10	60.000-40.000	A	1.564	0.000	0.000	68.073	0.000	1.435
		B		0.000	0.000	52.314	0.000	1.235
		C		0.000	0.000	69.084	0.000	1.658
T11	40.000-20.000	A	1.486	0.000	0.000	66.628	0.000	1.384
		B		0.000	0.000	51.492	0.000	1.199
		C		0.000	0.000	68.289	0.000	1.613
T12	20.000-0.000	A	1.331	0.000	0.000	31.881	0.000	0.644
		B		0.000	0.000	24.931	0.000	0.565
		C		0.000	0.000	33.356	0.000	0.763

Feed Line Center of Pressure

Section	Elevation	CP _x	CP _z	CP _x	CP _z
	ft	in	in	Ice in	Ice in

tnxTower B+T Group 1717 S Boulder Ave, Suite 300 Tulsa, OK 74119 Phone: (918) 587-4630 FAX: (918) 295-0265	Job ATS#: C163 - East Lake Cumberland (Site# KY-4076)	Page 12 of 31
	Project 240' SST/36.875853, -85.157324	Date 14:18:16 01/15/26
	Client APC Towers	Designed by aashwood

Section	Elevation	CP _x	CP _z	CP _x	CP _z
	ft	in	in	Ice in	Ice in
T1	240.000-220.000	-0.876	2.935	-2.415	2.075
T2	220.000-200.000	1.181	-1.453	0.229	-0.324
T3	200.000-180.000	-0.671	-3.632	-1.627	-2.710
T4	180.000-160.000	-0.742	-3.972	-1.802	-2.995
T5	160.000-140.000	-0.741	-3.932	-1.880	-3.137
T6	140.000-120.000	-0.788	-4.151	-1.999	-3.346
T7	120.000-100.000	-0.834	-4.377	-2.108	-3.546
T8	100.000-80.000	-0.801	-4.183	-2.100	-3.571
T9	80.000-60.000	-0.828	-4.307	-2.161	-3.712
T10	60.000-40.000	-0.856	-4.445	-2.209	-3.854
T11	40.000-20.000	-1.113	-5.747	-2.631	-4.673
T12	20.000-0.000	-0.685	-3.486	-1.559	-2.894

Shielding Factor Ka

Tower Section	Feed Line Record No.	Description	Feed Line Segment Elev.	K _a No Ice	K _a Ice
T1	1	1-5/8" Hybrid	220.00 - 235.00	0.6000	0.6000
T1	7	Safety Line 3/8	220.00 - 240.00	0.6000	0.6000
T1	8	Strobe Cable	220.00 - 240.00	0.6000	0.6000
T1	10	Feedline Ladder (Af)	220.00 - 235.00	0.6000	0.6000
T2	1	1-5/8" Hybrid	200.00 - 220.00	0.6000	0.6000
T2	3	1-5/8" Hybrid	200.00 - 220.00	0.6000	0.6000
T2	5	1-5/8" Hybrid	200.00 - 205.00	0.6000	0.6000
T2	7	Safety Line 3/8	200.00 - 220.00	0.6000	0.6000
T2	8	Strobe Cable	200.00 - 220.00	0.6000	0.6000
T2	10	Feedline Ladder (Af)	200.00 - 220.00	0.6000	0.6000
T2	11	Feedline Ladder (Af)	200.00 - 220.00	0.6000	0.6000
T2	12	Feedline Ladder (Af)	200.00 - 205.00	0.6000	0.6000
T3	1	1-5/8" Hybrid	180.00 - 200.00	0.6000	0.6000
T3	3	1-5/8" Hybrid	180.00 - 200.00	0.6000	0.6000
T3	5	1-5/8" Hybrid	180.00 - 200.00	0.6000	0.6000
T3	7	Safety Line 3/8	180.00 - 200.00	0.6000	0.6000
T3	8	Strobe Cable	180.00 - 200.00	0.6000	0.6000
T3	10	Feedline Ladder (Af)	180.00 - 200.00	0.6000	0.6000
T3	11	Feedline Ladder (Af)	180.00 - 200.00	0.6000	0.6000

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	Client APC Towers	Designed by aashwood

Tower Section	Feed Line Record No.	Description	Feed Line Segment Elev.	K _a No Ice	K _a Ice
T3	12	Feedline Ladder (Af)	180.00 - 200.00	0.6000	0.6000
T4	1	1-5/8" Hybrid	160.00 - 180.00	0.6000	0.6000
T4	3	1-5/8" Hybrid	160.00 - 180.00	0.6000	0.6000
T4	5	1-5/8" Hybrid	160.00 - 180.00	0.6000	0.6000
T4	7	Safety Line 3/8	160.00 - 180.00	0.6000	0.6000
T4	8	Strobe Cable	160.00 - 180.00	0.6000	0.6000
T4	10	Feedline Ladder (Af)	160.00 - 180.00	0.6000	0.6000
T4	11	Feedline Ladder (Af)	160.00 - 180.00	0.6000	0.6000
T4	12	Feedline Ladder (Af)	160.00 - 180.00	0.6000	0.6000
T5	1	1-5/8" Hybrid	140.00 - 160.00	0.6000	0.6000
T5	3	1-5/8" Hybrid	140.00 - 160.00	0.6000	0.6000
T5	5	1-5/8" Hybrid	140.00 - 160.00	0.6000	0.6000
T5	7	Safety Line 3/8	140.00 - 160.00	0.6000	0.6000
T5	8	Strobe Cable	140.00 - 160.00	0.6000	0.6000
T5	10	Feedline Ladder (Af)	140.00 - 160.00	0.6000	0.6000
T5	11	Feedline Ladder (Af)	140.00 - 160.00	0.6000	0.6000
T5	12	Feedline Ladder (Af)	140.00 - 160.00	0.6000	0.6000
T6	1	1-5/8" Hybrid	120.00 - 140.00	0.6000	0.6000
T6	3	1-5/8" Hybrid	120.00 - 140.00	0.6000	0.6000
T6	5	1-5/8" Hybrid	120.00 - 140.00	0.6000	0.6000
T6	7	Safety Line 3/8	120.00 - 140.00	0.6000	0.6000
T6	8	Strobe Cable	120.00 - 140.00	0.6000	0.6000
T6	10	Feedline Ladder (Af)	120.00 - 140.00	0.6000	0.6000
T6	11	Feedline Ladder (Af)	120.00 - 140.00	0.6000	0.6000
T6	12	Feedline Ladder (Af)	120.00 - 140.00	0.6000	0.6000
T7	1	1-5/8" Hybrid	100.00 - 120.00	0.6000	0.6000
T7	3	1-5/8" Hybrid	100.00 - 120.00	0.6000	0.6000
T7	5	1-5/8" Hybrid	100.00 - 120.00	0.6000	0.6000
T7	7	Safety Line 3/8	100.00 - 120.00	0.6000	0.6000
T7	8	Strobe Cable	100.00 - 120.00	0.6000	0.6000
T7	10	Feedline Ladder (Af)	100.00 - 120.00	0.6000	0.6000

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	Client APC Towers	Designed by aashwood

Tower Section	Feed Line Record No.	Description	Feed Line Segment Elev.	K _o No Ice	K _o Ice
T7	11	Feedline Ladder (Af)	100.00 - 120.00	0.6000	0.6000
T7	12	Feedline Ladder (Af)	100.00 - 120.00	0.6000	0.6000
T8	1	1-5/8" Hybrid	80.00 - 100.00	0.6000	0.6000
T8	3	1-5/8" Hybrid	80.00 - 100.00	0.6000	0.6000
T8	5	1-5/8" Hybrid	80.00 - 100.00	0.6000	0.6000
T8	7	Safety Line 3/8	80.00 - 100.00	0.6000	0.6000
T8	8	Strobe Cable	80.00 - 100.00	0.6000	0.6000
T8	10	Feedline Ladder (Af)	80.00 - 100.00	0.6000	0.6000
T8	11	Feedline Ladder (Af)	80.00 - 100.00	0.6000	0.6000
T8	12	Feedline Ladder (Af)	80.00 - 100.00	0.6000	0.6000
T9	1	1-5/8" Hybrid	60.00 - 80.00	0.6000	0.6000
T9	3	1-5/8" Hybrid	60.00 - 80.00	0.6000	0.6000
T9	5	1-5/8" Hybrid	60.00 - 80.00	0.6000	0.6000
T9	7	Safety Line 3/8	60.00 - 80.00	0.6000	0.6000
T9	8	Strobe Cable	60.00 - 80.00	0.6000	0.6000
T9	10	Feedline Ladder (Af)	60.00 - 80.00	0.6000	0.6000
T9	11	Feedline Ladder (Af)	60.00 - 80.00	0.6000	0.6000
T9	12	Feedline Ladder (Af)	60.00 - 80.00	0.6000	0.6000
T10	1	1-5/8" Hybrid	40.00 - 60.00	0.6000	0.6000
T10	3	1-5/8" Hybrid	40.00 - 60.00	0.6000	0.6000
T10	5	1-5/8" Hybrid	40.00 - 60.00	0.6000	0.6000
T10	7	Safety Line 3/8	40.00 - 60.00	0.6000	0.6000
T10	8	Strobe Cable	40.00 - 60.00	0.6000	0.6000
T10	10	Feedline Ladder (Af)	40.00 - 60.00	0.6000	0.6000
T10	11	Feedline Ladder (Af)	40.00 - 60.00	0.6000	0.6000
T10	12	Feedline Ladder (Af)	40.00 - 60.00	0.6000	0.6000
T11	1	1-5/8" Hybrid	20.00 - 40.00	0.6000	0.6000
T11	3	1-5/8" Hybrid	20.00 - 40.00	0.6000	0.6000
T11	5	1-5/8" Hybrid	20.00 - 40.00	0.6000	0.6000
T11	7	Safety Line 3/8	20.00 - 40.00	0.6000	0.6000
T11	8	Strobe Cable	20.00 - 40.00	0.6000	0.6000
T11	10	Feedline Ladder (Af)	20.00 - 40.00	0.6000	0.6000
T11	11	Feedline Ladder (Af)	20.00 - 40.00	0.6000	0.6000
T11	12	Feedline Ladder (Af)	20.00 - 40.00	0.6000	0.6000
T12	1	1-5/8" Hybrid	10.00 - 20.00	0.6000	0.6000
T12	3	1-5/8" Hybrid	10.00 - 20.00	0.6000	0.6000
T12	5	1-5/8" Hybrid	10.00 - 20.00	0.6000	0.6000
T12	7	Safety Line 3/8	10.00 - 20.00	0.6000	0.6000
T12	8	Strobe Cable	10.00 - 20.00	0.6000	0.6000
T12	10	Feedline Ladder (Af)	10.00 - 20.00	0.6000	0.6000
T12	11	Feedline Ladder (Af)	10.00 - 20.00	0.6000	0.6000
T12	12	Feedline Ladder (Af)	10.00 - 20.00	0.6000	0.6000

Discrete Tower Loads

Description	Face or Leg	Offset Type	Offsets: Horiz Lateral Vert ft ft ft	Azimuth Adjustment °	Placement ft		C _A A _A Front ft ²	C _A A _A Side ft ²	Weight K
4' Lightning Rod	C	From Leg	0.000	0.000	240.000	No Ice	1.000	1.000	0.040

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Description	Face or Leg	Offset Type	Offsets: Horz Lateral Vert ft ft ft	Azimuth Adjustment °	Placement ft		C _A A _A Front ft ²	C _A A _A Side ft ²	Weight K
Top Beacon	B	From Leg	0.000	0.000	240.000	1/2" Ice	2.017	2.017	0.049
			2.000			1" Ice	3.050	3.050	0.065
						2" Ice	5.148	5.148	0.116
			0.000			No Ice	2.700	2.700	0.050
			0.000			1/2" Ice	3.100	3.100	0.070
			1.000			1" Ice	3.500	3.500	0.090
						2" Ice	4.300	4.300	0.130
**									
Sector1(CaAa=14000 Sq.in)No Ice (Carrier 1)	A	From Leg	4.000	0.000	235.000	No Ice	97.222	65.138	0.700
			0.000			1/2" Ice	121.527	81.423	1.400
			0.000			1" Ice	145.832	97.708	2.100
						2" Ice	194.442	130.278	3.500
Sector2(CaAa=14000 Sq.in)No Ice (Carrier 1)	B	From Leg	4.000	0.000	235.000	No Ice	97.222	65.138	0.700
			0.000			1/2" Ice	121.527	81.423	1.400
			0.000			1" Ice	145.832	97.708	2.100
						2" Ice	194.442	130.278	3.500
Sector3(CaAa=14000 Sq.in)No Ice (Carrier 1)	C	From Leg	4.000	0.000	235.000	No Ice	97.222	65.138	0.700
			0.000			1/2" Ice	121.527	81.423	1.400
			0.000			1" Ice	145.832	97.708	2.100
						2" Ice	194.442	130.278	3.500
**									
Sector1(CaAa=10000 Sq.in)No Ice (Carrier 2)	A	From Leg	4.000	0.000	220.000	No Ice	69.444	46.527	0.700
			0.000			1/2" Ice	86.805	58.159	1.400
			0.000			1" Ice	104.166	69.791	2.100
						2" Ice	138.888	93.055	3.500
Sector2(CaAa=10000 Sq.in)No Ice (Carrier 2)	B	From Leg	4.000	0.000	220.000	No Ice	69.444	46.527	0.700
			0.000			1/2" Ice	86.805	58.159	1.400
			0.000			1" Ice	104.166	69.791	2.100
						2" Ice	138.888	93.055	3.500
Sector3(CaAa=10000 Sq.in)No Ice (Carrier 2)	C	From Leg	4.000	0.000	220.000	No Ice	69.444	46.527	0.700
			0.000			1/2" Ice	86.805	58.159	1.400
			0.000			1" Ice	104.166	69.791	2.100
						2" Ice	138.888	93.055	3.500
**									
Sector1(CaAa=10000 Sq.in)No Ice (Carrier 3)	A	From Leg	4.000	0.000	205.000	No Ice	69.444	46.527	0.700
			0.000			1/2" Ice	86.805	58.159	1.400
			0.000			1" Ice	104.166	69.791	2.100
						2" Ice	138.888	93.055	3.500
Sector2(CaAa=10000 Sq.in)No Ice (Carrier 3)	B	From Leg	4.000	0.000	205.000	No Ice	69.444	46.527	0.700
			0.000			1/2" Ice	86.805	58.159	1.400
			0.000			1" Ice	104.166	69.791	2.100
						2" Ice	138.888	93.055	3.500
Sector3(CaAa=10000 Sq.in)No Ice (Carrier 3)	C	From Leg	4.000	0.000	205.000	No Ice	69.444	46.527	0.700
			0.000			1/2" Ice	86.805	58.159	1.400
			0.000			1" Ice	104.166	69.791	2.100
						2" Ice	138.888	93.055	3.500
**									

Load Combinations

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	APC Towers	aashwood

Comb. No.	Description
1	Dead Only
2	1.2 Dead+1.0 Wind 0 deg - No Ice
3	0.9 Dead+1.0 Wind 0 deg - No Ice
4	1.2 Dead+1.0 Wind 30 deg - No Ice
5	0.9 Dead+1.0 Wind 30 deg - No Ice
6	1.2 Dead+1.0 Wind 60 deg - No Ice
7	0.9 Dead+1.0 Wind 60 deg - No Ice
8	1.2 Dead+1.0 Wind 90 deg - No Ice
9	0.9 Dead+1.0 Wind 90 deg - No Ice
10	1.2 Dead+1.0 Wind 120 deg - No Ice
11	0.9 Dead+1.0 Wind 120 deg - No Ice
12	1.2 Dead+1.0 Wind 150 deg - No Ice
13	0.9 Dead+1.0 Wind 150 deg - No Ice
14	1.2 Dead+1.0 Wind 180 deg - No Ice
15	0.9 Dead+1.0 Wind 180 deg - No Ice
16	1.2 Dead+1.0 Wind 210 deg - No Ice
17	0.9 Dead+1.0 Wind 210 deg - No Ice
18	1.2 Dead+1.0 Wind 240 deg - No Ice
19	0.9 Dead+1.0 Wind 240 deg - No Ice
20	1.2 Dead+1.0 Wind 270 deg - No Ice
21	0.9 Dead+1.0 Wind 270 deg - No Ice
22	1.2 Dead+1.0 Wind 300 deg - No Ice
23	0.9 Dead+1.0 Wind 300 deg - No Ice
24	1.2 Dead+1.0 Wind 330 deg - No Ice
25	0.9 Dead+1.0 Wind 330 deg - No Ice
26	1.2 Dead+1.0 Ice+1.0 Temp
27	1.2 Dead+1.0 Wind 0 deg+1.0 Ice+1.0 Temp
28	1.2 Dead+1.0 Wind 30 deg+1.0 Ice+1.0 Temp
29	1.2 Dead+1.0 Wind 60 deg+1.0 Ice+1.0 Temp
30	1.2 Dead+1.0 Wind 90 deg+1.0 Ice+1.0 Temp
31	1.2 Dead+1.0 Wind 120 deg+1.0 Ice+1.0 Temp
32	1.2 Dead+1.0 Wind 150 deg+1.0 Ice+1.0 Temp
33	1.2 Dead+1.0 Wind 180 deg+1.0 Ice+1.0 Temp
34	1.2 Dead+1.0 Wind 210 deg+1.0 Ice+1.0 Temp
35	1.2 Dead+1.0 Wind 240 deg+1.0 Ice+1.0 Temp
36	1.2 Dead+1.0 Wind 270 deg+1.0 Ice+1.0 Temp
37	1.2 Dead+1.0 Wind 300 deg+1.0 Ice+1.0 Temp
38	1.2 Dead+1.0 Wind 330 deg+1.0 Ice+1.0 Temp
39	Dead+Wind 0 deg - Service
40	Dead+Wind 30 deg - Service
41	Dead+Wind 60 deg - Service
42	Dead+Wind 90 deg - Service
43	Dead+Wind 120 deg - Service
44	Dead+Wind 150 deg - Service
45	Dead+Wind 180 deg - Service
46	Dead+Wind 210 deg - Service
47	Dead+Wind 240 deg - Service
48	Dead+Wind 270 deg - Service
49	Dead+Wind 300 deg - Service
50	Dead+Wind 330 deg - Service

Maximum Member Forces

Section No.	Elevation ft	Component Type	Condition	Gov. Load Comb.	Axial K	Major Axis Moment kip-ft	Minor Axis Moment kip-ft
T1	240 - 220	Leg	Max Tension	15	19.979	-0.383	-0.000
			Max. Compression	2	-22.189	0.450	0.001
			Max. Mx	2	-22.188	-1.186	-0.001

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	APC Towers	aashwood

Section No.	Elevation ft	Component Type	Condition	Gov. Load Comb.	Axial K	Major Axis Moment kip-ft	Minor Axis Moment kip-ft
T6	140 - 120	Leg	Max. Vy	34	0.056	0.072	-0.007
			Max. Vx	20	-0.003	0.000	0.000
			Max Tension	15	192.934	3.693	0.010
			Max. Compression	2	-215.430	0.115	0.000
			Max. Mx	2	-181.297	5.231	0.012
			Max. My	24	-8.053	-0.012	1.772
		Diagonal	Max. Vy	2	-9.981	0.115	0.000
			Max. Vx	24	-3.232	-0.003	0.115
			Max Tension	4	7.436	0.000	0.000
			Max. Compression	4	-7.363	0.000	0.000
			Max. Mx	34	0.240	0.088	-0.009
			Max. My	8	-6.975	0.005	-0.012
			Max. Vy	32	0.062	0.088	0.009
			Max. Vx	33	-0.002	0.000	0.000
T7	120 - 100	Leg	Max Tension	15	221.173	3.428	0.011
			Max. Compression	2	-248.498	0.878	0.003
			Max. Mx	2	-215.446	5.106	0.015
			Max. My	24	-9.737	-0.002	1.734
			Max. Vy	2	-10.945	0.878	0.003
			Max. Vx	24	-3.535	-0.002	0.408
		Diagonal	Max Tension	4	7.676	0.000	0.000
			Max. Compression	4	-7.601	0.000	0.000
			Max. Mx	32	0.257	0.106	0.010
			Max. My	8	-7.161	0.010	-0.011
			Max. Vy	32	0.068	0.106	0.010
			Max. Vx	27	0.003	0.000	0.000
T8	100 - 80	Leg	Max Tension	15	248.761	3.885	0.015
			Max. Compression	2	-281.610	0.845	0.003
			Max. Mx	2	-248.520	6.327	0.022
			Max. My	24	-11.468	0.006	2.178
			Max. Vy	2	-11.952	0.845	0.003
			Max. Vx	24	-3.861	0.000	0.360
		Diagonal	Max Tension	4	8.224	0.000	0.000
			Max. Compression	4	-8.166	0.000	0.000
			Max. Mx	32	0.252	0.142	0.013
			Max. My	33	-0.666	0.135	-0.014
			Max. Vy	32	0.084	0.142	0.013
			Max. Vx	27	0.003	0.000	0.000
T9	80 - 60	Leg	Max Tension	15	276.010	4.663	0.018
			Max. Compression	2	-314.893	0.329	0.002
			Max. Mx	2	-281.633	6.804	0.025
			Max. My	24	-13.437	0.025	2.294
			Max. Vy	2	-13.026	0.329	0.002
			Max. Vx	24	-4.244	0.005	0.316
		Diagonal	Max Tension	4	8.835	0.000	0.000
			Max. Compression	4	-8.642	0.000	0.000
			Max. Mx	32	0.306	0.163	0.015
			Max. My	27	0.376	0.157	0.016
			Max. Vy	32	0.089	0.163	0.015
			Max. Vx	27	0.003	0.000	0.000
T10	60 - 40	Leg	Max Tension	15	302.633	4.488	0.017
			Max. Compression	2	-348.193	0.843	0.007
			Max. Mx	2	-314.916	6.836	0.028
			Max. My	24	-15.560	0.046	2.441
			Max. Vy	2	-13.789	0.843	0.007
			Max. Vx	24	-4.850	-0.016	0.849
		Diagonal	Max Tension	4	9.344	0.000	0.000
			Max. Compression	4	-9.262	0.000	0.000
			Max. Mx	34	0.228	0.209	0.019
			Max. My	34	0.506	0.204	-0.019
			Max. Vy	34	0.102	0.209	0.019

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	Client	Designed by
	APC Towers	aashwood

Section No.	Elevation ft	Component Type	Condition	Gov. Load Comb.	Axial K	Major Axis Moment kip-ft	Minor Axis Moment kip-ft
T11	40 - 20	Leg	Max. Vx	34	-0.004	0.000	0.000
			Max Tension	15	328.603	5.759	0.023
			Max. Compression	2	-381.210	-0.421	0.001
			Max. Mx	2	-348.219	7.723	0.035
			Max. My	24	-17.968	0.050	3.276
			Max. Vy	2	-14.370	-0.421	0.001
		Diagonal	Max. Vx	24	-4.861	-0.019	0.251
			Max Tension	5	10.287	0.000	0.000
			Max. Compression	3	-10.543	0.000	0.000
			Max. Mx	34	1.788	0.299	0.000
			Max. My	27	0.346	0.000	0.007
			Max. Vy	34	-0.104	0.000	0.000
		Horizontal	Max. Vx	27	-0.002	0.000	0.000
			Max Tension	2	1.566	-0.079	0.001
			Max. Compression	4	-1.576	0.000	0.000
			Max. Mx	27	-0.006	-0.211	0.004
			Max. My	14	0.571	-0.066	0.005
			Max. Vy	33	0.105	-0.209	0.004
		Inner Bracing	Max. Vx	27	-0.002	-0.208	0.004
			Max Tension	1	0.000	0.000	0.000
			Max. Compression	33	-0.010	0.000	0.000
			Max. Mx	26	-0.009	-0.129	0.000
			Max. My	2	-0.006	0.000	-0.000
			Max. Vy	26	0.050	0.000	0.000
T12	20 - 0	Leg	Max. Vx	2	0.000	0.000	0.000
			Max Tension	15	353.150	5.583	0.024
			Max. Compression	2	-412.385	0.000	-0.000
			Max. Mx	2	-412.360	-7.507	-0.031
			Max. My	24	-20.522	0.030	2.685
			Max. Vy	2	-15.002	0.000	-0.000
		Diagonal	Max. Vx	24	-4.865	0.030	2.685
			Max Tension	5	10.167	0.000	0.000
			Max. Compression	4	-10.282	0.000	0.000
			Max. Mx	27	1.968	0.313	0.000
			Max. My	27	0.711	0.000	0.007
			Max. Vy	27	0.103	0.000	0.000
		Horizontal	Max. Vx	27	-0.002	0.000	0.000
			Max Tension	2	1.545	-0.091	0.001
			Max. Compression	15	-1.425	-0.065	0.002
			Max. Mx	27	-0.041	-0.229	0.005
			Max. My	33	0.116	-0.228	0.006
			Max. Vy	33	-0.103	-0.215	0.004
		Inner Bracing	Max. Vx	33	0.002	-0.228	0.006
			Max Tension	1	0.000	0.000	0.000
			Max. Compression	29	-0.009	0.000	0.000
			Max. Mx	35	-0.009	-0.133	0.000
			Max. My	35	-0.009	0.000	-0.000
			Max. Vy	35	0.048	0.000	0.000
			Max. Vx	35	0.000	0.000	0.000

Maximum Reactions

Location	Condition	Gov. Load Comb.	Vertical K	Horizontal, X K	Horizontal, Z K
Leg C	Max. Vert	18	393.727	25.502	-14.650
	Max. H _x	18	393.727	25.502	-14.650

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Location	Condition	Gov. Load Comb.	Vertical K	Horizontal, X K	Horizontal, Z K
Leg B	Max. H _z	5	-302.198	-19.675	13.923
	Min. Vert	7	-333.260	-22.769	13.074
	Min. H _x	7	-333.260	-22.769	13.074
	Min. H _z	18	393.727	25.502	-14.650
	Max. Vert	10	391.100	-25.410	-14.528
	Max. H _x	23	-330.787	22.673	12.942
	Max. H _z	25	-300.039	19.613	13.762
	Min. Vert	23	-330.787	22.673	12.942
Leg A	Min. H _x	10	391.100	-25.410	-14.528
	Min. H _z	10	391.100	-25.410	-14.528
	Max. Vert	2	411.507	-0.050	30.795
	Max. H _x	21	16.579	4.120	0.720
	Max. H _z	2	411.507	-0.050	30.795
	Min. Vert	15	-352.215	0.055	-27.772
	Min. H _x	9	16.579	-4.121	0.721
	Min. H _z	15	-352.215	0.055	-27.772

Tower Mast Reaction Summary

Load Combination	Vertical K	Shear _x K	Shear _z K	Overturning Moment, M _x kip-ft	Overturning Moment, M _z kip-ft	Torque kip-ft
Dead Only	56.351	-0.000	0.000	6.972	0.785	0.000
1.2 Dead+1.0 Wind 0 deg - No Ice	67.621	0.000	-52.465	-7579.246	0.954	-2.061
0.9 Dead+1.0 Wind 0 deg - No Ice	50.716	0.000	-52.463	-7566.235	0.717	-2.060
1.2 Dead+1.0 Wind 30 deg - No Ice	67.621	24.476	-42.393	-6225.789	-3598.288	4.077
0.9 Dead+1.0 Wind 30 deg - No Ice	50.716	24.475	-42.391	-6215.395	-3591.363	4.068
1.2 Dead+1.0 Wind 60 deg - No Ice	67.621	40.025	-23.108	-3411.872	-5923.239	2.457
0.9 Dead+1.0 Wind 60 deg - No Ice	50.716	40.023	-23.108	-3407.141	-5911.605	2.439
1.2 Dead+1.0 Wind 90 deg - No Ice	67.621	46.171	-0.000	8.538	-6786.956	0.397
0.9 Dead+1.0 Wind 90 deg - No Ice	50.716	46.169	-0.000	6.367	-6773.577	0.375
1.2 Dead+1.0 Wind 120 deg - No Ice	67.621	43.033	24.845	3597.559	-6215.547	4.914
0.9 Dead+1.0 Wind 120 deg - No Ice	50.716	43.031	24.844	3588.274	-6203.381	4.895
1.2 Dead+1.0 Wind 150 deg - No Ice	67.621	24.357	42.188	6199.183	-3573.351	7.885
0.9 Dead+1.0 Wind 150 deg - No Ice	50.716	24.356	42.186	6184.695	-3566.390	7.874
1.2 Dead+1.0 Wind 180 deg - No Ice	67.621	0.000	48.757	7209.032	0.953	2.062
0.9 Dead+1.0 Wind 180 deg - No Ice	50.716	0.000	48.756	7192.514	0.715	2.061
1.2 Dead+1.0 Wind 210 deg - No Ice	67.621	-24.475	42.393	6242.584	3600.317	-4.078
0.9 Dead+1.0 Wind 210 deg - No Ice	50.716	-24.474	42.391	6227.998	3592.823	-4.069
1.2 Dead+1.0 Wind 240 deg - No Ice	67.621	-43.235	24.962	3622.321	6260.345	-2.459

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Load Combination	Vertical K	Shear _x K	Shear _z K	Overturning Moment, M _x kip-ft	Overturning Moment, M _z kip-ft	Torque kip-ft
0.9 Dead+1.0 Wind 240 deg - No Ice	50.716	-43.234	24.961	3612.979	6247.604	-2.440
1.2 Dead+1.0 Wind 270 deg - No Ice	67.621	-46.171	-0.000	8.538	6788.850	-0.397
0.9 Dead+1.0 Wind 270 deg - No Ice	50.716	-46.169	-0.000	6.366	6774.996	-0.375
1.2 Dead+1.0 Wind 300 deg - No Ice	67.621	-39.822	-22.991	-3387.097	5882.236	-4.912
0.9 Dead+1.0 Wind 300 deg - No Ice	50.716	-39.821	-22.991	-3382.423	5870.224	-4.893
1.2 Dead+1.0 Wind 330 deg - No Ice	67.621	-24.357	-42.188	-6182.374	3575.133	-7.885
0.9 Dead+1.0 Wind 330 deg - No Ice	50.716	-24.357	-42.186	-6172.080	3567.789	-7.874
1.2 Dead+1.0 Ice+1.0 Temp	174.730	0.000	-0.001	22.219	8.695	0.000
1.2 Dead+1.0 Wind 0 deg+1.0 Ice+1.0 Temp	174.730	0.000	-7.195	-1084.821	8.880	-0.794
1.2 Dead+1.0 Wind 30 deg+1.0 Ice+1.0 Temp	174.730	3.472	-6.014	-912.167	-530.949	-1.076
1.2 Dead+1.0 Wind 60 deg+1.0 Ice+1.0 Temp	174.730	5.834	-3.368	-503.074	-902.068	-0.302
1.2 Dead+1.0 Wind 90 deg+1.0 Ice+1.0 Temp	174.730	6.717	-0.000	22.867	-1036.727	0.553
1.2 Dead+1.0 Wind 120 deg+1.0 Ice+1.0 Temp	174.730	6.035	3.484	559.666	-920.893	0.491
1.2 Dead+1.0 Wind 150 deg+1.0 Ice+1.0 Temp	174.730	3.462	5.997	954.274	-528.873	0.296
1.2 Dead+1.0 Wind 180 deg+1.0 Ice+1.0 Temp	174.730	0.000	6.944	1104.638	8.878	0.793
1.2 Dead+1.0 Wind 210 deg+1.0 Ice+1.0 Temp	174.730	-3.472	6.014	957.886	548.714	1.076
1.2 Dead+1.0 Wind 240 deg+1.0 Ice+1.0 Temp	174.730	-6.051	3.494	561.751	942.261	0.302
1.2 Dead+1.0 Wind 270 deg+1.0 Ice+1.0 Temp	174.730	-6.717	-0.000	22.865	1054.484	-0.553
1.2 Dead+1.0 Wind 300 deg+1.0 Ice+1.0 Temp	174.730	-5.817	-3.359	-500.988	916.215	-0.490
1.2 Dead+1.0 Wind 330 deg+1.0 Ice+1.0 Temp	174.730	-3.462	-5.997	-908.553	546.624	-0.296
Dead+Wind 0 deg - Service	56.351	0.000	-17.131	-2467.374	0.789	-0.673
Dead+Wind 30 deg - Service	56.351	7.992	-13.842	-2025.968	-1172.954	1.346
Dead+Wind 60 deg - Service	56.351	13.069	-7.545	-1108.347	-1931.089	0.798
Dead+Wind 90 deg - Service	56.351	15.076	-0.000	7.026	-2212.753	0.111
Dead+Wind 120 deg - Service	56.351	14.051	8.112	1177.446	-2026.442	1.600
Dead+Wind 150 deg - Service	56.351	7.953	13.775	2025.855	-1164.784	2.589
Dead+Wind 180 deg - Service	56.351	0.000	15.920	2355.155	0.789	0.673
Dead+Wind 210 deg - Service	56.351	-7.992	13.842	2040.009	1174.535	-1.346
Dead+Wind 240 deg - Service	56.351	-14.117	8.151	1185.522	2042.009	-0.799
Dead+Wind 270 deg - Service	56.351	-15.076	-0.000	7.026	2214.330	-0.111
Dead+Wind 300 deg - Service	56.351	-13.003	-7.507	-1100.269	1918.678	-1.600
Dead+Wind 330 deg - Service	56.351	-7.953	-13.775	-2011.813	1166.361	-2.589

Solution Summary

Load Comb.	Sum of Applied Forces			Sum of Reactions			% Error
	PX K	PY K	PZ K	PX K	PY K	PZ K	
1	0.000	-56.351	0.000	0.000	56.351	-0.000	0.000%

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Load Comb.	Sum of Applied Forces			Sum of Reactions			% Error
	PX K	PY K	PZ K	PX K	PY K	PZ K	
2	0.000	-67.621	-52.467	-0.000	67.621	52.465	0.003%
3	0.000	-50.716	-52.467	-0.000	50.716	52.463	0.006%
4	24.477	-67.621	-42.395	-24.476	67.621	42.393	0.003%
5	24.477	-50.716	-42.395	-24.475	50.716	42.391	0.006%
6	40.026	-67.621	-23.109	-40.025	67.621	23.108	0.002%
7	40.026	-50.716	-23.109	-40.023	50.716	23.108	0.005%
8	46.173	-67.621	0.000	-46.171	67.621	0.000	0.003%
9	46.173	-50.716	0.000	-46.169	50.716	0.000	0.005%
10	43.035	-67.621	24.846	-43.033	67.621	-24.845	0.003%
11	43.035	-50.716	24.846	-43.031	50.716	-24.844	0.006%
12	24.358	-67.621	42.190	-24.357	67.621	-42.188	0.003%
13	24.358	-50.716	42.190	-24.356	50.716	-42.186	0.006%
14	0.000	-67.621	48.759	-0.000	67.621	-48.757	0.002%
15	0.000	-50.716	48.759	-0.000	50.716	-48.756	0.005%
16	-24.477	-67.621	42.395	24.475	67.621	-42.393	0.003%
17	-24.477	-50.716	42.395	24.474	50.716	-42.391	0.006%
18	-43.238	-67.621	24.963	43.235	67.621	-24.962	0.003%
19	-43.238	-50.716	24.963	43.234	50.716	-24.961	0.006%
20	-46.173	-67.621	0.000	46.171	67.621	0.000	0.003%
21	-46.173	-50.716	0.000	46.169	50.716	0.000	0.005%
22	-39.824	-67.621	-22.992	39.822	67.621	22.991	0.002%
23	-39.824	-50.716	-22.992	39.821	50.716	22.991	0.005%
24	-24.358	-67.621	-42.190	24.357	67.621	42.188	0.003%
25	-24.358	-50.716	-42.190	24.357	50.716	42.186	0.006%
26	0.000	-174.730	0.000	-0.000	174.730	0.001	0.001%
27	0.000	-174.730	-7.196	-0.000	174.730	7.195	0.000%
28	3.472	-174.730	-6.014	-3.472	174.730	6.014	0.000%
29	5.834	-174.730	-3.368	-5.834	174.730	3.368	0.000%
30	6.718	-174.730	0.000	-6.717	174.730	0.000	0.000%
31	6.035	-174.730	3.484	-6.035	174.730	-3.484	0.000%
32	3.463	-174.730	5.997	-3.462	174.730	-5.997	0.000%
33	0.000	-174.730	6.945	-0.000	174.730	-6.944	0.000%
34	-3.472	-174.730	6.014	3.472	174.730	-6.014	0.000%
35	-6.052	-174.730	3.494	6.051	174.730	-3.494	0.000%
36	-6.718	-174.730	0.000	6.717	174.730	0.000	0.000%
37	-5.818	-174.730	-3.359	5.817	174.730	3.359	0.000%
38	-3.463	-174.730	-5.997	3.462	174.730	5.997	0.000%
39	0.000	-56.351	-17.132	-0.000	56.351	17.131	0.003%
40	7.992	-56.351	-13.843	-7.992	56.351	13.842	0.002%
41	13.070	-56.351	-7.546	-13.069	56.351	7.545	0.002%
42	15.077	-56.351	0.000	-15.076	56.351	0.000	0.002%
43	14.052	-56.351	8.113	-14.051	56.351	-8.112	0.002%
44	7.954	-56.351	13.776	-7.953	56.351	-13.775	0.002%
45	0.000	-56.351	15.921	-0.000	56.351	-15.920	0.002%
46	-7.992	-56.351	13.843	7.992	56.351	-13.842	0.002%
47	-14.118	-56.351	8.151	14.117	56.351	-8.151	0.002%
48	-15.077	-56.351	0.000	15.076	56.351	0.000	0.002%
49	-13.004	-56.351	-7.508	13.003	56.351	7.507	0.002%
50	-7.954	-56.351	-13.776	7.953	56.351	13.775	0.002%

Non-Linear Convergence Results

Load Combination	Converged?	Number of Cycles	Displacement Tolerance	Force Tolerance
1	Yes	6	0.00000001	0.00000001
2	Yes	13	0.00003934	0.00008877

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3	Yes	12	0.00006844	0.00014772
4	Yes	13	0.00003626	0.00008211
5	Yes	12	0.00006181	0.00013387
6	Yes	13	0.00000001	0.00007544
7	Yes	12	0.00005506	0.00011971
8	Yes	13	0.00000001	0.00008202
9	Yes	12	0.00006168	0.00013363
10	Yes	13	0.00003908	0.00008822
11	Yes	12	0.00006789	0.00014659
12	Yes	13	0.00003623	0.00008205
13	Yes	12	0.00006176	0.00013374
14	Yes	13	0.00000001	0.00007521
15	Yes	12	0.00005486	0.00011922
16	Yes	13	0.00003626	0.00008211
17	Yes	12	0.00006181	0.00013386
18	Yes	13	0.00003913	0.00008832
19	Yes	12	0.00006798	0.00014679
20	Yes	13	0.00000001	0.00008201
21	Yes	12	0.00006168	0.00013362
22	Yes	13	0.00000001	0.00007544
23	Yes	12	0.00005508	0.00011973
24	Yes	13	0.00003623	0.00008205
25	Yes	12	0.00006176	0.00013374
26	Yes	6	0.00000001	0.00005000
27	Yes	14	0.00000001	0.00007698
28	Yes	14	0.00000001	0.00007567
29	Yes	14	0.00000001	0.00007459
30	Yes	14	0.00000001	0.00007525
31	Yes	14	0.00000001	0.00007727
32	Yes	14	0.00000001	0.00007787
33	Yes	14	0.00000001	0.00007826
34	Yes	14	0.00000001	0.00007844
35	Yes	14	0.00000001	0.00007809
36	Yes	14	0.00000001	0.00007597
37	Yes	14	0.00000001	0.00007499
38	Yes	14	0.00000001	0.00007579
39	Yes	12	0.00000001	0.00014709
40	Yes	12	0.00000001	0.00014268
41	Yes	12	0.00000001	0.00013837
42	Yes	12	0.00000001	0.00014254
43	Yes	12	0.00000001	0.00014662
44	Yes	12	0.00000001	0.00014263
45	Yes	12	0.00000001	0.00013835
46	Yes	12	0.00000001	0.00014272
47	Yes	12	0.00000001	0.00014673
48	Yes	12	0.00000001	0.00014253
49	Yes	12	0.00000001	0.00013830
50	Yes	12	0.00000001	0.00014258

Maximum Tower Deflections - Service Wind

Section No.	Elevation ft	Horz. Deflection in	Gov. Load Comb.	Tilt °	Twist °
T1	240 - 220	11.196	39	0.397	0.107
T2	220 - 200	9.499	39	0.386	0.088
T3	200 - 180	7.821	39	0.359	0.056
T4	180 - 160	6.294	39	0.319	0.035
T5	160 - 140	4.954	39	0.276	0.021
T6	140 - 120	3.805	39	0.234	0.014

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Section No.	Elevation ft	Horz. Deflection in	Gov. Load Comb.	Tilt °	Twist °
T7	120 - 100	2.817	39	0.197	0.008
T8	100 - 80	1.982	39	0.158	0.005
T9	80 - 60	1.308	39	0.122	0.003
T10	60 - 40	0.762	39	0.091	0.003
T11	40 - 20	0.359	39	0.059	0.002
T12	20 - 0	0.118	39	0.030	0.001

Critical Deflections and Radius of Curvature - Service Wind

Elevation ft	Appurtenance	Gov. Load Comb.	Deflection in	Tilt °	Twist °	Radius of Curvature ft
240.000	4' Lightning Rod	39	11.196	0.397	0.107	Inf
235.000	Sector1(CaAa=14000 Sq.in)No Ice	39	10.772	0.395	0.103	Inf
220.000	Sector1(CaAa=10000 Sq.in)No Ice	39	9.499	0.386	0.088	546512
205.000	Sector1(CaAa=10000 Sq.in)No Ice	39	8.231	0.368	0.064	35069

Maximum Tower Deflections - Design Wind

Section No.	Elevation ft	Horz. Deflection in	Gov. Load Comb.	Tilt °	Twist °
T1	240 - 220	34.462	2	1.223	0.330
T2	220 - 200	29.230	2	1.191	0.272
T3	200 - 180	24.061	2	1.106	0.173
T4	180 - 160	19.358	2	0.981	0.107
T5	160 - 140	15.233	2	0.848	0.065
T6	140 - 120	11.700	2	0.721	0.042
T7	120 - 100	8.662	2	0.605	0.026
T8	100 - 80	6.093	2	0.484	0.014
T9	80 - 60	4.019	2	0.376	0.010
T10	60 - 40	2.342	2	0.280	0.008
T11	40 - 20	1.105	2	0.181	0.005
T12	20 - 0	0.363	2	0.091	0.002

Critical Deflections and Radius of Curvature - Design Wind

Elevation ft	Appurtenance	Gov. Load Comb.	Deflection in	Tilt °	Twist °	Radius of Curvature ft
240.000	4' Lightning Rod	2	34.462	1.223	0.330	384597
235.000	Sector1(CaAa=14000 Sq.in)No Ice	2	33.156	1.217	0.318	384597
220.000	Sector1(CaAa=10000 Sq.in)No Ice	2	29.230	1.191	0.272	217906
205.000	Sector1(CaAa=10000 Sq.in)No Ice	2	25.324	1.132	0.198	11545

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	Client	Designed by
	APC Towers	aashwood

Bolt Design Data

Section No.	Elevation ft	Component Type	Bolt Grade	Bolt Size in	Number Of Bolts	Maximum Load per Bolt K	Allowable Load per Bolt K	Ratio Load Allowable	Allowable Ratio	Criteria
T1	240	Diagonal	A325X	0.625	1	3.773	9.598	0.393 ✓	1	Member Block Shear
		Top Girt	A325X	0.625	1	1.321	9.598	0.138 ✓	1	Member Block Shear
T2	220	Leg	A325N	0.750	6	3.329	30.101	0.111 ✓	1	Bolt Tension
		Diagonal	A325X	0.625	1	7.605	9.598	0.792 ✓	1	Member Block Shear
T3	200	Leg	A325N	0.750	6	9.609	30.101	0.319 ✓	1	Bolt Tension
		Diagonal	A325X	0.625	1	7.131	10.740	0.664 ✓	1	Member Block Shear
T4	180	Leg	A325N	0.750	6	16.273	30.101	0.541 ✓	1	Bolt Tension
		Diagonal	A325X	0.625	1	6.899	10.740	0.642 ✓	1	Member Block Shear
T5	160	Leg	A325N	1.000	6	22.011	54.517	0.404 ✓	1	Bolt Tension
		Diagonal	A325X	0.625	1	7.038	13.025	0.540 ✓	1	Member Block Shear
T6	140	Leg	A325N	1.000	6	27.224	54.517	0.499 ✓	1	Bolt Tension
		Diagonal	A325X	0.625	1	7.436	13.025	0.571 ✓	1	Member Block Shear
T7	120	Leg	A325N	1.000	6	32.154	54.517	0.590 ✓	1	Bolt Tension
		Diagonal	A325X	0.625	1	7.676	13.025	0.589 ✓	1	Member Block Shear
T8	100	Leg	A325N	1.000	6	36.860	54.517	0.676 ✓	1	Bolt Tension
		Diagonal	A325X	0.625	1	8.224	14.168	0.580 ✓	1	Member Block Shear
T9	80	Leg	A325N	1.250	6	41.458	87.220	0.475 ✓	1	Bolt Tension
		Diagonal	A325X	0.625	1	8.835	14.168	0.624 ✓	1	Member Block Shear
T10	60	Leg	A325N	1.250	6	45.999	87.220	0.527 ✓	1	Bolt Tension
		Diagonal	A325X	0.625	1	9.344	17.257	0.541 ✓	1	Bolt Shear
T11	40	Leg	A325N	1.250	6	50.436	87.220	0.578 ✓	1	Bolt Tension
		Diagonal	A325X	0.625	1	10.287	26.051	0.395 ✓	1	Member Block Shear
		Horizontal	A325X	0.625	1	6.607	21.480	0.308 ✓	1	Member Block Shear
T12	20	Leg	A325N	1.250	6	54.764	87.220	0.628 ✓	1	Bolt Tension
		Diagonal	A325X	0.625	1	10.167	26.051	0.390 ✓	1	Member Block Shear
		Horizontal	A325X	0.625	1	7.148	21.480	0.333 ✓	1	Member Block Shear

Compression Checks

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Leg Design Data (Compression)

Section No.	Elevation ft	Size	L ft	L _u ft	Kl/r	A in ²	P _u K	φP _n K	Ratio $\frac{P_u}{\phi P_n}$
T1	240 - 220	1 3/4	20.019	4.754	130.4 K=1.00	2.405	-19.018	31.952	0.595 ¹ ✓
T2	220 - 200	2 1/4	20.019	4.754	101.4 K=1.00	3.976	-58.986	84.331	0.699 ¹ ✓
T3	200 - 180	2 1/2	20.019	4.754	91.3 K=1.00	4.909	-102.980	120.108	0.857 ¹ ✓
T4	180 - 160	2 3/4	20.019	4.754	83.0 K=1.00	5.940	-141.300	161.540	0.875 ¹ ✓
T5	160 - 140	3	20.019	4.754	76.1 K=1.00	7.069	-176.774	208.347	0.848 ¹ ✓
T6	140 - 120	3 1/4	20.019	4.754	70.2 K=1.00	8.296	-210.902	260.312	0.810 ¹ ✓
T7	120 - 100	3 1/4	20.019	4.754	70.2 K=1.00	8.296	-244.066	260.312	0.938 ¹ ✓
T8	100 - 80	3 1/2	20.019	4.754	65.2 K=1.00	9.621	-277.058	317.273	0.873 ¹ ✓
T9	80 - 60	3 3/4	20.019	4.754	60.9 K=1.00	11.045	-310.216	379.106	0.818 ¹ ✓
T10	60 - 40	3 3/4	20.019	4.754	60.9 K=1.00	11.045	-343.610	379.106	0.906 ¹ ✓
T11	40 - 20	4	20.019	4.754	57.1 K=1.00	12.566	-372.564	445.717	0.836 ¹ ✓
T12	20 - 0	4	20.019	4.754	57.1 K=1.00	12.566	-404.036	445.717	0.906 ¹ ✓

¹ P_u / φP_n controls

Diagonal Design Data (Compression)

Section No.	Elevation ft	Size	L ft	L _u ft	Kl/r	A in ²	P _u K	φP _n K	Ratio $\frac{P_u}{\phi P_n}$
T1	240 - 220	L1 3/4x1 3/4x3/16	7.485	3.764	131.5 K=1.00	0.621	-3.307	10.280	0.322 ¹ ✓
T2	220 - 200	L1 3/4x1 3/4x3/16	8.697	4.343	151.7 K=1.00	0.621	-6.928	7.721	0.897 ¹ ✓
T3	200 - 180	L2x2x3/16	9.987	4.976	151.6 K=1.00	0.715	-6.493	8.909	0.729 ¹ ✓
T4	180 - 160	L2x2x3/16	11.329	5.636	171.7 K=1.00	0.715	-6.423	6.945	0.925 ¹ ✓
T5	160 - 140	L2 1/2x2 1/2x3/16	12.706	6.314	153.1 K=1.00	0.902	-6.641	11.018	0.603 ¹ ✓
T6	140 - 120	L2 1/2x2 1/2x3/16	14.108	7.005	169.8 K=1.00	0.902	-7.071	8.952	0.790 ¹ ✓
T7	120 - 100	L2 1/2x2 1/2x3/16	15.529	7.716	187.1 K=1.00	0.902	-7.350	7.379	0.996 ¹ ✓
T8	100 - 80	L3x3x3/16	16.963	8.422	169.6	1.090	-7.934	10.848	0.731 ¹ ✓

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Section No.	Elevation ft	Size	L ft	L _u ft	Kl/r	A in ²	P _u K	φP _n K	Ratio $\frac{P_u}{\phi P_n}$
T9	80 - 60	L3x3x3/16	18.408	9.134	K=1.00 183.9	1.090	-8.617	9.223	0.934 ¹ ✓
T10	60 - 40	L3x3x1/4	19.861	9.861	K=1.00 199.9	1.440	-9.050	10.315	0.877 ¹ ✓
T11	40 - 20	2L2 1/2x2 1/2x3/16x3/8	11.508	11.325	K=1.00 174.4	1.800	-10.188	16.452	0.619 ¹ ✓
T12	20 - 0	ai/ri > 0.75(KL/r) _o - 284 2L2 1/2x2 1/2x3/16x3/8 ai/ri > 0.75(KL/r) _o - 323	12.195	12.014	K=1.00 185.0	1.800	-10.282	14.672	0.701 ¹ ✓

¹ P_u / φP_n controls

Horizontal Design Data (Compression)

Section No.	Elevation ft	Size	L ft	L _u ft	Kl/r	A in ²	P _u K	φP _n K	Ratio $\frac{P_u}{\phi P_n}$
T11	40 - 20	2L2x2x3/16x3/8	20.606	10.136	K=1.00 197.1	1.430	-6.607	10.397	0.636 ¹ ✓
T12	20 - 0	ai/ri > 0.75(KL/r) _o - 280 2L2x2x3/16x3/8 ai/ri > 0.75(KL/r) _o - 319	22.106	10.886	K=1.00 211.6	1.430	-7.148	9.031	0.791 ¹ ✓

¹ P_u / φP_n controls

Top Girt Design Data (Compression)

Section No.	Elevation ft	Size	L ft	L _u ft	Kl/r	A in ²	P _u K	φP _n K	Ratio $\frac{P_u}{\phi P_n}$
T1	240 - 220	L1 3/4x1 3/4x3/16	4.538	4.392	K=1.00 153.4	0.621	-1.235	7.550	0.164 ¹ ✓

¹ P_u / φP_n controls

Inner Bracing Design Data (Compression)

Section No.	Elevation ft	Size	L ft	L _u ft	Kl/r	A in ²	P _u K	φP _n K	Ratio $\frac{P_u}{\phi P_n}$
T11	40 - 20	L1 3/4x1 3/4x3/16	10.303	10.303	360.0	0.621	-0.010	1.372	0.007 ¹

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	APC Towers	aashwood

Section No.	Elevation ft	Size	L ft	L _u ft	Kl/r	A in ²	P _u K	φP _n K	Ratio $\frac{P_u}{\phi P_n}$
K=1.00									✓
T12	20 - 0	KL/R > 250 (C) - 287 L1 3/4x1 3/4x3/16	11.053	11.053	386.2 K=1.00	0.621	-0.009	1.192	0.008 ¹ ✓
KL/R > 250 (C) - 327									

¹ P_u / φP_n controls

Tension Checks

Leg Design Data (Tension)

Section No.	Elevation ft	Size	L ft	L _u ft	Kl/r	A in ²	P _u K	φP _n K	Ratio $\frac{P_u}{\phi P_n}$
T1	240 - 220	1 3/4	20.019	0.500	13.7	2.405	19.979	108.238	0.185 ¹ ✓
T2	220 - 200	2 1/4	20.019	0.500	10.7	3.976	57.662	178.924	0.322 ¹ ✓
T3	200 - 180	2 1/2	20.019	0.500	9.6	4.909	97.644	220.893	0.442 ¹ ✓
T4	180 - 160	2 3/4	20.019	0.500	8.7	5.940	132.075	267.281	0.494 ¹ ✓
T5	160 - 140	3	20.019	0.500	8.0	7.069	163.355	318.086	0.514 ¹ ✓
T6	140 - 120	3 1/4	20.019	0.500	7.4	8.296	192.934	373.310	0.517 ¹ ✓
T7	120 - 100	3 1/4	20.019	0.500	7.4	8.296	221.173	373.310	0.592 ¹ ✓
T8	100 - 80	3 1/2	20.019	0.500	6.9	9.621	248.761	432.951	0.575 ¹ ✓
T9	80 - 60	3 3/4	20.019	0.500	6.4	11.045	276.010	497.010	0.555 ¹ ✓
T10	60 - 40	3 3/4	20.019	0.500	6.4	11.045	302.633	497.010	0.609 ¹ ✓
T11	40 - 20	4	20.019	0.500	6.0	12.566	328.603	565.487	0.581 ¹ ✓
T12	20 - 0	4	20.019	0.500	6.0	12.566	353.150	565.487	0.625 ¹ ✓

¹ P_u / φP_n controls

Diagonal Design Data (Tension)

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Section No.	Elevation ft	Size	L ft	L _u ft	Kl/r	A in ²	P _u K	φP _n K	Ratio $\frac{P_u}{\phi P_n}$
T1	240 - 220	L1 3/4x1 3/4x3/16	6.950	3.502	78.3	0.360	3.773	17.567	0.215 ¹
T2	220 - 200	L1 3/4x1 3/4x3/16	8.697	4.343	97.1	0.360	7.605	17.567	0.433 ¹
T3	200 - 180	L2x2x3/16	9.987	4.976	96.8	0.431	7.131	21.001	0.340 ¹
T4	180 - 160	L2x2x3/16	11.329	5.636	109.6	0.431	6.899	21.001	0.329 ¹
T5	160 - 140	L2 1/2x2 1/2x3/16	12.706	6.314	97.4	0.571	7.038	27.838	0.253 ¹
T6	140 - 120	L2 1/2x2 1/2x3/16	14.108	7.005	108.0	0.571	7.436	27.838	0.267 ¹
T7	120 - 100	L2 1/2x2 1/2x3/16	15.529	7.716	119.0	0.571	7.676	27.838	0.276 ¹
T8	100 - 80	L3x3x3/16	16.963	8.422	107.6	0.712	8.224	34.712	0.237 ¹
T9	80 - 60	L3x3x3/16	18.408	9.134	116.7	0.712	8.835	34.712	0.255 ¹
T10	60 - 40	L3x3x1/4	19.861	9.861	127.2	0.939	9.344	45.794	0.204 ¹
T11	40 - 20	2L2 1/2x2 1/2x3/16x3/8	11.508	11.325	174.7	1.139	10.287	55.529	0.185 ¹
T12	20 - 0	ai/ri > 0.75(KL/r) _o - 285 2L2 1/2x2 1/2x3/16x3/8 ai/ri > 0.75(KL/r) _o - 324	12.195	12.014	185.3	1.139	10.167	55.529	0.183 ¹

¹ P_u / φP_n controls

Horizontal Design Data (Tension)

Section No.	Elevation ft	Size	L ft	L _u ft	Kl/r	A in ²	P _u K	φP _n K	Ratio $\frac{P_u}{\phi P_n}$
T11	40 - 20	2L2x2x3/16x3/8	20.606	10.136	197.1	0.862	6.607	42.001	0.157 ¹
T12	20 - 0	ai/ri > 0.75(KL/r) _o - 283 2L2x2x3/16x3/8 ai/ri > 0.75(KL/r) _o - 319	22.106	10.886	211.7	0.862	7.148	42.001	0.170 ¹

¹ P_u / φP_n controls

Top Girt Design Data (Tension)

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	APC Towers	aashwood

Section No.	Elevation ft	Size	L ft	L _u ft	Kl/r	A in ²	P _u K	φP _n K	Ratio $\frac{P_u}{\phi P_n}$
T1	240 - 220	L1 3/4x1 3/4x3/16	4.538	4.392	98.1	0.360	1.321	17.567	0.075 ¹



¹ P_u / φP_n controls

Section Capacity Table

Section No.	Elevation ft	Component Type	Size	Critical Element	P K	φP _{allow} K	% Capacity	Pass Fail
T1	240 - 220	Leg	1 3/4	3	-19.018	31.952	59.5	Pass
T2	220 - 200	Leg	2 1/4	33	-58.986	84.331	69.9	Pass
T3	200 - 180	Leg	2 1/2	60	-102.980	120.108	85.7	Pass
T4	180 - 160	Leg	2 3/4	87	-141.300	161.540	87.5	Pass
T5	160 - 140	Leg	3	114	-176.774	208.347	84.8	Pass
T6	140 - 120	Leg	3 1/4	141	-210.902	260.312	81.0	Pass
T7	120 - 100	Leg	3 1/4	168	-244.066	260.312	93.8	Pass
T8	100 - 80	Leg	3 1/2	195	-277.058	317.273	87.3	Pass
T9	80 - 60	Leg	3 3/4	222	-310.216	379.106	81.8	Pass
T10	60 - 40	Leg	3 3/4	249	-343.610	379.106	90.6	Pass
T11	40 - 20	Leg	4	276	-372.564	445.717	83.6	Pass
T12	20 - 0	Leg	4	315	-404.036	445.717	90.6	Pass
T1	240 - 220	Diagonal	L1 3/4x1 3/4x3/16	11	-3.307	10.280	32.2	Pass
							39.3 (b)	
T2	220 - 200	Diagonal	L1 3/4x1 3/4x3/16	38	-6.928	7.721	89.7	Pass
T3	200 - 180	Diagonal	L2x2x3/16	65	-6.493	8.909	72.9	Pass
T4	180 - 160	Diagonal	L2x2x3/16	92	-6.423	6.945	92.5	Pass
T5	160 - 140	Diagonal	L2 1/2x2 1/2x3/16	119	-6.641	11.018	60.3	Pass
T6	140 - 120	Diagonal	L2 1/2x2 1/2x3/16	146	-7.071	8.952	79.0	Pass
T7	120 - 100	Diagonal	L2 1/2x2 1/2x3/16	173	-7.350	7.379	99.6	Pass
T8	100 - 80	Diagonal	L3x3x3/16	200	-7.934	10.848	73.1	Pass
T9	80 - 60	Diagonal	L3x3x3/16	227	-8.617	9.223	93.4	Pass
T10	60 - 40	Diagonal	L3x3x1/4	254	-9.050	10.315	87.7	Pass
T11	40 - 20	Diagonal	2L2 1/2x2 1/2x3/16x3/8	284	-10.188	16.452	61.9	Pass
T12	20 - 0	Diagonal	2L2 1/2x2 1/2x3/16x3/8	323	-10.282	14.672	70.1	Pass
T11	40 - 20	Horizontal	2L2x2x3/16x3/8	280	-6.607	10.397	63.6	Pass
T12	20 - 0	Horizontal	2L2x2x3/16x3/8	319	-7.148	9.031	79.1	Pass
T1	240 - 220	Top Girt	L1 3/4x1 3/4x3/16	4	-1.235	7.550	16.4	Pass
T11	40 - 20	Inner Bracing	L1 3/4x1 3/4x3/16	287	-0.010	1.372	0.7	Pass
T12	20 - 0	Inner Bracing	L1 3/4x1 3/4x3/16	327	-0.009	1.192	0.8	Pass
							Summary	
							Leg (T7)	93.8
							Diagonal (T7)	99.6
							Horizontal (T12)	79.1
							Top Girt (T1)	16.4
							Inner Bracing (T12)	0.8
							Bolt Checks	79.2
							RATING =	99.6

<i>tnxTower</i> <i>B+T Group</i> 1717 S Boulder Ave, Suite 300 Tulsa, OK 74119 Phone: (918) 587-4630 FAX: (918) 295-0265	Job ATS#: C163 - East Lake Cumberland (Site# KY-4076)	Page 31 of 31
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RUSSELL COUNTY



FCC REGISTERED TOWERS				
TOWER	TOWER OWNER	ASR	LATITUDE	LONGITUDE
1	CELLCO PARTNERSHIP	1257754	37° 7'44.70"N	85° 2'39.70"W
2	UNITI TOWERS LLC	1318405	37° 5'25.30"N	84°54'43.80"W
3	SBA INFRASTRUCTURES, LLC	1232264	37° 5'19.70"N	84°54'47.30"W
4	SBA TOWERS VII, LLC	1257488	37° 4'19.50"N	84°59'59.40"W
5	TILLMAN INFRASTRUCTURE, LLC	1321407	37° 4'6.80"N	84°59'55.80"W
6	CTI ASSETS II, LLC	1309775	37° 4'40.80"N	85° 1'23.50"W
7	HAMMOND BROADCASTING INC	1065125	37° 5'39.00"N	85° 4'49.00"W
8	UNITI TOWERS LLC	1316896	37° 4'7.30"N	85° 4'37.40"W
9	HARMONI TOWERS LLC	1319987	37° 4'7.30"N	85° 4'37.40"W
10	SBA INFRASTRUCTURES, LLC	1232919	37° 3'51.90"N	85° 4'19.50"W
11	GLOBAL TOWER, LLC. THROUGH AMERICAN TOWERS, LLC	1013822	37° 3'21.00"N	85° 3'45.00"W
12	DUO COUNTY TELEPHONE COOPERATIVE CORPORATION, INC.	1060800	37° 3'15.40"N	85° 5'14.80"W
13	HOOVER, MAE DBA = LAKE CUMBERLAND BROADCASTERS	1043881	37° 1'31.00"N	85° 4'23.00"W
14	RUSSELL COUNTY AIRPORT	1272430	37° 0'20.00"N	85° 5'59.00"W
15	UNITI TOWERS LLC	1316461	36°59'15.30"N	85° 4'2.00"W
16	SBA INFRASTRUCTURES, LLC	1249806	36°59'14.90"N	85° 4'3.00"W
17	CELLCO PARTNERSHIP	1259175	36°59'34.10"N	84°56'3.70"W
18	EAST KENTUCKY POWER COOPERATIVE, INC	1044511	36°55'25.00"N	85° 6'22.00"W
19	SBA TOWERS III LLC	1261129	36°55'30.60"N	85° 5'33.60"W
20	TILLMAN INFRASTRUCTURE, LLC	1321265	36°55'26.20"N	85° 5'37.90"W
21	CELLCO PARTNERSHIP	1254846	36°53'3.20"N	85° 6'5.40"W
22	US ARMY CORPS OF ENGINEERS	1289489	36°51'48.80"N	85°8'57.50"W
23	SBA TOWERS III LLC	1261117	36°51'35.70"N	85°9'37.10"W
NEW	APC TOWERS	TBD	36°52'33.07"N	85°09'26.37"W

PREPARED FOR:



8601 SIX FORKS RD
RALEIGH, NORTH CAROLINA 27615

PREPARED BY:



1961 NORTHPOINT BLVD, SUITE 130
HIXSON, TN 37343
PH: 423-843-9500
FAX: 423-843-9509

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DRAWN BY:	MDR
CHECKED BY:	DS

REVISIONS				
0	11/03/25	JAE	ZONING ISSUE	
B	10/24/25	WAM	PRELIMINARY REVIEW	
A	10/16/25	MDR	PRELIMINARY REVIEW	
NO.	DATE	BY	DESCRIPTION	

ENGINEER'S STAMP:



NOT VALID WITHOUT P.E. STAMP & SIGNATURE

SITE NAME:	CK EAST LAKE CUMBERLAND
ADDRESS:	380 SWAN POND RD JAMESTOWN, KY 42629
COUNTY:	RUSSELL
LATITUDE:	36° 52' 33.07" N
LONGITUDE:	85° 09' 26.37" W
SITE NUMBER:	KY-4076

SHEET TITLE:	TITLE SHEET
--------------	-------------

DRAWING NO.	REVISION:
ASR	0

Privacy Act Statement (5 U.S.C. § 552a(e)(3)): Authority: Information solicited by the Federal Aviation Administration (FAA) Obstruction Evaluation/Airport Airspace Analysis (OE/AAA) is authorized by 49 U.S.C. § 44718 and 47101 Purpose: The FAA OE/AAA is an application used to evaluate all structures that may affect the national airspace system and defend against potential hazards to the safety and efficient use of the navigable airspace. The information collected is used to allow a user access to the OE/AAA and to administer the Aeronautical Study Process. Routine Uses: In accordance with the Privacy Act system of records notice, DOT/ALL 16 Mailing Management System and DOT/FAA 826 Petitions for Exemptions, Other than Medical Exemptions this information may be disclosed to officials within the federal government and the public in general. DOT/ALL 13 - Internet/Intranet Activity and Access Records, this information is routinely used; • To provide information to any person(s) authorized to assist in an approved investigation of improper access or usage of DOT computer systems; • To an actual or potential party or his or her authorized representative for the purpose of negotiation or discussion of such matters as settlement of the case or matter, or informal discovery proceedings; • To contractors, grantees, experts, consultants, detailees, and other non-DOT employees performing or working on a contract, service, grant cooperative agreement, or other assignment from the Federal government, when necessary to accomplish an agency function related to this system of records; and • To other government agencies where required by law.

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U.S. Department of
Transportation
Federal Aviation
Administration

*Failure to Provide All Requested Information May Delay Processing of your
Notice*

Notice of Proposed Construction or Alteration

FOR FAA USE ONLY

Aeronautical Study
Number
2025-ASO-24265-OE

Status: Determined - No
Hazard

1. Sponsor

Name: APC Towers
Attn of: Jonathan Greene
Address: 8601 Six Forks Rd
Suite 250
City: Raleigh
State: NC
Zip: 27615
Country: US
Phone: +1-704-724-8382
Fax:

2.Sponsor's Representative Name:APC Towers, LLC Attn of:APC Towers, LLC Address:8601 Six Forks Road Suite 250 City:RALEIGH State:NC Zip:27615 Country:US Phone:+1-919-249-7732 Fax:		9.Latitude:36 ° 52' 33.07" N 10.Longitude:85 ° 9' 26.37" W 12.Nearest State:KY County:Russell 13.Nearest Public Use0KY Airport: (or Military Airport/Heliport) 14.Distance from Airport39337 ft to Structure: 15.Direction from Airport235 ° to Structure: 16.Site Elevation (SE):600 ft 17.Structure Height (AGL):245 ft 18.Overall Height (AMSL):845 ft 19.Prior ASN (if applicable): 20.Description of Location: See survey 21.Description of Proposal: Construction of new telecommunications tower					
3.Notice of:New Construction 4.Duration: Permanent (Months:0 Days:0) 5.Work Schedule: 6.Type:Antenna Tower 7.Marking/Lighting: Dual-red and high intensity white 8.FCC Antenna Registration Number: (if applicable)							
		Frequencies: <table><thead><tr><th>Low Freq</th><th>High Freq</th><th>Unit</th><th>ERP</th></tr></thead><tbody></tbody></table>		Low Freq	High Freq	Unit	ERP
Low Freq	High Freq	Unit	ERP				

6	7	GHz	42 dBW
6	7	GHz	55 dBW
10	11.7	GHz	42 dBW
10	11.7	GHz	55 dBW
17.7	19.7	GHz	42 dBW
17.7	19.7	GHz	55 dBW
21.2	23.6	GHz	42 dBW
21.2	23.6	GHz	55 dBW
614	698	MHz	1000 W
614	698	MHz	2000 W
698	806	MHz	1000 W
806	824	MHz	500 W
806	901	MHz	500 W
824	849	MHz	500 W
851	866	MHz	500 W
869	894	MHz	500 W
896	901	MHz	500 W
901	902	MHz	7 W
929	932	MHz	3500 W
930	931	MHz	3500 W
931	932	MHz	3500 W
932	932.5	MHz	17 dBW
935	940	MHz	1000 W
940	941	MHz	3500 W
1670	1675	MHz	500 W
1710	1755	MHz	500 W
1850	1910	MHz	1640 W
1850	1990	MHz	1640 W
1930	1990	MHz	1640 W
1990	2025	MHz	500 W
2110	2200	MHz	500 W
2305	2360	MHz	2000 W
2305	2310	MHz	2000 W
2345	2360	MHz	2000 W
2496	2690	MHz	500 W
3700	3980	MHz	1640 W
3700	3980	MHz	3280 W

Letters:

[18/03/2026 - DET](#)

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Expiration Date: 05/31/2026

Privacy Act Statement (5 U.S.C. § 552a(e)(3)): Authority: Information solicited by the Federal Aviation Administration (FAA) Obstruction Evaluation/Airport Airspace Analysis (OE/AAA) is authorized by 49 U.S.C. § 44718 and 47101 Purpose: The FAA OE/AAA is an application used to evaluate all structures that may affect the national airspace system and defend against potential hazards to the safety and efficient use of the navigable airspace. The information collected is used to allow a user access to the OE/AAA and to administer the Aeronautical Study Process. Routine Uses: In accordance with the Privacy Act system of records notice, DOT/ALL 16 Mailing Management System and DOT/FAA 826 Petitions for Exemptions, Other than Medical Exemptions this information may be disclosed to officials within the federal government and the public in general. DOT/ALL 13 - Internet/Intranet Activity and Access Records, this information is routinely used; • To provide information to any person(s) authorized to assist in an approved investigation of improper access or usage of DOT computer systems; • To an actual or potential party or his or her authorized representative for the purpose of negotiation or discussion of such matters as settlement of the case or matter, or informal discovery proceedings; • To contractors, grantees, experts, consultants, detailees, and other non-DOT employees performing or working on a contract, service, grant cooperative agreement, or other assignment from the Federal government, when necessary to accomplish an agency function related to this system of records; and • To other government agencies where required by law.

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U.S. Department of Transportation
Federal Aviation Administration

Failure to Provide All Requested Information May Delay Processing of your Notice

FOR FAA USE ONLY

Notice of Proposed Construction or Alteration

Aeronautical Study Number
2025-ASO-24265-OE

Status: Studying

1. Sponsor Name: APC Towers Attn of: Jonathan Greene Address: 8601 Six Forks Rd Suite 250 City: Raleigh State: NC Zip: 27615 Country: US Phone: tel:+1-704-724-8382 Fax:	9. Latitude: See Collected Point(s) 10. Longitude: See Collected Point(s) 11. Datum: See Collected Point(s) 12. Nearest: City: Rowena State: Kentucky 13. Nearest <i>Public-use</i> or Military Airport or Heliport: JAMESTOWN MARINA/PELA(OKY) 14. Distance from #13. to Structure: 39337 ft. 15. Direction from #13. to Structure: 235 deg 16. Site Elevation (SE): See Collected Point(s) 17. Structure Height (AGL): See Collected Point(s) 18. Overall Height (#16 + #17) (AMSL): See Collected Point(s) Current Overall Height (#16 + #17) (AMSL): See Collected Point(s) 19. Previous FAA Aeronautical Study Number (if applicable): 20. Description of Location: See survey  Processed 7460-2 Forms : Supplemental Form 7460-2 : Add 7460-2
2. Sponsor's Representative Name: APC Towers, LLC Attn of: Jonathan Greene Address: 8601 Six Forks Road City: RALEIGH State: NC Zip: 27615 Country: US Phone: tel:+1-919-249-7732 Fax:	
3. Notice of: Construction 4. Duration: Permanent (Months: Days:) 5. Work Schedule: N/A 6a. Type: Antenna Tower 6b. Name: KY-4076 CK East Lake Cumberland 7. Preferred Marking/Lighting: Not Marked/Dual, High Intensity Strobe during day, Red at night Current Marking/Lighting: 8. FCC Antenna Registration Number (if applicable):	

21. Description of

Proposal:
Construction of new telecommunications tower

Frequencies:

LOW ↓⇐	HIGH ↓⇐	ERP
6	7 GHz	42 dBW
6	7 GHz	55 dBW
10	11.7 GHz	42 dBW
10	11.7 GHz	55 dBW
17.7	19.7 GHz	42 dBW
17.7	19.7 GHz	55 dBW
21.2	23.6 GHz	42 dBW
21.2	23.6 GHz	55 dBW
614	698 MHz	1000 W
614	698 MHz	2000 W
698	806 MHz	1000 W
806	824 MHz	500 W
806	901 MHz	500 W
824	849 MHz	500 W
851	866 MHz	500 W
869	894 MHz	500 W
896	901 MHz	500 W
901	902 MHz	7 W
929	932 MHz	3500 W
930	931 MHz	3500 W
931	932 MHz	3500 W
932	932.5 MHz	17 dBW
935	940 MHz	1000 W
940	941 MHz	3500 W
1670	1675 MHz	500 W
1710	1755 MHz	500 W
1850	1910 MHz	1640 W
1850	1990 MHz	1640 W
1930	1990 MHz	1640 W
1990	2025 MHz	500 W
2110	2200 MHz	500 W
2305	2360 MHz	2000 W
2305	2310 MHz	2000 W

Specific Frequencies:

LOW ↓⇐	HIGH ↓⇐	ERP
3700	3980 MHz	1640 W
3700	3980 MHz	3280 W

LOW	HIGH	ERP
2345	2360 MHz	2000 W
2496	2690 MHz	500 W

Collected Point(s):

Label	Latitude	Longitude	Datum	AGL	SE	SE Validation	SE Comments
pt-1	36 52 33.07N	85 09 26.37W	WGS 84	245 ft	600 ft	PASSED	

Notice is required by 14 Code of Federal Regulations, part 77 pursuant to 49 U.S.C., Section 44718. Persons who knowingly and willingly violate the notice requirements of part 77 are subject to a civil penalty of \$1,000 per day until the notice is received, pursuant to 49 U.S.C., Section 46301(a)

I hereby certify that all of the above statements made by me are true, complete, and correct to the best of my knowledge. In addition, I agree to mark and/or light the structure in accordance with established marking & lighting standards as necessary.

This FAA Form 7460-1 was submitted electronically on 11/24/2025 at 16:13 PM EST.

Add Document

Title	Type	File	
Survey	Survey	CK East Lake Cumberland Survey R0 10-02-25.pdf	DONEX

Letter	Date
--------	------

Previous

APPLICATION FOR PERMIT TO CONSTRUCT OR ALTER A STRUCTURE

JURISDICTION

602 KAR 50:030

Section 1. The commission has zoning jurisdiction over that airspace over and around the public use and military airports within the Commonwealth which lies above the imaginary surface that extends outward and upward at one (1) of the following slopes:

- (1) 100 to one (1) for a horizontal distance of 20,000 feet from the nearest point of the nearest runway of each public use airport and military airport with at least one (1) runway 3,200 feet or more in length; or
- (2) fifty (50) to one (1) for a horizontal distance of 10,000 feet from the nearest point of the nearest runway of each public use and military airport with its longest runway less than 3,200 feet in length.

Section 2. The commission has zoning jurisdiction over the use of land and structures within public use airports within the state.

Section 3. The commission has jurisdiction from the ground upward within the limits of the primary and approach surfaces of each public use airport and military airport as depicted on airport zoning maps approved by the Kentucky Airport Zoning Commission.

Section 4. The Commission has jurisdiction over the airspace of the Commonwealth that exceeds 200 feet in height above the ground.

Section 5. The owner or person who has control over a structure which penetrates or will penetrate the airspace over which the Commission has Jurisdiction shall apply for a permit from the Commission in accordance with 602 KAR 50:090.

INSTRUCTIONS

1. "Alteration" means to increase or decrease the height of a structure or change the obstruction marking and lighting.
2. "Applicant" means the person who will own or have control over the completed structure.
3. "Certification by Applicant" shall be made by the individual who will own or control the completed structure; or a partner in a partnership; or the president or authorized officer of a corporation company, or association; or the authorized official of a body politic; or the legally designated representative of a trustee, receiver, or assignee.
4. Prepare the application and forward to the Kentucky Dept. of Aviation, ATTN: Airport Zoning Commission, 90 Airport Drive, Frankfort KY 40601. For questions, telephone 502-782-4043.
5. The statutes applicable to the Kentucky Airport Commission are KRS 183.861 to 183.990 and the administrative regulations are 602 KAR Chapter 50.
6. When applicable, attach the following appendices to the application:

Appendix A. A 7.5 minute quadrangle topographical map prepared by the U.S. Geological Survey and the Kentucky Geological Survey with the exact location of the structure which is the subject of the application indicated thereon. (*The 7.5 minute quadrangle map may be obtained from the Kentucky Geological Survey, Department of Mines and Minerals, Lexington, KY 40506.*)

Appendix B. For structures on or very near to property of a public use airport, a copy of the airport layout drawing (ALP) with the exact location of the structure which is the subject of this application indicated thereon. (*The ALP may be obtained from the Chairperson of the local airport board or the Kentucky Airport Zoning Commission.*)

Appendix C. Copies of Federal Aviation Administration Applications (FFA Form 7460-1) or any orders issued by the manager, Air Traffic Division, FAA regional office.

Appendix D. If the applicant has indicated in item number 7 of the application that the structure will not be marked or lighted in accordance with the regulations of the Commission, the applicant shall attach a written request for a determination by the commission that the marking and lighting are not necessary. The applicant shall specifically state the reasons that the absence of marking and lighting will not impair the safety of air navigation.

Appendix E. The overall height in feet of the overhead transmission line or static wire above ground level or mean water level with span length 1,000 feet and over shall be depicted on a blueprint profile map.

PENALTIES

1. Persons failing to comply with the Airport Zoning Commission statutes and regulations are liable for a fine or imprisonment as set forth in KRS 183.990(3).
2. Applicants are cautioned: Noncompliance with Federal Aviation Administration Regulations may provide for further penalties.



KENTUCKY AIRPORT ZONING COMMISSION

APPLICATION FOR PERMIT TO CONSTRUCT OR ALTER A STRUCTURE

APPLICANT (name) Jack Luckadoo		PHONE 910-520-7646	FAX N/A	KY AERONAUTICAL STUDY #	
ADDRESS (street) 8601 Six Forks Road Suite 250		CITY Raleigh		STATE NC	ZIP 27615
APPLICANT'S REPRESENTATIVE (name) Jack Luckadoo		PHONE 910-520-7646	FAX N/A		
ADDRESS (street) 8601 Six Forks Road Suite 250		CITY Raleigh		STATE NC	ZIP 27615
APPLICATION FOR ☒ New Construction ☐ Alteration ☐ Existing DURATION ☒ Permanent ☐ Temporary (months days)				WORK SCHEDULE Start: 10/2026 End: 12/2026	
TYPE ☐ Crane ☐ Building ☒ Antenna Tower ☐ Power Line ☐ Water Tank ☐ Landfill ☐ Other		MARKING/PAINTING/LIGHTING PREFERRED ☐ Red Lights & Paint ☐ White- medium intensity ☐ White- high intensity ☐ Dual- red & medium intensity white ☒ Dual- red & high intensity white ☐ Other			
LATITUDE 36° 52' 33.07"		LONGITUDE 85° 09' 26.37"		DATUM ☒ NAD83 ☐ NAD27 ☐ Other	
NEAREST KENTUCKY City: Rowena County: Russell		NEAREST KENTUCKY PUBLIC USE OR MILITARY AIRPORT Jamestown Merina PELA – (OKY)			
SITE ELEVATION (AMSL, feet) 600.5'		TOTAL STRUCTURE HEIGHT (AGL, feet) 260'		CURRENT (FAA aeronautical study #) 2025-ASO-24265-OE	
OVERALL HEIGHT (site elevation plus total structure height, feet) 860.5'				PREVIOUS (FAA aeronautical study #) N/A	
DISTANCE (from nearest Kentucky public use or Military airport to structure) 39337'				PREVIOUS (KY aeronautical study #) N/A	
DIRECTION (from nearest Kentucky public use or Military airport to structure) 235°					
DESCRIPTION OF LOCATION (Attach USGS 7.5 minute quadrangle map or an airport layout drawing with the precise site marked and any certified survey.) 1A Letter Attached					
DESCRIPTION OF PROPOSAL Proposed new Antenna Tower					
FAA Form 7460-1 (Has the "Notice of Construction or Alteration" been filed with the Federal Aviation Administration?) ☐ No ☒ Yes, when? 11/24/2025					
CERTIFICATION (I hereby certify that all the above entries, made by me, are true, complete, and correct to the best of my knowledge and belief.) PENALTIES (Persons failing to comply with KRS 183.861 to 183.990 and 602 KAR 050 are liable for fines and/or imprisonment as set forth in KRS 183.990(3). Noncompliance with FAA regulations may result in further penalties.)					
NAME Jack Luckadoo	TITLE Project Manager	SIGNATURE <i>Jack Luckadoo</i>		DATE 1/14/2026	
COMMISSION ACTION ☐ Chairperson, KAZC ☐ Administrator, KAZC					
☐ Approved ☐ Disapproved		SIGNATURE		DATE	

GEOTECHNICAL REPORT OF SUBSURFACE INVESTIGATION

December 2, 2025

PROPOSED SELF SUPPORT TOWER CK EAST LAKE CUMBERLAND (KY-4076)

380 Swan Pond Road
Jamestown, KY 42629

36.875853, -85.157324

Prepared for:



Prepared by:



A handwritten signature in black ink that reads 'Matt Nesbit'.

Matt Nesbit, P.E.
Geotechnical Engineer II

Reviewed by: Jorge Varela, P.E.
Senior Geotechnical Engineer



Raphael Mohamed, P.E.
Registered KY 24429



Engineered Tower Solutions, PLLC - 3227 Wellington Court - Raleigh, NC 27615
(919) 782-2710

Project Summary

Item	Description
Project Description	A geotechnical exploration and report have been prepared for this proposed 240-foot self-supported tower with 10-foot lighting arrestor. Included in this report are the results of the field exploration and the recommendations for the design of the foundation system.
Site Coordinates	Latitude: 36.875853 Longitude: -85.157324
Site Condition	The proposed tower will be installed at 380 Swan Pond Road in Jamestown, Kentucky
Frost Depth	Based on the TIA Standard (TIA-222-G), dated August 2005, the recommended design frost penetration depth to be used for Russell County, KY is 30 inches (2.5 ft).
Groundwater	Groundwater was not encountered at the time of drilling. Please note that subsurface water levels will fluctuate with seasonal and cyclical temperatures and precipitation and can be higher or lower at other times.
Proposed Foundation	We assume the proposed foundation will be supported with either pad and pier or drilled shaft (caisson).

Field Exploration

Item	Description
Date	November 24 th , 2025
Number of Borings	1
Location	Latitude: 36.875853 Longitude: -85.157324
Equipment Used	Mobile B-51
Advancement Method	Hollow Stem Auger (HSA) and Rock Coring
Sampling Method	ASTM D-1586 with 1.5 I.D. Split Spoon Sampler ASTM D2113 Standard Practice for Rock Core Drilling and Sampling of Rock for Site Exploration

Laboratory Classification and Testing

Standard	Description
ASTM D2488	Standard Practice for Description and Identification of Soils

Subsurface Profile

Based on the results of our borings, the soils beneath the surface can be summarized in the table below:

Material Encountered	Approximate Depth to Bottom of Stratum	Description	Consistency / Density
TOPSOIL	1	--	--
LIMESTONE	11	Slightly weathered and fractured limestone	--

Detailed descriptions of conditions encountered at each exploration point are indicated on the individual logs in the Appendix B. Stratification boundaries on the boring logs represent the approximate location of changes in soil types; in-situ, the transition between materials may be gradual.

Groundwater was not encountered at the time of drilling. Groundwater levels will fluctuate with seasonal and climatic changes and may be different at other times.

Earthwork Recommendations – Equipment Mat

Earthwork is anticipated to include excavations and fill placement. The following sections provide recommendations for use in the preparation of the equipment mat foundation area and access drive.

Site Preparation

The subgrade should be evaluated under the direction of the Geotechnical Engineer. Areas where soft material are present or excessively wet or dry material should either be removed, or moisture conditioned and recompact.

Fill Material Types

Soil Type	USCS Classification	Acceptable Parameters (for Structural Fill)
Imported Low- to Moderate- Plasticity Soil ²	CL, ML, SC or SM	All locations and elevations
Sand / Gravel with greater than 12% fines	GW/GP, SW/SP	Crushed stone base course may be used for the access roadway or beneath shallow foundations as a replacement material for overexcavated soils.
Near-Surface On-site soils ²	--	On-site soils generally appear suitable for use as fill when they contain at least 12% fines (clay and/or silt) and are compacted at an appropriate moisture content.

1. Controlled, compacted fill should consist of approved materials that are free of organic matter and debris. A sample of each material type should be submitted to the geotechnical engineer for evaluation.
2. Low- to moderate-plasticity cohesive soil or granular soil having at least 12% fines

Fill Compaction Requirements

Item	Structural Fill	General Fill
Maximum Lift Thickness	8 inches or less in loose thickness when heavy, self-propelled compaction equipment is used	Same as Structural fill
Minimum Compaction Requirements ^{1, 2}	98% of max. below foundations and within 1 foot of finished pavement subgrade 95% of max. above foundations, below floor slabs, and more than 1 foot below finished pavement subgrade	92% of max.
Water Content Range ¹	Low plasticity cohesive: -2% to +3% of optimum High plasticity cohesive: 0 to +4% of optimum Granular: -3% to +3% of optimum	As required to achieve min. compaction requirements

1. Maximum density and optimum water content as determined by the standard Proctor test (ASTM D 698).
2. High plasticity cohesive fill should not be compacted to more than 100% of standard Proctor maximum dry density.

Excavations

Groundwater was not encountered at the time of drilling. Although not expected, if encountered in deep trench excavations during construction, groundwater or perched groundwater will require dewatering until backfilling operations are complete.

All excavations that may be required should, at a minimum, comply with applicable local, state and federal safety regulations, including the current OSHA Excavation and Trench Safety Standards to provide stability and safe working conditions.

Slopes

For permanent slopes in unreinforced compacted fill areas, we recommended maximum configurations of 3:1 (Horizontal: Vertical) for the cohesive soils (clay) found at the site.

If steeper slopes are required for site development, stability analyses should be completed to design the grading plan. The face of all slopes should be compacted to the minimum specification for fill embankments. Fill slopes should be overbuilt and trimmed to compacted material.

Earthwork Construction Considerations

The near-surface, on-site soils will lose strength when exposed to moisture. To the extent practical, earthwork should be performed during drier periods of weather. Increased remedial measures due to wet and soft or otherwise unsuitable conditions should be expected if earthwork is performed during colder and wetter periods of weather.

A qualified geotechnical engineer should be retained during the earthwork phase of the project to observe earthwork and to perform necessary tests and observations during subgrade preparation; to monitor proof-rolling, placement and compaction of controlled compacted fills, and backfilling of excavations to the completed subgrade.

Foundations Recommendations

The following recommendations are made based on our review of the test boring data and our past experience with similar projects and subsurface conditions. Ultimate soil strength parameters are presented on table below.

Ultimate Strength Parameters

Boring #	Depth (ft)	Unified Soil Classification	Total Unit Weight (pcf)	Friction Angle (degrees)	Cohesion (psf)
B-1	0.0 – 1.0	SM	105	27	--
	1.0 – 11.0	LIMESTONE	145	--	10,000

1. Groundwater was not encountered at the time of drilling.

Based on the subsurface conditions and typical design foundation loads for similar self-support towers, we recommend that either a caisson (drilled shaft) or a pad/pier be used to support the new tower.

Modulus of Subgrade Reaction

A vertical and horizontal modulus of subgrade reaction may be derived using the following equations and soils parameters expressed in the above table:

$$k_{s-v} = 12 \cdot SF \cdot q_a$$

$$k_{s-h} = k_{s-v} \cdot B$$

Where:

q_a = Allowable Bearing Capacity (ksf)

SF = Safety Factor

B = Base width (ft), use 1 if $B < 1$ ft

k_{s-v} = Vertical Modulus of Subgrade Reaction (kef)

k_{s-h} = Horizontal Modulus of Subgrade Reaction (ksf)

Caisson (Drilled Shaft)

Should caissons (drilled shafts) be used, the caissons (drilled shafts) will achieve compressive (downward) and tensile (uplift) resistance through skin friction along the sides of the shafts. In addition to skin friction, bearing resistance at the caisson's tip will contribute to compressive capacity. We recommend the values given the table below be used for this project. Please note the tip bearing capacity and skin frictions are net ultimate and ultimate values respectively. Appropriate factors of safety or resistance factors should be used. Lateral loads can be resisted by

the lateral stiffness of the soil. Parameters for analysis of the laterally loaded caisson are also given the table below.

Caisson (Drilled Shaft) Parameters

Depth (ft)	Net Ultimate Tip Bearing Capacity (ksf)	Ultimate Skin Friction ¹ (ksf)		Lateral Modulus (pci)	E ₅₀ (in/in)
		Compressive	Uplift		
0.0 – 3.0	--	--	--	--	--
3.0 – 11.0	40	2.0	2.0	2,000	--

1. We recommend the skin friction be ignored for the top 3 ft of the caisson

Based on the subsurface soil conditions, excavations for the caissons (drilled shafts) should be possible using a large, truck-mounted, hydraulic-advanced drill rig. All debris, loose or disturbed soil should be removed from the excavation prior to placing reinforced steel and/or concrete. Reinforcing steel and/or concrete should be placed immediately upon completion of the excavation.

The excavations may be susceptible to caving. Drilling fluid or casing could be used to assist in keeping the drilled hole open. If casing is used, we recommend it be removed from the excavation as concrete is being placed. Continuous vibration or other approved methods should be used during casing withdrawal to reduce the potential for void-space formation within the concrete. If water is present during concrete placement and/or drilling fluids are used to maintain hole stability, concrete should be pumped or otherwise discharged to the bottom of the hole via a hose or tremie pipe. The end of the hose or tremie pipe must remain below the top surface of any water, drilling fluid and the in-place concrete at all times. Additionally, concrete should be consolidated using vibration methods over the entire length and width of the caissons and the consolidation should be performed only after these fluids are removed and to the extent possible.

Pad & Pier / Single Mat Foundation

If the site has been prepared in accordance with the requirements noted in *Earthwork Recommendations – Equipment Mat*, the tower's foundation capacity can be determined using the soil's bearing capacity, passive pressure resistance, and a sliding friction factor.

Net Ultimate Bearing Capacity and Sliding Friction Factor

Depth ² (ft)	Net Ultimate Bearing Capacity ¹ (psf)	Sliding Friction Factor ¹
0.0 – 3.0	--	--
3.0 – 11.0	13,000	0.55

1. This value is a net ultimate value and an appropriate factor of safety or resistance factor should be used

Ultimate Passive Pressure and Friction Factor

Boring #	Depth (ft)	Ultimate Passive Pressure ¹ (psf) ¹
B-1	0.0 – 2.0	0 – 600
	2.0 – 4.0	600 – 2,200
	4.0 – 8.0	2,200 – 5,400
	8.0 – 11.0	5,400 – 7,800

1. Ultimate passive pressure can be interpolated for foundation depths with the depth ranges given

Seismic Parameters

The seismic design requirements for buildings and other structures are based on Seismic Design Category. Site Classification is required to determine the Seismic Design Category for a structure. The Site Classification is based on the upper 100 feet of the site profile defined by a weighted average value of either shear wave velocity, standard penetration resistance, or undrained shear strength in accordance with Section 20.4 of ASCE 7 and the International Building Code (IBC)

Seismic Site Classification

Item	Seismic Parameter
2018 International Building Code Seismic Site Classification	D ¹
Design Spectral Response Acceleration Parameters	$S_{ds} = 0.2g$ $S_{d1} = 0.156g$
1. The IBC seismic site classification is based on the subsurface profile depth of 100 feet. The scope of work did not authorize exploration to a depth of 100 feet. A seismic Site Soil Classification of D should be used if insufficient details are known about the 100-foot soil profile.	

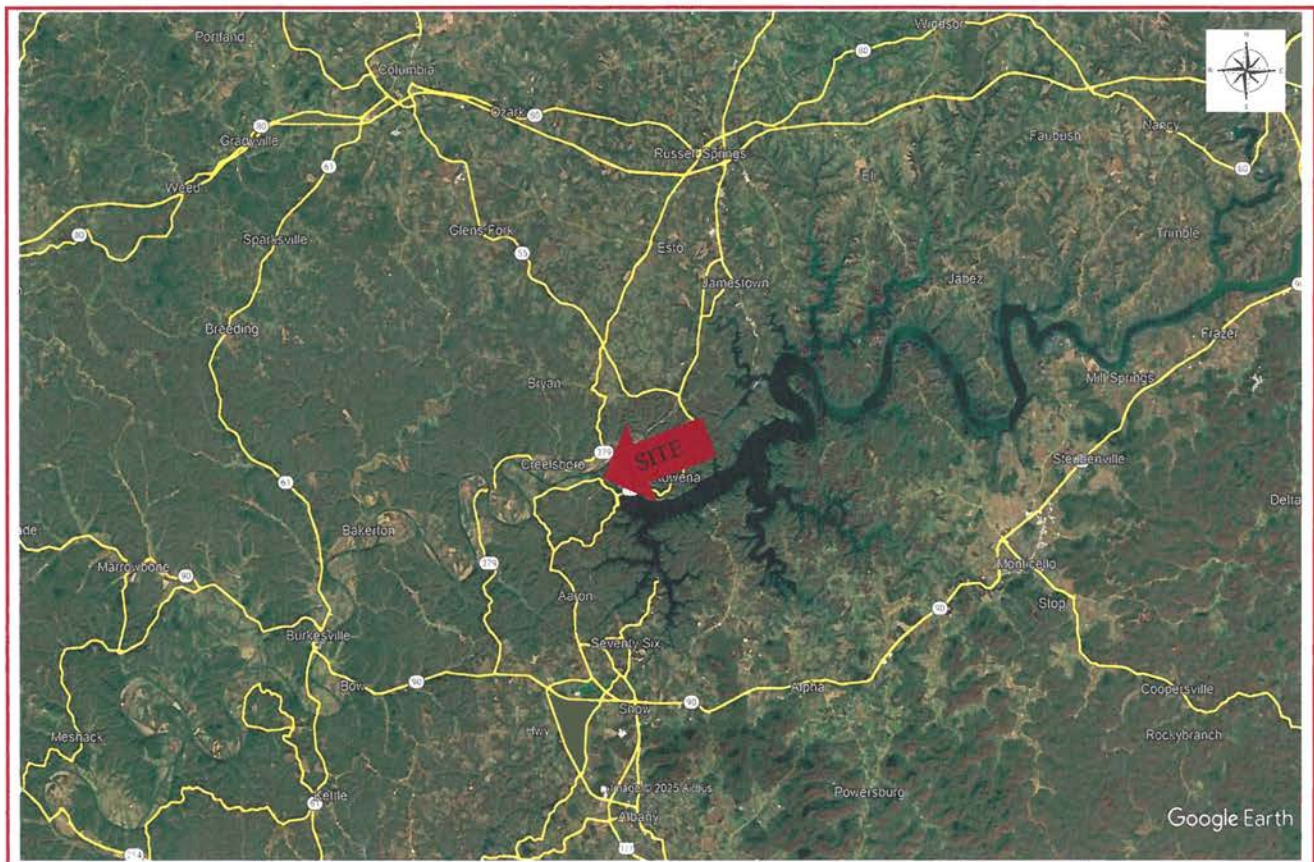
LIMITATIONS OF REPORT

This report has been prepared in accordance with generally accepted geotechnical engineering practices for the specific application of this project. The conclusions in this report are based on the applicable standards of our practice in this geographic area at the time this report was prepared. No other warranty, expressed or implied, is made.

The analyses and conclusions submitted herein are based, in part, upon the data obtained from the subsurface exploration performed for this analysis. The soil and ground water conditions can vary across the site. Opinions and conclusions are subject to change if new or additional information is submitted for review.

APPENDIX A
LOCATION INFORMATION

SITE LOCATION PLAN
CK EAST LAKE CUMBERLAND (KY-4076)
Job Number: 25141626



BORING LOCATION PLAN
CK EAST LAKE CUMBERLAND (KY-4076)
Job Number: 25141626





**East lake
Cumberland tc-1
before**

APPENDIX B
SOIL TEST BORING



BORING NUMBER B-1

PAGE 1 OF 1

CLIENT	APC Towers	PROJECT NAME	CK East Lake Cumberland
PROJECT NUMBER	25141626	PROJECT LOCATION	380 Swan Pond Road, Jamestown, KY 42629
DATE	11/24/2025	COORDINATES	36.875853, -85.157324
DRILLING METHOD	Hollow Stem Auger (HSA) and Rock Coring	GROUND WATER LEVELS:	
DRILLING EQUIPMENT	Mobile B-51	AT TIME OF DRILLING	--- Not Encountered
LOGGED BY	M. Nesbit	AT END OF DRILLING	--- Not Encountered
NOTES		AFTER DRILLING	--- Not Encountered

DEPTH (ft)	GRAPHIC LOG	MATERIAL DESCRIPTION	SAMPLE TYPE NUMBER	RECOVERY % (RQD)	BLOW COUNTS (N VALUE)
0.0		TOPSOIL - .			
2.5		<u>LIMESTONE</u> , Slightly weathered, slightly fractured hard rock.	RC RC-1	92 (87)	
5.0					
7.5			RC RC-2	98 (95)	
10.0					
Bottom of borehole at 11.0 feet.					

ETS - BORING W/ROCK CORING 2 - ETS DATABASE JUN30.GDT - 12/2/25 13:16 - R:\2025\141626 - CK EAST LAKE CUMBERLAND\GE\3785 - GEOTECHREPORT\CK EAST LAKE CUMBERLAND.GPJ

DIRECTIONS FROM THE RUSSELL COUNTY COURTHOUSE

From the Russell County Clerk; Head West on East Cumberland Avenue, at the round-a-bout continue straight onto US 127 Business S/E Cumberland Avenue (continue to follow US 127 Business) for 2.2 miles; turn left onto US 127 South for 10.4 miles; turn right onto State Highway 1730 for 1.5 miles; turn right onto Manntown Road for 0.2 miles; continue onto Swan Pond Road for 0.2 miles where the site is on the right.

Prepared by Clark, Quinn, Moses, Scott, & Grahn, LLP | 317-637-1321

OPTION AND GROUND LEASE AGREEMENT

THIS OPTION AND GROUND LEASE AGREEMENT ("**Agreement**"), made and entered into as of the latter signature date hereto (the "**Effective Date**"), by and between WILKERSON INVESTMENTS, LLC, a Kentucky limited liability company, with a mailing address 238 Development Drive, Columbia, KY 42728 ("**Lessor**"); and APC TOWERS IV, LLC, a Delaware limited liability company, with a mailing address of 8601 Six Forks Road, Suite 250, Raleigh, NC 27615 ("**Lessee**").

RECITALS

WHEREAS, Lessor is the owner of that certain parcel of land located at 380 Swan Pond Road, Jamestown, Russell County, KY 42629, also known as parcel number 018-00-00-004.00, as more specifically described on Exhibit A hereto (the "**Property**"); and

WHEREAS, Lessor desires to grant to Lessee, and Lessee desires to obtain from Lessor an option to lease from Lessor a portion of the Property comprised of approximately 100' x 100' (10,000 square feet) of ground space (the "**Premises**"), together with an approximately 300' +/- access easement for ingress and egress and the installation and maintenance of utilities (the easements collectively referred to as the "**Easements**") both being approximately located as shown on Exhibit B (the Premises and the Easements are collectively referred to herein as the "**Site**"), for the purpose of establishing and maintaining a communications facility for Lessee's use and that of its subtenants, licensees and customers.

AGREEMENT

NOW, THEREFORE, in consideration of the foregoing premises, the mutual covenants and promises contained herein and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, Lessor and Lessee agree as follows.

1. Option to Lease.

- (a) In consideration of the payment of [REDACTED] (the "**Option Fee**") by Lessee to Lessor, Lessor hereby grants to Lessee an exclusive and irrevocable option to lease the Premises and use the Easements on the terms and conditions set forth herein below (the "**Option**"). The Option has a term of twelve (12) months, commencing on the Effective Date and ending as of midnight on the date before the first anniversary of such date (the "**Option Period**"). Lessee has the right to extend the Option for two (2) additional term of twelve (12) months (each an "**Extended Option Period**"). The Option will automatically be extended for each Extended Option Period unless Lessee provides Lessor with written notice of Lessee's intent not to extend the Option at least ninety (90) days prior to the expiration of the Option Period or an Extended Option Period, as applicable. Lessee will pay Lessor an additional payment (each an "**Additional Option Fee**") of [REDACTED] within thirty (30) days of the commencement of each Extended Option Period.
- (b) During the Option Period, the Extended Option Period and the Term, Lessor agrees to cooperate with Lessee in obtaining, at Lessee's expense but for no additional consideration payable to Lessor, all licenses and permits or authorizations required for Lessee's use of the Site from all applicable government and/or regulatory entities (the "**Government Approvals**"). Lessor hereby irrevocably appoints Lessee or Lessee's agent as Lessor's agent to file applications on behalf of Lessor with federal, state and local governmental authorities which applications relate to Lessee's use of the Site, including but not limited to land use and zoning applications. During the Option Period, Extended Option Period and the Term, Lessor agrees to cooperate with

Lessee, at no cost to Lessor but for no additional consideration payable to Lessor, to obtain a title report, zoning approvals and variances, conditional-use permits and perform surveys, soils tests, perform RF engineering studies and other engineering procedures or environmental investigations on, under and over the Property, necessary to determine whether Lessee's use of the Site will be compatible with the Lessee's engineering specifications, intended use, system design, operations and Government Approvals. During the Option Period, Extended Option Period and the Term, Lessor agrees to provide Lessee, at no cost to Lessor but for no additional consideration payable to Lessor, with any documents, materials or other instruments required or requested for Lessee to secure a title policy for the Site, which may include, among others, and each as applicable, the following: (i) a certified copy of the formation documents of Lessor and all amendments thereto from the state in which Lessor is organized; (ii) a certificate of good standing for the Lessor issued by the state where the Lessor is organized, not dated later than five (5) business days from the date requested by Lessee; (iii) a true and complete copy of the names of any shareholders, members or partners of the Lessor; (iv) true and complete copy of any operating agreement, partnership agreement, bylaws or similar document and all amendments thereto together certified as accurate and complete by an officer, director, partner, member or manager of Lessor; (v) a copy of the authorizing resolutions or consent of Lessor's governing body authorizing Lessor to enter into, comply with and perform under this Agreement; and (vi) such other documents that may be reasonably required or requested. Lessor's provision of the foregoing documents, materials or other instruments required for Lessee to secure a title policy for the Site shall be a prerequisite for the payment of any Rent or other monetary amounts payable by Lessee under this Agreement, and notwithstanding anything to the contrary herein and in addition to Lessee's rights and remedies otherwise provided in this Agreement, Lessee shall have no obligation to make any rental or other payments to Lessor until such items have been supplied to Lessee to the reasonable satisfaction of Lessee and Lessee's title insurer.

- (c) During the Option Period and any Extended Option Period, Lessee may exercise the Option by written notice to Lessor.

2. **Premises.** Subject to the terms and conditions of this Agreement, upon Lessee's exercise of the Option Lessor hereby leases to Lessee and Lessee hereby leases from Lessor the Premises together with the use of the Easements for the construction, modification, operation and maintenance of the Telecommunications Facilities (as defined in Section 7(a)).

3. **Permitted Use.** The Site may be used by Lessee for the construction, modification, operation, maintenance, repair, replacement and removal of the Telecommunications Facilities (the "**Permitted Use**"). Lessor may not commit any action or omission that would adversely affect the status of the Site with respect to the Permitted Use.

4. **Term.** The initial term of this Agreement ("**Initial Term**") is five (5) years, beginning on the date Lessee exercises the Option ("**Commencement Date**"), and expiring at midnight on the day prior to the fifth (5th) anniversary of the Commencement Date. Lessee has the right to extend the term of Agreement for nine (9) additional five (5)-year terms (each a "**Renewal Term**"). Each Renewal Term will be on the same terms and conditions set forth in this Agreement. This Agreement will automatically renew for each successive Renewal Term unless Lessee notifies Lessor in writing of Lessee's intention not to renew the Term at least thirty (30) days prior to the expiration of the then current Term. The Initial Term and Renewal Terms are collectively referred to herein as the "**Term**".

5. **Rent.** Lessee shall pay Lessor an initial monthly rent of [REDACTED] ("**Rent**"). The Rent is due and payable in advance on the first day of each month during the Term

commencing as of the Rent Commencement Date. The "**Rent Commencement Date**" is the earlier of (i) the date of issuance of a certificate of completion (or comparable certificate) from the applicable governmental authority for the Telecommunications Facilities or (ii) ninety (90) days from the Commencement Date. Rent will be prorated for any partial months, including the months in which the Rent Commencement Date and the expiration or termination of the Term occur. As a condition precedent to Lessee's obligation to remit any payments provided for under this Agreement, Lessor (as well as any successor to Lessor's interest in this Agreement or to such payments) agrees to provide Lessee with a completed IRS Form W-9 upon execution of this Agreement and at such other times as may be reasonably requested by Lessee, including any change in Lessor's name or address. If Lessee elects to remit payments payable under this Agreement by electronic funds transfer, Lessor agrees to provide to Lessee bank routing information for such purpose upon request of Lessee. The Rent will increase annually as of each anniversary of the Commencement Date, by an amount equal to [REDACTED] of the Rent in effect immediately prior to the increase.

6. **Interference.** Lessor may not use, nor may Lessor permit its tenants, licensees, employees, invitees or agents to use any portion of the Property in any way that interferes with Lessee's Permitted Use of the Site. Such interference will be a material breach of this Agreement by Lessor and Lessor shall have the responsibility to terminate the interference immediately upon written notice from Lessee. Anything to the contrary in this Agreement notwithstanding, the cure periods provided for in Section 10 will not be applicable to failure by Lessor to fulfill its obligations under this Section 6. If any interference does not cease or is not rectified as soon as possible, but in no event longer than twenty-four (24) hours after Lessee's written notice to Lessor, Lessor acknowledges that the continuing interference will cause irreparable injury to Lessee, as well as Lessee's sublessees and licensees, and Lessee has the right, in addition to any other rights that it may have at law or in equity, to bring action to enjoin such interference or to terminate this Lease immediately upon notice to Lessor. Lessor represents and warrants that it has not sold, leased, licensed or otherwise granted rights in the Property that in any way interfere or could reasonably be likely to interfere with Lessee's rights to use Site for the Permitted Use.

7. **Construction of Improvements.**

- (a) Lessee may, from time to time during the Term, at its expense, construct, install, operate, maintain, replace, add to, upgrade and remove its (as well as its subtenants, licensees and customers) radio transmitting and receiving antennae, communications equipment, related cables, wires, conduits, air conditioning equipment and other appurtenances, as well as a tower(s) and building(s) or cabinets to house such equipment (collectively, the "**Telecommunications Facilities**"). Although the Telecommunications Facilities may become fixtures under applicable law, they will remain solely the property of Lessee and Lessee's subtenants, licensees and customers, and Lessee (and its subtenants, licensees and customers) has the right to remove any or all of them from time to time during the Term and at the expiration or earlier termination of the Term. If the tower to be constructed by Lessee on the Premises is a guyed tower, Lessor also grants Lessee easements in, over, across and through the Property or any other real property owned by Lessor as may be necessary to Tenant during the Initial Term and any Renewal Terms of this Agreement for the installation and maintenance and removal of and reasonable access to guy wires and guy wire anchors, which may be located outside of the Site.
- (b) The Telecommunications Facilities shall be initially configured as generally set forth in **Exhibit C**, subject to change by Lessee consistent with Section 7(a).
- (c) Lessee is solely responsible for operations, maintenance, repair and insuring of the equipment owned, constructed and installed by Lessee on the Premises.

- (d) Lessor hereby grants Lessee a non-exclusive, unimpaired landscape easement which includes the right to install vegetation and screening around the exterior of the perimeter of the Premises as necessary to meet the applicable landscaping and buffering requirements of applicable land use laws, rules and regulations, if and when such placement should ever be required (the "***Landscape Easement***").
- (e) Lessee, at its sole discretion, may, without any need to obtain the consent of Lessor, license or sublease all or a portion of the Site and/or the Telecommunications Facilities.

8. **Access.** During the Term, ingress and egress to the Premises is hereby granted by Lessor to Lessee and its subtenants, licensees and customers, and each of such party's agents, contractors and subcontractors, on a 24-hour a day, 365 days per year basis. This ingress and egress shall include the nonexclusive right to and from the Premises, over and across the Property and an access way from nearby public streets and driveways and parking rights for personnel and equipment. Lessee also has a nonexclusive right of way over and across the Property as necessary for the installation, running, servicing and maintenance of electrical power and other utilities necessary to serve the Telecommunications Facilities.

9. **Utilities.**

- (a) Lessee has the right to install utilities (including without limitation communications services and power) at Lessee's expense, and to improve the present utilities, if any, on the Premises. Lessee shall, wherever practical, install separate meters for utilities used on the Premises.
- (b) Lessee may utilize the Easements for ingress, egress, and access to the Premises as may be required for the construction, installation and maintenance by the appropriate utility companies for the purpose of servicing the Telecommunications Facilities. In addition to Lessee and its sublessees and licensees, Lessee may grant the right to utilize the Easements to any utility servicing the Site. Lessor agrees to execute, at no cost to Lessee a utility easement between Lessor and any such utility provider, if reasonably necessary.

10. **Default.** Any breach of a material term hereof that is not cured within thirty (30) days from receipt of written notice from the non-breaching party shall constitute a "***Default***"; provided, however, that if efforts to cure such breach are commenced within said 30-day period and thereafter diligently prosecuted to completion, such period shall be extended for a period of time not to exceed six (6) months. The foregoing notwithstanding, any monetary breach not cured within fifteen (15) days from receipt of written notice thereof from the other party shall constitute a Default by the breaching party.

11. **Termination.**

- (a) In addition to other termination rights contained in this Agreement, this Agreement may be terminated upon written notice from the non-breaching party to the breaching party upon a Default and as otherwise provided in this section.
- (b) Lessee may terminate this Agreement upon written notice to Lessor if Lessee determines, in Lessee's sole discretion, that the results of any studies, reports, and/or applications for Governmental Approvals contemplated under Section 1(b) of this Agreement are unacceptable.
- (c) Lessee may terminate this Agreement upon thirty (30) days prior written notice to Lessor, if (i) Lessee determines that the Premises are technologically unsuitable, in Lessee's reasonable opinion, for the operation of the Telecommunications Facilities, including but not limited to unacceptable radio signal interference and any addition, alteration or new construction on,

adjacent to or in the vicinity of the Premises or the Property that blocks, either partially or totally, transmission or receiving paths used by any of the Telecommunications Facilities; (ii) any Governmental Approval that Lessee reasonably deems necessary or convenient for the construction, operation, maintenance, reconstruction, modification, addition to or removal of the Telecommunications Facilities is not, in Lessee's sole discretion, reasonably obtainable or maintainable in the future; (iii) Lessee determines, in Lessee's commercially reasonable judgment, that the Premises cease to be economically viable as a telecommunications site; or (iv) Hazardous Substances (as defined in Section 14) are or become present on the Property in violation of Environmental Laws (as defined in Section 14).

- (d) Within one hundred twenty (120) days from the expiration or earlier termination of the Term, Lessee shall remove all above ground Telecommunications Facilities and all foundations to a depth of two feet (2'), and to the extent reasonable, restore the Premises to its condition as of the Commencement Date, reasonable wear and tear and loss by casualty or causes beyond Lessee's control excepted, provided that Lessee will not be responsible for the replacement of any trees, shrubs or other vegetation removed to facilitate the installation of the Telecommunications Facilities.

12. Condemnation. If all or any part of the Premises or any portion of the Easements, or any roadway to the Premises is taken by eminent domain or other action by any governmental or quasi-governmental body having the legal right to take said lands, and if said taking in the sole discretion of Lessee renders the Premises unsuitable for its intended purpose, then at Lessee's option, Lessee may terminate this Agreement as of the date the title vests in the condemning authority. Lessor and Lessee will share in the condemnation proceeds in proportion to the values of their respective interests in the Site (which for Lessee includes, where applicable, the value of the Telecommunication Facilities, moving expenses, prepaid rent and business dislocation expenses). If Lessee does not terminate this Agreement as provided in this section, this Agreement shall remain in effect, but the Rent shall be reduced by the amount that bears the same proportion to the Rent immediately prior to the partial taking which was applicable to the Premises immediately prior to such taking and thereafter the "Premises" will be deemed to be the remaining portion of the initial Premises.

13. Indemnification.

- (a) Lessor, its heirs, grantees, successors, and assigns shall indemnify and defend Lessee from and against any claims, obligations, liabilities, costs, demands, damages, expenses, suits or causes of action, including costs and reasonable attorney's fees, which may arise out of (i) any injury to or death of any person; or (ii) any damage to property, if such injury, death or damage arises out of or is attributable to or results from the acts or omissions of Lessor, or Lessor's principals, employees, invitees, agents or independent contractors. Lessee, its grantees, successors, and assigns shall indemnify and defend Lessor from and against any claims, obligations, liabilities, costs, demands, damages, expenses, suits or causes of action, including costs and reasonable attorney's fees, which may arise out of (i) any injury to or death of any person; or (ii) any damage to property, if such injury, death or damage arises out of or is attributable to or results from the negligent acts or omissions of Lessee, or Lessee's employees, agents or independent contractors.
- (b) If either party is entitled to indemnification and defense ("**Indemnified Party**") from the other party ("**Indemnifying Party**") pursuant to this Agreement, the Indemnified Party shall notify the Indemnifying Party promptly, in writing, of any claims by any person for which the Indemnified Party alleges that the Indemnifying Party is responsible hereunder and tender the defense of such claim to the Indemnifying Party. The Indemnified Party shall fully cooperate with the defense

or settlement of such claim. The Indemnifying Party shall not be liable under this Agreement for settlements by the Indemnified Party of any claim unless the Indemnifying Party has approved the settlement in advance (such approval not to be unreasonably withheld, conditioned or delayed) or unless the defense of the claim has been tendered to the Indemnifying Party, in writing, and the Indemnifying Party has failed promptly to undertake the defense. This Section 13 shall survive the termination or expiration of this Agreement.

14. Hazardous Substances. Lessor represents and warrants to Lessee that Lessor: (i) is not presently engaged in, (ii) does not presently have actual knowledge of, (iii) has not at any time in the past engaged in, and (iv) has no actual knowledge that any third person or entity has engaged in or permitted any operations or activities upon, or any use or occupancy of, the Premises, or any portion of the Property, for the purpose of, or in any way involving the handling, manufacturing, treatment, storage, use, transportation, spillage, leakage, dumping, discharge or disposal (whether legal or illegal), accidental or intentional, of any hazardous substances, materials or wastes ("**Hazardous Substances**") regulated under any local, state, or federal law pertaining to the environment, public health or safety or the handling, manufacturing, treatment storage, use, transportation, spillage, leakage, dumping, discharge or disposal of Hazardous Substances ("**Environmental Laws**"). Lessor indemnifies and defends Lessee from and against any and all claims of liability under any Environmental Laws for Hazardous Substances which were handled, manufactured, treated, stored, used, transported, spilled, leaked, dumped, discharged, disposed of or otherwise introduced into the Property, except for claims arising in whole or in any part out of Lessee's use or occupancy of the Premises. The indemnity obligations contained in this Section 14 shall survive the termination or expiration of this Agreement.

15. Insurance. Lessee will carry during the term of the Agreement the following insurance with customary coverage and exclusions: (i) bodily injury: \$1,000,000.00 for injury to any one person and \$2,000,000.00 for all injuries sustained by more than one person in any one occurrence; and (ii) property damage: full replacement costs of Lessee's property. Lessee agrees to furnish Lessor with certificates of insurance certifying that Lessee has in force and effect the above specified insurance. Lessee shall have Lessor named as additional insured on all policies obtained or maintained by Lessee pursuant to this Section 15, except for workers' compensation policies. Lessor and Lessee mutually covenant and agree that each party, in connection with insurance policies required to be furnished in accordance with the terms of this Agreement, or in connection with insurance policies which they obtain insuring such insurable interest as Lessor or Lessee may have in its own properties, whether personal or real, shall expressly waive any right of subrogation on the part of the insurer against the Lessor or Lessee as the same may be applicable, which right to the extent not prohibited or violative of any such policy is hereby expressly waived. Lessor and Lessee each agree to seek recovery based solely on insurance policies as set forth above, provided such policies are in effect, and each mutually waive all right of recovery against each other, their agents, or employees for any loss, damage or injury of any nature whatsoever to property or person except to the extent either party is required by this Agreement to carry insurance.

16. Taxes. Lessee shall pay any personal property taxes assessed on or attributable to the Telecommunications Facilities. Lessor shall pay when due all real property taxes and all other fees and assessments attributable to the Property, Premises and Easements. Lessee will pay to Lessor within thirty (30) days from Lessor's request, any increase in Lessor's real property taxes which Lessor demonstrates, to Lessee's satisfaction, is directly and solely attributable to any improvements to the Site made by Lessee. If Lessor fails to pay when due any taxes affecting the Property or the Site, Lessee shall have the right, but not the obligation, to pay such taxes and (i) deduct the full amount of the taxes paid by Lessee on Lessor's behalf from future installments of Rent, or (ii) collect such taxes by any lawful means.

17. Quiet Enjoyment, Title and Authority.

- (a) During the Term, Lessee may peaceably and quietly hold and enjoy the Premises, free from disturbance from any person claiming by, through or under Lessor, subject only to those matters of title of record as of the Effective Date.
- (b) Lessor covenants and warrants to Lessee that: (i) Lessor has full right, power and authority to execute this Agreement; (ii) Lessor has good and unencumbered title to the Property, free and clear of any liens or mortgages, except those disclosed to Lessee and of record as of the Effective Date, that will not interfere with Lessee's rights to or use of the Premises; (iii) the execution and performance of this Agreement will not violate any laws, ordinances, covenants, or the provisions of any mortgage, lease, or other agreement binding on Lessor.
- (c) Lessor agrees that, during the Option Period, Extended Option Period and the Term, Lessee will have the exclusive right to lease the Property or any portion thereof from the Lessor for the operation of antennae and telecommunications facilities providing transmission and receiving facilities for wireless providers and users, and that Lessor will not grant a lease, sublease, or other license or right to use any portion of the Property, or any other adjacent property owned by Lessor, to any other party for operation of antenna and/or telecommunications facilities.

18. Notices.

- (a) All notices hereunder must be in writing and shall be deemed validly given if sent by hand delivery, a reputable national overnight courier service (such as FedEx or United Parcel Service), or by certified mail, postage prepaid, return receipt requested, to the address shown below (or to any other address that the party to be notified may designate from time to time by written notice to the other party).

If to Lessor to: Wilkerson Investments, LLC
238 Development Drive
Columbia, KY 42728
Attention: Rob Wilkerson
Ref. Site ID: KY-4076 – CK East Lake Cumberland

Telephone: (270) 634-1466 *(included for information purposes only and not for notices)*
Email: rob@atsmobility.com *(included for information purposes only; not for notices)*

If to Lessee to: APC Towers IV, LLC
8601 Six Forks Road, Suite 250
Raleigh, NC 27615
Attention: Daniel C. Agresta III, President & CEO
Ref. Site ID: KY-4076 – CK East Lake Cumberland

Telephone: (919) 324-1922 *(included for information purposes only and not for notices)*
Fax: (919) 890-0788 *(included for information purposes only; not for notices)*

- (b) If there is a change in ownership of the Property and Lessor's agreement is assigned to another party, then within ten (10) days of such transfer, Lessor or its successor will send copies of the documents listed below in this subsection (b) to Lessee. Until Lessee receives all such documents, Lessee shall not be responsible for any failure to make payments under this Agreement and reserves the right to hold payments due under this Agreement.

- i. Old deed to Property
- ii. New deed to Property
- iii. Bill of Sale or Transfer
- iv. Current Tax Bill
- v. New IRS Form W-9
- vi. Full contact (information purposes only and not for notices) for new Lessor including phone number(s)

19. Estoppel, Non-Disturbance and Attornment.

- (a) Lessor will, from time to time, upon not less than ten (10) days prior written notice from Lessee, execute and deliver to Lessee a written estoppel certificate certifying that as of the date of the certification: (i) this Agreement is a valid enforceable agreement, presently in full force and effect; (ii) whether Lessor has any knowledge of any default or breach by Lessee under any of the terms, conditions, or covenants of this Agreement; (iii) the Term (its commencement and termination dates) and the term of any option or renewal periods granted to the Lessee to extend the Term; (iv) the amount of the then-current Rent payable under the Agreement; (v) attached to the certification is a true and correct copy of the Agreement and all amendments thereto, (vi) and such other facts as Lessee or its prospective mortgagee or purchaser may request.
- (b) Lessor shall obtain for Lessee from the holder of any mortgage and deed of trust now or hereafter encumbering the Property a subordination and non-disturbance agreement, providing that so long as Lessee is not in default under this Agreement, its rights as Lessee hereunder shall not be terminated and its access to and possession of the Premises shall not be disturbed by the mortgagee or trustee, or by any proceedings on the debt which any such mortgage or deed of trust secures, and that any sale at foreclosure shall be subject to this Agreement.

20. Assignment. This Agreement is freely assignable by Lessee to any other party upon written notice to Lessor, without the necessity of obtaining Lessor's consent. Upon an assignment, Lessee shall be relieved of all liabilities and obligations arising under this Agreement subsequent to the date of such assignment. Lessee, at its sole discretion, may, without any need to obtain the consent of Lessor, license or sublease all or a portion of the Site and/or the Telecommunications Facilities. Additionally, Lessee may mortgage or grant a security interest in this Agreement and the Telecommunications Facilities and may assign this Agreement and the Telecommunications Facilities to any such mortgagees or holders of security interests including their successors and assigns (hereinafter collectively referred to as "**Secured Parties**"). If requested by Lessee, Lessor shall execute such consent to such financing as may reasonably be required by Secured Parties. In addition, if requested by Lessee, Lessor agrees to notify Lessee and Lessee's Secured Parties simultaneously of any default by Lessee and to give Secured Parties the same right to cure any default as Lessee. If a termination, disaffirmance or rejection of this Agreement by Lessee pursuant to any laws (including any bankruptcy or insolvency laws) occurs, or if Lessor shall terminate this Agreement for any reason, Lessor will give to Secured Parties prompt notice thereof and Secured Parties shall have the right to enter upon the Premises during a 30-day period commencing upon Secured Parties' receipt of such notice for the purpose of removing any Telecommunications Facilities. Lessor acknowledges that Secured Parties are third-party beneficiaries of this Agreement.

21. Limited Right of First Refusal. Notwithstanding anything to the contrary contained herein, this paragraph shall not apply to any fee simple sale of the Property from Lessor to any prospective purchaser that is not a Third-Party Competitor or to Lessee. A Third-Party Competitor as included in this Section is defined as a party that competes, owns, markets or distributes products within the telecommunications industry and is not an affiliate, licensee, or distributor of Lessee. If Lessor receives an offer or desires to offer to: (i) sell or convey any interest (including, but not limited to, leaseholds or easements) in any real

property of which the Leased Premises is a part to a Third Party Competitor or (ii) assign all or any portion of Lessor's interest in the Lease to a Third Party Competitor (any such offer, the "Offer"), Lessee shall have the right of first refusal to purchase the real property or other interest being offered by Lessor in connection with the Offer on the same terms and conditions. If Lessee elects, in its sole and absolute discretion, to exercise its right of first refusal as provided herein, Lessee must provide Lessor with notice of its election not later than forty-five (45) days after Lessee receives written notice from Lessor of the Offer. If Lessee elects not to exercise Lessee's right of first refusal with respect to an Offer as provided herein, Lessor may complete the transaction contemplated in the Offer with the Third-Party Competitor on the stated terms and price but with the express condition that such sale is made subject to the terms of the Lease, as modified by an amendment. Lessor hereby acknowledges and agrees that any sale or conveyance by Lessor in violation of this Section is and shall be deemed to be null and void and of no force and effect. The terms, provisions, and conditions of this Section shall survive the execution and delivery of an amendment.

22. Further Assurances. Each party shall take all such further actions and execute all such further documents and instruments as the parties may at any time reasonably determine to be necessary or desirable to carry out and consummate the transactions contemplated by this Agreement.

23. Waiver of Lessor's Lien. Lessor hereby waives any and all lien rights it may have, statutory or otherwise, in and to the Telecommunications Facilities or any portion thereof, regardless of whether or not same is deemed real or personal property under applicable laws.

24. Waiver of Damages. Neither Lessor nor Lessee shall be responsible or liable to the other party for any loss or damage arising from any claim to the extent attributable to any acts of vandalism or for any structural or power failures or destruction or damage to the Telecommunications Facilities except to the extent caused by the negligence or willful misconduct of such party. EXCEPT AS SPECIFICALLY PROVIDED IN THIS AGREEMENT, IN NO EVENT SHALL LESSOR OR LESSEE BE LIABLE TO THE OTHER FOR, AND LESSEE AND LESSOR EACH HEREBY WAIVE THE RIGHT TO RECOVER INCIDENTAL, CONSEQUENTIAL (INCLUDING, BUT NOT LIMITED TO, LOST PROFITS, LOSS OF USE OR LOSS OF BUSINESS OPPORTUNITY), PUNITIVE, EXEMPLARY AND SIMILAR DAMAGES.

25. Miscellaneous.

- (a) This Agreement shall extend to and bind the heirs, executors, administrators, successors and assigns of the parties hereto.
- (b) This Agreement and the performance thereof shall be governed, interpreted, construed and regulated by the laws of the state or commonwealth in which the Site is located, without regard to its conflicts of laws principles.
- (c) For purposes of providing constructive notice hereof and if required by applicable law, Lessor and Lessee hereby agree to execute the i) Memorandum of Option (see form attached hereto as Exhibit D-1), and ii) Memorandum of Ground Lease Agreement (see form attached hereto as Exhibit D-2); and Lessee shall have the same recorded in the land records of the county and state in which the Premises is located. The cost of any such recording is to be paid for solely by the Lessee.
- (d) Any sale or other conveyance by the Lessor of all or part of the Site shall be under and subject to this Agreement and Lessee's rights hereunder.

- (e) It is hereby mutually agreed and understood that this Agreement contains all agreements, promises and understandings between the Lessor and the Lessee and that no verbal or oral agreements, promises, or understandings shall or will be binding upon either the Lessor or Lessee in any dispute, controversy of proceeding at law, or any addition to, variation, or modification of this Agreement shall be void and ineffective unless in writing signed by the parties hereto.
- (f) If either Lessor or Lessee is represented by a real estate broker in this transaction, that party is fully responsible for any fees due such broker and will hold the other party harmless from any claims for commission by such broker.
- (g) This Agreement may be executed in two or more counterparts, all of which are considered one and the same agreement and become effective when one or more counterparts have been signed by each of the parties, it being understood that all parties need not sign the same counterpart.
- (h) The parties agree that a scanned or electronically reproduced copy or image of this Agreement will be deemed an original and may be introduced or submitted in any action or proceeding as competent evidence of the execution, terms and existence hereof notwithstanding the failure or inability to produce or tender an original, executed counterpart of this Agreement and without the requirement that the unavailability of such original, executed counterpart of this Agreement first be proven.
- (i) In the event of any dispute arising hereunder or a default by Lessor or Lessee, and if litigation is commenced, the prevailing party shall be entitled to recover from the other party all costs and expenses incurred in connection with such litigation, including, but not limited to, reasonable attorneys' fees and costs.

26. Confidentiality. Lessor shall not disclose to any third party the Rent payable by Lessee under this Agreement and shall treat such information as confidential, except that Lessor may disclose such information to prospective buyers, prospective or existing lenders, Lessor's affiliates and attorneys, or as may be required by law or as may be necessary for the enforcement of Lessor's rights under this Agreement. Lessor acknowledges that the disclosure of such information to any other parties may cause Lessee irreparable harm, and in the event of such disclosure, as an additional remedy, Lessee shall have the right to terminate this Agreement upon giving thirty (30) days written notice thereof to Lessor.

(Signature Pages Follow)

IN WITNESS WHEREOF, the parties hereto have executed this OPTION AND GROUND LEASE AGREEMENT as of the dates written below.

LESSOR:

WILKERSON INVESTMENTS, LLC,
a Kentucky limited liability company

By: Stephanie Wilkerson
Name: Stephanie Wilkerson
Title: V President
Date: 04/24/2025

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

LESSOR ACKNOWLEDGMENT

STATE OF KENTUCKY

COUNTY OF Adair

On the 24th day of April in the year 2025 before me, the undersigned, personally appeared _____, personally known to me or proved to me on the basis of satisfactory evidence to be the individual whose name is subscribed to the within instrument and acknowledged to me that she/he executed the same in her/his capacity, and that by her/his signature on the instrument, the individual, or the person upon behalf of which the individual acted, executed the instrument.



Jordan Knifley, Notary Public
My Commission Expires: 5/20/25

LESSEE:

APC TOWERS IV, LLC,
a Delaware limited liability company

By: 

Name: Daniel C. Agresta III

Title: President & CEO

Date: 5/11/2028

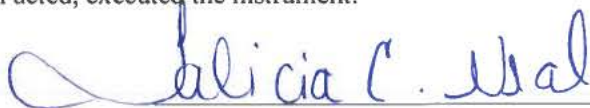
A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

LESSEE ACKNOWLEDGMENT

STATE OF NORTH CAROLINA

COUNTY OF WAKE

On the 11th day of May in the year 2025 before me, the undersigned, personally appeared Daniel C. Agresta III, personally known to me or proved to me on the basis of satisfactory evidence to be the individual whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his capacity, and that by his signature on the instrument, the individual, or the person upon behalf of which the individual acted, executed the instrument.



Talicia C. Neal, Notary Public

My Commission Expires: April 12, 2028.



EXHIBIT A

LEGAL DESCRIPTION OF REAL PROPERTY

Legal description of the Property to be provided on new Exhibit A prior to exercise of Option per Paragraph 1(c). Initials by Lessor and Lessee at the bottom of the new Exhibit A will constitute approval.

Situated in the County of Russell, Commonwealth of Kentucky:

FIRST TRACT: Bounded on the North by the lands formerly of B.B. Barnes; said line being established as the creek and road between the said parties; bounded on the east and south by the lands of the U.S. Government; bounded on the west by the lands of W.G. Conner and Lee Starnes and containing 27 acres more or less.

SECOND TRACT: Beginning at a cedar on a bench in original line of tract of which this is a part, thence said line N 45 E 77 feet to a stone at fence; thence with Polston's line S 26 E 186 feet to a stake at the road Polston's Corner; thence up road East 200 feet to an elm on Bank of Branch; thence up said branch as it meanders N 69 E 377 feet; N 82 E 94 feet; S 65 E 165 feet; S 74 E 350 feet; N 87 E 200 feet; thence with S 85 E 257 feet to top of River Bluff near a Large white oak; thence over the Bluff on same course about 200 feet to a stake at low water mark; thence up the river with said low water line to a stake in said line a corner to Wolf Creek Dam Project taken from tract of which this is a part; thence with Government line up river Bluff N 89 W to a Cherry tree on top of Bluff; thence N 34-3/4 W 4 poles; thence S 86-3/4 W 21.2 poles; N 80 W 4 poles; N 34 W 9 poles; S 34 W 15 poles to a Road at a large Elm near Branch; thence down branch as it meanders N 72 W 295 feet; N 45 W 41 feet; N 65 W 200 feet N 55 W 329 feet to a Buckeye on Bank of Branch; thence N 18 W 600 feet to the beginning, containing 32 acres more or less.

Tax ID: 018-00-00-004.00

Being The Same Property Conveyed To Wilkerson Investments, LLC, A Kentucky Limited Liability Company, Grantee, From Rachel Witt- West, Single; Alan Witt And Julie Witt, Husband And Wife; Ashley Gomez And Jose Gomez, Her Husband; Joshua Witt, Single; And, Karen Fae Premo, Unremarried Widow, Grantor, By Warranty Deed Recorded 12/18/2020, In Book 354, Page 199, Of The Russell County Records.

fw / *SW* *DA*

EXHIBIT B

DESCRIPTION OF PREMISES

Legal description of the Premises and Easements may be provided on a new Exhibit B prior to exercise of Option per Paragraph 1(c). Initials by Lessor and Lessee at the bottom of the new Exhibit B will constitute approval thereof.

Site Sketch

Candidate: Wilkerson Investment LLC
Address: 380 Swan Pond Rd Jamestown, KY 42629
Lat / Long: 36 876111, -85 157222
Zoning Jurisdiction: Russell County Zoning Classification: Farm
Ordinance Dictated Setbacks: No Zoning Setbacks
Airport: Bluegrass Airport / 538,560 ft / 102 Mi

(Drawing not to scale / Tower and compound/lease area measurements and placement subject to adjustment)



Notes:

1. This Exhibit may be replaced by a land survey and/or construction drawings of the Premises.
2. Any setback of the Premises from the Property's boundaries shall be the distance required by the applicable governmental authorities.
3. Width of access road shall be the width required by the applicable governmental authorities, including police and fire departments.

[Handwritten initials] *[Handwritten initials]* *[Handwritten initials]*

EXHIBIT C

SITE PLAN

To be verified by survey prior to Exercise of Option per Paragraph 1(c).

Site Sketch

Candidate: Wilkerson Investment LLC

Address: 380 Swan Pond Rd Jamestown, KY 42629

Lat / Long: 36.876111, -85.157222

Zoning Jurisdiction: Russell County

Zoning Classification: Farm

Ordinance Dictated Setbacks: No Zoning Setbacks

Airport: Bluegrass Airport / 538,560 ft / 10.2 Mi

(Drawing not to scale / Tower and compound/lease area measurements and placement subject to adjustment)



Notes:

1. This Exhibit may be replaced by a land survey and/or construction drawings of the Premises.
2. Any setback of the Premises from the Property's boundaries shall be the distance required by the applicable governmental authorities.
3. Width of access road shall be the width required by the applicable governmental authorities, including police and fire departments.

EXHIBIT D-1
MEMORANDUM OF OPTION
(Attached Hereto)

MEMORANDUM OF OPTION

PREPARED BY AND
AND WHEN RECORDED MAIL TO:

Talicia C. Neal
APC Towers IV, LLC
8601 Six Forks Road, Suite 250
Raleigh, NC 27615
(919) 324-1922

(space above for Recorder's use only)

Notice is hereby given that WILKERSON INVESTMENTS, LLC, a Kentucky limited liability company, with a mailing address 238 Development Drive Columbia, KY 42728 ("**Lessor**"); and APC TOWERS IV, LLC, a Delaware limited liability company, with a mailing address of 8601 Six Forks Road, Suite 250, Raleigh, NC 27615 ("**Lessee**"), have entered into a certain Option and Ground Lease Agreement with and Effective Date of May 11, 2025 (the "**Agreement**") for the property located at 380 Swan Pond Road, Jamestown, Russell County, KY 42629, also known as parcel number 018-00-00-004.00, whereby Lessor grants Lessee an option to lease a portion of such real property, as more specifically described in **Exhibit A (Legal Description of Real Property)** and **Exhibit B (Description of Premises)** attached hereto (collectively, the "**Property**") and to obtain access and utility easement rights over the Property.

1. The term of the Option is for twelve (12) months commencing as of the Effective Date of the Agreement, and Lessee has the right to extend the term of the option for two (2) additional twelve (12)-month periods following the initial term of the Option.
2. During the term of the Option, Lessee has the exclusive right to lease the Property or any portion thereof from the Lessor for the operation of antennae and telecommunications facilities providing transmission and receiving facilities for wireless providers and users, and that Lessor will not grant a lease, sublease, or other license or right to use any portion of the Property, or any other adjacent

property owned by Lessor, to any other party for operation of antenna and/or telecommunications facilities.

3. Nothing contained herein shall be deemed to amend, modify or alter the terms of the Agreement, and reference is made therefor for all of its terms, covenants and conditions. In the event of any inconsistency between the terms of this Memorandum and the Option, the terms and conditions of the Agreement shall govern and continue.
4. This Memorandum of Option shall be binding upon and inure to the benefit of the respective successors, executors, administrators, heirs and assigns of the parties hereto.

(Signature Pages Follow)

IN WITNESS WHEREOF, the parties hereto have executed this MEMORANDUM OF OPTION as of the dates written below.

LESSOR:

WILKERSON INVESTMENTS, LLC,
a Kentucky limited liability company

By: [Signature]
Name: Stephania Wilkerson
Title: President
Date: 04/24/2025

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

LESSOR ACKNOWLEDGMENT

STATE OF KENTUCKY

COUNTY OF Adair

On the 24th day of April in the year 2025 before me, the undersigned, personally appeared _____, personally known to me or proved to me on the basis of satisfactory evidence to be the individual whose name is subscribed to the within instrument and acknowledged to me that she/he executed the same in her/his capacity, and that by her/his signature on the instrument, the individual, or the person upon behalf of which the individual acted, executed the instrument.



[Signature]
Jordan Knitley, Notary Public
My Commission Expires: 5/20/25

LESSEE:

APC TOWERS IV, LLC,
a Delaware limited liability company

By: 

Name: Daniel C. Agresta III

Title: President & CEO

Date: 5/11/2025

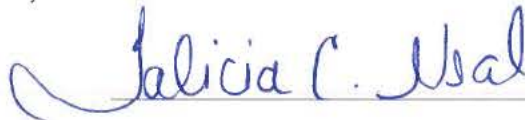
A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

LESSEE ACKNOWLEDGMENT

STATE OF NORTH CAROLINA

COUNTY OF WAKE

On the 11th day of May in the year 2025 before me, the undersigned, personally appeared Daniel C. Agresta III, personally known to me or proved to me on the basis of satisfactory evidence to be the individual whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his capacity, and that by his signature on the instrument, the individual, or the person upon behalf of which the individual acted, executed the instrument.



Talicia C. Neal, Notary Public

My Commission Expires: April 12, 2028.



**EXHIBIT A
TO MEMORANDUM OF OPTION**

LEGAL DESCRIPTION OF REAL PROPERTY

Situated in the County of Russell, Commonwealth of Kentucky:

FIRST TRACT: Bounded on the North by the lands formerly of B.B. Barnes; said line being established as the creek and road between the said parties; bounded on the east and south by the lands of the U.S. Government; bounded on the west by the lands of W.G. Conner and Lee Starnes and containing 27 acres more or less.

SECOND TRACT: Beginning at a cedar on a bench in original line of tract of which this is a part, thence said line N 45 E 77 feet to a stone at fence; thence with Polston's line S 26 E 186 feet to a stake at the road Polston's Corner; thence up road East 200 feet to an elm on Bank of Branch; thence up said branch as it meanders N 69 E 377 feet; N 82 E 94 feet; S 65 E 165 feet; S 74 E 350 feet; N 87 E 200 feet; thence with S 85 E 257 feet to top of River Bluff near a Large white oak; thence over the Bluff on same course about 200 feet to a stake at low water mark; thence up the river with said low water line to a stake in said line a corner to Wolf Creek Dam Project taken from tract of which this is a part; thence with Government line up river Bluff N 89 W to a Cherry tree on top of Bluff; thence N 34-3/4 W 4 poles; thence S 86-3/4 W 21.2 poles; N 80 W 4 poles; N 34 W 9 poles; S 34 W 15 poles to a Road at a large Elm near Branch; thence down branch as it meanders N 72 W 295 feet; N 45 W 41 feet; N 65 W 200 feet N 55 W 329 feet to a Buckeye on Bank of Branch; thence N 18 W 600 feet to the beginning, containing 32 acres more or less.

Tax ID: 018-00-00-004.00

Being The Same Property Conveyed To Wilkerson Investments, LLC, A Kentucky Limited Liability Company, Grantee, From Rachel Witt- West, Single; Alan Witt And Julie Witt, Husband And Wife; Ashley Gomez And Jose Gomez, Her Husband; Joshua Witt, Single; And, Karen Fae Premo, Unremarried Widow, Grantor, By Warranty Deed Recorded 12/18/2020, In Book 354, Page 199, Of The Russell County Records.

**EXHIBIT B
TO MEMORANDUM OF OPTION**

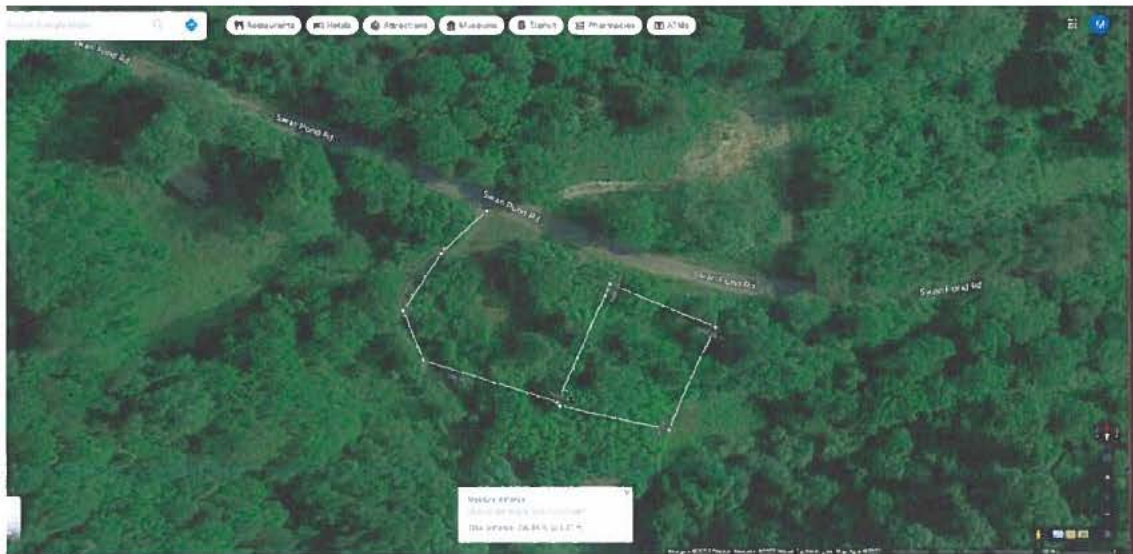
DESCRIPTION OF PREMISES

Legal description of the Premises and Easements may be provided on a new **Exhibit B** to Memorandum of Option and Ground Lease Agreement prior to exercise of Option per Paragraph 1(c). Initials by Lessor and Lessee at the bottom of the new **Exhibit B** to Memorandum of Option and Ground Lease Agreement will constitute approval thereof.

Site Sketch

Candidate: Wilkerson Investment LLC
Address: 380 Swan Pond Rd Jamestown, KY 42629
Lat / Long: 36.876111, -85.157222
Zoning Jurisdiction: Russell County Zoning Classification: Farm
Ordinance Dictated Setbacks: No Zoning Setbacks
Airport: Bluegrass Airport / 538,560 ft / 102 Mi

(Drawing not to scale / Tower and compound/lease area measurements and placement subject to adjustment)



Notes:

1. This Exhibit may be replaced by a land survey and/or construction drawings of the Premises.
2. Any setback of the Premises from the Property's boundaries shall be the distance required by the applicable governmental authorities.
3. Width of access road shall be the width required by the applicable governmental authorities, including police and fire departments.

EXHIBIT D-2

MEMORANDUM OF GROUND LEASE AGREEMENT

(Attached Hereto)

MEMORANDUM OF GROUND LEASE AGREEMENT

PREPARED BY AND
AND WHEN RECORDED MAIL TO:

Talicia C. Neal
APC Towers IV, LLC
8601 Six Forks Road, Suite 250
Raleigh, NC 27615
(919) 324-1922

(space above for Recorder's use only)

THIS MEMORANDUM OF GROUND LEASE AGREEMENT ("**Memorandum**"), made and entered into as of the latter signature date hereto (the "**Effective Date**"), by and between WILKERSON INVESTMENTS, LLC, a Kentucky limited liability company, with a mailing address 238 Development Drive Columbia, KY 42728 ("**Lessor**"); and APC TOWERS IV, LLC, a Delaware limited liability company, with a mailing address of 8601 Six Forks Road, Suite 250, Raleigh, NC 27615 ("**Lessee**"), is a record of that certain Option and Ground Lease Agreement ("**Lease**"), between Lessor and Lessee dated as of May 11, 2025, which Lease contains, among other things, the following terms:

1. Description of Premises. The Lease pertains to certain real property owned by Lessor (the "**Property**") and certain premises located thereon to be used by Lessee for the construction, modification, operation, maintenance, repair, replacement and removal of the telecommunications facilities, which premises are hereinafter referred to as the "Premises." The Property is described in Exhibit A and the said Premises are shown on Exhibit B attached to this Memorandum.
2. Term. The Initial Term of the Lease is five (5) years beginning on the Commencement Date.
3. Renewal Terms. Lessee has the right to extend the Term of the Lease for nine (9) successive terms of five (5) years each.

4. Subletting. Lessee has the right, at any time during the Term of this Lease, to sublet any portion of the Premises or permit any portion of the Premises to be occupied or used by subtenants, licensees or customers (including agents, contractors and subcontractors thereof) in connection with the provision of wireless communications services.
5. Limited Right of First Refusal. Notwithstanding anything to the contrary contained herein, this paragraph shall not apply to any fee simple sale of the Property from Lessor to any prospective purchaser that is not a Third-Party Competitor or to Lessee. A Third-Party Competitor as included in this Section is defined as a party that competes, owns, markets or distributes products within the telecommunications industry and is not an affiliate, licensee, or distributor of Lessee. If Lessor receives an offer or desires to offer to: (i) sell or convey any interest (including, but not limited to, leaseholds or easements) in any real property of which the Leased Premises is a part to a Third Party Competitor or (ii) assign all or any portion of Lessor's interest in the Lease to a Third Party Competitor (any such offer, the "Offer"), Lessee shall have the right of first refusal to purchase the real property or other interest being offered by Lessor in connection with the Offer on the same terms and conditions. If Lessee elects, in its sole and absolute discretion, to exercise its right of first refusal as provided herein, Lessee must provide Lessor with notice of its election not later than forty-five (45) days after Lessee receives written notice from Lessor of the Offer. If Lessee elects not to exercise Lessee's right of first refusal with respect to an Offer as provided herein, Lessor may complete the transaction contemplated in the Offer with the Third-Party Competitor on the stated terms and price but with the express condition that such sale is made subject to the terms of the Lease, as modified by an amendment. Lessor hereby acknowledges and agrees that any sale or conveyance by Lessor in violation of this Section is and shall be deemed to be null and void and of no force and effect. The terms, provisions, and conditions of this Section shall survive the execution and delivery of an amendment.
6. Ratification of Lease. By this Memorandum, the parties intend to record a reference to the Lease and do hereby ratify and confirm all of the terms and conditions of the Lease and declare that the Premises are subject to all of the applicable provisions of the Lease. In the event of a conflict between this Memorandum and the Lease, the Lease shall control.

(Signature Pages Follow)

IN WITNESS WHEREOF, the parties hereto have executed this MEMORANDUM OF GROUND LEASE AGREEMENT as of the dates written below.

LESSOR:

WILKERSON INVESTMENTS, LLC,
a Kentucky limited liability company

By: Stephanie Wilkerson
Name: Stephanie Wilkerson
Title: VP President
Date: 04/24/2025

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

LESSOR ACKNOWLEDGMENT

STATE OF KENTUCKY

COUNTY OF Adair

On the 24th day of April in the year 2025 before me, the undersigned, personally appeared _____, personally known to me or proved to me on the basis of satisfactory evidence to be the individual whose name is subscribed to the within instrument and acknowledged to me that she/he executed the same in her/his capacity, and that by her/his signature on the instrument, the individual, or the person upon behalf of which the individual acted, executed the instrument.



Jordan Knifley, Notary Public
My Commission Expires: 5/20/25

LESSEE:

APC TOWERS IV, LLC,
a Delaware limited liability company

By: 

Name: Daniel C. Agresta III

Title: President & CEO

Date: 5/11/2025

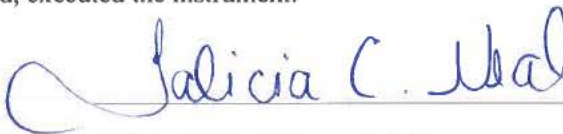
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LESSEE ACKNOWLEDGMENT

STATE OF NORTH CAROLINA

COUNTY OF WAKE

On the 1st day of May in the year 2025 before me, the undersigned, personally appeared Daniel C. Agresta III, personally known to me or proved to me on the basis of satisfactory evidence to be the individual whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his capacity, and that by his signature on the instrument, the individual, or the person upon behalf of which the individual acted, executed the instrument.



Talicia C. Neal, Notary Public

My Commission Expires: April 12, 2028.



EXHIBIT A
TO MEMORANDUM OF GROUND LEASE AGREEMENT
LEGAL DESCRIPTION OF REAL PROPERTY

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Tax ID: 018-00-00-004.00

Being The Same Property Conveyed To Wilkerson Investments, LLC, A Kentucky Limited Liability Company, Grantee, From Rachel Witt- West, Single; Alan Witt And Julie Witt, Husband And Wife; Ashley Gomez And Jose Gomez, Her Husband; Joshua Witt, Single; And, Karen Fae Premo, Unremarried Widow, Grantor, By Warranty Deed Recorded 12/18/2020, In Book 354, Page 199, Of The Russell County Records.

Handwritten initials in blue ink: JW, SW, and DA.

EXHIBIT B TO MEMORANDUM OF GROUND LEASE AGREEMENT

DESCRIPTION OF PREMISES

Legal description of the Premises and Easements may be provided on a new **Exhibit B** to Memorandum of Option and Ground Lease Agreement prior to exercise of Option per Paragraph 1(c). Initials by Lessor and Lessee at the bottom of the new **Exhibit B** to Memorandum of Option and Ground Lease Agreement will constitute approval thereof.

ee

Site Sketch

Candidate: Wilkerson Investment LLC
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Zoning Jurisdiction: Russell County Zoning Classification: Farm
Ordinance Dictated Setbacks: No Zoning Setbacks
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1. This Exhibit may be replaced by a land survey and/or construction drawings of the Premises.
2. Any setback of the Premises from the Property's boundaries shall be the distance required by the applicable governmental authorities.
3. Width of access road shall be the width required by the applicable governmental authorities, including police and fire departments.

						qPublic.net™ Russell County, KY PVA LayersMapSearchResultsReportSales SearchSales ListSales ResultsComp SearchComp ResultsTax EstimatorHome Parcel Summary Map Number017-00-00-029.00 Account Number88566 (PID: 378872 PTID: 172475) Location AddressSWAN POND RD. Tax District00 Property ClassFARM Description17.29 (119.4 ACRES) Acres119.466 Deed Information390/106 View Map Owner Information Current Owner MCCLURE FAMILY IRREVOCABLE TRUST & STANLEY MCCLURE C/O WANDA DRY P O BOX 2122 DANVILLE KY 40423-2122					
						qPublic.net™ Russell County, KY PVA LayersMapSearchResultsReportSales SearchSales ListSales ResultsComp SearchComp ResultsTax EstimatorHome Parcel Summary Map Number017-00-00-032.00 Account Number81596 (PID: 385565 PTID: 166669) Location AddressSWAN POND RD. Tax District00 Property ClassFARM Description17.32 (20.4 ACRES) Acres20.4 Deed Information118/396 View Map Owner Information Current Owner CONNER DANNY & OTHERS 4495 S. HWY. 127 JAMESTOWN, KY 42629					

017-00-00-001.00	Michael Dale & Billy Ray Mann	2311 Webb Ridge Rd	Russell Springs	KY	42642	 Russell County, KY PVA Layers Map Search Results Report Sales Search Sales List Sales Results Comp Search Comp Results Tax Estimator Home Joseph Csikos Parcel Summary Map Number 018-00-00-001.00 Account Number 88264 (PID: 378707 PTID: 172229) Location Address B MANN RD. Tax District 00 Property Class FARM Description 18-01 (40 ACRES) Acres 40 Deed Information 221/669 View Map Owner Information Current Owner MANN MICHAEL DALE & BILLY RAY 2311 WEBB RIDGE RD. RUSSELL SPRINGS, KY 42642
018-00-00-001.00	Michael Dale & Billy Ray Mann	2311 Webb Ridge Rd	Russell Springs	KY	42642	 Russell County, KY PVA Layers Map Search Results Report Sales Search Sales List Sales Results Comp Search Comp Results Tax Estimator Home Joseph Csikos Parcel Summary Map Number 018-00-00-001.00 Account Number 88264 (PID: 378707 PTID: 172229) Location Address B MANN RD. Tax District 00 Property Class FARM Description 18-01 (40 ACRES) Acres 40 Deed Information 221/669 View Map Owner Information Current Owner MANN MICHAEL DALE & BILLY RAY 2311 WEBB RIDGE RD. RUSSELL SPRINGS, KY 42642



www.clarkquinnlaw.com

Russell L. Brown
Attorney at Law
rbrown@clarkquinnlaw.com

320 N. Meridian St., Ste. 1100
Indianapolis, IN 46204
(317) 637-1321 main
(317) 687-2344 fax

November 14, 2025

**Notice of Proposed Construction of
Wireless Communications Facility
Site Name: East Cumberland Lake**

Cellco Partnership, d/b/a Verizon Wireless and APC Towers propose to construct a wireless communications facility on a site located at 380 Swan Pond Road; Jamestown KY 42629 (North Latitude: (36° 52' 33.07"), West Longitude (85° 09' 26.37"). The proposed facility will include a 240-foot-tall self-supporting tower, plus a 10-foot lightning arrestor and related ground facilities. This facility is needed to provide improved coverage for wireless communications in the area. .

This notice is being sent to you because the County Property Valuation Administrator's records indicate that you may own property that is within a 500' radius of the proposed tower site or contiguous property on which the tower is to be constructed. You have a right to submit testimony to the Kentucky Public Service Commission ("PSC"), either in writing or to request intervention in the PSC's proceedings on the application. You may contact PSC for additional information concerning this matter at: Kentucky Public Service Commission, Executive Director, 211 Sower Boulevard, PO Box 615, Frankfort Kentucky 40602. Please refer to docket number 2025-00368 in any correspondence sent in connection with this matter.

We have attached a map showing the site location for the proposed tower. Co-Applicant's radio frequency engineers assisted in selecting the proposed site for the facility, and they have determined it is the proper location and elevation needed to provide quality service to wireless customers in the area. Please feel free to contact us at 317-637-1321 if you have any comments or questions about this proposal.

Sincerely,

A handwritten signature in black ink, appearing to read 'R. Brown'.

Russell L. Brown
Attorney for Applicant

RLB/jmc
Enclosure

LOCATION MAPS



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Clark, Quinn, Moses, Scott & Grahn, LLP

OF THE RETURN ADDRESS, FOLD AT DOTTED LINE
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Wilkerson Investments, LLC
238 Development Drive
Columbia, KY 42728

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9589 0710 5270 1687 9020 04

Tony and Kathy Tupman
638 Swan Pond Road
Jamestown, KY 42629

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Prime Point Properties, LLC
c/o Thomas Papesh
455 N. Ottawa Street
Joliet, IL 60432

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McClure Family Irrevocable Trust
& Stanley McClure
c/o Wanda Dry
P.O. Box 2122
Danville, KY 40423-2122

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Danny Conner & Others
4495 S Hwy 127
Jamestown, KY 42629

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Michael Dale & Billy Ray Mann
2311 Webb Ridge Road
Russell Springs, KY 42642

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Kathleen Jackson & Bobby Mann
501 S. Main Street
Jamestown, KY 42629

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9589 0710 5270 1687 9042 37

Willis McClure & Others
285 Esto Road
Jamestown, KY 42629

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1. Article Addressed to:

Kathleen Jackson & Bobby Mann
501 S. Main Street
Jamestown, KY 42629



9590 9402 9112 4225 4777 27

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9589 0710 5270 1687 9042 20

PS Form 3811, July 2020 PSN 7530-02-000-9053

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X *Kathleen Jackson* ☐ Agent
☒ Addressee

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Wilkerson Investments, LLC
238 Development Drive
Columbia, KY 42728



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1. Article Addressed to:

Willis McClure & Others
285 Esto Road
Jamestown, KY 42629



9590 9402 9112 4225 4777 10

2. Article Number (Transfer from service label)

9589 0710 5270 1687 9042 37

PS Form 3811, July 2020 PSN 7530-02-000-9053

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X *Willis McClure* ☐ Agent
☒ Addressee

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1. Article Addressed to:

Tony and Kathy Tupman
638 Swan Pond Road
Jamestown, KY 42629



9590 9402 9112 4225 4777 89

2. Article Number

9589

PS Form 38

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A. Signature

X *Tony Tupman*

- ☐ Agent
☐ Addressee

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TONY TUPMAN

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1. Article Addressed to:

Danny Conner & Others
4495 S Hwy 127
Jamestown, KY 42629



9590 9402 9112 4225 4777 41

2. Article Number (Transfer from service label)

9589 0710 5270 1687 9020 35

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X *Danny Conner*

- ☐ Agent
☐ Addressee

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1. Article Addressed to:

McClure Family Irrevocable Trust
& Stanley McClure
c/o Wanda Dry
P.O. Box 2122
Danville, KY 40423-2122



9590 9402 9112 4225 4777 58

2. Article Number (Transfer from service label)

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X *Wanda Dry*

- ☐ Agent
☐ Addressee

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Wanda Dry

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11/21/25

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1. Article Addressed to:

Michael Dale & Billy Ray Mann
2311 Webb Ridge Road
Russell Springs, KY 42642



9590 9402 9112 4225 4777 34

2. Article Number (Transfer from service label)

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A. Signature

X *Mike Mann*☐ Agent
☒ Addressee

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Mike Mann

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12-1-25

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Russell L. Brown
Attorney at Law
rbrown@clarkquinnlaw.com

320 N. Meridian St., Ste. 1100
Indianapolis, IN 46204
(317) 637-1321 main
(317) 687-2344 fax

November 14, 2025

Via Certified Mail, Return Receipt Requested
9589 0710 5270 1687 9020 42

Hon. Randy Marcum
Russell County Judge Executive
410 Monument Square, Suite 205
Jamestown KY 42629

RE: Notice of Proposal to Construct Wireless Communications Facility
Kentucky Public Service Commission Docket No. 2025-00368
Site Name: East Cumberland Lake

Dear Judge Marcum:

APC Towers IV, LLC and Celco Partnership, d/b/a Verizon Wireless propose to construct a wireless communications facility on a site located at 380 Swan Pond Road; Jamestown KY 42629 (North Latitude: (36° 52' 33.07"), West Longitude (85° 09' 26.37"). The proposed facility will include a 240-foot-tall self-supporting tower, plus a 10-foot lightning arrestor and related ground facilities. This facility is needed to provide improved coverage for wireless communications in the area.

You have a right to submit comments to the PSC or request intervention in the PSC's proceedings on the application. You may contact the PSC at: Executive Director, Public Service Commission, 211 Sower Boulevard, PO Box 615, Frankfort, Kentucky 40602. Please refer to docket number 2025-00368 in any correspondence sent in connection with this matter.

We have attached a map showing the site location for the proposed tower. Verizon Wireless' radio frequency engineers assisted in selecting the proposed site for the facility, and they have determined it is the proper location and elevation needed to provide quality service to the wireless customers in the area. Please feel free to contact us with any comments or questions you may have.

Sincerely,

A handwritten signature in black ink, appearing to read 'R. Brown', is written over the typed name.

Russell L. Brown
Attorney for Applicant

LOCATION MAPS



ClarkQuinn
Clark, Quinn, Moses, Scott & Grahn, LLP

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Hon. Randy Marcum
Russell County Judge Executive
410 Monument Square, Ste. 205
Jamestown, KY 42629

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1. Article Addressed to:

Hon. Randy Marcum
Russell County Judge Executive
410 Monument Square
Jamestown, KY 42625



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2. Article Number (Transfer from service label)

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☒ Agent☐ Addressee

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Candace Miller

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| ☐ Mail Restricted Delivery (00) | |

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SITE NAME: MT. VERNON EAST NOTICE SIGNS

The signs are at least (2) feet by four (4) feet in size, of durable material, with the text printed in black letters at least one (1) inch in height against a white background, except for the word "**tower**," which is at least four (4) inches in height.

APC Towers IV, LLC and Cellco Partnership, d/b/a Verizon Wireless proposes to construct a telecommunications **tower** on this site. If you have questions, please contact Clark, Quinn, Moses, Scott & Grahn, LLP, 320 N. Meridian Street, Indianapolis, IN 46204; 317-637-1321, or the Executive Director, Public Service Commission, 211 Sower Boulevard, PO Box 615, Frankfort, Kentucky 40602. Please refer to docket number 2025-00368 in your correspondence.

APC Towers IV, LLC and Cellco Partnership, d/b/a Verizon Wireless proposes to construct a telecommunications **tower** on this site. If you have questions, please contact Clark, Quinn, Moses, Scott & Grahn, LLP, 320 N. Meridian Street, Indianapolis, IN 46204; 317-637-1321, or the Executive Director, Public Service Commission, 211 Sower Boulevard, PO Box 615, Frankfort, Kentucky 40602. Please refer to docket number 2025-00368 in your correspondence.



ClarkQuinn
Clark, Quinn, Moses, Scott & Grahn, LLP

Robert B. Scott
Charles R. Grahn
Frank D. Otte*
John "Bart" Herriman
William W. Gooden**
Russell L. Brown**†
Travis W. Cohron
Michael P. Maxwell
Keith L. Beall
John M. Mead
Jennifer F. Perry
Clark P. Kirkman
Kristin A. McKinney
Olivia A. Hess

VIA EMAIL: news@russellcountynewspapers.com
jcrabtree@jpinews.com

The Times Journal
120 Wilson Street
Russell Springs KY 42642

Land Use Consultants
Elizabeth Bentz Williams, AICP
Joseph M. Csikos, AICP

*Also admitted in Montana
†Also admitted in Kentucky
**Registered Civil Mediator

RE: Legal Notice Advertisement
Site Name: East Lake Cumberland

To Whom It May Concern,

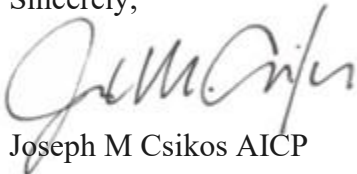
Please publish the following legal notice advertisement in the next available edition of The Times Journal Publication serving Russell County, KY:

NOTICE

Cellco Partnership, d/b/a Verizon Wireless and APC Towers IV, LLC are filing an application with the Kentucky Public Service Commission ("PSC") to construct a new wireless communications facility on a site located at 380 Swan Pond Road; Jamestown KY 42629. (North Latitude: (36° 52' 33.07", West Longitude 85° 09' 26.37"). The proposed facility will include a 240-foot tall antenna tower, plus a 10-foot lightning arrestor and related ground facilities. Site name is East Lake Cumberland. You have a right to submit comments to the PSC or to request intervention in the PSC's proceedings on the application. You may contact the PSC at: Executive Director, Public Service Commission, 211 Sower Boulevard, P.O. Box 615, Frankfort, Kentucky 40602. Please refer to docket number 2025-00368 in any correspondence sent in connection with this matter.

After this advertisement has been published, please forward a tearsheet copy, affidavit of publication, and invoice to Clark, Quinn, Moses, Scott & Grahn, LLC, 320 N. Meridian Street, Indianapolis, IN 46204 or by email to jcsikos@clarkquinnlaw.com. Please call me on with any questions at 317-637-1321 extension 319 if you have any questions. Thank you for your assistance.

Sincerely,



Joseph M Csikos AICP



Long Bottom

Wolf Creek National Fish Hatchery Visitor And...

CK East Lake Cumberland - SARF

Manntown

1730

127

4749 ft

Image © 2025 Airbus



October 16th 2025

Re: Radiofrequency Justification for Proposed Wireless Communications Facility for Cellco Partnership d/b/a Verizon Wireless ("Verizon")

Tower Developer and Owner: APC Towers LLC
Facility Site Name: CK East Lake Cumberland
Type of Tower: Self Support (Lattice Tower)
Tower Height: 240 ft.
Location: 380 Swan Pond Rd, Jamestown, KY 42629

To Whom It May Concern:

As a radio frequency engineer for Verizon, I am providing this letter to state the need for a proposed Verizon wireless communications site called "CK East Lake Cumberland".

The CK East Lake Cumberland site is proposed in order to offload excess traffic from existing Verizon sites in this area that are operating at or near capacity. Currently Verizon customers are experiencing poor service in the city of Manntown and the immediately surrounding area ("Gap Area") because there is a high demand for wireless service and high-speed data there and Verizon's network cannot keep up with that demand. Simply put, Verizon's existing communications sites in and around the Gap Area are over capacity and therefore they cannot sufficiently handle the traffic. The new proposed tower is needed to offload this excess traffic so that Verizon can provide critical service improvements to its customers in the area, including first responders, residents, and businesses.

When Verizon identifies the need for a new site in an area, its design engineers establish search area criteria in order to effectively meet specific coverage objectives as well as offload existing Verizon cell sites that can no longer meet service demands. These criteria are used to identify a "Search Area" in which the new tower would need to be located to meet the coverage and capacity objectives. The proposed tower is also designed to provide a single solution that decreases the chances that a second tower will be needed in the immediate area in the near future. Each wireless communications site covers a limited area, depending on site configuration and the surrounding terrain. Cell sites are built in an interconnected network, which means each cell site must be located so that their respective coverage areas are contiguous. This provides uninterrupted service throughout the coverage area.

Verizon cares about the communities it serves and prefers to collocate on existing structures when feasible. Collocation typically involves lower construction costs, faster deployment, and environment protection. For these reasons, Verizon makes every effort to investigate the feasibility for using existing towers or other tall structures for collocation when designing a new site or system expansion. However, collocation on an existing tower or tall structure is not

always feasible due to location of existing cell sites. Cell sites are placed in a way so they provide smooth hand off to each other and are placed at some distance from each other to eliminate too much overlap. Too much overlap may result in a waste of resources or raise a system capacity overload concern.

Here, Verizon is currently collocated on several existing towers in the areas surrounding the Search Area. However, there are no existing structures within the Search Area on which Verizon could collocate to meet its coverage and capacity objectives in the Gap Area. For this reason, Verizon worked with APC Towers LLC to identify a site in the Search Area on which a new tower could be built that would meet the stated objectives. The proposed new tower, located at 380 Swan Pond Rd, Jamestown, KY 42629, will be built near the center of the Search Area. Both the proposed location and height of the tower are designed to meet the stated objectives with a single tower. Specifically, the tower will have an overall tower height of 240' with Verizon's equipment installed at a centerline of 235'. This centerline is the minimum height necessary to allow Verizon to be able to adequately cover the Gap Area and to offload traffic from the nearby existing Verizon sites that are currently overloaded. If Verizon is limited to installing its equipment at a centerline that is lower than the proposed height, another tower would be needed in the vicinity in the near future in order to provide the additional coverage and capacity offload that is needed in the Gap Area.

If APC Towers LLC is unable to build the proposed site and therefore Verizon is unable to collocate its equipment on it at a centerline of 235', Verizon will be prohibited from serving its customers in the Gap Area.

This cell site has been designed, and shall be constructed and operated, in a manner that satisfies regulations and requirements of all applicable governmental agencies that have been charged with regulating tower specifications, operation, construction, and placement, including the FAA and FCC.

Sincerely,

A handwritten signature in black ink, appearing to read 'S. Belcher', with a long horizontal flourish extending to the right.

Steven Belcher
Sr. RF Engineer
Verizon Wireless



October 16th, 2025

RE: Zoning Plots

Site Name: CK East Lake Cumberland

To Whom It May Concern:

This map is not a guarantee of coverage and may contain areas with no service. This map reflects a depiction of predicted and approximate wireless coverage of the network and is intended to provide a relative comparison of coverage. The depictions of coverage do not guarantee service availability as there are many factors that can influence coverage and service availability. These factors vary from location to location and change over time. The coverage areas may include locations with limited or no coverage. Even within a coverage area shown, there are many factors, including but not limited to, usage volumes, outages, customer's equipment, terrain, proximity to buildings, foliage, and weather that may impact service.

Sincerely,

A handwritten signature in black ink, appearing to read "Steve Belcher", written over a horizontal line.

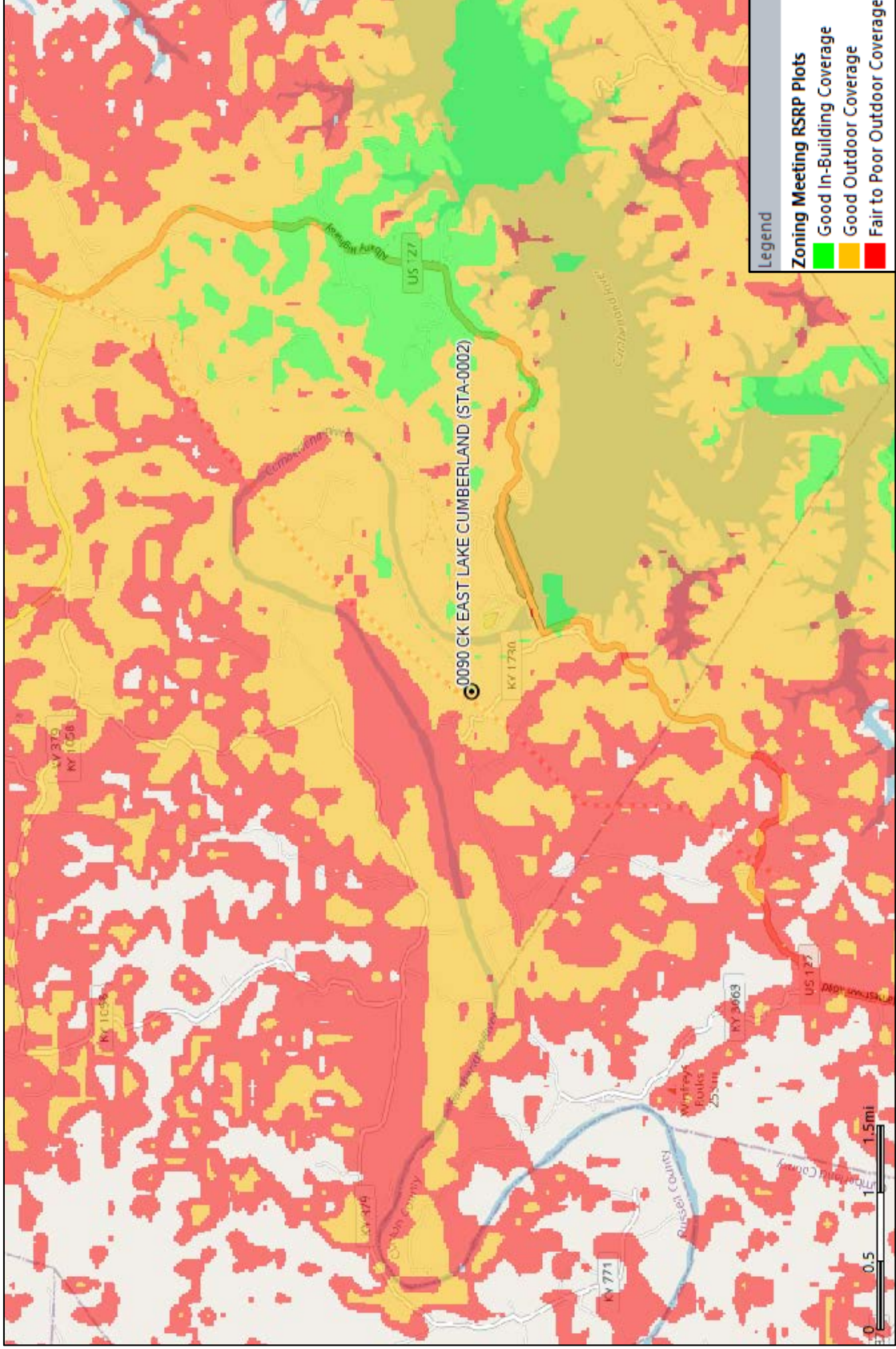
Steven Belcher

Sr RF Engineer

Verizon Wireless



Current Coverage – Without Proposed Site CK East Lake Cumberland





Proposed Coverage – With Proposed Site CK East Lake Cumberland

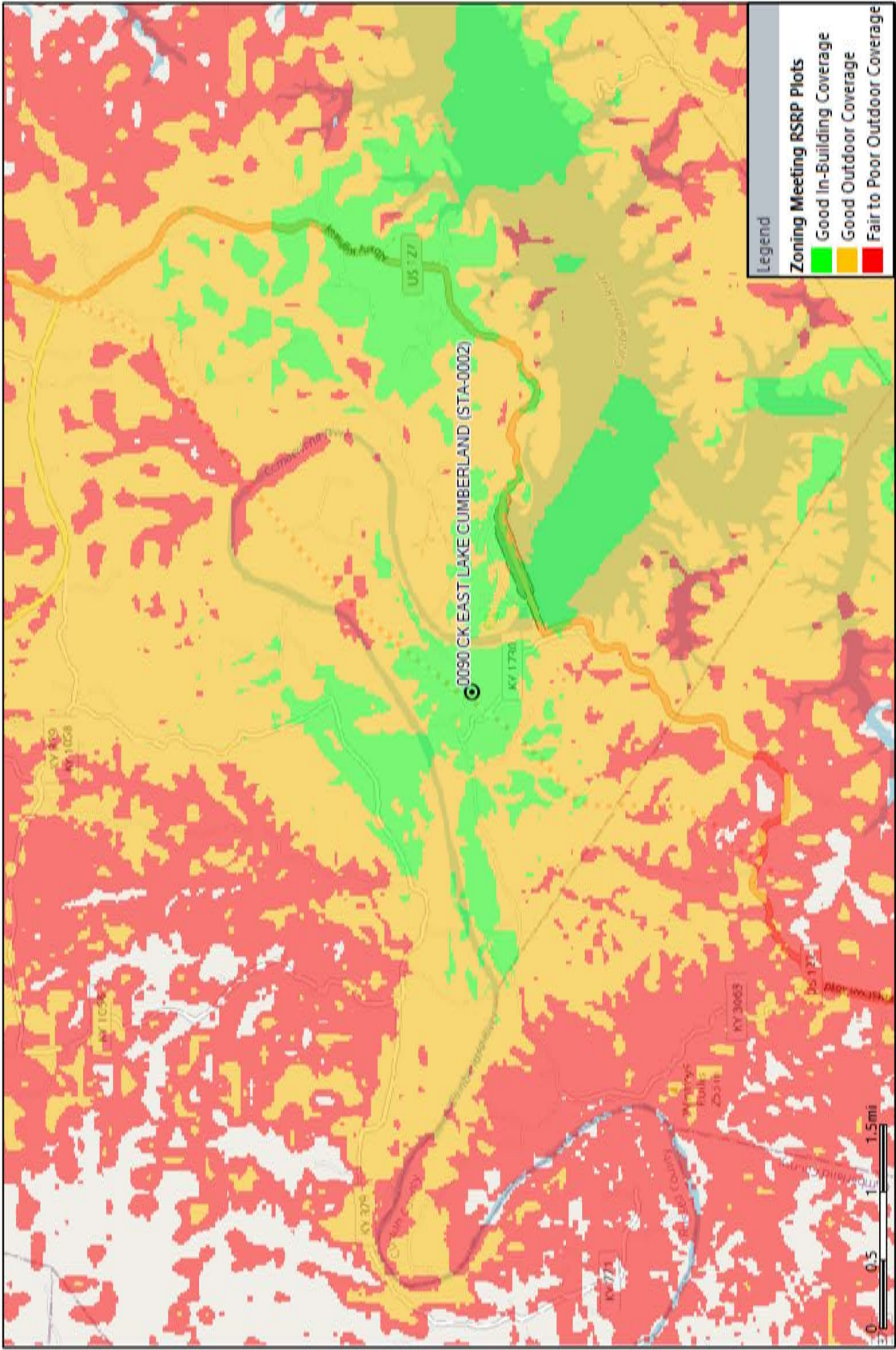


Exhibit 3
List and Identity and Qualifications of Professionals

Stephen E. Hunt
Professional Engineer
Kentucky License 25003
TeleCad Communications
1961 Northpoint Blvd. Suite 130
Hixson, TX, 37343

Travis L. Shields
Professional Land Surveyor
Kentucky License 4246
The Land Consultants, LLC
2820 15th Ave SW
Huntsville AL 35805

Brad R Milanowski
Professional Engineer
Kentucky License 25311
B+T Group
1717 S Boulder Ave #300
Tulsa OK 74119

Raphael Mohamed
Professional Engineer
Kentucky License 24429
Engineered Tower Solutions, PLLC
3227 Wellington Court
Raleigh NC 27615

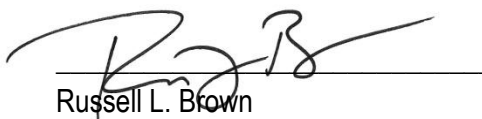
Jay Parker
Vice President of Construction
APC Towers IV, LLC
8601 Six Forks Road, Suite 250
Raleigh NC 27615

Steven Belcher
Sr. RF Engineer
Verizon Wireless
2421 Holloway Road
Louisville, KY 40299

STATE OF INDIANA)
) SS:
COUNTY OF MARION)

**AFFIDAVIT OF CERTIFICATION
COMMONWEALTH OF KENTUCKY
PUBLIC SERVICE COMMISSION**

I, Russell L. Brown, attorney for Cellco Partnership d/b/a Verizon Wireless and APC Towers IV, LLC hereby certify that as the person supervising the preparation of this application and all statements and information contained herein are true and accurate to the best of that person's knowledge, information, and belief formed after a reasonable inquiry for all information within this application.



Russell L. Brown

Attorney, for Cellco Partnership, d/b/a Verizon Wireless
and APC Towers IV, LLC

STATE OF INDIANA)
) SS:
COUNTY OF MARION)

Subscribed and sworn to before me this 16th day of July, 2026.



Notary Public

Printed Name of Notary: Joseph M. Csikos

My Commission Expires: August 5, 2033

My County of Residence: Johnson

Commission No. NP0765036

