

**COMMONWEALTH OF KENTUCKY
BEFORE THE PUBLIC SERVICE COMMISSION**

In the Matter of:

THE APPLICATION OF)
CELLCO PARTNERSHIP D/B/A VERIZON WIRELESS)
AND VB BTS II, LLC D/B/A VERTICAL BRIDGE FOR) CASE NO. 2023-00308
ISSUANCE OF A CERTIFICATE OF PUBLIC)
CONVENIENCE AND NECESSITY TO CONSTRUCT A)
WIRELESS COMMUNICATIONS FACILITY IN THE)
COMMONWEALTH OF KENTUCKY IN THE COUNTY)
OF CASEY)

SITE NAME: HWY 243

* * * * *

**APPLICATION FOR
CERTIFICATE OF PUBLIC CONVENIENCE AND NECESSITY
FOR CONSTRUCTION OF A WIRELESS COMMUNICATIONS FACILITY**

Cellco Partnership, d/b/a Verizon Wireless and VB BTS II, LLC d/b/a Vertical Bridge (“Co-Applicants”), by counsel, pursuant to (i) KRS §§278.020, 278.040, 278.650, 278.665, and other statutory authority, and the rules and regulations applicable thereto, and (ii) the Telecommunications Act of 1996, respectfully submit this Application requesting issuance of a Certificate of Public Convenience and Necessity (“CPCN”) from the Kentucky Public Service Commission (“PSC”) to construct, maintain, and operate a Wireless Communications Facility (“WCF”) to serve the customers of the Co-Applicants with wireless communications services.

In support of this Application, Co-Applicants respectfully provide and state the following information:

1. The complete name and address of the Co-Applicants:
 - a. Cellco Partnership, d/b/a Verizon Wireless, having a local address of 2902 Ring Road, Elizabethtown, KY 42701.

b. VB BTS II, LLC d/b/a Vertical Bridge, having an address of 750 Park of Commerce Dr, Boca Raton, FL 33487.

2. Co-Applicants;

a. Cellco Partnership, d/b/a Verizon Wireless is a Delaware general partnership, and a copy of the Statement of Good Standing from Delaware and Amended Certificate of Assumed Name is on file with the Secretary of State of Commonwealth of Kentucky is included as part of **Exhibit A**.

b. VB BTS II, LLC d/b/a Vertical Bridge is a Delaware Limited Liability Company organized in the State of Delaware. We attest that VB BTS II, LLC d/b/a Vertical Bridge, LLC is in good standing with the State of Delaware and is also authorized to transact business in the Commonwealth of Kentucky. A copy of the Delaware Certificate of Formation and Certificate of Good Standing is included as part of **Exhibit A**. The Certificate of Authority is on file with the Secretary of State of Commonwealth of Kentucky and is included as part of **Exhibit A**.

3. Co-Applicants propose construction of an antenna tower for communications services, which is to be located in an area outside the jurisdiction of a planning commission, and Co-Applicants submit this application to the PSC for a certificate of public convenience and necessity pursuant to KRS §§ 278.020(1), 278.040, 278.650, 278.665, and other statutory authority.

4. The Co-Applicant, Cellco Partnership, d/b/a Verizon Wireless operates on frequencies licensed by the Federal Communications Commission ("FCC") pursuant to applicable FCC requirements. A copy of the Co-Applicants' FCC Licenses with

Authorization to provide wireless services are attached to this Application or described as part of **Exhibit B**, and the facility will be constructed and operated in accordance with applicable FCC regulations.

5. The public convenience and necessity require the construction of the proposed WCF. The construction of the WCF will bring or improve the Co-Applicants' service to an area currently not served or not adequately served by the Co-Applicants by increasing coverage or capacity and thereby enhancing the public's access to innovative and competitive wireless communications services. A statement from Co-Applicant's RF Design Engineer outlining said need is attached as **Exhibit Q** along with Propagation Maps attached as **Exhibit R**. The WCF is an integral link in the Co-Applicant's network design that must be in place to provide adequate coverage to the service area.

6. To address the above-described service needs, Co- Applicants propose to construct a WCF at on a site located at 3180 Minors Branch Road, Gravel Switch, KY 40328. (North Latitude: (37° 30' 33.53, West Longitude 84° 57' 23.05"), on a parcel of land located entirely within the county referenced in the caption of this application. The property on which the WCF will be located is owned by Peter and Angela A. Primiano pursuant to a Deed recorded in Deed Book 274, Page 248 in the office of the County Clerk. The proposed WCF will consist of a 300-foot tall tower, with an approximately 5-foot tall lightning arrestor attached at the top, for a total height of 305-feet. The WCF will also include concrete foundations and a shelter or cabinets to accommodate the placement of the Co-Applicant's radio electronics equipment and appurtenant equipment. The Co-Applicant's equipment cabinet or shelter will be approved for use in the Commonwealth of Kentucky by the relevant building inspector. The WCF compound will be fenced and all

access gate(s) will be secured. A description of the manner in which the proposed WCF will be constructed is attached as **Exhibit C** and **Exhibit D**.

7. A list of utilities, corporations, or persons with whom the proposed WCF is likely to compete along with a map showing the proposed location as well as the identified like facilities is attached as **Exhibit E**.

8. The site development plan and a vertical profile sketch of the WCF signed and sealed by a professional engineer registered in Kentucky depicting the tower height, as well as a proposed configuration for the antennas of the Co-Applicants has also been included as part of **Exhibit C**.

9. Foundation design plans signed and sealed by a professional engineer registered in Kentucky and a description of the standards according to which the tower was designed are included as part of **Exhibit D**.

10. Co-Applicants have considered the likely effects of the installation of the proposed WCF on nearby land uses and values and has concluded that there is no more suitable location reasonably available from which adequate services can be provided, and that there are no reasonably available opportunities to co-locate Co-Applicant's antennas on an existing structure. When suitable towers or structures exist, Co-Applicant attempts to co-locate on existing structures such as communications towers or other structures capable of supporting Applicant's facilities; however, no other suitable or available co-location site was found to be located in the vicinity of the site. A statement from Co-Applicant, Cellco Partnership, d/b/a Verizon Wireless's RF Design Engineer outlining exploration of co-location opportunities is attached as **Exhibit Q**.

11. A copy of the Application for Federal Aviation Administration's ("FAA") is attached as **Exhibit F**. The FAA Determination of No Hazard to Air Navigation will be filed once received.
12. A copy of the Application for Kentucky Airport Zoning Commission ("KAZC") is attached as **Exhibit G**. The approval from KAZC will be submitted when received.
13. A geotechnical engineering report was performed at the WCF site by Delta Oaks Group, 4904 Professional Court, Second Floor, Raleigh, NC 27609, dated February 14, 2024 and is attached as **Exhibit H**. The name and address of the geotechnical engineering firm and the professional engineer registered in Kentucky who prepared the report are included as part of **Exhibit H and Exhibit S**.
14. Clear directions to the proposed WCF site from the County seat are attached as **Exhibit I**. The name and telephone number of the preparer of **Exhibit I** are included as part of this exhibit.
15. Co-Applicants, pursuant to a written agreement, has acquired the right to use the WCF site and associated property rights. A copy of the agreement or an abbreviated agreement recorded with the County Clerk is attached as **Exhibit J**.
16. Personnel directly responsible for the design and construction of the proposed WCF are well qualified and experienced. The tower and foundation drawings for the proposed tower submitted as part of **Exhibit D** bear the signature and stamp of a professional engineer registered in the Commonwealth of Kentucky. All tower designs meet or exceed the minimum requirements of applicable laws and regulations. The identity and qualifications of each person directly responsible for design and construction of the proposed tower are contained in **Exhibit S**.

17. The Construction Manager for the proposed facility is Billy Waldrige Jr. and the identity and qualifications of each person directly responsible for design and construction of the proposed tower are contained in **Exhibit S**.

18. As noted on the Survey attached as part of **Exhibit C**, the surveyor has determined that the tower site and access easement are not within any flood hazard area per Flood Hazard Boundary Map, Community Panel Number 21045C0050D, Dated July 7, 2009. **Exhibit C** also identifies every structure and every easement within 500 feet of the proposed tower or within 200 feet of the access road including intersection with the public street system.

19. Attached as **Exhibit K-1** is the Notification List with screen shots of the PVA records verified and updated using the Casey County PVA on September 12, 2023.

20. Co-Applicants have sent certified notices every person who, according to the records of the County Property Valuation Administrator, owns property which is within 500 feet of the proposed tower or contiguous to the site property, by certified mail, return receipt requested, of the proposed construction. Each notified property owner has been provided with a map of the location of the proposed construction, the PSC docket number for this application, the address of the PSC, and informed of his or her right to request intervention. A copy of the form of the notice sent by certified mail to each landowner on September 13, 2023, is attached as **Exhibit L-1**. Ten (10) notices were sent to surrounding property owners; to date nine (9) notice green cards have been returned and one (1) envelope have been returned. The returned envelope was received February 22, 2024. It should be noticed that the envelope returned was mailed to the property owners, who have

executed the lease to permit the WCF. Copies of the mailed envelopes, returned green cards, returned envelope and USPS tracking are included in **Exhibit L-1**.

21. On March 18, 2024 Co-Applicants re-verified ownership using Casey County PVA records to find one change in ownership since the September 12, 2023 mailing, highlighted in red on **Exhibit K-2** Notification Listing Rev. 3-18-24.

22. On March 18, 2024, new notice was mailed to the current owner of Parcel 061-19N. A copy of the form of the notice sent by certified mail to the owner of Parcel 061-19N on March 18, 2024, is attached as **Exhibit L-2**. The file will be supplemented as soon as the green card or returned envelope is received.

23. Co-Applicants have notified the applicable County Judge/Executive by certified mail, return receipt requested, of the proposed construction. This notice included the PSC docket number under which the application will be processed and informed the County Judge/Executive of his/her right to request intervention. A copy of this notice along with a copy of the mailed envelope and returned green card is attached as **Exhibit M**.

24. Notice signs meeting the requirements prescribed by 807 KAR 5:063, Section 1(2) that measure at least 2 feet in height and 4 feet in width and that contain all required language in letters of required height, have been posted, one in a visible location on the proposed site and one on the nearest public road. Such signs shall remain posted for at least two weeks after filing of the Application, and a copy of the posted text is attached as **Exhibit N**.

25. A legal notice advertisement regarding the location of the proposed facility is being published on March 27, 2024 in a newspaper of general circulation in the county in which

the WCF is proposed to be located. A copy of the newspaper legal notice advertisement is attached as **Exhibit O**.

26. The area of the proposed facility is in the unincorporated area of Casey County, Kentucky. The site is located at 3180 Minors Branch Road, Gravel Switch, KY 40328. The site is heavily wooded as is the area in general. The terrain is rolling. There is no zoning or Plan Commission in this area of Casey County. The general area where the proposed facility is proposed is well off the public road, wooded and removed a significant distance from any residential structures. The nearest residential structure is 714' 3" from the proposed tower site.

27. The process that was used by the Co-Applicant's radio frequency engineers in selecting the site for the proposed WCF was consistent with the general process used for selecting all other existing and proposed WCF facilities within the proposed network design area. Co-Applicant's radio frequency engineers have conducted studies and tests in order to develop a highly efficient network that is designed to handle voice and data traffic in the service area. The engineers determined an optimum area for the placement of the proposed facility in terms of elevation and location to provide the best quality service to customers in the service area. A radio frequency design search area prepared in reference to these radio frequency studies was considered by the Co-Applicant when searching for sites for its antennas that would provide the coverage deemed necessary by the Co-Applicant. A map of the area in which the tower is proposed to be located which is drawn to scale and clearly depicts the necessary search area within which the site should be located pursuant to radio frequency requirements is attached as **Exhibit P**.

28. The tower must be located at the proposed location and proposed height to provide necessary service to wireless communications users in the subject area, as set out and documented in the RF Design Engineer's Statement of Need and Propagation Maps attached as **Exhibit Q** and **Exhibit R**, respectively. The proposed tower will expand and improve voice and data service for Verizon Wireless customers.

29. Attached hereto as **Exhibit T** please find an Affidavit of Certification for all information contained in this application.

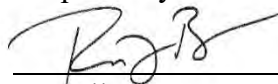
30. All Exhibits to this Application are hereby incorporated by reference as if fully set out as part of the Application.

31. All responses and requests associated with this Application may be directed to:

Russell L. Brown
Clark, Quinn, Moses, Scott & Grahn, LLP
320 North Meridian Street, Suite 1100
Indianapolis, IN 46204
Phone: (317) 637-1321
FAX: (317) 687-2344
Email: rbrown@clarkquinnlaw.com

WHEREFORE, Co-Applicants respectfully request that the PSC accept the foregoing Application for filing and, having met the requirements of KRS §§278.020(1), 278.650, and 278.665 and all applicable rules and regulations of the PSC, grant a Certificate of Public Convenience and Necessity to construct and operate the WCF at the location set forth herein.

Respectfully submitted,



Russell L. Brown
Clark, Quinn, Moses, Scott & Grahn, LLP
320 North Meridian Street, Suite 1100
Indianapolis, IN 46204
Phone: (317) 637-1321 / FAX: (317) 687-2344
Email: rbrown@clarkquinnlaw.com
Attorney for Cellco Partnership d/b/a Verizon Wireless

LIST OF EXHIBITS

- A Applicant Entities
- B FCC Registration and License Documentation
- C Site Development Plan:
 - 500' Vicinity Map Legal Descriptions
 - Flood Plain Certification Site Plan
 - Vertical Tower Profile
- D Tower and Foundation Design
- E Competing Utilities, Corporations, or Persons List
And Map of Like Facilities in Vicinity
- F FAA Application
- G KAZC Application
- H Geotechnical Report
- I Directions to Site
- J Real Estate Agreement
- K-1 Notification Listing with PVA Verification 9-12-23
- K-2 Notification Listing with PVA Verification Rev 3-18-24
- L-1 Property Owner Notification 9-13-23
- L-2 Property Owner Notification 3-18-24
- M County Judge/Executive notice
- N Posted Notices
- O Newspaper Legal Notice Advertisement
- P Radio Frequency Design Search Area
- Q RF Design Engineer State of Need
- R Propagation Maps
- S List of Qualified Professionals
- T Affidavit of Certification

Delaware

The First State

I, JEFFREY W. BULLOCK, SECRETARY OF STATE OF THE STATE OF DELAWARE, DO HEREBY CERTIFY "CELLCO PARTNERSHIP" IS DULY FORMED UNDER THE LAWS OF THE STATE OF DELAWARE AND IS IN GOOD STANDING AND HAS A LEGAL EXISTENCE SO FAR AS THE RECORDS OF THIS OFFICE SHOW, AS OF THE TWENTY-SEVENTH DAY OF APRIL, A.D. 2023.

AND I DO HEREBY FURTHER CERTIFY THAT THE ANNUAL TAXES HAVE BEEN PAID TO DATE.




Jeffrey W. Bullock, Secretary of State

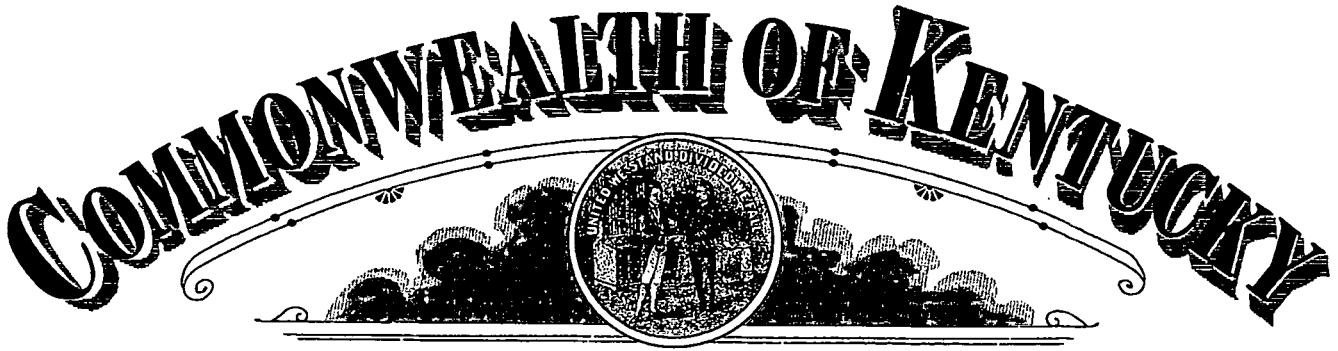
3341134 8300

SR# 20231665976

You may verify this certificate online at corp.delaware.gov/authver.shtml

Authentication: 203227418

Date: 04-27-23



Michael G. Adams
Secretary of State

Certificate

I, Michael G. Adams, Secretary of State for the Commonwealth of Kentucky, do hereby certify that the foregoing writing has been carefully compared by me with the original thereof, now in my official custody as Secretary of State and remaining on file in my office, and found to be a true and correct copy of

CERTIFICATE OF ASSUMED NAME OF VERIZON WIRELESS ADOPTED BY
GENERAL PARTNERS OF CELLCO PARTNERSHIP FILED JUNE 21, 2006.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my
Official Seal at Frankfort, Kentucky, this 10th day of May, 2023.



Michael G. Adams

Michael G. Adams
Secretary of State
Commonwealth of Kentucky
kdcoleman/0641227 - Certificate ID: 290787

COMMONWEALTH OF KENTUCKY
TREY GRAYSON
SECRETARY OF STATE



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C226

Trey Grayson
Secretary of State
Received and Filed

06/21/2006 12:06:09 PM
Fee Receipt: \$20.00

CERTIFICATE OF ASSUMED NAME

This certifies that the assumed name of
Verizon Wireless

(Name under which the business will be conducted)

has been adopted by See Addendum

(Real name - KRS 365.015(1))

which is the "real name" of (YOU MUST CHECK ONE)

- | | |
|--|---|
| <input type="checkbox"/> a Domestic General Partnership | <input checked="" type="checkbox"/> a Foreign General Partnership |
| <input type="checkbox"/> a Domestic Registered Limited Liability Partnership | <input type="checkbox"/> a Foreign Registered Limited Liability Partnership |
| <input type="checkbox"/> a Domestic Limited Partnership | <input type="checkbox"/> a Foreign Limited Partnership |
| <input type="checkbox"/> a Domestic Business Trust | <input type="checkbox"/> a Foreign Business Trust |
| <input type="checkbox"/> a Domestic Corporation | <input type="checkbox"/> a Foreign Corporation |
| <input type="checkbox"/> a Domestic Limited Liability Company | <input type="checkbox"/> a Foreign Limited Liability Company |
| <input type="checkbox"/> a Joint Venture | |

organized and existing in the state or country of Delaware, and whose address is

One Verizon Way Basking Ridge NJ 07920

Street address, if any

City

State

Zip Code

The certificate of assumed name is executed by

NYNEX PCS Inc.

Jane A. Schapker

Jane A. Schapker - Assistant Secretary

Print or type name and title

June 15, 2006

Date

Signature

Print or type name and title

Date

Addendum

The full name of the Partnership is Cellco Partnership; a Delaware general partnership with its headquarters located One Verizon Way, Basking Ridge NJ 07920-1097.

General Partners of Cellco Partnership	Address
Bell Atlantic Cellular Holdings, L.P.	One Verizon Way Basking Ridge, NJ 07920
NYNEX PCS Inc.	One Verizon Way Basking Ridge, NJ 07920
PCSCO Partnership	One Verizon Way Basking Ridge, NJ 07920
GTE Wireless Incorporated	One Verizon Way Basking Ridge, NJ 07920
GTE Wireless of Ohio Incorporated	One Verizon Way Basking Ridge, NJ 07920
PCS Nucleus, L.P.	2999 Oak Road, 7 th Floor Walnut Creek, CA 94597
JV PartnerCo, LLC	2999 Oak Road, 7 th Floor Walnut Creek, CA 94597

Delaware

Page 1

The First State

I, JEFFREY W. BULLOCK, SECRETARY OF STATE OF THE STATE OF DELAWARE, DO HEREBY CERTIFY THE ATTACHED IS A TRUE AND CORRECT COPY OF THE CERTIFICATE OF FORMATION OF "VB BTS II, LLC", FILED IN THIS OFFICE ON THE EIGHTH DAY OF JUNE, A.D. 2022, AT 1:01 O`CLOCK P.M.




Jeffrey W. Bullock, Secretary of State

6844426 8100
SR# 20222658754

Authentication: 203631822
Date: 06-08-22

You may verify this certificate online at corp.delaware.gov/authver.shtml

STATE OF DELAWARE
CERTIFICATE OF FORMATION
OF LIMITED LIABILITY COMPANY

The undersigned authorized person, desiring to form a limited liability company pursuant to the Limited Liability Company Act of the State of Delaware, hereby certifies as follows:

1. The name of the limited liability company is _____
VB BTS II, LLC

2. The Registered Office of the limited liability company in the State of Delaware is located at _____ 850 New Burton Road, Suite 201 _____ (street), in the City of _____ Dover _____, Zip Code _____ 19904 _____. The name of the Registered Agent at such address upon whom process against this limited liability company may be served is _____
COGENCY GLOBAL INC.

State of Delaware
Secretary of State
Division of Corporations
Delivered 01:01 PM 06/08/2022
FILED 01:01 PM 06/08/2022
SR 20222658754 - File Number 6844426

By: _____ /s/ Daniel Marinberg
Authorized Person

Name: _____ Daniel Marinberg
Print or Type

Delaware

The First State

I, JEFFREY W. BULLOCK, SECRETARY OF STATE OF THE STATE OF DELAWARE, DO HEREBY CERTIFY "VB BTS II, LLC" IS DULY FORMED UNDER THE LAWS OF THE STATE OF DELAWARE AND IS IN GOOD STANDING AND HAS A LEGAL EXISTENCE SO FAR AS THE RECORDS OF THIS OFFICE SHOW, AS OF THE TWENTY-THIRD DAY OF JANUARY, A.D. 2023.

AND I DO HEREBY FURTHER CERTIFY THAT THE SAID "VB BTS II, LLC" WAS FORMED ON THE EIGHTH DAY OF JUNE, A.D. 2022.

AND I DO HEREBY FURTHER CERTIFY THAT THE ANNUAL TAXES HAVE BEEN ASSESSED TO DATE.




Jeffrey W. Bullock, Secretary of State

6844426 8300

SR# 20230223025

You may verify this certificate online at corp.delaware.gov/authver.shtml

Authentication: 202551773

Date: 01-23-23



202303080004
 FAYETTE CO, KY FEE \$46.00
 PRESENTED / LODGED: 03-08-2023 08:19:15 AM

RECORDED: 03-08-2023
 SUSAN LAMB
 CLERK
 BY: HALLIE WOOSLEY
 DEPUTY CLERK



COMMONWEALTH OF KENTUCKY
 MICHAEL G. ADAMS, SECRETARY OF STATE

1265644.06

m Moore
 ADD

Michael G. Adams
 Kentucky Secretary of State
 Received and Filed:
 3/7/2023 12:33 PM
 Fee Receipt: \$90.00

BK: IB 428
 PG: 690-690

Division of Business Filings
 P.O. Box 718
 Frankfort, KY 40602
 (502) 564-3490
 www.sos.ky.gov

Certificate of Authority
 (Foreign Business Entity)

FBE

Pursuant to the provisions of KRS 14A - 030 the undersigned hereby applies for authority to transact business in Kentucky on behalf of the entity named below and, for that purpose, submits the following statements:

1. The entity is a:
- | | | |
|--|---|---|
| <input type="checkbox"/> profit corporation | <input checked="" type="checkbox"/> nonprofit corporation | <input type="checkbox"/> professional limited liability company |
| <input type="checkbox"/> business trust | <input type="checkbox"/> limited liability company | <input type="checkbox"/> statutory trust |
| <input type="checkbox"/> limited partnership | <input type="checkbox"/> llc cooperative association | <input type="checkbox"/> other |
| <input type="checkbox"/> non-profit llc | <input type="checkbox"/> professional service corporation | |

2. The name of the entity is VB BTS II, LLC
 (The name must be identical to the name on record with the Secretary of State.)

3. The name of the entity to be used in Kentucky is (if applicable): _____
 (Only provide if "real name" is unavailable for use; otherwise, leave blank.)

4. The state or country under whose law the entity is organized is Delaware

5. The date of organization is 6/8/2022 and the period of duration is _____
 (if left blank, duration is considered perpetual.)

6. The mailing address of the entity's principal office is
750 Park of Commerce Drive, Suite 200 Boca Raton FL 33487
 Street Address City State Zip Code

7. The street address of the entity's registered office in Kentucky is
828 Lane Allen Road, Suite 219 Lexington KY 40504
 Street Address (No P.O. Box Numbers) City State Zip Code

and the name of the registered agent at that office is Cogency Global Inc.

8. The names and business addresses of the entity's representatives (secretary, officers and directors, managers, trustees or general partners):

<u>Daniel Marinberg</u>	<u>750 Park of Commerce Dr, Ste 200</u>	<u>Boca Raton</u>	<u>FL</u>	<u>33487</u>
Name	Street or P.O. Box	City	State	Zip Code
Name	Street or P.O. Box	City	State	Zip Code
Name	Street or P.O. Box	City	State	Zip Code

9. If a professional service corporation, all the individual shareholders, not less than one half (1/2) of the directors, and all of the officers other than the secretary and treasurer are licensed in one or more states or territories of the United States or District of Columbia to render a professional service described in the statement of purposes of the corporation.

10. I certify that, as of the date of filing this application, the above-named entity validly exists under the laws of the jurisdiction of its formation.

11. If a limited partnership, it elects to be a limited liability limited partnership. Check the box if applicable:

12. If a limited liability company, check box if manager-managed:

13. This application will be effective upon filing.

[Signature] Adam B. Ginder-Vice President & Associate General Counsel 03/07/23
 Signature of Authorized Representative Printed Name & Title Date

I, Cogency Global Inc., consent to serve as the registered agent on behalf of the business entity.

[Signature] Eric B Hood ASSISTANT SECRETARY 3/7/23
 Signature of Registered Agent Printed Name Title Date

ASR Application Search

Application A1277512**Application Detail**

File Number	A1277512	Constructed	
Registration Number		Dismantled	
NEPA		EMI	No

Application Information

Status	Pending	Date Received	02/22/2024
Purpose	New	Entered	02/22/2024
Mode	Interactive		

Antenna Structure

Structure Type L TOWER - Lattice Tower

Location (in NAD83 Coordinates)

Lat/Long	37-30-33.5 N 084-57-23.1 W	Address	Minors Branch Road
City, State	Gravel Switch , KY		
Zip	40328	County	CASEY
Center of AM Array		Position of Tower in Array	

Heights (meters)

Elevation of Site Above Mean Sea Level	392.0	Overall Height Above Ground (AGL)	94.5
Overall Height Above Mean Sea Level	486.5	Overall Height Above Ground w/o Appurtenances	91.4

Proposed Marking and/or Lighting

FAA Style E

FAA Notification

FAA Study

FAA Issue Date

Owner & Contact Information

FRN	0033815929	Owner Entity Type	Limited Liability Company
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Owner

The Towers, LLC
 Attention To: Matthew Bonfante
 750 Park of Commerce Drive
 STE 200
 Boca Raton , FL 33487

P: (561)406-4023
 F:
 E: FCC-FAA@verticalbridge.com

Contact

Bonfante , Matthew
 Attention To: Matthew Bonfante
 750 Park of Commerce Drive
 STE 200
 Boca Raton , FL 33487

P: (561)406-4023
 F:
 E: FCC-FAA@verticalbridge.com

Environmental Compliance

Does the applicant request a Waiver of the Commission's rules for environmental notice?	Is the applicant submitting an Environmental Assessment?
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No

No

Is another Federal Agency taking responsibility for environmental review?

Does the applicant certify to No Significant Environmental Effect pursuant to Section

No

Reason for another Federal Agency taking responsibility for environmental review

Basis for Certification

Name of Federal Agency

Local Notice Date

National Notice Date

04/22/2024

Certification

Authorized Party	Bonfante, Matthew	Title	Regulatory Compliance Specialist
Receipt Date	02/22/2024		

Comments

Comments

None

History

Date	Event
02/22/2024	New Application Received

Trans Log

Date	Description	Existing Value	Requested Value
None			

Pleadings

Pleading Type	Filer Name	Description	Date Entered
None			

Automated Letters

Date	Description
None	

Attachments

Type	Description	Date Entered
None		

CLOSE WINDOW

REFERENCE COPY

This is not an official FCC license. It is a record of public information contained in the FCC's licensing database on the date that this reference copy was generated. In cases where FCC rules require the presentation, posting, or display of an FCC license, this document may not be used in place of an official FCC license.



**Federal Communications Commission
Wireless Telecommunications Bureau**

RADIO STATION AUTHORIZATION

LICENSEE: RURAL CELLULAR CORPORATION

ATTN: REGULATORY
RURAL CELLULAR CORPORATION
5055 NORTH POINT PKWY, NP2NE NETWORK ENGINEERING
ALPHARETTA, GA 30022

Call Sign KNKN940	File Number 0009139416
Radio Service CL - Cellular	
Market Numer CMA448	Channel Block A
Sub-Market Designator 0	

FCC Registration Number (FRN): 0003715919

Market Name Kentucky 6 - Madison
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Grant Date 09-01-2020	Effective Date 09-01-2020	Expiration Date 10-01-2030	Five Yr Build-Out Date	Print Date 09-01-2020
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Site Information:

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
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1 37-42-55.3 N 084-16-14.8 W

Address: WEST OF US-25 1.2 MILES SOUTH OF INTERSECTION OF US-25 & SR-876

City: RICHMOND **County:** MADISON **State:** KY **Construction Deadline:**

Antenna: 1

Maximum Transmitting ERP in Watts: 115.000

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	137.000	130.000	127.000	93.000	96.000	102.000	124.000	114.000
Transmitting ERP (watts)	74.000	74.000	74.000	74.000	74.000	74.000	74.000	74.000

Conditions:

Pursuant to §309(h) of the Communications Act of 1934, as amended, 47 U.S.C. §309(h), this license is subject to the following conditions: This license shall not vest in the licensee any right to operate the station nor any right in the use of the frequencies designated in the license beyond the term thereof nor in any other manner than authorized herein. Neither the license nor the right granted thereunder shall be assigned or otherwise transferred in violation of the Communications Act of 1934, as amended. See 47 U.S.C. § 310(d). This license is subject in terms to the right of use or control conferred by §706 of the Communications Act of 1934, as amended. See 47 U.S.C. §606.

Licensee Name: RURAL CELLULAR CORPORATION

Call Sign: KNKN940

File Number: 0009139416

Print Date: 09-01-2020

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
2	37-25-40.3 N	084-21-51.8 W			

Address: ON LEAR KNOB 3 MILES NW OF
City: BROADHEAD County: ROCKCASTLE State: KY Construction Deadline:

Antenna: 1

Maximum Transmitting ERP in Watts:	175.000							
Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	198.000	128.000	158.000	168.000	166.000	183.000	199.000	202.000
Transmitting ERP (watts)	100.000	100.000	100.000	100.000	100.000	100.000	100.000	100.000

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
3	37-17-21.3 N	084-15-51.8 W	430.0		

Address: ON SAND HILL 2.6 MILES SOUTHWEST OF
City: LIVINGSTON County: ROCKCASTLE State: KY Construction Deadline:

Antenna: 1

Maximum Transmitting ERP in Watts:	172.000							
Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	175.000	144.000	190.000	181.000	192.000	185.000	167.000	141.000
Transmitting ERP (watts)	47.000	22.000	19.000	41.000	90.000	114.000	120.000	102.000

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
4	37-08-57.3 N	084-05-58.8 W	408.0		

Address: 1 MILE NORTH OF
City: LONDON County: LAUREL State: KY Construction Deadline:

Antenna: 1

Maximum Transmitting ERP in Watts:	138.000							
Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	139.000	161.000	113.000	124.000	135.000	153.000	127.000	152.000
Transmitting ERP (watts)	40.000	34.000	54.000	128.000	146.000	137.000	146.000	95.000

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
5	37-36-05.3 N	084-39-36.8 W			

Address: 4 MILES SOUTHWEST OF
City: LANCASTER County: LINCOLN State: KY Construction Deadline:

Antenna: 1

Maximum Transmitting ERP in Watts:	128.000							
Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	139.000	148.000	120.000	148.000	104.000	119.000	100.000	148.000
Transmitting ERP (watts)	100.000	100.000	100.000	100.000	100.000	100.000	100.000	100.000

Licensee Name: RURAL CELLULAR CORPORATION

Call Sign: KNKN940

File Number: 0009139416

Print Date: 09-01-2020

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
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7	37-01-05.3 N	084-34-53.8 W			
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Address: Hilltop, 2.2 miles NNE of

City: Burnside County: PULASKI State: KY Construction Deadline:

Antenna: 1

Maximum Transmitting ERP in Watts:	196.000							
Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	183.000	178.000	176.000	206.000	210.000	185.000	219.000	211.000
Transmitting ERP (watts)	0.310	0.160	0.170	0.190	16.270	73.910	75.320	20.900

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
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8	37-38-52.6 N	084-47-12.9 W	297.5	91.4	1043353
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Address: 211 FOREST AVENUE

City: DANVILLE County: BOYLE State: KY Construction Deadline:

Antenna: 1

Maximum Transmitting ERP in Watts:	140.820							
Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	88.800	101.000	95.900	80.700	60.400	47.100	83.700	90.000
Transmitting ERP (watts)	51.720	51.720	51.720	51.720	51.340	51.720	51.720	51.720

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
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9	37-52-45.3 N	084-19-32.8 W	277.0		
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Address: 0.45 MILES NORTHEAST OF INTERSECTION OF I-75 & US-25/421 1 MILE ESE OF

City: CLAYS FERRY County: CLARK State: KY Construction Deadline:

Antenna: 1

Maximum Transmitting ERP in Watts:	109.000							
Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	92.000	122.000	158.000	111.000	90.000	121.000	102.000	77.000
Transmitting ERP (watts)	1.120	6.920	58.880	100.000	100.000	91.200	22.390	0.930

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
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12	37-21-22.3 N	084-55-12.8 W	336.0		
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Address: On ridge 2 3/4 miles north-notheast of the town of liberty

City: Liberty County: CASEY State: KY Construction Deadline:

Antenna: 1

Maximum Transmitting ERP in Watts:	140.000							
Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	117.000	132.000	144.000	114.000	152.000	158.000	146.000	159.000
Transmitting ERP (watts)	75.000	75.000	75.000	75.000	75.000	75.000	75.000	75.000

Licensee Name: RURAL CELLULAR CORPORATION

Call Sign: KNKN940

File Number: 0009139416

Print Date: 09-01-2020

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
13	36-59-59.6 N	084-06-05.0 W	366.6	91.1	1002550

Address: (South Laurel site) 1652 N Highway 1223

City: CORBIN County: LAUREL State: KY Construction Deadline:

Antenna: 1

Maximum Transmitting ERP in Watts:	140.820							
Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	86.400	105.600	85.200	78.500	62.400	109.200	104.200	101.600
Transmitting ERP (watts)	60.890	180.300	71.530	58.190	0.640	0.640	0.640	4.200

Antenna: 2

Maximum Transmitting ERP in Watts:	140.820							
Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	86.400	105.600	85.200	78.500	62.400	109.200	104.200	101.600
Transmitting ERP (watts)	0.580	0.580	0.720	3.690	4.920	4.620	2.530	0.580

Antenna: 3

Maximum Transmitting ERP in Watts:	140.820							
Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	86.400	105.600	85.200	78.500	62.400	109.200	104.200	101.600
Transmitting ERP (watts)	46.980	2.590	0.640	0.640	0.640	8.220	89.280	172.970

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
14	37-46-29.3 N	084-19-15.8 W	287.4		

Address: MTSO CELL SITE: 124 S. KEENELAND DR

City: RICHMOND County: MADISON State: KY Construction Deadline:

Antenna: 1

Maximum Transmitting ERP in Watts:	186.000							
Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	46.600	70.700	52.500	32.100	28.400	45.800	59.500	44.500
Transmitting ERP (watts)	88.000	181.800	171.600	177.600	162.000	53.600	17.200	19.000

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
16	37-32-51.3 N	084-19-58.8 W	378.0		

Address: BEREA CELL SITE: 3.5 KILOMETERS SOUTHWEST OF

City: BEREA County: MADISON State: KY Construction Deadline:

Antenna: 1

Maximum Transmitting ERP in Watts:	100.000							
Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	173.900	164.000	127.800	71.600	126.700	133.400	156.000	194.700
Transmitting ERP (watts)	100.000	100.000	100.000	100.000	100.000	100.000	100.000	100.000

Licensee Name: RURAL CELLULAR CORPORATION

Call Sign: KNKN940

File Number: 0009139416

Print Date: 09-01-2020

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
17	37-04-42.3 N	084-48-36.8 W	366.3	91.1	1203424

Address: 3.4 miles East of Nancy, KY

City: Nancy County: PULASKI State: KY Construction Deadline:

Antenna: 1

Maximum Transmitting ERP in Watts:	140.820							
Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	120.400	163.100	170.400	196.600	188.000	195.900	164.000	150.900
Transmitting ERP (watts)	29.000	29.000	29.000	29.000	29.000	29.000	29.000	29.000

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
18	37-38-56.9 N	084-57-46.2 W	289.0	48.2	

Address: Perryville Cell Site: 710 Cox Street

City: Perryville County: BOYLE State: KY Construction Deadline:

Antenna: 1

Maximum Transmitting ERP in Watts:	140.820							
Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	90.100	62.100	41.400	-1.800	24.600	40.300	71.100	64.200
Transmitting ERP (watts)	99.100	143.700	70.200	6.300	0.400	0.400	0.500	14.200

Antenna: 2

Maximum Transmitting ERP in Watts:	140.820							
Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	90.100	62.100	41.400	-1.800	24.600	40.300	71.100	64.200
Transmitting ERP (watts)	0.400	1.600	33.200	128.600	132.400	39.100	2.200	0.400

Antenna: 3

Maximum Transmitting ERP in Watts:	140.820							
Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	90.100	62.100	41.400	-1.800	24.600	40.300	71.100	64.200
Transmitting ERP (watts)	9.000	0.400	0.400	0.400	10.400	87.000	143.500	82.100

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
19	37-06-10.0 N	084-35-45.0 W	388.0	91.4	1043625

Address: (Somerset site) 500 Rock Query Road

City: SOMERSET County: PULASKI State: KY Construction Deadline: 05-30-2014

Antenna: 1

Maximum Transmitting ERP in Watts:	140.820							
Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	159.200	158.600	169.600	169.900	213.500	200.800	177.700	154.800
Transmitting ERP (watts)	110.230	148.690	21.490	0.730	0.400	0.330	0.450	7.630

Antenna: 3

Maximum Transmitting ERP in Watts:	140.820							
Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	159.200	158.600	169.600	169.900	213.500	200.800	177.700	154.800
Transmitting ERP (watts)	0.330	0.620	0.330	0.330	2.050	69.550	163.040	61.990

Licensee Name: RURAL CELLULAR CORPORATION

Call Sign: KNKN940

File Number: 0009139416

Print Date: 09-01-2020

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
19	37-06-10.0 N	084-35-45.0 W	388.0	91.4	1043625

Address: (Somerset site) 500 Rock Query Road

City: SOMERSET County: PULASKI State: KY Construction Deadline: 05-30-2014

Antenna: 4

Maximum Transmitting ERP in Watts: 140.820

Azimuth (from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	159.200	158.600	169.600	169.900	213.500	200.800	177.700	154.800
Transmitting ERP (watts)	0.330	0.580	29.670	145.310	107.720	4.290	0.590	0.330

Control Points:

Control Pt. No. 2

Address: 500 W Dove Rd

City: Southlake County: TARRANT State: TX Telephone Number: (800)264-6620

Waivers/Conditions:

NONE

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Federal Communications Commission
Wireless Telecommunications Bureau

RADIO STATION AUTHORIZATION

LICENSEE: CELLCO PARTNERSHIP

ATTN: REGULATORY
CELLCO PARTNERSHIP
5055 NORTH POINT PKWY, NP2NE ENGINEERING
ALPHARETTA, GA 30022

Table with 2 columns: Call Sign (WPOK659), File Number (0010160394), and Radio Service (CW - PCS Broadband)

FCC Registration Number (FRN): 0003290673

Table with 4 columns: Grant Date, Effective Date, Expiration Date, Print Date; Market Number, Channel Block, Sub-Market Designator; Market Name; 1st Build-out Date, 2nd Build-out Date, 3rd Build-out Date, 4th Build-out Date

Waivers/Conditions:

This authorization is subject to the condition that, in the event that systems using the same frequencies as granted herein are authorized in an adjacent foreign territory (Canada/United States), future coordination of any base station transmitters within 72 km (45 miles) of the United States/Canada border shall be required to eliminate any harmful interference to operations in the adjacent foreign territory and to ensure continuance of equal access to the frequencies by both countries.

Conditions:

Pursuant to §309(h) of the Communications Act of 1934, as amended, 47 U.S.C. §309(h), this license is subject to the following conditions: This license shall not vest in the licensee any right to operate the station nor any right in the use of the frequencies designated in the license beyond the term thereof nor in any other manner than authorized herein.

This license may not authorize operation throughout the entire geographic area or spectrum identified on the hardcopy version. To view the specific geographic area and spectrum authorized by this license, refer to the Spectrum and Market Area information under the Market Tab of the license record in the Universal Licensing System (ULS).

Licensee Name: CELLCO PARTNERSHIP

Call Sign: WPOK659

File Number: 0010160394

Print Date: 02-10-2023

700 MHz Relicensed Area Information:

Market	Market Name	Buildout Deadline	Buildout Notification	Status
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Federal Communications Commission
Wireless Telecommunications Bureau

RADIO STATION AUTHORIZATION

LICENSEE: CELLCO PARTNERSHIP

ATTN: REGULATORY
CELLCO PARTNERSHIP
5055 NORTH POINT PKWY, NP2NE ENGINEERING
ALPHARETTA, GA 30022

Table with Call Sign (WPZX945), File Number (0009262040), and Radio Service (CW - PCS Broadband).

FCC Registration Number (FRN): 0003290673

Table with columns: Grant Date, Effective Date, Expiration Date, Print Date, Market Number, Channel Block, Sub-Market Designator, Market Name, 1st Build-out Date, 2nd Build-out Date, 3rd Build-out Date, 4th Build-out Date.

Waivers/Conditions:

This authorization is subject to the condition that, in the event that systems using the same frequencies as granted herein are authorized in an adjacent foreign territory (Canada/United States), future coordination of any base station transmitters within 72 km (45 miles) of the United States/Canada border shall be required to eliminate any harmful interference to operations in the adjacent foreign territory and to ensure continuance of equal access to the frequencies by both countries.

Conditions:

Pursuant to §309(h) of the Communications Act of 1934, as amended, 47 U.S.C. §309(h), this license is subject to the following conditions: This license shall not vest in the licensee any right to operate the station nor any right in the use of the frequencies designated in the license beyond the term thereof nor in any other manner than authorized herein.

This license may not authorize operation throughout the entire geographic area or spectrum identified on the hardcopy version. To view the specific geographic area and spectrum authorized by this license, refer to the Spectrum and Market Area information under the Market Tab of the license record in the Universal Licensing System (ULS).

Licensee Name: CELLCO PARTNERSHIP

Call Sign: WPZX945

File Number: 0009262040

Print Date: 03-10-2021

700 MHz Relicensed Area Information:

Market	Market Name	Buildout Deadline	Buildout Notification	Status
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Federal Communications Commission
Wireless Telecommunications Bureau

RADIO STATION AUTHORIZATION

LICENSEE: CELLCO PARTNERSHIP

CELLCO PARTNERSHIP
5055 NORTH POINT PKWY, NP2NE NETWORK ENGINEERING
ALPHARETTA, GA 30022

Table with Call Sign (WQGA940), File Number (0009774996), and Radio Service (AW - AWS (1710-1755 MHz and 2110-2155 MHz))

FCC Registration Number (FRN): 0003290673

Table with columns: Grant Date, Effective Date, Expiration Date, Print Date, Market Number, Channel Block, Sub-Market Designator, Market Name, 1st Build-out Date, 2nd Build-out Date, 3rd Build-out Date, 4th Build-out Date

Waivers/Conditions:

This authorization is conditioned upon the licensee, prior to initiating operations from any base or fixed station, making reasonable efforts to coordinate frequency usage with known co-channel and adjacent channel incumbent federal users operating in the 1710-1755 MHz band whose facilities could be affected by the proposed operations.

Conditions:

Pursuant to §309(h) of the Communications Act of 1934, as amended, 47 U.S.C. §309(h), this license is subject to the following conditions: This license shall not vest in the licensee any right to operate the station nor any right in the use of the frequencies designated in the license beyond the term thereof nor in any other manner than authorized herein.

This license may not authorize operation throughout the entire geographic area or spectrum identified on the hardcopy version. To view the specific geographic area and spectrum authorized by this license, refer to the Spectrum and Market Area information under the Market Tab of the license record in the Universal Licensing System (ULS).

Licensee Name: CELLCO PARTNERSHIP

Call Sign: WQGA940

File Number: 0009774996

Print Date: 12-21-2021

700 MHz Relicensed Area Information:

Market	Market Name	Buildout Deadline	Buildout Notification	Status
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Federal Communications Commission
Wireless Telecommunications Bureau

RADIO STATION AUTHORIZATION

LICENSEE: CELLCO PARTNERSHIP

ATTN: REGULATORY
CELLCO PARTNERSHIP
5055 NORTH POINT PKWY, NP2NE NETWORK ENGINEERING
ALPHARETTA, GA 30022

Table with Call Sign (WQJQ692), File Number, and Radio Service (WU - 700 MHz Upper Band (Block C)).

FCC Registration Number (FRN): 0003290673

Table with columns: Grant Date, Effective Date, Expiration Date, Print Date, Market Number, Channel Block, Sub-Market Designator, Market Name, 1st Build-out Date, 2nd Build-out Date, 3rd Build-out Date, 4th Build-out Date.

Waivers/Conditions:

If the facilities authorized herein are used to provide broadcast operations, whether exclusively or in combination with other services, the licensee must seek renewal of the license either within eight years from the commencement of the broadcast service or within the term of the license had the broadcast service not been provided, whichever period is shorter in length. See 47 CFR §27.13(b).

This authorization is conditioned upon compliance with section 27.16 of the Commission's rules

Conditions:

Pursuant to §309(h) of the Communications Act of 1934, as amended, 47 U.S.C. §309(h), this license is subject to the following conditions: This license shall not vest in the licensee any right to operate the station nor any right in the use of the frequencies designated in the license beyond the term thereof nor in any other manner than authorized herein. Neither the license nor the right granted thereunder shall be assigned or otherwise transferred in violation of the Communications Act of 1934, as amended. See 47 U.S.C. § 310(d). This license is subject in terms to the right of use or control conferred by §706 of the Communications Act of 1934, as amended. See 47 U.S.C. §606.

This license may not authorize operation throughout the entire geographic area or spectrum identified on the hardcopy version. To view the specific geographic area and spectrum authorized by this license, refer to the Spectrum and Market Area information under the Market Tab of the license record in the Universal Licensing System (ULS). To view the license record, go to the ULS homepage at http://wireless.fcc.gov/uls/index.htm?job=home and select "License Search". Follow the instructions on how to search for license information.

Licensee Name: CELLCO PARTNERSHIP

Call Sign: WQJQ692

File Number:

Print Date:

700 MHz Relicensed Area Information:

Market	Market Name	Buildout Deadline	Buildout Notification	Status
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Federal Communications Commission
Wireless Telecommunications Bureau

RADIO STATION AUTHORIZATION

LICENSEE: RURAL CELLULAR CORPORATION

ATTN: REGULATORY
RURAL CELLULAR CORPORATION
5055 NORTH POINT PKWY, NP2NE NETWORK ENGINEERING
ALPHARETTA, GA 30022

Table with Call Sign (WQJU901), File Number (0007638848), and Radio Service (CW - PCS Broadband).

FCC Registration Number (FRN): 0003715919

Table with columns: Grant Date, Effective Date, Expiration Date, Print Date, Market Number, Channel Block, Sub-Market Designator, Market Name, 1st Build-out Date, 2nd Build-out Date, 3rd Build-out Date, 4th Build-out Date.

Waivers/Conditions:

This authorization is subject to the condition that, in the event that systems using the same frequencies as granted herein are authorized in an adjacent foreign territory (Canada/United States), future coordination of any base station transmitters within 72 km (45 miles) of the United States/Canada border shall be required to eliminate any harmful interference to operations in the adjacent foreign territory and to ensure continuance of equal access to the frequencies by both countries.

This authorization is subject to the condition that the remaining balance of the winning bid amount will be paid in accordance with Part 1 of the Commission's rules, 47 C.F.R. Part 1.

Conditions:

Pursuant to §309(h) of the Communications Act of 1934, as amended, 47 U.S.C. §309(h), this license is subject to the following conditions: This license shall not vest in the licensee any right to operate the station nor any right in the use of the frequencies designated in the license beyond the term thereof nor in any other manner than authorized herein.

This license may not authorize operation throughout the entire geographic area or spectrum identified on the hardcopy version. To view the specific geographic area and spectrum authorized by this license, refer to the Spectrum and Market Area information under the Market Tab of the license record in the Universal Licensing System (ULS).

Licensee Name: RURAL CELLULAR CORPORATION

Call Sign: WQJU901

File Number: 0007638848

Print Date: 04-01-2017

700 MHz Relicensed Area Information:

Market	Market Name	Buildout Deadline	Buildout Notification	Status
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Federal Communications Commission
Wireless Telecommunications Bureau

RADIO STATION AUTHORIZATION

LICENSEE: RURAL CELLULAR CORPORATION

ATTN: REGULATORY
RURAL CELLULAR CORPORATION
5055 NORTH POINT PKWY, NP2NE NETWORK ENGINEERING
ALPHARETTA, GA 30022

Table with Call Sign (WQUZ670), File Number, and Radio Service (AW - AWS (1710-1755 MHz and 2110-2155 MHz))

FCC Registration Number (FRN): 0003715919

Table with columns: Grant Date, Effective Date, Expiration Date, Print Date, Market Number, Channel Block, Sub-Market Designator, Market Name, 1st Build-out Date, 2nd Build-out Date, 3rd Build-out Date, 4th Build-out Date

Waivers/Conditions:

This authorization is conditioned upon the licensee, prior to initiating operations from any base or fixed station, making reasonable efforts to coordinate frequency usage with known co-channel and adjacent channel incumbent federal users operating in the 1710-1755 MHz band whose facilities could be affected by the proposed operations.

Conditions:

Pursuant to §309(h) of the Communications Act of 1934, as amended, 47 U.S.C. §309(h), this license is subject to the following conditions: This license shall not vest in the licensee any right to operate the station nor any right in the use of the frequencies designated in the license beyond the term thereof nor in any other manner than authorized herein.

This license may not authorize operation throughout the entire geographic area or spectrum identified on the hardcopy version. To view the specific geographic area and spectrum authorized by this license, refer to the Spectrum and Market Area information under the Market Tab of the license record in the Universal Licensing System (ULS).

Licensee Name: RURAL CELLULAR CORPORATION

Call Sign: WQUZ670

File Number:

Print Date: 02-16-2023

The license is subject to compliance with the provisions of the January 12, 2001 Agreement between Deutsche Telekom AG, VoiceStream Wireless Corporation, VoiceStream Wireless Holding Corporation and the Department of Justice (DOJ) and the Federal Bureau of Investigation (FBI), which addresses national security, law enforcement, and public safety issues of the FBI and the DOJ regarding the authority granted by this license. Nothing in the Agreement is intended to limit any obligation imposed by Federal law or regulation including, but not limited to, 47 U.S.C. Section 222(a) and (c)(1) and the FCC's implementing regulations. The Agreement is published at VoiceStream-DT Order, IB Docket No. 00-187, FCC 01-142, 16 FCC Rcd 9779, 9853 (2001).

Reference Copy

Licensee Name: RURAL CELLULAR CORPORATION

Call Sign: WQUZ670

File Number:

Print Date: 02-16-2023

700 MHz Relicensed Area Information:

Market	Market Name	Buildout Deadline	Buildout Notification	Status
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Federal Communications Commission
Wireless Telecommunications Bureau

RADIO STATION AUTHORIZATION

LICENSEE: CELLCO PARTNERSHIP

ATTN: REGULATORY
CELLCO PARTNERSHIP
5055 NORTH POINT PKWY, NP2NE ENGINEERING
ALPHARETTA, GA 30022

Table with Call Sign (WRAM732), File Number (0009262182), and Radio Service (WT - 600 MHz Band).

FCC Registration Number (FRN): 0003290673

Table with columns: Grant Date, Effective Date, Expiration Date, Print Date, Market Number, Channel Block, Sub-Market Designator, Market Name, 1st Build-out Date, 2nd Build-out Date, 3rd Build-out Date, 4th Build-out Date.

Waivers/Conditions:

NONE

Conditions:

Pursuant to §309(h) of the Communications Act of 1934, as amended, 47 U.S.C. §309(h), this license is subject to the following conditions: This license shall not vest in the licensee any right to operate the station nor any right in the use of the frequencies designated in the license beyond the term thereof nor in any other manner than authorized herein.

This license may not authorize operation throughout the entire geographic area or spectrum identified on the hardcopy version. To view the specific geographic area and spectrum authorized by this license, refer to the Spectrum and Market Area information under the Market Tab of the license record in the Universal Licensing System (ULS).

Licensee Name: CELLCO PARTNERSHIP

Call Sign: WRAM732

File Number: 0009262182

Print Date: 03-11-2021

700 MHz Relicensed Area Information:

Market	Market Name	Buildout Deadline	Buildout Notification	Status
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Federal Communications Commission
Wireless Telecommunications Bureau

RADIO STATION AUTHORIZATION

LICENSEE: CELLCO PARTNERSHIP

ATTN: REGULATORY
CELLCO PARTNERSHIP
5055 NORTH POINT PKWY, NP2NE ENGINEERING
ALPHARETTA, GA 30022

Call Sign WRBA642	File Number 0010283156
Radio Service UU - Upper Microwave Flexible Use Service	

FCC Registration Number (FRN): 0003290673

Grant Date 09-07-2018	Effective Date 11-18-2022	Expiration Date 09-21-2028	Print Date 03-15-2023
Market Number BTA423	Channel Block L1	Sub-Market Designator 0	
Market Name Somerset, KY			
1st Build-out Date 06-01-2024	2nd Build-out Date	3rd Build-out Date	4th Build-out Date

Waivers/Conditions:

NONE

Conditions:

Pursuant to §309(h) of the Communications Act of 1934, as amended, 47 U.S.C. §309(h), this license is subject to the following conditions: This license shall not vest in the licensee any right to operate the station nor any right in the use of the frequencies designated in the license beyond the term thereof nor in any other manner than authorized herein. Neither the license nor the right granted thereunder shall be assigned or otherwise transferred in violation of the Communications Act of 1934, as amended. See 47 U.S.C. § 310(d). This license is subject in terms to the right of use or control conferred by §706 of the Communications Act of 1934, as amended. See 47 U.S.C. §606.

This license may not authorize operation throughout the entire geographic area or spectrum identified on the hardcopy version. To view the specific geographic area and spectrum authorized by this license, refer to the Spectrum and Market Area information under the Market Tab of the license record in the Universal Licensing System (ULS). To view the license record, go to the ULS homepage at <http://wireless.fcc.gov/uls/index.htm?job=home> and select "License Search". Follow the instructions on how to search for license information.

Licensee Name: CELLCO PARTNERSHIP

Call Sign: WRBA642

File Number: 0010283156

Print Date: 03-15-2023

700 MHz Relicensed Area Information:

Market	Market Name	Buildout Deadline	Buildout Notification	Status
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Federal Communications Commission
Wireless Telecommunications Bureau

RADIO STATION AUTHORIZATION

LICENSEE: CELLCO PARTNERSHIP

ATTN: REGULATORY
CELLCO PARTNERSHIP
5055 NORTH POINT PKWY, NP2NE ENGINEERING
ALPHARETTA, GA 30022

Call Sign WREV443	File Number 0009262182
Radio Service UU - Upper Microwave Flexible Use Service	

FCC Registration Number (FRN): 0003290673

Grant Date 12-11-2019	Effective Date 01-13-2021	Expiration Date 12-11-2029	Print Date 03-11-2021
Market Number PEA096	Channel Block A	Sub-Market Designator 3	
Market Name Richmond, KY			
1st Build-out Date	2nd Build-out Date	3rd Build-out Date	4th Build-out Date

Waivers/Conditions:

NONE

Conditions:

Pursuant to §309(h) of the Communications Act of 1934, as amended, 47 U.S.C. §309(h), this license is subject to the following conditions: This license shall not vest in the licensee any right to operate the station nor any right in the use of the frequencies designated in the license beyond the term thereof nor in any other manner than authorized herein. Neither the license nor the right granted thereunder shall be assigned or otherwise transferred in violation of the Communications Act of 1934, as amended. See 47 U.S.C. § 310(d). This license is subject in terms to the right of use or control conferred by §706 of the Communications Act of 1934, as amended. See 47 U.S.C. §606.

This license may not authorize operation throughout the entire geographic area or spectrum identified on the hardcopy version. To view the specific geographic area and spectrum authorized by this license, refer to the Spectrum and Market Area information under the Market Tab of the license record in the Universal Licensing System (ULS). To view the license record, go to the ULS homepage at <http://wireless.fcc.gov/uls/index.htm?job=home> and select "License Search". Follow the instructions on how to search for license information.

Licensee Name: CELLCO PARTNERSHIP

Call Sign: WREV443

File Number: 0009262182

Print Date: 03-11-2021

700 MHz Relicensed Area Information:

Market	Market Name	Buildout Deadline	Buildout Notification	Status
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Federal Communications Commission
Wireless Telecommunications Bureau

RADIO STATION AUTHORIZATION

LICENSEE: CELLCO PARTNERSHIP

ATTN: REGULATORY
CELLCO PARTNERSHIP
5055 NORTH POINT PKWY, NP2NE ENGINEERING
ALPHARETTA, GA 30022

Table with Call Sign (WREV444), File Number (0009262182), and Radio Service (UU - Upper Microwave Flexible Use Service).

FCC Registration Number (FRN): 0003290673

Table with columns: Grant Date, Effective Date, Expiration Date, Print Date, Market Number, Channel Block, Sub-Market Designator, Market Name, 1st Build-out Date, 2nd Build-out Date, 3rd Build-out Date, 4th Build-out Date.

Waivers/Conditions:

NONE

Conditions:

Pursuant to §309(h) of the Communications Act of 1934, as amended, 47 U.S.C. §309(h), this license is subject to the following conditions: This license shall not vest in the licensee any right to operate the station nor any right in the use of the frequencies designated in the license beyond the term thereof nor in any other manner than authorized herein.

This license may not authorize operation throughout the entire geographic area or spectrum identified on the hardcopy version. To view the specific geographic area and spectrum authorized by this license, refer to the Spectrum and Market Area information under the Market Tab of the license record in the Universal Licensing System (ULS).

Licensee Name: CELLCO PARTNERSHIP

Call Sign: WREV444

File Number: 0009262182

Print Date: 03-11-2021

700 MHz Relicensed Area Information:

Market	Market Name	Buildout Deadline	Buildout Notification	Status
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Federal Communications Commission
Wireless Telecommunications Bureau

RADIO STATION AUTHORIZATION

LICENSEE: CELLCO PARTNERSHIP

ATTN: REGULATORY
CELLCO PARTNERSHIP
5055 NORTH POINT PKWY, NP2NE ENGINEERING
ALPHARETTA, GA 30022

Call Sign WRHE833	File Number 0010283156
Radio Service UU - Upper Microwave Flexible Use Service	

FCC Registration Number (FRN): 0003290673

Grant Date 06-04-2020	Effective Date 11-18-2022	Expiration Date 06-04-2030	Print Date 03-15-2023
Market Number PEA096	Channel Block M1	Sub-Market Designator 0	
Market Name Richmond, KY			
1st Build-out Date	2nd Build-out Date	3rd Build-out Date	4th Build-out Date

Waivers/Conditions:

NONE

Conditions:

Pursuant to §309(h) of the Communications Act of 1934, as amended, 47 U.S.C. §309(h), this license is subject to the following conditions: This license shall not vest in the licensee any right to operate the station nor any right in the use of the frequencies designated in the license beyond the term thereof nor in any other manner than authorized herein. Neither the license nor the right granted thereunder shall be assigned or otherwise transferred in violation of the Communications Act of 1934, as amended. See 47 U.S.C. § 310(d). This license is subject in terms to the right of use or control conferred by §706 of the Communications Act of 1934, as amended. See 47 U.S.C. §606.

This license may not authorize operation throughout the entire geographic area or spectrum identified on the hardcopy version. To view the specific geographic area and spectrum authorized by this license, refer to the Spectrum and Market Area information under the Market Tab of the license record in the Universal Licensing System (ULS). To view the license record, go to the ULS homepage at <http://wireless.fcc.gov/uls/index.htm?job=home> and select "License Search". Follow the instructions on how to search for license information.

Licensee Name: CELLCO PARTNERSHIP

Call Sign: WRHE833

File Number: 0010283156

Print Date: 03-15-2023

700 MHz Relicensed Area Information:

Market	Market Name	Buildout Deadline	Buildout Notification	Status
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Federal Communications Commission
Wireless Telecommunications Bureau

RADIO STATION AUTHORIZATION

LICENSEE: CELLCO PARTNERSHIP

ATTN: REGULATORY
CELLCO PARTNERSHIP
5055 NORTH POINT PKWY, NP2NE NETWORK ENGINEERING
ALPHARETTA, GA 30022

Table with Call Sign (WRNF549), File Number, and Radio Service (PM - 3.7 GHz Service).

FCC Registration Number (FRN): 0003290673

Table with columns: Grant Date, Effective Date, Expiration Date, Print Date, Market Number, Channel Block, Sub-Market Designator, Market Name, 1st Build-out Date, 2nd Build-out Date, 3rd Build-out Date, 4th Build-out Date.

Waivers/Conditions:

This final license provides authorization during the full 15-year license term. Operation under this final license may begin on the earlier of (1) 12/5/2025 or (2) the date that the certification for accelerated relocation for this PEA is validated by the FCC pursuant to 47 CFR § 27.1412(g).

License is conditioned on compliance with all applicable FCC rules and regulations, including licensee making payments required by 47 C.F.R. §§ 27.1401- 27.1424 as described in FCC 20-22. See FCC 20-22, paras. 178-331.

Conditions:

Pursuant to §309(h) of the Communications Act of 1934, as amended, 47 U.S.C. §309(h), this license is subject to the following conditions: This license shall not vest in the licensee any right to operate the station nor any right in the use of the frequencies designated in the license beyond the term thereof nor in any other manner than authorized herein.

This license may not authorize operation throughout the entire geographic area or spectrum identified on the hardcopy version. To view the specific geographic area and spectrum authorized by this license, refer to the Spectrum and Market Area information under the Market Tab of the license record in the Universal Licensing System (ULS).

Licensee Name: CELLCO PARTNERSHIP

Call Sign: WRNF549

File Number:

Print Date:

700 MHz Relicensed Area Information:

Market	Market Name	Buildout Deadline	Buildout Notification	Status
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Federal Communications Commission
Wireless Telecommunications Bureau

RADIO STATION AUTHORIZATION

LICENSEE: CELLCO PARTNERSHIP

ATTN: REGULATORY
CELLCO PARTNERSHIP
5055 NORTH POINT PKWY, NP2NE NETWORK ENGINEERING
ALPHARETTA, GA 30022

Table with Call Sign (WRNF554), File Number, and Radio Service (PM - 3.7 GHz Service).

FCC Registration Number (FRN): 0003290673

Table with columns: Grant Date, Effective Date, Expiration Date, Print Date, Market Number, Channel Block, Sub-Market Designator, Market Name, 1st Build-out Date, 2nd Build-out Date, 3rd Build-out Date, 4th Build-out Date.

Waivers/Conditions:

This final license provides authorization during the full 15-year license term. Operation under this final license may begin on the earlier of (1) 12/5/2025 or (2) the date that the certification for accelerated relocation for this PEA is validated by the FCC pursuant to 47 CFR § 27.1412(g).

License is conditioned on compliance with all applicable FCC rules and regulations, including licensee making payments required by 47 C.F.R. §§ 27.1401- 27.1424 as described in FCC 20-22. See FCC 20-22, paras. 178-331.

Conditions:

Pursuant to §309(h) of the Communications Act of 1934, as amended, 47 U.S.C. §309(h), this license is subject to the following conditions: This license shall not vest in the licensee any right to operate the station nor any right in the use of the frequencies designated in the license beyond the term thereof nor in any other manner than authorized herein.

This license may not authorize operation throughout the entire geographic area or spectrum identified on the hardcopy version. To view the specific geographic area and spectrum authorized by this license, refer to the Spectrum and Market Area information under the Market Tab of the license record in the Universal Licensing System (ULS).

Licensee Name: CELLCO PARTNERSHIP

Call Sign: WRNF554

File Number:

Print Date:

700 MHz Relicensed Area Information:

Market	Market Name	Buildout Deadline	Buildout Notification	Status
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Federal Communications Commission
Wireless Telecommunications Bureau

RADIO STATION AUTHORIZATION

LICENSEE: RURAL CELLULAR CORPORATION

ATTN: REGULATORY
RURAL CELLULAR CORPORATION
5055 NORTH POINT PKWY, NP2NE NETWORK ENGINEERING
ALPHARETTA, GA 30022

Table with Call Sign (WRWF636), File Number (0010160917), and Radio Service (AW - AWS (1710-1755 MHz and 2110-2155 MHz))

FCC Registration Number (FRN): 0003715919

Table with columns: Grant Date, Effective Date, Expiration Date, Print Date, Market Number, Channel Block, Sub-Market Designator, Market Name, 1st Build-out Date, 2nd Build-out Date, 3rd Build-out Date, 4th Build-out Date

Waivers/Conditions:

This authorization is conditioned upon the licensee, prior to initiating operations from any base or fixed station, making reasonable efforts to coordinate frequency usage with known co-channel and adjacent channel incumbent federal users operating in the 1710-1755 MHz band whose facilities could be affected by the proposed operations.

Special Condition for AU/name change (6/4/2016): Grant of the request to update licensee name is conditioned on it not reflecting an assignment or transfer of control (see Rule 1.948); if an assignment or transfer occurred without proper notification or FCC approval, the grant is void and the station is licensed under the prior name.

Conditions:

Pursuant to §309(h) of the Communications Act of 1934, as amended, 47 U.S.C. §309(h), this license is subject to the following conditions: This license shall not vest in the licensee any right to operate the station nor any right in the use of the frequencies designated in the license beyond the term thereof nor in any other manner than authorized herein.

This license may not authorize operation throughout the entire geographic area or spectrum identified on the hardcopy version. To view the specific geographic area and spectrum authorized by this license, refer to the Spectrum and Market Area information under the Market Tab of the license record in the Universal Licensing System (ULS).

Licensee Name: RURAL CELLULAR CORPORATION

Call Sign: WRWF636

File Number: 0010160917

Print Date: 02-16-2023

700 MHz Relicensed Area Information:

Market	Market Name	Buildout Deadline	Buildout Notification	Status
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Reference Copy

PROJECT SUMMARY

SITE NAME: LV HWY 243
 SITE ADDRESS: 3180 MINORS BRANCH RD
 GRAVEL SWITCH, KY 40328

COUNTY: CASEY
 JURISDICTION: CASEY COUNTY
 LAND USE: AGRICULTURAL
 PARCEL ID: 061-19F

SITE COORDINATES:
 LATITUDE: 37° 30' 33.53" N (NAD83)
 LATITUDE: 37.509314°
 LONGITUDE: 84° 57' 23.05" W (NAD83)
 LONGITUDE: -84.956403°
 ELEVATION: 1286.2 AMSL (NAVD88)

FUZE PROJECT ID: 16913436
 PSIC CODE: 721755

PROPERTY OWNER: PETER & ANGELA PRIMIANO
 3180 MINORS BRANCH RD
 GRAVEL SWITCH, KY 40328

PROPERTY OWNER CONTACT: ANGELA PRIMIANO
 (859) 209-1924

TOWER OWNER: CELCO PARTNERSHIP D/B/A VERIZON WIRELESS
 2902 RING ROAD
 ELIZABETH, KY 42701

TOWER OWNER CONTACT: JACKIE STRAIGHT
 (270) 750-0023

STRUCTURE TYPE: SELF SUPPORTING
 TOWER HEIGHT: 300'-0"
 ENVIRONMENTAL REQ.: N/A
 OCCUPANCY: UNMANNED

SITE TYPE: RAWLAND

POWER COMPANY: INNER COUNTY ENERGY
 CONTACT: TBD
 PHONE: (859) 236-4561

COMMUNICATIONS:
 PHONE: AT&T
 (270) 678-2111

FIRE DEPARTMENT: GRAVEL SWITCH VOLUNTEER FIRE
 PHONE: (270) 365-2022

POLICE DEPARTMENT: CASEY COUNTY SHERIFFS OFFICE
 PHONE: (270) 365-2088

DIRECTIONS FROM CASEY COUNTY COURTHOUSE 231 COURTHOUSE SQ. LIBERTY, KY 42539: HEAD SOUTH ON COURTHOUSE SQ. TOWARD PETTY JOHN ST. TURN LEFT TO STAY ON COURTHOUSE SQ. ROAD NAME CHANGES TO KY-497 / HUSTONVILLE ST (11.3 MI). TURN RIGHT ONTO KY-78 / KY 78 (14.1 MI). TURN LEFT ONTO KY-243 / LITTLE SOUTH RD (2.1 MI). TURN RIGHT ONTO MAXEY VALLEY RD (0.6 MI). TURN LEFT ONTO MINORS BRANCH RD (0.9 MI) ARRIVE AT MINORS BRANCH RD. THE LAST INTERSECTION BEFORE YOUR DESTINATION IS MAXEY VALLEY RD. IF YOU REACH ELK CAVE RD, YOU'VE GONE TOO FAR.

STRUCTURAL REVIEW

CONTRACTOR SHALL ATTAIN AND VERIFY STRUCTURAL EVALUATION REPORT OF EXISTING TOWER FOR EXACT PLACEMENT OF ANTENNAS AND COAX CABLES. CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE STRUCTURAL EVALUATION REPORT AND NOTIFY VERIZON'S CONSTRUCTION MANAGER IN THE CASE OF ANY DISCREPANCIES. ANY STRUCTURAL MODIFICATION, IF REQUIRED, SHALL BE DONE PRIOR TO THE INSTALLATION OF ANTENNAS.



CELLCO PARTNERSHIP
 D/B/A VERIZON WIRELESS
 (HEREINAFTER REFERRED TO AS "LESSEE")

LV HWY 243

ESTIMATED ADDRESS: 3180 MINORS BRANCH RD
 GRAVEL SWITCH, KY 40328

APPLICABLE CODES

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUCTED TO PERMIT WORK NOT CONFORMING TO THESE CODES.

2018 KENTUCKY BUILDING CODE (2015 INTERNATIONAL BUILDING CODE)
 2012 INTERNATIONAL ENERGY CONSERVATION CODE (COMMERCIAL)
 2009 INTERNATIONAL ENERGY CONSERVATION CODE (RESIDENTIAL)
 2012 INTERNATIONAL FIRE CODE
 2015 INTERNATIONAL MECHANICAL CODE
 2015 INTERNATIONAL RESIDENTIAL CODE

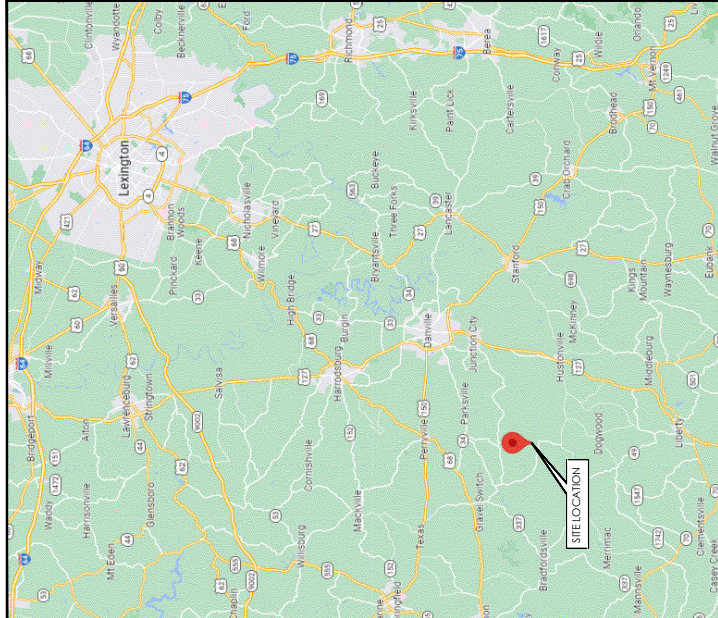
ACCESSIBILITY REQUIREMENTS:
 FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. HANDICAPPED ACCESS REQUIREMENTS ARE NOT REQUIRED IN ACCORDANCE WITH THE 2015 IBC BUILDING CODE.

SCOPE OF WORK

- INSTALL A NEW 300'-0" SELF SUPPORT TOWER WITH 5'-0" LIGHTNING ROD (OVERALL 305'-0")
- INSTALL A NEW 60' X 85' CHAINLINK FENCED COMPOUND WITHIN A 100' X 100' LEASE AREA
- INSTALL A NEW UTILITY H-FRAME WITHIN THE NEW FENCED COMPOUND
- INSTALL A NEW TOWER, COMPOUND AND EQUIPMENT GROUNDING SYSTEM
- INSTALL NEW ANTENNAS, LINES, COAX, GPS AND RADIO EQUIPMENT
- INSTALL NEW UNDERGROUND POWER AND FIBER CONDUITS WITHIN THE DESIGNATED UTILITY EASEMENT TO NEW UTILITY H-FRAME
- INSTALL A NEW 11'-6" X 19'-6" CONCRETE EQUIPMENT PAD

ALL WORK MUST BE DONE IN ACCORDANCE TO THE DRAWINGS.

VICINITY MAP



NOT TO SCALE

DIRECTIONS FROM LOUISVILLE SWITCH 2441 HOLLOWAY RD, LOUISVILLE, KY 40299: HEAD SOUTH ON HOLLOWAY RD TOWARD PLAINSIDE DR (354 FT). TURN LEFT ONTO SCHULTE STATION PL (0.3 MI). ROAD NAME CHANGES TO PLAINSIDE DR (0.3 MI). TURN LEFT ONTO BLANKENBAKER RD (0.1 MI). TURN RIGHT TO STAY ON BLANKENBAKER RD (0.5 MI). TURN RIGHT ONTO DECIMAL DR (0.2 MI). TURN RIGHT ONTO BLUEGRASS PKWY (0.2 MI). TURN LEFT ONTO BLANKENBAKER PKWY (0.3 MI). TAKE THE RAMP ON THE RIGHT FOR I-64 EAST AND HEAD TOWARD LEXINGTON (30.6 MI). AT EXIT 48, HEAD RIGHT ONTO US-127 S BYP / BYPASS N. (6.7 MI). KEEP STRAIGHT TO GET ONTO LA WRENCEBURG (0.1 MI). TURN RIGHT ONTO KY-151 / HIGHWAY 151 RD (6.7 MI). TURN RIGHT ONTO US-68 W / KY-152 / MOORELAND AVE (10.1 MI). KEEP STRAIGHT TO GET ONTO US-127 S / KY-513 / HARRODSBURG RD (15.6 MI). TURN RIGHT ONTO US-48 W / KY-152 / MOORELAND AVE (10.1 MI). KEEP STRAIGHT TO GET ONTO KY-1856 / S BRAGG ST (4.2 MI). TURN LEFT ONTO KY-34 / LEBANON RD (0.3 MI). TURN RIGHT ONTO KY HIGHWAY 1108 (3.7 MI). TURN RIGHT ONTO KY-37 / FORKLAND RD (0.5 MI). TURN LEFT ONTO MINORS BRANCH RD (3.1 MI). ARRIVE AT MINORS BRANCH RD ON THE RIGHT. THE LAST INTERSECTION BEFORE YOUR DESTINATION IS ELK CAVE RD. IF YOU REACH MAXEY VALLEY RD, YOU'VE GONE TOO FAR.

SHEET INDEX

NO.	DESCRIPTION
T1	TITLE SHEET
S1	SURVEY - COVER SHEET
S2	SURVEY - OVERVIEW MAP
S3	SURVEY - SITE SURVEY
S4	SURVEY - SITE SURVEY
S5	SURVEY - SITE SURVEY
S6	SURVEY - DESCRIPTIONS
S7	SURVEY - DESCRIPTIONS
Z1	COUNTY TOWER MAP
Z2	OVERALL SITE PLAN WITH AERIAL OVERLAY
Z3	OVERALL SITE PLAN WITHOUT AERIAL OVERLAY
Z4	TOWER LOCATION PLAN
Z5	SITE PLAN
Z6	EROSION CONTROL SITE PLAN
Z7	DIMENSION SITE PLAN
Z8	TOWER ELEVATION
Z9	SITE DETAILS
Z10	SITE DETAILS

AERIAL MAP



NOT TO SCALE

CALL 811
 1 (800) 752-6007
 www.kentucky811.com
 CONTRACTOR TO CALL KENTUCKY ONE-CALL SYSTEMS AT LEAST (2) FULL WORKING DAYS PRIOR TO DIGGING.

SHEET SCALE FACTOR:
 PLOT SIZE:
 11" x 17": TO SCALE

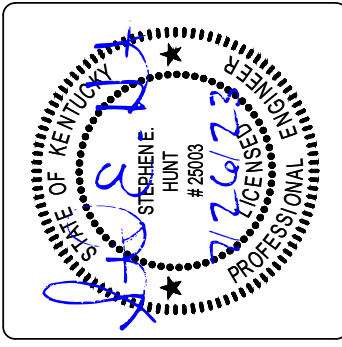
DRAWING #: **T1**
 REVISION: **1**

1961 NORTHPOINT BLVD.
 SUITE 130
 HIXSON, TN 37343
 PH : 423-843-9500
 FAX : 423-843-9509

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DRAWN BY: TDD
 CHECKED BY: SEH

#	DATE	BY	DESCRIPTION
1	07/26/23	MJB	ISSUED FOR ZONING
0	01/23/23	MJB	ISSUED FOR ZONING
B	01/06/23	MJB	ADDRESSES REVISED
A	12/05/22	MJB	ZONING ISSUE



FUZE ID: 16913436
 SITE NAME: LV HWY 243
 SITE # / LOCATION CODE: 721755

SITE ADDRESS: 3180 MINORS BRANCH RD
 GRAVEL SWITCH, KY 40328
 SITE TYPE: RAWLAND

SHEET TITLE: TITLE SHEET

GENERAL NOTES:

- This Survey is prepared exclusively to show site conditions and/or for use in support of instruments related to Leases and Easements as may be shown hereon. Any property boundary information shown hereon is a composite of information gathered from current or previous Surveys, Plat & Deed Description and/or Assessor's Tax Maps as may be referenced hereon. This Survey is not a Boundary Survey of any Tax Parcels or Deed Tracts, and does not create, combine, or divide any existing properties. Leases & Easements shown hereon may be subject to change pending review and approval by Carrier, applicable jurisdictions and/or another involved parties.
- Survey shown hereon was performed under the supervision of a state-registered Land Surveyor and conforms to all applicable State Board Requirements.
- Instruments Used: One or more of: Topcon Total Station, Topcon Hiperlite Plus GPS, Carlson Surveyor Data Collector, DJI UAV.
- Where shown, improvements (utilities, buildings, trees, fences, etc.) are based on field Survey and/or aerial mapping.
- Any Underground Utilities shown according to surface markings made by others, found at time of survey. Additional marked utilities outside the area covered by this survey map may be shown in provided CAD Files. Utility Markings may not be comprehensive: this survey does not relieve design and construction personnel of the responsibility to determine the locations of underground utilities prior to land disturbance activities.
- This Survey is presented in the format required by Clients. Clients are advised that Official Jurisdictions may require the Survey to be presented in another format with additional notes and certifications. In the event other formats, notes or certifications are requested by applicable jurisdictions, it is the responsibility of the Client to request same be prepared by Surveyor. Survey as published is not intended to be suitable for recording as a Subdivision Plat.
- This survey may have been reduced or enlarged in size due to subsequent reproduction. This should be taken into consideration when obtaining scaled data.
- Geographic Coordinates, if published, meet FAA Accuracy Code 1A, and are accurate to within ± 20 feet horizontally and to within ± 3 feet vertically.
- Any Flood Zone information presented hereon is according to current FEMA Flood Map information as may be referenced hereon. No Flood Elevation Survey of Certification performed.
- This survey is not valid without the original signature seal of a State-Licensed Land Surveyor, and is not complete without the total of sheets as specified in Survey Title Blocks.

PROPOSED TOWER LOCATION DATA

Latitude: NORTH: 37.509314° 37° 30' 33.53"
 Longitude: WEST: 84.956403° 84° 57' 23.05"
 Ground Elev: 1,286.2 FEET AMSL (NAVD88)
 Benchmark: DH7217 KYCP

PARENT TAX PARCEL

PETER PRIMIANO & ANGELA PRIMIANO
 TAX PARCEL: 061-19F

NORTH ORIENTATION

KENTUCKY SOUTH STATE PLANE COORDINATE SYSTEM
 Based on GPS Survey relative to NGS CORS Network, NAD83 (2011)
 ELEVATION DATUM: NAVD88, GEOID 12B
 DATE OF SURVEY: 10-16-2022

Method: RTK (CORS); Confidence Level: 95%
 Positional Accuracy: HZ ± 0.10'
 EPOCH 2010.0000

FLOOD DATA

FEMA FLOOD MAP PANEL: 21045C0050D, Effective Date: 07-07-2009
 Surveyed Area appears to lie within: ZONE X (Areas of Minimal Flood Hazard)

TITLE EXAMINATION:

See Sheet #7

SURVEYOR'S CERTIFICATION

To: Verizon Wireless:
 I hereby certify (or state) that all parts of this survey and drawing have been completed in accordance with the current requirements of the Standards of Practice for Surveying in the State of Kentucky to the best of my knowledge, information, and belief.



Travis L. Shields
 Kentucky PLS
 License No. 4246

LOCATION MAP
 NOT TO SCALE



LEGEND

- ⊙ UTILITY POLE
- ↓ GUY ANCHOR
- * PROPOSED TOWER CENTER
- ⬇ SITE BENCHMARK

- R/W RIGHT-OF-WAY
- C/L CENTER LINE
- AU ACCESS & UTILITY
- ESMT EASEMENT
- P.O.C. POINT OF COMMENCEMENT
- P.O.B. POINT OF BEGINNING
- Sq Ft SQUARE FEET

- PAVEMENT EDGE
- GRAVEL EDGE
- TRAIL CENTERLINE
- - - DITCH
- == STORMWATER PIPE
- OHT OVERHEAD TELECOM LINES
- OHU OVERHEAD UTILITY LINES
- 5' CONTOURS
- 1' CONTOURS
- PUBLIC R/W
- TAX PARCEL BOUNDARY
- TIE LINE
- LESSEE'S PREMISES
- LESSEE'S EASEMENTS

(Not a Boundary Survey of Parent Lands. Not intended for fee simple Land Transfer)

SITE SURVEY
 LV HWY 243

Location Code: 721755
 Minors Branch Road, Gravel Switch, KY 40328
 Casey County, Kentucky



THE
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 LLC
 5449 Highway #41
 Jasper, TN 37347
 (423) 304-6722



COVER SHEET

DWG#: 22302
 ISSUE #: 0
 ISSUE DATE: 11-03-2022
 SEE SHEET #1

SHEET **1** OF 7

SURVEY ISSUE DATA

#	DETAILS	DATE	DRAWN	APP
0	Original Survey Issue	11-03-2022	NB	TLS

PROPERTY INFORMATION

PARENT TAX PARCEL

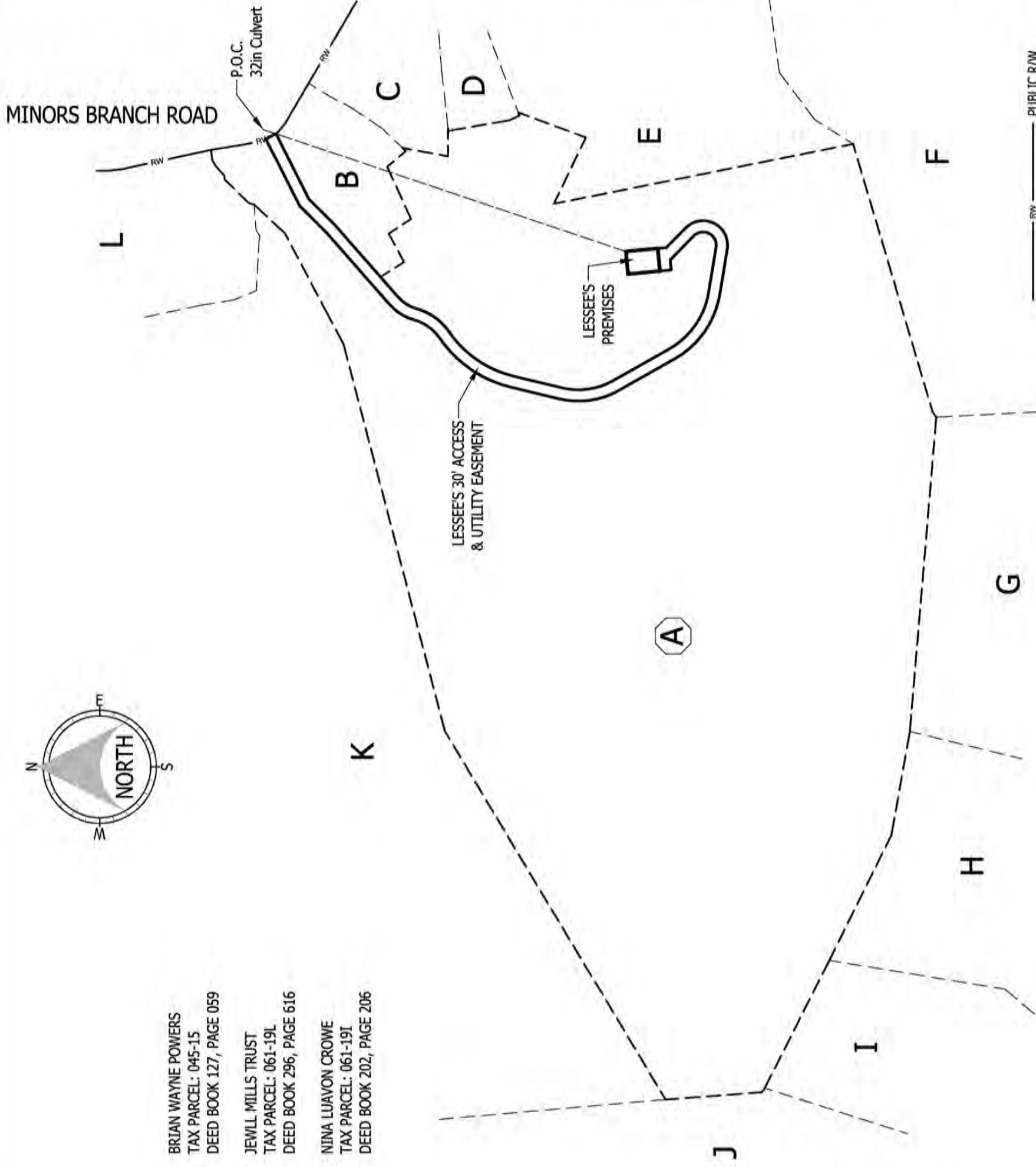
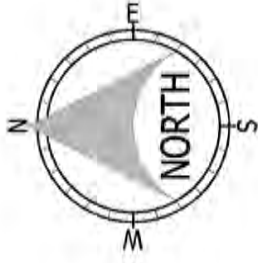
- A. PETER PRIMIANO & ANGELA PRIMIANO
TAX PARCEL: 061-19F
DEED BOOK 274, PAGE 248,

ADJOINING TAX PARCELS

- B. STEVEN BEAUDET ...
TAX PARCEL: 061-19F-2
DEED BOOK 338, PAGE 299
- C. HEATHER CROWE
TAX PARCEL: 061-19C
DEED BOOK 316, PAGE 551
- D. HEATHER CROWE
TAX PARCEL: 061-19F-3
DEED BOOK 334, PAGE 500
- E. WALTER C. ARNOLD
TAX PARCEL: 061-19K
DEED BOOK 237, PAGE 420
- F. JAMES L. HAYES
TAX PARCEL: 062-02
DEED BOOK 293, PAGE 222
- G. VINGIE R. POWERS ESTATE
TAX PARCEL: 045-12
DEED BOOK 180, PAGE 633
- H. BRIAN W. POWERS
TAX PARCEL: 045-13
DEED BOOK 154, PAGE 338
- I. BRIAN WAYNE POWERS
TAX PARCEL: 045-14
DEED BOOK 140, PAGE 378
- J. BRIAN WAYNE POWERS
TAX PARCEL: 045-15
DEED BOOK 127, PAGE 059
- K. JEWELL MILLS TRUST
TAX PARCEL: 061-19L
DEED BOOK 296, PAGE 616
- L. NINA LUAVON CROWE
TAX PARCEL: 061-19I
DEED BOOK 202, PAGE 206

OVERVIEW MAP CAVEAT:
OVERVIEW MAP IS NOT A SURVEY BUT A VICINITY / LOCATION MAP INTENDED ONLY TO SHOW SURVEYED PROPERTY IN RELATION TO SURROUNDING AREA. VESTING AND ADJOINING PARCEL BOUNDARIES ARE NOT INCLUDED IN OR CERTIFIED BY THIS SURVEY. BOUNDARY LINES ARE A COMPOSITE OF DEED, PLAT AND/OR TAX MAP INFORMATION

Surveyor's certification of Survey extends only to the Survey Area as shown on Survey Map Sheets. This sheet includes items based on information supplied to Surveyor by Title Examiners and other sources, presented hereon as a convenience to clients, not included under Survey Certification. No Survey was performed outside the Survey Area.



MINORS BRANCH ROAD

P.O.C.
32in Culvert

LESSEE'S 30' ACCESS
& UTILITY EASEMENT

LESSEE'S
PREMISES

- R/W — PUBLIC R/W
- VESTING LAND
- - - ADJOINING TAX PARCEL
- TIE LINE
- LESSEE'S PREMISES
- LESSEES EASEMENT(S)

APPROX SCALE: 1in = 300'



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verizon

VERIZON WIRELESS

(Not a Boundary Survey of Parent Lands. Not intended for fee simple Land Transfer)

SITE SURVEY

LV HWY 243

Location Code: 721755

Minors Branch Road, Gravel Switch, KY 40328

Casey County, Kentucky

OVERVIEW MAP

DWG#: 22302
ISSUE #: 0
ISSUE DATE: 11-03-2022
SEE SHEET #1

SHEET
2
OF
7



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VERIZON WIRELESS

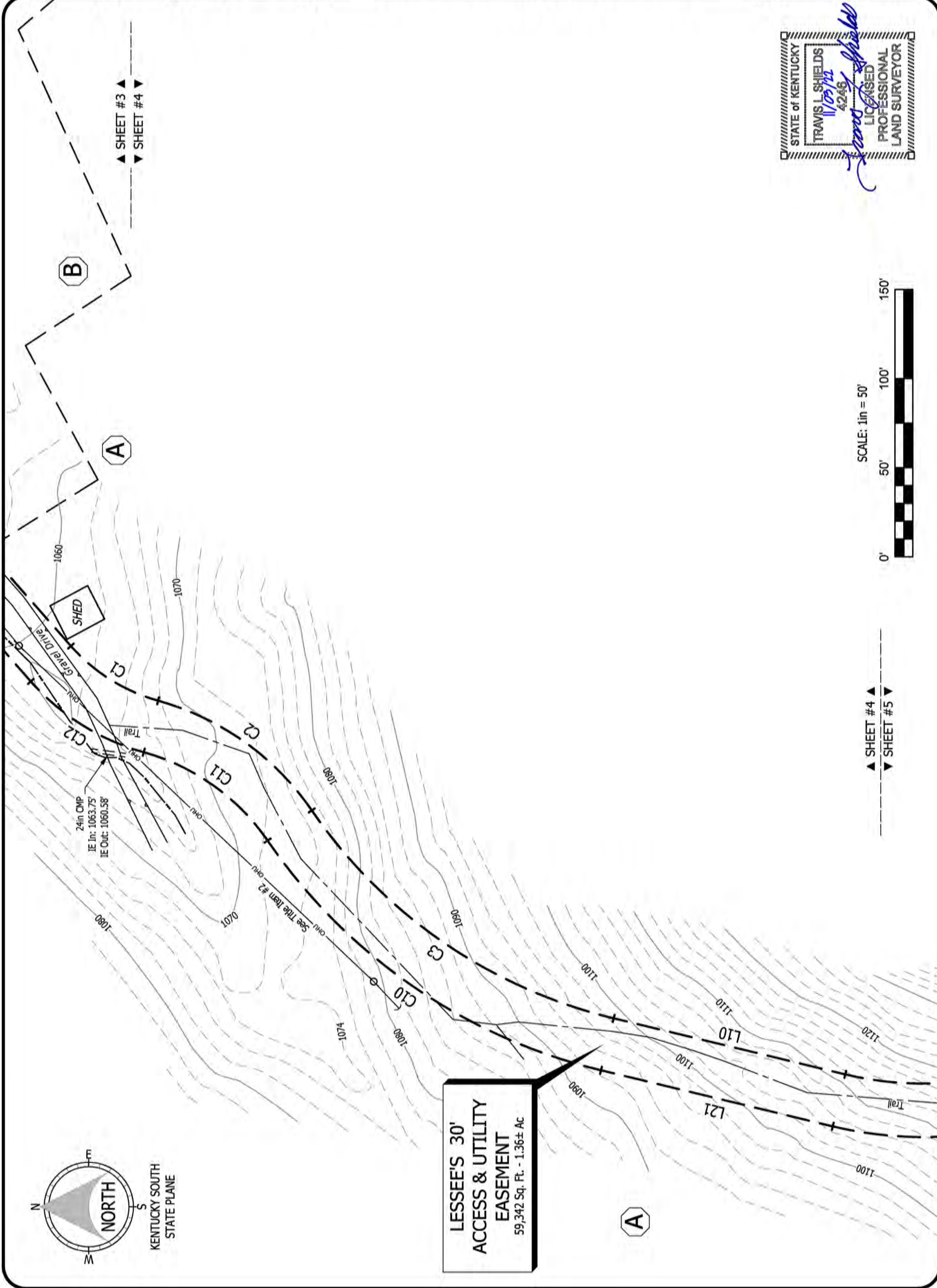
(Not a Boundary Survey of Parent Lands. Not intended for fee simple Land Transfer)

SITE SURVEY
LV HWY 243
Location Code: 721755
Minors Branch Road, Gravel Switch, KY 40328
Casey County, Kentucky

SITE SURVEY

DWG#: 22302
ISSUE #: 0
ISSUE DATE: 11-03-2022
SEE SHEET #1

SHEET **4** OF 7





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 VERIZON WIRELESS

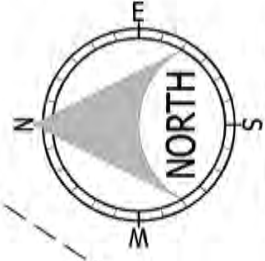
(Not a Boundary Survey of Parent Lands. Not intended for fee simple Land Transfer)
SITE SURVEY
 LV HWY 243
 Location Code: 721755
 Minors Branch Road, Gravel Switch, KY 40328
 Casey County, Kentucky

SITE SURVEY

DWG#: 22302
 ISSUE #: 0
 ISSUE DATE: 11-03-2022
 SEE SHEET #1

SHEET 3 OF 7

MINORS BRANCH ROAD
 30' Public R/W (Ref: PB 4-106)



KENTUCKY SOUTH STATE PLANE

SEE SHEET #3
 SEE SHEET #4

CURVE DATA TABLE

CURVE	RADIUS	ARC LEN	TANGENT	DELTA ANGLE	CHORD BEARING	CHORD LEN
C1	101.12'	58.43'	30.06'	33°06'33"	S 32°06'09" W	57.62'
C2	154.62'	107.99'	56.30'	40°01'08"	S 35°33'26" W	105.81'
C3	286.96'	210.16'	110.04'	41°57'42"	S 34°35'09" W	205.49'
C4	184.59'	138.85'	72.90'	43°05'57"	S 07°56'40" E	135.60'
C5	211.22'	188.25'	100.89'	51°03'49"	S 55°01'33" E	182.08'
C6	35.00'	88.61'	111.18'	145°03'07"	N 26°54'59" E	66.77'
C7	65.00'	164.56'	206.48'	145°03'07"	S 26°54'59" W	124.00'
C8	241.22'	214.98'	115.22'	51°03'49"	N 55°01'33" W	207.94'
C9	214.59'	161.42'	84.74'	43°05'57"	N 07°56'40" W	157.64'
C10	316.96'	232.13'	121.55'	41°57'42"	N 34°35'09" E	226.98'
C11	124.62'	87.04'	45.38'	40°01'08"	N 35°33'26" E	85.28'
C12	131.12'	75.77'	38.97'	33°06'33"	N 32°06'09" E	74.72'

LINE DATA TABLE

LINE	BEARING	DISTANCE
L1	S 05°18'46" E	85.00'
L2	S 84°41'14" W	60.00'
L3	N 05°18'46" W	85.00'
L4	N 84°41'14" E	60.00'
L5	S 74°22'18" W	26.20'
L6	S 28°04'12" E	30.01'
L7	S 63°17'30" W	194.27'
L8	S 44°52'36" W	94.41'
L9	S 48°39'26" W	257.61'
L10	S 13°36'18" W	133.64'
L11	S 29°29'39" E	171.62'
L12	S 80°33'27" E	121.88'
L13	N 45°36'35" W	88.98'
L14	S 84°41'14" W	26.89'
L15	N 05°18'46" W	30.00'
L16	N 84°41'14" E	60.00'
L17	S 05°18'46" E	22.66'
L18	S 45°36'35" E	73.16'
L19	N 80°33'27" W	121.88'
L20	N 29°29'39" W	171.62'
L21	N 13°36'18" E	133.64'
L22	N 48°39'26" E	256.62'
L23	N 44°52'36" E	98.28'
L24	N 63°17'30" E	198.42'

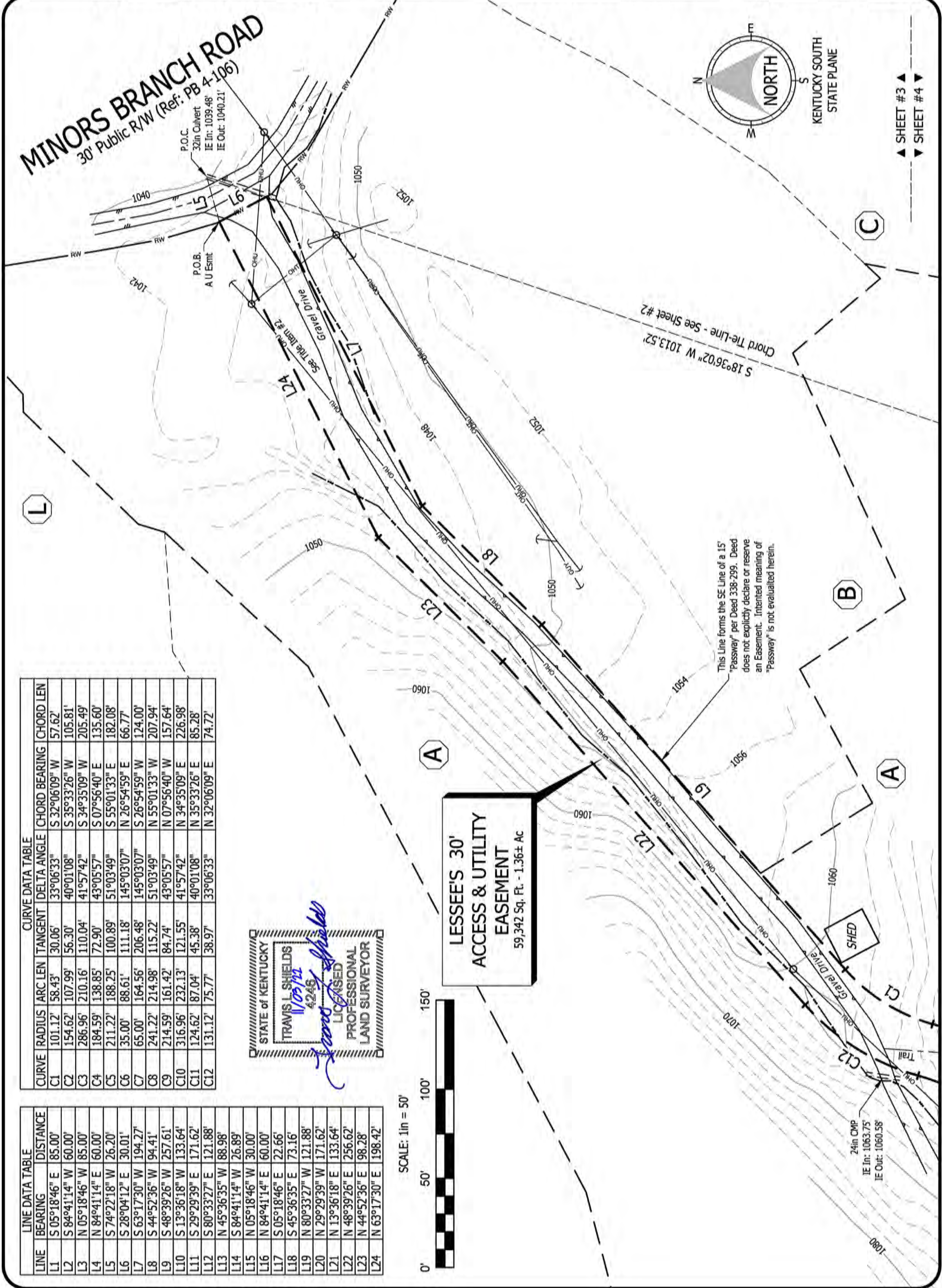
STATE OF KENTUCKY
TRAVIS L. SHIELDS
 11/05/22
 4246
Travis L. Shields
 LICENSED PROFESSIONAL LAND SURVEYOR

LESSEE'S 30' ACCESS & UTILITY EASEMENT
 59,342 Sq. Ft. - 1.36± AC



This Line forms the SE Line of a 15' "Passway" per Deed 338-299. Deed does not explicitly declare or reserve an Easement. Intended meaning of "Passway" is not evaluated herein.

Chord Tie-Line - See Sheet #2
 S 18°36'02" W 1013.52'



24in CMP
 IE In: 1063.75'
 IE Out: 1060.58'



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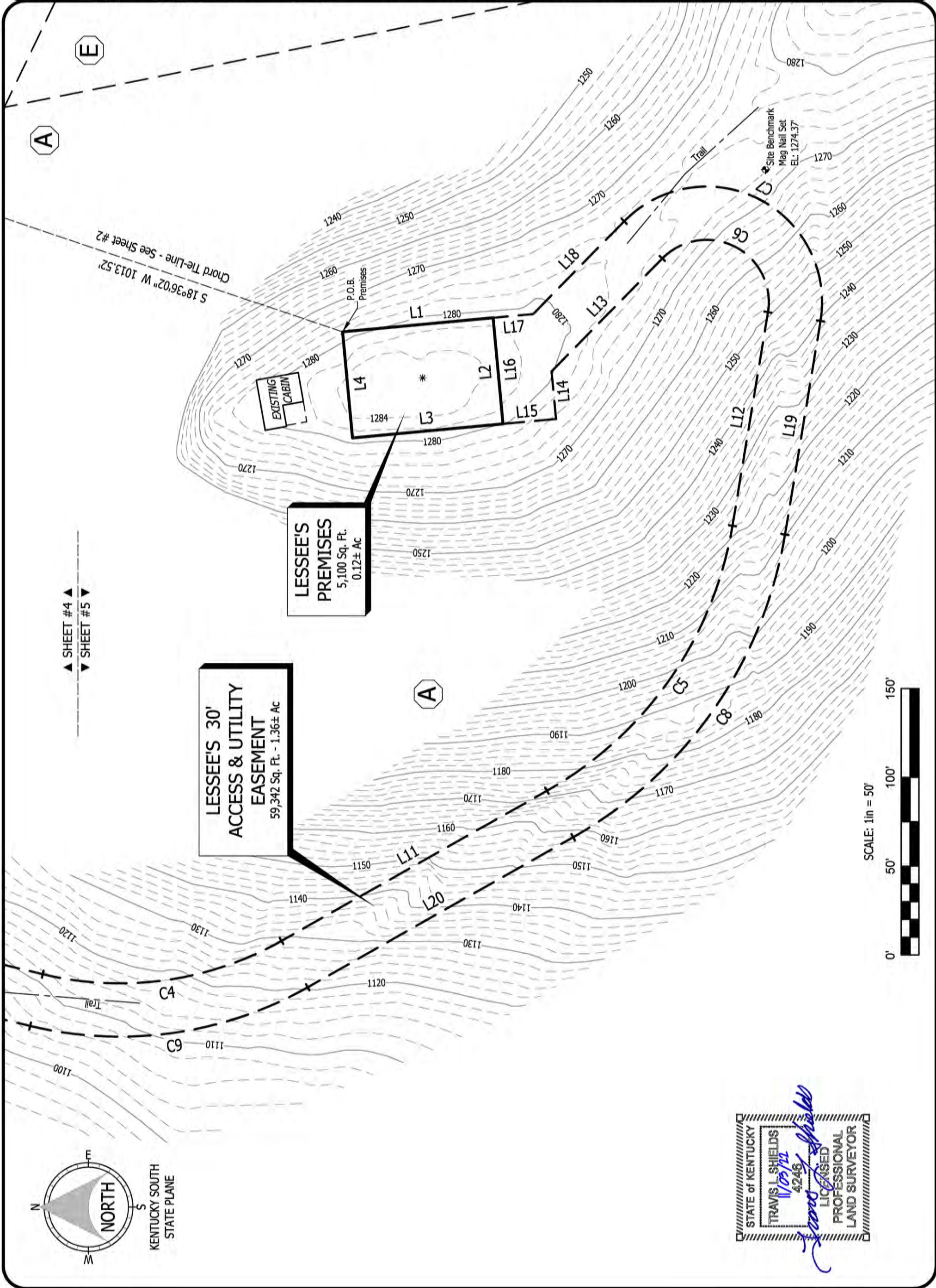
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VERIZON WIRELESS

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SITE SURVEY
LV HWY 243
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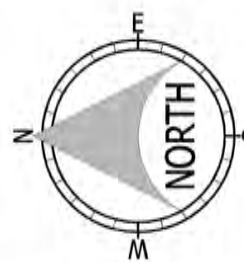
SITE SURVEY

DWG#: 22302
ISSUE #: 0
ISSUE DATE: 11-03-2022
SEE SHEET #1

SHEET **5** OF 7



▲ SHEET #4 ▲
▼ SHEET #5 ▼



KENTUCKY SOUTH
STATE PLANE

**LESSEE'S 30'
ACCESS & UTILITY
EASEMENT**
59,342 Sq. Ft. - 1.36± AC

**LESSEE'S
PREMISES**
5,100 Sq. Ft.
0.12± AC

STATE OF KENTUCKY
TRAVIS L. SHIELDS
11/03/22
4246
LICENSED
PROFESSIONAL
LAND SURVEYOR



LESSEE'S PREMISES

All that Tract or Parcel of land lying and being in Casey County, Kentucky, and being a portion of the property of Peter Primiano and Angela Primiano, of record in Deed Book 274, Page 248, Clerk's Office, Casey County, Kentucky, and being more particularly described as follows:

COMMENCE at the Northern end of a thirty-two-inch Culvert located on the Northeast side of Minors Branch Road;
Thence along a Chord Tie Line having a Bearing of S 18°36'02" W, a distance of 1,013.52 feet to the POINT OF BEGINNING;

Thence S 05°18'46" E, a distance of 85.00 feet;
Thence S 84°41'14" W, a distance of 60.00 feet;
Thence N 05°18'46" W, a distance of 85.00 feet;
Thence N 84°41'14" E, a distance of 60.00 feet to the POINT OF BEGINNING.

Said Premises contains 0.12 Acres (5,100 Square Feet), more or less.

LESSEE'S 30' ACCESS & UTILITY EASEMENT

All that Tract or Parcel of land lying and being in Casey County, Kentucky, and being a portion of the property of Peter Primiano and Angela Primiano, of record in Deed Book 274, Page 248, Clerk's Office, Casey County, Kentucky, and being more particularly described as follows:

COMMENCE at the Northern end of a thirty-two-inch Culvert located on the Northeast side of Minors Branch Road;
Thence along a Chord Tie Line having a Bearing of S 74°22'18" W, a distance of 26.20 feet to a point on the Southwestern Right-of-Way Line of aforesaid Road, which is the POINT OF BEGINNING;

Thence S 28°04'12" E, along said Right-of-Way Line, a distance of 30.01 feet;
Thence S 63°17'30" W, leaving said Right-of-Way Line, a distance of 194.27 feet;
Thence S 44°52'36" W, a distance of 94.41 feet;
Thence S 48°39'26" W, a distance of 257.61 feet;
Thence with a curve to the left with an arc length of 58.43 feet, with a radius of 101.12 feet, with a chord bearing of S 32°06'09" W, with a chord length of 57.62 feet;
Thence with a curve to the right with an arc length of 107.99 feet, with a radius of 154.62 feet, with a chord bearing of S 35°33'26" W, with a chord length of 105.81 feet;
Thence with a curve to the left with an arc length of 210.16 feet, with a radius of 286.96 feet, with a chord bearing of S 34°35'09" W, with a chord length of 205.49 feet;
Thence S 13°36'18" W, a distance of 133.64 feet;
Thence with a curve to the left with an arc length of 138.85 feet, with a radius of 184.59 feet, with a chord bearing of S 07°56'40" E, with a chord length of 135.60 feet;
Thence S 29°29'39" E, a distance of 171.62 feet;
Thence with a curve to the left with an arc length of 188.25 feet, with a radius of 211.22 feet, with a chord bearing of S 55°01'33" E, with a chord length of 182.08 feet;
Thence S 80°33'27" E, a distance of 121.88 feet;
Thence with a curve to the left with an arc length of 88.61 feet, with a radius of 35.00 feet, with a chord bearing of N 26°54'59" E, with a chord length of 66.77 feet;
Thence N 45°36'35" W, a distance of 88.98 feet;
Thence S 84°41'14" W, a distance of 26.89 feet;
Thence N 05°18'46" W, a distance of 30.00 feet;
Thence N 84°41'14" E, a distance of 60.00 feet;
Thence S 05°18'46" E, a distance of 22.66 feet;
Thence S 45°36'35" E, a distance of 73.16 feet;
Thence with a curve to the right with an arc length of 164.56 feet, with a radius of 65.00 feet, with a chord bearing of S 26°54'59" W, with a chord length of 124.00 feet;
Thence N 80°33'27" W, a distance of 121.88 feet;
Thence with a curve to the right with an arc length of 214.98 feet, with a radius of 241.22 feet, with a chord bearing of N 55°01'33" W, with a chord length of 207.94 feet;
Thence N 29°29'39" W, a distance of 171.62 feet;
Thence with a curve to the right with an arc length of 161.42 feet, with a radius of 214.59 feet, with a chord bearing of N 07°56'40" W, with a chord length of 157.64 feet;
Thence N 13°36'18" E, a distance of 133.64 feet;
Thence with a curve to the right with an arc length of 232.13 feet, with a radius of 316.96 feet, with a chord bearing of N 34°35'09" E, with a chord length of 226.98 feet;
Thence with a curve to the left with an arc length of 87.04 feet, with a radius of 124.62 feet, with a chord bearing of N 35°33'26" E, with a chord length of 85.28 feet;
Thence with a curve to the right with an arc length of 75.77 feet, with a radius of 131.12 feet, with a chord bearing of N 32°06'09" E, with a chord length of 74.72 feet;
Thence N 48°39'26" E, a distance of 256.62 feet;
Thence N 44°52'36" E, a distance of 98.28 feet;
Thence N 63°17'30" E, a distance of 198.42 feet to the POINT OF BEGINNING.

Said Easement contains 1.36 Acres (59,342 Square Feet), more or less.



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(Not a Boundary Survey of Parent Lands. Not Intended for fee simple Land Transfer)

SITE SURVEY LV HWY 243

Location Code: 721755

Minors Branch Road, Gravel Switch, KY 40328

Casey County, Kentucky

DESCRIPTIONS

DWG#: 22302
ISSUE #: 0
ISSUE DATE: 11-03-2022
SEE SHEET #1

SHEET
6
OF
7

TITLE EXAMINATION

Surveyor's treatment of Title Examination Items is limited to the scope described in ALTA/NSPS 2016 requirements, Section 6. C. ii., and is limited to determination of the extent of land, that Title Items may influence, if any. Surveyor may indicate where review by Title Attorney may be warranted.)

Reference: Report of Title, issued by Fidelity National Title Insurance Company, Order No.: 37793441, Issue Date: September 6, 2022, Schedule B, Part II:

Item 1: Taxes: Not addressed by Suevey.

Item 2: Right-of-Way Easement, Deed Book 192-529:
60' Electric Easement, being 30' from the centerline of electric system. Applies to Parent Parcel. Power Lines are shown within Survey Area. Deed does not provide information necessary to establish if the lines existing within the Survey area are the lines that this easement was intended to service.

Item 3: Mortgage, Deed Book 216-407: Applies to Parent Parcel. Blanket in nature and not subject to separate mapping.

LEGAL DESCRIPTION OF PARENT TAX PARCEL

Property located in Casey County, Kentucky

Parcel 1:

Tract One: Beginning at a beech and lynn in Minor's line; thence South 55 deg. East 78 poles to a white oak; thence North 55 deg. East 64 poles to a maple; thence North 130 poles to two small hickories on beech of knob; thence West 112 poles to two beeches in Minor's line; thence with his line South 125 poles to the beginning. There is excluded from this tract an off-conveyance to Howard Conder. Said off-conveyance being of record in Deed Book 62, Page 352, in the office of the Clerk of the Casey County Court.

Tract Two: A certain tract or parcel of land lying in Casey County, Kentucky, on Elk Cave Branch of Harlan's branch of North Rolling Fork of Salt River and bounded as follows: Beginning at a double sugar tree; David Green's corner, thence with his line N 50 deg. 50 min. West 28-1/5 rods to a stone with three ashes and red bud as pointers, formerly three dogwoods, David Green's corner and Minor's corner; thence with Minor's line North 61 deg. 40 min. East 22 rods to stone corner, formerly sugar tree, supposed to be Minor's corner now Elder's; thence N 21 deg. 40 min. East 27-1/5 rods to a large beech J.W. Gee's corner; thence his line S 52 deg. 50 min. East 47 rods to a stake in J.L. King's line, thence with it South 62 deg. 10 min. West 50 rods to the beginning, this corner is on top of hill.

There is excluded from Tract Two the following off-conveyance from B.H. Mills, single to James S. Mills and Susie Mills, his wife, by deed dated the 6th day of July, 1971, and of record in Deed Book 82, Page 433 in the office of the Clerk of the Casey County Court: Beginning at a small black oak and running North 3 deg. West 24.56 poles to a stone on the North side of the creek; thence up the creek South 24 deg. East 17 poles to an ash on the South side of the road; thence South 38 deg. West 13.40 poles to the point of beginning, and containing 1-2/10 acres, more or less, according to the survey of Lewis J. Cochran, Reg. #1038, dated June 5, 1971.

Parcel 2:

Tract No. 1:

Beginning at a stone, papaw and sassafras on the knob in A. J. Shearin's line; thence with his line N 12 W 54 poles to a beech and dogwood; thence S 8 W 54-1/2 poles to a white oak stump; thence S 11-1/2 E 80-1/2 poles to a hickory on the top of the knob in G.L. Minor's line; thence with top of knob S 82-1/2 E 38 poles to a black oak and chestnut; thence W 37 E 8-3/5 poles to the beginning, containing 17 acres, the boundary taken for more or less.

Tract No. 2:

Beginning at a white oak on Harlins Branch, corner to M.A. Carter; thence S 2 E 68 poles to a hickory corner to same, thence with G.L. Minors to a double poplar; thence E 86 poles to a beech, corner to James King; thence S 10 W 32 poles to a beech and hickory corner to same; thence N 74 W 26 poles to the beginning, the boundary taken for 20 acres, more or less.

Tract No. 3:

Beginning at a hickory and sugar tree on a ridge; N 33 W 114 poles to a double poplar thence S with West side of ridge 84 poles to four small chestnuts on point of knob; thence East course a straight line to the beginning.

Tract No. 4:

Beginning at a beech; thence S 10 W 34 poles to a hickory; thence S 54 E 13 poles to a stone; thence N 10 E 40-1/2 (sic) poles to the beginning, containing 3 acres, more or less.

There is excluded from the above the parcels or properties described in the following deeds:

- (1) .912 acres conveyed to Jay T. Crowe in Deed Book 181, Page 760, in the Casey County Clerk's office;
- (2) 1.598 acres conveyed to Steve Weaver and Kay Weaver in Deed Book 168, Page 634, in the aforesaid Clerk's office;
- (3) 2.302 acres conveyed to Tracy Mills in Deed Book 167, Page 192, in the aforesaid Clerk's office;
- (4) 2.261 acres conveyed in Deed Book 165, Page 413, in the aforesaid Clerk's office;
- (5) 13.09 acres conveyed to Glen Bailes in Deed Book 120, Page 457, in the aforesaid Clerk's office;
- (6) 2.12 acres conveyed to Jay Thomas Crowe in Deed Book 119, Page 185, in the aforesaid Clerk's office;
- (7) .65 acres conveyed in Deed Book 126, Page 635, in the aforesaid Clerks' office;

AND BEING the same property conveyed to Peter Primiano and Angela Primiano from Jerald C. Shepherd and Mary M. Shepherd by Deed dated April 27, 2011 and recorded May 6, 2011 in Deed Book 274, Page 248.

Tax Parcel No. 061-19F

Surveyor's certification of Survey extends only to the Survey Area as shown on Survey Map Sheets. This sheet includes items based on information supplied to Surveyor by Title Examiners and other sources, presented hereon as a convenience to clients, not included under Survey Certification. No Survey was performed outside the Survey Area.



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SITE SURVEY
LV HWY 243

Location Code: 721755

Minors Branch Road, Gravel Switch, KY 40328

Casey County, Kentucky

DESCRIPTIIONS

DWG#: 22302
ISSUE #: 0
ISSUE DATE: 11-03-2022
SEE SHEET #1

SHEET
7
OF
7



1961 NORTHPOINT BLVD.
SUITE 130
HIXSON, TN 37343
PH : 423-843-9500
FAX : 423-843-9509

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REVISIONS	
#	DESCRIPTION
1	07/26/23 M.B. ISSUED FOR ZONING
0	01/23/23 M.B. ISSUED FOR ZONING
B	01/06/23 M.B. ADDRESSES REVISED
A	12/05/22 M.B. ZONING ISSUE

FOR REFERENCE

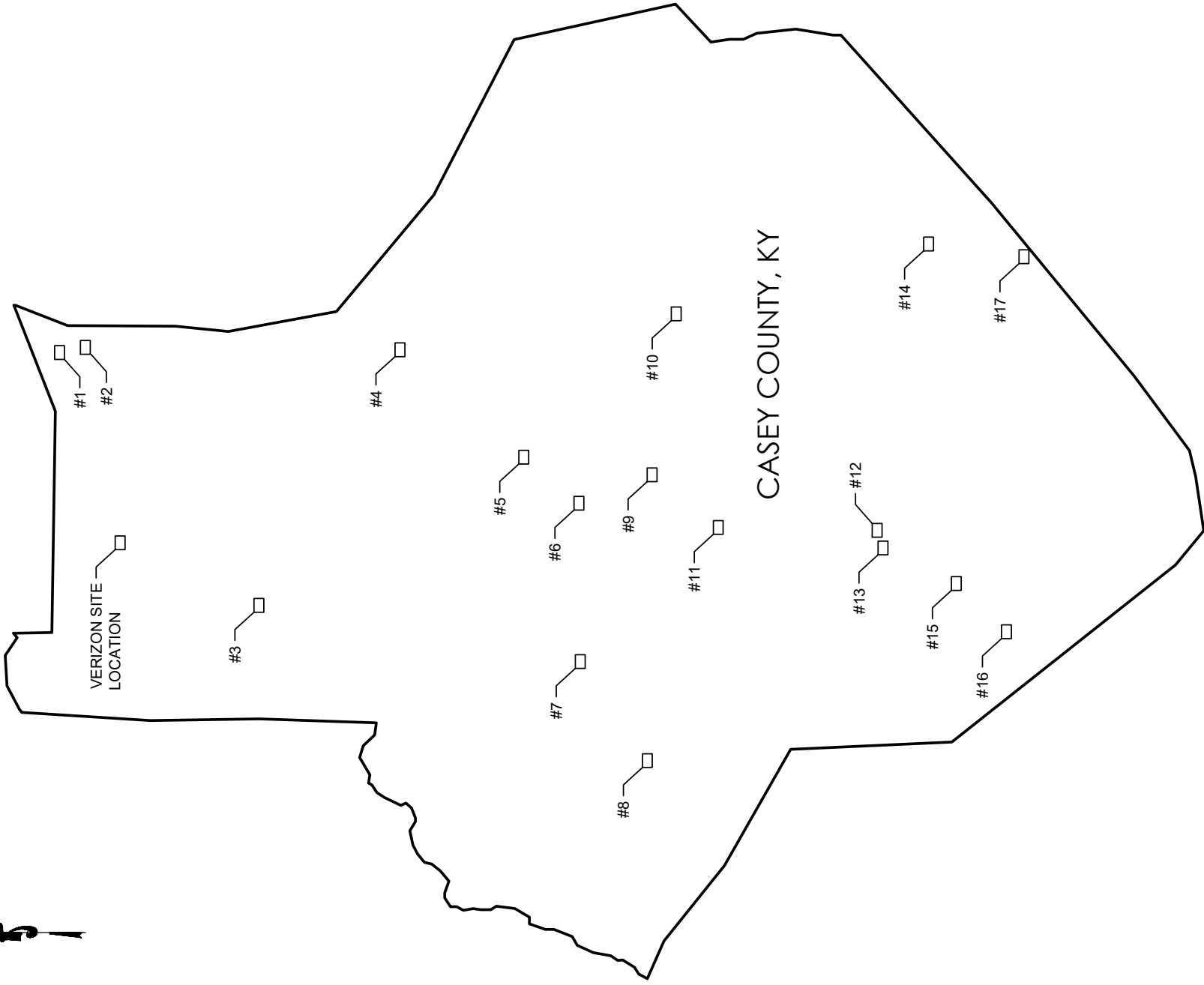


FUZE ID :	16913436
SITE NAME :	LV HWY 243
SITE # / LOCATION CODE :	721755

SITE ADDRESS :	3180 MINORS BRANCH RD GRAVEL SWITCH, KY 40328
SITE TYPE:	RAWLAND

SHEET TITLE :	COUNTY TOWER MAP
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DRAWING # :	Z1	REVISION :	1
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TOWER	OWNER	ASR	LATITUDE	LONGITUDE
#1.	EDUCATIONAL MEDIA FOUNDATION	1234122	37°31'27.30"N	84°52'11.80"W
#2.	KENTUCKY, COMMONWEALTH OF DBA = KY EMERGENCY WARNING SYSTEM KEWS	1044843	37°31'10.00"N	84°52'10.80"W
#3.	CITY SWITCH II, LLC	1312991	37°27'17.60"N	84°59'26.10"W
#4.	CCATT LLC - CROWN CASTLE	1244845	37°24'8.40"N	84°52'12.50"W
#5.	GLOBAL TOWER, LLC. THROUGH AMERICAN TOWERS, LLC	1042417	37°21'23.00"N	84°55'13.00"W
#6.	COUNTY OF CASEY	1321933	37°20'7.60"N	84°56'32.40"W
#7.	CTI TOWERS ASSETS II, LLC	1313732	37°20'8.60"N	85° 0'58.00"W
#8.	CNS MICROWAVE, LLC	1044720	37°18'36.00"N	85° 3'45.00"W
#9.	CROWN CASTLE SOUTH LLC	1043347	37°18'35.10"N	84°55'42.30"W
#10.	EAST KENTUCKY POWER COOPERATIVE, INC.	1234155	37°17'54.90"N	84°51'11.50"W
#11.	CENTER INDEPENDENT SCHOOL DISTRICT	1264914	37°17'3.10"N	84°57'12.10"W
#12.	UNITY TOWERS	1310312	37°13'26.70"N	84°57'18.90"W
#13.	SBA TOWERS III LLC	1263764	37°13'22.20"N	84°57'39.50"W
#14.	GLOBAL TOWER, LLC. THROUGH AMERICAN TOWERS, LLC	1264776	37°12'15.80"N	84°49'13.10"W
#15.	HEMPHILL CORPORATION	1232541	37°11'39.30"N	84°58'48.80"W
#16.	CELLCO PARTNERSHIP	1275314	37°10'31.00"N	85° 0'11.50"W
#17.	KENTUCKY AUTHORITY FOR EDUCATIONAL TELEVISION DBA WKSO TV	1044043	37°10'3.00"N	84°49'30.00"W
#18.	PROPOSED VERIZON WIRELESS	TBD	37° 30'33.53"N	84°57'23.05"W

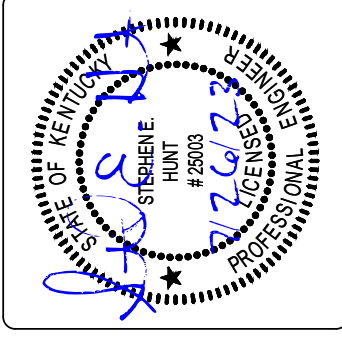


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FUZE ID : 16913436
 SITE NAME : LV HWY 243
 SITE # / LOCATION CODE : 721755

SITE ADDRESS :
 3180 MINORS BRANCH RD
 GRAVEL SWITCH, KY 40328
 SITE TYPE : RAWLAND

SHEET TITLE :
 OVERALL SITE LAYOUT
 WITH AERIAL OVERLAY
 DRAWING # : Z2
 REVISION : 1



NOW OR FORMERLY PARENT PARCEL
 OWNER NAME: CHARLES D NEWBERRY
 OWNER ADDRESS: 290 PISTOL RIDGE RD.
 CAMPBELLSVILLE, KY 42718-6947
 PROPERTY ADDRESS: MINORS BRANCH RD,
 GRAVEL SWITCH, KY 40328
 TAX PARCEL: TBD

NOW OR FORMERLY PARENT PARCEL
 OWNER NAME: HEATHER CROWE
 OWNER ADDRESS: 2887 MINORS BRANCH RD,
 GRAVEL SWITCH, KY 40328-9019
 PROPERTY ADDRESS: 2887 MINORS BRANCH RD,
 GRAVEL SWITCH, KY 40328-9019
 TAX PARCEL: TBD

NOW OR FORMERLY PARENT PARCEL
 OWNER NAME: NINA LUAYON CROWE
 OWNER ADDRESS: 3020 MINORS BRANCH RD,
 GRAVEL SWITCH, KY 40328-9020
 PROPERTY ADDRESS: 3020 MINORS BRANCH RD,
 GRAVEL SWITCH, KY 40328-9020
 TAX PARCEL: 061-191
 DEED BOOK 202, PAGE 206

NOW OR FORMERLY PARENT PARCEL
 OWNER NAME: STEVEN BEAUDET
 OWNER ADDRESS: TBD
 PROPERTY ADDRESS: 3176 MINORS BRANCH RD,
 GRAVEL SWITCH, KY 40328-9021
 TAX PARCEL: 061-19F-2
 DEED BOOK 338, PAGE 299

NOW OR FORMERLY PARENT PARCEL
 OWNER NAME: JEWEL MILLS TRUST
 OWNER ADDRESS: 3020 MINORS BRANCH RD,
 GRAVEL SWITCH, KY 40328-9020
 PROPERTY ADDRESS: MINORS BRANCH RD,
 GRAVEL SWITCH, KY 40328
 TAX PARCEL: 061-19L
 DEED BOOK 296, PAGE 616

NOW OR FORMERLY PARENT PARCEL
 OWNER NAME: BRIAN WAYNE POWERS
 OWNER ADDRESS: N/A
 PROPERTY ADDRESS: N/A
 TAX PARCEL: 045-15
 DEED BOOK 127, PAGE 059

NOW OR FORMERLY PARENT PARCEL
 OWNER NAME: JEWEL MILLS TRUST
 OWNER ADDRESS: 2987 MINORS BRANCH RD,
 GRAVEL SWITCH, KY 40328-3019
 PROPERTY ADDRESS: MINORS BRANCH RD,
 GRAVEL SWITCH, KY 40328
 TAX PARCEL: 061-19L
 DEED BOOK 316, PAGE 551

NOW OR FORMERLY PARENT PARCEL
 OWNER NAME: JEWEL MILLS TRUST
 OWNER ADDRESS: 12866 LEBANON RD,
 PERRYVILLE, KY 40468-8982
 PROPERTY ADDRESS: GRAVEL SWITCH, KY 40328
 TAX PARCEL: 061-19F-3
 DEED BOOK 334, PAGE 500

NOW OR FORMERLY PARENT PARCEL
 OWNER NAME: WALTER C. ARNOLD
 OWNER ADDRESS: 888 W COUNT FLEET CIR,
 DANVILLE, KY 40422-9221
 PROPERTY ADDRESS: MINORS BRANCH RD,
 GRAVEL SWITCH, KY 40328
 TAX PARCEL: 045-15
 DEED BOOK 129, PAGE 633

NOW OR FORMERLY PARENT PARCEL
 OWNER NAME: JAMES L. HAYES
 OWNER ADDRESS: 5900 MAXEY VALLEY RD,
 HUSTONVILLE, KY 40437
 PROPERTY ADDRESS: 6788 MAXEY VALLEY RD,
 GRAVEL SWITCH, KY 40437
 TAX PARCEL: 062-02
 DEED BOOK 293, PAGE 222

NOW OR FORMERLY PARENT PARCEL
 OWNER NAME: PETER & ANGELA PRIMIANO
 OWNER ADDRESS: 3180 MINOR BRANCH RD,
 GRAVEL SWITCH, KY 40328
 PROPERTY ADDRESS: 3180 MINOR BRANCH RD
 GRAVEL SWITCH, KY 40328
 TAX PARCEL: 061-19F
 DEED BOOK 274, PAGE 248

NOW OR FORMERLY PARENT PARCEL
 OWNER NAME: BRIAN WAYNE POWERS
 OWNER ADDRESS: 2920 LITTLE SOUTH RD,
 GRAVEL SWITCH, KY 40328-9321
 PROPERTY ADDRESS: GRAVEL SWITCH, KY 40328
 TAX PARCEL: 045-14
 DEED BOOK 140, PAGE 378

NOW OR FORMERLY PARENT PARCEL
 OWNER NAME: VINGIE R. POWER ESTATE
 OWNER ADDRESS: 2482 LITTLE SOUTH RD,
 GRAVEL SWITCH, KY 40328-9322
 PROPERTY ADDRESS: 2482 LITTLE SOUTH RD,
 GRAVEL SWITCH, KY 40328-9322
 TAX PARCEL: 045-12
 DEED BOOK 180, PAGE 633

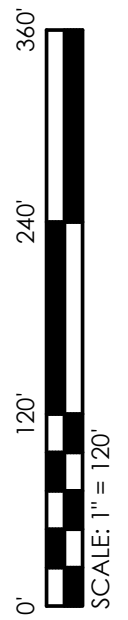
NOW OR FORMERLY PARENT PARCEL
 OWNER NAME: BRIAN WAYNE POWERS
 OWNER ADDRESS: 2920 LITTLE SOUTH RD,
 GRAVEL SWITCH, KY 40328-9321
 PROPERTY ADDRESS: GRAVEL SWITCH, KY 40328
 TAX PARCEL: 045-13
 DEED BOOK 154, PAGE 338

NOW OR FORMERLY PARENT PARCEL
 OWNER NAME: BRIAN WAYNE POWERS
 OWNER ADDRESS: 2920 LITTLE SOUTH RD,
 GRAVEL SWITCH, KY 40328-9321
 PROPERTY ADDRESS: GRAVEL SWITCH, KY 40328
 TAX PARCEL: 045-14
 DEED BOOK 140, PAGE 378

NOW OR FORMERLY PARENT PARCEL
 OWNER NAME: BRIAN WAYNE POWERS
 OWNER ADDRESS: N/A
 PROPERTY ADDRESS: N/A
 TAX PARCEL: 045-15
 DEED BOOK 127, PAGE 059

NOW OR FORMERLY PARENT PARCEL
 OWNER NAME: BRIAN WAYNE POWERS
 OWNER ADDRESS: 2920 LITTLE SOUTH RD,
 GRAVEL SWITCH, KY 40328-9321
 PROPERTY ADDRESS: GRAVEL SWITCH, KY 40328
 TAX PARCEL: 045-14
 DEED BOOK 140, PAGE 378

NOW OR FORMERLY PARENT PARCEL
 OWNER NAME: BRIAN WAYNE POWERS
 OWNER ADDRESS: 2920 LITTLE SOUTH RD,
 GRAVEL SWITCH, KY 40328-9321
 PROPERTY ADDRESS: GRAVEL SWITCH, KY 40328
 TAX PARCEL: 045-13
 DEED BOOK 154, PAGE 338





1961 NORTHPOINT BLVD.
SUITE 130
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FAX : 423-843-9509

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CHECKED BY	SEH

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A	12/05/22	M.B	ZONING ISSUE

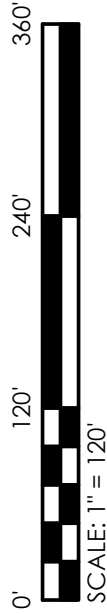
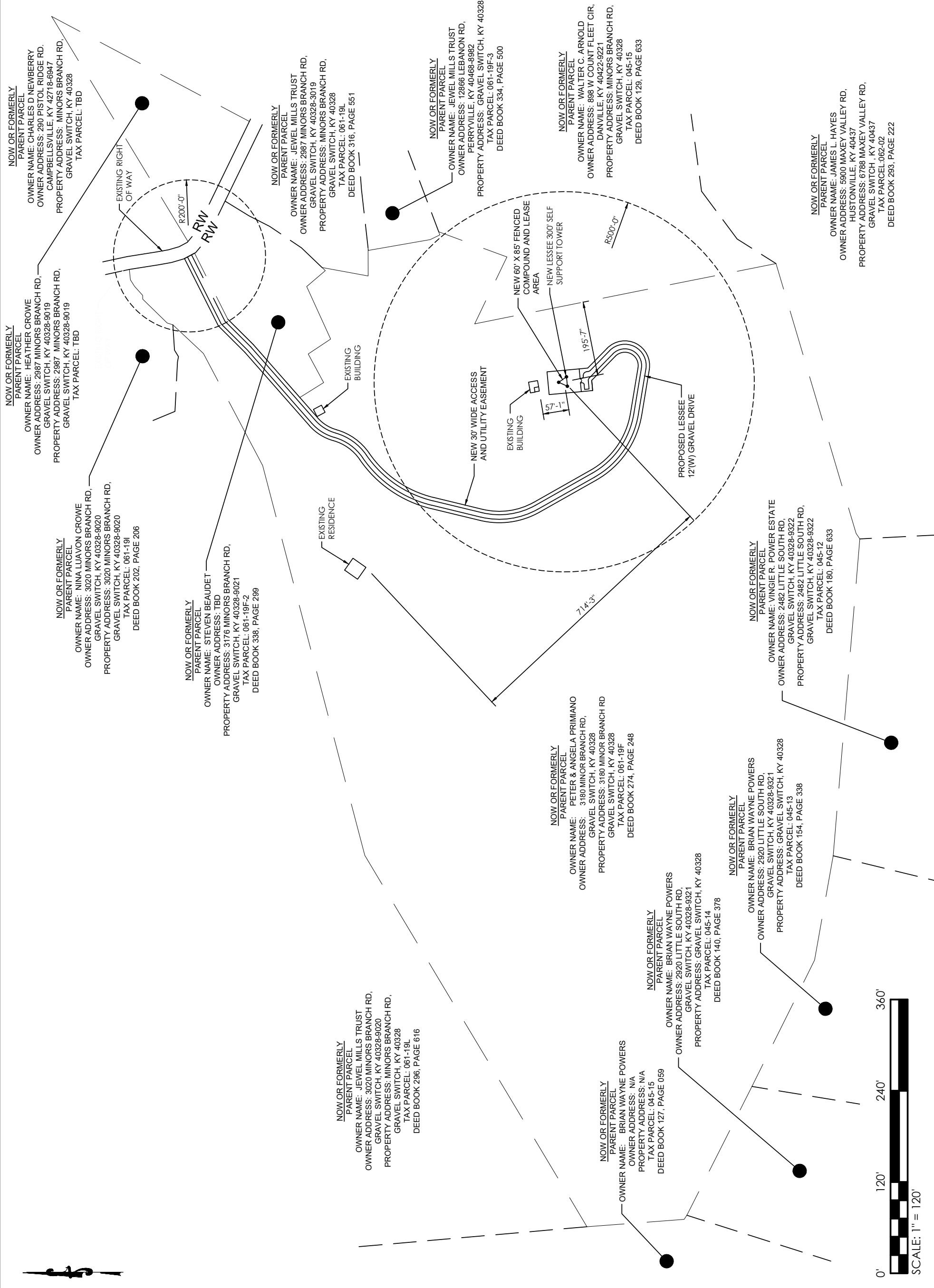


FUZE ID :	16913436
SITE NAME :	LV HWY 243
SITE # / LOCATION CODE :	721755

SITE ADDRESS :	3180 MINORS BRANCH RD GRAVEL SWITCH, KY 40328
SITE TYPE :	RAWLAND

SHEET TITLE :	OVERALL SITE LAYOUT WITHOUT AERIAL OVERLAY
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DRAWING # :	Z3
REVISION :	1



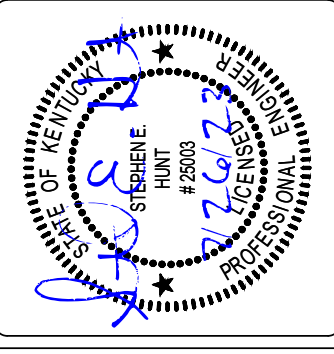


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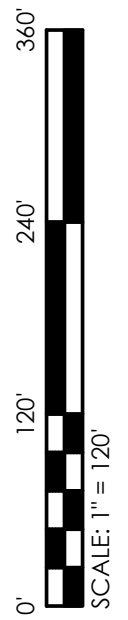
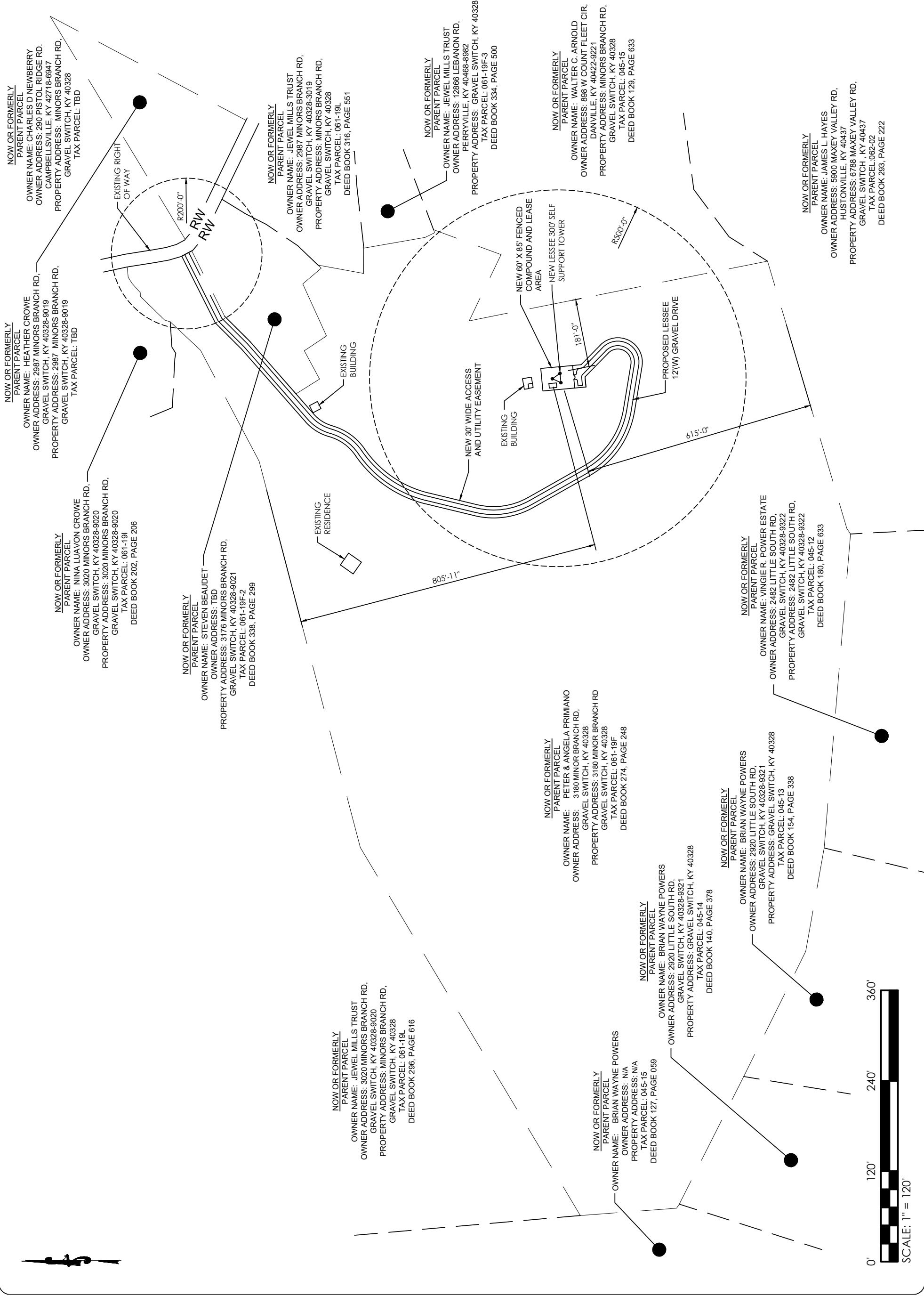


FUZE ID :	16913436
SITE NAME :	LV HWY 243
SITE # / LOCATION CODE :	721755

SITE ADDRESS :	3180 MINORS BRANCH RD GRAVEL SWITCH, KY 40328
SITE TYPE :	RAWLAND

SHEET TITLE :	TOWER LOCATION PLAN
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DRAWING # :	Z4
REVISION :	1



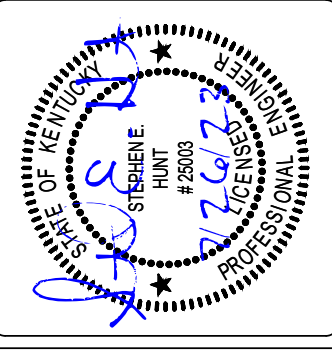


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A	12/05/22 MJB ZONING ISSUE

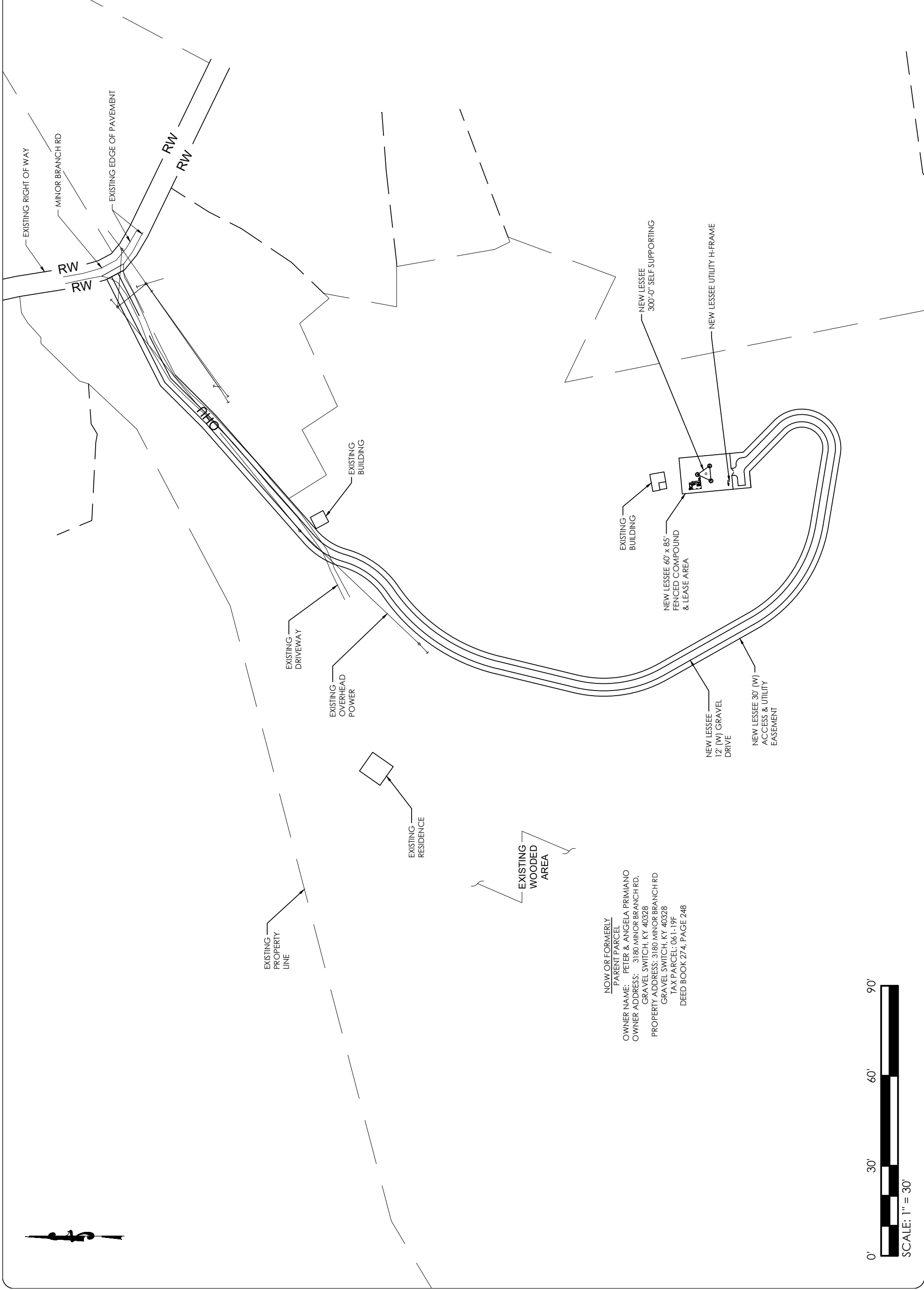


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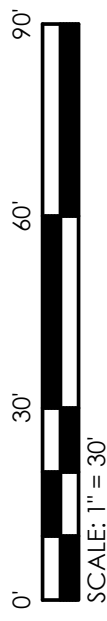
SITE ADDRESS :	3180 MINORS BRANCH RD GRAVEL SWITCH, KY 40328
SITE TYPE :	RAWLAND

SHEET TITLE :	SITE PLAN
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DRAWING # :	Z5	REVISION :	1
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NOW OR FORMERLY PARENT PARCEL
OWNER NAME: PETER & ANGELA PRIMIANO
OWNER ADDRESS: 3180 MINOR BRANCH RD,
GRAVEL SWITCH, KY 40328
PROPERTY ADDRESS: 3180 MINOR BRANCH RD
GRAVEL SWITCH, KY 40328
TAX PARCEL: 061-19F
DEED BOOK 274, PAGE 248



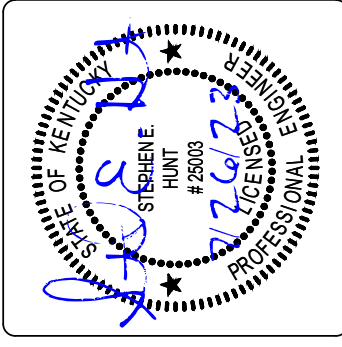


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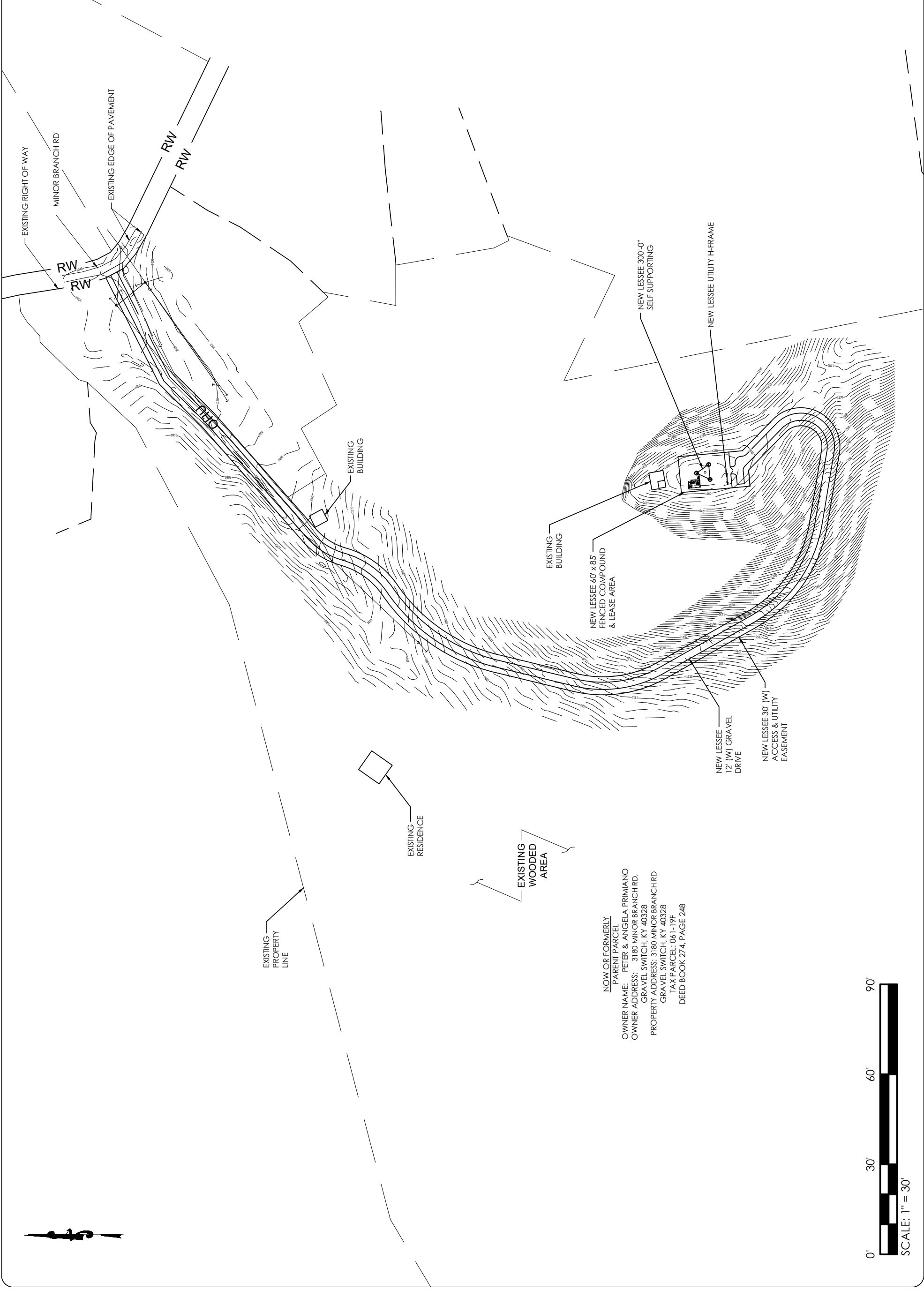


FUZE ID :	16913436
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SITE # / LOCATION CODE :	721755

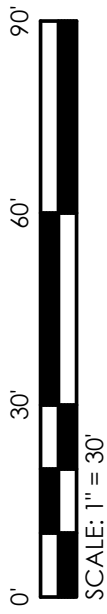
SITE ADDRESS :	3180 MINORS BRANCH RD GRAVEL SWITCH, KY 40328
SITE TYPE :	RAWLAND

SHEET TITLE :	EROSION CONTROL SITE PLAN
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DRAWING # :	Z6	REVISION :	1
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NOW OR FORMERLY PARENT PARCEL
OWNER NAME: PETER & ANGELA PRIMIANO
OWNER ADDRESS: 3180 MINOR BRANCH RD,
GRAVEL SWITCH, KY 40328
PROPERTY ADDRESS: 3180 MINOR BRANCH RD
GRAVEL SWITCH, KY 40328
TAX PARCEL: 061-19F
DEED BOOK 274, PAGE 248





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FUZE ID : 16913436

SITE NAME : LV HWY 243

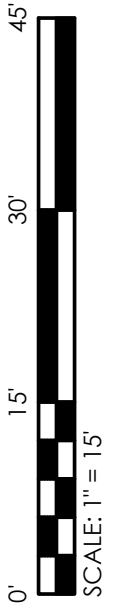
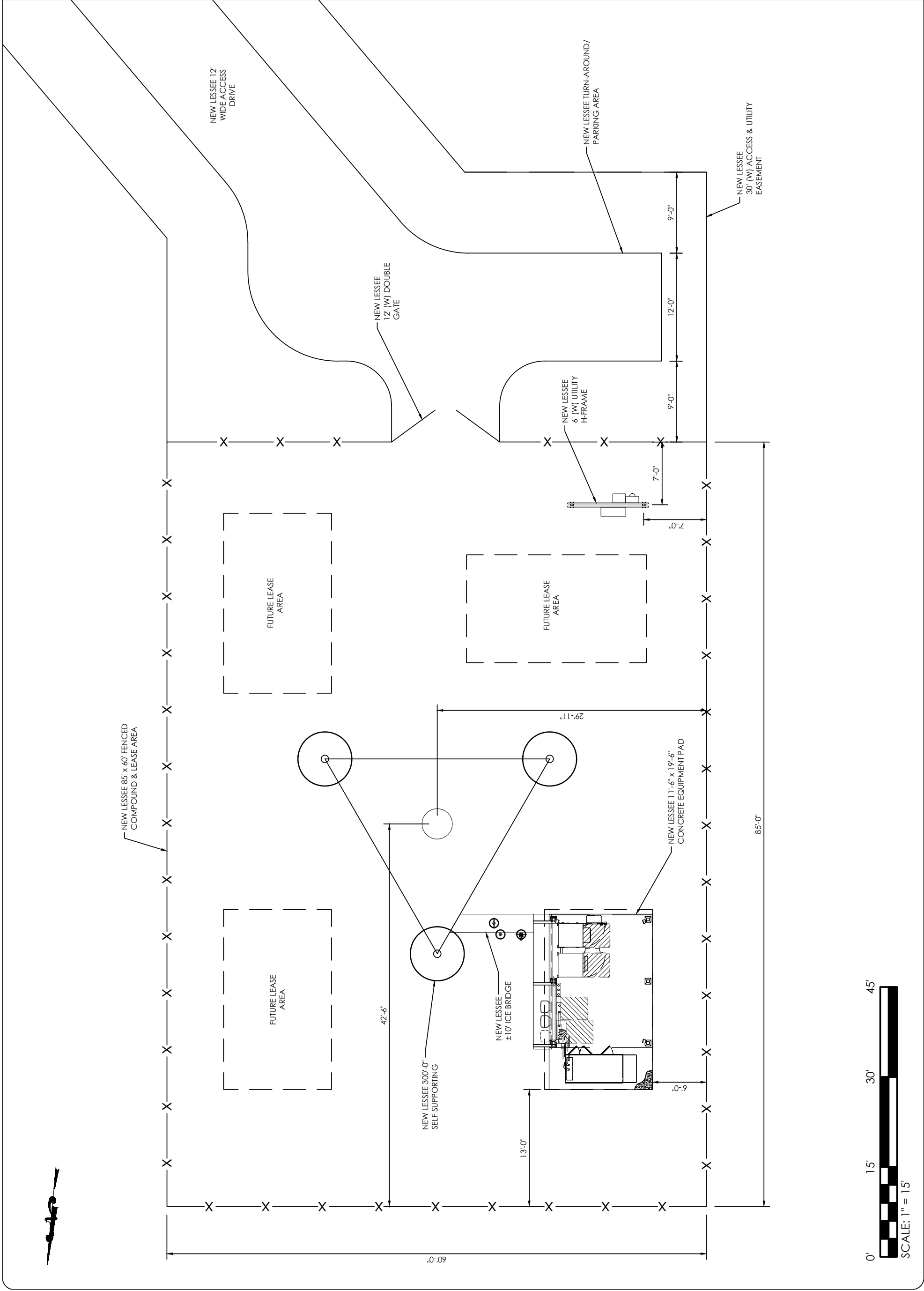
SITE # / LOCATION CODE : 721755

SITE ADDRESS : 3180 MINORS BRANCH RD
GRAVEL SWITCH, KY 40328

SITE TYPE : RAWLAND

SHEET TITLE : DIMENSION SITE PLAN

DRAWING # :	Z7	REVISION :	1
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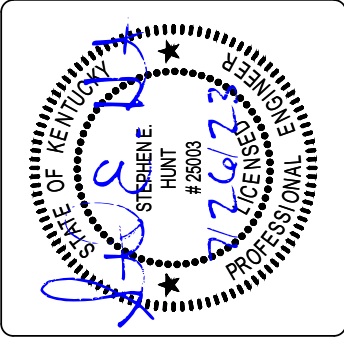




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FUZE ID : 16913436

SITE NAME : LV HWY 243

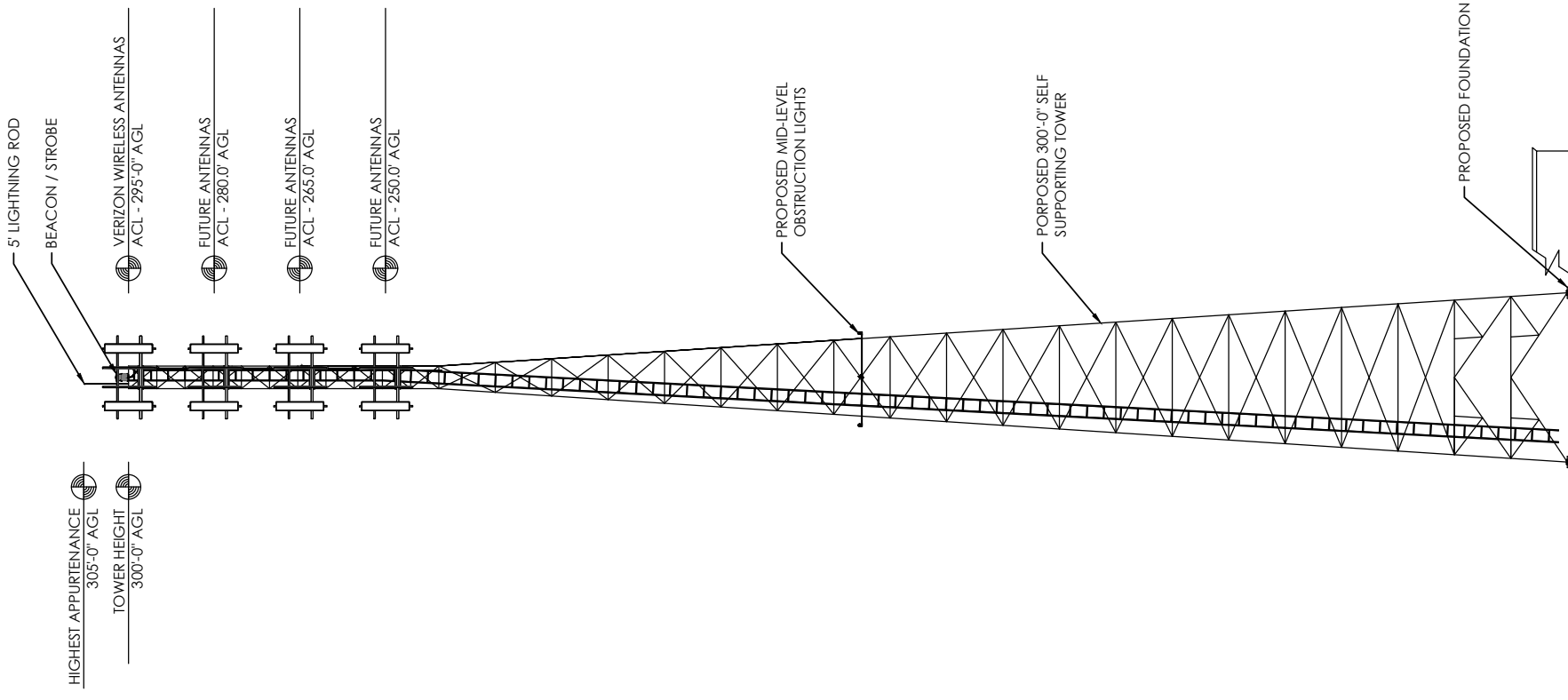
SITE # / LOCATION CODE : 721755

SITE ADDRESS : 3180 MINORS BRANCH RD
GRAVEL SWITCH, KY 40328

SITE TYPE: RAWLAND

SHEET TITLE : TOWER ELEVATION

DRAWING # :	Z8	REVISION :	1
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HIGHEST APPURTENANCE
305'-0" AGL
TOWER HEIGHT
300'-0" AGL

TOWER ELEVATION
N/S

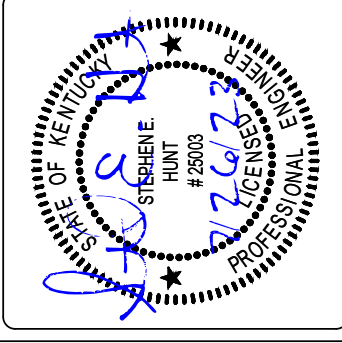


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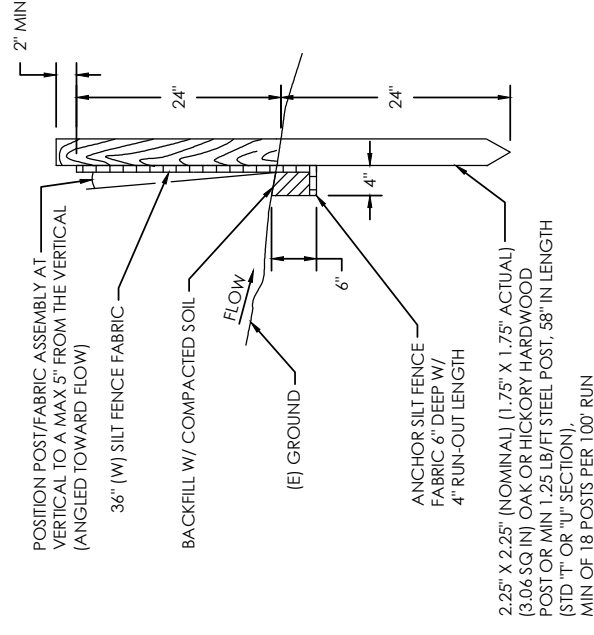


FUZE ID :	16913436
SITE NAME :	LV HWY 243
SITE # / LOCATION CODE :	721755

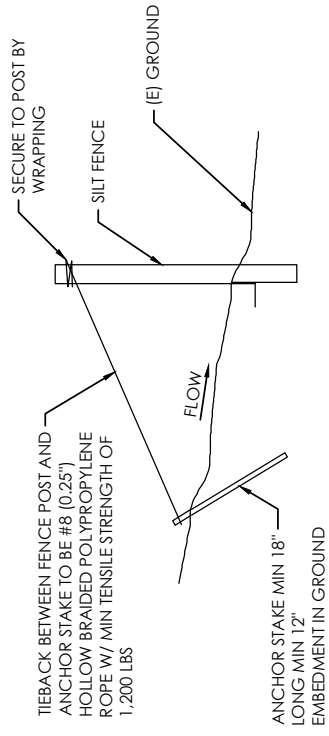
SITE ADDRESS :	3180 MINORS BRANCH RD GRAVEL SWITCH, KY 40328
SITE TYPE :	RAWLAND

SHEET TITLE :	SITE DETAILS
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DRAWING # :	Z9	REVISION :	1
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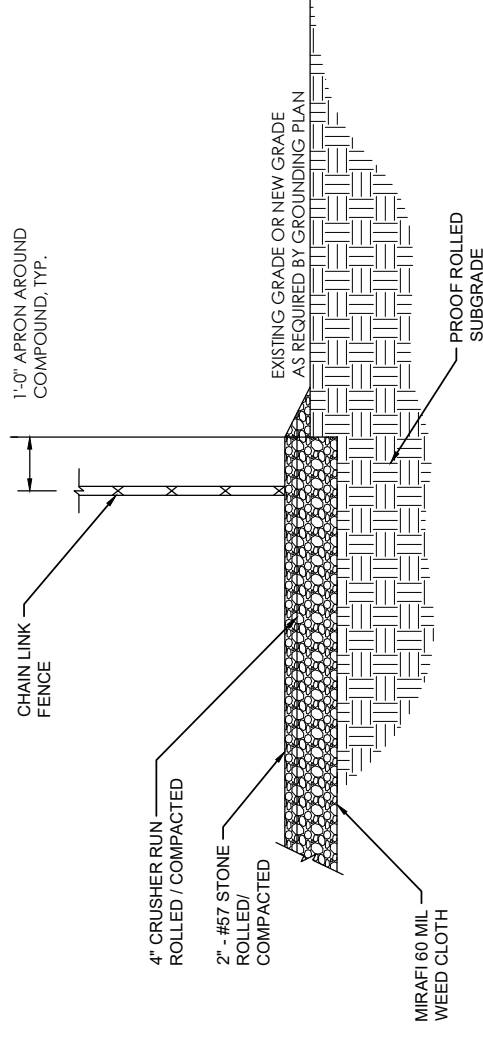


SECTIONAL VIEW



SILT FENCE TIEBACK FOR STEEL OR WOOD POSTS

SILT FENCE DETAIL 1



COMPOUND SURFACING 2

TYPICAL WOVEN WIRE FENCING NOTES:

- (INSTALL FENCING PER ASTM F-567, SWING GATES PER ASTM F-900)
- GATE POST, CORNER, TERMINAL OR PULL POST SHALL BE 3"Ø SCHEDULE 40 FOR GATE WIDTHS UP THRU 7 FEET OR 14 FEET FOR DOUBLE SWING GATE PER ASTM-F1083.
 - LINE POST: 2"Ø SCHEDULE 40 PIPE PER ASTM-F1083. INSTALL EVERY 8'-0" ALONG FENCE LINE.
 - GATE FRAME: 1-1/2"Ø SCHEDULE 40 PIPE, STEEL, HOT-DIPPED ZINC COATED (GALVANIZED) WELDED STEEL PIPE PER ASTM-F1083.
 - TOP RAIL & BRACE RAIL: 1-5/8"Ø SCHEDULE 40 PIPE PER ASTM-F1083.
 - CHAIN LINK FABRIC: 9 GA. MIN. CORE WIRE SIZE 2" MESH, CONFORMING TO ASTM-A392.
 - TIE WIRE: MINIMUM 11 GA. GALVANIZED STEEL INSTALL A SINGLE WRAP TIE WIRE AT POSTS AND RAILS AT MAX. 24" INTERVALS. INSTALL HOG RINGS ON TENSION WIRE AT 24" INTERVALS.
 - TENSION WIRE: 7 GA. GALVANIZED STEEL
 - BARBED WIRE: DOUBLE STRAND 12-1/2" GA. TWISTED WIRE, 4 PT. BARBS SPACED ON APPROXIMATELY 5" CENTERS. (IF USED)
 - GATE LATCH: 1-3/8" OD PLUNGER ROD W/ MUSHROOM TYPE CATCH AND LOCK (KEYED ALIKE FOR ALL SITES OR COMBINATION AS SPECIFIED BY OWNER)
 - LOCAL ORDINANCE FOR BARBED WIRE PERMIT SHALL GOVERN INSTALLATION.
 - HEIGHT= 8' VERTICAL + 1' BARBED WIRE VERTICAL DIMENSION. WORK WITH SPECIFICATION 2881.

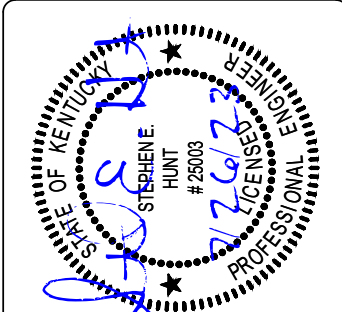
CHECK LOCAL CODES FOR BARBED WIRE REQUIREMENTS.



THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO THE CLIENT IS STRICTLY PROHIBITED.

DRAWN BY	TDD
CHECKED BY	SEH

REVISIONS	
1	07/26/23 M.B. ISSUED FOR ZONING
0	01/23/23 M.B. ISSUED FOR ZONING
B	01/06/23 M.B. ADDRESSES REVISED
A	12/05/22 M.B. ZONING ISSUE
#	DATE BY DESCRIPTION

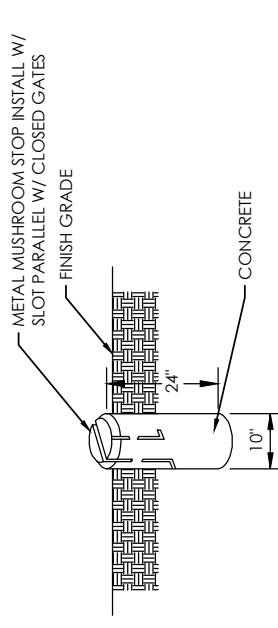


verizon	
FUZE ID :	16913436
SITE NAME :	LV HWY 243
SITE # / LOCATION CODE :	721755

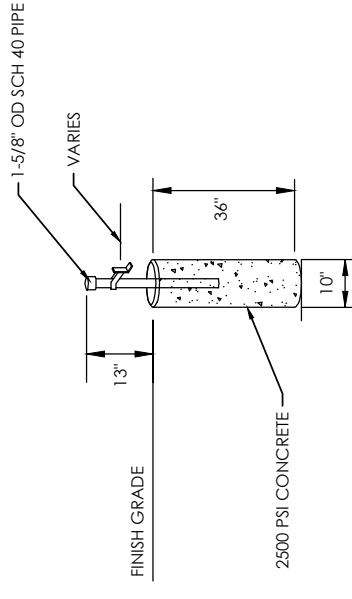
SITE ADDRESS :	3180 MINORS BRANCH RD GRAVEL SWITCH, KY 40328
SITE TYPE :	RAWLAND

SHEET TITLE :	SITE DETAILS
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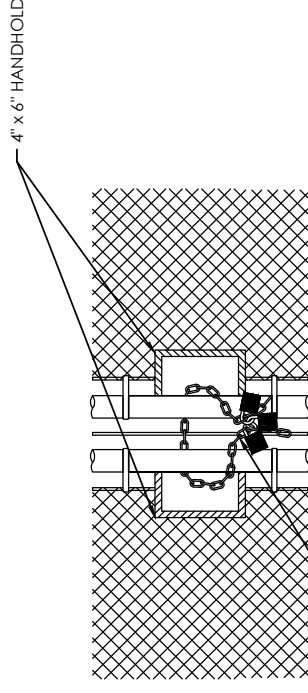
DRAWING # :	Z10
REVISION :	1



MUSHROOM STOP
NTS

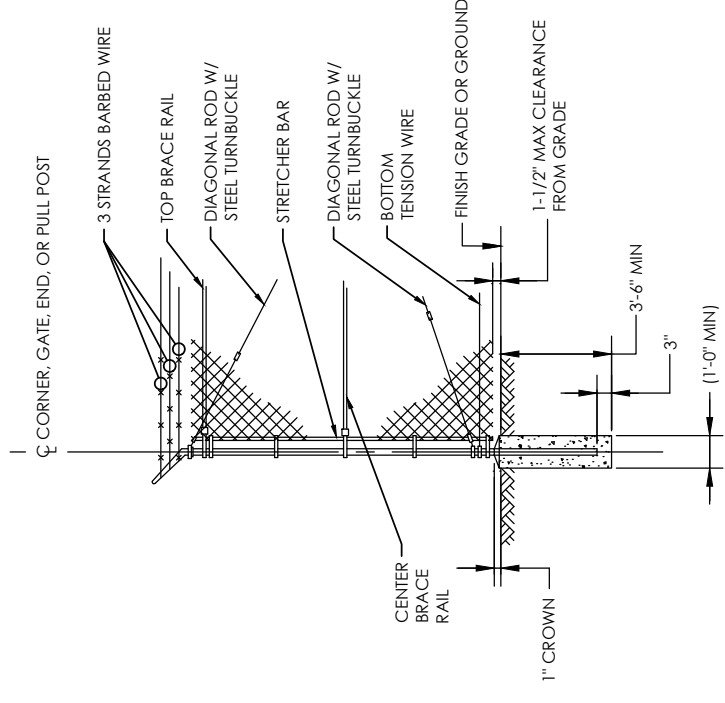


GATE STOP DETAIL
NTS

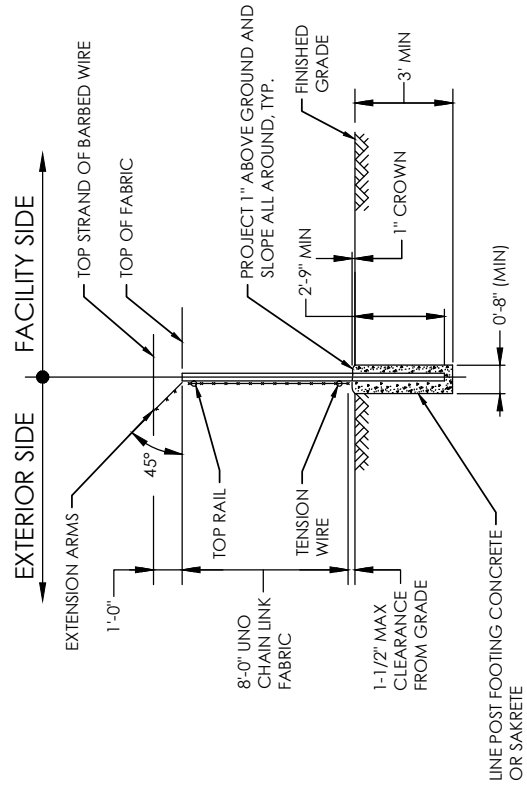


FENCE LOCK DETAIL
NTS

CONTRACTOR TO SUPPLY & INSTALL A 3/8" x 36" FORGED ZINC COATED CHAIN W/ A FOUR DIGIT COMBO MASTER LOCK W/ ELONGATED SHANK

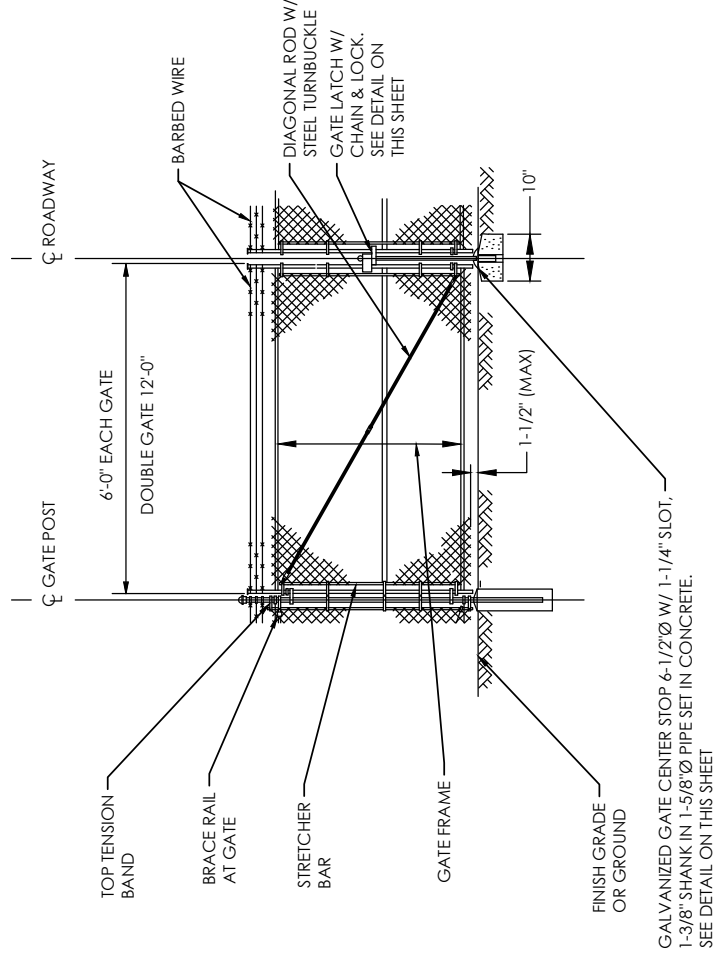


WOVEN WIRE CORNER, GATE, END OR PULL POST
NTS



TYPICAL SECTION

WOVEN WIRE FENCE ①
NTS



WOVEN WIRE DOUBLE GATE ③
NTS

GALVANIZED GATE CENTER STOP 6-1/2"Ø W/ 1-1/4" SLOT, 1-3/8" SHANK IN 1-5/8"Ø PIPE SET IN CONCRETE. SEE DETAIL ON THIS SHEET



Structural Design Report
300' S3TL Series HD1 Self-Supporting Tower
Site: Hwy 243, KY
Site Number: US-KY-5186

Prepared for: VERTICAL BRIDGE REIT, LLC
by: Sabre Industries™

Job Number: 539269

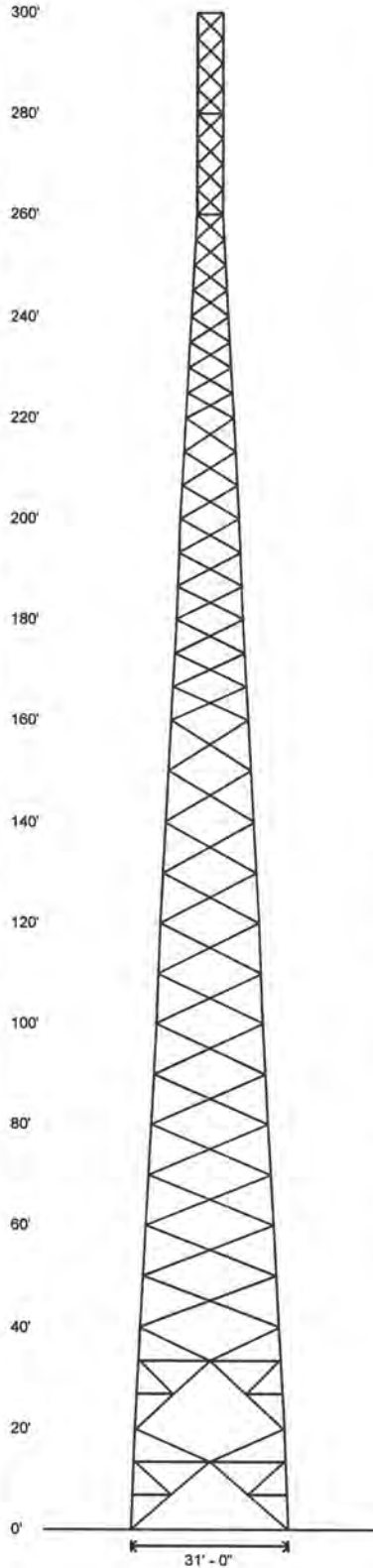
March 7, 2024

Tower Profile.....	1-2
Foundation Design Summary.....	3
Maximum Leg Loads.....	4
Maximum Diagonal Loads.....	5
Maximum Foundation Loads.....	6
Calculations.....	7-28



Digitally Signed By Robert Beacom
DN: C=US, SERIALNUMBER=MAS20240205295328, ST=Texas, L=Alvarado, O=SABRE INDUSTRIES, INC., CN=Robert Beacom Date: 2024.03.07 10:18:20

	8.625 OD X .500		8.625 OD X .322		5.563 OD X .375		L 2 X 2 X 1/8		L 2 X 2 X 1/8		L 2 X 2 X 1/8		L 2 X 2 X 1/8	
Legs	E	F	G	H	A	B	C	D	M	I	NONE	I	NONE	M
Diagonals	J	K	L	NONE	L 2 1/2 X 2 1/2 X 3/16	L 2 X 2 X 1/8	I	I	L 2 X 2 X 1/8	I	I	I	I	I
Horizontals	N	K	N	NONE	NONE	NONE	NONE	NONE	NONE	NONE	NONE	NONE	NONE	NONE
Internals	H	K	H	NONE	NONE	NONE	NONE	NONE	NONE	NONE	NONE	NONE	NONE	NONE
Sub-Diagonals	O	K	P	NONE	NONE	NONE	NONE	NONE	NONE	NONE	NONE	NONE	NONE	NONE
Sub-Horizontals	(2) 3/4"	(2) 3/4"	(2) 3/4"	(2) 3/4"	(1) 3/4"	(1) 3/4"	(1) 3/4"	(1) 3/4"	(1) 3/4"	(1) 3/4"	(1) 3/4"	(1) 3/4"	(1) 3/4"	(1) 3/4"
Brace Bolts	29'	27'	27'	27'	13'	7'	5'	5'	16 @ 5'	16 @ 5'	16 @ 5'	16 @ 5'	16 @ 5'	16 @ 5'
Top Face Width	Q	R	Q	R	2975	2082	1319	1319	1554	1554	1554	1554	1554	1554
Panel Count/Height	6569	6185	5013	3730	3587	3009	3009	3009	3009	3009	3009	3009	3009	3009
Section Weight	5406	5263	5013	3730	3587	3009	3009	3009	3009	3009	3009	3009	3009	3009



Designed Appurtenance Loading

Elev	Description	Tx-Line
295	(1) 42,000 Sq. In. (Ka = 0.82) + 12,000 lb	(18) 1 5/8"
284	(1) 30,000 Sq. In. (Ka = 0.82) + 8,000 lbs	(12) 1 5/8"
274	(1) 30,000 Sq. In. (Ka = 0.82) + 8,000 lbs	(12) 1 5/8"
260	(2) Leg Dish Mount	
260	(2) 6' Solid Dish W/ Radome	(2) 1 5/8"

Design Criteria - ANSI/TIA-222-H

Wind Speed (No Ice)	105 mph
Wind Speed (Ice)	30 mph
Design Ice Thickness	1.50 in
Risk Category	II
Exposure Category	Site-Specific
Topographic Factor Procedure	Method 1 (Simplified)
Topographic Category	1
Ground Elevation	1278 ft
Seismic Importance Factor, Ie	1.00
0.2-sec Spectral Response, Ss	0.167 g
1-sec Spectral Response, S1	0.09 g
Site Class	D (DEFAULT)
Seismic Design Category	C
Basic Seismic Force-Resisting System	Telecommunication Tower (Truss: Steel)

Base Reactions - Wind/Ice


Total Foundation		Individual Footing	
Shear (kips)	62.38	Shear (kips)	39.11
Axial (kips)	267.38	Compression (kips)	445
Moment (ft-kips)	10986	Uplift (kips)	366

Base Reactions - Seismic

Total Foundation		Individual Footing	
Shear (kips)	3.24	Shear (kips)	4.4
Axial (kips)	119.15	Compression (kips)	69
Moment (ft-kips)	796	Uplift (kips)	2

Notes


- 1) All legs are A500 (50 ksi Min. Yield).
- 2) All braces are A572 Grade 50.
- 3) All brace bolts are A325-X.
- 4) The tower model is S3TL Series HD1.
- 5) Transmission lines are to be attached to standard 12 hole waveguide ladders with stackable hangers.
- 6) Azimuths are relative (not based on true north).
- 7) Foundation loads shown are maximums.
- 8) All unequal angles are oriented with the short leg vertical.
- 9) Weights shown are estimates. Final weights may vary.
- 10) This tower design and, if applicable, the foundation design(s) shown on the following page(s) also meet or exceed the requirements of the 2015 International Building Code.
- 11) Tower Rating: 98.9%
- 12) No grout is required under the base plates.

 <p>Sabre Industries 7101 Southbridge Drive P.O. Box 658 Sioux City, IA 51102-0658 Phone: (712) 258-0590 Fax: (712) 279-0814</p>	<p>Job: 539269</p>
	<p>Customer: VERTICAL BRIDGE REIT, LLC</p>
<p>Information contained herein is the sole property of Sabre Communications Corporation, constitutes a trade secret as defined by Iowa Code Ch. 560 and shall not be reproduced, copied or used in whole or part for any purpose whatsoever without the prior written consent of Sabre Communications Corporation.</p>	<p>Site Name: Hwy 243, KY US-KY-5186</p>
	<p>Description: 300' S3TL</p>
	<p>Date: 3/7/2024 By: REB</p>

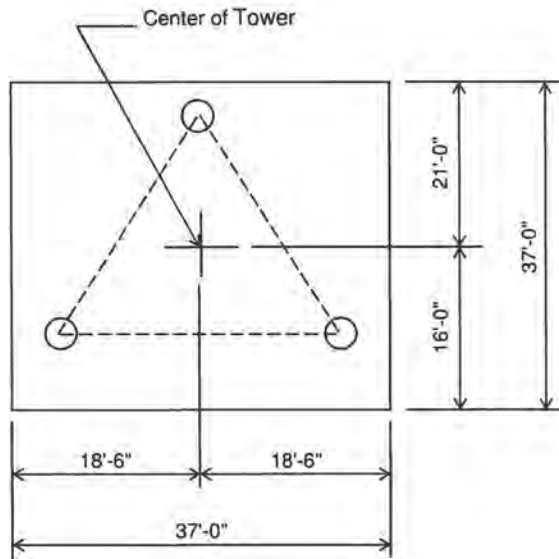
Material List

Display	Value
A	5.563 OD X .500
B	4.500 OD X .337
C	3.500 OD X .300
D	2.375 OD X .154
E	L 5 X 3 1/2 X 5/16
F	L 4 X 4 X 5/16
G	L 5 X 3 1/2 X 1/4
H	L 3 X 3 X 3/16
I	L 2 X 2 X 3/16

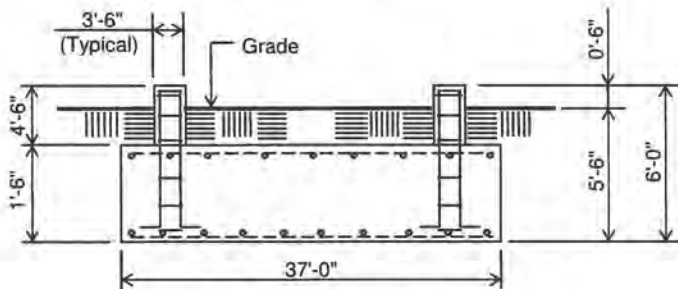
Display	Value
J	L 3 1/2 X 3 1/2 X 1/4
K	NONE
L	L 4 X 4 X 1/4
M	L 2 X 2 X 1/8
N	L 3 X 3 X 1/4
O	L 2 1/2 X 2 1/2 X 3/16
P	L 2 1/2 X 2 1/2 X 1/4
Q	1 @ 13.333'
R	1 @ 6.667'

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	<p>Customer: VERTICAL BRIDGE REIT, LLC</p>	<p>Description: 300' S3TL</p>
	<p>Site Name: Hwy 243, KY US-KY-5186</p>	<p>Date: 3/7/2024 By: REB</p>
	<p>Phone: (712) 258-6690</p>	
	<p>Fax: (712) 279-0814</p>	

Customer: VERTICAL BRIDGE REIT, LLC
Site: Hwy 243, KY US-KY-5186
300 ft. Model S3TL Series HD1 Self Supporting Tower



PLAN VIEW



ELEVATION VIEW

(80.9 cu. yds.)
(1 REQD.; NOT TO SCALE)

CAUTION: Center of tower is not in center of slab.

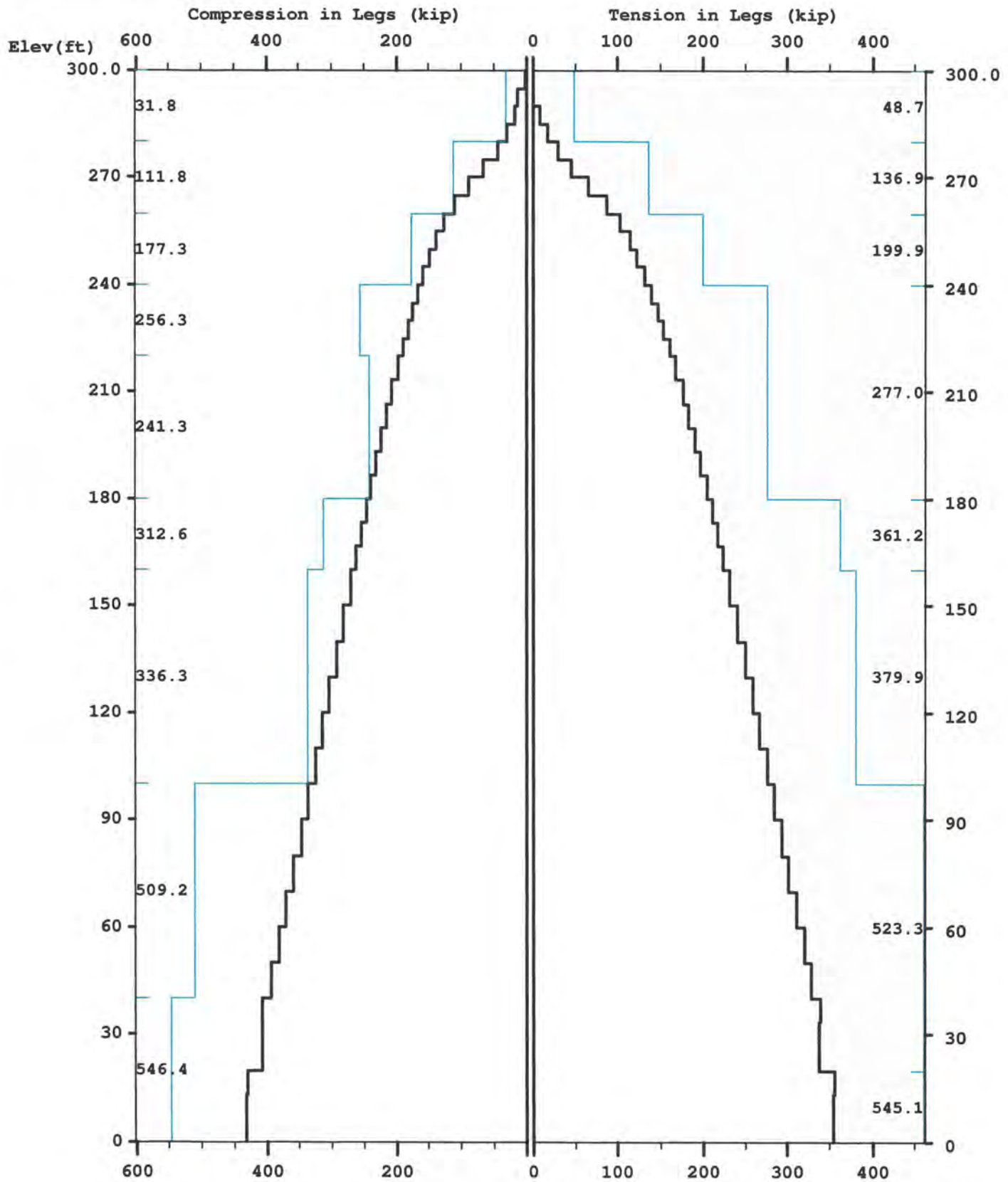
Notes:

- 1) Concrete shall have a minimum 28-day compressive strength of 4,500 psi, in accordance with ACI 318-14.
- 2) Rebar to conform to ASTM specification A615 Grade 60.
- 3) All rebar to have a minimum of 3" concrete cover.
- 4) All exposed concrete corners to be chamfered 3/4".
- 5) The foundation design is based on the geotechnical report by Delta Oaks Group project no. GEO24-20675-08, dated: 2/14/24.
- 6) See the geotechnical report for compaction requirements, if specified.
- 7) 4" of soil cover is required over the entire area of the foundation slab.
- 8) The bottom anchor bolt template shall be positioned as closely as possible to the bottom of the anchor bolts.

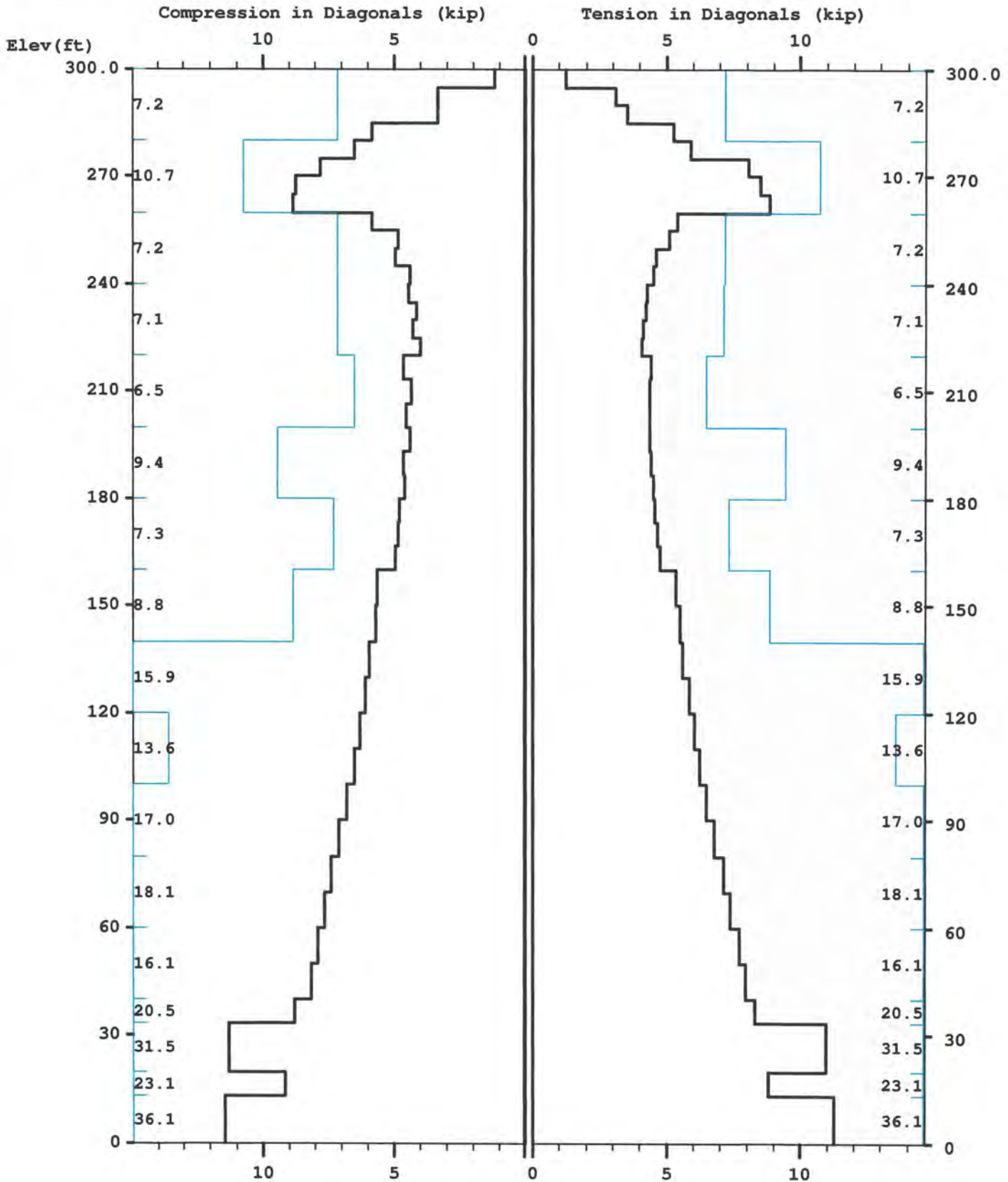
Rebar Schedule per Mat and per Pier	
Pier	(20) #7 vertical rebar w/ hooks at bottom w/ #4 rebar ties, two (2) within top 5" of pier then 4" C/C
Mat	(66) #8 horizontal rebar evenly spaced each way top and bottom. (264 total)
Anchor Bolts per Leg	
(6) 1.25" dia. x 63" F1554-105 on a 12.75" B.C. w/ 8" max. projection above concrete.	

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Maximum

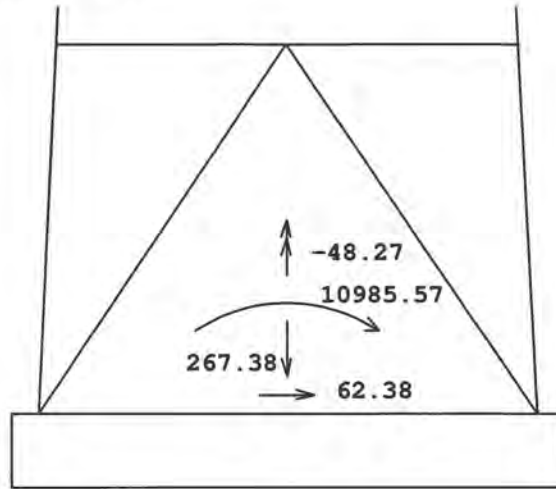


Maximum

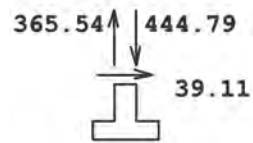
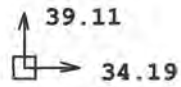


Maximum

TOTAL FOUNDATION LOADS (kip, ft-kip)



INDIVIDUAL FOOTING LOADS (kip)



MAST GEOMETRY (ft)

PANEL TYPE	NO.OF LEGS	ELEV.AT BOTTOM	ELEV.AT TOP	F.W..AT BOTTOM	F.W..AT TOP	TYPICAL PANEL HEIGHT
X	3	295.00	300.00	5.00	5.00	5.00
X	3	280.00	295.00	5.00	5.00	5.00
X	3	275.00	280.00	5.00	5.00	5.00
X	3	260.00	275.00	5.00	5.00	5.00
X	3	255.00	260.00	5.50	5.00	5.00
X	3	240.00	255.00	7.00	5.50	5.00
X	3	220.00	240.00	9.00	7.00	5.00
X	3	200.00	220.00	11.00	9.00	6.67
X	3	180.00	200.00	13.00	11.00	6.67
X	3	160.00	180.00	15.00	13.00	6.67
X	3	140.00	160.00	17.00	15.00	10.00
X	3	120.00	140.00	19.00	17.00	10.00
X	3	100.00	120.00	21.00	19.00	10.00
X	3	80.00	100.00	23.00	21.00	10.00
X	3	60.00	80.00	25.00	23.00	10.00
X	3	40.00	60.00	27.00	25.00	10.00
V	3	33.33	40.00	27.67	27.00	6.67
A	3	20.00	33.33	29.00	27.67	13.33
V	3	13.33	20.00	29.67	29.00	6.67
A	3	0.00	13.33	31.00	29.67	13.33

MEMBER PROPERTIES

MEMBER TYPE	BOTTOM ELEV ft	TOP ELEV ft	X-SECTN AREA in.sq	RADIUS OF GYRAT in	ELASTIC MODULUS ksi	THERMAL EXPANSN /deg
LE	280.00	300.00	1.075	0.787	29000.	0.0000117
LE	260.00	280.00	3.016	0.787	29000.	0.0000117
LE	240.00	260.00	4.407	0.787	29000.	0.0000117
LE	180.00	240.00	6.111	0.787	29000.	0.0000117
LE	160.00	180.00	7.952	0.787	29000.	0.0000117
LE	100.00	160.00	8.399	0.787	29000.	0.0000117
LE	0.00	100.00	12.763	0.787	29000.	0.0000117
DI	280.00	300.00	0.484	0.626	29000.	0.0000117
DI	260.00	280.00	0.715	0.626	29000.	0.0000117
DI	220.00	260.00	0.484	0.626	29000.	0.0000117
DI	200.00	220.00	0.715	0.626	29000.	0.0000117
DI	160.00	200.00	0.902	0.626	29000.	0.0000117
DI	140.00	160.00	1.090	0.626	29000.	0.0000117
DI	100.00	140.00	1.688	0.626	29000.	0.0000117
DI	33.33	100.00	1.938	0.626	29000.	0.0000117
DI	20.00	33.33	2.062	0.626	29000.	0.0000117
DI	13.33	20.00	2.402	0.626	29000.	0.0000117
DI	0.00	13.33	2.559	0.626	29000.	0.0000117
HO	295.00	300.00	0.484	0.626	29000.	0.0000117
HO	275.00	280.00	0.715	0.626	29000.	0.0000117
HO	255.00	260.00	0.484	0.626	29000.	0.0000117
HO	20.00	33.33	1.938	0.626	29000.	0.0000117
HO	0.00	13.33	1.688	0.626	29000.	0.0000117
BR	20.00	33.33	1.438	0.000	29000.	0.0000117
BR	0.00	13.33	1.438	0.000	29000.	0.0000117

FACTORED MEMBER RESISTANCES

BOTTOM ELEV ft	TOP ELEV ft	LEGS		DIAGONALS		HORIZONTALS		INT BRACING	
		COMP kip	TENS kip	COMP kip	TENS kip	COMP kip	TENS kip	COMP kip	TENS kip
295.0	300.0	31.84	48.70	7.16	7.16	7.16	7.16	0.00	0.00
280.0	295.0	31.84	48.70	7.16	7.16	0.00	0.00	0.00	0.00

275.0	280.0	111.82	136.93	10.74	10.74	10.72	10.72	0.00	0.00
260.0	275.0	111.82	136.93	10.74	10.74	0.00	0.00	0.00	0.00
255.0	260.0	177.29	199.92	7.16	7.16	7.16	7.16	0.00	0.00
240.0	255.0	177.29	199.92	7.16	7.16	0.00	0.00	0.00	0.00
220.0	240.0	256.32	277.05	7.13	7.13	0.00	0.00	0.00	0.00
200.0	220.0	241.28	277.05	6.51	6.51	0.00	0.00	0.00	0.00
180.0	200.0	241.28	277.05	9.45	9.45	0.00	0.00	0.00	0.00
160.0	180.0	312.59	361.16	7.32	7.32	0.00	0.00	0.00	0.00
140.0	160.0	336.31	379.88	8.84	8.84	0.00	0.00	0.00	0.00
120.0	140.0	336.31	379.88	15.88	15.88	0.00	0.00	0.00	0.00
100.0	120.0	336.31	379.88	13.59	13.59	0.00	0.00	0.00	0.00
80.0	100.0	509.22	523.32	17.02	17.02	0.00	0.00	0.00	0.00
60.0	80.0	509.22	523.32	18.13	18.13	0.00	0.00	0.00	0.00
40.0	60.0	509.22	523.32	16.06	16.06	0.00	0.00	0.00	0.00
33.3	40.0	546.43	523.32	20.48	20.48	0.00	0.00	0.00	0.00
20.0	33.3	546.43	523.32	31.46	31.46	19.77	19.77	9.39	9.39
13.3	20.0	546.43	545.12	23.11	23.11	0.00	0.00	0.00	0.00
0.0	13.3	546.43	545.12	36.11	36.11	12.85	12.85	8.35	8.35

=====

* Only 5 condition(s) shown in full

* Some wind loads may have been derived from full-scale wind tunnel testing

=====

LOADING CONDITION A

=====

105 mph wind with no ice. Wind Azimuth: 0° (1.2 D + 1.0 Wo)

MAST LOADING

=====

LOAD TYPE	ELEV ft	APPLY. RADIUS ft	LOAD. AT AZI	LOAD AZI FORCES MOMENTS	
					HORIZ kip	DOWN kip	VERTICAL ft-kip	TORSNAL ft-kip
C	295.0	0.00	0.0	0.0	6.27	14.40	0.00	0.00
C	284.0	0.00	0.0	0.0	4.43	9.60	0.00	0.00
C	274.0	0.00	0.0	0.0	4.38	9.60	0.00	0.00
D	300.0	0.00	180.0	0.0	0.05	0.04	0.00	0.00
D	295.0	0.00	180.0	0.0	0.05	0.04	0.00	0.00
D	295.0	0.00	318.0	0.0	0.09	0.06	0.06	-0.07
D	285.0	0.00	318.0	0.0	0.09	0.06	0.06	-0.07
D	285.0	0.00	334.7	0.0	0.11	0.08	0.06	-0.04
D	280.0	0.00	334.7	0.0	0.11	0.08	0.06	-0.04
D	280.0	0.00	338.4	0.0	0.12	0.12	0.06	-0.04
D	275.0	0.00	338.4	0.0	0.12	0.12	0.06	-0.04
D	275.0	0.00	1.1	0.0	0.12	0.12	0.06	-0.03
D	260.0	0.00	7.7	0.0	0.12	0.13	0.06	-0.02
D	260.0	0.00	18.0	0.0	0.13	0.14	0.08	-0.01
D	240.0	0.00	11.4	0.0	0.13	0.14	0.07	-0.02
D	240.0	0.00	24.5	0.0	0.13	0.16	0.10	0.00
D	220.0	0.00	20.0	0.0	0.14	0.17	0.08	-0.01
D	220.0	0.00	28.8	0.0	0.13	0.17	0.11	0.01
D	200.0	0.00	26.0	0.0	0.14	0.17	0.10	0.00
D	200.0	0.00	32.2	0.0	0.14	0.19	0.13	0.02
D	180.0	0.00	30.1	0.0	0.15	0.19	0.12	0.01
D	180.0	0.00	34.7	0.0	0.14	0.21	0.15	0.03
D	160.0	0.00	33.1	0.0	0.15	0.22	0.14	0.02
D	160.0	0.00	36.6	0.0	0.14	0.22	0.16	0.04
D	140.0	0.00	35.6	0.0	0.15	0.22	0.15	0.03
D	140.0	0.00	38.2	0.0	0.15	0.25	0.18	0.05
D	120.0	0.00	37.4	0.0	0.15	0.26	0.17	0.04
D	120.0	0.00	39.5	0.0	0.15	0.26	0.20	0.06
D	100.0	0.00	38.9	0.0	0.15	0.26	0.19	0.05
D	100.0	0.00	40.6	0.0	0.17	0.34	0.22	0.07
D	80.0	0.00	40.1	0.0	0.18	0.34	0.21	0.07
D	80.0	0.00	41.5	0.0	0.17	0.34	0.24	0.07
D	60.0	0.00	41.1	0.0	0.17	0.35	0.23	0.07
D	60.0	0.00	42.3	0.0	0.17	0.35	0.26	0.08
D	40.0	0.00	42.0	0.0	0.17	0.36	0.25	0.08
D	40.0	0.00	43.1	0.0	0.14	0.33	0.28	0.07
D	33.3	0.00	43.1	0.0	0.14	0.33	0.28	0.07
D	33.3	0.00	42.7	0.0	0.16	0.42	0.27	0.07
D	20.0	0.00	42.7	0.0	0.16	0.42	0.27	0.07
D	20.0	0.00	43.7	0.0	0.12	0.36	0.29	0.07
D	13.3	0.00	43.7	0.0	0.12	0.36	0.29	0.07

D	13.3	0.00	43.4	0.0	0.14	0.43	0.28	0.07
D	0.0	0.00	43.4	0.0	0.14	0.43	0.28	0.07

ANTENNA LOADING

ANTENNA TYPE	ELEV ft	AZI	ATTACHMENT RAD ft	AZI	AXIAL kip	SHEAR kip	GRAVITY kip	TORSION ft-kip
STD+R	260.0	90.0	4.4	120.0	0.09	-0.29	0.24	-0.65
STD+R	260.0	270.0	4.4	240.0	0.09	0.29	0.24	0.65

LOADING CONDITION M

105 mph wind with no ice. Wind Azimuth: 0° (0.9 D + 1.0 Wo)

MAST LOADING

LOAD TYPE	ELEV ft	APPLY.. RADIUS ft	LOAD..AT AZI	LOAD AZI	FORCES..... HORIZ DOWN kip kip		MOMENTS..... VERTICAL TORSNAL ft-kip ft-kip	
C	295.0	0.00	0.0	0.0	6.27	10.80	0.00	0.00
C	284.0	0.00	0.0	0.0	4.43	7.20	0.00	0.00
C	274.0	0.00	0.0	0.0	4.38	7.20	0.00	0.00
D	300.0	0.00	180.0	0.0	0.05	0.03	0.00	0.00
D	295.0	0.00	180.0	0.0	0.05	0.03	0.00	0.00
D	295.0	0.00	318.0	0.0	0.09	0.04	0.04	-0.07
D	285.0	0.00	318.0	0.0	0.09	0.04	0.04	-0.07
D	285.0	0.00	334.7	0.0	0.11	0.06	0.05	-0.04
D	280.0	0.00	334.7	0.0	0.11	0.06	0.05	-0.04
D	280.0	0.00	338.4	0.0	0.12	0.09	0.05	-0.04
D	275.0	0.00	338.4	0.0	0.12	0.09	0.05	-0.04
D	275.0	0.00	1.1	0.0	0.12	0.09	0.05	-0.03
D	260.0	0.00	7.7	0.0	0.12	0.10	0.05	-0.02
D	260.0	0.00	18.0	0.0	0.13	0.11	0.06	-0.01
D	240.0	0.00	11.4	0.0	0.13	0.10	0.05	-0.02
D	240.0	0.00	24.5	0.0	0.13	0.12	0.07	0.00
D	220.0	0.00	20.0	0.0	0.14	0.12	0.06	-0.01
D	220.0	0.00	28.8	0.0	0.13	0.13	0.08	0.01
D	200.0	0.00	26.0	0.0	0.14	0.13	0.08	0.00
D	200.0	0.00	32.2	0.0	0.14	0.14	0.10	0.02
D	180.0	0.00	30.1	0.0	0.15	0.14	0.09	0.01
D	180.0	0.00	34.7	0.0	0.14	0.16	0.11	0.03
D	160.0	0.00	33.1	0.0	0.15	0.16	0.10	0.02
D	160.0	0.00	36.6	0.0	0.14	0.16	0.12	0.04
D	140.0	0.00	35.6	0.0	0.15	0.17	0.12	0.03
D	140.0	0.00	38.2	0.0	0.15	0.19	0.14	0.05
D	120.0	0.00	37.4	0.0	0.15	0.19	0.13	0.04
D	120.0	0.00	39.5	0.0	0.15	0.19	0.15	0.06
D	100.0	0.00	38.9	0.0	0.15	0.20	0.14	0.05
D	100.0	0.00	40.6	0.0	0.17	0.25	0.16	0.07
D	80.0	0.00	40.1	0.0	0.18	0.25	0.16	0.07
D	80.0	0.00	41.5	0.0	0.17	0.26	0.18	0.07
D	60.0	0.00	41.1	0.0	0.17	0.26	0.17	0.07
D	60.0	0.00	42.3	0.0	0.17	0.26	0.19	0.08
D	40.0	0.00	42.0	0.0	0.17	0.27	0.18	0.08
D	40.0	0.00	43.1	0.0	0.14	0.25	0.21	0.07
D	33.3	0.00	43.1	0.0	0.14	0.25	0.21	0.07
D	33.3	0.00	42.7	0.0	0.16	0.31	0.20	0.07
D	20.0	0.00	42.7	0.0	0.16	0.31	0.20	0.07
D	20.0	0.00	43.7	0.0	0.12	0.27	0.22	0.07
D	13.3	0.00	43.7	0.0	0.12	0.27	0.22	0.07
D	13.3	0.00	43.4	0.0	0.14	0.33	0.21	0.07
D	0.0	0.00	43.4	0.0	0.14	0.33	0.21	0.07

ANTENNA LOADING

ANTENNA TYPE	ELEV ft	AZI	ATTACHMENT RAD ft	AZI	AXIAL kip	SHEAR kip	GRAVITY kip	TORSION ft-kip
STD+R	260.0	90.0	4.4	120.0	0.09	-0.29	0.18	-0.65
STD+R	260.0	270.0	4.4	240.0	0.09	0.29	0.18	0.65

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LOADING CONDITION Y =====

30 mph wind with 1.5 ice. Wind Azimuth: 0° (1.2 D + 1.0 Di + 1.0 Wi)

MAST LOADING

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LOAD TYPE	ELEV ft	APPLY. RADIUS ft	LOAD. AT AZI	LOAD AZIFORCES.....	MOMENTS.....	
					HORIZ kip	DOWN kip	VERTICAL ft-kip	TORSNAL ft-kip
C	295.0	0.00	0.0	0.0	0.89	36.81	0.00	0.00
C	284.0	0.00	0.0	0.0	0.63	24.48	0.00	0.00
C	274.0	0.00	0.0	0.0	0.62	24.43	0.00	0.00
D	300.0	0.00	180.0	0.0	0.01	0.18	0.00	0.00
D	295.0	0.00	180.0	0.0	0.01	0.18	0.00	0.00
D	295.0	0.00	318.0	0.0	0.01	0.25	0.22	-0.01
D	285.0	0.00	318.0	0.0	0.01	0.25	0.22	-0.01
D	285.0	0.00	340.5	0.0	0.01	0.31	0.21	0.00
D	280.0	0.00	340.5	0.0	0.01	0.31	0.21	0.00
D	280.0	0.00	346.1	0.0	0.01	0.40	0.22	0.00
D	275.0	0.00	346.1	0.0	0.01	0.40	0.22	0.00
D	275.0	0.00	7.1	0.0	0.01	0.40	0.23	0.00
D	270.0	0.00	7.1	0.0	0.01	0.40	0.23	0.00
D	270.0	0.00	11.8	0.0	0.01	0.41	0.24	0.00
D	260.0	0.00	11.8	0.0	0.01	0.41	0.24	0.00
D	260.0	0.00	21.8	0.0	0.01	0.46	0.28	0.00
D	255.0	0.00	21.8	0.0	0.01	0.46	0.28	0.00
D	255.0	0.00	19.6	0.0	0.01	0.44	0.27	0.00
D	250.0	0.00	19.6	0.0	0.01	0.44	0.27	0.00
D	250.0	0.00	17.4	0.0	0.01	0.44	0.26	0.00
D	245.0	0.00	17.4	0.0	0.01	0.44	0.26	0.00
D	245.0	0.00	15.2	0.0	0.01	0.45	0.25	0.00
D	240.0	0.00	15.2	0.0	0.01	0.45	0.25	0.00
D	240.0	0.00	28.2	0.0	0.01	0.48	0.34	0.00
D	235.0	0.00	28.2	0.0	0.01	0.48	0.34	0.00
D	235.0	0.00	26.7	0.0	0.02	0.48	0.33	0.00
D	230.0	0.00	26.7	0.0	0.02	0.48	0.33	0.00
D	230.0	0.00	25.2	0.0	0.02	0.49	0.31	0.00
D	225.0	0.00	25.2	0.0	0.02	0.49	0.31	0.00
D	225.0	0.00	23.7	0.0	0.02	0.50	0.30	0.00
D	220.0	0.00	23.7	0.0	0.02	0.50	0.30	0.00
D	220.0	0.00	32.5	0.0	0.01	0.48	0.40	0.00
D	213.3	0.00	32.5	0.0	0.01	0.48	0.40	0.00
D	213.3	0.00	31.1	0.0	0.02	0.49	0.38	0.00
D	206.7	0.00	31.1	0.0	0.02	0.49	0.38	0.00
D	206.7	0.00	29.7	0.0	0.02	0.50	0.36	0.00
D	200.0	0.00	29.7	0.0	0.02	0.50	0.36	0.00
D	200.0	0.00	35.8	0.0	0.02	0.53	0.46	0.00
D	193.3	0.00	35.8	0.0	0.02	0.53	0.46	0.00
D	193.3	0.00	34.8	0.0	0.02	0.53	0.44	0.00
D	186.7	0.00	34.8	0.0	0.02	0.53	0.44	0.00
D	186.7	0.00	33.7	0.0	0.02	0.54	0.42	0.00
D	180.0	0.00	33.7	0.0	0.02	0.54	0.42	0.00
D	180.0	0.00	38.3	0.0	0.02	0.57	0.51	0.00
D	173.3	0.00	38.3	0.0	0.02	0.57	0.51	0.00
D	173.3	0.00	37.5	0.0	0.02	0.58	0.50	0.00
D	166.7	0.00	37.5	0.0	0.02	0.58	0.50	0.00
D	166.7	0.00	36.7	0.0	0.02	0.58	0.48	0.00
D	160.0	0.00	36.7	0.0	0.02	0.58	0.48	0.00
D	160.0	0.00	40.1	0.0	0.02	0.58	0.57	0.00
D	150.0	0.00	40.1	0.0	0.02	0.58	0.57	0.00
D	150.0	0.00	39.2	0.0	0.02	0.59	0.54	0.00
D	140.0	0.00	39.2	0.0	0.02	0.59	0.54	0.00
D	140.0	0.00	41.7	0.0	0.02	0.64	0.63	0.00
D	130.0	0.00	41.7	0.0	0.02	0.64	0.63	0.00
D	130.0	0.00	40.9	0.0	0.02	0.65	0.60	0.00
D	120.0	0.00	40.9	0.0	0.02	0.65	0.60	0.00
D	120.0	0.00	42.9	0.0	0.02	0.65	0.68	0.01
D	110.0	0.00	42.9	0.0	0.02	0.65	0.68	0.01
D	110.0	0.00	42.3	0.0	0.02	0.66	0.65	0.01
D	100.0	0.00	42.3	0.0	0.02	0.66	0.65	0.01
D	100.0	0.00	44.0	0.0	0.02	0.75	0.74	0.01
D	80.0	0.00	43.5	0.0	0.02	0.76	0.71	0.01
D	80.0	0.00	44.8	0.0	0.02	0.77	0.79	0.01
D	60.0	0.00	44.4	0.0	0.02	0.78	0.76	0.01

D	60.0	0.00	45.5	0.0	0.02	0.78	0.83	0.01
D	40.0	0.00	45.2	0.0	0.02	0.78	0.81	0.01
D	40.0	0.00	46.0	0.0	0.02	0.70	0.86	0.01
D	33.3	0.00	46.0	0.0	0.02	0.70	0.86	0.01
D	33.3	0.00	45.8	0.0	0.02	0.94	0.85	0.01
D	20.0	0.00	45.8	0.0	0.02	0.94	0.85	0.01
D	20.0	0.00	44.8	0.0	0.01	0.61	0.40	0.01
D	13.3	0.00	44.8	0.0	0.01	0.61	0.40	0.01
D	13.3	0.00	45.9	0.0	0.02	0.86	0.69	0.01
D	0.0	0.00	45.9	0.0	0.02	0.86	0.69	0.01

ANTENNA LOADING

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.....ANTENNA.....	ATTACHMENT				ANTENNA FORCES.....			
TYPE	ELEV	AZI	RAD	AZI	AXIAL	SHEAR	GRAVITY	TORSION
	ft		ft		kip	kip	kip	ft-kip
STD+R	260.0	90.0	4.4	120.0	0.01	-0.03	0.83	-0.06
STD+R	260.0	270.0	4.4	240.0	0.01	0.03	0.83	0.06

LOADING CONDITION k

Seismic - Azimuth: 0° (1.2 D + 1.0 Ev + 1.0 Eh)

MAST LOADING

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LOAD TYPE	ELEV ft	APPLY. RADIUS ft	LOAD. AT AZI	LOAD AZI FORCES.....	 MOMENTS.....	
					HORIZ kip	DOWN kip	VERTICAL ft-kip	TORSNAL ft-kip
C	295.0	0.00	0.0	0.0	0.83	14.83	0.00	0.00
C	290.0	0.00	0.0	0.0	0.05	0.89	0.00	0.00
C	289.5	0.00	0.0	0.0	0.02	0.31	0.00	0.00
C	284.0	0.00	0.0	0.0	0.52	9.88	0.00	0.00
C	282.0	0.00	0.0	0.0	0.00	0.05	0.00	0.00
C	282.0	0.00	0.0	0.0	0.01	0.14	0.00	0.00
C	277.0	0.00	0.0	0.0	0.00	0.08	0.00	0.00
C	277.0	0.00	0.0	0.0	0.01	0.21	0.00	0.00
C	274.0	0.00	0.0	0.0	0.50	9.88	0.00	0.00
C	270.0	0.00	0.0	0.0	0.08	1.63	0.00	0.00
C	267.0	0.00	0.0	0.0	0.02	0.50	0.00	0.00
C	267.0	0.00	0.0	0.0	0.02	0.39	0.00	0.00
C	260.0	0.00	0.0	0.0	0.00	0.06	0.00	0.00
C	260.0	0.00	0.0	0.0	0.02	0.38	0.00	0.00
C	260.0	0.00	0.0	0.0	0.02	0.38	0.00	0.00
C	260.0	0.00	0.0	0.0	0.00	0.06	0.00	0.00
C	260.0	0.00	0.0	0.0	0.02	0.44	0.00	0.00
C	260.0	0.00	0.0	0.0	0.02	0.44	0.00	0.00
C	250.0	0.00	0.0	0.0	0.03	0.72	0.00	0.00
C	250.0	0.00	0.0	0.0	0.03	0.61	0.00	0.00
C	250.0	0.00	0.0	0.0	0.08	1.92	0.00	0.00
C	230.0	0.00	0.0	0.0	0.03	0.72	0.00	0.00
C	230.0	0.00	0.0	0.0	0.02	0.61	0.00	0.00
C	230.0	0.00	0.0	0.0	0.09	2.38	0.00	0.00
C	210.0	0.00	0.0	0.0	0.02	0.61	0.00	0.00
C	210.0	0.00	0.0	0.0	0.02	0.72	0.00	0.00
C	210.0	0.00	0.0	0.0	0.09	2.57	0.00	0.00
C	190.0	0.00	0.0	0.0	0.08	2.85	0.00	0.00
C	190.0	0.00	0.0	0.0	0.02	0.61	0.00	0.00
C	190.0	0.00	0.0	0.0	0.02	0.72	0.00	0.00
C	170.0	0.00	0.0	0.0	0.02	0.72	0.00	0.00
C	170.0	0.00	0.0	0.0	0.02	0.61	0.00	0.00
C	170.0	0.00	0.0	0.0	0.09	3.68	0.00	0.00
C	150.0	0.00	0.0	0.0	0.01	0.61	0.00	0.00
C	150.0	0.00	0.0	0.0	0.01	0.72	0.00	0.00
C	150.0	0.00	0.0	0.0	0.08	3.72	0.00	0.00
C	130.0	0.00	0.0	0.0	0.01	0.61	0.00	0.00
C	130.0	0.00	0.0	0.0	0.01	0.72	0.00	0.00
C	130.0	0.00	0.0	0.0	0.08	4.44	0.00	0.00
C	110.0	0.00	0.0	0.0	0.01	0.61	0.00	0.00
C	110.0	0.00	0.0	0.0	0.01	0.72	0.00	0.00
C	110.0	0.00	0.0	0.0	0.06	4.61	0.00	0.00
C	90.0	0.00	0.0	0.0	0.01	0.61	0.00	0.00
C	90.0	0.00	0.0	0.0	0.06	6.19	0.00	0.00
C	90.0	0.00	0.0	0.0	0.01	0.72	0.00	0.00
C	70.0	0.00	0.0	0.0	0.00	0.61	0.00	0.00

C	70.0	0.00	0.0	0.0	0.00	0.72	0.00	0.00
C	70.0	0.00	0.0	0.0	0.05	6.49	0.00	0.00
C	50.0	0.00	0.0	0.0	0.00	0.61	0.00	0.00
C	50.0	0.00	0.0	0.0	0.00	0.72	0.00	0.00
C	50.0	0.00	0.0	0.0	0.03	6.68	0.00	0.00
C	30.0	0.00	0.0	0.0	0.00	0.72	0.00	0.00
C	30.0	0.00	0.0	0.0	0.00	0.61	0.00	0.00
C	30.0	0.00	0.0	0.0	0.02	7.64	0.00	0.00
C	10.0	0.00	0.0	0.0	0.00	0.72	0.00	0.00
C	10.0	0.00	0.0	0.0	0.00	8.12	0.00	0.00
C	10.0	0.00	0.0	0.0	0.00	0.61	0.00	0.00
D	300.0	0.00	180.0	180.0	0.00	0.00	0.00	0.00
D	0.0	0.00	180.0	180.0	0.00	0.00	0.00	0.00

ANTENNA LOADING

.....ANTENNA.....	ATTACHMENT			ANTENNA FORCES.....			
TYPE	ELEV	AZI	RAD	AZI	AXIAL	SHEAR	GRAVITY	TORSION
	ft		ft		kip	kip	kip	ft-kip
STD+R	260.0	90.0	4.4	120.0	0.00	0.00	0.00	0.00
STD+R	260.0	270.0	4.4	240.0	0.00	0.00	0.00	0.00

LOADING CONDITION n

Seismic - Azimuth: 0* (0.9 D - 1.0 Ev + 1.0 Eh)

MAST LOADING

LOAD	ELEV	APPLY	LOAD	AT	LOADFORCES.....	MOMENTS.....	
TYPE	ft	RADIUS	AZI	AZI	AZI	HORIZ	DOWN	VERTICAL	TORSNAL
		ft				kip	kip	ft-kip	ft-kip
C	295.0	0.00	0.0	0.0	0.0	0.83	10.37	0.00	0.00
C	290.0	0.00	0.0	0.0	0.0	0.05	0.62	0.00	0.00
C	289.5	0.00	0.0	0.0	0.0	0.02	0.22	0.00	0.00
C	284.0	0.00	0.0	0.0	0.0	0.52	6.92	0.00	0.00
C	282.0	0.00	0.0	0.0	0.0	0.00	0.04	0.00	0.00
C	282.0	0.00	0.0	0.0	0.0	0.01	0.10	0.00	0.00
C	277.0	0.00	0.0	0.0	0.0	0.00	0.05	0.00	0.00
C	277.0	0.00	0.0	0.0	0.0	0.01	0.15	0.00	0.00
C	274.0	0.00	0.0	0.0	0.0	0.50	6.92	0.00	0.00
C	270.0	0.00	0.0	0.0	0.0	0.08	1.14	0.00	0.00
C	267.0	0.00	0.0	0.0	0.0	0.02	0.35	0.00	0.00
C	267.0	0.00	0.0	0.0	0.0	0.02	0.28	0.00	0.00
C	260.0	0.00	0.0	0.0	0.0	0.00	0.04	0.00	0.00
C	260.0	0.00	0.0	0.0	0.0	0.02	0.27	0.00	0.00
C	260.0	0.00	0.0	0.0	0.0	0.02	0.27	0.00	0.00
C	260.0	0.00	0.0	0.0	0.0	0.00	0.04	0.00	0.00
C	260.0	0.00	0.0	0.0	0.0	0.02	0.31	0.00	0.00
C	260.0	0.00	0.0	0.0	0.0	0.02	0.31	0.00	0.00
C	250.0	0.00	0.0	0.0	0.0	0.03	0.50	0.00	0.00
C	250.0	0.00	0.0	0.0	0.0	0.03	0.43	0.00	0.00
C	250.0	0.00	0.0	0.0	0.0	0.08	1.34	0.00	0.00
C	230.0	0.00	0.0	0.0	0.0	0.03	0.50	0.00	0.00
C	230.0	0.00	0.0	0.0	0.0	0.02	0.43	0.00	0.00
C	230.0	0.00	0.0	0.0	0.0	0.09	1.66	0.00	0.00
C	210.0	0.00	0.0	0.0	0.0	0.02	0.43	0.00	0.00
C	210.0	0.00	0.0	0.0	0.0	0.02	0.50	0.00	0.00
C	210.0	0.00	0.0	0.0	0.0	0.09	1.80	0.00	0.00
C	190.0	0.00	0.0	0.0	0.0	0.08	2.00	0.00	0.00
C	190.0	0.00	0.0	0.0	0.0	0.02	0.43	0.00	0.00
C	190.0	0.00	0.0	0.0	0.0	0.02	0.50	0.00	0.00
C	170.0	0.00	0.0	0.0	0.0	0.02	0.50	0.00	0.00
C	170.0	0.00	0.0	0.0	0.0	0.02	0.43	0.00	0.00
C	170.0	0.00	0.0	0.0	0.0	0.09	2.57	0.00	0.00
C	150.0	0.00	0.0	0.0	0.0	0.01	0.43	0.00	0.00
C	150.0	0.00	0.0	0.0	0.0	0.01	0.50	0.00	0.00
C	150.0	0.00	0.0	0.0	0.0	0.08	2.60	0.00	0.00
C	130.0	0.00	0.0	0.0	0.0	0.01	0.43	0.00	0.00
C	130.0	0.00	0.0	0.0	0.0	0.01	0.50	0.00	0.00
C	130.0	0.00	0.0	0.0	0.0	0.08	3.11	0.00	0.00
C	110.0	0.00	0.0	0.0	0.0	0.01	0.43	0.00	0.00
C	110.0	0.00	0.0	0.0	0.0	0.01	0.50	0.00	0.00
C	110.0	0.00	0.0	0.0	0.0	0.06	3.22	0.00	0.00

C	90.0	0.00	0.0	0.0	0.01	0.43	0.00	0.00
C	90.0	0.00	0.0	0.0	0.06	4.33	0.00	0.00
C	90.0	0.00	0.0	0.0	0.01	0.50	0.00	0.00
C	70.0	0.00	0.0	0.0	0.00	0.43	0.00	0.00
C	70.0	0.00	0.0	0.0	0.00	0.50	0.00	0.00
C	70.0	0.00	0.0	0.0	0.05	4.54	0.00	0.00
C	50.0	0.00	0.0	0.0	0.00	0.43	0.00	0.00
C	50.0	0.00	0.0	0.0	0.00	0.50	0.00	0.00
C	50.0	0.00	0.0	0.0	0.03	4.67	0.00	0.00
C	30.0	0.00	0.0	0.0	0.00	0.50	0.00	0.00
C	30.0	0.00	0.0	0.0	0.00	0.43	0.00	0.00
C	30.0	0.00	0.0	0.0	0.02	5.35	0.00	0.00
C	10.0	0.00	0.0	0.0	0.00	0.50	0.00	0.00
C	10.0	0.00	0.0	0.0	0.00	5.68	0.00	0.00
C	10.0	0.00	0.0	0.0	0.00	0.43	0.00	0.00
D	300.0	0.00	180.0	180.0	0.00	0.00	0.00	0.00
D	0.0	0.00	180.0	180.0	0.00	0.00	0.00	0.00

ANTENNA LOADING
=====

.....ANTENNA.....	ATTACHMENT				ANTENNA FORCES.....			
TYPE	ELEV	AZI	RAD	AZI	AXIAL	SHEAR	GRAVITY	TORSION
	ft		ft		kip	kip	kip	ft-kip
STD+R	260.0	90.0	4.4	120.0	0.00	0.00	0.00	0.00
STD+R	260.0	270.0	4.4	240.0	0.00	0.00	0.00	0.00

=====

MAXIMUM ANTENNA AND REFLECTOR ROTATIONS:

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ELEV	AZI	TYPEBEAM DEFLECTIONS (deg).....			
ft	deg	*	ROLL	YAW	PITCH	TOTAL
260.0	90.0	STD+R	-1.709 D	0.228 Q	-1.821 G	1.821 G
260.0	270.0	STD+R	1.709 D	0.228 Q	1.821 G	1.821 G

MAXIMUM TENSION IN MAST MEMBERS (kip)

=====

ELEV	LEGS	DIAG	HORIZ	BRACE
ft				
300.0	-----	-----	0.82 M	0.00 A
	0.73 S	1.25 G		
295.0	-----	-----	0.22 i	0.00 A
	0.17 M	3.10 R		
290.0	-----	-----	0.09 E	0.00 A
	8.46 M	3.56 F		
285.0	-----	-----	0.30 Y	0.00 A
	16.40 M	5.28 M		
280.0	-----	-----	2.21 A	0.00 A
	29.72 M	5.91 M		
275.0	-----	-----	0.35 A	0.00 A
	45.37 M	8.08 F		
270.0	-----	-----	0.06 S	0.00 A
	65.22 M	8.49 R		
265.0	-----	-----	0.42 A	0.00 A
	86.48 M	8.88 L		
260.0	-----	-----	0.67 W	0.00 A
	102.78 M	5.39 Q		
255.0	-----	-----	0.37 A	0.00 A
	114.37 M	5.14 D		
250.0	-----	-----	0.03 E	0.00 A
	123.34 M	4.63 Q		
245.0	-----	-----	0.26 A	0.00 A
	132.41 M	4.53 D		
240.0	-----	-----	0.05 E	0.00 A
	140.10 M	4.26 Q		
235.0	-----	-----	0.14 A	0.00 A
	147.69 M	4.21 J		
230.0	-----	-----	0.12 E	0.00 A
	154.46 M	4.12 Q		
225.0	-----	-----	0.11 A	0.00 A
	161.18 M	4.10 K		
220.0	-----	-----	0.12 A	0.00 A
	168.23 M	4.43 Q		
213.3	-----	-----	0.15 A	0.00 A

206.7	176.29 M	4.37 K	0.11 A	0.00 A
200.0	183.67 M	4.38 Q	0.13 A	0.00 A
193.3	190.97 M	4.39 K	0.07 A	0.00 A
186.7	197.86 M	4.44 Q	0.11 A	0.00 A
180.0	204.69 M	4.50 K	0.06 A	0.00 A
173.3	211.25 M	4.57 Q	0.13 A	0.00 A
166.7	217.71 M	4.66 K	0.05 A	0.00 A
160.0	224.06 M	4.77 K	0.12 A	0.00 A
150.0	231.75 M	5.36 Q	0.11 A	0.00 A
140.0	240.97 M	5.49 K	0.10 A	0.00 A
130.0	249.92 M	5.62 E	0.10 A	0.00 A
120.0	258.81 M	5.84 K	0.06 A	0.00 A
110.0	267.55 M	6.03 K	0.09 A	0.00 A
100.0	276.27 M	6.25 K	0.05 A	0.00 A
90.0	284.87 M	6.51 K	0.05 A	0.00 A
80.0	293.42 M	6.80 K	0.05 A	0.00 A
70.0	302.02 M	7.11 K	0.04 A	0.00 A
60.0	310.67 M	7.40 K	0.14 k	0.00 A
50.0	319.35 M	7.72 K	0.06 S	0.00 A
40.0	328.02 M	7.99 K	0.20 A	0.00 A
33.3	338.36 M	8.33 W	0.60 Q	0.00 R
20.0	337.39 M	10.99 K	0.11 A	0.00 R
13.3	355.37 M	8.80 K	0.52 Q	0.00 T
0.0	354.34 M	11.26 K	0.00 A	0.00 A

MAXIMUM COMPRESSION IN MAST MEMBERS (kip)

ELEV ft	LEGS	DIAG	HORIZ	BRACE
300.0	-0.86 A	-1.19 M	-0.85 G	0.00 A
295.0	-12.93 e	-3.35 F	-0.01 Q	0.00 A
290.0	-17.73 G	-3.33 R	-0.08 W	0.00 A
285.0	-29.44 G	-5.84 G	0.00 A	0.00 A
280.0	-44.33 G	-6.49 G	-1.50 S	0.00 A
275.0	-66.14 G	-7.80 X	-0.18 S	0.00 A
270.0	-87.01 G	-8.74 L	-0.08 A	0.00 A
265.0	-109.29 G	-8.86 F	-0.26 S	0.00 A
260.0	-125.70 G	-5.82 K	-1.35 A	0.00 A
255.0	-138.96 G	-4.83 P	-0.25 S	0.00 A
250.0			-0.03 S	0.00 A

245.0	-147.85 G	-4.93 K	-0.18 S	0.00 A
240.0	-158.02 G	-4.37 V	-0.04 S	0.00 A
235.0	-166.02 G	-4.45 K	-0.10 S	0.00 A
230.0	-174.54 G	-4.13 P	-0.09 S	0.00 A
225.0	-181.79 G	-4.29 K	-0.08 S	0.00 A
220.0	-189.38 G	-4.00 P	-0.09 S	0.00 A
213.3	-197.07 G	-4.63 K	-0.12 S	0.00 A
206.7	-206.24 G	-4.32 W	-0.08 S	0.00 A
200.0	-214.46 G	-4.56 K	-0.10 S	0.00 A
193.3	-222.85 G	-4.41 K	-0.06 S	0.00 A
186.7	-230.70 G	-4.63 K	-0.08 S	0.00 A
180.0	-238.62 G	-4.59 K	-0.05 S	0.00 A
173.3	-246.25 G	-4.77 K	-0.10 S	0.00 A
166.7	-253.91 G	-4.83 K	-0.04 S	0.00 A
160.0	-261.44 G	-4.93 K	-0.09 S	0.00 A
150.0	-270.59 G	-5.63 K	-0.09 S	0.00 A
140.0	-281.66 G	-5.72 K	-0.08 S	0.00 A
130.0	-292.55 G	-5.94 K	-0.08 S	0.00 A
120.0	-303.51 G	-6.07 K	-0.05 S	0.00 A
110.0	-314.36 G	-6.31 K	-0.07 S	0.00 A
100.0	-325.23 G	-6.51 K	-0.04 S	0.00 A
90.0	-336.21 G	-6.78 K	-0.04 S	0.00 A
80.0	-347.41 G	-7.08 K	-0.04 S	0.00 A
70.0	-358.73 G	-7.38 K	-0.03 S	0.00 A
60.0	-370.15 G	-7.67 K	-0.02 c	0.00 A
50.0	-381.67 G	-7.91 K	-0.07 A	0.00 A
40.0	-393.21 G	-8.17 K	-0.17 S	0.00 A
33.3	-406.13 G	-8.79 K	-0.74 K	0.00 M
20.0	-407.42 G	-11.29 K	-0.08 S	0.00 M
13.3	-429.45 G	-9.16 K	-0.65 K	0.00 A
0.0	-430.82 G	-11.48 K	0.00 A	0.00 A

FORCE/RESISTANCE RATIO IN LEGS
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MAST ELEV ft	-- LEG COMPRESSION --			---- LEG TENSION ----		
	MAX COMP	COMP RESIST	FORCE/ RESIST RATIO	MAX TENS	TENS RESIST	FORCE/ RESIST RATIO
300.00	0.86	31.84	0.03	0.73	48.70	0.01
295.00	12.93	31.84	0.41	0.17	48.70	0.00
290.00	17.73	31.84	0.56	8.46	48.70	0.17
285.00	29.44	31.84	0.92	16.40	48.70	0.34
280.00						

275.00	44.33	111.82	0.40	29.72	136.93	0.22
270.00	66.14	111.82	0.59	45.37	136.93	0.33
265.00	87.01	111.82	0.78	65.22	136.93	0.48
260.00	109.29	111.82	0.98	86.48	136.93	0.63
255.00	125.70	177.29	0.71	102.78	199.92	0.51
250.00	138.96	177.29	0.78	114.37	199.92	0.57
245.00	147.85	177.29	0.83	123.34	199.92	0.62
240.00	158.02	177.29	0.89	132.41	199.92	0.66
235.00	166.02	256.32	0.65	140.10	277.05	0.51
230.00	174.54	256.32	0.68	147.69	277.05	0.53
225.00	181.79	256.32	0.71	154.46	277.05	0.56
220.00	189.38	256.32	0.74	161.18	277.05	0.58
213.33	197.07	241.28	0.82	168.23	277.05	0.61
206.67	206.24	241.28	0.85	176.29	277.05	0.64
200.00	214.46	241.28	0.89	183.67	277.05	0.66
193.33	222.85	241.28	0.92	190.97	277.05	0.69
186.67	230.70	241.28	0.96	197.86	277.05	0.71
180.00	238.62	241.28	0.99	204.69	277.05	0.74
173.33	246.25	312.59	0.79	211.25	361.16	0.58
166.67	253.91	312.59	0.81	217.71	361.16	0.60
160.00	261.44	312.59	0.84	224.06	361.16	0.62
150.00	270.59	336.31	0.80	231.75	379.88	0.61
140.00	281.66	336.31	0.84	240.97	379.88	0.63
130.00	292.55	336.31	0.87	249.92	379.88	0.66
120.00	303.51	336.31	0.90	258.81	379.88	0.68
110.00	314.36	336.31	0.93	267.55	379.88	0.70
100.00	325.23	336.31	0.97	276.27	379.88	0.73
90.00	336.21	509.22	0.66	284.87	523.32	0.54
80.00	347.41	509.22	0.68	293.42	523.32	0.56
70.00	358.73	509.22	0.70	302.02	523.32	0.58
60.00	370.15	509.22	0.73	310.67	523.32	0.59
50.00	381.67	509.22	0.75	319.35	523.32	0.61
40.00	393.21	509.22	0.77	328.02	523.32	0.63
33.33	406.13	546.43	0.74	338.36	523.32	0.65
20.00	407.42	546.43	0.75	337.39	523.32	0.64
13.33	429.45	546.43	0.79	355.37	545.12	0.65
0.00	430.82	546.43	0.79	354.34	545.12	0.65

FORCE/RESISTANCE RATIO IN DIAGONALS

=====

MAST ELEV	- DIAG COMPRESSION -		--- DIAG TENSION ---		
	MAX	COMP	FORCE/ RESIST	MAX	TENS

ft	COMP	RESIST	RATIO	TENS	RESIST	RATIO
300.00						
295.00	1.19	7.16	0.17	1.25	7.16	0.17
290.00	3.35	7.16	0.47	3.10	7.16	0.43
285.00	3.33	7.16	0.46	3.56	7.16	0.50
280.00	5.84	7.16	0.82	5.28	7.16	0.74
275.00	6.49	10.74	0.60	5.91	10.74	0.55
270.00	7.80	10.74	0.73	8.08	10.74	0.75
265.00	8.74	10.74	0.81	8.49	10.74	0.79
260.00	8.86	10.74	0.82	8.88	10.74	0.83
255.00	5.82	7.16	0.81	5.39	7.16	0.75
250.00	4.83	7.16	0.67	5.14	7.16	0.72
245.00	4.93	7.16	0.69	4.63	7.16	0.65
240.00	4.37	7.16	0.61	4.53	7.16	0.63
235.00	4.45	7.13	0.62	4.26	7.13	0.60
230.00	4.13	7.13	0.58	4.21	7.13	0.59
225.00	4.29	7.13	0.60	4.12	7.13	0.58
220.00	4.00	7.13	0.56	4.10	7.13	0.57
213.33	4.63	6.51	0.71	4.43	6.51	0.68
206.67	4.32	6.51	0.66	4.37	6.51	0.67
200.00	4.56	6.51	0.70	4.38	6.51	0.67
193.33	4.41	9.45	0.47	4.39	9.45	0.46
186.67	4.63	9.45	0.49	4.44	9.45	0.47
180.00	4.59	9.45	0.49	4.50	9.45	0.48
173.33	4.77	7.32	0.65	4.57	7.32	0.62
166.67	4.83	7.32	0.66	4.66	7.32	0.64
160.00	4.93	7.32	0.67	4.77	7.32	0.65
150.00	5.63	8.84	0.64	5.36	8.84	0.61
140.00	5.72	8.84	0.65	5.49	8.84	0.62
130.00	5.94	15.88	0.37	5.62	15.88	0.35
120.00	6.07	15.88	0.38	5.84	15.88	0.37
110.00	6.31	13.59	0.46	6.03	13.59	0.44
100.00	6.51	13.59	0.48	6.25	13.59	0.46
90.00	6.78	17.02	0.40	6.51	17.02	0.38
80.00	7.08	17.02	0.42	6.80	17.02	0.40
70.00	7.38	18.13	0.41	7.11	18.13	0.39
60.00	7.67	18.13	0.42	7.40	18.13	0.41
50.00	7.91	16.06	0.49	7.72	16.06	0.48
40.00	8.17	16.06	0.51	7.99	16.06	0.50
33.33	8.79	20.48	0.43	8.33	20.48	0.41
20.00	11.29	31.46	0.36	10.99	31.46	0.35

13.33	9.16	23.11	0.40	8.80	23.11	0.38
0.00	11.48	36.11	0.32	11.26	36.11	0.31

MAXIMUM INDIVIDUAL FOUNDATION LOADS: (kip)

LOAD		COMPONENTS		TOTAL
NORTH	EAST	DOWN	UPLIFT	SHEAR
39.11 G	34.19 K	444.79 G	-365.54 M	39.11 G

MAXIMUM TOTAL LOADS ON FOUNDATION : (kip & kip-ft)

HORIZONTAL			DOWN	OVERTURNING		TORSION	
NORTH	EAST	TOTAL		NORTH	EAST	TOTAL	
		@ 0.0				@ 149.9	
62.4 S	-55.1 D	62.4 S	267.4 j	10985.5 G	-9954.9 D	10985.6 L	-48.3 F

Latticed Tower Analysis (Unguyed)
Processed under license at:

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Sabre Towers and Poles

on: 7 mar 2024 at: 10:04:37

***** Service Load Condition *****

* Only 1 condition(s) shown in full
* Some wind loads may have been derived from full-scale wind tunnel testing

LOADING CONDITION A

60 mph wind with no ice. Wind Azimuth: 0° (1.0 D + 1.0 Wo)

MAST LOADING

LOAD TYPE	ELEV ft	APPLY. RADIUS ft	LOAD AT AZI	LOAD AZI	FORCES		MOMENTS	
					HORIZ kip	DOWN kip	VERTICAL ft-kip	TORSNAL ft-kip
C	295.0	0.00	0.0	0.0	2.05	12.00	0.00	0.00
C	284.0	0.00	0.0	0.0	1.45	8.00	0.00	0.00
C	274.0	0.00	0.0	0.0	1.43	8.00	0.00	0.00
D	300.0	0.00	180.0	0.0	0.02	0.03	0.00	0.00
D	295.0	0.00	180.0	0.0	0.02	0.03	0.00	0.00
D	295.0	0.00	318.0	0.0	0.03	0.05	0.05	-0.02
D	285.0	0.00	318.0	0.0	0.03	0.05	0.05	-0.02
D	285.0	0.00	334.7	0.0	0.04	0.06	0.05	-0.01
D	280.0	0.00	334.7	0.0	0.04	0.06	0.05	-0.01
D	280.0	0.00	338.4	0.0	0.04	0.10	0.05	-0.01
D	275.0	0.00	338.4	0.0	0.04	0.10	0.05	-0.01
D	275.0	0.00	1.1	0.0	0.04	0.10	0.05	-0.01
D	260.0	0.00	7.7	0.0	0.04	0.11	0.05	-0.01
D	260.0	0.00	18.0	0.0	0.04	0.12	0.07	0.00
D	240.0	0.00	11.4	0.0	0.04	0.12	0.06	-0.01
D	240.0	0.00	24.5	0.0	0.04	0.14	0.08	0.00
D	220.0	0.00	20.0	0.0	0.05	0.14	0.07	0.00
D	220.0	0.00	28.8	0.0	0.04	0.14	0.09	0.00

D	200.0	0.00	26.0	0.0	0.05	0.15	0.08	0.00
D	200.0	0.00	32.2	0.0	0.05	0.15	0.11	0.01
D	180.0	0.00	30.1	0.0	0.05	0.16	0.10	0.00
D	180.0	0.00	34.7	0.0	0.05	0.18	0.12	0.01
D	160.0	0.00	33.1	0.0	0.05	0.18	0.11	0.01
D	160.0	0.00	36.6	0.0	0.05	0.18	0.14	0.01
D	140.0	0.00	35.6	0.0	0.05	0.18	0.13	0.01
D	140.0	0.00	38.2	0.0	0.05	0.21	0.15	0.02
D	120.0	0.00	37.4	0.0	0.05	0.21	0.14	0.01
D	120.0	0.00	39.5	0.0	0.05	0.22	0.17	0.02
D	100.0	0.00	38.9	0.0	0.05	0.22	0.16	0.02
D	100.0	0.00	40.6	0.0	0.06	0.28	0.18	0.02
D	80.0	0.00	40.1	0.0	0.06	0.28	0.17	0.02
D	80.0	0.00	41.5	0.0	0.06	0.29	0.20	0.02
D	60.0	0.00	41.1	0.0	0.06	0.29	0.19	0.02
D	60.0	0.00	42.3	0.0	0.06	0.29	0.21	0.02
D	40.0	0.00	42.0	0.0	0.06	0.30	0.20	0.02
D	40.0	0.00	43.1	0.0	0.05	0.28	0.23	0.02
D	33.3	0.00	43.1	0.0	0.05	0.28	0.23	0.02
D	33.3	0.00	42.7	0.0	0.06	0.35	0.22	0.02
D	20.0	0.00	42.7	0.0	0.06	0.35	0.22	0.02
D	20.0	0.00	43.7	0.0	0.04	0.30	0.24	0.02
D	13.3	0.00	43.7	0.0	0.04	0.30	0.24	0.02
D	13.3	0.00	43.4	0.0	0.05	0.36	0.24	0.02
D	0.0	0.00	43.4	0.0	0.05	0.36	0.24	0.02

ANTENNA LOADING

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..... ANTENNA	ATTACHMENT	 ANTENNA FORCES					
TYPE	ELEV	AZI	RAD	AZI	AXIAL	SHEAR	GRAVITY	TORSION
	ft		ft		kip	kip	kip	ft-kip
STD+R	260.0	90.0	4.4	120.0	0.03	-0.09	0.20	-0.21
STD+R	260.0	270.0	4.4	240.0	0.03	0.09	0.20	0.21

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MAXIMUM MAST DISPLACEMENTS:

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ELEV ft	-----DEFLECTIONS (ft)-----			--TILTS (DEG)---		TWIST DEG
	NORTH	EAST	DOWN	NORTH	EAST	
300.0	1.503 G	1.401 J	0.028 L	0.738 G	0.696 J	-0.080 E
295.0	1.439 G	1.341 J	0.027 L	0.739 G	0.697 J	-0.080 E
290.0	1.374 G	1.279 J	0.026 L	0.735 G	0.693 J	-0.080 E
285.0	1.310 G	1.218 J	0.025 L	0.722 G	0.680 J	-0.079 E
280.0	1.246 G	1.159 J	0.024 L	0.699 G	0.658 J	-0.079 E
275.0	1.185 G	1.101 J	0.023 L	0.685 G	0.645 J	-0.078 E
270.0	1.125 G	1.045 J	0.022 L	0.665 G	0.626 J	-0.078 E
265.0	1.067 G	0.990 J	0.021 L	0.637 G	0.599 J	-0.076 E
260.0	1.012 G	0.938 J	0.021 L	0.601 G	0.564 J	-0.075 E
255.0	0.959 G	0.889 J	0.020 L	0.574 G	0.539 J	-0.069 E
250.0	0.910 G	0.842 J	0.019 L	0.548 G	0.514 J	-0.063 E
245.0	0.862 G	0.797 J	0.019 L	0.521 G	0.488 J	-0.058 E
240.0	0.817 G	0.755 J	0.018 L	0.495 G	0.463 J	-0.054 E
235.0	0.774 G	0.715 J	0.018 L	0.476 G	0.445 J	-0.050 E
230.0	0.732 G	0.676 J	0.017 L	0.458 G	0.428 J	-0.046 E
225.0	0.692 G	0.639 J	0.017 L	0.440 G	0.411 J	-0.042 E
220.0	0.654 G	0.603 J	0.016 L	0.422 G	0.394 J	-0.038 E
213.3	0.605 G	0.558 J	0.016 L	0.399 G	0.372 J	-0.035 E
206.7	0.560 G	0.515 J	0.015 L	0.376 G	0.350 J	-0.032 E
200.0	0.517 G	0.475 J	0.014 L	0.354 G	0.329 J	-0.029 E
193.3	0.476 G	0.438 J	0.014 L	0.332 G	0.308 J	-0.028 F
186.7	0.438 G	0.402 J	0.013 L	0.311 G	0.288 J	-0.026 F
180.0	0.403 G	0.369 J	0.012 L	0.290 G	0.268 J	-0.024 F
173.3	0.369 G	0.338 J	0.012 L	0.274 G	0.253 J	-0.022 F
166.7	0.338 G	0.309 J	0.012 L	0.258 G	0.239 J	-0.021 F
160.0	0.308 G	0.282 J	0.011 L	0.243 G	0.225 J	-0.019 F
150.0	0.266 G	0.244 J	0.010 L	0.222 G	0.205 J	-0.017 F
140.0	0.229 G	0.209 J	0.010 L	0.201 G	0.185 J	-0.015 F
130.0	0.195 G	0.178 J	0.009 L	0.181 G	0.166 J	-0.014 F
120.0	0.165 G	0.150 J	0.008 L	0.160 G	0.147 J	-0.013 F
110.0	0.137 G	0.125 J	0.007 L	0.140 G	0.129 J	-0.011 F
100.0	0.114 G	0.104 J	0.007 L	0.121 G	0.111 J	-0.010 F
90.0	0.093 G	0.085 J	0.006 L	0.108 G	0.099 J	-0.009 F
80.0	0.074 G	0.068 J	0.006 L	0.096 G	0.088 J	-0.008 F
70.0	0.058 G	0.052 J	0.005 L	0.084 G	0.077 J	-0.007 F
60.0	0.043 G	0.039 J	0.004 L	0.072 G	0.065 J	-0.006 F
50.0	0.029 G	0.027 J	0.004 L	0.059 G	0.054 J	-0.005 F
40.0	0.017 G	0.015 J	0.003 L	0.047 G	0.043 J	-0.003 F

33.3	0.012 G	0.011 J	0.003 H	0.039 G	0.036 J	-0.003 F
20.0	0.004 G	0.004 J	0.001 C	0.023 G	0.021 J	-0.001 F
13.3	0.002 G	0.001 K	0.001 C	0.016 G	0.014 J	-0.001 F
0.0	0.000 A	0.000 A	0.000 A	0.000 A	0.000 A	0.000 A

MAXIMUM ANTENNA AND REFLECTOR ROTATIONS:

ELEV ft	AZI deg	TYPE *BEAM DEFLECTIONS (deg).....			
			ROLL	YAW	PITCH	TOTAL
260.0	90.0	STD+R	0.564 J	0.075 E	-0.601 G	0.601 G
260.0	270.0	STD+R	-0.564 J	0.075 E	0.601 G	0.601 G

MAXIMUM TENSION IN MAST MEMBERS (kip)

ELEV ft	LEGS	DIAG	HORIZ	BRACE
300.0	-----	-----	0.26 A	0.00 A
	0.20 G	0.43 G		
295.0	-----	-----	0.09 K	0.00 A
	0.00 A	0.95 F		
290.0	-----	-----	0.03 E	0.00 A
	0.00 A	1.24 L		
285.0	-----	-----	0.12 A	0.00 A
	1.17 A	1.57 A		
280.0	-----	-----	0.93 A	0.00 A
	5.08 A	1.78 A		
275.0	-----	-----	0.16 A	0.00 A
	8.25 A	2.73 L		
270.0	-----	-----	0.01 G	0.00 A
	14.51 A	2.71 F		
265.0	-----	-----	0.18 A	0.00 A
	21.26 A	2.92 L		
260.0	-----	-----	0.07 K	0.00 A
	26.66 A	1.63 E		
255.0	-----	-----	0.16 A	0.00 A
	29.97 A	1.77 J		
250.0	-----	-----	0.01 E	0.00 A
	33.00 A	1.42 E		
245.0	-----	-----	0.11 A	0.00 A
	35.68 A	1.52 J		
240.0	-----	-----	0.02 E	0.00 A
	38.16 A	1.35 E		
235.0	-----	-----	0.06 A	0.00 A
	40.42 A	1.41 J		
230.0	-----	-----	0.05 E	0.00 A
	42.55 A	1.32 E		
225.0	-----	-----	0.05 A	0.00 A
	44.55 A	1.37 K		
220.0	-----	-----	0.05 E	0.00 A
	46.75 A	1.43 E		
213.3	-----	-----	0.06 A	0.00 A
	49.15 A	1.45 K		
206.7	-----	-----	0.04 A	0.00 A
	51.41 A	1.42 E		
200.0	-----	-----	0.05 A	0.00 A
	53.56 A	1.46 K		
193.3	-----	-----	0.03 A	0.00 A
	55.64 A	1.45 E		
186.7	-----	-----	0.04 A	0.00 A
	57.65 A	1.49 K		
180.0	-----	-----	0.03 A	0.00 A
	59.59 A	1.51 E		
173.3	-----	-----	0.05 A	0.00 A
	61.46 A	1.54 K		
166.7	-----	-----	0.02 E	0.00 A
	63.30 A	1.58 K		
160.0	-----	-----	0.05 A	0.00 A
	65.53 A	1.78 E		
150.0	-----	-----	0.05 A	0.00 A
	68.20 A	1.83 K		
140.0	-----	-----	0.04 A	0.00 A
	70.77 A	1.89 E		
130.0	-----	-----	0.04 A	0.00 A
	73.30 A	1.96 K		
120.0	-----	-----	0.02 A	0.00 A

110.0	75.78 A	2.03 K	0.04 A	0.00 A
100.0	78.26 A	2.11 K	0.02 A	0.00 A
90.0	80.63 A	2.20 K	0.02 A	0.00 A
80.0	82.93 A	2.31 K	0.02 A	0.00 A
70.0	85.23 A	2.41 K	0.02 A	0.00 A
60.0	87.56 A	2.52 K	0.01 G	0.00 A
50.0	89.87 A	2.63 K	0.01 G	0.00 A
40.0	92.20 A	2.73 K	0.08 A	0.00 A
33.3	95.24 A	2.83 K	0.18 E	0.00 G
20.0	94.16 A	3.75 K	0.04 A	0.00 G
13.3	99.62 A	3.00 K	0.15 E	0.00 G
0.0	98.47 A	3.84 K	0.00 A	0.00 A

MAXIMUM COMPRESSION IN MAST MEMBERS (kip)

ELEV ft	LEGS	DIAG	HORIZ	BRACE
300.0	-0.32 A	-0.38 A	-0.29 G	0.00 A
295.0	-5.18 G	-1.18 L	0.00 A	0.00 A
290.0	-8.47 G	-1.02 F	-0.02 K	0.00 A
285.0	-13.38 G	-2.07 G	0.00 A	0.00 A
280.0	-18.69 G	-2.28 G	-0.26 G	0.00 A
275.0	-27.57 G	-2.47 F	0.00 G	0.00 A
270.0	-34.64 G	-2.94 L	-0.03 A	0.00 A
265.0	-42.16 G	-2.90 F	-0.03 G	0.00 A
260.0	-47.51 G	-2.03 K	-0.59 A	0.00 A
255.0	-52.29 G	-1.48 J	-0.04 G	0.00 A
250.0	-55.13 G	-1.70 K	-0.01 G	0.00 A
245.0	-58.72 G	-1.39 J	-0.03 G	0.00 A
240.0	-61.39 G	-1.51 K	-0.01 G	0.00 A
235.0	-64.41 G	-1.33 J	-0.02 G	0.00 A
230.0	-66.88 G	-1.45 K	-0.02 G	0.00 A
225.0	-69.57 G	-1.30 J	-0.02 G	0.00 A
220.0	-72.22 G	-1.56 K	-0.02 G	0.00 A
213.3	-75.50 G	-1.42 K	-0.03 G	0.00 A
206.7	-78.38 G	-1.53 K	-0.02 G	0.00 A
200.0	-81.40 G	-1.46 K	-0.02 G	0.00 A
193.3	-84.20 G	-1.55 K	-0.01 G	0.00 A
186.7	-87.06 G	-1.52 K	-0.02 G	0.00 A
180.0			-0.01 G	0.00 A

173.3	-89.81 G	-1.60 K	-0.02 G	0.00 A
166.7	-92.61 G	-1.61 K	-0.01 G	0.00 A
160.0	-95.36 G	-1.64 K	-0.02 G	0.00 A
150.0	-98.71 G	-1.90 K	-0.02 G	0.00 A
140.0	-102.80 G	-1.93 K	-0.02 G	0.00 A
130.0	-106.85 G	-2.02 K	-0.02 G	0.00 A
120.0	-110.99 G	-2.06 K	-0.01 G	0.00 A
110.0	-115.10 G	-2.15 K	-0.02 G	0.00 A
100.0	-119.24 G	-2.22 K	-0.01 G	0.00 A
90.0	-123.48 G	-2.32 K	-0.01 G	0.00 A
80.0	-127.87 G	-2.43 K	-0.01 G	0.00 A
70.0	-132.31 G	-2.54 K	-0.01 G	0.00 A
60.0	-136.80 G	-2.63 K	-0.01 E	0.00 A
50.0	-141.33 G	-2.72 K	-0.03 A	0.00 A
40.0	-145.89 G	-2.80 K	-0.04 G	0.00 A
33.3	-150.79 G	-3.04 K	-0.27 K	0.00 L
20.0	-151.86 G	-3.89 K	-0.02 G	0.00 L
13.3	-160.11 G	-3.16 K	-0.24 K	0.00 A
0.0	-161.25 G	-3.95 K	0.00 A	0.00 A

MAXIMUM INDIVIDUAL FOUNDATION LOADS: (kip)

NORTH	LOAD COMPONENTS		UPLIFT	TOTAL SHEAR
	EAST	DOWN		
14.17 G	12.38 K	166.52 G	-101.81 A	14.17 G

MAXIMUM TOTAL LOADS ON FOUNDATION : (kip & kip-ft)

HORIZONTAL			DOWN	OVERTURNING			TORSION
NORTH	EAST	TOTAL @ 0.0		NORTH	EAST	TOTAL @ 0.0	
21.0 G	18.6 J	21.0 G	89.0 H	3674.2 G	3337.2 J	3674.2 G	-15.8 F

Seismic Load Effects
Equivalent Lateral Force Procedure
ANSI/TIA-222-H

		Vertical Distribution of Seismic Forces							
		h_i (ft.)	w_i (kips)	W_x (kips)	$w_i h_i^a$	F_x or E_x (kips)	E_v (kips)	$1.2 D + 1.0 E_v$ (kips)	$0.9 D - 1.0 E_v$ (kips)
Parameters									
Risk Category	II								
R	3.000								
S_s	0.167								
S_1	0.090								
Site Class	D (default)								
T_L (sec)	12.000								
F_a	1.600								
F_v	2.400								
S_{MS}	0.267								
S_{M1}	0.216								
S_{M2}	0.178								
S_{D1}	0.144								
T_s	0.809								
I_b	1.000								
Ω	1.500								
C_s	0.034								
h (ft)	300.00								
K_f	4.540								
W_a (ft)	16.27								
W_o (ft)	31.00								
W (kips)	96.430								
W_1 (kips)	41.027								
W_2 (kips)	12.791								
f_1 (Hertz)	0.717								
T (sec)	1.395								
k_e	1.4475								
V_s (kips)	3.279								
Seismic Design Category	C								
Description	Antenna Load	295.00	12.0000	12.0000	45,107.4851	0.8270	0.4272	14.8272	10.3728
	Structure - Section 1	290.00	0.7210	0.5408	2,643.9690	0.0485	0.0257	0.8909	0.6232
	Ladder/Line	289.50	0.2499	0.2499	914.1186	0.0168	0.0089	0.3088	0.2160
	Antenna Load	284.00	8.0000	0.0000	28,462.1881	0.5218	0.2848	9.8848	6.9152
	Ladder/Line	282.00	0.0410	0.0000	144.3841	0.0026	0.0015	0.0507	0.0354
	Ladder/Line	282.00	0.1158	0.0000	407.7971	0.0075	0.0041	0.1431	0.1001
	Ladder/Line	277.00	0.0614	0.0000	210.6968	0.0039	0.0022	0.0759	0.0531
	Ladder/Line	277.00	0.1738	0.0000	596.4022	0.0109	0.0062	0.2148	0.1502
	Antenna Load	274.00	8.0000	0.0000	27,023.0227	0.4954	0.2848	9.8848	6.9152
	Structure - Section 2	270.00	1.3190	0.0000	4,361.5800	0.0800	0.0470	1.6298	1.1401
	Ladder/Line	267.00	0.4054	0.0000	1,319.0425	0.0242	0.0144	0.5009	0.3505
	Ladder/Line	267.00	0.3181	0.0000	1,034.9961	0.0190	0.0113	0.3930	0.2750
	Antenna Load	260.00	0.3100	0.0000	970.5896	0.0178	0.0110	0.3830	0.2680
	Antenna Load	260.00	0.3100	0.0000	970.5896	0.0178	0.0110	0.3830	0.2680
	Mount Load	260.00	0.0500	0.0000	156.5467	0.0029	0.0018	0.0618	0.0432
	Mount Load	260.00	0.0500	0.0000	156.5467	0.0029	0.0018	0.0618	0.0432
	Mount/Antenna Load	260.00	0.3600	0.0000	1,127.1363	0.0207	0.0128	0.4448	0.3112
	Mount/Antenna Load	260.00	0.3600	0.0000	1,127.1363	0.0207	0.0128	0.4448	0.3112
	Ladder/Line	250.00	0.5792	0.0000	1,713.3525	0.0314	0.0206	0.7156	0.5007
	Ladder/Line	250.00	0.4960	0.0000	1,467.2355	0.0269	0.0177	0.6129	0.4287
	Structure - Section 3	250.00	1.5540	0.0000	4,596.9436	0.0843	0.0553	1.9201	1.3433
	Ladder/Line	230.00	0.5792	0.0000	1,518.5517	0.0278	0.0206	0.7156	0.5007
	Ladder/Line	230.00	0.4960	0.0000	1,300.4172	0.0238	0.0177	0.6129	0.4287
	Structure - Section 4	230.00	1.9250	0.0000	5,046.9822	0.0925	0.0685	2.3785	1.6640
	Ladder/Line	210.00	0.4960	0.0000	1,139.9718	0.0209	0.0177	0.6129	0.4287
	Ladder/Line	210.00	0.5792	0.0000	1,331.1929	0.0244	0.0206	0.7156	0.5007
	Structure - Section 5	210.00	2.0820	0.0000	4,785.1235	0.0877	0.0741	2.5725	1.7997
	Ladder/Line	190.00	0.5792	0.0000	1,151.6603	0.0211	0.0206	0.7156	0.5007
	Ladder/Line	190.00	0.4960	0.0000	986.2284	0.0181	0.0177	0.6129	0.4287
	Structure - Section 6	190.00	2.3090	0.0000	4,591.1319	0.0842	0.0822	2.8530	1.9959
	Ladder/Line	170.00	0.5792	0.0000	980.4001	0.0180	0.0206	0.7156	0.5007
	Ladder/Line	170.00	0.4960	0.0000	839.5692	0.0154	0.0177	0.6129	0.4287
	Structure - Section 7	170.00	2.9750	0.0000	5,035.7224	0.0923	0.1059	3.6759	2.5716
	Ladder/Line	150.00	0.4960	0.0000	700.4446	0.0128	0.0177	0.6129	0.4287
	Ladder/Line	150.00	0.5792	0.0000	817.9385	0.0150	0.0206	0.7156	0.5007

Seismic Load Effects
Equivalent Lateral Force Procedure
ANSI/TIA-222-H

Description	h, (ft.)	w, (kips)	W, (kips)	w/h, %	Vertical Distribution of Seismic Forces			
					F _x or E _s (kips)	E _v (kips)	1.2 D + 1.0 E _v (kips)	0.9 D - 1.0 E _v (kips)
Structure - Section 8	150.00	3.0090	0.0000	4,249.2696	0.0779	0.1071	3.7179	2.6010
Ladder/Line	130.00	0.4960	0.0000	569.3984	0.0104	0.0177	0.6129	0.4287
Ladder/Line	130.00	0.5792	0.0000	664.9080	0.0122	0.0206	0.7156	0.5007
Structure - Section 9	130.00	3.5970	0.0000	4,129.2715	0.0757	0.1281	4.4445	3.1092
Ladder/Line	110.00	0.4960	0.0000	447.0927	0.0082	0.0177	0.6129	0.4287
Ladder/Line	110.00	0.5792	0.0000	522.0889	0.0096	0.0206	0.7156	0.5007
Structure - Section 10	110.00	3.7300	0.0000	3,362.2093	0.0616	0.1328	4.6088	3.2242
Ladder/Line	90.00	0.5792	0.0000	390.4762	0.0072	0.0206	0.7156	0.5007
Ladder/Line	90.00	0.4960	0.0000	334.3857	0.0061	0.0177	0.6129	0.4287
Structure - Section 11	90.00	5.0130	0.0000	3,379.5878	0.0620	0.1785	6.1941	4.3332
Ladder/Line	70.00	0.4960	0.0000	232.4134	0.0043	0.0177	0.6129	0.4287
Ladder/Line	70.00	0.5792	0.0000	271.3988	0.0050	0.0206	0.7156	0.5007
Structure - Section 12	70.00	5.2530	0.0000	2,461.4262	0.0451	0.1870	6.4906	4.5407
Ladder/Line	50.00	0.4960	0.0000	142.8041	0.0026	0.0177	0.6129	0.4287
Ladder/Line	50.00	0.5792	0.0000	166.7584	0.0031	0.0206	0.7156	0.5007
Structure - Section 13	50.00	5.4060	0.0000	1,556.4498	0.0285	0.1925	6.6797	4.6729
Ladder/Line	30.00	0.4960	0.0000	79.6089	0.0015	0.0206	0.7156	0.5007
Ladder/Line	30.00	0.4960	0.0000	68.1734	0.0012	0.0177	0.6129	0.4287
Structure - Section 14	30.00	6.1850	0.0000	850.1053	0.0156	0.2202	7.6422	5.3463
Ladder/Line	10.00	0.5792	0.0000	16.2304	0.0003	0.0206	0.7156	0.5007
Ladder/Line	10.00	0.4960	0.0000	13.8989	0.0003	0.0177	0.6129	0.4287
Structure - Section 15	10.00	6.5690	0.0000	184.0769	0.0034	0.2339	8.1167	5.6782
Σ		96.43	12.7907	178,829.12	3.28	3.43	119.15	83.35

Leg Connection Details

Bottom Elevation (ft)	Top Elevation (ft)	Pipe Dimensions	Top Splice				Bottom Splice/Base							
			Bolt Qty.	Bolt Dia. (in)	Bolt Circle (in)	Plate Thickness (in)	Plate Dia. (in)	Bolt Qty.	Bolt Dia. (in)	Bolt Circle (in)	Plate Thickness (in)	Plate Dia. (in)		
280	300	2.375 OD X .154								6	0.75	6.50	0.75	8.50
260	280	3.500 OD X .300	6	0.75	6.50	1.00	8.50	6	1.00	9.00	1.25	11.50	1.25	11.50
240	260	4.500 OD X .337	6	1.00	9.00	1.25	11.50	6	1.00	9.00	1.25	11.50	1.25	11.50
220	240	5.563 OD X .375	6	1.00	9.00	1.25	11.50	6	1.00	9.00	1.25	11.50	1.25	11.50
200	220	5.563 OD X .375	6	1.00	9.00	1.25	11.50	6	1.00	9.00	1.25	11.50	1.25	11.50
180	200	5.563 OD X .375	6	1.00	9.00	1.25	11.50	6	1.00	9.00	1.25	11.50	1.25	11.50
160	180	5.563 OD X .500	6	1.00	9.00	1.25	11.50	6	1.25	12.50	1.75	15.75	1.75	15.75
140	160	8.625 OD X .322	6	1.25	12.50	1.50	15.75	6	1.25	12.50	1.50	15.75	1.50	15.75
120	140	8.625 OD X .322	6	1.25	12.50	1.50	15.75	6	1.25	12.50	1.50	15.75	1.50	15.75
100	120	8.625 OD X .322	6	1.25	12.50	1.50	15.75	6	1.25	12.50	1.50	15.75	1.50	15.75
80	100	8.625 OD X .500	6	1.25	12.50	1.50	15.75	6	1.25	12.50	1.50	15.75	1.50	15.75
60	80	8.625 OD X .500	6	1.25	12.50	1.50	15.75	6	1.25	12.50	1.50	15.75	1.50	15.75
40	60	8.625 OD X .500	6	1.25	12.50	1.50	15.75	6	1.25	12.50	1.50	15.75	1.50	15.75
20	40	8.625 OD X .500	6	1.25	12.50	1.50	15.75	6	1.25	12.50	1.50	15.75	1.50	15.75
0	20	8.625 OD X .500	6	1.25	12.50	1.50	15.75	6	1.25	12.75	1.50	16.00	1.50	16.00

Diagonal Bracing Connection Details

Bottom Elevation (ft)	Top Elevation (ft)	Angle Shape	Bolt Qty.	Bolt Dia. (in)	Bolt End Distance (in)	Bolt Spacing (in)	Gage Distance From Heel (in)	Gusset Plate Thickness (in)
280	300	L 2 X 2 X 1/8	1	0.625	1.500		1.125	0.375
260	280	L 2 X 2 X 3/16	1	0.625	1.500		1.125	0.375
240	260	L 2 X 2 X 1/8	1	0.625	1.500		1.125	0.375
220	240	L 2 X 2 X 1/8	1	0.625	1.500		1.125	0.375
200	220	L 2 X 2 X 3/16	1	0.625	1.500		1.125	0.375
180	200	L 2 1/2 X 2 1/2 X 3/16	1	0.625	1.500		1.375	0.375
160	180	L 2 1/2 X 2 1/2 X 3/16	1	0.750	1.500		1.375	0.375
140	160	L 3 X 3 X 3/16	1	0.750	1.625		1.750	0.375
120	140	L 3 1/2 X 3 1/2 X 1/4	1	0.750	1.625		1.750	0.375
100	120	L 3 1/2 X 3 1/2 X 1/4	1	0.750	1.625		1.750	0.375
80	100	L 4 X 4 X 1/4	1	0.750	1.625		2.000	0.375
60	80	L 4 X 4 X 1/4	2	0.625	1.625	2.1250	2.000	0.500
40	60	L 4 X 4 X 1/4	2	0.625	1.625	2.1250	2.000	0.500
33.33	40	L 4 X 4 X 1/4	2	0.750	1.625	2.6875	2.000	0.500
20	33.33	L 5 X 3 1/2 X 1/4	2	0.750	1.625	2.6250	1.750	0.500
13.33	20	L 4 X 4 X 5/16	2	0.750	1.625	2.5000	2.000	0.500
0	13.33	L 5 X 3 1/2 X 5/16	2	0.750	1.625	2.5000	1.750	0.500

MAT FOUNDATION DESIGN BY SABRE INDUSTRIES

300' S3TL Series HD1 VERTICAL BRIDGE REIT, LLC Hwy 243, KY (539269) 2024-03-07 REB

Overall Loads:			
Factored Moment (ft-kips)	10985.57		
Factored Axial (kips)	267.38		
Factored Shear (kips)	62.38		
Individual Leg Loads:			
Factored Uplift (kips)	366.00		
Factored Download (kips)	445.00		
Factored Shear (kips)	39.00		
		Tower eccentric from mat (ft)=	2.5
Width of Tower (ft)	31	Allowable Bearing Pressure (ksf)	15.00
Ultimate Bearing Pressure	30.00	Safety Factor	2.00
Bearing Φ s	0.75		
Bearing Design Strength (ksf)	22.5	Max. Factored Net Bearing Pressure (ksf)	2.09
Water Table Below Grade (ft)	999		
Width of Mat (ft)	37	Minimum Mat Width (ft)	36.83
Thickness of Mat (ft)	1.5		
Depth to Bottom of Slab (ft)	5.5		
Bolt Circle Diameter (in)	12.75		
Effective Anchor			
Bolt Embedment	52.125	Minimum Pier Diameter (ft)	2.40
Diameter of Pier (ft)	3.5	Equivalent Square b (ft)	3.10
Ht. of Pier Above Ground (ft)	0.5		
Ht. of Pier Below Ground (ft)	4		
Quantity of Bars in Mat	66		
Bar Diameter in Mat (in)	1		
Area of Bars in Mat (in ²)	51.84		
Spacing of Bars in Mat (in)	6.72	Recommended Spacing (in)	6 to 12
Quantity of Bars Pier	20		
Bar Diameter in Pier (in)	0.875		
Tie Bar Diameter in Pier (in)	0.5	Minimum Pier A _s (in ²)	6.93
Spacing of Ties (in)	4	Recommended Spacing (in)	5 to 12
Area of Bars in Pier (in ²)	12.03		
Spacing of Bars in Pier (in)	5.34		
f'c (ksi)	4.5		
fy (ksi)	60		
Unit Wt. of Soil (kcf)	0.11		
Unit Wt. of Concrete (kcf)	0.15		
Volume of Concrete (yd ³)	80.87		

MAT FOUNDATION DESIGN BY SABRE INDUSTRIES (CONTINUED)

Two-Way Shear:

Average d (in)	14
ϕv_c (ksi)	0.201
$\phi v_c = \phi(2 + 4/\beta_c)f'_c{}^{1/2}$	0.302
$\phi v_c = \phi(\alpha_s d/b_o + 2)f'_c{}^{1/2}$	0.238
$\phi v_c = \phi 4f'_c{}^{1/2}$	0.201
Shear perimeter, b_o (in)	204.89
β_c	1

v_u (ksi) 0.159

Stability:

Overturning Design Strength (ft-k) 16439.4

Factored Overturning Moment (ft-k) 11359.9

One-Way Shear:

ϕV_c (kips) 625.5

V_u (kips) 394.9

Pier Design:

Design Tensile Strength (kips) 649.4

T_u (kips) 366.0

Shear:

ϕ	0.75
V_c (kips)	89.3
V_s (kips)	197.9
ϕV_n (kips)	215.4

$V_{s,max}$ (kips) 757.3

V_u (kips) 39.0

Maximum Spacing (in) 11.15

(Only if Shear Ties are Required)

Actual Hook Development (in) 13.00

Req'd Hook Development l_{dh} (in) - Tension 10.96

Req'd Hook Development l_{dc} (in) - Compression 11.81

Anchor Bolt Pull-Out:

$N_{ua} / \phi N_n$ 0.77

$V_{ua} / \phi V_n$ 0.17

Pier Rebar Development Length (in) 41.64

Required Length of Development (in) 23.48

Flexure in Slab:

ϕM_n (ft-kips) 3052.1

M_u (ft-kips) 3028.9

a (in) 1.83

Steel Ratio 0.00834

β_1 0.825

Maximum Steel Ratio (ρ_t) 0.0197

Minimum Steel Ratio 0.0018

Condition	1 is OK, 0 Fails
Minimum Mat Width	1
Maximum Soil Bearing Pressure	1
Pier Area of Steel	1
Pier Shear	1
Two-Way Shear	1
Overturning	1
Anchor Bolt Pull-Out	1
Flexure	1
Steel Ratio	1
Interaction Diagram	1
One-Way Shear	1
Hook Development	1
Minimum Mat Depth	1
Anchor Bolt Punching Shear	1



1961 NORTHPOINT BLVD.
SUITE 130
HIKSON, TN 37343
PH: 423-643-9500
FAX: 423-643-9509

THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO THE CLIENT IS STRICTLY PROHIBITED.

DRAWN BY	TDD
CHECKED BY	SEH

REVISIONS	
#	DESCRIPTION
1	07/26/23 MJB ISSUED FOR ZONING
0	01/28/23 MJB ISSUED FOR ZONING
B	01/06/23 MJB ADDRESSES REVISED
A	12/05/22 MJB ZONING ISSUE

FOR REFERENCE



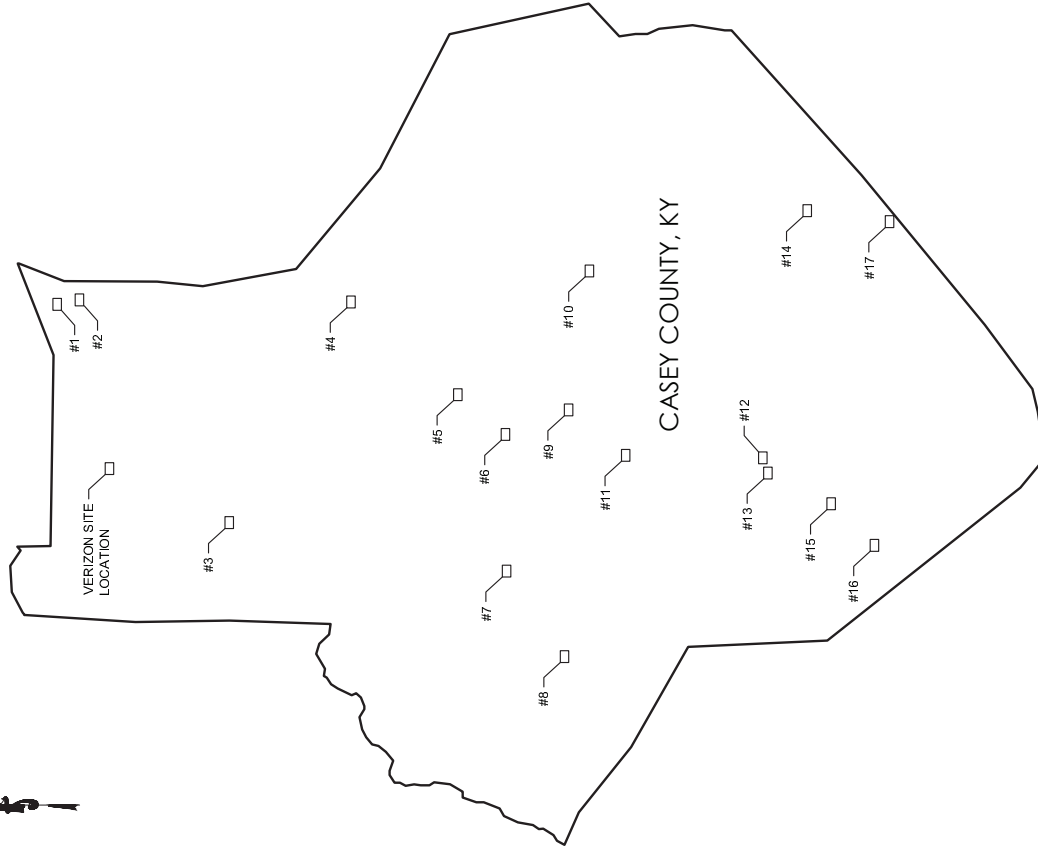
FILE ID :	16915436
SITE NAME :	LV HWY 243
SITE # / LOCATION CODE :	721755

SITE ADDRESS :	3180 WINNERS BRANCH RD GRAVEL SWITCH, KY 40268
SITE TYPE :	RAWLAND

SHEET TITLE :	COUNTY TOWER MAP
---------------	------------------

DRAWING # :	Z1
REVISION :	1

TOWER	OWNER	ASR	LATITUDE	LONGITUDE
#1.	EDUCATIONAL MEDIA FOUNDATION	1234122	37°31'27.30"N	84°52'11.80"W
#2.	KENTUCKY, COMMONWEALTH OF DBA = KY EMERGENCY WARNING SYSTEM KEYS	1044843	37°31'10.00"N	84°52'10.80"W
#3.	CITY SWITCH II, LLC	1312891	37°27'17.80"N	84°59'28.10"W
#4.	CCATT, LLC - CROWN CASTLE	1244845	37°24'48.40"N	84°52'12.50"W
#5.	GLOBAL TOWER, LLC, THROUGH AMERICAN TOWERS, LLC	1042417	37°21'23.00"N	84°55'13.00"W
#6.	COUNTY OF CASEY	1321883	37°20'7.60"N	84°56'32.40"W
#7.	CTI TOWERS ASSETS II, LLC	1313752	37°20'6.60"N	85°0'58.00"W
#8.	CNS MICROWAVE, LLC	1044720	37°18'36.00"N	85°3'45.00"W
#9.	CROWN CASTLE SOUTH LLC	1043347	37°18'35.10"N	84°55'42.50"W
#10.	EAST KENTUCKY POWER COOPERATIVE, INC.	1234155	37°17'54.80"N	84°51'11.50"W
#11.	CENTER INDEPENDENT SCHOOL DISTRICT	1264914	37°17'3.10"N	84°57'12.10"W
#12.	UNITY TOWERS	1310312	37°13'28.70"N	84°57'18.90"W
#13.	SBA TOWERS III LLC	1263784	37°13'22.20"N	84°57'39.50"W
#14.	GLOBAL TOWER, LLC, THROUGH AMERICAN TOWERS, LLC	1264776	37°12'15.80"N	84°49'13.10"W
#15.	HEMPHILL CORPORATION	1232541	37°11'39.30"N	84°58'48.80"W
#16.	CELCO PARTNERSHIP	1275314	37°10'31.00"N	85°0'11.50"W
#17.	KENTUCKY AUTHORITY FOR EDUCATIONAL TELEVISION DBA WKSO TV	1044043	37°10'3.00"N	84°49'30.00"W
#18.	PROPOSED VERIZON WIRELESS	TBD	37°30'33.53"N	84°57'23.05"W



CASEY COUNTY, KY



Notice of Proposed Construction or Alteration - Off Airport

[Add a New Case \(Off Airport\) - Desk Reference Guide V_2018.2.1](#)

[Add a New Case \(Off Airport\) for Wind Turbines - Met Towers \(with WT Farm\) - WT-Barge Crane - Desk Reference Guide V_2018.2.1](#)

Project Name: THE T-000845788-24	Sponsor: The Towers, LLC
---	---------------------------------

Details for Case : US-KY-5186 - Hwy 243

[Show Project Summary](#)

Case Status		Structure Summary	
ASN: 2024-ASO-4359-OE	Date Accepted: 02/22/2024	Structure Type: TOWER Antenna Tower	
Status: Accepted	Date Determined:	Structure Name: US-KY-5186 - Hwy 243	
	Letters: None	FDC NOTAM:	
Public Comments: None	Documents: 02/22/2024 US-KY-5186 1A.pdf	NOTAM Number:	
	Project Documents: None	FCC Number:	
Construction / Alteration Information		Prior ASN:	
Notice Of: Construction			
Duration: Permanent			
if Temporary : Months: Days:			
Work Schedule - Start:			
Work Schedule - End:			
<i>*For temporary cranes-Does the permanent structure require separate notice to the FAA? To find out, use the Notice Criteria Tool. If separate notice is required, please ensure it is filed. If it is not filed, please state the reason in the Description of Proposal.</i>			
State Filing:			
Structure Details		Proposed Frequency Bands	
Latitude: 37° 30' 33.53" N		Low Freq 6	High Freq 7
Longitude: 84° 57' 23.05" W		6	7
Horizontal Datum: NAD83		10	11.7
Site Elevation (SE): 1286 (nearest foot) PASSED		10	11.7
Structure Height (AGL): 310 (nearest foot)		17.7	19.7
Current Height (AGL): (nearest foot)		17.7	19.7
<i>* For notice of alteration or existing provide the current AGL height of the existing structure. Include details in the Description of Proposal</i>		21.2	23.6
Minimum Operating Height (AGL): (nearest foot)		21.2	23.6
<i>* For aeronautical study of a crane or construction equipment the maximum height should be listed above as the Structure Height (AGL). Additionally, provide the minimum operating height to avoid delays if impacts are identified that require negotiation to a reduced height. If the Structure Height and minimum operating height are the same enter the same value in both fields.</i>		614	698
Requested Marking/Lighting: Dual-red and medium intensity		614	698
Recommended Marking/Lighting: Other :		698	806
Current Marking/Lighting: N/A Proposed Structure		806	901
Nearest City: Gravel Switch		806	824
Nearest State: Kentucky		824	849
Description of Location: Minors Branch Road		851	866
Description of Proposal: New Site Build - MB		869	894
		896	901
		901	902
		929	932
		930	931
		931	932
		932	932.5
		935	940
		940	941
		1670	1675
		1710	1755
		1850	1910
		1850	1990
		1930	1990
		1990	2025
		2110	2200
		2305	2360
		2305	2310
		2345	2360
		2496	2690
		Low Freq 3700	High Freq 3980
		Freq Unit MHz	ERP 3280
			ERP Unit W

Previous [Back to Search Result](#) Next →

APPLICATION FOR PERMIT TO CONSTRUCT OR ALTER A STRUCTURE

JURISDICTION

602 KAR 50:030

Section 1. The commission has zoning jurisdiction over that airspace over and around the public use and military airports within the Commonwealth which lies above the imaginary surface that extends outward and upward at one (1) of the following slopes:

- (1) 100 to one (1) for a horizontal distance of 20,000 feet from the nearest point of the nearest runway of each public use airport and military airport with at least one (1) runway 3,200 feet or more in length; or
- (2) fifty (50) to one (1) for a horizontal distance of 10,000 feet from the nearest point of the nearest runway of each public use and military airport with its longest runway less than 3,200 feet in length.

Section 2. The commission has zoning jurisdiction over the use of land and structures within public use airports within the state.

Section 3. The commission has jurisdiction from the ground upward within the limits of the primary and approach surfaces of each public use airport and military airport as depicted on airport zoning maps approved by the Kentucky Airport Zoning Commission.

Section 4. The Commission has jurisdiction over the airspace of the Commonwealth that exceeds 200 feet in height above the ground.

Section 5. The owner or person who has control over a structure which penetrates or will penetrate the airspace over which the Commission has Jurisdiction shall apply for a permit from the Commission in accordance with 602 KAR 50:090.

INSTRUCTIONS

1. "Alteration" means to increase or decrease the height of a structure or change the obstruction marking and lighting.
2. "Applicant" means the person who will own or have control over the completed structure.
3. "Certification by Applicant" shall be made by the individual who will own or control the completed structure; or a partner in a partnership; or the president or authorized officer of a corporation company, or association; or the authorized official of a body politic; or the legally designated representative of a trustee, receiver, or assignee.
4. Prepare the application and forward to the Kentucky Dept. of Aviation, ATTN: Airport Zoning Commission, 90 Airport Drive, Frankfort KY 40601. For questions, telephone 502-782-4043.
5. The statutes applicable to the Kentucky Airport Commission are KRS 183.861 to 183.990 and the administrative regulations are 602 KAR Chapter 50.
6. When applicable, attach the following appendices to the application:

Appendix A. A 7.5 minute quadrangle topographical map prepared by the U.S. Geological Survey and the Kentucky Geological Survey with the exact location of the structure which is the subject of the application indicated thereon. (*The 7.5 minute quadrangle map may be obtained from the Kentucky Geological Survey, Department of Mines and Minerals, Lexington, KY 40506.*)

Appendix B. For structures on or very near to property of a public use airport, a copy of the airport layout drawing (ALP) with the exact location of the structure which is the subject of this application indicated thereon. (*The ALP may be obtained from the Chairperson of the local airport board or the Kentucky Airport Zoning Commission.*)

Appendix C. Copies of Federal Aviation Administration Applications (*FFA Form 7460-1*) or any orders issued by the manager, Air Traffic Division, FAA regional office.

Appendix D. If the applicant has indicated in item number 7 of the application that the structure will not be marked or lighted in accordance with the regulations of the Commission, the applicant shall attach a written request for a determination by the commission that the marking and lighting are not necessary. The applicant shall specifically state the reasons that the absence of marking and lighting will not impair the safety of air navigation.

Appendix E. The overall height in feet of the overhead transmission line or static wire above ground level or mean water level with span length 1,000 feet and over shall be depicted on a blueprint profile map.

PENALTIES

1. Persons failing to comply with the Airport Zoning Commission statutes and regulations are liable for a fine or imprisonment as set forth in KRS 183.990(3).
2. Applicants are cautioned: Noncompliance with Federal Aviation Administration Regulations may provide for further penalties.



KENTUCKY TRANSPORTATION CABINET
KENTUCKY AIRPORT ZONING COMMISSION

APPLICATION FOR PERMIT TO CONSTRUCT OR ALTER A STRUCTURE

APPLICANT (name) Vertical Bridge REIT, LLC		PHONE 561-406-4015	FAX	KY AERONAUTICAL STUDY #	
ADDRESS (street) 750 Park of Commerce Drive, Suite 200		CITY Boca Raton		STATE FL	ZIP 33487
APPLICANT'S REPRESENTATIVE (name) Gretchen Blanton		PHONE 704-472-0374	FAX		
ADDRESS (street) 750 Park of Commerce Drive, Suite 200		CITY Boca Raton		STATE FL	ZIP 33487
APPLICATION FOR <input checked="" type="checkbox"/> New Construction <input type="checkbox"/> Alteration <input type="checkbox"/> Existing				WORK SCHEDULE	
DURATION <input checked="" type="checkbox"/> Permanent <input type="checkbox"/> Temporary (months days)				Start End	
TYPE <input type="checkbox"/> Crane <input type="checkbox"/> Building <input checked="" type="checkbox"/> Antenna Tower <input type="checkbox"/> Power Line <input type="checkbox"/> Water Tank <input type="checkbox"/> Landfill <input type="checkbox"/> Other		MARKING/PAINTING/LIGHTING PREFERRED <input type="checkbox"/> Red Lights & Paint <input type="checkbox"/> White- medium intensity <input type="checkbox"/> White- high intensity <input checked="" type="checkbox"/> Dual- red & medium intensity white <input type="checkbox"/> Dual- red & high intensity white <input type="checkbox"/> Other			
LATITUDE 37°30'33.53"		LONGITUDE - 84°57'23.05"		DATUM <input checked="" type="checkbox"/> NAD83 <input type="checkbox"/> NAD27 <input type="checkbox"/> Other	
NEAREST KENTUCKY City Gravel Switch County Casey		NEAREST KENTUCKY PUBLIC USE OR MILITARY AIRPORT 2M0 Princeton-Caldwell County			
SITE ELEVATION (AMSL, feet) 1,286		TOTAL STRUCTURE HEIGHT (AGL, feet) 310		CURRENT (FAA aeronautical study #) 2024-ASO-4359-OE	
OVERALL HEIGHT (site elevation plus total structure height, feet) 1,596				PREVIOUS (FAA aeronautical study #)	
DISTANCE (from nearest Kentucky public use or Military airport to structure) 9.81 Nautical Miles				PREVIOUS (KY aeronautical study #)	
DIRECTION (from nearest Kentucky public use or Military airport to structure) SW					
DESCRIPTION OF LOCATION (Attach USGS 7.5 minute quadrangle map or an airport layout drawing with the precise site marked and any certified survey.) See attached					
DESCRIPTION OF PROPOSAL 310' AGL Self-Support Tower					
FAA Form 7460-1 (Has the "Notice of Construction or Alteration" been filed with the Federal Aviation Administration?) <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes					
CERTIFICATION (I hereby certify that all the above entries, made by me, are true, complete, and correct to the best of my knowledge and belief.)					
PENALTIES (Persons failing to comply with KRS 183.861 to 183.990 and 602 KAR 050 are liable for fines and/or imprisonment as set forth in KRS 183.990(3). Noncompliance with FAA regulations may result in further penalties.)					
NAME Gretchen Blanton	TITLE Project Manager	SIGNATURE <i>Gretchen Blanton</i>		DATE 03/01/2024	
COMMISSION ACTION <input type="checkbox"/> Chairperson, KAZC <input type="checkbox"/> Administrator, KAZC					
<input type="checkbox"/> Approved <input type="checkbox"/> Disapproved		SIGNATURE		DATE	

FAA 1-A SURVEY CERTIFICATION

Applicant: Verizon Wireless

Site Name: LV HWY 243

Location Code: 721755

Site Location: Minors Branch Road, Gravel Switch, KY 40328

Survey Type: GPS Survey

Horizontal Datum: NAD83

Vertical Datum: NAVD88

Benchmark: DH7217 KYCP CORS ARP

Structure Type: Proposed Tower

CENTER OF PROPOSED TOWER

		Decimal Degrees	Degrees Minutes Seconds
Latitude:	NORTH:	37.509314°	37° 30' 33.53"
Longitude:	WEST:	84.956403°	84° 57' 23.05"

ELEVATIONS:

Ground Elevation at Center 1,286.2 Feet AMSL (NAVD88)

CERTIFICATION

I certify that the coordinates specified above are accurate to within 20± feet horizontally and that the elevation(s) specified above are accurate to within 3± feet vertically. Horizontal Coordinates are in terms of the North American Datum of 1983 and are expressed as decimal degrees, to the nearest 10⁻⁶ degree (0.01 Seconds). Elevations are in terms of the North American Vertical Datum of 1988 (NAVD 88) and are determined to the nearest 0.1 foot. Horizontal Coordinates and Elevations established on site by means of a GPS survey.

Travis L. Shields
Kentucky P.L.S. #4246
5449 Highway #41, Jasper, TN 37347
(423) 304-6722



Date: November 03, 2022



DELTA OAKS GROUP

GEOTECHNICAL INVESTIGATION REPORT

February 14, 2024

Prepared For:

TeleCAD Wireless



**LV Hwy 243
Gravel Switch KY**

Proposed 300-Foot Self-Supporting Tower

+ - 3180 Minors Branch Road, Gravel Switch (Casey County), Kentucky 40328
Latitude N 37° 30' 33.53" Longitude W 84° 57' 23.05"

Delta Oaks Group Project GEO24-20675-08

Revision 0

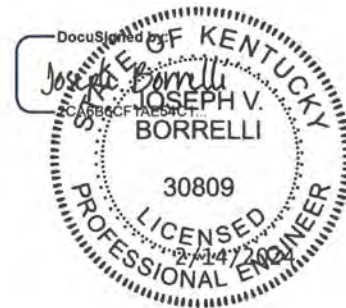
geotech@deltaoaksgroup.com

Performed By:

Sarah C. Russek, P.E.

Reviewed By:

Joseph V. Borrelli, Jr., P.E.





DELTA OAKS GROUP

INTRODUCTION

This geotechnical investigation report has been completed for the proposed 300-foot self-supporting tower located at +/- 3180 Minors Branch Road in Gravel Switch (Casey County), Kentucky. The purpose of this investigation was to provide engineering recommendations and subsurface condition data at the proposed tower location. A geotechnical engineering interpretation of the collected information was completed and utilized to suggest design parameters regarding the adequacy of the structure's proposed foundation capacity under various loading conditions. This report provides the scope of the geotechnical investigation; geologic material identification; results of the geotechnical laboratory testing; and design parameter recommendations for use in the design of the telecommunication facility's foundation and site development.

SITE CONDITION SUMMARY

The proposed tower and compound are located on a wooded hillside exhibiting a moderately steep sloping topography on the proposed access road and a gently sloping topography across the proposed tower compound.

REFERENCES

- Lease Exhibit Drawings, prepared by TeleCAD Wireless, dated November 14, 2022
- TIA Standard (TIA-222-G), dated August 2005

SUBSURFACE FIELD INVESTIGATION SUMMARY

The subsurface field investigation was conducted through the advancement of six mechanical soil test borings to the auger refusal depth of 6.5 feet bgs (B-1) and the termination depth of 10.5 feet bgs (B-5, B-6, B-7, B-8, B-9). Proposed borings B-2, B-3, and B-4 could not be performed due to the steepness of the terrain and the inability to level the drill rig at the proposed test locations. Samples were obtained at selected intervals in accordance with ASTM D 1586. B-1 sampling was conducted adjacent to the staked centerline of the proposed tower and the remaining borings were conducted along the proposed access road. Coring was unable to be performed at the proposed tower location. The driller was unable to transport the water required for coring operations to the test location due to the steepness of the terrain.

Soil samples were transported to our laboratory and classified by a geotechnical engineer in accordance with ASTM D 2487. A detailed breakdown of the material encountered in our subsurface field investigation can be found in the boring logs presented in the Appendix of this report. A boring plan portraying the spatial location of the borings in relation to the proposed tower, tower compound and immediate surrounding area can be found in the Appendix.



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SUBSURFACE CONDITION SUMMARY

The following provides a general overview of the site's subsurface conditions based on the data obtained during our field investigation.

FILL

Fill material was not encountered during the subsurface field investigation.

SOIL

The residual soil encountered in the subsurface field investigation began beneath existing topsoil in the borings and consisted of lean clay and silty sand. The materials ranged from a medium stiff to very stiff consistency and a dense to very dense relative density.

Auger advancement refusal was encountered during the subsurface field investigation at a depth of 6.5 feet bgs near the proposed tower location.

ROCK

Bedrock was not verified through coring; however, it is likely that auger refusal depth indicates the top of rock.

SUBSURFACE WATER

At the time of drilling, subsurface water was not encountered during the subsurface investigation. However, subsurface water elevations can fluctuate throughout the year due to variations in climate, hydraulic parameters, nearby construction activity and other factors.

FROST PENETRATION

The frost penetration depth for Casey County, Kentucky is 30 inches (2.5 feet).

CORROSIVITY

Soil resistivity was performed in accordance with ASTM G187 with a test result of 20,000 ohms-cm.



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FOUNDATION DESIGN SUMMARY

In consideration of the provided tower parameters and the determined soil characteristics, Delta Oaks Group recommends utilizing a shallow foundation or drilled shaft foundations for the proposed structure. The strength parameters presented in the following sections can be utilized for design of the foundation.

GENERAL SUBSURFACE STRENGTH PARAMETERS

Boring	Depth (bgs)	USCS	Moist/Buoyant Unit Weight (pcf)	Phi Angle (degrees)	Cohesion (psf)
B-1	0.0 - 4.0	CL	120	0	1,300
	4.0 - 7.0	SM	130	45	0

***Proposed borings B-2, B-3, and B-4 could not be performed due to the steepness of the terrain and the inability to level the drill rig at the proposed test locations.**

Boring	Depth (bgs)	USCS	Moist/Buoyant Unit Weight (pcf)	Phi Angle (degrees)	Cohesion (psf)
B-5	0.0 - 4.0	CL	120	0	800
	4.0 - 6.0	CL	115	0	700
	6.0 - 9.0	CL	120	0	1,300
	9.0 - 11.0	CL	120	0	2,300

Boring	Depth (bgs)	USCS	Moist/Buoyant Unit Weight (pcf)	Phi Angle (degrees)	Cohesion (psf)
B-6	0.0 - 4.0	CL	110	0	400
	4.0 - 6.0	CL	120	0	800
	6.0 - 9.0	CL	115	0	700
	9.0 - 11.0	SM	120	36	0

Boring	Depth (bgs)	USCS	Moist/Buoyant Unit Weight (pcf)	Phi Angle (degrees)	Cohesion (psf)
B-7	0.0 - 9.0	CL	120	0	900
	9.0 - 11.0	CL	120	0	1,800



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Boring	Depth (bgs)	USCS	Moist/Buoyant Unit Weight (pcf)	Phi Angle (degrees)	Cohesion (psf)
B-8	0.0 - 4.0	CL	115	0	600
	4.0 - 6.0	CL	120	0	800
	6.0 - 9.0	CL	120	0	1,000
	9.0 - 11.0	CL	120	0	800

Boring	Depth (bgs)	USCS	Moist/Buoyant Unit Weight (pcf)	Phi Angle (degrees)	Cohesion (psf)
B-9	0.0 - 4.0	CL	120	0	800
	4.0 - 6.0	CL	120	0	900
	6.0 - 9.0	CL	120	0	1,200
	9.0 - 11.0	CL	120	0	2,400

- The unit weight provided assumes overburden soil was compacted to a minimum of 95% of the maximum dry density as obtained by the standard Proctor method (ASTM D 698) and maintained a moisture content within 3 percent of optimum.
- The values provided for phi angle and cohesion should be considered ultimate.



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SUBSURFACE STRENGTH PARAMETERS – SHALLOW FOUNDATION

Boring	Dimensions (feet)	Depth (feet bgs)	Net Ultimate Bearing Capacity (psf)
B-1	5.0 x 5.0	3.0	8,980
		4.0	9,300
		Greater than 5.0	Greater than 30,000
	10.0 x 10.0	3.0	8,500
		4.0	8,660
		Greater than 5.0	Greater than 30,000
	15.0 x 15.0	3.0	8,340
		4.0	8,450
		Greater than 5.0	Greater than 30,000
	20.0 x 20.0	3.0	8,260
		4.0	8,340
		Greater than 5.0	Greater than 30,000
	25.0 x 25.0	3.0	8,210
		4.0	8,270
		Greater than 5.0	Greater than 30,000

- Delta Oaks Group recommends the foundation bear a minimum of 3.0 feet bgs.
- A sliding friction factor of 0.35 can be utilized along the base of the proposed foundation.
- An Ultimate Passive Pressure Table with a reduction due to frost penetration to a depth of 2.5 feet bgs is presented on the following page.
- Delta Oaks Group recommends an appropriate factor of safety be utilized for the design of the foundation.



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ULTIMATE PASSIVE PRESSURE VS. DEPTH - TOWER FOUNDATION

Soil Layers (feet)		Moist Unit Weight	Phi Angle	Cohesion	PV	K _p	P _h
Top	0.0	120	0	1,300	0.00	1.00	1300.00
Bottom	2.5	120	0	1,300	300.00	1.00	1450.00
Top	2.5	120	0	1,300	300.00	1.00	2900.00
Bottom	4.0	120	0	1,300	480.00	1.00	3080.00
Top	4.0	130	45	0	480.00	5.83	2797.65
Bottom	7.0	130	45	0	870.00	5.83	5070.73



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SUBSURFACE STRENGTH PARAMETERS - DRILLED SHAFT FOUNDATION

Boring	Depth (bgs)	Net Ultimate Bearing Capacity (psf)	Ultimate Skin Friction - Compression (psf)	Ultimate Skin Friction - Uplift (psf)
B-1	0.0 - 3.0	--	--	--
	3.0 - 4.0	14,080	710	710
	4.0 - 7.0	15,560	770	580

- The top 3.0 feet of soil should be ignored due to frost penetration and the potential soil disturbance during construction.
- The values presented assume the concrete is cast-in-place against earth walls and any casing utilized during construction of the foundation was removed.
- Delta Oaks Group recommends an appropriate factor of safety be utilized for the design of the foundation.



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CONSTRUCTION

SITE DEVELOPMENT

The proposed access road and tower compound should be evaluated by a Geotechnical Engineer, or their representative, after the removal or "cutting" of the areas to design elevation but prior to the placement of any structural fill material to verify the presence of unsuitable or weak material. Unsuitable or weak materials should be undercut to a suitable base material as determined by a Geotechnical Engineer, or their representative. Backfill of any undercut area(s) should be conducted in accordance with the recommendations provided in the *STRUCTURAL FILL PLACEMENT* section of this report.

Excavations should be sloped or shored in accordance and compliance with OSHA 29 CFR Part 1926, Excavation Trench Safety Standards as well as any additional local, state and federal regulations.

STRUCTURAL FILL PLACEMENT

Structural fill materials should be verified, prior to utilization, to have a minimum unit weight of 110 pcf (pounds per cubic foot) when compacted to a minimum of 95% of its maximum dry density and within plus or minus 3 percentage points of optimum moisture. Materials utilized should not contain more than 5 percent by weight of organic matter, waste, debris, or any otherwise deleterious materials. The Liquid Limit should be no greater than 40 with a Plasticity Index no greater than 20. Structural fill material should contain a maximum particle size of 4 inches with 20 percent or less of the material having a particle size between 2 and 4 inches. Backfill should be placed in thin horizontal lifts not to exceed 8 inches (loose) in large grading areas and 4 inches (loose) where small handheld or walk-behind compaction equipment will be utilized. The potential suitability of on-site materials to be utilized as fill should be evaluated by a Geotechnical Engineer, or their representative just prior to construction.

During construction structural fill placement should be monitored and tested. This should include, at minimum, visual observation as well as a sufficient amount of in-place field density tests by a Geotechnical Engineer, or their representative. Materials should be compacted to a minimum of 95% of the maximum dry density as determined by ASTM D 698 (standard Proctor method). Moisture contents should be maintained to within plus or minus 3 percentage points of the optimum moisture content.

SHALLOW FOUNDATIONS

Foundation excavation(s) should be evaluated by a Geotechnical Engineer, or their representative, prior to reinforcing steel and concrete placement. This evaluation should include visual observation to verify a level bearing surface; vertical sidewalls with no protrusions, sloughing or caving; and the exposed bearing surface is free of deleterious material, loose soil and standing water. Excavation dimensions should be verified, and testing performed on the exposed bearing surface to verify compliance with design recommendations. Bearing testing should be conducted in accordance with ASTM STP399 (Dynamic Cone Penetrometer). A 6-inch layer of compacted crushed stone should be installed prior to reinforcing steel and concrete placement. If subsurface water is encountered during excavation dewatering methods such as sump pumps or well points may be required.



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DRILLED SHAFT FOUNDATIONS

Drilled shaft foundations (caissons) are typically installed utilizing an earth auger to reach the design depth of the foundation. Specialized roller bits or core bits can be utilized to penetrate boulders or rock. The equipment utilized should have cutting teeth to result in an excavation with little or no soil smeared or caked on the excavation sides with spiral-like corrugated walls. The drilled shaft design diameter should be maintained throughout the excavation with a plumbness tolerance of 2 percent of the length and an eccentricity tolerance of 3 inches from plan location. A removable steel casing can be installed in the shaft to prevent caving of the excavation sides due to soil relaxation. Upon completion of the drilling and casing placement, loose soils, and subsurface water greater than 3-inches in depth should be removed from the bottom of the excavation for the "dry" installation method. The drilled shaft installation should be evaluated by a Geotechnical Engineer, or their representative, to verify suitable end bearing conditions, design diameter and bottom cleanliness. The evaluation should be conducted immediately prior to as well as during concrete placement operations.

The drilled shaft should be concreted as soon as reasonably practical after excavation to reduce the deterioration of the supporting soils to prevent potential caving and water intrusion. A concrete mix design with a slump of 6 to 8 inches employed in conjunction with the design concrete compressive strength should be utilized for placement. Super plasticizer may be required to obtain the recommended slump range. During placement, the concrete may fall freely through the open area in the reinforcing steel cage provided it does not strike the reinforcing steel and/or the casing prior to reaching the bottom of the excavation. The removable steel casing should be extracted as concrete is placed. During steel casing removal a head of concrete should be maintained above the bottom of the casing to prevent soil and water intrusion into the concrete below the bottom of the casing.

If subsurface water is anticipated and/or weak soil layers are encountered drilled shafts are typically installed utilizing the "wet" method by excavating beneath a drilling mud slurry. The drilling mud slurry is added to the drilled shaft excavation after groundwater has been encountered and/or the sides of the excavation are observed to be caving or sloughing. Additional inspection by a Geotechnical Engineer, or their representative, during the "wet" method should consist of verifying maintenance of sufficient slurry head, monitoring the specific gravity, pH and sand content of the drilling slurry, and monitoring any changes in the depth of the excavation between initial approval and just prior to concreting.

Concrete placement utilizing the "wet" method is conducted through a tremie pipe at the bottom of the excavation with the drilling mud slurry level maintained at a minimum of 5 feet or one shaft diameter, whichever is greater, above the ground water elevation. The bottom of the tremie should be set one tremie pipe diameter above the excavation. A closure flap at the bottom of the tremie or a sliding plug introduced into the tremie before the concrete is recommended to reduce the potential contamination of the concrete by the drilling mud slurry. The bottom of the tremie must be maintained in the concrete during placement. Additional concrete should be placed through the tremie causing the slurry to overflow from the excavation in order to reduce the potential for the development of "slurry pockets" remaining in the drilled shaft.



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QUALIFICATIONS

The design parameters and conclusions provided in this report have been determined in accordance with generally accepted geotechnical engineering practices and are considered applicable to a rational degree of engineering certainty based on the data available at the time of report preparation and our practice in this geographic region. All recommendations and supporting calculations were prepared based on the data available at the time of report preparation and knowledge of typical geotechnical parameters in the applicable geographic region.

The subsurface conditions used in the determination of the design recommendations contained in this report are based on interpretation of subsurface data obtained at specific boring locations. Irrespective of the thoroughness of the subsurface investigation, the potential exists that conditions between borings will differ from those at the specific boring locations, that conditions are not as anticipated during the original analysis, or that the construction process has altered the soil conditions. That potential is significantly increased in locations where existing fill materials are encountered. Additionally, the nature and extent of these variations may not be evident until the commencement of construction. Therefore, a geotechnical engineer, or their representative, should observe construction practices to confirm that the site conditions do not differ from those conditions anticipated in design. If such variations are encountered, Delta Oaks Group should be contacted immediately in order to provide revisions and/or additional site exploration as necessary.

Samples obtained during our subsurface field investigation will be retained by Delta Oaks Group for a period of 30 days unless otherwise instructed by TeleCAD Wireless. No warranty, expressed or implied, is presented.

Delta Oaks Group appreciates the opportunity to be of service for this Geotechnical Investigation Report. Please do not hesitate to contact Delta Oaks Group with any questions or should you require additional service on this project.



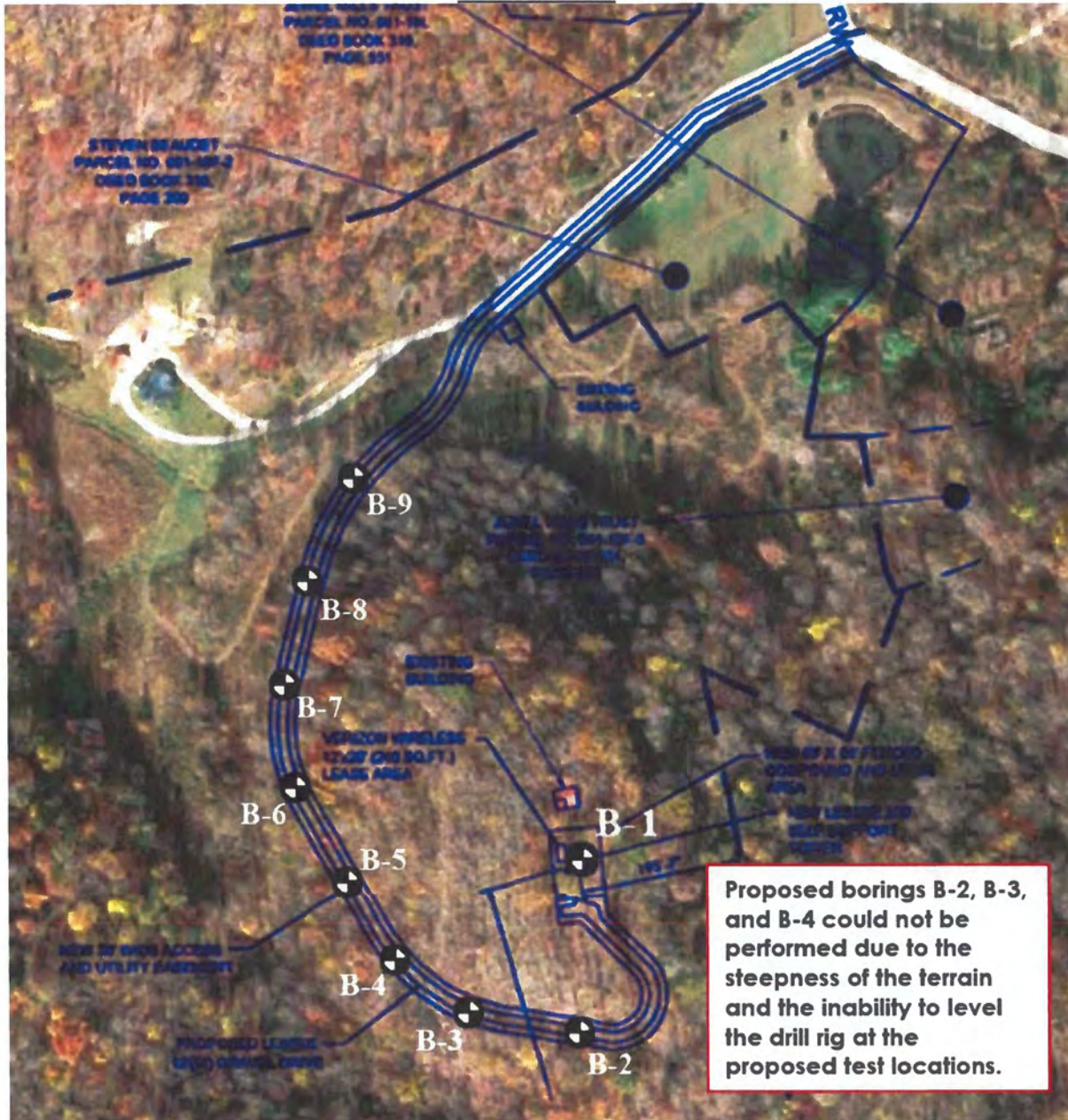
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APPENDIX



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BORING PLAN



DIRECTIONS TO SITE

DIRECTIONS FROM CASEY COUNTY COURTHOUSE 231 COURTHOUSE SQ, LIBERTY, KY 42539: HEAD SOUTH ON COURTHOUSE SQ TOWARD PETTYJOHN ST. TURN LEFT TO STAY ON COURTHOUSE SQ ROAD NAME CHANGES TO KY-49 / HUSTONVILLE ST (11.3 MI). TURN RIGHT ONTO KY-78 / KY 78 (4.1 MI). TURN LEFT ONTO KY-243 / LITTLE SOUTH RD (2.1 MI). TURN RIGHT ONTO MAXEY VALLEY RD (0.6 MI). TURN LEFT ONTO MINORS BRANCH RD (0.9 MI) ARRIVE AT MINORS BRANCH RD, THE LAST INTERSECTION BEFORE YOUR DESTINATION IS MAXEY VALLEY RD IF YOU REACH ELK CAVE RD, YOU'VE GONE TOO FAR.

BY: TELECAD WIRELESS, 423-843-9500

LAND LEASE AGREEMENT

This Land Lease Agreement (the "Agreement") made this 5th day of April, 2013, between Peter and Angela Primiano, Husband and Wife and both Kentucky residents with a mailing address of 3180 Minors Branch Road, Gravel Switch, Kentucky 40328, hereinafter collectively designated LESSOR and Rural Cellular Corporation d/b/a Verizon Wireless with its principal offices at One Verizon Way, Mail Stop 4AW100, Basking Ridge, New Jersey 07920 (telephone number 866-862-4404), hereinafter designated LESSEE. LESSOR and LESSEE are at times collectively referred to hereinafter as the "Parties" or individually as the "Party."

WITNESSETH

In consideration of the mutual covenants contained herein and intending to be legally bound hereby, the Parties hereto agree as follows:

1. **GRANT.** In accordance with this Agreement, LESSOR hereby grants to LESSEE the right to install, maintain and operate a telecommunications tower, facility, and equipment ("Use") upon the Premises (as hereinafter defined), which are a part of that real property owned, leased or controlled by LESSOR at approximately 3180 Minors Branch Road, Gravel Switch, Kentucky 40328 (the "Property"). The Property is legally described on Exhibit "A" attached hereto and made a part hereof. The Premises are a portion of the Property including a portion of the parcel of land space (the "Land Space") consisting of approximately 60' x 85', or 5,100 square feet of land, as shown in detail on Exhibit "B" attached hereto and made a part hereof. LESSOR hereby grants permission to LESSEE to install, maintain and operate the telecommunications tower, facility, and equipment, antennas and appurtenances described in Exhibit "B" attached hereto. LESSEE reserves the right to replace the aforementioned equipment with similar and comparable equipment. In addition, LESSOR hereby grants to LESSEE a non-exclusive right (the "Easements") over the Property for access, ingress and egress, seven (7) days a week twenty-four (24) hours a day, on foot or motor vehicle, including trucks over or along a thirty foot (30') wide right-of-way extending from the nearest public right-of-way, Minors Branch Road, to the Land Space, and for the installation and maintenance of utility wires, poles, cables, conduits, fiber, and pipes over, under, or along one or more rights of way from the Land Space, said Land Space and Rights of Way (hereinafter collectively referred to as the "Premises") being substantially as described herein in Exhibit "B" attached hereto and made a part hereof. The Property is also shown on the Tax Map of the City of Gravel Switch, as Tax Map ID Number 061-19F.

In the event any public utility is unable to use the Easements, the LESSOR hereby agrees to grant an additional right-of-way either to the LESSEE or to the public utility at no cost to the LESSEE.

LESSEE may survey the Premises and said survey shall then become Exhibit "C" which shall be attached hereto and made a part hereof, and shall control in the event of boundary and access discrepancies between it and Exhibit "B". Cost for such work shall be borne by the LESSEE.

2. **INITIAL TERM.** This Agreement shall be effective as of the date of execution by both Parties ("Effective Date"). The initial term of the Agreement shall be for five (5) years beginning on the Commencement Date (as hereinafter defined). The "Commencement Date" shall be the first (1st) day of the month after LESSEE begins construction of the telecommunications facility. LESSOR and LESSEE agree

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that they shall acknowledge, in writing, the Commencement Date once construction of the telecommunications facility has commenced.

3. EXTENSIONS. This Agreement shall automatically be extended for 4 additional five (5) year terms unless LESSEE terminates it at the end of the then current term by giving LESSOR written notice of the intent to terminate at least three (3) months prior to the end of the then current term. The initial term and all extensions shall be collectively referred to herein as the "Term".

4. RENTAL.

(a). Rental payments shall begin on the Commencement Date and be due at a total annual rental

on the first (1st) day of the

month, in advance, to LESSOR at 3180 Minors Branch Road, Gravel Switch, Kentucky 40328 or to such other person, firm, or place as LESSOR may, from time to time, designate in writing at least 30 days in advance of any rental payment date by notice given in accordance with Paragraph 20 below. LESSOR and LESSEE acknowledge and agree that the initial rental payment shall not be delivered by LESSEE until 60 days after the Commencement Date. Upon agreement of the Parties, LESSEE may pay rent by electronic funds transfer and in such event, LESSOR agrees to provide to LESSEE bank routing information for such purpose upon request of LESSEE.

(b). For any party to whom rental payments are to be made, LESSOR or any successor in interest of LESSOR hereby agrees to provide to LESSEE (i) a completed, current version of Internal Revenue Service Form W-9, or equivalent; (ii) complete and fully executed state and local withholding forms if required; and (iii) other documentation to verify LESSOR's or such other party's right to receive rental as is reasonably requested by LESSEE. Rental shall accrue in accordance with this Agreement, but LESSEE shall have no obligation to deliver rental payments until the requested documentation has been received by LESSEE. Upon receipt of the requested documentation, LESSEE shall deliver the accrued rental payments as directed by LESSOR.

(c). The rental amount shall increase by ten percent (10%) at the beginning of each 5 year renewal term from the Commencement Date, as defined herein.

(d). ADDITIONAL EXTENSIONS. If at the end of the fourth (4th) five (5) year extension term this Agreement has not been terminated by either Party by giving to the other written notice of an intention to terminate it at least three (3) months prior to the end of such term, this Agreement shall continue in force upon the same covenants, terms and conditions for a further term of five (5) years and for five (5) year terms thereafter until terminated by either Party by giving to the other written notice of its intention to so terminate at least three (3) months prior to the end of such term. Annual rental for each such additional five (5) year term shall be equal to the annual rental payable with respect to the immediately preceding five (5) year term. The initial term and all extensions shall be collectively referred to herein as the "Term".

5. ACCESS. LESSEE shall have the non-exclusive right of ingress and egress from a public right-of-way, 7 days a week, 24 hours a day, over the Property to and from the Premises for the purpose of installation, operation and maintenance of LESSEE's communications equipment over or along a thirty foot (30') right-of-way ("Easement"), which shall be depicted on Exhibit "B". LESSEE may use the Easement for the installation, operation and maintenance of wires, cables,

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conduits and pipes for all necessary electrical, telephone, fiber and other similar support services. In the event it is necessary, LESSOR agrees to grant LESSEE or the provider the right to install such services on, through, over and/or under the Property, provided the location of such services shall be reasonably approved by LESSOR. Notwithstanding anything to the contrary, the Premises shall include such additional space sufficient for LESSEE's radio frequency signage and/or barricades as are necessary to ensure LESSEE's compliance with Laws (as defined in Paragraph 27).

6. CONDITION OF PROPERTY. LESSOR shall deliver the Premises to LESSEE in a condition ready for LESSEE's Use and clean and free of debris. Notwithstanding the foregoing, LESSEE shall be responsible for any tree clearing/site preparation associated with the Land Space and/or Easement areas. LESSOR represents and warrants to LESSEE that as of the Effective Date, the Premises is (a) in compliance with all Laws; and (b) in compliance with all EH&S Laws (as defined in Paragraph 24).

7. IMPROVEMENTS. The communications equipment including, without limitation, the tower, equipment shelters/platforms, antenna mounts, antennas, conduits, and other improvements shall be at LESSEE's expense and installation shall be at the discretion and option of LESSEE. LESSEE shall have the right to replace, repair, add or otherwise modify its communications equipment, antennas, conduits, fencing and other screening, or other improvements or any portion thereof and the frequencies over which the communications equipment operates, whether or not any of the communications equipment, antennas, conduits or other improvements are listed on any exhibit.

8. GOVERNMENT APPROVALS. LESSEE's Use is contingent upon LESSEE obtaining all of the certificates, permits and other approvals (collectively the "Government Approvals") that may be required by any Federal, State or Local authorities (collectively, the "Government Entities") as well as a satisfactory soil boring test, environmental studies, or any other due diligence LESSEE chooses that will permit LESSEE's Use. By signing this Agreement, LESSOR consents to LESSEE making all necessary applications with the appropriate zoning authority and shall cooperate with LESSEE in its effort to obtain such approvals. LESSOR shall take no action which would adversely affect the status of the Property with respect to LESSEE's Use.

9. TERMINATION. LESSEE may, unless otherwise stated, immediately terminate this Agreement upon written notice to LESSOR in the event that (i) any applications for such Government Approvals should be finally rejected; (ii) any Government Approval issued to LESSEE is canceled, expires, lapses or is otherwise withdrawn or terminated by any Government Entity; (iii) LESSEE determines that such Government Approvals may not be obtained in a timely manner; (iv) LESSEE determines any structural analysis is unsatisfactory; (v) LESSEE, in its sole discretion, determines the Use of the Premises is obsolete or unnecessary; (vi) with 3 months prior notice to LESSOR, upon the annual anniversary of the Commencement Date; or (vii) at any time before the Commencement Date for any reason or no reason in LESSEE's sole discretion.

10. INDEMNIFICATION. Subject to Paragraphs 11 and 12, each Party shall indemnify and hold the other harmless against any claim of liability or loss from personal injury or property damage resulting from or arising out of the negligence or willful misconduct of the indemnifying Party, its employees, contractors or agents, except to the extent such claims or damages may be due to or caused by the negligence or willful misconduct of the other Party, or its employees, contractors or agents. The indemnified Party will provide the indemnifying Party with prompt, written notice

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of any claim covered by this indemnification; provided that any failure of the indemnified Party to provide any such notice, or to provide it promptly, shall not relieve the indemnifying Party from its indemnification obligation in respect of such claim, except to the extent the indemnifying Party can establish actual prejudice and direct damages as a result thereof. The indemnified Party will cooperate appropriately with the indemnifying Party in connection with the indemnifying Party's defense of such claim. The indemnifying Party shall defend any indemnified Party, at the indemnified Party's request, against any claim with counsel reasonably satisfactory to the indemnified Party. The indemnifying Party shall not settle or compromise any such claim or consent to the entry of any judgment without the prior written consent of each indemnified Party and without an unconditional release of all claims by each claimant or plaintiff in favor of each indemnified Party.

11. INSURANCE. The LESSOR agrees that at its own cost and expense, LESSOR will maintain commercial liability insurance with limits not less than \$1,000,000 for injury to or death of one or more persons in any one occurrence and \$1,000,000 for damage or destruction in any one occurrence. The LESSEE agrees that at its own cost and expense, it will maintain commercial general liability insurance with limits not less than \$2,000,000 for injury to or death of one or more persons in any one occurrence and \$2,000,000 for damage or destruction in any one occurrence. The Parties agree to include the other Party as an additional insured. The Parties hereby waive and release any and all rights of action for negligence against the other which may hereafter arise on account of damage to the Premises or the Property, resulting from any fire, or other casualty which is insurable under "Causes of Loss – Special Form" property damage insurance or for the kind covered by standard fire insurance policies with extended coverage, regardless of whether or not, or in what amounts, such insurance is now or hereafter carried by the Parties, even if any such fire or other casualty shall have been caused by the fault or negligence of the other Party. These waivers and releases shall apply between the Parties and they shall also apply to any claims under or through either Party as a result of any asserted right of subrogation. All such policies of insurance obtained by either Party concerning the Premises or the Property shall waive the insurer's right of subrogation against the other Party.

12. LIMITATION OF LIABILITY. Except for indemnification pursuant to Paragraphs 10 and 24, a violation of Paragraph 30, or a violation of law, neither Party shall be liable to the other, or any of their respective agents, representatives, or employees for any lost revenue, lost profits, loss of technology, rights or services, incidental, punitive, indirect, special or consequential damages, loss of data, or interruption or loss of use of service, even if advised of the possibility of such damages, whether under theory of contract, tort (including negligence), strict liability or otherwise.

13. INTERFERENCE.

(a). LESSOR agrees that LESSOR and other occupants of the Property will not cause interference to LESSEE's equipment (that is measurable in accordance with industry standards to the then existing equipment of LESSEE).

(b). Without limiting any other rights or remedies, if interference occurs and continues for a period in excess of 48 hours following notice to the interfering party via telephone to LESSEE'S Network Operations Center (at (800) 224-6620/(800) 621-2622) or to LESSOR at (859) 209-1924, the interfering party shall or shall require any other user to reduce power or cease operations of the interfering equipment until the interference is cured.

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Atty: Coots Henke & Wheeler, P.C : Daniel E. Coots

(c). The Parties acknowledge that there will not be an adequate remedy at law for noncompliance with the provisions of this Paragraph and therefore the Parties shall have the right to equitable remedies such as, without limitation, injunctive relief and specific performance.

14. REMOVAL AT END OF TERM. Upon expiration or within ninety (90) days of earlier termination, LESSEE shall remove LESSEE's Communications Equipment (except footings) and restore the Premises to its original condition, reasonable wear and tear and casualty damage excepted. LESSOR agrees and acknowledges that the communications equipment shall remain the personal property of LESSEE and LESSEE shall have the right to remove the same at any time during the Term, whether or not said items are considered fixtures and attachments to real property under applicable laws. If such time for removal causes LESSEE to remain on the Premises after termination of the Agreement, LESSEE shall pay rent at the then existing monthly rate or on the existing monthly pro-rata basis if based upon a longer payment term, until the removal of the communications equipment is completed.

15. HOLDOVER. If upon expiration of the Term the Parties are negotiating a new lease or a lease extension, then this Agreement shall continue during such negotiations on a month to month basis at the rental in effect as of the date of the expiration of the Term. In the event that the Parties are not in the process of negotiating a new lease or lease extension and LESSEE holds over after the expiration or earlier termination of the Term, then LESSEE shall pay rent at the then existing monthly rate or on the existing monthly pro-rata basis if based upon a longer payment term, until the removal of the communications equipment is completed.

16. RIGHT OF FIRST REFUSAL. If at any time after the Effective Date, LESSOR receives an offer or letter of intent from any person or entity that is in the business of owning, managing or operating communications facilities or is in the business of acquiring landlord interests in agreements relating to communications facilities, to purchase fee title, an easement, a lease, a license, or any other interest in the Premises or any portion thereof or to acquire any interest in this Agreement, or an option for any of the foregoing, LESSOR shall provide written notice to LESSEE of said offer ("LESSOR's Notice"). LESSOR's Notice shall include the prospective buyer's name, the purchase price being offered, any other consideration being offered, the other terms and conditions of the offer, a description of the portion of and interest in the Premises and/or this Agreement which will be conveyed in the proposed transaction, and a copy of any letters of intent or form agreements presented to LESSOR by the third party offeror. LESSEE shall have the right of first refusal to meet any bona fide offer of sale or transfer on the terms and conditions of such offer or by effectuating a transaction with substantially equivalent financial terms. If LESSEE fails to provide written notice to LESSOR that LESSEE intends to meet such bona fide offer within thirty (30) days after receipt of LESSOR's Notice, LESSOR may proceed with the proposed transaction in accordance with the terms and conditions of such third party offer, in which event this Agreement shall continue in full force and effect and the right of first refusal described in this Paragraph shall survive any such conveyance to a third party. If LESSEE provides LESSOR with notice of LESSEE's intention to meet the third party offer within thirty (30) days after receipt of LESSOR's Notice, then if LESSOR's Notice describes a transaction involving greater space than the Premises, LESSEE may elect to proceed with a transaction covering only the Premises and the purchase price shall be pro-rated on a square footage basis. Further, LESSOR acknowledges and agrees that if LESSEE exercises this right of first refusal, LESSEE may require a reasonable period of time to conduct due diligence and effectuate the closing of a transaction on substantially equivalent financial terms of

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the third party offer. For purposes of this Paragraph, any transfer, bequest or devise of LESSOR's interest in the Property as a result of the death of LESSOR, whether by will or intestate succession, or any conveyance to LESSOR's family members by direct conveyance or by conveyance to a trust for the benefit of family members shall not be considered a sale for which LESSEE has any right of first refusal.

17. RIGHTS UPON SALE. Should LESSOR, at any time during the Term, decide (i) to sell or otherwise transfer all or any part of the Property, or (ii) to grant to a third party by easement or other legal instrument an interest in and to any portion of the Premises, such sale, transfer, or grant of an easement or interest therein shall be under and subject to this Agreement and any such purchaser or transferee shall recognize LESSEE's rights hereunder. In the event that LESSOR completes any such sale, transfer, or grant described in this Paragraph without executing an assignment of the Agreement whereby the third party agrees in writing to assume all obligations of LESSOR under this Agreement, then LESSOR shall not be released from its obligations to LESSEE under this Agreement, and LESSEE shall have the right to look to LESSOR and the third party for the full performance of the Agreement.

18. LESSOR'S TITLE LESSOR covenants that LESSEE, on paying the rent and performing the covenants herein, shall peaceably and quietly have, hold and enjoy the Premises. LESSOR represents and warrants to LESSEE as of the Effective Date and covenants during the Term that LESSOR has full authority to enter into and execute this Agreement and that there are no liens, judgments, covenants, easements, restrictions or other impediments of title that will adversely affect LESSEE's Use.

19. ASSIGNMENT. Without any approval or consent of the other Party, this Agreement may be sold, assigned or transferred by either Party to (i) any entity in which the Party directly or indirectly holds an equity or similar interest; (ii) any entity which directly or indirectly holds an equity or similar interest in the Party; or (iii) any entity directly or indirectly under common control with the Party. LESSEE may unilaterally assign this Agreement without the approval or consent of LESSOR to any third party tower company that agrees to construct and develop the Premises. LESSEE may also assign this Agreement to any entity which acquires all or substantially all of LESSEE's assets in the market defined by the FCC in which the Property is located by reason of a merger, acquisition or other business reorganization without approval or consent of LESSOR. As to other parties, this Agreement may not be sold, assigned or transferred without the written consent of the other Party, which such consent will not be unreasonably withheld, delayed or conditioned. No change of stock ownership, partnership interest or control of LESSEE or transfer upon partnership or corporate dissolution of either Party shall constitute an assignment hereunder. LESSEE may sublet the Premises in LESSEE's sole discretion.

20. NOTICES. Except for notices permitted via telephone in accordance with Paragraph 13, all notices hereunder must be in writing and shall be deemed validly given if sent by certified mail, return receipt requested or by commercial courier, provided the courier's regular business is delivery service and provided further that it guarantees delivery to the addressee by the end of the next business day following the courier's receipt from the sender, addressed as follows (or any other address that the Party to be notified may have designated to the sender by like notice):

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LESSOR: Peter and Angela Primiano
3180 Minors Branch Road
Gravel Switch, Kentucky 40328

LESSEE: Rural Cellular Corporation
d/b/a Verizon Wireless
180 Washington Valley Road
Bedminster, New Jersey 07921
Attention: Network Real Estate

Notice shall be effective upon actual receipt or refusal as shown on the receipt obtained pursuant to the foregoing.

21. SUBORDINATION AND NON-DISTURBANCE. If applicable and within fifteen (15) days of the Effective Date, LESSOR shall obtain a Non-Disturbance Agreement, as defined below, from its existing mortgagee(s), ground lessors and master lessors, if any, of the Property. At LESSOR's option, this Agreement shall be subordinate to any future master lease, ground lease, mortgage, deed of trust or other security interest (a "Mortgage") by LESSOR which from time to time may encumber all or part of the Property; provided, however, as a condition precedent to LESSEE being required to subordinate its interest in this Agreement to any future Mortgage covering the Property, LESSOR shall obtain for LESSEE's benefit a non-disturbance and attornment agreement for LESSEE's benefit in the form reasonably satisfactory to LESSEE, and containing the terms described below (the "Non-Disturbance Agreement"), and shall recognize LESSEE's rights under this Agreement. The Non-Disturbance Agreement shall include the encumbering party's ("Lender's") agreement that, if Lender or its successor-in-interest or any purchaser of Lender's or its successor's interest (a "Purchaser") acquires an ownership interest in the Property, Lender or such successor-in-interest or Purchaser will honor all of the terms of the Agreement. Such Non-Disturbance Agreement must be binding on all of Lender's participants in the subject loan (if any) and on all successors and assigns of Lender and/or its participants and on all Purchasers. In return for such Non-Disturbance Agreement, LESSEE will execute an agreement for Lender's benefit in which LESSEE (1) confirms that the Agreement is subordinate to the Mortgage or other real property interest in favor of Lender, (2) agrees to attorn to Lender if Lender becomes the owner of the Property and (3) agrees to accept a cure by Lender of any of LESSOR's defaults, provided such cure is completed within the deadline applicable to LESSOR. In the event LESSOR defaults in the payment and/or other performance of any mortgage or other real property interest encumbering the Property, LESSEE, may, at its sole option and without obligation, cure or correct LESSOR's default and upon doing so, LESSEE shall be subrogated to any and all rights, titles, liens and equities of the holders of such mortgage or other real property interest and LESSEE shall be entitled to deduct and setoff against all rents that may otherwise become due under this Agreement the sums paid by LESSEE to cure or correct such defaults.

22. DEFAULT. It is a "Default" if (i) either Party fails to comply with this Agreement and does not remedy the failure within thirty (30) days after written notice by the other Party or, if the failure cannot reasonably be remedied in such time, if the failing Party does not commence a remedy within the allotted thirty (30) days and diligently pursue the cure to completion within ninety (90) days after the initial written notice, or (ii) LESSOR fails to comply with this Agreement

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and the failure substantially interferes with LESSEE's Use, in LESSEE's reasonable discretion, and LESSOR does not remedy the failure within five (5) days after written notice from LESSEE or, if the failure cannot reasonably be remedied in such time, if LESSOR does not commence a remedy within the allotted five (5) days and diligently pursue the cure to completion within fifteen (15) days after the initial written notice. *The cure periods set forth in this Paragraph 22 do not extend the period of time in which either Party has to cure interference pursuant to Paragraph 13 of this Agreement.*

23. REMEDIES. In the event of a Default, without limiting the non-defaulting Party in the exercise of any right or remedy which the non-defaulting Party may have by reason of such default, the non-defaulting Party may terminate this Agreement and/or pursue any remedy now or hereafter available to the non-defaulting Party under the Laws or judicial decisions of the state in which the Property is located. Further, upon a Default, the non-defaulting Party may at its option (but without obligation to do so), perform the defaulting Party's duty or obligation. The costs and expenses of any such performance by the non-defaulting Party shall be due and payable by the defaulting Party upon invoice therefor. If LESSEE undertakes any such performance on LESSOR's behalf and LESSOR does not pay LESSEE the full undisputed amount within thirty (30) days of its receipt of an invoice setting forth the amount due, LESSEE may offset the full undisputed amount due against all fees due and owing to LESSOR under this Agreement until the full undisputed amount is fully reimbursed to LESSEE.

24. ENVIRONMENTAL. LESSEE shall conduct its business in compliance with all applicable laws governing the protection of the environment or employee health and safety ("EH&S Laws"). LESSEE shall indemnify and hold harmless the LESSOR from claims to the extent resulting from LESSEE's violation of any applicable EH&S Laws or to the extent that LESSEE causes a release of any regulated substance to the environment. LESSOR shall indemnify and hold harmless LESSEE from all claims resulting from the violation of any applicable EH&S Laws by LESSOR or its employees, contractors or agents, or a release of any regulated substance to the environment caused by LESSOR, its employees, contractors or agents, except to the extent resulting from the activities of LESSEE. The Parties recognize that LESSEE is only leasing a small portion of LESSOR's property and that LESSEE shall not be responsible for any environmental condition or issue except to the extent resulting from LESSEE's specific activities and responsibilities. In the event that LESSEE encounters any hazardous substances that do not result from its activities, LESSEE may relocate its facilities to avoid such hazardous substances to a mutually agreeable location or, if LESSEE desires to remove at its own cost all or some the hazardous substances or materials (such as soil) containing those hazardous substances, LESSOR agrees to sign any necessary waste manifest associated with the removal, transportation and/or disposal of such substances.

25. CASUALTY. If a fire or other casualty damages the Property or the Premises and substantially impairs LESSEE's Use, in LESSEE's reasonable discretion, rent shall abate until LESSEE'S Use is restored. *If LESSEE's Use is not restored within forty-five (45) days, LESSEE may terminate this Agreement.*

26. CONDEMNATION. If a condemnation of any portion of the Property or Premises substantially impairs LESSEE's Use, in LESSEE's reasonable discretion, LESSEE may terminate this Agreement. LESSEE may on its own behalf make a claim in any condemnation proceeding involving the Premises for losses related to LESSEE's communications equipment, relocation costs

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and, specifically excluding loss of LESSEE's leasehold interest, any other damages LESSEE may incur as a result of any such condemnation.

27. APPLICABLE LAWS. During the Term, LESSOR shall maintain the Property in compliance with all applicable laws, EH&S Laws, rules, regulations, ordinances, directives, covenants, easements, consent decrees, zoning and land use regulations, and restrictions of record, permits, building codes, and the requirements of any applicable fire insurance underwriter or rating bureau, now in effect or which may hereafter come into effect (including, without limitation, the Americans with Disabilities Act and laws regulating hazardous substances) (collectively "Laws"). LESSEE shall, in respect to the condition of the Premises and at LESSEE's sole cost and expense, comply with (i) all Laws relating solely to LESSEE's specific and unique nature of use of the Premises; and (ii) all building codes requiring modifications to the Premises due to the improvements being made by LESSEE in the Premises. It shall be LESSOR's obligation to comply with all Laws relating to the Property, without regard to specific use (including, without limitation, modifications required to enable LESSEE to obtain all necessary building permits).

28. TAXES.

(a). LESSOR shall invoice and LESSEE shall pay any applicable transaction tax (including sales, use, gross receipts, or excise tax) imposed on the LESSEE and required to be collected by the LESSOR based on any service, rental space, or equipment provided by the LESSOR to the LESSEE. LESSEE shall pay all personal property taxes, fees, assessments, or other taxes and charges imposed by any Government Entity that are imposed on the LESSEE and required to be paid by the LESSEE that are directly attributable to the LESSEE's equipment or LESSEE's use and occupancy of the Premises. Payment shall be made by LESSEE within sixty (60) days after presentation of a receipted bill and/or assessment notice which is the basis for such taxes or charges. LESSOR shall pay all ad valorem, personal property, real estate, sales and use taxes, fees, assessments or other taxes or charges that are attributable to LESSOR's Property or any portion thereof imposed by any Government Entity.

(b). LESSEE shall have the right, at its sole option and at its sole cost and expense, to appeal, challenge or seek modification of any tax assessment or billing for which LESSEE is wholly or partly responsible for payment. LESSOR shall reasonably cooperate with LESSEE at LESSEE's expense in filing, prosecuting and perfecting any appeal or challenge to taxes as set forth in the preceding sentence, including but not limited to, executing any consent, appeal or other similar document. In the event that as a result of any appeal or challenge by LESSEE, there is a reduction, credit or repayment received by the LESSOR for any taxes previously paid by LESSEE, LESSOR agrees to promptly reimburse to LESSEE the amount of said reduction, credit or repayment. In the event that LESSEE does not have the standing rights to pursue a good faith and reasonable dispute of any taxes under this paragraph, LESSOR will pursue such dispute at LESSEE's sole cost and expense upon written request of LESSEE.

29. ACCESS TO TOWER. LESSOR agrees the LESSEE shall have free access to the Tower at all times for the purpose of installing and maintaining the said equipment. LESSOR shall furnish LESSEE with necessary means of access for the purpose of ingress and egress to this site and Tower location. It is agreed, however, that only authorized engineers, employees or properly authorized contractors of LESSEE or persons under their direct supervision will be permitted to enter said premises

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30. NON-DISCLOSURE. The Parties agree this Agreement and any information exchanged between the Parties regarding the Agreement are confidential. The Parties agree not to provide copies of this Agreement or any other confidential information to any third party without the prior written consent of the other or as required by law. If a disclosure is required by law, prior to disclosure, the Party shall notify the other Party and cooperate to take lawful steps to resist, narrow, or eliminate the need for that disclosure.

31. MOST FAVORED LESSEE. LESSOR represents and warrants that the rent, benefits and terms and conditions granted to LESSEE by LESSOR hereunder are now and shall be, during the Term, no less favorable than the rent, benefits and terms and conditions for substantially the same or similar tenancies or licenses granted by LESSOR to other parties. If at any time during the Term LESSOR shall offer more favorable rent, benefits or terms and conditions for substantially the same or similar tenancies or licenses as those granted hereunder, then LESSOR shall, within thirty (30) days after the effective date of such offering, notify LESSEE of such fact and offer LESSEE the more favorable offering. If LESSEE chooses, the parties shall then enter into an amendment that shall be effective retroactively to the effective date of the more favorable offering, and shall provide the same rent, benefits or terms and conditions to LESSEE. LESSEE shall have the right to decline to accept the offering. LESSOR's compliance with this requirement shall be subject, at LESSEE's option, to independent verification.

32. MISCELLANEOUS. This Agreement contains all agreements, promises and understandings between the LESSOR and the LESSEE regarding this transaction, and no oral agreement, promises or understandings shall be binding upon either the LESSOR or the LESSEE in any dispute, controversy or proceeding. This Agreement may not be amended or varied except in a writing signed by all Parties. This Agreement shall extend to and bind the heirs, personal representatives, successors and assigns hereto. The failure of either party to insist upon strict performance of any of the terms or conditions of this Agreement or to exercise any of its rights hereunder shall not waive such rights and such party shall have the right to enforce such rights at any time. The performance of this Agreement shall be governed, interpreted, construed and regulated by the laws of the state in which the Premises is located without reference to its choice of law rules. Except as expressly set forth in this Agreement, nothing in this Agreement shall grant, suggest or imply any authority for one Party to use the name, trademarks, service marks or trade names of the other for any purpose whatsoever. LESSOR agrees to execute a Memorandum of this Agreement, which LESSEE may record with the appropriate recording officer. The provisions of the Agreement relating to indemnification from one Party to the other Party shall survive any termination or expiration of this Agreement.

[Signature page follows. The remainder of this page is intentionally blank.]

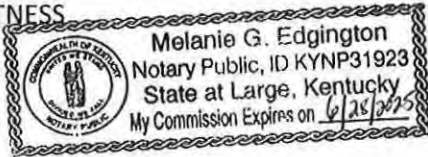
VzW Site Name: LV HWY 243
Location Code: 721755
Atty: Coots Henke & Wheeler, P.C.: Daniel E. Coots

IN WITNESS WHEREOF, the Parties hereto have set their hands and affixed their respective seals the day and year first above written.

LESSOR:

Melanie G. Edgington

WITNESS



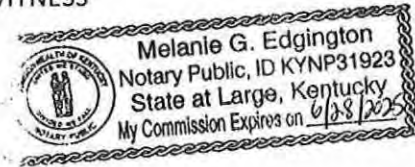
Peter Primiano

Peter Primiano

Date: 1/18/2023

Melanie G. Edgington

WITNESS



Angela Primiano

Angela Primiano

Date: 2-2-23

LESSEE:

RURAL CELLULAR CORPORATION d/b/a
Verizon Wireless

Barbara Madigan Wans
WITNESS Barbara Madigan Wans

By: Ed Maher

Its: Director - Network Field Engineering

Date: 4/5/23

EXHIBIT "A"

DESCRIPTION OF PROPERTY

Property located in Casey County, Kentucky

Parcel 1:

Tract One: Beginning at a beech and lynn in Minor's line; thence South 55 deg. East 78 poles to a white oak; thence North 55 deg. East 64 poles to a maple; thence North 130 poles to two small hickories on beech of knob; thence West 112 poles to two beeches in Minor's line; thence with his line South 125 poles to the beginning.

There is excluded from this tract an off-conveyance to Howard Conder. Said off-conveyance being of record in Deed Book 62, Page 352, in the office of the Clerk of the Casey County Court.

Tract Two: A certain tract or parcel of land lying in Casey County, Kentucky, on Elk Cave Branch of Harlan's branch of North Rolling Fork of Salt River and bounded as follows: Beginning at a double sugar tree; David Green's corner, thence with his line N 50 deg. 50 min. West 28-1/5 rods to a stone with three ashes and red bud as pointers, formerly three dogwoods, David Green's corner and Minor's corner; thence with Minor's line North 61 deg. 40 min. East 22 rods to stone corner, formerly sugar tree, supposed to be Minor's corner now Elder's; thence N 21 deg. 40 min. East 27-1/5 rods to a large beech J.W. Gee's corner; thence his line S 52 deg. 50 min. East 47 rods to a stake in J.L. King's line, thence with it South 62 deg. 10 min. West 50 rods to the beginning, this corner is on top of hill.

There is excluded from Tract Two the following off-conveyance from B.H. Mills, single to James S. Mills and Susie Mills, his wife, by deed dated the 6th day of July, 1971, and of record in Deed Book 82, Page 433 in the office of the Clerk of the Casey County Court: Beginning at a small black oak and running North 3 deg. West 24.56 poles to a stone on the North side of the creek; thence up the creek South 24 deg. East 17 poles to an ash on the South side of the road; thence South 38 deg. West 13.40 poles to the point of beginning, and containing 1-2/10 acres, more or less, according to the survey of Lewis J. Cochran, Reg. #1038, dated June 5, 1971.

Parcel 2:

Tract No. 1:

Beginning at a stone, papaw and sassafras on the knob in A. J. Shearin's line; thence with his line N 12 W 54 poles to a beech and dogwood; thence 58 W 54-1/2 poles to a white oak stump; thence S 11-1/2 E 80-1/2 poles to a hickory on the top of the knob in G.L. Minor's line; thence with top of knob S 82-1/2 E 38 poles to a black oak and chestnut; thence W 37 E 8-3/5 poles to the beginning, containing 17 acres, the boundary taken for more or less.

Tract No. 2:

Beginning at a white oak on Harlins Branch, corner to M.A. Carter; thence S 2 E 68 poles to a hickory corner to same, thence with G.L. Minors to a double poplar; thence E 86 poles to a beech, corner to James King; thence S 10 W 32 poles to a beech and hickory corner to same; thence N 74 W 26 poles to the beginning, the boundary taken for 20 acres, more or less.

Tract No. 3:

Beginning at a hickory and sugar tree on a ridge; N 33 W 114 poles to a double poplar thence S with West side of ridge 84 poles to four small chestnuts on point of knob; thence East course a straight line to the beginning, containing about 8 acres, more or less.

Tract No. 4:

Beginning at a beech; thence S 10 W 34 poles to a hickory; thence S 54 E 13 poles to a stone; thence N 10 E 40-1/2 (sic) poles to the beginning, containing 3 acres, more or less.

There is excluded from the above the parcels or properties described in the following deeds:

- (1) .912 acres conveyed to Jay T. Crowe in Deed Book 181, Page 760, in the Casey County Clerk's office;**
- (2) 1.598 acres conveyed to Steve Weaver and Kay Weaver in Deed Book 168, Page 634, in the aforesaid Clerk's office;**
- (3) 2.302 acres conveyed to Tracy Mills in Deed Book 167, Page 192, in the aforesaid Clerk's office;**
- (4) 2.261 acres conveyed in Deed Book 165, Page 413, in the aforesaid Clerk's office;**
- (5) 13.09 acres conveyed to Glen Bailes in Deed Book 120, Page 457, in the aforesaid Clerk's office;**
- (6) 2.12 acres conveyed to Jay Thomas Crowe in Deed Book 119, Page 185, in the aforesaid Clerk's office;**
- (7) .65 acres conveyed in Deed Book 126, Page 635, in the aforesaid Clerks' office;**

AND BEING the same property conveyed to Peter Primiano and Angela Primiano from Jerald C. Shepherd and Mary M. Shepherd by Deed dated April 27, 2011 and recorded May 6, 2011 in Deed Book 274, Page 248.

Tax Parcel No. 061-19F

VzW Site Name: LV HWY 243
Location Code: 721755
Atty. Coots Henke & Wheeler, P C Daniel E. Coots

EXHIBIT "B"

SITE PLAN OF THE PREMISES AND DESCRIPTION OF TOWER EQUIPMENT



1961 HORNPOINT BLVD
HOCKESSY, TN 37343
FAX: 423-843-9559



THE INFORMATION CONTAINED IN THIS SHEET IS THE PROPERTY OF TELECAD WIRELESS. ANY REUSE OR DISCLOSURE OF THIS INFORMATION TO OTHER THAN THAT WHICH RELATES TO THE CLIENT IS STRICTLY PROHIBITED.

DRAWN BY:	CPL
CHECKED BY:	---

REVISIONS	
NO.	DESCRIPTION
A	1/17/14/22 DUL LEASE EXHIBIT
B	DATE BY DESCRIPTION

FILE ID:	10913406
SITE NAME:	LV HWY 243
SITE # / LOCATION CODE:	721726
SITE ADDRESS:	+ - 3180 MINORS BRANCH RD, GRAVEL SWITCH, KY 40328
SITE TYPE:	RAWLAND
LATITUDE:	37° 37' 33.53" N (NAD83)
LONGITUDE:	84° 57' 23.05" W (NAD83)

SHEET TITLE:	TITLE SHEET
DRAWING #:	LEI
REVISION:	A

SHEET INDEX	
NO.	DESCRIPTION
LE1	TITLE SHEET
LE2	LEASE EXHIBIT

SCOPE OF WORK

- INSTALL GROUND MOUNTED EQUIPMENT WITHIN A 60' X 85' LEASE AREA.
- INSTALL AN ARRAY OF ANTENNAS ON A NEW ANTENNA TOWER MOUNT AT RAD CENTER HEIGHT OF 295' ABOVE GRADE LEVEL.
- INSTALL UNDERGROUND POWER AND FIBER CONDUITS TO NEW UTILITY SHED WITHIN THE TOWER OWNER FENCED COMPOUND.
- INSTALL NEW 300 SELF SUPPORT TOWER

ALL WORK MUST BE DONE IN ACCORDANCE TO THE DRAWINGS.



LOCATION MAP

NOT TO SCALE

DIRECTIONS FROM LOUISVILLE SWITCH 2411 HOLLOWAY RD., LOUISVILLE, KY 40299: HEAD SOUTH ON HOLLOWAY RD TOWARD SCHWITTE STATION PL (0.54 MI), TURN LEFT ONTO SC-RUTE STATION PL (0.3 MI), ROAD NAME CHANGES TO PLANTSIDE DR (0.6 MI), TURN LEFT ONTO BLANKENBAKER PKWY (0.7 MI), TAKE THE RAMP ON THE RIGHT FOR I-64 EAST AND HEAD TOWARD EDINGTON (11.6 MI), EXIT 17A, HEAD RIGHT ON THE SHOULDER ON 2555 FT 841 SOUTH TOWARD GENE SWITZER RD (13.2 MI), TURN RIGHT ONTO KY 44 / KY 55 / E MAIN ST (0.1 MI), TURN LEFT ONTO KY 58 / JEFFERSON ST (0.7 MI), TURN LEFT ONTO US 42 E / CHAPLIN RD (0.4 MI), TURN LEFT ONTO ARNOLD LN (0.5 MI), ARRIVE AT ARNOLD LN ON THE LEFT, THE LAST INTERSECTION BEFORE YOUR DESTINATION IS CHEROKEE AVE, THE ACCESS RD IS ON YOUR LEFT.

CELLCO PARTNERSHIP
D/B/A VERIZON WIRELESS
(HEREINAFTER REFERRED TO AS "LESSEE")

SITE NAME: LV HWY 243
**+ - 3180 MINORS BRANCH RD,
GRAVEL SWITCH, KY 40328**



VICINITY MAP

NOT TO SCALE

SHEET SCALE FACTOR:
PROCESSED
11" x 17" TO SCALE

PROJECT SUMMARY	
SITE NAME:	LV HWY 243
SITE ADDRESS:	+ - 3180 MINORS BRANCH RD, GRAVEL SWITCH, KY 40328
COUNTY:	METCALFE COUNTY
JURISDICTION:	LA
SITE COORDINATES:	37° 37' 33.53" N (NAD83)
LATITUDE:	37° 37' 33.53" N
LONGITUDE:	84° 57' 23.05" W (NAD83)
GROUND ELEVATION:	1286.2'
FILE CODE:	10913406
PROPERTY OWNER:	PETER PRIMIANO & ANGELA PRIMIANO 3180 MINORS BRANCH RD GRAVEL SWITCH, KY 40328
PROPERTY OWNER CONTACT:	(857) 209-1924
TOWER OWNER:	CELLCO PARTNERSHIP D/B/A VERIZON WIRELESS 2902 RING ROAD ELIZABETH, KY 42701
TOWER OWNER CONTACT:	JACKIE STRAIGHT 270-750-0023
STRUCTURE TYPE:	SELF SUPPORT TOWER
TOWER HEIGHT:	300'
ENVIRONMENTAL REG.:	N/A

BUILDING CODES

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE BUILDING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUCTED TO PERMIT WORK NOT CONFORMING TO THESE CODES.

2014 INDIANA BUILDING CODE (BASED ON LATEST EDITION)
(COMBINED OF 2012 IBC AND 625 IAC 13-2-24)

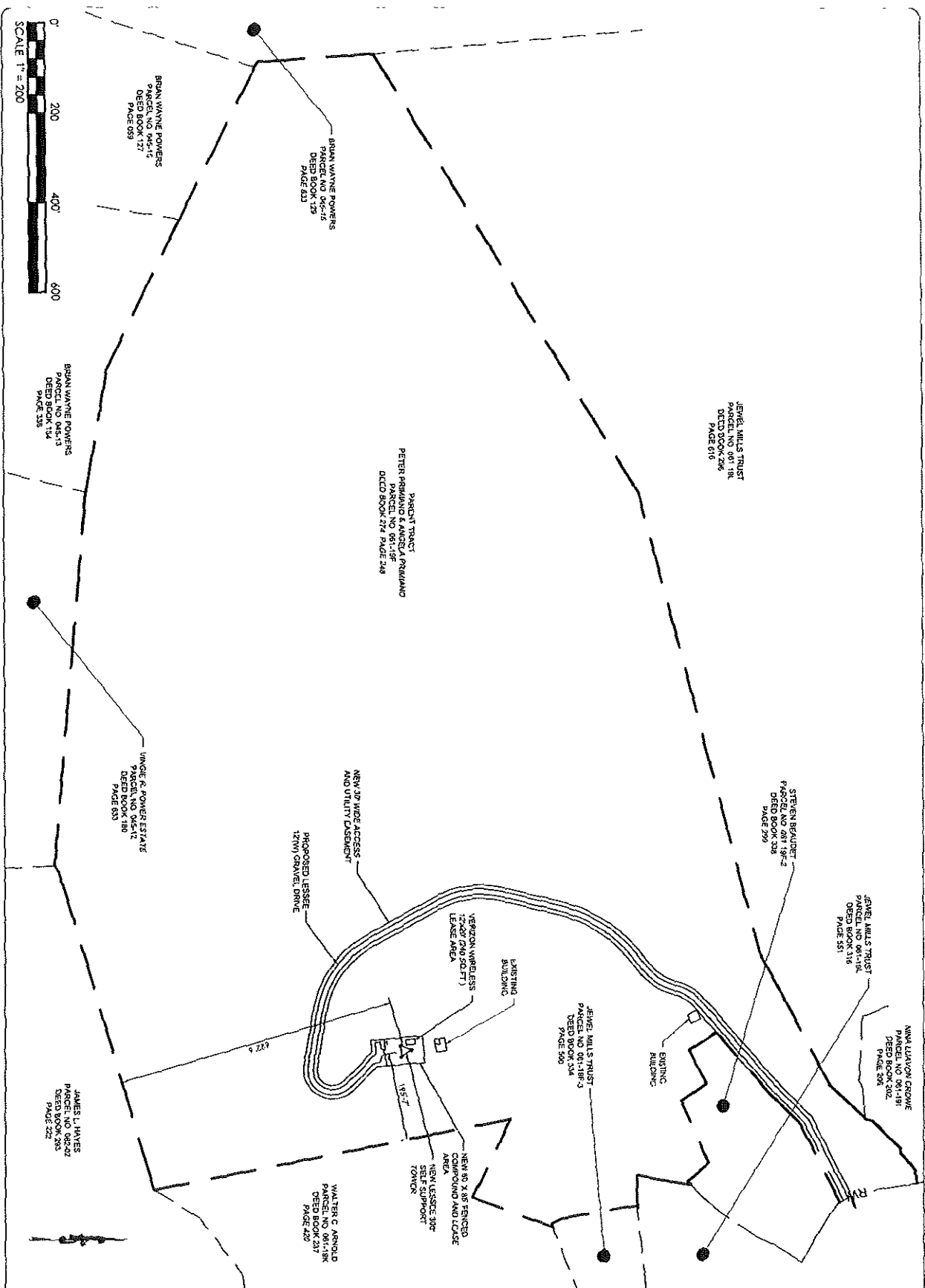
2014 INDIANA MECHANICAL CODE
(COMBINED OF 2012 IMC AND 625 IAC 18-1-4)

2007 INDIANA ELECTRICAL CODE
(COMBINED OF 2008 NFPA 70 AND 625 IAC 17-1-8)

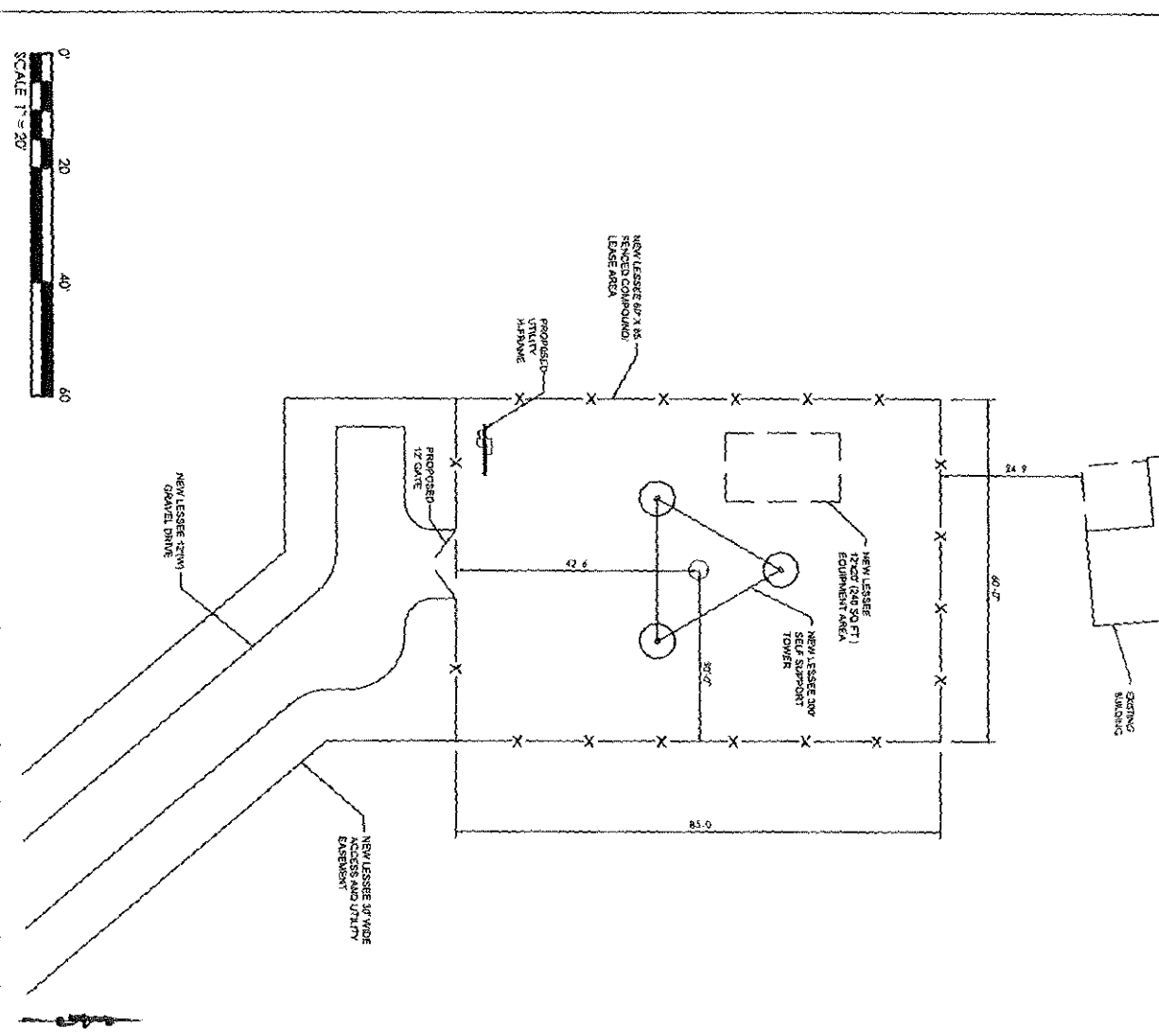
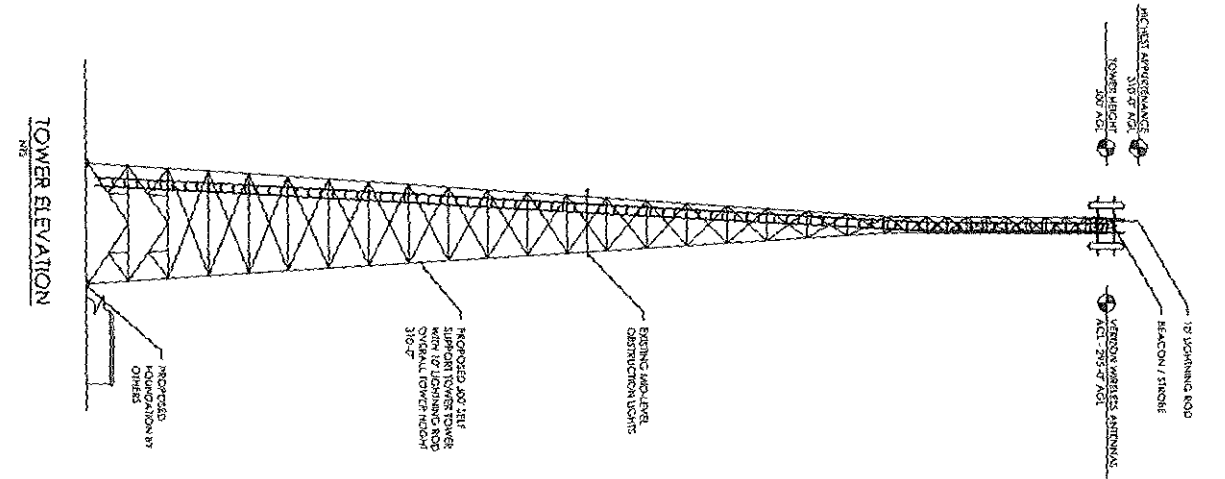
ACCESSIBILITY REQUIREMENTS:
FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. HANDICAPPED ACCESS REQUIREMENTS ARE NOT REQUIRED IN ACCORDANCE WITH THE 2015 IBC BUILDING CODE.

STRUCTURAL REVIEW

MOUNT ANALYSIS PERFORMED BY OTHERS.



1541 NORTHPOINT BLVD SUITE 130 HICKORY NC 27643 PH: 704.282.9200 FAX: 704.282.1520		THE INFORMATION CONTAINED IN THIS DRAWING IS THE PROPERTY OF TELCAD. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY USE OR DISCLOSURE OF THIS INFORMATION FOR ANY OTHER PROJECT OR SITE WITHOUT THE WRITTEN CONSENT OF TELCAD IS STRICTLY PROHIBITED.	
DRAWN BY: CFB CHECKED BY:	REVISIONS	PROJECT NO: 1091243 SITE NAME: LYNN 243 SITE # / LOCATION CODE: 211725 SITE ADDRESS: 3180 MANOIE BRANCH RD CHAPEL HILL, NC 27514 LONGITUDE: 64° 57' 23.00" W (NAD83) SHEET TITLE: LEASE EASEMENT	DRAWING #: LE2 VERSION: A



TelecAD
1760 HORNWORTH BLVD
SUITE 100
WILSON, NJ 07090
PH: 908-670-7000
FAX: 908-670-7001

verizon

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DRAWN BY	CHK		
CHECKED BY			
REVISIONS			
NO.	DATE	BY	DESCRIPTION
1	11/14/22	DLS	LOCAL CHGRT
2			
3			
4			

TOWER ID	1201343
SITE NAME	17 HWY 243
SITE # / LOCATION CODE	27172
SITE ADDRESS	* 3180 MARION BRANCH RD GRAVEL SWICH VT ACCESS
SITE TYPE	RAVINE
LABORER	37 39 30.33 N (INVADE)
CONTRACT	64-27-23-07-W (INVADE)
SHEET TITLE	LEAS CHMR
DRAWING #	LE3
REVISION	A

SCALE 1" = 20'

VzW Site Name. LV HWY 243
Location Code: 721755
Atty: Coots Henke & Wheeler, P.C Danrel E Coots

EXHIBIT "C"

SURVEY

GENERAL NOTES:

- This Survey is prepared exclusively to show site conditions and/or for use in support of instruments related to Leases and Easements as may be shown hereon. Any property boundary information shown hereon is a composite of information gathered from current or previous Surveys. Plat & Deed Description and/or Assessor's Tax Maps as may be referenced hereon. This Survey is not a Boundary Survey of any Tax Parcels or Deed Tracts, and does not create, combine, or divide any existing properties. Leases & Easements shown hereon may be subject to change pending review and approval by Carrier, applicable jurisdictions and/or other involved parties.
- Survey shown hereon was performed under the supervision of a state-registered Land Surveyor and conforms to all applicable State Board Requirements.
- Instruments Used: One or more of: Topcon Total Station, Topcon Hiperefite Plus GPS, Carlson Surveyor Data Collector, DJI UAV.
- Where shown, improvements (utilities, buildings, trees, fences, etc.) are based on field Survey and/or aerial mapping.
- Any Underground Utilities shown according to surface markings made by others, found at time of survey, Additional marked utilities outside the area covered by this survey map may be shown in provided CAD Files. Utility Markings may not be comprehensive: this survey does not relieve design and construction personnel of the responsibility to determine the locations of underground utilities prior to land disturbance activities.
- This Survey is presented in the format required by Clients. Clients are advised that Official Jurisdictions may require the Survey to be presented in another format with additional notes and certifications. In the event other formats, notes or certifications are requested by applicable jurisdictions, it is the responsibility of the Client to request same be prepared by Surveyor. Survey as published is not intended to be suitable for recording as a Subdivision Plat.
- This survey may have been reduced or enlarged in size due to subsequent reproduction. This should be taken into consideration when obtaining scaled data.
- Geographic Coordinates, if published, meet FAA Accuracy Code 1A, and are accurate to within ± 20 feet horizontally and to within ± 3 feet vertically.
- Any Flood Zone information presented hereon is according to current FEMA Flood Map information as may be referenced hereon. No Flood Elevation Survey of Certification performed.
- This survey is not valid without the original signature seal of a State-Licensed Land Surveyor, and is not complete without the total of sheets as specified in Survey Title Blocks.

SURVEYOR'S CERTIFICATION

To: Verizon Wireless,
I hereby certify (or state) that all parts of this survey and drawing have been completed in accordance with the current requirements of the Standards of Practice for Surveying in the State of Kentucky to the best of my knowledge, information, and belief.



Travis L. Shields
Kentucky PLS
License No. 4246

PROPOSED TOWER LOCATION DATA

Latitude: NORTH: 37.509314° 37° 30' 33.53"
Longitude: WEST: 84.956403° 84° 57' 23.05"
Ground Elev: 1,286.2 FEET AMSL (NAVD88)
Benchmark: DHTZ17 KYCP

PARENT TAX PARCEL

PETER PRUMIANO & ANGELA PRUMIANO
TAX PARCEL: 061-19F

NORTH ORIENTATION

KENTUCKY SOUTH STATE PLANE COORDINATE SYSTEM
Based on GPS Survey relative to NGS CORS Network, NAD83 (2011)
ELEVATION DATUM: NAVD88, GEOID 12B
DATE OF SURVEY: 10-16-2022
Method: RTK (CORS); Confidence Level: 95%
Positional Accuracy: HZ ± 0.10'
EPOCH 2010.0000

FLOOD DATA

FEMA FLOOD MAP PANEL: 21045C0050D, Effective Date: 07-07-2009
Surveyed Area appears to lie within: ZONE X (Areas of Minimal Flood Hazard)

TITLE EXAMINATION:

Not available



LEGEND

- UTILITY POLE
- GUY ANCHOR
- PROPOSED TOWER CENTER
- SITE BENCHMARK
- R/W RIGHT-OF-WAY
- C/L CENTER LINE
- AU ACCESS & UTILITY EASEMENT
- ESMT EASEMENT
- P.O.C. POINT OF COMMENCEMENT
- P.O.B. POINT OF BEGINNING
- Sq Ft SQUARE FEET
- PAVEMENT EDGE
- GRAVEL EDGE
- TRAIL CENTERLINE
- DITCH
- STORMWATER PIPE
- OVERHEAD TELECOM LINES
- OVERHEAD UTILITY LINES
- 5' CONTOURS
- 1' CONTOURS
- PUBLIC R/W
- TAX PARCEL BOUNDARY
- TIE LINE
- LESSEE'S PREMISES
- LESSEE'S EASEMENTS

THE LAND CONSULTANTS LLC
5449 Highway #41
Jasper, TN 37347
(423) 304-5722

PREPARED FOR
verizon
VERIZON WIRELESS

(Not a Boundary Survey of Parent Lands. Not Intended for Fee Simple Land Transfer)
SITE SURVEY
LV HWY 243
Location Code: 721755
Minors Branch Road, Gravel Switch, KY 40328
Casey County, Kentucky

COVER SHEET

DWG#: 23302
ISSUE #: 0
ISSUE DATE: 11-03-2022
SEE SHEET #1

SHEET
1
OF
7

SURVEY ISSUE DATA

#	DETAILS	DATE	DRAWN	APP
0	Original Survey Issue	11-03-2022	NB	TL5

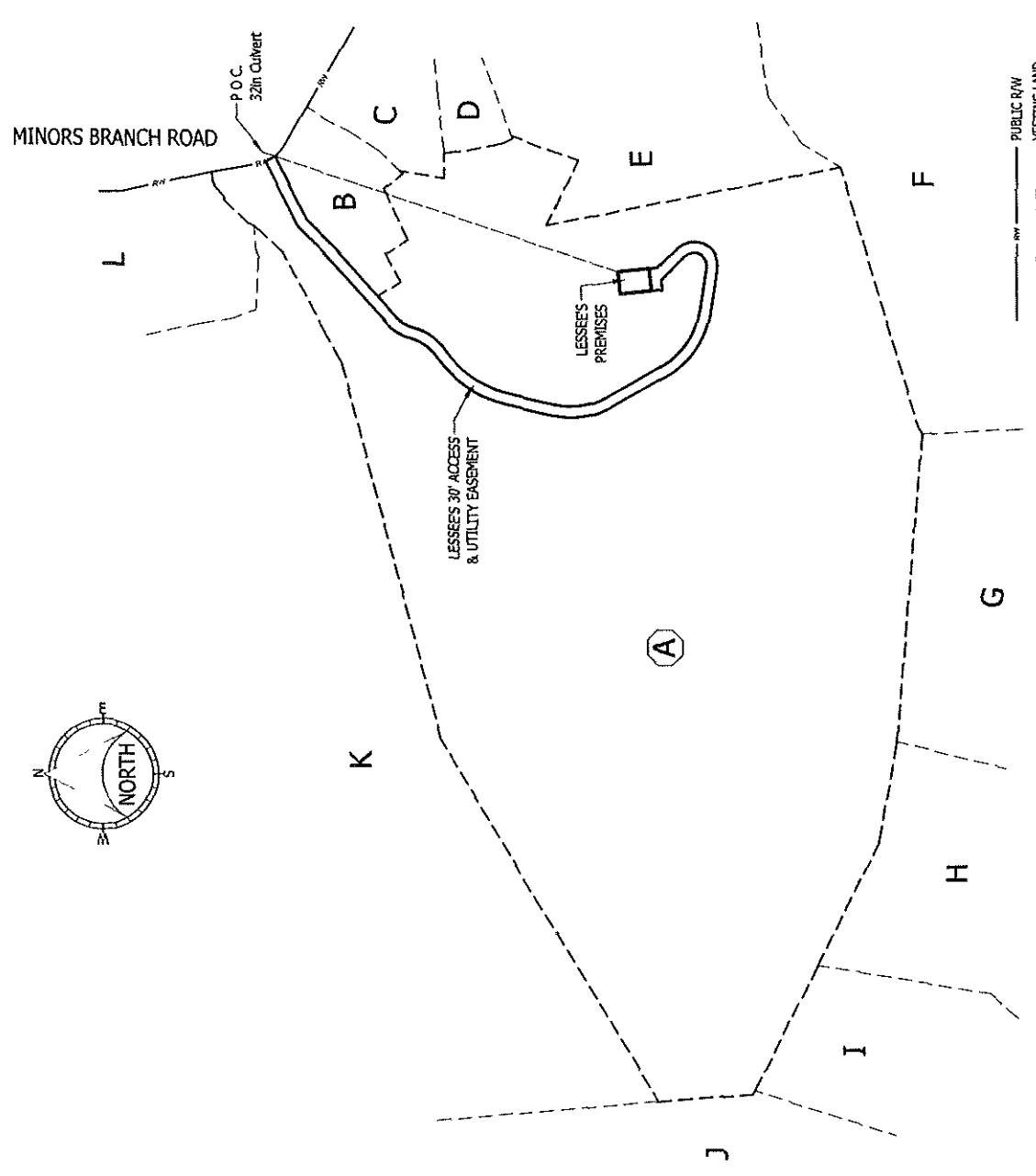


THE
LAND CONSULTANTS
LLC
5449 Highway #41
Jasper, TN 37347
(423) 304-6722

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(This a Boundary Survey of Parent Lands Not Intended for Fee Simple Land Transfer)
SITE SURVEY
LV HWY 243
Location Code: 721755
Minors Branch Road, Gravel Switch, KY 40328
Casey County, Kentucky

OVERVIEW MAP
DWG# 22302
ISSUE # 0
ISSUE DATE: 11-03-2022
SEE SHEET #1
SHEET 2 OF 7



PROPERTY INFORMATION

PARENT TAX PARCEL
A. PETER PRIMIANO & ANGELA PRIMIANO
TAX PARCEL: 061-19F
DEED BOOK 274, PAGE 248,

ADJOINING TAX PARCELS
B. STEVEN BEAUDET
TAX PARCEL: 061-19F-2
DEED BOOK 338, PAGE 299

C. HEATHER CROWE
TAX PARCEL: 061-19C
DEED BOOK 316, PAGE 551

D. HEATHER CROWE
TAX PARCEL: 061-19F-3
DEED BOOK 334, PAGE 500

E. WALTER C. ARNOLD
TAX PARCEL: 061-19K
DEED BOOK 237, PAGE 420

F. JAMES L. HAYES
TAX PARCEL: 062-02
DEED BOOK 293, PAGE 222

G. VINGIE R. POWERS ESTATE
TAX PARCEL: 045-12
DEED BOOK 180, PAGE 633

H. BRIAN W. POWERS
TAX PARCEL: 045-13
DEED BOOK 154, PAGE 338

I. BRIAN WAYNE POWERS
TAX PARCEL: 045-14
DEED BOOK 140, PAGE 378

J. BRIAN WAYNE POWERS
TAX PARCEL: 045-15
DEED BOOK 127, PAGE 059

K. JEWELL MILLS TRUST
TAX PARCEL: 061-19L
DEED BOOK 296, PAGE 616

L. NINA LUAVON CROWE
TAX PARCEL: 061-19I
DEED BOOK 202, PAGE 206

OVERVIEW MAP CAUTION
OVERVIEW MAP IS NOT A SURVEY BUT A VICINITY / LOCATION MAP INTENDED ONLY TO SHOW SURVEYED PROPERTY IN RELATION TO SURROUNDING AREA. VESTING AND ADJOINING PARCEL BOUNDARIES ARE NOT INCLUDED IN OR CERTIFIED BY THIS SURVEY. BOUNDARY LINES ARE A COMPOSITE OF DEED, PLAT AND/OR TAX MAP INFORMATION

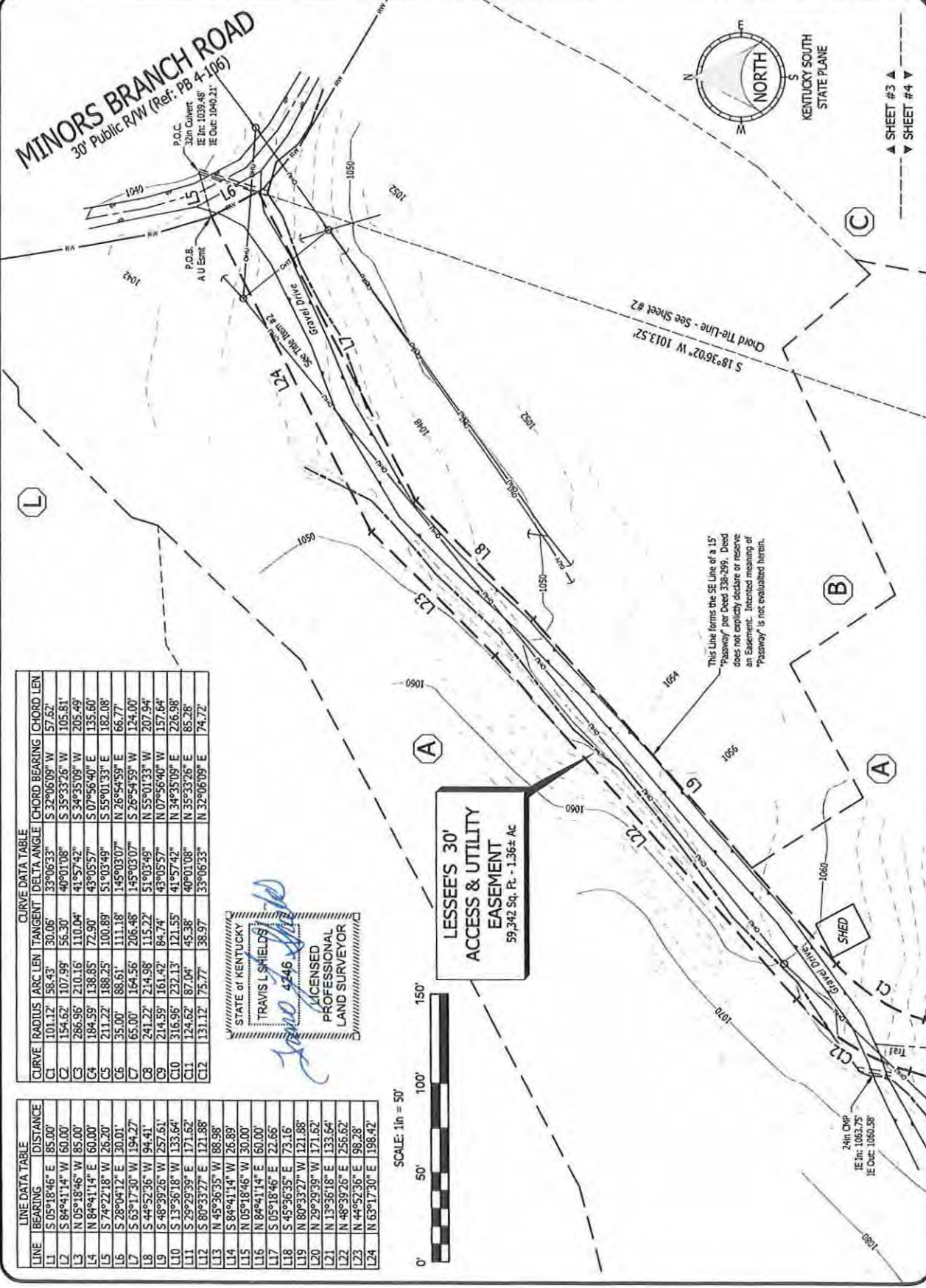


THE LAND CONSULTANTS LLC
 5449 Highway #41
 Jasper, TN 37347
 (423) 304-6722



(Not a Boundary Survey of Parent Lands. Not Intended for Fee Simple Land Transfer)
SITE SURVEY
 LV HWY 243
 Location Code: 721755
 Minors Branch Road, Gravel Switch, KY 40328
 Casey County, Kentucky

SITE SURVEY
 SHEET 3 OF 7
 DWG#: 22302
 ISSUE #: 0
 ISSUE DATE: 11-03-2022
 SEE SHEET #1



CURVE DATA TABLE

CURVE	RADIUS	ARC LEN	TANGENT	DELTA ANGLE	CHORD BEARING	CHORD LEN
C1	101.12'	58.43'	30.06'	33°06'33"	S 32°06'09" W	57.62'
C2	154.62'	107.99'	56.30'	40°01'08"	S 35°33'26" W	105.81'
C3	286.96'	210.16'	110.04'	41°57'42"	S 34°35'09" W	205.49'
C4	184.59'	138.85'	72.90'	43°05'57"	S 07°56'40" E	135.60'
C5	211.22'	188.25'	100.89'	51°03'49"	S 55°01'33" E	182.08'
C6	35.00'	88.61'	111.18'	145°03'10"	N 26°54'59" E	66.77'
C7	65.00'	164.56'	208.48'	145°03'10"	S 26°54'59" W	124.00'
C8	241.22'	214.98'	115.22'	51°03'48"	N 55°01'33" W	207.94'
C9	214.59'	161.42'	84.74'	43°05'57"	N 07°56'40" W	157.64'
C10	316.96'	232.13'	121.55'	41°57'42"	N 34°35'09" E	226.98'
C11	124.62'	87.04'	45.38'	40°01'08"	N 35°33'26" E	85.28'
C12	131.12'	75.77'	38.97'	33°06'53"	N 32°06'09" E	74.72'

STATE OF KENTUCKY
 TRAVIS L. SHIELDS
 LICENSED PROFESSIONAL LAND SURVEYOR
 No. 4246

LESSEE'S 30' ACCESS & UTILITY EASEMENT
 59,342 Sq. Ft. - 1.36± AC



LINE DATA TABLE

LINE	BEARING	DISTANCE
L1	S 05°18'46" E	85.00'
L2	S 84°41'14" W	60.00'
L3	N 05°18'46" W	85.00'
L4	N 84°41'14" E	60.00'
L5	S 74°22'18" W	26.20'
L6	S 28°04'12" E	30.01'
L7	S 63°17'30" W	194.27'
L8	S 44°52'36" W	94.41'
L9	S 48°39'26" W	257.61'
L10	S 13°36'18" W	133.64'
L11	S 29°29'39" E	171.62'
L12	S 80°33'27" E	121.88'
L13	N 45°36'35" W	88.98'
L14	S 84°41'14" W	26.89'
L15	N 05°18'46" W	30.00'
L16	N 84°41'14" E	60.00'
L17	S 05°18'46" E	22.66'
L18	S 45°36'35" E	73.16'
L19	N 80°33'27" W	121.88'
L20	N 29°29'39" W	171.62'
L21	N 13°36'18" E	133.64'
L22	N 48°39'26" E	256.62'
L23	N 44°52'36" E	98.28'
L24	N 63°17'30" E	198.42'

This Line forms the SE Line of a 15' "Passway" per Deed 338-295. Deed does not explicitly declare or reserve an Easement. Intended meaning of "Passway" is not evaluated herein.

2 1/4" OVP
 IE In: 1053.75'
 IE Out: 1060.58'



THE LAND CONSULTANTS LLC

 5449 Highway #41

 Jasper, TN 37347

 (423) 304-6722

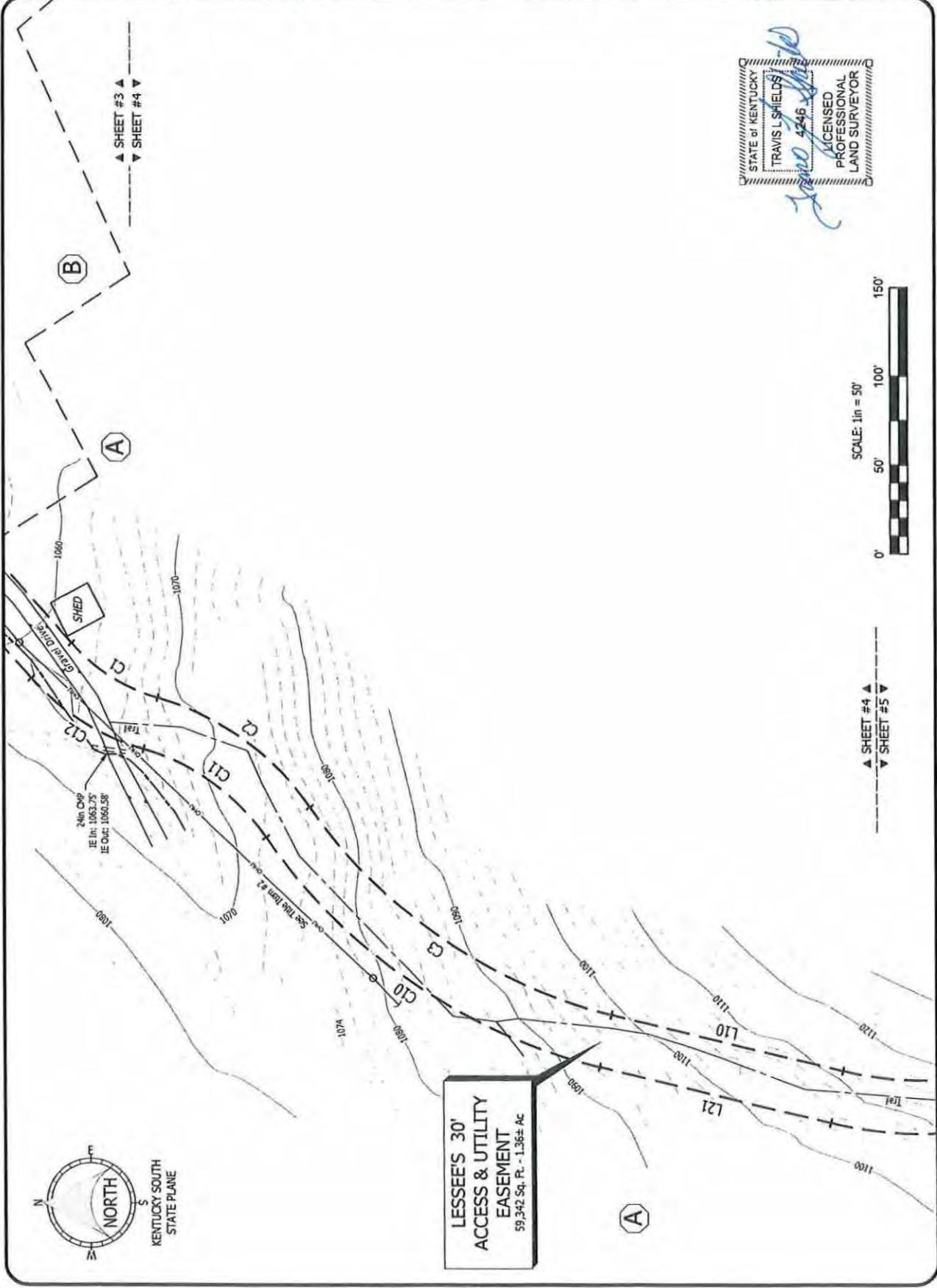
PREPARED FOR


VERIZON WIRELESS

(Not a Boundary Survey of Private Lands. Not intended for fee simple Land Transfer)
SITE SURVEY
LV HWY 243
 Location Code: 721755
 Minors Branch Road, Gravel Switch, KY 40328
 Casey County, Kentucky

SITE SURVEY

DWG#: 23202
 ISSUE #: 0
 ISSUE DATE: 11-03-2022
 SEE SHEET #1
 SHEET **4** OF 7



STATE OF KENTUCKY
 TRAVIS L SHIELDS
 4246
 LICENSED PROFESSIONAL LAND SURVEYOR

LESSEE'S 30' ACCESS & UTILITY EASEMENT
 59,342 Sq. Ft. - 1.36± Ac



THE LAND CONSULTANTS LLC

 5449 Highway #41

 Jasper, TN 37347

 (423) 304-6722

PREPARED FOR



VERIZON WIRELESS

(Not a Boundary Survey of Parent Lands, Not Intended for Fee Simple Land Transfer)

SITE SURVEY

 LV HWY 243

 Location Code: 721755

 Minors Branch Road, Gravel Switch, KY 40328

 Casey County, Kentucky

SITE SURVEY

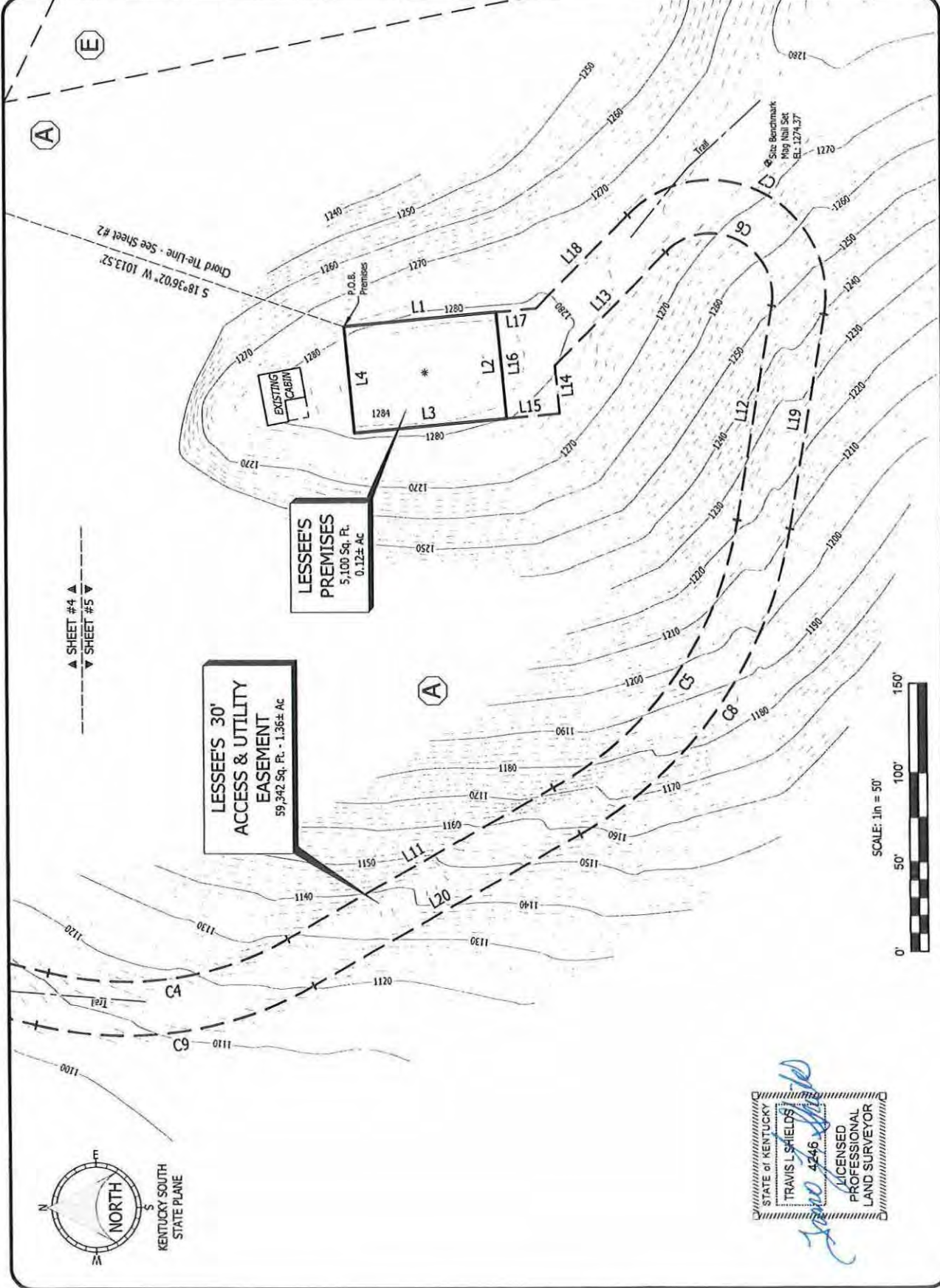
DWG#: 22302

 ISSUE #: 0

 ISSUE DATE: 11-03-2022

 SHEET 5 OF 7

 SEE SHEET #1

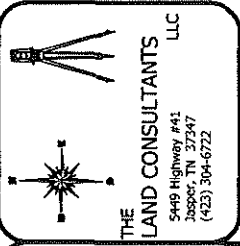


STATE OF KENTUCKY

 TRAVIS L SHIELDS

 LICENSED PROFESSIONAL LAND SURVEYOR

 4246



THE
LAND CONSULTANTS
LLC
5449 Highway #41
38866, TN 37347
(423) 304-6722

PREPARED FOR
verizon
VERIZON WIRELESS

(It's a Boundary Survey of Parent Lands. Not intended for fee simple Land Transfer)
SITE SURVEY
LV HWY 243
Location Code: 221755
Minors Branch Road, Gravel Switch, KY 40328
Casey County, Kentucky

DESCRIPTIONS

DWG# 22302
ISSUE # 0
ISSUE DATE 11-03-2022
SEE SHEET #1

SHEET
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OF
7

LESSEES' 30' ACCESS & UTILITY EASEMENT

All that Tract or Parcel of land lying and being in Casey County, Kentucky, and being a portion of the property of Peter Primiano and Angela Primiano, of record in Deed Book 274 Page 248 Clerk's Office Casey County Kentucky and being more particularly described as follows

COMMENCE at the Northern end of a thirty-two-inch Culvert located on the Northeast side of Minors Branch Road,
Thence along a Chord Tie Line, having a Bearing of S 74°22'18" W a distance of 26.20 feet to a point on the Southwestern Right-of-Way Line of aforesaid Road, which is the POINT OF BEGINNING

- Thence S 28°04'12" E, along said Right-of-Way Line, a distance of 30.01 feet,
- Thence S 65°17'30" W, leaving said Right-of-Way Line, a distance of 194.27 feet,
- Thence S 44°52'36" W, a distance of 94.41 feet
- Thence S 48°39'26" W, a distance of 257.61 feet
- Thence, with a curve to the left with an arc length of 38.43 feet, with a radius of 101.12 feet with a chord bearing of S 32°06'09" W, with a chord length of 37.62 feet,
- Thence with a curve to the right with an arc length of 107.99 feet, with a radius of 154.62 feet, with a chord bearing of S 35°33'26" W, with a chord length of 105.81 feet
- Thence with a chord bearing of S 34°35'09" W, with a chord length of 286.96 feet, with a curve to the left with an arc length of 219.16 feet, with a radius of 286.96 feet, with a chord bearing of S 34°35'09" W, with a chord length of 205.49 feet
- Thence S 13°16'18" W, a distance of 133.64 feet
- Thence with a curve to the left with an arc length of 138.85 feet, with a radius of 184.59 feet, with a chord bearing of S 07°56'40" E, with a chord length of 135.60 feet
- Thence S 29°29'39" E, a distance of 171.62 feet
- Thence, with a curve to the left with an arc length of 188.25 feet, with a radius of 211.22 feet, with a chord bearing of S 55°01'33" E, with a chord length of 182.08 feet,
- Thence S 80°33'27" E, a distance of 121.88 feet,
- Thence, with a curve to the left with an arc length of 88.61 feet, with a radius of 35.00 feet, with a chord bearing of N 26°54'59" E, with a chord length of 66.77 feet.
- Thence N 45°36'35" W, a distance of 88.98 feet,
- Thence S 84°41'14" W, a distance of 26.89 feet,
- Thence N 05°18'46" W, a distance of 30.00 feet,
- Thence N 84°41'14" E, a distance of 60.00 feet,
- Thence S 05°18'46" E, a distance of 22.66 feet,
- Thence S 45°36'35" E, a distance of 73.16 feet
- Thence with a curve to the right with an arc length of 164.56 feet, with a radius of 65.00 feet, with a chord bearing of S 26°54'59" W, with a chord length of 124.00 feet,
- Thence N 80°33'27" W, a distance of 121.88 feet
- Thence, with a curve to the right with an arc length of 214.98 feet, with a radius of 241.22 feet, with a chord bearing of N 55°01'33" W, with a chord length of 207.94 feet
- Thence N 29°29'39" W, a distance of 171.62 feet
- Thence, with a curve to the right with an arc length of 161.42 feet, with a radius of 214.59 feet, with a chord bearing of N 07°56'40" W, with a chord length of 157.64 feet,
- Thence N 13°36'18" E, a distance of 133.64 feet,
- Thence with a curve to the right with an arc length of 232.13 feet, with a radius of 316.96 feet, with a chord bearing of N 34°35'09" E, with a chord length of 226.98 feet,
- Thence with a curve to the left with an arc length of 87.04 feet, with a radius of 124.62 feet, with a chord bearing of N 35°33'26" E, with a chord length of 85.28 feet,
- Thence, with a curve to the right with an arc length of 75.77 feet, with a radius of 131.12 feet, with a chord bearing of N 32°06'09" E, with a chord length of 74.72 feet
- Thence N 48°39'26" E, a distance of 256.62 feet
- Thence N 44°52'36" E, a distance of 98.28 feet,
- Thence N 63°17'30" E, a distance of 198.42 feet to the POINT OF BEGINNING

Said Easement contains 1.36 Acres, (59,342 Square Feet), more or less

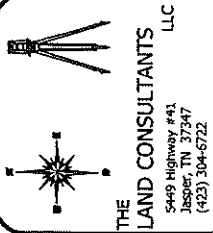
LESSEES' PREMISES

All that Tract or Parcel of land lying and being in Casey County Kentucky, and being a portion of the property of Peter Primiano and Angela Primiano, of record in Deed Book 274, Page 248 Clerk's Office Casey County Kentucky and being more particularly described as follows

COMMENCE at the Northern end of a thirty-two-inch Culvert located on the Northeast side of Minors Branch Road,
Thence along a Chord Tie Line, having a Bearing of S 18°36'02" W, a distance of 1,013.52 feet to the POINT OF BEGINNING.

- Thence S 05°18'46" E, a distance of 85.00 feet,
- Thence S 84°41'14" W, a distance of 60.00 feet
- Thence N 05°18'46" W, a distance of 85.00 feet,
- Thence N 84°41'14" E, a distance of 60.00 feet to the POINT OF BEGINNING

Said Premises contains 0.12 Acres, (5,100 Square Feet) more or less



THE LAND CONSULTANTS LLC
 5400 Highway #41
 Jasper, TN 37347
 (423) 304-6722

PREPARED FOR
verizon
 VERIZON WIRELESS

(This is a Boundary Survey of Parent Lands. Not intended for fee simple Land Transfer)
SITE SURVEY
 LV HWY 243
 Location Code: 721755
 Minors Branch Road, Gravel Switch, KY 40328
 Casey County, Kentucky

DESCRIPTORS

DNW# 22302
 ISSUE # 0
 ISSUE DATE 11-03-2022
 SEE SHEET # 1

SHEET
 7
 OF
 7

LEGAL DESCRIPTION OF PARENT TAX PARCEL

Property located in Casey County, Kentucky

Parcel 1
 Tract One Beginning at a beech and hickory line, thence South 55 deg. East 78 poles to a white oak thence North 55 deg. East 64 poles to a maple, thence North 130 poles to two small hickories on beech of knob thence West 112 poles to two beeches in Minor's line thence with his line South 125 poles to the beginning There is excluded from this tract an off-conveyance to Howard Condr. Said off-conveyance being of record in Deed Book 62 Page 352 in the office of the Clerk of the Casey County Court

Tract Two A certain tract or parcel of land lying in Casey County, Kentucky, on Elk Cave Branch of Harlan's branch of North Rolling Fork of Salt River and bounded as follows: Beginning at a double sugar tree, David Green's corner, thence with his line N 50 deg. 50 min. West 28-1/5 rods to a stone with three ashes and a red bud as pointers formerly three dogwoods, David Green's corner and Minor's corner, thence with Minor's line North 61 deg. 40 min. East 22 rods to stone corner formerly sugar tree supposed to be Minor's corner now Elder's, thence N 21 deg. 40 min. East 27-1/5 rods to a large bush, J. W. Gué's corner, thence his line S 52 deg. 50 min. East 47 rods to a stake in J. L. Kang's line thence with it South 62 deg. 10 min. West 50 rods to the beginning this corner is on top of hill

There is excluded from Tract Two the following off-conveyance from B. H. Mills, single to James S. Mills and Susie Mills, his wife, by deed dated the 6th day of July 1971 and of record in Deed Book 82, Page 453 in the office of the Clerk of the Casey County Court: Beginning at a small black oak and running North 3 deg. West 24.36 poles to a stone, on the North side of the creek, thence up the creek South 24 deg. East 17 poles to an ash on the South side of the road thence South 18 deg. West 13 40 poles to the point of beginning and containing 1-2/10 acres more or less, according to the survey of Lewis J. Cochran, Reg. #1038 dated June 5 1971

Parcel 2
 Tract No. 1
 Beginning at a stone, papaw and sassafras on the knob in A. J. Shearn's line thence with his line N 12 W 54 poles to a beech and dogwood, thence S 8 W 54-1/2 poles to a white oak stump, thence S 11-1/2 E 30-1/2 poles to a hickory on the top of the knob in G. L. Minor's line, thence with top of knob S 82-1/2 E 38 poles to a black oak and chestnut, thence W 37 E 8-5/8 poles to the beginning containing 17 acres, the boundary taken for more or less

Tract No. 2
 Beginning at a white oak on Harlins Branch corner to M. A. Carter, thence S 2 E 68 poles to a hickory corner to same thence with G. L. Minors to a double poplar thence E 86 poles to a beech corner to James King thence S 10 W 32 poles to a beech and hickory corner to same thence N 74 W 26 poles to the beginning the boundary taken for 20 acres more or less

Tract No. 3
 Beginning at a hickory and sugar tree on a ridge, N 33 W 114 poles to a double, poplar thence S with West side of ridge 84 poles to four small chestnuts on point of knob thence East course a straight line to the beginning

Tract No. 4
 Beginning at a bush thence S 10 W 34 poles to a hickory thence S 54 E 13 poles to a stone thence N 10 E 40-1/2 (one) poles to the beginning containing 3 acres more or less

There is excluded from the above the parcels or properties described in the following deeds:
 (1) 912 acres conveyed to Jay T. Crowe in Deed Book 181, Page 760 in the Casey County Clerk's office,
 (2) 1.598 acres conveyed to Steve Weaver and Kay Weaver in Deed Book 168 Page 634 in the addressad Clerk's office,
 (3) 2.302 acres conveyed to Tracy Mills in Deed Book 167 Page 192 in the addressad Clerk's office
 (4) 2.261 acres conveyed in Deed Book 165 Page 413 in the addressad Clerk's office,
 (5) 13.09 acres conveyed to Glen Bailes in Deed Book 120 Page 457 in the addressad Clerk's office,
 (6) 12 acres conveyed to Jay Thomas Crowe in Deed Book 119 Page 185 in the addressad Clerk's office
 (7) 65 acres conveyed in Deed Book 126, Page 635 in the addressad Clerk's office.

AND BEING the same property conveyed to Peter Primiano and Angela Primiano from Jerald C. Shepherd and Mary M. Shepherd by Deed dated April 27 2011 and recorded May 6, 2011 in Deed Book 274 Page 248

Tax Parcel No 061-191

TITLE EXAMINATION
 Surveyor's treatment of Title Examination Items is limited to the scope described in ALTA/NSPS 2016 requirements. Section 6 C. n. and is limited to determination of the event of land that Title Items may influence. If any Surveyor may indicate where review by Title Attorney may be warranted.)

Reference Report of Title, issued by Fidelity National Title Insurance Company Order No. 37793441 Issue Date September 6 2022 Schedule B Part II

Item 1 Taxes Not addressed by Survey

Item 2 Right-of-Way Easement, Deed Book 192-529
 60' Electric Easement being 30' from the centerline of electric system Applies to Parent Parcel Power Lines are shown within Survey Area. Deed does not provide information necessary to establish if the lines existing within the Survey area are the lines that this easement was intended to serve

Item 3 Mortgage Deed Book 216-407 Applies to Parent Parcel Blanket in nature and not subject to separate mapping

Notice List

Parcel Number 061-19F

PRIMIANO PETER & ANGELA
3180 MINORS BRANCH RD
GRAVEL SWITCH, KY 40328


qPublic.net Casey County, KY PVA Elizabeth Williams Search

Layers Map Search Results **Report** Sales Search Sales List Sales Results Tax Estimator Home


Summary

Parcel Number: 061-19F
 Account Number: 30293
 Location Address: MINORS BRANCH RD 3180
 Description: ALSO 3175 MINORS BRANCH RD
(Note: Not to be used on legal documents)
 Class: Farm
 Tax District: 0000
 Rate Per Thousand: 9.7600

[View Map](#)



Information



Casey County, KY
 133 Courthouse Square
 Liberty, KY 42539

Property Valuation Administrator
 Brad Johnson
 606-787-7621

Announcements

[How to use the Reasonable Use Demo Video](#)

Owner

Primary Owner:
 PRIMIANO PETER & ANGELA
 3180 MINORS BRANCH RD
 GRAVEL SWITCH, KY 40328

Land Characteristics

Valuation

Taxes

	2022	2021	2020
Tax	\$300.30	\$454.87	\$476.50

Improvement Information

Sale Information

Sale Date	Sale Price	Sale Type	Book-Page	Grantee	Grantor
10/24/2013	\$5,800	Expansion Sale	290-841	PRIMIANO PETER & ANGELA	BIDDLE JERRY & REBECCA
4/3/2011	\$130,000	Arm's Length Transaction	274-248	PRIMIANO PETER & ANGELA	SHEPHERD JERALD C & MARY M
12/1/2008	\$0	Annual Twice Sold		SHEPHERD JERALD C & MARY M	STAPFORD PROPERTIES
5/1/2008	\$0			STAPFORD PROPERTIES	RICE SANDRA

Parcel Number 061-19L

CROWE & POE
NINA LUAVON & SHARON GAY
3020 MINORS BRANCH RD
GRAVEL SWITCH, KY 40328

qPublic.net Casey County, KY PVA Elizabeth Williams Search

Layers Map Search Results **Report** Sales Search Sales List Sales Results Tax Estimator Home

Summary

Parcel Number: 061-19L
 Account Number: 30143
 Location Address: MINORS BRANCH RD
 Description: (Note: Not to be used on legal documents)
 Class: Farm
 Tax District: 0000
 Rate Per Thousand: 9.7600

[View Map](#)

Owner

Primary Owner:
 CROWE & POE
 NINA LUAVON & SHARON GAY
 3020 MINORS BRANCH RD
 GRAVEL SWITCH, KY 40328

Land Characteristics

Valuation


Taxes

	2022	2021	2020
Tax	\$144.21	\$148.11	\$151.22

Sale Information

Sale Date	Sale Price	Sale Type	Book-Page	Grantee	Grantor
3/25/2014	\$0	Other	294-654	CROWE & POE	MILLS JEWEL
11/1/1984	\$0		048-429	MILLS JEWEL	OXLEY MILLS

Information



Casey County, KY
 133 Courthouse Square
 Liberty, KY 42539

Property Valuation Administrator
 Brad Johnson
 606-787-7621

Announcements

[How to use the Reasonable Use Demo Video](#)

Parcel Number 061-1

CROWE NINA LUAVON
3020 MINORS BRANCH RD
GRAVEL SWITCH, KY 40328

The screenshot shows a web report for parcel 061-1. The page header includes the qPublic.net logo, 'Casey County, KY PVA', and a search bar. The main content is organized into several sections: Summary, Owner, Land Characteristics, Valuation, Taxes, Improvement Information, and Sale Information. The Summary section lists parcel details like account number 28421 and description '2000 MOBILE HOME'. The Owner section identifies the primary owner as CROWE NINA LUAVON. The Taxes section contains a table with columns for years 2022, 2021, and 2020, and rows for Tax amounts. The Sale Information section shows a table with columns for Sale Date, Sale Price, Sale Type, Book Page, Grantee, and Grantor.

Tax	2022	2021	2020
	\$43.75	\$40.43	\$56.82

Sale Date	Sale Price	Sale Type	Book Page	Grantee	Grantor
10/1/2000	\$3,900		202-206	CROWE NINA LUAVON	JEWELL MILLS

Parcel Number 061-19N

NEWBERRY CHARLES D
290 PISTOL RIDGE RD
CAMPBELLSVILLE, KY 42718

The screenshot shows a web report for parcel 061-19N. The page header includes the qPublic.net logo, 'Casey County, KY PVA', and a search bar. The main content is organized into several sections: Summary, Owner, Land Characteristics, Valuation, Taxes, Improvement Information, and Sale Information. The Summary section lists parcel details like account number 29758 and description 'MINORS BR'. The Owner section identifies the primary owner as NEWBERRY CHARLES D. The Taxes section contains a table with columns for years 2022, 2021, and 2020, and rows for Tax amounts. The Sale Information section shows a table with columns for Sale Date, Sale Price, Sale Type, Book Page, Grantee, and Grantor.

Tax	2022	2021	2020
	\$216.19	\$222.01	\$226.70

Sale Date	Sale Price	Sale Type	Book Page	Grantee	Grantor
4/1/2011	\$16,000	Other	274-097	NEWBERRY CHARLES D	MILLS LEWELL MRS JEWEL
11/1/1964	\$0			MILLS LEWELL MRS JEWEL	OUTLEY MILLS

Parcel Number 061-19M
 CROWE HEATHER
 2987 MINORS BRANCH RD
 GRAVEL SWITCH, KY 40328

qPublic.net Casey County, KY PVA Elizabeth Williams Search

Layers Map Search Results **Report** Sales Search Sales List Sales Results Tax Estimator Home

Summary

Parcel Number: 061-19M
 Account Number: 39384
 Location Address: MINORS BRANCH RD 2987
 Description: SEE DB 256 PLAT TRACT C
(Note: Not to be used on legal documents)
 Class: Residential
 Tax District: 0030
 Rate Per Thousand: 9.7600

[View Map](#)

Owner

Primary Owner:
 CROWE HEATHER
 2987 MINORS BRANCH RD
 GRAVEL SWITCH, KY 40328

Land Characteristics

Valuation

Taxes


	2022	2021	2020
Tax	\$481.25	\$463.99	\$470.45

Improvement Information

Sale Information

Sale Date	Sale Price	Sale Type	Book Page	Grantee	Grantor
6/3/2013	\$600	Close Relative Sale	239-491	CROWE HEATHER	CROWE JAY
8/10/2012	\$0	Close Relative Sale	281-430	CROW JAY	MILLS JEWEL
	\$0		NOT REC	MILLS JEWEL	

Information



Casey County, KY
 133 Courthouse Square
 Liberty, KY 40339

Property Valuation
 Administrator
 BRAD JOHNSON
 606-787-7421

Announcements

[How to use the Report Site - view Demo/Video](#)

Parcel Number 061-19F-2
 BEAUDET STEVEN & ELIZABETH
 3176 MINORS BRANCH RD
 GRAVEL SWITCH, KY 40328

qPublic.net Casey County, KY PVA Elizabeth Williams Search

Layers Map Search Results **Report** Sales Search Sales List Sales Results Tax Estimator Home

Summary

Parcel Number: 061-19F-2
 Account Number: 40430
 Location Address: MINORS BRANCH RD
 Description: (Note: Not to be used on legal documents)
 Class: Residential
 Tax District: 0030
 Rate Per Thousand: 9.7600

[View Map](#)

Owner

Primary Owner:
 BEAUDET STEVEN & ELIZABETH
 3176 MINORS BRANCH RD
 GRAVEL SWITCH, KY 40328

Land Characteristics

Valuation

Taxes


	2022
Tax	\$1,140.00

Improvement Information

Sale Information

Sale Date	Sale Price	Sale Type	Book Page	Grantee	Grantor
3/19/2022	\$0	Partial Sale	339-299	BEAUDET STEVEN & ELIZABETH	FRIMIANO PETER & ANGELA
4/29/2013	\$9,500	Sliding Scale	296-832	WIDDLE JERRY S REBECCA	UNDERWOOD DANA SIMPSON
4/1/1997	\$8,000	Sliding Scale	241-433	UNDERWOOD DANA SIMPSON	TRACY MILLS
6/1/1994	\$0			MILLS TRACY & KIM	LEWELL MILLS
	\$0			TRACY MILLS	MILLS TRACY & KIM

Information



Casey County, KY
 133 Courthouse Square
 Liberty, KY 40339

Property Valuation
 Administrator
 BRAD JOHNSON
 606-787-7421

Announcements

[How to use the Report Site - view Demo/Video](#)

Parcel Number 061-19C
 CROWE HEATHER
 2987 MINORS BRANCH
 GRAVEL SWITCH, KY 40328

qPublic.net Casey County, KY PVA Elizabeth Williams

Layers Map Search Results **Report** Sales Search Sales List Sales Results Tax Estimator Home

Summary

Parcel Number: 061-19C
 Account Number: 27597
 Location Address: MINORS BRANCH RD
 Description: MINORS BR RD
(Note: Not to be used on legal documents)
 Class: Residential
 Tax District: 00 00
 Rate Per Thousand: 9.7000

[View Map](#)

Owner

Primary Owner:
 CROWE HEATHER
 2987 MINORS BRANCH
 GRAVEL SWITCH, KY 40328

Land Characteristics

Valuation



Taxes

Tax	2022	2021	2020
	\$114.00	\$117.12	\$119.61

Sale Information

Sale Date	Sale Price	Sale Type	Book-Page	Grantee	Grantor
6/28/2018	\$12,000	Arms-Length Transaction	314-511	CROWE HEATHER	HAYES JAMES L
8/20/2012	\$2,000	Master Commission	281-594	HAYES JAMES L	WEST PENNY
10/3/2001	\$0		208-218	WEST PENNY	WEST ROBERT & PENNY
3/1/1999	\$8,000	Sliding Scale	190-545	WEST PENNY	IRVIN BARRY THOMAS
12/1/1985	\$0			IRVIN BARRY THOMAS	MAHIE CROWE

Information

Casey County, KY
 233 Courthouse Square
 Liberty, KY 42539

Property Valuation
 Administrator
 Brad Johnson
 606-787-7421

Announcements

[How to use the Beacon site - view Demo Videos](#)

Parcel Number 061-19F-3
 CROWE HEATHER
 2987 MINORS BRANCH RD
 GRAVEL SWITCH, KY 40328

qPublic.net Casey County, KY PVA Elizabeth Williams

Layers Map Search Results **Report** Sales Search Sales List Sales Results Tax Estimator Home

Summary

Parcel Number: 061-19F-3
 Account Number: 30829
 Location Address: 0
 Description: MINORS BR RD
(Note: Not to be used on legal documents)
 Class: Residential
 Tax District: 00 00
 Rate Per Thousand: 9.7000

[View Map](#)

Owner

Primary Owner:
 CROWE HEATHER
 2987 MINORS BRANCH RD
 GRAVEL SWITCH, KY 40328

Land Characteristics

Valuation


Taxes

Tax	2022	2021	2020
	\$14.25	\$14.44	\$14.97

Sale Information

Sale Date	Sale Price	Sale Type	Book-Page	Grantee	Grantor
7/27/2021	\$0	Close Relative Sale	334-500	CROWE HEATHER	CROWE JAY THOMAS
10/1/2003	\$13,500	Annual Truist Sale	229-433	CROWE JAY THOMAS	HOPKINS ETHEL
8/1/2000	\$0	Sliding Scale		HOPKINS ETHEL	CROWE HEATHER
7/1/1997	\$0			CROWE HEATHER	JAY CROW

Information



Casey County, KY
 233 Courthouse Square
 Liberty, KY 42539

Property Valuation
 Administrator
 Brad Johnson
 606-787-7421

Announcements

[How to use the Beacon site - view Demo Videos](#)

Parcel Number 045-15
 POWERS BRIAN WAYNE
 2920 LITTLE SOUTH RD
 GRAVEL SWITCH, KY 40328


Public.net Casey County, KY PVA Elizabeth Williams Search search...

Layers Map Search Results **Report** Sales Search Sales List Sales Results Tax Estimator Home

Summary

Parcel Number: 045-15
 Account Number: 30225
 Location Address: LITTLE SOUTH RD 2920
 Description: HWY 243
 (Note: Not to be used on legal documents)
 Class: Farm
 Tax District: 00 00
 Rate Per Thousand: 9.7600

[View Map](#)



Owner

Primary Owner: [POWERS BRIAN WAYNE](#)
 2920 LITTLE SOUTH RD
 GRAVEL SWITCH, KY 40328

Land Characteristics

Valuation

Taxes


	2022	2021	2020
Tax	\$203.05	\$291.03	\$0.00

Improvement Information

Sale Information

Sale Date	Sale Price	Sale Type	Book Page	Grantee	Grantor
6/1/1984	\$0		127-089	POWERS BRIAN WAYNE	LUCILLE LOVETTE ETAL

Information



Casey County, KY
 133 Courthouse Square
 Liberty, KY 42539

Property Valuation Administrator
 Grant Johnson
 606-787-7621

Announcements

[How to Use the Resource - view Demo Video](#)

Parcel Number 045-14
 POWERS BRIAN WAYNE
 2920 LITTLE SOUTH RD
 GRAVEL SWITCH, KY 40328

Public.net Casey County, KY PVA Elizabeth Williams Search search...

Layers Map Search Results **Report** Sales Search Sales List Sales Results Tax Estimator Home

Summary

Parcel Number: 045-14
 Account Number: 30228
 Location Address: LITTLE SOUTH RD
 Description: HWY 243
 (Note: Not to be used on legal documents)
 Class: Farm
 Tax District: 00 00
 Rate Per Thousand: 9.7500

[View Map](#)

Owner

Primary Owner: [POWERS BRIAN WAYNE](#)
 2920 LITTLE SOUTH RD
 GRAVEL SWITCH, KY 40328


Land Characteristics

Valuation

Sale Information

Sale Date	Sale Price	Sale Type	Book Page	Grantee	Grantor
4/1/1988	\$0		140-378	POWERS BRIAN WAYNE	MILDRED WILCHER

Information



Casey County, KY
 133 Courthouse Square
 Liberty, KY 42539

Property Valuation Administrator
 Grant Johnson
 606-787-7621

Announcements

[How to Use the Resource - view Demo Video](#)

Parcel Number 045-13
 POWERS BRIAN WAYNE
 2920 LITTLE SOUTH RD
 GRAVEL SWITCH, KY 40328

Public.net Casey County, KY PVA Elizabeth Williams Search

Layers Map Search Results **Report** Sales Search Sales List Sales Results Tax Estimator Home

Summary

Parcel Number: 045-13
 Account Number: 00229
 Location Address: LITTLE SOUTH
 Description: (Note: Not to be used on legal documents)
 Class: Farm
 Tax District: 00.00
 Rate Per Thousand: 9.7500

[View Map](#)

Owner

Primary Owner:
 POWERS BRIAN W & N JOLENE
 2920 LITTLE SOUTH RD
 GRAVEL SWITCH, KY 40328

Land Characteristics

Valuation

Taxes

Tax	2022	2021	2020
	\$144.21	\$148.11	\$151.22

Sale Information

Sale Date	Sale Price	Sale Type	Book-Page	Grantee	Grantor
10/12/1991	\$28,000		156-338	POWERS BRIAN W & N JOLENE	TOOTIE LANE

Information

Casey County, KY
 133 Courthouse Square
 Liberty, KY 42539

Property Valuation Administrator
 Brad Johnson
 806-787-7423

Announcements

[How to use the Report site - view Demo Videos](#)

Parcel Number 045-12
 POWERS VINGIE R ESTATE
 C/O NANCY A PORTER
 2482 LITTLE SOUTH RD
 GRAVEL SWITCH, KY 40328

Public.net Casey County, KY PVA Elizabeth Williams Search

Layers Map Search Results **Report** Sales Search Sales List Sales Results Tax Estimator Home

Summary

Parcel Number: 045-12
 Account Number: 00234
 Location Address: LITTLE SOUTH RD 2482
 Description: HWY 243
 Class: Farm
 Tax District: 00.00
 Rate Per Thousand: 9.7500

[View Map](#)

Owner

Primary Owner:
 POWERS VINGIE R ESTATE
 C/O NANCY A PORTER
 2482 LITTLE SOUTH RD
 GRAVEL SWITCH, KY 40328

Land Characteristics

Valuation

Taxes

Tax	2022	2021	2020
	\$0.90	\$0.90	\$0.90

Improvement Information

Sale Information

Sale Date	Sale Price	Sale Type	Book-Page	Grantee	Grantor
4/2/1997	\$0	Close Relative Sale	100-533	POWERS VINGIE R	LANE ZORA

Information

Casey County, KY
 133 Courthouse Square
 Liberty, KY 42539

Property Valuation Administrator
 Brad Johnson
 806-787-7423

Announcements

[How to use the Report site - view Demo Videos](#)

Parcel Number 061-19K
 ARNOLD WALTER C & PATRICIA
 898 COUNT FLEET CR
 DANVILLE, KY 40422

qPublic.net™ Casey County, KY PVA Elizabeth Williams Search

Layers Map Search Results Report Sales Search Sales List Sales Results Tax Estimator Home

Summary

Parcel Number: 061-19K
 Account Number: 24752
 Location Address: MINORS BRANCH RD
 Description: *(Note: Not to be used on legal documents)*
 Class: Farm
 Tax District: 00-00
 Rate Per Thousand: 9.7600

[View Map](#)

Owner

Primary Owner:
 ARNOLD WALTER C & PATRICIA
 898 COUNT FLEET CR
 DANVILLE, KY 40422

Land Characteristics

Valuation

Taxes

	2022	2021	2020
Tax	\$95.72	\$98.22	\$100.39

Sale Information

Sale Date	Sale Price	Sale Type	Book-Page	Grantee	Grantor
10/1/2005	\$23,200		237-420	ARNOLD WALTER C & PATRICIA	JEWELL MILLS

Information

Casey County, KY
 133 Courthouse Square
 Liberty, KY 42539

Property Valuation Administrator
 Brad Johnson
 606-787-7621

Announcements

[How to use the Report site - view Demo Video](#)

Parcel Number 062-02
 HAYES JAMES L
 5900 MAXEY VALLEY RD
 HUSTONVILLE, KY 40437

qPublic.net™ Casey County, KY PVA Elizabeth Williams Search

Layers Map Search Results Report Sales Search Sales List Sales Results Tax Estimator Home

Summary

Parcel Number: 062-02
 Account Number: 34831
 Location Address: MAXEY VALLEY RD
 Description: *(Note: Not to be used on legal documents)*
 Class: Farm
 Tax District: 00-00
 Rate Per Thousand: 9.7600

[View Map](#)

Owner

Primary Owner:
 HAYES JAMES L
 5900 MAXEY VALLEY RD
 HUSTONVILLE, KY 40437

Land Characteristics

Valuation

Taxes

	2022	2021	2020
Tax	\$166.77	\$191.01	\$195.07

Sale Information

Sale Date	Sale Price	Sale Type	Book-Page	Grantee	Grantor
5/27/2014	\$48,000	Partial Sale	219-222	HAYES JAMES L	MORRIS SALLY
7/1/2008	\$107,000	Arms-Length Transaction	258-033	MORRIS SALLY E	CINNAMOND EDWIN T
8/1/1998	\$0	Arms-Length Transaction		CINNAMOND EDWIN T	VOOER MELVIN
2/1/1995	\$0			VOOER MELVIN	MOCHEE DAVID L

Information

Casey County, KY
 133 Courthouse Square
 Liberty, KY 42539

Property Valuation Administrator
 Brad Johnson
 606-787-7621

Announcements

[How to use the Report site - view Demo Video](#)

Notice List

Parcel Number 061-19F

PRIMIANO PETER & ANGELA
3180 MINORS BRANCH RD
GRAVEL SWITCH, KY 40328


qPublic.net Casey County, KY PVA Elizabeth Williams Search

Layers Map Search Results **Report** Sales Search Sales List Sales Results Tax Estimator Home

Summary

Parcel Number: 061-19F
 Account Number: 30293
 Location Address: MINORS BRANCH RD 3180
 Description: ALSO 3175 MINORS BRANCH RD
(Note: Not to be used on legal documents)
 Class: Farm
 Tax District: 0000
 Rate Per Thousand: 9.7600

[View Map](#)



Information

Casey County, KY
 133 Courthouse Square
 Liberty, KY 42539

Property Valuation Administrator
 Brad Johnson
 606-787-7621

Announcements

[How to use the Reasonable Use Demo Video](#)

Owner

Primary Owner:
 PRIMIANO PETER & ANGELA
 3180 MINORS BRANCH RD
 GRAVEL SWITCH, KY 40328

Land Characteristics

Valuation

Taxes

	2022	2021	2020
Tax	\$300.30	\$454.87	\$476.50

Improvement Information

Sale Information

Sale Date	Sale Price	Sale Type	Book-Page	Grantee	Grantor
10/24/2013	\$5,800	Expansion Sale	290-841	PRIMIANO PETER & ANGELA	BIDDLE JERRY & REBECCA
4/3/2011	\$130,000	Arm's Length Transaction	274-248	PRIMIANO PETER & ANGELA	SHEPHERD JERALD C & MARY M
12/1/2008	\$0	Annual Twice Sold		SHEPHERD JERALD C & MARY M	STAPFORD PROPERTIES
5/1/2008	\$0			STAPFORD PROPERTIES	RICE SANDRA

Parcel Number 061-19L

CROWE & POE
NINA LUAVON & SHARON GAY
3020 MINORS BRANCH RD
GRAVEL SWITCH, KY 40328


qPublic.net Casey County, KY PVA Elizabeth Williams Search

Layers Map Search Results **Report** Sales Search Sales List Sales Results Tax Estimator Home

Summary

Parcel Number: 061-19L
 Account Number: 30143
 Location Address: MINORS BRANCH RD
 Description: (Note: Not to be used on legal documents)
 Class: Farm
 Tax District: 0000
 Rate Per Thousand: 9.7600

[View Map](#)



Information

Casey County, KY
 133 Courthouse Square
 Liberty, KY 42539

Property Valuation Administrator
 Brad Johnson
 606-787-7621

Announcements

[How to use the Reasonable Use Demo Video](#)

Owner

Primary Owner:
 CROWE & POE
 NINA LUAVON & SHARON GAY
 3020 MINORS BRANCH RD
 GRAVEL SWITCH, KY 40328

Land Characteristics

Valuation

Taxes

	2022	2021	2020
Tax	\$144.21	\$148.11	\$151.22

Sale Information

Sale Date	Sale Price	Sale Type	Book-Page	Grantee	Grantor
3/25/2014	\$0	Other	294-654	CROWE & POE	MILLS JEWEL
11/1/1984	\$0		048-429	MILLS JEWEL	OXLEY MILLS

Parcel Number 061-19I

CROWE NINA LUAVON
3020 MINORS BRANCH RD
GRAVEL SWITCH, KY 40328

The screenshot shows a web report for parcel 061-19I. The page includes a navigation bar with 'Layers', 'Map', 'Search', 'Results', 'Report', 'Sales Search', 'Sales List', 'Sales Results', 'Tax Estimator', and 'Home'. The 'Report' section is active, displaying the following information:

- Summary:** Parcel Number 061-19I, Account Number 28421, Location Address MINORS BRANCH RD 3020, Description 2020 MOBILE HOME (Note: Not to be used on legal documents), Class Residential, Tax District 00-00, Rate Per Thousand 9.7600.
- Owner:** Primary Owner CROWE NINA LUAVON, 3020 MINORS BRANCH RD, GRAVEL SWITCH, KY 40328.
- Land Characteristics:** (Empty section)
- Valuation:** (Empty section)
- Taxes:** Table with columns for Year and Tax. Data: 2022: \$43.75, 2021: \$40.47, 2020: \$56.82.
- Improvement Information:** (Empty section)
- Sale Information:** Table with columns for Sale Date, Sale Price, Sale Type, Book-Page, Grantee, and Grantor. Data: 10/1/2000, \$3,900, Annual Twice-Sold, 202-206, CROWE NINA LUAVON, JEWELL MILLS.

Additional features include a 'View Map' link, a photo of the mobile home, and an 'Information' sidebar with contact details for Casey County, KY (133 Courthouse Square, Liberty, KY 40309) and the Property Valuation Administrator (Craig Johnson, 606-787-7621). There is also an 'Announcements' section with a link to 'How to use the Report Site - view Demo Videos'.

Parcel Number 061-19N

NEWBERRY CHARLES D
290 PISTOL RIDGE RD
CAMPBELLSVILLE, KY 42718

WOODS & WATER WITH KDL LLC
250 JOE PATTERSON RD
MIDDLEBURG, KY 42541

The screenshot shows a web report for parcel 061-19N. The page includes a navigation bar with 'Layers', 'Map', 'Search', 'Results', 'Report', 'Sales Search', 'Sales List', 'Sales Results', 'Tax Estimator', and 'Home'. The 'Report' section is active, displaying the following information:

- Summary:** Parcel Number 061-19N, Account Number 41342, Location Address MINORS BRANCH RD, Description MINORS SR (Note: Not to be used on legal documents), Class Farm, Tax District 00-00, Rate Per Thousand 9.7600.
- Owner:** Primary Owner WOODS & WATER WITH KDL LLC, 250 JOE PATTERSON RD, MIDDLEBURG, KY 42541.
- Land Characteristics:** (Empty section)
- Valuation:** (Empty section)
- Taxes:** (Empty section)
- Sale Information:** Table with columns for Sale Date, Sale Price, Sale Type, Book-Page, Grantee, and Grantor. Data: 12/4/2023: \$217,350, Annual Twice-Sold, 351-029, WOODS & WATER WITH KDL LLC, BUILTEY TOMORROW LLC; 12/1/2023: \$185,000, Annual Twice-Sold, 350-437, BUILTEY TOMORROW LLC, DIGITAL BUSINESS CORP; 10/5/2023: \$80,000, Arms-Length Transaction, 350-078, DIGITAL BUSINESS CORP, NEWBERRY CHARLES D.

Additional features include a 'View Map' link, a photo of a building, and an 'Information' sidebar with contact details for Casey County, KY (133 Courthouse Square, Liberty, KY 40309) and the Property Valuation Administrator (Craig Johnson, 606-787-7621). There is also an 'Announcements' section with a link to 'How to use the Report Site - view Demo Videos'.

qPublic.net Casey County, KY PVA Elizabeth Williams Search

Layers Map Search Results **Report** Sales Search Sales List Sales Results Tax Estimator Home

Summary

Parcel Number: 061-19M
 Account Number: 29758
 Location Address: MINORS BRANCH RD
 Description: MINORS BR
(Note: Not to be used on legal documents)
 Class: Farm
 Tax District: 0000
 Rate Per Thousand: 9.7600

[View Data](#)

Owner

Primary Owner:
 NEWBERRY CHARLES D
 290 PISTOL RIDGE RD
 CAMPBELLVILLE, KY 42718

Land Characteristics

Valuation


Taxes

	2022	2021	2020
Tax	\$216.19	\$222.01	\$226.70

Sale Information

Sale Date	Sale Price	Sale Type	Book Page	Grantor	Grantee
4/1/2011	\$16,000	Other	274-097	NEWBERRY CHARLES D	MILLS LEWELL MRS JEWEL
11/1/1964	\$0			MILLS LEWELL MRS JEWEL	OTLEY MILLS

Information



Casey County, KY
 133 Courthouse Square
 Liberty, KY 42539

Property Valuation
 Administrator
 Brad Johnson
 606-787-7621

Announcements

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Parcel Number 061-19M
 CROWE HEATHER
 2987 MINORS BRANCH RD
 GRAVEL SWITCH, KY 40328

qPublic.net Casey County, KY PVA Elizabeth Williams Search

Layers Map Search Results **Report** Sales Search Sales List Sales Results Tax Estimator Home

Summary

Parcel Number: 061-19M
 Account Number: 39394
 Location Address: MINORS BRANCH RD 2987
 Description: SEE DB 236-P PLAT TRACT C
(Note: Not to be used on legal documents)
 Class: Residential
 Tax District: 0000
 Rate Per Thousand: 9.7600

[View Data](#)

Owner

Primary Owner:
 CROWE HEATHER
 2987 MINORS BRANCH RD
 GRAVEL SWITCH, KY 40328

Land Characteristics

Valuation

Taxes


	2022	2021	2020
Tax	\$451.25	\$463.59	\$473.45

Improvement Information

Sale Information

Sale Date	Sale Price	Sale Type	Book Page	Grantor	Grantee
6/3/2015	\$500	Close Relative Sale	299-491	CROWE HEATHER	CROWE JAY
9/10/2012	\$0	Close Relative Sale	281-830	CROWE JAY	MILLS JEWEL
	\$0		NOT REC	MILLS JEWEL	

Information



Casey County, KY
 133 Courthouse Square
 Liberty, KY 42539

Property Valuation
 Administrator
 Brad Johnson
 606-787-7621

Announcements

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Parcel Number 061-19F-2
 BEAUDET STEVEN & ELIZABETH
 3176 MINORS BRANCH RD
 GRAVEL SWITCH, KY 40328

qPublic.net Casey County, KY PVA Elizabeth Williams Search

Layers Map Search Results **Report** Sales Search Sales List Sales Results Tax Estimator Home

Summary

Parcel Number: 061-19F-2
 Account Number: 40430
 Location Address: MINORS BRANCH RD
 Description: *(Note: Not to be used on legal documents)*
 Class: Residential
 Tax District: 00 00
 Rate Per Thousand: 9.7600

Owner

Primary Owner: BEAUDET STEVEN & ELIZABETH
 3176 MINORS BRANCH RD
 GRAVEL SWITCH, KY 40328

Land Characteristics

Valuation

Taxes


Tax	2022
	\$1,140.00

Improvement Information

Sale Information

Sale Date	Sale Price	Sale Type	Book-Page	Grantee	Grantor
3/19/2022	\$0	Partial Sale	338-299	BEAUDET STEVEN & ELIZABETH	PRIMIANO PETER & ANGELA
6/29/2013	\$5,500	Sliding Scale	236-831	BIDDLE JERRY & REBECCA	UNDERWOOD DANA SIMPSON
4/1/1997	\$8,000	Sliding Scale	241-433	UNDERWOOD DANA SIMPSON	TRACY MILLS
6/1/1994	\$0			MILLS TRACY & KIM	LEWELL MILLS
	\$0			TRACY MILLS	MILLS TRACY & KIM

Information



Casey County, KY
 133 Courthouse Square
 Liberty, KY 42529

Property Valuation Administrator
 Email Address: 606-787-7621

Announcements

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Parcel Number 061-19C
 CROWE HEATHER
 2987 MINORS BRANCH
 GRAVEL SWITCH, KY 40328

qPublic.net Casey County, KY PVA Elizabeth Williams Search

Layers Map Search Results **Report** Sales Search Sales List Sales Results Tax Estimator Home

Summary

Parcel Number: 061-19C
 Account Number: 57597
 Location Address: MINORS BRANCH RD
 Description: *(Note: Not to be used on legal documents)*
 Class: Residential
 Tax District: 00 00
 Rate Per Thousand: 9.7600



Owner

Primary Owner: CROWE HEATHER
 2987 MINORS BRANCH
 GRAVEL SWITCH, KY 40328

Land Characteristics

Valuation


Taxes

Tax	2022	2021	2020
	\$114.00	\$117.12	\$119.61

Sale Information

Sale Date	Sale Price	Sale Type	Book-Page	Grantee	Grantor
1/29/2018	\$12,000	Arms-Length Transaction	214-511	CROWE HEATHER	HAYES JAMES L
8/20/2013	\$2,000	Master Commission	281-594	HAYES JAMES L	WEST PENNY
10/3/2001	\$0		208-218	WEST PENNY	WEST ROBERT & PENNY
3/1/1999	\$8,000	Sliding Scale	190-548	WEST PENNY	IRVIN BARRY THOMAS
12/1/1988	\$0			IRVIN BARRY THOMAS	MAHIE CROWE

Information



Casey County, KY
 133 Courthouse Square
 Liberty, KY 42529

Property Valuation Administrator
 Email Address: 606-787-7621

Announcements

[How to use the Beacon site - a new Beacon Video](#)

Parcel Number 061-19F-3
 CROWE HEATHER
 2987 MINORS BRANCH RD
 GRAVEL SWITCH, KY 40328

qPublic.net Casey County, KY PVA Elizabeth Williams Search

Layers Map Search Results **Report** Sales Search Sales List Sales Results Tax Estimator Home

Summary

Parcel Number 045-19F-3
 Account Number 39829
 Location Address 0
 Description MINORS BR RD
 (Note: Not to be used on legal documents)
 Class Residential
 Tax District 0000
 Rate Per Thousand 9.7600

[View Map](#)

Owner

Primary Owner
[CROWE HEATHER](#)
 2927 MINORS BRANCH RD
 GRAVEL SWITCH, KY 40328

Land Characteristics

Valuation


Taxes

Tax	2022	2021	2020
	\$1425	\$1464	\$1497

Sale Information

Sale Date	Sale Price	Sale Type	Book Page	Grantee	Grantor
7/27/2001	\$0	Close Relative Sale	334-500	CROWE HEATHER	CROWE JAY THOMAS
10/1/2003	\$1800	Annual Twice Sold	225-413	CROWE JAY THOMAS	HOPKINS ETHEL
8/1/2000	\$0	Sliding Scale		HOPKINS ETHEL	CROWE HEATHER
7/1/1997	\$0			CROWE HEATHER	JAY CROW

Information



Casey County KY
 133 Courthouse Square
 Liberty, KY 42539

Property Valuation Administrator
 Grant Johnson
 606-787-7421

Announcements

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Parcel Number 045-15
 POWERS BRIAN WAYNE
 2920 LITTLE SOUTH RD
 GRAVEL SWITCH, KY 40328

qPublic.net Casey County, KY PVA Elizabeth Williams Search

Layers Map Search Results **Report** Sales Search Sales List Sales Results Tax Estimator Home

Summary

Parcel Number 045-15
 Account Number 30228
 Location Address LITTLE SOUTH RD 2920
 Description HWY 243
 (Note: Not to be used on legal documents)
 Class Farm
 Tax District 0000
 Rate Per Thousand 9.7600

[View Map](#)

Owner

Primary Owner
[POWERS BRIAN WAYNE](#)
 2920 LITTLE SOUTH RD
 GRAVEL SWITCH, KY 40328

Land Characteristics

Valuation

Taxes


Tax	2022	2021	2020
	\$203.35	\$291.03	\$0.00

Improvement Information

Sale Information

Sale Date	Sale Price	Sale Type	Book Page	Grantee	Grantor
8/1/1984	\$0		127-069	POWERS BRIAN WAYNE	LUCILLE LOVETTE ETAL

Information



Casey County KY
 133 Courthouse Square
 Liberty, KY 42539

Property Valuation Administrator
 Grant Johnson
 606-787-7421

Announcements

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Parcel Number 045-14
 POWERS BRIAN WAYNE
 2920 LITTLE SOUTH RD
 GRAVEL SWITCH, KY 40328

Public.net Casey County, KY PVA Elizabeth Williams Search search...

Layers Map Search Results **Report** Sales Search Sales List Sales Results Tax Estimator Home

Information

Summary

Parcel Number 045-14
 Account Number 30229
 Location Address LITTLE SOUTH RD
 Description HWY 243
 (Note: Not to be used on legal documents)
 Class Farm
 Tax District 0000
 Rate Per Thousand 9.7500

[View Map](#)

Owner

Primary Owner
 POWERS BRIAN WAYNE
 2920 LITTLE SOUTH RD
 GRAVEL SWITCH, KY 40328

Land Characteristics

Valuation

Sale Information

Sale Date	Sale Price	Sale Type	Book Page	Grantee	Grantor
4/1/1988	\$0		140-378	POWERS BRIAN WAYNE	MILDRED WILCHER

Casey County, KY
 133 Courthouse Square
 Liberty, KY 42539

Property Valuation Administrator
 Brad Johnson
 606-787-7621

Announcements
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Parcel Number 045-13
 POWERS BRIAN WAYNE
 2920 LITTLE SOUTH RD
 GRAVEL SWITCH, KY 40328

Public.net Casey County, KY PVA Elizabeth Williams Search search...

Layers Map Search Results **Report** Sales Search Sales List Sales Results Tax Estimator Home

Information

Summary

Parcel Number 045-13
 Account Number 30229
 Location Address LITTLE SOUTH
 Description LITTLE SOUTH
 (Note: Not to be used on legal documents)
 Class Farm
 Tax District 0000
 Rate Per Thousand 9.7500

[View Map](#)

Owner

Primary Owner
 POWERS BRIAN W & N JOLENE
 2920 LITTLE SOUTH RD
 GRAVEL SWITCH, KY 40328

Land Characteristics

Valuation

Taxes

	2022	2021	2020
Tax	\$144.21	\$148.11	\$151.22

Sale Information

Sale Date	Sale Price	Sale Type	Book Page	Grantee	Grantor
10/1/1991	\$28,000		164-338	POWERS BRIAN W & N JOLENE	TOOTSIE LANE

Casey County, KY
 133 Courthouse Square
 Liberty, KY 42539

Property Valuation Administrator
 Brad Johnson
 606-787-7621

Announcements
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Parcel Number 045-12
 POWERS VINGIE R ESTATE
 C/O NANCY A PORTER
 2482 LITTLE SOUTH RD
 GRAVEL SWITCH, KY 40328

qPublic.net Casey County, KY PVA Elizabeth Williams Search search

Layers Map Search Results **Report** Sales Search Sales List Sales Results Tax Estimator Home

Summary

Parcel Number: 042-12
 Account Number: 20224
 Location Address: LITTLE SOUTH RD 2492
 Description: HWY 243
 (Note: Not to be used on legal documents)
 Class: Farm
 Tax District: 00 00
 Rate Per Thousand: 9.7600

[View Map](#)

Owner

Primary Owner:
 POWERS YINGER RESTATE
 C/O NANCY A PORTER
 2482 LITTLE SOUTH RD
 GRAVEL SWITCH, KY 40328

Land Characteristics

Valuation

Taxes



	2022	2021	2020
Tax	\$0.90	\$0.90	\$0.90

Improvement Information

Sale Information

Sale Date	Sale Price	Sale Type	Book-Page	Grantee	Grantor
4/1/1997	\$0	Close Relative Sale	100-033	POWERS YINGER R	LANE ZORA

Information

Casey County, KY
 133 Courthouse Square
 Liberty, KY 42539

Property Valuation Administrator
 Brad Johnson
 804-787-7421

Announcements

[How to use the Report site - user demo video](#)

Parcel Number 061-19K
 ARNOLD WALTER C & PATRICIA
 898 COUNT FLEET CR
 DANVILLE, KY 40422

qPublic.net Casey County, KY PVA Elizabeth Williams Search search

Layers Map Search Results **Report** Sales Search Sales List Sales Results Tax Estimator Home

Summary

Parcel Number: 061-19K
 Account Number: 24752
 Location Address: MINORS BRANCH RD
 Description: (Note: Not to be used on legal documents)
 Class: Farm
 Tax District: 00 00
 Rate Per Thousand: 9.7600

[View Map](#)

Owner

Primary Owner:
 ARNOLD WALTER C & PATRICIA
 898 COUNT FLEET CR
 DANVILLE, KY 40422

Land Characteristics

Valuation


Taxes

	2022	2021	2020
Tax	\$95.72	\$98.32	\$100.39

Sale Information

Sale Date	Sale Price	Sale Type	Book-Page	Grantee	Grantor
10/1/2005	\$23,000		227-420	ARNOLD WALTER C & PATRICIA	JEWELL MILLS

Information




Casey County, KY
 133 Courthouse Square
 Liberty, KY 42539

Property Valuation Administrator
 Brad Johnson
 804-787-7421

Announcements

[How to use the Report site - user demo video](#)

Parcel Number 062-02
 HAYES JAMES L
 5900 MAXEY VALLEY RD
 HUSTONVILLE, KY 40437

Summary

Parcel Number: 062-02
 Account Number: 34821
 Location Address: MAXEY VALLEY RD
 Description: *(Note: Not to be used on legal documents)*
 Class: Farm
 Tax District: 00-00
 Rate Per Thousand: 9.7600

[View Map](#)

Owner

Primary Owner:
 DAVIS JIMPTLL
 5900 MAXEY VALLEY RD
 HUSTONVILLE KY 40437

Land Characteristics

Valuation

Taxes

	2022	2021	2020
Tax	\$166.77	\$191.01	\$195.07

Sale Information

Sale Date	Sale Price	Sale Type	Book-Page	Grantee	Grantor
5/27/2014	\$48,000	Partial Sale	293-022	MCRES JAMES L	MCRES SALLY
7/1/2008	\$307,000	Arms-Length Transaction	238-033	MCRES SALLY E	CINNAMOND EDWIN T
8/1/1998	\$0	Arms-Length Transaction		CINNAMOND EDWIN T	YOGER MELVIN
2/1/1995	\$0			YOGER MELVIN	MCCEE DAVID L

Information



Casey County, KY
 333 Courthouse Square
 Liberty KY 42539

Property Valuation
 Administrator
 Frank Johnson
 606-787-7621

Announcements

[How to use the Public Site - view Demo Video](#)



Russell L. Brown
Attorney at Law
rbrown@clarkquinnlaw.com

320 N. Meridian St., Ste. 1100
Indianapolis, IN 46204
(317) 637-1321 main
(317) 687-2344 fax

September 13, 2023

**Notice of Proposed Construction of
Wireless Communications Facility
Site Name: HWY 243**

Cellco Partnership, d/b/a Verizon Wireless is filing an application with the Kentucky Public Service Commission ("PSC") to construct a new wireless communications facility on a site located at 3180 Minors Branch Road, Gravel Switch, KY 40328. (North Latitude: (37° 30' 33.53, West Longitude 84° 57' 23.05"). The proposed facility will include a 300-foot tall antenna tower, plus a 5-foot lightning arrestor and related ground facilities. This facility is needed to provide improved coverage for wireless communications in the area.

This notice is being sent to you because the County Property Valuation Administrator's records indicate that you may own property that is within a 500' radius of the proposed tower site or contiguous to the property on which the tower is to be constructed. You have a right to submit testimony to the Kentucky Public Service Commission ("PSC"), either in writing or to request intervention in the PSC's proceedings on the application. You may contact the PSC for additional information concerning this matter at: Kentucky Public Service Commission, Executive Director, 211 Sower Boulevard, P.O. Box 615, Frankfort, Kentucky 40602. Please refer to docket number 2023-00308 in any correspondence sent in connection with this matter.

We have attached a map showing the site location for the proposed tower. Applicant's radio frequency engineers assisted in selecting the proposed site for the facility, and they have determined it is the proper location and elevation needed to provide quality service to wireless customers in the area. Please feel free to contact us at 317-637-1321 if you have any comments or questions about this proposal.

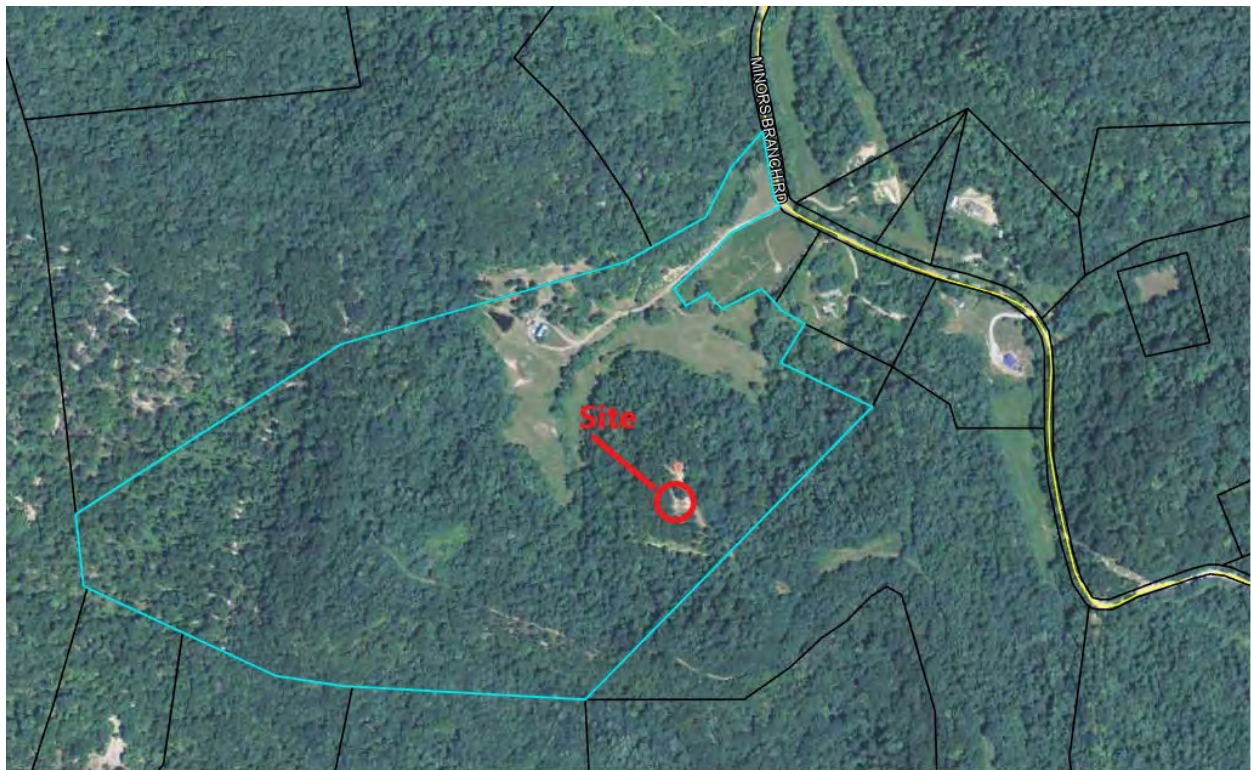
Sincerely,
Russell L. Brown

Attorney for Applicant
RLB/mnw
enclosure

Vicinity Map



Site Location on Aerial



ClarkQuinn
ark, Quinn, Moses, Scott & Grahn, LLP



9589 0710 5270 0730 1898 29

PRIMIANO PETER & ANGELA
3180 MINORS BRANCH RD
GRAVEL SWITCH, KY 40328

FIRST-CLASS



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CROWE & POE
NINA LUAVON & SHARON GAY
3020 MINORS BRANCH RD
GRAVEL SWITCH, KY 40328

FIRST-CLASS

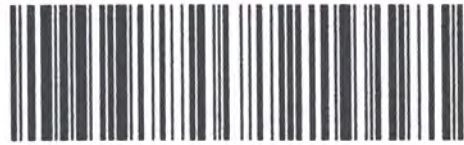


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CROWE NINA LUAVON
3020 MINORS BRANCH RD
GRAVEL SWITCH, KY 40328

FIRST-CLASS



US POSTAGE with PITNEY BOWES



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ark, Quinn, Moses, Scott & Grahn, LLP

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ark, Quinn, Moses, Scott & Grahn, LLP

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ark, Quinn, Moses, Scott & Grahn, LLP



9589 0710 5270 0730 1895 91

NEWBERRY CHARLES D
290 PISTOL RIDGE RD
CAMPBELLSVILLE, KY 42718

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CROWE HEATHER
2987 MINORS BRANCH RD
GRAVEL SWITCH, KY 40328

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BEAUDET STEVEN & ELIZABETH
3176 MINORS BRANCH RD
GRAVEL SWITCH, KY 40328

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POWERS BRIAN WAYNE
2920 LITTLE SOUTH RD
GRAVEL SWITCH, KY 40328

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POWERS VINGIE R ESTATE
C/O NANCY A PORTER
2482 LITTLE SOUTH RD
GRAVEL SWITCH, KY 40328

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ARNOLD WALTER C & PATRICIA
898 COUNT FLEET CR
DANVILLE, KY 40422

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0006035028 SEP 12 2023

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ZIP 46204 \$ 008.53⁰
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0006035028 SEP 12 2023

HAYES JAMES L
5900 MAXEY VALLEY RD
HUSTONVILLE, KY 40437

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

HAYES JAMES L
 5900 MAXEY VALLEY RD
 HUSTONVILLE, KY 40437



9590 9402 8236 3030 6436 19

2. Article Number (Transfer from service label)

9589 0710 5270 0730 1896 52

PS Form 3811, July 2020 PSN 7530-02-000-9053

COMPLETE THIS SECTION ON DELIVERY

A. Signature

Amanda So Hayes Agent
 Addressee

B. Received by (Printed Name)

Amanda So Hayes

C. Date of Delivery

D. Is delivery address different from item 1? Yes
 If YES, enter delivery address below: No

3. Service Type

- Adult Signature
- Adult Signature Restricted Delivery
- Certified Mail®
- Certified Mail Restricted Delivery
- Collect on Delivery
- Collect on Delivery Restricted Delivery
- Insured Mail
- Mail Restricted Delivery (00)
- Priority Mail Express®
- Registered Mail™
- Registered Mail Restricted Delivery
- Signature Confirmation™
- Signature Confirmation Restricted Delivery

Domestic Return Receipt

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

CROWE & POE
 NINA LUAVON & SHARON GAY
 3020 MINORS BRANCH RD
 GRAVEL SWITCH, KY 40328



9590 9402 8129 2349 7925 45

2. Article Number (Transfer from service label)

9589 0710 5270 0730 1898 36

PS Form 3811, July 2020 PSN 7530-02-000-9053

COMPLETE THIS SECTION ON DELIVERY

A. Signature

Joe Crowe Agent
 Addressee

B. Received by (Printed Name)

Joe Crowe

C. Date of Delivery

9/15/23

D. Is delivery address different from item 1? Yes
 If YES, enter delivery address below: No

3. Service Type

- Adult Signature
- Adult Signature Restricted Delivery
- Certified Mail®
- Certified Mail Restricted Delivery
- Collect on Delivery
- Collect on Delivery Restricted Delivery
- Insured Mail
- Mail Restricted Delivery (00)
- Priority Mail Express®
- Registered Mail™
- Registered Mail Restricted Delivery
- Signature Confirmation™
- Signature Confirmation Restricted Delivery

Domestic Return Receipt

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

CROWE NINA LUAVON
 3020 MINORS BRANCH RD
 GRAVEL SWITCH, KY 40328



9590 9402 8129 2349 7925 38

2. Article Number (Transfer from service label)

9589 0710 5270 0730 1898 43

PS Form 3811, July 2020 PSN 7530-02-000-9053

COMPLETE THIS SECTION ON DELIVERY

A. Signature

Joe Crowe Agent
 Addressee

B. Received by (Printed Name)

Joe Crowe

C. Date of Delivery

9/15/23

D. Is delivery address different from item 1? Yes
 If YES, enter delivery address below: No

3. Service Type

- Adult Signature
- Adult Signature Restricted Delivery
- Certified Mail®
- Certified Mail Restricted Delivery
- Collect on Delivery
- Collect on Delivery Restricted Delivery
- Insured Mail
- Mail Restricted Delivery (over \$500)
- Priority Mail Express®
- Registered Mail™
- Registered Mail Restricted Delivery
- Signature Confirmation™
- Signature Confirmation Restricted Delivery


Domestic Return Receipt

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

NEWBERRY CHARLES D
290 PISTOL RIDGE RD
CAMPBELLSVILLE, KY 42718



9590 9402 8129 2349 7925 21

2. Article Number (Transfer from service label)

9589 0710 5270 0730 1895 91

COMPLETE THIS SECTION ON DELIVERY

A. Signature
 Charles D Newberry Agent
 Address

B. Received by (Printed Name) C. Date of Delivery

D. Is delivery address different from item 1? Yes
 If YES, enter delivery address below: No

3. Service Type Priority Mail Express®
 Adult Signature Registered Mail™
 Adult Signature Restricted Delivery Registered Mail Restrict Delivery
 Certified Mail® Signature Confirmation™
 Certified Mail Restricted Delivery Signature Confirmation Restricted Delivery
 Collect on Delivery Signature Confirmation Restricted Delivery
 Collect on Delivery Restricted Delivery Mail Restricted Delivery (over \$500)


PS Form 3811, July 2020 PSN 7530-02-000-9053 Domestic Return Receipt

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

POWERS BRIAN WAYNE
2920 LITTLE SOUTH RD
GRAVEL SWITCH, KY 40328



9590 9402 7743 2152 5087 36

2. Article Number (Transfer from service label)

9589 0710 5270 0730 1896 21

COMPLETE THIS SECTION ON DELIVERY

A. Signature
 Brian Wayne Powers Agent
 Address

B. Received by (Printed Name) C. Date of Delivery

D. Is delivery address different from item 1? Yes
 If YES, enter delivery address below: No

3. Service Type Priority Mail Express®
 Adult Signature Registered Mail™
 Adult Signature Restricted Delivery Registered Mail Restrict Delivery
 Certified Mail® Signature Confirmation™
 Certified Mail Restricted Delivery Signature Confirmation Restricted Delivery
 Collect on Delivery Signature Confirmation Restricted Delivery
 Collect on Delivery Restricted Delivery Mail Restricted Delivery (over \$500)

PS Form 3811, July 2020 PSN 7530-02-000-9053 Domestic Return Receipt

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

ARNOLD WALTER C & PATRICIA
898 COUNT FLEET CR
DANVILLE, KY 40422



9590 9402 8129 2349 7926 06

2. Article Number (Transfer from service label)

9589 0710 5270 0730 1896 45

COMPLETE THIS SECTION ON DELIVERY

A. Signature
 Walter C Arnold Agent
 Address

B. Received by (Printed Name) C. Date of Delivery

D. Is delivery address different from item 1? Yes
 If YES, enter delivery address below: No

3. Service Type Priority Mail Express®
 Adult Signature Registered Mail™
 Adult Signature Restricted Delivery Registered Mail Restrict Delivery
 Certified Mail® Signature Confirmation™
 Certified Mail Restricted Delivery Signature Confirmation Restricted Delivery
 Collect on Delivery Signature Confirmation Restricted Delivery
 Collect on Delivery Restricted Delivery Mail Restricted Delivery (over \$500)

PS Form 3811, July 2020 PSN 7530-02-000-9053 Domestic Return Receipt

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

CROWE HEATHER
2987 MINORS BRANCH RD
GRAVEL SWITCH, KY 40328



9590 9402 8129 2349 7925 14

2. Article Number (Transfer from service label)

9589 0710 5270 0730 1896 07

COMPLETE THIS SECTION ON DELIVERY

A. Signature

HEATHER CROWE Agent
 Address

B. Received by (Printed Name)

C. Date of Delivery

D. Is delivery address different from item 1? Yes
If YES, enter delivery address below: No

3. Service Type

- Adult Signature
- Adult Signature Restricted Delivery
- Certified Mail®
- Certified Mail Restricted Delivery
- Collect on Delivery
- Collect on Delivery Restricted Delivery
- Priority Mail Express®
- Registered Mail™
- Registered Mail Restricted Delivery
- Signature Confirmation®
- Signature Confirmation Restricted Delivery

Mail Restricted Delivery (00)

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

POWERS VINGIE R ESTATE
C/O NANCY A PORTER
2482 LITTLE SOUTH RD
GRAVEL SWITCH, KY 40328



9590 9402 7743 2152 5087 29

2. Article Number (Transfer from service label)

9589 0710 5270 0730 1896 38

COMPLETE THIS SECTION ON DELIVERY

A. Signature

Barbara Wilson Agent
 Addressee

B. Received by (Printed Name) C. Date of Delivery
Barbara Wilson *9-25-20*

D. Is delivery address different from item 1? Yes
If YES, enter delivery address below: No

3. Service Type

- | | |
|--|---|
| <input type="checkbox"/> Adult Signature | <input type="checkbox"/> Priority Mail Express® |
| <input type="checkbox"/> Adult Signature Restricted Delivery | <input type="checkbox"/> Registered Mail™ |
| <input checked="" type="checkbox"/> Certified Mail® | <input type="checkbox"/> Registered Mail Restricted Delivery |
| <input type="checkbox"/> Certified Mail Restricted Delivery | <input type="checkbox"/> Signature Confirmation™ |
| <input type="checkbox"/> Collect on Delivery | <input type="checkbox"/> Signature Confirmation Restricted Delivery |
| <input type="checkbox"/> Collect on Delivery Restricted Delivery | |
| <input type="checkbox"/> Insured Mail | |
| <input type="checkbox"/> Insured Mail Restricted Delivery | |

ClarkQuinn
Clark, Quinn, Moses, Scott & Grahn, LLP

CERTIFIED MAIL®



9589 0710 5270 0730 1898 29

INDIANAPOLIS IN 460

SEP 12 2023 PM 6:4

FIRST-CLASS



US POSTAGE™ IM PITNEY BOWES



ZIP 46204 \$ 008.530
02 7H
0006035028 SEP 12 2023

PRIMIANO PETER & ANGELA
3180 MINORS BRANCH RD
GRAVEL SWITCH, KY 40328

*ATTN
9-15-23
JE*

MI XIE 402 EE 1 0202/05/2A
RETURN TO SENDER
ATTEMPTED - NOT KNOWN
UNABLE TO FORWARD
MANUAL PROC REQ 2023-09-12 04:28
5699879999
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SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

BEAUDET STEVEN & ELIZABETH
 3176 MINORS BRANCH RD
 GRAVEL SWITCH, KY 40328



9590 9402 7743 2152 5087 43

2. Article Number (Transfer from service label)



COMPLETE THIS SECTION ON DELIVERY

A. Signature
 X *[Handwritten Signature]* Agent
 Addressee

B. Received by (Printed Name) C. Date of Delivery
 ELIZABETH BEAUDET 2-13-202

D. Is delivery address different from item 1? Yes
 If YES, enter delivery address below: No

- 3. Service Type**
- Adult Signature
 - Adult Signature Restricted Delivery
 - Certified Mail®
 - Certified Mail Restricted Delivery
 - Collect on Delivery
 - Collect on Delivery Restricted Delivery
 - Priority Mail Express®
 - Registered Mail™
 - Registered Mail Restricted Delivery
 - Signature Confirmation™
 - Signature Confirmation Restricted Delivery

Mail Restricted Delivery

Domestic Return Receipt



ClarkQuinn

www.clarkquinnlaw.com

Russell L. Brown
Attorney at Law
rbrown@clarkquinnlaw.com

320 N. Meridian St., Ste. 1100
Indianapolis, IN 46204
(317) 637-1321 main
(317) 687-2344 fax

March 18, 2024

**Notice of Proposed Construction of
Wireless Communications Facility
Site Name: HWY 243**

Cellco Partnership, d/b/a Verizon Wireless is filing an application with the Kentucky Public Service Commission ("PSC") to construct a new wireless communications facility on a site located at 3180 Minors Branch Road, Gravel Switch, KY 40328. (North Latitude: (37° 30' 33.53, West Longitude 84° 57' 23.05"). The proposed facility will include a 300-foot-tall antenna tower, plus a 5-foot lightning arrestor and related ground facilities. This facility is needed to provide improved coverage for wireless communications in the area.

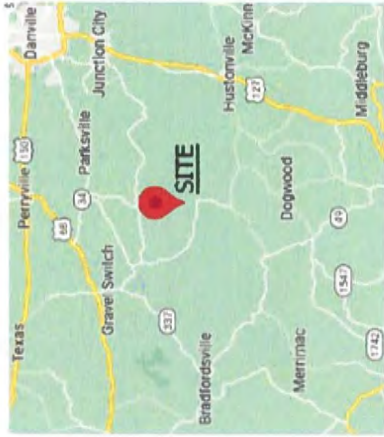
This notice is being sent to you because the County Property Valuation Administrator's records indicate that you may own property that is within a 500' radius of the proposed tower site or contiguous to the property on which the tower is to be constructed. You have a right to submit testimony to the Kentucky Public Service Commission ("PSC"), either in writing or to request intervention in the PSC's proceedings on the application. You may contact the PSC for additional information concerning this matter at: Kentucky Public Service Commission, Executive Director, 211 Sower Boulevard, P.O. Box 615, Frankfort, Kentucky 40602. Please refer to docket number 2023-00308 in any correspondence sent in connection with this matter.

We have attached a map showing the site location for the proposed tower. Applicant's radio frequency engineers assisted in selecting the proposed site for the facility, and they have determined it is the proper location and elevation needed to provide quality service to wireless customers in the area. Please feel free to contact us at 317-637-1321 if you have any comments or questions about this proposal.

Sincerely,
Russell L. Brown

Attorney for Applicant
RLB/jj
enclosure

Vicinity Map



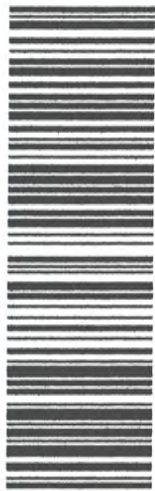
Site Location on Aerial





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ZIP 46204 **\$ 008.690**
02 7H
0006035028 MAR 18 2024

Woods & Water With KDL LLC
250 Joe Patterson Rd
Middleburg, KY 42541



ClarkQuinn

www.clarkquinnlaw.com

Russell L. Brown
Attorney at Law
rbrown@clarkquinnlaw.com

320 N. Meridian St., Ste. 1100
Indianapolis, IN 46204
(317) 637-1321 main
(317) 687-2344 fax

September 12, 2023

Via Certified Mail, Return Receipt Requested

Hon. Randy Dial
Casy County Judge Executive
PO Box 306
625 Campbellsville Street
Liberty, KY 42539

RE: Notice of Proposal to Construct Wireless Communications Facility
Kentucky Public Service Commission Docket No. 2023-00
Site Name: HWY 243

Dear Judge Dial:

Cellco Partnership, d/b/a Verizon Wireless is filing an application with the Kentucky Public Service Commission ("PSC") to construct a new wireless communications facility on a site located at 3180 Minors Branch Road, Gravel Switch, KY 40328. (North Latitude: (37° 30' 33.53, West Longitude 84° 57' 23.05"). The proposed facility will include a 300-foot tall antenna tower, plus a 5-foot lightning arrestor and related ground facilities. This facility is needed to provide improved coverage for wireless communications in the area.

You have a right to submit comments to the PSC or to request intervention in the PSC's proceedings on the application. You may contact the PSC at: Executive Director, Public Service Commission, 211 Sower Boulevard, P.O. Box 615, Frankfort, Kentucky 40602. Please refer to docket number 2023-00308 in any correspondence sent in connection with this matter.

We have attached a map showing the site location for the proposed tower. Verizon Wireless' radio frequency engineers assisted in selecting the proposed site for the facility, and they have determined it is the proper location and elevation needed to provide quality service to wireless customers in the area. Please feel free to contact us with any comments or questions you may have.

Sincerely,
Russell L. Brown

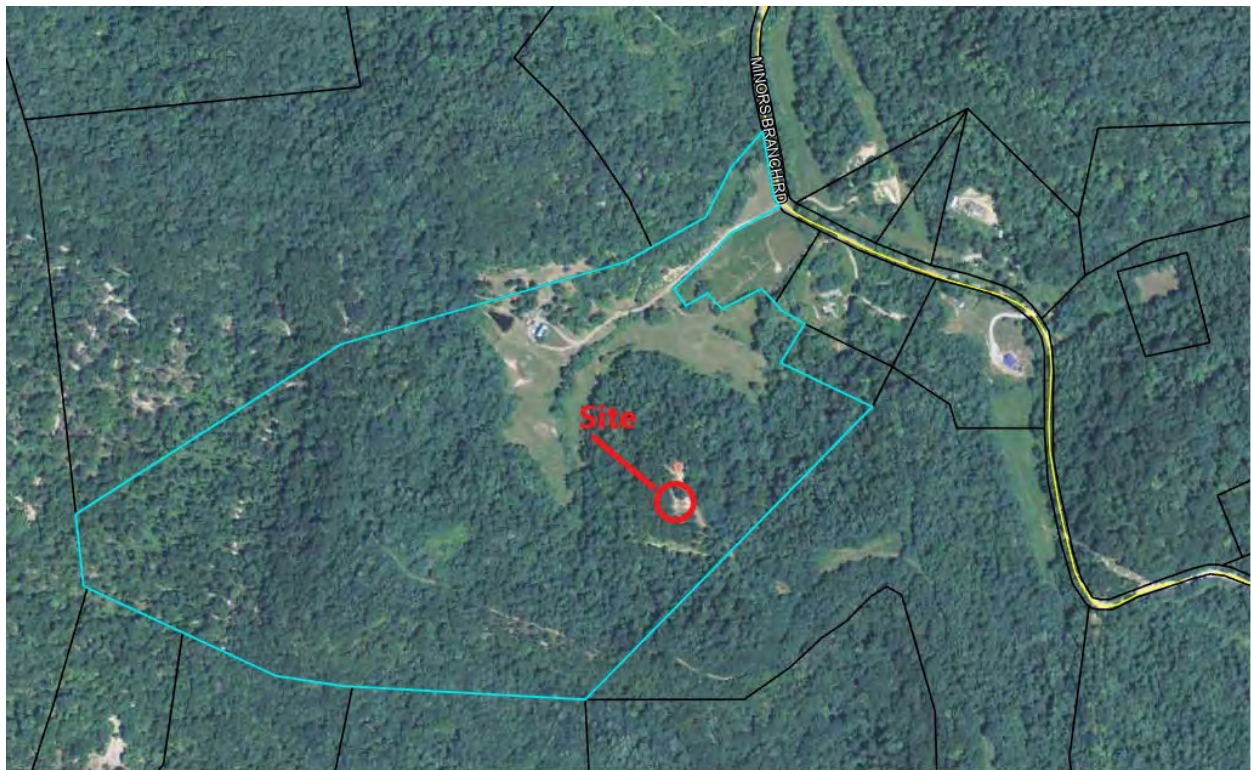


Attorney for Applicant

Vicinity Map



Site Location on Aerial



ClarkQuinn
Clark, Quinn, Moses, Scott & Grahn, LLP

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Z/P 46204 \$ 008.53⁰
02 7H
0006035028 SEP 12 2023

Hon. Randy Dial
Casey County Judge Executive
PO Box 306
625 Campbellsville Street
Liberty, KY 42539

SENDER: COMPLETE THIS SECTION

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- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

Hon. Randy Dial
 Casy County Judge Executive
 PO Box 306
 625 Campbellsville Street
 Liberty, KY 42539



9590 9402 8129 2349 7925 69

2. Article Number (Transfer from service label)

9589 0710 5270 0730 1896 76

COMPLETE THIS SECTION ON DELIVERY

A. Signature

X *Melissa Nichols* Agent Addressee

B. Received by (Printed Name) C. Date of Delivery

Melissa Nichols 9-18

D. Is delivery address different from item 1? Yes No
 If YES, enter delivery address below:

3. Service Type
- | | |
|--|---|
| <input type="checkbox"/> Adult Signature | <input type="checkbox"/> Priority Mail Express® |
| <input type="checkbox"/> Adult Signature Restricted Delivery | <input type="checkbox"/> Registered Mail™ |
| <input checked="" type="checkbox"/> Certified Mail® | <input type="checkbox"/> Registered Mail Restricted Delivery |
| <input type="checkbox"/> Certified Mail Restricted Delivery | <input type="checkbox"/> Signature Confirmation® |
| <input type="checkbox"/> Collect on Delivery | <input type="checkbox"/> Signature Confirmation Restricted Delivery |
| <input type="checkbox"/> Collect on Delivery Restricted Delivery | |
- Mail Restricted Delivery (00)

SITE NAME: HWY 243 NOTICE SIGNS

The signs are at least (2) feet by four (4) feet in size, of durable material, with the text printed in black letters at least one (1) inch in height against a white background, except for the word "**tower**," which is at least four (4) inches in height.

Cellco Partnership, d/b/a Verizon Wireless proposes to construct a telecommunications **tower** on this site. If you have questions, please contact Clark, Quinn, Moses, Scott & Grahn, LLP, 320 N. Meridian Street, Indianapolis, IN 46204; 317-637-1321, or the Executive Director, Public Service Commission, 211 Sower Boulevard, PO Box 615, Frankfort, Kentucky 40602. Please refer to docket number 2023-00308 in your correspondence.

Cellco Partnership, d/b/a Verizon Wireless proposes to construct a telecommunications **tower** on this site. If you have questions, please contact Clark, Quinn, Moses, Scott & Grahn, LLP, 320 N. Meridian Street, Indianapolis, IN 46204; 317-637-1321, or the Executive Director, Public Service Commission, 211 Sower Boulevard, PO Box 615, Frankfort, Kentucky 40602. Please refer to docket number 2023-00308 in your correspondence.



Robert B. Scott
Charles R. Grahn
Frank D. Otte*
John "Bart" Herriman
William W. Gooden**
Michael P. Maxwell
Russell L. Brown**†
Jennifer F. Perry
Keith L. Beall
N. Davey Neal
Travis W. Cohron
Maggie L. Sadler
Kristin A. McIlwain
Olivia A. Hess

VIA EMAIL: legals@caseynews.net

The Casey County News
720 Campbellsville Street
Liberty, KY 42539

Land Use Consultant
Elizabeth Bentz Williams, AICP

*Also admitted in Montana
†Also admitted in Kentucky
**

Registered Civil Mediator

RE: Legal Notice Advertisement
Site Name: HWY 243

To Whom It May Concern,

Please publish the following legal notice advertisement in the next available edition of The Casey County New Publication:

NOTICE

Cellco Partnership, d/b/a Verizon Wireless and and VB BTS II, LLC / Vertical Bridge are filing an application with the Kentucky Public Service Commission ("PSC") to construct a new wireless communications facility located at 3180 Minors Branch Road, Gravel Switch, KY 40328. (North Latitude: (37° 30' 33.53, West Longitude 84° 57' 23.05"). The proposed facility will include a 300-foot tall antenna tower, plus a 5-foot lightning arrestor and related ground facilities. Site name is HWY 243. You have a right to submit comments to the PSC or to request intervention in the PSC's proceedings on the application. You may contact the PSC at: Executive Director, Public Service Commission, 211 Sower Boulevard, P.O. Box 615, Frankfort, Kentucky 40602. Please refer to docket number 2023-00308 in any correspondence sent in connection with this matter.

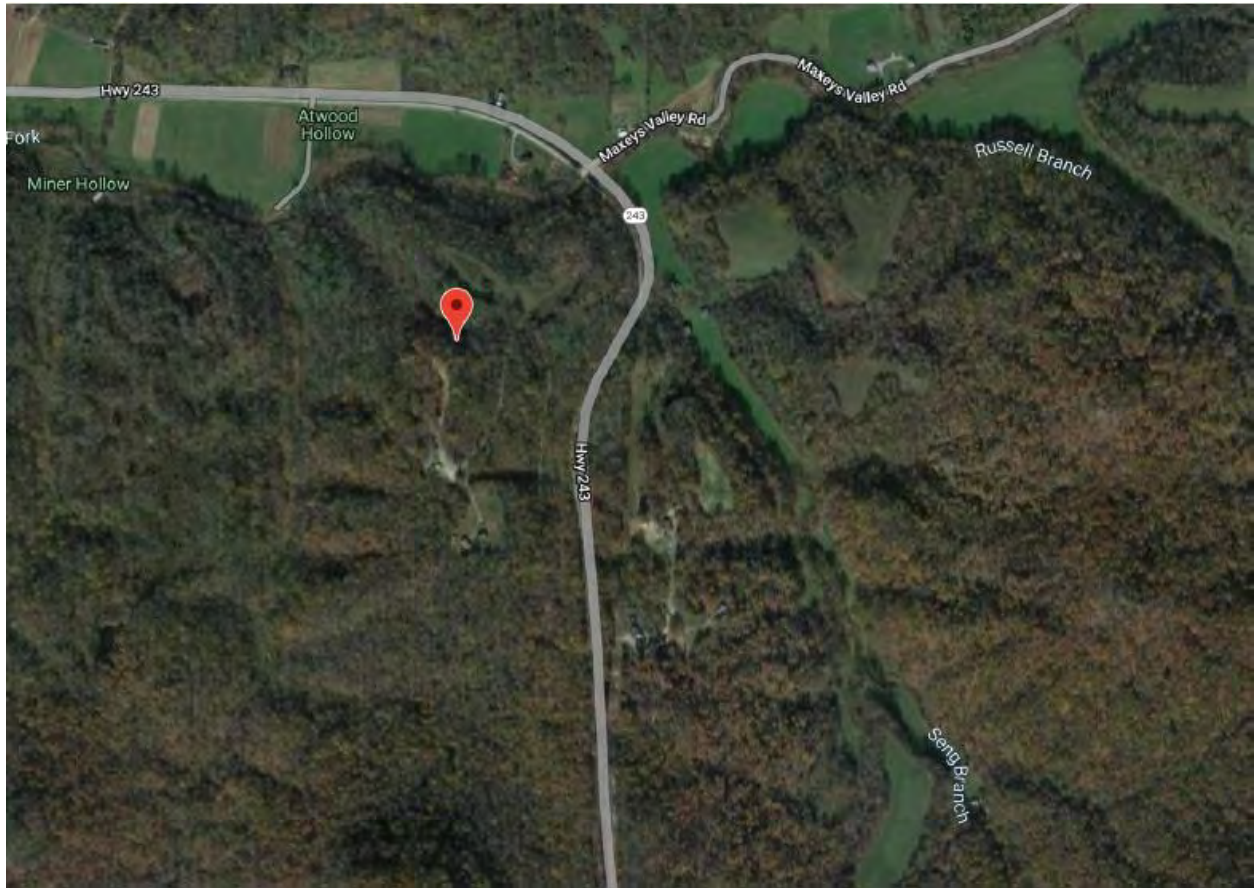
After this advertisement has been published, please forward a tearsheet copy, affidavit of publication, and invoice to Clark, Quinn, Moses, Scott & Grahn, LLC, 320 N. Meridian Street, Indianapolis, IN 46204 or by email to ebw@clarkquinnlaw.com. Please call me on my cell with any questions at 317-902-2187 if you have any questions. Thank you for your assistance.

Sincerely,

A handwritten signature in cursive script that reads 'Elizabeth Bentz Williams'.

Elizabeth Bentz Williams, AICP

Radio Frequency Design Search Area





Thursday, August 23rd, 2023

RE: Proposed Verizon Wireless Communications Facility

Site Name: **LV HWY 243**.

Type of Tower: 300' Self-support (Lattice) Tower.

Location: 3180 Minors Branch, Gravel Switch, KY 40328.

To Whom It May Concern:

As the manager of radio frequency engineering for Verizon Wireless, I am providing this letter to state the need for a Verizon Wireless site called **LV HWY 243** based on the analysis completed by my team.

The **LV HWY 243** site is proposed with the below objectives:

1. Offload 4G/5G traffic from busy site.
2. Improve 4G/5G throughput to existing heavy data users
3. Improve 4G/5G network reliability.

Currently the area is experiencing high demand for wireless high-speed data. Growth forecasts have triggered the need for an additional site in the area. The tower is needed to provide all Verizon customers in the area with the best experience on their 5G/4G wireless devices.

Raw Land — Design plans for a new tower would provide a height of **300'**. The new structure height was decided upon to best cover the offload area and interact with the existing Verizon sites. If we are limited to a structure less than the proposed height, another tower would be needed in the vicinity in the near future. In addition, building a structure that is too short can cause existing taller sites to shoot over the proposed site and building a site that is too tall can cause the proposed site to shoot over existing sites. Both situations create a poor experience from a user perspective. The new structure will be placed near the center of the area with high traffic demand and offload the surrounding sites greatly. The new tower design meets stated objectives.

Verizon Wireless cares about the communities as well as the environment and prefers to collocate on existing structures when available. It can be noticed from any map that Verizon Wireless is currently collocated on many existing structures in the area. We prefer collocation due to reduced construction costs, faster deployment, and environment protection. However, Verizon Wireless was unable to find a suitable structure within the center of demand area to collocate the proposed **LV HWY 243** site.



Verizon Wireless design engineers establish search area criteria in order to effectively meet coverage objectives as well as offload existing Verizon cell sites. When met, the criterion also reduces the need for a new site to cover the area in the immediate future. Each cellular site covers a limited area, depending on site configuration and the surrounding terrain. Cell sites are built in an interconnected network; which means each cell site must be located so that their respective coverage areas are contiguous. This provides uninterrupted communications throughout the coverage area.

Since collocation is generally the most cost-effective means for prompt deployment of new facilities, Verizon Wireless makes every effort to investigate the feasibility for using existing towers or other tall structures for collocation when designing a new site or system expansion. However, collocation on an existing tower or tall structure is not always feasible due to location of existing cell sites. Cell sites are placed in a way so they provide smooth hand off to each other and are placed at some distance from each other to eliminate too much overlap. Too much overlap may result in a waste of resources and raise a system capacity overload concern.

This cell site has been designed, and shall be constructed and operated in a manner that satisfies regulations and requirements of all applicable governmental agencies that have been charged with regulating tower specifications, operation, construction, and placement, including the FAA and FCC.

Sincerely,

A handwritten signature in black ink, appearing to read "Kerwin Masten".

Kerwin Masten
Sr RF Manager.



Friday, August 18th, 2023.

RE: **LV HWY 243** Zoning Plots

Site Name: **LV HWY 243**

To Whom It May Concern:

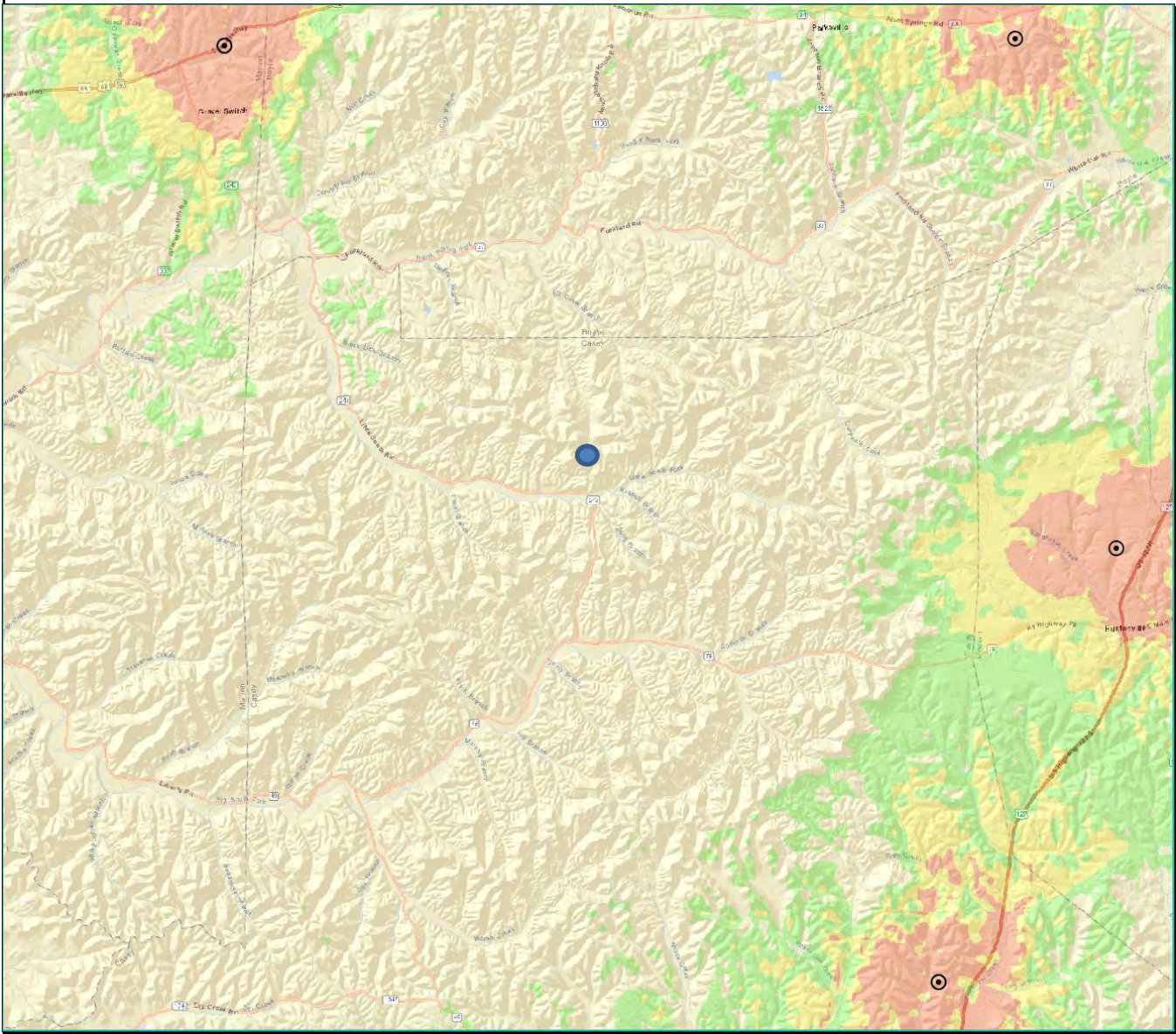
This map is not a guarantee of coverage and may contain areas with no service. This map reflects a depiction of predicted and approximate wireless coverage of the network and is intended to provide a relative comparison of coverage. The depictions of coverage do not guarantee service availability as there are many factors that can influence coverage and service availability. These factors vary from location to location and change over time. The coverage areas may include locations with limited or no coverage. Even within a coverage area shown, there are many factors, including but not limited to, usage volumes, service, outage, and customer's equipment, and terrain, proximity to buildings, foliage, and weather that may impact service.

The proposed site is needed to offload capacity from existing sites. This map reflects the predicted coverage area that will be offloaded from existing sites and transferred to the proposed site.

Javier S. Burgos

RF Engineer, Verizon Wireless

PRE: LV HWY 243

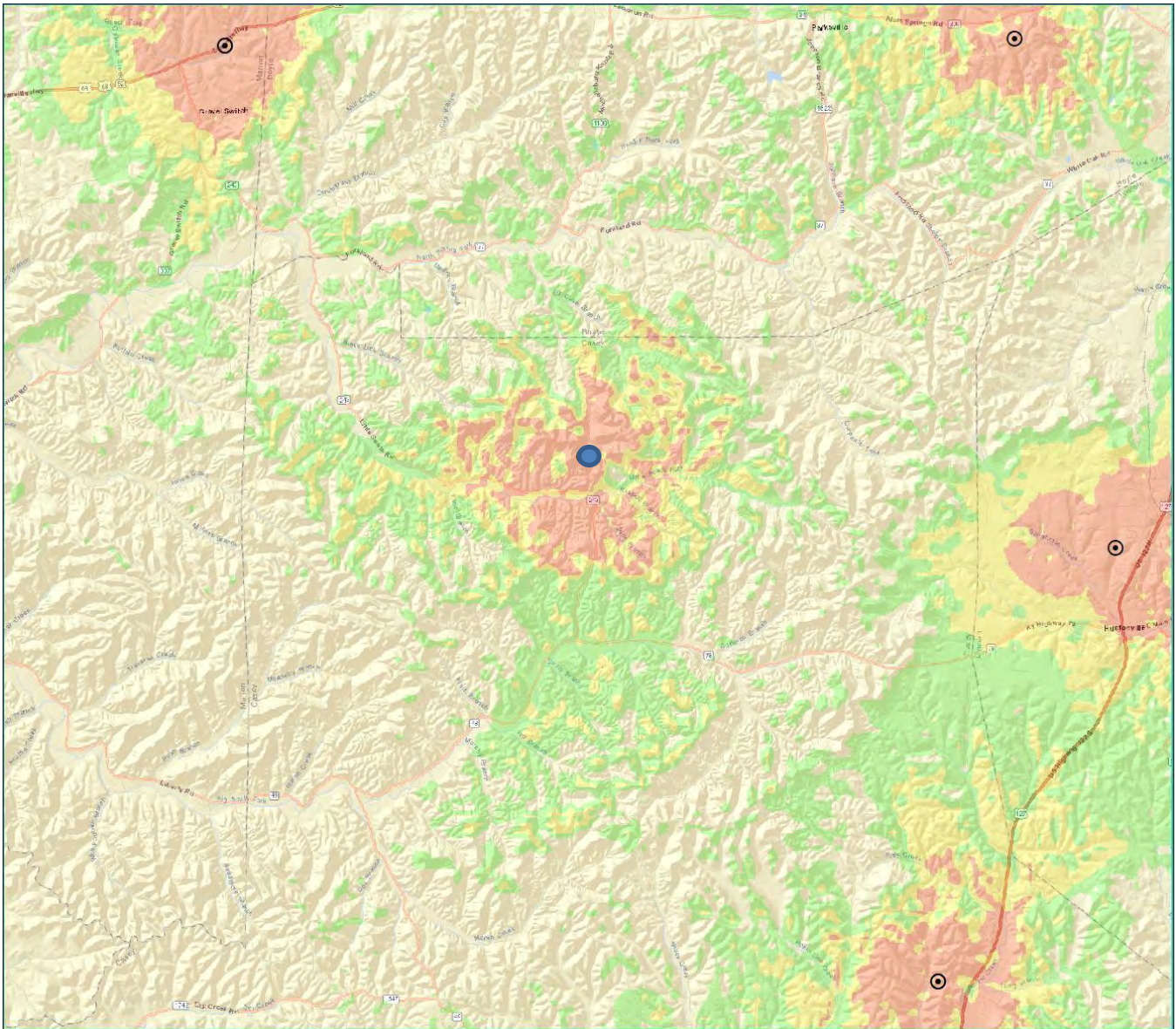


LTE RSRP Coverage
Best
Better
Good

Legend:

- Existing Verizon Sites
- Proposed Verizon Site
- Future Verizon Site
- County Border

POST: LV HWY 243



LTE RSRP Coverage

- Best
- Better
- Good

Legend:

- Existing Verizon Sites
- Proposed Verizon Site
- Future Verizon Site
- County Border

Exhibit S
List of Qualified Professionals

Travis L. Fields
Professional Land Surveyor
Kentucky License 4246
The Land Consultants
5449 Highway #41
Jasper, TN 37347

Stephen E. Hunt
Professional Engineer
Kentucky License 25003
Telecad Wireless
1961 Northpoint Blvd., Suite 130
Hixson, TN 37343

Robert E. Beacom
Professional Engineer
Kentucky License 28165
Sabre Industries
7101 Southbridge Dr.
P. O. Box 658
Sioux City, IA 51102-0658

Joseph V. Borrelli
Professional Engineer
Kentucky License 30809
Delta Oaks Group
4904 Professional Court, Second Floor
Raleigh, NC 27609

Billy Waldridge Jr.
Construction Manager
Verizon Wireless
2421 Holloway Road
Louisville, KY 40299

Kewin Masten
RF Engineer
Verizon Wireless
2421 Holloway Road
Louisville, KY 40299

Javier S. Burgos
RF Engineer
Verizon Wireless
2421 Holloway Road
Louisville, KY 40299

