COMMONWEALTH OF KENTUCKY
BEFORE THE PUBLIC SERVICE COMMISSION

In the Matter of:

THE APPLICATION OF TOWERCO 2013, LLC, T-MOBILE CENTRAL, LLC AND CELLCO PARTNERSHIP D/B/A VERIZON WIRELESS AND FOR ISSUANCE OF A CERTIFICATE OF PUBLIC CONVENIENCE AND NECESSITY TO CONSTRUCT A WIRELESS COMMUNICATIONS FACILITY IN THE COMMONWEALTH OF KENTUCKY IN THE COUNTY OF MARSHALL	)	CASE NO. 2025-00028

SITE NAME: FAIRDEALING WEST

* * * * * * *

APPLICATION FOR
CERTIFICATE OF PUBLIC CONVENIENCE AND NECESSITY
FOR CONSTRUCTION OF A WIRELESS COMMUNICATIONS FACILITY

TowerCo 2013, LLC, T-Mobile Central, LLC and Cellco Partnership, d/b/a Verizon Wireless and ("Co-Applicants"), by counsel, pursuant to (i) KRS §§278.020, 278.040, 278.650, 278.665, and other statutory authority, and the rules and regulations applicable thereto, and (ii) the Telecommunications Act of 1996, respectfully submit this Application requesting issuance of a Certificate of Public Convenience and Necessity ("CPCN") from the Kentucky Public Service Commission ("PSC") to construct, maintain, and operate a Wireless Communications Facility ("WCF") to serve the customers of the Co-Applicant with wireless communications services.

In support of this Application, Co-Applicants respectfully provide and state the following information:

1. The complete name and address of the Co-Applicants:

   a. TowerCo 2013, LLC, having a local address of 5000 Valleystone Drive, Cary, NC 27519

   b. T-Mobile Central, 12920 SE 38th Street, Bellevue, WA 96006

c. Cellco Partnership, d/b/a Verizon Wireless, having a local address of 2902 Ring Road, Elizabethtown, KY, 42701.

2. Co-Applicants:

a. TowerCo 2013, LLC is a Delaware limited liability company and copies of the formulation document and the Statement of Good Standing from Delaware, and the Certificate of Authorization is on file with the Secretary of State of Commonwealth of Kentucky, are included as part of **Exhibit A**.

b. T-Mobile Central, LLC a Delaware limited liability company and copies of the formulation document and the Statement of Good Standing from Delaware, and the Certificate of Annual Filing is on file with the Secretary of State of Commonwealth of Kentucky, are included as part of **Exhibit A**.

c. Cellco Partnership, d/b/a Verizon Wireless is a Delaware general partnership and a copy of the Statement of Good Standing from Delaware, and the Certificate of Assumed Name is on file with the Secretary of State of Commonwealth of Kentucky and included as part of **Exhibit A**.

3. Co-Applicants propose construction of an antenna tower for communications services, which is to be located in an area outside the jurisdiction of a planning commission, and Co-Applicants submit this application to the PSC for a certificate of public convenience and necessity pursuant to KRS §§ 278.020(1), 278.040, 278.650, 278.665, and other statutory authority.

4. The Co-Applicant operates on frequencies licensed by the Federal Communications Commission ("FCC") pursuant to applicable FCC requirements. A copy of the Co-Applicants' FCC Registration and Licenses with Authorization to provide wireless services are attached to this

Application or described as part of **Exhibit B**, and the facility will be constructed and operated in accordance with applicable FCC regulations.

5. The public convenience and necessity require the construction of the proposed WCF. The construction of the WCF will bring or improve the Co-Applicant's services to an area currently not served or not adequately served by the Co-Applicants by increasing coverage or capacity and thereby enhancing the public's access to innovative and competitive wireless communications services. A statement from Co-Applicants' RF Design Engineers outlining said need is attached as **Exhibit Q** along with Propagation Maps attached as **Exhibit R**. The WCF is an integral link in the Applicant's network design that must be in place to provide adequate coverage to the service area.

6. To address the above-described service needs, Co-Applicants propose to construct a WCF located on the west side of Capp Springs Road (County Road 1115), approximately 0.8 mile north of US HWY 68, Benton, KY 42025 (North Latitude: (36° 51' 47.91", West Longitude 88° 14' 55.18", on a parcel of land located entirely within the county referenced in the caption of this application. The property on which the WCF will be located is owned by Michael and Cynthia Dabolt to a Deed recorded in Deed Book 226 Page 589 in the office of the County Clerk. The proposed WCF will consist of a 260 foot tall tower, with an approximately 5-foot tall lightning arrestor attached at the top, for a total height of 265-feet. The WCF will also include concrete foundations and a shelter or cabinets to accommodate the placement of the Co-Applicants' radio electronics equipment and appurtenant equipment. The Co-Applicants' equipment cabinet or shelter will be approved for use in the Commonwealth of Kentucky by the relevant building inspector. The WCF compound will be fenced and all access gate(s) will be secured. A description

of the manner in which the proposed WCF will be constructed is attached as **Exhibit C** and **Exhibit D**.

7. A list of utilities, corporations, or persons with whom the proposed WCF is likely to compete along with a map showing the proposed location as well as the identified like facilities is attached as **Exhibit E**.

8. The site development plan and a vertical profile sketch of the WCF signed and sealed by a professional engineer registered in Kentucky depicting the tower height, as well as a proposed configuration for the antennas of the Co-Applicant has also been included as part of **Exhibit C**.

9. Foundation design plans signed and sealed by a professional engineer registered in Kentucky and a description of the standards according to which the tower was designed are included as part of **Exhibit D**.

10. Co-Applicants have considered the likely effects of the installation of the proposed WCF on nearby land uses and values and has concluded that there is no more suitable location reasonably available from which adequate services can be provided, and that there are no reasonably available opportunities to co-locate Co-Applicant's antennas on an existing structure. When suitable towers or structures exist, Co-Applicant attempts to co-locate on existing structures such as communications towers or other structures capable of supporting Co-Applicant's facilities; however, no other suitable or available co-location site was found to be located in the vicinity of the site. A statement from Co-Applicant, Cellco Partnership, d/b/a Verizon Wireless's RF Design Engineer outlining exploration of co-location opportunities is attached as **Exhibit Q**.

11. A copy of the Application for Federal Aviation Administration's ("FAA") and the FAA Determination of No Hazard are attached as **Exhibit F**.

12. A copy of the Kentucky Airport Zoning Commission ("KAZC") documentation of Application is attached as **Exhibit G**. The KAZC Approval will be provided as soon as received.

13. A geotechnical engineering report was performed at the WCF site by Engineered Tower Solutions, PLLC, 3227 Wellington Court, Raleigh, NC 27615, dated November 21, 2024 and is attached as **Exhibit H**. The name and address of the geotechnical engineering firm and the professional engineer registered in Kentucky who prepared the report are included as part of **Exhibit H and Exhibit S**.

14. Clear directions to the proposed WCF site from the County seat are attached as **Exhibit I**. The name and telephone number of the preparer of **Exhibit I** are included as part of this exhibit.

15. Applicant, pursuant to a written agreement, has acquired the right to use the WCF site and associated property rights. A copy of the agreement or an abbreviated agreement recorded with the County Clerk is attached as **Exhibit J**.

16. Personnel directly responsible for the design and construction of the proposed WCF are well qualified and experienced. The tower and foundation drawings for the proposed tower submitted as part of **Exhibit D** bear the signature and stamp of a professional engineer registered in the Commonwealth of Kentucky. All tower designs meet or exceed the minimum requirements of applicable laws and regulations. The identity and qualifications of each person directly responsible for design and construction of the proposed tower are contained in **Exhibit S**.

17. The Construction Manager for the proposed facility is Caleb McVay and the identity and qualifications of each person directly responsible for design and construction of the proposed tower are contained in **Exhibit S**.

18. As noted on the Survey attached as part of **Exhibit C**, the surveyor has determined that the tower site and access easement are not within any flood hazard area per Flood Hazard Boundary Map, Community Panel Number 21157C0180E, Dated June 2, 2011.

19. **Exhibit C** includes a map drawn to an appropriate scale that shows the location of the proposed tower and identifies every owner of real estate within 500 feet of the proposed tower, every owner of real estate within 200 feet of the access road including intersection with the public street system and all abutting property owners (according to the records maintained by the County Property Valuation Administrator). Attached as **Exhibit L** is the Notification List with screen shots of the PVA records verified and updated using the Marshall County PVA on January 30, 2025. **Exhibit C** also identifies every structure and every easement within 500 feet of the proposed tower or within 200 feet of the access road including intersection with the public street system.

20. Co-Applicants have sent certified notices every person who, according to the records of the County Property Valuation Administrator, owns property which is within 500 feet of the proposed tower or contiguous to the site property, by certified mail, return receipt requested, of the proposed construction. Each notified property owner has been provided with a map of the location of the proposed construction, the PSC docket number for this application, the address of the PSC, and informed of his or her right to request intervention. A list of the notified property owners, verified on January 30, 2025, using the Marshall County Kentucky Property Valuation Administration records and a copy of the form of the notice sent by certified mail to each landowner on January 31, 2025, are attached as **Exhibit K** and **Exhibit L**, respectively. Six (6) notices were sent to surrounding property owners; to date six (6) notice green cards have been returned. Copies of the mailed envelopes and returned green cards are included in **Exhibit L**. There are no unaccountable notices.

21. Co-Applicants have notified the applicable County Judge/Executive by certified mail, return receipt requested, of the proposed construction. This notice included the PSC docket number under which the application will be processed and informed the County Judge/Executive of his/her right to request intervention. A copy of this notice along with a copy of the mailed envelope and returned green card is attached as **Exhibit M**.

22. Notice signs meeting the requirements prescribed by 807 KAR 5:063, Section 1(2) that measure at least 2 feet in height and 4 feet in width and that contain all required language in letters of required height, have been posted, one in a visible location on the proposed site and one on the nearest public road. Such signs shall remain posted for at least two weeks after filing of the Application, and a copy of the posted text is attached as **Exhibit N**.

23. A legal notice advertisement regarding the location of the proposed facility has been published in a newspaper of general circulation in the county in which the WCF is proposed to be located. A copy of the newspaper legal notice advertisement is attached as **Exhibit O**.

24. The area of the proposed facility is in the unincorporated area of Marshall County, Kentucky. The site is located on the west side of Capp Springs Road (County Road 1115), approximately 0.8 mile north of US HWY 68, Benton, KY 42025. The area is buffered by a tree growth to the north, south and west. There is also a tree line along the west side of Capps Spring Road that offers some buffering. The area is largely undeveloped with a scattering of single-family homes. The parcel is wooded and undeveloped open space. The terrain is relatedly flat to rolling. There is no zoning or Plan Commission in this area of Marshall County. The proposed facility is removed a significant distance from any residential structures. The nearest residential structure is 181 feet from the proposed tower site.

25. The process that was used by the Co-Applicant's radio frequency engineers in selecting the site for the proposed WCF was consistent with the general process used for selecting all other existing and proposed WCF facilities within the proposed network design area. Co-Applicant's radio frequency engineers have conducted studies and tests in order to develop a highly efficient network that is designed to handle voice and data traffic in the service area. The engineers determined an optimum area for the placement of the proposed facility in terms of elevation and location to provide the best quality service to customers in the service area. A radio frequency design search area prepared in reference to these radio frequency studies was considered by the Co-Applicant when searching for sites for its antennas that would provide the coverage deemed necessary by the Co-Applicant. A map of the area in which the tower is proposed to be located which is drawn to scale and clearly depicts the necessary search area within which the site should be located pursuant to radio frequency requirements is attached as **Exhibit P**.

26. The tower must be located at the proposed location and proposed height to provide necessary service to wireless communications users in the subject area, as set out and documented in the RF Design Engineer's Statement of Need and Propagation Maps attached as **Exhibit Q** and **Exhibit R,** respectively. The proposed tower will expand and improve voice and data service for Verizon Wireless customers.

27. Attached hereto as **Exhibit T** please find an Affidavit of Certification for all information contained in this application.

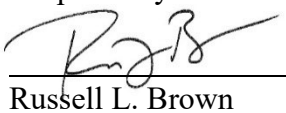
28. All Exhibits to this Application are hereby incorporated by reference as if fully set out as part of the Application.

29. All responses and requests associated with this Application may be directed to:

Russell L. Brown
Clark, Quinn, Moses, Scott & Grahn, LLP
320 North Meridian Street, Suite 1100
Indianapolis, IN 46204
Phone: (317) 637-1321
FAX: (317) 687-2344
Email: rbrown@clarkquinnlaw.com

WHEREFORE, Co-Applicants respectfully request that the PSC accept the foregoing Application for filing and, having met the requirements of KRS §§278.020(1), 278.650, and 278 .665 and all applicable rules and regulations of the PSC, grant a Certificate of Public Convenience and Necessity to construct and operate the WCF at the location set forth herein.

Respectfully submitted,



Russell L. Brown
Clark, Quinn, Moses, Scott & Grahn, LLP
320 North Meridian Street, Suite 1100
Indianapolis, IN 46204
Phone: (317) 637-1321 / FAX: (317) 687-2344
Email: rbrown@clarkquinnlaw.com
Attorney for Cellco Partnership d/b/a Verizon Wireless

LIST OF EXHIBITS

A Applicant Entities

B FCC Registration and License Documentation

C Site Development Plan:

500' Vicinity Map Legal Descriptions
Flood Plain Certification Site Plan
Vertical Tower Profile

D Tower and Foundation Design

E Competing Utilities, Corporations, or Persons List
And Map of Like Facilities in Vicinity

F FAA Application and Determination of No Hazard

G KAZC Documentation of Application

H Geotechnical Report

I Directions to WCF Site

J Real Estate Agreement

K Notification Listing with PVA Verification

L Property Owner Notification

M County Judge/Executive notice

N Posted Notices

O Newspaper Legal Notice Advertisement

P Radio Frequency Design Search Area

Q Copy of RF Design Engineer Statement of Need

R Propagation Maps

S List of Qualified Professionals

T Affidavit of Certification

Delaware

The First State

I, JEFFREY W. BULLOCK, SECRETARY OF STATE OF THE STATE OF DELAWARE, DO HEREBY CERTIFY "CELLCO PARTNERSHIP" IS DULY FORMED UNDER THE LAWS OF THE STATE OF DELAWARE AND IS IN GOOD STANDING AND HAS A LEGAL EXISTENCE SO FAR AS THE RECORDS OF THIS OFFICE SHOW, AS OF THE TWENTY-SEVENTH DAY OF APRIL, A.D. 2023.

AND I DO HEREBY FURTHER CERTIFY THAT THE ANNUAL TAXES HAVE BEEN PAID TO DATE.

Jeffrey W. Bullock, Secretary of State

3341134 8300

SR# 20231665976

Authentication: 203227418

Date: 04-27-23

You may verify this certificate online at corp.delaware.gov/authver.shtml

COMMONWEALTH OF KENTUCKY

Michael G. Adams
Secretary of State

Certificate

I, Michael G. Adams, Secretary of State for the Commonwealth of Kentucky, do hereby certify that the foregoing writing has been carefully compared by me with the original thereof, now in my official custody as Secretary of State and remaining on file in my office, and found to be a true and correct copy of

CERTIFICATE OF ASSUMED NAME OF VERIZON WIRELESS ADOPTED BY GENERAL PARTNERS OF CELLCO PARTNERSHIP FILED JUNE 21, 2006.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my Official Seal at Frankfort, Kentucky, this 10th day of May, 2023.

COMMONWEALTH OF KENTUCKY
OFFICE OF SECRETARY OF STATE

Michael G. Adams

Michael G. Adams
Secretary of State
Commonwealth of Kentucky
kdcoleman/0641227 - Certificate ID: 290787

COMMONWEALTH OF KENTUCKY
TREY GRAYSON
SECRETARY OF STATE

0641227.07 Dcornish C226

Trey Grayson
Secretary of State
Received and Filed
06/21/2006 12:06:09 PM
Fee Receipt: $20.00

CERTIFICATE OF ASSUMED NAME

This certifies that the assumed name of

Verizon Wireless

[Name under which the business will be conducted]

has been adopted by See Addendum

[Real name - KRS 365.015(1)]

which is the "real name" of [YOU MUST CHECK ONE]

- [ ] a Domestic General Partnership
- [ ] a Domestic Registered Limited Liability Partnership
- [ ] a Domestic Limited Partnership
- [ ] a Domestic Business Trust
- [ ] a Domestic Corporation
- [ ] a Domestic Limited Liability Company
- [ ] a Joint Venture
- [✓] a Foreign General Partnership
- [ ] a Foreign Registered Limited Liability Partnership
- [ ] a Foreign Limited Partnership
- [ ] a Foreign Business Trust
- [ ] a Foreign Corporation
- [ ] a Foreign Limited Liability Company

organized and existing in the state or country of Delaware, and whose address is

One Verizon Way	Basking Ridge	NJ	07920
Street address, if any	City	State	Zip Code

The certificate of assumed name is executed by

NYNEX PCS Inc.

Jane A. Schapker

Signature

Jane A. Schapker-Assistant Secretary

Print or type name and title

June 15, 2006

Date

Signature

Print or type name and title

Date

SSC-228 (7/98)

(See attached sheet for instructions)

Addendum

The full name of the Partnership is Cellco Partnership; a Delaware general partnership with its headquarters located One Verizon Way, Basking Ridge NJ 07920-1097.

General Partners of Cellco Partnership	Address
Bell Atlantic Cellular Holdings, L.P.	One Verizon Way Basking Ridge, NJ 07920
NYNEX PCS Inc.	One Verizon Way Basking Ridge, NJ 07920
PCSCO Partnership	One Verizon Way Basking Ridge, NJ 07920
GTE Wireless Incorporated	One Verizon Way Basking Ridge, NJ 07920
GTE Wireless of Ohio Incorporated	One Verizon Way Basking Ridge, NJ 07920
PCS Nucleus, L.P.	2999 Oak Road, 7th Floor Walnut Creek, CA 94597
JV PartnerCo, LLC	2999 Oak Road, 7th Floor Walnut Creek, CA 94597

Commonwealth of Kentucky
Michael G. Adams, Secretary of State

Michael G. Adams
Secretary of State
P. O. Box 718
Frankfort, KY 40602-0718
(502) 564-3490
http://www.sos.ky.gov

Certificate of Authorization

Authentication number: 297432
Visit https://web.sos.ky.gov/ftshow/certvalidate.aspx to authenticate this certificate.

I, Michael G. Adams, Secretary of State of the Commonwealth of Kentucky, do hereby certify that according to the records in the Office of the Secretary of State,

TOWERCO 2013 LLC

, a limited liability company authorized under the laws of the state of Delaware, is authorized to transact business in the Commonwealth of Kentucky, and received the authority to transact business in Kentucky on June 12, 2013.

I further certify that all fees and penalties owed to the Secretary of State have been paid; that an application for certificate of withdrawal has not been filed; and that the most recent annual report required by KRS 14A.6-010 has been delivered to the Secretary of State.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my Official Seal at Frankfort, Kentucky, this 15th day of September, 2023, in the 232nd year of the Commonwealth.

Michael G. Adams
Secretary of State
Commonwealth of Kentucky
297432/0859822

Delaware

The First State

I, JEFFREY W. BULLOCK, SECRETARY OF STATE OF THE STATE OF DELAWARE, DO HEREBY CERTIFY "TOWERCO 2013 LLC" IS DULY FORMED UNDER THE LAWS OF THE STATE OF DELAWARE AND IS IN GOOD STANDING AND HAS A LEGAL EXISTENCE SO FAR AS THE RECORDS OF THIS OFFICE SHOW, AS OF THE TWENTY-SEVENTH DAY OF SEPTEMBER, A.D. 2023.

AND I DO HEREBY FURTHER CERTIFY THAT THE SAID "TOWERCO 2013 LLC" WAS FORMED ON THE THIRD DAY OF OCTOBER, A.D. 2012.

AND I DO HEREBY FURTHER CERTIFY THAT THE ANNUAL TAXES HAVE BEEN PAID TO DATE.

Jeffrey W. Bullock, Secretary of State

5222115 8300

SR# 20233593958

Authentication: 204256340

Date: 09-27-23

You may verify this certificate online at corp.delaware.gov/authver.shtml

LARP

0627904
Michael G. Adams
KY Secretary of State
Received and Filed
6/20/2024 5:56:41 PM
Fee receipt: $15.00

Commonwealth of Kentucky
Michael G. Adams, Secretary of St

Michael G. Adams
Secretary of State
P. O. Box 1150
Frankfort, KY 40602-1150
(502) 564-3490
http://www.sos.ky.gov

Annual Report
Online Filing
For the Year 2024

ARP

Company: T-MOBILE CENTRAL LLC
Company ID: 0627904
State of origin: Delaware
Formation date: 1/1/2006 12:00:00 AM
Date filed: 6/20/2024 5:56:33 PM
Fee: $15.00

Principal Office

12920 SE 38TH STREET
BELLEVUE, WA 98006

Registered Agent Name/Address

Corporation Service Company
421 WEST MAIN STREET
FRANKFORT, KY 40601

Members/Managers

Member	T-Mobile USA, Inc.	12920 SE 38th Street, Bellevue WA 98006
Manager	T-Mobile USA, Inc.	12920 SE 38th Street, Bellevue WA 98006

County: Franklin
Business size: Small
Business type: Pipelines, except Natural Gas

Signatures

Signature Frederick Williams
Title Assistant Secretary

Delaware

The First State

I, CHARUNI PATIBANDA-SANCHEZ, SECRETARY OF STATE OF THE STATE OF DELAWARE, DO HEREBY CERTIFY "T-MOBILE CENTRAL LLC" IS DULY FORMED UNDER THE LAWS OF THE STATE OF DELAWARE AND IS IN GOOD STANDING AND HAS A LEGAL EXISTENCE SO FAR AS THE RECORDS OF THIS OFFICE SHOW, AS OF THE TWENTY-EIGHTH DAY OF FEBRUARY, A.D. 2025.

AND I DO HEREBY FURTHER CERTIFY THAT THE SAID "T-MOBILE CENTRAL LLC" WAS FORMED ON THE FIFTH DAY OF APRIL, A.D. 1999.

AND I DO HEREBY FURTHER CERTIFY THAT THE ANNUAL TAXES HAVE BEEN PAID TO DATE.

Charuni Patibanda-Sanchez, Secretary of State

3025856 8300

Authentication: 203050528

SR# 20250485397

Date: 02-28-25

You may verify this certificate online at corp.delaware.gov/authver.shtml

09/26/2024 at 09:32:57
A1296284

Reference Copy

FCC Form 854
Main Form

Approved by OMD – 3060-0139
See instructions for public burden estimate

Application for Antenna Structure Registration

Purpose of Filing

1) Enter the application purpose: (**AM**)

AM – Amendment of a Pending Application
AU – Administrative Update
CA – Cancellation of an Antenna Structure Registration
DI – Notification of an Antenna Structure Dismantlement
MD – Modification of a Antenna Structure Registration
NE – Registration of a New Antenna Structure
NT – Required Construction/Alteration Notification
OC – Ownership Change
RE – Registration of a Replacement Antenna Structure
WD – Withdrawal of a Pending Application

2a) If the answer to 1 is AU, CA, DI, MD, NT, OC or RE, provide the FCC Antenna Structure Registration (ASR) Number.	FCC ASR Number:
2b) If the answer to 1 is AM or WD, provide the File Number of the pending application on file.	File Number: **A1296284**
2c) If the answer to 1 is MD or NT, provide the date the Antenna Structure was constructed or the date it was last altered (mm/dd/yyyy).	Date:
2d) If the answer to 1 is DI, provide the date the Antenna Structure was dismantled (mm/dd/yyyy).	Date:

Antenna Structure Ownership Information

3) Select one of the entity types:

( ) Individual ( ) Unincorporated Association ( ) Trust ( ) Government Entity
( ) Corporation (X) Limited Liability Company ( ) General Partnership ( ) Limited Partnership
( ) Consortium ( ) Limited Liability Partnership ( ) Other: _____

4) FCC Registration Number (FRN): **0024950685**		5) Assignor FCC Registration Number (FRN):	
6) First Name (if individual):	MI:	Last Name:	Suffix:
7) Legal Entity Name (if not an individual): **TowerCo V Holdings LLC**			
8) Attention To: **TowerCo ID: KY0114**		9) P.O. Box:	**And/Or**
10a) Street Address 1: **5000 Valleystone Drive, Suite 200**	10b) Street Address 2:		
11) City: **Cary**	12) State: **NC**	13) Zip Code: **27519**	
14) Telephone Number (xxx-xxx-xxxx): **(919) 653-5700**		15) Fax Number: (xxx-xxx-xxxx): **(919) 469-5530**	
16) E-mail Address: **hbyrne@towerco.com**			

Contact Representative Information

17) First Name (if individual):	MI:	Last Name:	Suffix:
18) Business Name: **TowerCo V Holdings LLC**			
19) Attention To: **Henry Byrne**	20) P.O. Box		**And/Or**
21a) Street Address 1: **5000 Valleystone Drive, Suite 200**		21b) Street Address 2:	
22) City: **Cary**	23) State: **NC**	24) Zip Code: **27519**	
25) Telephone Number (xxx-xxx-xxxx): **(919) 653-5700**		26) Fax Number: (xxx-xxx-xxxx): **(919) 469-5530**	
27) E-mail Address: **hbyrne@towerco.com**			

Antenna Structure Information

28a) Latitude (DD-MM-SS.S): **36- 51- 47.8**	28b) North or South: **North**	
29a) Longitude (DDD-MM-SS.S): **088- 14- 55.2**	29b) East or West: **West**	
30) Street Address or Geographic Location: **Capp Springs Rd**	31) City: **Fairdealing**	
32) County: **MARSHALL**	33) State: **KENTUCKY**	34) Zip Code: **42025**

35) Elevation of site above mean sea level (meters):	**147.5** meters
36) Overall height above ground level (AGL) of the supporting structure without appurtenances:	**76.2** meters
37) Overall height above ground level (AGL) of the antenna structure including all appurtenances:	**79.2** meters
38) Overall height above mean sea level (add items 35 and 37 together):	**226.7** meters

39a) Enter the type of structure on which the antenna will be mounted: (**LTOWER**)

B – Building
BANT – Building with Antenna on Top
BMAST – Building with Mast
BPIPE – Building with Pipe
BPOLE – Building with Pole
BRIDG – Bridge
BTWR – Building with Tower
GTOWER – Guyed Structure Used For Communication Purposes
LTOWER – Lattice Tower
MAST – Mast
MTOWER – Monopole
NNGTANN – Guyed Tower Array
NNLTANN – Lattice Tower Array
NNMTANN – Monopole Array
PIPE – Any type of Pipe
POLE – Any type of Pole
RIG – Oil or Other Type of Rig
SIGN – Any type of Sign or Billboard
SILO – Any type of Silo
STACK – Smoke Stack
TANK – Any type of Tank (water, gas, etc.)
TREE – When used as a support for an antenna
UPOLE – Utility Pole/Tower used to provide service (electric, telephone, etc.)

39b) Number of Towers in Array:	39c) Position of this Tower in the Array:
40a) Array Center Latitude (DD-MM-SS.S):	40b) North or South
41a) Array Center Longitude (DDD-MM-SS.S):	41b) East or West:

Reference Copy

Proposed Marking and/or Lighting

42) Enter the proposed marking and/or lighting: (7)
See Form 854 Item 42 Instructions for detailed tier and lighting information.

1) None
2) Paint Only
3) Other _____
4) FAA Style B
5) FAA Style D
6) FAA Style C
7) FAA Style E
8) FAA Style F
9) FAA Style A
10) FAA Style G

FAA Notification

43) FAA Study Number:	44) Date Issued:

Environmental Compliance

45) Does the applicant request a waiver of the Commission's rules for environmental notice prior to construction due to an emergency situation?	(**No**) Yes or No
46a) If the answer to 45 is No, is another federal agency taking responsibility for environmental review of the Antenna Structure?	(**No**) Yes or No
46b) If the answer to 46a is Yes, indicate why: 1) The Antenna Structure is on Federal Land and the landholding agency is taking responsibility for the environmental review of the Antenna Structure. 2) Another federal agency has agreed with the FCC in writing to take responsibility for the environmental review of the Antenna Structure.	( ) 1 or 2
46c) If the answer to 46a is Yes, provide the name of the federal agency taking responsibility for the environmental review of the Antenna Structure.	Name:
47) If the answers to 45 and 46a are No, provide the National Notice Date for the application to be posted on the FCC's website (mm/dd/yyyy).	Date: **09/27/2024**
48) Is the applicant submitting an environmental assessment?	(**No**) Yes or No
49) Does the applicant certify that grant of Authorizations at this location would not have a significant environmental effect pursuant to Section 1.1307 of the FCC's rules?	( ) Yes or No
50) If the answer to 49 is Yes, select the basis for this certification. 1) The construction is exempt from environmental notification (other than due to another agency's review) and it does not fall within one of the categories in Section 1.1307(a) or (b) of the FCC's rules? 2) The construction is exempt from environmental notification due to another agency's review, and the other agency has issued a Finding of No Significant Impact. 3) The environmental notification has been completed, and the FCC has notified the applicant that an Environmental Assessment is not required under Section 1.1307(c) or (d) of the FCC's rules, and the Construction does not fall within one of the categories in Section 1.1307(a) or (b) of the FCC's rules. 4) The FCC has issued a Finding of No Significant Impact.	( ) 1, 2, 3, 4
51) If the answer to 50 is 3 or 4, enter the date that Local Notice was provided (mm/dd/yyyy).	Date:

Reference Copy

Certification Statements

1) The applicant certifies that all statements made in this application and in the exhibits, attachments, or documents incorporated by reference are material, are part of this application, and are true, complete, correct, and made in good faith.
2) The applicant certifies that neither the applicant nor any other party to the application is subject to a denial of Federal benefits pursuant to Section 5301 of the Anti-Drug Abuse Act of 1988, 21 U.S.C. § 862, because of a conviction for possession or distribution of a controlled substance. See Section 1.2002(b) of the rules, 47 CFR § 1.2002(b), for the definition of "party to the application" as used in this certification.

Signature (Typed or Printed Name of Party Authorized to Sign) (For OC Applications, to be completed by Assignee)

52) First Name: **Henry**	MI:	Last Name: **Byrne**	Suffix:
53) Title: **FCC Contact**			
54) Signature: **Henry Byrne**			55) Date: **Sep 26, 2024**

Signature (Typed or Printed Name of Party Authorized to Sign) (For OC Applications, to be completed by Assignor)

56) First Name:	MI:	Last Name:	Suffix:
57) Title:			
58) Signature:			59) Date:

Reference Copy

Here are our licensed call signs for the county 9LV4918A resides in. Let me know if you have any questions.

FIPS	Call Sign	Lease_ID	Licensee	FRN
21157	WQZL553		T-Mobile License LLC	1565449
21157	WQZL554		T-Mobile License LLC	1565449
21157	WQZL555		T-Mobile License LLC	1565449
21157	WQZL556		T-Mobile License LLC	1565449
21157	WQGB377		T-Mobile License LLC	1565449
21157	WQSL582		T-Mobile License LLC	1565449
21157	KNLF252			
21157	WPTB358			
21157	KNLH405			
21157	WQKT285			

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Federal Communications Commission
Wireless Telecommunications Bureau

RADIO STATION AUTHORIZATION

LICENSEE: KENTUCKY RSA NO. 1 PARTNERSHIP

ATTN: REGULATORY
KENTUCKY RSA NO. 1 PARTNERSHIP
5055 NORTH POINT PKWY, NP2NE NETWORK ENGINEERING
ALPHARETTA, GA 30022

Call Sign	File Number
KNKQ306	
Radio Service CL - Cellular	
Market Numer CMA443	**Channel Block** B
Sub-Market Designator 0	

FCC Registration Number (FRN): 0001836709

Market Name
Kentucky 1 - Fulton

Grant Date	Effective Date	Expiration Date	Five Yr Build-Out Date	Print Date
08-30-2011	11-02-2016	10-01-2021		

Site Information:

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
1	36-20-59.2 N	089-22-12.3 W	98.0		

Address: 0.68 MILE SOUTH OF LASSITER CORNER & REEL FOOT LAKE
City: LASSITER CORNER **County:** LAKE **State:** TN **Construction Deadline:**

Antenna: 1
Maximum Transmitting ERP in Watts: 135.800

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	148.000	117.000	107.000	117.000	121.000	147.000	149.000	146.000
Transmitting ERP (watts)	133.300	103.500	36.500	4.500	1.500	3.900	38.800	109.600

Conditions:
Pursuant to §309(h) of the Communications Act of 1934, as amended, 47 U.S.C. §309(h), this license is subject to the following conditions: This license shall not vest in the licensee any right to operate the station nor any right in the use of the frequencies designated in the license beyond the term thereof nor in any other manner than authorized herein. Neither the license nor the right granted thereunder shall be assigned or otherwise transferred in violation of the Communications Act of 1934, as amended. See 47 U.S.C. § 310(d). This license is subject in terms to the right of use or control conferred by §706 of the Communications Act of 1934, as amended. See 47 U.S.C. §606.

FCC 601-C
March 2018

Licensee Name: KENTUCKY RSA NO. 1 PARTNERSHIP

Call Sign: KNKQ306 **File Number:** **Print Date:**

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
2	36-45-58.0 N	088-38-50.0 W	143.0	147.8	1043917

Address: 416 Jimtown Road
City: MAYFIELD **County:** GRAVES **State:** KY **Construction Deadline:**

Antenna: 2
Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	124.300	120.000	100.800	92.100	88.300	103.100	108.600	100.800
Transmitting ERP (watts)	91.200	87.100	85.110	85.110	89.130	87.100	89.130	89.130

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
4	36-54-35.5 N	089-04-01.6 W	110.3	121.0	1030662

Address: (Wickliffe) 353 CR 1307
City: Bardwell **County:** CARLISLE **State:** KY **Construction Deadline:**

Antenna: 4
Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	107.500	98.100	119.800	96.700	86.900	133.300	130.900	130.400
Transmitting ERP (watts)	189.230	48.640	1.690	0.930	0.930	0.930	1.810	52.120

Antenna: 5
Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	107.500	98.100	119.800	96.700	86.900	133.300	130.900	130.400
Transmitting ERP (watts)	1.710	64.860	368.980	174.580	8.750	0.930	0.930	0.930

Antenna: 6
Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	107.800	98.100	119.800	96.700	86.900	133.300	130.900	130.400
Transmitting ERP (watts)	0.350	0.350	1.230	35.330	112.440	35.270	1.000	0.350

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
6	36-31-12.4 N	088-50-41.5 W	144.2	122.2	1030665

Address: (Fulton) 550 Powell Road
City: Fulton **County:** HICKMAN **State:** KY **Construction Deadline:**

Antenna: 4
Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	128.200	122.800	123.200	135.200	147.500	157.200	143.900	141.700
Transmitting ERP (watts)	110.570	412.100	98.560	4.220	1.510	0.920	0.920	6.530

Antenna: 5
Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	128.200	122.800	123.200	135.200	147.500	157.200	143.900	141.700
Transmitting ERP (watts)	0.550	0.550	0.550	0.550	1.480	16.430	11.480	0.700

Reference Copy

Licensee Name: KENTUCKY RSA NO. 1 PARTNERSHIP

Call Sign: KNKQ306 **File Number:** **Print Date:**

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
6	36-31-12.4 N	088-50-41.5 W	144.2	122.2	1030665

Address: (Fulton) 550 Powell Road

City: Fulton **County:** HICKMAN **State:** KY **Construction Deadline:**

Antenna: 6

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	128.200	122.800	123.200	135.200	147.500	157.200	143.900	141.700
Transmitting ERP (watts)	135.480	5.650	2.230	0.920	1.320	5.450	78.640	402.820

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
7	36-38-26.2 N	088-16-00.1 W	165.8	90.8	1030663

Address: (Murray) 1431 Van Cleave Road

City: Murray **County:** CALLOWAY **State:** KY **Construction Deadline:**

Antenna: 4

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	106.900	107.100	115.000	106.900	87.400	91.300	86.200	97.500
Transmitting ERP (watts)	124.240	6.420	0.560	0.560	0.560	0.830	39.630	251.940

Antenna: 5

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	106.900	107.100	115.000	106.900	87.400	91.300	86.200	97.500
Transmitting ERP (watts)	3.450	96.460	263.070	57.230	1.700	0.560	0.560	0.560

Antenna: 6

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	106.900	107.100	115.000	106.900	87.400	91.300	86.200	97.500
Transmitting ERP (watts)	0.370	0.370	0.370	12.730	121.110	104.340	9.310	0.370

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
8	37-03-51.4 N	088-57-23.6 W	116.4	92.4	1030664

Address: (La Center) 220 RICHARDSON LN

City: LA CENTER **County:** BALLARD **State:** KY **Construction Deadline:**

Antenna: 2

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	85.600	78.400	71.900	66.000	65.300	67.000	87.700	96.100
Transmitting ERP (watts)	2.110	71.430	167.460	63.670	0.330	0.640	0.330	0.330

Antenna: 3

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	85.600	78.400	71.900	66.000	65.300	67.000	87.700	96.100
Transmitting ERP (watts)	1.230	1.000	1.380	23.440	338.840	457.090	66.070	2.240

Reference Copy

Licensee Name: KENTUCKY RSA NO. 1 PARTNERSHIP

Call Sign: KNKQ306 **File Number:** **Print Date:**

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
8	37-03-51.4 N	088-57-23.6 W	116.4	92.4	1030664

Address: (La Center) 220 RICHARDSON LN

City: LA CENTER **County:** BALLARD **State:** KY **Construction Deadline:**

Antenna: 4

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	85.600	78.400	71.900	66.000	65.300	67.000	87.700	96.100
Transmitting ERP (watts)	165.960	6.610	0.910	0.500	0.500	0.890	45.710	223.870

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
10	36-44-07.9 N	088-58-29.2 W	131.9	92.9	1030723

Address: 3975 State Route 2206

City: CLINTON **County:** HICKMAN **State:** KY **Construction Deadline:**

Antenna: 2

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	100.500	101.900	98.900	84.700	107.900	118.900	119.900	100.400
Transmitting ERP (watts)	96.610	96.610	96.610	96.610	96.610	96.610	96.610	96.610

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
11	37-02-00.0 N	088-22-10.0 W	105.5	106.7	1040303

Address: (Calvert City) 641 Jary Johnson Rd.

City: Calvert City **County:** MARSHALL **State:** KY **Construction Deadline:**

Antenna: 2

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	78.900	77.600	88.100	83.000	68.600	85.300	97.900	93.100
Transmitting ERP (watts)	23.380	330.300	378.360	36.130	0.970	0.970	0.970	0.970

Antenna: 3

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	78.900	77.600	88.100	83.000	68.600	85.300	97.900	93.100
Transmitting ERP (watts)	0.970	0.970	0.970	14.730	240.930	357.480	49.940	1.230

Antenna: 4

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	78.900	77.600	88.100	83.000	68.600	85.300	97.900	93.100
Transmitting ERP (watts)	63.740	2.060	0.660	0.660	0.660	4.020	107.530	274.970

Reference Copy

Licensee Name: KENTUCKY RSA NO. 1 PARTNERSHIP

Call Sign: KNKQ306 **File Number:** **Print Date:**

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
12	36-34-49.2 N	088-31-45.2 W	155.5	91.4	1202399

Address: 12201 SR 97

City: TriCity **County:** GRAVES **State:** KY **Construction Deadline:**

Antenna: 2

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	75.100	73.400	74.100	70.100	102.600	100.900	74.700	81.300
Transmitting ERP (watts)	0.280	4.680	67.610	91.200	13.180	0.450	0.250	0.200

Antenna: 3

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	75.100	73.400	74.100	70.100	102.600	100.900	74.700	81.300
Transmitting ERP (watts)	0.360	0.200	0.200	0.350	18.200	89.130	66.070	2.630

Antenna: 4

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	75.100	73.400	74.100	70.100	102.600	100.900	74.700	81.300
Transmitting ERP (watts)	100.000	38.020	0.200	0.380	0.200	0.200	1.260	42.660

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
14	37-05-47.2 N	088-42-35.2 W	104.2	63.4	1200593

Address: (Paducah West) 4415 Merredith Rd.

City: Paducah **County:** MCCRACKEN **State:** KY **Construction Deadline:** 07-08-2014

Antenna: 4

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	59.900	55.900	65.200	50.700	38.200	34.700	42.800	64.600
Transmitting ERP (watts)	24.580	50.820	50.310	19.100	0.840	0.330	0.330	1.370

Antenna: 5

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	59.900	55.900	65.200	50.700	38.200	34.700	42.800	64.600
Transmitting ERP (watts)	0.440	0.440	12.210	76.570	112.800	57.980	5.460	0.440

Antenna: 6

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	59.900	55.900	65.200	50.700	38.200	34.700	42.800	64.600
Transmitting ERP (watts)	20.830	0.780	0.440	0.440	2.790	42.940	108.040	89.900

Reference Copy

Licensee Name: KENTUCKY RSA NO. 1 PARTNERSHIP

Call Sign: KNKQ306 **File Number:** **Print Date:**

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
15	36-46-54.2 N	088-03-28.1 W	199.0	126.5	1205551

Address: 14664 Canton Road
City: Golden Pond **County:** TRIGG **State:** KY **Construction Deadline:** 05-19-2006

Antenna: 2
Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	165.000	178.000	160.400	174.500	170.600	167.000	177.000	183.900
Transmitting ERP (watts)	96.610	96.610	96.610	96.610	96.610	96.610	96.610	96.610

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
16	36-34-03.0 N	089-10-30.9 W	109.4	91.4	1282534

Address: (Hickman site) Holley Street
City: Hickman **County:** FULTON **State:** KY **Construction Deadline:** 05-28-2014

Antenna: 1
Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	105.500	102.800	96.700	89.300	75.700	68.400	107.900	107.300
Transmitting ERP (watts)	141.700	118.910	1.140	0.580	0.580	0.580	0.580	4.050

Antenna: 2
Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	105.500	102.800	96.700	89.300	75.700	68.400	107.900	107.300
Transmitting ERP (watts)	0.580	4.050	141.730	118.910	1.140	0.580	0.580	0.580

Antenna: 3
Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	105.500	102.800	96.700	89.300	75.700	68.400	107.900	107.300
Transmitting ERP (watts)	0.460	0.460	0.460	0.460	0.460	7.710	45.610	24.600

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
17	37-10-55.4 N	088-56-43.7 W	102.7	99.1	1252613

Address: (Monkey's Eyebrow) 4625 Odgen Colvin Circle
City: Kevil **County:** BALLARD **State:** KY **Construction Deadline:** 10-24-2014

Antenna: 1
Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	85.900	83.500	90.600	69.600	74.300	84.600	86.500	83.200
Transmitting ERP (watts)	7.080	125.890	478.630	112.200	4.570	1.580	1.000	1.000

Antenna: 2
Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	85.900	83.500	90.600	69.600	74.300	84.600	86.500	83.200
Transmitting ERP (watts)	1.000	1.410	12.020	213.800	446.680	64.570	2.820	1.000

Reference Copy

Licensee Name: KENTUCKY RSA NO. 1 PARTNERSHIP

Call Sign: KNKQ306 **File Number:** **Print Date:**

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
17	37-10-55.4 N	088-56-43.7 W	102.7	99.1	1252613

Address: (Monkey's Eyebrow) 4625 Odgen Colvin Circle

City: Kevil **County:** BALLARD **State:** KY **Construction Deadline:** 10-24-2014

Antenna: 4

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	85.900	83.500	90.600	69.600	74.300	84.600	86.500	83.200
Transmitting ERP (watts)	2.000	2.000	2.000	2.000	2.000	398.110	549.540	4.900

Control Points:

Control Pt. No. 3

Address: 500 W. Dove Rd.

City: Southlake **County:** TARRANT **State:** TX **Telephone Number:** (800)264-6620

Waivers/Conditions:

NONE

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Federal Communications Commission

Wireless Telecommunications Bureau

RADIO STATION AUTHORIZATION

LICENSEE: CELLCO PARTNERSHIP

ATTN: REGULATORY
CELLCO PARTNERSHIP
5055 NORTH POINT PKWY, NP2NE NETWORK ENGINEERING
ALPHARETTA, GA 30022

Call Sign	File Number
KNLH404	
Radio Service	
CW - PCS Broadband	

FCC Registration Number (FRN): 0003290673

Grant Date	Effective Date	Expiration Date	Print Date
04-24-2017	11-30-2017	04-28-2027	

Market Number	Channel Block	Sub-Market Designator
BTA339	D	0

Market Name
Paducah-Murray-Mayfield, KY

1st Build-out Date	2nd Build-out Date	3rd Build-out Date	4th Build-out Date
04-28-2002			

Waivers/Conditions:

This authorization is subject to the condition that, in the event that systems using the same frequencies as granted herein are authorized in an adjacent foreign territory (Canada/United States), future coordination of any base station transmitters within 72 km (45 miles) of the United States/Canada border shall be required to eliminate any harmful interference to operations in the adjacent foreign territory and to ensure continuance of equal access to the frequencies by both countries.

Conditions:
Pursuant to §309(h) of the Communications Act of 1934, as amended, 47 U.S.C. §309(h), this license is subject to the following conditions: This license shall not vest in the licensee any right to operate the station nor any right in the use of the frequencies designated in the license beyond the term thereof nor in any other manner than authorized herein. Neither the license nor the right granted thereunder shall be assigned or otherwise transferred in violation of the Communications Act of 1934, as amended. See 47 U.S.C. § 310(d). This license is subject in terms to the right of use or control conferred by §706 of the Communications Act of 1934, as amended. See 47 U.S.C. §606.

This license may not authorize operation throughout the entire geographic area or spectrum identified on the hardcopy version. To view the specific geographic area and spectrum authorized by this license, refer to the Spectrum and Market Area information under the Market Tab of the license record in the Universal Licensing System (ULS). To view the license record, go to the ULS homepage at http://wireless.fcc.gov/uls/index.htm?job=home and select “License Search”. Follow the instructions on how to search for license information.

Reference Copy

Licensee Name: CELLCO PARTNERSHIP

Call Sign: KNLH404 **File Number:** **Print Date:**

700 MHz Relicensed Area Information:

Market	Market Name	Buildout Deadline	Buildout Notification	Status

Reference Copy

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Federal Communications Commission

Wireless Telecommunications Bureau

RADIO STATION AUTHORIZATION

LICENSEE: ALLTEL CORPORATION

ATTN: REGULATORY
ALLTEL CORPORATION
5055 NORTH POINT PKWY, NP2NE ENGINEERING
ALPHARETTA, GA 30022

Call Sign	File Number
WQBT313	
Radio Service CW - PCS Broadband	

FCC Registration Number (FRN): 0002942159

Grant Date	Effective Date	Expiration Date	Print Date
06-05-2015	05-07-2020	06-23-2025	

Market Number	Channel Block	Sub-Market Designator
MTA026	A	18

Market Name
Louisville-Lexington-Evansvill

1st Build-out Date	2nd Build-out Date	3rd Build-out Date	4th Build-out Date
10-23-2000			

Waivers/Conditions:

This authorization is subject to the condition that, in the event that systems using the same frequencies as granted herein are authorized in an adjacent foreign territory (Canada/United States), future coordination of any base station transmitters within 72 km (45 miles) of the United States/Canada border shall be required to eliminate any harmful interference to operations in the adjacent foreign territory and to ensure continuance of equal access to the frequencies by both countries.

This authorization is subject to the condition that the remaining balance of the winning bid amount will be paid in accordance with Part 1 of the Commission's rules, 47 C.F.R. Part 1.

Conditions:
Pursuant to §309(h) of the Communications Act of 1934, as amended, 47 U.S.C. §309(h), this license is subject to the following conditions: This license shall not vest in the licensee any right to operate the station nor any right in the use of the frequencies designated in the license beyond the term thereof nor in any other manner than authorized herein. Neither the license nor the right granted thereunder shall be assigned or otherwise transferred in violation of the Communications Act of 1934, as amended. See 47 U.S.C. § 310(d). This license is subject in terms to the right of use or control conferred by §706 of the Communications Act of 1934, as amended. See 47 U.S.C. §606.

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Reference Copy

Licensee Name: ALLTEL CORPORATION

Call Sign: WQBT313 **File Number:** **Print Date:**

This license is conditioned upon compliance with the provisions of Applications of AT&T Wireless Services, Inc. and Cingular Wireless Corporation For Consent to Transfer Control of Licenses and Authorizations, Memorandum Opinion and Order, FCC 04-255 (rel. Oct. 26, 2004).

Reference Copy

Licensee Name: ALLTEL CORPORATION

Call Sign: WQBT313 **File Number:** **Print Date:**

700 MHz Relicensed Area Information:

Market	Market Name	Buildout Deadline	Buildout Notification	Status

Reference Copy

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Federal Communications Commission

Wireless Telecommunications Bureau

RADIO STATION AUTHORIZATION

LICENSEE: ALLTEL CORPORATION

ATTN: REGULATORY
ALLTEL CORPORATION
5055 NORTH POINT PKWY, NP2NE ENGINEERING
ALPHARETTA, GA 30022

Call Sign	File Number
WQBT318	
Radio Service CW - PCS Broadband	

FCC Registration Number (FRN): 0002942159

Grant Date	Effective Date	Expiration Date	Print Date
06-05-2015	05-07-2020	06-23-2025	

Market Number	Channel Block	Sub-Market Designator
MTA026	A	16

Market Name
Louisville-Lexington-Evansvill

1st Build-out Date	2nd Build-out Date	3rd Build-out Date	4th Build-out Date
06-23-2000			

Waivers/Conditions:

This authorization is subject to the condition that, in the event that systems using the same frequencies as granted herein are authorized in an adjacent foreign territory (Canada/United States), future coordination of any base station transmitters within 72 km (45 miles) of the United States/Canada border shall be required to eliminate any harmful interference to operations in the adjacent foreign territory and to ensure continuance of equal access to the frequencies by both countries.

This authorization is subject to the condition that the remaining balance of the winning bid amount will be paid in accordance with Part 1 of the Commission's rules, 47 C.F.R. Part 1.

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Reference Copy

Licensee Name: ALLTEL CORPORATION

Call Sign: WQBT318 **File Number:** **Print Date:**

700 MHz Relicensed Area Information:

Market	Market Name	Buildout Deadline	Buildout Notification	Status

Reference Copy

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Federal Communications Commission

Wireless Telecommunications Bureau

RADIO STATION AUTHORIZATION

LICENSEE: CELLCO PARTNERSHIP

ATTN: REGULATORY
CELLCO PARTNERSHIP
5055 NORTH POINT PKWY, NP2NE NETWORK ENGINEERING
ALPHARETTA, GA 30022

Call Sign	File Number
WQGA718	0007518718
Radio Service	
AW - AWS (1710-1755 MHz and 2110-2155 MHz)	

FCC Registration Number (FRN): 0003290673

Grant Date	Effective Date	Expiration Date	Print Date
11-29-2006	12-13-2016	11-29-2021	02-04-2017

Market Number	Channel Block	Sub-Market Designator
REA004	F	15

Market Name
Mississippi Valley

1st Build-out Date	2nd Build-out Date	3rd Build-out Date	4th Build-out Date

Waivers/Conditions:

This authorization is conditioned upon the licensee, prior to initiating operations from any base or fixed station, making reasonable efforts to coordinate frequency usage with known co-channel and adjacent channel incumbent federal users operating in the 1710-1755 MHz band whose facilities could be affected by the proposed operations. See, e.g., FCC and NTIA Coordination Procedures in the 1710-1755 MHz Band, Public Notice, FCC 06-50, WTB Docket No. 02-353, rel. April 20, 2006.

Conditions:
Pursuant to §309(h) of the Communications Act of 1934, as amended, 47 U.S.C. §309(h), this license is subject to the following conditions: This license shall not vest in the licensee any right to operate the station nor any right in the use of the frequencies designated in the license beyond the term thereof nor in any other manner than authorized herein. Neither the license nor the right granted thereunder shall be assigned or otherwise transferred in violation of the Communications Act of 1934, as amended. See 47 U.S.C. § 310(d). This license is subject in terms to the right of use or control conferred by §706 of the Communications Act of 1934, as amended. See 47 U.S.C. §606.

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Reference Copy

Licensee Name: CELLCO PARTNERSHIP

Call Sign: WQGA718 **File Number:** 0007518718 **Print Date:** 02-04-2017

700 MHz Relicensed Area Information:

Market	Market Name	Buildout Deadline	Buildout Notification	Status

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Federal Communications Commission

Wireless Telecommunications Bureau

RADIO STATION AUTHORIZATION

LICENSEE: CELLCO PARTNERSHIP

ATTN: REGULATORY
CELLCO PARTNERSHIP
5055 NORTH POINT PKWY, NP2NE NETWORK ENGINEERING
ALPHARETTA, GA 30022

Call Sign	File Number
WQGA960	
Radio Service	
AW - AWS (1710-1755 MHz and 2110-2155 MHz)	

FCC Registration Number (FRN): 0003290673

Grant Date	Effective Date	Expiration Date	Print Date
11-29-2006	11-01-2016	11-29-2021	

Market Number	Channel Block	Sub-Market Designator
BEA072	B	0

Market Name
Paducah, KY-IL

1st Build-out Date	2nd Build-out Date	3rd Build-out Date	4th Build-out Date

Waivers/Conditions:

This authorization is conditioned upon the licensee, prior to initiating operations from any base or fixed station, making reasonable efforts to coordinate frequency usage with known co-channel and adjacent channel incumbent federal users operating in the 1710-1755 MHz band whose facilities could be affected by the proposed operations. See, e.g., FCC and NTIA Coordination Procedures in the 1710-1755 MHz Band, Public Notice, FCC 06-50, WTB Docket No. 02-353, rel. April 20, 2006.

Conditions:
Pursuant to §309(h) of the Communications Act of 1934, as amended, 47 U.S.C. §309(h), this license is subject to the following conditions: This license shall not vest in the licensee any right to operate the station nor any right in the use of the frequencies designated in the license beyond the term thereof nor in any other manner than authorized herein. Neither the license nor the right granted thereunder shall be assigned or otherwise transferred in violation of the Communications Act of 1934, as amended. See 47 U.S.C. § 310(d). This license is subject in terms to the right of use or control conferred by §706 of the Communications Act of 1934, as amended. See 47 U.S.C. §606.

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Reference Copy

Licensee Name: CELLCO PARTNERSHIP

Call Sign: WQGA960 **File Number:** **Print Date:**

700 MHz Relicensed Area Information:

Market	Market Name	Buildout Deadline	Buildout Notification	Status

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Wireless Telecommunications Bureau

RADIO STATION AUTHORIZATION

LICENSEE: CELLCO PARTNERSHIP

ATTN: REGULATORY
CELLCO PARTNERSHIP
5055 NORTH POINT PKWY, NP2NE NETWORK ENGINEERING
ALPHARETTA, GA 30022

Call Sign	File Number
WQJQ692	0008587218
Radio Service	
WU - 700 MHz Upper Band (Block C)	

FCC Registration Number (FRN): 0003290673

Grant Date	Effective Date	Expiration Date	Print Date
01-10-2020	01-10-2020	06-13-2029	01-14-2020

Market Number	Channel Block	Sub-Market Designator
REA004	C	0

Market Name
Mississippi Valley

1st Build-out Date	2nd Build-out Date	3rd Build-out Date	4th Build-out Date
06-13-2013	06-13-2019		

Waivers/Conditions:

If the facilities authorized herein are used to provide broadcast operations, whether exclusively or in combination with other services, the licensee must seek renewal of the license either within eight years from the commencement of the broadcast service or within the term of the license had the broadcast service not been provided, whichever period is shorter in length. See 47 CFR §27.13(b).

This authorization is conditioned upon compliance with section 27.16 of the Commission's rules

Conditions:
Pursuant to §309(h) of the Communications Act of 1934, as amended, 47 U.S.C. §309(h), this license is subject to the following conditions: This license shall not vest in the licensee any right to operate the station nor any right in the use of the frequencies designated in the license beyond the term thereof nor in any other manner than authorized herein. Neither the license nor the right granted thereunder shall be assigned or otherwise transferred in violation of the Communications Act of 1934, as amended. See 47 U.S.C. § 310(d). This license is subject in terms to the right of use or control conferred by §706 of the Communications Act of 1934, as amended. See 47 U.S.C. §606.

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Reference Copy

Licensee Name: CELLCO PARTNERSHIP

Call Sign: WQJQ692 **File Number:** 0008587218 **Print Date:** 01-14-2020

700 MHz Relicensed Area Information:

Market	Market Name	Buildout Deadline	Buildout Notification	Status

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RADIO STATION AUTHORIZATION

LICENSEE: CELLCO PARTNERSHIP

ATTN: REGULATORY
CELLCO PARTNERSHIP
5055 NORTH POINT PKWY, NP2NE ENGINEERING
ALPHARETTA, GA 30022

Call Sign	File Number
WQXD406	
Radio Service	
AT - AWS-3 (1695-1710 MHz, 1755-1780 MHz, and 2155-2180 MHz)	

FCC Registration Number (FRN): 0003290673

Grant Date	Effective Date	Expiration Date	Print Date
02-04-2016	12-04-2019	02-04-2028	

Market Number	Channel Block	Sub-Market Designator
BEA072	I	0

Market Name
Paducah, KY-IL

1st Build-out Date	2nd Build-out Date	3rd Build-out Date	4th Build-out Date
02-04-2022	02-04-2028		

Waivers/Conditions:

NONE

Conditions:
Pursuant to §309(h) of the Communications Act of 1934, as amended, 47 U.S.C. §309(h), this license is subject to the following conditions: This license shall not vest in the licensee any right to operate the station nor any right in the use of the frequencies designated in the license beyond the term thereof nor in any other manner than authorized herein. Neither the license nor the right granted thereunder shall be assigned or otherwise transferred in violation of the Communications Act of 1934, as amended. See 47 U.S.C. § 310(d). This license is subject in terms to the right of use or control conferred by §706 of the Communications Act of 1934, as amended. See 47 U.S.C. §606.

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Reference Copy

Licensee Name: CELLCO PARTNERSHIP

Call Sign: WQXD406 **File Number:** **Print Date:**

700 MHz Relicensed Area Information:

Market	Market Name	Buildout Deadline	Buildout Notification	Status

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Wireless Telecommunications Bureau

RADIO STATION AUTHORIZATION

LICENSEE: CELLCO PARTNERSHIP

ATTN: REGULATORY
CELLCO PARTNERSHIP
5055 NORTH POINT PKWY, NP2NE NETWORK ENGINEERING
ALPHARETTA, GA 30022

Call Sign	File Number
WREF223	
Radio Service	
UU - Upper Microwave Flexible Use Service	

FCC Registration Number (FRN): 0003290673

Grant Date	Effective Date	Expiration Date	Print Date
10-02-2019	10-02-2019	10-02-2029	

Market Number	Channel Block	Sub-Market Designator
C21157	L2	0

Market Name
MARSHALL, KY

1st Build-out Date	2nd Build-out Date	3rd Build-out Date	4th Build-out Date

Waivers/Conditions:

NONE

Conditions:
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Reference Copy

Licensee Name: CELLCO PARTNERSHIP

Call Sign: WREF223 **File Number:** **Print Date:**

700 MHz Relicensed Area Information:

Market	Market Name	Buildout Deadline	Buildout Notification	Status

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Federal Communications Commission

Wireless Telecommunications Bureau

RADIO STATION AUTHORIZATION

LICENSEE: STRAIGHT PATH SPECTRUM, LLC

ATTN: REGULATORY
STRAIGHT PATH SPECTRUM, LLC
5055 NORTH POINT PKWY, NP2NE NETWORK ENGINEERING
ALPHARETTA, GA 30022

Call Sign	File Number
WRHG984	
Radio Service	
UU - Upper Microwave Flexible Use Service	

FCC Registration Number (FRN): 0012576435

Grant Date	Effective Date	Expiration Date	Print Date
06-04-2020	06-04-2020	06-04-2030	

Market Number	Channel Block	Sub-Market Designator
PEA243	M1	0

Market Name
Paducah, KY

1st Build-out Date	2nd Build-out Date	3rd Build-out Date	4th Build-out Date

Waivers/Conditions:

NONE

Conditions:
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FCC 601-MB
October 2017

Reference Copy

Licensee Name: STRAIGHT PATH SPECTRUM, LLC

Call Sign: WRHG984 **File Number:** **Print Date:**

700 MHz Relicensed Area Information:

Market	Market Name	Buildout Deadline	Buildout Notification	Status

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Federal Communications Commission

Wireless Telecommunications Bureau

RADIO STATION AUTHORIZATION

LICENSEE: STRAIGHT PATH SPECTRUM, LLC

ATTN: REGULATORY
STRAIGHT PATH SPECTRUM, LLC
5055 NORTH POINT PKWY, NP2NE NETWORK ENGINEERING
ALPHARETTA, GA 30022

Call Sign	File Number
WRHG985	
Radio Service	
UU - Upper Microwave Flexible Use Service	

FCC Registration Number (FRN): 0012576435

Grant Date	Effective Date	Expiration Date	Print Date
06-04-2020	06-04-2020	06-04-2030	

Market Number	Channel Block	Sub-Market Designator
PEA243	M10	0

Market Name
Paducah, KY

1st Build-out Date	2nd Build-out Date	3rd Build-out Date	4th Build-out Date

Waivers/Conditions:

NONE

Conditions:
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FCC 601-MB
October 2017

Reference Copy

Licensee Name: STRAIGHT PATH SPECTRUM, LLC

Call Sign: WRHG985 **File Number:** **Print Date:**

700 MHz Relicensed Area Information:

Market	Market Name	Buildout Deadline	Buildout Notification	Status

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Federal Communications Commission

Wireless Telecommunications Bureau

RADIO STATION AUTHORIZATION

LICENSEE: STRAIGHT PATH SPECTRUM, LLC

ATTN: REGULATORY
STRAIGHT PATH SPECTRUM, LLC
5055 NORTH POINT PKWY, NP2NE NETWORK ENGINEERING
ALPHARETTA, GA 30022

Call Sign	File Number
WRHG986	
Radio Service	
UU - Upper Microwave Flexible Use Service	

FCC Registration Number (FRN): 0012576435

Grant Date	Effective Date	Expiration Date	Print Date
06-04-2020	06-04-2020	06-04-2030	

Market Number	Channel Block	Sub-Market Designator
PEA243	M2	0

Market Name
Paducah, KY

1st Build-out Date	2nd Build-out Date	3rd Build-out Date	4th Build-out Date

Waivers/Conditions:

NONE

Conditions:
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FCC 601-MB
October 2017

Reference Copy

Licensee Name: STRAIGHT PATH SPECTRUM, LLC

Call Sign: WRHG986 **File Number:** **Print Date:**

700 MHz Relicensed Area Information:

Market	Market Name	Buildout Deadline	Buildout Notification	Status

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Federal Communications Commission

Wireless Telecommunications Bureau

RADIO STATION AUTHORIZATION

LICENSEE: STRAIGHT PATH SPECTRUM, LLC

ATTN: REGULATORY
STRAIGHT PATH SPECTRUM, LLC
5055 NORTH POINT PKWY, NP2NE NETWORK ENGINEERING
ALPHARETTA, GA 30022

Call Sign	File Number
WRHG987	
Radio Service	
UU - Upper Microwave Flexible Use Service	

FCC Registration Number (FRN): 0012576435

Grant Date	Effective Date	Expiration Date	Print Date
06-04-2020	06-04-2020	06-04-2030	

Market Number	Channel Block	Sub-Market Designator
PEA243	M3	0

Market Name
Paducah, KY

1st Build-out Date	2nd Build-out Date	3rd Build-out Date	4th Build-out Date

Waivers/Conditions:

NONE

Conditions:
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FCC 601-MB
October 2017

Reference Copy

Licensee Name: STRAIGHT PATH SPECTRUM, LLC

Call Sign: WRHG987 **File Number:** **Print Date:**

700 MHz Relicensed Area Information:

Market	Market Name	Buildout Deadline	Buildout Notification	Status

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RADIO STATION AUTHORIZATION

LICENSEE: STRAIGHT PATH SPECTRUM, LLC

ATTN: REGULATORY
STRAIGHT PATH SPECTRUM, LLC
5055 NORTH POINT PKWY, NP2NE NETWORK ENGINEERING
ALPHARETTA, GA 30022

Call Sign	File Number
WRHG988	
Radio Service	
UU - Upper Microwave Flexible Use Service	

FCC Registration Number (FRN): 0012576435

Grant Date	Effective Date	Expiration Date	Print Date
06-04-2020	06-04-2020	06-04-2030	

Market Number	Channel Block	Sub-Market Designator
PEA243	M4	0

Market Name
Paducah, KY

1st Build-out Date	2nd Build-out Date	3rd Build-out Date	4th Build-out Date

Waivers/Conditions:

NONE

Conditions:
Pursuant to §309(h) of the Communications Act of 1934, as amended, 47 U.S.C. §309(h), this license is subject to the following conditions: This license shall not vest in the licensee any right to operate the station nor any right in the use of the frequencies designated in the license beyond the term thereof nor in any other manner than authorized herein. Neither the license nor the right granted thereunder shall be assigned or otherwise transferred in violation of the Communications Act of 1934, as amended. See 47 U.S.C. § 310(d). This license is subject in terms to the right of use or control conferred by §706 of the Communications Act of 1934, as amended. See 47 U.S.C. §606.

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Reference Copy

Licensee Name: STRAIGHT PATH SPECTRUM, LLC

Call Sign: WRHG988 **File Number:** **Print Date:**

700 MHz Relicensed Area Information:

Market	Market Name	Buildout Deadline	Buildout Notification	Status

Reference Copy

REFERENCE COPY
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Federal Communications Commission

Wireless Telecommunications Bureau

RADIO STATION AUTHORIZATION

LICENSEE: STRAIGHT PATH SPECTRUM, LLC

ATTN: REGULATORY
STRAIGHT PATH SPECTRUM, LLC
5055 NORTH POINT PKWY, NP2NE NETWORK ENGINEERING
ALPHARETTA, GA 30022

Call Sign	File Number
WRHG989	
Radio Service	
UU - Upper Microwave Flexible Use Service	

FCC Registration Number (FRN): 0012576435

Grant Date	Effective Date	Expiration Date	Print Date
06-04-2020	06-04-2020	06-04-2030	

Market Number	Channel Block	Sub-Market Designator
PEA243	M5	0

Market Name
Paducah, KY

1st Build-out Date	2nd Build-out Date	3rd Build-out Date	4th Build-out Date

Waivers/Conditions:

NONE

Conditions:
Pursuant to §309(h) of the Communications Act of 1934, as amended, 47 U.S.C. §309(h), this license is subject to the following conditions: This license shall not vest in the licensee any right to operate the station nor any right in the use of the frequencies designated in the license beyond the term thereof nor in any other manner than authorized herein. Neither the license nor the right granted thereunder shall be assigned or otherwise transferred in violation of the Communications Act of 1934, as amended. See 47 U.S.C. § 310(d). This license is subject in terms to the right of use or control conferred by §706 of the Communications Act of 1934, as amended. See 47 U.S.C. §606.

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FCC 601-MB
October 2017

Reference Copy

Licensee Name: STRAIGHT PATH SPECTRUM, LLC

Call Sign: WRHG989 **File Number:** **Print Date:**

700 MHz Relicensed Area Information:

Market	Market Name	Buildout Deadline	Buildout Notification	Status

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Federal Communications Commission

Wireless Telecommunications Bureau

RADIO STATION AUTHORIZATION

LICENSEE: STRAIGHT PATH SPECTRUM, LLC

ATTN: REGULATORY
STRAIGHT PATH SPECTRUM, LLC
5055 NORTH POINT PKWY, NP2NE NETWORK ENGINEERING
ALPHARETTA, GA 30022

Call Sign	File Number
WRHG990	
Radio Service	
UU - Upper Microwave Flexible Use Service	

FCC Registration Number (FRN): 0012576435

Grant Date	Effective Date	Expiration Date	Print Date
06-04-2020	06-04-2020	06-04-2030	

Market Number	Channel Block	Sub-Market Designator
PEA243	M6	0

Market Name
Paducah, KY

1st Build-out Date	2nd Build-out Date	3rd Build-out Date	4th Build-out Date

Waivers/Conditions:

NONE

Conditions:
Pursuant to §309(h) of the Communications Act of 1934, as amended, 47 U.S.C. §309(h), this license is subject to the following conditions: This license shall not vest in the licensee any right to operate the station nor any right in the use of the frequencies designated in the license beyond the term thereof nor in any other manner than authorized herein. Neither the license nor the right granted thereunder shall be assigned or otherwise transferred in violation of the Communications Act of 1934, as amended. See 47 U.S.C. § 310(d). This license is subject in terms to the right of use or control conferred by §706 of the Communications Act of 1934, as amended. See 47 U.S.C. §606.

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October 2017

Reference Copy

Licensee Name: STRAIGHT PATH SPECTRUM, LLC

Call Sign: WRHG990 **File Number:** **Print Date:**

700 MHz Relicensed Area Information:

Market	Market Name	Buildout Deadline	Buildout Notification	Status

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Wireless Telecommunications Bureau

RADIO STATION AUTHORIZATION

LICENSEE: STRAIGHT PATH SPECTRUM, LLC

ATTN: REGULATORY
STRAIGHT PATH SPECTRUM, LLC
5055 NORTH POINT PKWY, NP2NE NETWORK ENGINEERING
ALPHARETTA, GA 30022

Call Sign	File Number
WRHG991	
Radio Service	
UU - Upper Microwave Flexible Use Service	

FCC Registration Number (FRN): 0012576435

Grant Date	Effective Date	Expiration Date	Print Date
06-04-2020	06-04-2020	06-04-2030	

Market Number	Channel Block	Sub-Market Designator
PEA243	M7	0

Market Name
Paducah, KY

1st Build-out Date	2nd Build-out Date	3rd Build-out Date	4th Build-out Date

Waivers/Conditions:

NONE

Conditions:
Pursuant to §309(h) of the Communications Act of 1934, as amended, 47 U.S.C. §309(h), this license is subject to the following conditions: This license shall not vest in the licensee any right to operate the station nor any right in the use of the frequencies designated in the license beyond the term thereof nor in any other manner than authorized herein. Neither the license nor the right granted thereunder shall be assigned or otherwise transferred in violation of the Communications Act of 1934, as amended. See 47 U.S.C. § 310(d). This license is subject in terms to the right of use or control conferred by §706 of the Communications Act of 1934, as amended. See 47 U.S.C. §606.

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FCC 601-MB
October 2017

Reference Copy

Licensee Name: STRAIGHT PATH SPECTRUM, LLC

Call Sign: WRHG991 **File Number:** **Print Date:**

700 MHz Relicensed Area Information:

Market	Market Name	Buildout Deadline	Buildout Notification	Status

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Federal Communications Commission

Wireless Telecommunications Bureau

RADIO STATION AUTHORIZATION

LICENSEE: STRAIGHT PATH SPECTRUM, LLC

ATTN: REGULATORY
STRAIGHT PATH SPECTRUM, LLC
5055 NORTH POINT PKWY, NP2NE NETWORK ENGINEERING
ALPHARETTA, GA 30022

Call Sign	File Number
WRHG992	
Radio Service	
UU - Upper Microwave Flexible Use Service	

FCC Registration Number (FRN): 0012576435

Grant Date	Effective Date	Expiration Date	Print Date
06-04-2020	06-04-2020	06-04-2030	

Market Number	Channel Block	Sub-Market Designator
PEA243	M8	0

Market Name
Paducah, KY

1st Build-out Date	2nd Build-out Date	3rd Build-out Date	4th Build-out Date

Waivers/Conditions:

NONE

Conditions:
Pursuant to §309(h) of the Communications Act of 1934, as amended, 47 U.S.C. §309(h), this license is subject to the following conditions: This license shall not vest in the licensee any right to operate the station nor any right in the use of the frequencies designated in the license beyond the term thereof nor in any other manner than authorized herein. Neither the license nor the right granted thereunder shall be assigned or otherwise transferred in violation of the Communications Act of 1934, as amended. See 47 U.S.C. § 310(d). This license is subject in terms to the right of use or control conferred by §706 of the Communications Act of 1934, as amended. See 47 U.S.C. §606.

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FCC 601-MB
October 2017

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Licensee Name: STRAIGHT PATH SPECTRUM, LLC

Call Sign: WRHG992 **File Number:** **Print Date:**

700 MHz Relicensed Area Information:

Market	Market Name	Buildout Deadline	Buildout Notification	Status

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RADIO STATION AUTHORIZATION

LICENSEE: STRAIGHT PATH SPECTRUM, LLC

ATTN: REGULATORY
STRAIGHT PATH SPECTRUM, LLC
5055 NORTH POINT PKWY, NP2NE NETWORK ENGINEERING
ALPHARETTA, GA 30022

Call Sign	File Number
WRHG993	
Radio Service	
UU - Upper Microwave Flexible Use Service	

FCC Registration Number (FRN): 0012576435

Grant Date	Effective Date	Expiration Date	Print Date
06-04-2020	06-04-2020	06-04-2030	

Market Number	Channel Block	Sub-Market Designator
PEA243	M9	0

Market Name
Paducah, KY

1st Build-out Date	2nd Build-out Date	3rd Build-out Date	4th Build-out Date

Waivers/Conditions:

NONE

Conditions:
Pursuant to §309(h) of the Communications Act of 1934, as amended, 47 U.S.C. §309(h), this license is subject to the following conditions: This license shall not vest in the licensee any right to operate the station nor any right in the use of the frequencies designated in the license beyond the term thereof nor in any other manner than authorized herein. Neither the license nor the right granted thereunder shall be assigned or otherwise transferred in violation of the Communications Act of 1934, as amended. See 47 U.S.C. § 310(d). This license is subject in terms to the right of use or control conferred by §706 of the Communications Act of 1934, as amended. See 47 U.S.C. §606.

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FCC 601-MB
October 2017

Reference Copy

Licensee Name: STRAIGHT PATH SPECTRUM, LLC

Call Sign: WRHG993 **File Number:** **Print Date:**

700 MHz Relicensed Area Information:

Market	Market Name	Buildout Deadline	Buildout Notification	Status

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RADIO STATION AUTHORIZATION

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ATTN: REGULATORY
STRAIGHT PATH SPECTRUM, LLC
5055 NORTH POINT PKWY, NP2NE NETWORK ENGINEERING
ALPHARETTA, GA 30022

Call Sign	File Number
WRHG994	
Radio Service	
UU - Upper Microwave Flexible Use Service	

FCC Registration Number (FRN): 0012576435

Grant Date	Effective Date	Expiration Date	Print Date
06-04-2020	06-04-2020	06-04-2030	

Market Number	Channel Block	Sub-Market Designator
PEA243	N1	0

Market Name
Paducah, KY

1st Build-out Date	2nd Build-out Date	3rd Build-out Date	4th Build-out Date

Waivers/Conditions:

NONE

Conditions:
Pursuant to §309(h) of the Communications Act of 1934, as amended, 47 U.S.C. §309(h), this license is subject to the following conditions: This license shall not vest in the licensee any right to operate the station nor any right in the use of the frequencies designated in the license beyond the term thereof nor in any other manner than authorized herein. Neither the license nor the right granted thereunder shall be assigned or otherwise transferred in violation of the Communications Act of 1934, as amended. See 47 U.S.C. § 310(d). This license is subject in terms to the right of use or control conferred by §706 of the Communications Act of 1934, as amended. See 47 U.S.C. §606.

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FCC 601-MB
October 2017

Reference Copy

Licensee Name: STRAIGHT PATH SPECTRUM, LLC

Call Sign: WRHG994 **File Number:** **Print Date:**

700 MHz Relicensed Area Information:

Market	Market Name	Buildout Deadline	Buildout Notification	Status

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ATTN: REGULATORY
STRAIGHT PATH SPECTRUM, LLC
5055 NORTH POINT PKWY, NP2NE NETWORK ENGINEERING
ALPHARETTA, GA 30022

Call Sign	File Number
WRHG995	
Radio Service	
UU - Upper Microwave Flexible Use Service	

FCC Registration Number (FRN): 0012576435

Grant Date	Effective Date	Expiration Date	Print Date
06-04-2020	06-04-2020	06-04-2030	

Market Number	Channel Block	Sub-Market Designator
PEA243	N2	0

Market Name
Paducah, KY

1st Build-out Date	2nd Build-out Date	3rd Build-out Date	4th Build-out Date

Waivers/Conditions:

NONE

Conditions:
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FCC 601-MB
October 2017

Reference Copy

Licensee Name: STRAIGHT PATH SPECTRUM, LLC

Call Sign: WRHG995 **File Number:** **Print Date:**

700 MHz Relicensed Area Information:

Market	Market Name	Buildout Deadline	Buildout Notification	Status

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RADIO STATION AUTHORIZATION

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ATTN: REGULATORY
STRAIGHT PATH SPECTRUM, LLC
5055 NORTH POINT PKWY, NP2NE NETWORK ENGINEERING
ALPHARETTA, GA 30022

Call Sign	File Number
WRHG996	
Radio Service	
UU - Upper Microwave Flexible Use Service	

FCC Registration Number (FRN): 0012576435

Grant Date	Effective Date	Expiration Date	Print Date
06-04-2020	06-04-2020	06-04-2030	

Market Number	Channel Block	Sub-Market Designator
PEA243	N3	0

Market Name
Paducah, KY

1st Build-out Date	2nd Build-out Date	3rd Build-out Date	4th Build-out Date

Waivers/Conditions:

NONE

Conditions:
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FCC 601-MB
October 2017

Reference Copy

Licensee Name: STRAIGHT PATH SPECTRUM, LLC

Call Sign: WRHG996 **File Number:** **Print Date:**

700 MHz Relicensed Area Information:

Market	Market Name	Buildout Deadline	Buildout Notification	Status

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RADIO STATION AUTHORIZATION

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ATTN: REGULATORY
STRAIGHT PATH SPECTRUM, LLC
5055 NORTH POINT PKWY, NP2NE NETWORK ENGINEERING
ALPHARETTA, GA 30022

Call Sign	File Number
WRHG997	
Radio Service	
UU - Upper Microwave Flexible Use Service	

FCC Registration Number (FRN): 0012576435

Grant Date	Effective Date	Expiration Date	Print Date
06-04-2020	06-04-2020	06-04-2030	

Market Number	Channel Block	Sub-Market Designator
PEA243	N4	0

Market Name
Paducah, KY

1st Build-out Date	2nd Build-out Date	3rd Build-out Date	4th Build-out Date

Waivers/Conditions:

NONE

Conditions:
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FCC 601-MB
October 2017

Reference Copy

Licensee Name: STRAIGHT PATH SPECTRUM, LLC

Call Sign: WRHG997 **File Number:** **Print Date:**

700 MHz Relicensed Area Information:

Market	Market Name	Buildout Deadline	Buildout Notification	Status

Reference Copy

PROJECT SUMMARY

SITE NAME:	EV FAIRDEALING WEST
SITE ADDRESS:	CAPP SPRINGS ROAD BENTON, KY 42025
COUNTY:	MARSHALL
JURISDICTION:	MARSHALL COUNTY
LAND USE:	AGRICULTURAL
PARCEL ID:	64-00-00-006
SITE COORDINATES:	1A
LATITUDE:	36° 51' 47.91" N (NAD83)
LATITUDE:	36.863307°
LONGITUDE:	88° 14' 55.18" W (NAD83)
LONGITUDE:	-88.248660°
ELEVATION:	483.2' AMSL (NAVD88)
FUZE PROJECT ID:	617291389
MDG LOCATION ID	5000927818
PROPERTY OWNER:	MICHAEL & CYNTHIA DABOLT 961 CAPP SPRINGS RD, BENTON, KY 42025
PROPERTY OWNER CONTACT:	MICHAEL DABOLT (270) 205-9736
TOWER OWNER:	TOWERCO 5000 VALLEYSTONE DR. CARY, NC 27519
TOWER OWNER CONTACT:	ED SCHAFER (336) 325-1066
STRUCTURE TYPE:	SELF SUPPORTING
TOWER HEIGHT:	270'-0"
ENVIRONMENTAL REQ. :	N/A
OCCUPANCY :	UNMANNED
SITE TYPE :	RAWLAND
POWER COMPANY : CONTACT : PHONE :	WEST KY RURAL ELECTRIC COOPERATIVE CORP TBD (270) 422-2162
COMMUNICATIONS: PHONE :	WEST KENTUCKY & TENNESSEE TELECOMMUNICATIONS COOPERATIVE (270) 678-2111
FIRE DEPARTMENT : PHONE :	FAIRDEALING-OLIVE FIRE DEPARTMENT (270) 354-8541
POLICE DEPARTMENT : PHONE :	MARSHALL COUNTY SHERIFF'S DEPARTMENT (270) 527-3112

DIRECTIONS FROM MARSHALLCOUNTY COURTHOUSE:

HEAD SOUTH ON US-641 S / KY-58 / KY-408 / MAIN ST TOWARD KY-58 / W 12TH ST. TURN LEFT ONTO KY-58 / KY-408 / E 12TH ST. TURN LEFT ONTO BENTON BIRMINGHAM RD / COUNTY HWY-1462. TURN LEFT TO STAY ON BENTON BIRMINGHAM RD / COUNTY HWY-1462. BEAR RIGHT ONTO US-68 E / KY-58 / US HIGHWAY 68 E. TURN LEFT ONTO CAPP SPRINGS RD. ARRIVE AT SITE ON THE LEFT.

TowerCo®

verizon

CELLCO PARTNERSHIP
D/B/A VERIZON WIRELESS

EV FAIRDEALING WEST
CAPP SPRINGS ROAD
BENTON, KY 42025

APPLICABLE CODES

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUCTED TO PERMIT WORK NOT CONFORMING TO THESE CODES.

2018 KENTUCKY BUILDING CODE (2015 INTERNATIONAL BUILDING CODE)
2012 INTERNATIONAL ENERGY CONSERVATION CODE (COMMERCIAL)
2009 INTERNATIONAL ENERGY CONSERVATION CODE (RESIDENTIAL)
2012 INTERNATIONAL FIRE CODE
2015 INTERNATIONAL MECHANICAL CODE
2015 INTERNATIONAL RESIDENTIAL CODE

ACCESSIBILITY REQUIREMENTS:
FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. HANDICAPPED ACCESS REQUIREMENTS ARE NOT REQUIRED IN ACCORDANCE WITH THE 2015 IBC BUILDING CODE.

SCOPE OF WORK

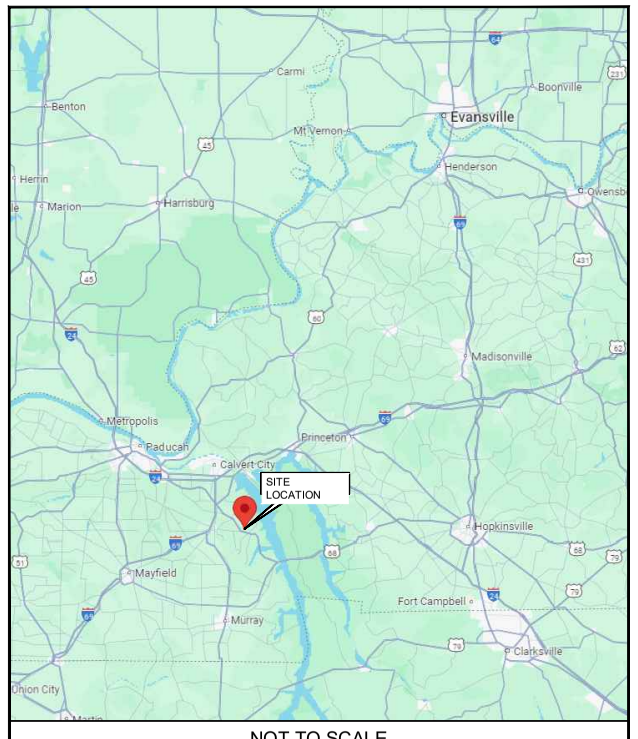
- INSTALL A NEW 270'-0" SELF SUPPORT TOWER WITH 10'-0" LIGHTNING ROD (OVERALL 280'-0")
- INSTALL A NEW 70' X 70' CHAINLINK FENCED COMPOUND WITHIN A
- 100' X 100' LEASE AREA
- INSTALL A NEW UTILITY H-FRAME WITHIN THE NEW FENCED COMPOUND
- INSTALL A NEW TOWER, COMPOUND AND EQUIPMENT GROUNDING SYSTEM
- INSTALL NEW ANTENNAS, LINES, COAX, GPS AND RADIO EQUIPMENT
- INSTALL NEW UNDERGROUND POWER AND FIBER CONDUITS WITHIN THE DESIGNATED UTILITY EASEMENT TO NEW UTILITY H-FRAME
- INSTALL A NEW 11'-6"X19'-6" CONCRETE EQUIPMENT PAD

ALL WORK MUST BE DONE IN ACCORDANCE TO THE DRAWINGS.

SHEET INDEX

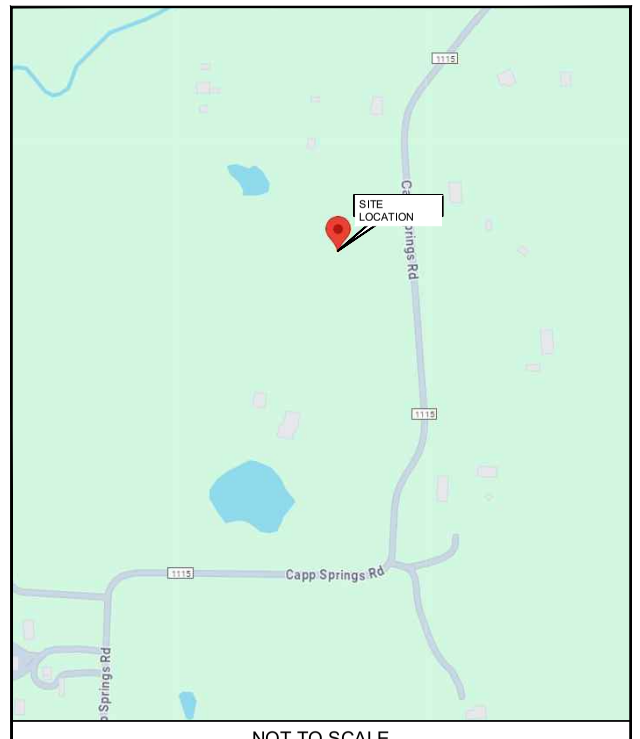
NO.	DESCRIPTION
T1	TITLE SHEET
S1	SURVEY - COVER SHEET
S2	SURVEY - OVERVIEW MAP
S3	SURVEY - SITE SURVEY
S4	SURVEY - SITE SURVEY
S5	SURVEY - SITE SURVEY
S6	SURVEY - DESCRIPTIONS
S7	SURVEY - DESCRIPTIONS
Z1	COUNTY TOWER MAP
Z2	OVERALL SITE LAYOUT
Z3	OVERALL SITE LAYOUT
Z4	OVERALL SITE LAYOUT
Z5	EROSION CONTROL SITE PLAN
Z6	DIMENSION SITE PLAN
Z7	TOWER ELEVATION
Z8	SITE DETAILS
Z9	SITE DETAILS

VICINITY MAP



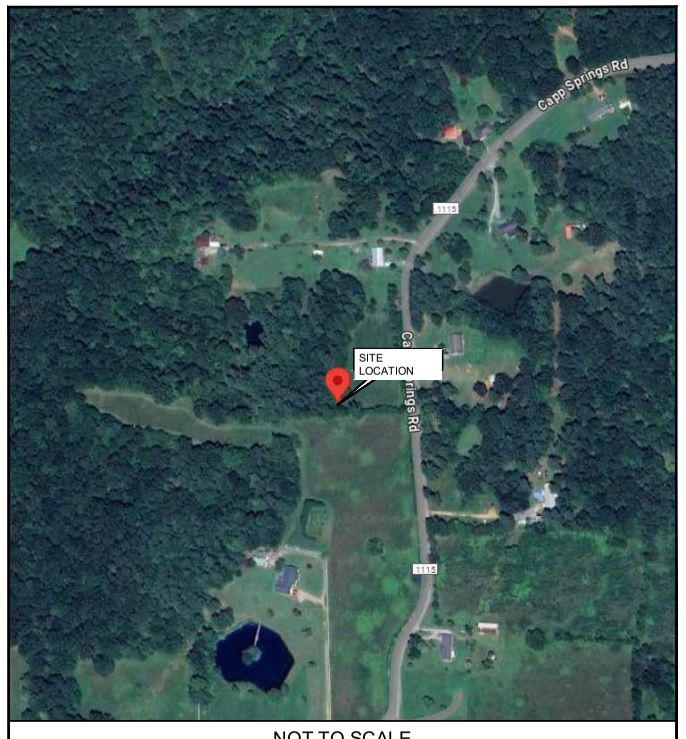
NOT TO SCALE

LOCATION MAP



NOT TO SCALE

AERIAL MAP



NOT TO SCALE

STRUCTURAL REVIEW

CONTRACTOR SHALL ATTAIN AND VERIFY STRUCTURAL EVALUATION REPORT OF EXISTING TOWER FOR EXACT PLACEMENT OF ANTENNAS AND COAX CABLES. CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE STRUCTURAL EVALUATION REPORT AND NOTIFY VERIZON'S CONSTRUCTION MANAGER IN THE CASE OF ANY DISCREPANCIES. ANY STRUCTURAL MODIFICATION, IF REQUIRED, SHALL BE DONE PRIOR TO THE INSTALLATION OF ANTENNAS.

DIRECTIONS FROM LOUISVILLE SWITCH 2441 HOLLOWAY RD, LOUISVILLE, KY 40299: HEAD SOUTH ON HOLLOWAY RD TOWARD SCHUTTE STATION PL (354 FT), TURN LEFT ONTO SCHUTTE STATION PL (0.3 MI), ROAD NAME CHANGES TO PLANTSIDE DR (0.6 MI), TURN LEFT ONTO BLANKENBAKER PKWY (0.7 MI), TAKE THE RAMP ON THE RIGHT FOR I-64 EAST AND HEAD TOWARD LEXINGTON (1.6 MI), AT EXIT 19A, HEAD RIGHT ON THE RAMP FOR I-265 / KY-841 SOUTH TOWARD GENE SNYDER FREEWAY (2.8 MI), ROAD NAME CHANGES TO I-265 W / KY-841 W (12.5 MI), AT EXIT 10-B, HEAD RIGHT ON THE RAMP FOR I-65 SOUTH TOWARD NASHVILLE (33.9 MI), AT EXIT 91C-A, HEAD RIGHT ON THE RAMP FOR US-31W TOWARD ELIZABETHTOWN / PADUCAH (0.4 MI), KEEP LEFT, HEADING TOWARD LEITCHFIELD / PADUCAH (75.1 MI), ROAD NAME CHANGES TO WESTERN KENTUCKY PKWY (2.1 MI), ROAD NAME CHANGES TO WESTERN KENTUCKY PKWY W (21.7 MI), KEEP STRAIGHT TO GET ONTO I-69 S (37.4 MI), AT EXIT 68B, HEAD RIGHT ON THE RAMP FOR I-69 SOUTH / I-24 WEST TOWARD PADUCAH (16.2 MI), AT EXIT 25A, HEAD LEFT ON THE RAMP FOR I-69 SOUTH TOWARD FULTON (4.6 MI), AT EXIT 47, HEAD RIGHT ON THE RAMP FOR US-68 TOWARD AURORA / DRAFFENVILLE (0.2 MI), TURN LEFT ONTO US-68 E / US HIGHWAY 68 W TOWARD AURORA / DRAFFENVILLE (7.8 MI), TURN LEFT ONTO CAPP SPRINGS RD (0.9 MI), ARRIVE AT CAPP SPRINGS RD ON THE LEFT. THE LAST INTERSECTION BEFORE YOUR DESTINATION IS VERMIEL LN. IF YOU REACH VICTOR DARNELL RD, YOU'VE GONE TOO FAR.

CALL 811

1 (800) 752-6007
www.kentucky811.com
CONTRACTOR TO CALL KENTUCKY ONE-CALL SYSTEMS AT LEAST (2) FULL WORKING DAYS PRIOR TO DIGGING.

SHEET SCALE FACTOR:

PLOT SIZE:
11" x 17": TO SCALE

TeleCAD Wireless
1961 NORTHPOINT BLVD.
SUITE 130
HIXSON, TN 37343
PH : 423-843-9500
FAX : 423-843-9509

THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO THE CLIENT IS STRICTLY PROHIBITED.

DRAWN BY	TDD
CHECKED BY	SEH

REVISIONS

#	DATE	BY	DESCRIPTION
0	03/19/25	JAE	ZONING ISSUE
C	03/10/25	JAE	ZONING ISSUE
B	02/05/25	DWS	ZONING ISSUE
A	09/26/24	JAE	ZONING ISSUE

STATE OF KENTUCKY
STEPHEN E. HUNT
25003
3/19/25
LICENSED PROFESSIONAL ENGINEER

verizon

FUZE ID :
617291389

SITE NAME :
EV FAIRDEALING WEST

SITE # / LOCATION CODE :
5000927818

SITE ADDRESS :
CAPP SPRINGS ROAD
BENTON, KY 42025

SITE TYPE:
RAWLAND

SHEET TITLE :
TITLE SHEET

DRAWING # :	REVISION :
T1	0

GENERAL NOTES:

1. This Survey is prepared exclusively to show site conditions and/or for use in support of instruments related to Leases and Easements as may be shown hereon. Any property boundary information shown hereon is a composite of information gathered from current or previous Surveys, Plat & Deed Description and/or Assessor's Tax Maps as may be referenced hereon. This Survey is not a Boundary Survey of any Tax Parcels or Deed Tracts, and does not create, combine, or divide any existing properties.
2. Survey shown hereon was performed under the supervision of a state-registered Land Surveyor and conforms to all applicable State Board Requirements.
3. Instruments Used: One or more of: Topcon Total Station, Topcon Hiperlite Plus GPS, Carlson Surveyor Data Collector, DJI UAV.
4. Where shown, improvements (utilities, buildings, trees, fences, etc.) are based on field Survey and/or aerial mapping.
5. Any Underground Utilities shown according to surface markings made by others, found at time of survey. Additional marked utilities outside the area covered by this survey map may be shown in provided CAD Files. Utility Markings may not be comprehensive: this survey does not relieve design and construction personnel of the responsibility to determine the locations of underground utilities prior to land disturbance activities.
6. This Survey is presented in the format required by Clients. Clients are advised that Official Jurisdictions may require the Survey to be presented in another format with additional notes and certifications. In the event other formats, notes or certifications are requested by applicable jurisdictions, it is the responsibility of the Client to request same be prepared by Surveyor. Survey as published is not intended to be suitable for recording as a Subdivision Plat.
7. This survey may have been reduced or enlarged in size due to subsequent reproduction. This should be taken into consideration when obtaining scaled data.
8. Geographic Coordinates, if published, meet FAA Accuracy Code 1A, and are accurate to within ± 20 feet horizontally and to within ± 3 feet vertically.
9. Any Flood Zone information presented hereon is according to current FEMA Flood Map information as may be referenced hereon. No Flood Elevation Survey of Certification performed.
10. This survey is not valid without the original signature seal of a State-Licensed Land Surveyor, and is not complete without the total of sheets as specified in Survey Title Blocks.
11. Unless indicated otherwise by reference to Record Instruments, any Lessee's Leases, Premises or Easements shown hereon are NOT YET OF RECORD and may be subject to change pending review and approval by Carrier, applicable jurisdictions and/or other involved parties.
12. Any Survey Markers placed as required by Standards of Practice and/or Client request represent the Leases and/or Easements as requested or designed by Clients at the time of this survey issue and may not reflect changes to site design which have not been communicated to Surveyor in the form of a Survey revision request. Surveyor shall not be liable for any circumstance arising as a result of revisions to Site Design (which may invalidate existing survey markers) occurring after the date of this Survey issue.

SURVEYOR'S CERTIFICATION

To: TowerCo IV Holdings, LLC:
I hereby certify that this survey was completed in accordance with the current requirements of the Standards of Practice for Surveying in the State of Kentucky to the best of my knowledge, information, and belief.

STATE of KENTUCKY
TRAVIS L. SHIELDS
08/27/24
4246
LICENSED PROFESSIONAL LAND SURVEYOR

Travis L. Shields
Kentucky PLS
License No. 4246

PROPOSED EQUIPMENT LOCATION DATA

Latitude:	NORTH:	36.863307°	36° 51' 47.91"
Longitude:	WEST:	88.248660°	88° 14' 55.18"
Ground Elev:	483.2	FEET AMSL	(NAVD88)
Benchmark:	DJ9564 TN41		

PARENT TAX PARCEL

MICHAEL D. DABOLT &
CYNTHIA L. DABOLT
TAX PARCEL: 64-00-00-006

NORTH ORIENTATION

KENTUCKY SOUTH STATE PLANE COORDINATE SYSTEM
Based on GPS Survey relative to NGS CORS Network, NAD83 (2011)
ELEVATION DATUM: NAVD88, GEOID 12B
DATE OF SURVEY:08-06-2024
Method: RTK (CORS); Confidence Level: 95%
Positional Accuracy: HZ ± 0.10'
EPOCH 2010.0000

FLOOD DATA

FEMA FLOOD MAP PANEL: 21157C0180E, Effective Date: 06-02-2011
Surveyed Area appears to lie within: ZONE X (Areas of Minimal Flood Hazard)

TITLE EXAMINATION:

Not available

SURVEY ISSUE DATA

#	DETAILS	DATE	DRAWN	APP
0	Original Survey Issue	08-09-2024	NB	TLS
1	Lessee's Premises moved	08-27-2024	NB	TLS

LOCATION MAP

NOT TO SCALE

LEGEND

- IRON ROD FOUND
- UTILITY POLE
- GUY ANCHOR
- FIBEROPTIC MARKER
- PROPOSED EQUIPMENT LOCATION
- SITE BENCHMARK

R/W	RIGHT-OF-WAY
C/L	CENTER LINE
AU	ACCESS & UTILITY
ESMT	EASEMENT
P.O.C.	POINT OF COMMENCEMENT
P.O.B.	POINT OF BEGINNING
Sq Ft	SQUARE FEET

- PAVEMENT EDGE
- UNPAVED EDGE
- OHU — OVERHEAD UTILITY LINES
- DITCH
- STM — STORMWATER PIPE
- TREE LINE
- 5' CONTOURS
- 1' CONTOURS
- RW — PUBLIC R/W
- TAX PARCEL BOUNDARY
- TIE LINE
- LESSEE'S PREMISES
- LESSEE'S EASEMENTS

THE LAND CONSULTANTS LLC
5449 HIGHWAY 41
JASPER, TN 37347
423·304·6722

PREPARED FOR

TowerCo®

TOWERCO IV HOLDINGS, LLC
5000 Valleystone Drive # 200,
Cary NC 27519

(Not a Boundary Survey of Parent Lands. Not intended for fee simple Land Transfer)

SITE SURVEY
EV FAIRDEALING WEST

Site Number: KY0114
Capp Springs Road, Benton, KY 42025
Marshall County, Kentucky

COVER SHEET

DWG#: 24228
ISSUE #: 1
ISSUE DATE: 08-27-2024
SEE SHEET #1

PROPERTY INFORMATION

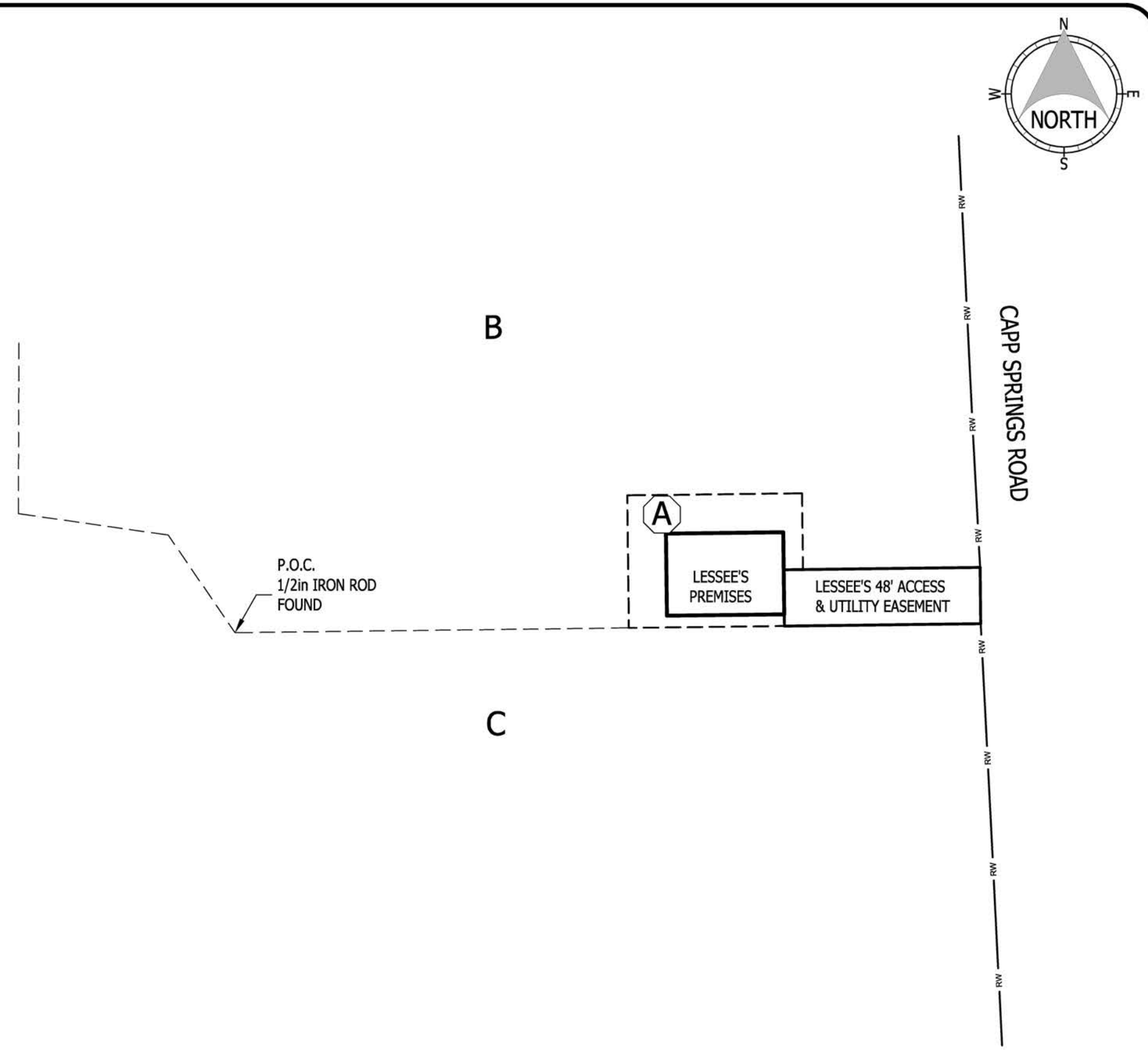
PARENT TAX PARCEL

A. MICHAEL D. DABOLT &
CYNTHIA L. DABOLT
TAX PARCEL: 64-00-00-006
DEED BOOK 226, PAGE 589

ADJOINING TAX PARCELS

B. MICHAEL D. DABOLT &
CYNTHIA L. DABOLT
TAX PARCEL: 64-00-00-140
DEED BOOK 251, PAGE 522

C. KATHY J CHANCE ...
TAX PARCEL: 64-00-00-136
DEED BOOK 258, PAGE 135



RW — PUBLIC R/W
VESTING LAND
ADJOINING TAX PARCEL
TIE LINE
LESSEE'S PREMISES
LESSEES EASEMENT(S)

SCALE: 1in = 100'
0' 100' 200' 300'

OVERVIEW MAP CAVEAT:
OVERVIEW MAP IS NOT A SURVEY BUT A VICINITY / LOCATION MAP INTENDED ONLY TO SHOW SURVEYED PROPERTY IN RELATION TO SURROUNDING AREA. VESTING AND ADJOINING PARCEL BOUNDARIES ARE NOT INCLUDED IN OR CERTIFIED BY THIS SURVEY. BOUNDARY LINES ARE A COMPOSITE OF DEED, PLAT AND/OR TAX MAP INFORMATION

THE LAND CONSULTANTS LLC
5449 HIGHWAY 41
JASPER, TN 37347
423·304·6722

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Cary NC 27519

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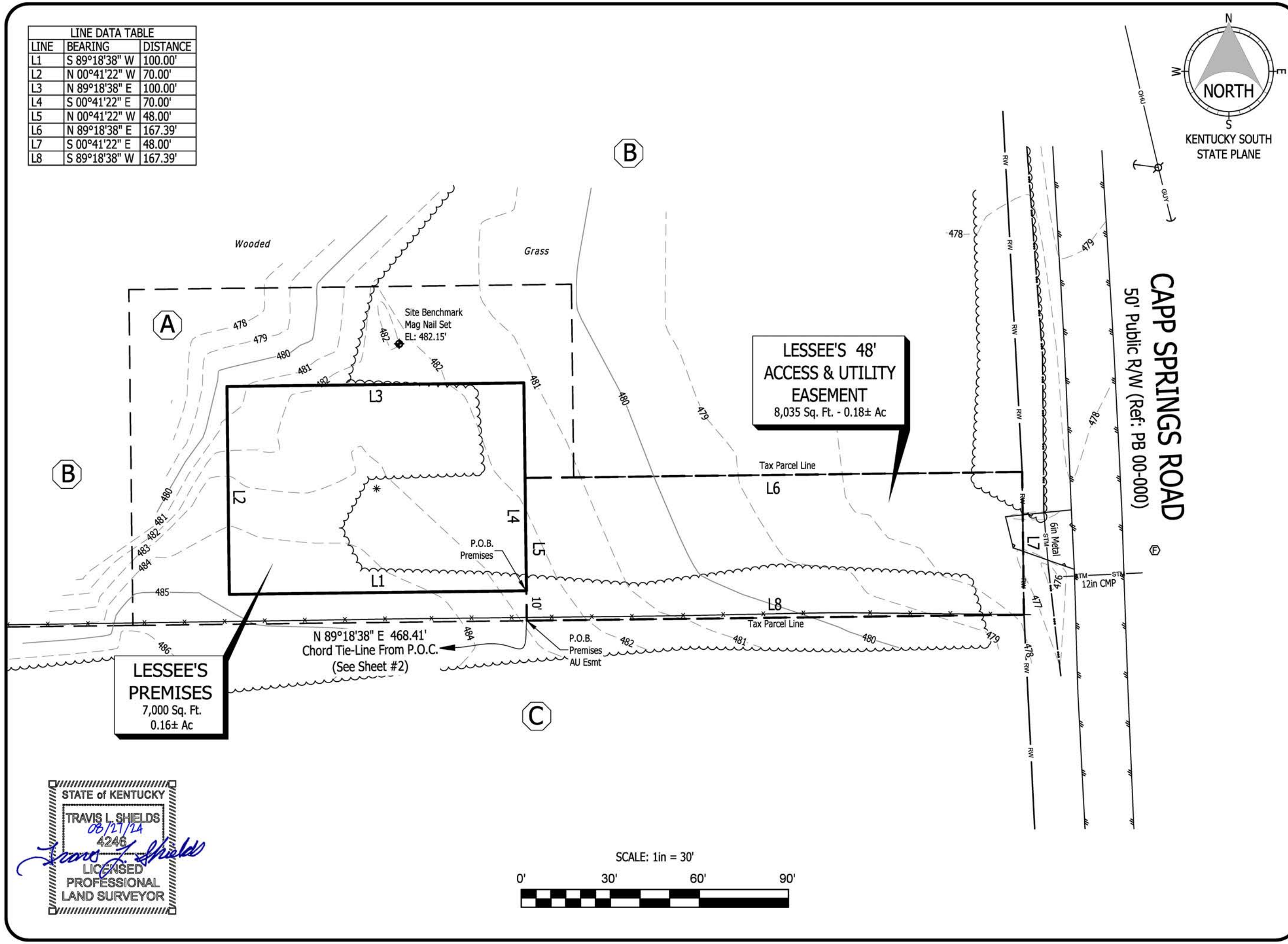
SITE SURVEY
EV FAIRDEALING WEST

Site Number: KY0114
Capp Springs Road, Benton, KY 42025
Marshall County, Kentucky

OVERVIEW MAP

DWG#: 24228
ISSUE #: 1
ISSUE DATE: 08-27-2024
SEE SHEET #1

LINE DATA TABLE		
LINE	BEARING	DISTANCE
L1	S 89°18'38" W	100.00'
L2	N 00°41'22" W	70.00'
L3	N 89°18'38" E	100.00'
L4	S 00°41'22" E	70.00'
L5	N 00°41'22" W	48.00'
L6	N 89°18'38" E	167.39'
L7	S 00°41'22" E	48.00'
L8	S 89°18'38" W	167.39'



STATE of KENTUCKY
TRAVIS L SHIELDS
08/27/24
4246
LICENSED PROFESSIONAL LAND SURVEYOR

THE LAND CONSULTANTS LLC
5449 Highway 41
Jasper, TN 37347
423·304·6722

PREPARED FOR

TowerCo®

TOWERCO IV HOLDINGS, LLC
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Cary NC 27519

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SITE SURVEY
EV FAIRDEALING WEST

Site Number: KY0114
Capp Springs Road, Benton, KY 42025

Marshall County, Kentucky

SITE SURVEY

DWG#: 24228
ISSUE #: 1
ISSUE DATE: 08-27-2024
SEE SHEET #1

SHEET 3 OF 4

LESSEE'S PREMISES

All that Tract or Parcel of Land lying and being in Marshall County, Kentucky and being a portion of the property of Michael D. Dabolt and Cynthia L. Dabolt, of record in Deed Book 226, Page 589, Marshall County Court Clerk's Office, and being more particularly described as follows:

COMMENCE a one-half inch Iron Rod found at a Southern Corner of other property of Dabolt of record in Deed Book 251, Page 522, aforesaid Records;
Thence along a Chord Tie Line having a Bearing of N 89°18'38" E, a distance of 468.41 feet;
Thence N 00°41'22" W, a distance of 10.00 feet to the POINT OF BEGINNING;

Thence S 89°18'38" W, a distance of 100.00 feet;
Thence N 00°41'22" W, a distance of 70.00 feet;
Thence N 89°18'38" E, a distance of 100.00 feet;
Thence S 00°41'22" E, a distance of 70.00 feet to the POINT OF BEGINNING.

Said Premises contains 0.16 Acres (7,000 Square Feet), more or less.

LESSEE'S 48' ACCESS & UTILITY EASEMENT

All that Tract or Parcel of Land lying and being in Marshall County, Kentucky and being a portion of the property of Michael D. Dabolt and Cynthia L. Dabolt, of record in Deed Book 226, Page 589, Marshall County Court Clerk's Office, and being more particularly described as follows:

COMMENCE a one-half inch Iron Rod found at a Southern Corner of other property of Dabolt of record in Deed Book 251, Page 522, aforesaid Records;
Thence along a Chord Tie Line having a Bearing of N 89°18'38" E, a distance of 468.41 feet to the POINT OF BEGINNING;

Thence N 00°41'22" W, a distance of 48.00 feet;
Thence N 89°18'38" E, a distance of 167.39 feet to a point on the Western Right-of-Way Line of Capp Springs Road;
Thence S 00°41'22" E, along said Right-of-Way Line, a distance of 48.00 feet;
Thence S 89°18'38" W, leaving said Right-of-Way Line, a distance of 167.39 feet

Said Easement contains 0.18 Acres (8,035 Square Feet), more or less.

STATE of KENTUCKY
TRAVIS L. SHIELDS
08/27/24
4246
LICENSED
PROFESSIONAL
LAND SURVEYOR

THE LAND CONSULTANTS LLC
5449 HIGHWAY 41
JASPER, TN 37347
423·304·6722

PREPARED FOR

TowerCo®

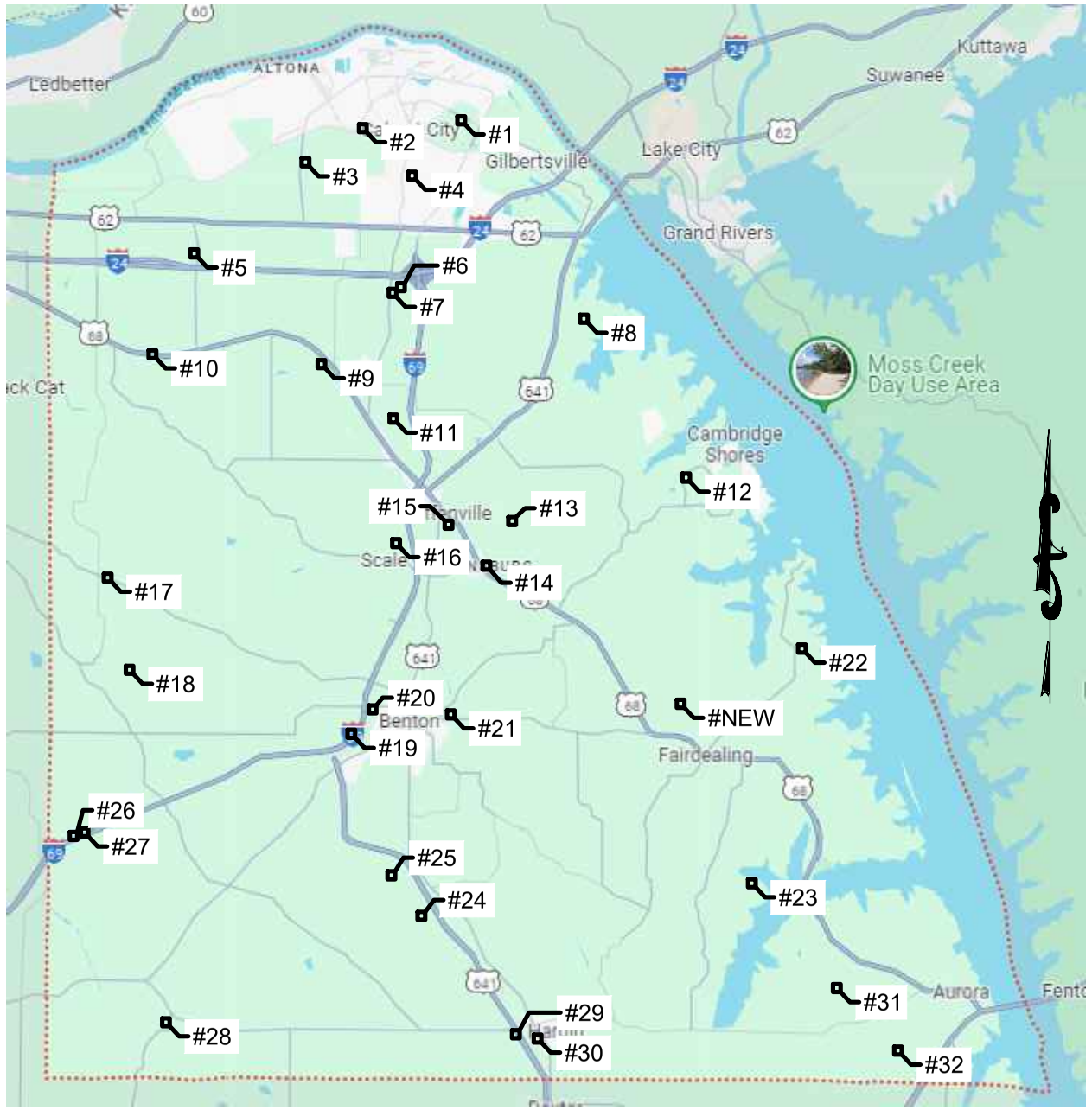
TOWERCO IV HOLDINGS, LLC
5000 Valleystone Drive # 200,
Cary NC 27519

(Not a Boundary Survey of Parent Lands. Not intended for fee simple Land Transfer)

SITE SURVEY
EV FAIRDEALING WEST
Site Number: KY0114
Capp Springs Road, Benton, KY 42025
Marshall County, Kentucky

DESCRIPTIONS

DWG#: 24228
ISSUE #: 1
ISSUE DATE: 08-27-2024
SEE SHEET #1



MARSHALL COUNTY

TOWER	ASR	LATITUDE	LONGITUDE	TOWER OWNER
#1.	1306050	37° 2' 10.8" N	88° 19' 56.2" W	SKYWAY TOWERS, LLC
#2.	1040303	37° 02' 0.0"N	88° 22' 10.0" W	PINNACLE TOWERS LLC
#3.	1053410	37° 01' 26.0" N	88° 23' 24.0" W	WITHERS BROADCASTING COMPANY OF PADUCAH, LLC
#4.	1041840	37° 01' 5.0" N	88° 21' 7.0" W	CALVERT CITY, KY.
#5.	1222118	36° 59' 45.3" N	88° 25' 59.1" W	SBA PROPERTIES, LLC
#6.	1222232	36° 59' 9.9" N	88° 21' 18.6" W	SBA PROPERTIES, LLC
#7.	1321782	36° 59' 3.2" N	88° 21' 28.9" W	TILLMAN INFRASTRUCTURE, LLC
#8.	1301361	36° 58' 37.3" N	88° 17' 10.5" W	PI TOWER DEVELOPMENT, LLC
#9.	1039662	36° 57' 47.0" N	88° 23' 6.0" W	TEXAS GAS TRANSMISSION, LLC
#10.	1327645	36° 57' 56.8" N	88° 26' 54.4" W	APC TOWERS, LLC
#11.	1328021	36° 56' 48.3" N	88° 21' 33.1" W	TOWERCO V HOLDINGS LLC
#12.	1264821	36° 55' 46.1" N	88° 14' 53.8" W	SBA TOWERS II LLC
#13.	1030666	36° 54' 58.8" N	88° 18' 48.9" W	CROWN CASTLE GT COMPANY LLC
#14.	1313735	36° 54' 10.5" N	88° 19' 24.9" W	CTI TOWERS ASSETS II, LLC
#15.	1233410	36° 54' 55.2" N	88° 20' 15.1" W	COUNTY OF MARSHALL, KY.
#16.	1052496	36° 54' 37.7" N	88° 21' 25.3 W	CROWN CASTLE SOUTH LLC
#17.	1328651	36° 53' 57.9" N	88° 27' 53.1" W	THE TOWERS, LLC
#18.	1201214	36° 52' 19.0" N	88° 27' 23.0" W	WEST KENTUCKY RURAL ELECTRIC COOPERATIVE CORPORATION
#19.	1315674	36° 51' 12.0" N	88° 22' 23.9" W	TILLMAN INFRASTRUCTURE, LLC
#20.	1221947	36° 51' 33.5" N	88° 21' 59.2" W	SBA PROPERTIES, LLC
#21.	1044669	36° 51' 31.0" N	88° 20' 11.0" W	PURCHASE BROADCASTING COMPANY WCBL
#22.	1223751	36° 52' 41.6" N	88° 12' 19.4" W	CROWN CASTLE GT COMPANY LLC
#23.	1044649	36° 48' 31.0" N	88° 13' 26.0" W	HEARTLAND MINISTRIES INC WVHM
#24.	1038664	36° 47' 53.0" N	88° 20' 50.0" W	DUNNIGAN, JACK
#25.	1235812	36° 48' 36.1" N	88° 21' 33.1" W	MOBILE COMMUNICATIONS AMERICA INC.
#26.	1221975	36° 49' 23.1" N	88° 28' 34.5" W	SBA PROPERTIES, LLC
#27.	1304962	36° 49' 24.3" N	88° 28' 25.5" W	TILLMAN INFRASTRUCTURE, LLC
#28.	1058357	36° 45' 58.3" N	88° 26' 33.6" W	SBA MONARCH TOWERS III, LLC
#29.	1215863	36° 45' 46.2" N	88° 18' 41.4" W	SBA PROPERTIES, LLC
#30.	1202514	36° 45' 45.0" N	88° 18' 17.0" W	WEST KENTUCKY RURAL TELEPHONE COOP CORP INC
#31.	1200973	36° 46' 33.9" N	88° 11' 35.7" W	KENTUCKY RSA NO. 1 PARTNERSHIP
#32.	1043411	36° 45' 30.7" N	88° 10' 11.4" W	CROWN CASTLE SOUTH LLC
NEW.	TBD	37°37'08.88"N	86°26'17.37"W	TOWERCO

TeleCAD Wireless
1961 NORTHPOINT BLVD.
SUITE 130
HIXSON, TN 37343
PH : 423-843-9500
FAX : 423-843-9509

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DRAWN BY	TDD
CHECKED BY	SEH

REVISIONS

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C	03/10/25	JAE	ZONING ISSUE
B	02/05/25	DWS	ZONING ISSUE
A	09/26/24	JAE	ZONING ISSUE

FOR REFERENCE

verizon

FUZE ID : 617291389

SITE NAME : EV FAIRDEALING WEST

SITE # / LOCATION CODE : 5000927818

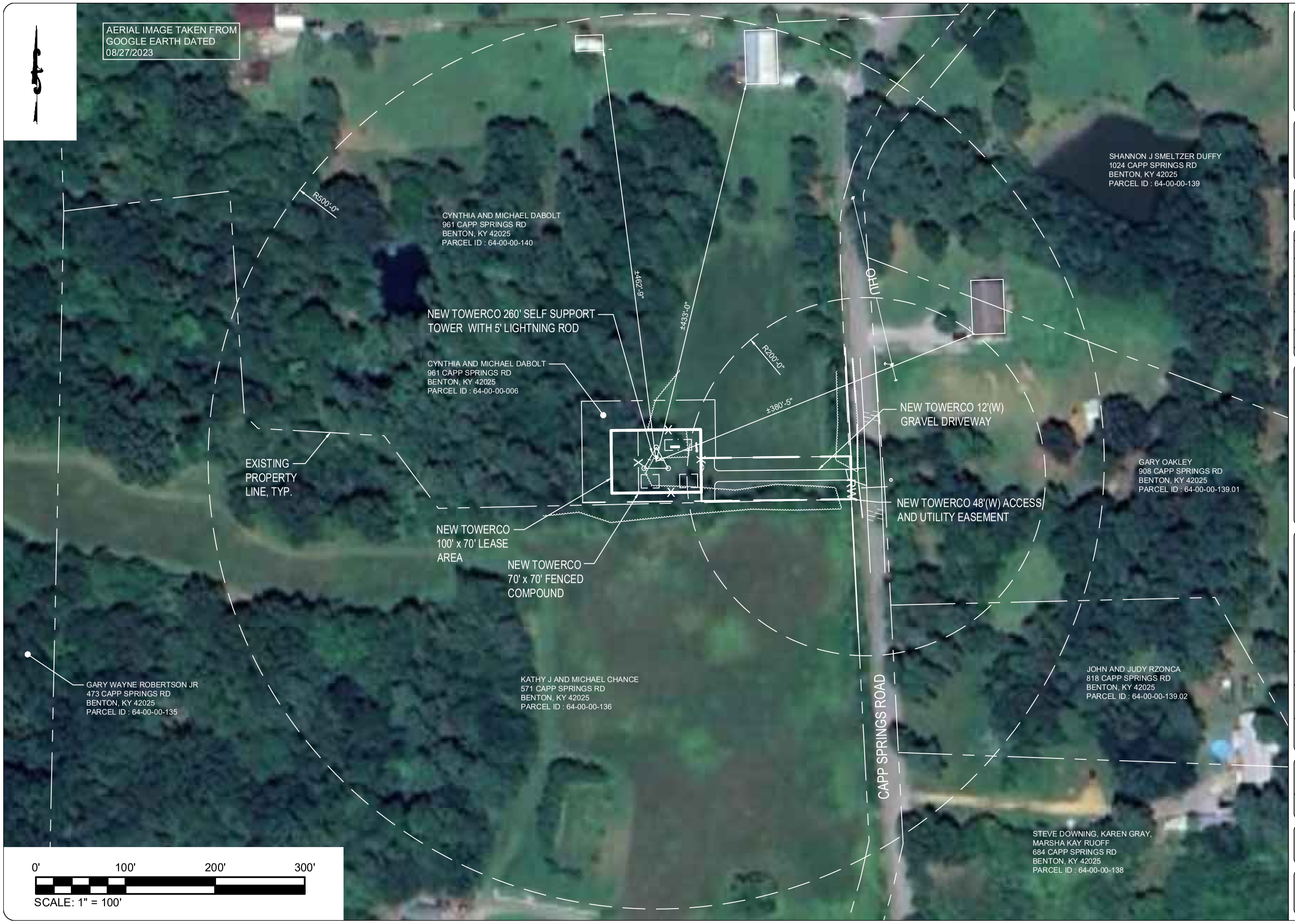
SITE ADDRESS : CAPP SPRINGS ROAD BENTON, KY 42025

SITE TYPE: RAWLAND

SHEET TITLE : COUNTY TOWER MAP

DRAWING # : Z1

REVISION : 0



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A	09/26/24	JAE	ZONING ISSUE

STATE OF KENTUCKY
STEPHEN E. HUNT
25003
LICENSED
PROFESSIONAL ENGINEER
3/19/25

verizon

FUZE ID : 617291389

SITE NAME : EV FAIRDEALING WEST

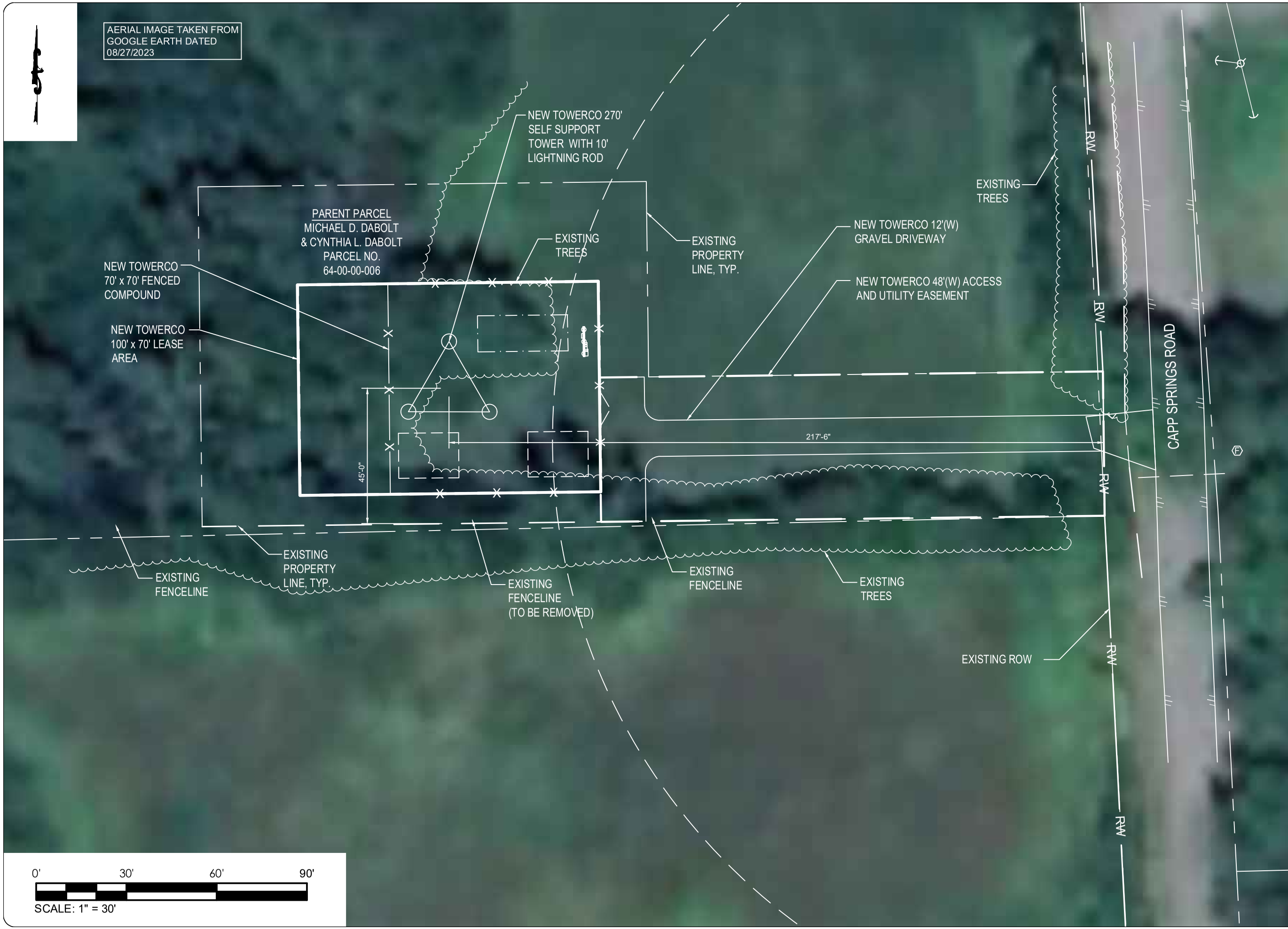
SITE # / LOCATION CODE : 5000927818

SITE ADDRESS : CAPP SPRINGS ROAD BENTON, KY 42025

SITE TYPE: RAWLAND

SHEET TITLE : OVERALL SITE LAYOUT

DRAWING # :	REVISION :
Z2	0



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REVISIONS

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C	03/10/25	JAE	ZONING ISSUE
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A	09/26/24	JAE	ZONING ISSUE

STATE OF KENTUCKY
STEPHEN E. HUNT
25003
3/19/25
LICENSED PROFESSIONAL ENGINEER

verizon

FUZE ID : 617291389

SITE NAME : EV FAIRDEALING WEST

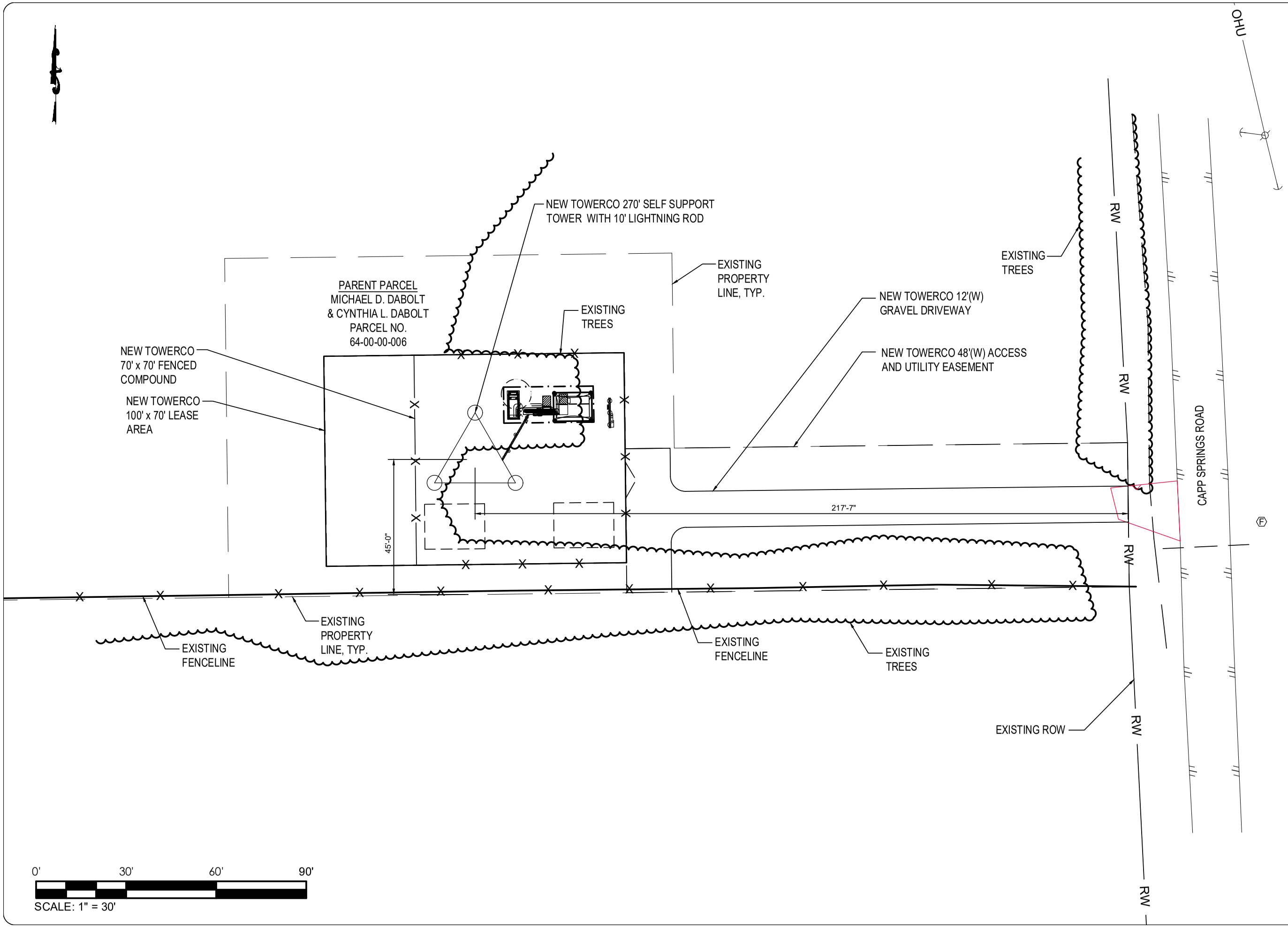
SITE # / LOCATION CODE : 5000927818

SITE ADDRESS : CAPP SPRINGS ROAD BENTON, KY 42025

SITE TYPE: RAWLAND

SHEET TITLE : OVERALL SITE LAYOUT

DRAWING # :	REVISION :
Z3	0



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REVISIONS

#	DATE	BY	DESCRIPTION
0	03/19/25	JAE	ZONING ISSUE
C	03/10/25	JAE	ZONING ISSUE
B	02/05/25	DWS	ZONING ISSUE
A	09/26/24	JAE	ZONING ISSUE

STATE OF KENTUCKY
STEPHEN E. HUNT
25003
LICENSED PROFESSIONAL ENGINEER
3/19/25

verizon

FUZE ID : 617291389

SITE NAME : EV FAIRDEALING WEST

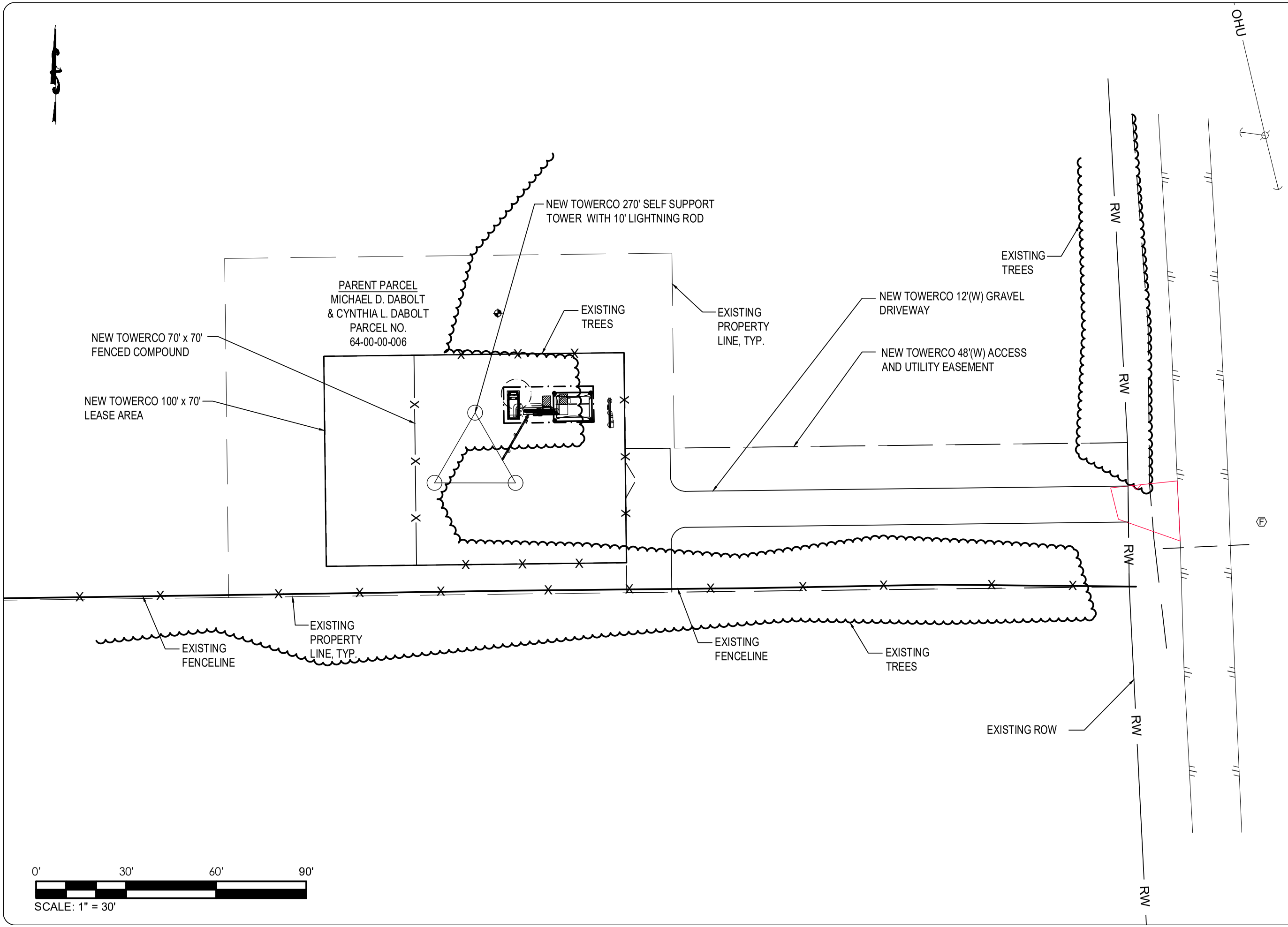
SITE # / LOCATION CODE : 5000927818

SITE ADDRESS : CAPP SPRINGS ROAD
BENTON, KY 42025

SITE TYPE: RAWLAND

SHEET TITLE : OVERALL SITE LAYOUT

DRAWING # :	REVISION :
Z4	0



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SUITE 130
HIXSON, TN 37343
PH : 423-843-9500
FAX : 423-843-9509

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STATE OF KENTUCKY
STEPHEN E. HUNT
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3/19/25

verizon

FUZE ID : 617291389

SITE NAME : EV FAIRDEALING WEST

SITE # / LOCATION CODE : 5000927818

SITE ADDRESS : CAPP SPRINGS ROAD BENTON, KY 42025

SITE TYPE: RAWLAND

SHEET TITLE : SITE EROSION PLAN

DRAWING # :	REVISION :
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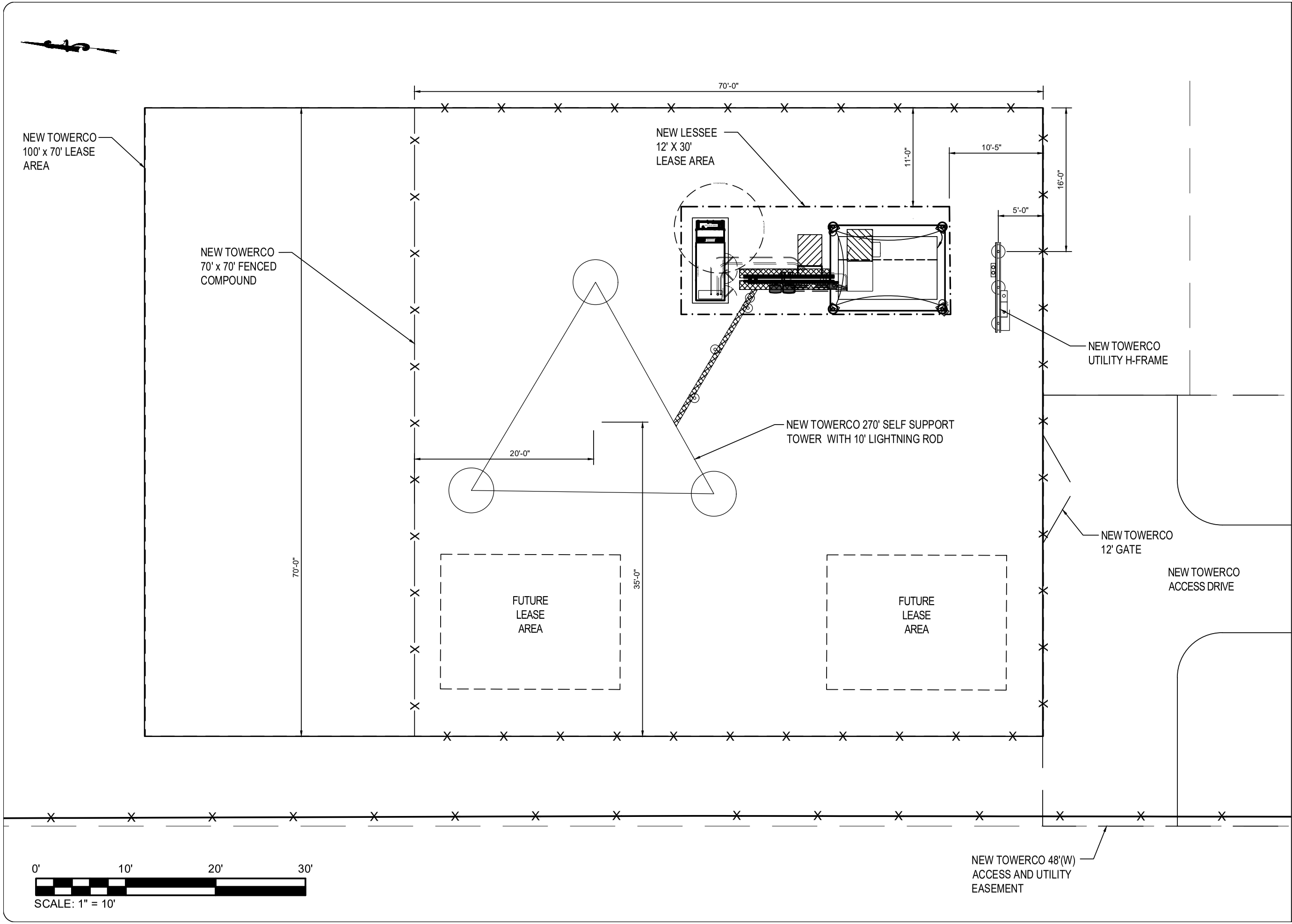

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STATE OF KENTUCKY
STEPHEN E. HUNT
25003
3/19/25
LICENSED PROFESSIONAL ENGINEER

verizon

FUZE ID :
617291389

SITE NAME :
EV FAIRDEALING WEST

SITE # / LOCATION CODE :
5000927818

SITE ADDRESS :
CAPP SPRINGS ROAD
BENTON, KY 42025

SITE TYPE:
RAWLAND

SHEET TITLE :
DIMENSION SITE PLAN

DRAWING # :	REVISION :
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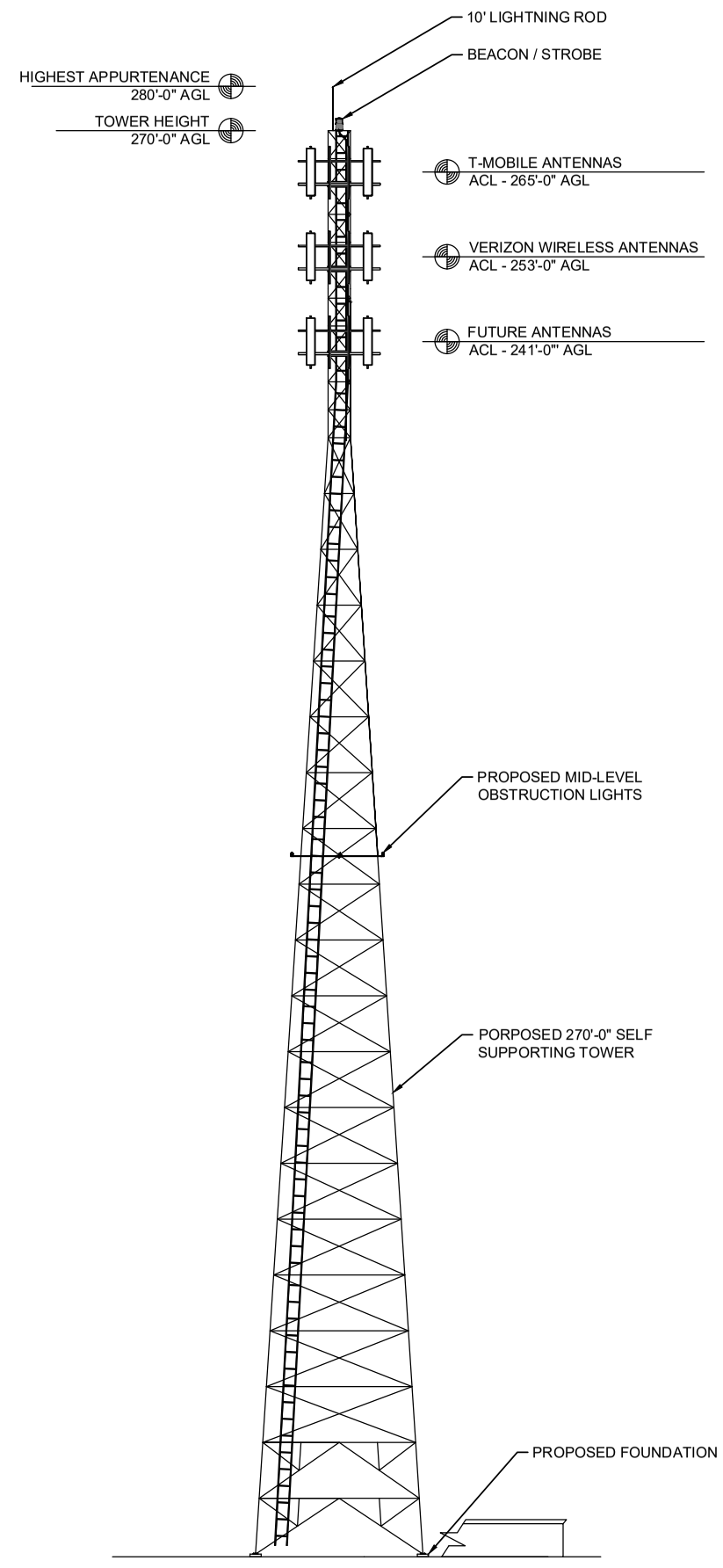

TOWER ELEVATION

NTS

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STATE OF KENTUCKY
STEPHEN E. HUNT
25003
LICENSED
PROFESSIONAL ENGINEER
3/19/25

verizon

FUZE ID : 617291389

SITE NAME : EV FAIRDEALING WEST

SITE # / LOCATION CODE : 5000927818

SITE ADDRESS : CAPP SPRINGS ROAD
BENTON, KY 42025

SITE TYPE: RAWLAND

SHEET TITLE : TOWER ELEVATION

DRAWING # :	REVISION :
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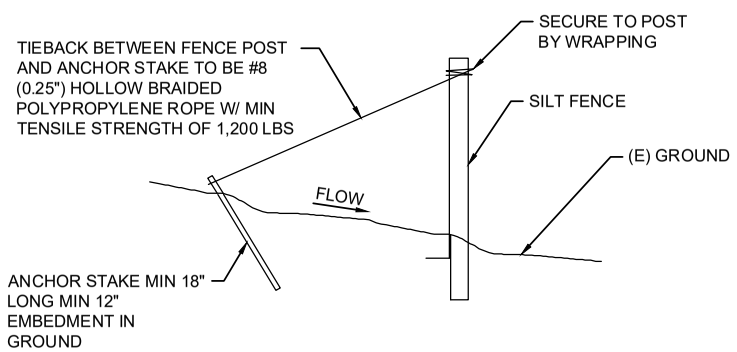
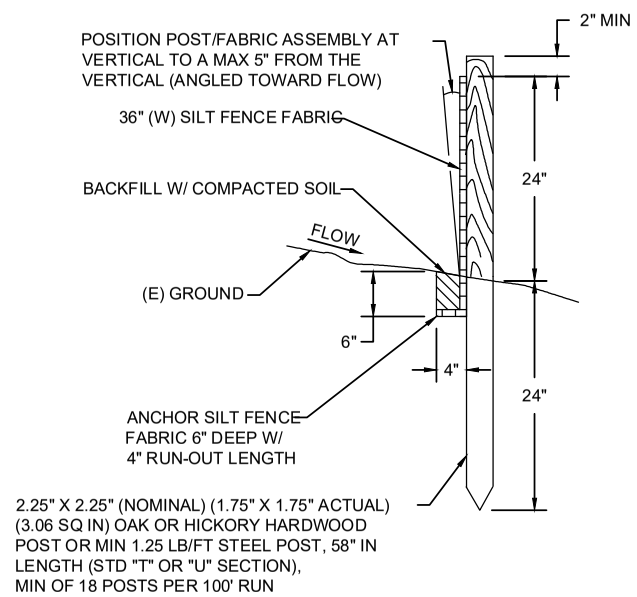


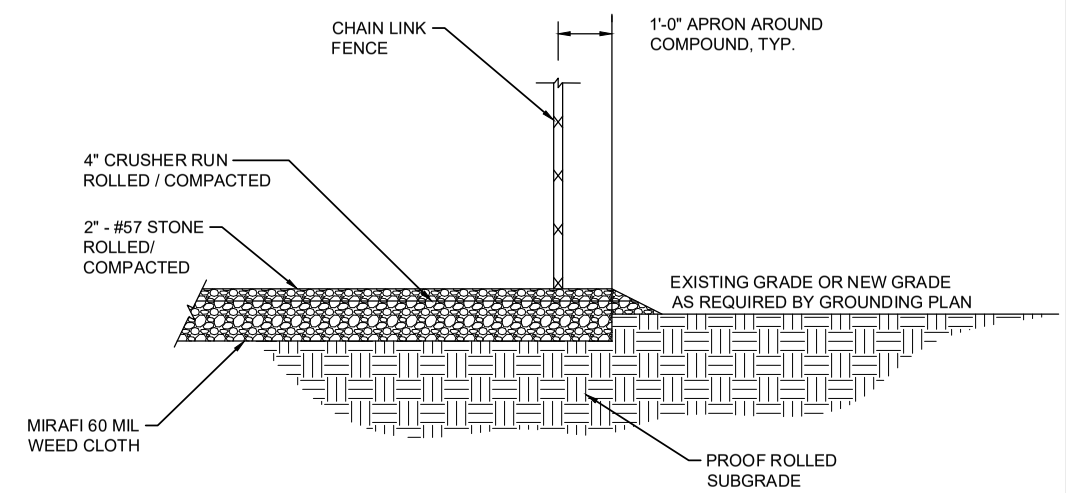
SILT FENCE TIEBACK FOR STEEL OR WOOD POSTS



SECTIONAL VIEW

SILT FENCE DETAIL 1

NTS



COMPOUND SURFACING 2

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STATE OF KENTUCKY
STEPHEN E. HUNT
25003
3/19/25
LICENSED PROFESSIONAL ENGINEER

verizon

FUZE ID : 617291389

SITE NAME : EV FAIRDEALING WEST

SITE # / LOCATION CODE : 5000927818

SITE ADDRESS : CAPP SPRINGS ROAD BENTON, KY 42025

SITE TYPE: RAWLAND

SHEET TITLE : SITE DETAILS

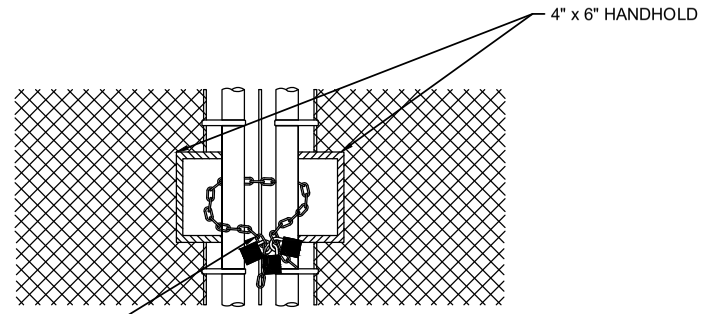
DRAWING # :	REVISION :
Z8	0

TYPICAL WOVEN WIRE FENCING NOTES:

(INSTALL FENCING PER ASTM F-567, SWING GATES PER ASTM F-900)

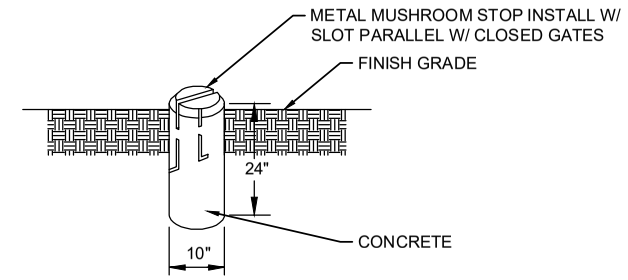
1. GATE POST, CORNER, TERMINAL OR PULL POST SHALL BE 3"Ø SCHEDULE 40 FOR GATE WIDTHS UP THRU 7 FEET OR 14 FEET FOR DOUBLE SWING GATE PER ASTM-F1083.
2. LINE POST: 2"Ø SCHEDULE 40 PIPE PER ASTM-F1083. INSTALL EVERY 8'-0" ALONG FENCE LINE.
3. GATE FRAME: 1-1/2"Ø SCHEDULE 40 PIPE, STELL, HOT-DIPPED ZINC COATED (GALVANIZED) WELDED STEEL PIPE PER ASTM-F1083.
4. TOP RAIL & BRACE RAIL: 1-5/8"Ø SCHEDULE 40 PIPE PER ASTM-F1083.
5. CHAIN LINK FABRIC: 9 GA. MIN. CORE WIRE SIZE 2" MESH, CONFORMING TO ASTM-A392.
6. TIE WIRE: MINIMUM 11 GA. GALVANIZED STEEL INSTALL A SINGLE WRAP TIE WIRE AT POSTS AND RAILS AT MAX. 24" INTERVALS. INSTALL HOG RINGS ON TENSION WIRE AT 24" INTERVALS.
7. TENSION WIRE: 7 GA. GALVANIZED STEEL
8. BARBED WIRE: DOUBLE STRAND 12-1/2" GA. TWISTED WIRE, 4 PT. BARBS SPACED ON APPROXIMATELY 5" CENTERS. (IF USED)
9. GATE LATCH: 1-3/8" OD PLUNGER ROD W/ MUSHROOM TYPE CATCH AND LOCK (KEYED ALIKE FOR ALL SITES OR COMBINATION AS SPECIFIED BY OWNER)
10. LOCAL ORDINANCE FOR BARBED WIRE PERMIT SHALL GOVERN INSTALLATION.
11. HEIGHT= 6' VERTICAL + 1' BARBED WIRE VERTICAL DIMENSION. WORK WITH SPECIFICATION 2831.

CHECK LOCAL CODES FOR BARBED WIRE REQUIREMENTS.



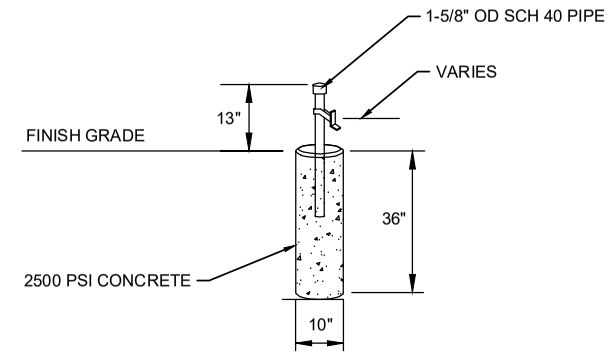
FENCE LOCK DETAIL

NTS



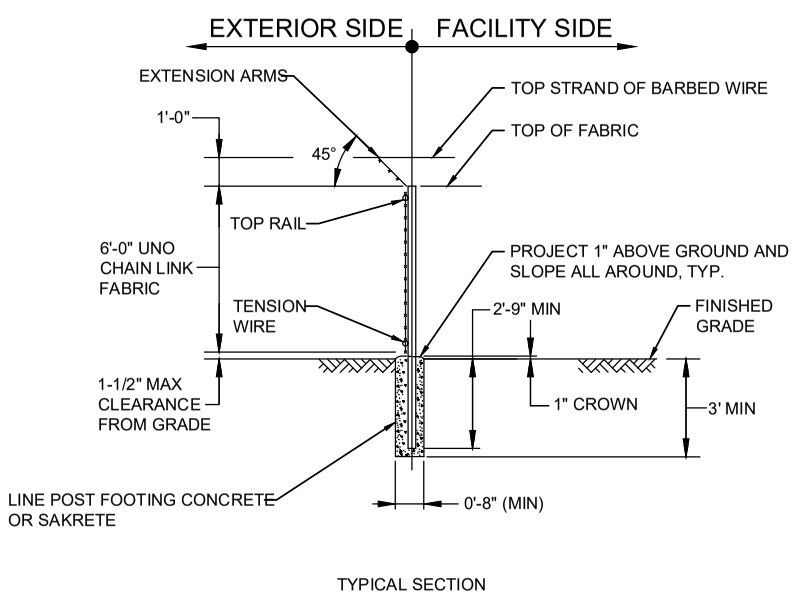
MUSHROOM STOP

NTS



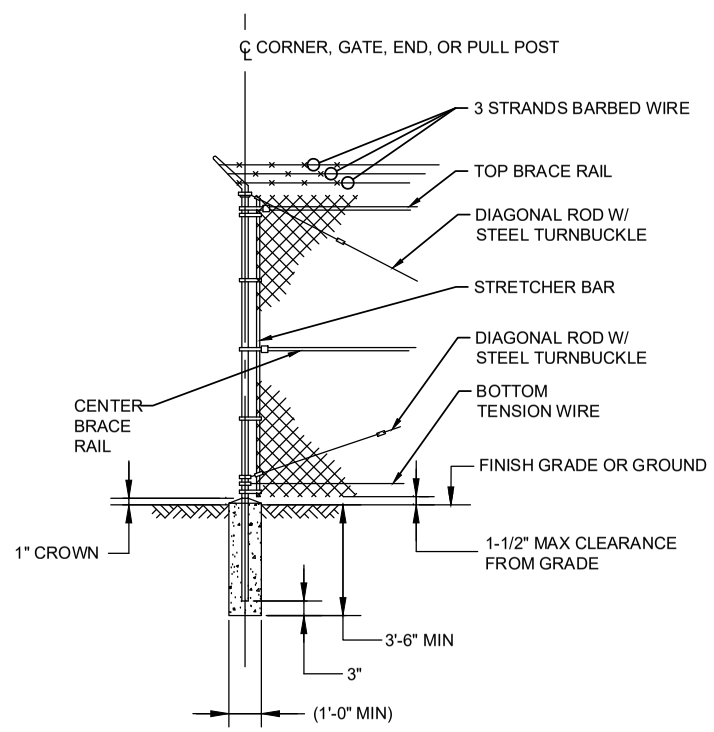
GATE STOP DETAIL

NTS



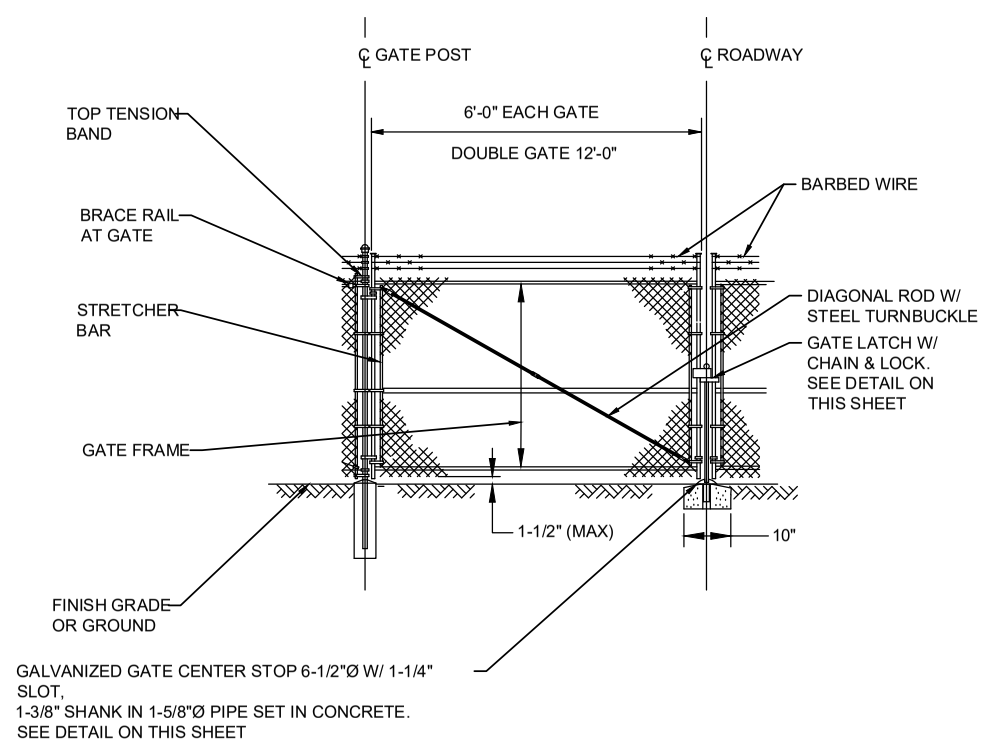
WOVEN WIRE FENCE (1)

NTS



WOVEN WIRE CORNER, GATE, END OR PULL POST (2)

NTS



WOVEN WIRE DOUBLE GATE (3)

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STATE OF KENTUCKY
STEPHEN E. HUNT
25003
LICENSED PROFESSIONAL ENGINEER
3/19/25

verizon

FUZE ID : 617291389

SITE NAME : EV FAIRDEALING WEST

SITE # / LOCATION CODE : 5000927818

SITE ADDRESS : CAPP SPRINGS ROAD BENTON, KY 42025

SITE TYPE: RAWLAND

SHEET TITLE : SITE DETAILS

DRAWING # :	REVISION :
Z9	0

1 Fairholm Avenue
Peoria, IL 61603 USA
Phone: (309)-566-3000
Fax: (309)-566-3079

DATE: DECEMBER 05, 2024

PURCHASER: TOWERCO LLC

PROJECT: 270FT RTL SELF SUPPORT TOWER
KY0114 EV FAIRDEALING WEST, KY

FILE NUMBER: 247884

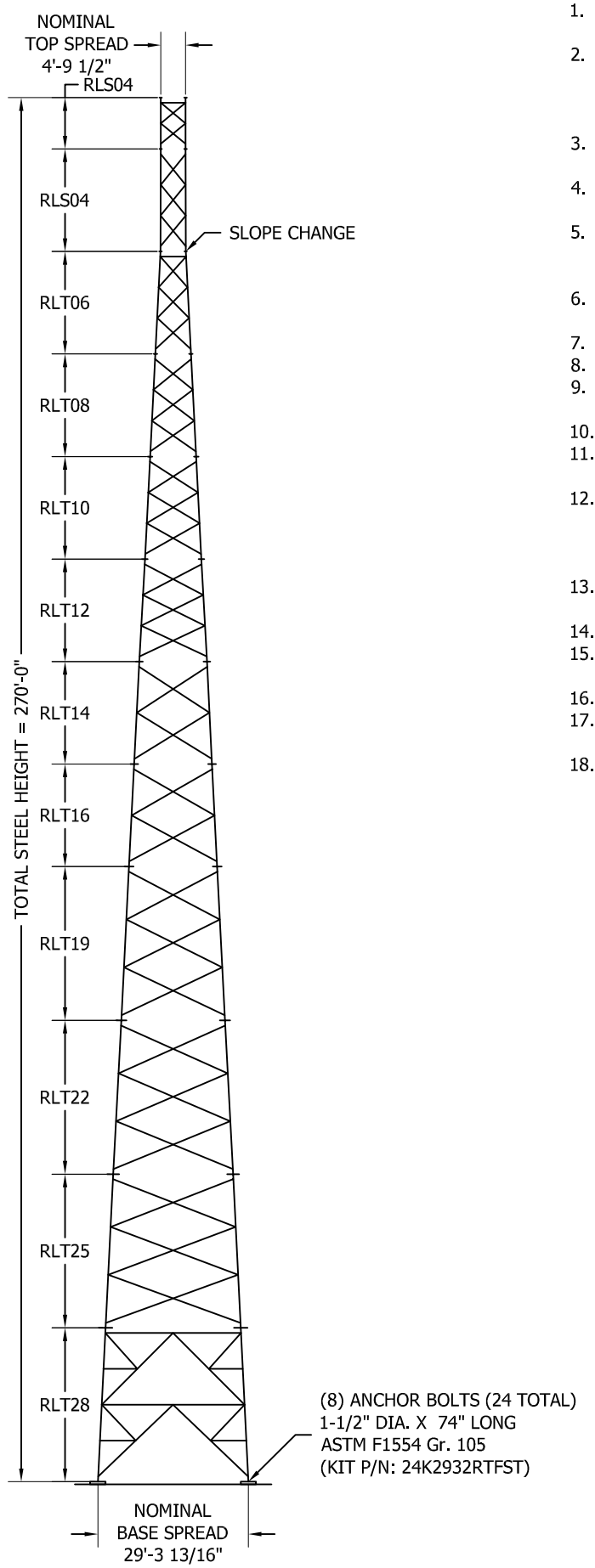
I CERTIFY THAT THE ATTACHED DRAWING WAS PREPARED UNDER MY SUPERVISION IN ACCORDANCE WITH THE DESIGN AND LOADING CRITERIA SPECIFIED BY THE PURCHASER AND THAT I AM A REGISTERED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF KENTUCKY.

A FOUNDATION DESIGN FOR THIS STRUCTURE HAS NOT BEEN DESIGNED AT THIS TIME AND IS NOT INCLUDED IN THIS PACKAGE.

Allen Schneider

12/05/2024

STATE OF KENTUCKY
ALLEN
SCHNEIDER
37506
LICENSED
PROFESSIONAL ENGINEER



GENERAL NOTES

1. ROHN PRODUCTS, LLC TOWER DESIGNS CONFORM TO ANSI/TIA-222-G UNLESS OTHERWISE SPECIFIED UNDER TOWER DESIGN LOADING.
2. THE DESIGN LOADING CRITERIA INDICATED HAS BEEN PROVIDED TO ROHN. THE DESIGN LOADING CRITERIA HAS BEEN ASSUMED TO BE BASED ON SITE-SPECIFIC DATA IN ACCORDANCE WITH ANSI/TIA-222-G AND MUST BE VERIFIED BY OTHERS PRIOR TO INSTALLATION.
3. ANTENNAS AND LINES LISTED IN TOWER DESIGN LOADING TABLE ARE PROVIDED BY OTHERS UNLESS OTHERWISE SPECIFIED.
4. STEP BOLTS WITH SAFETY CLIMB SYSTEM ARE PROVIDED AS A CLIMBING FACILITY FOR THE INSTALLATION OF THE STRUCTURE.
5. TOWER MEMBER DESIGN DOES NOT INCLUDE STRESSES DUE TO ERECTION SINCE ERECTION EQUIPMENT AND CONDITIONS ARE UNKNOWN. DESIGN ASSUMES COMPETENT AND QUALIFIED PERSONNEL WILL ERECT THE TOWER.
6. WORK SHALL BE IN ACCORDANCE WITH ANSI/TIA-222-G, "STRUCTURAL STANDARDS FOR STEEL ANTENNA TOWERS AND ANTENNA SUPPORTING STRUCTURES".
7. THE MINIMUM YIELD STRENGTH OF STRUCTURAL STEEL MEMBERS SHALL BE 50 KSI.
8. FIELD CONNECTIONS SHALL BE BOLTED. NO FIELD WELDS SHALL BE ALLOWED.
9. STRUCTURAL BOLTS SHALL CONFORM TO GRADE A325 PER ASTM F3125, EXCEPT WHERE NOTED.
10. A NUT LOCKING DEVICE IS PROVIDED FOR ALL TOWER BOLTS.
11. STRUCTURAL STEEL AND CONNECTION BOLTS SHALL BE HOT-DIPPED GALVANIZED AFTER FABRICATION, IN ACCORDANCE WITH ANSI/TIA-222-G.
12. ALL HIGH STRENGTH BOLTS, UNLESS OTHERWISE NOTED FOR DOUBLE ANGLE MEMBERS, ARE TO BE TIGHTENED TO A "SNUG TIGHT" CONDITION AS DEFINED IN THE RCSC "SPECIFICATION FOR STRUCTURAL JOINTS USING HIGH-STRENGTH BOLTS". NO OTHER MINIMUM BOLT TENSION OR TORQUE VALUES ARE REQUIRED.
13. PURCHASER SHALL VERIFY THE INSTALLATION IS IN CONFORMANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS FOR OBSTRUCTION MARKING AND LIGHTING.
14. TOLERANCE ON TOWER STEEL HEIGHT IS EQUAL TO PLUS 1% OR MINUS 1/2%.
15. DESIGN ASSUMES THAT, AS A MINIMUM, MAINTENANCE AND INSPECTION WILL BE PERFORMED OVER THE LIFE OF THE STRUCTURE IN ACCORDANCE WITH ANSI/TIA-222-G.
16. DESIGN ASSUMES LEVEL GRADE AT TOWER SITE.
17. DESIGN ASSUMES ALL ANTENNAS ARE MOUNTED SYMMETRICALLY TO MINIMIZE TORQUE, IF APPLICABLE.
18. FOUNDATIONS SHALL BE DESIGNED BY OTHERS TO SUPPORT THE REACTIONS SHOWN FOR THE CONDITIONS EXISTING AT THE SITE.

TOWER DESIGN LOADING

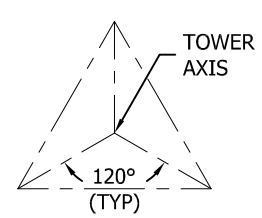
DESIGN WIND LOAD PER ANSI/TIA-222-G USING THE FOLLOWING DESIGN CRITERIA:
ASCE 7-10 ULTIMATE WIND SPEED (NO ICE): 115 MPH
BASIC WIND SPEED (W/ICE): 30 MPH PER ASCE 7-10
DESIGN ICE THICKNESS: 1.00" PER ASCE 7-10
EXPOSURE CATEGORY: C
STRUCTURE CLASS: II
TOPOGRAPHIC CATEGORY: 1
EARTHQUAKE SPECTRAL RESPONSE ACCELERATION: S_S: 0.880, S_1: 0.300, SITE CLASS: D

THIS STRUCTURE HAS BEEN DESIGNED TO SUPPORT THE FOLLOWING LOADS:

ELEVATION (FT)	ANTENNA LOADING	LINE SIZE (NOM)
TOP	BEACON & LIGHTNING ROD	(1) 0-3/4" CONDUIT
265	20,000 SQ-IN [K_A = 1.0] + MOUNTS [184 SQFT MAX EPA]	(12) 1-5/8"
253	42,000 SQ-IN [K_A = 1.0] + MOUNTS [337 SQFT MAX EPA]	(18) 1-5/8"
243	20,000 SQ-IN [K_A = 1.0] + MOUNTS [184 SQFT MAX EPA]	(12) 1-5/8"

MAXIMUM FACTORED REACTIONS

COMPRESSION PER LEG	=	598.5	KIPS
TENSION PER LEG	=	517.1	KIPS
SHEAR PER LEG	=	53.5	KIPS
TOTAL SHEAR	=	88.2	KIPS
TOTAL O.T.M	=	14,302.2	FT-KIPS



TOWER CONFIGURATION
N.T.S.

SECTION MAIN MEMBER SCHEDULE

SECTION	LEGS	DIAGONALS	HORIZONTALS
RLS04	PIPE 3.500x0.216	L1 3/4x1 3/4x1/8 (2)	L1 3/4x1 3/4x3/16 (1)
RLS04	PIPE 4.500x0.237	L2x2x1/4 (3)	N/A
RLT06	PIPE 5.563x0.375	L2x2x1/4 (3)	L1 3/4x1 3/4x3/16 (1)
RLT08	PIPE 5.563x0.375	L2x2x1/4 (3)	N/A
RLT10	PIPE 6.625x0.340	L2 1/2x2 1/2x3/16 (3)	N/A
RLT12	PIPE 6.625x0.432	L2 1/2x2 1/2x3/16 (3)	N/A
RLT14	PIPE 8.625x0.375	L3x3x1/4 (2)	N/A
RLT16	PIPE 8.625x0.375	L3x3x1/4 (2)	N/A
RLT19	PIPE 8.625x0.500	L3 1/2x3 1/2x1/4 (3)	N/A
RLT22	PIPE 8.625x0.500	L3 1/2x3 1/2x1/4 (3)	N/A
RLT25	PIPE 10.750x0.500	L4x4x1/4 (3)	N/A
RLT28	PIPE 10.750x0.500	L4x4x3/8 (2)	L4x4x1/4 (2)

NOTE:
SECTION NUMBERS ARE FOR REFERENCE ONLY.
FOR NOMINAL FACE WIDTH DIMENSIONS, REFER TO THE STRESS ANALYSIS.
THE NUMBERS SHOWN IN PARENTHESES INDICATE THE NUMBER OF BAYS FROM TOP TO BOTTOM.

FILE NO.
247884

REVISIONS

REV.	DESCRIPTION	DWN	CHK	APP

ROHN® PRODUCTS LLC
PO BOX 5999
PEORIA, IL 61601-5999
TOLL FREE 800-727-ROHN

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TOWERCO LLC
DESIGN PROFILE
270 FT RTL TOWER
KY0114 EV FAIRDEALING WEST, KY

DWN: AS	CHK'D: SY	DATE: 12/05/2024
ENG'R: AS	SHEET #: 1 OF 1	
PRJ. ENG'R: AS	PRJ. MANG'R:	
DRAWING NO: 247884-01-D1		REV: 0

ENGINEERING
CHECKED BY: SY
12/05/2024

Section A: PROJECT DATA

Project Title:	270 FT RTL TOWER
Customer Name:	TOWERCO LLC
Site:	KY0114 EV FAIRDEALING WEST- KY
Contract No.:	247884
Revision:	0
Engineer:	AS
Date:	Dec 5 2024
Time:	10:20:44 AM

Design Standard: ANSI/TIA-222-G-2005 Addendum 2

GENERAL DESIGN CONDITIONS

Start wind direction:	0.00 (Deg)
End wind direction:	330.00 (Deg)
Increment wind direction:	30.00 (Deg)
Elevation above ground:	0.00 (ft)
Gust Response Factor Gh:	0.85
Structure class:	II
Exposure category:	C
Topographic category:	1
Material Density:	490.1(lbs/ft^3)
Young's Modulus:	29000.0(ksi)
Poisson Ratio:	0.30
Weight Multiplier:	1.25

Minimum Bracing Resistance as per 4.4.1

WIND ONLY CONDITIONS:

Ultimate Design Wind Speed (No Ice):	115.00(mph)
Nominal Design Wind Speed (No Ice):	89.08(mph)
Directionality Factor Kd:	0.85
Importance Factor I:	1.00
Wind Load Factor:	1.60
Dead Load Factor:	1.20
Dead Load Factor for Uplift:	0.90

WIND AND ICE CONDITIONS:

Basic Wind Speed (With Ice):	30.00(mph)
Directionality Factor Kd:	0.85
Wind Load Importance Factor Iw:	1.00
Ice Thickness Importance Factor Ii:	1.00
Ice Thickness:	1.00 (in)
Ice Density:	56.19(lbs/ft^3)
Wind Load Factor:	1.00
Dead Load Factor:	1.20
Ice Load Factor:	1.00

WIND ONLY SERVICEABILITY CONDITIONS:

Serviceability Wind Speed:	60.00(mph)
Directionality Factor Kd:	0.85
Importance Factor I:	1.00
Wind Load Factor:	1.00
Dead Load Factor:	1.00

EARTHQUAKE CONDITIONS:

Site class definition:	D
Spectral response acceleration Ss:	0.880
Spectral response acceleration S1:	0.300
Accelaration-based site coefficient Fa:	1.148
Velocity-based site coefficient Fv:	1.800
Design spectral response acceleration Sds:	0.673

Design spectral response acceleration Sd1: 0.360
Seismic analysis method: 1
Fundamental frequency of structure f1: 0.651
Total seismic shear Vs (Kips) : 6.88

Analysis performed using: TowerSoft Finite Element Analysis Program

Section B: STRUCTURE GEOMETRY

TOWER GEOMETRY

Cross-Section	Height (ft)	Tot Height (ft)	# of Section	Bot Width (in)	Top Width (in)
Triangular	270.00	280.00	12	351.81	57.53

SECTION GEOMETRY

Sec #	Sec. Name	Elevation Bottom (ft)	Elevation Top (ft)	Widths Bottom (in)	Widths Top (in)	Legs (lbs)	Masses Brcg. (lbs)	Masses Sec.Brc (lbs)	Masses Int.Brc (lbs)	Masses Sect. (lbs)	Masses Database (lbs)	Brcg. Clear. (in)
12	RLS04	260.00	270.00	58	58	284	187	0	0	472	0	0.787
11	RLS04	240.00	260.00	59	58	809	596	0	0	1405	0	0.787
10	RLT06	220.00	240.00	83	59	1565	683	0	0	2248	0	0.787
9	RLT08	200.00	220.00	108	83	1565	749	0	0	2314	0	0.787
8	RLT10	180.00	200.00	132	108	1717	830	0	0	2547	0	0.787
7	RLT12	160.00	180.00	158	132	2154	952	0	0	3106	0	0.787
6	RLT14	140.00	160.00	182	158	2482	1274	0	0	3756	0	0.787
5	RLT16*	120.00	140.00	206	182	2482	1397	0	0	3879	0	0.787
4	RLT19*	90.00	120.00	242	206	4896	2741	0	0	7638	0	0.787
3	RLT22*	60.00	90.00	280	242	4897	3098	0	0	7995	0	0.787
2	RLT25*	30.00	60.00	316	280	6178	3977	0	0	10155	0	0.787
1	RLT28*	0.00	30.00	352	316	6177	4365	1664	584	12789	0	0.787
Total Mass:						35206	20849	1664	584	58303	0	

PANEL GEOMETRY

Sec#	Pnl#	Type	SecBrcg	Mid. Horiz Continuous	Horiz	Height (ft)	Bottom Width (in)	Top Width (in)	Plan Bracing	Hip Bracing	Gusset Plate Area (ft^2)	Gusset Plate Weight (lbs)
12	2	X	(None)		Yes	5.0	58.0	57.5	(None)	(None)	0.000	0.00
12	1	X	(None)		None	5.0	58.4	58.0	(None)	(None)	0.000	0.00
11	3	X	(None)		None	6.7	58.7	58.4	(None)	(None)	0.000	0.00
11	2	X	(None)		None	6.7	59.0	58.7	(None)	(None)	0.000	0.00
11	1	X	(None)		None	6.7	59.3	59.0	(None)	(None)	0.000	0.00
10	3	X	(None)		Yes	6.7	67.3	59.3	(None)	(None)	0.300	0.30
10	2	X	(None)		None	6.7	75.3	67.3	(None)	(None)	0.300	0.30
10	1	X	(None)		None	6.7	83.3	75.3	(None)	(None)	0.300	0.30
9	3	X	(None)		None	6.7	91.6	83.3	(None)	(None)	0.300	0.30
9	2	X	(None)		None	6.7	99.9	91.6	(None)	(None)	0.300	0.30
9	1	X	(None)		None	6.7	108.2	99.9	(None)	(None)	0.300	0.30
8	3	X	(None)		None	6.7	116.2	108.2	(None)	(None)	0.300	0.30
8	2	X	(None)		None	6.7	124.2	116.2	(None)	(None)	0.300	0.30
8	1	X	(None)		None	6.7	132.2	124.2	(None)	(None)	0.300	0.30
7	3	X	(None)		None	6.7	140.8	132.2	(None)	(None)	0.300	0.30
7	2	X	(None)		None	6.7	149.4	140.8	(None)	(None)	0.300	0.30
7	1	X	(None)		None	6.7	158.0	149.4	(None)	(None)	0.300	0.30
6	2	X	(None)		None	10.0	170.0	158.0	(None)	(None)	0.000	0.00
6	1	X	(None)		None	10.0	182.0	170.0	(None)	(None)	0.000	0.00
5	2	X	(None)		None	10.0	194.0	182.0	(None)	(None)	0.000	0.00
5	1	X	(None)		None	10.0	206.0	194.0	(None)	(None)	0.000	0.00
4	3	X	(None)		None	10.0	218.0	206.0	(None)	(None)	0.300	0.30
4	2	X	(None)		None	10.0	230.0	218.0	(None)	(None)	0.300	0.30
4	1	X	(None)		None	10.0	242.0	230.0	(None)	(None)	0.300	0.30
3	3	X	(None)		None	10.0	254.6	242.0	(None)	(None)	0.300	0.30
3	2	X	(None)		None	10.0	267.2	254.6	(None)	(None)	0.300	0.30
3	1	X	(None)		None	10.0	279.8	267.2	(None)	(None)	0.300	0.30
2	3	X	(None)		None	10.0	291.8	279.8	(None)	(None)	0.300	0.30
2	2	X	(None)		None	10.0	303.8	291.8	(None)	(None)	0.300	0.30
2	1	X	(None)		None	10.0	315.8	303.8	(None)	(None)	0.300	0.30
1	2	K	2-Subdiv.		Yes	15.0	333.8	315.8	2-Subdiv.	(None)	0.300	0.30
1	1	K	2-Subdiv.		Yes	15.0	351.8	333.8	2-Subdiv.	(None)	0.300	0.30

MEMBER PROPERTIES

Sec/ Member Pnl	Type	Description	Steel Grade	Conn. Type	Bolt #-Size	Bolt Grade	End Dist.	Edge Dist.	Gusset Thick.	Gusset Grade	Bolt Space	Dble Mem. Stitch Bolt Spacing
					(in)		(in)	(in)	(in)		(in)	(in) (ft)
12/2	Leg	PIPE 3.500x0.216	A500 gr.C	STension	5-0.875	A325X						
12/2	Diag	L1 3/4x1 3/4x1/8	A529 gr.50	Bolted	1-0.625	A325X	1.500	0.875	0.250	A572 gr.50	2.000	
12/2	Horiz	L1 3/4x1 3/4x3/16	A529 gr.50	Bolted	1-0.625	A325X	1.500	0.875	0.250	A572 gr.50	2.000	
12/1	Leg	PIPE 3.500x0.216	A500 gr.C	STension	5-0.875	A325X						
12/1	Diag	L1 3/4x1 3/4x1/8	A529 gr.50	Bolted	1-0.625	A325X	1.500	0.875	0.250	A572 gr.50	2.000	
11/3	Leg	PIPE 4.500x0.237	A500 gr.C	STension	5-1.000	A325X						
11/3	Diag	L2x2x1/4	A529 gr.50	Bolted	1-0.625	A325X	1.500	1.000	0.250	A529 gr.50	2.000	
11/2	Leg	PIPE 4.500x0.237	A500 gr.C	STension	5-1.000	A325X						
11/2	Diag	L2x2x1/4	A529 gr.50	Bolted	1-0.625	A325X	1.500	1.000	0.250	A529 gr.50	2.000	
11/1	Leg	PIPE 4.500x0.237	A500 gr.C	STension	5-1.000	A325X						
11/1	Diag	L2x2x1/4	A529 gr.50	Bolted	1-0.625	A325X	1.500	1.000	0.250	A529 gr.50	2.000	
10/3	Leg	PIPE 5.563x0.375	A500 gr.C	STension	5-1.000	A325X						
10/3	Diag	L2x2x1/4	A529 gr.50	Bolted	1-0.625	A325X	1.500	1.000	0.250	A529 gr.50	2.000	
10/3	Horiz	L1 3/4x1 3/4x3/16	A529 gr.50	Bolted	1-0.625	A325X	1.500	0.875	0.250	A529 gr.50	2.000	
10/2	Leg	PIPE 5.563x0.375	A500 gr.C	STension	5-1.000	A325X						
10/2	Diag	L2x2x1/4	A529 gr.50	Bolted	1-0.625	A325X	1.500	1.000	0.250	A529 gr.50	2.000	
10/1	Leg	PIPE 5.563x0.375	A500 gr.C	STension	5-1.000	A325X						
10/1	Diag	L2x2x1/4	A529 gr.50	Bolted	1-0.625	A325X	1.500	1.000	0.250	A529 gr.50	2.000	
9/3	Leg	PIPE 5.563x0.375	A500 gr.C	STension	6-1.000	A325X						
9/3	Diag	L2x2x1/4	A529 gr.50	Bolted	1-0.625	A325X	1.500	1.000	0.250	A529 gr.50	2.000	
9/2	Leg	PIPE 5.563x0.375	A500 gr.C	STension	6-1.000	A325X						
9/2	Diag	L2x2x1/4	A529 gr.50	Bolted	1-0.625	A325X	1.500	1.000	0.250	A529 gr.50	2.000	
9/1	Leg	PIPE 5.563x0.375	A500 gr.C	STension	6-1.000	A325X						
9/1	Diag	L2x2x1/4	A529 gr.50	Bolted	1-0.625	A325X	1.500	1.000	0.250	A529 gr.50	2.000	
8/3	Leg	PIPE 6.625x0.340	A500 gr.C	STension	6-1.000	A325X						
8/3	Diag	L2 1/2x2 1/2x3/16	A529 gr.50	Bolted	1-0.625	A325X	1.500	1.250	0.250	A529 gr.50	2.000	
8/2	Leg	PIPE 6.625x0.340	A500 gr.C	STension	6-1.000	A325X						
8/2	Diag	L2 1/2x2 1/2x3/16	A529 gr.50	Bolted	1-0.625	A325X	1.500	1.250	0.250	A529 gr.50	2.000	
8/1	Leg	PIPE 6.625x0.340	A500 gr.C	STension	6-1.000	A325X						
8/1	Diag	L2 1/2x2 1/2x3/16	A529 gr.50	Bolted	1-0.625	A325X	1.500	1.250	0.250	A529 gr.50	2.000	
7/3	Leg	PIPE 6.625x0.432	A500 gr.C	STension	6-1.500	A325X						
7/3	Diag	L2 1/2x2 1/2x3/16	A529 gr.50	Bolted	1-0.625	A325X	1.500	1.250	0.250	A529 gr.50	2.000	

7/2	Leg	PIPE 6.625x0.432	A500 gr.CSTension	6-1.500	A325X						
7/2	Diag	L2 1/2x2 1/2x3/16	A529 gr.50Bolted	1-0.625	A325X	1.500	1.250	0.250	A529 gr.50		2.000
7/1	Leg	PIPE 6.625x0.432	A500 gr.CSTension	6-1.500	A325X						
7/1	Diag	L2 1/2x2 1/2x3/16	A529 gr.50Bolted	1-0.625	A325X	1.500	1.250	0.250	A529 gr.50		2.000
6/2	Leg	PIPE 8.625x0.375	A500 gr.CSTension	6-1.500	A325X						
6/2	Diag	L3x3x1/4	A529 gr.50Bolted	1-0.625	A325X	1.500	1.500	0.250	A529 gr.50		2.000
6/1	Leg	PIPE 8.625x0.375	A500 gr.CSTension	6-1.500	A325X						
6/1	Diag	L3x3x1/4	A529 gr.50Bolted	1-0.625	A325X	1.500	1.500	0.250	A529 gr.50		2.000
5/2	Leg	PIPE 8.625x0.375	A500 gr.CSTension	6-1.500	A325X						
5/2	Diag	L3x3x1/4	A529 gr.50Bolted	2-0.625	A325X	1.125	1.500	0.375	A529 gr.50		2.000
5/1	Leg	PIPE 8.625x0.375	A500 gr.CSTension	6-1.500	A325X						
5/1	Diag	L3x3x1/4	A529 gr.50Bolted	2-0.625	A325X	1.125	1.500	0.375	A529 gr.50		2.000
4/3	Leg	PIPE 8.625x0.500	A500 gr.CSTension	6-1.500	A325X						
4/3	Diag	L3 1/2x3 1/2x1/4	A529 gr.50Bolted	2-0.625	A325X	1.125	1.750	0.375	A572 gr.50		2.000
4/2	Leg	PIPE 8.625x0.500	A500 gr.CSTension	6-1.500	A325X						
4/2	Diag	L3 1/2x3 1/2x1/4	A529 gr.50Bolted	2-0.625	A325X	1.125	1.750	0.375	A572 gr.50		2.000
4/1	Leg	PIPE 8.625x0.500	A500 gr.CSTension	6-1.500	A325X						
4/1	Diag	L3 1/2x3 1/2x1/4	A529 gr.50Bolted	2-0.625	A325X	1.125	1.750	0.375	A572 gr.50		2.000
3/3	Leg	PIPE 8.625x0.500	A500 gr.CSTension	7-1.500	A325X						
3/3	Diag	L3 1/2x3 1/2x1/4	A529 gr.50Bolted	2-0.625	A325X	1.125	0.875	0.375	A572 gr.50		2.000
3/2	Leg	PIPE 8.625x0.500	A500 gr.CSTension	7-1.500	A325X						
3/2	Diag	L3 1/2x3 1/2x1/4	A529 gr.50Bolted	2-0.625	A325X	1.125	0.875	0.375	A572 gr.50		2.000
3/1	Leg	PIPE 8.625x0.500	A500 gr.CSTension	7-1.500	A325X						
3/1	Diag	L3 1/2x3 1/2x1/4	A529 gr.50Bolted	2-0.625	A325X	1.125	0.875	0.375	A572 gr.50		2.000
2/3	Leg	PIPE 10.750x0.500	A500 gr.CSTension	7-1.500	A325X						
2/3	Diag	L4x4x1/4	A529 gr.50Bolted	2-0.625	A325X	1.125	2.000	0.375	A572 gr.50		2.000
2/2	Leg	PIPE 10.750x0.500	A500 gr.CSTension	7-1.500	A325X						
2/2	Diag	L4x4x1/4	A529 gr.50Bolted	2-0.625	A325X	1.125	2.000	0.375	A572 gr.50		2.000
2/1	Leg	PIPE 10.750x0.500	A500 gr.CSTension	7-1.500	A325X						
2/1	Diag	L4x4x1/4	A529 gr.50Bolted	2-0.625	A325X	1.125	2.000	0.375	A572 gr.50		2.000
1/2	Leg	PIPE 10.750x0.500	A500 gr.CSTension	8-1.500	A325X						
1/2	Diag	L4x4x3/8	A529 gr.50Bolted	2-0.625	A325X	1.125	2.000	0.375	A572 gr.50		2.000
1/2	Horiz	L4x4x1/4	A529 gr.50Bolted	2-0.625	A325X	1.125	2.000	0.375	A572 gr.50		2.000
1/2	SecD1	L3 1/2x3 1/2x1/4	A529 gr.50Bolted	1-0.625	A325X	1.500	1.750	0.250	A572 gr.50		2.000
1/2	SecH1	L3 1/2x3 1/2x1/4	A529 gr.50Bolted	1-0.625	A325X	1.500	1.750	0.250	A572 gr.50		2.000
1/2	PlanH1	L3 1/2x3 1/2x1/4	A529 gr.50Bolted	1-0.625	A325X	1.500	1.750	0.250	A572 gr.50		2.000
1/1	Leg	PIPE 10.750x0.500	A500 gr.CSTension	8-1.500	A325X						
1/1	Diag	L4x4x3/8	A529 gr.50Bolted	2-0.625	A325X	1.125	2.000	0.375	A572 gr.50		2.000

1/1	Horiz	L4x4x1/4	A529 gr.50	Bolted	2-0.625	A325X	1.125	2.000	0.375	A572 gr.50 2.000
1/1	SecD1	L3 1/2x3 1/2x1/4	A529 gr.50	Bolted	1-0.625	A325X	1.500	1.750	0.250	A572 gr.50 2.000
1/1	SecH1	L3 1/2x3 1/2x1/4	A529 gr.50	Bolted	1-0.625	A325X	1.500	1.750	0.250	A572 gr.50 2.000
1/1	PlanH1	L3 1/2x3 1/2x1/4	A529 gr.50	Bolted	1-0.625	A325X	1.500	1.750	0.250	A572 gr.50 2.000

Section D: TRANSMISSION LINE DATA

Transmission Lines Position

No.	Bot El (ft)	Top El (ft)	Desc.	Radius (ft)	Az.	Orient.	No.	No. of Rows	Vert.	Antenna	User Ka
1	0.00	270.00	3/8 CABLE	18.00	0.00	0.00	1	1	Yes		
2	0.00	270.00	RC0.75-Cnd	14.75	60.00	5.00	1	1	No		
3	0.00	265.00	TX Ladder	9.77	60.00	30.00	1	1	No		
4	0.00	265.00	LDF7P-50A	9.77	60.00	30.00	12	2	No		
5	0.00	253.00	TX Ladder	9.77	180.00	150.00	1	1	No		
6	0.00	253.00	LDF7P-50A	9.77	180.00	150.00	18	2	No		
7	0.00	243.00	TX Ladder	9.77	300.00	270.00	1	1	No		
8	0.00	243.00	LDF7P-50A	9.77	300.00	270.00	12	2	No		

Transmission Lines Details

No.	Desc.	Width (in)	Depth (in)	Unit Mass (lb/ft)	Line Spacing (in)	Row Spacing (in)
1	3/8 CABLE	0.38	0.38	1.00	2.750	2.750
2	RC0.75-Cnd	1.05	1.05	1.09	2.750	2.750
3	TX Ladder	4.70	1.50	4.00	2.750	2.750
4	LDF7P-50A	2.01	2.01	0.92	2.250	2.750
5	TX Ladder	4.70	1.50	4.00	2.750	2.750
6	LDF7P-50A	2.01	2.01	0.92	2.250	2.750
7	TX Ladder	4.70	1.50	4.00	2.750	2.750
8	LDF7P-50A	2.01	2.01	0.92	2.250	2.750

Section F: POINT LOAD DATA

Structure Azimuth from North:0.00

POINT LOADS

No.	Description	Elev. (ft)	Radius (ft)	Azim. (Deg)	Orient. (Deg)	Vertical Offset (ft)	Tx Line	Comments
1	BEACON & LR	270.00	1.00	0.0	0.0	0.00		
2	20,000 SQ-IN + MOUNT	265.00	0.00	0.0	0.0	0.00		
3	42,000 SQ-IN + MOUNT	253.00	0.00	0.0	0.0	0.00		
4	20,000 SQ-IN + MOUNT	243.00	0.00	0.0	0.0	0.00		

POINT LOADS WIND AREAS AND WEIGHTS

No.	Description	Frontal Bare Area (ft^2)	Lateral Bare Area (ft^2)	Frontal Iced Area (ft^2)	Lateral Iced Area (ft^2)	Weight Bare (Kips)	Weight Iced (Kips)	Gh
1	BEACON & LR	5.00	5.00	10.00	10.00	0.25	0.50	0.85
2	20,000 SQ-IN + MOUNT	184.00	184.00	368.00	368.00	5.00	10.00	0.85
3	42,000 SQ-IN + MOUNT	337.00	337.00	674.00	674.00	6.00	12.00	0.85
4	20,000 SQ-IN + MOUNT	184.00	184.00	368.00	368.00	5.00	10.00	0.85

Section H: STRUCTURE DISPLACEMENT DATA

Load Combination Wind Only - Serviceability

Wind Direction Maximum displacements

Node	Elev. (ft)	N-S Disp (in)	W-E Disp (in)	Vert.Disp (in)	N-S Rot (Deg)	W-E Rot (Deg)	Twist (Deg)
105	270.0	14.1	13.6	-0.1	0.57	0.56	0.01
102	265.0	13.5	13.0	-0.1	0.60	0.58	0.02
99	260.0	12.9	12.4	-0.1	0.57	0.55	0.03
96	253.3	12.1	11.6	-0.1	0.59	0.57	-0.03
93	246.7	11.3	10.8	-0.1	0.55	0.53	0.03
90	240.0	10.5	10.1	-0.1	0.53	0.51	0.01
87	233.3	9.8	9.3	-0.1	0.50	0.49	0.01
84	226.7	9.1	8.7	-0.1	0.48	0.46	0.01
81	220.0	8.4	8.0	-0.1	0.46	0.44	0.01
78	213.3	7.8	7.4	-0.1	0.42	0.41	-0.01
75	206.7	7.2	6.8	-0.1	0.41	0.39	0.00
72	200.0	6.6	6.3	-0.1	0.37	0.36	-0.01
69	193.3	6.1	5.8	-0.1	0.36	0.35	-0.01
66	186.7	5.6	5.3	-0.1	0.32	0.31	-0.01
63	180.0	5.2	4.9	-0.1	0.32	0.30	-0.01
60	173.3	4.7	4.5	-0.1	0.28	0.27	-0.01
57	166.7	4.3	4.1	-0.1	0.28	0.27	-0.01
54	160.0	3.9	3.7	-0.1	0.25	0.23	-0.01
51	150.0	3.4	3.2	-0.1	0.23	0.22	0.00
48	140.0	2.9	2.8	-0.1	0.20	0.19	-0.01
45	130.0	2.5	2.4	-0.1	0.19	0.18	0.00
42	120.0	2.1	2.0	-0.1	0.16	0.15	-0.01
39	110.0	1.8	1.7	-0.1	0.15	0.15	0.00
36	100.0	1.4	1.4	-0.1	0.13	0.12	-0.01
33	90.0	1.2	1.1	-0.1	0.12	0.12	0.00
30	80.0	0.9	0.9	-0.1	0.10	0.09	-0.01
27	70.0	0.7	0.7	0.0	0.09	0.09	0.00
24	60.0	0.5	0.5	0.0	0.07	0.07	-0.01
21	50.0	0.4	0.3	0.0	0.07	0.06	0.00
18	40.0	0.2	0.2	0.0	0.05	0.05	0.00
14	30.0	0.1	-0.1	0.0	0.03	0.03	0.00
8	15.0	0.0	0.0	0.0	0.01	-0.01	0.00
3	0.0	0.0	0.0	0.0	0.00	0.00	0.00

Section L: STRENGTH ASSESSMENT SORTED DATA

Load Combination Max Envelope
Wind Direction Maximum

Sec	Pnl	Elev. (ft)	MType	Desc.	Len (ft)	kl/r	Gov. comp. cap. (Kips)	Gov. tens. cap. (Kips)	Max Compr. (Kips)	Max Tens. (Kips)	Asses. Ratio
12	2	265.00	Leg	PIPE 3.500x0.216	5.00	51.7	82.5	100.4	2.1	1.9	0.03
12	1	260.00	Leg	PIPE 3.500x0.216	5.00	51.7	82.5	100.4	8.1	3.9	0.10
11	3	253.33	Leg	PIPE 4.500x0.237	6.67	53.0	116.2	142.6	17.1	12.9	0.15
11	2	246.67	Leg	PIPE 4.500x0.237	6.67	53.0	116.2	142.6	41.7	32.5	0.36
11	1	240.00	Leg	PIPE 4.500x0.237	6.67	53.0	116.2	142.6	81.7	70.3	0.70
10	3	233.33	Leg	PIPE 5.563x0.375	6.68	43.6	239.4	275.0	115.8	101.8	0.48
10	2	226.67	Leg	PIPE 5.563x0.375	6.68	43.6	239.4	275.0	147.0	131.2	0.61
10	1	220.00	Leg	PIPE 5.563x0.375	6.68	43.6	239.4	275.0	169.2	152.9	0.71
9	3	213.33	Leg	PIPE 5.563x0.375	6.68	43.6	239.3	275.0	191.8	174.0	0.80
9	2	206.67	Leg	PIPE 5.563x0.375	6.68	43.6	239.3	275.0	209.0	190.4	0.87
9	1	200.00	Leg	PIPE 5.563x0.375	6.68	43.6	239.3	275.0	226.8	206.8	0.95
8	3	193.33	Leg	PIPE 6.625x0.340	6.68	36.0	274.8	302.1	242.1	221.0	0.88
8	2	186.67	Leg	PIPE 6.625x0.340	6.68	36.0	274.8	302.1	258.1	235.6	0.94
8	1	180.00	Leg	PIPE 6.625x0.340	6.68	36.0	274.8	302.1	272.3	248.8	0.99
7	3	173.33	Leg	PIPE 6.625x0.432	6.68	36.4	343.5	378.5	286.2	261.3	0.83
7	2	166.67	Leg	PIPE 6.625x0.432	6.68	36.4	343.5	378.5	298.8	272.5	0.87
7	1	160.00	Leg	PIPE 6.625x0.432	6.68	36.4	343.5	378.5	311.0	283.3	0.91
6	2	150.00	Leg	PIPE 8.625x0.375	10.02	41.2	386.4	437.4	326.8	297.1	0.85
6	1	140.00	Leg	PIPE 8.625x0.375	10.02	41.2	386.4	437.4	345.2	313.3	0.89
5	2	130.00	Leg	PIPE 8.625x0.375	10.02	41.2	386.4	437.4	364.3	329.8	0.94
5	1	120.00	Leg	PIPE 8.625x0.375	10.02	41.2	386.4	437.4	382.0	345.1	0.99
4	3	110.00	Leg	PIPE 8.625x0.500	10.02	41.7	505.5	574.2	400.3	360.6	0.79
4	2	100.00	Leg	PIPE 8.625x0.500	10.02	41.7	505.5	574.2	417.8	375.3	0.83
4	1	90.00	Leg	PIPE 8.625x0.500	10.02	41.7	505.5	574.2	435.8	390.2	0.86
3	3	80.00	Leg	PIPE 8.625x0.500	10.02	41.7	505.5	574.2	452.5	403.9	0.90
3	2	70.00	Leg	PIPE 8.625x0.500	10.02	41.7	505.5	574.2	469.6	417.7	0.93
3	1	60.00	Leg	PIPE 8.625x0.500	10.02	41.7	505.5	574.2	485.4	430.4	0.96
2	3	50.00	Leg	PIPE 10.750x0.500	10.02	33.1	668.7	724.5	503.0	444.3	0.75
2	2	40.00	Leg	PIPE 10.750x0.500	10.02	33.1	668.7	724.5	519.7	457.6	0.78
2	1	30.00	Leg	PIPE 10.750x0.500	10.02	33.1	668.7	724.5	538.0	471.8	0.80
1	2	15.00	Leg	PIPE 10.750x0.500	15.02	24.8	692.6	724.5	547.9	477.4	0.79
1	1	0.00	Leg	PIPE 10.750x0.500	15.02	24.8	692.6	724.5	574.6	497.3	0.83
12	2	265.00	Diag	L1 3/4x1 3/4x1/8	6.94	106.5	8.2	7.1	3.1	3.0	0.43
12	1	260.00	Diag	L1 3/4x1 3/4x1/8	6.96	106.9	8.1	7.1	3.6	3.7	0.53
11	3	253.33	Diag	L2x2x1/4	8.26	110.1	15.2	15.2	4.9	4.7	0.32
11	2	246.67	Diag	L2x2x1/4	8.28	110.4	15.2	15.2	11.5	11.6	0.77
11	1	240.00	Diag	L2x2x1/4	8.29	110.6	15.2	15.2	14.1	14.1	0.93
10	3	233.33	Diag	L2x2x1/4	8.50	116.9	15.2	15.2	11.4	11.1	0.75
10	2	226.67	Diag	L2x2x1/4	8.93	123.5	13.9	15.2	9.8	10.0	0.70
10	1	220.00	Diag	L2x2x1/4	9.39	131.3	12.3	15.2	9.1	8.9	0.74
9	3	213.33	Diag	L2x2x1/4	9.88	139.7	10.9	15.2	8.0	8.2	0.74
9	2	206.67	Diag	L2x2x1/4	10.40	148.3	9.7	15.2	7.7	7.6	0.80
9	1	200.00	Diag	L2x2x1/4	10.94	157.0	8.6	15.2	7.3	7.4	0.85
8	3	193.33	Diag	L2 1/2x2 1/2x3/16	11.49	129.9	12.1	14.1	7.5	7.4	0.62
8	2	186.67	Diag	L2 1/2x2 1/2x3/16	12.04	136.9	10.9	14.1	7.3	7.4	0.68
8	1	180.00	Diag	L2 1/2x2 1/2x3/16	12.60	144.0	9.8	14.1	7.4	7.3	0.75
7	3	173.33	Diag	L2 1/2x2 1/2x3/16	13.19	151.8	8.8	14.1	6.7	6.7	0.76
7	2	166.67	Diag	L2 1/2x2 1/2x3/16	13.81	159.6	8.0	14.1	6.8	6.8	0.85
7	1	160.00	Diag	L2 1/2x2 1/2x3/16	14.44	167.5	7.3	14.1	6.9	6.8	0.95
6	2	150.00	Diag	L3x3x1/4	16.93	162.8	12.3	15.2	8.5	8.6	0.70
6	1	140.00	Diag	L3x3x1/4	17.75	171.4	11.1	15.2	8.7	8.6	0.79
5	2	130.00	Diag	L3x3x1/4	18.59	165.0	11.9	28.1	8.8	8.8	0.74
5	1	120.00	Diag	L3x3x1/4	19.44	171.8	11.0	28.1	9.1	9.0	0.82
4	3	110.00	Diag	L3 1/2x3 1/2x1/4	20.30	156.7	15.5	30.4	9.2	9.2	0.59

4	2	100.00	Diag	L3 1/2x3 1/2x1/4	21.18	162.6	14.4	30.4	9.6	9.5	0.66
4	1	90.00	Diag	L3 1/2x3 1/2x1/4	22.06	168.6	13.4	30.4	9.8	9.8	0.73
3	3	80.00	Diag	L3 1/2x3 1/2x1/4	22.98	174.9	12.5	20.4	9.5	9.4	0.76
3	2	70.00	Diag	L3 1/2x3 1/2x1/4	23.93	181.3	11.6	20.4	9.7	9.8	0.84
3	1	60.00	Diag	L3 1/2x3 1/2x1/4	24.89	187.7	10.8	20.4	10.2	10.0	0.94
2	3	50.00	Diag	L4x4x1/4	25.83	169.9	15.2	30.4	11.1	11.2	0.73
2	2	40.00	Diag	L4x4x1/4	26.76	175.2	14.3	30.4	11.6	11.4	0.81
2	1	30.00	Diag	L4x4x1/4	27.69	180.6	13.4	30.4	11.8	11.9	0.88
1	2	15.00	Diag	L4x4x3/8	20.46	182.4	19.4	30.4	17.3	17.3	0.89
1	1	0.00	Diag	L4x4x3/8	20.98	187.6	18.4	30.4	17.5	17.5	0.96
12	2	265.00	Horiz	L1 3/4x1 3/4x3/16	4.79	145.5	6.6	10.7	2.0	2.1	0.31
10	3	233.33	Horiz	L1 3/4x1 3/4x3/16	4.94	144.7	6.7	10.7	2.0	1.8	0.30
1	2	15.00	Horiz	L4x4x1/4	13.16	161.2	16.9	30.4	11.9	11.7	0.71
1	1	0.00	Horiz	L4x4x1/4	13.91	168.1	15.5	30.4	12.4	12.2	0.80
1	2	15.00	SecH1	L3 1/2x3 1/2x1/4	6.58	117.2	15.2	15.2	9.5	9.5	0.62
1	2	15.00	SecD1	L3 1/2x3 1/2x1/4	9.74	169.3	13.3	15.2	7.4	7.4	0.56
1	2	15.00	PlanH1	L3 1/2x3 1/2x1/4	13.16	228.8	7.3	15.2	0.1	0.1	0.01
1	1	0.00	SecH1	L3 1/2x3 1/2x1/4	6.95	120.9	15.2	15.2	9.9	9.9	0.65
1	1	0.00	SecD1	L3 1/2x3 1/2x1/4	9.98	173.6	12.7	15.2	7.5	7.5	0.59
1	1	0.00	PlanH1	L3 1/2x3 1/2x1/4	13.91	241.9	6.5	15.2	0.1	0.1	0.01

Section M: SECTION PROPERTIES DATA

Sec	Pan	Memb. Type	Steel Grade	Conn. Type	Bolts Bolts	Bolt Size (in)	Bolt Grade	End Dist. (in)	Gusset Thick. (in)	kl/r	Comp Cap. (Kips)	Tens Cap. (Kips)	Bolt Cap. (Kips)	Bear. Cap. (Kips)	Block Shear (Kips)
12	2	Leg	A500 gr.CS	Tension	5	0.875	A325X	1.313	N/A	51.7	82.5	100.4	209.9T	N/A	N/A
12	2	Diag	A529 gr.50	Bolted	1	0.625	A325X	1.500	0.250	106.5	8.2	11.9	15.2S	9.8	7.1
12	2	Horiz	A529 gr.50	Bolted	1	0.625	A325X	1.500	0.250	145.5	6.6	17.4	15.2S	14.7	10.7
12	1	Leg	A500 gr.CS	Tension	5	0.875	A325X	1.313	N/A	51.7	82.5	100.4	209.9T	N/A	N/A
12	1	Diag	A529 gr.50	Bolted	1	0.625	A325X	1.500	0.250	106.9	8.1	11.9	15.2S	9.8	7.1
11	3	Leg	A500 gr.CS	Tension	5	1.000	A325X	1.500	N/A	53.0	116.2	142.6	275.3T	N/A	N/A
11	3	Diag	A529 gr.50	Bolted	1	0.625	A325X	1.500	0.250	110.1	17.4	27.3	15.2S	19.5	15.7
11	2	Leg	A500 gr.CS	Tension	5	1.000	A325X	1.500	N/A	53.0	116.2	142.6	275.3T	N/A	N/A
11	2	Diag	A529 gr.50	Bolted	1	0.625	A325X	1.500	0.250	110.4	17.3	27.3	15.2S	19.5	15.7
11	1	Leg	A500 gr.CS	Tension	5	1.000	A325X	1.500	N/A	53.0	116.2	142.6	275.3T	N/A	N/A
11	1	Diag	A529 gr.50	Bolted	1	0.625	A325X	1.500	0.250	110.6	17.3	27.3	15.2S	19.5	15.7
10	3	Leg	A500 gr.CS	Tension	5	1.000	A325X	2.400	N/A	43.6	239.4	275.0	275.3T	N/A	N/A
10	3	Diag	A529 gr.50	Bolted	1	0.625	A325X	1.500	0.250	116.9	15.5	27.3	15.2S	19.5	15.7
10	3	Horiz	A529 gr.50	Bolted	1	0.625	A325X	1.500	0.250	144.7	6.7	17.4	15.2S	14.7	10.7
10	2	Leg	A500 gr.CS	Tension	5	1.000	A325X	2.400	N/A	43.6	239.4	275.0	275.3T	N/A	N/A
10	2	Diag	A529 gr.50	Bolted	1	0.625	A325X	1.500	0.250	123.5	13.9	27.3	15.2S	19.5	15.7
10	1	Leg	A500 gr.CS	Tension	5	1.000	A325X	2.400	N/A	43.6	239.4	275.0	275.3T	N/A	N/A
10	1	Diag	A529 gr.50	Bolted	1	0.625	A325X	1.500	0.250	131.3	12.3	27.3	15.2S	19.5	15.7
9	3	Leg	A500 gr.CS	Tension	6	1.000	A325X	2.400	N/A	43.6	239.3	275.0	330.3T	N/A	N/A
9	3	Diag	A529 gr.50	Bolted	1	0.625	A325X	1.500	0.250	139.7	10.9	27.3	15.2S	19.5	15.7
9	2	Leg	A500 gr.CS	Tension	6	1.000	A325X	2.400	N/A	43.6	239.3	275.0	330.3T	N/A	N/A
9	2	Diag	A529 gr.50	Bolted	1	0.625	A325X	1.500	0.250	148.3	9.7	27.3	15.2S	19.5	15.7
9	1	Leg	A500 gr.CS	Tension	6	1.000	A325X	2.400	N/A	43.6	239.3	275.0	330.3T	N/A	N/A
9	1	Diag	A529 gr.50	Bolted	1	0.625	A325X	1.500	0.250	157.0	8.6	27.3	15.2S	19.5	15.7
8	3	Leg	A500 gr.CS	Tension	6	1.000	A325X	2.400	N/A	36.0	274.8	302.1	330.3T	N/A	N/A
8	3	Diag	A529 gr.50	Bolted	1	0.625	A325X	1.500	0.250	129.9	12.1	27.7	15.2S	14.7	14.1
8	2	Leg	A500 gr.CS	Tension	6	1.000	A325X	2.400	N/A	36.0	274.8	302.1	330.3T	N/A	N/A
8	2	Diag	A529 gr.50	Bolted	1	0.625	A325X	1.500	0.250	136.9	10.9	27.7	15.2S	14.7	14.1
8	1	Leg	A500 gr.CS	Tension	6	1.000	A325X	2.400	N/A	36.0	274.8	302.1	330.3T	N/A	N/A
8	1	Diag	A529 gr.50	Bolted	1	0.625	A325X	1.500	0.250	144.0	9.8	27.7	15.2S	14.7	14.1
7	3	Leg	A500 gr.CS	Tension	6	1.500	A325X	2.250	N/A	36.4	343.5	378.5	765.3T	N/A	N/A
7	3	Diag	A529 gr.50	Bolted	1	0.625	A325X	1.500	0.250	151.8	8.8	27.7	15.2S	14.7	14.1
7	2	Leg	A500 gr.CS	Tension	6	1.500	A325X	2.250	N/A	36.4	343.5	378.5	765.3T	N/A	N/A
7	2	Diag	A529 gr.50	Bolted	1	0.625	A325X	1.500	0.250	159.6	8.0	27.7	15.2S	14.7	14.1
7	1	Leg	A500 gr.CS	Tension	6	1.500	A325X	2.250	N/A	36.4	343.5	378.5	765.3T	N/A	N/A
7	1	Diag	A529 gr.50	Bolted	1	0.625	A325X	1.500	0.250	167.5	7.3	27.7	15.2S	14.7	14.1
6	2	Leg	A500 gr.CS	Tension	6	1.500	A325X	2.250	N/A	41.2	386.4	437.4	765.3T	N/A	N/A
6	2	Diag	A529 gr.50	Bolted	1	0.625	A325X	1.500	0.250	162.8	12.3	45.6	15.2S	19.5	21.8
6	1	Leg	A500 gr.CS	Tension	6	1.500	A325X	2.250	N/A	41.2	386.4	437.4	765.3T	N/A	N/A
6	1	Diag	A529 gr.50	Bolted	1	0.625	A325X	1.500	0.250	171.4	11.1	45.6	15.2S	19.5	21.8
5	2	Leg	A500 gr.CS	Tension	6	1.500	A325X	3.600	N/A	41.2	386.4	437.4	765.3T	N/A	N/A
5	2	Diag	A529 gr.50	Bolted	2	0.625	A325X	1.125	0.375	165.0	11.9	45.6	30.4S	34.1	28.1
5	1	Leg	A500 gr.CS	Tension	6	1.500	A325X	3.600	N/A	41.2	386.4	437.4	765.3T	N/A	N/A
5	1	Diag	A529 gr.50	Bolted	2	0.625	A325X	1.125	0.375	171.8	11.0	45.6	30.4S	34.1	28.1
4	3	Leg	A500 gr.CS	Tension	6	1.500	A325X	3.600	N/A	41.7	505.5	574.2	765.3T	N/A	N/A
4	3	Diag	A529 gr.50	Bolted	2	0.625	A325X	1.125	0.375	156.7	15.5	54.8	30.4S	34.1	31.1
4	2	Leg	A500 gr.CS	Tension	6	1.500	A325X	3.600	N/A	41.7	505.5	574.2	765.3T	N/A	N/A
4	2	Diag	A529 gr.50	Bolted	2	0.625	A325X	1.125	0.375	162.6	14.4	54.8	30.4S	34.1	31.1
4	1	Leg	A500 gr.CS	Tension	6	1.500	A325X	3.600	N/A	41.7	505.5	574.2	765.3T	N/A	N/A
4	1	Diag	A529 gr.50	Bolted	2	0.625	A325X	1.125	0.375	168.6	13.4	54.8	30.4S	34.1	31.1

3	3	Leg	A500	gr.CS	Tension	7	1.500	A325X	3.600	N/A	41.7	505.5	574.2	892.9T	N/A	N/A
3	3	Diag	A529	gr.50	Bolted	2	0.625	A325X	1.125	0.375	174.9	12.5	54.8	30.4S	34.1	20.4
3	2	Leg	A500	gr.CS	Tension	7	1.500	A325X	3.600	N/A	41.7	505.5	574.2	892.9T	N/A	N/A
3	2	Diag	A529	gr.50	Bolted	2	0.625	A325X	1.125	0.375	181.3	11.6	54.8	30.4S	34.1	20.4
3	1	Leg	A500	gr.CS	Tension	7	1.500	A325X	3.600	N/A	41.7	505.5	574.2	892.9T	N/A	N/A
3	1	Diag	A529	gr.50	Bolted	2	0.625	A325X	1.125	0.375	187.7	10.8	54.8	30.4S	34.1	20.4
2	3	Leg	A500	gr.CS	Tension	7	1.500	A325X	3.600	N/A	33.1	668.7	724.5	892.9T	N/A	N/A
2	3	Diag	A529	gr.50	Bolted	2	0.625	A325X	1.125	0.375	169.9	15.2	63.9	30.4S	34.1	34.2
2	2	Leg	A500	gr.CS	Tension	7	1.500	A325X	3.600	N/A	33.1	668.7	724.5	892.9T	N/A	N/A
2	2	Diag	A529	gr.50	Bolted	2	0.625	A325X	1.125	0.375	175.2	14.3	63.9	30.4S	34.1	34.2
2	1	Leg	A500	gr.CS	Tension	7	1.500	A325X	3.600	N/A	33.1	668.7	724.5	892.9T	N/A	N/A
2	1	Diag	A529	gr.50	Bolted	2	0.625	A325X	1.125	0.375	180.6	13.4	63.9	30.4S	34.1	34.2
1	2	Leg	A500	gr.CS	Tension	8	1.500	A325X	3.600	N/A	24.8	692.6	724.5	1020.4T	N/A	N/A
1	2	Diag	A529	gr.50	Bolted	2	0.625	A325X	1.125	0.375	182.4	19.4	94.1	30.4S	51.2	51.2
1	2	Horiz	A529	gr.50	Bolted	2	0.625	A325X	1.125	0.375	161.2	16.9	63.9	30.4S	34.1	34.2
1	2	SecH1	A529	gr.50	Bolted	1	0.625	A325X	1.500	0.250	117.2	27.8	54.8	15.2S	19.5	24.8
1	2	SecD1	A529	gr.50	Bolted	1	0.625	A325X	1.500	0.250	169.3	13.3	54.8	15.2S	19.5	24.8
1	2	PlanH1	A529	gr.50	Bolted	1	0.625	A325X	1.500	0.250	228.8	7.3	54.8	15.2S	19.5	24.8
1	1	Leg	A500	gr.CS	Tension	8	1.500	A325X	3.600	N/A	24.8	692.6	724.5	1020.4T	N/A	N/A
1	1	Diag	A529	gr.50	Bolted	2	0.625	A325X	1.125	0.375	187.6	18.4	94.1	30.4S	51.2	51.2
1	1	Horiz	A529	gr.50	Bolted	2	0.625	A325X	1.125	0.375	168.1	15.5	63.9	30.4S	34.1	34.2
1	1	SecH1	A529	gr.50	Bolted	1	0.625	A325X	1.500	0.250	120.9	26.1	54.8	15.2S	19.5	24.8
1	1	SecD1	A529	gr.50	Bolted	1	0.625	A325X	1.500	0.250	173.6	12.7	54.8	15.2S	19.5	24.8
1	1	PlanH1	A529	gr.50	Bolted	1	0.625	A325X	1.500	0.250	241.9	6.5	54.8	15.2S	19.5	24.8

Section N: LEG REACTION DATA

Load Combination Max Envelope
Wind Direction Maximum

Force-Y Download (Kips)	Force-Y Uplift (Kips)	Shear-X (Kips)	Shear-Z (Kips)	Max Shear (Kips)
598.52	517.07			53.54

Section O: TOWER FOUNDATION DATA

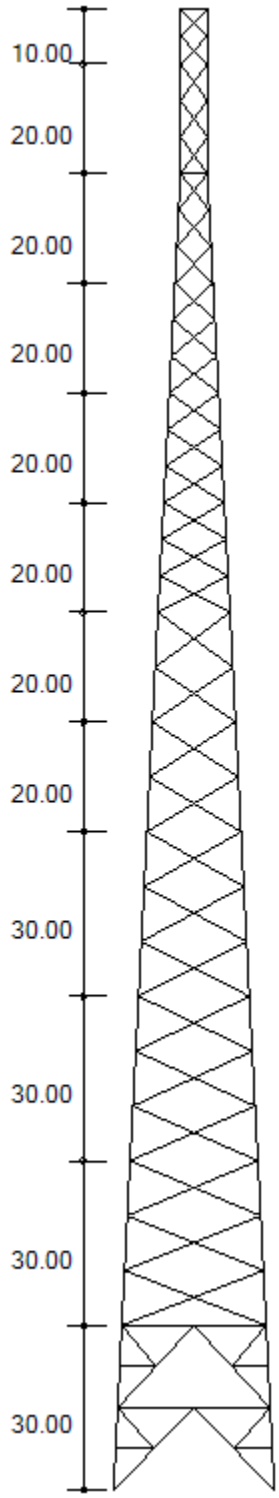
Load Combination Max Envelope
Wind Direction Maximum

Axial Load (Kips)	Shear Load-X (Kips)	Shear Load-Z (Kips)	Total Shear (Kips)	Moment-X (Kipsft)	Moment-Y (Kipsft)	Moment-Z (Kipsft)	Total Moment (Kipsft)
105.63	-88.20	0.00	88.20	-0.61	-2.91	14302.17	14302.17
79.23	-88.21	0.00	88.21	-0.45	-2.91	14302.04	14302.04

DESIGN SPECIFICATION

Design Standard: ANSI/TIA-222-G-2005 Add.2
Ultimate Design Wind Speed (No Ice) = 115.0 (mph)
Nominal Design Wind Speed (No Ice) = 89.1 (mph)
Basic Wind Speed (With Ice) = 30.0 (mph)
Design Ice Thickness = 1.00 (in)
Structure Class = II
Exposure Category = C
Topographic Category = 1

Sct.	Length (ft)	Top W. (in)	Bot Width (in)
1	30.00	315.81	351.81
2	30.00	279.81	315.81
3	30.00	241.97	279.81
4	30.00	205.97	241.97
5	20.00	181.97	205.97
6	20.00	157.97	181.97
7	20.00	132.24	157.97
8	20.00	108.24	132.24
9	20.00	83.32	108.24
10	20.00	59.32	83.32
11	20.00	58.40	59.32
12	10.00	57.53	58.40



MAXIMUM BASE REACTIONS

Download (Kips)	598.5
Uplift (Kips)	517.1
Shear (Kips)	53.5

PROXIMITY MAP

LOCATION MAP

START FROM BARKLEY REGIONAL AIRPORT (100 TERMINAL DRIVE, WEST PADUCAH, KY) AND TAKE OLD HINKLEVILLE RD SOUTH EAST FOR 2.6 MILES TO BLENDVILLE RD, TURN LEFT AND DRIVE FOR 5.1 MILES UNTIL TURNING RIGHT ON JACK PAXTON DR. FOLLOW UNTIL THE ON RAMP TO GO SOUTH ON HWY 24. ONCE ON HWY 24 DRIVE SOUTH FOR 9.1 MILES UNTIL BENTON RD. EXIT RIGHT OFF HWY 24 ONTO BENTON RD AND DRIVE FOR 3.2 MILES UNTIL TAKING A RIGHT ONTO SCALE RD, DRIVE 9.1 MILES ON SCALE RD UNTIL IT TURNS INTO BRIENSBURG RD. CONTINUE DRIVING ON BRIENSBURG RD FOR 1.2 MILES AND TURN RIGHT ON HWY 68. DRIVE 5.4 MILES ON HWY 68 AND EXIT LEFT/NORTH ONTO CAPP SPRING RD. DRIVE 0.9 MILES ON CAPP SPRING RD AND THE DESTINATION WILL BE ON THE LEFT

DRIVING DIRECTIONS

PROJECT INFORMATION

SITE NAME:
EV FAIRDEALING WEST
SITE NUMBER:
KY0114

PROJECT LOCATION:

CAPP SPRINGS ROAD, BENTON, KY 42025

LATITUDE	36.8632°
LONGITUDE	-88.2486°
GROUND ELEVATION	485.56'±

SITE CONSTRUCTION MANAGER:	
NAME	TOWERCO
ADDRESS	5000 VALLEYSTONE DRIVE
CITY, STATE, ZIP	CARY, NC 27519
CONTACT	JENNIFER ADAMS
PHONE	(919) 653-5708
SITE APPLICANT:	
NAME	N/A
ADDRESS	N/A
CITY, STATE, ZIP	N/A
CONTACT	N/A
PHONE	N/A
SURVEYOR:	
NAME	N/A
ADDRESS	N/A
CITY, STATE, ZIP	N/A
CONTACT	N/A
PHONE	N/A
CIVIL ENGINEER:	
NAME	TELETEK STRUCTURES
ADDRESS	1600 KING ST. N.
CITY, STATE, ZIP	ST. JACOBS, ON, N0B 2N0
CONTACT	LAURA MARCINIWE
PHONE	(519) 206-2060
GEOTECHNICAL ENGINEER:	
NAME	ENGINEERED TOWER SOLUTIONS
ADDRESS	PLLC - 3227 WELLINGTON COURT
CITY, STATE, ZIP	RALEIGH, NC 27615
CONTACT	N/A
PHONE	(919) 782-2710
ELECTRICAL ENGINEER:	
NAME	N/A
ADDRESS	N/A
CITY, STATE, ZIP	N/A
CONTACT	N/A
PHONE	N/A
PROPERTY INFORMATION:	
NAME	N/A
ADDRESS	N/A
CITY, STATE, ZIP	N/A
CONTACT	N/A
PHONE	N/A
UTILITIES:	
POWER COMPANY	N/A
CONTACT	N/A
PHONE	N/A
PHONE# NEAR SITE	N/A

CONTACT INFORMATION

PROJECT DESCRIPTION:
FOUNDATION DESIGN DRAWINGS

TOWER TYPE:
270 0' RTL TOWER

PROJECT INFORMATION

SHEET	DESCRIPTION	REV
KY0114-T1	TITLE SHEET	0
KY0114-N1	PROJECT NOTES	0
KY0114-B1	BILL OF MATERIALS	0
KY0114-F1	FOUNDATION INSTALLATION DETAILS - DRILLED PIER	0

INDEX OF SHEETS

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STATE OF KENTUCKY
RAPHAEL MOHAMED
24429
LICENSED PROFESSIONAL ENGINEER

TELETEK STRUCTURES	3263	0	ISSUED FOR CONSTRUCTION	2024-12-23	PL	LEM
PREPARED BY	FILE No.	REV.	DESCRIPTION	DATE	DWN BY	CHK BY

TowerCo
5000 VALLEYSTONE DRIVE
CARY, NC 27519
(919) 653-5708

TELETEK STRUCTURES

SITE: **EV FAIRDEALING WEST**

CODE: **KY0114 [ENGTEL-885]**

DRAWING TITLE:
TITLE SHEET

SCALE:	NONE
DATE	2024-12-23
DRAWN BY:	PL
APPROVED BY:	LEM
FILE No.	3263
DRAWING No:	**KY0114-T1**

LAST UPDATE: 2024-12-23

S:\TELETEK JOB FILES\JOBS 3251-3300\3263 - TOWERCO - KY0114 EV FAIRDEALING WEST\DETAILING\CONSTRUCTION\3263_KY0114_FOUNDATION_DEC2024_REV0.DWG

GENERAL NOTES:

1. WORK SHALL BE IN ACCORDANCE WITH LOCAL CODES, SAFETY REGULATIONS AND UNLESS OTHERWISE NOTED, THE LATEST REVISION OF ACI 318, "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE". PROCEDURES FOR THE PROTECTION OF EXCAVATIONS, EXISTING CONSTRUCTION AND UTILITIES SHALL BE ESTABLISHED PRIOR TO FOUNDATION INSTALLATION.

2. ALL WORK PRESENTED ON THESE DRAWINGS MUST BE COMPLETED BY THE CONTRACTOR UNLESS NOTED OTHERWISE. THE CONTRACTOR MUST HAVE CONSIDERABLE EXPERIENCE IN PERFORMANCE OF WORK SIMILAR TO THAT DESCRIBED HEREIN. BY ACCEPTANCE OF THIS ASSIGNMENT, THE CONTRACTOR IS ATTESTING THAT HE DOES HAVE SUFFICIENT EXPERIENCE AND ABILITY, THAT HE IS KNOWLEDGEABLE OF THE WORK TO BE PERFORMED AND THAT HE IS PROPERLY LICENSED AND PROPERLY REGISTERED TO DO THIS WORK IN THE STATE.

3. ALL PRODUCT MANUFACTURER'S INSTRUCTIONS SHALL BE FOLLOWED EXACTLY AND SHALL SUPERCEDE ANY CONFLICTING NOTES ENCLOSED HEREIN.

4. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE MODIFICATION PROCEDURE AND SEQUENCE TO INSURE THE SAFETY OF THE STRUCTURE AND IT'S COMPONENT PARTS DURING ERECTION AND/OR FIELD MODIFICATIONS. THIS INCLUDES, BUT IS NOT LIMITED TO, THE ADDITION OF TEMPORARY BRACING, GUYS OR TIE-DOWNS THAT MAY BE NECESSARY, SUCH MATERIAL SHALL BE REMOVED AND SHALL REMAIN THE PROPERTY OF THE CONTRACTOR AFTER THE COMPLETION OF THE PROJECT.

5. ALL DIMENSIONS, ELEVATIONS, AND EXISTING CONDITIONS SHOWN ON THE DRAWINGS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO BEGINNING ANY MATERIALS ORDERING, FABRICATION OR CONSTRUCTION WORK ON THIS PROJECT. CONTRACTOR SHALL NOT SCALE CONTRACT DRAWINGS IN LIEU OF FIELD VERIFICATION. ANY DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND THE OWNER'S ENGINEER. THE DISCREPANCIES MUST BE RESOLVED BEFORE THE CONTRACTOR IS TO PROCEED WITH THE WORK. THE CONTRACT DOCUMENTS DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES. OBSERVATION VISITS TO THE SITE BY THE OWNER AND/OR THE ENGINEER SHALL NOT INCLUDE INSPECTION OF THE PROTECTIVE MEASURES AND PROCEDURES.

6. ALL MATERIALS AND EQUIPMENT FURNISHED SHALL BE NEW AND OF GOOD QUALITY, FREE FROM FAULTS AND DEFECTS AND IN CONFORMANCE WITH THE CONTRACT DOCUMENTS. ANY AND ALL SUBSTITUTIONS MUST BE PROPERLY APPROVED AND AUTHORIZED IN WRITING BY THE OWNER AND ENGINEER PRIOR TO INSTALLATION. THE CONTRACTOR SHALL FURNISH SATISFACTORY EVIDENCE AS TO THE KIND AND QUALITY OF THE MATERIALS AND EQUIPMENT BEING SUBSTITUTED.

7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR INSURING THAT THIS PROJECT AND RELATED WORK COMPLIES WITH ALL APPLICABLE AND LOCAL, STATE, AND FEDERAL SAFETY CODES AND REGULATIONS GOVERNING THIS WORK.

8. CONCRETE MATERIALS SHALL CONFORM TO THE APPROPRIATE STATE REQUIREMENTS FOR EXPOSED STRUCTURAL CONCRETE.

9. PROPORTIONS OF CONCRETE MATERIALS SHALL BE SUITABLE FOR THE INSTALLATION METHOD UTILIZED AND SHALL RESULT IN DURABLE CONCRETE FOR RESISTANCE TO LOCAL ANTICIPATED AGGRESSIVE ACTIONS. THE DURABILITY REQUIREMENTS OF ACI 318 CHAPTER 4 SHALL BE SATISFIED BASED ON THE CONDITIONS EXPECTED AT THE SITE. AS A MINIMUM, CONCRETE SHALL DEVELOP A MINIMUM COMPRESSIVE STRENGTH OF 4,500 PSI IN 28 DAYS.

10. MAXIMUM SIZE OF AGGREGATE SHALL NOT EXCEED SIZE SUITABLE FOR INSTALLATION METHOD UTILIZED OR 1/3 CLEAR DISTANCE BEHIND OR BETWEEN REINFORCING. MAXIMUM SIZE MAY BE INCREASED TO 2/3 CLEAR DISTANCE PROVIDED WORKABILITY AND METHODS OF CONSOLIDATION SUCH AS VIBRATING WILL PREVENT HONEYCOMBS OR VOIDS.

11. REINFORCEMENT SHALL BE DEFORMED AND CONFORM TO THE REQUIREMENTS OF ASTM A615 GRADE 60 UNLESS OTHERWISE NOTED. SPLICES IN REINFORCEMENT SHALL NOT BE ALLOWED UNLESS OTHERWISE INDICATED.

12. WELDING IS PROHIBITED ON REINFORCING STEEL AND EMBEDMENTS.

13. MINIMUM CONCRETE COVER FOR REINFORCEMENT SHALL BE 3 INCHES (76mm) UNLESS OTHERWISE NOTED. APPROVED SPACERS SHALL BE USED TO INSURE A 3 INCH (76mm) MINIMUM COVER ON REINFORCEMENT.

14. CONCRETE COVER FROM TOP OF FOUNDATION TO ENDS OF VERTICAL REINFORCEMENT SHALL NOT EXCEED 3 INCHES (76Mmm) NOR BE LESS THAN 2 INCHES (51mm).

15. FOUNDATION DEPTH INDICATED IS BASED ON THE GRADE LINE DESCRIBED IN THE REFERENCED GEOTECHNICAL REPORT. FOUNDATION MODIFICATION MAY BE REQUIRED IN THE EVENT CUT OR FILL OPERATIONS HAVE TAKEN PLACE SUBSEQUENT TO THE GEOTECHNICAL INVESTIGATION.

16. FOUNDATION DESIGN ASSUMES THE RECOMMENDATIONS IN THE REFERENCED GEOTECHNICAL REPORT CONCERNING VERIFICATION OF SUBSURFACE CONDITIONS ARE IMPLEMENTED PRIOR TO PLACEMENT OF CONCRETE.

17. FOUNDATION INSTALLATION SHALL BE SUPERVISED BY PERSONNEL KNOWLEDGEABLE AND EXPERIENCED WITH THE PROPOSED FOUNDATION TYPE. CONSTRUCTION SHALL BE IN ACCORDANCE WITH GENERALLY ACCEPTED INSTALLATION PRACTICES.

18. FOUNDATION DESIGN ASSUMES INSTALLATION PROCEDURES WILL INCORPORATE THE PROCEDURES RECOMMENDED IN THE REFERENCED GEOTECHNICAL REPORT.

19. FOUNDATION DESIGN ASSUMES FIELD INSPECTIONS WILL BE PERFORMED TO VERIFY THAT CONSTRUCTION MATERIALS, INSTALLATION METHODS AND ASSUMED DESIGN PARAMETERS ARE ACCEPTABLE BASED ON CONDITIONS EXISTING AT THE SITE.

20. LOOSE MATERIAL SHALL BE REMOVED FROM THE BOTTOM OF EXCAVATION PRIOR TO CONCRETE PLACEMENT. SIDES OF EXCAVATION SHALL BE ROUGH AND FREE OF LOOSE CUTTINGS.

21. CONCRETE SHALL BE PLACED IN A MANNER THAT WILL PREVENT SEGREGATION OF CONCRETE MATERIALS, INFILTRATION OF WATER OR SOIL AND OTHER OCCURRENCES WHICH MAY DECREASE THE STRENGTH OR DURABILITY OF THE FOUNDATION.

22. CONCRETE PREFERABLY SHALL BE PLACED AGAINST UNDISTURBED SOIL. WHEN FORMS ARE NECESSARY, THEY SHALL BE REMOVED PRIOR TO PLACING STRUCTURAL BACKFILL.

23. CONSTRUCTION JOINTS, IF REQUIRED AT THE BASE OF THE PIERS, MUST BE INTENTIONALLY ROUGHENED TO A FULL AMPLITUDE OF 1/4 INCH (6mm). FOUNDATION DESIGN ASSUMES NO OTHER CONSTRUCTION JOINTS.

24. TOP OF FOUNDATION OUTSIDE LIMITS OF ANCHOR BOLTS SHALL BE SLOPED TO DRAIN WITH A FLOATED FINISH. AREA INSIDE LIMITS OF ANCHOR BOLTS SHALL BE LEVEL WITH A SCRATCHED FINISH.

25. EXPOSED EDGES OF CONCRETE SHALL BE CHAMFERED 1" x 1".

26. SPACERS SHALL BE ATTACHED INTERMITTENTLY THROUGHOUT THE ENTIRE LENGTH OF VERTICAL REINFORCING CAGES TO INSURE CONCENTRIC PLACEMENT OF CAGES IN EXCAVATIONS.

27. FOUNDATION DEPTH INDICATED IS BASED ON THE GRADE LINE DESCRIBED IN THE REFERENCED GEOTECHNICAL REPORT. FOUNDATION MODIFICATION MAY BE REQUIRED IN THE EVENT CUT OR FILL OPERATIONS HAVE TAKEN PLACE SUBSEQUENT TO THE GEOTECHNICAL INVESTIGATION.

28. FOR FOUNDATION INSTALLATION TOLERANCES SEE STRUCTURE ASSEMBLY DRAWING.

29. FREE FALL CONCRETE MAY BE USED PROVIDED FALL IS VERTICAL DOWN WITHOUT HITTING SIDES OF EXCAVATION, FORMWORK, REINFORCING BARS, FORM TIES, CAGE BRACING OR OTHER OBSTRUCTIONS. UNDER NO CIRCUMSTANCES SHALL CONCRETE FALL THROUGH WATER.

30. FOUNDATION DESIGN ASSUMES CASING, IF USED, WILL NOT BE LEFT IN PLACE. EQUIPMENT, PROCEDURES, AND PROPORTIONS OF MATERIALS SHALL INSURE CONCRETE WILL NOT BE ADVERSELY DISTURBED UPON CASING REMOVAL.

31. DRILLING FLUID, IF USED, SHALL BE FULLY DISPLACED BY CONCRETE AND SHALL NOT BE DETRIMENTAL TO CONCRETE OR SURROUNDING SOIL. CONTAMINATED CONCRETE SHALL BE REMOVED FROM TOP OF FOUNDATION AND REPLACED WITH FRESH CONCRETE.

CONSTRUCTION INSPECTION NOTES:

1. FOUNDATION AND GEOTECHNICAL INSPECTIONS: A THIRD PARTY INSPECTION SHALL BE PERFORMED TO VERIFY:

A. PARAMETERS IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT FOR THE SITE
B. FOUNDATION DIMENSIONS
C. REINFORCING STEEL GRADE, SIZE, CONDITION, SUPPORT, PLACEMENT AND COVER
D. CONCRETE MIX DESIGN DOCUMENTATION MATCHES STRENGTH AND DURABILITY REQUIREMENTS
E. CONCRETE TESTS REQUIRED TO BE PERFORMED PRIOR TO PLACEMENT OF CONCRETE, INCLUDING SLUMP, TEMPERATURE, AIR CONTENT, AND TEST CYLINDERS
F. ANCHOR ROD AND/OR POST-INSTALLED REBAR DIMENSIONS AND PLACEMENT, SIZE, EMBEDMENT DEPTH, PROJECTION ABOVE CONCRETE, ORIENTATION, PATTERN, AND ALIGNMENT
G. CONDITION OF SUBGRADE IMMEDIATELY PRIOR TO CONCRETE PLACEMENT
H. PROPER CONCRETE PLACEMENT, AVOIDING SEGREGATION OF AGGREGATES, AND CURING
I. STRUCTURAL BACKFILL MATERIAL AND PLACEMENT, INCLUDING MAXIMUM LIFT THICKNESS, MOISTURE CONTENT AND DENSITY.

TELETEK STRUCTURES	3263	0	ISSUED FOR CONSTRUCTION	2024-12-23	PL	LEM
PREPARED BY	FILE No.	REV.	DESCRIPTION	DATE	DWN BY	CHK BY

TowerCo
5000 VALLEYSTONE DRIVE
CARY, NC 27519
(919) 653-6726

TELETEK STRUCTURES

SITE: EV FAIRDEALING WEST
CODE: KY0114 [ENGTEL-885]
DRAWING TITLE: PROJECT NOTES

SCALE:	NONE
DATE:	2024-12-23
DRAWN BY:	PL
APPROVED BY:	LEM
FILE No:	3263
DRAWING No:	KY0114-N1

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LAST UPDATE: 2024-12-23

BILL OF MATERIAL - DRILLED PIER (TOTAL FOR ALL 3)

MARK NO.	DESCRIPTION	SIZE	QTY
–	4500 PSI MIX	97.2 CY (32.4 CY PER PIER)	1
VERT–01	VERTICAL BAR	#8 ASTM A615–60 x 44'–0"	54
TIE–01	TIE	#5 ASTM A615–60 x 16'–0"	180
HORIZ–01	HORIZONTAL REBAR	#3 ASTM A615–60 x 5'–9"	36
PIPE	TEMPORARY LINER (SEE SITE PREPARATION NOTE 4. ON F1 DRAWING)	PL 3/8"	3

APPLICABLE CODES AND STANDARDS:

1. ANSI/TIA–222–G STRUCTURAL STANDARDS FOR ANTENNA SUPPORTING STRUCTURES AND ANTENNAS.
2. 2015 INTERNATIONAL BUILDING CODE
3. 2018 KENTUCKY BUILDING CODE
4. ACI 318: AMERICAN CONCRETE INSTITUTE, BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE, 318–14.
5. CRSI: CONCRETE REINFORCING STEEL INSTITUTE, MANUAL OF STANDARD PRACTICE, LATEST EDITION.
6. AISC: AMERICAN INSTITUTE OF STEEL CONSTRUCTION, MANUAL OF STEEL CONSTRUCTION, 13TH EDITION.
7. AWS: AMERICAN WELDING SOCIETY D1.1, STRUCTURAL WELDING CODE, LATEST EDITION.

TELETEK STRUCTURES	3263	0	ISSUED FOR CONSTRUCTION	2024-12-23	PL	LEM
PREPARED BY	FILE No.	REV.	DESCRIPTION	DATE	DWN BY	CHK BY

TowerCo
5000 VALLEYSTONE DRIVE
CARY, NC 27519
(919) 653-4708

TELETEK STRUCTURES

SITE: EV FAIRDEALING WEST

CODE: KY0114 [ENGTEL-885]

DRAWING TITLE: BILL OF MATERIALS

SCALE: NONE
DATE: 2024-12-23
DRAWN BY: PL
APPROVED BY: LEM
FILE No: 3263
DRAWING No: KY0114-B01

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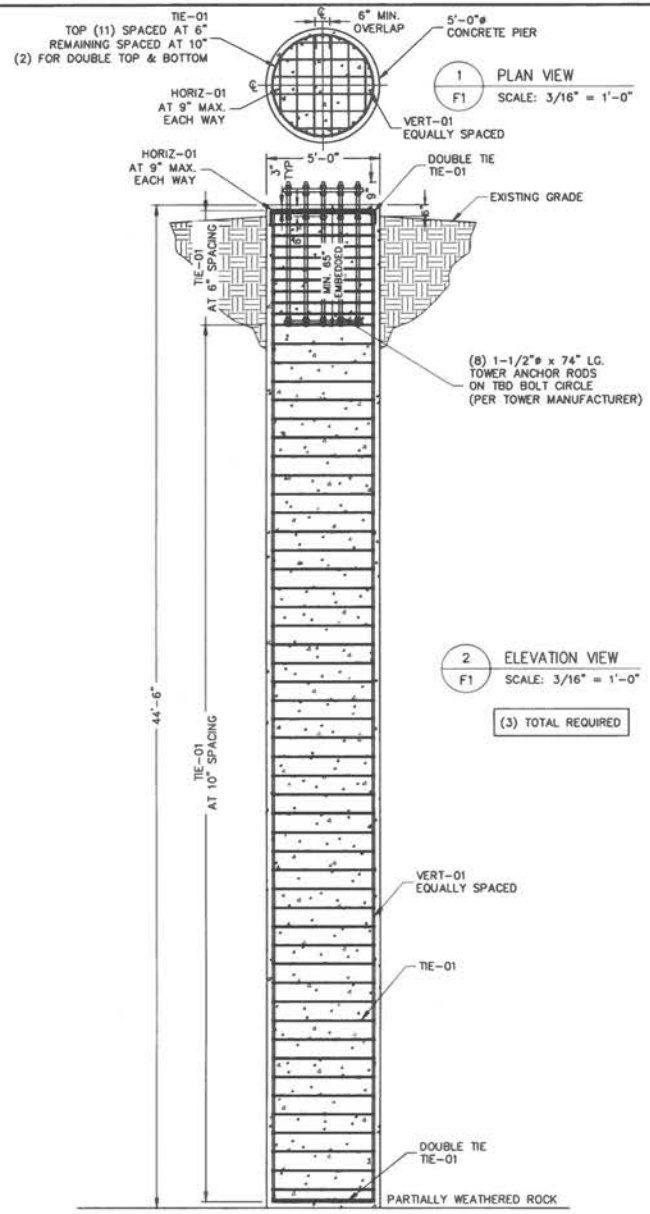
LAST UPDATE : 2024–12–23



DESIGN NOTES:

TOWER DESIGN DRAWINGS BY ROHN DATED DECEMBER 05, 2024, FILE # 247884 WITH DESIGN CRITERIA:

A. TOWER DESIGN CONFIRMS TO ANSI/TIA-222-G
B. ULTIMATE WIND SPEED (NO ICE): 115 MPH PER ASCE 7-10
C. BASIC WIND SPEED (w/ICE): 30 MPH PER ASCE 7-10
D. DESIGN ICE THICKNESS: 1.0 INCH PER ASCE 7-10
E. RISK CATEGORY II
F. EXPOSURE CATEGORY C
G. TOPOGRAPHIC CATEGORY 1
H. SEISMIC DESIGN PARAMETERS, Ss: 0.880, S1: 0.300, SITE CLASS: D

TOTAL MOMENT, 14302.2 ft-kips

TOTAL SHEAR, 88.2 kips

COMPRESSION PER LEG, 598.5 kips

TENSION PER LEG, 517.1 kips

SHEAR PER LEG, 88.2 kips

FOUNDATION NOTES:

FOUNDATION DESIGN HAS BEEN BASED ON GEOTECHNICAL REPORT NO. 24130449 DATED 21/NOVEMBER/2024 BY ENGINEERED TOWER SOLUTIONS.

1. CONCRETE SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4,500 PSI.
2. REBAR SHALL CONFORM TO ASTM SPECIFICATION A615.
3. ALL REBAR SHALL HAVE 3 INCHES MINIMUM COVER.
4. AGGREGATE: ASTM C33, 3/4 INCH MAX
5. CEMENT: ASTM C150 TYPE I
6. WATER: CLEAR, POTABLE
7. AIR ENTRAINMENT: ASTM C260, 6%
8. ALL EXPOSED CONCRETE CORNERS SHALL BE CHAMFERED 1 INCH.
9. SEE GEOTECHNICAL REPORT FOR INSTALLATION REQUIREMENTS.

SITE PREPARATION NOTES:

1. REFER TO GEOTECHNICAL REPORT BY TENGINEERED TOWER SOLUTIONS, JOB #24130449 DATED NOVEMBER 21, 2024.
2. EXCAVATION WILL BE NEAR 44 FEET IN DEPTH. ANTICIPATE PARTIALLY WEATHERED ROCK FROM 42 FEET TO THE BASE OF THE EXCAVATION.
3. WATER TABLE AT TIME OF INSPECTION WAS ENCOUNTERED AT 33 FEET. NOTE THAT THIS MAY FLUCTUATE SEASONALLY.
4. ALL DEBRIS, LOOSE OR DISTURBED SOIL SHOULD BE REMOVED FROM THE EXCAVATION PRIOR TO PLACING REINFORCED STEEL AND/OR CONCRETE. REINFORCING STEEL AND/OR CONCRETE SHOULD BE PLACED IMMEDIATELY UPON COMPLETION OF THE EXCAVATION.
5. TEMPORARY STEEL CASING RECOMMENDED TO BE ON SITE TO CONTROL SEEPAGE AND/OR CAVING DURING INSTALLATION (BEND 3/8" PL INTO 5'-0"ø) IF REQUIRED. THE PROTECTIVE STEEL CASING SHOULD BE EXTRACTED AS CONCRETE IS PLACED. A HEAD OF CONCRETE SHOULD BE MAINTAINED ABOVE THE BOTTOM OF THE CASING TO PREVENT SOIL AND WATER INTRUSION INTO THE CONCRETE BELOW THE CASING.
6. IF WATER IS PRESENT DURING CONCRETE PLACEMENT AND/OR DRILLING FLUIDS ARE USED TO MAINTAIN HOLE STABILITY, CONCRETE SHOULD BE PUMPED OR OTHERWISE DISCHARGED TO THE BOTTOM OF THE HOLE VIA A HOSE OR TREMIE PIPE. THE END OF THE HOSE OR TREMIE PIPE MUST REMAIN BELOW THE TOP SURFACE OF ANY WATER, DRILLING FLUID AND THE IN-PLACE CONCRETE AT ALL TIMES.
7. MATERIAL TO BE COMPACTED TO 90% MAXIMUM DRY DENSITY OBTAINED FROM ASTM D1557.

TELETEK STRUCTURES	3263	0	ISSUED FOR CONSTRUCTION	2024-12-23	PL	LEM
PREPARED BY	FILE No.	REV.	DESCRIPTION	DATE	DWN BY	CHK BY

TowerCo
5000 VALLEYSTONE DRIVE
CARY, NC 27519
(919) 653-6708

SITE: EV FAIRDEALING WEST

CODE: KY0114 [ENGTEL-885]

DRAWING TITLE:
FOUNDATION INSTALLATION DETAILS
DRILLED PIER

SCALE:	AS SHOWN
DATE:	2024-12-23
DRAWN BY:	PL
APPROVED BY:	LEM
FILE No.:	3263
DRAWING No.:	KY0114-F1

LAST UPDATE: 2024-12-23

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PROXIMITY MAP

LOCATION MAP

START FROM BARKLEY REGIONAL AIRPORT (100 TERMINAL DRIVE, WEST PADUCAH, KY) AND TAKE OLD HINKLEVILLE RD SOUTH EAST FOR 2.6 MILES TO BLENDVILLE RD, TURN LEFT AND DRIVE FOR 5.1 MILES UNTIL TURNING RIGHT ON JACK PAXTON DR. FOLLOW UNTIL THE ON RAMP TO GO SOUTH ON HWY 24. ONCE ON HWY 24 DRIVE SOUTH FOR 9.1 MILES UNTIL BENTON RD. EXIT RIGHT OFF HWY 24 ONTO BENTON RD AND DRIVE FOR 3.2 MILES UNTIL TAKING A RIGHT ONTO SCALE RD, DRIVE 9.1 MILES ON SCALE RD UNTIL IT TURNS INTO BRIENSBURG RD. CONTINUE DRIVING ON BRIENSBURG RD FOR 1.2 MILES AND TURN RIGHT ON HWY 68. DRIVE 5.4 MILES ON HWY 68 AND EXIT LEFT/NORTH ONTO CAPP SPRING RD. DRIVE 0.9 MILES ON CAPP SPRING RD AND THE DESTINATION WILL BE ON THE LEFT

DRIVING DIRECTIONS

PROJECT INFORMATION

SITE NAME:
EV FAIRDEALING WEST
SITE NUMBER:
KY0114

PROJECT LOCATION:

CAPP SPRINGS ROAD, BENTON, KY 42025

LATITUDE	36.8632°
LONGITUDE	-88.2486°
GROUND ELEVATION	485.56'±

SITE CONSTRUCTION MANAGER:	
NAME	TOWERCO
ADDRESS	5000 VALLEYSTONE DRIVE
CITY, STATE, ZIP	CARY, NC 27519
CONTACT	JENNIFER ADAMS
PHONE	(919) 653-5708
SITE APPLICANT:	
NAME	N/A
ADDRESS	N/A
CITY, STATE, ZIP	N/A
CONTACT	N/A
PHONE	N/A
SURVEYOR:	
NAME	N/A
ADDRESS	N/A
CITY, STATE, ZIP	N/A
CONTACT	N/A
PHONE	N/A
CIVIL ENGINEER:	
NAME	TELETEK STRUCTURES
ADDRESS	1600 KING ST. N.
CITY, STATE, ZIP	ST. JACOBS, ON, N0B 2N0
CONTACT	LAURA MARCINIWE
PHONE	(519) 208-2060
GEOTECHNICAL ENGINEER:	
NAME	ENGINEERED TOWER SOLUTIONS
ADDRESS	PLLC - 3227 WELLINGTON COURT
CITY, STATE, ZIP	RALEIGH, NC 27615
CONTACT	N/A
PHONE	(919) 782-2710
ELECTRICAL ENGINEER:	
NAME	N/A
ADDRESS	N/A
CITY, STATE, ZIP	N/A
CONTACT	N/A
PHONE	N/A
PROPERTY INFORMATION:	
NAME	N/A
ADDRESS	N/A
CITY, STATE, ZIP	N/A
CONTACT	N/A
PHONE	N/A
UTILITIES:	
POWER COMPANY	N/A
CONTACT	N/A
PHONE	N/A
PHONE# NEAR SITE	N/A

CONTACT INFORMATION

PROJECT DESCRIPTION:
FOUNDATION DESIGN CALCULATIONS

TOWER TYPE:
270.0' RTL TOWER

PROJECT INFORMATION

SHEET	DESCRIPTION	REV
KY0114-T1	TITLE SHEET	0
KY0114-C1	DESIGN CALCULATIONS	0

INDEX OF SHEETS

STATE OF KENTUCKY
RAPHAEL MOHAMED
24429
LICENSED
PROFESSIONAL ENGINEER

TELETEK STRUCTURES	3263	0	ISSUED FOR REVIEW	2024-12-23	PL	LEM
PREPARED BY	FILE No.	REV.	DESCRIPTION	DATE	DWN BY	CHK BY

TowerCo
5000 VALLEYSTONE DRIVE
CARY, NC 27519
(919) 653-5708

TELETEK STRUCTURES

SITE: EV FAIRDEALING WEST

CODE: KY0114 [ENGTEL-885]

DRAWING TITLE:
TITLE SHEET

SCALE:	NONE
DATE:	2024-12-23
DRAWN BY:	PL
APPROVED BY:	LEM
FILE No:	3263
DRAWING No:	KY0114-T1

LAST UPDATE : 2024-12-23

S:\TELETEK JOB FILES\JOBS 3251-3300\3263 - TOWERCO - KY0114 EV FAIRDEALING WEST\ENGINEERING\3263_KY0114_CALCULATIONS_DEC2024.DWG

Drilled Pier Foundation

BU # :	KY0114
Site Name:	EV Fairdealing West
Order Number:	3263
TIA-222 Revison:	G
Tower Type:	Self Support

Applied Loads	Comp.	Uplift
Moment (kip-ft)	0	
Axial Force (kips)	598.5	517.1
Shear Force (kips)	53.5	53.5

Material Properties		
Concrete Strength, f'c:	4.5	ksi
Rebar Strength, Fy:	60	ksi
Tie Yield Strength, Fyt:	40	ksi

Pier Design Data		
Depth	44	ft
Ext. Above Grade	0.5	ft
Pier Section 1		
From 0.5' above grade to 44' below grade		
Pier Diameter	5	ft
Rebar Quantity	18	
Rebar Size	8	
Clear Cover to Ties	3	in
Tie Size	4	
Tie Spacing	12	in

Rebar & Pier Options

Embedded Pole Inputs

Belled Pier Inputs

Analysis Results		
Soil Lateral Check	*Compression*	*Uplift*
$D_{v=0}$ (ft from TOC)	20.89	20.89
Soil Safety Factor	33.44	33.44
Max Moment (kip-ft)	696.57	696.57
Rating	*4.0%*	*4.0%*
Soil Vertical Check	*Compression*	*Uplift*
Skin Friction (kips)	520.72	520.72
End Bearing (kips)	668.50	-
Weight of Concrete (kips)	141.08	105.81
Total Capacity (kips)	1189.22	626.53
Axial (kips)	739.58	517.10
Rating	*62.2%*	*82.5%*
Reinforced Concrete Flexure	*Compression*	*Uplift*
Critical Depth (ft from TOC)	21.25	17.62
Critical Moment (kip-ft)	696.27	672.83
Critical Moment Capacity	2521.18	1012.28
Rating	*27.6%*	*66.5%*
Reinforced Concrete Shear	*Compression*	*Uplift*
Critical Depth (ft from TOC)	31.93	0.00
Critical Shear (kip)	58.09	53.50
Critical Shear Capacity	540.50	202.75
Rating	*10.7%*	*26.4%*

Structural Foundation Rating	**66.5%**
Soil Interaction Rating	**82.5%**

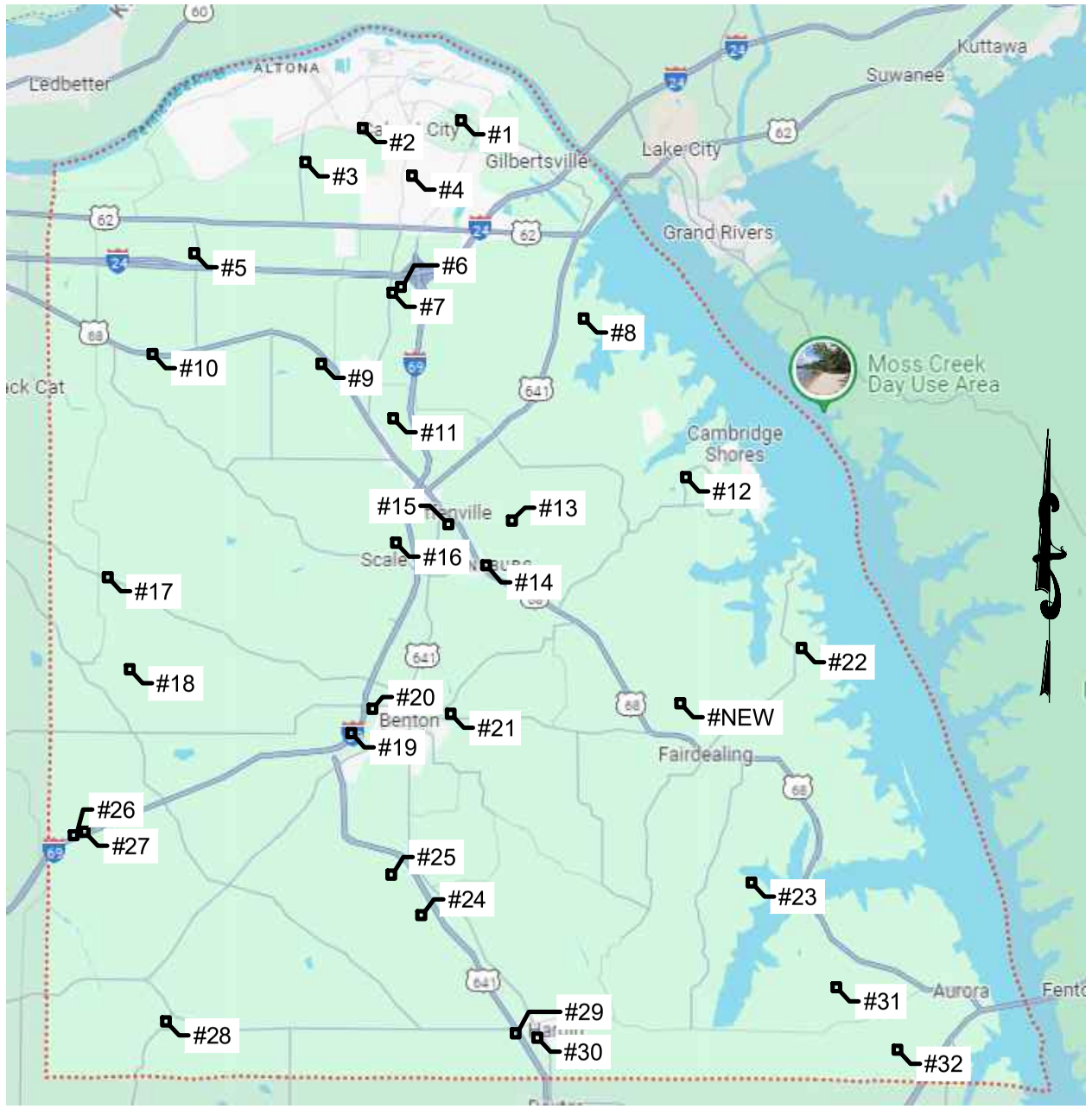
Check Limitation	
N/A	☑
Load Z Normalization:	☐
Additional Longitudinal Rebar	
Input Effective Depths (else Actual):	☐
Shear Design Options	
Check Shear along Depth of Pier:	☑
Utilize Shear-Friction Methodology:	☐
Override Critical Depth:	☐

Go to Soil Calculations

Soil Profile

Groundwater Depth	33	# of Layers	9

Layer	Top (ft)	Bottom (ft)	Thickness (ft)	γ_{soil} (pcf)	$\gamma_{concrete}$ (pcf)	Cohesion (ksf)	Angle of Friction (degrees)	Calculated Ultimate Skin Friction Comp (ksf)	Calculated Ultimate Skin Friction Uplift (ksf)	Ultimate Skin Friction Comp Override (ksf)	Ultimate Skin Friction Uplift Override (ksf)	Ult. Net Bearing Capacity (ksf)	SPT Blow Count	Soil Type
1	0	3	3	105	150		29	0.000	0.000	0.00	0.00			Cohesionless
2	3	5	2	115	150	2.7		1.485	1.485	1.40	1.40			Cohesive
3	5	8	3	115	150	1.9		1.045	1.045	1.00	1.00			Cohesive
4	8	12	4	130	150		38	0.000	0.000	0.60	0.60			Cohesionless
5	12	22	10	130	150		38	0.000	0.000	0.90	0.90			Cohesionless
6	22	27	5	130	150		38	0.000	0.000	1.40	1.40			Cohesionless
7	27	37	10	120	87.6		30	0.00	0.00	1.20	1.20			Cohesionless
8	37	42	5	115	87.6	1.1		0.61	0.61	0.60	0.60			Cohesive
9	42	44	2	130	87.6		38	0.00	0.00	2.50	2.50	40		Cohesionless



MARSHALL COUNTY

TOWER	ASR	LATITUDE	LONGITUDE	TOWER OWNER
#1.	1306050	37° 2' 10.8" N	88° 19' 56.2" W	SKYWAY TOWERS, LLC
#2.	1040303	37° 02' 0.0"N	88° 22' 10.0" W	PINNACLE TOWERS LLC
#3.	1053410	37° 01' 26.0" N	88° 23' 24.0" W	WITHERS BROADCASTING COMPANY OF PADUCAH, LLC
#4.	1041840	37° 01' 5.0" N	88° 21' 7.0" W	CALVERT CITY, KY.
#5.	1222118	36° 59' 45.3" N	88° 25' 59.1" W	SBA PROPERTIES, LLC
#6.	1222232	36° 59' 9.9" N	88° 21' 18.6" W	SBA PROPERTIES, LLC
#7.	1321782	36° 59' 3.2" N	88° 21' 28.9" W	TILLMAN INFRASTRUCTURE, LLC
#8.	1301361	36° 58' 37.3" N	88° 17' 10.5" W	PI TOWER DEVELOPMENT, LLC
#9.	1039662	36° 57' 47.0" N	88° 23' 6.0" W	TEXAS GAS TRANSMISSION, LLC
#10.	1327645	36° 57' 56.8" N	88° 26' 54.4" W	APC TOWERS, LLC
#11.	1328021	36° 56' 48.3" N	88° 21' 33.1" W	TOWERCO V HOLDINGS LLC
#12.	1264821	36° 55' 46.1" N	88° 14' 53.8" W	SBA TOWERS II LLC
#13.	1030666	36° 54' 58.8" N	88° 18' 48.9" W	CROWN CASTLE GT COMPANY LLC
#14.	1313735	36° 54' 10.5" N	88° 19' 24.9" W	CTI TOWERS ASSETS II, LLC
#15.	1233410	36° 54' 55.2" N	88° 20' 15.1" W	COUNTY OF MARSHALL, KY.
#16.	1052496	36° 54' 37.7" N	88° 21' 25.3 W	CROWN CASTLE SOUTH LLC
#17.	1328651	36° 53' 57.9" N	88° 27' 53.1" W	THE TOWERS, LLC
#18.	1201214	36° 52' 19.0" N	88° 27' 23.0" W	WEST KENTUCKY RURAL ELECTRIC COOPERATIVE CORPORATION
#19.	1315674	36° 51' 12.0" N	88° 22' 23.9" W	TILLMAN INFRASTRUCTURE, LLC
#20.	1221947	36° 51' 33.5" N	88° 21' 59.2" W	SBA PROPERTIES, LLC
#21.	1044669	36° 51' 31.0" N	88° 20' 11.0" W	PURCHASE BROADCASTING COMPANY WCBL
#22.	1223751	36° 52' 41.6" N	88° 12' 19.4" W	CROWN CASTLE GT COMPANY LLC
#23.	1044649	36° 48' 31.0" N	88° 13' 26.0" W	HEARTLAND MINISTRIES INC WVHM
#24.	1038664	36° 47' 53.0" N	88° 20' 50.0" W	DUNNIGAN, JACK
#25.	1235812	36° 48' 36.1" N	88° 21' 33.1" W	MOBILE COMMUNICATIONS AMERICA INC.
#26.	1221975	36° 49' 23.1" N	88° 28' 34.5" W	SBA PROPERTIES, LLC
#27.	1304962	36° 49' 24.3" N	88° 28' 25.5" W	TILLMAN INFRASTRUCTURE, LLC
#28.	1058357	36° 45' 58.3" N	88° 26' 33.6" W	SBA MONARCH TOWERS III, LLC
#29.	1215863	36° 45' 46.2" N	88° 18' 41.4" W	SBA PROPERTIES, LLC
#30.	1202514	36° 45' 45.0" N	88° 18' 17.0" W	WEST KENTUCKY RURAL TELEPHONE COOP CORP INC
#31.	1200973	36° 46' 33.9" N	88° 11' 35.7" W	KENTUCKY RSA NO. 1 PARTNERSHIP
#32.	1043411	36° 45' 30.7" N	88° 10' 11.4" W	CROWN CASTLE SOUTH LLC
NEW.	TBD	37°37'08.88"N	86°26'17.37"W	TOWERCO

TeleCAD Wireless
1961 NORTHPOINT BLVD.
SUITE 130
HIXSON, TN 37343
PH : 423-843-9500
FAX : 423-843-9509

THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO THE CLIENT IS STRICTLY PROHIBITED.

DRAWN BY	TDD
CHECKED BY	SEH

REVISIONS

#	DATE	BY	DESCRIPTION
A	09/26/24	JAE	ZONING ISSUE

FOR REFERENCE

verizon

FUZE ID : 617291389

SITE NAME : EV FAIRDEALING WEST

SITE # / LOCATION CODE : 5000927818

SITE ADDRESS : CAPP SPRINGS ROAD BENTON, KY 42025

SITE TYPE: RAWLAND

SHEET TITLE : COUNTY TOWER MAP

DRAWING # : Z1

REVISION : A

Federal Aviation Administration

« OE/AAA

Determined Cases for KY Form 7460-1 for ASN 2024-ASO-20270-OE

Overview

Study (ASN):	2024-ASO-20270-OE	**Received Date:**	10/17/2024
Prior Study:	2024-ASO-16147-OE	**Entered Date:**	10/17/2024
Status:	Determined	**Completion Date:**	01/24/2025
Letters:	Determination	**Expiration Date:**	07/24/2026
Supplemental Form 7460-2:	Please login to add a Supplemental Form 7460-2.	**Map:**	View Map

Sponsor Information

Sponsor:	TowerCo 2013 LLC
Attention Of:	Henry Byrne
Address:	5000 Valley Stone Drive
Address2:	Suite 200
City:	Cary
State:	NC
Postal Code:	27519
Country:	US
Phone:	919-653-5753
Fax:	919-469-5530

Sponsor's Representative Information

Representative:	Wireless Applications Corporation
Attention Of:	Ron Lageson
Address:	111-108th Ave. NE
Address2:	Suite 160
City:	Bellevue
State:	WA
Postal Code:	98004
Country:	US
Phone:	425-643-5000
Fax:	000-000-0000

Construction Info

Notice Of:	CONSTR
Duration:	PERM (Months: 0 Days: 0)
Work Schedule:	11/15/2024 to 10/30/2025
Date Built:	

Structure Summary

Structure Type:	Antenna Tower
Structure Name:	KY0114 EV Fairdealing West
FCC Number:	

Structure Details

Latitude (NAD 83):	36° 51' 47.81" N
Longitude (NAD 83):	88° 14' 55.17" W
Horizontal Datum:	NAD 83
Survey Accuracy:	4D
Marking/Lighting:	Dual-red and medium intensity
Other Description:	
Current Marking/Lighting:	N/A Proposed Structure
Current Marking/Lighting Other Description:	
Name:	
City:	Fairdealing
State:	KY
Nearest County:	Marshall
Nearest Airport:	M34
Distance to Structure:	55373.48 feet
On Airport:	No
Direction to Structure:	164.44°
Description of Location:	Capp Springs Rd
Description of Proposal:	re-filing to u=increase AGL only from prior study, Tower has not been constructed.

Height and Elevation

	Proposed	DNE	DET
Site Elevation:	484		
Structure Height:	280	0	**280**
Total Height (AMSL):	764	0	**764**

Frequencies

Low Freq	High Freq	Unit	ERP	Unit
6	7	GHz	55	dBW
6	7	GHz	42	dBW
10	11.7	GHz	55	dBW
10	11.7	GHz	42	dBW
17.7	19.7	GHz	55	dBW
17.7	19.7	GHz	42	dBW
21.2	23.6	GHz	55	dBW
21.2	23.6	GHz	42	dBW
614	698	MHz	2000	W
614	698	MHz	1000	W
698	806	MHz	1000	W
806	824	MHz	500	W
806	901	MHz	500	W
824	849	MHz	500	W
851	866	MHz	500	W
869	894	MHz	500	W
896	901	MHz	500	W
901	902	MHz	7	W
929	932	MHz	3500	W
930	931	MHz	3500	W
931	932	MHz	3500	W
932	932.5	MHz	17	dBW
935	940	MHz	1000	W
940	941	MHz	3500	W

	1670	1675	MHz	500	W
	1710	1755	MHz	500	W
	1850	1910	MHz	1640	W
	1850	1990	MHz	1640	W
	1930	1990	MHz	1640	W
	1990	2025	MHz	500	W
	2110	2200	MHz	500	W
	2305	2360	MHz	2000	W
	2305	2310	MHz	2000	W
	2345	2360	MHz	2000	W
	2496	2690	MHz	500	W
	3700	3980	MHz	3280	W
	3700	3980	MHz	1640	W

Previous Back to Search Result Next

Mail Processing Center
Federal Aviation Administration
Southwest Regional Office
Obstruction Evaluation Group
10101 Hillwood Parkway
Fort Worth, TX 76177

Aeronautical Study No.
2024-ASO-20270-OE
Prior Study No.
2024-ASO-16147-OE

Issued Date: 01/24/2025

Henry Byrne
TowerCo 2013 LLC
5000 Valley Stone Drive
Suite 200
Cary, NC 27519

**** DETERMINATION OF NO HAZARD TO AIR NAVIGATION ****

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure:	Antenna Tower KY0114 EV Fairdealing West
Location:	Fairdealing, KY
Latitude:	36-51-47.81N NAD 83
Longitude:	88-14-55.17W
Heights:	484 feet site elevation (SE)
	280 feet above ground level (AGL)
	764 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure does not exceed obstruction standards and would not be a hazard to air navigation provided the following condition(s), if any, is(are) met:

Emissions from this site must be in compliance with the parameters set by collaboration between the FAA and telecommunications companies and reflected in the FAA 5G C band compatibility evaluation process (such as power, frequencies, and tilt angle). Operational use of this frequency band is not objectionable provided the Wireless Providers (WP) obtain and adhere to the parameters established by the FAA 5G C band compatibility evaluation process. **Failure to comply with this condition will void this determination of no hazard.**

As a condition to this Determination, the structure is to be marked/lighted in accordance with FAA Advisory circular 70/7460-1 M Change 1, Obstruction Marking and Lighting, a med-dual system-Chapters 4,8(M-Dual),&15.

Any failure or malfunction that lasts more than thirty (30) minutes and affects a top light or flashing obstruction light, regardless of its position, should be reported immediately to (877) 487-6867 so a Notice to Air Missions (NOTAM) can be issued. As soon as the normal operation is restored, notify the same number.

It is required that FAA Form 7460-2, Notice of Actual Construction or Alteration, be e-filed any time the project is abandoned or:

_____ At least 10 days prior to start of construction (7460-2, Part 1)
__X__ Within 5 days after the construction reaches its greatest height (7460-2, Part 2)

See attachment for additional condition(s) or information.
This determination expires on 07/24/2026 unless:

(a) the construction is started (not necessarily completed) and FAA Form 7460-2, Notice of Actual Construction or Alteration, is received by this office.
(b) extended, revised, or terminated by the issuing office.
(c) the construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the FCC, within 6 months of the date of this determination. In such case, the determination expires on the date prescribed by the FCC for completion of construction, or the date the FCC denies the application.

NOTE: REQUEST FOR EXTENSION OF THE EFFECTIVE PERIOD OF THIS DETERMINATION MUST BE E-FILED AT LEAST 15 DAYS PRIOR TO THE EXPIRATION DATE. AFTER RE-EVALUATION OF CURRENT OPERATIONS IN THE AREA OF THE STRUCTURE TO DETERMINE THAT NO SIGNIFICANT AERONAUTICAL CHANGES HAVE OCCURRED, YOUR DETERMINATION MAY BE ELIGIBLE FOR ONE EXTENSION OF THE EFFECTIVE PERIOD.

This determination is based, in part, on the foregoing description which includes specific coordinates, heights, frequency(ies) and power. Any changes in coordinates, heights, and frequencies or use of greater power, except those frequencies specified in the Colo Void Clause Coalition; Antenna System Co-Location; Voluntary Best Practices, will void this determination. Any future construction or alteration, including increase to heights, power, or the addition of other transmitters, requires separate notice to the FAA.This determination includes all previously filed frequencies and power for this structure.

If construction or alteration is dismantled or destroyed, you must submit notice to the FAA within 5 days after the construction or alteration is dismantled or destroyed.

This determination does include temporary construction equipment such as cranes, derricks, etc., which may be used during actual construction of the structure. However, this equipment shall not exceed the overall heights as indicated above. Equipment which has a height greater than the studied structure requires separate notice to the FAA.

This determination concerns the effect of this structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

A copy of this determination will be forwarded to the Federal Communications Commission (FCC) because the structure is subject to their licensing authority.

If we can be of further assistance, please contact our office at (718) 553-2611, or angelique.m.griffin@faa.gov. On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2024-ASO-20270-OE.

Signature Control No: 636368203-645151629 (DNE)
Angelique Griffin
Technician

Attachment(s)
Additional Information
Frequency Data
Map(s)

cc: FCC

The FAA recognizes emissions in 3.7-3.98 GHz at this location will result in Electromagnetic Interference (EMI) as described in Airworthiness Directives (AD) 2021-23-12 and 2021-23-13. NAS services including airport and helicopter operations within a radius of 42 NM will be impacted by 5G RF emissions. Operational use of this frequency band is not objectionable provided the Wireless Providers (WP) obtain and adhere to the parameters established by the FAA 5G C band compatibility evaluation process.

BASIS FOR DECISION

Part 77 authorizes the FAA to evaluate a structure or object's potential electromagnetic effects on air navigation, communication facilities, and other surveillance systems. It also authorizes study of impact on arrival, departure, and en route procedures for aircraft operating under visual or instrument flight rules, as well as the impact on airport traffic capacity at existing public use airports. Broadcast in the 3.7 to 3.98 GHz frequency (5G C band) currently causes errors in certain aircraft radio altimeters and the FAA has determined they cannot be relied upon to perform their intended function when experiencing interference from wireless broadband operations in the 5G C band.

The FAA has adopted Airworthiness Directives for all transport and commuter category aircraft equipped with radio altimeters that prohibit certain operations when in the presence of 5G C band This determination of no hazard is based upon those mitigations implemented by the FAA and operators of transport and commuter category aircraft, and helicopters operating in the vicinity of your proposed location. It is also based on telecommunication industry and FAA collaboration on acceptable power levels and other parameters as reflected in the FAA 5G C band evaluation process.

The FAA 5G C band compatibility evaluation is a data analytics system used by FAA to evaluate operational hazards related to aircraft design. The FAA 5G C band compatibility evaluation process refers to the process in which the telecommunication companies and the FAA have set parameters, such as power output, locations, frequencies, and tilt angles for antenna that mitigate the hazard to aviation.

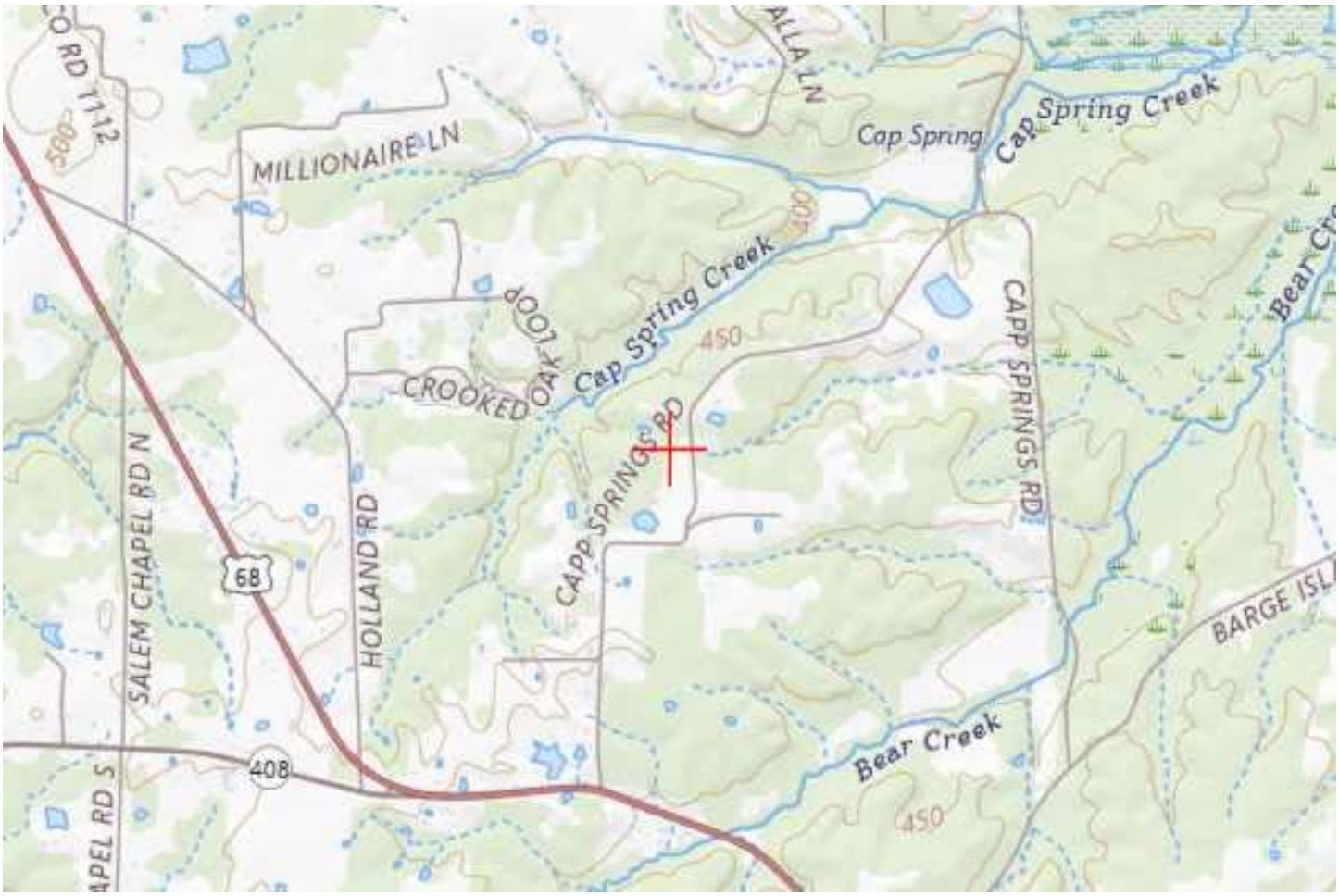
As the telecommunication companies and FAA refine the tools and methodology, the allowable frequencies and power levels may change in the FAA 5G C band compatibility evaluation process. Therefore, your proposal will not have a substantial adverse effect on the safe and efficient use of the navigable airspace by aircraft provided the equipment and emissions are in compliance with the parameters established through the FAA 5G C band compatibility evaluation process.

Any future changes that are not consistent with the parameters listed in the FAA 5G C band compatibility evaluation process will void this determination of no hazard.

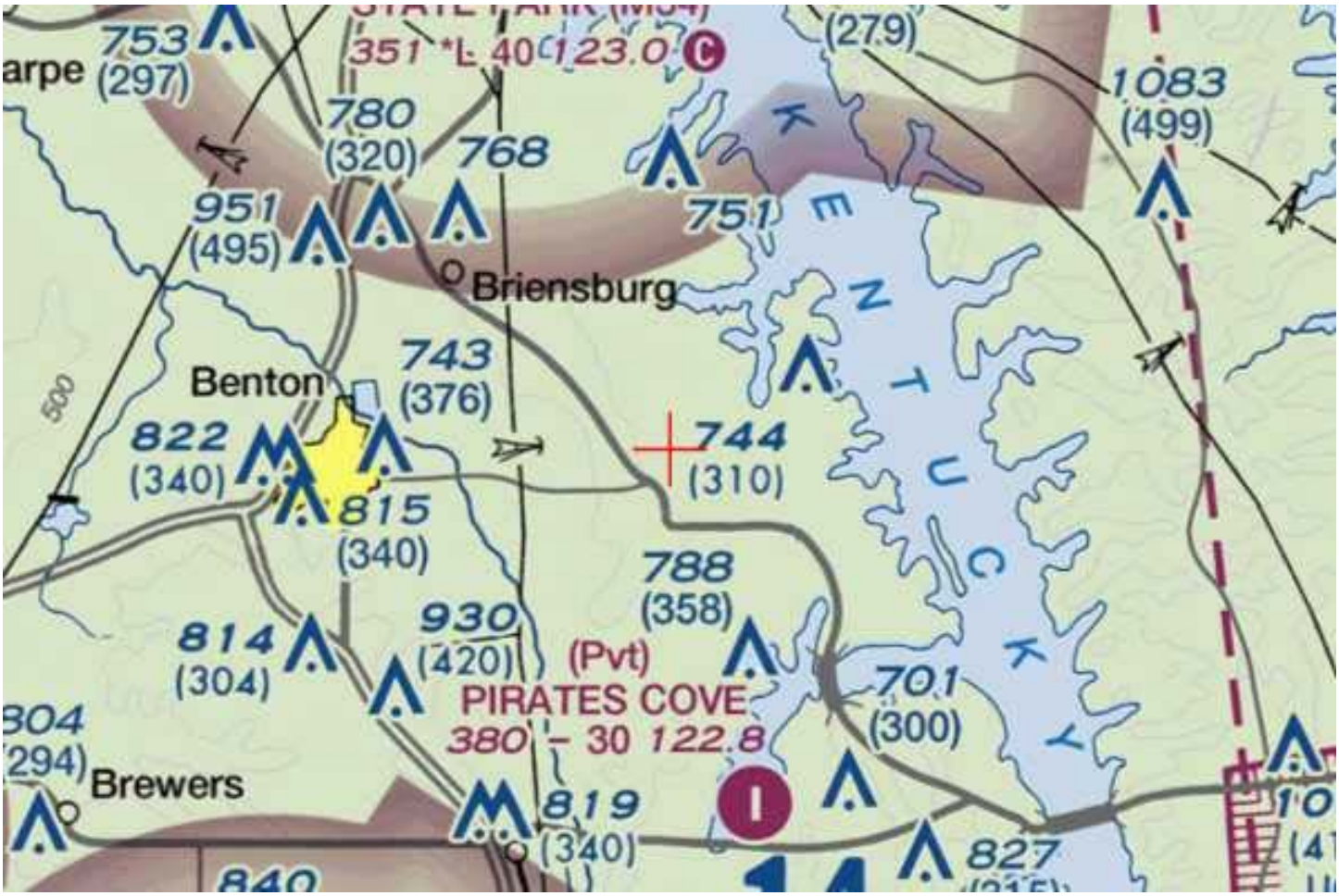
Frequency Data for ASN 2024-ASO-20270-OE

LOW FREQUENCY	HIGH FREQUENCY	FREQUENCY UNIT	ERP	ERP UNIT
6	7	GHz	55	dBW
6	7	GHz	42	dBW
10	11.7	GHz	55	dBW
10	11.7	GHz	42	dBW
17.7	19.7	GHz	55	dBW
17.7	19.7	GHz	42	dBW
21.2	23.6	GHz	55	dBW
21.2	23.6	GHz	42	dBW
614	698	MHz	2000	W
614	698	MHz	1000	W
698	806	MHz	1000	W
806	824	MHz	500	W
806	901	MHz	500	W
824	849	MHz	500	W
851	866	MHz	500	W
869	894	MHz	500	W
896	901	MHz	500	W
901	902	MHz	7	W
929	932	MHz	3500	W
930	931	MHz	3500	W
931	932	MHz	3500	W
932	932.5	MHz	17	dBW
935	940	MHz	1000	W
940	941	MHz	3500	W
1670	1675	MHz	500	W
1710	1755	MHz	500	W
1850	1910	MHz	1640	W
1850	1990	MHz	1640	W
1930	1990	MHz	1640	W
1990	2025	MHz	500	W
2110	2200	MHz	500	W
2305	2360	MHz	2000	W
2305	2310	MHz	2000	W
2345	2360	MHz	2000	W
2496	2690	MHz	500	W
3700	3980	MHz	3280	W
3700	3980	MHz	1640	W

TOPO Map for ASN 2024-ASO-20270-OE



Sectional Map for ASN 2024-ASO-20270-OE



From: ron.lageson@wacorp.net
To: Henry Byrne
Cc: Edward Schafer
Subject: RE: Proposed tower in KY - TC 55-2 Required ??
Date: Monday, January 6, 2025 10:49:08 AM

Please se3e below.

rwl

From: Airport Zoning Commission <AirportZoning@ky.gov>
Sent: Monday, January 6, 2025 6:31 AM
To: ron.lageson@wacorp.net
Cc: hbyrne@towerco.com
Subject: Re: Proposed tower in KY - TC 55-2 Required ??

We received your application, and it will be placed on the Agenda of the Feb 13, 2025 KAZC meeting.

We will contact you if we have questions.

Regards,
Anthony Adams
KAZC Administrator
502-564-0151 office
502-330-4022 mobile

Get Outlook for iOS

From: ron.lageson@wacorp.net <ron.lageson@wacorp.net>
Sent: Monday, January 6, 2025 8:24 AM
To: Airport Zoning Commission <AirportZoning@ky.gov>
Cc: hbyrne@towerco.com <hbyrne@towerco.com>
Subject: RE: Proposed tower in KY - TC 55-2 Required ??

****CAUTION** PDF attachments may contain links to malicious sites. Please contact the COT Service Desk ServiceCorrespondence@ky.gov for any assistance.**

Sorry, thought I had attached it.

rwl

From: Airport Zoning Commission <AirportZoning@ky.gov>

Sent: Wednesday, January 1, 2025 5:07 PM
To: ron.lageson@wacorp.net
Cc: hbyrne@towerco.com
Subject: RE: Proposed tower in KY - TC 55-2 Required ??

Ron,

Is this a request for new construction?
If so, a TC 55-2 is required.

Contact us with any questions.

Regards,

Anthony Adams
KY Airport Zoning Commission, Administrator
Department of Aviation
90 Airport Road, Bldg 400
Frankfort, Kentucky 40601
(502) 564-0151 office
(502) 330-4022 mobile
Airport Zoning Commission | KYTC

From: ron.lageson@wacorp.net <ron.lageson@wacorp.net>
Sent: Tuesday, December 31, 2024 11:11 AM
To: Airport Zoning Commission <AirportZoning@ky.gov>
Cc: hbyrne@towerco.com
Subject: Proposed tower in KY

Proposed 280 ft AGL SSL tower near Fairdealing, KY, FAA was filed and assigned ASN 2024-ASO-20270-OE.

1. TowerCo – 5000 Valleystone Dr., Cary, NC 27519
2. Requester Contact: Henry Byrne : (919) 272-7766
3. Work Schedule: 8/1/25-10/31/25
4. Lat/Long: 36-51-47.81, -85-14-55.71
5. Site Elevation: 484'
6. Tower Height: 280' – Crane Height: TBD
7. On Site Contact: Bob Evans : (919) 653-5700

Thank you,

Ronald W. Lageson, Jr
Regulatory Compliance Manager
Wireless Application Corporation

425-643-5000

GEOTECHNICAL REPORT OF SUBSURFACE INVESTIGATION

November 21, 2024

PROPOSED SELF SUPPORT TOWER
EV FAIRDEALING WEST
(KY0114)

Capp Springs Road
Benton, KY 42025

36.8632, -88.2486

Prepared for:

TowerCo
EMPOWERING connectivity

Prepared by:

ENGINEERED
TOWER SOLUTIONS

STATE OF KENTUCKY
FREDERIC GEOFFREY BOST
28817
LICENSED PROFESSIONAL ENGINEER

11/21/24

Matt Nesbit, E.I.
Geotechnical Engineer II

F. Geoff Bost, P.E.
Registered KY 28817

Reviewed by: Jorge Varela, P.E.
Senior Geotechnical Engineer

Engineered Tower Solutions, PLLC - 3227 Wellington Court - Raleigh, NC 27615
(919) 782-2710

Project Summary

Item	Description
Project Description	A geotechnical exploration and report have been prepared for this proposed 270-foot self-supported tower with 5-foot lighting arrestor. Included in this report are the results of the field exploration and the recommendations for the design of the foundation system.
Site Coordinates	Latitude: 36.8632 Longitude: -88.2486
Site Condition	The proposed tower will be installed at Capp Springs Road in Benton, Kentucky
Frost Depth	Based on the TIA Standard (TIA-222-H), dated October 2017, the recommended design frost penetration depth to be used for Marshall County, KY is 20 inches (1.8 ft).
Groundwater	Groundwater was encountered at 33 feet below ground surface at the time of drilling. Please note that subsurface water levels will fluctuate with seasonal and cyclical temperatures and precipitation and can be higher or lower at other times.
Proposed Foundation	We assume the proposed foundation will be supported with either pad and pier or drilled shaft (caisson).

Field Exploration

Item	Description
Date	November 15th, 2024
Number of Borings	1
Location	Latitude: 36.8632 Longitude: -88.2486
Equipment Used	Geoprobe DT7822DT
Advancement Method	Hollow Stem Auger (HSA)
Sampling Method	ASTM D-1586 with 1.5 I.D. Split Spoon Sampler

Laboratory Classification and Testing

Standard	Description
ASTM D2488	Standard Practice for Description and Identification of Soils
ASTM G57	Standard Test Method for Measurement of Soil Resistivity Using the Wenner Four-Electrode Method

Subsurface Profile

Based on the results of our borings, the soils beneath the surface can be summarized in the table below:

Material Encountered	Description	Consistency / Density
SAND	Brown and red, clayey and silty sand	Loose to Medium Dense
CLAY	Brown and white, moist sandy lean clay	Stiff to Very Stiff
PWR	Partially Weathered Rock sampled as clayey and silty sand	--

1. Refer to boring log for stratification details

Detailed descriptions of conditions encountered at each exploration point are indicated on the individual logs in the Appendix B. Stratification boundaries on the boring logs represent the approximate location of changes in soil types; in-situ, the transition between materials may be gradual.

Groundwater was encountered at 33 feet below ground surface at the time of drilling. Groundwater levels will fluctuate with seasonal and climatic changes and may be different at other times.

Earthwork Recommendations – Equipment Mat

Earthwork is anticipated to include excavations and fill placement. The following sections provide recommendations for use in the preparation of the equipment mat foundation area and access drive.

Site Preparation

The subgrade should be evaluated under the direction of the Geotechnical Engineer. Areas where soft material are present or excessively wet or dry material should either be removed, or moisture conditioned and recompacted.

Fill Material Types

Soil Type	USCS Classification	Acceptable Parameters (for Structural Fill)
Imported Low- to Moderate- Plasticity Soil [2]	CL, ML, SC or SM	All locations and elevations
Sand / Gravel with greater than 12% fines	GW/GP, SW/SP	Crushed stone base course may be used for the access roadway or beneath shallow foundations as a replacement material for overexcavated soils.
Near-Surface On-site soils [2]	SC, CL	On-site soils generally appear suitable for use as fill when they contain at least 12% fines (clay and/or silt) and are compacted at an appropriate moisture content.

2. Controlled, compacted fill should consist of approved materials that are free of organic matter and debris. A sample of each material type should be submitted to the geotechnical engineer for evaluation.
3. Low- to moderate-plasticity cohesive soil or granular soil having at least 12% fines

Fill Compaction Requirements

Item	Structural Fill	General Fill
Maximum Lift Thickness	8 inches or less in loose thickness when heavy, self-propelled compaction equipment is used	Same as Structural fill
Minimum Compaction Requirements [1, 2]	98% of max. below foundations and within 1 foot of finished pavement subgrade 95% of max. above foundations, below floor slabs, and more than 1 foot below finished pavement subgrade	92% of max.
Water Content Range [1]	Low plasticity cohesive: -2% to +3% of optimum High plasticity cohesive: 0 to +4% of optimum Granular: -3% to +3% of optimum	As required to achieve min. compaction requirements

1. Maximum density and optimum water content as determined by the standard Proctor test (ASTM D 698).
2. High plasticity cohesive fill should not be compacted to more than 100% of standard Proctor maximum dry density.

Excavations

Groundwater was encountered at 33 feet below ground surface at the time of drilling. Although not expected, if encountered in deep trench excavations during construction, groundwater or perched groundwater will require dewatering until backfilling operations are complete.

All excavations that may be required should, at a minimum, comply with applicable local, state and federal safety regulations, including the current OSHA Excavation and Trench Safety Standards to provide stability and safe working conditions.

Slopes

For permanent slopes in unreinforced compacted fill areas, we recommended maximum configurations of 3:1 (Horizontal: Vertical) for the cohesive soils (clay) found at the site.

If steeper slopes are required for site development, stability analyses should be completed to design the grading plan. The face of all slopes should be compacted to the minimum specification for fill embankments. Fill slopes should be overbuilt and trimmed to compacted material.

Earthwork Construction Considerations

The near-surface, on-site soils will lose strength when exposed to moisture. To the extent practical, earthwork should be performed during drier periods of weather. Increased remedial measures due to wet and soft or otherwise unsuitable conditions should be expected if earthwork is performed during colder and wetter periods of weather.

A qualified geotechnical engineer should be retained during the earthwork phase of the project to observe earthwork and to perform necessary tests and observations during subgrade preparation; to monitor proof-rolling, placement and compaction of controlled compacted fills, and backfilling of excavations to the completed subgrade.

Foundations Recommendations

The following recommendations are made based on our review of the test boring data and our past experience with similar projects and subsurface conditions. Ultimate soil strength parameters are presented on table below.

Ultimate Strength Parameters

Boring #	Depth (ft)	Unified Soil Classification	Total Unit Weight (pcf)	Friction Angle (degrees)	Cohesion (psf)
B-1	0.0 – 3.0	SC	105	29	--
	3.0 – 5.0	CLS	115	--	2,700
	5.0 – 8.0	CLS	115	--	1,900
	8.0 – 12.0	PWR	130	38	--
	12.0 – 22.0	PWR	130	38	--
	22.0 – 27.0	PWR	130	38	--
	27.0 – 37.0	SM	120	30	--
	37.0 – 42.0	CLS	115	--	1,100
	42.0 – 50.0	PWR	130	38	--

1. Groundwater was encountered at 33 feet below ground surface at the time of drilling. Utilize bouyon unit weight below this depth

Based on the subsurface conditions and typical design foundation loads for similar self-support towers, we recommend that either a caisson (drilled shaft) or a pad/pier be used to support the new tower.

Modulus of Subgrade Reaction

A vertical and horizontal modulus of subgrade reaction may be derived using the following equations and soils parameters expressed in the above table:

$$k_{s\text{-}\upsilon} = 12 \cdot SF \cdot q_a$$

$$k_{s\text{-}h} = k_{s\text{-}\upsilon} \cdot B$$

Where:

q_a = Allowable Bearing Capacity (ksf)
SF = Safety Factor
B = Base width (ft), use 1 if B< 1ft
$k_{s\text{-}\upsilon}$ =Vertical Modulus of Subgrade Reaction (kcf)
$k_{s\text{-}h}$ = Horizontal Modulus of Subgrade Reaction (ksf)

Caisson (Drilled Shaft)

Should caissons (drilled shafts) be used, the caissons (drilled shafts) will achieve compressive (downward) and tensile (uplift) resistance through skin friction along the sides of the shafts. In addition to skin friction, bearing resistance at the caisson's tip will contribute to compressive capacity. We recommend the values given the table below be used for this project. Please note the tip bearing capacity and skin frictions are net ultimate and ultimate values respectively. Appropriate factors of safety or resistance factors should be used. Lateral loads can be resisted by the lateral stiffness of the soil. Parameters for analysis of the laterally loaded caisson are also given the table below.

Caisson (Drilled Shaft) Parameters

Depth (ft)	Net Ultimate Tip Bearing Capacity (ksf)	Ultimate Skin Friction[1] (ksf)		Lateral Modulus (pci)	ε_{50} (in/in)
		Compressive	Uplift		
0.0 – 3.0	--	--	--	--	--
3.0 – 5.0	--	1.4	1.4	1,000	
5.0 – 8.0	--	1.0	1.0	1,000	
8.0 – 12.0	--	0.6	0.6	225	--
12.0 – 22.0	20	0.9	0.9	225	--
22.0 – 27.0	20	1.4	1.4	225	--
27.0 – 37.0	23	1.2	1.2	60	--
37.0 – 42.0	10	0.6	0.6	500	0.007
42.0 – 50.0	40	2.5	2.5	125	--

1. We recommend the skin friction be ignored for the top 3 ft of the caisson

Based on the subsurface soil conditions, excavations for the caissons (drilled shafts) should be possible using a large, truck-mounted, hydraulic-advanced drill rig. All debris, loose or disturbed soil should be removed from the excavation prior to placing reinforced steel and/or concrete. Reinforcing steel and/or concrete should be placed immediately upon completion of the excavation.

The excavations may be susceptible to caving. Drilling fluid or casing could be used to assist in keeping the drilled hole open. If casing is used, we recommend it be removed from the excavation as concrete is being placed. Continuous vibration or other approved methods should be used during casing withdrawal to reduce the potential for void-space formation within the concrete. If water is present during concrete placement and/or drilling fluids are used to maintain hole stability, concrete should be pumped or otherwise discharged to the bottom of the hole via a hose or tremie pipe. The end of the hose or tremie pipe must remain below the top surface of any water, drilling fluid and the in-place concrete at all times. Additionally, concrete should be consolidated using vibration methods over the entire length and width of the caissons and the consolidation should be performed only after these fluids are removed and to the extent possible.

Pad & Pier / Single Mat Foundation

If the site has been prepared in accordance with the requirements noted in *Earthwork Recommendations – Equipment Mat,* the tower's foundation capacity can be determined using the soil's bearing capacity, passive pressure resistance, and a sliding friction factor.

Net Ultimate Bearing Capacity and Sliding Friction Factor

Depth[2] (ft)	Net Ultimate Bearing Capacity[1] (psf)	Sliding Friction Factor[1]
0.0 – 3.0	--	--
3.0 – 15.0	9,500	0.30

1. This value is a net ultimate value and an appropriate factor of safety or resistance factor should be used

Ultimate Passive Pressure and Friction Factor

Boring #	Depth (ft)	Ultimate Passive Pressure[1] (psf)[1]
B-1	0.0 – 2.0	0 – 600
	2.0 – 4.0	600 – 1,000
	4.0 – 8.0	1,000 – 1,800
	8.0 – 12.0	1,800 – 3,400
	12.0 – 20.0	3,400 – 6,600

1. Ultimate passive pressure can be interpolated for foundation depths with the depth ranges given

Seismic Parameters

The seismic design requirements for buildings and other structures are based on Seismic Design Category. Site Classification is required to determine the Seismic Design Category for a structure. The Site Classification is based on the upper 100 feet of the site profile defined by a weighted average value of either shear wave velocity, standard penetration resistance, or undrained shear strength in accordance with Section 20.4 of ASCE 7 and the International Building Code (IBC)

Seismic Site Classification

Item	Seismic Parameter
2018 International Building Code Seismic Site Classification	D[1]
Design Spectral Response Acceleration Parameters	S_{ds} = 0.611g S_{d1} = Null[2]

1. The IBC seismic site classification is based on the subsurface profile depth of 100 feet. The scope of work did not authorize exploration to a depth of 100 feet. A seismic Site Soil Classification of D should be used if insufficient details are known about the 100-foot soil profile.
2. See ASCE 7-16 Section 11.4.8

Field Electrical Resistivity Survey

An electrical resistivity survey was performed using the Wenner Four Point method (ASTM G57).. For each array, four copper-clad electrodes were inserted approximately 6 to 12 inches into the ground and one measurement was recorded at each A-spacing interval of 2, 4, 6, 8, 16 & 32 feet. Soil electrical resistivity testing results are summarized in the table below and may assist with the design of electrical grounding components and corrosion protection.

Apparent resistivity ρ is calculated as: $$\rho = \frac{4\pi a R}{1 + \frac{2a}{\sqrt{a^2 + 4b^2}} - \frac{a}{\sqrt{a^2 + b^2}}}$$

Electrode Spacing *a*		Electrode Depth *b*		N-S Test		E-W Test	
[feet]	[centimeters]	[inches]	[centimeters]	Measured Resistance *R*	Apparent Resistivity ρ	Measured Resistance *R*	Apparent Resistivity ρ
				Ω	[Ω-cm]	Ω	[Ω-cm]
2	61	6	15	25.40	10,680	26.70	11,220
4	122	6	15	17.80	14,000	15.59	12,260
6	183	6	15	11.38	13,240	8.26	9,610
8	244	12	30	6.10	9,590	6.02	9,470
16	488	12	30	5.22	16,110	5.12	15,800
32	975	12	30	4.24	26,020	3.78	23,190

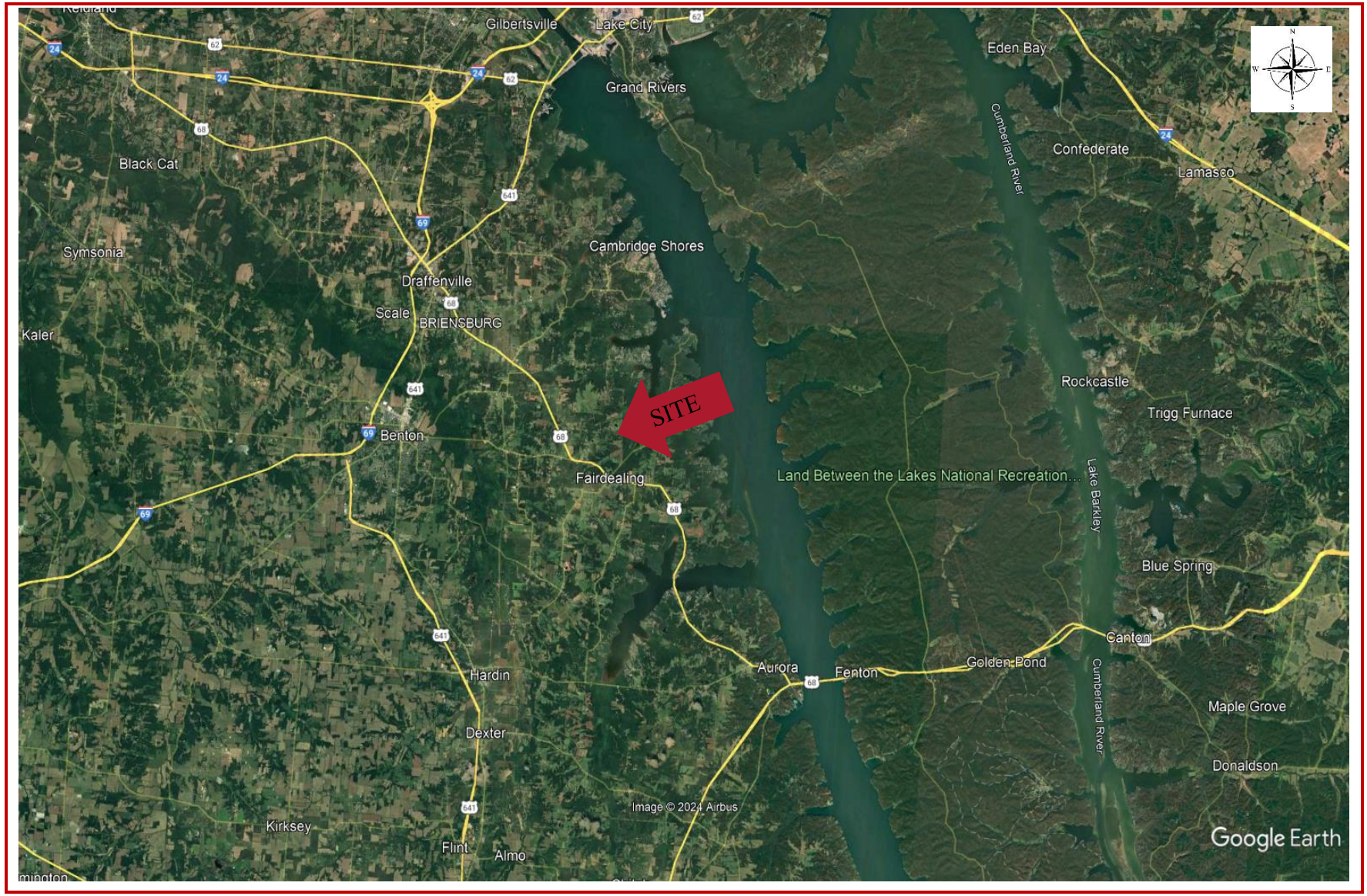
LIMITATIONS OF REPORT

This report has been prepared in accordance with generally accepted geotechnical engineering practices for the specific application of this project. The conclusions in this report are based on the applicable standards of our practice in this geographic area at the time this report was prepared. No other warranty, expressed or implied, is made.

The analyses and conclusions submitted herein are based, in part, upon the data obtained from the subsurface exploration performed for this analysis. The soil and ground water conditions can vary across the site. Opinions and conclusions are subject to change if new or additional information is submitted for review.

APPENDIX A
LOCATION INFORMATION

SITE LOCATION PLAN
EV FAIRDEALING WEST (KY0114)
Job Number: 24130449



BORING LOCATION PLAN
EV FAIRDEALING WEST (KY0114)
Job Number: 24130449

Google Earth Image 11/2023

SITE PHOTO
EV FAIRDEALING WEST (KY0114)
Job Number: 24130449

APPENDIX B
SOIL TEST BORING

BORING NUMBER B-1

ENGINEERED TOWER SOLUTIONS

CLIENT Tower Co
PROJECT NAME EV Fairdealing West
PROJECT NUMBER 24130449
PROJECT LOCATION CAPP SPRINGS ROAD, Benton, KY 42025
DATE 11/15/2024
COORDINATES 36.8632, -88.2486
DRILLING METHOD Hollow Stem Auger (HSA)
GROUND WATER LEVELS:
DRILLING EQUIPMENT Geoprobe DT7822DT
AT TIME OF DRILLING 33.00 ft / Elev 450.50 ft
LOGGED BY M. Nesbit
AT END OF DRILLING 33.00 ft / Elev 450.50 ft
NOTES
AFTER DRILLING 33.00 ft / Elev 450.50 ft

DEPTH (ft)	GRAPHIC LOG	MATERIAL DESCRIPTION	SAMPLE TYPE NUMBER	BLOW COUNTS (N VALUE)
0		CLAYEY SAND (SC), brown, dry, loose.	SS 1	2-2-7 (9)
		SANDY LEAN CLAY (CL), brown and white, moist, very stiff.	SS 2	3-13-14 (27)
			SS 3	6-9-10 (19)
10		PARTIALLY WEATHERED ROCK (PWR), , Sampled as clayey sand.	SS 4	7-50/5"
			SS 5	21-50/1"
20			SS 6	50/6"
			SS 7	32-50/3"
30		SILTY SAND (SM), red and tan, moist, medium dense.	SS 8	15-12-12 (24)
			SS 9	21-13-8 (21)
40		SANDY LEAN CLAY (CL), brown and gray, moist, stiff.	SS 10	2-4-7 (11)
		PARTIALLY WEATHERED ROCK (PWR), , Sampled as silty sand.	SS 11	50/2"
50			SS 12	50/2"

Bottom of borehole at 50.0 feet.

ETS - BORING LOG - ETS DATABASE_STANDARD_GEOTECH.GDT - 11/20/24 14:10 - \\ETS.LOCAL\ETS-PUBLIC\2024\130449_EV FAIRDEALING WEST\GE\REPORT\EV FAIRDEALING WEST.GPJ

DIRECTIONS FROM MARSHALL COUNTY COURTHOUSE:

HEAD SOUTH ON US-641 S / KY-58 / KY-408 / MAIN ST TOWARD KY-58 / W 12TH ST. TURN LEFT ONTO KY-58 / KY-408 / E 12TH ST. TURN LEFT ONTO BENTON BIRMINGHAM RD / COUNTY HWY-1462. TURN LEFT TO STAY ON BENTON BIRMINGHAM RD / COUNTY HWY-1462. BEAR RIGHT ONTO US-68 E / KY-58 / US HIGHWAY 68 E. TURN LEFT ONTO CAPP SPRINGS RD. ARRIVE AT SITE ON THE LEFT.

Prepared by Telecad Wireless, 423-843-9500

GROUND LEASE AGREEMENT

THIS GROUND LEASE AGREEMENT ("Lease") is effective as of the later of the signature dates below ("Effective Date") by and between **MICHAEL D. DABOLT and CYNTHIA L. DABOLT**, husband and wife ("Lessor") and **TOWERCO 2013 LLC**, a Delaware limited liability company ("Lessee").

For good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, the parties hereto agree as follows:

1. Premises. Lessor is the owner of certain real property located in Benton, County of Marshall, State of Kentucky, commonly known as Capp Springs Road, Benton, KY 42025 (parcel no. 64-00-00-006) (the "Parent Parcel"), as more particularly described in Exhibit A annexed hereto. Lessor hereby leases to Lessee and Lessee leases from Lessor approximately seven thousand (7,000) square feet of the Parent Parcel and all access and utility easements if any ("Easements"), (the 7,000 square feet of lease area and the Easements shall collectively be referred to as the "Premises") as described in Exhibit B annexed hereto.

2. Use. The Premises may be used by Lessee and Lessee's tenants and licensees for the transmission and receipt of wireless communication signals in any and all frequencies, the construction, maintenance, operation, subleasing and licensing of a free-standing tower or towers, antennas, and buildings, and related facilities and activities, and for any other uses which are incidental thereto ("Intended Use"). Lessee and its sublessees and licensees shall have access to the Premises twenty-four (24) hours a day, seven (7) days a week. Lessor agrees to cooperate with Lessee in obtaining, at Lessee's expense, all licenses and permits required for Lessee's use of the Premises (the "Governmental Approvals"). Lessor further agrees to cooperate with Lessee in executing and delivering any documents requested by Lessee to obtain Government Approvals necessary for its Intended Use. In the event that Lessee's Intended Use of the Premises is actually or constructively prohibited then, in addition to any other remedies available to Lessee, Lessee shall have the option to terminate this Lease with notice to Lessor.

3. Term. The term of this Lease shall be five (5) years commencing on: (i) the date Lessee acquires its Building Permit; or (ii) the date that Lessee begins commercial operation of the Improvements (as defined in Paragraph 6(a)); or (iii) the third anniversary of the Effective Date, whichever first occurs ("Commencement Date") and terminating on the fifth (5th) anniversary of the Commencement Date (the "Term") unless otherwise provided in Paragraph 8.

4. Renewal Terms. Lessee shall have the right to extend this Lease for nine (9) additional five (5) year terms ("Renewal Terms"). Each Renewal Term shall be on the same terms and conditions as set forth in this Lease except that Rent shall increase as provided in paragraph 5. This Lease shall automatically be renewed for each successive Renewal Term unless Lessee notifies Lessor in writing of Lessee's intention not to renew the Lease at least thirty (30) days prior to the expiration of the Term or the Renewal Term which is then in effect.

5. Consideration. During the Term, Lessee shall pay Lessor the monthly sum of [redacted] ("Rent"). Rent shall be payable on the first day of each month in advance to Lessor at Lessor's address as specified in paragraph 17 below. Rent shall be increased on the commencement of each Renewal Term by [redacted] over the Rent payable during the immediately preceding term. If this Lease is terminated at a time other than on the anniversary of the Commencement Date, Rent shall be prorated as of the date of termination and all Rent paid in advance of the termination date shall be refunded to Lessee.

As further consideration for Lessor to enter into this Lease, Lessee shall pay to Lessor within ten (10) days of the Effective Date of this Lease, a one-time signing bonus of [redacted]

6. Improvements; Utilities; Access.

(a) Lessee shall have the right, at Lessee's sole cost and expense, to erect and maintain on the Premises improvements, personal property and facilities necessary or desired for its Intended Use (collectively the "Improvements"). The Improvements shall remain the exclusive property of the Lessee throughout the term and after the termination of this Lease. Lessee may construct, alter, demolish, reconstruct, restore, replace, supplement, modify and reconfigure the Improvements at any time during the Term or any Renewal Term of this Lease.

(b) Lessee shall remove all of the above-ground portions of the Improvements not later than ninety (90) days following termination of this Lease. Lessee shall continue to pay Rent until the Improvements are removed. Lessor grants Lessee the right to clear all trees, undergrowth, or other obstructions and to trim, cut, and keep trimmed and cut all tree limbs which may interfere with or fall upon the Improvements or Premises. Lessor grants Lessee a non-exclusive easement in, over, across and through other real property owned by Lessor as reasonably required for construction, installation, maintenance, and operation of the Improvements.

(c) Lessee shall have the right to install power, telecommunications, cables, conduit, and any other utilities, including cabinets, vaults and improvements directly related to such utilities, by an exclusive easement on the Premises (or through third party easements, if necessary), at Lessee's sole expense, and to improve present utilities on the Premises (including but not limited to the installation of emergency power generators on the Premises). Lessee shall have the right to permanently place utilities on (or to bring utilities across or under) the Premises and the Improvements. In the event that utilities necessary to serve the equipment of Lessee or the equipment of Lessee's licensee(s) or sublessee(s) cannot be located within the Premises, Lessor agrees to cooperate with Lessee and to act reasonably in allowing the location of utilities on the Parent Parcel or other real property owned by Lessor without requiring additional compensation from Lessee or Lessee's licensee(s) or sublessee(s). Lessor shall, upon Lessee's request, execute within fifteen (15) days a separate written easement to the utility company providing the service or Lessee in a form which may be filed of record evidencing this right.

(d) Lessor grants to Lessee, its officers, agents, employees, sublessees, licensees and their independent contractors, the right and privilege to enter upon the Premises and the Parent Parcel, to perform or cause to be performed test borings of the soil, environmental audits, engineering studies and to conduct a survey of the Premises and all or part of the Parent Parcel. Lessor grants Lessee and its sublessees and licensees a license to use such portion of Lessor's property contiguous to the Premises on a temporary basis as reasonably required during the Term or any Renewal Term of this Lease for the construction, installation, maintenance or removal of the Improvements, including access for construction machinery and equipment, storage of construction materials and equipment and staging areas.

(e) Lessor represents and warrants to Lessee that Lessee shall at all times during this Lease enjoy ingress, egress and access from the Premises twenty-four (24) hours a day, seven (7) days a week to an open and improved public road which presently exists, and which shall be adequate to service the Premises and the Improvements. If no such public road exists or ceases to exist in the future, Lessor will grant an exclusive easement to Lessee, Lessee's sublessees and assigns so that Lessee may, at its own expense, construct a suitable private access drive to the Premises and the Improvements. To the degree such access is across property owned by Lessor as described in Paragraph (1), Lessor shall execute an easement fifteen (15) days of evidencing this right and Lessor shall maintain access to the Easements in a free and open condition so that no interference is caused to Lessee by other lessees, licensees, invitees, or agents of the Lessor which may utilize the Easements.

7. Lessor's Representations and Warranties. As an inducement for Lessee to enter into and be bound by the terms of this Lease, Lessor represents and warrants to Lessee and Lessee's successors and assigns

that Lessor (i) has good and marketable title to the Premises, (ii) has the authority to enter into and be bound by the terms of this Lease, (iii) to the best of Lessor's knowledge, there are no pending or threatened lawsuits, administrative actions (including bankruptcy or insolvency proceedings), suits, claims or causes of action against Lessor or which may otherwise affect the Premises, and (iv) the Premises are not presently subject to an option, lease, agreement or other contract which may adversely affect Lessor's ability to fulfill its obligations under this Lease. Lessor covenants and agrees that it shall not grant an option or enter into any contract which will adversely affect Lessee's Intended Use (as defined in paragraph 2 above) of the Premises until this Lease expires or is terminated by Lessee. The representations and warranties of Lessor shall survive the termination or expiration of the term of this Lease.

8. Termination. Except as otherwise provided herein, this Lease may be terminated, without any penalty or further liability upon written notice as follows:

(a) By either party upon a default of any covenant or term hereof by the other party which default is not cured within sixty (60) days of receipt of written notice of default (without, however, limiting any other rights available to the parties pursuant to any other provisions hereof); provided, that if the defaulting party commences good faith efforts to cure the default within such period the cure period may be extended upon mutual agreement, in writing, of the parties hereto;

(b) Upon thirty (30) days' written notice by Lessee to Lessor if (i) Lessee is unable to obtain or maintain any license, permit or other Governmental Approval necessary for the construction and operation of the Improvements or Lessee's business or (ii) Lessee's Intended Use of the Premises is actually or constructively interfered with; or

(c) By Lessee for any reason upon written notice from Lessee to Lessor.

9. Subleases. Lessee at its sole discretion shall have the right, without the consent of or notice to Lessor, to license, sublease or otherwise allow the occupancy of all or a portion of the Premises and the Improvements. Lessee's licensee(s) and sublessee(s) shall be entitled to modify the tower and Improvements, and erect and install additional improvements and personal property on the Premises and Improvements, including but not limited to antennas, dishes, cabling, utilities, emergency or back up power, generators, and equipment shelters. Lessee's licensee(s) and sublessee(s) shall be entitled to all rights of ingress and egress to the Premises, the right to install utilities on the Premises and the right to use the Premises for the Intended Use as if said licensee or sublessee were the Lessee under this Lease.

10. Taxes. Lessee shall pay any property taxes assessed solely against the Improvements. Lessor shall pay when due all property taxes and all other fees and assessments attributable to the Premises. In the event that Lessor fails to pay when due any taxes affecting the Premises, Lessee shall have the right but not the obligation to pay such taxes and deduct the full amount of the taxes paid by Lessee on Lessor's behalf from future payments of Rent. Lessor agrees to provide to Lessee a copy of any notice, assessment or billing relating to any real or personal property taxes for which Lessee is responsible under this Lease within thirty (30) days of receipt of same by Lessor. Lessee shall not be obligated to reimburse Lessor for any applicable taxes unless Lessor requests such reimbursement within one (1) year after the date such taxes became due. Lessee shall have no obligation to make payment of any real or personal property taxes until Lessee has received notice, assessment or billing relating to such payment in accordance herewith. Lessee shall have the right, at its sole option, and at its sole cost and expense, to appeal, challenge or seek modification of any real or personal property tax assessment or billing for which Lessee is wholly or partly responsible for payment under this Lease. Lessor shall reasonably cooperate with Lessee in filing, prosecuting, and perfecting any appeal or challenge to real or personal property taxes as set forth herein, including but not limited to executing consent to appeal or other similar document.

11. Damage or Destruction. If the Premises or the Improvements are destroyed or damaged so as to hinder the effective use of the Improvements in Lessee's judgment, Lessee may elect to terminate this Lease as of the date of the damage or destruction by so notifying the Lessor.

12. Condemnation. If a condemning authority takes all of the Premises, or a portion sufficient in Lessee's determination, to render the Premises in the opinion of Lessee unsuitable for the use which Lessee was then making of the Premises, this Lease shall terminate upon the earlier of: (i) the date title vests in the condemning authority or (ii) the date the condemning authority takes possession of the Premises or a portion of it. Lessor and Lessee shall share in the condemnation proceeds in proportion to the values of their respective interests in the Premises (which for Lessee shall include, where applicable, the value of its Improvements, moving expenses, prepaid rent, lost business, goodwill, and business relocation expenses). A sale of all or part of the Premises to a purchaser with the power of eminent domain in the face of the exercise of eminent domain power shall be treated as a taking by condemnation for the purposes of this paragraph. Except as provided in this paragraph, generally applicable condemnation law will apply in the event of a condemnation.

13. Insurance. Lessee, at Lessee's sole cost and expense, shall procure and maintain on the Premises and on the Improvements, bodily injury and property damage insurance with a combined single limit of at least One Million and 00/100 Dollars ($1,000,000.00) per occurrence. Such insurance shall insure, on an occurrence basis, against liability of Lessee, its employees and agents arising out of or in connection with Lessee's use of the Premises and Improvements. If at any time during the Term of this Lease Lessor begins commercial operations on the Parent Parcel, Lessor may be required, depending on the nature of the commercial operations, to procure and maintain on the Parent Parcel, bodily injury and property damage insurance with a combined single limit of at least One Million Dollars ($1,000,000) per occurrence. Such insurance shall insure, on an occurrence basis, against liability of Lessor, its employees and agents arising out of or in connection with Lessor's use, occupancy and maintenance of the Parent Parcel.

14. Interference. Lessor shall not, nor shall Lessor permit its lessees, licensees, invitees, or agents, to use any portion of the Parent Parcel or adjacent real property owned or controlled by Lessor in any way which interferes with Lessee's Intended Use of the Premises. Such interference shall be deemed a material breach of this Lease by Lessor and Lessor shall have the responsibility to immediately terminate such interference. In the event such interference is not immediately rectified, Lessor acknowledges that continuing interference will cause irreparable injury to Lessee, and Lessee shall have the right, in addition to any other rights that it may have at law or in equity, to bring an action to enjoin such interference or to terminate this Lease with notice to Lessor.

15. Environmental Compliance. Lessor represents, warrants and agrees (i) that neither Lessor nor, to Lessor's knowledge, any third party has used, generated, stored or disposed of, or permitted the use, generation, storage or disposal of, any contaminants, oils, asbestos, PCBs, hazardous substances or wastes as defined by federal, state or local environmental laws, regulations or administrative orders or other materials the removal of which is required or the maintenance of which is prohibited, regulated or penalized by any federal, state or local government authority ("Hazardous Materials") on, under, about or within the Parent Parcel and/or Premises in violation of any law or regulation, and (ii) that Lessor will not, and will not permit any third party to use, generate, store or dispose of any Hazardous Materials on, under, about or within the Parent Parcel and/or Premises in violation of any law or regulation. Lessee agrees that it will not use, generate, store or dispose of any Hazardous Material on, under, about or within the Premises in violation of any law or regulation. This Lease shall at the option of Lessee terminate and be of no further force or effect if Hazardous Materials are discovered to exist on the Parent Parcel and/or Premises through no fault of Lessee after Lessee takes possession of the Premises and Lessee shall be entitled to a refund of all the consideration paid in advance to Lessor under this Lease.

16. Environmental Indemnities.

(a) Lessor, its heirs, grantees, successors, and assigns shall indemnify, defend, reimburse and hold harmless Lessee from and against any and all environmental damages arising from the

presence of Hazardous Materials upon, about or beneath the Parent Parcel and/or Premises, or migrating to or from the Parent Parcel and/or Premises, or arising in any manner whatsoever out of the violation of any environmental requirements pertaining to the Parent Parcel and/or Premises and any activities thereon, which conditions exist or existed prior to or at the time of the execution of this Lease or which may occur at any time in the future through no fault of Lessee.

(b) Lessee, its heirs, grantees, successors, and assigns shall indemnify, defend, reimburse and hold harmless Lessor from and against environmental damages caused by the presence of Hazardous Materials on the Premises arising solely as the result of Lessee's activities after the execution of this Lease.

(c) Notwithstanding the obligation of Lessor to indemnify Lessee pursuant to this Lease, Lessor shall, upon demand of Lessee, and at Lessor's sole cost and expense, promptly take all actions to remediate the Parent Parcel and/or Premises which are required by any federal, state or local governmental agency or political subdivision or which are reasonably necessary to mitigate environmental damages or to allow full economic use of the Premises, which remediation is necessitated from the presence upon, about or beneath the Parent Parcel and/or Premises of a Hazardous Material. Such actions shall include but not be limited to the investigation of the environmental condition of the Parent Parcel and/or Premises, the preparation of any feasibility studies, reports or remedial plans, and the performance of any cleanup, remediation, containment, operation, maintenance, monitoring or actions necessary to restore the Parent Parcel and/or Premises to the condition existing prior to the introduction of Hazardous Material upon, about or beneath the Parent Parcel and/or Premises notwithstanding any lesser standard of remediation allowable under applicable law or governmental policies.

(d) The duties and indemnifications in this paragraph shall survive expiration or earlier termination of this Lease.

17. Notices. All notices, requests, demands and other communications hereunder shall be in writing and shall be deemed given if personally delivered or mailed, certified mail, return receipt requested, or via a nationally recognized overnight delivery service to the following addresses or to such other addresses as may be specified in writing at any time during the term of this Lease:

If to Lessor, to:

Michael and Cynthia Dabolt
961 Capp Springs Road, Benton, KY 42025
Phone: 270-205-9736
Email: mdabolt@hotmail.com; cdabolt@hotmail.com

If to Lessee, to:

TowerCo 2013 LLC
5000 Valleystone Drive, Suite 200
Cary, NC 27519
Attn: Property Management
Site ID #: KY0114

18. Title and Quiet Enjoyment. Lessor warrants and represents that (i) it has the full right, power, and authority to execute this Lease; (ii) it has good and marketable fee simple title to the Premises free and clear of any liens and encumbrances or mortgages; (iii) there are no easements, licenses, rights, covenants or restrictions on use related to or affecting the Premises which will interfere with Lessee's Intended Use of the Premises; and (iv) the execution of this Lease by Lessor will not cause a breach or an event of default of any other agreement(s) to which Lessor is a party, and (v) the Premises constitutes a legal lot that may be leased without the need for any subdivision or platting approval. Lessor covenants that it shall comply

with all applicable laws, regulations and requirements related to the Premises and that Lessee shall have the quiet enjoyment of the Premises during the term of this Lease. Lessor shall indemnify Lessee from and against any loss, cost, expense or damage including attorneys' fees associated with a breach of the foregoing covenants. In the event that Lessor fails to keep the Premises free and clear of any liens and encumbrances, Lessee shall have the right but not the obligation to satisfy such lien or encumbrance and deduct the full amount paid by Lessee on Lessor's behalf from future installments of Rent. Lessor agrees to indemnify and hold harmless Lessee from any and all claims and/or notices of non-compliance brought against Lessor for any breach by Lessor of this warranty, and Lessor agrees to allow Lessee to continue to quietly enjoy the use of Lessor's Premises while Lessor remedies any such non-compliance. Should Lessee's use of the Premises become compromised due to any breach of the warranty and covenants contained in this paragraph, Lessor acknowledges that Lessee shall be substantially harmed and Lessee will seek to recover from Lessor any damages Lessee may sustain.

19. Occurrence of Lessor Default. The covenants, representations and conditions in this Lease are mutual and dependent. Upon the occurrence of any breach or nonperformance of any representation, warranty, covenant, agreement or undertaking made by Lessor in this Lease ("Default"), Lessee shall have the option to pursue any one or more of the following remedies without notice or demand: (a) Lessee, may, at its sole election, terminate the Lease; (b) Lessee, may, without being obligated and without waiving the Default, cure the Default, whereupon Lessor shall pay to Lessee, upon demand, all costs expenses, and disbursements incurred by Lessee to cure the Default. Lessee shall be permitted to offset said costs, expenses and disbursements incurred by Lessee against Rent or any other amounts due or becoming due by Lessee to Lessor under this Lease; or (c) Lessee shall be entitled to pursue any and all other rights or remedies available at law or equity, including specific performance of this Lease, with respect to Lessor's default.

20. Assignment. Upon written notice to Lessee, Lessor is permitted to transfer this Lease only in connection with the sale of the Parent Parcel and only on the following conditions: (a) the acquiring party must and will assume in writing all of the rights and obligations of Lessor under this Lease on and after the date of purchase of the Parent Parcel and (b) Lessor must retain no rights or obligations under the Lease after the date of sale of the Parent Parcel (a "Lessor Permitted Assignment"). Other than a Lessor Permitted Assignment, Lessor is prohibited from assigning, selling or otherwise transferring the Lease in whole or in part and Lessor is prohibited from granting any third party an easement or other real property interest in the Premises. Notwithstanding the above, any transfer of the Lease as a result of the death of Lessor, whether by will or intestate succession, or any conveyance to Lessor's family members by direct conveyance or by conveyance to a trust for the benefit of family members shall be considered a Lessor Permitted Assignment. Lessee may assign this Lease without the consent of or notice to Lessor. From and after the date this Lease has been sold, assigned, or transferred by Lessee to a third party agreeing to be subject to the terms hereof, Lessee shall immediately be released from any and all liability under this Lease, including the payment of any rental or other sums due, without any further action. Additionally, Lessee may mortgage or grant a security interest in this Lease and the Improvements and may assign this Lease and the Improvements to any such mortgagees or holders of security interests including their successors and assigns (hereinafter collectively referred to as "Secured Parties"). If requested, Lessor shall execute such consent to leasehold financing as may reasonably be required by Secured Parties. Lessor agrees to notify Lessee and Lessee's Secured Parties simultaneously of any default by Lessee and to give Secured Parties the same right to cure any default as Lessee except that the cure period for any Secured Party shall not be less than ten (10) days after the receipt of the default notice If a termination, disaffirmance or rejection of the Lease pursuant to any laws (including any bankruptcy or insolvency laws) by Lessee shall occur, or if Lessor shall terminate this Lease for any reason, Lessor will give to the Secured Parties prompt notice thereof and Lessor will give the Secured Parties the right to enter upon the Premises during a thirty (30)-day period commencing upon the Secured Party's receipt of such notice for the purpose of removing any Improvements. Lessor acknowledges that the Secured Parties shall be third-party beneficiaries of this Lease.

21. Successors and Assigns. This Lease shall run with the Premises and shall be binding upon and inure to the benefit of the parties, their respective heirs, including Melanie O'Daniel, successors, personal representatives, and assigns.

22. Waiver of Lessor's Lien. Lessor hereby waives any and all lien rights it may have, statutory or otherwise, in and to the Improvements or any portion thereof, regardless of whether or not same is deemed real or personal property under applicable laws.

23. Waiver of Incidental and Consequential Damages. Lessor will not assert any claim whatsoever against Lessee for loss of anticipatory profits or any other indirect, special, incidental or consequential damages incurred by Lessor as a result of the construction, maintenance, operation or use of the Premises by Lessee or its agents, licensees' or sublessees'.

24. Liability and Indemnity. Lessee shall indemnify and hold Lessor harmless from all claims (including reasonable attorneys' fees, costs, and expenses of defending against such claims) arising from the negligence or willful misconduct of Lessee or Lessee's agents or employees in or about the Premises. Lessor shall indemnify and hold Lessee harmless from all claims (including reasonable attorneys' fees, costs, and expenses of defending against such claims) arising from the negligence or willful misconduct of Lessor or Lessor's agents, employees, lessees, invitees, contractors or other tenants occurring in or about the Parent Parcel. The duties described herein survive termination of this Lease.

25. Right of First Refusal; Sale of the Premises. If Lessor elects (i) to sell or otherwise transfer to a third party all or any portion of the Premises, whether separately or as part of a larger parcel of which the Premises is a part, or (ii) to grant to a third party by easement, or other legal instrument, an interest, in and to any portion of the Premises for any purpose relating to operating and maintaining communications facilities or the management thereof, with or without an assignment of this agreement to such third party (including but not limited to assignments of rental streams associated with this agreement), Lessee shall have the right of first refusal to meet any bona fide offer of sale, assignment, or any other transfer on the same terms and conditions as such offer. Lessor shall immediately provide the Lessee with a copy of the bona fide offer together with a notice describing the offer in sufficient detail. If Lessee fails to accept such bona fide offer within thirty (30) days after receipt of the foregoing, Lessor may sell or grant the easement or interest in the Premises in accordance with the terms of such bona fide offer.

26. Miscellaneous.

(a) The substantially prevailing party in any litigation arising hereunder shall be entitled to its reasonable attorney's fees and court costs, including appeals, if any.

(b) Each party agrees to furnish to the other, within ten (10) days after request, such truthful estoppel information as the other may reasonably request.

(c) This Lease constitutes the entire agreement and understanding of the parties with respect to the subject matter of this Lease, and supersedes all offers, negotiations, and other agreements. There are no representations or understandings of any kind not set forth herein. Any amendments to said Lease must be in writing and executed by the parties.

(d) If either party is represented by a real estate broker in this transaction, that party shall be fully responsible for any fees due such broker and shall hold the other party harmless from any claims for commission by such broker.

(e) Lessor agrees to cooperate with Lessee in executing any documents necessary to protect Lessee's rights under this Lease or Lessee's use of the Premises, including but not limited to affidavits relating to title curative measures and subordination and non-disturbance agreements and to take any further action which Lessee may reasonably require as to effect the intent of this Lease.

(f) This Lease shall be construed in accordance with the laws of the state in which the Premises is situated.

(g) If any term of this Lease is found to be void or invalid, such invalidity shall not affect the remaining terms of this Lease, which shall continue in full force and effect.

(h) Upon request of Lessee, Lessor shall promptly execute and deliver to Lessee such documents as Lessee requests to evidence Lessee's rights in the Premises, including a memorandum of option and a memorandum of lease and/or amendments thereto. Lessee may file such documents of record in the property records in the county in which the Premises are located.

(i) Lessee may obtain title insurance on its interest in the Premises, and Lessor shall cooperate by executing documentation required by the title insurance company. In the event the Premises is encumbered by a mortgage or deed of trust, Lessor agrees to obtain and furnish, within thirty (30) days written request by Lessee, a non-disturbance agreement to the effect that Lessee and Lessee's sublessees or licensees will not be disturbed in the occupancy of the Premises by any foreclosure; provided that the rights and interests of Lessee under this Lease shall be subject and subordinate to such mortgage or deed of trust.

(j) Lessor hereby irrevocably appoints Lessee or Lessee's agent as Lessor's agent to file applications on behalf of Lessor with federal, state, and local governmental authorities which applications relate to Lessee's Intended Use of the Premises including but not limited to land use and zoning applications.

(k) This Lease may be executed in two or more counterparts, all of which shall be considered one and the same agreement and shall become effective when one or more counterparts have been signed by each of the parties, it being understood that all parties need not sign the same counterpart and that scanned, or electronically reproduced copies of this Lease shall have the same force and effect as originals.

(l) Lessor will not, during the term of this Lease together with any extensions thereof, enter into any other lease, license, or other agreement for a similar purpose as set forth herein, on or adjacent to the Parent Parcel.

(m) In any case where the approval or consent of one party hereto is required, requested or otherwise to be given under this Lease, such party shall not unreasonably condition, delay or withhold its approval or consent.

27. Confidentiality. Notwithstanding anything to the contrary contained in this Lease, Lessor agrees and acknowledges that all of the terms of this Lease and any information furnished to Lessor by Lessee in connection therewith are confidential. Lessor shall not disclose any such terms or information without Lessee's prior written consent, except (i) to Lessor's attorney, accountant, lender and/or a prospective fee simple purchaser of Lessor's Parent Parcel, provided that such party agrees to adhere to the terms and provisions of this section, or (ii) as otherwise required by law. Lessor acknowledges that the disclosure of such information to any other parties may cause Lessee irreparable harm, and in the event of such disclosure, as an additional remedy, Lessee shall have the right to terminate this Lease upon giving thirty (30) days written notice thereof to Lessor. The terms and provisions of this section shall survive the execution and delivery of this Lease.

[SIGNATURES BEGIN ON NEXT PAGE]

IN WITNESS WHEREOF, Lessor and Lessee have executed this Lease as of the date affixed to their signatures below.

LESSOR:

MICHAEL D. DABOLT and CYNTHIA L. DABOLT, husband and wife

By: _____
Name: Michael D. Dabolt
Date: 6-7-24

By: _____
Name: Cynthia L. Dabolt
Date: 6-7-24

LESSOR ACKNOWLEDGEMENT:

STATE OF KENTUCKY)
)
COUNTY OF MARSHALL)

The foregoing instrument was acknowledged before me this 7th day of June, 2024 by Michael D. Dabolt.

_____
Notary Public
Print Name Khrista Solomon
Title (and Rank): _____
My commission expires: 3-1-25

(seal)

STATE OF KENTUCKY)
)
COUNTY OF MARSHALL)

The foregoing instrument was acknowledged before me this 7th day of June, 2024 by Cynthia L. Dabolt.

_____
Notary Public
Print Name Khrista Solomon
Title (and Rank): _____
My commission expires: 3-1-25

(seal)

LESSEE:

TOWERCO 2013 LLC, a Delaware limited liability company

By: _____
Name: Hewitt Neagle
Title: CTO
Date: 6/13/24

LESSEE ACKNOWLEDGEMENT:

STATE OF NORTH CAROLINA)
)
COUNTY OF WAKE)

The foregoing instrument was acknowledged before me this 13th day of June, 2024 by Hewitt Neagle, CTO of TowerCo 2013 LLC, a Delaware limited liability company, on behalf of the limited liability company.

Alexander Solt
Notary Public
Print Name Alexander Solt
Title (and Rank): Notary Public
My commission expires: 06-15-2028

ALEXANDER SOLT
Notary Public
Wake
County
My Comm. Exp.
06-15-2028
(seal)
NORTH CAROLINA

EXHIBIT A
DESCRIPTION OF PARENT PARCEL

The Parent Parcel is described and/or depicted as follows:

The following described land lying in Marshall County, Kentucky, viz:

Beginning at a point on the west side of the Cap Spring Road, same point being the southwest corner of the property herein conveyed and also being the southwest corner of the James D. Odom property from which the property conveyed herein is a part; thence, North 6º West 48 feet along the Cap Spring Road to a point, thence, South 84º West 151 feet to a point; thence, North 6º West 65 feet to a point; thence, South 84º West 149 feet to a point; thence, South 4º East 133 feet to a point; thence, North 84º East 300 feet to the point of beginning, being approximately 3/4 acre.

Parcel No. 64-00-00-006

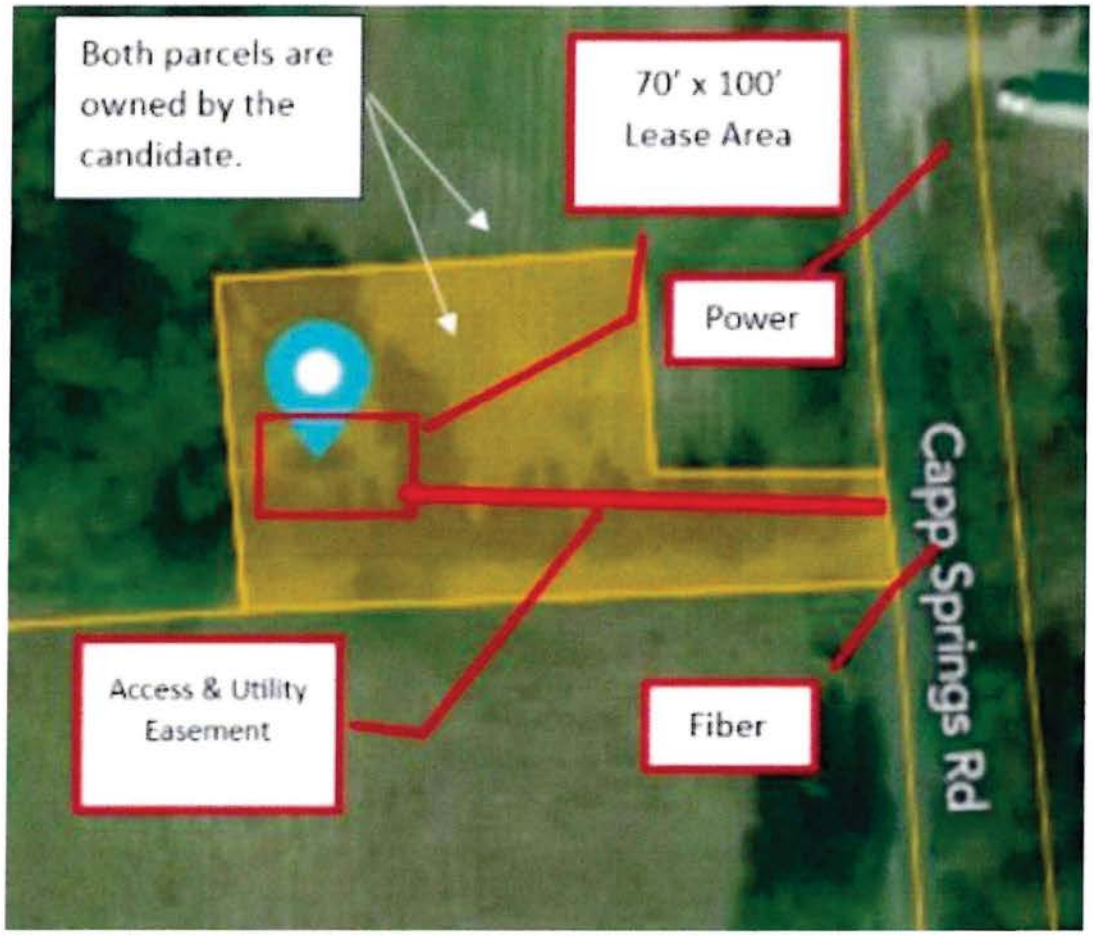
EXHIBIT B
DESCRIPTION OR DEPICTION OF PREMISES

An approximately 70' x 100' (7,000) square foot tract of land, together with easements for ingress, egress and utilities described or depicted as follows:

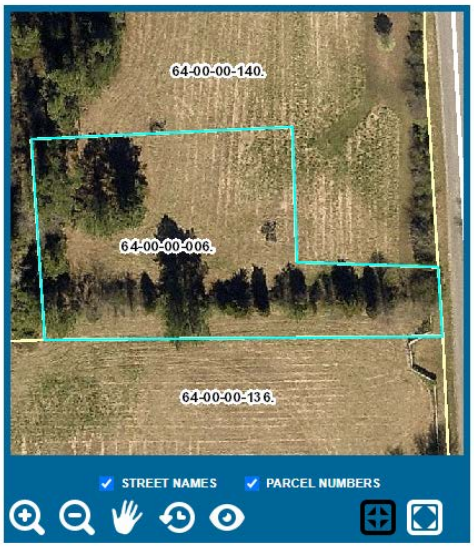
(see attached)

Note: At Lessee's option, Lessee may replace this Exhibit with an exhibit setting forth the legal description of the Premises, or an as-built drawing depicting the site. Any visual or textual representation of the Improvements and facilities is illustrative only, and does not limit the rights of Lessee as provided for in the Lease. Without limiting the generality of the foregoing:

1. The Premises may be setback from the boundaries of Lessor's property as required by the applicable governmental authorities.
2. The access road's width may be modified as required by governmental authorities, including police and fire departments.
3. The locations of any access and utility easements are illustrative only. Actual locations may be determined by Lessee and/or the servicing utility company in compliance with local laws and regulations.


Both parcels are owned by the candidate.
70' x 100' Lease Area
Power
Capp Springs Rd
Access & Utility Easement
Fiber

PID 64-00-00-006
Michael D & Cynthia L Dabolt
961 Capp Springs Rd
Benton KY 42025



TAX YEAR	2025
MAP NUMBER	64-00-00-006.
ACCOUNT NUMBER	214050

OWNERSHIP

100	JOINTLY WITH SURVIVORSHIP	DABOLT, CYNTHIA DABOLT, MICHAEL

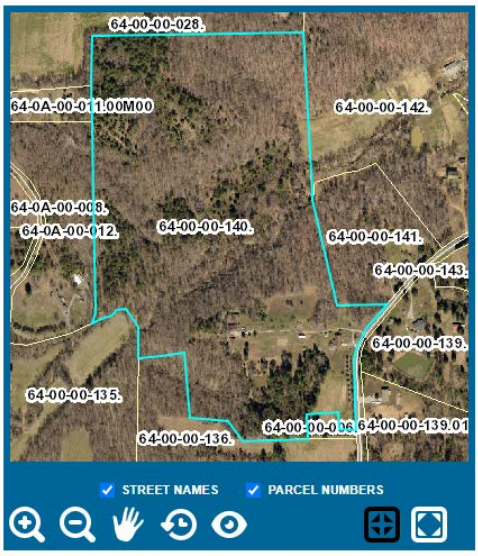
MAIL NAME	DABOLT MICHAEL D AND CYNTHIA L
MAILING ADDRESS	961 CAPP SPRINGS RD BENTON, KY 42025

PROPERTIES ON THIS ACCOUNT: 1

MAP NUMBER	PROPERTY CODE	LAND VALU
64-00-00-006.	RESIDENTIAL	$4,5

EST

PID 64-00-00-140.
Michael D & Cynthia L Dabolt
961 Capp Springs Rd
Benton KY 42025



TAX YEAR	2025
MAP NUMBER	64-00-00-140.
ACCOUNT NUMBER	326860

OWNERSHIP

100	JOINTLY WITH SURVIVORSHIP	DABOLT, CINDY L DABOLT, MICHAEL D

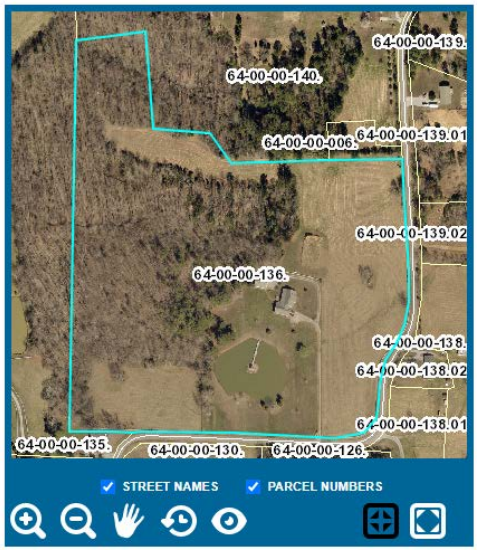
MAIL NAME	DABOLT MICHAEL D AND CYNTHIA L
MAILING ADDRESS	961 CAPP SPRINGS RD BENTON, KY 42025

PROPERTIES ON THIS ACCOUNT: 1

MAP NUMBER	PROPERTY CODE	LAND VAL
64-00-00-140.	FARM	$160,

ES

PID 64-00-00-136
Michael L & Kathy J Chance
571 Capp Springs Rd
Benton KY 42025



TAX YEAR	2025
MAP NUMBER	64-00-00-136.
ACCOUNT NUMBER	351290

OWNERSHIP

100	JOINTLY WITH SURVIVORSHIP	CHANCE, KATHY J CHANCE, MICHAEL L

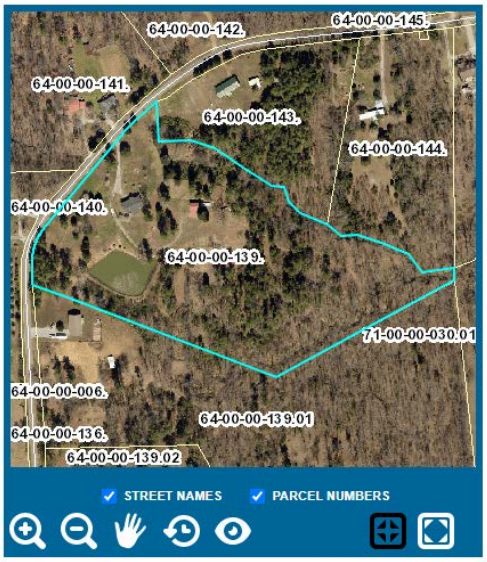
MAIL NAME	CHANCE MICHAEL L AND KATHY J
MAILING ADDRESS	571 CAPP SPRINGS RD BENTON, KY 42025

PROPERTIES ON THIS ACCOUNT: 1

MAP NUMBER	PROPERTY CODE	LAND VAL
64-00-00-136.	FARM	$85,

ES

PID 64-00-00-139
Duffy Shannon J Smeltzer
1024 Capp Springs Rd
Benton KY 42025



TAX YEAR	2025
MAP NUMBER	64-00-00-139.
ACCOUNT NUMBER	975440

OWNERSHIP

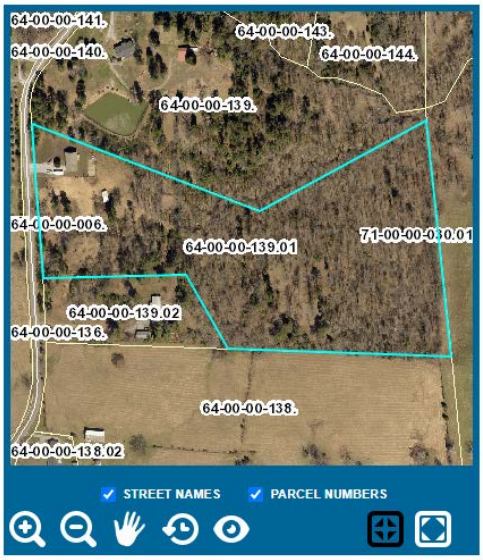
100	FEE SIMPLE	DUFFY, SHANNON J SMELTZER

MAIL NAME	DUFFY SHANNON J SMELTZER
MAILING ADDRESS	1024 CAPP SPRINGS RD BENTON, KY 42025

PROPERTIES ON THIS ACCOUNT: 1

MAP NUMBER	PROPERTY CODE	LAND VA
64-00-00-139.	FARM	$10

PID 64-00-00-139.01
Gary Oakley
908 Capp Springs Rd
Benton KY 42025



TAX YEAR	2025
MAP NUMBER	64-00-00-139.01
ACCOUNT NUMBER	782600

OWNERSHIP

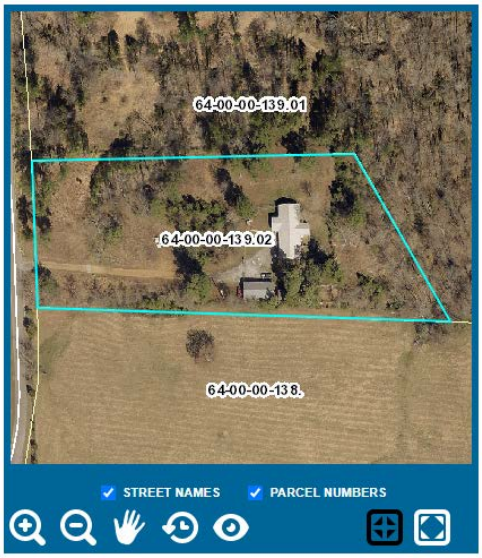
100	FEE SIMPLE	OAKLEY, GARY

MAIL NAME	OAKLEY GARY
MAILING ADDRESS	908 CAPP SPRINGS RD BENTON, KY 42025

PROPERTIES ON THIS ACCOUNT: 1

MAP NUMBER	PROPERTY CODE	LAND VA
64-00-00-139.01	FARM	$50

PID 64-00-00-139.02
John & Judith Rzonca
57 Crown Ct
Gilbertsville KY 42044



TAX YEAR	2025
MAP NUMBER	64-00-00-139.02
ACCOUNT NUMBER	907100

OWNERSHIP

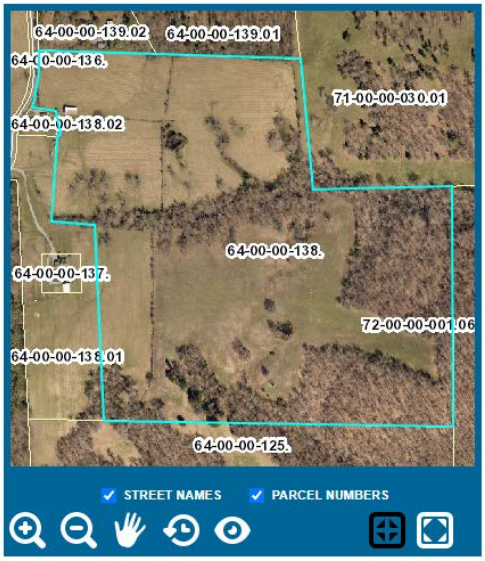
100	JOINTLY WITH SURVIVORSHIP	RZONCA, JOHN RZONCA, JUDY

MAIL NAME	RZONCA JOHN AND JUDITH
MAILING ADDRESS	57 CROWN CT GILBERTSVILLE, KY 42044

PROPERTIES ON THIS ACCOUNT: 1

MAP NUMBER	PROPERTY CODE	LAND VA
64-00-00-139.02	RESIDENTIAL	$25

PID 64-00-00-138
Steve Downing Etal
684 Capp Springs Rd
Benton KY 42025



TAX YEAR	2025
MAP NUMBER	64-00-00-138.
ACCOUNT NUMBER	926630

OWNERSHIP

33	JOINTLY IN COMMON	DOWNING, STEVE
33	JOINTLY IN COMMON	RUOFF, MARSHA KAY
33	JOINTLY IN COMMON	GRAY, KAREN

MAIL NAME	DOWNING STEVE ET AL
MAILING ADDRESS	684 CAPP SPRINGS RD BENTON, KY 42025

PROPERTIES ON THIS ACCOUNT: 1

MAP NUMBER	PROPERTY CODE	LAND VA
64-00-00-138.	FARM	$214

ClarkQuinn

www.clarkquinnlaw.com

Russell L. Brown
Attorney at Law
rbrown@clarkquinnlaw.com

320 N. Meridian St., Ste. 1100
Indianapolis, IN 46204
(317) 637-1321 main
(317) 687-2344 fax

January 31, 2025

Notice of Proposed Construction of
Wireless Communications Facility
Site Name: Fairdealing West

TowerCo 2013, LLC, T-Mobile and Cellco Partnership, d/b/a Verizon Wireless propose to construct a wireless communications facility on a site located on the west side of Capp Springs Road (County Road 1115), approximately 0.8 mile north of US HWY 68, Benton, KY 42025 (North Latitude: (36° 51' 47.91", West Longitude 88° 14' 55.18"). The proposed facility will include a 260-foot tall self-support tower, plus a 5-foot lightning arrestor and related ground facilities. This facility is needed to provide improved coverage for wireless communications in the area.

This notice is being sent to you because the County Property Valuation Administrator's records indicate that you may own property that is within a 500' radius of the proposed tower site or contiguous to the property on which the tower is to be constructed. You have a right to submit testimony to the Kentucky Public Service Commission ("PSC"), either in writing or to request intervention in the PSC's proceedings on the application. You may contact the PSC for additional information concerning this matter at: Kentucky Public Service Commission, Executive Director, 211 Sower Boulevard, P.O. Box 615, Frankfort, Kentucky 40602. Please refer to docket number 2025-00028 in any correspondence sent in connection with this matter.

We have attached a map showing the site location for the proposed tower. Applicant's radio frequency engineers assisted in selecting the proposed site for the facility, and they have determined it is the proper location and elevation needed to provide quality service to wireless customers in the area. Please feel free to contact us at 317-637-1321 if you have any comments or questions about this proposal.

Sincerely,
Russell L. Brown

Attorney for Applicant
RLB/mnw
enclosure

Location Map

ClarkQuinn
Clark, Quinn, Moses, Scott & Grahn, LLP

9589 0710 5270 1450 3477 42

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0006035028
$ 009.64⁰
JAN 31 2025

Michael D & Cynthia L Dabolt
961 Capp Springs Rd
Benton KY 42025

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ClarkQuinn
Clark, Quinn, Moses, Scott & Grahn, LLP

9589 0710 5270 1450 3477 59

FIRST-CLASS

US POSTAGE PITNEY BOWES
ZIP 46204
02 7H
0006035028
$ 009.64⁰
JAN 31 2025

Michael L & Kathy J Chance
571 Capp Springs Rd
Benton KY 42025

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Clark, Quinn, Moses, Scott & Grahn, LLP

9589 0710 5270 1450 3477 66

FIRST-CLASS

US POSTAGE PITNEY BOWES
ZIP 46204
02 7H
0006035028
$ 009.64⁰
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Duffy Shannon J Smeltzer
1024 Capp Springs Rd
Benton KY 42025

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Clark, Quinn, Moses, Scott & Grahn, LLP

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FIRST-CLASS

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0006035028

$ 009.64⁰
JAN 31 2025

Gary Oakley
908 Capp Springs Rd
Benton KY 42025

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ClarkQuinn
Clark, Quinn, Moses, Scott & Grahn, LLP

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FIRST-CLASS

US POSTAGE PITNEY BOWES

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JAN 31 2025

John & Judith Rzonca
57 Crown Ct
Gilbertsville KY 42044

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Clark, Quinn, Moses, Scott & Grahn, LLP

9589 0710 5270 1450 3480 22

FIRST-CLASS

US POSTAGE PITNEY BOWES

ZIP 46204
02 7H
0006035028

$ 009.64⁰
JAN 31 2025

Steve Downing Etal
684 Capp Springs Rd
Benton KY 42025

SENDER: COMPLETE THIS SECTION

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- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

Gary Oakley
908 Capp Springs Rd
Benton KY 42025

9590 9402 9104 4225 6971 33

2. Article Number *(Transfer from service label)*

9589 0710 5270 1450 3480 08

COMPLETE THIS SECTION ON DELIVERY

A. Signature
X Gary Oakley
☐ Agent
☑ Addressee

B. Received by *(Printed Name)* GARY OAKLEY
C. Date of Delivery 2-4-25

D. Is delivery address different from item 1? ☐ Yes
If YES, enter delivery address below: ☐ No

3. Service Type
☐ Adult Signature
☐ Adult Signature Restricted Delivery
☐ Certified Mail®
☐ Certified Mail Restricted Delivery
☐ Collect on Delivery
☐ Collect on Delivery Restricted Delivery
☐ Priority Mail Express®
☐ Registered Mail™
☐ Registered Mail Restricted Delivery
☐ Signature Confirmation™
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PS Form 3811, July 2020 PSN 7530-02-000-9053 Domestic Return Receipt

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1. Article Addressed to:

Steve Downing Etal
684 Capp Springs Rd
Benton KY 42025

9590 9402 9104 4225 6971 02

2. Article Number *(Transfer from service label)*

9589 0710 5270 1450 3480 22

COMPLETE THIS SECTION ON DELIVERY

A. Signature
X Sharon Downing
☑ Agent
☐ Addressee

B. Received by *(Printed Name)* Sharon Downing
C. Date of Delivery 2/5/25

D. Is delivery address different from item 1? ☐ Yes
If YES, enter delivery address below: ☐ No

3. Service Type
☐ Adult Signature
☐ Adult Signature Restricted Delivery
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☐ Certified Mail Restricted Delivery
☐ Collect on Delivery
☐ Collect on Delivery Restricted Delivery
☐ Priority Mail Express®
☐ Registered Mail™
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- Print your name and address on the reverse so that we can return the card to you.
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1. Article Addressed to:

Michael D & Cynthia L Dabolt
961 Capp Springs Rd
Benton KY 42025

9590 9402 9104 4225 6971 64

2. Article Number *(Transfer from service label)*

9589 0710 5270 1450 3477 42

COMPLETE THIS SECTION ON DELIVERY

A. Signature

X Cindy L Dabolt

☐ Agent
☑ Addressee

B. Received by *(Printed Name)*: Cindy C. Dabolt

C. Date of Delivery: 2/5/25

D. Is delivery address different from item 1? ☐ Yes
If YES, enter delivery address below: ☐ No

3. Service Type
☐ Adult Signature
☐ Adult Signature Restricted Delivery
☐ Certified Mail®
☐ Certified Mail Restricted Delivery
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1. Article Addressed to:

Duffy Shannon J Smeltzer
1024 Capp Springs Rd
Benton KY 42025

9590 9402 9104 4225 6971 40

2. Article Number *(Transfer from service label)*

9589 0710 5270 1450 3477 66

COMPLETE THIS SECTION ON DELIVERY

A. Signature

X Duffy

☐ Agent
☑ Addressee

B. Received by *(Printed Name)*: Shannon Duffy

C. Date of Delivery: 2/5/25

D. Is delivery address different from item 1? ☐ Yes
If YES, enter delivery address below: ☐ No

3. Service Type
☐ Adult Signature
☐ Adult Signature Restricted Delivery
☐ Certified Mail®
☐ Certified Mail Restricted Delivery
☐ Collect on Delivery
☐ Collect on Delivery Restricted Delivery
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☐ Priority Mail Express®
☐ Registered Mail™
☐ Registered Mail Restricte Delivery
☐ Signature Confirmation™
☐ Signature Confirmation Restricted Delivery

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- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

Michael L & Kathy J Chance
571 Capp Springs Rd
Benton KY 42025

9590 9402 9104 4225 6971 57

2. Article Number *(Transfer from service label)*

9589 0710 5270 1450 3477 59

COMPLETE THIS SECTION ON DELIVERY

A. Signature
X Michael L Chance ☐ Agent ☐ Addressee

B. Received by *(Printed Name)* MICHAEL L. CHANCE
C. Date of Delivery 2/12/25

D. Is delivery address different from item 1? ☐ Yes
If YES, enter delivery address below: ☐ No

3. Service Type
☐ Adult Signature
☐ Adult Signature Restricted Delivery
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☐ Certified Mail Restricted Delivery
☐ Collect on Delivery
☐ Collect on Delivery Restricted Delivery
☐ Priority Mail Express®
☐ Registered Mail™
☐ Registered Mail Restricte Delivery
☐ Signature Confirmation™
☐ Signature Confirmation Restricted Delivery

PS Form 3811, July 2020 PSN 7530-02-000-9053 Domestic Return Receipt

SENDER: *COMPLETE THIS SECTION*

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

John & Judith Rzonca
57 Crown Ct
Gilbertsville KY 42044

9590 9402 9104 4225 6971 26

2. Article Number *(Transfer from service label)*

9589 0710 5270 1450 3480 15

COMPLETE THIS SECTION ON DELIVERY

A. Signature
X ☐ Agent ☐ Addressee

B. Received by *(Printed Name)* Judith Rzonca
C. Date of Delivery 2/12/25

D. Is delivery address different from item 1? ☐ Yes
If YES, enter delivery address below: ☒ No

3. Service Type
☐ Adult Signature
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☐ Collect on Delivery
☐ Collect on Delivery Restricted Delivery
☐ Priority Mail Express®
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PS Form 3811, July 2020 PSN 7530-02-000-9053 Domestic Return Receipt

ClarkQuinn

www.clarkquinnlaw.com

Russell L. Brown
Attorney at Law
rbrown@clarkquinnlaw.com

320 N. Meridian St., Ste. 1100
Indianapolis, IN 46204
(317) 637-1321 main
(317) 687-2344 fax

January 31, 2025

Via Certified Mail, Return Receipt Requested
9589 0710 5270 1450 3480 39

Hon. Kevin Spraggs
Marshall County Judge/Executive
1101 Main Street
Benton, Kentucky 42025

RE: Notice of Proposal to Construct Wireless Communications Facility
Kentucky Public Service Commission Docket No. 2025-00028
Site Name: Fairdealing West

Dear Judge Spraggs:

TowerCo 2013, LLC, T-Mobile and Cellco Partnership, d/b/a Verizon Wireless propose to construct a wireless communications facility on a site located on the west side of Capp Springs Road (County Road 1115), approximately 0.8 mile north of US HWY 68, Benton, KY 42025 (North Latitude: (36° 51' 47.91", West Longitude 88° 14' 55.18"). The proposed facility will include a 260-foot tall self-support tower, plus a 5-foot lightning arrestor and related ground facilities. This facility is needed to provide improved coverage for wireless communications in the area.

You have a right to submit comments to the PSC or to request intervention in the PSC's proceedings on the application. You may contact the PSC at: Executive Director, Public Service Commission, 211 Sower Boulevard, P.O. Box 615, Frankfort, Kentucky 40602. Please refer to docket number 2025-00028 in any correspondence sent in connection with this matter. Please note, this site replaces the notice you received for PSC-00221.

We have attached a map showing the site location for the proposed tower. Verizon Wireless' radio frequency engineers assisted in selecting the proposed site for the facility, and they have determined it is the proper location and elevation needed to provide quality service to wireless customers in the area. Please feel free to contact us with any comments or questions you may have.

Sincerely,
Russell L. Brown

Attorney for Applicant

Location Map

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Clark, Quinn, Moses, Scott & Grahn, LLP

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ZIP 46204
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0006035028
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JAN 31 2025

Hon. Kevin Spraggs
Marshall County Judge/Executive
1101 Main Street
Benton, Kentucky 42025

SENDER: *COMPLETE THIS SECTION*

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

Hon. [illegible]in Spraggs
Mars[illegible] County Judge/Executive
1101 [illegible]in Street
B[illegible] Kentucky 42025

9590 9402 9104 4225 6970 72

2. Article Number *(Transfer from service label)*

9589 0710 5270 1450 3480 39

COMPLETE THIS SECTION ON DELIVERY

A. Signature
X
☐ Agent
☐ Addressee

B. Received by *(Printed Name)*
C. Date of Delivery
2/4/25

D. Is delivery address different from item 1? ☐ Yes
If YES, enter delivery address below: ☐ No

3. Service Type
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☐ Collect on Delivery
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☐ Priority Mail Express®
☐ Registered Mail™
☐ Registered Mail Restricte Delivery
☐ Signature Confirmation™
☐ Signature Confirmation Restricted Delivery

PS Form 3811, July 2020 PSN 7530-02-000-9053

Domestic Return Receipt

SITE NAME: FAIRDEALING WEST
NOTICE SIGNS

The signs are at least (2) feet by four (4) feet in size, of durable material, with the text printed in black letters at least one (1) inch in height against a white background, except for the word **"tower,"** which is at least four (4) inches in height.

TowerCo 2013, LLC, T-Mobile and Cellco Partnership, d/b/a Verizon Wireless proposes to construct a telecommunications tower on this site. If you have questions, please contact Clark, Quinn, Moses, Scott & Grahn, LLP, 320 N. Meridian Street, Indianapolis, IN 46204; 317-637-1321, or the Executive Director, Public Service Commission, 211 Sower Boulevard, PO Box 615, Frankfort, Kentucky 40602. Please refer to docket number 2025-00028 in your correspondence.

TowerCo 2013, LLC, T-Mobile and Cellco Partnership, d/b/a Verizon Wireless proposes to construct a telecommunications tower on this site. If you have questions, please contact Clark, Quinn, Moses, Scott & Grahn, LLP, 320 N. Meridian Street, Indianapolis, IN 46204; 317-637-1321, or the Executive Director, Public Service Commission, 211 Sower Boulevard, PO Box 615, Frankfort, Kentucky 40602. Please refer to docket number 2025-00028 in your correspondence.

ClarkQuinn
Clark, Quinn, Moses, Scott & Grahn, LLP

Robert B. Scott
Charles R. Grahn
Frank D. Otte*
John "Bart" Herriman
William W. Gooden**
Michael P. Maxwell
Russell L. Brown**†
Jennifer F. Perry
Keith L. Beall
N. Davey Neal
Travis W. Cohron
Maggie L. Sadler
Kristin A. McIlwain
Olivia A. Hess

Land Use Consultant
Elizabeth Bentz Williams, AICP

*Also admitted in Montana
†Also admitted in Kentucky
**
Registered Civil Mediator

February 12, 2025

VIA EMAIL: ggilbert@tribunecourier.com

Tribune Courier
86 Commerce Blvd.
Benton, KY 42025

RE: Legal Notice Advertisement
Site Name: Fairdealing West

To Whom It May Concern,

Please publish the following legal notice advertisement in the next available edition of the Tribune Courier Publication:

NOTICE

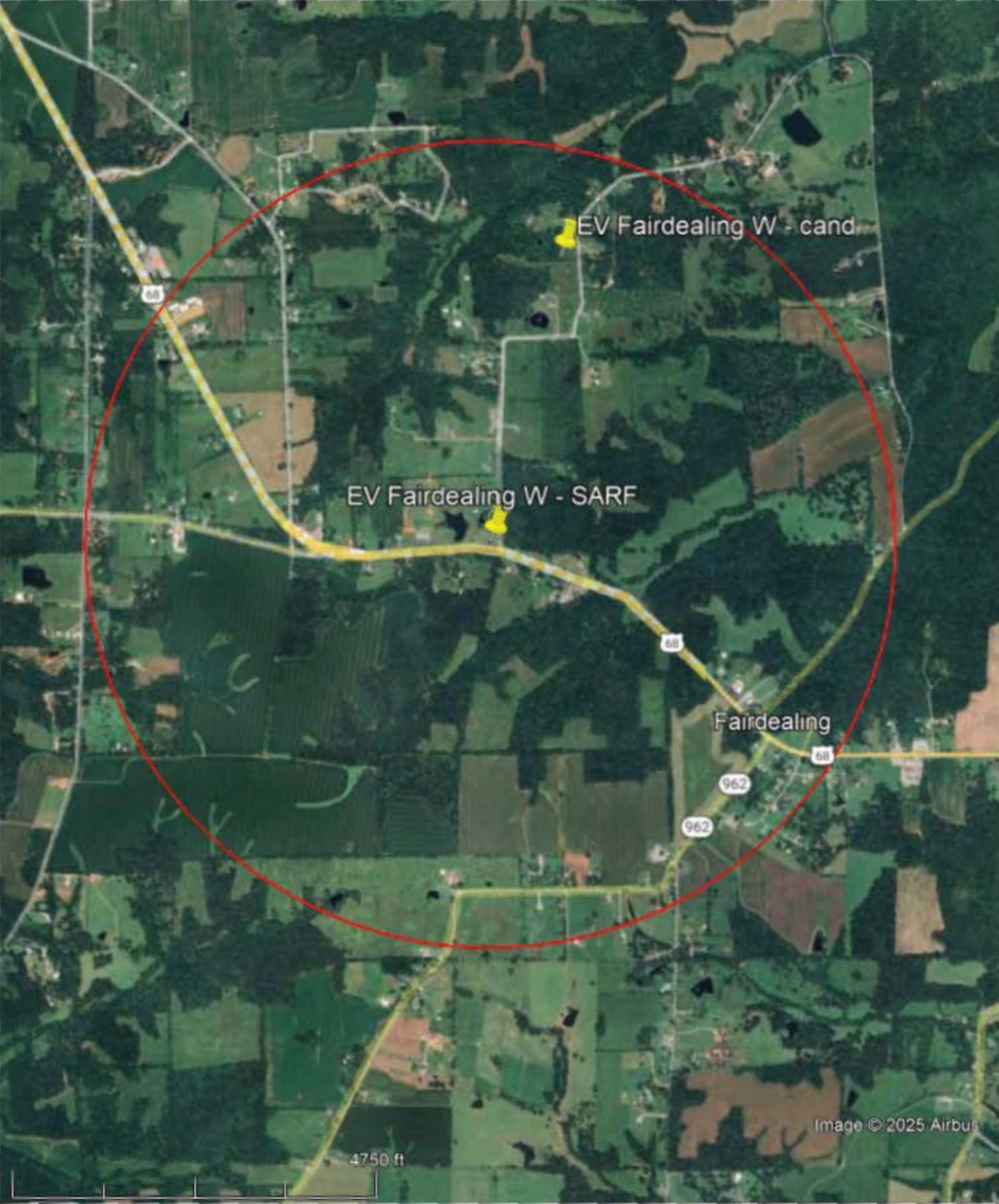
TowerCo 2013, LLC, T-Mobile and Cellco Partnership, d/b/a Verizon Wireless propose to construct a wireless communications facility on a site located on the west side of Capp Springs Road (County Road 1115), approximately 0.8 mile north of US HWY 68, Benton, KY 42025 (North Latitude: (36° 51' 47.91", West Longitude 88° 14' 55.18"). The proposed facility will include a 260-foot tall self-support tower, plus a 5-foot lightning arrestor and related ground facilities.

You have a right to submit comments to the PSC or to request intervention in the PSC's proceedings on the application. You may contact the PSC at: Executive Director, Public Service Commission, 211 Sower Boulevard, P.O. Box 615, Frankfort, Kentucky 40602. Please refer to docket number 2025-00028 in any correspondence sent in connection with this matter.

After this advertisement has been published, please forward a tearsheet copy, affidavit of publication, and invoice to Clark, Quinn, Moses, Scott & Grahn, LLC, 320 N. Meridian Street, Indianapolis, IN 46204 or by email to ebw@clarkquinnlaw.com. Please call me on my cell with any questions at 317-902-2187 if you have any questions. Thank you for your assistance.

Sincerely,

Elizabeth Bentz Williams, AICP


EV Fairdealing W - cand
EV Fairdealing W - SARF
68
Fairdealing
962
Image © 2025 Airbus
4750 ft

verizon

Statement of Network Need for a New Communications Tower

Antonino Ramos, RF Engineer

1. My name is Antonino Ramos and I am a radio frequency (RF) engineer for Verizon Wireless ("Verizon"). I have been employed as an RF engineer for 24 years in the telecommunications industry, the last year with Verizon.
2. The primary duties of my job as an RF engineer include the design and management of Verizon's wireless communications network in its Michigan/Indiana/Kentucky Market, which includes the area in and around Benton, Kentucky. In this role, I am also responsible for identifying and correcting substantial service gaps that present themselves in Verizon's wireless network. These service gaps can be caused by lack of coverage or insufficient system capacity, or both. Service gaps are identified through the use of internal Verizon network monitoring tools and analysis showing the capacity and/or coverage need in a particular area.
3. In the course of my employment at Verizon, I have become aware of a significant service gap in Verizon's wireless communications network in the area near eastern Benton, Kentucky (the "Gap Area"). As a result of this significant service gap, Verizon customers using their devices in and around the Gap Area are likely to experience diminished call quality, slow and unreliable data transmission speeds, call drops, and blocked calls. Verizon's service gap in the Gap Area has existed for several years.
4. This significant service gap will remain and cannot be resolved unless a communications tower is constructed within the Gap Area. Verizon must remedy this service gap in order to provide high-speed wireless broadband access to the communities in and around Benton, Kentucky, to fill in coverage gaps where wireless services are not reliable, and to provide enhanced E911 services.
5. Verizon identified a search area in which tower would need to be located in order to resolve the service gap. Before proposing a new communications tower, Verizon first considered whether any existing towers in the area could be used to resolve the coverage gap in the Gap Area. There are no other existing towers in the search area on which Verizon could collocate its communications equipment to resolve the service gap. For this reason, Verizon Wireless began looking for available properties in the search area that would be suitable for a tower.
6. Verizon and TowerCo have worked together to identify a property in the Gap Area that could accommodate a communications tower to correct the significant service gap in Verizon's wireless communications network. TowerCo has proposed to build a new tower on 869 Capp Springs Road in Benton, Kentucky ("Proposed Tower").
7. By co-locating its communications equipment on the Proposed Tower, Verizon will resolve the current significant service gap and will be able to provide improved service to residents, businesses, and emergency service providers in and around the Gap Area. If TowerCo is unable to construct the new telecommunications tower, and Verizon is therefore unable to collocate its equipment on the proposed tower, the significant service gap in Verizon's wireless communications network will remain, and Verizon will be prohibited from providing reliable wireless service to its customers in the Gap Area.

Dated this 30 day of January, 2025

Antonino S. J. Ramos

[Antonino Ramos]
RF Engineer
Verizon

ALL-PURPOSE ACKNOWLEDGMENT

State of Indiana

County of Marion

On Jan 30, 2025 (DATE) before me, Robin Banks (NAME OF NOTARY PUBLIC)

personally appeared Antonino San Jose Ramos (NAME(S) OF SIGNERS(S))

personally known to me OR proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

ROBIN BANKS
Notary Public, State of Indiana
Marion County
Commission Number NP0726991
My Commission Expires
05/27/2028
NOTARY PUBLIC SEAL INDIANA

WITNESS my hand and official seal.

Place Notary Seal or Stamp Here

Robin Banks
SIGNATURE OF NOTARY

ATTENTION NOTARY: Although the information requested below is OPTIONAL, it may prove valuable to persons relying on this Acknowledgment and could prevent fraudulent reattachment of this certificate to another document.

DESCRIPTION OF ATTACHED DOCUMENT

THIS CERTIFICATE MUST BE ATTACHED TO THE DOCUMENT DESCRIBED AT RIGHT

TITLE OR TYPE OF DOCUMENT

NUMBER OF PAGES

DATE OF DOCUMENT

SIGNER(S) OTHER THAN NAMED ABOVE

T · ·Mobile·

January 21, 2025

Re: Proposed T-Mobile Wireless Communications Facility
Site Name: 9LV4918A

To Whom It May Concern:

The purpose of this letter is to state the need for the tower height at a new TowerCo Wireless Communications Facility, KY114, to be built at 869 Capp Springs Rd, Benton, KY 42025. Coverage propagation maps have been analyzed at varying tower heights. It has been determined that any height lower than 265' will not meet the necessary coverage and capacity needs in the residential areas near Capp Springs Road. The only viable solution is a tower height of 265' or greater. At this height the site will provide the wireless voice and data experience that the T-Mobile customers rely on. It will also provide critical safety support through enhanced 911 services.

This site has been designed and will be constructed and operated in accordance with all applicable requirements and regulations set forth by the various agencies that manage them including the FAA and the FCC. This site will transmit within the licensed frequency bands owned by T-Mobile and will adhere to FCC regulated power limitations. RF emission readings in the accessible areas will be below the FCC limits for exposure. Appropriate RF emission signage will be placed at the entrance to the site.

Sincerely,

Jason Ascher
Senior Engineer, RF Deployment
T-Mobile USA

BARBARA SAULS
STATE OF TENNESSEE NOTARY PUBLIC
RUTHERFORD COUNTY

Barbara Sauls
My commission expires 3/1/2028

January 21, 2025

RE: Zoning Plots

Site Name: EV Fairdealing West

To Whom It May Concern:

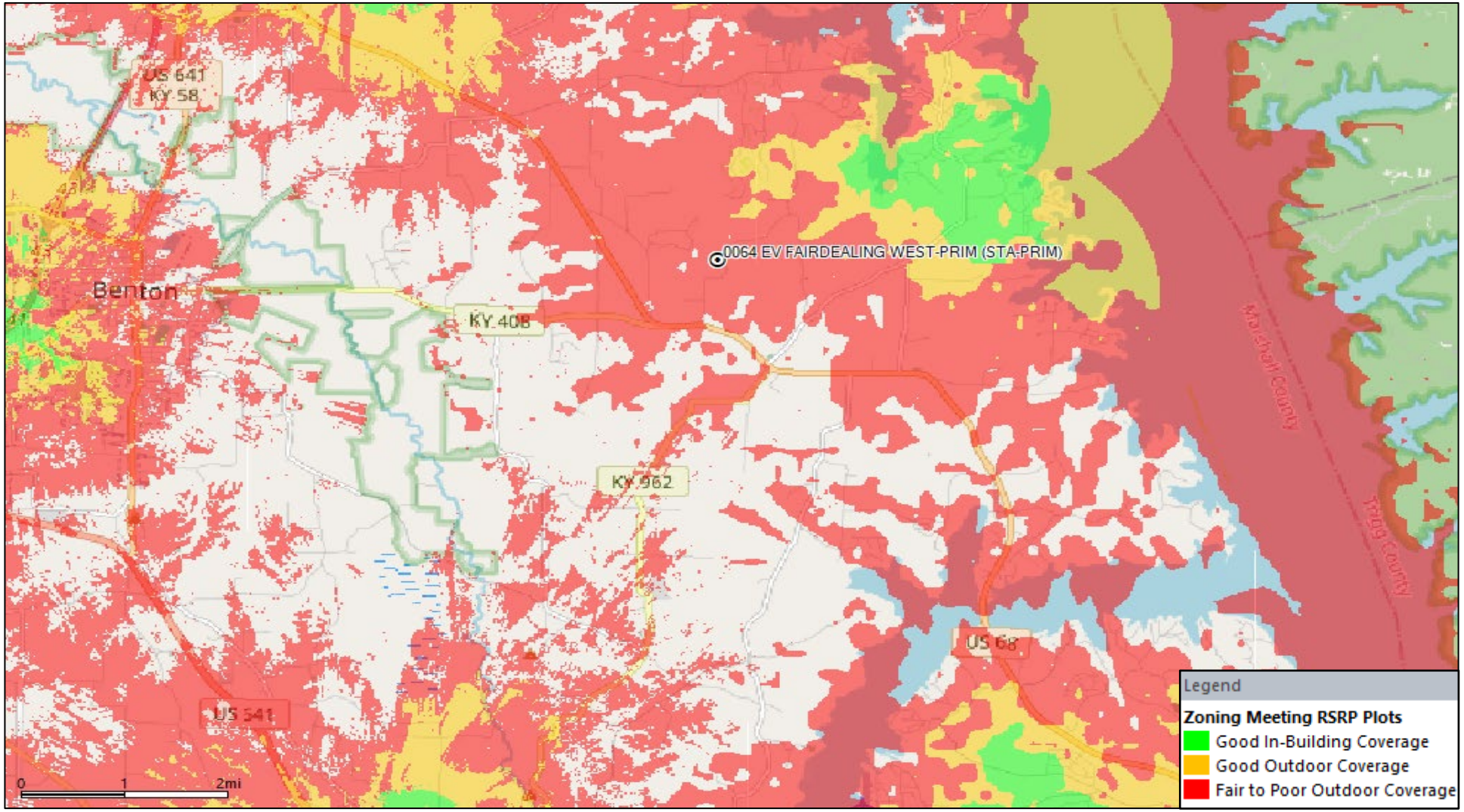
This map is not a guarantee of coverage and may contain areas with no service. This map reflects a depiction of predicted and approximate wireless coverage of the network and is intended to provide a relative comparison of coverage. The depictions of coverage do not guarantee service availability as there are many factors that can influence coverage and service availability. These factors vary from location to location and change over time. The coverage areas may include locations with limited or no coverage. Even within a coverage area shown, there are many factors, including but not limited to, usage volumes, outages, customer's equipment, terrain, proximity to buildings, foliage, and weather that may impact service.

Sincerely,

Steven Belcher
Sr RF Engineer
Verizon Wireless

verizon

Current Coverage - Without proposed site EV Fairdealing West



verizon

Coverage - With proposed site EV Fairdealing West

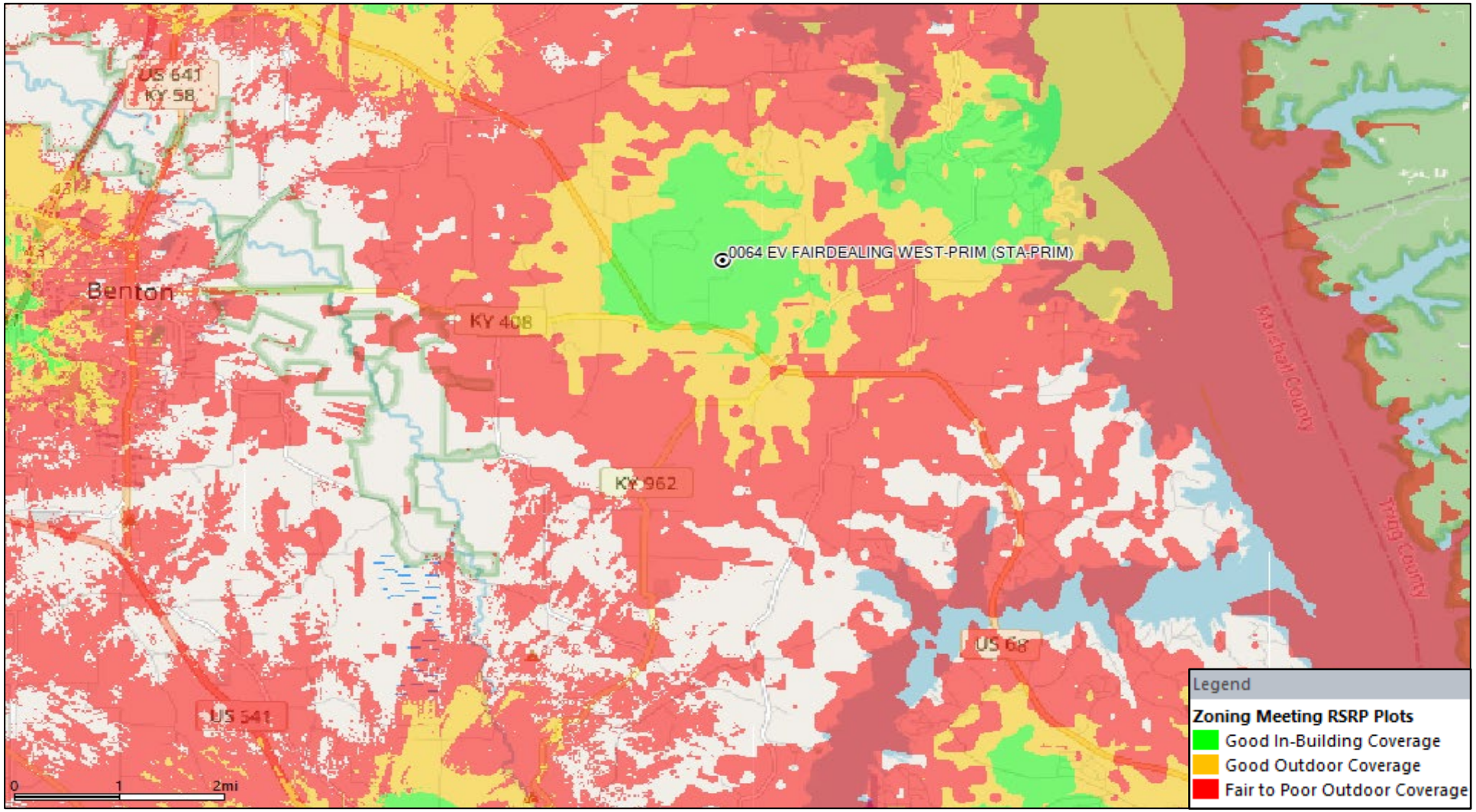


Exhibit S
List and Identity and Qualifications of Professionals

Stephen E. Hunt
Professional Engineer
Kentucky License 25003
TeleCad Communications
1961 Northpoint Blvd. Suite 130
Hixson, TX, 37343

Travis L. Sheilds
Professional Land Surveyor
Kentucky License 4246
The Land Consultants, LLC
5449 Highway 41
Jasper, TN 37347

Joseph V. Borrelli, Jr.
Professional Engineer
Delta Oaks Group
4904 Professional Court, Second Floor
Raleigh, NC 27609

Allen Schneider
Professional Engineer
Kentucky License 37506
Rohn Products, LLC
1 Fairholm Avenue
Peoria, IL 61603

Raphael Mohamed
Professional Engineer
Kentucky License 24429
1600 King St N #9,
St. Jacobs, ON N0B 2N0, Canada

F. Geoff Bost
Professional Engineer
Kentucky License 28817
Engineered Tower Solutions, PLLC
3227 Wellington Ct.
Raleigh, NC 27615

Caleb McVey
Director of Construction
TowerCo
5000 Valleystone Dr.
Cary, NC 27519

Antonio Ramos
RF Engineer
Verizon Wireless
2421 Holloway Road
Louisville, KY 40299

Steven Belcher
Sr. RF Engineer
Verizon Wireless
2421 Holloway Road
Louisville, KY 40299

STATE OF INDIANA)
) SS:
COUNTY OF MARION)

AFFIDAVIT OF CERTIFICATION
COMMONWEALTH OF KENTUCKY
PUBLIC SERVICE COMMISSION

I Russell L. Brown, attorney for Cellco Partnership, d/b/a Verizon Wireless, TowerCo 2013, LLC and T-Mobile Central, LLC hereby certify that as the person supervising the preparation of this application and all statements and information contained herein are true and accurate to the best of that person's knowledge, information, and belief formed after a reasonable inquiry for all information within this application.

Russell L. Brown
Attorney, for Cellco Partnership, d/b/a Verizon Wireless,
TowerCo 2013, LLC and T-Mobile Central, LLC

STATE OF INDIANA,
COUNTY OF MARION, SS:
Subscribed and sworn to before me this 17th day of March, 2025.

Notary Public
Printed Name of Notary: Elizabeth Bentz Wiliams
My commission expires: November 18, 2028
My County of Residence: Marion
Commission #: 0639620