

**COMMONWEALTH OF KENTUCKY  
BEFORE THE PUBLIC SERVICE COMMISSION**

In the Matter of:

THE APPLICATION OF )  
CELLCO PARTNERSHIP D/B/A VERIZON WIRELESS )  
FOR ISSUANCE OF A CERTIFICATE OF PUBLIC ) CASE NO. 2023-00075  
CONVENIENCE AND NECESSITY TO CONSTRUCT )  
A WIRELESS COMMUNICATIONS FACILITY )  
IN THE COMMONWEALTH OF KENTUCKY )  
IN THE COUNTY OF KNOX )

SITE NAME: WILTON LAKE

\* \* \* \* \*

**APPLICATION FOR  
CERTIFICATE OF PUBLIC CONVENIENCE AND NECESSITY  
FOR CONSTRUCTION OF A WIRELESS COMMUNICATIONS FACILITY**

Cellco Partnership, d/b/a Verizon Wireless (“Applicant”), by counsel, pursuant to (i) KRS §§278.020, 278.040, 278.650, 278.665, and other statutory authority, and the rules and regulations applicable thereto, and (ii) the Telecommunications Act of 1996, respectfully submits this Application requesting issuance of a Certificate of Public Convenience and Necessity (“CPCN”) from the Kentucky Public Service Commission (“PSC”) to construct, maintain, and operate a Wireless Communications Facility (“WCF”) to serve the customers of the Applicant with wireless communications services.

In support of this Application, Applicant respectfully provides and states the following information:

1. The complete name and address of the Applicant: Cellco Partnership, d/b/a Verizon Wireless, having a local address of 2902 Ring Road, Elizabethtown, KY, 42701.

2. Applicant is a Delaware general partnership and a copy of the Amended Certificate of Assumed Name is on file with the Secretary of State of Commonwealth of Kentucky is included as part of **Exhibit A**.

3. Applicant proposes construction of an antenna tower for communications services, which is to be located in an area outside the jurisdiction of a planning commission, and Applicant submits this application to the PSC for a certificate of public convenience and necessity pursuant to KRS §§ 278.020(1), 278.040, 278.650, 278.665, and other statutory authority.

4. The Applicant operates on frequencies licensed by the Federal Communications Commission ("FCC") pursuant to applicable FCC requirements. A copy of the Applicant's FCC licenses to provide wireless services are attached to this Application or described as part of **Exhibit B**, and the facility will be constructed and operated in accordance with applicable FCC regulations.

5. The public convenience and necessity require the construction of the proposed WCF. The construction of the WCF will bring or improve the Applicant's services to an area currently not served or not adequately served by the Applicant by increasing coverage or capacity and thereby enhancing the public's access to innovative and competitive wireless communications services. A statement from Applicant's RF Design Engineer outlining said need is attached as **Exhibit Q** along with Propagation Maps attached as **Exhibit R**. The WCF is an integral link in the Applicant's network design that must be in place to provide adequate coverage to the service area.

6. To address the above-described service needs, Applicant proposes to construct a WCF on Liberty Road, Corbin, KY 40701 (36° 53' 16.15" North latitude, 84° 02' 55.85" West longitude), on a parcel of land located entirely within the county referenced in the caption of this

application. The property on which the WCF will be located is owned by Freddie and Shirley Logan pursuant to a Deed recorded at Deed Book 244, Page 30 in the office of the County Clerk. The proposed WCF will consist of a 300-foot tall tower, with an approximately 5-foot tall lightning arrester attached at the top, for a total height of 305-feet. The WCF will also include concrete foundations and a shelter or cabinets to accommodate the placement of the Applicant's radio electronics equipment and appurtenant equipment. The Applicant's equipment cabinet or shelter will be approved for use in the Commonwealth of Kentucky by the relevant building inspector. The WCF compound will be fenced and all access gate(s) will be secured. A description of the manner in which the proposed WCF will be constructed is attached as **Exhibit C** and **Exhibit D**.

7. A list of utilities, corporations, or persons with whom the proposed WCF is likely to compete along with a map showing the proposed location as well as the identified like facilities is attached as **Exhibit E**.

8. The site development plan and a vertical profile sketch of the WCF signed and sealed by a professional engineer registered in Kentucky depicting the tower height, as well as a proposed configuration for the antennas of the Applicant has also been included as part of **Exhibit C**.

9. Foundation design plans signed and sealed by a professional engineer registered in Kentucky and a description of the standards according to which the tower was designed are included as part of **Exhibit D**.

10. Applicant has considered the likely effects of the installation of the proposed WCF on nearby land uses and values and has concluded that there is no more suitable location reasonably available from which adequate services can be provided, and that there are no reasonably available opportunities to co-locate Applicant's antennas on an existing structure. When suitable towers or

structures exist, Applicant attempts to co-locate on existing structures such as communications towers or other structures capable of supporting Applicant's facilities; however, no other suitable or available co-location site was found to be located in the vicinity of the site.

11. A copy of the Determination of No Hazard to Air Navigation issued by the Federal Aviation Administration (“FAA”) is attached as **Exhibit F**.

12. A copy of the Kentucky Airport Zoning Commission (“KAZC”) Approval to construct the tower is attached as **Exhibit G**.

13. A geotechnical engineering report was performed at the WCF site by Power of Design, 11490 Bluegrass Parkway, Louisville, KY 40299, dated July 21, 2022, and is attached as **Exhibit H**. The name and address of the geotechnical engineering firm and the professional engineer registered in Kentucky who prepared the report are included as part of **Exhibit H** and **Exhibit S**.

14. Clear directions to the proposed WCF site from the County seat are attached as **Exhibit I**. The name and telephone number of the preparer of **Exhibit I** are included as part of this exhibit.

15. Applicant, pursuant to a written agreement, has acquired the right to use the WCF site and associated property rights. A copy of the agreement or an abbreviated agreement recorded with the County Clerk is attached as **Exhibit J**.

16. Personnel directly responsible for the design and construction of the proposed WCF are well qualified and experienced. The tower and foundation drawings for the proposed tower submitted as part of **Exhibit D** bear the signature and stamp of a professional engineer registered in the Commonwealth of Kentucky. All tower designs meet or exceed the minimum requirements of applicable laws and regulations.

17. The Construction Manager for the proposed facility is Vince Caprino and the identity and qualifications of each person directly responsible for design and construction of the proposed tower are contained in **Exhibit S**.

18. As noted on the Survey attached as part of **Exhibit C**, the surveyor has determined that the tower site and access easement are not within any flood hazard area per Flood Hazard Boundary Map, Community Panel Number 21121C0093F, Dated March 16, 2015. Also find a letter from the surveyor regarding the Flood Data, attached as **Exhibit Ca**.

19. **Exhibit C** includes a map drawn to an appropriate scale that shows the location of the proposed tower and identifies every owner of real estate within 500 feet of the proposed tower (according to the records maintained by the County Property Valuation Administrator). Every structure and every easement within 500 feet of the proposed tower or within 200 feet of the access road including intersection with the public street system is illustrated in **Exhibit C**.

20. Applicant has notified every person who, according to the records of the County Property Valuation Administrator, owns property which is within 500 feet of the proposed tower or contiguous to the site property, by certified mail, return receipt requested, of the proposed construction. Each notified property owner has been provided with a map of the location of the proposed construction, the PSC docket number for this application, the address of the PSC, and will be informed of his or her right to request intervention. A list of the notified property owners, verified on March 9, 2023 using the Knox County Kentucky Property Valuation Administration records and a copy of the form of the notice to be sent by certified mail to each landowner are attached as **Exhibit K** and **Exhibit L**, respectively. **Exhibit K** also contains copies of the 22 certified envelopes mailed and the 13 green cards returned to date.

21. Applicant has notified the applicable County Judge/Executive by certified mail, return receipt requested, of the proposed construction. This notice included the PSC docket number under which the application will be processed and informed the County Judge/Executive of his/her right to request intervention. A copy of this notice, the certified envelope and the returned green card is attached as **Exhibit M**.

22. Notice signs meeting the requirements prescribed by 807 KAR 5:063, Section 1(2) that measure at least 2 feet in height and 4 feet in width and that contain all required language in letters of required height, have been posted, one in a visible location on the proposed site and one on the nearest public road. Such signs shall remain posted for at least two weeks after filing of the Application, and a copy of the posted text is attached as **Exhibit N**. A legal notice advertisement regarding the location of the proposed facility has been published in a newspaper of general circulation in the county in which the WCF is proposed to be located. A copy of the newspaper legal notice advertisement is attached as **Exhibit O**.

23. The general area where the proposed facility is to be located is undeveloped and removed a significant distance from any residential structures. The nearest residential structure is 239 feet from the proposed tower site.

24. The process that was used by the Applicant's radio frequency engineers in selecting the site for the proposed WCF was consistent with the general process used for selecting all other existing and proposed WCF facilities within the proposed network design area. Applicant's radio frequency engineers have conducted studies and tests in order to develop a highly efficient network that is designed to handle voice and data traffic in the service area. The engineers determined an optimum area for the placement of the proposed facility in terms of elevation and location to provide the best quality service to customers in the service area. A radio frequency design search

area prepared in reference to these radio frequency studies was considered by the Applicant when searching for sites for its antennas that would provide the coverage deemed necessary by the Applicant. A map of the area in which the tower is proposed to be located which is drawn to scale and clearly depicts the necessary search area within which the site should be located pursuant to radio frequency requirements is attached as **Exhibit P**.

25. The tower must be located at the proposed location and proposed height to provide necessary service to wireless communications users in the subject area, as set out and documented in the RF Design Engineers' Statement of Need and Propagation Maps attached as **Exhibit Q** and **Exhibit R**, respectively. The proposed tower will expand and improve voice and data service for Verizon Wireless customers.

26. Attached hereto as **Exhibit T** please find an Affidavit of Certification for all information contained in this application.

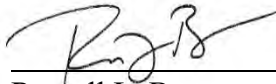
27. All Exhibits to this Application are hereby incorporated by reference as if fully set out as part of the Application.

28. All responses and requests associated with this Application may be directed to:

Russell L. Brown  
Clark, Quinn, Moses, Scott & Grahn, LLP  
320 North Meridian Street, Suite 1100  
Indianapolis, IN 46204  
Phone: (317) 637-1321  
FAX: (317) 687-2344  
Email: rbrown@clarkquinnlaw.com

WHEREFORE, Applicant respectfully request that the PSC accept the foregoing Application for filing, and having met the requirements of KRS §§278.020(1), 278.650, and 278.665 and all applicable rules and regulations of the PSC, grant a Certificate of Public Convenience and Necessity to construct and operate the WCF at the location set forth herein.

Respectfully submitted,



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Russell L. Brown

Clark, Quinn, Moses, Scott & Grahn, LLP

320 North Meridian Street, Suite 1100

Indianapolis, IN 46204

Phone: (317) 637-1321 / FAX: (317) 687-2344

Email: [rbrown@clarkquinnlaw.com](mailto:rbrown@clarkquinnlaw.com)

Attorney for Cellco Partnership d/b/a Verizon Wireless



## LIST OF EXHIBITS

- A Applicant Entity
- B FCC License Documentation
- C Site Development Plan:  
500' Vicinity Map Legal Descriptions  
Flood Plain Certification Site Plan  
Vertical Tower Profile
- Ca Letter from Surveyor regarding Flood Data
- D Tower and Foundation Design
- E Competing Utilities, Corporations, or Persons List  
And Map of Like Facilities in Vicinity
- F FAA Approval
- G KAZC Approval
- H Geotechnical Report
- I Directions to WCF Site
- J Copy of Real Estate Agreement
- K Notification Listing
- L Property Owner Notification
- M County Judge/Executive notification
- N Copy of Posted Notices
- O Copy of Newspaper Legal Notice Advertisement
- P Radio Frequency Design Search Area
- Q RF Design Engineer State of Need
- Qa Propagation Maps
- R List of Qualified Professionals
- T Affidavit of Certification

A

COMMONWEALTH OF KENTUCKY  
TREY GRAYSON  
SECRETARY OF STATE



1  
Secretary of State  
Received and Filed  
08/21/2006 12:06:00 PM  
Fee Receipt: \$20.00

CERTIFICATE OF ASSUMED NAME

This certifies that the assumed name of  
Verizon Wireless

(Please Underline in the Blank Area and be accurate)

has been adopted by See Addendum

(Please Name, City and State)

which is the "real name" of (YOU MUST CHECK ONE)

- |  |   |
|--|---|
| <input type="checkbox"/> a Domestic General Partnership                      | <input checked="" type="checkbox"/> a Foreign General Partnership           |
| <input type="checkbox"/> a Domestic Registered Limited Liability Partnership | <input type="checkbox"/> a Foreign Registered Limited Liability Partnership |
| <input type="checkbox"/> a Domestic Limited Partnership                      | <input type="checkbox"/> a Foreign Limited Partnership                      |
| <input type="checkbox"/> a Domestic Business Trust                           | <input type="checkbox"/> a Foreign Business Trust                           |
| <input type="checkbox"/> a Domestic Corporation                              | <input type="checkbox"/> a Foreign Corporation                              |
| <input type="checkbox"/> a Domestic Limited Liability Company                | <input type="checkbox"/> a Foreign Limited Liability Company                |
| <input type="checkbox"/> a Joint Venture                                     |   |

organized and existing in the state or country of Delaware, and whose address is

One Verizon Way Basking Ridge NJ 07920

The certificate of assumed name is executed by

NYNEX PCS Inc.

*Jane A. Schepker*  
Signature

Jane A. Schepker-Assistant Secretary  
Title or Title of Person Executing

June 15, 2006  
Date

0641227.07      dcornish  
 AMD  
 Allison Lundergan Grimes  
 Kentucky Secretary of State  
 Received and Filed  
 1/22/2013 1:43 PM  
 Fee Receipt: \$20.00



COMMONWEALTH OF KENTUCKY  
 ELAINE N. WALKER, SECRETARY OF STATE

Division of Business Filings Business Filings PO Box 718 Frankfort, KY 40602 (502) 584-3490 www.sos.ky.gov	<b>Amended Certificate of Assumed Name</b> (Domestic or Foreign Business Entity)	<b>AAN</b>
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Pursuant to the provisions of KRS 365, the undersigned applies to amend the certificate of assumed name and, for that purpose, submits the following statement:

- The assumed name is Verizon Wireless  
(The name must be identical to the name on record with the Secretary of State.)
- The certificate of assumed name was filed with the Secretary of State on: 6/21/2008
- The current principal office address (if any) is:  
One Verizon Way                      Basking Ridge                      NJ                      07920  
Street Address or Post Office Box Numbers                      City                      State                      Zip
- The principal office address is hereby changed to:  
Street Address or Post Office Box Numbers                      City                      State                      Zip
- This application will be effective upon filing, unless a delayed effective date and/or time is provided. The effective date or the delayed effective date cannot be prior to the date the application is filed. The date and/or time is                       
(Delayed effective date and/or time)
- The changes in the identity of the partners are as follows: See Addendum for current partners

I declare under penalty of perjury under the laws of Kentucky that the foregoing is true and correct.  
 GTE Wireless Incorporated

<u>Jane A. Schepker</u>	<u>Jane A. Schepker</u>	<u>Assistant Secretary</u>	<u>1/21/2012</u>
<small>Signature of Applicant</small>	<small>Printed Name</small>	<small>Title</small>	<small>Date</small>

### **Addendum**

The full name of the Partnership is Cellco Partnership, a Delaware general partnership composed of the following partners:

<b><i>General Partners of Cellco Partnership</i></b>	<b><i>Address</i></b>
Bell Atlantic Mobile Systems LLC	One Verizon Way Basking Ridge, NJ 07920
GTE Wireless Incorporated	One Verizon Way Basking Ridge, NJ 07920
PCS Nucleus, L.P.	Denver Place South Tower 999-18 <sup>th</sup> Street, Suite 1750 Denver, CO 80202
JV PartnerCo, LLC	Denver Place South Tower 999-18 <sup>th</sup> Street, Suite 1750 Denver, CO 80202

**REFERENCE COPY**

This is not an official FCC license. It is a record of public information contained in the FCC's licensing database on the date that this reference copy was generated. In cases where FCC rules require the presentation, posting, or display of an FCC license, this document may not be used in place of an official FCC license.



**Federal Communications Commission  
Wireless Telecommunications Bureau**

**RADIO STATION AUTHORIZATION**

LICENSEE: CELLCO PARTNERSHIP

ATTN: LICENSING MANAGER  
CELLCO PARTNERSHIP  
5055 NORTH POINT PKWY, NP2NE NETWORK ENGINEERING  
ALPHARETTA, GA 30022

<b>Call Sign</b> KNKN787	<b>File Number</b> 0009611047
<b>Radio Service</b> CL - Cellular	
<b>Market Numer</b> CMA453	<b>Channel Block</b> B
<b>Sub-Market Designator</b> 0	

**FCC Registration Number (FRN):** 0003290673

<b>Market Name</b> Kentucky 11 - Clay
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<b>Grant Date</b> 08-31-2021	<b>Effective Date</b> 08-31-2021	<b>Expiration Date</b> 10-01-2031	<b>Five Yr Build-Out Date</b>	<b>Print Date</b> 08-31-2021
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**Site Information:**

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
1	36-45-17.3 N	084-08-30.8 W	524.3	39.9	1043633

**Address:** 1000 Cell Tower Road

**City:** WILLIAMSBURG    **County:** WHITLEY    **State:** KY    **Construction Deadline:**

**Antenna: 2**

**Maximum Transmitting ERP in Watts:** 140.820

Azimuth(from true north)	<b>0</b>	<b>45</b>	<b>90</b>	<b>135</b>	<b>180</b>	<b>225</b>	<b>270</b>	<b>315</b>
<b>Antenna Height AAT (meters)</b>	200.600	180.500	219.200	212.500	234.200	169.900	243.100	218.400
<b>Transmitting ERP (watts)</b>	56.780	56.780	56.780	56.780	56.780	56.780	56.780	56.780

**Conditions:**

Pursuant to §309(h) of the Communications Act of 1934, as amended, 47 U.S.C. §309(h), this license is subject to the following conditions: This license shall not vest in the licensee any right to operate the station nor any right in the use of the frequencies designated in the license beyond the term thereof nor in any other manner than authorized herein. Neither the license nor the right granted thereunder shall be assigned or otherwise transferred in violation of the Communications Act of 1934, as amended. See 47 U.S.C. § 310(d). This license is subject in terms to the right of use or control conferred by §706 of the Communications Act of 1934, as amended. See 47 U.S.C. §606.

Licensee Name: CELLCO PARTNERSHIP

Call Sign: KNKN787

File Number: 0009611047

Print Date: 08-31-2021

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
3	36-53-50.3 N	084-07-52.8 W	499.9	63.7	1043635

Address: 1701 Baon Creek Road

City: Corbin County: WHITLEY State: KY Construction Deadline:

Antenna: 2

Maximum Transmitting ERP in Watts:	140.820							
Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	202.900	199.800	192.800	167.500	211.500	208.200	213.700	228.300
Transmitting ERP (watts)	95.000	95.000	95.000	95.000	95.000	95.000	95.000	95.000

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
4	36-53-54.3 N	083-18-36.6 W	823.0	64.6	1043632

Address: HARLAN CELL SITE: 3.85 NNE OF THE TOWN OF

City: HARLAN County: HARLAN State: KY Construction Deadline:

Antenna: 2

Maximum Transmitting ERP in Watts:	140.820							
Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	368.900	271.700	287.800	254.000	328.600	402.800	243.700	341.300
Transmitting ERP (watts)	85.500	57.960	14.620	8.590	9.630	25.620	70.790	90.030

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
8	37-01-32.0 N	083-23-58.0 W	585.2	62.8	1043681

Address: 1.4 M. SE OF ASHER ON US 421

City: ASHER County: LESLIE State: KY Construction Deadline:

Antenna: 2

Maximum Transmitting ERP in Watts:	140.820							
Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	256.800	216.300	149.100	72.700	82.000	114.500	212.500	189.800
Transmitting ERP (watts)	46.770	46.770	46.770	46.770	46.770	46.770	46.770	46.770

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
9	37-07-43.8 N	083-50-13.0 W	400.5	94.8	1043631

Address: HOOKER CELL SITE

City: HOOKER County: CLAY State: KY Construction Deadline:

Antenna: 2

Maximum Transmitting ERP in Watts:	140.820							
Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	145.400	184.500	146.700	123.100	129.300	116.500	102.700	148.700
Transmitting ERP (watts)	0.500	0.500	0.500	0.500	9.820	155.580	186.180	16.220

Licensee Name: CELLCO PARTNERSHIP

Call Sign: KNKN787

File Number: 0009611047

Print Date: 08-31-2021

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
9	37-07-43.8 N	083-50-13.0 W	400.5	94.8	1043631

Address: HOOKER CELL SITE

City: HOOKER County: CLAY State: KY Construction Deadline:

Antenna: 3

Maximum Transmitting ERP in Watts:	140.820							
Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	145.400	184.500	146.700	123.100	129.300	116.500	102.700	148.700
Transmitting ERP (watts)	11.560	166.090	173.920	14.030	0.500	0.500	0.500	0.500

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
10	36-38-53.0 N	083-41-25.0 W	658.4	48.8	1043630

Address: 1.5 M. S OF TOWN OF MELDRUM, 0.5M. E OF WILDERNESS RD.

City: MELDRUM County: BELL State: KY Construction Deadline:

Antenna: 2

Maximum Transmitting ERP in Watts:	140.820							
Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	266.800	276.600	128.400	248.000	277.600	172.400	2.700	220.900
Transmitting ERP (watts)	8.810	8.810	8.810	8.810	8.810	8.810	8.810	8.810

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
12	36-53-49.1 N	082-37-19.4 W	1266.1	54.9	1017591

Address: SITE 25 EAGLE KNOTS COMMUNICATIONS COMPLEX

City: NORTON County: WISE State: VA Construction Deadline:

Antenna: 2

Maximum Transmitting ERP in Watts:	140.820							
Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	620.200	555.500	438.400	674.700	669.500	364.900	646.800	626.900
Transmitting ERP (watts)	0.100	0.590	5.240	4.990	5.970	4.010	0.120	0.100

Antenna: 3

Maximum Transmitting ERP in Watts:	140.820							
Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	620.200	555.500	438.400	674.700	669.500	364.900	646.800	626.900
Transmitting ERP (watts)	0.190	0.110	0.110	0.110	0.350	6.680	16.910	6.380

Antenna: 4

Maximum Transmitting ERP in Watts:	140.820							
Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	620.200	555.500	438.400	674.700	669.500	364.900	646.800	626.900
Transmitting ERP (watts)	20.560	17.930	1.350	0.120	0.120	0.120	0.120	2.500

Licensee Name: CELLCO PARTNERSHIP

Call Sign: KNKN787

File Number: 0009611047

Print Date: 08-31-2021

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
13	37-09-19.2 N	083-26-33.1 W	516.6	98.8	1043811

Address: DAVIDSON FORK ROAD

City: THOUSAND STICKS County: LESLIE State: KY Construction Deadline:

Antenna: 2

Maximum Transmitting ERP in Watts:	140.820							
Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	232.900	234.900	221.200	165.800	154.800	201.900	224.800	191.100
Transmitting ERP (watts)	7.100	2.740	7.900	89.900	0.760	0.770	1.540	82.610

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
14	36-45-42.1 N	083-40-29.0 W	685.2	129.5	1215974

Address: ROUTE 7 BOX 264 E

City: Pineville County: BELL State: KY Construction Deadline:

Antenna: 2

Maximum Transmitting ERP in Watts:	140.820							
Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	297.500	224.000	311.400	274.200	346.800	324.200	330.200	379.700
Transmitting ERP (watts)	34.700	34.700	34.700	34.700	34.700	34.700	34.700	34.700

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
16	37-08-58.7 N	083-45-07.4 W	452.6	96.0	1043808

Address: Manchester Shopping Center on Lucas Road

City: Manchester County: CLAY State: KY Construction Deadline:

Antenna: 2

Maximum Transmitting ERP in Watts:	140.820							
Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	197.300	183.800	133.200	173.100	167.800	171.800	192.400	174.100
Transmitting ERP (watts)	84.670	84.670	86.190	88.220	86.450	84.670	84.670	84.670

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
17	36-49-06.0 N	083-50-57.0 W	554.7	32.0	

Address: On Top of Brush Hill

City: Artemus County: KNOX State: KY Construction Deadline:

Antenna: 1

Maximum Transmitting ERP in Watts:	140.820							
Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	243.500	224.500	199.100	156.200	167.100	216.000	237.500	245.400
Transmitting ERP (watts)	50.580	70.320	76.300	36.410	5.640	0.250	0.870	9.070



**Licensee Name:** CELLCO PARTNERSHIP

**Call Sign:** KNKN787

**File Number:** 0009611047

**Print Date:** 08-31-2021

**Control Points:**

**Control Pt. No. 1**

**Address:** 1.0 MI. WSW from intersection of I-75 and State Highway 80 P

**City:** Laurel **County:** **State:** KY **Telephone Number:**

**Control Pt. No. 2**

**Address:** Route 7 Box 264, Bird Branch Road

**City:** Pineville **County:** BELL **State:** KY **Telephone Number:**

---

**Waivers/Conditions:**

NONE

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Federal Communications Commission
Wireless Telecommunications Bureau

RADIO STATION AUTHORIZATION

LICENSEE: CELLCO PARTNERSHIP

ATTN: REGULATORY
CELLCO PARTNERSHIP
5055 NORTH POINT PKWY, NP2NE ENGINEERING
ALPHARETTA, GA 30022

Table with Call Sign (WPOK618), File Number (0009262040), and Radio Service (CW - PCS Broadband).

FCC Registration Number (FRN): 0003290673

Table with columns: Grant Date, Effective Date, Expiration Date, Print Date, Market Number, Channel Block, Sub-Market Designator, Market Name, 1st Build-out Date, 2nd Build-out Date, 3rd Build-out Date, 4th Build-out Date.

Waivers/Conditions:

This authorization is subject to the condition that, in the event that systems using the same frequencies as granted herein are authorized in an adjacent foreign territory (Canada/United States), future coordination of any base station transmitters within 72 km (45 miles) of the United States/Canada border shall be required to eliminate any harmful interference to operations in the adjacent foreign territory and to ensure continuance of equal access to the frequencies by both countries.

This license is conditioned upon compliance with the provisions of Applications of AT&T Wireless Services, Inc. and Cingular Wireless Corporation For Consent to Transfer Control of Licenses and Authorizations, Memorandum Opinion and Order, FCC 04-255 (rel. Oct. 26, 2004).

Conditions:

Pursuant to §309(h) of the Communications Act of 1934, as amended, 47 U.S.C. §309(h), this license is subject to the following conditions: This license shall not vest in the licensee any right to operate the station nor any right in the use of the frequencies designated in the license beyond the term thereof nor in any other manner than authorized herein.

This license may not authorize operation throughout the entire geographic area or spectrum identified on the hardcopy version. To view the specific geographic area and spectrum authorized by this license, refer to the Spectrum and Market Area information under the Market Tab of the license record in the Universal Licensing System (ULS).

**Licensee Name:** CELLCO PARTNERSHIP

**Call Sign:** WPOK618

**File Number:** 0009262040

**Print Date:** 03-10-2021

**700 MHz Relicensed Area Information:**

<b>Market</b>	<b>Market Name</b>	<b>Buildout Deadline</b>	<b>Buildout Notification</b>	<b>Status</b>
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Federal Communications Commission
Wireless Telecommunications Bureau

RADIO STATION AUTHORIZATION

LICENSEE: CELLCO PARTNERSHIP

ATTN: REGULATORY
CELLCO PARTNERSHIP
5055 NORTH POINT PKWY, NP2NE ENGINEERING
ALPHARETTA, GA 30022

Table with 2 columns: Call Sign (WPYL924), File Number (0009262040), and Radio Service (CW - PCS Broadband)

FCC Registration Number (FRN): 0003290673

Table with 4 columns: Grant Date (09-06-2019), Effective Date (01-13-2021), Expiration Date (09-29-2029), Print Date (03-10-2021); Market Number (BTA098), Channel Block (C), Sub-Market Designator (4); Market Name (Corbin, KY); 1st Build-out Date (09-29-2004), 2nd Build-out Date, 3rd Build-out Date, 4th Build-out Date

Waivers/Conditions:

This authorization is subject to the condition that, in the event that systems using the same frequencies as granted herein are authorized in an adjacent foreign territory (Canada/United States), future coordination of any base station transmitters within 72 km (45 miles) of the United States/Canada border shall be required to eliminate any harmful interference to operations in the adjacent foreign territory and to ensure continuance of equal access to the frequencies by both countries.

Conditions:

Pursuant to §309(h) of the Communications Act of 1934, as amended, 47 U.S.C. §309(h), this license is subject to the following conditions: This license shall not vest in the licensee any right to operate the station nor any right in the use of the frequencies designated in the license beyond the term thereof nor in any other manner than authorized herein. Neither the license nor the right granted thereunder shall be assigned or otherwise transferred in violation of the Communications Act of 1934, as amended. See 47 U.S.C. § 310(d). This license is subject in terms to the right of use or control conferred by §706 of the Communications Act of 1934, as amended. See 47 U.S.C. §606.

This license may not authorize operation throughout the entire geographic area or spectrum identified on the hardcopy version. To view the specific geographic area and spectrum authorized by this license, refer to the Spectrum and Market Area information under the Market Tab of the license record in the Universal Licensing System (ULS). To view the license record, go to the ULS homepage at http://wireless.fcc.gov/uls/index.htm?job=home and select "License Search". Follow the instructions on how to search for license information.

**Licensee Name:** CELLCO PARTNERSHIP

**Call Sign:** WPYL924

**File Number:** 0009262040

**Print Date:** 03-10-2021

**700 MHz Relicensed Area Information:**

<b>Market</b>	<b>Market Name</b>	<b>Buildout Deadline</b>	<b>Buildout Notification</b>	<b>Status</b>
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Federal Communications Commission
Wireless Telecommunications Bureau

RADIO STATION AUTHORIZATION

LICENSEE: CELLCO PARTNERSHIP

ATTN: REGULATORY
CELLCO PARTNERSHIP
5055 NORTH POINT PKWY, NP2NE NETWORK ENGINEERING
ALPHARETTA, GA 30022

Table with Call Sign (WQEM937), File Number, and Radio Service (CW - PCS Broadband).

FCC Registration Number (FRN): 0003290673

Table with columns: Grant Date, Effective Date, Expiration Date, Print Date, Market Number, Channel Block, Sub-Market Designator, Market Name, 1st Build-out Date, 2nd Build-out Date, 3rd Build-out Date, 4th Build-out Date.

Waivers/Conditions:

Special Condition for AU/name change (6/4/2016): Grant of the request to update licensee name is conditioned on it not reflecting an assignment or transfer of control (see Rule 1.948); if an assignment or transfer occurred without proper notification or FCC approval, the grant is void and the station is licensed under the prior name.

Conditions:

Pursuant to §309(h) of the Communications Act of 1934, as amended, 47 U.S.C. §309(h), this license is subject to the following conditions: This license shall not vest in the licensee any right to operate the station nor any right in the use of the frequencies designated in the license beyond the term thereof nor in any other manner than authorized herein.

This license may not authorize operation throughout the entire geographic area or spectrum identified on the hardcopy version. To view the specific geographic area and spectrum authorized by this license, refer to the Spectrum and Market Area information under the Market Tab of the license record in the Universal Licensing System (ULS).

**Licensee Name:** CELLCO PARTNERSHIP

**Call Sign:** WQEM937

**File Number:**

**Print Date:**

**700 MHz Relicensed Area Information:**

<b>Market</b>	<b>Market Name</b>	<b>Buildout Deadline</b>	<b>Buildout Notification</b>	<b>Status</b>
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Federal Communications Commission
Wireless Telecommunications Bureau

RADIO STATION AUTHORIZATION

LICENSEE: CELLCO PARTNERSHIP

CELLCO PARTNERSHIP
5055 NORTH POINT PKWY, NP2NE NETWORK ENGINEERING
ALPHARETTA, GA 30022

Table with Call Sign (WQGA718), File Number (0009793647), and Radio Service (AW - AWS (1710-1755 MHz and 2110-2155 MHz))

FCC Registration Number (FRN): 0003290673

Table with columns: Grant Date, Effective Date, Expiration Date, Print Date, Market Number, Channel Block, Sub-Market Designator, Market Name, 1st Build-out Date, 2nd Build-out Date, 3rd Build-out Date, 4th Build-out Date

Waivers/Conditions:

This authorization is conditioned upon the licensee, prior to initiating operations from any base or fixed station, making reasonable efforts to coordinate frequency usage with known co-channel and adjacent channel incumbent federal users operating in the 1710-1755 MHz band whose facilities could be affected by the proposed operations.

Conditions:

Pursuant to §309(h) of the Communications Act of 1934, as amended, 47 U.S.C. §309(h), this license is subject to the following conditions: This license shall not vest in the licensee any right to operate the station nor any right in the use of the frequencies designated in the license beyond the term thereof nor in any other manner than authorized herein.

This license may not authorize operation throughout the entire geographic area or spectrum identified on the hardcopy version. To view the specific geographic area and spectrum authorized by this license, refer to the Spectrum and Market Area information under the Market Tab of the license record in the Universal Licensing System (ULS).



**Licensee Name:** CELLCO PARTNERSHIP

**Call Sign:** WQGA718

**File Number:** 0009793647

**Print Date:** 02-23-2022

**700 MHz Relicensed Area Information:**

<b>Market</b>	<b>Market Name</b>	<b>Buildout Deadline</b>	<b>Buildout Notification</b>	<b>Status</b>
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Federal Communications Commission
Wireless Telecommunications Bureau

RADIO STATION AUTHORIZATION

LICENSEE: CELLCO PARTNERSHIP

CELLCO PARTNERSHIP
5055 NORTH POINT PKWY, NP2NE NETWORK ENGINEERING
ALPHARETTA, GA 30022

Table with Call Sign (WQGA940), File Number (0009774996), and Radio Service (AW - AWS (1710-1755 MHz and 2110-2155 MHz))

FCC Registration Number (FRN): 0003290673

Table with columns: Grant Date, Effective Date, Expiration Date, Print Date, Market Number, Channel Block, Sub-Market Designator, Market Name, 1st Build-out Date, 2nd Build-out Date, 3rd Build-out Date, 4th Build-out Date

Waivers/Conditions:

This authorization is conditioned upon the licensee, prior to initiating operations from any base or fixed station, making reasonable efforts to coordinate frequency usage with known co-channel and adjacent channel incumbent federal users operating in the 1710-1755 MHz band whose facilities could be affected by the proposed operations.

Conditions:

Pursuant to §309(h) of the Communications Act of 1934, as amended, 47 U.S.C. §309(h), this license is subject to the following conditions: This license shall not vest in the licensee any right to operate the station nor any right in the use of the frequencies designated in the license beyond the term thereof nor in any other manner than authorized herein.

This license may not authorize operation throughout the entire geographic area or spectrum identified on the hardcopy version. To view the specific geographic area and spectrum authorized by this license, refer to the Spectrum and Market Area information under the Market Tab of the license record in the Universal Licensing System (ULS).

**Licensee Name:** CELLCO PARTNERSHIP

**Call Sign:** WQGA940

**File Number:** 0009774996

**Print Date:** 12-21-2021

**700 MHz Relicensed Area Information:**

<b>Market</b>	<b>Market Name</b>	<b>Buildout Deadline</b>	<b>Buildout Notification</b>	<b>Status</b>
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Federal Communications Commission
Wireless Telecommunications Bureau

RADIO STATION AUTHORIZATION

LICENSEE: CELLCO PARTNERSHIP

ATTN: REGULATORY
CELLCO PARTNERSHIP
5055 NORTH POINT PKWY, NP2NE NETWORK ENGINEERING
ALPHARETTA, GA 30022

Table with Call Sign (WQJQ692), File Number, and Radio Service (WU - 700 MHz Upper Band (Block C)).

FCC Registration Number (FRN): 0003290673

Table with columns: Grant Date, Effective Date, Expiration Date, Print Date, Market Number, Channel Block, Sub-Market Designator, Market Name, 1st Build-out Date, 2nd Build-out Date, 3rd Build-out Date, 4th Build-out Date.

Waivers/Conditions:

If the facilities authorized herein are used to provide broadcast operations, whether exclusively or in combination with other services, the licensee must seek renewal of the license either within eight years from the commencement of the broadcast service or within the term of the license had the broadcast service not been provided, whichever period is shorter in length. See 47 CFR §27.13(b).

This authorization is conditioned upon compliance with section 27.16 of the Commission's rules

Conditions:

Pursuant to §309(h) of the Communications Act of 1934, as amended, 47 U.S.C. §309(h), this license is subject to the following conditions: This license shall not vest in the licensee any right to operate the station nor any right in the use of the frequencies designated in the license beyond the term thereof nor in any other manner than authorized herein. Neither the license nor the right granted thereunder shall be assigned or otherwise transferred in violation of the Communications Act of 1934, as amended. See 47 U.S.C. § 310(d). This license is subject in terms to the right of use or control conferred by §706 of the Communications Act of 1934, as amended. See 47 U.S.C. §606.

This license may not authorize operation throughout the entire geographic area or spectrum identified on the hardcopy version. To view the specific geographic area and spectrum authorized by this license, refer to the Spectrum and Market Area information under the Market Tab of the license record in the Universal Licensing System (ULS). To view the license record, go to the ULS homepage at http://wireless.fcc.gov/uls/index.htm?job=home and select "License Search". Follow the instructions on how to search for license information.

**Licensee Name:** CELLCO PARTNERSHIP

**Call Sign:** WQJQ692

**File Number:**

**Print Date:**

**700 MHz Relicensed Area Information:**

<b>Market</b>	<b>Market Name</b>	<b>Buildout Deadline</b>	<b>Buildout Notification</b>	<b>Status</b>
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Federal Communications Commission  
Wireless Telecommunications Bureau

RADIO STATION AUTHORIZATION

LICENSEE: CELLCO PARTNERSHIP

ATTN: REGULATORY  
CELLCO PARTNERSHIP  
5055 NORTH POINT PKWY, NP2NE NETWORK ENGINEERING  
ALPHARETTA, GA 30022

<b>Call Sign</b> WREF220	<b>File Number</b>
<b>Radio Service</b> UU - Upper Microwave Flexible Use Service	

FCC Registration Number (FRN): 0003290673

<b>Grant Date</b> 10-02-2019	<b>Effective Date</b> 10-02-2019	<b>Expiration Date</b> 10-02-2029	<b>Print Date</b>
<b>Market Number</b> C21121	<b>Channel Block</b> L1	<b>Sub-Market Designator</b> 0	
<b>Market Name</b> KNOX, KY			
<b>1st Build-out Date</b>	<b>2nd Build-out Date</b>	<b>3rd Build-out Date</b>	<b>4th Build-out Date</b>

Waivers/Conditions:

NONE

Conditions:

Pursuant to §309(h) of the Communications Act of 1934, as amended, 47 U.S.C. §309(h), this license is subject to the following conditions: This license shall not vest in the licensee any right to operate the station nor any right in the use of the frequencies designated in the license beyond the term thereof nor in any other manner than authorized herein. Neither the license nor the right granted thereunder shall be assigned or otherwise transferred in violation of the Communications Act of 1934, as amended. See 47 U.S.C. § 310(d). This license is subject in terms to the right of use or control conferred by §706 of the Communications Act of 1934, as amended. See 47 U.S.C. §606.

This license may not authorize operation throughout the entire geographic area or spectrum identified on the hardcopy version. To view the specific geographic area and spectrum authorized by this license, refer to the Spectrum and Market Area information under the Market Tab of the license record in the Universal Licensing System (ULS). To view the license record, go to the ULS homepage at <http://wireless.fcc.gov/uls/index.htm?job=home> and select "License Search". Follow the instructions on how to search for license information.

**Licensee Name:** CELLCO PARTNERSHIP

**Call Sign:** WREF220

**File Number:**

**Print Date:**

**700 MHz Relicensed Area Information:**

<b>Market</b>	<b>Market Name</b>	<b>Buildout Deadline</b>	<b>Buildout Notification</b>	<b>Status</b>
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Federal Communications Commission  
Wireless Telecommunications Bureau

RADIO STATION AUTHORIZATION

LICENSEE: STRAIGHT PATH SPECTRUM, LLC

ATTN: REGULATORY  
STRAIGHT PATH SPECTRUM, LLC  
5055 NORTH POINT PKWY, NP2NE NETWORK ENGINEERING  
ALPHARETTA, GA 30022

<b>Call Sign</b> WRHE833	<b>File Number</b>
<b>Radio Service</b> UU - Upper Microwave Flexible Use Service	

FCC Registration Number (FRN): 0012576435

<b>Grant Date</b> 06-04-2020	<b>Effective Date</b> 06-04-2020	<b>Expiration Date</b> 06-04-2030	<b>Print Date</b>
<b>Market Number</b> PEA096	<b>Channel Block</b> M1	<b>Sub-Market Designator</b> 0	
<b>Market Name</b> Richmond, KY			
<b>1st Build-out Date</b>	<b>2nd Build-out Date</b>	<b>3rd Build-out Date</b>	<b>4th Build-out Date</b>

Waivers/Conditions:

NONE

Conditions:

Pursuant to §309(h) of the Communications Act of 1934, as amended, 47 U.S.C. §309(h), this license is subject to the following conditions: This license shall not vest in the licensee any right to operate the station nor any right in the use of the frequencies designated in the license beyond the term thereof nor in any other manner than authorized herein. Neither the license nor the right granted thereunder shall be assigned or otherwise transferred in violation of the Communications Act of 1934, as amended. See 47 U.S.C. § 310(d). This license is subject in terms to the right of use or control conferred by §706 of the Communications Act of 1934, as amended. See 47 U.S.C. §606.

This license may not authorize operation throughout the entire geographic area or spectrum identified on the hardcopy version. To view the specific geographic area and spectrum authorized by this license, refer to the Spectrum and Market Area information under the Market Tab of the license record in the Universal Licensing System (ULS). To view the license record, go to the ULS homepage at <http://wireless.fcc.gov/uls/index.htm?job=home> and select "License Search". Follow the instructions on how to search for license information.



**Licensee Name:** STRAIGHT PATH SPECTRUM, LLC

**Call Sign:** WRHE833

**File Number:**

**Print Date:**

**700 MHz Relicensed Area Information:**

<b>Market</b>	<b>Market Name</b>	<b>Buildout Deadline</b>	<b>Buildout Notification</b>	<b>Status</b>
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Federal Communications Commission
Wireless Telecommunications Bureau

RADIO STATION AUTHORIZATION

LICENSEE: CELLCO PARTNERSHIP

ATTN: REGULATORY
CELLCO PARTNERSHIP
5055 NORTH POINT PKWY, NP2NE NETWORK ENGINEERING
ALPHARETTA, GA 30022

Table with Call Sign (WRNF549), File Number, and Radio Service (PM - 3.7 GHz Service).

FCC Registration Number (FRN): 0003290673

Table with columns: Grant Date, Effective Date, Expiration Date, Print Date, Market Number, Channel Block, Sub-Market Designator, Market Name, 1st Build-out Date, 2nd Build-out Date, 3rd Build-out Date, 4th Build-out Date.

Waivers/Conditions:

This final license provides authorization during the full 15-year license term. Operation under this final license may begin on the earlier of (1) 12/5/2025 or (2) the date that the certification for accelerated relocation for this PEA is validated by the FCC pursuant to 47 CFR § 27.1412(g).

License is conditioned on compliance with all applicable FCC rules and regulations, including licensee making payments required by 47 C.F.R. §§ 27.1401- 27.1424 as described in FCC 20-22. See FCC 20-22, paras. 178-331.

Conditions:

Pursuant to §309(h) of the Communications Act of 1934, as amended, 47 U.S.C. §309(h), this license is subject to the following conditions: This license shall not vest in the licensee any right to operate the station nor any right in the use of the frequencies designated in the license beyond the term thereof nor in any other manner than authorized herein.

This license may not authorize operation throughout the entire geographic area or spectrum identified on the hardcopy version. To view the specific geographic area and spectrum authorized by this license, refer to the Spectrum and Market Area information under the Market Tab of the license record in the Universal Licensing System (ULS).

**Licensee Name:** CELLCO PARTNERSHIP

**Call Sign:** WRNF549

**File Number:**

**Print Date:**

**700 MHz Relicensed Area Information:**

<b>Market</b>	<b>Market Name</b>	<b>Buildout Deadline</b>	<b>Buildout Notification</b>	<b>Status</b>
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Federal Communications Commission
Wireless Telecommunications Bureau

RADIO STATION AUTHORIZATION

LICENSEE: CELLCO PARTNERSHIP

ATTN: REGULATORY
CELLCO PARTNERSHIP
5055 NORTH POINT PKWY, NP2NE NETWORK ENGINEERING
ALPHARETTA, GA 30022

Table with 2 columns: Call Sign (WRNF554), File Number, and Radio Service (PM - 3.7 GHz Service).

FCC Registration Number (FRN): 0003290673

Table with 4 columns: Grant Date, Effective Date, Expiration Date, Print Date, Market Number, Channel Block, Sub-Market Designator, Market Name, 1st Build-out Date, 2nd Build-out Date, 3rd Build-out Date, 4th Build-out Date.

Waivers/Conditions:

This final license provides authorization during the full 15-year license term. Operation under this final license may begin on the earlier of (1) 12/5/2025 or (2) the date that the certification for accelerated relocation for this PEA is validated by the FCC pursuant to 47 CFR § 27.1412(g).

License is conditioned on compliance with all applicable FCC rules and regulations, including licensee making payments required by 47 C.F.R. §§ 27.1401- 27.1424 as described in FCC 20-22. See FCC 20-22, paras. 178-331.

Conditions:

Pursuant to §309(h) of the Communications Act of 1934, as amended, 47 U.S.C. §309(h), this license is subject to the following conditions: This license shall not vest in the licensee any right to operate the station nor any right in the use of the frequencies designated in the license beyond the term thereof nor in any other manner than authorized herein.

This license may not authorize operation throughout the entire geographic area or spectrum identified on the hardcopy version. To view the specific geographic area and spectrum authorized by this license, refer to the Spectrum and Market Area information under the Market Tab of the license record in the Universal Licensing System (ULS).

**Licensee Name:** CELLCO PARTNERSHIP

**Call Sign:** WRNF554

**File Number:**

**Print Date:**

**700 MHz Relicensed Area Information:**

<b>Market</b>	<b>Market Name</b>	<b>Buildout Deadline</b>	<b>Buildout Notification</b>	<b>Status</b>
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Reference Copy

# LV WILTON LAKE

CELLCO PARTNERSHIP  
D/B/A



LIBERTY ROAD  
CORBIN, KY 40701  
KNOX COUNTY

TOWER OWNER: VERIZON

**NEW 300'-0" SELF SUPPORT TOWER w/5'-0" LIGHTNING ARRESTOR -TOTAL TOWER HEIGHT 305'-0"**

FROM KNOX COUNTY JUDGE: BARBOURVILLE, KY 40906: HEAD NORTHWEST ON COURT SQUARE TOWARD KNOX ST (226 FT). TURN RIGHT ONTO KY-6 W/N MAIN ST & CONTINUE TO FOLLOW KY-6 W (13.4 MI). TURN RIGHT ONTO LIBERTY RD (0.3 MI). SITE WILL BE LOCATED ON RIGHT (SOUTH) SIDE OF ROAD.

FROM LOUISVILLE MTSO: 2421 HOLLOWAY ROAD LOUISVILLE, KY 40299: HEAD SOUTH ON HOLLOWAY RD TOWARD PLANTSIDE DR (0.1 MI). TURN LEFT AT THE 1ST CROSS STREET ONTO PLANTSIDE DR (0.9 MI). USE THE LEFT 2 LANES TO TURN LEFT ONTO BLANKENBAKER PKWY (0.7 MI). USE THE RIGHT LANE TO TAKE THE RAMP ONTO I-64 E (0.5 MI). MERGE ONTO I-64 E (63.4 MI). KEEP RIGHT AT THE FORK TO CONTINUE ON I-75 S (86.3 MI). TAKE EXIT 25 FOR US-25W TOWARD CORBIN (0.4 MI). TURN LEFT ONTO US-25W N/CUMBERLAND FALLS RD (0.9 MI). TURN RIGHT ONTO CORBIN BYPASS (2.4 MI). TURN RIGHT ONTO KY-3606 (1.3 MI). TURN LEFT ONTO KY-6 E (2.4 MI). SITE WILL BE LOCATED ON LEFT (SOUTH) SIDE OF ROAD.

PREPARED BY: POWER OF DESIGN GROUP, LLC - (502) 437-5252



CELLCO PARTNERSHIP  
D/B/A



05/16/2022



EN PERMIT: 3594

## ZONING DRAWINGS

REV.	DATE	DESCRIPTION
A	4.22.22	ISSUED FOR REVIEW
0	5.16.22	ISSUED AS FINAL

SITE INFORMATION:

## LV WILTON LAKE

LIBERTY ROAD  
CORBIN, KY 40701  
KNOX COUNTY

POD NUMBER: 21-83974  
DRAWN BY: POD  
CHECKED BY: MEP  
DATE: 04.22.22

SHEET TITLE:

**PROJECT INFORMATION, SITE MAPS, SHEET INDEX**

SHEET NUMBER:

**T-1**

**VERIZON SITE**  
LV WILTON LAKE  
FUZE ID: 16811523  
LOCATION CODE: 677497

**SITE ADDRESS**  
LIBERTY ROAD  
CORBIN, KY 40701  
KNOX COUNTY  
E911 ADDRESS: TBD

**TOWER OWNER**  
VERIZON  
2902 RING ROAD  
ELIZABETHTOWN, KY 42701  
CONTACT: JACKIE STRAIGHT  
PHONE: (290) 750-0023  
E-MAIL: JACKIE.STRAIGHT@VERIZONWIRELESS.COM

**PROPERTY OWNER**  
FREDDIE & SHIRLEY LOGAN  
400 5375 KY 3436 (LIBERTY ROAD)  
CORBIN, KY 40701  
CONTACT: FREDDIE LOGAN  
PHONE: (606) 620-7097  
E-MAIL: FREDDIE.LOGAN@GMAIL.COM

**POLICE**  
CORBIN POLICE DEPT.  
805 S MAIN ST  
CORBIN, KY 40701  
PHONE: (606) 528-1122

**FIRE**  
WOODBINE FIRE & RESCUE  
877 KY-6  
WOODBINE, KY 40771  
PHONE: (606) 528-1199

**GENERAL INFORMATION**  
LATITUDE : 36.887818 N  
LONGITUDE : 84.048847 W  
1983 (NAD83)  
ELEVATION : 1144.0' AMSL  
1988 (NAVD88)

**VERIZON LEASE AREA**  
100'-0" x 100'-0"  
(10,000 SF)

**PROJECT TOTAL DISTURBED AREA**  
COMPOUND: (10,000 SF) = (0.23 ACRE)  
ACCESS DRIVE: (8,929 SF) = (0.20 ACRE)  
GROSS AREA: (18,929 SF) = (0.43 ACRE)

### PROJECT SUMMARY



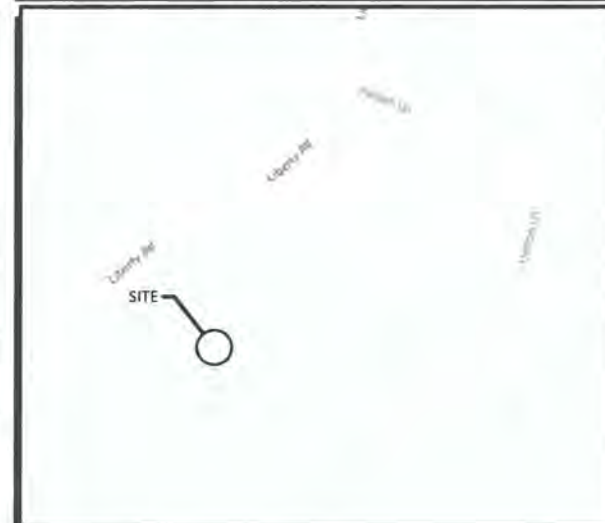
VICINITY MAP

NOTE: ALL ITEMS WITHIN THESE CONSTRUCTION DOCUMENTS ARE BY TOWER OWNER'S GENERAL CONTRACTOR AND HIS SUB-CONTRACTORS UNLESS NOTED AS (VZW GC) WHICH SHALL INCLUDE VERIZON GENERAL CONTRACTOR AND HIS SUB-CONTRACTORS GENERALLY DESCRIBED BELOW:

**VERIZON SCOPE (VZW GC):**

- INSTALL A NEW 300'-0" SELF SUPPORT TOWER w/ 5'-0" LIGHTNING ROD (TOTAL 305'-0")
- INSTALL A NEW TOWER FOUNDATION SYSTEM
- INSTALL A NEW 98'x98' FENCED GRAVEL COMPOUND
- INSTALL A NEW SITE H-FRAME
- INSTALL A NEW ELECTRICAL SERVICE RUN TO SITE H-FRAME
- INSTALL A NEW GRAVEL ACCESS DRIVE
- NO WATER OR SEWAGE SERVICES RUN TO SITE
- INSTALL NEW TOWER & SITE GROUNDING SYSTEM
- INSTALL NEW VZW SUBSURFACE GROUNDING SYSTEM
- INSTALL A NEW 11'-6"x19'-6" CONCRETE EQUIPMENT / GENERATOR PAD
- INSTALL ELECTRICAL SERVICE CONDUIT WITH PULL TAPES FROM ILC ENCLOSURE STUB-UP WITHIN VZW EQUIPMENT PAD TO UTILITY H-FRAME
- INSTALL NEW CONDUITS WITH PULL TAPES FROM VZW ILC ENCLOSURE STUB-UPS TO EQUIPMENT ENCLOSURE STUB-UPS WITHIN VZW EQUIPMENT PAD
- INSTALL NEW CONDUITS WITH PULL TAPES FROM VZW ILC & EQUIPMENT ENCLOSURE STUB-UP LOCATIONS TO THE GENERATOR LOCATION WITHIN VZW EQUIPMENT PAD
- INSTALL NEW CONDUITS WITH PULL TAPES FROM RF CABINET TO OVP H-FRAME UT FIBER LOCATION
- INSTALL (1) NEW "VERIZON ONLY" FIBER OPTIC CONDUIT WITH PULL TAPE AND TRACER WIRE FROM VZW EQUIPMENT TO NEW "VERIZON ONLY" 24" x 36" HAND HOLE OUTSIDE COMPOUND
- INSTALL (1) NEW "VERIZON ONLY" FIBER OPTIC CONDUIT WITH PULL TAPE AND TRACER WIRE FROM NEW "VERIZON ONLY" 24" x 36" HAND HOLE OUTSIDE COMPOUND TO NEW "VERIZON ONLY" 36" x 60" HAND HOLE AT ROW
- INSTALL (1) NEW "VERIZON ONLY" FIBER OPTIC CONDUIT WITH PULL TAPE FROM NEW "VERIZON ONLY" 24" x 36" HAND HOLE OUTSIDE COMPOUND AND STUB UP AT FUTURE FIBER PEDESTAL LOCATION
- INSTALL (2) 1-1/4" & (1) 1" INNERDUCTS WITH PULL TAPES AND TRACER WIRE WITHIN OWNER INSTALLED "VERIZON ONLY" FIBER OPTIC CONDUITS
- PERMANENT ELECTRIC POWER MUST BE AVAILABLE FOR VERIZON AT THE METER BASE PRIOR TO THE SITE BEING RELEASED AS TENANT READY.
- INSTALL A NEW 11'-6"x14'-9" PREFABRICATED CANOPY ON EXISTING CONCRETE PAD FOUNDATION
- INSTALL NEW 30KW DIESEL GENERATOR ON EXISTING CONCRETE FOUNDATION
- INSTALL VZW ICE BRIDGE AND FOUNDATIONS
- INSTALL VZW ANTENNA MOUNTING SUPPORT STRUCTURE ON TOWER
- INSTALL VZW ANTENNAS, LINES, COAX, GPS ANTENNA AND RADIO EQUIPMENT
- INSTALL EXISTING SUBSURFACE GROUND LEADS TO VZW EQUIPMENT & FACILITIES
- INSTALL VZW ELECTRIC SERVICE CONDUCTORS FROM UTILITY H-FRAME TO VZW ILC ENCLOSURE
- INSTALL VZW GENERATOR CIRCUITS FROM VZW ILC & EQUIPMENT ENCLOSURES TO VZW GENERATOR
- INSTALL CIRCUITS FROM VZW ILC TO VZW EQUIPMENT ENCLOSURES
- INSTALL NEW OUTDOOR OVP AND CABLING H-FRAME SUPPORT

### PROJECT DESCRIPTION



LOCATION MAP

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUCTED TO PERMIT WORK NOT CONFORMING TO THESE CODES.

BUILDING CODE	2018 KENTUCKY BUILDING CODE
STRUCTURAL CODE	TIA/EIA-222 - REVISION G (INCLUDES ADDENDUM #2)
MECHANICAL CODE	2012 INTERNATIONAL MECHANICAL CODE (IMC 2012)
PLUMBING CODE	KENTUCKY STATE PLUMBING CODE (815 KAR CHAP. 20)
ELECTRICAL CODE	2017 NATIONAL ELECTRICAL CODE (NEC) - NFPA 70
FIRE/LIFE SAFETY CODE	2012 INTERNATIONAL FIRE CODE (2012 IFC)
ENERGY CODE	2012 INTERNATIONAL ENERGY CODE (COMMERCIAL)
GAS CODE	2009 NATIONAL FUEL GAS CODE (NFPA 54)

**ACCESSIBILITY REQUIREMENTS:**  
FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. HANDICAPPED ACCESS REQUIREMENTS ARE NOT REQUIRED IN ACCORDANCE WITH THE 2009 IBC BUILDING CODE.

### APPLICABLE CODES

<b>SURVEYOR</b> POWER OF DESIGN GROUP, LLC 11490 BLUEGRASS PARKWAY LOUISVILLE, KY 40299 PHONE: (502) 437-5252	<b>ARCHITECTURAL</b> POWER OF DESIGN GROUP, LLC 11490 BLUEGRASS PARKWAY LOUISVILLE, KY 40299 PHONE: (502) 437-5252
---	--

**ELECTRICAL**  
CUMBERLAND VALLEY ELECTRIC, INC.  
ADDRESS: 6219 OLD HWY 25  
GRAY, KY 40734  
CONTACT: TBD  
PHONE: (800) 513-2677  
EMAIL: TBD

**ELECTRICAL UTILITY COORDINATION IS NOT FINALIZED. DO NOT PROCEED WITH CONSTRUCTION.**

### CONSULTANT TEAM



AERIAL

SHEET NUMBER	DESCRIPTION
T-1	PROJECT INFORMATION, SITE MAPS, SHEET INDEX
B-1 TO B-1.2	SITE SURVEY
B-2	500' RADIUS AND ABUTTERS MAP
R-1	REVISION LOG
TOWER ELEVATION	
TE-1	TOWER ELEVATION
CIVIL	
C-1	OVERALL SITE PLAN W/ AERIAL OVERLAY
C-1A	OVERALL SITE PLAN W/ DISTANCE TO PROPERTY LINES
C-1B	DISTANCE TO RESIDENTIAL STRUCTURE
C-3	DETAILED SITE PLAN
C-4	DIMENSIONED SITE PLAN



0° 59' 08"
   
 BASED ON KENTUCKY STATE PLANE SINGLE ZONE AND DETERMINED BY GPS OBSERVATIONS COMPLETED ON MARCH 9, 2022.

**GENERAL NOTES**

NO SEARCH OF PUBLIC RECORDS HAS BEEN COMPLETED BY POD GROUP TO DETERMINE ANY DEFECTS AND/OR AMBIGUITIES IN THE TITLE OF THE SUBJECT PROPERTY.

THIS SURVEY IS FOR THE PROPOSED LEASE AREA AND THE PROPOSED 30' ACCESS & UTILITY EASEMENT ONLY, AND ONLY A PARTIAL BOUNDARY SURVEY OF THE PARENT TRACT HAS BEEN PERFORMED.

A PORTION OF THIS SURVEY WAS CONDUCTED BY METHOD OF RANDOM TRAVERSE WITH SIDE SHOTS. UNADJUSTED CLOSURE EQUALS 0.07', FOR A PRECISION OF 1:36,740 AND HAS NOT BEEN ADJUSTED.

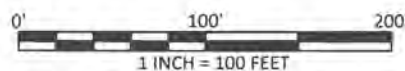
THIS PROPERTY IS SUBJECT TO ANY RECORDED EASEMENTS AND/OR RIGHTS OF WAY SHOWN HEREON OR NOT.

THIS PLAT IS NOT INTENDED FOR LAND TRANSFER.

THE PARENT PARCEL, THE PROPOSED LEASE AREA, THE PROPOSED 30' ACCESS & UTILITY EASEMENT SHOWN HEREON ARE NOT LOCATED IN A 100-YEAR FLOOD PLAIN (ZONE X) PER FLOOD HAZARD BOUNDARY MAP, COMMUNITY-PANEL NUMBER 21121C0093F, DATED MARCH 16, 2015.

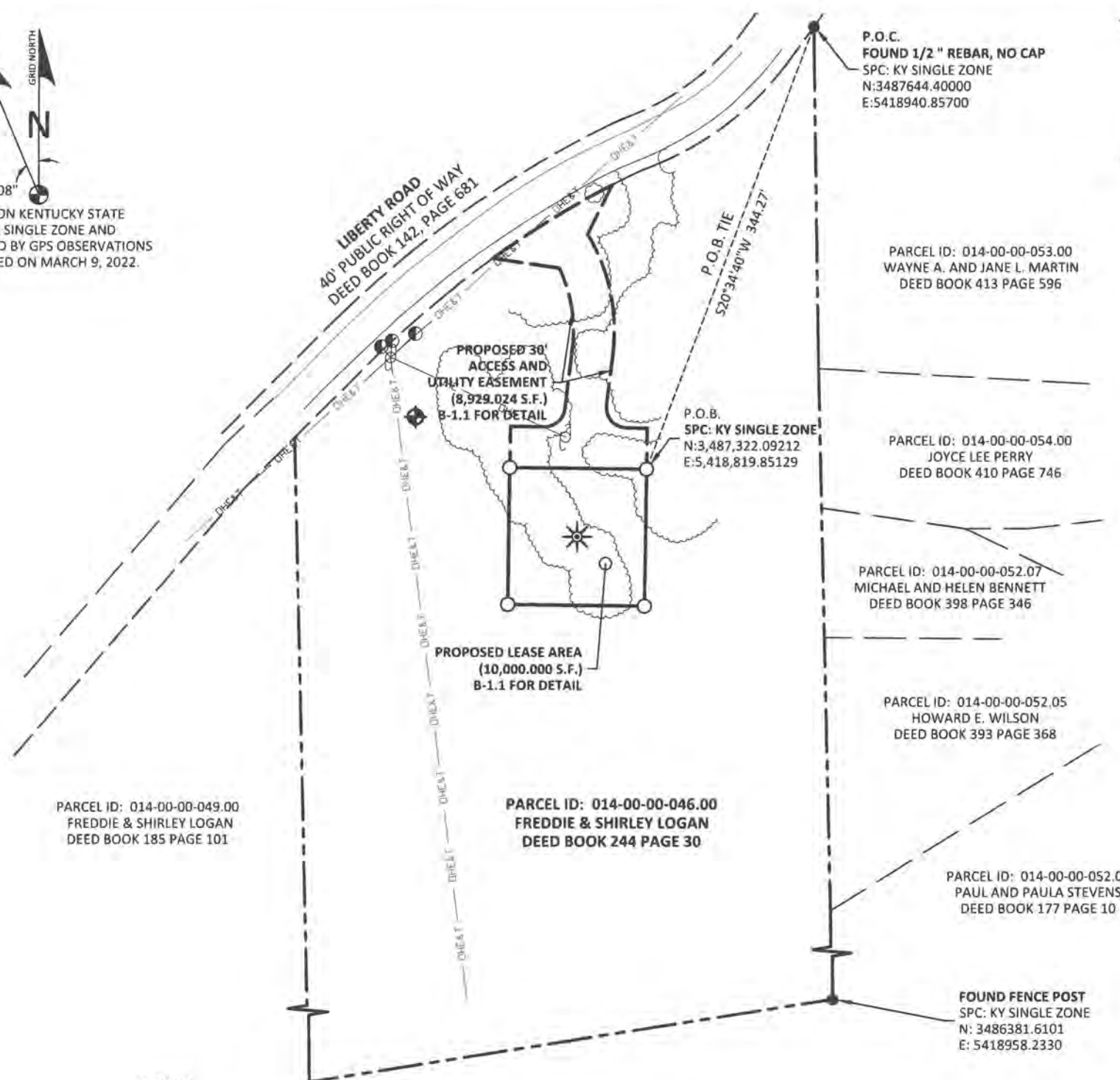


Know what's below. Call before you dig.
   
 Call Monday thru Friday - 7 am. to 6 pm
   
**1-800-752-6007**
  
PER KENTUCKY STATE LAW, IT IS AGAINST THE LAW TO EXCAVATE WITHOUT NOTIFYING THE UNDERGROUND LOCATION SERVICE TWO (2) WORKING DAYS BEFORE COMMENCING WORK.



**GLOBAL POSITIONING SYSTEMS NOTE**

1. RANDOM CONTROL POINTS AND A PORTION OF THE TOPOGRAPHY WAS LOCATED USING GPS.
2. THE TYPE OF GPS UTILIZED WAS NETWORK ADJUSTED REAL TIME KINEMATIC (KDOT VRS NETWORK), NAD 83 KENTUCKY SINGLE ZONE WITH THE ORTHOMETRIC HEIGHT COMPUTED USING GEOID18. RELATIVE POSITIONAL ACCURACY VARIED FROM 0.04' TO 0.07' HORIZONTALLY.
3. SPECTRA PRECISION EPOCH 50 DUAL FREQUENCY RECEIVERS WERE USED TO PERFORM THE SURVEY.



**P.O.C.**  
 FOUND 1/2" REBAR, NO CAP  
 SPC: KY SINGLE ZONE  
 N:3487644.40000  
 E:5418940.85700

**FAA COORDINATE POINT**  
 NAD 83  
 LATITUDE: 36°53'16.145918"  
 LONGITUDE: -84°02'55.850567"  
 NAVD 88  
 ELEVATION: 1144.0' ± AMSL  
 NORTHING: 3487272.7120  
 EASTING: 5418769.2390

**TEMPORARY BENCHMARK**  
 NORTHING: 3487360.2550  
 EASTING: 5418651.0710  
 ELEVATION: 1153.22'  
 LOCATION: SET 1/2" REBAR WITH RED CAP STAMPED "POD TRAVERSE" N84°16'31"W 69.50' ± FROM THE NORTHWEST CORNER OF THE PROPOSED LEASE AREA.

PARCEL ID: 014-00-00-053.00  
 WAYNE A. AND JANE L. MARTIN  
 DEED BOOK 413 PAGE 596

PARCEL ID: 014-00-00-054.00  
 JOYCE LEE PERRY  
 DEED BOOK 410 PAGE 746

PARCEL ID: 014-00-00-052.07  
 MICHAEL AND HELEN BENNETT  
 DEED BOOK 398 PAGE 346

PARCEL ID: 014-00-00-052.05  
 HOWARD E. WILSON  
 DEED BOOK 393 PAGE 368

PARCEL ID: 014-00-00-052.05  
 PAUL AND PAULA STEVENS  
 DEED BOOK 177 PAGE 10

**FOUND FENCE POST**  
 SPC: KY SINGLE ZONE  
 N: 3486381.6101  
 E: 5418958.2330

PARCEL ID: 014-00-00-049.00  
 FREDDIE & SHIRLEY LOGAN  
 DEED BOOK 185 PAGE 101

PARCEL ID: 014-00-00-046.00  
 FREDDIE & SHIRLEY LOGAN  
 DEED BOOK 244 PAGE 30

**LEGEND**

- |        |   |              |
|--------|---|--------------|
| P.O.C. | POINT OF COMMENCEMENT                               | UTILITY POLE |
| P.O.B. | POINT OF BEGINNING                                  | GUY          |
| ROW    | RIGHT OF WAY  |              |
|        | EX. OVERHEAD TELEPHONE                              |              |
|        | EX. OVERHEAD ELECTRIC                               |              |
|        | EX. OVERHEAD ELECTRIC & TELEPHONE                   |              |
|        | SET 1/2" REBAR 18" LONG CAPPED "PATTERSON PLS 3136" |              |
|        | FOUND MONUMENT AS NOTED                             |              |
|        | PROPERTY LINE                                       |              |
|        | ADJACENT PROPERTY LINE                              |              |
|        | EX. FENCE   |              |



**LAND SURVEYOR'S CERTIFICATE**

I, MARK E. PATTERSON, HEREBY CERTIFY THAT I AM A LICENSED PROFESSIONAL LAND SURVEYOR LICENSED IN COMPLIANCE WITH THE LAWS OF THE COMMONWEALTH OF KENTUCKY. I FURTHER CERTIFY THAT THIS PLAT AND THE SURVEY ON THE GROUND WERE PERFORMED BY PERSONS UNDER MY DIRECT SUPERVISION, AND THAT THE DIRECTIONAL AND LINEAR MEASUREMENTS BEING WITNESSED BY MONUMENTS SHOWN HEREON ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. THE "RURAL" SURVEY, AND THE PLAT ON WHICH IT IS BASED, MEETS ALL SPECIFICATIONS AS STATED IN KAR 201 18:150.

MARK PATTERSON, PLS #3136

04/15/2022

DATE



PREPARED FOR:



**SITE SURVEY**

REV.	DATE	DESCRIPTION
A	3.21.22	PRELIM ISSUE
D	4.15.22	ISSUED AS FINAL

**SITE INFORMATION:**

**LV WILTON LAKE**  
 LIBERTY ROAD  
 CORBIN, KY 40701  
 KNOX COUNTY

TAX PARCEL NUMBER:  
 014-00-046.00

PROPERTY OWNER:  
 FREDDIE & SHIRLEY LOGAN

SOURCE OF TITLE:  
 DEED BOOK 244, PAGE 30

POD NUMBER: 22-12208  
 DRAWN BY: AIM  
 CHECKED BY: MEP  
 SURVEY DATE: 3.9.22  
 PLAT DATE: 3.21.22

SHEET TITLE:  
**SITE SURVEY**  
 THIS DOES NOT REPRESENT A  
 BOUNDARY SURVEY OF THE  
 PARENT PARCEL

SHEET NUMBER: (3 pages)

**B-1**

**GLOBAL POSITIONING SYSTEMS NOTE**

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2. THE TYPE OF GPS UTILIZED WAS NETWORK ADJUSTED REAL TIME KINEMATIC (KDOT VRS NETWORK), NAD 83 KENTUCKY SINGLE ZONE WITH THE ORTHOMETRIC HEIGHT COMPUTED USING GEOID18. RELATIVE POSITIONAL ACCURACY VARIED FROM 0.04' TO 0.07' HORIZONTALLY.
3. SPECTRA PRECISION EPOCH 50 DUAL FREQUENCY RECEIVERS WERE USED TO PERFORM THE SURVEY.

**FAA COORDINATE POINT**

NAD 83  
 LATITUDE: 36°53'16.145918"  
 LONGITUDE: -84°02'55.850567"  
 NAVD 88  
 ELEVATION: 1144.0' ± AMSL  
 NORTHING: 3487272.7120  
 EASTING: 5418769.2390

**TEMPORARY BENCHMARK**

NORTHING: 3487360.2550  
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 ELEVATION: 1153.22'  
 LOCATION: SET 1/2" REBAR WITH RED CAP STAMPED "POD TRAVERSE" N84°16'31"W 69.50' +/- FROM THE NORTHWEST CORNER OF THE PROPOSED LEASE AREA.

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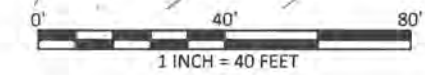
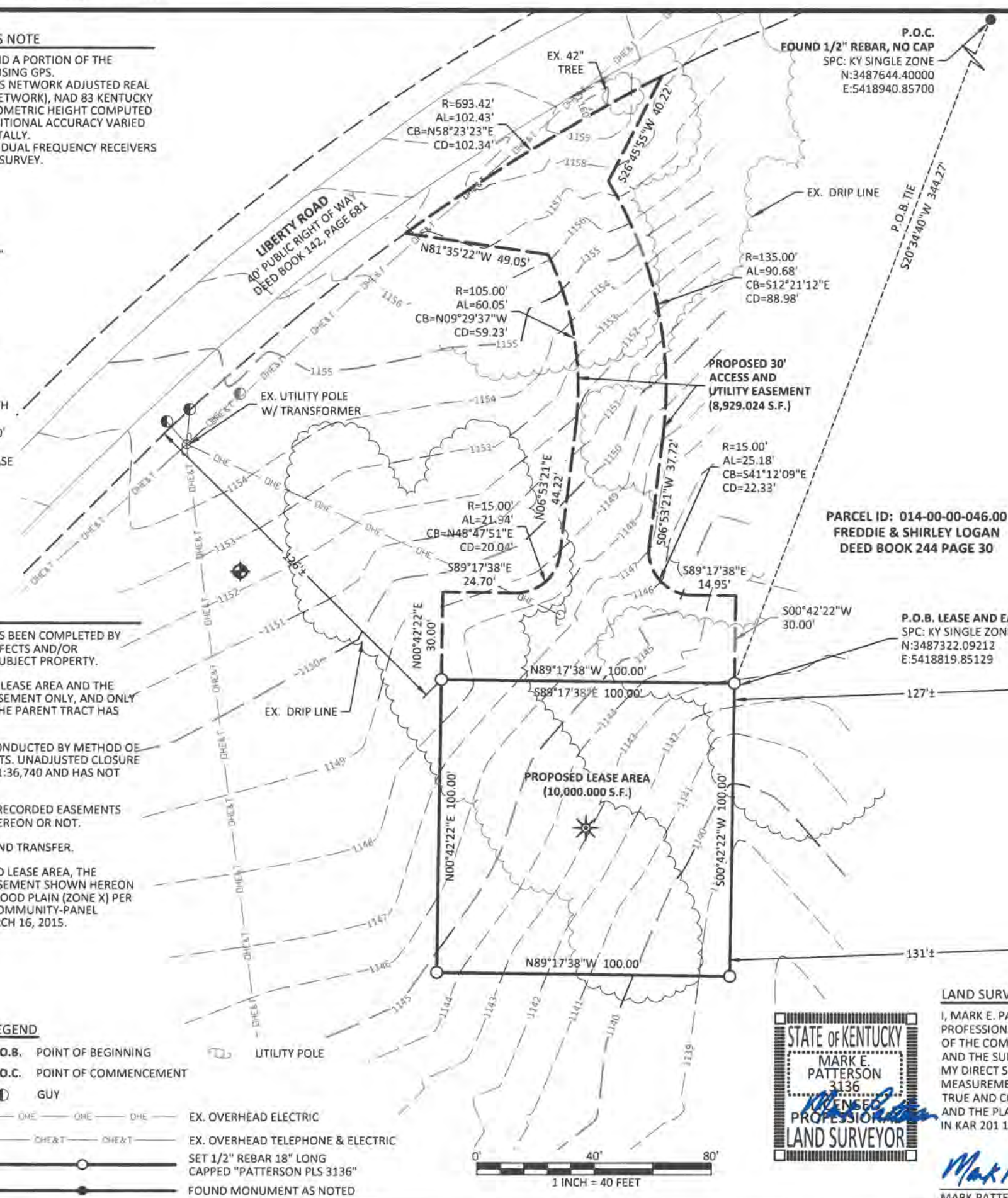
THE PARENT PARCEL, THE PROPOSED LEASE AREA, THE PROPOSED 30' ACCESS & UTILITY EASEMENT SHOWN HEREON ARE NOT LOCATED IN A 100-YEAR FLOOD PLAIN (ZONE X) PER FLOOD HAZARD BOUNDARY MAP, COMMUNITY-PANEL NUMBER 21121C0093F, DATED MARCH 16, 2015.

**LEGEND**

- P.O.B. POINT OF BEGINNING
- P.O.C. POINT OF COMMENCEMENT
- GUY
- EX. OVERHEAD ELECTRIC
- EX. OVERHEAD TELEPHONE & ELECTRIC
- SET 1/2" REBAR 18" LONG CAPPED "PATTERSON PLS 3136"
- FOUND MONUMENT AS NOTED
- UTILITY POLE



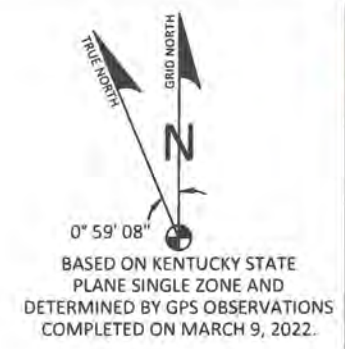
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*Mark Patterson*  
 MARK PATTERSON, PLS #3136  
 04/15/2022  
 DATE



PARCEL ID: 014-00-00-053.00  
 WAYNE A. AND JANE L. MARTIN  
 DEED BOOK 413 PAGE 596

PARCEL ID: 014-00-00-054.00  
 JOYCE LEE PERRY  
 DEED BOOK 410 PAGE 746

PARCEL ID: 014-00-00-052.07  
 MICHAEL AND HELEN BENNETT  
 DEED BOOK 398 PAGE 346

PREPARED BY:  
  
 11490 BLUEGRASS PARKWAY  
 LOUISVILLE, KY 40299  
 502-437-5252

PREPARED FOR:  
  
 CELCO PARTNERSHIP  
 D/B/A

**SITE SURVEY**

REV.	DATE	DESCRIPTION
A	3.21.22	PRELIM ISSUE
D	4.15.22	ISSUED AS FINAL

**SITE INFORMATION:**

LV WILTON LAKE  
 LIBERTY ROAD  
 CORBIN, KY 40701  
 KNOX COUNTY

TAX PARCEL NUMBER:  
 014-00-046.00

PROPERTY OWNER:  
 FREDDIE & SHIRLEY LOGAN

SOURCE OF TITLE:  
 DEED BOOK 244, PAGE 30

POD NUMBER:	22-12208
DRAWN BY:	AIM
CHECKED BY:	MEP
SURVEY DATE:	3.9.22
PLAT DATE:	3.21.22

SHEET TITLE:  
**SITE SURVEY**  
 THIS DOES NOT REPRESENT A BOUNDARY SURVEY OF THE PARENT PARCEL.

SHEET NUMBER: (3 pages)  
**B-1.1**



**LEGAL DESCRIPTIONS**

**PROPOSED LEASE AREA**

THE FOLLOWING IS A DESCRIPTION OF THE PROPOSED LEASE AREA ON THE PROPERTY CONVEYED TO FREDDIE & SHIRLEY LOGAN AS RECORDED IN THE OFFICE OF THE CLERK OF KNOX COUNTY, KENTUCKY IN DEED BOOK 244, PAGE 30, PARCEL ID: 014-00-00-053.00, WHICH IS MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEARING DATUM USED HEREIN IS BASED UPON KENTUCKY STATE PLANE COORDINATE SYSTEM, SINGLE ZONE, NAD 83, FROM A REAL TIME KINEMATIC GLOBAL POSITIONING SYSTEM OBSERVATION USING THE KENTUCKY TRANSPORTATION CABINET REAL TIME GPS NETWORK COMPLETED ON MARCH 9, 2022.

COMMENCING AT A FOUND 1/2" REBAR IN THE SOUTH LINE OF LIBERTY ROAD, AT THE COMMON CORNER OF THE PROPERTY CONVEYED TO FREDDIE & SHIRLEY LOGAN AS RECORDED IN DEED BOOK 244, PAGE 30, PARCEL ID: 014-00-046.00 AND CORNER TO THE PROPERTY CONVEYED TO WAYNE A. & JANE I. MARTIN AS RECORDED IN DEED BOOK 413, PAGE 596, PARCEL ID: 014-00-00-053.00, HAVING A STATE PLANE COORDINATE, KENTUCKY SINGLE ZONE VALUE OF N:3,487,644.40000 & E:5,418,940.85700; THENCE TRAVERSING THE LAND OF LOGAN, S20°34'40"W 344.27' TO A SET 1/2" REBAR 18" LONG CAPPED "PATTERSON PLS 3136", HEREAFTER REFERRED TO AS A "SET IPC", AT THE NORTHEAST CORNER OF THE PROPOSED LEASE AREA HAVING A STATE PLANE COORDINATE, KENTUCKY SINGLE ZONE VALUE OF N:3,487,322.09212 & E:5,418,819.85129, ALSO BEING THE TRUE POINT OF BEGINNING; THENCE S00°42'22"W 100.00' TO A SET "IPC" IN THE SOUTHEAST CORNER OF SAID LEASE AREA; THENCE N89°17'38"W 100.00' TO A SET "IPC" IN THE SOUTHWEST CORNER OF SAID LEASE AREA; THENCE THENCE N00°42'22"E 100.00' TO A SET "IPC" IN THE NORTHWEST CORNER OF SAID LEASE AREA; THENCE S89°17'38"E 100.00' TO THE POINT OF BEGINNING CONTAINING 10,000.000 SQ. FT. AS PER SURVEY BY MARK PATTERSON, PLS #3136 WITH POWER OF DESIGN GROUP, LLC DATED MARCH 9, 2022

**PROPOSED 30' ACCESS & UTILITY EASEMENT**

THE FOLLOWING IS A DESCRIPTION OF THE PROPOSED 30' ACCESS & UTILITY EASEMENT ON THE PROPERTY CONVEYED TO TO FREDDIE & SHIRLEY LOGAN AS RECORDED IN THE OFFICE OF THE CLERK OF KNOX COUNTY, KENTUCKY IN DEED BOOK 244, PAGE 30, PARCEL ID: 014-00-00-053.00, WHICH IS MORE PARTICULARLY DESCRIBED AS FOLLOWS:

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COMMENCING AT A FOUND 1/2" REBAR IN THE SOUTH LINE OF LIBERTY ROAD, AT THE COMMON CORNER OF THE PROPERTY CONVEYED TO FREDDIE & SHIRLEY LOGAN AS RECORDED IN DEED BOOK 244, PAGE 30, PARCEL ID: 014-00-046.00 AND CORNER TO THE PROPERTY CONVEYED TO WAYNE A. & JANE I. MARTIN AS RECORDED IN DEED BOOK 413, PAGE 596, PARCEL ID: 014-00-00-053.00, HAVING A STATE PLANE COORDINATE, KENTUCKY SINGLE ZONE VALUE OF N:3,487,644.40000 & E:5,418,940.85700; THENCE TRAVERSING THE LAND OF LOGAN, S20°34'40"W 344.27' TO A SET 1/2" REBAR 18" LONG CAPPED "PATTERSON PLS 3136", HEREAFTER REFERRED TO AS A "SET IPC", AT THE NORTHEAST CORNER OF THE PROPOSED LEASE AREA HAVING A STATE PLANE COORDINATE, KENTUCKY SINGLE ZONE VALUE OF N:3,487,322.09212 & E:5,418,819.85129, ALSO BEING THE TRUE POINT OF BEGINNING; THENCE N89°17'38"W 100.00' TO A SET "IPC" IN THE NORTHWEST CORNER OF SAID LEASE AREA; THENCE N00°42'22"E 30.00'; THENCE S89°17'38"E 24.70'; THENCE ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 15.00', ARC LENGTH OF 21.94', THE CHORD OF WHICH BEARS N48°47'51"E 20.04'; THENCE N06°53'21"E 44.22'; THENCE ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 105.00', ARC LENGTH OF 60.05', THE CHORD OF WHICH BEARS N09°29'37"W 59.23'; THENCE N81°35'22"W 49.05' TO A POINT IN THE SOUTH RIGHT OF WAY LINE OF LIBERTY ROAD AS RECORDED IN DEED BOOK 142, PAGE 681; THENCE ALONG SAID RIGHT OF WAY, ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 693.42', ARC LENGTH OF 102.43', THE CHORD OF WHICH BEARS N58°23'23"E 102.34'; THENCE LEAVING SAID RIGHT OF WAY, S26°45'55"W 40.22'; THENCE ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 135.00', ARC LENGTH OF 90.68', THE CHORD OF WHICH BEARS S12°21'12"E 88.98'; THENCE S06°53'21"W 37.72'; THENCE ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 15.00', ARC LENGTH OF 25.18', THE CHORD OF WHICH BEARS S41°12'09"E 22.33'; THENCE S89°17'38"E 14.95'; THENCE S00°42'22"W 30.00' TO THE POINT OF BEGINNING CONTAINING 8,929.024 SQ. FT. AS PER SURVEY BY MARK PATTERSON, PLS #3136 WITH POWER OF DESIGN GROUP, LLC DATED MARCH 9, 2022.

**PARENT PARCEL (DEED BOOK 244, PAGE 30)**

PROPERTY LOCATED IN KNOX COUNTY, KENTUCKY

THE FOLLOWING DESCRIBED REAL PROPERTY LOCATED IN KNOX COUNTY, KENTUCKY, TO WIT:

BEGINNING ON AN IRON PIN CORNER TO LOT #2 ON THE NORTH SIDE OF KENTUCKY HIGHWAY #6; THENCE ALONG SAID HIGHWAY RIGHT OF WAY N. 64 DEG. 52' E. 215.5 FEET TO A STAKE; THENCE N. 60 DEG. 37' E. 197 FEET TO A STAKE AT THE FOOT OF A WHITE OAK; THENCE LEAVING SAID RIGHT OF WAY WITH A FENCE N. 00 DEG. 07' W. 283 FEET TO A STAKE; THENCE N. 00 DEG 20' W. 227 FEET TO A STAKE; THENCE N. 01 DEG. 19' W. 403 FEET TO A STAKE; THENCE N. 00 DEG. 30' E. 246 FEET TO A STAKE ON THE SOUTH SIDE OF THE COUNTY ROAD; THENCE ALONG THE RIGHT OF WAY OF SAME S. 54 DEG. 49' W. 162 FEET TO A STAKE; THENCE S. 71 DEG. 11' W. 76 FEET TO A STAKE; THENCE S. 50 DEG. 50' W. 242 FEET TO AN IRON PIN CORNER TO LOT #2; THENCE WITH THE LINE OF LOT #2 SOUTH 1121 FEET TO THE BEGINNING. CONTAINING 10 ACRES, MORE OR LESS.

AND BEING THE SAME PROPERTY CONVEYED TO FREDDIE LOGAN AND SHIRLEY LOGAN FROM NORMA WAGONER PERKINS AND RAY PERKINS BY WARRANTY DEED DATED JULY 13, 1989 AND RECORDED JULY 24, 1989 IN DEED BOOK 244, PAGE 30.

TAX PARCEL NO. 014-00-00-046.00

**REPORT OF SEARCH**

THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY POD GROUP, LLC AND AS SUCH WE ARE NOT RESPONSIBLE FOR THE INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, UNRECORDED EASEMENTS, AUGMENTING EASEMENTS, IMPLIED OR PRESCRIPTIVE EASEMENTS, OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE. INFORMATION REGARDING THESE MATTERS WERE GAINED FROM FIDELITY NATIONAL TITLE, ORDER NO. 36483486, PREPARED FOR VERIZON WIRELESS, PERIOD OF SEARCH: APRIL 30, 1948 TO JANUARY 28, 2022 AT 8:00 A.M. DATED: FEBRUARY 9, 2022. THE FOLLOWING COMMENTS ARE IN REGARD TO SAID SEARCH AND THE NUMBERS IN THE COMMENTS CORRESPOND TO THE NUMBERING SYSTEM IN SAID REPORT.

**SEARCH DISCLOSED THE FOLLOWING:**

1. TAXES  
TYPE OF TAX: COUNTY  
CALENDAR YEAR: 2021  
AMOUNT: \$18.06 ANNUALLY  
PARCEL ID #: 014-00-00-046.00  
PAID THROUGH: 2021  
ASSESSMENT: \$1700.00 (TOTAL = LAND AND IMPROVEMENTS, IF ANY) (NOT A LAND SURVEYING MATTER, THEREFORE, POD GROUP, LLC DID NOT EXAMINE OR ADDRESS THIS ITEM.)
2. EXCEPT THE COAL, OIL, GAS AND OTHER MINERALS UNDERLYING THE SURFACE OF SAID LAND AND ALL RIGHTS AND EASEMENTS IN FAVOR OF THE ESTATE OF SAID COAL, OIL, GAS AND OTHER MINERALS; INCLUDING, BUT NOT LIMITED TO, EXPRESS OR IMPLIED EASEMENTS IN, OVER AND UNDER THE ESTATE FOR THE ENTRY AND REMOVAL OF MINERALS. THIS POLICY SHOULD NOT BE CONSTRUED AS INSURING AGAINST LOSS OR DAMAGE RESULTING TO THE SURFACE OF THE LAND OR ANY IMPROVEMENTS THEREON CAUSED BY SURFACE ENTRY OR BY THE REMOVAL OF THE OIL, GAS, AND OTHER MINERALS LYING THEREUNDER. SEE INSTRUMENT RECORDED IN DEED BOOK 98, PAGE 267. (NOT A LAND SURVEYING MATTER, THEREFORE, POD GROUP, LLC DID NOT EXAMINE OR ADDRESS THIS ITEM.)
3. EASEMENT IN FAVOR OF DUMBERLAND VALLEY RURAL ELECTRIC COOPERATIVE COOPERATION SET FORTH IN INSTRUMENT RECORDED ON MARCH 18, 1948 IN DEED BOOK 98, PAGE 267. (CANNOT DETERMINE LOCATION OF EASEMENT PER DEED BOOK 98, PAGE 267.)

PREPARED BY:



11490 BLUEGRASS PARKWAY  
LOUISVILLE, KY 40299  
502-437-5252

PREPARED FOR:



**SITE SURVEY**

REV.	DATE	DESCRIPTION
A	3.21.22	PRELIM ISSUE
0	4.15.22	ISSUED AS FINAL

**SITE INFORMATION:**

**LV WILTON LAKE**  
LIBERTY ROAD  
CORBIN, KY 40701  
KNOX COUNTY

TAX PARCEL NUMBER:  
014-00-046.00

PROPERTY OWNER:  
FREDDIE & SHIRLEY LOGAN

SOURCE OF TITLE:  
DEED BOOK 244, PAGE 30

POD NUMBER: 22-122087  
DRAWN BY: AIM  
CHECKED BY: MEP  
SURVEY DATE: 3.9.22  
PLAT DATE: 3.21.22

**SHEET TITLE:**

**SITE SURVEY**  
THIS DOES NOT REPRESENT A  
BOUNDARY SURVEY OF THE  
PARENT PARCEL

SHEET NUMBER: (3 pages)

**B-1.2**



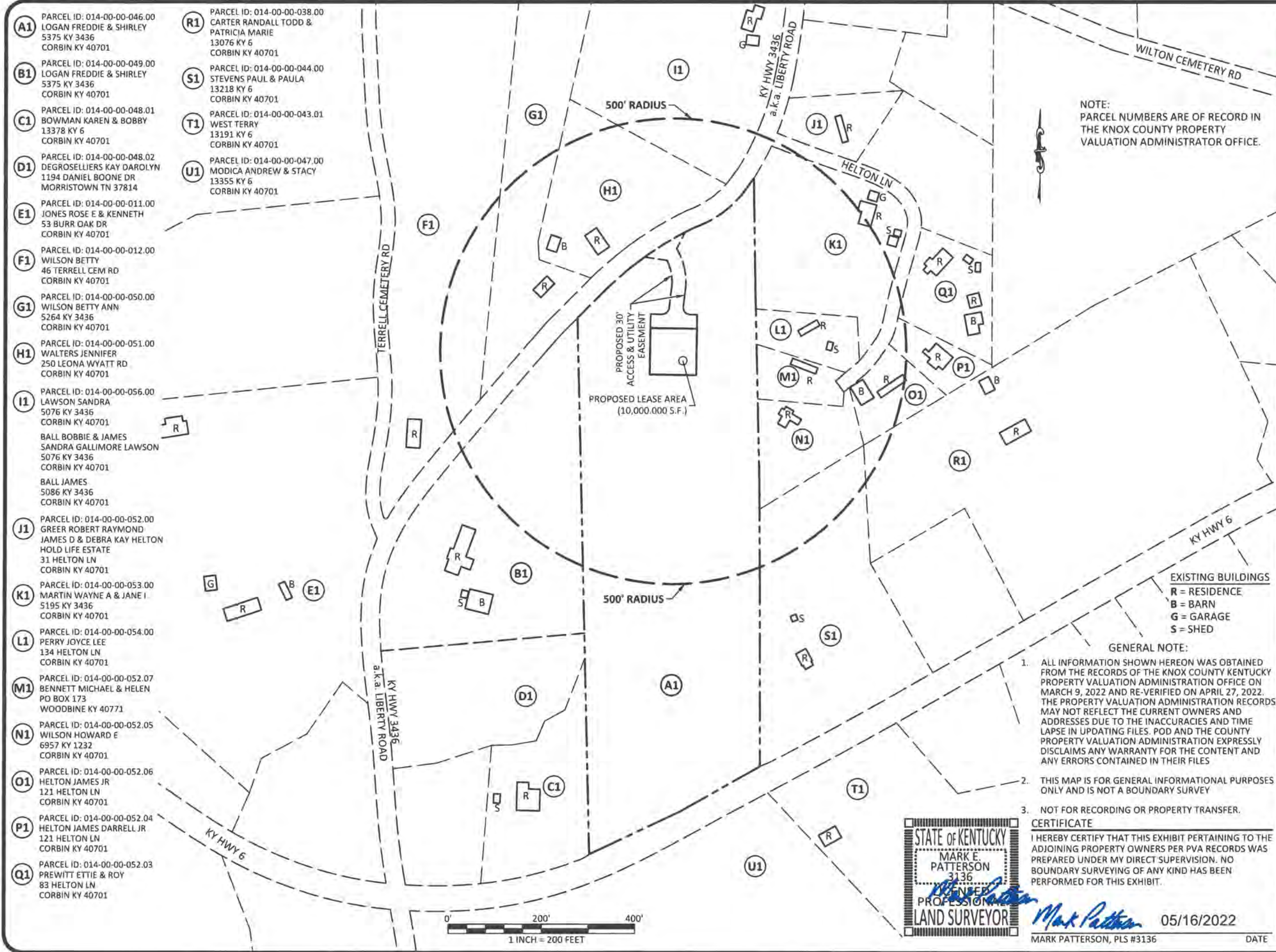
**LAND SURVEYOR'S CERTIFICATE**

I, MARK E. PATTERSON, HEREBY CERTIFY THAT I AM A LICENSED PROFESSIONAL LAND SURVEYOR LICENSED IN COMPLIANCE WITH THE LAWS OF THE COMMONWEALTH OF KENTUCKY. I FURTHER CERTIFY THAT THIS PLAT AND THE SURVEY ON THE GROUND WERE PERFORMED BY PERSONS UNDER MY DIRECT SUPERVISION, AND THAT THE DIRECTIONAL AND LINEAR MEASUREMENTS BEING WITNESSED BY MONUMENTS SHOWN HEREON ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. THE "RURAL" SURVEY, AND THE PLAT ON WHICH IT IS BASED, MEETS ALL SPECIFICATIONS AS STATED IN KAR 201.18:150.

*Mark Patterson*  
MARK PATTERSON, PLS #3136

04/15/2022

DATE



- (A1)** PARCEL ID: 014-00-00-046.00  
LOGAN FREDDIE & SHIRLEY  
5375 KY 3436  
CORBIN KY 40701
- (B1)** PARCEL ID: 014-00-00-049.00  
LOGAN FREDDIE & SHIRLEY  
5375 KY 3436  
CORBIN KY 40701
- (C1)** PARCEL ID: 014-00-00-048.01  
BOWMAN KAREN & BOBBY  
13378 KY 6  
CORBIN KY 40701
- (D1)** PARCEL ID: 014-00-00-048.02  
DEGROSELLIERS KAY DAROLYN  
1194 DANIEL BOONE DR  
MORRISTOWN TN 37814
- (E1)** PARCEL ID: 014-00-00-011.00  
JONES ROSE E & KENNETH  
53 BURR OAK DR  
CORBIN KY 40701
- (F1)** PARCEL ID: 014-00-00-012.00  
WILSON BETTY  
46 TERRELL CEM RD  
CORBIN KY 40701
- (G1)** PARCEL ID: 014-00-00-050.00  
WILSON BETTY ANN  
5264 KY 3436  
CORBIN KY 40701
- (H1)** PARCEL ID: 014-00-00-051.00  
WALTERS JENNIFER  
250 LEONA WYATT RD  
CORBIN KY 40701
- (I1)** PARCEL ID: 014-00-00-056.00  
LAWSON SANDRA  
5076 KY 3436  
CORBIN KY 40701  
BALL BOBBIE & JAMES  
SANDRA GALLIMORE LAWSON  
5076 KY 3436  
CORBIN KY 40701  
BALL JAMES  
5086 KY 3436  
CORBIN KY 40701
- (J1)** PARCEL ID: 014-00-00-052.00  
GREER ROBERT RAYMOND  
JAMES D & DEBRA KAY HELTON  
HOLD LIFE ESTATE  
31 HELTON LN  
CORBIN KY 40701
- (K1)** PARCEL ID: 014-00-00-053.00  
MARTIN WAYNE A & JANE I  
5195 KY 3436  
CORBIN KY 40701
- (L1)** PARCEL ID: 014-00-00-054.00  
PERRY JOYCE LEE  
134 HELTON LN  
CORBIN KY 40701
- (M1)** PARCEL ID: 014-00-00-052.07  
BENNETT MICHAEL & HELEN  
PO BOX 173  
WOODBINE KY 40771
- (N1)** PARCEL ID: 014-00-00-052.05  
WILSON HOWARD E  
6957 KY 1232  
CORBIN KY 40701
- (O1)** PARCEL ID: 014-00-00-052.06  
HELTON JAMES JR  
121 HELTON LN  
CORBIN KY 40701
- (P1)** PARCEL ID: 014-00-00-052.04  
HELTON JAMES DARRELL JR  
121 HELTON LN  
CORBIN KY 40701
- (Q1)** PARCEL ID: 014-00-00-052.03  
PREWITT ETTIE & ROY  
83 HELTON LN  
CORBIN KY 40701
- (R1)** PARCEL ID: 014-00-00-038.00  
CARTER RANDALL TODD &  
PATRICIA MARIE  
13076 KY 6  
CORBIN KY 40701
- (S1)** PARCEL ID: 014-00-00-044.00  
STEVENS PAUL & PAULA  
13218 KY 6  
CORBIN KY 40701
- (T1)** PARCEL ID: 014-00-00-043.01  
WEST TERRY  
13191 KY 6  
CORBIN KY 40701
- (U1)** PARCEL ID: 014-00-00-047.00  
MODICA ANDREW & STACY  
13355 KY 6  
CORBIN KY 40701

PREPARED BY:  
  
 POWER OF DESIGN  
 11490 BLUEGRASS PARKWAY  
 LOUISVILLE, KY 40299  
 502-437-5252

PREPARED FOR:  
  
 CELLCO PARTNERSHIP  
 D/B/A

REVISIONS		
REV.	DATE	DESCRIPTION
A	4.27.22	ISSUED FOR REVIEW
0	5.16.22	ISSUED AS FINAL

SITE INFORMATION:  
**LV WILTON LAKE**  
 KENTUCKY HIGHWAY 3436  
 a.k.a. LIBERTY ROAD  
 CORBIN, KY 40701  
 KNOX COUNTY  
 TAX PARCEL NUMBER:  
 014-00-046.00

PROPERTY OWNER:  
 FREDDIE & SHIRLEY LOGAN  
 5375 KENTUCKY HWY 3436  
 CORBIN, KY 40701  
 SOURCE OF TITLE:  
 DEED BOOK 244, PAGE 30

POD NUMBER: 21-83972  
 DRAWN BY: DAP  
 CHECKED BY: MEP  
 SURVEY DATE: 3.9.22  
 PLAT DATE: 4.27.22

SHEET TITLE:  
**500' RADIUS AND  
 ABUTTERS MAP**  
 SHEET NUMBER: (1 page)  
**B-2**

NOTE:  
 PARCEL NUMBERS ARE OF RECORD IN  
 THE KNOX COUNTY PROPERTY  
 VALUATION ADMINISTRATOR OFFICE.

EXISTING BUILDINGS  
 R = RESIDENCE  
 B = BARN  
 G = GARAGE  
 S = SHED

- GENERAL NOTE:
- ALL INFORMATION SHOWN HEREON WAS OBTAINED FROM THE RECORDS OF THE KNOX COUNTY KENTUCKY PROPERTY VALUATION ADMINISTRATION OFFICE ON MARCH 9, 2022 AND RE-VERIFIED ON APRIL 27, 2022. THE PROPERTY VALUATION ADMINISTRATION RECORDS MAY NOT REFLECT THE CURRENT OWNERS AND ADDRESSES DUE TO THE INACCURACIES AND TIME LAPSE IN UPDATING FILES. POD AND THE COUNTY PROPERTY VALUATION ADMINISTRATION EXPRESSLY DISCLAIMS ANY WARRANTY FOR THE CONTENT AND ANY ERRORS CONTAINED IN THEIR FILES
  - THIS MAP IS FOR GENERAL INFORMATIONAL PURPOSES ONLY AND IS NOT A BOUNDARY SURVEY
  - NOT FOR RECORDING OR PROPERTY TRANSFER.

STATE OF KENTUCKY  
 MARK E. PATTERSON  
 3136  
  
 PROFESSIONAL LAND SURVEYOR

DATE  
 05/16/2022  
 MARK PATTERSON, PLS #3136

**REVISION LOG**

REV *	MM/DD/YY	SHEET NUMBER	DESCRIPTION OF REVISION
A	4/22/2022	ALL SHEETS	ISSUED FOR REVIEW
0	5/16/2022	ALL SHEETS	ISSUED AS FINAL



CELLCO PARTNERSHIP  
D/B/A



05/16/2022



EN PERMIT: 3594

**ZONING DRAWINGS**

REV.	DATE	DESCRIPTION
A	4.22.22	ISSUED FOR REVIEW
0	5.16.22	ISSUED AS FINAL

SITE INFORMATION:

**LV WILTON LAKE**

LIBERTY ROAD  
CORBIN, KY 40701  
KNOX COUNTY

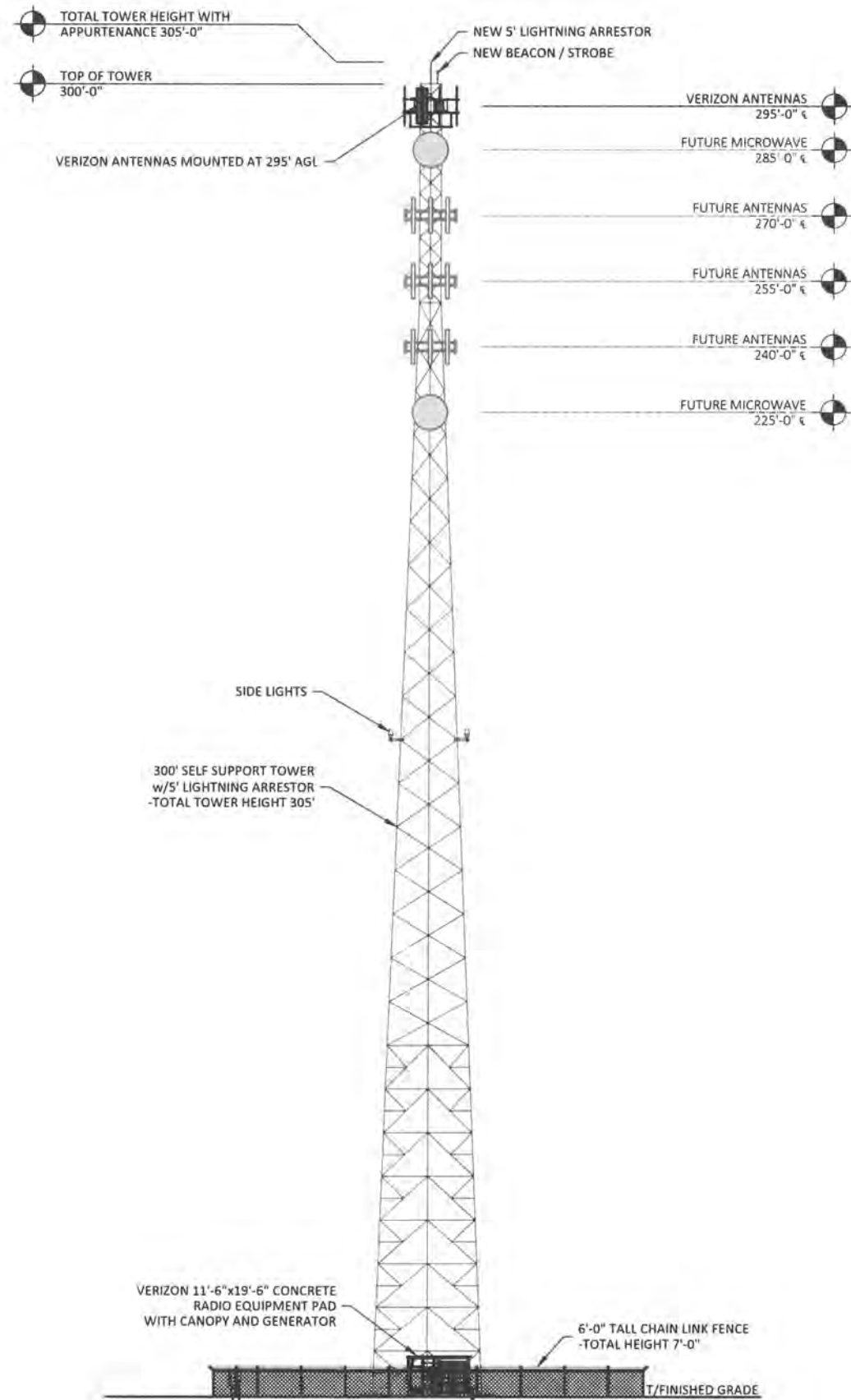
POD NUMBER: 21-83974  
DRAWN BY: POD  
CHECKED BY: MEP  
DATE: 04.22.22

SHEET TITLE:

**REVISION LOG**

SHEET NUMBER:

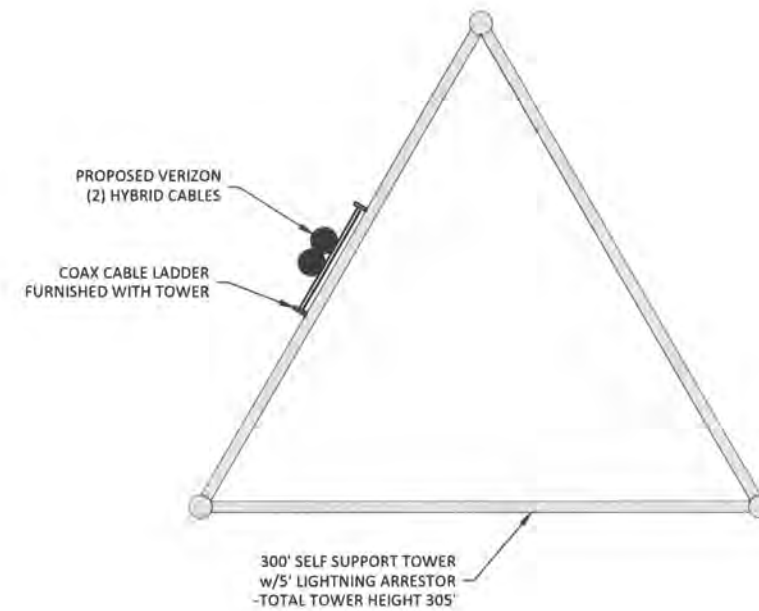
**R-1**



**TOWER ELEVATION**  
SCALE: N.T.S.  
**1**  
TE-1

**NOTE:**

1. IT IS THE INSTALLING CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL ANTENNA INFORMATION AGAINST FINAL RADIO ENGINEERING PLAN PROVIDED BY CELCO PARTNERSHIP d/b/a VERIZON (VZW GC)
2. ALL TOWER LIGHTING SHALL BE INSTALLED AS REQUIRED BY THE FEDERAL AVIATION ADMINISTRATION AND RECOMMENDED BY THE USFWS INTERIM GUIDELINES (2000) FOR LIGHTING OF TOWERS OVER 200' IN HEIGHT.



**COAX PLAN**  
SCALE: N.T.S.



**POD**  
POWER OF DESIGN  
11490 BLUEGRASS PARKWAY  
LOUISVILLE, KY 40299  
502-437-5252

CELLCO PARTNERSHIP  
D/B/A



05/16/2022



EN PERMIT: 3594

**ZONING DRAWINGS**

REV.	DATE	DESCRIPTION
A	4.22.22	ISSUED FOR REVIEW
0	5.16.22	ISSUED AS FINAL

SITE INFORMATION:

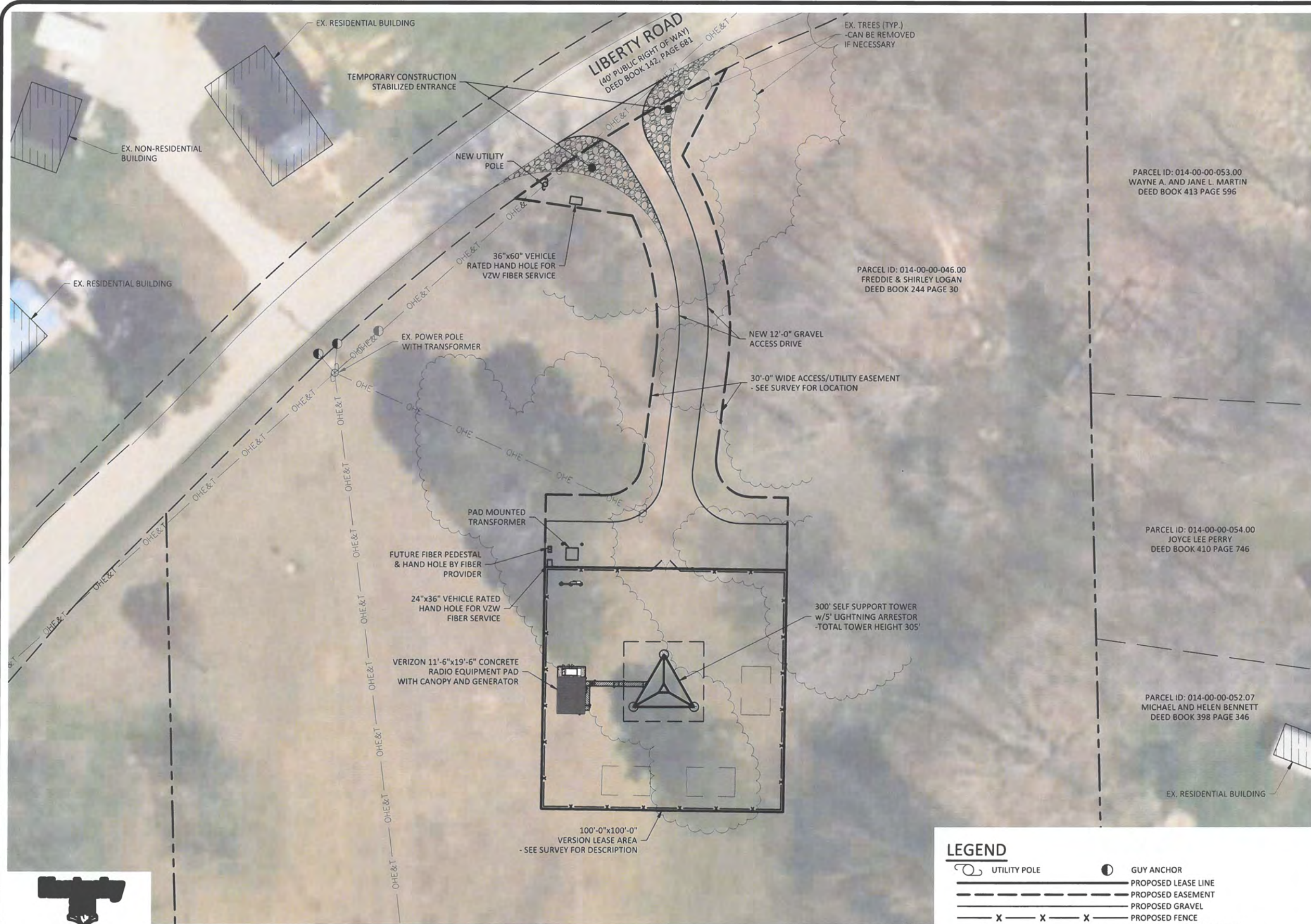
**LV WILTON LAKE**  
LIBERTY ROAD  
CORBIN, KY 40701  
KNOX COUNTY

POD NUMBER: 21-83974  
DRAWN BY: POD  
CHECKED BY: MEP  
DATE: 04.22.22

SHEET TITLE:

**TOWER ELEVATION**

SHEET NUMBER:  
**TE-1**



**POD**  
POWER OF DESIGN  
11490 BLUEGRASS PARKWAY  
LOUISVILLE, KY 40299  
502-437-5252

CELLCO PARTNERSHIP  
D/B/A  
**verizon**

05/16/2022  
STATE OF KENTUCKY  
MARK E. PATTERSON  
16,300  
PROFESSIONAL ENGINEER  
EN PERMIT: 3594

**ZONING DRAWINGS**

REV.	DATE	DESCRIPTION
A	4.22.22	ISSUED FOR REVIEW
0	5.16.22	ISSUED AS FINAL

SITE INFORMATION:  
**LV WILTON LAKE**  
LIBERTY ROAD  
CORBIN, KY 40701  
KNOX COUNTY

POD NUMBER: 21-83974  
DRAWN BY: POD  
CHECKED BY: MEP  
DATE: 04.22.22

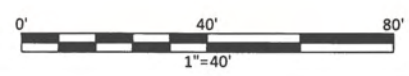
SHEET TITLE:  
**OVERALL SITE PLAN W/AERIAL OVERLAY**

SHEET NUMBER:  
**C-1**

**LEGEND**

	UTILITY POLE		GUY ANCHOR
	PROPOSED LEASE LINE		PROPOSED EASEMENT
	PROPOSED GRAVEL		PROPOSED FENCE
	EXISTING OVERHEAD ELECTRIC		EXISTING OVERHEAD ELECTRIC & TELEPHONE
	EXISTING PAVEMENT		PROPERTY LINE
	ADJACENT PROPERTY LINE		

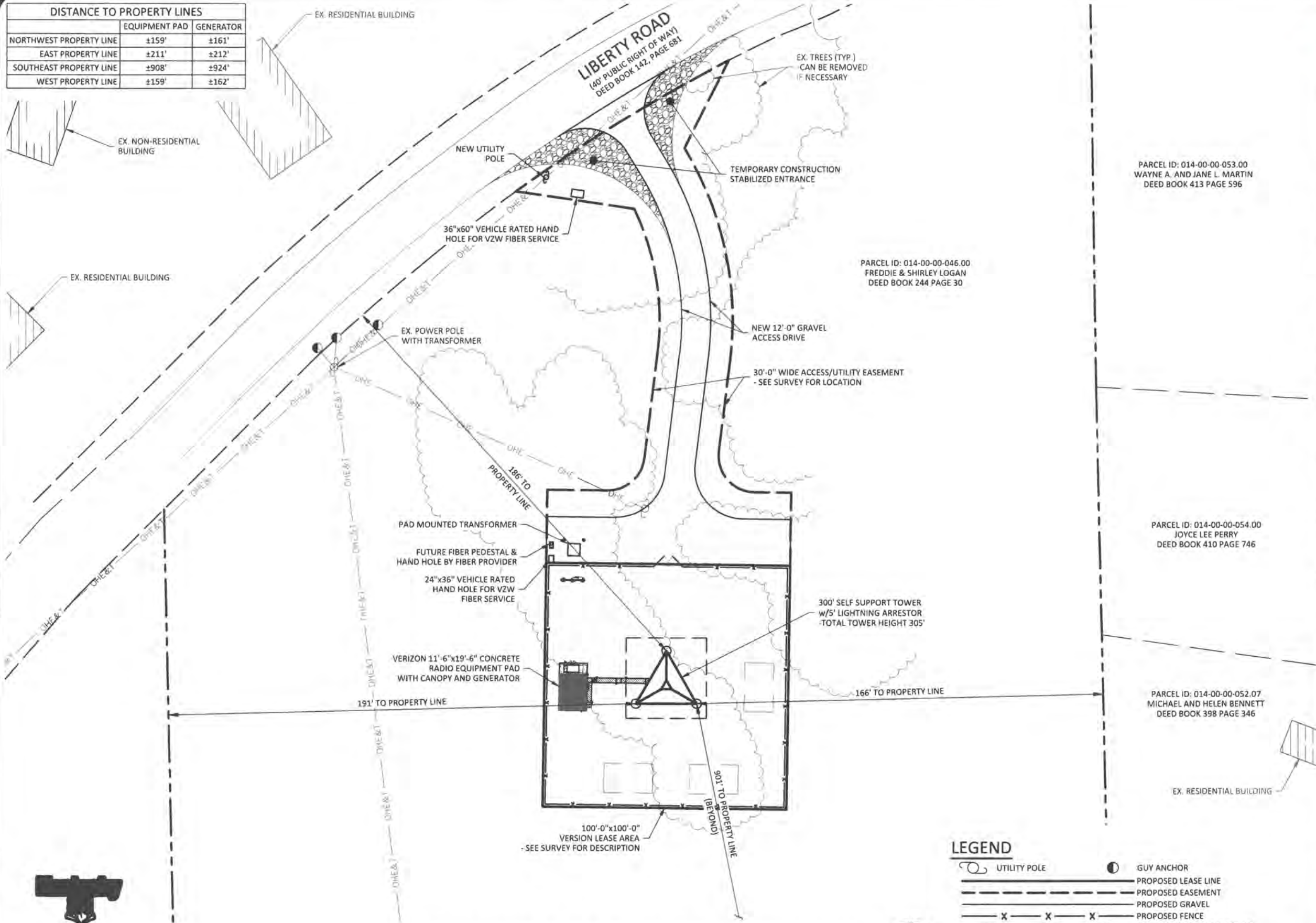
**Know what's below.**  
Call before you dig.  
Call Monday thru Friday - 7 am. to 6 pm.  
**1-800-752-6007**  
PER KENTUCKY STATE LAW, IT IS AGAINST THE LAW TO EXCAVATE WITHOUT NOTIFYING THE UNDERGROUND LOCATION SERVICE TWO (2) WORKING DAYS BEFORE COMMENCING WORK.



**OVERALL SITE PLAN W/AERIAL OVERLAY**  
SCALE: 1" = 40'



DISTANCE TO PROPERTY LINES		
	EQUIPMENT PAD	GENERATOR
NORTHWEST PROPERTY LINE	±159'	±161'
EAST PROPERTY LINE	±211'	±212'
SOUTHEAST PROPERTY LINE	±908'	±924'
WEST PROPERTY LINE	±159'	±162'



PARCEL ID: 014-00-00-053.00  
WAYNE A. AND JANE L. MARTIN  
DEED BOOK 413 PAGE 596

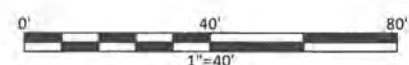
PARCEL ID: 014-00-00-046.00  
FREDDIE & SHIRLEY LOGAN  
DEED BOOK 244 PAGE 30

PARCEL ID: 014-00-00-054.00  
JOYCE LEE PERRY  
DEED BOOK 410 PAGE 746

PARCEL ID: 014-00-00-052.07  
MICHAEL AND HELEN BENNETT  
DEED BOOK 398 PAGE 346

**LEGEND**

	UTILITY POLE		GUY ANCHOR
	PROPOSED LEASE LINE		PROPOSED EASEMENT
	PROPOSED GRAVEL		PROPOSED FENCE
	EXISTING OVERHEAD ELECTRIC		EXISTING OVERHEAD ELECTRIC & TELEPHONE
	EXISTING PAVEMENT		PROPERTY LINE
	ADJACENT PROPERTY LINE		



**OVERALL SITE PLAN W/DISTANCE TO PROPERTY LINES**  
SCALE: 1" = 40'



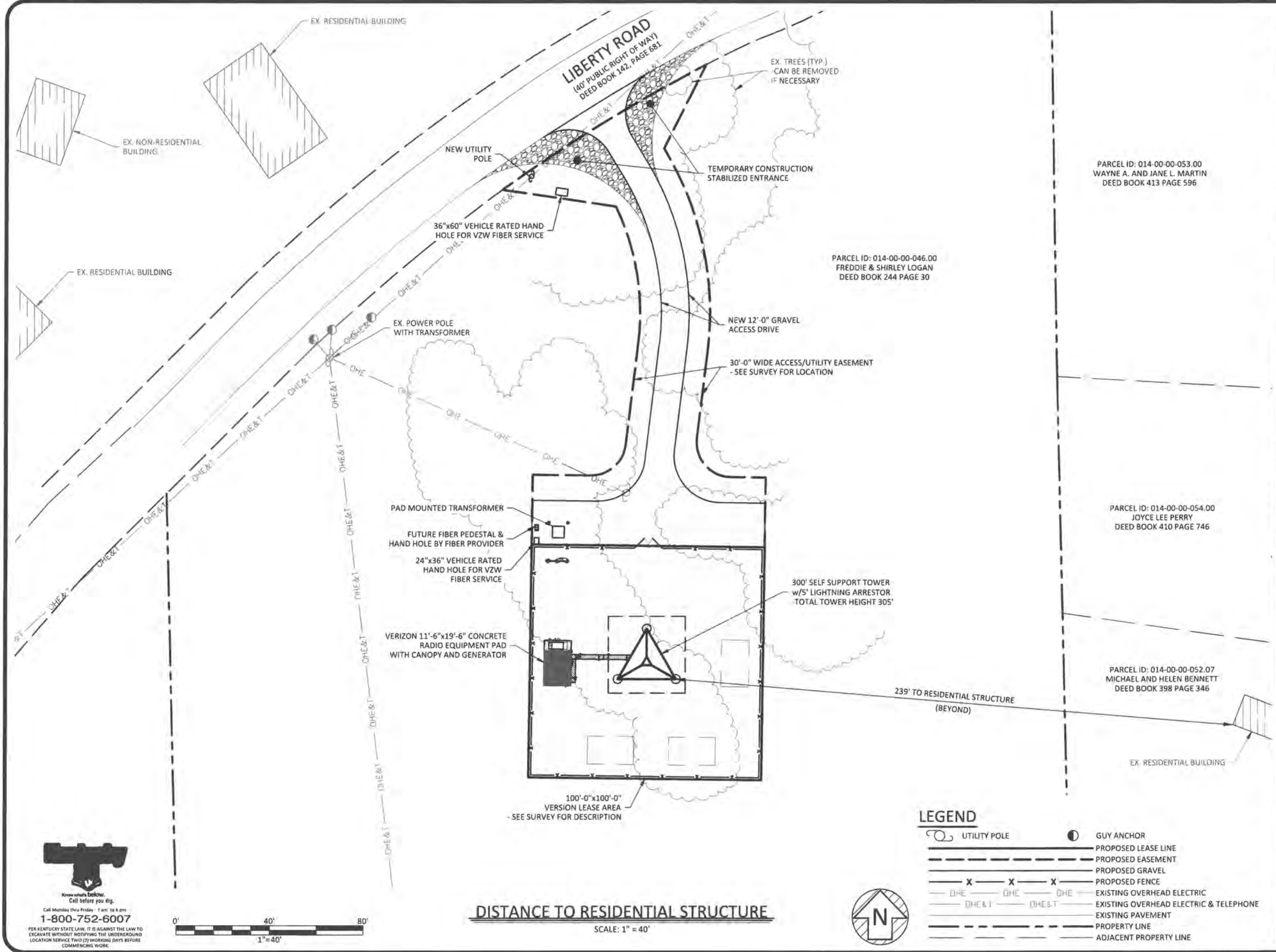
**ZONING DRAWINGS**

REV.	DATE	DESCRIPTION
A	4.22.22	ISSUED FOR REVIEW
D	5.16.22	ISSUED AS FINAL

SITE INFORMATION:  
**LV WILTON LAKE**  
LIBERTY ROAD  
CORBIN, KY 40701  
KNOX COUNTY

POD NUMBER: 21-83974  
DRAWN BY: POD  
CHECKED BY: MEP  
DATE: 04.22.22

SHEET TITLE:  
**OVERALL SITE PLAN  
W/DISTANCE TO  
PROPERTY LINES**  
SHEET NUMBER:  
**C-1A**



CELLCO PARTNERSHIP  
D/B/A



05/16/2022



EN PERMIT: 3594

**ZONING DRAWINGS**

REV.	DATE	DESCRIPTION
A	4.22.22	ISSUED FOR REVIEW
0	5.16.22	ISSUED AS FINAL

SITE INFORMATION:

**LV WILTON LAKE**  
LIBERTY ROAD  
CORBIN, KY 40701  
KNOX COUNTY

POD NUMBER: 21-83974  
DRAWN BY: POD  
CHECKED BY: MEP  
DATE: 04.22.22

SHEET TITLE:

**DISTANCE TO RESIDENTIAL STRUCTURE**

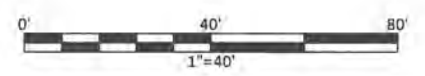
SHEET NUMBER:  
**C-1B**

**LEGEND**

- UTILITY POLE
- PROPOSED LEASE LINE
- PROPOSED EASEMENT
- PROPOSED GRAVEL
- PROPOSED FENCE
- EXISTING OVERHEAD ELECTRIC
- EXISTING OVERHEAD ELECTRIC & TELEPHONE
- EXISTING PAVEMENT
- PROPERTY LINE
- ADJACENT PROPERTY LINE
- GUY ANCHOR



Know what's below.  
Call before you dig.  
1-800-752-6007  
PER KENTUCKY STATE LAW, IT IS AGAINST THE LAW TO EXCAVATE WITHOUT NOTIFYING THE UNDERGROUND LOCATION SERVICE TWO (2) WORKING DAYS BEFORE COMMENCING WORK.



**DISTANCE TO RESIDENTIAL STRUCTURE**  
SCALE: 1" = 40'





CELLCO PARTNERSHIP  
D/B/A



05/16/2022



EN PERMIT: 3594

ZONING DRAWINGS

REV.	DATE	DESCRIPTION
A	4.22.22	ISSUED FOR REVIEW
0	5.16.22	ISSUED AS FINAL

SITE INFORMATION:

LV WILTON LAKE

LIBERTY ROAD  
CORBIN, KY 40701  
KNOX COUNTY

POD NUMBER: 21-83974

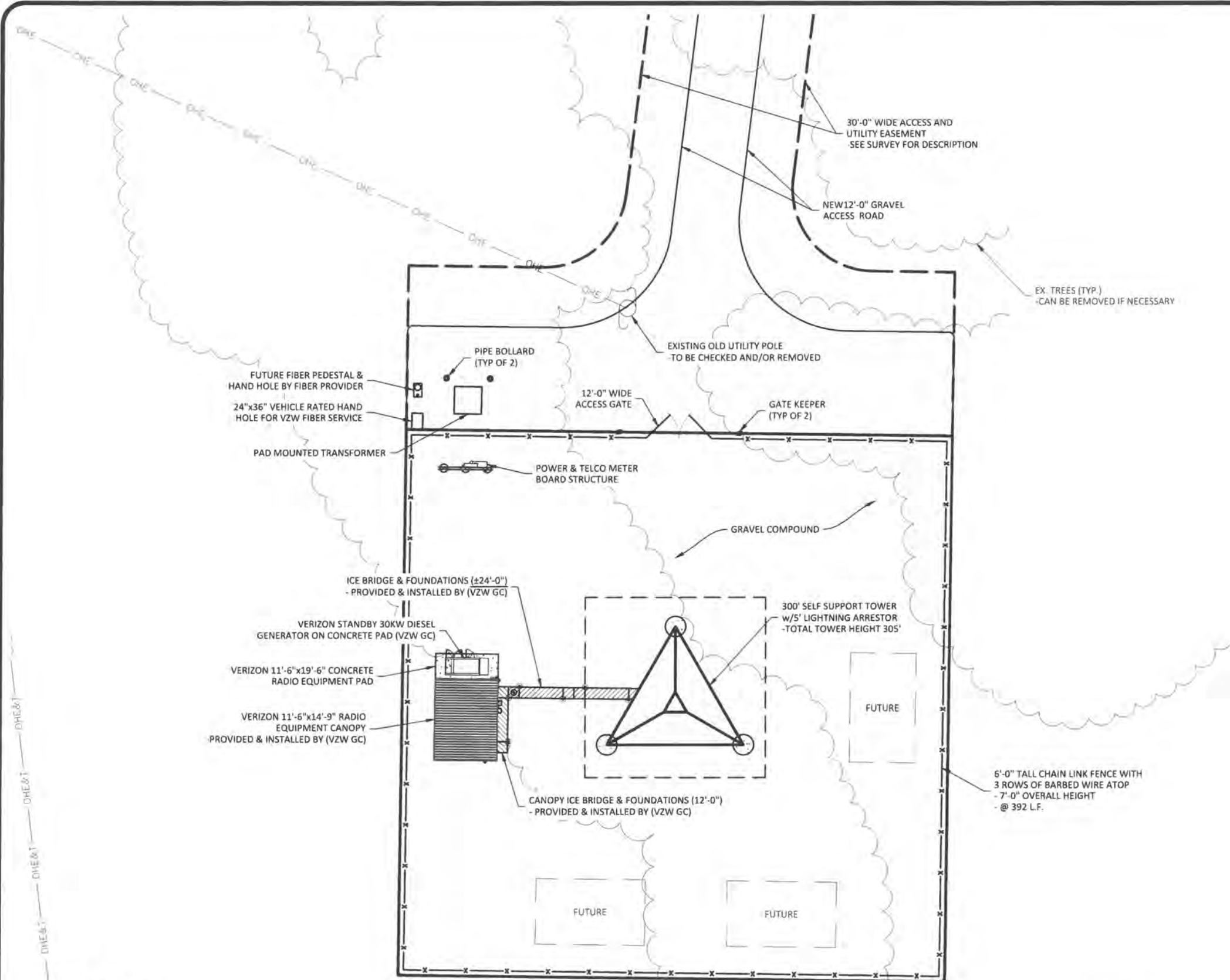
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CHECKED BY: MEP  
DATE: 04.22.22

SHEET TITLE:

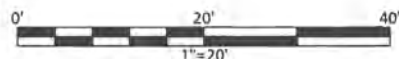
DETAILED SITE PLAN

SHEET NUMBER:

C-3



\*NOTE:  
GENERAL CONTRACTOR IS TO ENSURE  
THERE IS NO DISTURBANCE OF PROPERTY,  
SOIL, ETC. OUTSIDE OF THE STAKED LEASE  
AREA WITHOUT APPROVAL FROM  
VERIZON CONSTRUCTION MANAGER



DETAILED SITE PLAN

SCALE: 1" = 20'

LEGEND

- UTILITY POLE
- PROPOSED LEASE LINE
- PROPOSED EASEMENT
- PROPOSED GRAVEL
- PROPOSED FENCE
- EXISTING OVERHEAD ELECTRIC



Know what's Below.  
Call before you dig.

Call Monday thru Friday 7 am. to 6 pm.  
1-800-752-6007

PER KENTUCKY STATE LAW, IT IS AGAINST THE LAW TO  
EXCAVATE WITHOUT NOTIFYING THE UNDERGROUND  
LOCATION SERVICE TWO (2) WORKING DAYS BEFORE  
COMMENCING WORK.





CELLCO PARTNERSHIP  
D/B/A



05/16/2022



EN PERMIT: 3594

**ZONING DRAWINGS**

REV	DATE	DESCRIPTION
A	4.22.22	ISSUED FOR REVIEW
0	5.16.22	ISSUED AS FINAL

SITE INFORMATION:

**LV WILTON LAKE**

LIBERTY ROAD  
CORBIN, KY 40701  
KNOX COUNTY

POD NUMBER: 21-83974

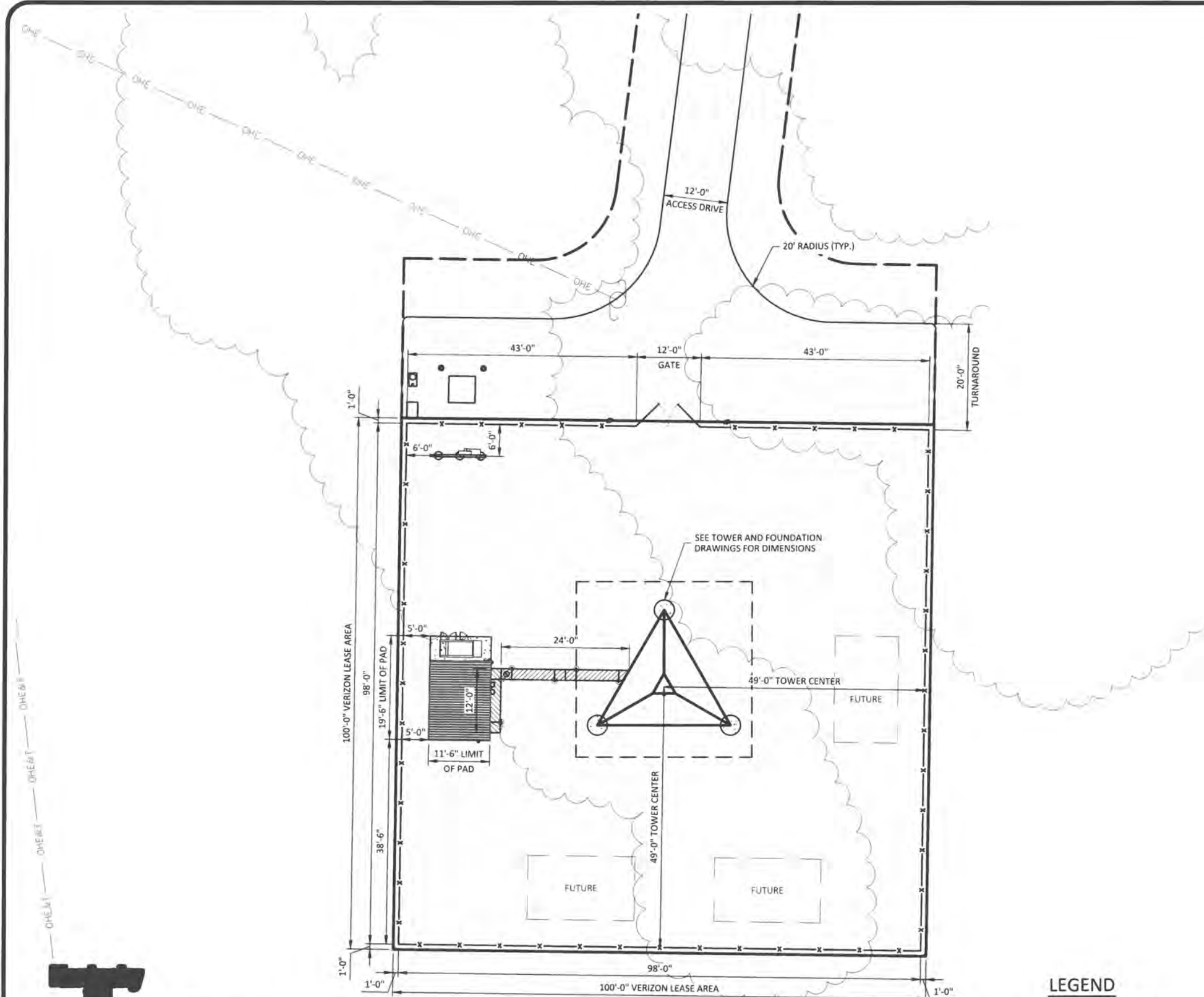
DRAWN BY: POD  
CHECKED BY: MEP  
DATE: 04.22.22

SHEET TITLE:

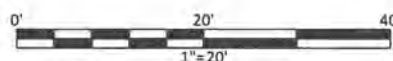
**DIMENSIONED SITE PLAN**

SHEET NUMBER:

**C-4**



\*NOTE:  
GENERAL CONTRACTOR IS TO ENSURE THERE IS NO DISTURBANCE OF PROPERTY, SOIL, ETC. OUTSIDE OF THE STAKED LEASE AREA WITHOUT APPROVAL FROM VERIZON CONSTRUCTION MANAGER



**DIMENSIONED SITE PLAN**

SCALE: 1" = 20'

**LEGEND**

- UTILITY POLE
- PROPOSED LEASE LINE
- PROPOSED EASEMENT
- PROPOSED GRAVEL
- PROPOSED FENCE
- EXISTING OVERHEAD ELECTRIC





March 21, 2022

POD Project #: 22-122081

## CELLCO PARTNERSHIP d/b/a VERIZON WIRELESS

### 1A Letter

Site Name: **LV Wilton Lake**  
Site Number:  
Site Address: **Liberty Road**  
**Corbin, KY 40701**  
County: **Knox**  
USGS Quad Map: **Corbin, KY**

Site Coordinates: **NAD 83**

**Latitude:** 36° 53' 16.145918" (36.887818°)  
**Longitude:** -84° 02' 55.850567" (-84.048847°)

Site Elevation (NAVD88):

**Existing Ground Elevation: 1144.0'± AMSL**


The horizontal coordinates are per the North American Datum of 1983 (2011) Kentucky State Plane Single Zone. Coordinates are shown as degrees, minutes and seconds which were derived from KDOT VRS RTK Network.

The vertical elevations are per the North American Vertical Datum of 1988, which were derived from KDOT VRS RTK Network.

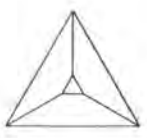
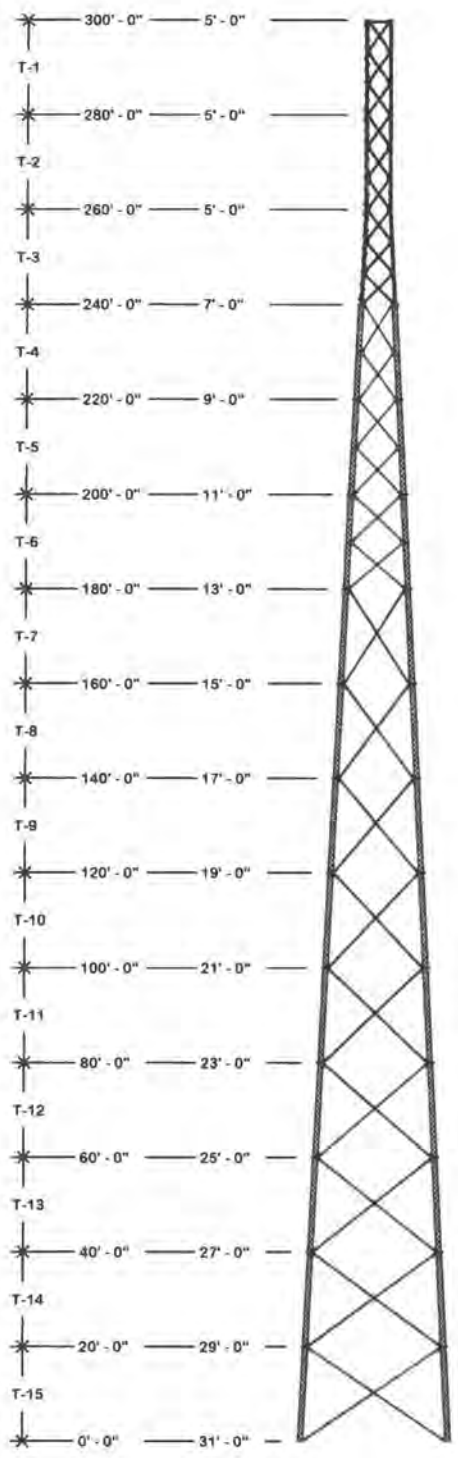
I hereby certify that the horizontal and vertical locations are accurate to within 1A reporting requirements (20'± horizontally and 3'± feet vertically). The type of GPS survey utilized was network adjusted real time kinematic (KDOT VRS RTK Network) with the orthometric height computed using GEOID18.

The above-mentioned coordinates were established using "Spectra Precision EPOCH 50 dual frequency receivers" and are tied to the National Geodetic Reference System established by the National Geodetic Survey.

Consultant

  
Mark E. Patterson, PLS  
Power of Design Group, LLC  
11490 Bluegrass Parkway  
Louisville, KY 40299





SEE PAGE 2 FOR APPURTENANCES

**TOWER DESIGN CRITERIA**

Design Standard: TIA-222-H\*  
 Design Wind Speeds: 105 mph (3-second gust) basic wind speed per ASCE 7-16  
 30 mph (1.50" ice)  
 Service Wind Speed: 60 mph (deflection only)  
 Risk Category: II  
 Exposure Category: C  
 Topographic Category: 1  
 Crest Height: 0 ft.  
 Site Elevation: 1141.91 (NAVD 88)  
 TOWER CONFORMS TO BOTH TIA-222-G AND TIA-222-H

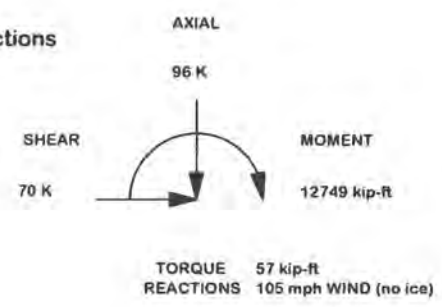
**MATERIAL STRENGTHS**

Solid Rod A36 (rod dia. <3/4")  
 A572 Gr.50 (3/4" thru 1" dia.)  
 A572 Gr.58 (>1" dia.)  
 Pipe A500 Gr. B (antenna pipes)  
 A572 Gr. B/C (tower legs min. Fy 50 ksi)  
 Angle A572 Gr.50  
 Plate A572 Gr.50  
 Bolts A-325 STANDARD leg & angle  
 Anchor Bolt F1554 Grade 105 or A687

Finish: Tower & Hardware are hot dip galvanized

- ALL STRUCTURAL HARDWARE IS GALVANIZED IN ACCORDANCE WITH ASTM A-153 (HDG). TOWER SECTIONS & ASSOCIATED STRUCTURAL COMPONENTS ARE GALVANIZED IN ACCORDANCE WITH ASTM A-123 (HDG).
- ALL BOLTS & NUTS MUST BE IN PLACE BEFORE ADJOINING SECTION(S) ARE INSTALLED.
- ALL STRUCTURAL BOLTS ARE TO BE TIGHTENED TO A SNUG TIGHT CONDITION AS DEFINED BY AISC & RCSC SPECIFICATION FOR STRUCTURAL JOINTS UNLESS NOTED OTHERWISE.
- ALL WELDING TO CONFORM TO AWS D1.1 SPECIFICATION. 5/16" MINIMUM WELD SIZE UNLESS NOTED OTHERWISE.
- MATERIAL LABELED AS ASTM A-572 GR. 58 OR 58 KSI YIELD STRENGTH ALSO CONFORMS TO ASTM A-572 GR. 50.
- ANALYSIS PERFORMED USING STEEL GRADES LISTED UNDER MATERIALS STRENGTHS SHOWN ON THIS PAGE.
- THIS DRAWING DOES NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND HE SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, SEQUENCES AND PROCEDURES.
- (VIBRATION DISCLAIMER) ALTHOUGH RARE, VIBRATIONS SEVERE ENOUGH TO CAUSE DAMAGE CAN OCCASIONALLY OCCUR IN STRUCTURES OF ALL TYPES, BECAUSE THEY ARE INFLUENCED BY MANY INTERACTING VARIABLES. VIBRATIONS ARE GENERALLY UNPREDICTABLE. THE USER'S MAINTENANCE PROGRAM SHOULD INCLUDE OBSERVATION FOR EXCESSIVE VIBRATION AND EXAMINATION FOR ANY STRUCTURAL DAMAGE OR BOLT LOOSENING. THE VALMONT WARRANTY SPECIFICALLY EXCLUDES FATIGUE FAILURE OR SIMILAR PHENOMENA RESULTING FROM INDUCED VIBRATION, HARMONIC OSCILLATION OR RESONANCE ASSOCIATED WITH MOVEMENT OF AIR CURRENTS AROUND THE PRODUCT.

**Maximum Base Reactions**



MAX. LEG REACTIONS:  
 DOWN: 503 K  
 UPLIFT: -436 K  
 SHEAR: 47 K

\*Factored Reactions provided per ANSI/TIA-222 Design Criteria & Load Combinations

TOWER COLUMN										
SECTION	ELEVATION	FACE WIDTH	PANELS	LEG SIZE	LEG STYLE	LEG BOLT QTY & DIA	DIAGONAL BRACING SIZE	HORIZONTAL BRACING SIZE	BRACING BOLT QTY & DIA	SECTION WEIGHT
T1	280' - 300'	5.0'	3	4.00"	V	6 x 3/4"	3/16" x 2" x 2"	1/4" x 3" x 3"	1 x 3/4"	1328.84
T2	260' - 280'	5.0'	3	5.00"	V	8 x 3/4"	5/16" x 3" x 3"		1 x 3/4"	2071.54
T3	240' - 260'	7.0'	3	6.00"	V	6 x 1"	3/16" x 2" x 2"		1 x 3/4"	2059.76
T4	220' - 240'	9.0'	2	1.75"	12BDFH	6 x 1 1/4"	3/16" x 2-1/2" x 2-1/2"		1 x 1"	2765.97
T5	200' - 220'	11.0'	2	1.75"	12BDFH	6 x 1 1/4"	3/16" x 2-1/2" x 2-1/2"		1 x 1"	2834.73
T6	180' - 200'	13.0'	2	1.75"	12BDFH	6 x 1 1/4"	1/4" x 2-1/2" x 2-1/2"		1 x 1"	3061.83
T7	160' - 180'	15.0'	1	2.00"	12BDH2	12 x 1"	3/16" x 3" x 3"		1 x 7/8"	3933.39
T8	140' - 160'	17.0'	1	2.00"	12BDH2	12 x 1"	3/16" x 3" x 3"		1 x 7/8"	4049.31
T9	120' - 140'	19.0'	1	2.25"	12BDH2	12 x 1"	3/16" x 3" x 3"		1 x 7/8"	4627.86
T10	100' - 120'	21.0'	1	2.25"	12BDH2	12 x 1"	3/16" x 3" x 3"		1 x 7/8"	4690.02
T11	80' - 100'	23.0'	1	2.25"	12BDH2	12 x 1"	3/16" x 3" x 3"		1 x 7/8"	4757.49
T12	60' - 80'	25.0'	1	2.25"	12BDH2	12 x 1"	3/16" x 3" x 3"		1 x 7/8"	4826.73
T13	40' - 60'	27.0'	1	2.50"	12BDH2	12 x 1 1/4"	1/4" x 3-1/2" x 3-1/2"		1 x 7/8"	6460.62
T14	20' - 40'	29.0'	1	2.50"	12BDH2	12 x 1 1/4"	1/4" x 3-1/2" x 3-1/2"		1 x 7/8"	6691.83
T15	0' - 20'	31.0'	1	2.50"	12BDH2	4 x 1 3/4"	1/4" x 3-1/2" x 3-1/2"		1 x 7/8"	6950.58


*Joseph P. Jacobs*  
 2/27/2022



Digitally signed by Joseph P Jacobs  
 Date: 2022-10-31  
 09:27-04:00

REV			DESCRIPTION OF REVISIONS			CPD	BY	DATE	SITE PIKY308-KY-WOODBINE-WILTON LAKE 1, KY PARALLEL INFRASTRUCTURE U 31 X 300'		DESCRIPTION Tower View Page 1		valmont STRUCTURES 1-877-467-4763 Plymouth, IN 1-800-547-2151 Salem, OR	
REVISION HISTORY									COPYRIGHT 2022		DRAWN BY SAN		APPROVED BY SAN	
DESIGNED BY JOSEPH			APPROVED BY JPJ			RELEASE DATE 10/31/2022			PROPRIETARY NOTE: THE DATA AND TECHNIQUES CONTAINED IN THIS DRAWING ARE PROPRIETARY INFORMATION OF VALMONT INDUSTRIES AND CONSIDERED A TRADE SECRET. ANY USE OR DISCLOSURE WITHOUT THE CONSENT OF VALMONT INDUSTRIES IS STRICTLY PROHIBITED.		ENG. FILE NO. 563550		DWG. NO. 293733T	
									PAGE 1 OF 17					

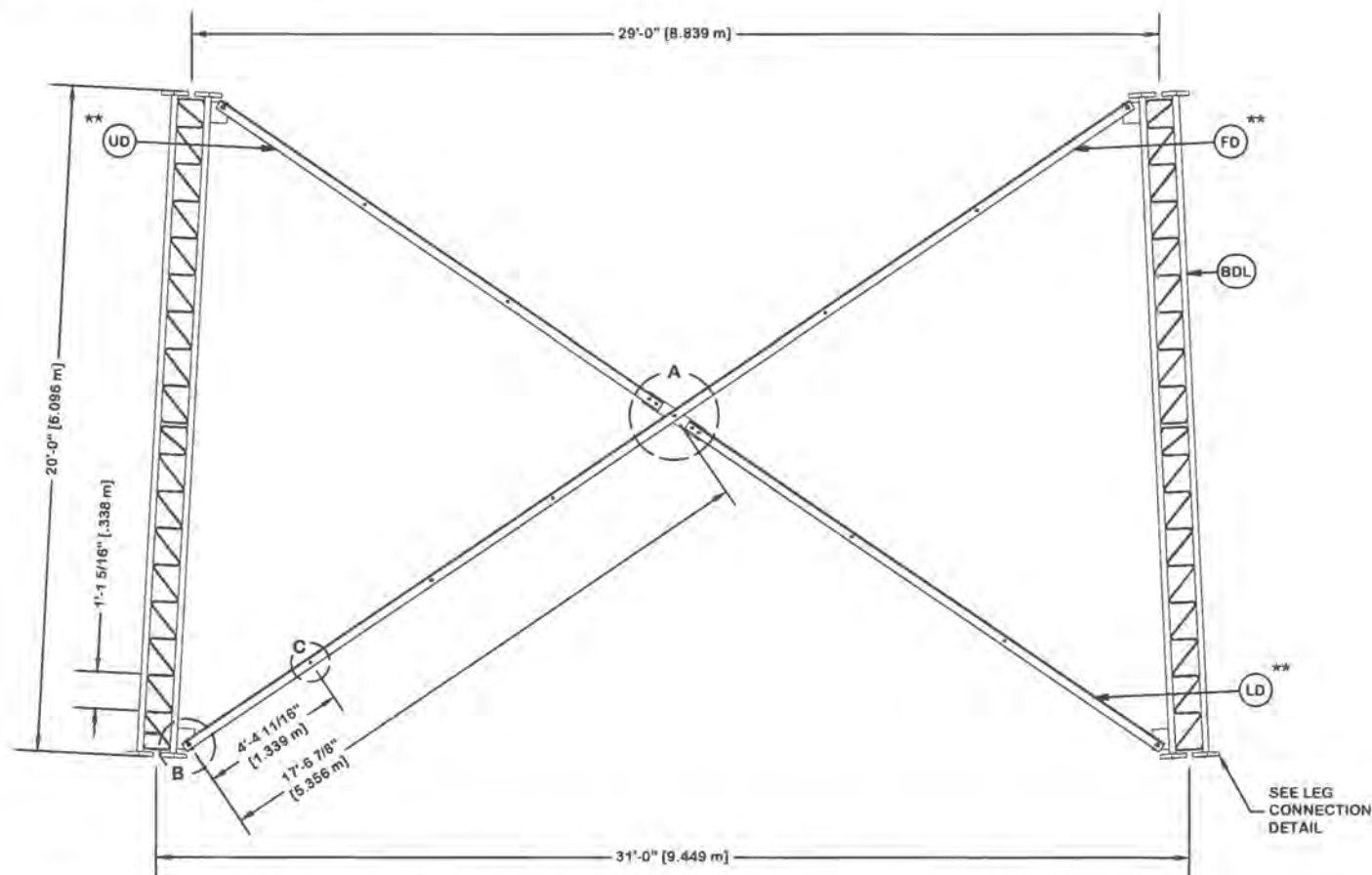
DESIGNED APPURTENANCE LOADING	
TYPE	ELEVATION
(1) 5/8" X 7'-6" LIGHTNING ROD	300.0000'
(1) BEACON	300.0000'
(1) 40,000 SQ.IN.(277.8 SQ.FT. EPA)	295.0000'
(1) 30,000 SQ.IN.(208.3 SQ.FT. EPA)	283.0000'
(1) 30,000 SQ.IN.(208.3 SQ.FT. EPA)	271.0000'
(3) OB LIGHT	150.0000'
(1) 10' HP (0 DEG AZIMUTH)	110.0000'
(1) 2.875 X .276" X 20' SCH. 40 FOR TIE BACKS	110.0000'
(1) 2.875 X 0.276" X 20' SCH. 40 FOR TIE BACKS	110.0000'
(1) SP1 R5 (INCLUDES 4.5"X72" PIPE)	110.0000'

				SITE PIKY308-KY-WOODBINE-WILTON LAKE 1, KY PARALLEL INFRASTRUCTURE U 31 X 300'  COPYRIGHT 2022		DESCRIPTION Tower View Page 2		 1-877-467-4763 Plymouth, IN 1-800-547-2151 Salem, OR	
REV	DESCRIPTION OF REVISIONS	CPD	BY	DATE					
REVISION HISTORY									
DRAWN BY SAN	APPROVED BY SAN	DESIGNED BY JOSEPH	APPROVED BY JPJ	RELEASE DATE 10/31/2022	PROPRIETARY NOTE: THE DATA AND TECHNIQUES CONTAINED IN THIS DRAWING ARE PROPRIETARY INFORMATION OF VALMONT INDUSTRIES AND CONSIDERED A TRADE SECRET. ANY USE OR DISCLOSURE WITHOUT THE CONSENT OF VALMONT INDUSTRIES IS STRICTLY PROHIBITED.		ENG. FILE NO. 563550	DWG. NO. 293733T	PAGE 2 OF 17

ORIENT LEGS WITH P/N STAMP  
TOWARD BOTTOM OF SECTION

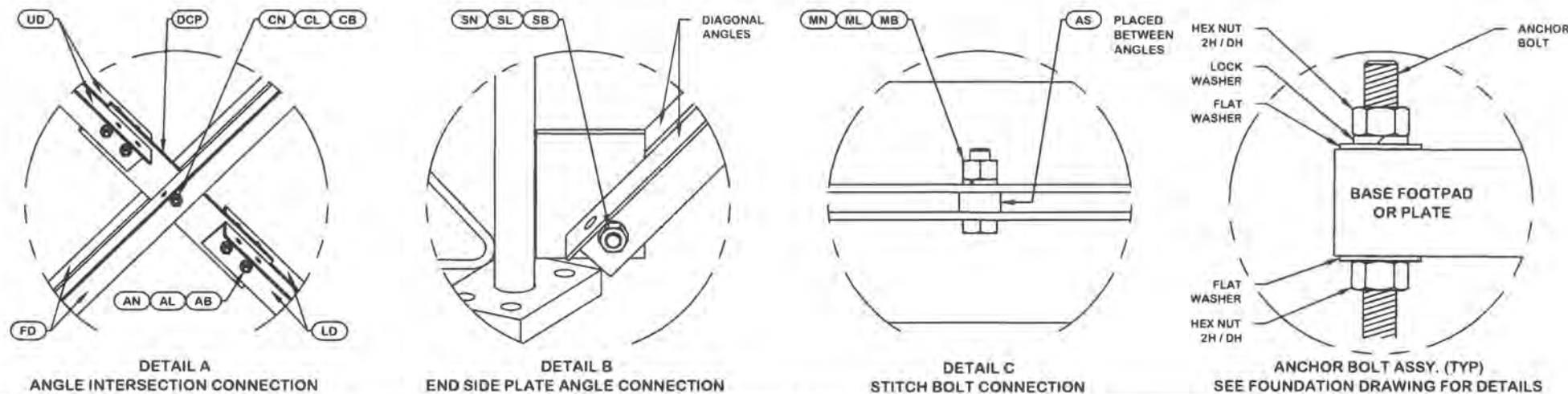
ORIENT ANGLES WITH STAMPED END TOWARD TOP OF SECTION  
\*\* DIAGONAL ANGLES MUST BE INSTALLED WITH THE NON-BOLTED FACE UP, 


\* STITCH BOLT SPACING SHOWN  
IS MAX. FOR ALL ANGLES



PARTS LIST					
ITEM	QTY	PART NO.	PART DESCRIPTION	UNIT WT.	NET WT.
BDL	3	281170	#12 BASE SECTION - 2 1/2" LEG - 1/2" BRACE W/ (1)	1462.520	4387.560
UD	6	265817	U-31 UPPER ANGLE - SINGLE BOLT FOR 20'-0" LONG TA	97.370	584.220
LD	6	265816	U-31 LOWER ANGLE - SINGLE BOLT FOR 20'-0" LONG TA	104.620	627.720
FD	6	265815	U-31 LONG ANGLE - SINGLE BOLT FOR 20'-0" LONG TAP	208.520	1251.120
ML	27	312123	5/8" GALVANIZED LOCKWASHER (53-22230)	0.020	0.540
MN	27	312501	5/8"-11 HOT DIPPED GALVANIZED NUT	0.120	3.240
AS	27	237658	RING FILL SPACER 5/8" THICK 1.049" HOLE	0.090	2.430
MB	27	161895	5/8"-11 X 2 1/4" A-325 BOLT 1 1/4" THREAD	0.260	7.020
AB/CB	15	161895	5/8"-11 X 2 1/4" A-325 BOLT 1 1/4" THREAD	0.260	3.900
AL / CL	15	312123	5/8" GALVANIZED LOCKWASHER (53-22230)	0.020	0.300
AN / CN	15	312501	5/8"-11 HOT DIPPED GALVANIZED NUT	0.120	1.800
DCP	3	211833	MID BRACE CONNECTION PLATE FOR #12 B/D LEG ANGLES	20.590	61.770
SL	12	312193	7/8" GALVANIZED LOCKWASHER	0.050	0.600
SN	12	312215	7/8"-9 HOT DIPPED GALVANIZED NUT	0.300	3.600
SB	12	172275	7/8"-9 X 2-1/2" A-325 BOLT WITH 1-1/2" THREAD	1.230	14.760
Total Wt				8950.58 lb	[3155.63 kg]

NOTE: THE VIEWS SHOWN BELOW ARE FOR PART IDENTIFICATION ONLY. THE ACTUAL PART STYLE MAY VARY FROM WHAT IS DEPICTED BELOW.  
PLEASE SEE ASSEMBLY INFORMATION IN THE UPPER LEFT CORNER FOR FURTHER INSTALLATION INSTRUCTIONS.



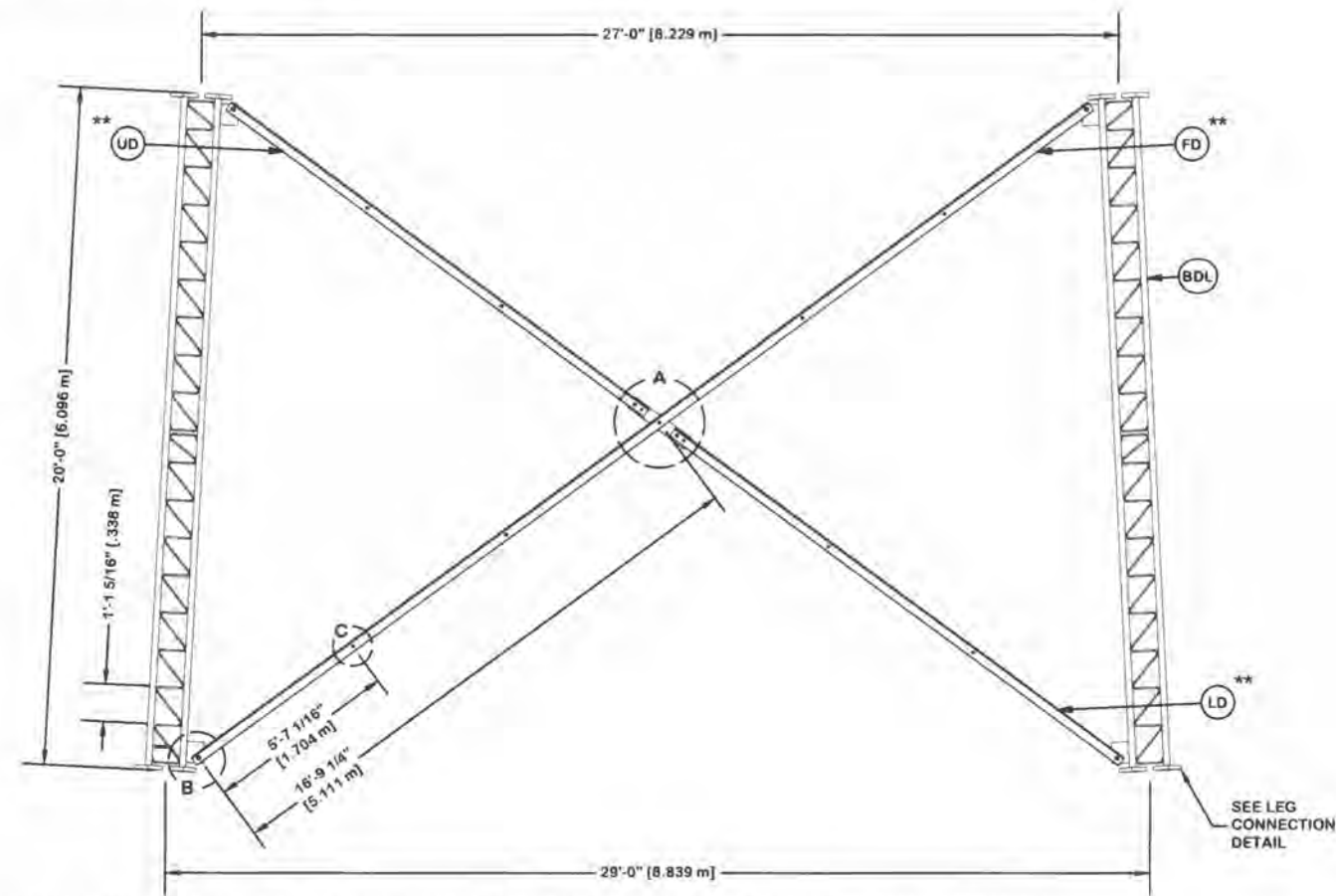
<table border="1"> <thead> <tr> <th>REV</th> <th>DESCRIPTION OF REVISIONS</th> <th>CPD</th> <th>BY</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td colspan="5" style="text-align: center;">REVISION HISTORY</td> </tr> </tbody> </table>				REV	DESCRIPTION OF REVISIONS	CPD	BY	DATE	REVISION HISTORY					SITE PIKY308-KY-WOODBINE-WILTON LAKE 1, KY PARALLEL INFRASTRUCTURE U 31 X 300'  COPYRIGHT 2022		DESCRIPTION SECTION U-31.0 (0' - 20' ELEVATION)			
REV	DESCRIPTION OF REVISIONS	CPD	BY	DATE															
REVISION HISTORY																			
DRAWN BY SAN				APPROVED BY SAN		DESIGNED BY JOSEPH		APPROVED BY JPJ		RELEASE DATE 10/31/2022		PROPRIETARY NOTE: THE DATA AND TECHNIQUES CONTAINED IN THIS DRAWING ARE PROPRIETARY INFORMATION OF VALMONT INDUSTRIES AND CONSIDERED A TRADE SECRET. ANY USE OR DISCLOSURE WITHOUT THE CONSENT OF VALMONT INDUSTRIES IS STRICTLY PROHIBITED.		ENG. FILE NO. 563550		DWG. NO. 293733T		PAGE 3 OF 17	

OREINT LEGS WITH P/N STAMP  
TOWARD BOTTOM OF SECTION

ORIENT ANGLES WITH STAMPED END TOWARD TOP OF SECTION

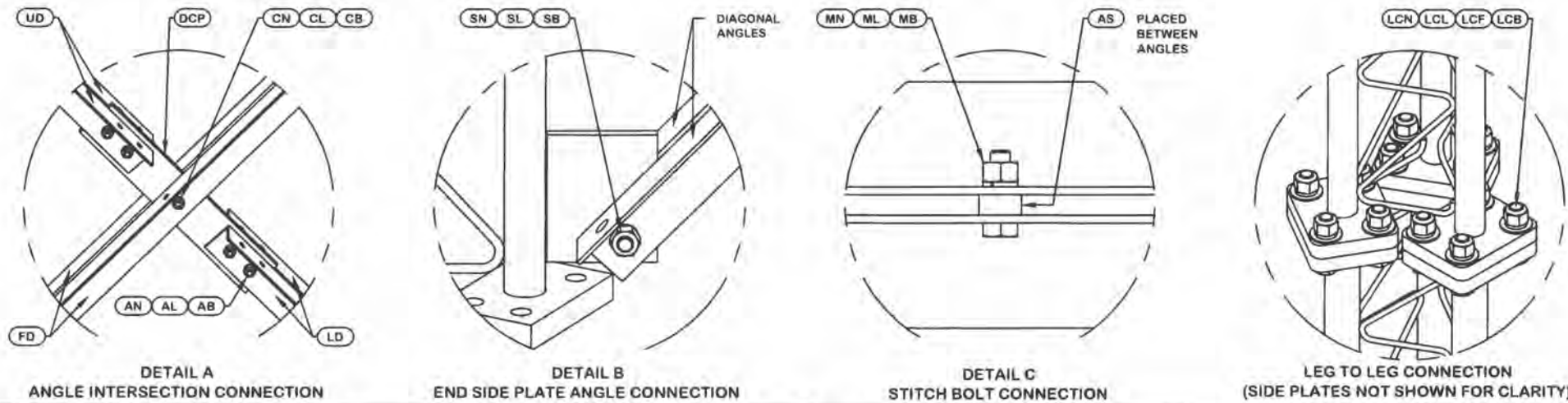
\*\* DIAGONAL ANGLES MUST BE INSTALLED WITH THE NON-BOLTED FACE UP.

\* STITCH BOLT SPACING SHOWN  
IS MAX. FOR ALL ANGLES



PARTS LIST					
ITEM	QTY	PART NO.	PART DESCRIPTION	UNIT WT	NET WT
BDL	3	195964	#12 LEG SECTION - 2-1/2" LEG - 1/2" BRACE - 7/8" B	1373.720	4121.160
UD	6	265799	U-29 UPPER ANGLE - SINGLE BOLT FOR 20'-0" LONG TA	92.490	554.940
LD	6	265798	U-29 LOWER ANGLE - SINGLE BOLT FOR 20'-0" LONG TA	99.730	598.380
FD	6	265797	U-29 LONG ANGLE - SINGLE BOLT FOR 20'-0" LONG TAP	198.570	1191.420
ML	24	312123	5/8" GALVANIZED LOCKWASHER (53-22230)	0.020	0.480
MN	24	312501	5/8"-11 HOT DIPPED GALVANIZED NUT	0.120	2.880
AS	24	237858	RING FILL SPACER 5/8" THICK 1.048" HOLE	0.090	2.160
MB	24	161895	5/8"-11 X 2 1/4" A-325 BOLT 1 1/4" THREAD	0.260	6.240
AB/CB	15	161895	5/8"-11 X 2 1/4" A-325 BOLT 1 1/4" THREAD	0.260	3.900
AL / CL	15	312123	5/8" GALVANIZED LOCKWASHER (53-22230)	0.020	0.300
AN / CN	15	312501	5/8"-11 HOT DIPPED GALVANIZED NUT	0.120	1.800
DCP	3	211833	MID BRACE CONNECTION PLATE FOR #12 B/D LEG ANGLES	20.590	61.770
SL	12	312193	7/8" GALVANIZED LOCKWASHER	0.050	0.600
SN	12	312215	7/8"-9 HOT DIPPED GALVANIZED NUT	0.300	3.600
SB	12	172275	7/8"-9 X 2-1/2" A-325 BOLT WITH 1-1/2" THREAD	1.230	14.760
LCB	36	222022	1-1/4"-7 X 5-1/2" A-325 BOLT WITH 2" THREAD	2.530	91.080
LCF	36	312282	1-1/4" GALVANIZED FLAT WASHER (F436)	0.130	4.680
LCL	36	312283	1-1/4" GALVANIZED LOCKWASHER	0.150	5.400
LCN	36	312507	1-1/4"-7 HOT DIPPED GALVANIZED NUT	0.730	26.280
Total Wt				6691.83 lb	(3038.15 kg)

NOTE: THE VIEWS SHOWN BELOW ARE FOR PART IDENTIFICATION ONLY. THE ACTUAL PART STYLE MAY VARY FROM WHAT IS DEPICTED BELOW. PLEASE SEE ASSEMBLY INFORMATION IN THE UPPER LEFT CORNER FOR FURTHER INSTALLATION INSTRUCTIONS.



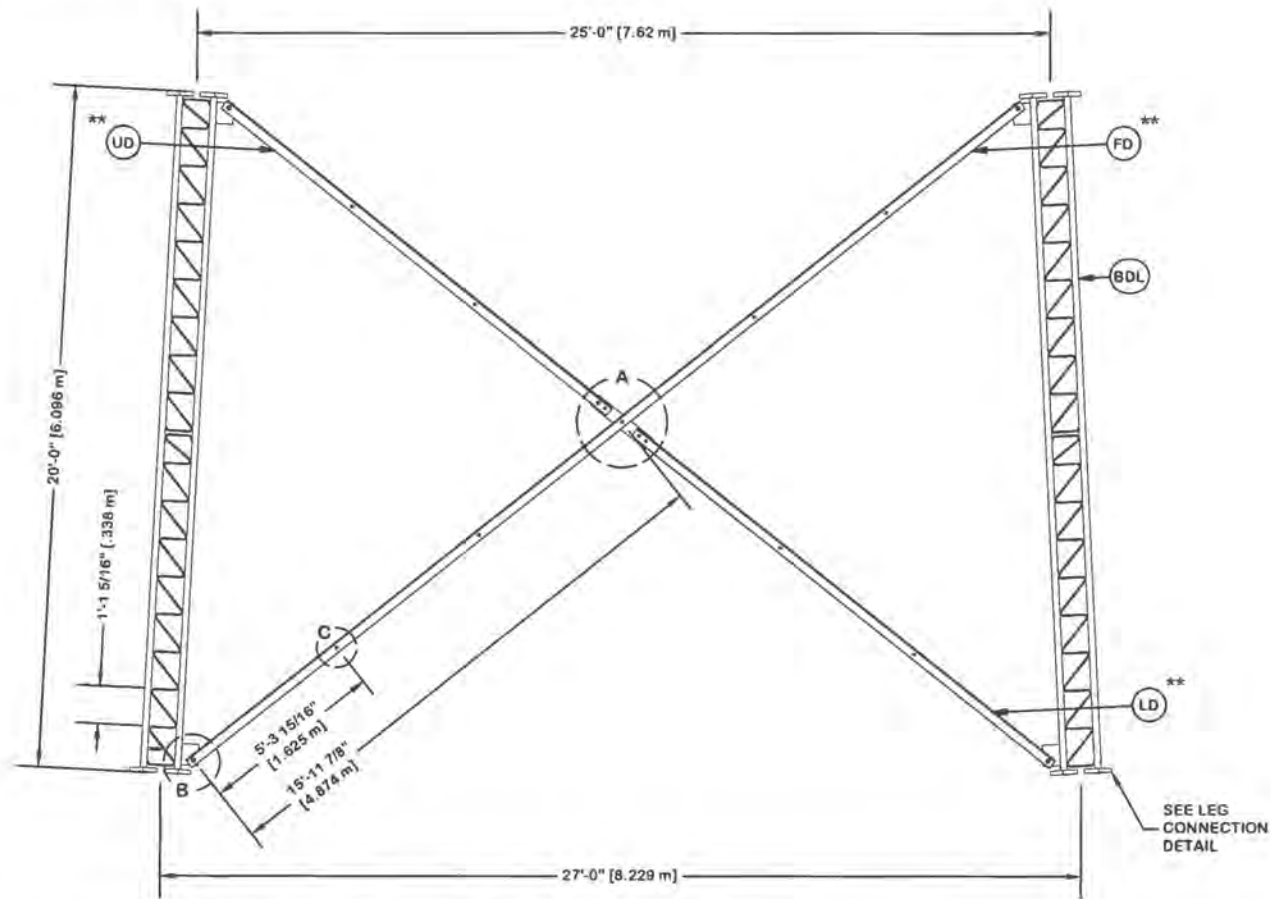
<p>REV DESCRIPTION OF REVISIONS CPD BY DATE</p> <p>REVISION HISTORY</p>				<p>SITE</p> <p>PIKY308-KY-WOODBINE-WILTON LAKE 1, KY PARALLEL INFRASTRUCTURE U 31 X 300'</p> <p>COPYRIGHT 2022</p>		<p>DESCRIPTION</p> <p>SECTION U-29.0 (20' - 40' ELEVATION)</p>		<p><b>valmont</b> </p> <p>STRUCTURES</p> <p>1-877-467-4763 Plymouth, IN 1-800-547-2151 Salem, OR</p>	
<p>DRAWN BY</p> <p>SAN</p>	<p>APPROVED BY</p> <p>SAN</p>	<p>DESIGNED BY</p> <p>JOSEPH</p>	<p>APPROVED BY</p> <p>JPJ</p>	<p>RELEASE DATE</p> <p>10/31/2022</p>	<p>PROPRIETARY NOTE THE DATA AND TECHNIQUES CONTAINED IN THIS DRAWING ARE PROPRIETARY INFORMATION OF VALMONT INDUSTRIES AND CONSIDERED A TRADE SECRET. ANY USE OR DISCLOSURE WITHOUT THE CONSENT OF VALMONT INDUSTRIES IS STRICTLY PROHIBITED.</p>		<p>ENG. FILE NO.</p> <p>563550</p>	<p>DWG. NO.</p> <p>293733T</p>	<p>PAGE</p> <p>4 OF 17</p>

OREINT LEGS WITH P/N STAMP  
TOWARD BOTTOM OF SECTION

ORIENT ANGLES WITH STAMPED END TOWARD TOP OF SECTION

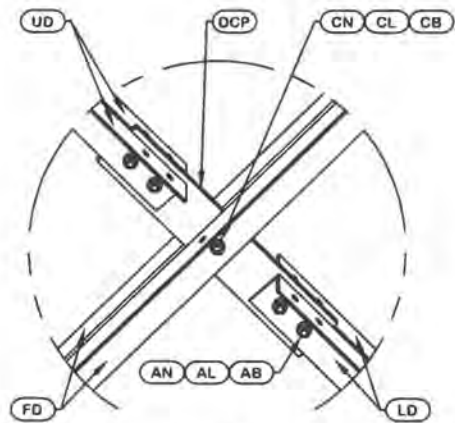
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IS MAX. FOR ALL ANGLES

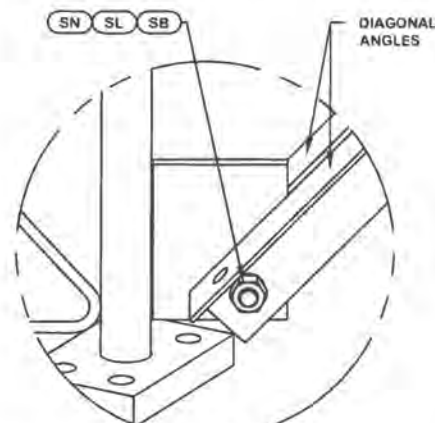


PARTS LIST					
ITEM	QTY	PART NO.	PART DESCRIPTION	UNIT WT.	NET WT.
BDL	3	195962	#12 LEG SECT - 2-1/2" TO 2" TRANS LEG - 1/2" BRACE	1335.350	4006.050
UD	6	265778	U-27 UPPER ANGLE - SINGLE BOLT FOR 20'-0" LONG TA	87.550	525.300
LD	6	265777	U-27 LOWER ANGLE - SINGLE BOLT FOR 20'-0" LONG TA	95.000	570.000
FD	6	265776	U-27 LONG ANGLE - SINGLE BOLT FOR 20'-0" LONG TAP	188.890	1133.340
ML	24	312123	5/8" GALVANIZED LOCKWASHER (53-22230)	0.020	0.480
MN	24	312501	5/8"-11 HOT DIPPED GALVANIZED NUT	0.120	2.880
AS	24	237858	RING FILL SPACER 5/8" THICK 1.049" HOLE	0.090	2.160
MB	24	161895	5/8"-11 X 2 1/4" A-325 BOLT 1 1/4" THREAD	0.260	6.240
AB/CB	15	161895	5/8"-11 X 2 1/4" A-325 BOLT 1 1/4" THREAD	0.260	3.900
AL / CL	15	312123	5/8" GALVANIZED LOCKWASHER (53-22230)	0.020	0.300
AN / CN	15	312501	5/8"-11 HOT DIPPED GALVANIZED NUT	0.120	1.800
DCP	3	211833	MID BRACE CONNECTION PLATE FOR #12 B/D LEG ANGLES	20.590	61.770
SL	12	312193	7/8" GALVANIZED LOCKWASHER	0.050	0.600
SN	12	312215	7/8"-9 HOT DIPPED GALVANIZED NUT	0.300	3.600
SB	12	172275	7/8"-9 X 2-1/2" A-325 BOLT WITH 1-1/2" THREAD	1.230	14.760
LCB	36	222022	1-1/4"-7 X 5-1/2" A-325 BOLT WITH 2" THREAD	2.530	91.080
LCF	36	312282	1-1/4" GALVANIZED FLAT WASHER (F436)	0.130	4.680
LCL	36	312283	1-1/4" GALVANIZED LOCKWASHER	0.150	5.400
LCN	36	312507	1-1/4"-7 HOT DIPPED GALVANIZED NUT	0.730	26.280
Total Wt				5460.62 lb	(2933.18 kg)

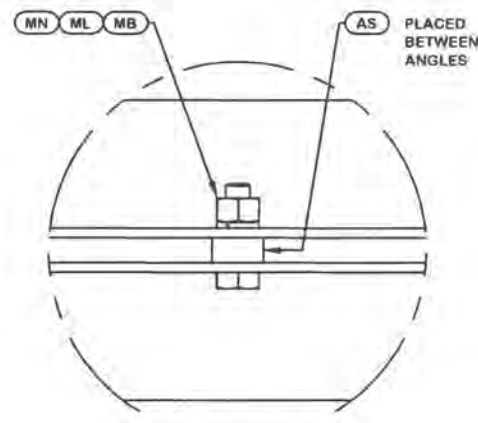
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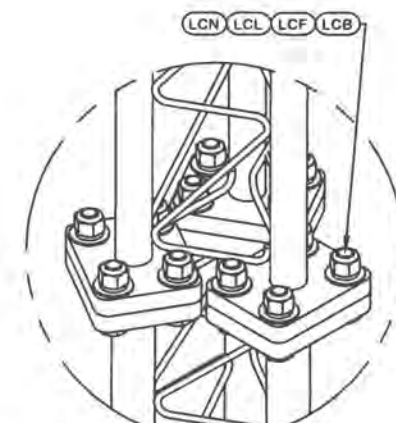
DETAIL A  
ANGLE INTERSECTION CONNECTION



DETAIL B  
END SIDE PLATE ANGLE CONNECTION



DETAIL C  
STITCH BOLT CONNECTION



LEG TO LEG CONNECTION  
(SIDE PLATES NOT SHOWN FOR CLARITY)

REV	DESCRIPTION OF REVISIONS	CPD	BY	DATE
REVISION HISTORY				
DRAWN BY	APPROVED BY	DESIGNED BY	APPROVED BY	RELEASE DATE
SAN	SAN	JOSEPH	JPJ	10/31/2022

SITE	PIKY308-KY-WOODBINE-WILTON LAKE 1, KY PARALLEL INFRASTRUCTURE U 31 X 300'
COPYRIGHT	2022
PROPRIETARY NOTE	THE DATA AND TECHNIQUES CONTAINED IN THIS DRAWING ARE PROPRIETARY INFORMATION OF VALMONT INDUSTRIES AND CONSIDERED A TRADE SECRET. ANY USE OR DISCLOSURE WITHOUT THE CONSENT OF VALMONT INDUSTRIES IS STRICTLY PROHIBITED.

DESCRIPTION	SECTION U-27.0 (40' - 60' ELEVATION)
ENG. FILE NO.	563550



1-877-467-4763 Plymouth, IN  
1-800-547-2151 Salem, OR

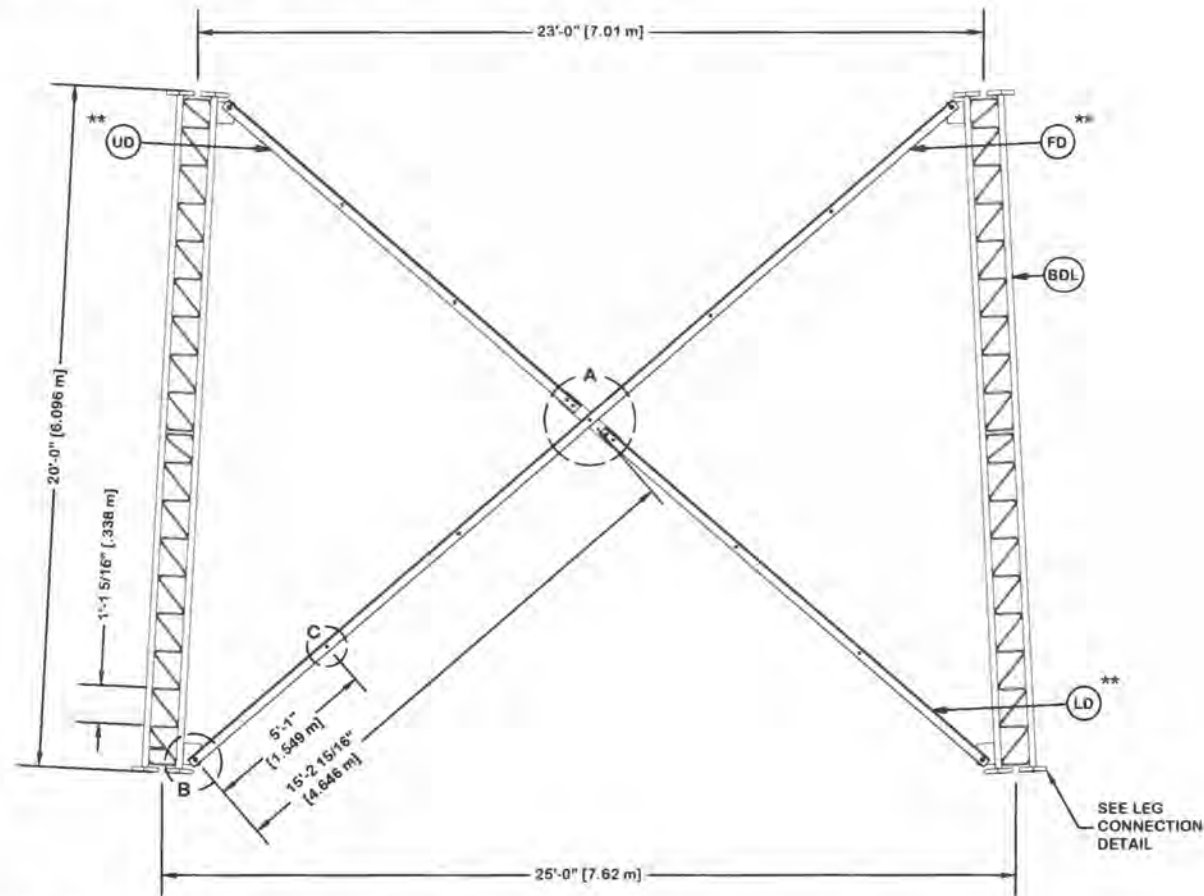
DWG. NO.	293733T	PAGE	5 OF 17
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ORIENT LEGS WITH P/N STAMP  
TOWARD BOTTOM OF SECTION

ORIENT ANGLES WITH STAMPED END TOWARD TOP OF SECTION

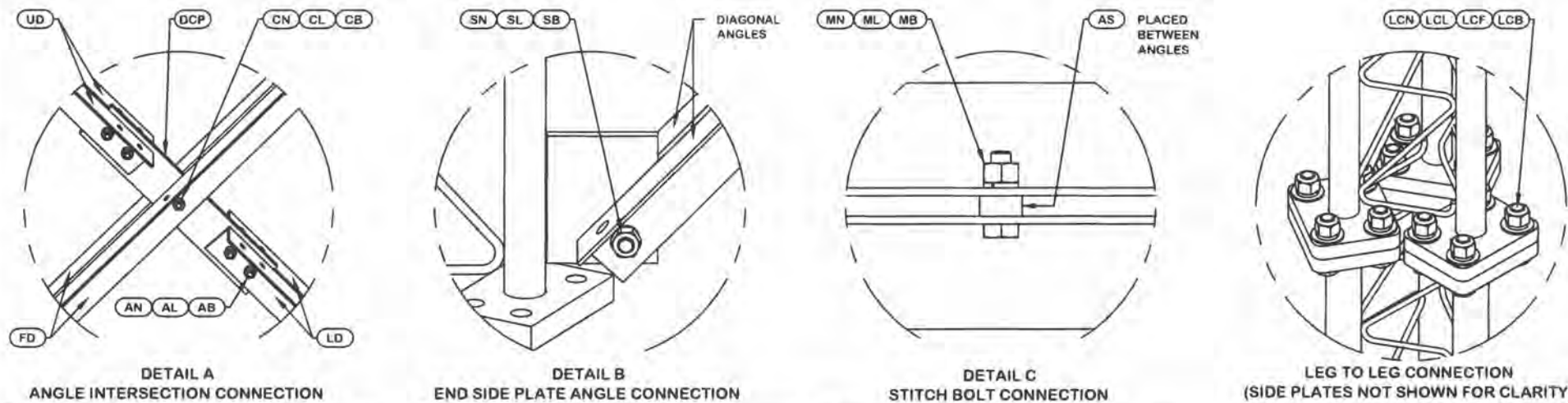
\*\* DIAGONAL ANGLES MUST BE INSTALLED WITH THE NON-BOLTED FACE UP.

\* STITCH BOLT SPACING SHOWN  
IS MAX. FOR ALL ANGLES



PARTS LIST					
ITEM	QTY	PART NO.	PART DESCRIPTION	UNIT WT.	NET WT.
BDL	3	195960	#12 LEG SECTION - 2-1/4" LEG - 1/2" BRACE - 7/8" B	1100.520	3301.560
UD	6	265757	U-25 UPPER ANGLE - SINGLE BOLT FOR 20'-0" LONG TA	52.910	317.460
LD	6	265756	U-25 LOWER ANGLE - SINGLE BOLT FOR 20'-0" LONG TA	57.860	347.160
FD	6	265755	U-25 LONG ANGLE - SINGLE BOLT FOR 20'-0" LONG TAP	114.830	688.980
ML	24	312123	5/8" GALVANIZED LOCKWASHER (53-22230)	0.020	0.480
MN	24	312501	5/8"-11 HOT DIPPED GALVANIZED NUT	0.120	2.880
AS	24	237658	RING FILL SPACER 5/8" THICK 1.049" HOLE	0.090	2.160
MB	24	161895	5/8"-11 X 2 1/4" A-325 BOLT 1 1/4" THREAD	0.260	6.240
AB/CB	15	161895	5/8"-11 X 2 1/4" A-325 BOLT 1 1/4" THREAD	0.260	3.900
AL / CL	15	312123	5/8" GALVANIZED LOCKWASHER (53-22230)	0.020	0.300
AN / CN	15	312501	5/8"-11 HOT DIPPED GALVANIZED NUT	0.120	1.800
DCP	3	211833	MID BRACE CONNECTION PLATE FOR #12 B/D LEG ANGLES	20.590	61.770
SL	12	312193	7/8" GALVANIZED LOCKWASHER	0.050	0.600
SN	12	312215	7/8"-9 HOT DIPPED GALVANIZED NUT	0.300	3.600
SB	12	172275	7/8"-9 X 2-1/2" A-325 BOLT WITH 1-1/2" THREAD	1.230	14.760
LCB	36	222016	1"-8 X 4-3/4" A-325 BOLT WITH 1-3/4" THREAD	1.380	49.680
LCF	36	312222	1" GALVANIZED FLAT WASHER (F436)	0.140	5.040
LCL	36	312223	1" GALVANIZED LOCKWASHER	0.080	2.880
LCN	36	312504	1"-8 HOT DIPPED GALVANIZED NUT	0.430	15.480
Total Wt				4826.73 lb	[2191.38 kg]

NOTE: THE VIEWS SHOWN BELOW ARE FOR PART IDENTIFICATION ONLY. THE ACTUAL PART STYLE MAY VARY FROM WHAT IS DEPICTED BELOW. PLEASE SEE ASSEMBLY INFORMATION IN THE UPPER LEFT CORNER FOR FURTHER INSTALLATION INSTRUCTIONS.



REV		DESCRIPTION OF REVISIONS			CPD	BY	DATE	SITE <b>PIKY308-KY-WOODBINE-WILTON LAKE 1, KY                  PARALLEL INFRASTRUCTURE                  U 31 X 300'</b>	DESCRIPTION <b>SECTION U-25.0 (60' - 80' ELEVATION)</b>	
REVISION HISTORY							COPYRIGHT 2022			
DRAWN BY	APPROVED BY	DESIGNED BY	APPROVED BY	RELEASE DATE	PROPRIETARY NOTE THE DATA AND TECHNIQUES CONTAINED IN THIS DRAWING ARE PROPRIETARY INFORMATION OF VALMONT INDUSTRIES AND CONSIDERED A TRADE SECRET. ANY USE OR DISCLOSURE WITHOUT THE CONSENT OF VALMONT INDUSTRIES IS STRICTLY PROHIBITED.			ENG. FILE NO. <b>563550</b>	DWG. NO. <b>293733T</b>	PAGE <b>6 OF 17</b>

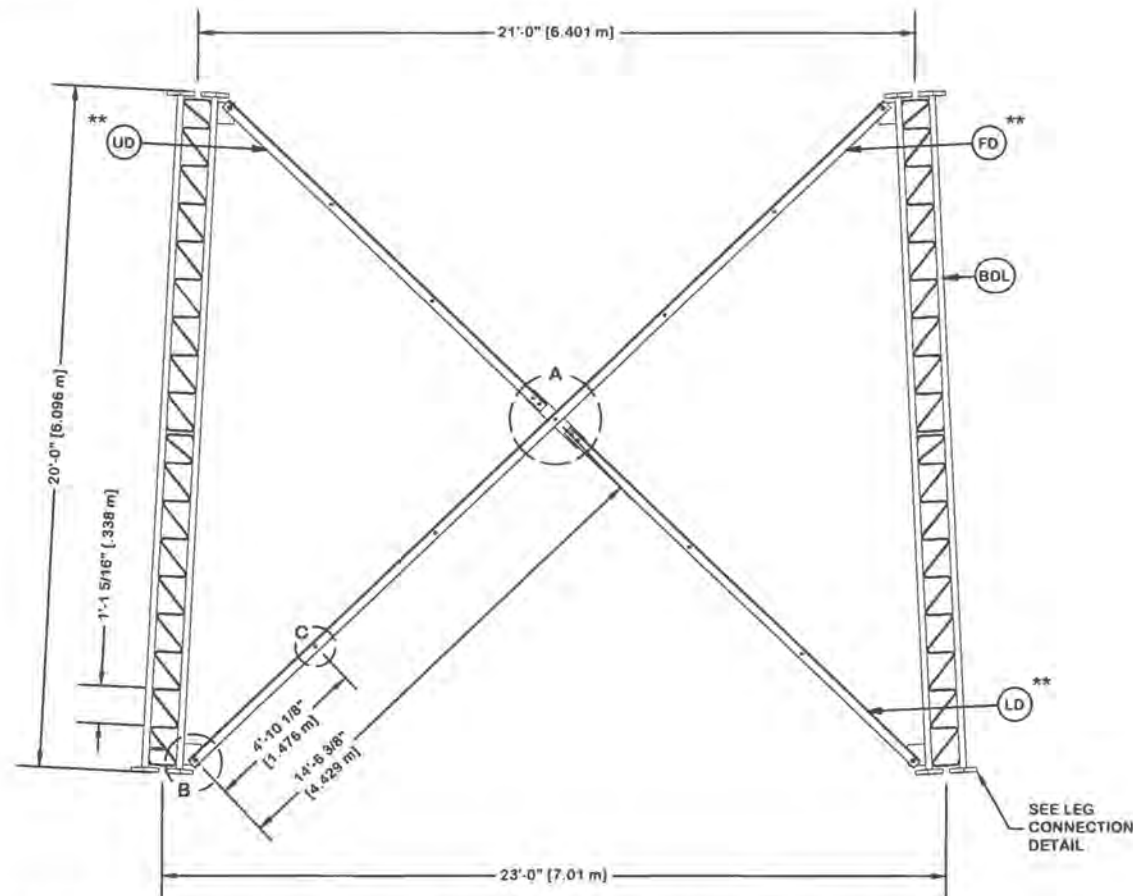


ORIENT LEGS WITH P/N STAMP  
TOWARD BOTTOM OF SECTION

ORIENT ANGLES WITH STAMPED END TOWARD TOP OF SECTION

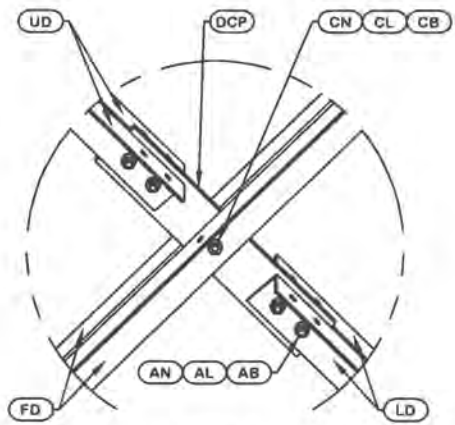
\*\* DIAGONAL ANGLES MUST BE INSTALLED WITH THE NON-BOLTED FACE UP.

\* STITCH BOLT SPACING SHOWN  
IS MAX. FOR ALL ANGLES

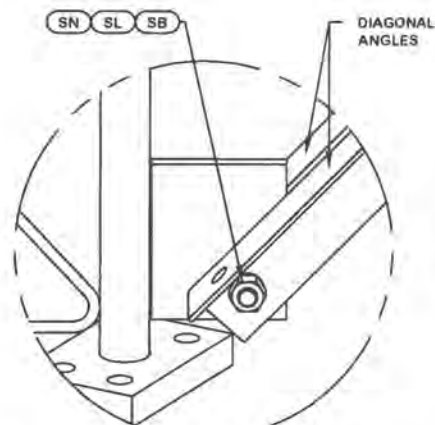


PARTS LIST					
ITEM	QTY	PART NO.	PART DESCRIPTION	UNIT WT.	NET WT.
BDL	3	195960	#12 LEG SECTION - 2-1/4" LEG - 1/2" BRACE - 7/8" B	1100.520	3301.560
UD	6	265733	U-23 UPPER ANGLE - SINGLE BOLT FOR 20'-0" LONG TA	49.920	299.520
LD	6	265732	U-23 LOWER ANGLE - SINGLE BOLT FOR 20'-0" LONG TA	55.080	330.480
FD	6	265731	U-23 LONG ANGLE - SINGLE BOLT FOR 20'-0" LONG TAP	109.060	654.360
ML	24	312123	5/8" GALVANIZED LOCKWASHER (53-22230)	0.020	0.480
MN	24	312501	5/8"-11 HOT DIPPED GALVANIZED NUT	0.120	2.880
AS	24	237658	RING FILL SPACER 5/8" THICK 1.049" HOLE	0.090	2.160
MB	24	161895	5/8"-11 X 2 1/4" A-325 BOLT 1 1/4" THREAD	0.260	6.240
AB/CB	15	161895	5/8"-11 X 2 1/4" A-325 BOLT 1 1/4" THREAD	0.260	3.900
AL / CL	15	312123	5/8" GALVANIZED LOCKWASHER (53-22230)	0.020	0.300
AN / CN	15	312501	5/8"-11 HOT DIPPED GALVANIZED NUT	0.120	1.800
DCP	3	211833	MID BRACE CONNECTION PLATE FOR #12 B/D LEG ANGLES	20.590	61.770
SL	12	312193	7/8" GALVANIZED LOCKWASHER	0.050	0.600
SN	12	312215	7/8"-9 HOT DIPPED GALVANIZED NUT	0.300	3.600
SB	12	172275	7/8"-9 X 2-1/2" A-325 BOLT WITH 1-1/2" THREAD	1.230	14.760
LCB	36	222016	1"-8 X 4-3/4" A-325 BOLT WITH 1-3/4" THREAD	1.380	49.680
LCF	36	312222	1" GALVANIZED FLAT WASHER (F436)	0.140	5.040
LCL	36	312223	1" GALVANIZED LOCKWASHER	0.080	2.880
LCN	36	312504	1"-8 HOT DIPPED GALVANIZED NUT	0.430	15.480
Total Wt				4757.49 lb	(2159.94 kg)

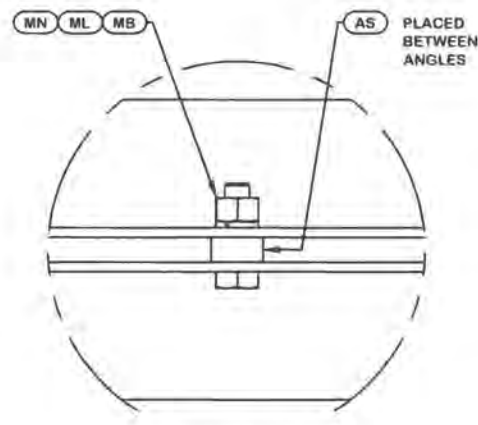
NOTE: THE VIEWS SHOWN BELOW ARE FOR PART IDENTIFICATION ONLY. THE ACTUAL PART STYLE MAY VARY FROM WHAT IS DEPICTED BELOW. PLEASE SEE ASSEMBLY INFORMATION IN THE UPPER LEFT CORNER FOR FURTHER INSTALLATION INSTRUCTIONS.



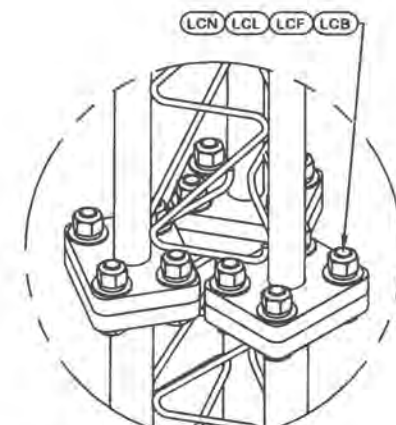
DETAIL A  
ANGLE INTERSECTION CONNECTION



DETAIL B  
END SIDE PLATE ANGLE CONNECTION



DETAIL C  
STITCH BOLT CONNECTION



LEG TO LEG CONNECTION  
(SIDE PLATES NOT SHOWN FOR CLARITY)

REV	DESCRIPTION OF REVISIONS	CPD	BY	DATE
REVISION HISTORY				
DRAWN BY	APPROVED BY	DESIGNED BY	APPROVED BY	RELEASE DATE
SAN	SAN	JOSEPH	JPJ	10/31/2022

SITE  
PIKY308-KY-WOODBINE-WILTON LAKE 1, KY  
PARALLEL INFRASTRUCTURE  
U 31 X 300'

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PROPRIETARY NOTE:  
THE DATA AND TECHNIQUES CONTAINED IN THIS DRAWING ARE PROPRIETARY INFORMATION OF VALMONT INDUSTRIES AND CONSIDERED A TRADE SECRET. ANY USE OR DISCLOSURE WITHOUT THE CONSENT OF VALMONT INDUSTRIES IS STRICTLY PROHIBITED.

DESCRIPTION  
SECTION U-23.0 (80' - 100' ELEVATION)

ENG. FILE NO.  
563550

1-877-467-4763 Plymouth, IN  
1-800-547-2151 Salem, OR

DWG. NO.  
293733T

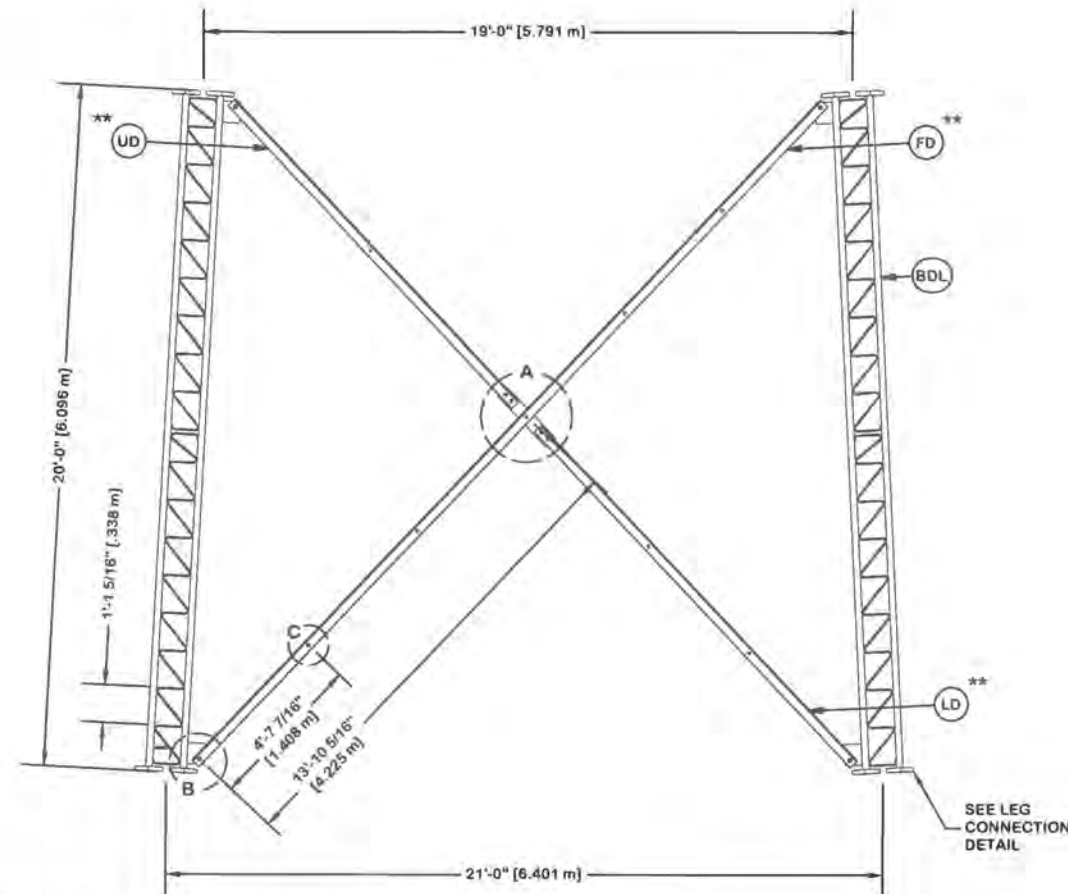
PAGE  
7 OF 17

ORIENT LEGS WITH P/N STAMP  
TOWARD BOTTOM OF SECTION

ORIENT ANGLES WITH STAMPED END TOWARD TOP OF SECTION

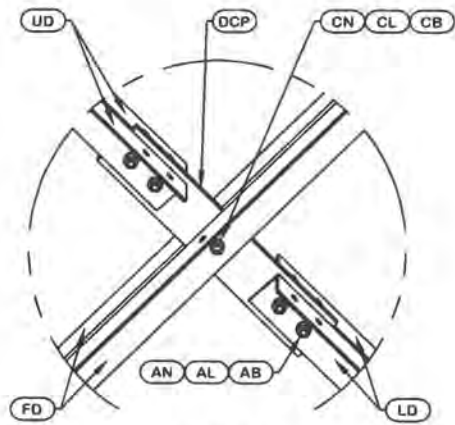
\*\* DIAGONAL ANGLES MUST BE INSTALLED WITH THE NON-BOLTED FACE UP.

\* STITCH BOLT SPACING SHOWN  
IS MAX. FOR ALL ANGLES

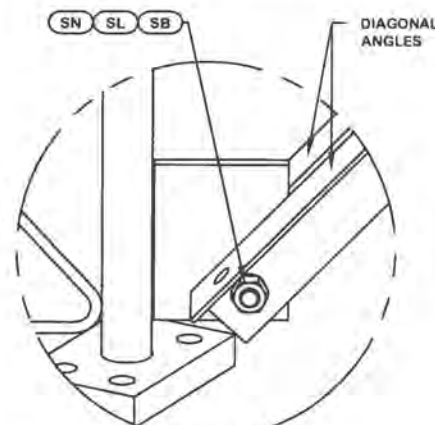


PARTS LIST					
ITEM	QTY	PART NO.	PART DESCRIPTION	UNIT WT.	NET WT.
BDL	3	195960	#12 LEG SECTION - 2-1/4" LEG - 1/2" BRACE - 7/8" B	1100.520	3301.560
UD	6	265709	U-21 UPPER ANGLE - SINGLE BOLT FOR 20'-0" LONG TA	47.030	282.180
LD	6	265708	U-21 LOWER ANGLE - SINGLE BOLT FOR 20'-0" LONG TA	52.470	314.820
FD	6	265707	U-21 LONG ANGLE - SINGLE BOLT FOR 20'-0" LONG TAP	103.560	621.360
ML	21	312123	5/8" GALVANIZED LOCKWASHER (53-22230)	0.020	0.420
MN	21	312501	5/8"-11 HOT DIPPED GALVANIZED NUT	0.120	2.520
AS	21	237658	RING FILL SPACER 5/8" THICK 1.049" HOLE	0.090	1.890
MB	21	161895	5/8"-11 X 2 1/4" A-325 BOLT 1 1/4" THREAD	0.260	5.460
AB/CB	15	161895	5/8"-11 X 2 1/4" A-325 BOLT 1 1/4" THREAD	0.260	3.900
AL / CL	15	312123	5/8" GALVANIZED LOCKWASHER (53-22230)	0.020	0.300
AN / CN	15	312501	5/8"-11 HOT DIPPED GALVANIZED NUT	0.120	1.800
DCP	3	211833	MID BRACE CONNECTION PLATE FOR #12 B/D LEG ANGLES	20.590	61.770
SL	12	312193	7/8" GALVANIZED LOCKWASHER	0.050	0.600
SN	12	312215	7/8"-9 HOT DIPPED GALVANIZED NUT	0.300	3.600
SB	12	172275	7/8"-9 X 2-1/2" A-325 BOLT WITH 1-1/2" THREAD	1.230	14.760
LCB	36	222016	1"-8 X 4-3/4" A-325 BOLT WITH 1-3/4" THREAD	1.380	49.680
LCF	36	312222	1" GALVANIZED FLAT WASHER (F436)	0.140	5.040
LCL	36	312223	1" GALVANIZED LOCKWASHER	0.080	2.880
LCN	36	312504	1"-8 HOT DIPPED GALVANIZED NUT	0.430	15.480
Total Wt				4690.02 lb [2129.31 kg]	

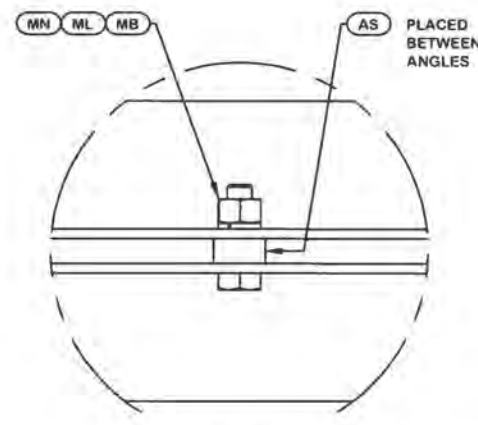
NOTE: THE VIEWS SHOWN BELOW ARE FOR PART IDENTIFICATION ONLY. THE ACTUAL PART STYLE MAY VARY FROM WHAT IS DEPICTED BELOW. PLEASE SEE ASSEMBLY INFORMATION IN THE UPPER LEFT CORNER FOR FURTHER INSTALLATION INSTRUCTIONS.



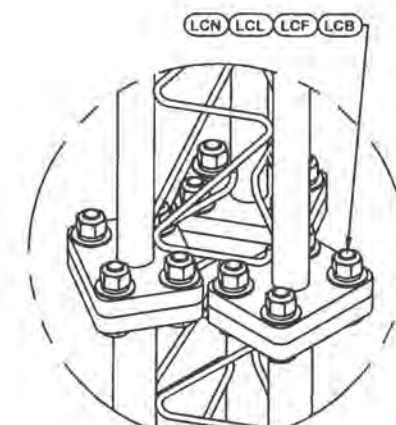
DETAIL A  
ANGLE INTERSECTION CONNECTION



DETAIL B  
END SIDE PLATE ANGLE CONNECTION



DETAIL C  
STITCH BOLT CONNECTION



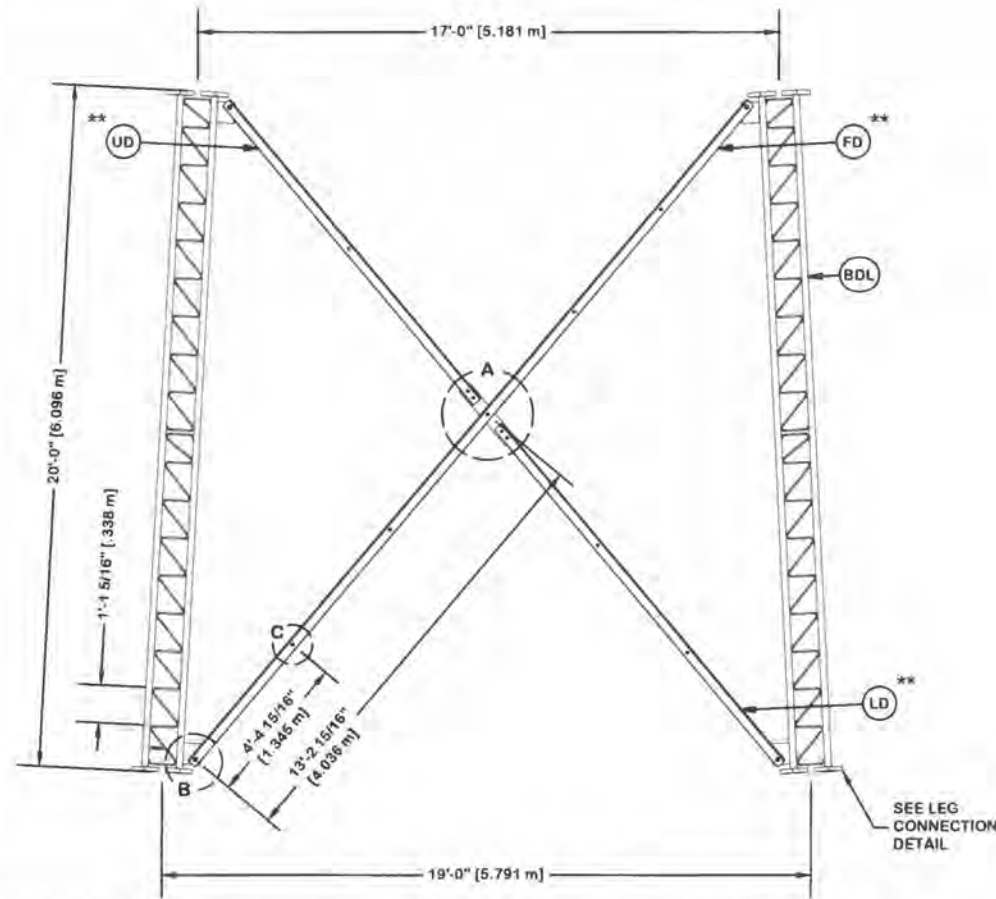
LEG TO LEG CONNECTION  
(SIDE PLATES NOT SHOWN FOR CLARITY)

<p>REV DESCRIPTION OF REVISIONS CPD BY DATE</p>				<p>SITE PIKY308-KY-WOODBINE-WILTON LAKE 1, KY PARALLEL INFRASTRUCTURE U 31 X 300'</p>		<p>DESCRIPTION SECTION U-21.0 (100' - 120' ELEVATION)</p>		<p><b>valmont</b>  <b>STRUCTURES</b></p> <p>1-877-467-4763 Plymouth, IN 1-800-547-2151 Salem, OR</p>	
<p>REVISION HISTORY</p>				<p>COPYRIGHT 2022</p>		<p>ENG. FILE NO. <b>563550</b></p>			
<p>DRAWN BY <b>SAN</b></p>		<p>APPROVED BY <b>SAN</b></p>		<p>DESIGNED BY <b>JOSEPH</b></p>		<p>APPROVED BY <b>JPJ</b></p>		<p>RELEASE DATE <b>10/31/2022</b></p>	
<p>PROPRIETARY NOTE: THE DATA AND TECHNIQUES CONTAINED IN THIS DRAWING ARE PROPRIETARY INFORMATION OF VALMONT INDUSTRIES AND CONSIDERED A TRADE SECRET. ANY USE OR DISCLOSURE WITHOUT THE CONSENT OF VALMONT INDUSTRIES IS STRICTLY PROHIBITED.</p>									
								<p>PAGE <b>8 OF 17</b></p>	

ORIENT LEGS WITH P/N STAMP  
TOWARD BOTTOM OF SECTION

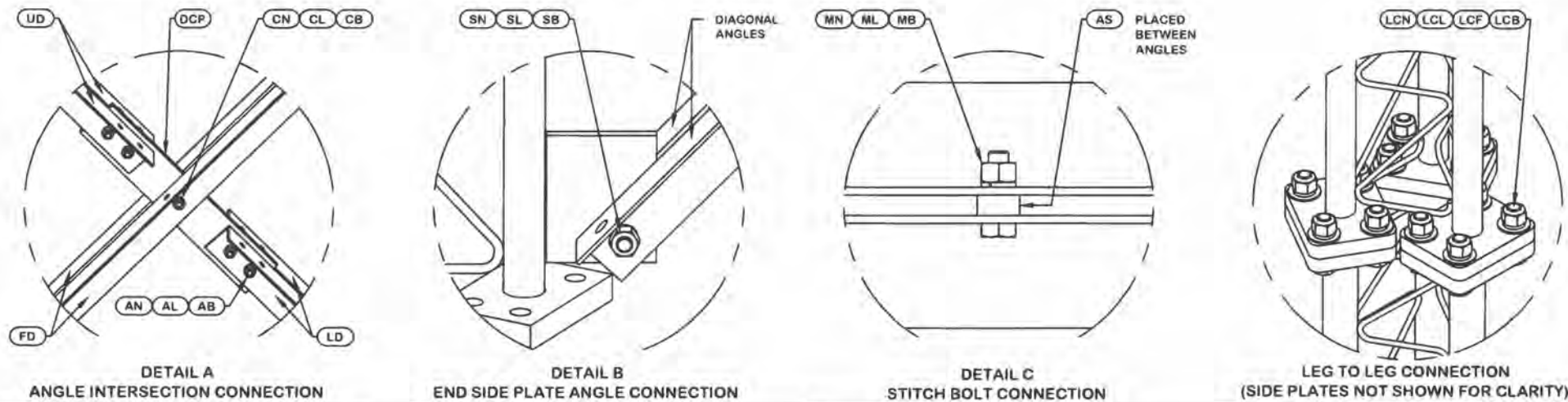
ORIENT ANGLES WITH STAMPED END TOWARD TOP OF SECTION  
\*\* DIAGONAL ANGLES MUST BE INSTALLED WITH THE NON-BOLTED FACE UP.

\* STITCH BOLT SPACING SHOWN  
IS MAX. FOR ALL ANGLES



PARTS LIST					
ITEM	QTY	PART NO.	PART DESCRIPTION	UNIT WT.	NET WT.
BDL	3	195960	#12 LEG SECTION - 2-1/4" LEG - 1/2" BRACE - 7/8" B	1100.520	3301.560
UD	6	265682	U-19 UPPER ANGLE - SINGLE BOLT FOR 20'-0" LONG TA	44.260	265.560
LD	6	265681	U-19 LOWER ANGLE - SINGLE BOLT FOR 20'-0" LONG TA	50.060	300.360
FD	6	265680	U-19 LONG ANGLE - SINGLE BOLT FOR 20'-0" LONG TAP	98.380	590.280
ML	21	312123	5/8" GALVANIZED LOCKWASHER (53-22230)	0.020	0.420
MN	21	312501	5/8"-11 HOT DIPPED GALVANIZED NUT	0.120	2.520
AS	21	237658	RING FILL SPACER 5/8" THICK 1.049" HOLE	0.090	1.890
MB	21	161895	5/8"-11 X 2 1/4" A-325 BOLT 1 1/4" THREAD	0.260	5.460
AB/CB	15	161895	5/8"-11 X 2 1/4" A-325 BOLT 1 1/4" THREAD	0.260	3.900
AL / CL	15	312123	5/8" GALVANIZED LOCKWASHER (53-22230)	0.020	0.300
AN / CN	15	312501	5/8"-11 HOT DIPPED GALVANIZED NUT	0.120	1.800
DCP	3	211833	MID BRACE CONNECTION PLATE FOR #12 B/D LEG ANGLES	20.590	61.770
SL	12	312193	7/8" GALVANIZED LOCKWASHER	0.050	0.600
SN	12	312215	7/8"-9 HOT DIPPED GALVANIZED NUT	0.300	3.600
SB	12	172275	7/8"-9 X 2-1/2" A-325 BOLT WITH 1-1/2" THREAD	1.230	14.760
LCB	36	222016	1"-8 X 4-3/4" A-325 BOLT WITH 1-3/4" THREAD	1.380	49.680
LCF	36	312222	1" GALVANIZED FLAT WASHER (F436)	0.140	5.040
LCL	36	312223	1" GALVANIZED LOCKWASHER	0.080	2.880
LCN	36	312504	1"-8 HOT DIPPED GALVANIZED NUT	0.430	15.480
Total Wt				4627.86 lb	[2101.09 kg]

NOTE: THE VIEWS SHOWN BELOW ARE FOR PART IDENTIFICATION ONLY. THE ACTUAL PART STYLE MAY VARY FROM WHAT IS DEPICTED BELOW. PLEASE SEE ASSEMBLY INFORMATION IN THE UPPER LEFT CORNER FOR FURTHER INSTALLATION INSTRUCTIONS.

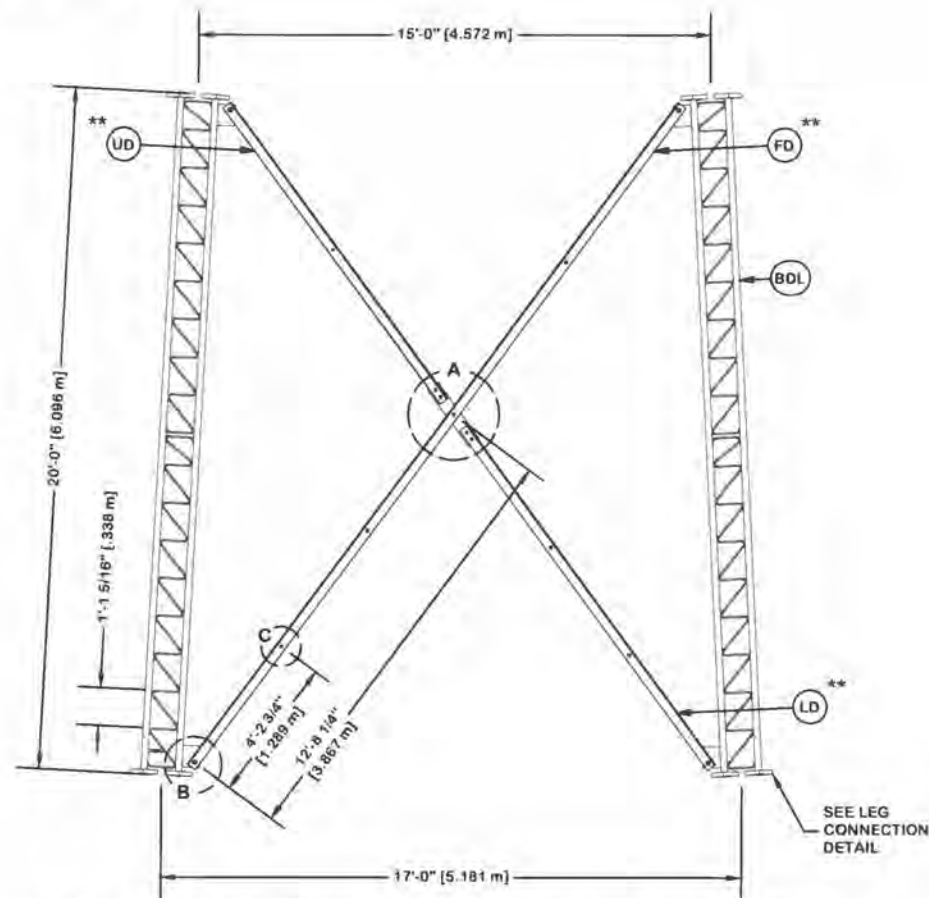


REV		DESCRIPTION OF REVISIONS	CPD	BY	DATE	SITE <b>PIKY308-KY-WOODBINE-WILTON LAKE 1, KY          PARALLEL INFRASTRUCTURE          U 31 X 300'</b>	DESCRIPTION <b>SECTION U-19.0 (120' - 140' ELEVATION)</b>	 1-877-467-4763 Plymouth, IN 1-800-547-2151 Salem, OR
REVISION HISTORY								
DRAWN BY <b>SAN</b>	APPROVED BY <b>SAN</b>	DESIGNED BY <b>JOSEPH</b>	APPROVED BY <b>JPJ</b>	RELEASE DATE <b>10/31/2022</b>	PROPRIETARY NOTE: THE DATA AND TECHNIQUES CONTAINED IN THIS DRAWING ARE PROPRIETARY INFORMATION OF VALMONT INDUSTRIES AND CONSIDERED A TRADE SECRET. ANY USE OR DISCLOSURE WITHOUT THE CONSENT OF VALMONT INDUSTRIES IS STRICTLY PROHIBITED.	PAGE <b>9 OF 17</b>		

ORIENT LEGS WITH P/N STAMP  
TOWARD BOTTOM OF SECTION

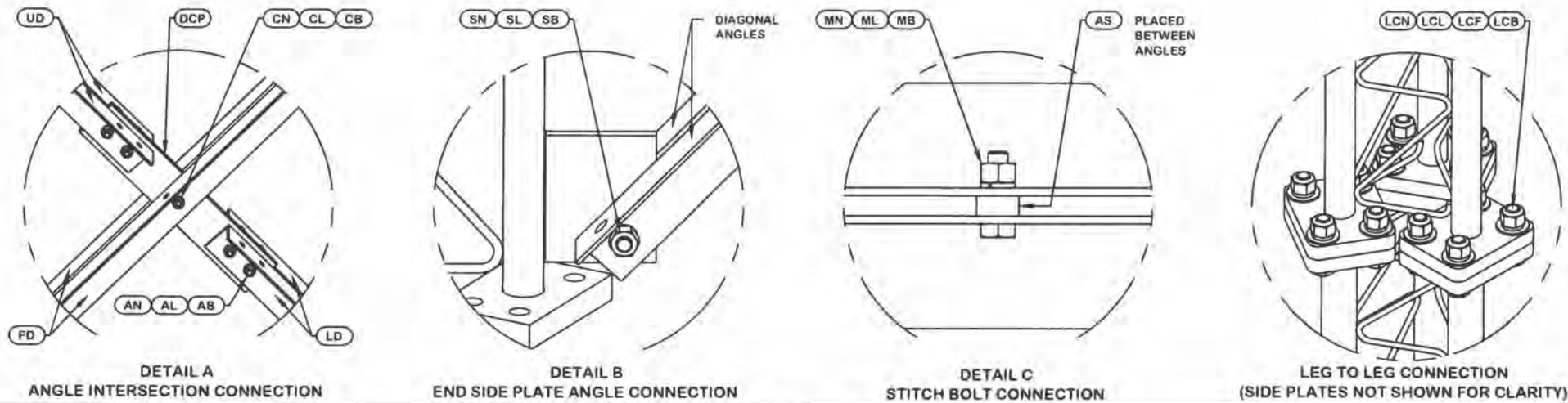
ORIENT ANGLES WITH STAMPED END TOWARD TOP OF SECTION  
\*\* DIAGONAL ANGLES MUST BE INSTALLED WITH THE NON-BOLTED FACE UP.

\* STITCH BOLT SPACING SHOWN  
IS MAX. FOR ALL ANGLES



PARTS LIST					
ITEM	QTY	PART NO.	PART DESCRIPTION	UNIT WT.	NET WT.
BDL	3	195639	#12 LEG SECTION - 2" LEG - 1/2" BRACE - 7/8" BOLT	926.920	2780.760
UD	6	265655	U-17 UPPER ANGLE - SINGLE BOLT FOR 20'-0" LONG TA	41.860	251.160
LD	6	265654	U-17 LOWER ANGLE - SINGLE BOLT FOR 20'-0" LONG TA	47.900	287.400
FD	6	265653	U-17 LONG ANGLE - SINGLE BOLT FOR 20'-0" LONG TAP	93.560	561.360
ML	18	312123	5/8" GALVANIZED LOCKWASHER (53-22230)	0.020	0.360
MN	18	312501	5/8"-11 HOT DIPPED GALVANIZED NUT	0.120	2.160
AS	18	237658	RING FILL SPACER 5/8" THICK 1.049" HOLE	0.090	1.620
MB	18	161895	5/8"-11 X 2 1/4" A-325 BOLT 1 1/4" THREAD	0.260	4.680
AB/CB	15	161895	5/8"-11 X 2 1/4" A-325 BOLT 1 1/4" THREAD	0.260	3.900
AL / CL	15	312123	5/8" GALVANIZED LOCKWASHER (53-22230)	0.020	0.300
AN / CN	15	312501	5/8"-11 HOT DIPPED GALVANIZED NUT	0.120	1.800
DCP	3	211833	MID BRACE CONNECTION PLATE FOR #12 B/D LEG ANGLES	20.590	61.770
SL	12	312193	7/8" GALVANIZED LOCKWASHER	0.050	0.600
SN	12	312215	7/8"-9 HOT DIPPED GALVANIZED NUT	0.300	3.600
SB	12	172275	7/8"-9 X 2-1/2" A-325 BOLT WITH 1-1/2" THREAD	1.230	14.760
LCB	36	222016	1"-8 X 4-3/4" A-325 BOLT WITH 1-3/4" THREAD	1.380	49.680
LCF	36	312222	1" GALVANIZED FLAT WASHER (F436)	0.140	5.040
LCL	36	312223	1" GALVANIZED LOCKWASHER	0.080	2.880
LCN	36	312504	1"-8 HOT DIPPED GALVANIZED NUT	0.430	15.480
Total Wt.				4049.31 lb [1838.42 kg]	

NOTE: THE VIEWS SHOWN BELOW ARE FOR PART IDENTIFICATION ONLY. THE ACTUAL PART STYLE MAY VARY FROM WHAT IS DEPICTED BELOW. PLEASE SEE ASSEMBLY INFORMATION IN THE UPPER LEFT CORNER FOR FURTHER INSTALLATION INSTRUCTIONS.



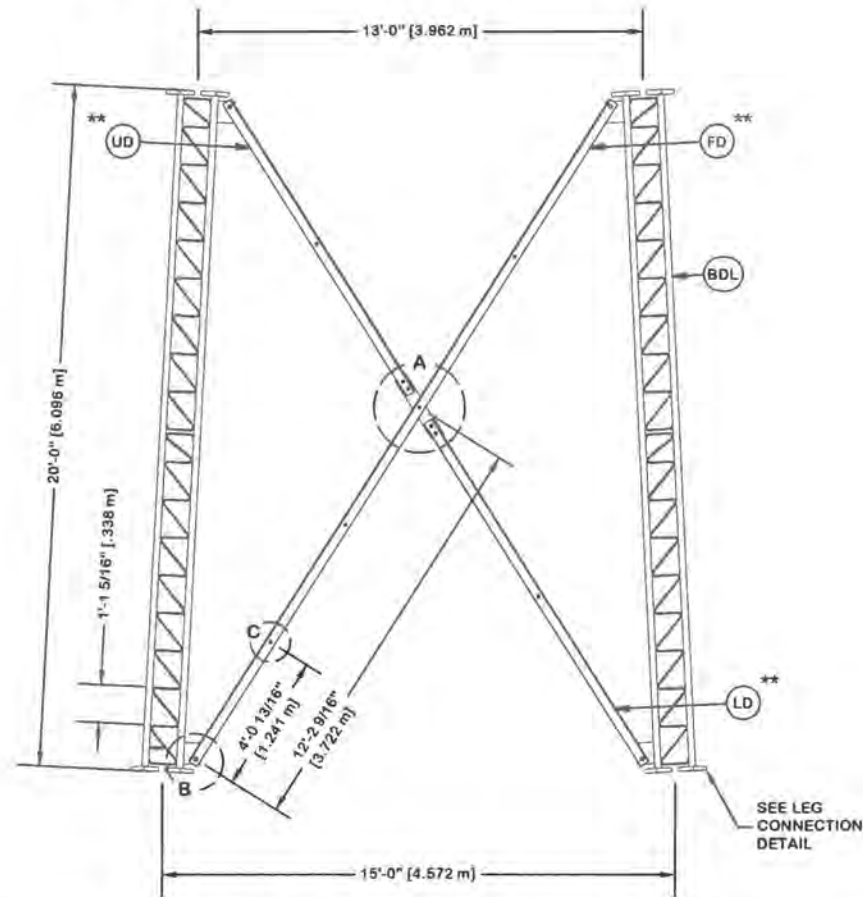
REV				DESCRIPTION OF REVISIONS				CPD	BY	DATE	SITE PIKY308-KY-WOODBINE-WILTON LAKE 1, KY PARALLEL INFRASTRUCTURE U 31 X 300'		DESCRIPTION SECTION U-17.0 (140' - 160' ELEVATION)		<p>1-877-467-4763 Plymouth, IN 1-800-547-2151 Salem, OR</p>	
REVISION HISTORY										COPYRIGHT 2022		ENG. FILE NO. 563550		DWG. NO. 293733T		
DRAWN BY SAN		APPROVED BY SAN		DESIGNED BY JOSEPH		APPROVED BY JPJ		RELEASE DATE 10/31/2022		PROPRIETARY NOTE: THE DATA AND TECHNIQUES CONTAINED IN THIS DRAWING ARE PROPRIETARY INFORMATION OF VALMONT INDUSTRIES AND CONSIDERED A TRADE SECRET. ANY USE OR DISCLOSURE WITHOUT THE CONSENT OF VALMONT INDUSTRIES IS STRICTLY PROHIBITED.				PAGE 10 OF 17		

ORIENT LEGS WITH P/N STAMP  
TOWARD BOTTOM OF SECTION

ORIENT ANGLES WITH STAMPED END TOWARD TOP OF SECTION

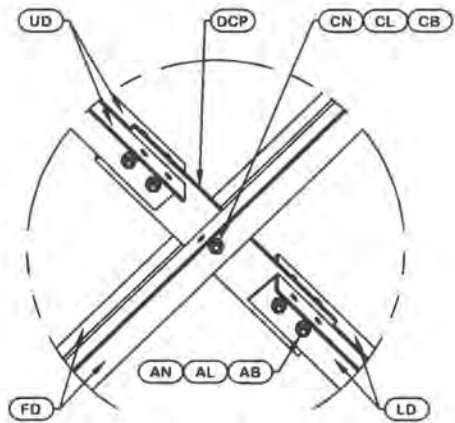
\*\* DIAGONAL ANGLES MUST BE INSTALLED WITH THE NON-BOLTED FACE UP.

\* STITCH BOLT SPACING SHOWN  
IS MAX. FOR ALL ANGLES

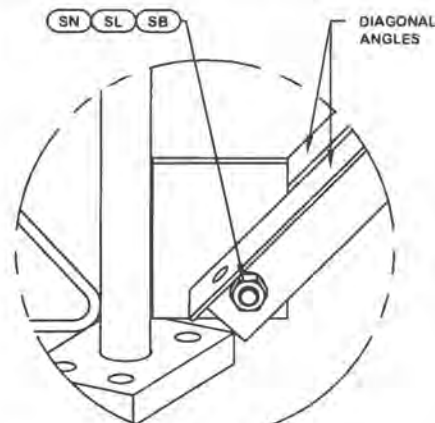


PARTS LIST					
ITEM	QTY	PART NO.	PART DESCRIPTION	UNIT WT.	NET WT.
BDL	3	195637	#12 LEG SECT - 2" TO 1-3/4" TRANS LEG - 1/2" BRACE	906.870	2720.610
UD	6	265628	U-15 UPPER ANGLE - SINGLE BOLT FOR 20'-0" LONG TA	39.060	234.360
LD	6	265627	U-15 LOWER ANGLE - SINGLE BOLT FOR 20'-0" LONG TA	46.050	276.300
FD	6	265626	U-15 LONG ANGLE - SINGLE BOLT FOR 20'-0" LONG TAP	89.160	534.960
ML	15	312123	5/8" GALVANIZED LOCKWASHER (53-22230)	0.020	0.300
MN	15	312501	5/8"-11 HOT DIPPED GALVANIZED NUT	0.120	1.800
AS	15	237658	RING FILL SPACER 5/8" THICK 1.049" HOLE	0.090	1.350
MB	15	161895	5/8"-11 X 2 1/4" A-325 BOLT 1 1/4" THREAD	0.260	3.900
AB/CB	15	161895	5/8"-11 X 2 1/4" A-325 BOLT 1 1/4" THREAD	0.260	3.900
AL / CL	15	312123	5/8" GALVANIZED LOCKWASHER (53-22230)	0.020	0.300
AN / CN	15	312501	5/8"-11 HOT DIPPED GALVANIZED NUT	0.120	1.800
DCP	3	211833	MID BRACE CONNECTION PLATE FOR #12 B/D LEG ANGLES	20.590	61.770
SL	12	312193	7/8" GALVANIZED LOCKWASHER	0.050	0.600
SN	12	312215	7/8"-9 HOT DIPPED GALVANIZED NUT	0.300	3.600
SB	12	172275	7/8"-9 X 2-1/2" A-325 BOLT WITH 1-1/2" THREAD	1.230	14.760
LCB	36	222016	1"-8 X 4-3/4" A-325 BOLT WITH 1-3/4" THREAD	1.380	49.680
LCF	36	312222	1" GALVANIZED FLAT WASHER (F436)	0.140	5.040
LCL	36	312223	1" GALVANIZED LOCKWASHER	0.080	2.880
LCN	36	312504	1"-8 HOT DIPPED GALVANIZED NUT	0.430	15.480
Total Wt				3933.39 lb [1785.79 kg]	

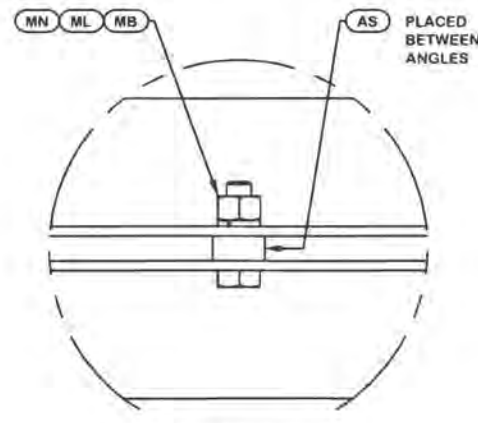
NOTE: THE VIEWS SHOWN BELOW ARE FOR PART IDENTIFICATION ONLY. THE ACTUAL PART STYLE MAY VARY FROM WHAT IS DEPICTED BELOW. PLEASE SEE ASSEMBLY INFORMATION IN THE UPPER LEFT CORNER FOR FURTHER INSTALLATION INSTRUCTIONS.



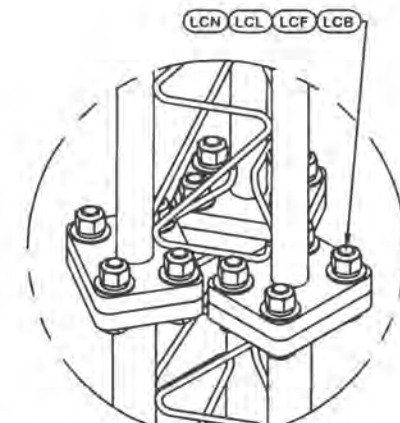
DETAIL A  
ANGLE INTERSECTION CONNECTION



DETAIL B  
END SIDE PLATE ANGLE CONNECTION



DETAIL C  
STITCH BOLT CONNECTION



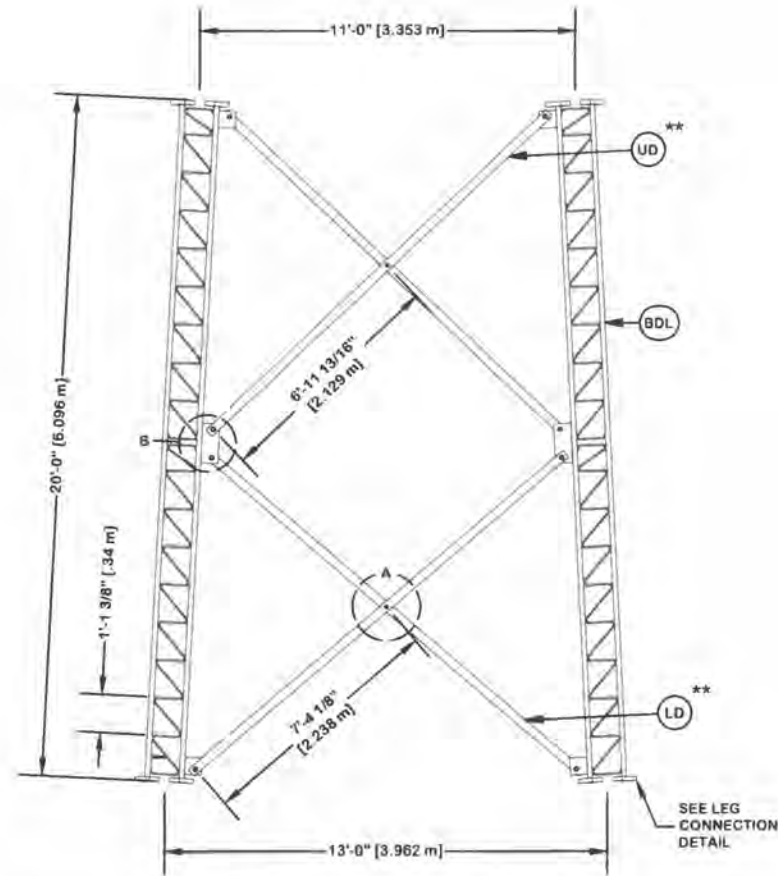
LEG TO LEG CONNECTION  
(SIDE PLATES NOT SHOWN FOR CLARITY)

<table border="1"> <thead> <tr> <th>REV</th> <th>DESCRIPTION OF REVISIONS</th> <th>CPD</th> <th>BY</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td colspan="5">REVISION HISTORY</td> </tr> </tbody> </table>				REV	DESCRIPTION OF REVISIONS	CPD	BY	DATE	REVISION HISTORY					SITE PIKY308-KY-WOODBINE-WILTON LAKE 1, KY PARALLEL INFRASTRUCTURE U 31 X 300'  COPYRIGHT 2022	DESCRIPTION SECTION U-15.0 (160' - 180' ELEVATION)	<p>1-877-467-4763 Plymouth, IN 1-800-547-2151 Salem, OR</p>
REV	DESCRIPTION OF REVISIONS	CPD	BY	DATE												
REVISION HISTORY																
DRAWN BY SAN	APPROVED BY SAN	DESIGNED BY JOSEPH	APPROVED BY JPJ	RELEASE DATE 10/31/2022	PROPRIETARY NOTE: THE DATA AND TECHNIQUES CONTAINED IN THIS DRAWING ARE PROPRIETARY INFORMATION OF VALMONT INDUSTRIES AND CONSIDERED A TRADE SECRET. ANY USE OR DISCLOSURE WITHOUT THE CONSENT OF VALMONT INDUSTRIES IS STRICTLY PROHIBITED.	ENG. FILE NO. 563550	DWG. NO. 293733T	PAGE 11 OF 17								

ORIENT LEGS WITH P/N STAMP  
TOWARD BOTTOM OF SECTION

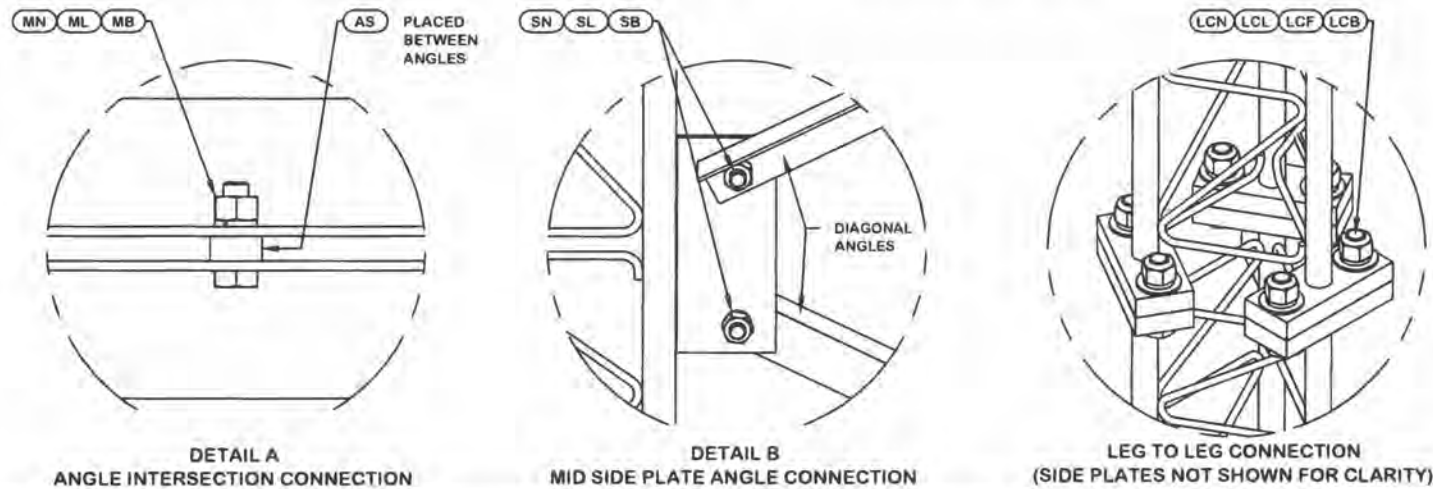
ORIENT ANGLES WITH STAMPED  
END TOWARD TOP OF SECTION

\*\* DIAGONAL ANGLES MUST BE INSTALLED  
WITH THE NON-BOLTED FACE UP,  
THIS MAY BE ON THE OPPOSITE SIDE OF THE  
SIDE PLATE THAN WHAT IS SHOWN IN THE DETAIL.



PARTS LIST					
ITEM	QTY	PART NO.	PART DESCRIPTION	UNIT WT.	NET WT.
BDL	3	195217	#12 LEG SECTION - 1-3/4" LEG - 1/2" BRACE - 1" BOL	746.710	2240.130
LD	6	279226	U-14 UPPER DIAGONAL - 2 1/2" x 2 1/2" x 1/4" ANGLE	61.680	370.080
AS	6	104291	RING FILL SPACER 1/2" THICK 1.049" HOLE	0.070	0.420
MN	6	312502	3/4"-10 HOT DIPPED GALVANIZED NUT	0.190	1.140
ML	6	312153	3/4" GALVANIZED LOCKWASHER	0.030	0.180
MB	6	160427	3/4"-10 X 3" A-325T BOLT WITH FULL THREAD	0.470	2.820
SL	24	312223	1" GALVANIZED LOCKWASHER	0.080	1.920
SN	24	312504	1"-8 HOT DIPPED GALVANIZED NUT	0.430	10.320
SB	24	172265	1"-8 X 2-1/4" A-325 BOLT WITH 1-3/4" THREAD	0.840	20.160
UD	6	278671	U-12 LOWER DIAGONAL - 2 1/2" x 2 1/2" x 1/4" ANGLE	58.490	350.940
LCB	18	222022	1-1/4"-7 X 5-1/2" A-325 BOLT WITH 2" THREAD	2.530	45.540
LCF	18	312282	1-1/4" GALVANIZED FLAT WASHER (F436)	0.130	2.340
LCL	18	312283	1-1/4" GALVANIZED LOCKWASHER	0.150	2.700
LCN	18	312507	1-1/4"-7 HOT DIPPED GALVANIZED NUT	0.730	13.140
Total Wt				3061.83 lb [1390.10 kg]	

NOTE: THE VIEWS SHOWN BELOW ARE FOR PART IDENTIFICATION ONLY. THE ACTUAL PART STYLE MAY VARY FROM WHAT IS DEPICTED BELOW. PLEASE SEE ASSEMBLY INFORMATION IN THE UPPER LEFT CORNER FOR FURTHER INSTALLATION INSTRUCTIONS.

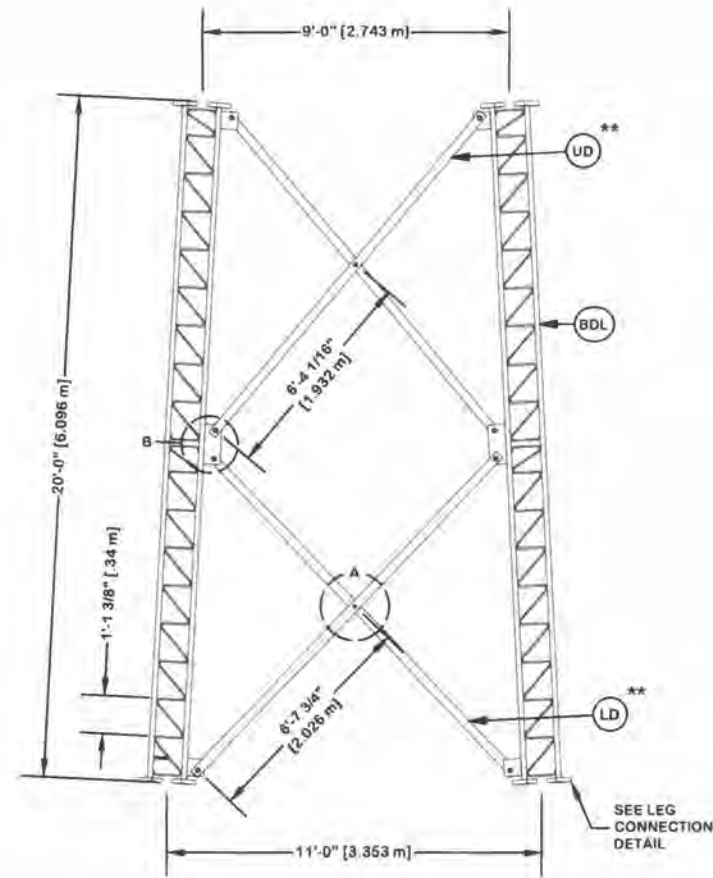


<p>REV   DESCRIPTION OF REVISIONS   CPD   BY   DATE</p> <p>REVISION HISTORY</p>				<p>SITE</p> <p>PIKY308-KY-WOODBINE-WILTON LAKE 1, KY PARALLEL INFRASTRUCTURE U 31 X 300'</p> <p>COPYRIGHT 2022</p>		<p>DESCRIPTION</p> <p>SECTION U-13.0 (180' - 200' ELEVATION)</p>		<p><b>valmont</b> </p> <p><b>STRUCTURES</b></p> <p>1-877-467-4763 Plymouth, IN 1-800-547-2151 Salem, OR</p>	
<p>DRAWN BY</p> <p>SAN</p>	<p>APPROVED BY</p> <p>SAN</p>	<p>DESIGNED BY</p> <p>JOSEPH</p>	<p>APPROVED BY</p> <p>JPJ</p>	<p>RELEASE DATE</p> <p>10/31/2022</p>	<p>PROPRIETARY NOTE: THE DATA AND TECHNIQUES CONTAINED IN THIS DRAWING ARE PROPRIETARY INFORMATION OF VALMONT INDUSTRIES AND CONSIDERED A TRADE SECRET. ANY USE OR DISCLOSURE WITHOUT THE CONSENT OF VALMONT INDUSTRIES IS STRICTLY PROHIBITED.</p>		<p>ENG. FILE NO.</p> <p>563550</p>	<p>DWG. NO.</p> <p>293733T</p>	<p>PAGE</p> <p>12 OF 17</p>

ORIENT LEGS WITH P/N STAMP  
TOWARD BOTTOM OF SECTION

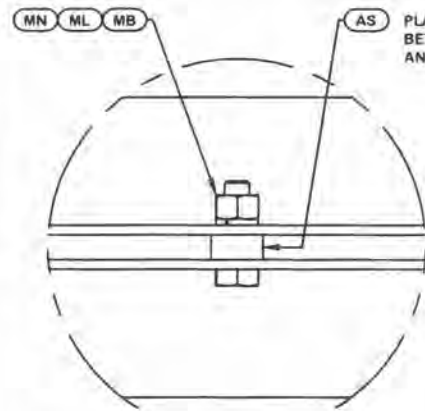
ORIENT ANGLES WITH STAMPED  
END TOWARD TOP OF SECTION

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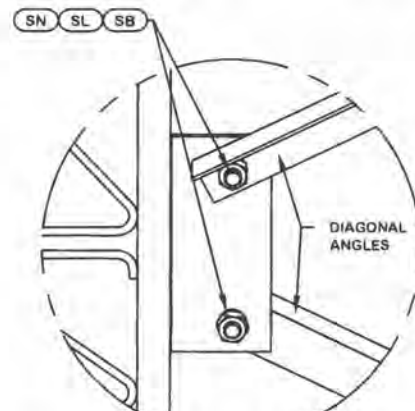


PARTS LIST					
ITEM	QTY	PART NO.	PART DESCRIPTION	UNIT WT.	NET WT.
BDL	3	195217	#12 LEG SECTION - 1-3/4" LEG - 1/2" BRACE - 1" BOL	746.710	2240.130
LD	6	126801	U-12 UPPER DIAGONAL - 2 1/2" x 2 1/2" x 3/16" ANGL	42.250	253.500
AS	6	104291	RING FILL SPACER 1/2" THICK 1.049" HOLE	0.070	0.420
MN	6	312502	3/4"-10 HOT DIPPED GALVANIZED NUT	0.190	1.140
ML	6	312153	3/4" GALVANIZED LOCKWASHER	0.030	0.180
MB	6	180427	3/4"-10 X 3" A-325T BOLT WITH FULL THREAD	0.470	2.820
SL	24	312223	1" GALVANIZED LOCKWASHER	0.080	1.920
SN	24	312504	1"-8 HOT DIPPED GALVANIZED NUT	0.430	10.320
SB	24	172265	1"-8 X 2-1/4" A-325 BOLT WITH 1-3/4" THREAD	0.840	20.160
UD	6	126797	U-10 LOWER DIAGONAL - 2 1/2" x 2 1/2" x 3/16" ANGL	40.070	240.420
LCB	18	222022	1-1/4"-7 X 5-1/2" A-325 BOLT WITH 2" THREAD	2.530	45.540
LCF	18	312282	1-1/4" GALVANIZED FLAT WASHER (F436)	0.130	2.340
LCL	18	312283	1-1/4" GALVANIZED LOCKWASHER	0.150	2.700
LCN	18	312507	1-1/4"-7 HOT DIPPED GALVANIZED NUT	0.730	13.140
Total Wt				2834.73 lb	(1286.99 kg)

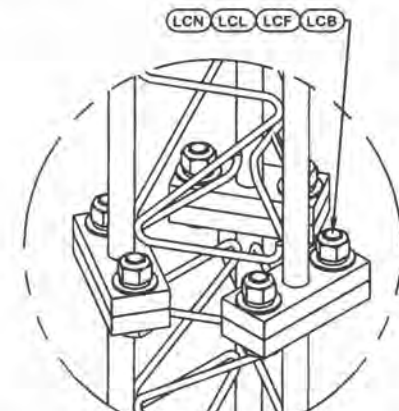
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DETAIL A  
ANGLE INTERSECTION CONNECTION



DETAIL B  
MID SIDE PLATE ANGLE CONNECTION



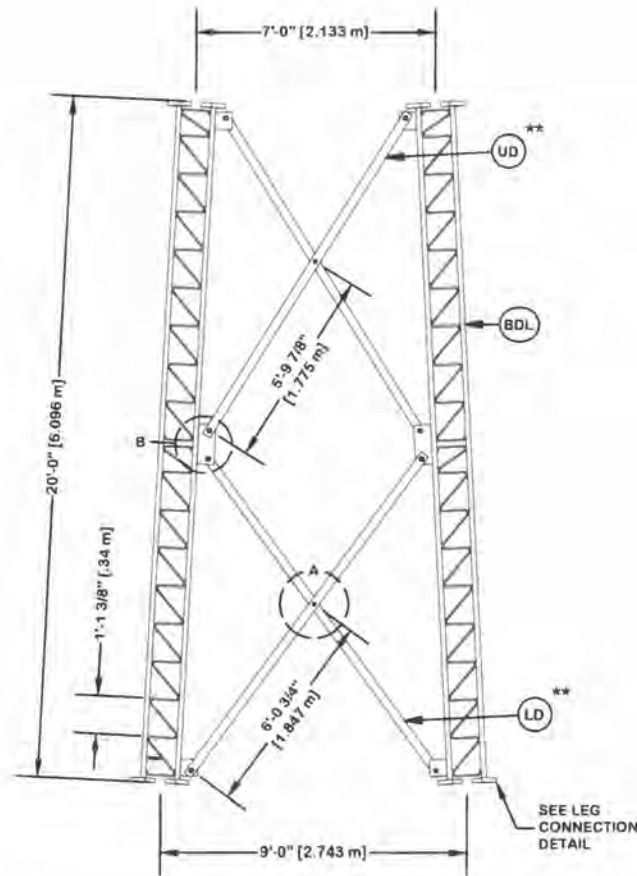
LEG TO LEG CONNECTION  
(SIDE PLATES NOT SHOWN FOR CLARITY)

<p>REV DESCRIPTION OF REVISIONS CPD BY DATE</p> <p>REVISION HISTORY</p>				<p>SITE</p> <p>PIKY308-KY-WOODBINE-WILTON LAKE 1, KY PARALLEL INFRASTRUCTURE U 31 X 300'</p> <p>COPYRIGHT 2022</p>	<p>DESCRIPTION</p> <p>SECTION U-11.0 (200' - 220' ELEVATION)</p>	<p><b>valmont</b> </p> <p>STRUCTURES</p> <p>1-877-467-4763 Plymouth, IN 1-800-547-2151 Salem, OR</p>	
<p>DRAWN BY</p> <p>SAN</p>	<p>APPROVED BY</p> <p>SAN</p>	<p>DESIGNED BY</p> <p>JOSEPH</p>	<p>APPROVED BY</p> <p>JPJ</p>	<p>RELEASE DATE</p> <p>10/31/2022</p>	<p>ENG. FILE NO.</p> <p>563550</p>		<p>DWG. NO.</p> <p>293733T</p>

ORIENT LEGS WITH P/N STAMP  
TOWARD BOTTOM OF SECTION

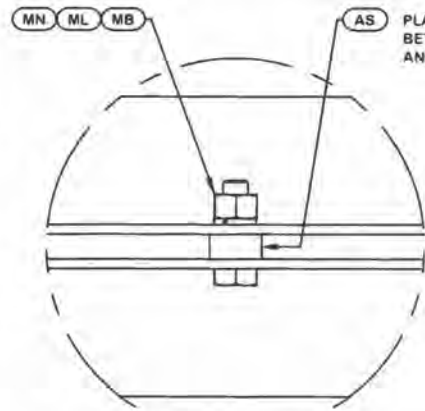
ORIENT ANGLES WITH STAMPED  
END TOWARD TOP OF SECTION

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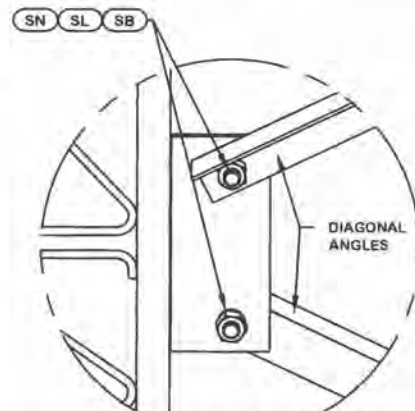


PARTS LIST					
ITEM	QTY	PART NO.	PART DESCRIPTION	UNIT WT.	NET WT.
BDL	3	195213	#12 LEG SECT - 1-3/4" TO 1-1/2" TRANS LEG - 1/2" B	739.890	2219.670
LD	6	126793	U-10 UPPER DIAGONAL - 2 1/2" x 2 1/2" x 3/16" ANGL	38.050	228.300
AS	6	104291	RING FILL SPACER 1/2" THICK 1.048" HOLE	0.070	0.420
MN	6	312502	3/4"-10 HOT DIPPED GALVANIZED NUT	0.190	1.140
ML	6	312153	3/4" GALVANIZED LOCKWASHER	0.030	0.180
MB	6	160427	3/4"-10 X 3" A-325T BOLT WITH FULL THREAD	0.470	2.820
SL	24	312223	1" GALVANIZED LOCKWASHER	0.080	1.920
SN	24	312504	1"-8 HOT DIPPED GALVANIZED NUT	0.430	10.320
SB	24	172265	1"-8 X 2-1/4" A-325 BOLT WITH 1-3/4" THREAD	0.840	20.160
UD	6	126789	U-8 LOWER DIAGONAL - 2 1/2" x 2 1/2" x 3/16" ANGLE	36.220	217.320
LCB	18	222022	1-1/4"-7 X 5-1/2" A-325 BOLT WITH 2" THREAD	2.530	45.540
LCF	18	312282	1-1/4" GALVANIZED FLAT WASHER (F436)	0.130	2.340
LCL	18	312283	1-1/4" GALVANIZED LOCKWASHER	0.150	2.700
LCN	18	312507	1-1/4"-7 HOT DIPPED GALVANIZED NUT	0.730	13.140
Total Wt				2765.97 lb [1255.77 kg]	

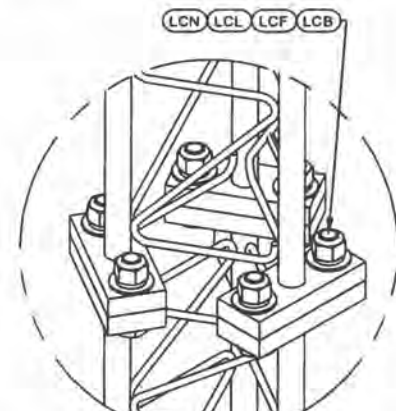
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DETAIL A  
ANGLE INTERSECTION CONNECTION



DETAIL B  
MID SIDE PLATE ANGLE CONNECTION



LEG TO LEG CONNECTION  
(SIDE PLATES NOT SHOWN FOR CLARITY)

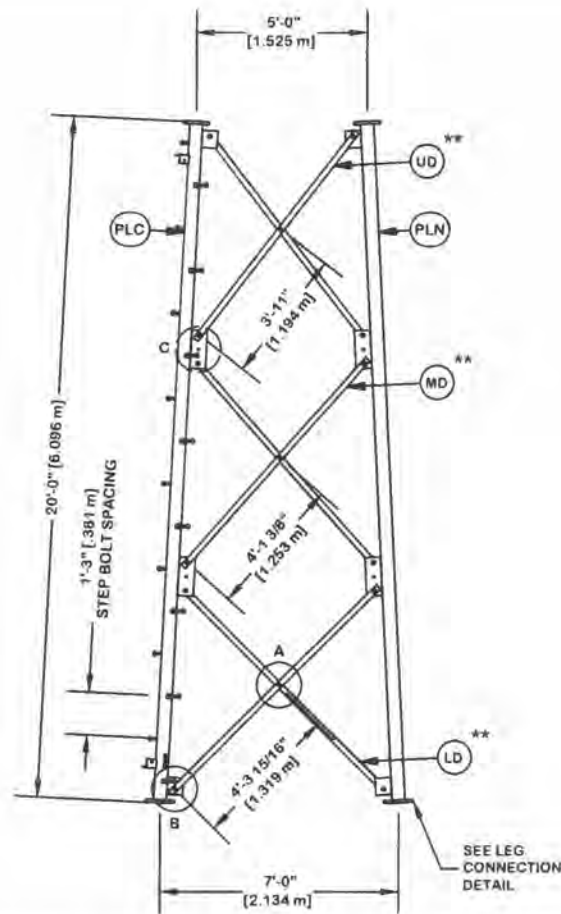
REV   DESCRIPTION OF REVISIONS   CPD   BY   DATE REVISION HISTORY				SITE <b>PIKY308-KY-WOODBINE-WILTON LAKE 1, KY PARALLEL INFRASTRUCTURE U 31 X 300'</b>	DESCRIPTION <b>SECTION U-9.0 (220' - 240' ELEVATION)</b>	<p>1-877-467-4763 Plymouth, IN 1-800-547-2151 Salem, OR</p>		
DRAWN BY <b>SAN</b>	APPROVED BY <b>SAN</b>	DESIGNED BY <b>JOSEPH</b>	APPROVED BY <b>JPJ</b>	RELEASE DATE <b>10/31/2022</b>	PROPRIETARY NOTE <small>THE DATA AND TECHNIQUES CONTAINED IN THIS DRAWING ARE PROPRIETARY INFORMATION OF VALMONT INDUSTRIES AND CONSIDERED A TRADE SECRET. ANY USE OR DISCLOSURE WITHOUT THE CONSENT OF VALMONT INDUSTRIES IS STRICTLY PROHIBITED.</small>		ENG. FILE NO. <b>563550</b>	DWG. NO. <b>293733T</b>



ORIENT LEGS WITH P/N STAMP  
TOWARD BOTTOM OF SECTION

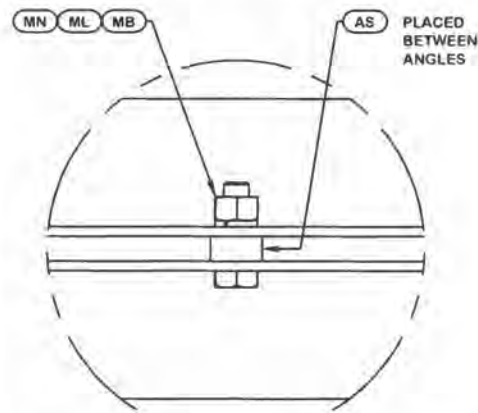
ORIENT ANGLES WITH STAMPED  
END TOWARD TOP OF SECTION

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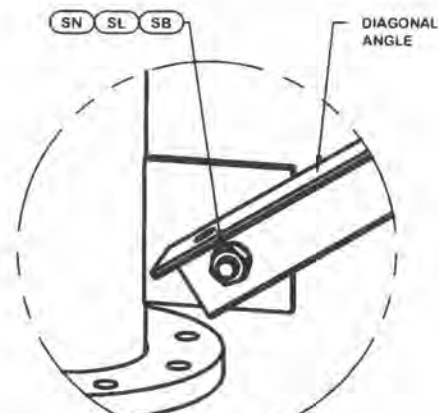


PARTS LIST					
ITEM	QTY	PART NO.	PART DESCRIPTION	UNIT WT.	NET WT.
PLC	1	229377	PIPE LEG SECTION 20'-0" (CLIMBING) 6" SCH. 40 V-SE	537.940	537.940
PLN	2	229378	PIPE LEG SECTION 20'-0" (NON-CLIMBING) 6" SCH. 40	534.580	1069.160
STP	16	228189	STEP BOLT ASSY 5/8"-11 X 7" W/ LOCK WASHER HEAVY	1.100	17.600
LD	6	284733	V-7 LOWER CLIPPED ANGLE - 2" X 2" X 3/16" ANGLE (A)	21.510	129.060
MB	9	227580	5/8"-11 X 2-1/4" A325T HOT DIPPED GALV. BOLT (FULL	0.640	5.760
AS	9	293156	RING FILL SPACER 3/8" THICK 1.049" HOLE	0.060	0.540
MN	9	312501	5/8"-11 HOT DIPPED GALVANIZED NUT	0.120	1.080
ML	9	312123	5/8" GALVANIZED LOCKWASHER (53-22230)	0.020	0.180
SL	36	312153	3/4" GALVANIZED LOCKWASHER	0.030	1.080
SN	36	312502	3/4"-10 HOT DIPPED GALVANIZED NUT	0.190	6.840
SB	36	227579	3/4"-10 X 2-1/4" A-325T BOLT WITH FULL THREAD	0.420	15.120
MD	6	284732	V-7 MID ANGLE - 2" X 2" X 3/16" ANGLE (A572 GR. 50	20.440	122.640
UD	6	284731	V-7 UPPER ANGLE - 2" X 2" X 3/16" ANGLE (A572 GR.	19.370	116.220
LCB	18	172272	1"-8 X 4-1/4" A-325 BOLT WITH 1-3/4" THREAD	1.380	24.840
LCF	18	312222	1" GALVANIZED FLAT WASHER (F436)	0.140	2.520
LCL	18	312223	1" GALVANIZED LOCKWASHER	0.080	1.440
LCN	18	312504	1"-8 HOT DIPPED GALVANIZED NUT	0.430	7.740
Total Wt				2059.76 lb	[935.15 kg]

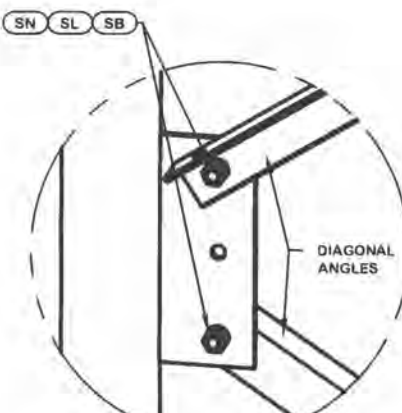
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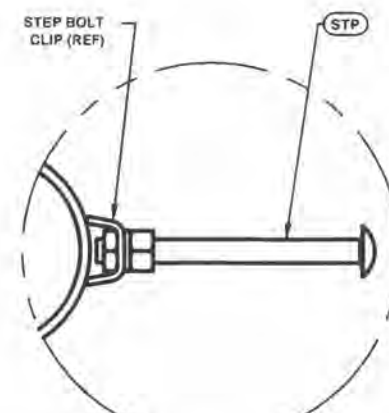
DETAIL A  
ANGLE INTERSECTION CONNECTION



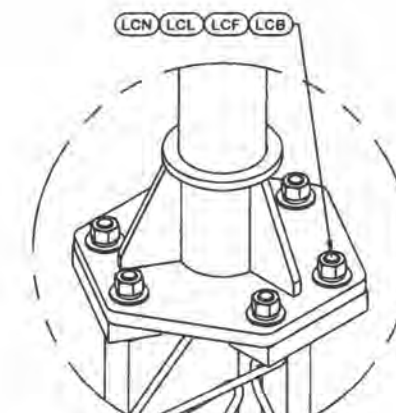
DETAIL B  
END SIDE PLATE ANGLE CONNECTION



DETAIL C  
MID SIDE PLATE ANGLE CONNECTION



STEP BOLT INSTALLATION



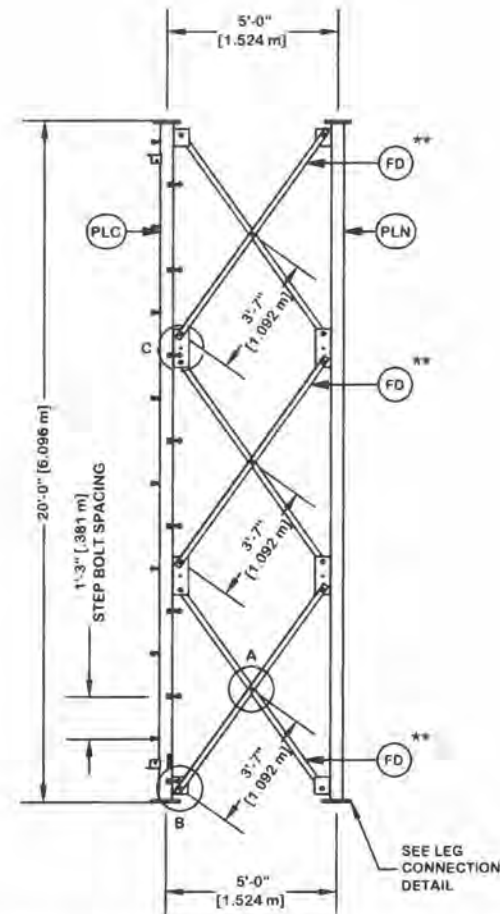
LEG TO LEG CONNECTION  
(SIDE PLATES NOT SHOWN FOR CLARITY)

<p>REV DESCRIPTION OF REVISIONS CPD BY DATE</p> <p>REVISION HISTORY</p>			<p>SITE</p> <p>PIKY308-KY-WOODBINE-WILTON LAKE 1, KY PARALLEL INFRASTRUCTURE U 31 X 300'</p> <p>COPYRIGHT 2022</p>		<p>DESCRIPTION</p> <p>SECTION V-7.0 (240' - 260' ELEVATION)</p>		<p><b>valmont</b> </p> <p>STRUCTURES</p> <p>1-877-467-4763 Plymouth, IN 1-800-547-2151 Salem, OR</p>	
<p>DRAWN BY: SAN</p> <p>APPROVED BY: SAN</p> <p>DESIGNED BY: JOSEPH</p> <p>APPROVED BY: JPJ</p> <p>RELEASE DATE: 10/31/2022</p>			<p>PROPRIETARY NOTE</p> <p>THE DATA AND TECHNIQUES CONTAINED IN THIS DRAWING ARE PROPRIETARY INFORMATION OF VALMONT INDUSTRIES AND CONSIDERED A TRADE SECRET. ANY USE OR DISCLOSURE WITHOUT THE CONSENT OF VALMONT INDUSTRIES IS STRICTLY PROHIBITED.</p>		<p>ENG. FILE NO. 563550</p>		<p>DWG. NO. 293733T</p> <p>PAGE 15 OF 17</p>	

ORIENT LEGS WITH P/N STAMP  
TOWARD BOTTOM OF SECTION

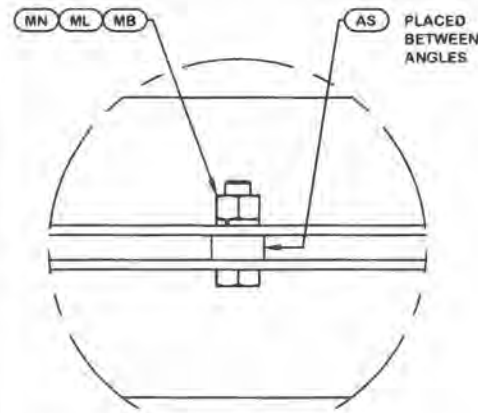
ORIENT ANGLES WITH STAMPED  
END TOWARD TOP OF SECTION

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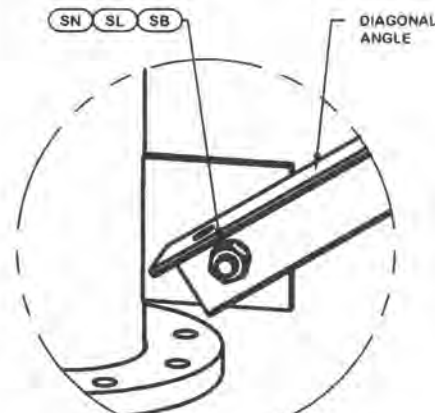


PARTS LIST					
ITEM	QTY	PART NO.	PART DESCRIPTION	UNIT WT.	NET WT.
PLC	1	229924	PIPE LEG SECTION 20'-0" (CLIMBING) 5" SCH. 40 V-SE	392.900	392.900
PLN	2	229925	PIPE LEG SECTION 20'-0" (NON-CLIMBING) 5" SCH. 40	386.550	773.100
STP	16	228189	STEP BOLT ASSY 5/8"-11 X 7" W/ LOCK WASHER HEAVY	1.100	17.600
FD	18	285046	V-5 DIAGONAL ANGLE - 3" X 3" X 5/16" ANGLE (A572 G	46.510	837.180
MB	9	227580	5/8"-11 X 2-1/4" A325T HOT DIPPED GALV. BOLT (FULL	0.640	5.760
AS	9	293156	RING FILL SPACER 3/8" THICK 1.049" HOLE	0.060	0.540
MN	9	312501	5/8"-11 HOT DIPPED GALVANIZED NUT	0.120	1.080
ML	9	312123	5/8" GALVANIZED LOCKWASHER (53-22230)	0.020	0.180
SL	36	312153	3/4" GALVANIZED LOCKWASHER	0.030	1.080
SN	36	312502	3/4"-10 HOT DIPPED GALVANIZED NUT	0.190	6.840
SB	36	227579	3/4"-10 X 2-1/4" A-325T BOLT WITH FULL THREAD	0.420	15.120
LCB	24	227668	3/4"-10 X 3-1/2" A-325T BOLT WITH FULL THREAD	0.540	12.960
LCF	24	312152	3/4" GALVANIZED FLAT WASHER (F436)	0.080	1.920
LCL	24	312153	3/4" GALVANIZED LOCKWASHER	0.030	0.720
LCN	24	312502	3/4"-10 HOT DIPPED GALVANIZED NUT	0.190	4.560
Total Wt				2071.54 lb	[940.50 kg]

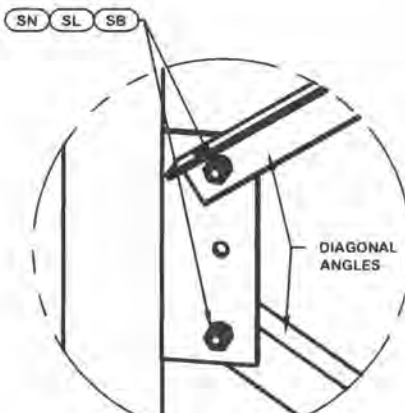
NOTE: THE VIEWS SHOWN BELOW ARE FOR PART IDENTIFICATION ONLY. THE ACTUAL PART STYLE MAY VARY FROM WHAT IS DEPICTED BELOW. PLEASE SEE ASSEMBLY INFORMATION IN THE UPPER LEFT CORNER FOR FURTHER INSTALLATION INSTRUCTIONS.



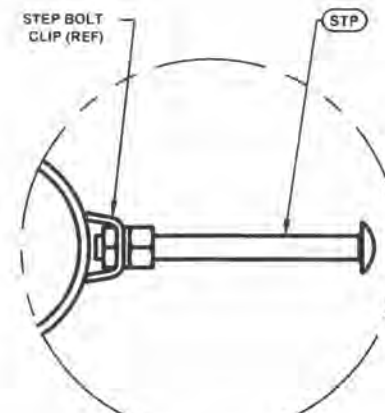
DETAIL A  
ANGLE INTERSECTION CONNECTION



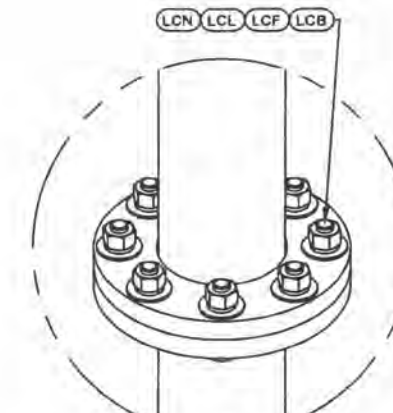
DETAIL B  
END SIDE PLATE ANGLE CONNECTION



DETAIL C  
MID SIDE PLATE ANGLE CONNECTION



STEP BOLT INSTALLATION



LEG TO LEG CONNECTION  
(SIDE PLATES NOT SHOWN FOR CLARITY)

REV	DESCRIPTION OF REVISIONS	CPD	BY	DATE
REVISION HISTORY				

DRAWN BY <b>SAN</b>	APPROVED BY <b>SAN</b>	DESIGNED BY <b>JOSEPH</b>	APPROVED BY <b>JPJ</b>	RELEASE DATE <b>10/31/2022</b>
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SITE <b>PIKY308-KY-WOODBINE-WILTON LAKE 1, KY PARALLEL INFRASTRUCTURE U 31 X 300'</b>
COPYRIGHT 2022
PROPRIETARY NOTE THE DATA AND TECHNIQUES CONTAINED IN THIS DRAWING ARE PROPRIETARY INFORMATION OF VALMONT INDUSTRIES AND CONSIDERED A TRADE SECRET. ANY USE OR DISCLOSURE WITHOUT THE CONSENT OF VALMONT INDUSTRIES IS STRICTLY PROHIBITED.

DESCRIPTION <b>SECTION V-5.0 (260' - 280' ELEVATION)</b>
ENG. FILE NO. <b>563550</b>



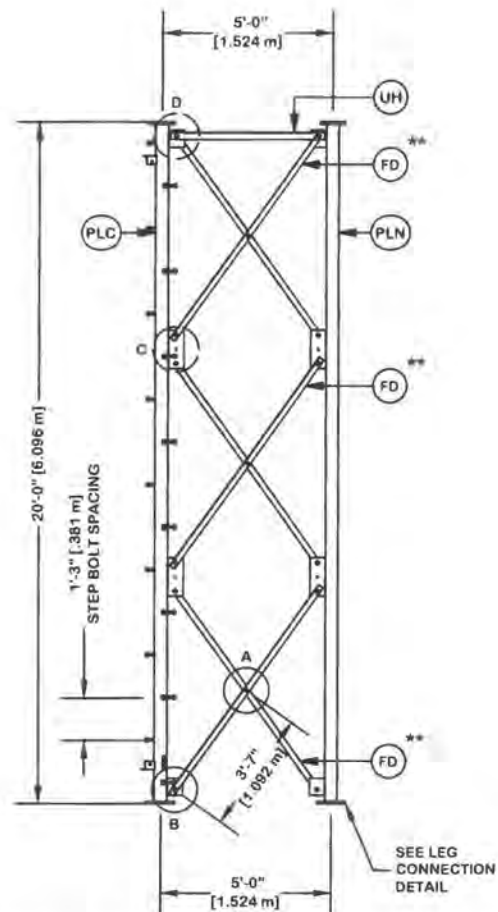
1-877-467-4763 Plymouth, IN  
1-800-547-2151 Salem, OR

DWG. NO. <b>293733T</b>	PAGE <b>16 OF 17</b>
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ORIENT LEGS WITH P/N STAMP  
TOWARD BOTTOM OF SECTION

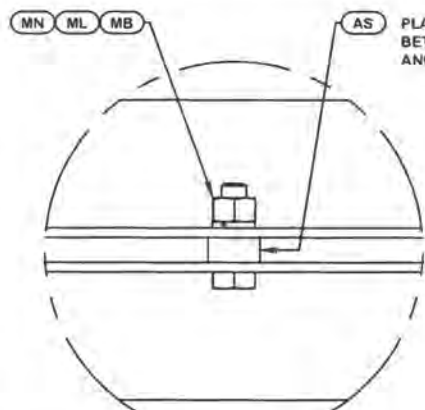
ORIENT ANGLES WITH STAMPED  
END TOWARD TOP OF SECTION

\*\* DIAGONAL ANGLES MUST BE INSTALLED  
WITH THE NON-BOLTED FACE UP, ↑  
THIS MAY BE ON THE OPPOSITE SIDE OF THE  
SIDE PLATE THAN WHAT IS SHOWN IN THE DETAIL.

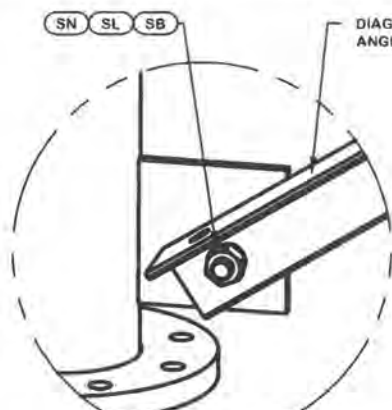


PARTS LIST					
ITEM	QTY	PART NO.	PART DESCRIPTION	UNIT WT.	NET WT.
PLC	1	229926	PIPE LEG SECTION 20'-0" (CLIMBING) 4" SCH. 40 V-SE	284.630	284.630
PLN	2	229927	PIPE LEG SECTION 20'-0" (NON-CLIMBING) 4" SCH. 40	284.630	569.260
STP	16	228189	STEP BOLT ASSY 5/8"-11 X 7" W/ LOCK WASHER HEAVY	1.100	17.600
FD	18	285011	V-5 DIAGONAL ANGLE - 2" X 2" X 3/16" ANGLE (A572 G	19.190	345.420
ML	9	312123	5/8" GALVANIZED LOCKWASHER (53-22230)	0.020	0.180
AS	9	116467	RING FILL SPACER 1/4" THICK 1.049" DIA HOLE	0.250	2.250
MB	9	227580	5/8"-11 X 2-1/4" A325T HOT DIPPED GALV. BOLT (FULL	0.640	5.760
MN	9	312501	5/8"-11 HOT DIPPED GALVANIZED NUT	0.120	1.080
SL	36	312153	3/4" GALVANIZED LOCKWASHER	0.030	1.080
SN	36	312502	3/4"-10 HOT DIPPED GALVANIZED NUT	0.190	6.840
SB	36	227579	3/4"-10 X 2-1/4" A-325T BOLT WITH FULL THREAD	0.420	15.120
UH	3	285974	V-5 HORIZONTAL ANGLE (TYPE 1) - 3" X 3" X 1/4" ANG	21.500	64.500
LCB	18	227668	3/4"-10 X 3-1/2" A-325T BOLT WITH FULL THREAD	0.540	9.720
LCF	18	312152	3/4" GALVANIZED FLAT WASHER (F436)	0.080	1.440
LCL	18	312153	3/4" GALVANIZED LOCKWASHER	0.030	0.540
LCN	18	312502	3/4"-10 HOT DIPPED GALVANIZED NUT	0.190	3.420
Total Wt				1328.84 lb (603.31 kg)	

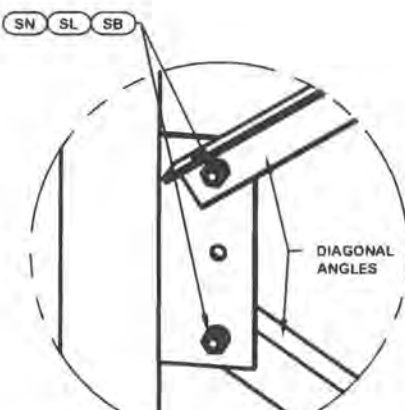
NOTE: THE VIEWS SHOWN BELOW ARE FOR PART IDENTIFICATION ONLY. THE ACTUAL PART STYLE MAY VARY FROM WHAT IS DEPICTED BELOW. PLEASE SEE ASSEMBLY INFORMATION IN THE UPPER LEFT CORNER FOR FURTHER INSTALLATION INSTRUCTIONS.



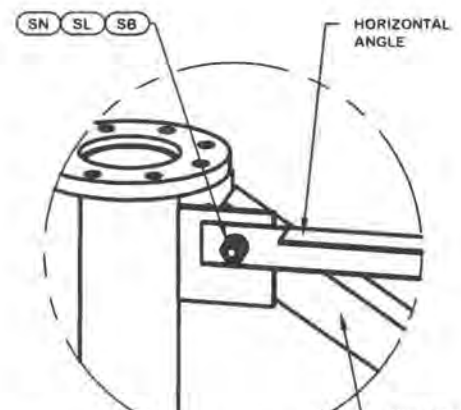
DETAIL A  
ANGLE INTERSECTION CONNECTION



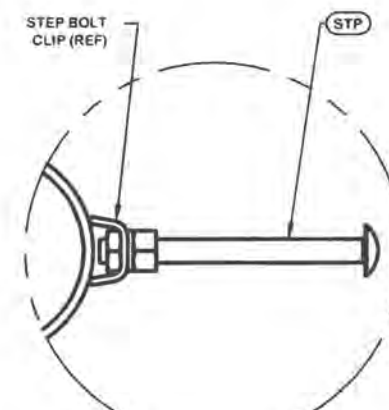
DETAIL B  
END SIDE PLATE ANGLE CONNECTION



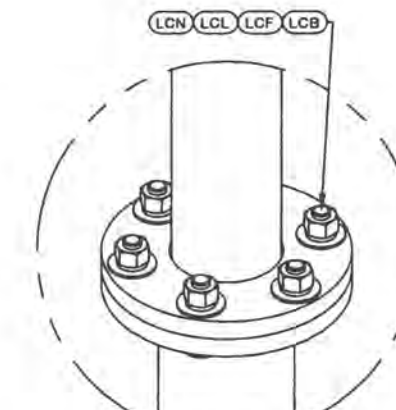
DETAIL C  
MID SIDE PLATE ANGLE CONNECTION



DETAIL D  
UPPER HORIZONTAL ANGLE CONNECTION

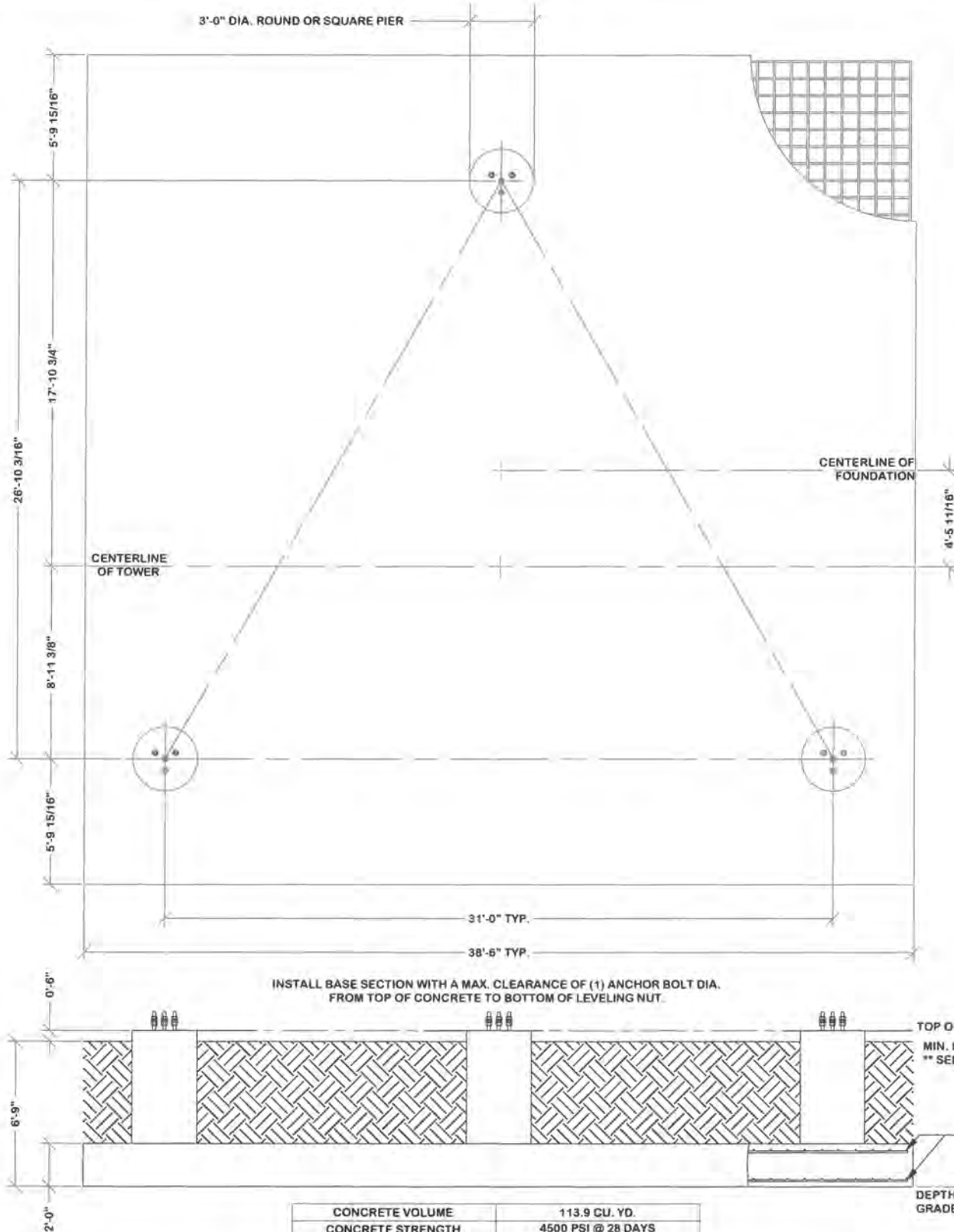


STEP BOLT INSTALLATION



LEG TO LEG CONNECTION  
(SIDE PLATES NOT SHOWN FOR CLARITY)

		SITE <b>PIKY308-KY-WOODBINE-WILTON LAKE 1, KY</b> PARALLEL INFRASTRUCTURE U 31 X 300'  COPYRIGHT 2022	DESCRIPTION <b>SECTION V-5.0 (280' - 300' ELEVATION)</b>	 1-877-467-4763 Plymouth, IN 1-800-547-2151 Salem, OR <b>STRUCTURES</b>
REV	DESCRIPTION OF REVISIONS	CPD	BY	DATE
REVISION HISTORY				
DRAWN BY	APPROVED BY	DESIGNED BY	APPROVED BY	RELEASE DATE
SAN	SAN	JOSEPH	JPJ	10/31/2022
		PROPRIETARY NOTE: THE DATA AND TECHNIQUES CONTAINED IN THIS DRAWING ARE PROPRIETARY INFORMATION OF VALMONT INDUSTRIES AND CONSIDERED A TRADE SECRET. ANY USE OR DISCLOSURE WITHOUT THE CONSENT OF VALMONT INDUSTRIES IS STRICTLY PROHIBITED.		ENG. FILE NO. <b>563550</b>
			DWG. NO. <b>293733T</b>	PAGE <b>17 OF 17</b>



CONCRETE VOLUME	113.9 CU. YD.
CONCRETE STRENGTH	4500 PSI @ 28 DAYS
CONCRETE DENSITY	150 PCF

**ATTENTION CONTRACTOR INSTALLING ANCHOR BOLTS!**  
 USE 1 3/4" DIA. ANCHOR BOLTS SUPPLIED BY VALMONT.  
 INSTALL ALL ANCHOR BOLTS WITH LONGER THREADED ENDS EXPOSED  
 VERIFY THE PART NUMBER AND SIZES FOR ALL COMPONENTS ON THIS PAGE  
 IF THERE ARE ANY DISCREPANCIES, PLEASE NOTIFY VALMONT/PIROD, INC  
 PRIOR TO INSTALLATION!

- TEMPLATE INSTALLATION NOTES:**
1. THE PROVIDED TEMPLATE ASSEMBLY MUST BE USED TO ENSURE ACCURATE ANCHOR BOLT LOCATION & INSTALLATION ANGLE (BASE LEG REFERENCE ANGLE 0.00°.)
  2. USING THE TEMPLATE ASSEMBLY, THE CENTER OF EACH ANCHOR BOLT GROUP MUST BE LOCATED WITHIN (+/- 3") OF THE CENTER OF THE REBAR CAGE SHOWN ON THIS PLAN. FAILURE TO USE THE FULLY ASSEMBLED ANCHOR BOLT TEMPLATE WILL CAUSE MISS-LOCATION OF THE ANCHOR BOLT GROUPS. INCORRECTLY LOCATED ANCHOR BOLT GROUPS WILL CAUSE DIFFICULTY OR ALIGNMENT ISSUES DURING TOWER CONSTRUCTION. IN MORE SEVERE CASES, THIS CAN MAKE IT IMPOSSIBLE TO ERECT THE TOWER.
  3. THE ENTIRE TEMPLATE ASSEMBLY MUST BE LEVEL +/- 1".
  4. INSTALLED TEMPLATE CLEARANCE 2" MIN - 4" MAX T.O.C. TO BOTTOM OF LEVELING NUT.
  5. MUST USE TEMPLATE ASSEMBLY# 281453

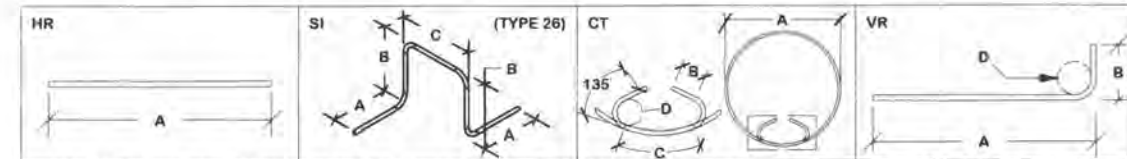
- \*\*CONCRETE NOTES**
1. BACKFILL MAY NOT BE SLOPED
  2. BACKFILL MUST NOT EXCEED THE TOP OF THE CONCRETE
  3. CONTRACTOR MUST VERIFY THAT THE MINIMUM FILL HEIGHT CAN BE ACHIEVED PRIOR TO INSTALLING REBAR OR CONCRETE.
  4. IF MINIMUM FILL HEIGHT CANNOT BE ACHIEVED THE CONTRACTOR MUST CONTACT VALMONT PRIOR TO REBAR OR CONCRETE PLACEMENT.

**CIRCULAR TIE NOTES:**  
 PLACE CIRCULAR TIES SO HOOKS ON ADJACENT TIES ARE APPROX. 180° APART. PLACE ONE TIE AT TOP OF REBAR GRID AND ONE TIE AT TOP OF PIER. EQUALLY SPACE TIES ALONG THE PIER, WITH ONE BAR PLACED 4" DOWN FROM THE TOP TIE. 7 TIES PER PIER (SEE DETAIL CT)

PARTS LIST				
ITEM	QTY	PART DESCRIPTION	UNIT WT.	NET WT.
1	12	1 3/4" DIA. x 72" LONG ANCHOR BOLT - 262330	59.53	714.34
2	3	EMBEDMENT PLATE - 281262	19.88	59.63

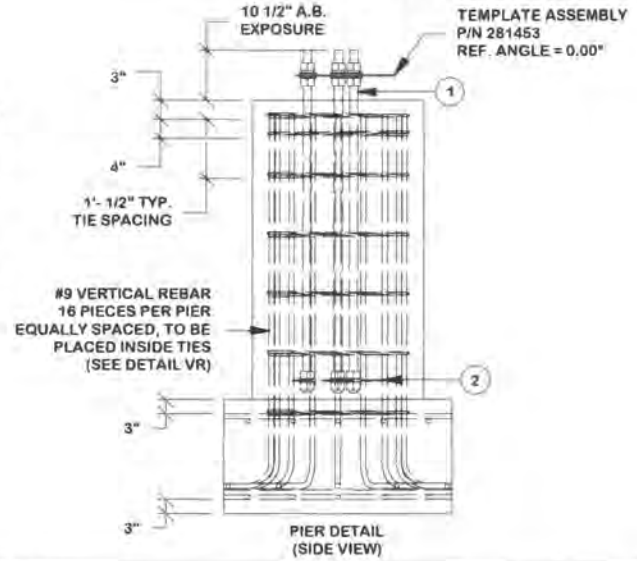
- FOUNDATION NOTES:**
1. SOIL AS PER REPORT BY POWER OF DESIGN GROUP, LLC PROJECT NO. 21-102894 DATED: JULY 21, 2022
  2. REINFORCING BAR TO CONFORM TO ASTM A615 GRADE 60 SPECIFICATIONS. CONCRETE INSTALLATION TO CONFORM TO ACI-318 BUILDING REQUIREMENTS FOR REINFORCED CONCRETE. ALL CONCRETE TO BE PLACED AGAINST UNDISTURBED EARTH FREE OF WATER AND ALL FOREIGN OBJECTS AND MATERIALS. A MINIMUM OF THREE INCHES OF CONCRETE SHALL COVER ALL REINFORCEMENT. WELDING OF REBAR NOT PERMITTED.
  3. A COLD JOINT IS PERMISSIBLE UPON CONSULTATION WITH VALMONT. ALL COLD JOINTS SHALL BE COATED WITH BONDING AGENTS PRIOR TO SECOND POUR.
  4. ALL FILL SHOULD BE PLACED IN LOOSE LEVEL LIFTS OF NO MORE THAN 8" THICK. FILL MATERIALS SHOULD BE CLEAN AND FREE OF ORGANIC AND FROZEN MATERIALS OR ANY OTHER DELETERIOUS MATERIALS. COMPACT FILL TO 95% OF STANDARD PROCTOR MAXIMUM DRY DENSITY IN ACCORDANCE WITH ASTM D698. MIN. BACKFILL DENSITY = 110 PCF.
  5. BENDING, STRAIGHTENING OR REALIGNING (HOT OR COLD) OF THE ANCHOR BOLTS BY ANY METHOD IS PROHIBITED.
  6. CROWN TOP OF FOUNDATION FOR PROPER DRAINAGE.
  7. THE ON-SITE GEOTECHNICAL ENGINEER SHALL CONFIRM THAT THE INSITU SOIL STRENGTHS MEET OR EXCEED THOSE PARAMETERS GIVEN IN THE SOIL REPORT.
  8. SEE GEOTECHNICAL REPORT FOR ADDITIONAL CONSTRUCTION RECOMMENDATIONS, BACKFILL COMPACTATION DETAIL, SUBGRADE PREPARATION, ETC.
  9. CONCRETE IS TO BE PLACED THE SAME DAY THAT THE EXCAVATION IS COMPLETED.
  10. DIFFICULTIES DURING EXCAVATION MAY ARISE DUE TO THE PRESENCE OF BOULDERS, COBBLES, AND/OR SHALLOW BEDROCK. THE BOULDERS, COBBLES, AND/OR ROCK MUST BE REMOVED FROM THE EXCAVATION OR DRILLED THROUGH.

REBAR DETAIL										
BAR	QTY	SIZE	UNBENT LENGTH	A	B	C	D	DIAMETER	UNIT WT. (LBS)	NET WT. (LBS)
HR	196	#8	38'	38"					101.70	19932.82
SI	121	#5	6'-5 5/16"	1'-6"	1'-2"	1'-8 1/2"			6.72	813.26
CT	21	#4	9'-10 11/16"	2'-6"	3"	11 3/4"	3"		6.61	138.72
VR	48	#9	7'-10 3/4"	6'-7"	1'-7 3/16"		9"		26.85	1288.72



**REBAR NOTES:** ALL REINFORCING BARS MUST CONFORM TO ASTM A615 GRADE 60 SPECIFICATIONS  
 STANDEES TO BE EQUALLY SPACED BETWEEN GRIDS - 3'-7 1/2" (TYP)

Rebar Class B Splice Length			
Bar Size	(in)	Bar Size	(in)
3	19	8	61
4	25	9	69
5	31	10	77
6	37	11	86
7	53		



10-31-2022

REV	DESCRIPTION OF REVISIONS	CPD	BY	DATE
REVISION HISTORY				

DRAWN BY	APPROVED BY	DESIGNED BY	APPROVED BY	RELEASE DATE
SAN	SAN	JOSEPH	JPJ	10/31/2022

**SITE**  
 PIKY308-KY-WOODBINE-WILTON LAKE 1, KY  
 PARALLEL INFRASTRUCTURE  
 U 31 X 300'

**DESCRIPTION**  
 SHALLOW MAT WITH RAISED PIERS  
 TOWER FOUNDATION #1

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PROPRIETARY NOTE:  
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ENG. FILE NO.  
**563550**

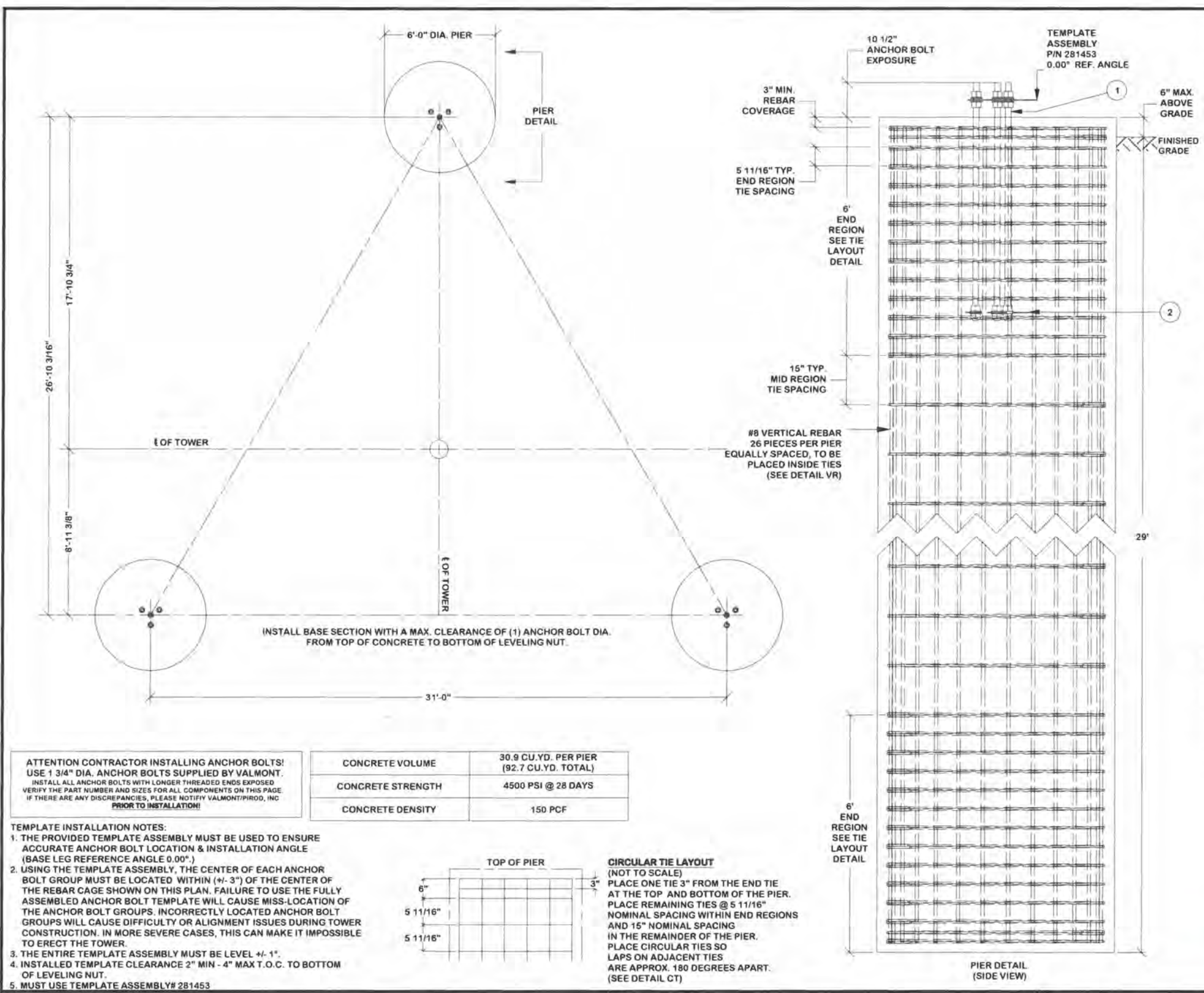
**valmont**

1-877-467-4763 Plymouth, IN  
 1-800-547-2151 Salem, OR

**STRUCTURES**

DWG. NO. **293733F**

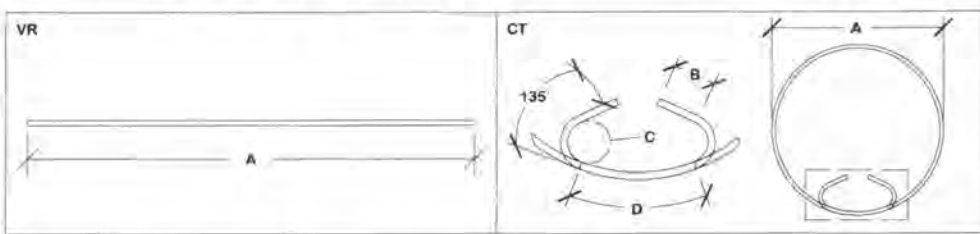
PAGE **1 OF 2**



REBAR/ANCHOR STEEL TABLE				
ITEM	QTY	PART DESCRIPTION	UNIT WT.	NET WT.
1	12	1 3/4" DIA. x 72" LONG ANCHOR BOLT - 262330	59.53	714.34
2	3	EMBEDMENT PLATE - 281262	19.88	59.63

- FOUNDATION NOTES:
- SOIL AS PER REPORT BY POD PROJECT NO 21-102894 DATED JULY 21, 2022
  - REINFORCING BAR TO CONFORM TO ASTM A615 GRADE 60 SPECIFICATIONS. CONCRETE INSTALLATION TO CONFORM TO ACI-318 BUILDING REQUIREMENTS FOR REINFORCED CONCRETE. ALL CONCRETE TO BE PLACED AGAINST UNDISTURBED EARTH FREE OF WATER AND ALL FOREIGN OBJECTS AND MATERIALS. A MINIMUM OF THREE INCHES OF CONCRETE SHALL COVER ALL REINFORCEMENT. WELDING OF REBAR NOT PERMITTED.
  - A COLD JOINT IS PERMISSIBLE UPON CONSULTATION WITH VALMONT. ALL COLD JOINTS SHALL BE COATED WITH BONDING AGENTS PRIOR TO SECOND POUR.
  - ALL REINFORCING STEEL TO BE FORMED INTO A CAGE PRIOR TO SETTING INTO POSITION IN THE EXCAVATED PIER.
  - PERMANENT STEEL CASING SHALL NOT BE USED WITHOUT CONSENT FROM FOUNDATION DESIGNERS.
  - BENDING, STRAIGHTENING OR REALIGNING (HOT OR COLD) OF THE ANCHOR BOLTS BY ANY METHOD IS PROHIBITED.
  - CROWN TOP OF FOUNDATION FOR PROPER DRAINAGE.
  - THE ON-SITE GEOTECHNICAL ENGINEER SHALL CONFIRM THAT THE INSITU SOIL STRENGTHS MEET OR EXCEED THOSE PARAMETERS GIVEN IN THE SOIL REPORT.
  - SEE GEOTECHNICAL REPORT FOR ADDITIONAL CONSTRUCTION RECOMMENDATIONS, BACKFILL COMPACTION DETAIL, SUBGRADE PREPARATION, ETC.
  - THE DRILLED PIER DESIGN EXTENDS 18.5' BELOW THE BOTTOM OF THE BORING. A QUALIFIED GEOTECHNICAL ENGINEER MUST VERIFY THAT THE SOIL STRENGTHS BELOW 30' ARE AS STRONG AS THE MATERIAL AT 30'. CONSTRUCTION DELAYS/DIFFICULTIES MAY ARISE IF VERIFICATION IS NOT PERFORMED BEFORE THE TIME OF INSTALLATION. THEREFORE, IT IS RECOMMENDED THAT VERIFICATION OCCUR PRIOR TO MOBILIZATION OF THE DRILLING EQUIPMENT.
  - CONCRETE IS TO BE PLACED THE SAME DAY THAT THE EXCAVATION IS COMPLETED.
  - PNEUMATIC HAMMERS, RIPPERS, AND/OR BLASTING MAY BE REQUIRED TO REMOVE MATERIAL FROM THE EXCAVATION.
  - DIFFICULTIES DURING EXCAVATION MAY ARISE DUE TO THE PRESENCE OF BOULDERS, COBBLES, AND/OR SHALLOW BEDROCK. THE BOULDERS, COBBLES, AND/OR ROCK MUST BE REMOVED FROM THE EXCAVATION OR DRILLED THROUGH.

REBAR DETAIL									
BAR	QTY	SIZE	UNBENT LENGTH	A	B	C DIAMETER	D	UNIT WT.	NET WT.
CT	123	#5	19'-3 5/8"	5'-6"	3 3/4"	3 3/4"	8"	20.13	2476.26
VR	78	#8	29'	29'				77.61	6053.71



REBAR NOTES: ALL REINFORCING BARS MUST CONFORM TO ASTM A615 GRADE 60 SPECIFICATIONS

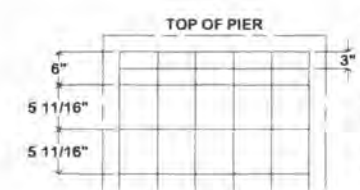
Rebar Class B Splice Length			
Bar Size	(in)	Bar Size	(in)
3	16	8	47
4	19	9	53
5	24	10	60
6	28	11	66
7	41		

ATTENTION CONTRACTOR INSTALLING ANCHOR BOLTS! USE 1 3/4" DIA. ANCHOR BOLTS SUPPLIED BY VALMONT. INSTALL ALL ANCHOR BOLTS WITH LONGER THREADED ENDS EXPOSED. VERIFY THE PART NUMBER AND SIZES FOR ALL COMPONENTS ON THIS PAGE IF THERE ARE ANY DISCREPANCIES, PLEASE NOTIFY VALMONT/PIROD, INC PRIOR TO INSTALLATION!

CONCRETE VOLUME	30.9 CU.YD. PER PIER (92.7 CU.YD. TOTAL)
CONCRETE STRENGTH	4500 PSI @ 28 DAYS
CONCRETE DENSITY	150 PCF

TEMPLATE INSTALLATION NOTES:

- THE PROVIDED TEMPLATE ASSEMBLY MUST BE USED TO ENSURE ACCURATE ANCHOR BOLT LOCATION & INSTALLATION ANGLE (BASE LEG REFERENCE ANGLE 0.00°.)
- USING THE TEMPLATE ASSEMBLY, THE CENTER OF EACH ANCHOR BOLT GROUP MUST BE LOCATED WITHIN (+/- 3") OF THE CENTER OF THE REBAR CAGE SHOWN ON THIS PLAN. FAILURE TO USE THE FULLY ASSEMBLED ANCHOR BOLT TEMPLATE WILL CAUSE MISS-LOCATION OF THE ANCHOR BOLT GROUPS. INCORRECTLY LOCATED ANCHOR BOLT GROUPS WILL CAUSE DIFFICULTY OR ALIGNMENT ISSUES DURING TOWER CONSTRUCTION. IN MORE SEVERE CASES, THIS CAN MAKE IT IMPOSSIBLE TO ERECT THE TOWER.
- THE ENTIRE TEMPLATE ASSEMBLY MUST BE LEVEL +/- 1".
- INSTALLED TEMPLATE CLEARANCE 2" MIN - 4" MAX T.O.C. TO BOTTOM OF LEVELING NUT.
- MUST USE TEMPLATE ASSEMBLY# 281453

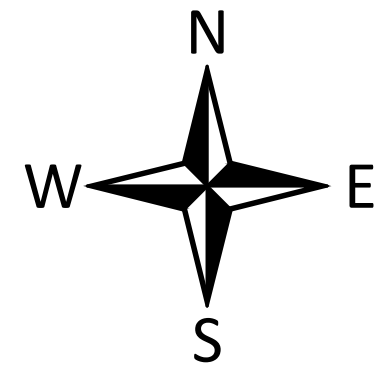


CIRCULAR TIE LAYOUT (NOT TO SCALE)  
PLACE ONE TIE 3" FROM THE END TIE AT THE TOP AND BOTTOM OF THE PIER. PLACE REMAINING TIES @ 5 11/16" NOMINAL SPACING WITHIN END REGIONS AND 15" NOMINAL SPACING IN THE REMAINDER OF THE PIER. PLACE CIRCULAR TIES SO LAPS ON ADJACENT TIES ARE APPROX. 180 DEGREES APART. (SEE DETAIL CT)



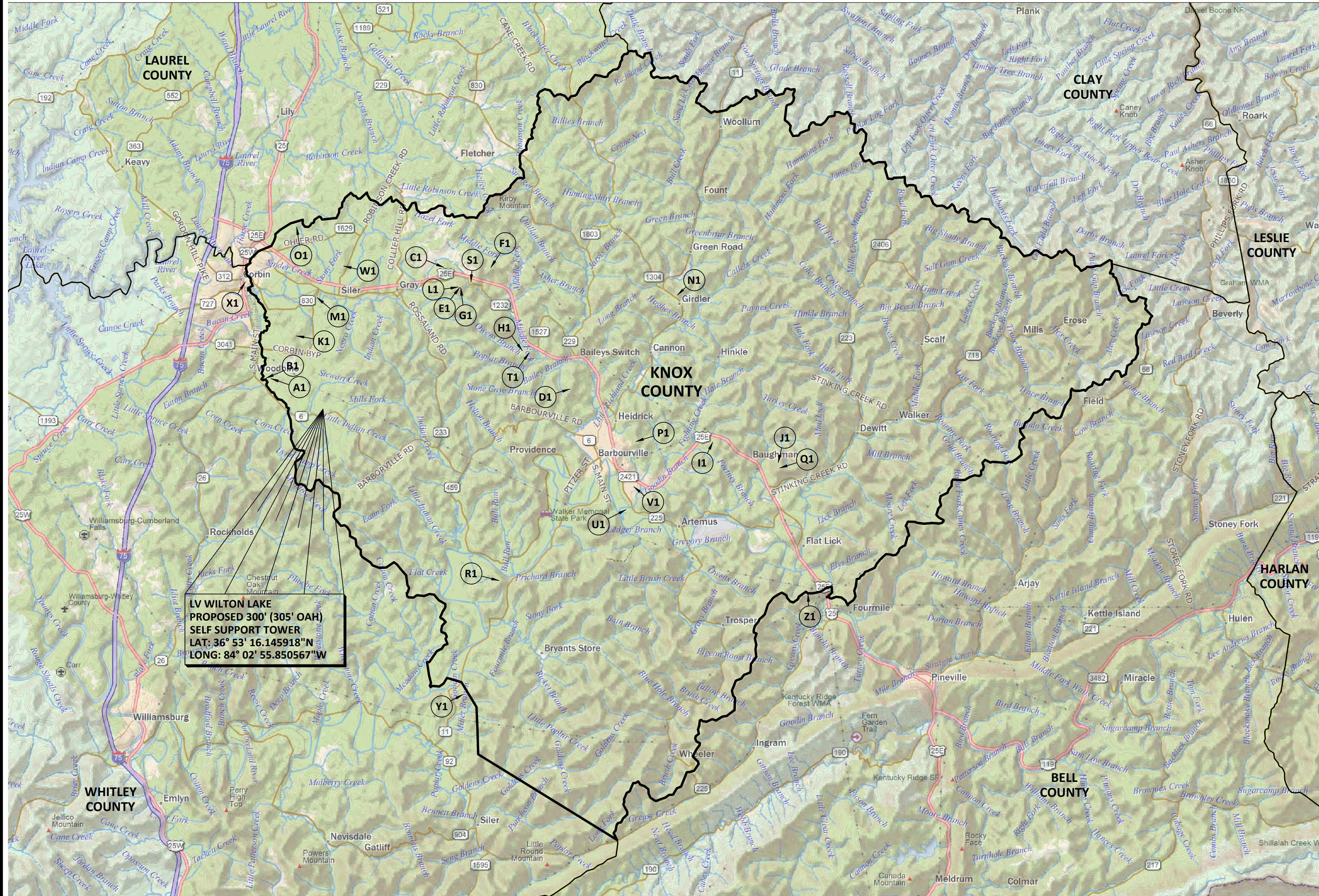
10-31-2022

REV		DESCRIPTION OF REVISIONS		CPD	BY	DATE	SITE <b>PIKY308-KY-WOODBINE-WILTON LAKE 1, KY</b> <b>PARALLEL INFRASTRUCTURE</b> <b>U 31 X 300'</b>  COPYRIGHT 2022	DESCRIPTION <b>DRILLED PIERS</b> <b>TOWER FOUNDATION #2</b>	 1-877-467-4763 Plymouth, IN 1-800-547-2151 Salem, OR	DWG. NO. <b>293733F</b>	PAGE <b>2 OF 2</b>
DRAWN BY: <b>SAN</b> APPROVED BY: <b>SAN</b> DESIGNED BY: <b>JOSEPH</b> APPROVED BY: <b>JPJ</b> RELEASE DATE: <b>10/31/2022</b>											



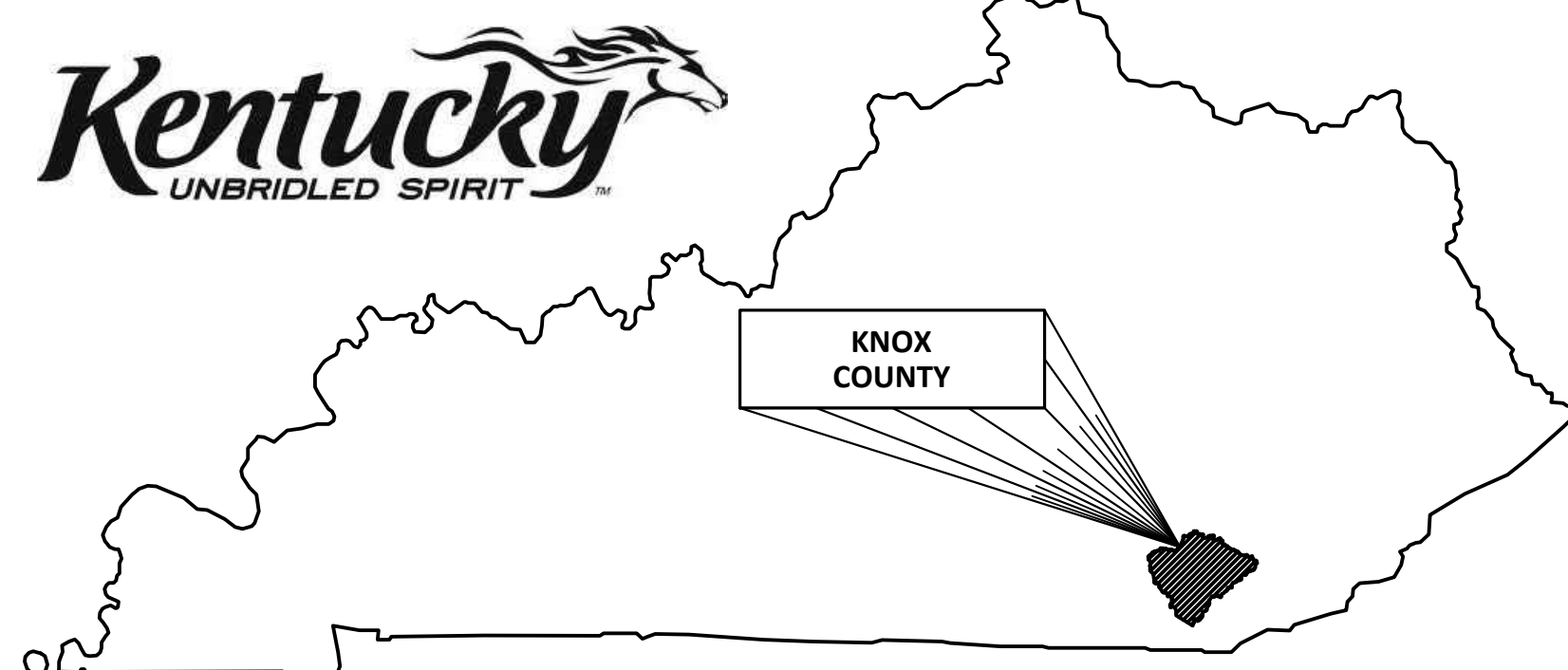
# KNOX COUNTY, KENTUCKY

## VERIZON WIRELESS SITE NAME: LV WILTON LAKE



NOTE: TOWERS DEPICTED ARE ALL KNOWN TOWER SITES REGISTERED WITH THE FEDERAL COMMUNICATIONS COMMISSION IN KNOX COUNTY, KENTUCKY.

USGS 7.5 MINUTE QUADRANGLE: CORBIN, KY



### EXISTING TOWER LEGEND

- |  |  |
|--|--|
| <p><b>(A1)</b> FCC REGISTRATION #: 1043525<br/>ENCORE COMMUNICATION<br/>LAT: 36° 54' 08.0\"/&gt; </p>  | <p><b>(N1)</b> FCC REGISTRATION #: 1266999<br/>AMERICAN TOWERS LLC<br/>LAT: 36° 56' 28.7\"/&gt; </p>                                     |
| <p><b>(B1)</b> FCC REGISTRATION #: 1043526<br/>ENCORE COMMUNICATION<br/>dba = FM<br/>LAT: 36° 57' 09.0\"/&gt; </p>                                   | <p><b>(O1)</b> FCC REGISTRATION #: 1298099<br/>SKYWAY TOWERS, LLC<br/>LAT: 36° 58' 22.00\"/&gt; </p>                                     |
| <p><b>(C1)</b> FCC REGISTRATION #: 1043528<br/>EUBANKS REALTY CORP<br/>LAT: 36° 57' 15.0\"/&gt; </p>   | <p><b>(P1)</b> FCC REGISTRATION #: 1303142<br/>EAST KENTUCKY NETWORK, LLC<br/>dba APPALACHIAN WIRELESS<br/>LAT: 36° 52' 22.7\"/&gt; </p> |
| <p><b>(D1)</b> FCC REGISTRATION #: 1043634<br/>LITCHFIELD COUNTY CELLULAR, INC.<br/>dba = RAMCELL OF KENTUCKY<br/>LAT: 36° 53' 51.0\"/&gt; </p>      | <p><b>(Q1)</b> FCC REGISTRATION #: 1305210<br/>EAST KENTUCKY NETWORK, LLC<br/>dba APPALACHIAN WIRELESS<br/>LAT: 36° 51' 37.9\"/&gt; </p> |
| <p><b>(E1)</b> FCC REGISTRATION #: 1044808<br/>COMMONWEALTH OF KENTUCKY dba =<br/>KY EMERGENCY WARNING SYSTEM KEWS<br/>LAT: 36° 56' 41.2\"/&gt; </p> | <p><b>(R1)</b> FCC REGISTRATION #: 1306393<br/>EAST KENTUCKY NETWORK, LLC<br/>dba APPALACHIAN WIRELESS<br/>LAT: 36° 48' 29.5\"/&gt; </p> |
| <p><b>(F1)</b> FCC REGISTRATION #: 1052499<br/>CROWN CASTLE SOUTH LLC<br/>LAT: 36° 57' 14.8\"/&gt; </p>  | <p><b>(S1)</b> FCC REGISTRATION #: 1306677<br/>EAST KENTUCKY NETWORK, LLC<br/>dba APPALACHIAN WIRELESS<br/>LAT: 36° 52' 51.5\"/&gt; </p> |
| <p><b>(G1)</b> FCC REGISTRATION #: 1231917<br/>SBA INFRASTRUCTURES, LLC<br/>LAT: 36° 56' 40.6\"/&gt; </p>  | <p><b>(T1)</b> FCC REGISTRATION #: 1307204<br/>EAST KENTUCKY NETWORK, LLC<br/>dba APPALACHIAN WIRELESS<br/>LAT: 36° 54' 51.5\"/&gt; </p> |
| <p><b>(H1)</b> (GRANTED)<br/>FCC REGISTRATION #: 1232545<br/>HEMPHILL CORPORATION<br/>LAT: 36° 54' 54.9\"/&gt; </p>                                  | <p><b>(U1)</b> (GRANTED)<br/>FCC REGISTRATION #: 1311771<br/>CHOICE RADIO CORPORATION<br/>LAT: 36° 50' 28.1\"/&gt; </p>                  |
| <p><b>(I1)</b> FCC REGISTRATION #: 1232713<br/>SBA TOWERS III LLC<br/>LAT: 36° 52' 21.6\"/&gt; </p>  | <p><b>(V1)</b> FCC REGISTRATION #: 1315889<br/>TILLMAN INFRASTRUCTURE, LLC<br/>LAT: 36° 51' 06.4\"/&gt; </p>                             |
| <p><b>(J1)</b> FCC REGISTRATION #: 1246043<br/>CCATT LLC<br/>LAT: 36° 51' 46.9\"/&gt; </p>   | <p><b>(W1)</b> (GRANTED)<br/>FCC REGISTRATION #: 1316664<br/>CELLCO PARTNERSHIP<br/>LAT: 36° 57' 17.1\"/&gt; </p>                        |
| <p><b>(K1)</b> FCC REGISTRATION #: 1247122<br/>CCATT LLC<br/>LAT: 36° 55' 19.4\"/&gt; </p>   | <p><b>(X1)</b> FCC REGISTRATION #: 1003734<br/>AMERICAN TOWERS LLC<br/>LAT: 36° 56' 49.5\"/&gt; </p>                                     |
| <p><b>(L1)</b> FCC REGISTRATION #: 1256124<br/>AMERICAN TOWERS LLC<br/>LAT: 36° 56' 41.8\"/&gt; </p>   | <p><b>(Y1)</b> FCC REGISTRATION #: 1308009<br/>EAST KENTUCKY NETWORK, LLC<br/>dba APPALACHIAN WIRELESS<br/>LAT: 36° 45' 18.1\"/&gt; </p> |
| <p><b>(M1)</b> FCC REGISTRATION #: 1258493<br/>EAST KENTUCKY NETWORK, LLC<br/>dba APPALACHIAN WIRELESS<br/>LAT: 36° 56' 24.5\"/&gt; </p>             | <p><b>(Z1)</b> FCC REGISTRATION #: 1308252<br/>EAST KENTUCKY NETWORK, LLC<br/>dba APPALACHIAN WIRELESS<br/>LAT: 36° 45' 58.3\"/&gt; </p> |

PREPARED BY:

11490 BLUEGRASS PARKWAY  
LOUISVILLE, KY 40299  
502-437-5252

PREPARED FOR:

### REVISIONS

REV.	DATE	DESCRIPTION
A	4.27.22	ISSUED FOR REVIEW

**SITE INFORMATION:**  
**LV WILTON LAKE**  
 KENTUCKY HIGHWAY 3436  
 a.k.a. LIBERTY ROAD  
 CORBIN, KY 40701  
 KNOX COUNTY

**TAX PARCEL NUMBER:**  
 014-00-046.00

**PROPERTY OWNER:**  
 FREDDIE & SHIRLEY LOGAN  
 5375 KENTUCKY HWY 3436  
 CORBIN, KY 40701

**SOURCE OF TITLE:**  
 DEED BOOK 244, PAGE 30

POD NUMBER: 22-121708

DRAWN BY: DAP  
 CHECKED BY: MEP  
 SURVEY DATE: 3.9.22  
 PLAT DATE: 4.27.22

SHEET TITLE:

## TOWER GRID MAP

SHEET NUMBER: (1 page)  
**C-1**



Mail Processing Center  
 Federal Aviation Administration  
 Southwest Regional Office  
 Obstruction Evaluation Group  
 10101 Hillwood Parkway  
 Fort Worth, TX 76177

Aeronautical Study No.  
 2022-ASO-29486-OE

Issued Date: 02/01/2023

Network Regulatory  
 Cellco Partnership  
 5055 North Point Pkwy  
 NP2NE Network Engineering  
 Alpharetta, GA 30022

**\*\* DETERMINATION OF NO HAZARD TO AIR NAVIGATION \*\***

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure: Antenna Tower LV Wilton Lake - C - 16811523  
 Location: Corbin, KY  
 Latitude: 36-53-16.14N NAD 83  
 Longitude: 84-02-55.85W  
 Heights: 1144 feet site elevation (SE)  
 305 feet above ground level (AGL)  
 1449 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure does not exceed obstruction standards and would not be a hazard to air navigation provided the following condition(s), if any, is(are) met:

Emissions from this site must be in compliance with the parameters set by collaboration between the FAA and telecommunications companies and reflected in the FAA 5G C band compatibility evaluation process (such as power, frequencies, and tilt angle). Operational use of this frequency band is not objectionable provided the Wireless Providers (WP) obtain and adhere to the parameters established by the FAA 5G C band compatibility evaluation process. **Failure to comply with this condition will void this determination of no hazard.**

As a condition to this Determination, the structure is to be marked/lighted in accordance with FAA Advisory circular 70/7460-1 M, Obstruction Marking and Lighting, a med-dual system-Chapters 4,8(M-Dual),&15.

Any failure or malfunction that lasts more than thirty (30) minutes and affects a top light or flashing obstruction light, regardless of its position, should be reported immediately to (877) 487-6867 so a Notice to Airmen (NOTAM) can be issued. As soon as the normal operation is restored, notify the same number.

It is required that FAA Form 7460-2, Notice of Actual Construction or Alteration, be e-filed any time the project is abandoned or:

- At least 10 days prior to start of construction (7460-2, Part 1)
- Within 5 days after the construction reaches its greatest height (7460-2, Part 2)

This determination expires on 08/01/2024 unless:

- (a) the construction is started (not necessarily completed) and FAA Form 7460-2, Notice of Actual Construction or Alteration, is received by this office.
- (b) extended, revised, or terminated by the issuing office.
- (c) the construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the FCC, within 6 months of the date of this determination. In such case, the determination expires on the date prescribed by the FCC for completion of construction, or the date the FCC denies the application.

**NOTE: REQUEST FOR EXTENSION OF THE EFFECTIVE PERIOD OF THIS DETERMINATION MUST BE E-FILED AT LEAST 15 DAYS PRIOR TO THE EXPIRATION DATE. AFTER RE-EVALUATION OF CURRENT OPERATIONS IN THE AREA OF THE STRUCTURE TO DETERMINE THAT NO SIGNIFICANT AERONAUTICAL CHANGES HAVE OCCURRED, YOUR DETERMINATION MAY BE ELIGIBLE FOR ONE EXTENSION OF THE EFFECTIVE PERIOD.**

This determination is based, in part, on the foregoing description which includes specific coordinates, heights, frequency(ies) and power. Any changes in coordinates, heights, and frequencies or use of greater power, except those frequencies specified in the Colo Void Clause Coalition; Antenna System Co-Location; Voluntary Best Practices, effective 21 Nov 2007, will void this determination. Any future construction or alteration, including increase to heights, power, or the addition of other transmitters, requires separate notice to the FAA. This determination includes all previously filed frequencies and power for this structure.

If construction or alteration is dismantled or destroyed, you must submit notice to the FAA within 5 days after the construction or alteration is dismantled or destroyed.

This determination does include temporary construction equipment such as cranes, derricks, etc., which may be used during actual construction of the structure. However, this equipment shall not exceed the overall heights as indicated above. Equipment which has a height greater than the studied structure requires separate notice to the FAA.

This determination concerns the effect of this structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

A copy of this determination will be forwarded to the Federal Communications Commission (FCC) because the structure is subject to their licensing authority.

If we can be of further assistance, please contact our office at (718) 553-2611, or [angelique.eersteling@faa.gov](mailto:angelique.eersteling@faa.gov). On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2022-ASO-29486-OE.

**Signature Control No: 545721248-570693705**

( DNE )

Angelique Eersteling  
Technician

Attachment(s)



Case Description  
Frequency Data  
Map(s)

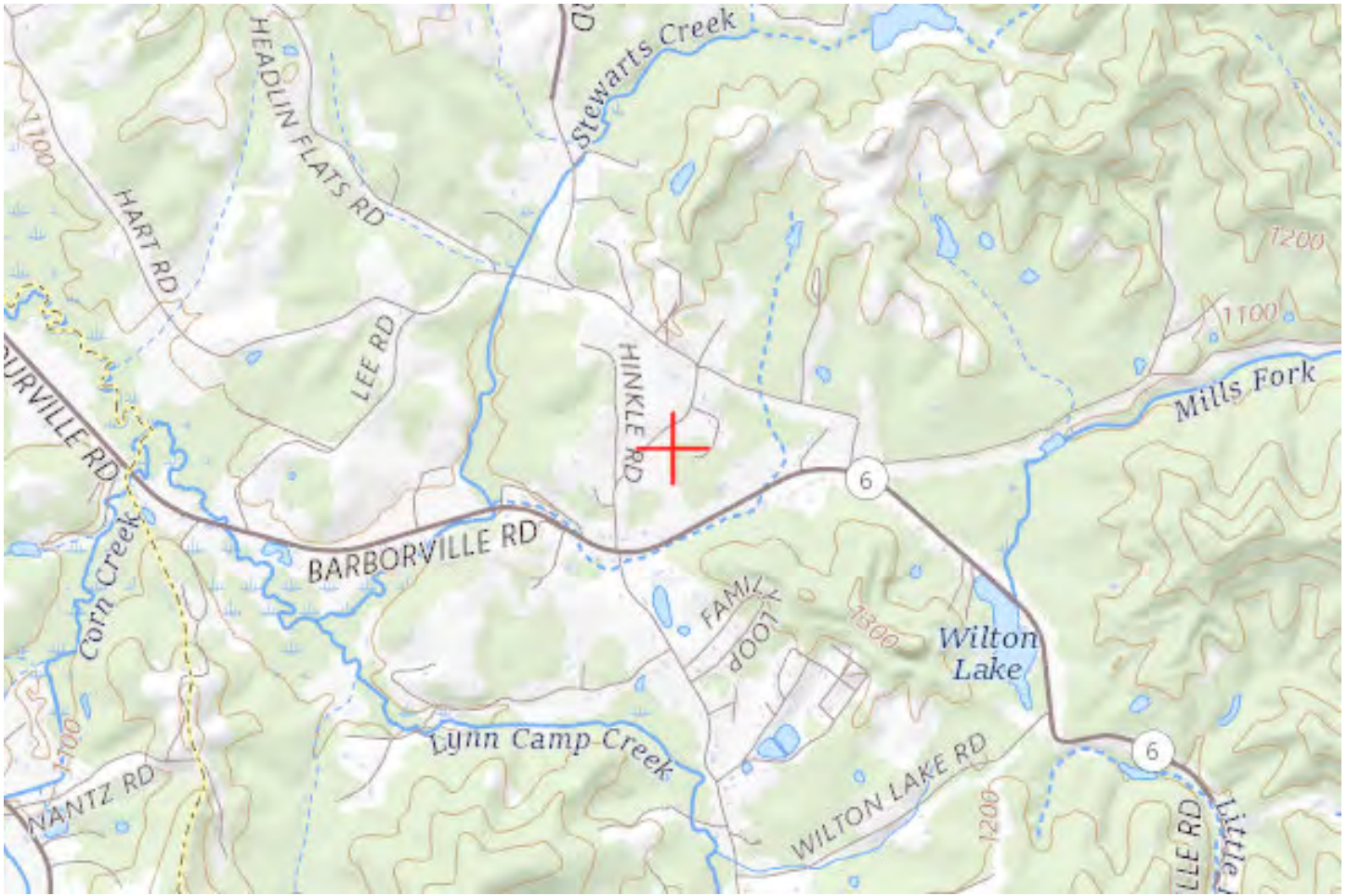
cc: FCC

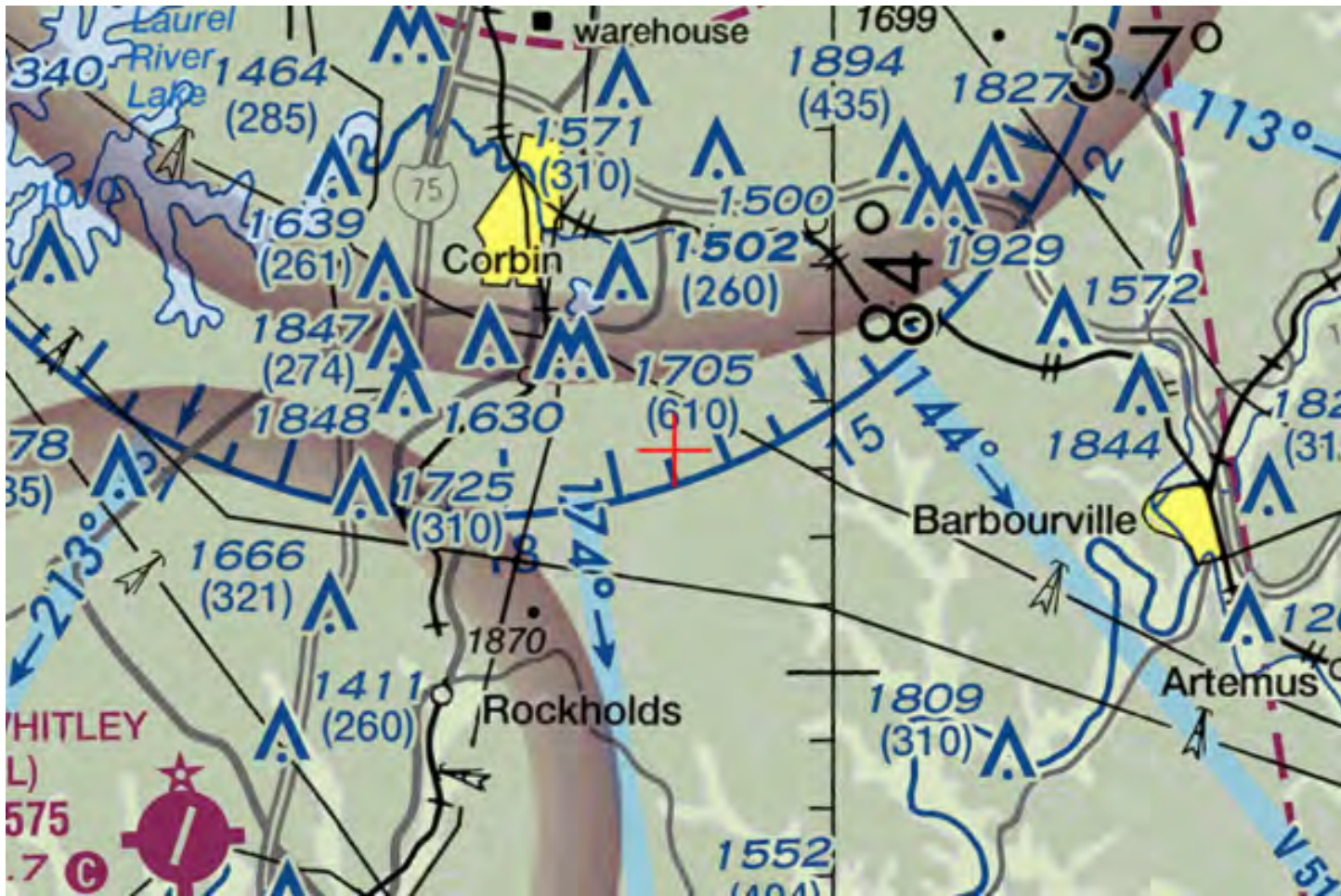
**Case Description for ASN 2022-ASO-29486-OE**

Proposed 305' antenna tower. Dual/medium intensity marking/lighting is requested. For questions contact Crystal Swanson 770-797-1233. Crystal.Swanson@verizonwireless.com

**Frequency Data for ASN 2022-ASO-29486-OE**

<b>LOW FREQUENCY</b>	<b>HIGH FREQUENCY</b>	<b>FREQUENCY UNIT</b>	<b>ERP</b>	<b>ERP UNIT</b>
6	7	GHz	55	dBW
6	7	GHz	42	dBW
10	11.7	GHz	55	dBW
10	11.7	GHz	42	dBW
17.7	19.7	GHz	55	dBW
17.7	19.7	GHz	42	dBW
21.2	23.6	GHz	55	dBW
21.2	23.6	GHz	42	dBW
614	698	MHz	2000	W
614	698	MHz	1000	W
698	806	MHz	1000	W
806	824	MHz	500	W
806	901	MHz	500	W
824	849	MHz	500	W
851	866	MHz	500	W
869	894	MHz	500	W
896	901	MHz	500	W
901	902	MHz	7	W
929	932	MHz	3500	W
930	931	MHz	3500	W
931	932	MHz	3500	W
932	932.5	MHz	17	dBW
935	940	MHz	1000	W
940	941	MHz	3500	W
1670	1675	MHz	500	W
1710	1755	MHz	500	W
1850	1910	MHz	1640	W
1850	1990	MHz	1640	W
1930	1990	MHz	1640	W
1990	2025	MHz	500	W
2110	2200	MHz	500	W
2305	2310	MHz	2000	W
2305	2360	MHz	2000	W
2345	2360	MHz	2000	W
2496	2690	MHz	500	W
3550	3700	MHz	47	dBm
3700	3980	MHz	3280	W
27500	28350	MHz	75	dBm
29100	29250	MHz	75	dBm
31000	31300	MHz	75	dBm
38600	40000	MHz	75	dBm







**KENTUCKY AIRPORT ZONING COMMISSION**

ANDY BESHEAR  
Governor

Department of Aviation, 90 Airport Road  
Frankfort, KY 40601  
www.transportation.ky.gov  
502-564-0151

JIM GRAY  
Secretary

**APPROVAL OF APPLICATION**

Friday, February 17, 2023

Verizon Wireless  
5055 North Point Parkway  
Alpharetta, GA 30022

**SUBJECT STUDY #:**

**AS-2021-100-BYL**

**Williamsburg-Whitley County Airport**

**APPLICANTS NAME:** Verizon Wireless  
**NEAREST CITY:** Corbin, KY  
**LATITUDE/LONGITUDE:** 36°53'16.14" N, 84°02'55.85" W  
**HEIGHT (In Feet):** 305' AGL /1144' AMSL  
**CONSTRUCTION PROPOSED:** Antenna Tower

**NOTES:** This proposed Antenna Tower is approximately 8.68 nm northeast of BYL near 5375 KY 3436 Liberty Road, Corbin, KY (LV Wilton Lake – C – 16811523). The antenna exceeds 200' and does not penetrate any surfaces.

**FAA DETERMINATION:** 2022-ASO-29486-OE Determination of No Hazard / No Impact to Navigation. Must comply with FAA 5G C band parameters. Medium Intensity Dual Obstruction Lighting is required in accordance with FAA Advisory Circular 70/74601-1-M.

This letter is to notify you that the Kentucky Airport Zoning Commission has approved your permit application for the construction of a Structure at the Location, Coordinates, and Height as indicated above. Also reference FAA OE/AAA Study 2022-ASO-29486-OE.

This permit is valid for a period of 18 Month(s) from its date of issuance. If construction is not completed within said 18-Month period, this permit shall lapse and be void, and no work shall be performed without the issuance of a new permit.

A copy of this notification has also been emailed to your representative, Crystal Swanson, at [crystal.swanson@verizonwireless.com](mailto:crystal.swanson@verizonwireless.com) . Contact us with any questions you may have.

Respectfully,

*Anthony Adams*

Airport Zoning Administrator  
Department of Aviation  
[AirportZoning@ky.gov](mailto:AirportZoning@ky.gov) 502-564-0151 Office



Date: July 21, 2022

POD Job Number: 21-102894

GEOTECHNICAL REPORT

**LV WILTON LAKE**

**36° 53' 16.145918" N**

**84° 02' 55.850567" W**

Liberty Road,  
Corbin, KY 40701

Prepared For:

**verizon**

Prepared By:





July 21, 2022

Ms. Jackie Straight  
Verizon Wireless  
2902 Ring Road  
Elizabethtown, KY 42701

Re: Geotechnical Report – **PROPOSED 300' SELF-SUPPORT TOWER w/ 5' LIGHTNING ARRESTOR**  
Site Name: **LV WILTON LAKE**  
Site Address: Liberty Road, Corbin, Knox County, Kentucky  
Coordinates: N36° 53' 16.145918", W84° 02' 55.850567"  
POD Project No. 21-102894

Dear Ms. Straight:

Attached is our geotechnical engineering report for the referenced project. This report contains our findings, an engineering interpretation of these findings with respect to the available project characteristics, and recommendations to aid design and construction of the tower and equipment support foundations.

We appreciate the opportunity to be of service to you on this project. If you have any questions regarding this report, please contact our office.

Cordially,

A handwritten signature in blue ink that reads "Mark Patterson".

Mark Patterson, P.E.  
Project Engineer  
License No.: KY 16300



Copies submitted: (3) Ms. Jackie Straight



**LETTER OF TRANSMITTAL**

**TABLE OF CONTENTS**

	<u>Page</u>
<b>1. PURPOSE AND SCOPE.....</b>	<b>1</b>
<b>2. PROJECT CHARACTERISTICS .....</b>	<b>1</b>
<b>3. SUBSURFACE CONDITIONS .....</b>	<b>1</b>
<b>4. FOUNDATION DESIGN RECOMMENDATIONS .....</b>	<b>2</b>
4.1. PROPOSED TOWER .....	2
4.1.1. Drilled Piers .....	3
4.1.2. Mat Foundation .....	3
4.2. EQUIPMENT PLATFORM.....	4
4.3. EQUIPMENT SLAB.....	4
4.4. EQUIPMENT BUILDING .....	4
4.5. DRAINAGE AND GROUNDWATER CONSIDERATIONS .....	5
<b>5. GENERAL CONSTRUCTION PROCEDURES AND RECOMMENDATIONS .....</b>	<b>5</b>
5.1 DRILLED PIERS .....	5
5.2 FILL COMPACTION .....	6
5.3 CONSTRUCTION DEWATERING .....	6
<b>6 FIELD INVESTIGATION .....</b>	<b>7</b>
<b>7 WARRANTY AND LIMITATIONS OF STUDY .....</b>	<b>7</b>

**APPENDIX**

BORING LOCATION PLAN  
BORING LOGS  
SOIL SAMPLE CLASSIFICATION

Geotechnical Report  
**PROPOSED 300' SELF-SUPPORT TOWER w/ 5' LIGHTNING ARRESTOR**

Site Name: **LV WILTON LAKE**  
Liberty Road, Corbin, Knox County, Kentucky  
N36° 53' 16.145918", W84° 02' 55.850567"

**1. PURPOSE AND SCOPE**

The purpose of this study was to determine the general subsurface conditions at the site of the proposed tower by drilling three borings and to evaluate this data with respect to foundation concept and design for the proposed tower and shelter. Also included is an evaluation of the site with respect to potential construction problems and recommendations dealing with quality control during construction.

**2. PROJECT CHARACTERISTICS**

Our client is proposing to construct a self-support tower and either an equipment shelter, slab, or platform at N36° 53' 16.145918", W84° 02' 55.850567", Liberty Road, Corbin, Knox County, Kentucky. The site is located in an open field in a rural residential area in Wilton to the southeast of Corbin. The proposed lease area will be 10,000 square feet and will be accessed by a new, short road off from Liberty Rd running south to the site. The elevation at the proposed tower location is about EL 1144 and there is about 9-feet of change in elevation across the proposed lease area. The development will also include a small equipment shelter near the base of the tower. The proposed tower location is shown on the Boring Location Plan in the Appendix.

**3. SUBSURFACE CONDITIONS**

The subsurface conditions were explored by drilling three test borings near the base of the proposed tower. The Geotechnical Soil Test Boring Logs, which are included in the Appendix, describes the materials and conditions encountered. A sheet defining the terms and symbols used on the boring logs is also included in the Appendix. The general subsurface conditions disclosed by the test borings are discussed in the following paragraphs.

According to the Kentucky Geological Survey, Kentucky Geologic Map Information Services, the site is underlain by the Middle Pennsylvanian age Pikeville Formation. The formation is made up of coal with shale, sandstone, siltstone, and clay and is non-karst.

The borings encountered about 3 to 4 inches of topsoil at the existing ground surface. Below the topsoil, the borings encountered silty clay (CL-CH) and clay (CH) of medium to high plasticity. The SPT N-values in the clay were between 12 and 30 blows per foot (bpf) generally indicating a stiff to very stiff consistency. The borings encountered auger refusal in the clay between 7.8 and 9.9 feet. Auger refusal is defined as the depth at which the boring can no longer be advanced using the current drilling method.

The refusal material was cored in Boring B-1 from 9.9 to 29.9 feet below the ground surface. Sandstone that was moderately weathered, moderately hard, and tan was encountered. At about 15 feet, the sandstone was less weathered, and gray. At about 20 feet, the sandstone was continuous, hard, slightly weathered, and light gray. The recoveries of the cores were about 60, 93, 100 to 100 percent with RQD values of 0, 72, 97 and 97 percent. These values generally represent fair quality rock that became excellent with depth from a foundation support viewpoint.

Observations made at the completion of soil drilling operations indicated the borings to be dry. It must be noted, however, that short-term water readings in test borings are not necessarily a reliable indication of the actual groundwater level. Furthermore, it must be emphasized that the groundwater level is not stationary but will fluctuate seasonally.

Based on the limited subsurface conditions encountered at the site and using Table 1615.1.1 of the 2018 Kentucky Building Code, the site class is considered "C". Seismic design requirements for telecommunication towers are given in section 1622 of the code. A detailed seismic study was beyond the scope of this report.

#### **4. FOUNDATION DESIGN RECOMMENDATIONS**

The following design recommendations are based on the previously described project information, the subsurface conditions encountered in our borings, the results of our laboratory testing, empirical correlations for the soil types encountered, our analyses, and our experience. If there is any change in the project criteria or structure location, you should retain us to review our recommendations so that we can determine if any modifications are required. The findings of such a review can then be presented in a supplemental report or addendum.

We recommend that the geotechnical engineer be retained to review the near-final project plans and specifications, pertaining to the geotechnical aspects of the project, prior to bidding and construction. We recommend this review to check that our assumptions and evaluations are appropriate based on the current project information provided to us, and to check that our foundation and earthwork recommendations were properly interpreted and implemented.

##### **4.1. Proposed Tower**

Our findings indicate that the proposed self-support tower can be supported on drilled piers or on a common mat foundation.

**4.1.1. Drilled Piers**

The following table summarizes the recommended values for use in analyzing lateral and frictional resistance for the various strata encountered at the test boring. It is important to note that these values are estimated based on the standard penetration test results and soil types and were not directly measured. The all values provided are ultimate values and appropriate factors of safety should be used in conjunction with these values. If the piers will bear deeper than about 30 feet, a deeper boring should be drilled to determine the nature of the deeper material.

Depth Below Ground Surface, feet	0 - 2	2 - 10	10 - 20	20 - 30
<b>Ultimate Bearing Pressure (psf)</b>		9,675	27,650	100,000
<b>c</b> <b>Undrained Shear Strength, psf</b>	500	1750	5000	20,000
$\phi$ <b>Angle of Internal Friction degrees</b>	0	0	0	0
<b>Total Unit Weight, pcf</b>	120	120	135	135
<b>Soil Modulus Parameter</b> <b>k, pci</b>	30	750	1000	2000
<b>Passive Soil Pressure,</b> <b>psf/one foot of depth</b>		1,175 + 40(D-2)	3,350 + 45(D-5)	6,750 + 45(D-12)
<b>Side Friction, psf</b>		300	1200	2000

Note: D = Depth below ground surface (in feet) to point at which the passive pressure is calculated.

It is important that the drilled piers be installed by an experienced, competent drilled pier contractor who will be responsible for properly installing the piers in accordance with industry standards and generally accepted methods, without causing deterioration of the subgrade. The recommendations contained herein relate only to the soil-pier interaction and do not account for the structural design of the piers.

**4.1.2. Mat Foundation**

The tower could be supported on a common mat foundation bearing on the clay soil at a minimum of 3 feet can be designed using an allowable soil pressure of 4,000 pounds per square foot may be used. This value may be increased by 30 percent for the maximum edge pressure under transient loads. A friction value of 0.32 may be used between the

concrete and the silty clay soil. The passive pressures given for the drilled pier foundation may be used to resist lateral forces. All existing soil under the mat must be removed and replaced with an angular free draining stone such as KY #57 stone.

It is important that the mat be designed with an adequate factor of safety with regard to overturning under the maximum design wind load.

#### **4.2. Equipment Platform**

An equipment platform may be supported on shallow piers bearing in the natural clay and designed for a net allowable soil pressure of 3,000 pounds per square foot. The piers should bear at a depth of at least 30 inches to minimize the effects of frost action. All existing topsoil or soft natural soil should be removed beneath footings.

#### **4.3. Equipment Slab**

A concrete slab supporting the equipment must be supported on at least 6-inch layer of relatively clean granular material such as gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve. This is to help distribute concentrated loads and equalize moisture conditions beneath the slab. Provided that a minimum of 6 in. of granular material is placed below the slab, a modulus of subgrade reaction ( $k_{30}$ ) of 110 lbs/cu.in. can be used for design of the slab. All existing topsoil or soft natural soil should be removed beneath crushed stone layer.

#### **4.4. Equipment Building**

If an equipment building support on a slab is chosen in place of the equipment platform, it may be supported on shallow spread footings bearing in the natural clay soil and designed for a net allowable soil pressure of 3,000 pounds per square foot.

The footings should be at least ten inches wide. If the footings bear on soil, they should bear at a depth of at least 30 inches to minimize the effects of frost action. All existing topsoil or soft natural soil should be removed beneath footings.

The floor slab for the new equipment building can be supported on firm natural soils or on new compacted structural fill. Floor slabs must be supported on at least 4-inch layer of relatively clean granular material such as gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve. This is to

help distribute concentrated loads and equalize moisture conditions beneath the slab. Provided that a minimum of 4 in. of granular material is placed below the slab, a modulus of subgrade reaction ( $k_{30}$ ) of 110 lbs/cu.in. can be used for design of the floor slabs.

#### **4.5. Drainage and Groundwater Considerations**

Good site drainage must be provided. Surface run-off water should be drained away from the tower and platform and not allowed to pond. It is recommended that all foundation concrete be placed the same day the excavation is made.

At the time of this investigation, groundwater was not encountered. Therefore, no special provisions regarding groundwater control are considered necessary for shallow foundations. Any seepage should be able to be pumped with sumps.

### **5. GENERAL CONSTRUCTION PROCEDURES AND RECOMMENDATIONS**

It is possible that variations in subsurface conditions will be encountered during construction. Although only minor variations that can be readily evaluated and adjusted for during construction are anticipated, it is recommended the geotechnical engineer, or a qualified representative be retained to perform continuous inspection and review during construction of the soils-related phases of the work. This will permit correlation between the test boring data and the actual soil conditions encountered during construction.

#### **5.1 Drilled Piers**

The following recommendations are recommended for drilled pier construction:

- All piers must be poured the same day drilling is completed so that any shale is not allowed to swell. Clean the foundation bearing area so it is nearly level or suitably benched and is free of ponded water or loose material.
- Make provisions for ground water removal from the drilled shaft excavation. While the borings were dry prior to rock coring and significant seepage is not anticipated, the drilled pier contractor should have pumps on hand to remove water in the event seepage into the drilled pier is encountered.
- Specify concrete slumps ranging from 4 to 7 inches for the drilled shaft construction. These slumps are recommended to fill irregularities along the sides and bottom of the drilled hole, displace water as it is placed, and permit placement of reinforcing cages into the fluid concrete.

- Retain the geotechnical engineer to observe foundation excavations after the bottom of the hole is leveled, cleaned of any mud or extraneous material, and dewatered.
- Install a temporary protective steel casing to prevent side wall collapse, prevent excessive mud and water intrusion in the drilled shaft.
- The protective steel casing may be extracted as the concrete is placed provided a sufficient head of concrete is maintained inside the steel casing to prevent soil or water intrusion into the newly placed concrete.
- Direct the concrete placement into the drilled hole through a centering chute to reduce side flow or segregation.

## 5.2 Fill Compaction

All engineered fill placed adjacent to and above the tower foundation should be compacted to a dry density of at least 95 percent of the standard Proctor maximum dry density (ASTM D-698). This minimum compaction requirement should be increased to 98 percent for any fill placed below the tower foundation bearing elevation. Any fill placed beneath the tower foundation should be limited to well-graded sand and gravel or crushed stone. The compaction should be accomplished by placing the fill in about 8 inch (or less) loose lifts and mechanically compacting each lift to at least the specified minimum dry density. Field density tests should be performed on each lift as necessary to ensure that adequate moisture conditioning and compaction is being achieved.

Compaction by flooding is not considered acceptable. This method will generally not achieve the desired compaction and the large quantities of water will tend to soften the foundation soils.

## 5.3 Construction Dewatering

If groundwater is encountered in the shallow foundations, it should be minor and can be handled by conventional dewatering methods such as pumping from sumps.

If groundwater is encountered in the drilled pier excavations, it may be more difficult since pumping directly from the excavations could cause a deterioration of the bottom of the excavation. If the pier excavations are not dewatered, concrete should be placed by the tremie method. If groundwater sits on the bottom of the foundation for longer than an hour, the bottom should be cleaned again before the pier is poured.

## **6 FIELD INVESTIGATION**

Three soil test borings were drilled near the base of the proposed tower. Split-spoon samples were obtained by the Standard Penetration Test (SPT) procedure (ASTM D1586) in all test borings. The borings encountered auger refusal between 7.8 and 9.9 feet. A sample of the refusal material was cored in Boring B-1 from 9.9 to 29.9 feet below the ground surface. The split-spoon samples were inspected and visually classified by a geotechnical engineer. Representative portions of the soil samples were sealed in glass jars and returned to our laboratory.

The boring log is included in the Appendix along with a sheet defining the terms and symbols used on the logs and an explanation of the Standard Penetration Test (SPT) procedure. The log present visual descriptions of the soil strata encountered, Unified System soil classifications, groundwater observations, sampling information, laboratory test results, and other pertinent field data and observations.

## **7 WARRANTY AND LIMITATIONS OF STUDY**

Our professional services have been performed, our findings obtained, and our recommendations prepared in accordance with generally accepted geotechnical engineering principles and practices. This warranty is in lieu of all other warranties, either express or implied. POD Group is not responsible for the independent conclusions, opinions or recommendations made by others based on the field exploration and laboratory test data presented in this report.

A geotechnical study is inherently limited since the engineering recommendations are developed from information obtained from test borings, which depict subsurface conditions only at the specific locations, times and depths shown on the logs. Soil conditions at other locations may differ from those encountered in the test borings, and the passage of time may cause the soil conditions to change from those described in this report.

The nature and extent of variation and change in the subsurface conditions at the site may not become evident until the course of construction. Construction monitoring by the geotechnical engineer or a representative is therefore considered necessary to verify the subsurface conditions and to check that the soils connected construction phases are properly completed. If significant variations or changes are in evidence, it may then be necessary to reevaluate the recommendations of this report. Furthermore, if the project characteristics are altered significantly from those discussed in this report, if the project information contained in this report is incorrect, or if additional information becomes available, a review must be made by this office to determine if any modification in the recommendations will be required.

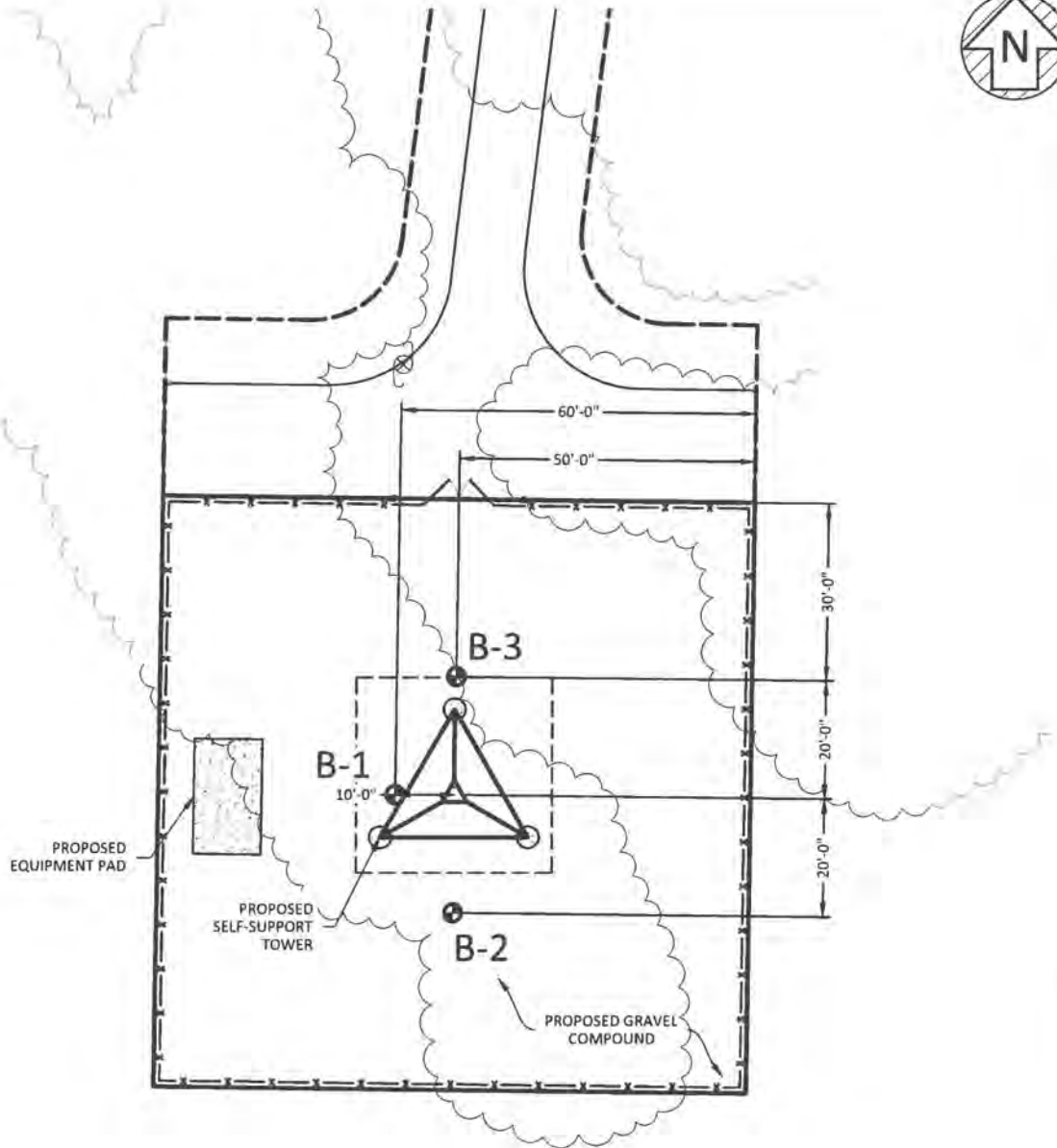


## **APPENDIX**

BORING LOCATION PLAN

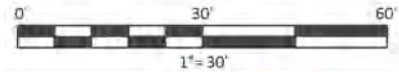
BORING LOGS

SOIL SAMPLE CLASSIFICATION



**LEGEND**

B-1 BORING LOCATION



SHEET TITLE: <b>BORING LOCATION PLAN</b>	LATITUDE: 36° 53' 16.145918" N LONGITUDE: 84° 02' 55.850567" W	SITE INFORMATION: <b>LV WILTON LAKE</b>  LIBERTY ROAD CORBIN, KY 40701 KNOX COUNTY	 11490 BLUEGRASS PKWY LOUISVILLE, KY 40299 502-437-5252
	PARCEL #: 014-00-046.00 DB 244, PG 30		
SHEET NUMBER: <b>1</b>	POD NUMBER: 21-102894  DRAWN BY: POD CHECKED BY: MEP DATE: 7.11.2022	OWNER INFORMATION: FREDDIE & SHIRLEY LOGAN 5375 LIBERTY ROAD CORBIN, KY 40701	



# Boring Log

Boring: B-1

Page 1 of 1

**Project:** LV Wilton Lake

**City, State**

Corbin, KY

**Method:** H.S.A.

**Boring Date:** 29-Jun-22

**Location:** 10' West of Proposed Tower Center

**Inside Diameter:** 3 1/4"

**Drill Rig Type:** Acker Rebel (ATV)

**Hammer Type:** Auto

**Groundwater:** DRY

**Weather:**

**Driller:** Strata Group, LLC

**Note:** About 4 inches of topsoil were encountered at the existing ground surface

From (ft)	To (ft)	Material Description	Sample Depth (ft)	Sample Type	Blows per 6-inch increment	Recovery (in)	SPT-N value	Rock Quality (RQD, %)	Atterberg Limits	Moisture Content (%)	% Fines (clay & silt)	Unconfined Compressive Strength, (ksf)
0.3	4.0	SILTY CLAY (CL-CH) - stiff, dry, light brown with highly weathered shale and highly weathered orange brown and light gray sandstone at 2.5 feet	0 - 1.5	SS	6, 7, 7	10	14,			11%		
			1.5 - 3	SS	6, 10, 50	11	60,			14%		
4.0	9.9	CLAY (CH) - stiff, slightly moist, orange brown-light gray mottled  - with highly weathered sandstone	4 - 5.5	SS	4, 5, 7	18	12,			25%		4.5
			6.5 - 8	SS	50,	4	50			13%		
9.9	29.9	SANDSTONE - moderately hard, moderately weathered, tan  - gray, large grained, less weathered  - continuous, hard, slightly weathered, light gray	9.9 - 14.9	RC		36		0%				
			14.9-19.9	RC		56		72%				
			19.9-24.9	RC		60		97%				
			24.9-29.9	RC		60		98%				

Boring Terminated at 29.9 feet



# Boring Log

Boring: B-2

Page 1 of 1

**Project:** LV Wilton Lake

**City, State**

Corbin, KY

**Method:** H.S.A.      **Boring Date:** 29-Jun-22      **Location:** 20' South of Proposed Tower Center

**Inside Diameter:** 3 1/4"      **Drill Rig Type:** Acker Rebel (ATV)      **Hammer Type:** Auto

**Groundwater:** DRY      **Weather:**

**Driller:** Strata Group, LLC      **Note:** About 3 inches of topsoil were encountered at the existing ground surface

From (ft)	To (ft)	Material Description	Sample Depth (ft)	Sample Type	Blows per 6-inch increment	Recovery (in)	SPT-N value	Rock Quality (RQD, %)	Atterberg Limits	Moisture Content (%)	% Fines (clay & silt)	Unconfined Compressive Strength, (ksf)
0.2	7.9	SILTY CLAY (CL-CH) - stiff, dry, light brown  - very stiff, orange brown-light gray mottled with clayshale	0 - 1.5	SS	5, 7, 7	10	14,			12%		6.0
			1.5 - 3	SS	7, 8, 16	6	24,			12%		
	1.5		4 - 5.5	SS	6, 12, 17	1	29,			13%		
			6.5 - 8	SS	50,	0	50					
		Auger Refusal at 7.9 feet										



# Boring Log

Boring: B-3

Page 1 of 1

**Project:** LV Wilton Lake

**City, State**

Corbin, KY

**Method:** H.S.A.      **Boring Date:** 29-Jun-22      **Location:** 20' North of Proposed Tower Center

**Inside Diameter:** 3 1/4"      **Drill Rig Type:** Acker Rebel (ATV)      **Hammer Type:** Auto

**Groundwater:** DRY      **Weather:**

**Driller:** Strata Group, LLC      **Note:** About 3 inches of topsoil were encountered at the existing ground surface

From (ft)	To (ft)	Material Description	Sample Depth (ft)	Sample Type	Blows per 6-inch increment	Recovery (in)	SPT-N value	Rock Quality (RQD,%)	Atterberg Limits	Moisture Content (%)	% Fines (clay & silt)	Unconfined Compressive Strength, (ksf)
0.2	7.8	CLAY (CH) - stiff to very stiff, orange brown-light gray mottled with clayshale	0 - 1.5	SS	4, 5, 7	8	12,			10%		
			1.5 - 3	SS	2, 8, 12	5	20,			15%		
			4 - 5.5	SS	2, 13, 19	9	32,			15%		
			6.5 - 8	SS	50,	0	50					
		Auger Refusal at 7.8 feet										

**SOIL SAMPLE CLASSIFICATION**

**FINE AND COARSE GRAINED SOIL INFORMATION**

COARSE GRAINED SOILS (SANDS & GRAVELS)		FINE GRAINED SOILS (SILTS & CLAYS)			PARTICLE SIZE	
N	Relative Density	N	Consistency	Qu, KSF Estimated		
0-4	Very Loose	0-1	Very Soft	0-0.5	Boulders	Greater than 300 mm (12 in)
5-10	Loose	2-4	Soft	0.5-1	Cobbles	75 mm to 300 mm (3 to 12 in)
11-20	Firm	5-8	Firm	1-2	Gravel	4.74 mm to 75 mm (3/16 to 3 in)
21-30	Very Firm	9-15	Stiff	2-4	Coarse Sand	2 mm to 4.75 mm
31-50	Dense	16-30	Very Stiff	4-8	Medium Sand	0.425 mm to 2 mm
Over 50	Very Dense	Over 31	Hard	8+	Fine Sand	0.075 mm to 0.425 mm
					Silts & Clays	Less than 0.075 mm

The **STANDARD PENETRATION TEST** as defined by ASTM D 1586 is a method to obtain a disturbed soil sample for examination and testing and to obtain relative density and consistency information. A standard 1.4-inch I.D./2-inch O.D. split-barrel sampler is driven three 6-inch increments with a 140 lb. hammer falling 30 inches. The hammer can either be of a trip, free-fall design, or actuated by a rope and cathead. The blow counts required to drive the sampler the final two increments are added together and designate the N-value defined in the above tables.

**ROCK PROPERTIES**

ROCK QUALITY DESIGNATION (RQD)		ROCK HARDNESS	
Percent RQD	Quality		
0-25	Very Poor	Very Hard:	Rock can be broken by heavy hammer blows.
25-50	Poor	Hard:	Rock cannot be broken by thumb pressure, but can be broken by moderate hammer blows.
50-75	Fair	Moderately Hard:	Small pieces can be broken off along sharp edges by considerable hard thumb pressure; can be broken with light hammer blows.
75-90	Good	Soft:	Rock is coherent but breaks very easily with thumb pressure at sharp edges and crumbles with firm hand pressure.
90-100	Excellent	Very Soft:	Rock disintegrates or easily compresses when touched; can be hard to very hard soil.

Recovery =	$\frac{\text{Length of Rock Core Recovered}}{\text{Length of Core Run}}$	X100	63 REC NQ 43 RQD	Core Diameter	Inches
RQD =	$\frac{\text{Sum of 4 in. and longer Rock Pieces Recovered}}{\text{Length of Core Run}}$	X100		BQ	1-7/16
				NQ	1-7/8
				HQ	2-1/2

**SYMBOLS**

**KEY TO MATERIAL TYPES**

SOILS	
Group Symbols	Typical Names
GW	Well graded gravel - sand mixture, little or no fines
GP	Poorly graded gravels or gravel - sand mixture, little or no fines
GM	Silty gravels, gravel - sand silt mixtures
GC	Clayey gravels, gravel - sand - clay mixtures
SW	Well graded sands, gravelly sands, little or no fines
SP	Poorly graded sands or gravelly sands, little or no fines
SM	Silty sands, sand - silt mixtures
SC	Clayey sands, sand - clay mixtures
ML	Inorganic silts and very fine sands, rock flour, silty or clayey fine sands, or clayey silts
OL	Organic silts and organic silty clays of low plasticity
CL	Inorganic clays of low range plasticity, gravelly clays, sandy clays, silty clays, lean clays
MH	Inorganic silts, micaceous or diatomaceous fine sandy or silty soils, elastic silts
CH	Inorganic clays of high range plasticity, fat clays

ROCKS	
Symbols	Typical Names
	Limestone or Dolomite
	Shale
	Sandstone

**SOIL PROPERTY SYMBOLS**

- N: Standard Penetration, BPF
- M: Moisture Content, %
- LL: Liquid Limit, %
- PI: Plasticity Index, %
- Qp: Pocket Penetrometer Value, TSF
- Qu: Unconfined Compressive Strength Estimated Qu, TSF
- $\gamma_d$ : Dry Unit Weight, PCF
- F: Fines Content

**SAMPLING SYMBOLS**

- SS Split Spoon Sample
- Relatively Undisturbed Sample
- Rock Core Sample

## DIRECTIONS TO SITE

FROM KNOX COUNTY JUDGE: BARBOURVILLE, KY 40906: HEAD NORTHWEST ON COURT SQUARE TOWARD KNOX ST (226 FT). TURN RIGHT ONTO KY-6 W/N MAIN ST & CONTINUE TO FOLLOW KY-6 W (13.4 MI). TURN RIGHT ONTO LIBERTY RD (0.3 MI). SITE WILL BE LOCATED ON RIGHT (SOUTH) SIDE OF ROAD.

PREPARED BY: POWER OF DESIGN GROUP, LLC - (502) 437-5252

### LAND LEASE AGREEMENT

This Land Lease Agreement (the "Agreement") made this 24 day of June, 2022 between **Freddie Logan and Shirley Logan**, with a mailing address of 5375 KY 3436 (Liberty Road), Corbin, Kentucky 40701, hereinafter collectively designated LESSOR and **Cellco Partnership d/b/a Verizon Wireless** with its principal offices at One Verizon Way, Mail Stop 4AW100, Basking Ridge, New Jersey 07920 (telephone number 866-862-4404), hereinafter designated LESSEE. LESSOR and LESSEE are at times collectively referred to hereinafter as the "Parties" or individually as the "Party."

### WITNESSETH

In consideration of the mutual covenants contained herein and intending to be legally bound hereby, the Parties hereto agree as follows:

1. **GRANT.** In accordance with this Agreement, LESSOR hereby grants to LESSEE the right to install, maintain and operate a telecommunications tower, facility, and equipment ("Use") upon the Premises (as hereinafter defined), which are a part of that real property owned, leased or controlled by LESSOR at approximately 5375 KY 3436 (Liberty Road), Corbin, Kentucky 40701 (the "Property"). The Property is legally described on Exhibit "A" attached hereto and made a part hereof. The Premises are a portion of the Property including a portion of the parcel of land space (the "Land Space") consisting of approximately 100' x 100', or 10,000 square feet of land, as shown in detail on Exhibit "B" attached hereto and made a part hereof. LESSOR hereby grants permission to LESSEE to install, maintain and operate the telecommunications tower, facility, and equipment, antennas and appurtenances described in Exhibit "B" attached hereto. LESSEE reserves the right to replace the aforementioned equipment with similar and comparable equipment. In addition, LESSOR hereby grants to LESSEE a non-exclusive right (the "Easements") over the Property for access, ingress and egress, seven (7) days a week twenty-four (24) hours a day, on foot or motor vehicle, including trucks over or along a thirty foot (30') wide right-of-way extending from the nearest public right-of-way, Prewitt Road, to the Land Space, and for the installation and maintenance of utility wires, poles, cables, conduits, fiber, and pipes over, under, or along one or more rights of way from the Land Space, said Land Space and Rights of Way (hereinafter collectively referred to as the "Premises") being substantially as described herein in Exhibit "B" attached hereto and made a part hereof. The Property is also shown on the Tax Map of the City of Corbin, as Tax Map/Parcel ID Number **014-00-00-046.00**.

In the event any public utility is unable to use the Easements, the LESSOR hereby agrees to grant an additional right-of-way either to the LESSEE or to the public utility at no cost to the LESSEE.

LESSEE may survey the Premises and said survey shall then become Exhibit "C" which shall be attached hereto and made a part hereof, and shall control in the event of boundary and access discrepancies between it and Exhibit "B". Cost for such work shall be borne by the LESSEE.

2. **INITIAL TERM.** This Agreement shall be effective as of the date of execution by both Parties ("Effective Date"). The initial term of the Agreement shall be for five (5) years beginning on the first (1<sup>st</sup>) day of the month following the Commencement Date (as hereinafter defined). The "Commencement Date" shall be the first (1<sup>st</sup>) day of the month after LESSEE begins construction of the



telecommunications facility. LESSOR and LESSEE agree that they shall acknowledge, in writing, the Commencement Date once construction of the telecommunications facility has commenced.

3. EXTENSIONS. This Agreement shall automatically be extended for 4 additional five (5) year terms unless LESSEE terminates it at the end of the then current term by giving LESSOR written notice of the intent to terminate at least three (3) months prior to the end of the then current term. The initial term and all extensions shall be collectively referred to herein as the "Term".

4. RENTAL.

(a). Rental payments shall begin on the Commencement Date and be due at a total annual rental of [REDACTED], to be paid in equal monthly installments of [REDACTED] on the first (1<sup>st</sup>) day of the month, in advance, to LESSOR at 400 5375 KY 3436 (Liberty Road), Corbin, Kentucky 40701 or to such other person, firm, or place as LESSOR may, from time to time, designate in writing at least 30 days in advance of any rental payment date by notice given in accordance with Paragraph 20 below. LESSOR and LESSEE acknowledge and agree that the initial rental payment shall not be delivered by LESSEE until 60 days after the Commencement Date. Upon agreement of the Parties, LESSEE may pay rent by electronic funds transfer and in such event, LESSOR agrees to provide to LESSEE bank routing information for such purpose upon request of LESSEE.

(b). For any party to whom rental payments are to be made, LESSOR or any successor in interest of LESSOR hereby agrees to provide to LESSEE (i) a completed, current version of Internal Revenue Service Form W-9, or equivalent; (ii) complete and fully executed state and local withholding forms if required; and (iii) other documentation to verify LESSOR's or such other party's right to receive rental as is reasonably requested by LESSEE. Rental shall accrue in accordance with this Agreement, but LESSEE shall have no obligation to deliver rental payments until the requested documentation has been received by LESSEE. Upon receipt of the requested documentation, LESSEE shall deliver the accrued rental payments as directed by LESSOR.

(c). The rental amount shall increase by [REDACTED] at the beginning of each 5 year renewal term from the Commencement Date, as defined herein.

(d). ADDITIONAL EXTENSIONS. If at the end of the fourth (4th) five (5) year extension term this Agreement has not been terminated by either Party by giving to the other written notice of an intention to terminate it at least three (3) months prior to the end of such term, this Agreement shall continue in force upon the same covenants, terms and conditions for a further term of five (5) years and for five (5) year terms thereafter until terminated by either Party by giving to the other written notice of its intention to so terminate at least three (3) months prior to the end of such term. Annual rental for each such additional five (5) year term shall be equal to the annual rental payable with respect to the immediately preceding five (5) year term. The initial term and all extensions shall be collectively referred to herein as the "Term".

5. ACCESS. LESSEE shall have the non-exclusive right of ingress and egress from a public right-of-way, 7 days a week, 24 hours a day, over the Property to and from the Premises for the purpose of installation, operation and maintenance of LESSEE's communications equipment over or along a thirty foot (30') right-of-way ("Easement"), which shall be depicted on Exhibit "B". LESSEE may use the Easement for the installation, operation and maintenance of wires, cables,

conduits and pipes for all necessary electrical, telephone, fiber and other similar support services. In the event it is necessary, LESSOR agrees to grant LESSEE or the provider the right to install such services on, through, over and/or under the Property, provided the location of such services shall be reasonably approved by LESSOR. Notwithstanding anything to the contrary, the Premises shall include such additional space sufficient for LESSEE's radio frequency signage and/or barricades as are necessary to ensure LESSEE's compliance with Laws (as defined in Paragraph 27).

6. CONDITION OF PROPERTY. LESSOR shall deliver the Premises to LESSEE in a condition ready for LESSEE's Use and clean and free of debris. Notwithstanding the foregoing, LESSEE shall be responsible for any tree clearing/site preparation associated with the Land Space and/or Easement areas. LESSOR represents and warrants to LESSEE that as of the Effective Date, the Premises (a) in compliance with all Laws; and (b) in compliance with all EH&S Laws (as defined in Paragraph 24).

7. IMPROVEMENTS. The communications equipment including, without limitation, the tower, equipment shelters/platforms, antenna mounts, antennas, conduits, and other improvements shall be at LESSEE's expense and installation shall be at the discretion and option of LESSEE. LESSEE shall have the right to replace, repair, add or otherwise modify its communications equipment, antennas, conduits, fencing and other screening, or other improvements or any portion thereof and the frequencies over which the communications equipment operates, whether or not any of the communications equipment, antennas, conduits or other improvements are listed on any exhibit.

8. GOVERNMENT APPROVALS. LESSEE's Use is contingent upon LESSEE obtaining all of the certificates, permits and other approvals (collectively the "Government Approvals") that may be required by any Federal, State or Local authorities (collectively, the "Government Entities") as well as a satisfactory soil boring test, environmental studies, or any other due diligence LESSEE chooses that will permit LESSEE's Use. By signing this Agreement, LESSOR consents to LESSEE making all necessary applications with the appropriate zoning authority and shall cooperate with LESSEE in its effort to obtain such approvals. LESSOR shall take no action which would adversely affect the status of the Property with respect to LESSEE's Use.

9. TERMINATION. LESSEE may, unless otherwise stated, immediately terminate this Agreement upon written notice to LESSOR in the event that (i) any applications for such Government Approvals should be finally rejected; (ii) any Government Approval issued to LESSEE is canceled, expires, lapses or is otherwise withdrawn or terminated by any Government Entity; (iii) LESSEE determines that such Government Approvals may not be obtained in a timely manner; (iv) LESSEE determines any structural analysis is unsatisfactory; (v) LESSEE, in its sole discretion, determines the Use of the Premises is obsolete or unnecessary; (vi) with 3 months prior notice to LESSOR, upon the annual anniversary of the Commencement Date; or (vii) at any time before the Commencement Date for any reason or no reason in LESSEE's sole discretion.

10. INDEMNIFICATION. Subject to Paragraphs 11 and 12, each Party shall indemnify and hold the other harmless against any claim of liability or loss from personal injury or property damage resulting from or arising out of the negligence or willful misconduct of the indemnified Party, its employees, contractors or agents, except to the extent such claims or damages may be due to or caused by the negligence or willful misconduct of the other Party, or its employees, contractors or agents. The indemnified Party will provide the indemnifying Party with prompt, written notice

of any claim covered by this indemnification; provided that any failure of the indemnified Party to provide any such notice, or to provide it promptly, shall not relieve the indemnifying Party from its indemnification obligation in respect of such claim, except to the extent the indemnifying Party can establish actual prejudice and direct damages as a result thereof. The indemnified Party will cooperate appropriately with the indemnifying Party in connection with the indemnifying Party's defense of such claim. The indemnifying Party shall defend any indemnified Party, at the indemnified Party's request, against any claim with counsel reasonably satisfactory to the indemnified Party. The indemnifying Party shall not settle or compromise any such claim or consent to the entry of any judgment without the prior written consent of each indemnified Party and without an unconditional release of all claims by each claimant or plaintiff in favor of each indemnified Party.

11. INSURANCE. The LESSOR agrees that at its own cost and expense, LESSOR will maintain commercial liability insurance with limits not less than \$1,000,000 for injury to or death of one or more persons in any one occurrence and \$1,000,000 for damage or destruction in any one occurrence. The LESSEE agrees that at its own cost and expense, it will maintain commercial general liability insurance with limits not less than \$2,000,000 for injury to or death of one or more persons in any one occurrence and \$2,000,000 for damage or destruction in any one occurrence. The Parties agree to include the other Party as an additional insured. The Parties hereby waive and release any and all rights of action for negligence against the other which may hereafter arise on account of damage to the Premises or the Property, resulting from any fire, or other casualty which is insurable under "Causes of Loss – Special Form" property damage insurance or for the kind covered by standard fire insurance policies with extended coverage, regardless of whether or not, or in what amounts, such insurance is now or hereafter carried by the Parties, even if any such fire or other casualty shall have been caused by the fault or negligence of the other Party. These waivers and releases shall apply between the Parties and they shall also apply to any claims under or through either Party as a result of any asserted right of subrogation. All such policies of insurance obtained by either Party concerning the Premises or the Property shall waive the insurer's right of subrogation against the other Party.

12. LIMITATION OF LIABILITY. Except for indemnification pursuant to Paragraphs 10 and 24, a violation of Paragraph 30, or a violation of law, neither Party shall be liable to the other, or any of their respective agents, representatives, or employees for any lost revenue, lost profits, loss of technology, rights or services, incidental, punitive, indirect, special or consequential damages, loss of data, or interruption or loss of use of service, even if advised of the possibility of such damages, whether under theory of contract, tort (including negligence), strict liability or otherwise.

13. INTERFERENCE.

(a). LESSOR agrees that LESSOR and other occupants of the Property will not cause interference to LESSEE's equipment (that is measurable in accordance with industry standards to the then existing equipment of LESSEE).

(b). Without limiting any other rights or remedies, if interference occurs and continues for a period in excess of 48 hours following notice to the interfering party via telephone to LESSEE'S Network Operations Center (at (800) 224-6620/(800) 621-2622) or to LESSOR at (606) 620-7097, the interfering party shall or shall require any other user to reduce power or cease operations of the interfering equipment until the interference is cured.

(c). The Parties acknowledge that there will not be an adequate remedy at law for noncompliance with the provisions of this Paragraph and therefore the Parties shall have the right to equitable remedies such as, without limitation, injunctive relief and specific performance.

14. REMOVAL AT END OF TERM. Upon expiration or within ninety (90) days of earlier termination, LESSEE shall remove LESSEE's Communications Equipment (except footings) and restore the Premises to its original condition, reasonable wear and tear and casualty damage excepted. LESSOR agrees and acknowledges that the communications equipment shall remain the personal property of LESSEE and LESSEE shall have the right to remove the same at any time during the Term, whether or not said items are considered fixtures and attachments to real property under applicable laws. If such time for removal causes LESSEE to remain on the Premises after termination of the Agreement, LESSEE shall pay rent at the then existing monthly rate or on the existing monthly pro-rata basis if based upon a longer payment term, until the removal of the communications equipment is completed.

15. HOLDOVER. If upon expiration of the Term the Parties are negotiating a new lease or a lease extension, then this Agreement shall continue during such negotiations on a month to month basis at the rental in effect as of the date of the expiration of the Term. In the event that the Parties are not in the process of negotiating a new lease or lease extension and LESSEE holds over after the expiration or earlier termination of the Term, then LESSEE shall pay rent at the then existing monthly rate or on the existing monthly pro-rata basis if based upon a longer payment term, until the removal of the communications equipment is completed.

16. RIGHT OF FIRST REFUSAL. If at any time after the Effective Date, LESSOR receives an offer or letter of intent from any person or entity that is in the business of owning, managing or operating communications facilities or is in the business of acquiring landlord interests in agreements relating to communications facilities, to purchase fee title, an easement, a lease, a license, or any other interest in the Premises or any portion thereof or to acquire any interest in this Agreement, or an option for any of the foregoing, LESSOR shall provide written notice to LESSEE of said offer ("LESSOR's Notice"). LESSOR's Notice shall include the prospective buyer's name, the purchase price being offered, any other consideration being offered, the other terms and conditions of the offer, a description of the portion of and interest in the Premises and/or this Agreement which will be conveyed in the proposed transaction, and a copy of any letters of intent or form agreements presented to LESSOR by the third party offeror. LESSEE shall have the right of first refusal to meet any bona fide offer of sale or transfer on the terms and conditions of such offer or by effectuating a transaction with substantially equivalent financial terms. If LESSEE fails to provide written notice to LESSOR that LESSEE intends to meet such bona fide offer within thirty (30) days after receipt of LESSOR's Notice, LESSOR may proceed with the proposed transaction in accordance with the terms and conditions of such third party offer, in which event this Agreement shall continue in full force and effect and the right of first refusal described in this Paragraph shall survive any such conveyance to a third party. If LESSEE provides LESSOR with notice of LESSEE's intention to meet the third party offer within thirty (30) days after receipt of LESSOR's Notice, then if LESSOR's Notice describes a transaction involving greater space than the Premises, LESSEE may elect to proceed with a transaction covering only the Premises and the purchase price shall be pro-rated on a square footage basis. Further, LESSOR acknowledges and agrees that if LESSEE exercises this right of first refusal, LESSEE may require a reasonable period of time to conduct due diligence and effectuate the closing of a transaction on substantially equivalent financial terms of

the third party offer. For purposes of this Paragraph, any transfer, bequest or devise of LESSOR's interest in the Property as a result of the death of LESSOR, whether by will or intestate succession, or any conveyance to LESSOR's family members by direct conveyance or by conveyance to a trust for the benefit of family members shall not be considered a sale for which LESSEE has any right of first refusal.

17. RIGHTS UPON SALE. Should LESSOR, at any time during the Term, decide (i) to sell or otherwise transfer all or any part of the Property, or (ii) to grant to a third party by easement or other legal instrument an interest in and to any portion of the Premises, such sale, transfer, or grant of an easement or interest therein shall be under and subject to this Agreement and any such purchaser or transferee shall recognize LESSEE's rights hereunder. In the event that LESSOR completes any such sale, transfer, or grant described in this Paragraph without executing an assignment of the Agreement whereby the third party agrees in writing to assume all obligations of LESSOR under this Agreement, then LESSOR shall not be released from its obligations to LESSEE under this Agreement, and LESSEE shall have the right to look to LESSOR and the third party for the full performance of the Agreement.

18. LESSOR'S TITLE. LESSOR covenants that LESSEE, on paying the rent and performing the covenants herein, shall peaceably and quietly have, hold and enjoy the Premises. LESSOR represents and warrants to LESSEE as of the Effective Date and covenants during the Term that LESSOR has full authority to enter into and execute this Agreement and that there are no liens, judgments, covenants, easements, restrictions or other impediments of title that will adversely affect LESSEE's Use.

19. ASSIGNMENT. Without any approval or consent of the other Party, this Agreement may be sold, assigned or transferred by either Party to (i) any entity in which the Party directly or indirectly holds an equity or similar interest; (ii) any entity which directly or indirectly holds an equity or similar interest in the Party; or (iii) any entity directly or indirectly under common control with the Party. LESSEE may assign this Agreement to any third party tower company and/or to any entity which acquires all or substantially all of LESSEE's assets in the market defined by the FCC in which the Property is located by reason of a merger, acquisition or other business reorganization without approval or consent of LESSOR. As to other parties, this Agreement may not be sold, assigned or transferred without the written consent of the other Party, which such consent will not be unreasonably withheld, delayed or conditioned. No change of stock ownership, partnership interest or control of LESSEE or transfer upon partnership or corporate dissolution of either Party shall constitute an assignment hereunder. LESSEE may sublet the Premises in LESSEE's sole discretion.

20. NOTICES. Except for notices permitted via telephone in accordance with Paragraph 13, all notices hereunder must be in writing and shall be deemed validly given if sent by certified mail, return receipt requested or by commercial courier, provided the courier's regular business is delivery service and provided further that it guarantees delivery to the addressee by the end of the next business day following the courier's receipt from the sender, addressed as follows (or any other address that the Party to be notified may have designated to the sender by like notice):

LESSOR: Freddie and Shirley Logan  
5375 KY 3436 (Liberty Road)  
Corbin, Kentucky 40701

LESSEE: Cellco Partnership  
d/b/a Verizon Wireless  
180 Washington Valley Road  
Bedminster, New Jersey 07921  
Attention: Network Real Estate

Notice shall be effective upon actual receipt or refusal as shown on the receipt obtained pursuant to the foregoing.

21. SUBORDINATION AND NON-DISTURBANCE. If applicable and within fifteen (15) days of the Effective Date, LESSOR shall obtain a Non-Disturbance Agreement, as defined below, from its existing mortgagee(s), ground lessors and master lessors, if any, of the Property. At LESSOR's option, this Agreement shall be subordinate to any future master lease, ground lease, mortgage, deed of trust or other security interest (a "Mortgage") by LESSOR which from time to time may encumber all or part of the Property; provided, however, as a condition precedent to LESSEE being required to subordinate its interest in this Agreement to any future Mortgage covering the Property, LESSOR shall obtain for LESSEE's benefit a non-disturbance and attornment agreement for LESSEE's benefit in the form reasonably satisfactory to LESSEE, and containing the terms described below (the "Non-Disturbance Agreement"), and shall recognize LESSEE's rights under this Agreement. The Non-Disturbance Agreement shall include the encumbering party's ("Lender's") agreement that, if Lender or its successor-in-interest or any purchaser of Lender's or its successor's interest (a "Purchaser") acquires an ownership interest in the Property, Lender or such successor-in-interest or Purchaser will honor all of the terms of the Agreement. Such Non-Disturbance Agreement must be binding on all of Lender's participants in the subject loan (if any) and on all successors and assigns of Lender and/or its participants and on all Purchasers. In return for such Non-Disturbance Agreement, LESSEE will execute an agreement for Lender's benefit in which LESSEE (1) confirms that the Agreement is subordinate to the Mortgage or other real property interest in favor of Lender, (2) agrees to attorn to Lender if Lender becomes the owner of the Property and (3) agrees to accept a cure by Lender of any of LESSOR's defaults, provided such cure is completed within the deadline applicable to LESSOR. In the event LESSOR defaults in the payment and/or other performance of any mortgage or other real property interest encumbering the Property, LESSEE, may, at its sole option and without obligation, cure or correct LESSOR's default and upon doing so, LESSEE shall be subrogated to any and all rights, titles, liens and equities of the holders of such mortgage or other real property interest and LESSEE shall be entitled to deduct and setoff against all rents that may otherwise become due under this Agreement the sums paid by LESSEE to cure or correct such defaults.

22. DEFAULT. It is a "Default" if (i) either Party fails to comply with this Agreement and does not remedy the failure within thirty (30) days after written notice by the other Party or, if the failure cannot reasonably be remedied in such time, if the failing Party does not commence a remedy within the allotted thirty (30) days and diligently pursue the cure to completion within ninety (90) days after the initial written notice, or (ii) LESSOR fails to comply with this Agreement and the failure substantially interferes with LESSEE's Use, in LESSEE's reasonable discretion, and LESSOR does not remedy the failure within five (5) days after written notice from LESSEE or, if the failure cannot reasonably be remedied in such time, if LESSOR does not commence a remedy within the allotted five (5) days and diligently pursue the cure to completion within fifteen (15)

days after the initial written notice. The cure periods set forth in this Paragraph 22 do not extend the period of time in which either Party has to cure interference pursuant to Paragraph 13 of this Agreement.

23. REMEDIES. In the event of a Default, without limiting the non-defaulting Party in the exercise of any right or remedy which the non-defaulting Party may have by reason of such default, the non-defaulting Party may terminate this Agreement and/or pursue any remedy now or hereafter available to the non-defaulting Party under the Laws or judicial decisions of the state in which the Property is located. Further, upon a Default, the non-defaulting Party may at its option (but without obligation to do so), perform the defaulting Party's duty or obligation. The costs and expenses of any such performance by the non-defaulting Party shall be due and payable by the defaulting Party upon invoice therefor. If LESSEE undertakes any such performance on LESSOR's behalf and LESSOR does not pay LESSEE the full undisputed amount within thirty (30) days of its receipt of an invoice setting forth the amount due, LESSEE may offset the full undisputed amount due against all fees due and owing to LESSOR under this Agreement until the full undisputed amount is fully reimbursed to LESSEE.

24. ENVIRONMENTAL. LESSEE shall conduct its business in compliance with all applicable laws governing the protection of the environment or employee health and safety ("EH&S Laws"). LESSEE shall indemnify and hold harmless the LESSOR from claims to the extent resulting from LESSEE's violation of any applicable EH&S Laws or to the extent that LESSEE causes a release of any regulated substance to the environment. LESSOR shall indemnify and hold harmless LESSEE from all claims resulting from the violation of any applicable EH&S Laws by LESSOR or its employees, contractors or agents, or a release of any regulated substance to the environment caused by LESSOR, its employees, contractors or agents, except to the extent resulting from the activities of LESSEE. The Parties recognize that LESSEE is only leasing a small portion of LESSOR's property and that LESSEE shall not be responsible for any environmental condition or issue except to the extent resulting from LESSEE's specific activities and responsibilities. In the event that LESSEE encounters any hazardous substances that do not result from its activities, LESSEE may relocate its facilities to avoid such hazardous substances to a mutually agreeable location or, if LESSEE desires to remove at its own cost all or some the hazardous substances or materials (such as soil) containing those hazardous substances, LESSOR agrees to sign any necessary waste manifest associated with the removal, transportation and/or disposal of such substances.

25. CASUALTY. If a fire or other casualty damages the Property or the Premises and substantially impairs LESSEE's Use, in LESSEE's reasonable discretion, rent shall abate until LESSEE'S Use is restored. If LESSEE's Use is not restored within forty-five (45) days, LESSEE may terminate this Agreement.

26. CONDEMNATION. If a condemnation of any portion of the Property or Premises substantially impairs LESSEE's Use, in LESSEE's reasonable discretion, LESSEE may terminate this Agreement. LESSEE may on its own behalf make a claim in any condemnation proceeding involving the Premises for losses related to LESSEE's communications equipment, relocation costs and, specifically excluding loss of LESSEE's leasehold interest, any other damages LESSEE may incur as a result of any such condemnation.

27. APPLICABLE LAWS. During the Term, LESSOR shall maintain the Property in compliance with all applicable laws, EH&S Laws, rules, regulations, ordinances, directives, covenants,

easements, consent decrees, zoning and land use regulations, and restrictions of record, permits, building codes, and the requirements of any applicable fire insurance underwriter or rating bureau, now in effect or which may hereafter come into effect (including, without limitation, the Americans with Disabilities Act and laws regulating hazardous substances) (collectively "Laws"), LESSEE shall, in respect to the condition of the Premises and at LESSEE's sole cost and expense, comply with (i) all Laws relating solely to LESSEE's specific and unique nature of use of the Premises; and (ii) all building codes requiring modifications to the Premises due to the improvements being made by LESSEE in the Premises. It shall be LESSOR's obligation to comply with all Laws relating to the Property, without regard to specific use (including, without limitation, modifications required to enable LESSEE to obtain all necessary building permits).

28. TAXES.

(a). LESSOR shall invoice and LESSEE shall pay any applicable transaction tax (including sales, use, gross receipts, or excise tax) imposed on the LESSEE and required to be collected by the LESSOR based on any service, rental space, or equipment provided by the LESSOR to the LESSEE. LESSEE shall pay all personal property taxes, fees, assessments, or other taxes and charges imposed by any Government Entity that are imposed on the LESSEE and required to be paid by the LESSEE that are directly attributable to the LESSEE's equipment or LESSEE's use and occupancy of the Premises. Payment shall be made by LESSEE within sixty (60) days after presentation of a receipted bill and/or assessment notice which is the basis for such taxes or charges. LESSOR shall pay all ad valorem, personal property, real estate, sales and use taxes, fees, assessments or other taxes or charges that are attributable to LESSOR's Property or any portion thereof imposed by any Government Entity.

(b). LESSEE shall have the right, at its sole option and at its sole cost and expense, to appeal, challenge or seek modification of any tax assessment or billing for which LESSEE is wholly or partly responsible for payment. LESSOR shall reasonably cooperate with LESSEE at LESSEE's expense in filing, prosecuting and perfecting any appeal or challenge to taxes as set forth in the preceding sentence, including but not limited to, executing any consent, appeal or other similar document. In the event that as a result of any appeal or challenge by LESSEE, there is a reduction, credit or repayment received by the LESSOR for any taxes previously paid by LESSEE, LESSOR agrees to promptly reimburse to LESSEE the amount of said reduction, credit or repayment. In the event that LESSEE does not have the standing rights to pursue a good faith and reasonable dispute of any taxes under this paragraph, LESSOR will pursue such dispute at LESSEE's sole cost and expense upon written request of LESSEE.

29. ACCESS TO TOWER. LESSOR agrees the LESSEE shall have free access to the Tower at all times for the purpose of installing and maintaining the said equipment. LESSOR shall furnish LESSEE with necessary means of access for the purpose of ingress and egress to this site and Tower location. It is agreed, however, that only authorized engineers, employees or properly authorized contractors of LESSEE or persons under their direct supervision will be permitted to enter said premises.

30. NON-DISCLOSURE. The Parties agree this Agreement and any information exchanged between the Parties regarding the Agreement are confidential. The Parties agree not to provide copies of this Agreement or any other confidential information to any third party without the prior written consent of the other or as required by law. If a disclosure is required by law, prior



to disclosure, the Party shall notify the other Party and cooperate to take lawful steps to resist, narrow, or eliminate the need for that disclosure.

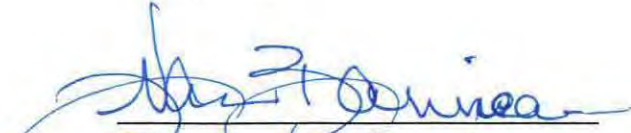
31. MOST FAVORED LESSEE. LESSOR represents and warrants that the rent, benefits and terms and conditions granted to LESSEE by LESSOR hereunder are now and shall be, during the Term, no less favorable than the rent, benefits and terms and conditions for substantially the same or similar tenancies or licenses granted by LESSOR to other parties. If at any time during the Term LESSOR shall offer more favorable rent, benefits or terms and conditions for substantially the same or similar tenancies or licenses as those granted hereunder, then LESSOR shall, within thirty (30) days after the effective date of such offering, notify LESSEE of such fact and offer LESSEE the more favorable offering. If LESSEE chooses, the parties shall then enter into an amendment that shall be effective retroactively to the effective date of the more favorable offering, and shall provide the same rent, benefits or terms and conditions to LESSEE. LESSEE shall have the right to decline to accept the offering. LESSOR's compliance with this requirement shall be subject, at LESSEE's option, to independent verification.

32. MISCELLANEOUS. This Agreement contains all agreements, promises and understandings between the LESSOR and the LESSEE regarding this transaction, and no oral agreement, promises or understandings shall be binding upon either the LESSOR or the LESSEE in any dispute, controversy or proceeding. This Agreement may not be amended or varied except in a writing signed by all Parties. This Agreement shall extend to and bind the heirs, personal representatives, successors and assigns hereto. The failure of either party to insist upon strict performance of any of the terms or conditions of this Agreement or to exercise any of its rights hereunder shall not waive such rights and such party shall have the right to enforce such rights at any time. The performance of this Agreement shall be governed, interpreted, construed and regulated by the laws of the state in which the Premises is located without reference to its choice of law rules. Except as expressly set forth in this Agreement, nothing in this Agreement shall grant, suggest or imply any authority for one Party to use the name, trademarks, service marks or trade names of the other for any purpose whatsoever. LESSOR agrees to execute a Memorandum of this Agreement, which LESSEE may record with the appropriate recording officer. The provisions of the Agreement relating to indemnification from one Party to the other Party shall survive any termination or expiration of this Agreement.

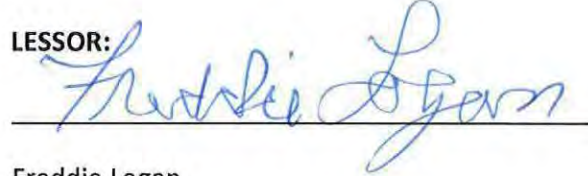
[Signature page follows. The remainder of this page is intentionally blank.]

VzW Site Name: LV Wilton Lake  
Location Code: 677497

IN WITNESS WHEREOF, the Parties hereto have set their hands and affixed their respective seals the day and year first above written.

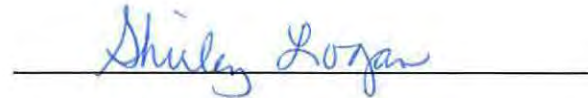
  
\_\_\_\_\_  
Jerome Van Bortvelde  
WITNESS

  
\_\_\_\_\_  
Jerome Van Bortvelde  
WITNESS

LESSOR:   
\_\_\_\_\_

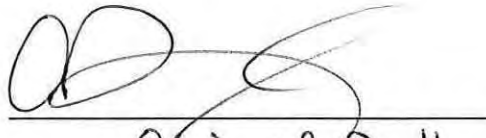
Freddie Logan

Date: 5-11-22

  
\_\_\_\_\_

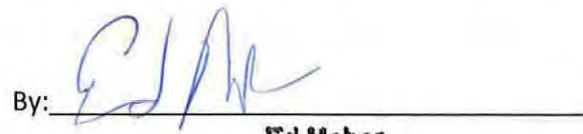
Shirley Logan

Date: 5/11/2022

  
\_\_\_\_\_  
WITNESS Abigail Ball

LESSEE:

CELLCO PARTNERSHIP d/b/a Verizon Wireless

By:   
\_\_\_\_\_

Ed Maher  
Its: **Director - Network Field Engineering**

Date: 6/24/22

**EXHIBIT "A"**

**DESCRIPTION OF PROPERTY**

Property located in Knox County, Kentucky

The following described real property located in Knox County, Kentucky, to wit:

BEGINNING on an iron pin corner to Lot #2 on the North side of Kentucky Highway #6; thence along said highway right of way N. 64 deg. 52' E. 215.5 feet to a stake; thence N. 60 deg. 37' E. 197 feet to a stake at the foot of a white oak; thence leaving said right of way with a fence N. 00 deg. 07' W. 283 feet to a stake; thence N. 00 deg 20' W. 227 feet to a stake; thence N. 01 deg. 19' W. 403 feet to a stake; thence N. 00 deg. 30' E. 246 feet to a Stake on the South side of the County Road; thence along the right of way of same S. 54 deg. 49' W. 162 feet to a stake; thence S. 71 deg. 11' W. 76 feet to a stake; thence S. 50 deg. 50' W. 242 feet to an iron pin corner to Lot #2; thence with the line of Lot #2 South 1121 feet to the Beginning. Containing 10 acres, more or less.

AND BEING the same property conveyed to Freddie Logan and Shirley Logan from Norma Wagoner Perkins and Ray Perkins by Warranty Deed dated July 13, 1989 and recorded July 24, 1989 in Deed Book 244, Page 30.

Tax Parcel No. 014-00-00-046.00

VzW Site Name: LV Wilton Lake  
Location Code 677497

**EXHIBIT "B"**

**SITE PLAN OF THE PREMISES AND DESCRIPTION OF TOWER EQUIPMENT**

CELLCO PARTNERSHIP  
D/B/A



# LV WILTON LAKE

LIBERTY ROAD  
CORBIN, KY 40701  
KNOX COUNTY

TOWER OWNER: VERIZON



CELLCO PARTNERSHIP  
D/B/A



## NEW 300'-0" SELF SUPPORT TOWER w/5'-0" LIGHTNING ARRESTOR -TOTAL TOWER HEIGHT 305'-0"

FROM LOUISVILLE MTSO-2421 HOLLOWAY ROAD LOUISVILLE, KY 40299; HEAD SOUTH ON HOLLOWAY RD TOWARD PLANTSIDE DR (0.9 MI), TURN LEFT AT THE 1ST CROSS STREET ONTO PLANTSIDE DR (0.9 MI), USE THE LEFT 2 LANES TO TURN LEFT ONTO BLANKENBAKER PKWY (0.7 MI), USE THE RIGHT LANE TO TAKE THE RAMP ONTO I-64 E (0.5 MI), MERGE ONTO I-64 E (0.5 MI), KEEP RIGHT AT THE FORK TO CONTINUE ON I-75 S (86.3 MI), TAKE EXIT 25 FOR US-25W TOWARD CORBIN (0.4 MI), TURN LEFT ONTO US-25W N/CUMBERLAND FALLS RD (0.9 MI), TURN RIGHT ONTO CORBIN BYPASS (2.4 MI), TURN RIGHT ONTO KY-3606 (1.3 MI), TURN LEFT ONTO KY-6 E (2.4 MI), SITE WILL BE LOCATED ON LEFT (NORTH) SIDE OF ROAD.

**VERIZON SITE**  
LV WILTON LAKE  
FUZE ID: 15811523  
LOCATION CODE: 677497

**SITE ADDRESS**  
LIBERTY ROAD  
CORBIN, KY 40701  
KNOX COUNTY  
9311 ADDRESS: TBD  
TOWER OWNER:  
VERIZON  
2502 RING ROAD  
ELIZABETHTOWN, KY 42701  
CONTACT: JACKIE STRAIGHT  
PHONE: (293) 750-0023  
E-MAIL: JACKIE.STRAIGHT@  
VERIZONWIRELESS.COM

**PROPERTY OWNER**  
FREDDIE & SHIRLEY LOGAN  
400 5375 KY 3436 (LIBERTY ROAD)  
CORBIN, KY 40701  
CONTACT: FREDDIE LOGAN  
PHONE: (606) 626-7097  
E-MAIL: FREDDIE.LOGAN@  
GMAIL.COM

**POLICE**  
CORBIN POLICE DEPT.  
302 S MAIN ST  
CORBIN, KY 40701  
PHONE: (606) 528-1122

**FIRE**  
WOODBINE FIRE & RESCUE  
877 KY-6  
WOODBINE, KY 40771  
PHONE: (606) 528-1199

**GENERAL INFORMATION**  
LATITUDE: 36.887818 N  
LONGITUDE: 84.048847 W  
1983 (NAD83)  
ELEVATION: 1144.0' AMSL  
1988 (NAVD83)

**VERIZON LEASE AREA**  
100' x 100'-0"  
(10,000 SF)

NOTE: ALL ITEMS WITHIN THESE CONSTRUCTION DOCUMENTS ARE BY TOWER OWNER'S GENERAL CONTRACTOR AND HIS SUB-CONTRACTORS UNLESS NOTED AS VENDOR SPECIFIED WHICH SHALL INCLUDE VERIZON GENERAL CONTRACTOR AND HIS SUB-CONTRACTORS. GENERALLY DESCRIBED BELOW:

**VERIZON VENDOR APPROVALS**

- INSTALL A NEW 300'-0" SELF SUPPORT TOWER W/ 5'-0" LIGHTNING ROD (TOTAL HEIGHT 305'-0")
- INSTALL A NEW TOWER FOUNDATION SYSTEM
- INSTALL A NEW 30" DIA. 10' DEEP CONCRETE FOUNDATION
- INSTALL A NEW SITE FRAME
- INSTALL A NEW ELECTRICAL SERVICE RUN TO SITE FRAME
- INSTALL A NEW GRAVEL ACCESS DRIVE
- NO WATER OR SEWAGE SERVICES RUN TO SITE
- INSTALL NEW TOWER & SITE SURROUNDING SYSTEM
- INSTALL NEW VSW SURFACE AND WINDING SYSTEM
- INSTALL A NEW 11'-0" x 11'-0" CONCRETE EQUIPMENT / GENERATOR PAD
- INSTALL ELECTRICAL SERVICE CONDUIT WITH PULL TAPES FROM A/C ENCLOSURE STAIR-UP WITHIN VSW EQUIPMENT PAD TO UTILITY FRAME
- INSTALL NEW CONDUITS WITH PULL TAPES FROM VSW TO EQUIPMENT ENCLOSURE STAIR-UP WITHIN VSW EQUIPMENT PAD
- INSTALL NEW CONDUITS WITH PULL TAPES FROM VSW TO EQUIPMENT ENCLOSURE STAIR-UP LOCATION TO THE GENERATOR LOCATION WITHIN VSW EQUIPMENT PAD
- INSTALL NEW CONDUITS WITH PULL TAPES FROM RE CABINET TO QWP FRAME LIFT TRUCK LOCATION
- INSTALL NEW "RADIATION SHIELD" FIBER OPTIC CONDUIT WITH PULL TAPES AND TRACER WIRE FROM VSW EQUIPMENT TO NEW "RADIATION SHIELD" 24" x 30" HANOI HOLE OUTSIDE COMPARTMENT
- INSTALL 12 NEW "RADIATION SHIELD" FIBER OPTIC CONDUIT WITH PULL TAPES AND TRACER WIRE FROM NEW "RADIATION SHIELD" 24" x 30" HANOI HOLE OUTSIDE COMPARTMENT TO NEW "RADIATION SHIELD" 10' x 40' HANOI HOLE IN SIDE
- INSTALL 12 NEW "RADIATION SHIELD" FIBER OPTIC CONDUIT WITH PULL TAPES FROM NEW "RADIATION SHIELD" 10' x 40' HANOI HOLE OUTSIDE COMPARTMENT AND STAIR UP AT FUTURE FIBER FEDERAL LOCATION
- INSTALL 25 1/4" x 11" x 11" INVERTED U CHANNELS WITH PULL TAPES AND TRACER WIRE WITHIN OWNER INSTALLED "RADIATION SHIELD" FIBER OPTIC CONDUITS
- TERMINATE ELECTRICAL POWER MUST BE AVAILABLE FOR VERIZON AT THE METER BASE PRIOR TO THE SITE BEING RELEASED AS TENANT READY.
- INSTALL A NEW 22' x 30" x 10" PRECASTED CANOPY ON EXISTING CONCRETE PAD FOUNDATION
- INSTALL NEW 200W BESS GENERATOR ON EXISTING CONCRETE FOUNDATION
- INSTALL VSW OF BRIDGE AND FOUNDATIONS
- INSTALL VSW ANTENNA MOUNTING SUPPORT STRUCTURE ON TOWER
- INSTALL VSW ANTENNA UNITS, OAK, GPS ANTENNA AND RADIO EQUIPMENT
- INSTALL EXISTING SUBSURFACE GROUND LEADS TO VSW EQUIPMENT & FACILITIES
- INSTALL VSW ELECTRICAL SERVICE CONDUITS FROM UTILITY FRAME TO VSW A/C ENCLOSURE
- INSTALL VSW GENERATOR CHUTS FROM VSW A/C & EQUIPMENT ENCL. COURSES TO VSW EQUIPMENT
- INSTALL CHUTS FROM VSW A/C TO VSW EQUIPMENT ENCLOSURES
- INSTALL NEW OUTDOOR OVP AND GROUNDING FRAME SUPPORT

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUCTED TO PERMIT WORK NOT CONFORMING TO THESE CODES.

**BUILDING CODE** 2018 KENTUCKY BUILDING CODE  
**STRUCTURAL CODE** TAKEN-222 - REVISION G (INCLUDES ADDENDUM #2)  
**MECHANICAL CODE** 2012 INTERNATIONAL MECHANICAL CODE (IMC 2012)  
**PLUMBING CODE** KENTUCKY STATE PLUMBING CODE (815 KAR CHAP. 20)  
**ELECTRICAL CODE** 2017 NATIONAL ELECTRICAL CODE (NEC) - NFPA 70  
**FIRE/LIFE SAFETY CODE** 2012 INTERNATIONAL FIRE CODE (IFC)  
**ENERGY CODE** 2012 INTERNATIONAL ENERGY CODE (COMMERCIAL)  
**GAS CODE** 2009 NATIONAL FUEL GAS CODE (NFPA 54)

**ACCESSIBILITY REQUIREMENTS:**  
FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. HANDICAPPED ACCESS REQUIREMENTS ARE NOT REQUIRED IN ACCORDANCE WITH THE 2009 IBC BUILDING CODE.

**APPLICABLE CODES**

<b>SURVIVOR</b> POWER OF DESIGN GROUP, LLC 11490 BLUEGRASS PARKWAY LOUISVILLE, KY 40299 PHONE: (502) 437-5252	<b>ARCHITECTURAL</b> POWER OF DESIGN GROUP, LLC 11490 BLUEGRASS PARKWAY LOUISVILLE, KY 40299 PHONE: (502) 437-5252
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**ELECTRICAL**  
CUMBERLAND VALLEY ELECTRIC, INC.  
ADDRESS: 6219 OLD HWY 25  
GRAY, KY 40374  
CONTACT: TBD  
PHONE: (800) 513-2677  
EMAIL: TBD

**ELECTRICAL UTILITY COORDINATION**  
IS NOT FINALIZED. DO NOT PROCEED WITH CONSTRUCTION.

SHEET NUMBER	DESCRIPTION
T-1	PROJECT INFORMATION, SITE MAPS, SHEET INDEX
B-1 TO B-1.2	SITE SURVEY
R-1	REVISION LOG
TOWER ELEVATION	TOWER ELEVATION
TE-1	
CIVIL	OVERALL SITE PLAN DETAILED SITE PLAN DIMENSIONED SITE PLAN
C-1A	
C-3	
C-4	
ELECTRICAL	OVERALL SITE UTILITY PLAN
E-0	

PRELIMINARY  
NOT FOR  
CONSTRUCTION

### LEASE EXHIBIT

REV.	DATE	DESCRIPTION
A	4.5.22	ISSUED FOR REVIEW

SITE INFORMATION:

### LV WILTON LAKE

LIBERTY ROAD  
CORBIN, KY 40701  
KNOX COUNTY

POD NUMBER: 21-83974  
DRAWN BY: POD  
CHECKED BY: MEP  
DATE: 04.05.22

SHEET TITLE:  
PROJECT  
INFORMATION, SITE  
MAPS, SHEET INDEX

SHEET NUMBER:

T-1

### PROJECT SUMMARY



VICINITY MAP

### PROJECT DESCRIPTION

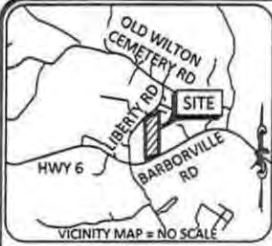


LOCATION MAP

### CONSULTANT TEAM



AERIAL



**GENERAL NOTES**

NO SEARCH OF PUBLIC RECORDS HAS BEEN COMPLETED BY POD GROUP TO DETERMINE ANY DEFECTS AND/OR AMBIGUITIES IN THE TITLE OF THE SUBJECT PROPERTY.

THIS SURVEY IS FOR THE PROPOSED LEASE AREA AND THE PROPOSED 30' ACCESS & UTILITY EASEMENT ONLY, AND ONLY A PARTIAL BOUNDARY SURVEY OF THE PARENT TRACT HAS BEEN PERFORMED.

A PORTION OF THIS SURVEY WAS CONDUCTED BY METHOD OF RANDOM TRAVERSE WITH SIDE SHOTS. UNADJUSTED CLOSURE EQUALS 0.07'. FOR A PRECISION OF 1:36,740 AND HAS NOT BEEN ADJUSTED.

THIS PROPERTY IS SUBJECT TO ANY RECORDED EASEMENTS AND/OR RIGHTS OF WAY SHOWN HEREON OR NOT.

THIS PLAT IS NOT INTENDED FOR LAND TRANSFER.

THE PARENT PARCEL, THE PROPOSED LEASE AREA, THE PROPOSED 30' ACCESS & UTILITY EASEMENT SHOWN HEREON ARE NOT LOCATED IN A 100-YEAR FLOOD PLAIN (ZONE X) PER FLOOD HAZARD BOUNDARY MAP, COMMUNITY-PANEL NUMBER 21121C0093F, DATED MARCH 16, 2015.

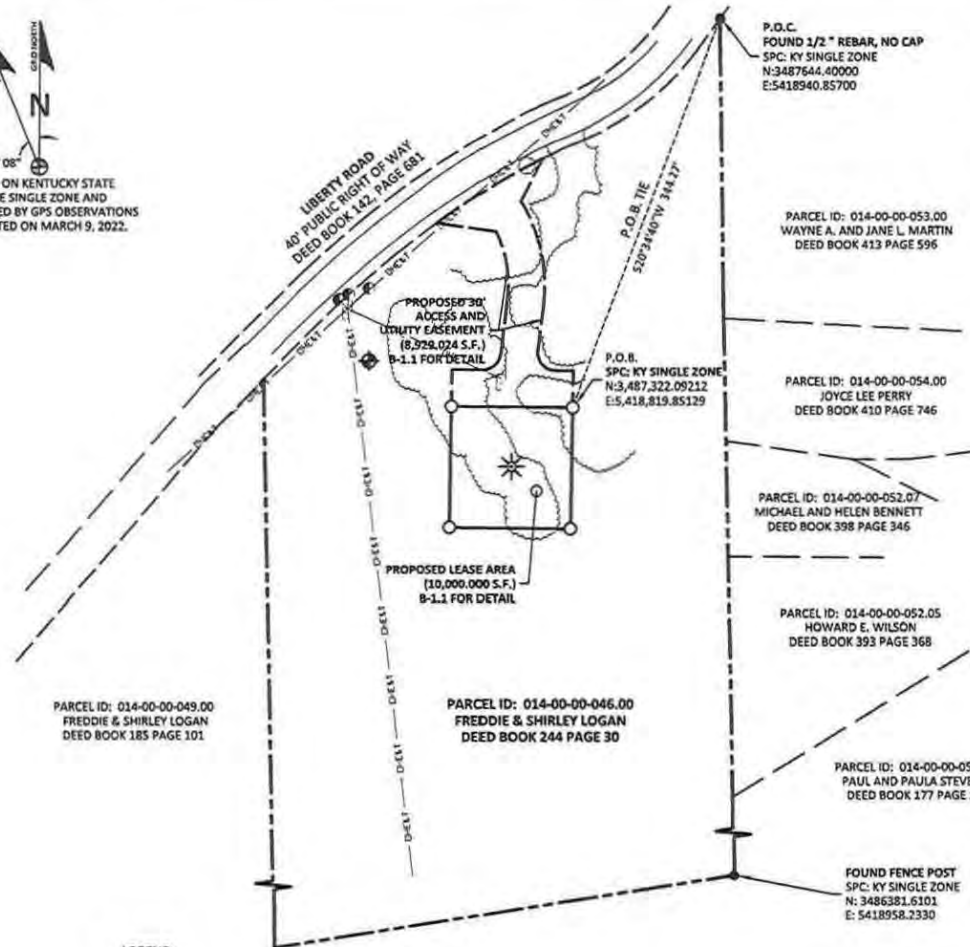


1-800-752-6007  
 ALL RIGHTS RESERVED. IT IS A VIOLATION TO REPRODUCE OR TRANSMIT THIS INFORMATION WITHOUT THE WRITTEN PERMISSION OF THE SURVEYOR.



**GLOBAL POSITIONING SYSTEMS NOTE**

- RANDOM CONTROL POINTS AND A PORTION OF THE TOPOGRAPHY WAS LOCATED USING GPS.
- THE TYPE OF GPS UTILIZED WAS NETWORK ADJUSTED REAL TIME KINEMATIC (KDOT VRS NETWORK), NAD 83 KENTUCKY SINGLE ZONE WITH THE ORTHOMETRIC HEIGHT COMPUTED USING GEOID18. RELATIVE POSITIONAL ACCURACY VARIED FROM 0.04' TO 0.07' HORIZONTALLY.
- SPECTRA PRECISION EPOCH 50 DUAL FREQUENCY RECEIVERS WERE USED TO PERFORM THE SURVEY.



**LEGEND**

- P.O.C. POINT OF COMMENCEMENT
- P.O.B. POINT OF BEGINNING
- ROW RIGHT OF WAY
- DHT --- DHT --- DHT --- EX. OVERHEAD TELEPHONE
- DHE --- DHE --- DHE --- EX. OVERHEAD ELECTRIC
- DHEAT --- DHEAT --- DHEAT --- EX. OVERHEAD ELECTRIC & TELEPHONE
- SET 1/2" REBAR 18" LONG CAPPED "PATTERSON PLS 3136" ---
- FOUND MONUMENT AS NOTED ---
- PROPERTY LINE ---
- ADJACENT PROPERTY LINE ---
- X --- X --- X --- EX. FENCE
- UTILITY POLE GUY ---

P.O.C.  
 FOUND 1/2" REBAR, NO CAP  
 SPC: KY SINGLE ZONE  
 N:3487644.40000  
 E:5418940.85700

FAA COORDINATE POINT  
 NAD 83  
 LATITUDE: 36°53'16.145918"  
 LONGITUDE: -84°02'55.850567"  
 NAVD 88  
 ELEVATION: 1144.0' ± AMSL  
 NORTHING: 3487272.7120  
 EASTING: 5418769.2390

TEMPORARY BENCHMARK  
 NORTHING: 3487360.2550  
 EASTING: 5418651.0710  
 ELEVATION: 1153.22'  
 LOCATION: SET 1/2" REBAR WITH RED CAP STAMPED "POD TRAVERSE" N84°16'31"W 69.50' ± FROM THE NORTHWEST CORNER OF THE PROPOSED LEASE AREA.

PARCEL ID: 014-00-00-053.00  
 WAYNE A. AND JANE L. MARTIN  
 DEED BOOK 413 PAGE 596

PARCEL ID: 014-00-00-054.00  
 JOYCE LEE PERRY  
 DEED BOOK 410 PAGE 746

PARCEL ID: 014-00-00-052.07  
 MICHAEL AND HELEN BENNETT  
 DEED BOOK 398 PAGE 346

PARCEL ID: 014-00-00-052.05  
 HOWARD E. WILSON  
 DEED BOOK 393 PAGE 368

PARCEL ID: 014-00-00-052.05  
 PAUL AND PAULA STEVENS  
 DEED BOOK 177 PAGE 10

FOUND FENCE POST  
 SPC: KY SINGLE ZONE  
 N: 3486381.6101  
 E: 5418958.2330

**LAND SURVEYOR'S CERTIFICATE**

I, MARK E. PATTERSON, HEREBY CERTIFY THAT I AM A LICENSED PROFESSIONAL LAND SURVEYOR LICENSED IN COMPLIANCE WITH THE LAWS OF THE COMMONWEALTH OF KENTUCKY. I FURTHER CERTIFY THAT THIS PLAT AND THE SURVEY ON THE GROUND WERE PERFORMED BY PERSONS UNDER MY DIRECT SUPERVISION, AND THAT THE DIRECTIONAL AND LINEAR MEASUREMENTS BEING WITNESSED BY MONUMENTS SHOWN HEREON ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. THE "RURAL" SURVEY, AND THE PLAT ON WHICH IT IS BASED, MEETS ALL SPECIFICATIONS AS STATED IN KAR 201.18-150.

**PRELIMINARY**



**SITE SURVEY**

REV.	DATE	DESCRIPTION
A	3.21.22	PRELIM ISSUE

**SITE INFORMATION:**

LV WILTON LAKE  
 LIBERTY ROAD  
 CORBIN, KY 40701  
 KNOX COUNTY

TAX PARCEL NUMBER:  
 014-00-046.00

PROPERTY OWNER:  
 FREDDIE & SHIRLEY LOGAN

SOURCE OF TITLE:  
 DEED BOOK 244, PAGE 30

POD NUMBER:	22-12208
DRAWN BY:	AIM
CHECKED BY:	MEP
SURVEY DATE:	3.9.22
PLAT DATE:	3.21.22

SHEET TITLE:  
**SITE SURVEY**  
 THIS DOES NOT REPRESENT A BOUNDARY SURVEY OF THE PARENT PARCEL

SHEET NUMBER: (3 pages)  
**B-1**

**GLOBAL POSITIONING SYSTEMS NOTE**

1. RANDOM CONTROL POINTS AND A PORTION OF THE TOPOGRAPHY WAS LOCATED USING GPS.
2. THE TYPE OF GPS UTILIZED WAS NETWORK ADJUSTED REAL TIME KINEMATIC (KDOT VRS NETWORK), NAD 83 KENTUCKY SINGLE ZONE WITH THE ORTHOMETRIC HEIGHT COMPUTED USING GEOID18. RELATIVE POSITIONAL ACCURACY VARIED FROM 0.04" TO 0.07" HORIZONTALLY. SPECTRA PRECISION EPOCH 50 DUAL FREQUENCY RECEIVERS WERE USED TO PERFORM THE SURVEY.

**FAA COORDINATE POINT**

NAD 83  
 LATITUDE: 36°53'16.145918"  
 LONGITUDE: -94°02'55.850567"  
 NAVD 88  
 ELEVATION: 1144.0' ± AMSL  
 NORTHING: 3487272.7120  
 EASTING: 5418769.2390

**TEMPORARY BENCHMARK**

NORTHING: 3487360.2550  
 EASTING: 5418651.0710  
 ELEVATION: 1153.22'  
 LOCATION: SET 1/2" REBAR WITH RED CAP STAMPED "POD TRAVERSE" N84°16'31"W 69.50' +/- FROM THE NORTHWEST CORNER OF THE PROPOSED LEASE AREA.

**GENERAL NOTES**

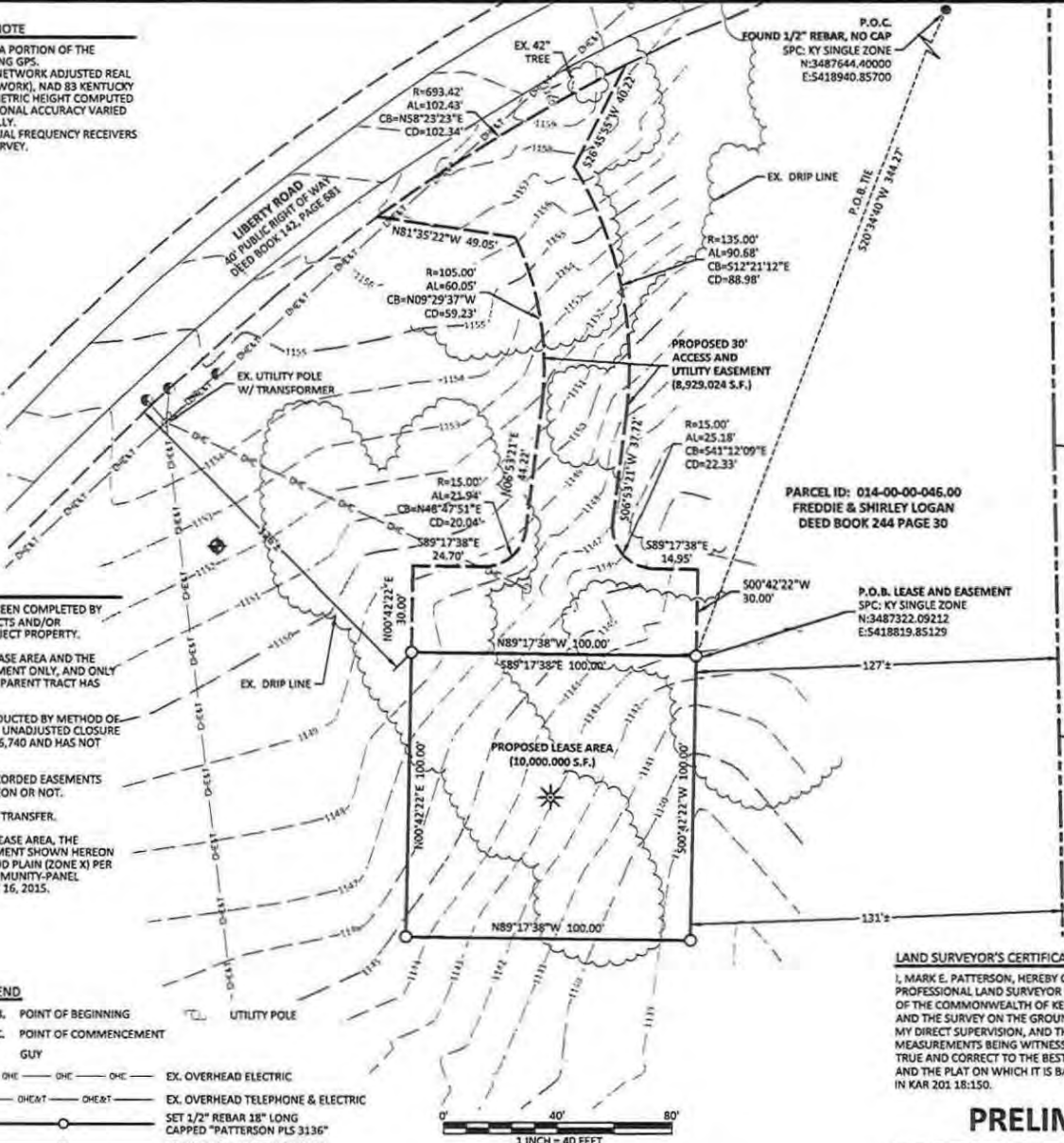
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- THE PARENT PARCEL, THE PROPOSED LEASE AREA, THE PROPOSED 30' ACCESS & UTILITY EASEMENT SHOWN HEREON ARE NOT LOCATED IN A 100-YEAR FLOOD PLAIN (ZONE X) PER FLOOD HAZARD BOUNDARY MAP, COMMUNITY-PANEL NUMBER 21121C0093F, DATED MARCH 16, 2015.



Call before you dig.  
 1-800-752-6007  
 FOR NEAREST LAW, PLEASE VISIT THE WEBSITE  
 LEGALITY SERVICE: www.ky.gov

**LEGEND**

- P.O.B. POINT OF BEGINNING
- P.O.C. POINT OF COMMENCEMENT
- GUY
- EX. OVERHEAD ELECTRIC
- EX. OVERHEAD TELEPHONE & ELECTRIC
- SET 1/2" REBAR 18" LONG CAPPED "PATTERSON PLS 3136"
- FOUND MONUMENT AS NOTED



PARCEL ID: 014-00-00-053.00  
 WAYNE A. AND JANE L. MARTIN  
 DEED BOOK 413 PAGE 596

PARCEL ID: 014-00-00-046.00  
 FREDDIE & SHIRLEY LOGAN  
 DEED BOOK 244 PAGE 30

PARCEL ID: 014-00-00-054.00  
 JOYCE LEE PERRY  
 DEED BOOK 410 PAGE 746

PARCEL ID: 014-00-00-052.07  
 MICHAEL AND HELEN BENNETT  
 DEED BOOK 398 PAGE 346

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**PRELIMINARY**

MARK PATTERSON, PLS #3136

DATE

PREPARED BY:  
**POD**  
 POWER OF DESIGN  
 11470 BLUEGRASS PARKWAY  
 LOUISVILLE, KY 40299  
 502-433-9252

PREPARED FOR:  
**verizon**  
 D/B/A  
**CELLCO PARTNERSHIP**

**SITE SURVEY**

REV.	DATE	DESCRIPTION
A	3.21.22	PRELIM ISSUE

**SITE INFORMATION:**

**LV WILTON LAKE**  
 LIBERTY ROAD  
 CORBIN, KY 40701  
 KNOX COUNTY

TAX PARCEL NUMBER:  
 014-00-046.00

PROPERTY OWNER:  
 FREDDIE & SHIRLEY LOGAN

SOURCE OF TITLE:  
 DEED BOOK 244, PAGE 30

POD NUMBER:	22-122083
DRAWN BY:	AIM
CHECKED BY:	MEP
SURVEY DATE:	3.9.22
PLAT DATE:	3.21.22

SHEET TITLE:  
**SITE SURVEY**  
 THIS DOES NOT REPRESENT A  
 BOUNDARY SURVEY OF THE  
 PARENT PARCEL

SHEET NUMBER: (3 pages)  
**B-1.1**

LEGAL DESCRIPTIONS

PROPOSED LEASE AREA

THE FOLLOWING IS A DESCRIPTION OF THE PROPOSED LEASE AREA ON THE PROPERTY CONVEYED TO FREDDIE & SHIRLEY LOGAN AS RECORDED IN THE OFFICE OF THE CLERK OF KNOX COUNTY, KENTUCKY IN DEED BOOK 244, PAGE 30, PARCEL ID: 014-00-00-053.00, WHICH IS MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEARING DATUM USED HEREIN IS BASED UPON KENTUCKY STATE PLANE COORDINATE SYSTEM, SINGLE ZONE, NAD 83, FROM A REAL TIME KINEMATIC GLOBAL POSITIONING SYSTEM OBSERVATION USING THE KENTUCKY TRANSPORTATION CABINET REAL TIME GPS NETWORK COMPLETED ON MARCH 9, 2022.

COMMENCING AT A FOUND 1/2" REBAR IN THE SOUTH LINE OF LIBERTY ROAD, AT THE COMMON CORNER OF THE PROPERTY CONVEYED TO FREDDIE & SHIRLEY LOGAN AS RECORDED IN DEED BOOK 244, PAGE 30, PARCEL ID: 014-00-046.00 AND CORNER TO THE PROPERTY CONVEYED TO WAYNE A. & JANE I. MARTIN AS RECORDED IN DEED BOOK 413, PAGE 596, PARCEL ID: 014-00-00-053.00, HAVING A STATE PLANE COORDINATE, KENTUCKY SINGLE ZONE VALUE OF N:3,487,644.40000 & E:5,418,940.85700; THENCE TRaversING THE LAND OF LOGAN, S20°34'40"W 344.27' TO A SET 1/2" REBAR 18" LONG CAPPED "PATTERSON PLS 3136", HEREAFTER REFERRED TO AS A "SET IPC", AT THE NORTHEAST CORNER OF THE PROPOSED LEASE AREA HAVING A STATE PLANE COORDINATE, KENTUCKY SINGLE ZONE VALUE OF N:3,487,322.09212 & E:5,418,819.85129, ALSO BEING THE TRUE POINT OF BEGINNING; THENCE S00°42'22"W 100.00' TO A SET "IPC" IN THE SOUTHWEST CORNER OF SAID LEASE AREA; THENCE N89°17'38"W 100.00' TO A SET "IPC" IN THE SOUTHWEST CORNER OF SAID LEASE AREA; THENCE N00°42'22"E 100.00' TO A SET "IPC" IN THE NORTHWEST CORNER OF SAID LEASE AREA; THENCE S89°17'38"E 100.00' TO THE POINT OF BEGINNING CONTAINING 10,000.000 SQ. FT. AS PER SURVEY BY MARK PATTERSON, PLS #3136 WITH POWER OF DESIGN GROUP, LLC DATED MARCH 9, 2022.

PROPOSED 30' ACCESS & UTILITY EASEMENT

THE FOLLOWING IS A DESCRIPTION OF THE PROPOSED 30' ACCESS & UTILITY EASEMENT ON THE PROPERTY CONVEYED TO TO FREDDIE & SHIRLEY LOGAN AS RECORDED IN THE OFFICE OF THE CLERK OF KNOX COUNTY, KENTUCKY IN DEED BOOK 244, PAGE 30, PARCEL ID: 014-00-00-053.00, WHICH IS MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEARING DATUM USED HEREIN IS BASED UPON KENTUCKY STATE PLANE COORDINATE SYSTEM, SINGLE ZONE, NAD 83, FROM A REAL TIME KINEMATIC GLOBAL POSITIONING SYSTEM OBSERVATION USING THE KENTUCKY TRANSPORTATION CABINET REAL TIME GPS NETWORK COMPLETED ON MARCH 9, 2022.

COMMENCING AT A FOUND 1/2" REBAR IN THE SOUTH LINE OF LIBERTY ROAD, AT THE COMMON CORNER OF THE PROPERTY CONVEYED TO FREDDIE & SHIRLEY LOGAN AS RECORDED IN DEED BOOK 244, PAGE 30, PARCEL ID: 014-00-046.00 AND CORNER TO THE PROPERTY CONVEYED TO WAYNE A. & JANE I. MARTIN AS RECORDED IN DEED BOOK 413, PAGE 596, PARCEL ID: 014-00-00-053.00, HAVING A STATE PLANE COORDINATE, KENTUCKY SINGLE ZONE VALUE OF N:3,487,644.40000 & E:5,418,940.85700; THENCE TRaversING THE LAND OF LOGAN, S20°34'40"W 344.27' TO A SET 1/2" REBAR 18" LONG CAPPED "PATTERSON PLS 3136", HEREAFTER REFERRED TO AS A "SET IPC", AT THE NORTHEAST CORNER OF THE PROPOSED LEASE AREA HAVING A STATE PLANE COORDINATE, KENTUCKY SINGLE ZONE VALUE OF N:3,487,322.09212 & E:5,418,819.85129, ALSO BEING THE TRUE POINT OF BEGINNING; THENCE N89°17'38"W 100.00' TO A SET "IPC" IN THE NORTHWEST CORNER OF SAID LEASE AREA; THENCE N00°42'22"E 30.00'; THENCE S89°17'38"E 24.70'; THENCE ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 15.00', ARC LENGTH OF 21.94', THE CHORD OF WHICH BEARS N48°47'51"E 20.04'; THENCE N06°53'21"E 44.22'; THENCE ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 105.00', ARC LENGTH OF 60.05', THE CHORD OF WHICH BEARS N09°29'37"W 59.23'; THENCE N81°35'22"W 49.05' TO A POINT IN THE SOUTH RIGHT OF WAY LINE OF LIBERTY ROAD AS RECORDED IN DEED BOOK 142, PAGE 681; THENCE ALONG SAID RIGHT OF WAY, ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 693.42', ARC LENGTH OF 102.43', THE CHORD OF WHICH BEARS N58°23'23"E 102.34'; THENCE LEAVING SAID RIGHT OF WAY, S26°45'55"W 40.22'; THENCE ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 135.00', ARC LENGTH OF 90.68', THE CHORD OF WHICH BEARS S12°21'12"E 88.98'; THENCE S06°53'21"W 37.72'; THENCE ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 15.00', ARC LENGTH OF 25.18', THE CHORD OF WHICH BEARS S41°12'09"E 22.33'; THENCE S89°17'38"E 14.95'; THENCE S00°42'22"W 30.00' TO THE POINT OF BEGINNING CONTAINING 8,929.024 SQ. FT. AS PER SURVEY BY MARK PATTERSON, PLS #3136 WITH POWER OF DESIGN GROUP, LLC DATED MARCH 9, 2022.

PARENT PARCEL (DEED BOOK 244, PAGE 30)

PROPERTY LOCATED IN KNOX COUNTY, KENTUCKY

THE FOLLOWING DESCRIBED REAL PROPERTY LOCATED IN KNOX COUNTY, KENTUCKY, TO WIT:

BEGINNING ON AN IRON PIN CORNER TO LOT #2 ON THE NORTH SIDE OF KENTUCKY HIGHWAY #6; THENCE ALONG SAID HIGHWAY RIGHT OF WAY N. 64 DEG. 52' E. 215.5 FEET TO A STAKE; THENCE N. 60 DEG. 37' E. 197 FEET TO A STAKE AT THE FOOT OF A WHITE OAK; THENCE LEAVING SAID RIGHT OF WAY WITH A FENCE N. 00 DEG. 07' W. 283 FEET TO A STAKE; THENCE N. 00 DEG 20' W. 227 FEET TO A STAKE; THENCE N. 15' W. 403 FEET TO A STAKE; THENCE N. 00 DEG. 30' E. 246 FEET TO A STAKE ON THE SOUTH SIDE OF THE COUNTY ROAD; THENCE ALONG THE RIGHT OF WAY OF SAME S. 54 DEG. 49' W. 162 FEET TO A STAKE; THENCE S. 71 DEG. 11' W. 76 FEET TO A STAKE; THENCE S. 50 DEG. 50' W. 242 FEET TO AN IRON PIN CORNER TO LOT #2; THENCE WITH THE LINE OF LOT #2 SOUTH 1121 FEET TO THE BEGINNING. CONTAINING 10 ACRES, MORE OR LESS.

AND BEING THE SAME PROPERTY CONVEYED TO FREDDIE LOGAN AND SHIRLEY LOGAN FROM NORMA WAGONER PERKINS AND RAY PERKINS BY WARRANTY DEED DATED JULY 13, 1989 AND RECORDED JULY 24, 1989 IN DEED BOOK 244, PAGE 30.

TAX PARCEL NO. 014-00-00-046.00

REPORT OF SEARCH

THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY POD GROUP, LLC AND AS SUCH WE ARE NOT RESPONSIBLE FOR THE INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, UNRECORDED EASEMENTS, AUGMENTING EASEMENTS, IMPLIED OR PRESCRIPTIVE EASEMENTS, OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE. INFORMATION REGARDING THESE MATTERS WERE GAINED FROM FIDELITY NATIONAL TITLE, ORDER NO. 36483486, PREPARED FOR VERIZON WIRELESS, PERIOD OF SEARCH: APRIL 30, 1948 TO JANUARY 28, 2022 AT 8:00 A.M., DATED: FEBRUARY 9, 2022. THE FOLLOWING COMMENTS ARE IN REGARD TO SAID SEARCH AND THE NUMBERS IN THE COMMENTS CORRESPOND TO THE NUMBERING SYSTEM IN SAID REPORT.

SEARCH DISCLOSED THE FOLLOWING:

1. TAXES  
TYPE OF TAX: COUNTY  
CALENDAR YEAR: 2021  
AMOUNT: \$18.06 ANNUALLY  
PARCEL ID #: 014-00-00-046.00  
PAID THROUGH: 2021  
ASSESSMENT: \$1700.00 (TOTAL = LAND AND IMPROVEMENTS, IF ANY) (NOT A LAND SURVEYING MATTER, THEREFORE, POD GROUP, LLC DID NOT EXAMINE OR ADDRESS THIS ITEM.)
2. EXCEPT THE COAL, OIL, GAS AND OTHER MINERALS UNDERLYING THE SURFACE OF SAID LAND AND ALL RIGHTS AND EASEMENTS IN FAVOR OF THE ESTATE OF SAID COAL, OIL, GAS AND OTHER MINERALS; INCLUDING, BUT NOT LIMITED TO, EXPRESS OR IMPLIED EASEMENTS IN, OVER AND UNDER THE ESTATE FOR THE ENTRY AND REMOVAL OF MINERALS. THIS POLICY SHOULD NOT BE CONSTRUED AS INSURING AGAINST LOSS OR DAMAGE RESULTING TO THE SURFACE OF THE LAND OR ANY IMPROVEMENTS THEREON CAUSED BY SURFACE ENTRY OR BY THE REMOVAL OF THE OIL, GAS, AND OTHER MINERALS LYING THEREUNDER. SEE INSTRUMENT RECORDED IN DEED BOOK 98, PAGE 267. (NOT A LAND SURVEYING MATTER, THEREFORE, POD GROUP, LLC DID NOT EXAMINE OR ADDRESS THIS ITEM.)
3. EASEMENT IN FAVOR OF DUMBERLAND VALLEY RURAL ELECTRIC COOPERATIVE COOPERATION SET FORTH IN INSTRUMENT RECORDED ON MARCH 18, 1948 IN DEED BOOK 98, PAGE 267. (CANNOT DETERMINE LOCATION OF EASEMENT PER DEED BOOK 98, PAGE 267.)



SITE SURVEY

REV.	DATE	DESCRIPTION
A	3.21.22	PRELIM ISSUE

SITE INFORMATION:

LV WILTON LAKE  
LIBERTY ROAD  
CORBIN, KY 40701  
KNOX COUNTY

TAX PARCEL NUMBER:  
014-00-046.00

PROPERTY OWNER:  
FREDDIE & SHIRLEY LOGAN

SOURCE OF TITLE:  
DEED BOOK 244, PAGE 30

POD NUMBER:	22-12208
DRAWN BY:	AIM
CHECKED BY:	MEP
SURVEY DATE:	3.9.22
PLAT DATE:	3.21.22

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PARENT PARCEL

SHEET NUMBER: (3 pages)

**B-1.2**

LAND SURVEYOR'S CERTIFICATE

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**PRELIMINARY**

MARK PATTERSON, PLS #3136

DATE



**REVISION LOG**

REV *	MM/DD/YY	SHEET NUMBER	DESCRIPTION OF REVISION
A	4/5/2022	ALL SHEETS	ISSUED FOR REVIEW



CELLCO PARTNERSHIP  
D/B/A



PRELIMINARY  
NOT FOR  
CONSTRUCTION

LEASE EXHIBIT

REV.	DATE	DESCRIPTION
A	4.5.22	ISSUED FOR REVIEW

SITE INFORMATION:

**LV WILTON LAKE**

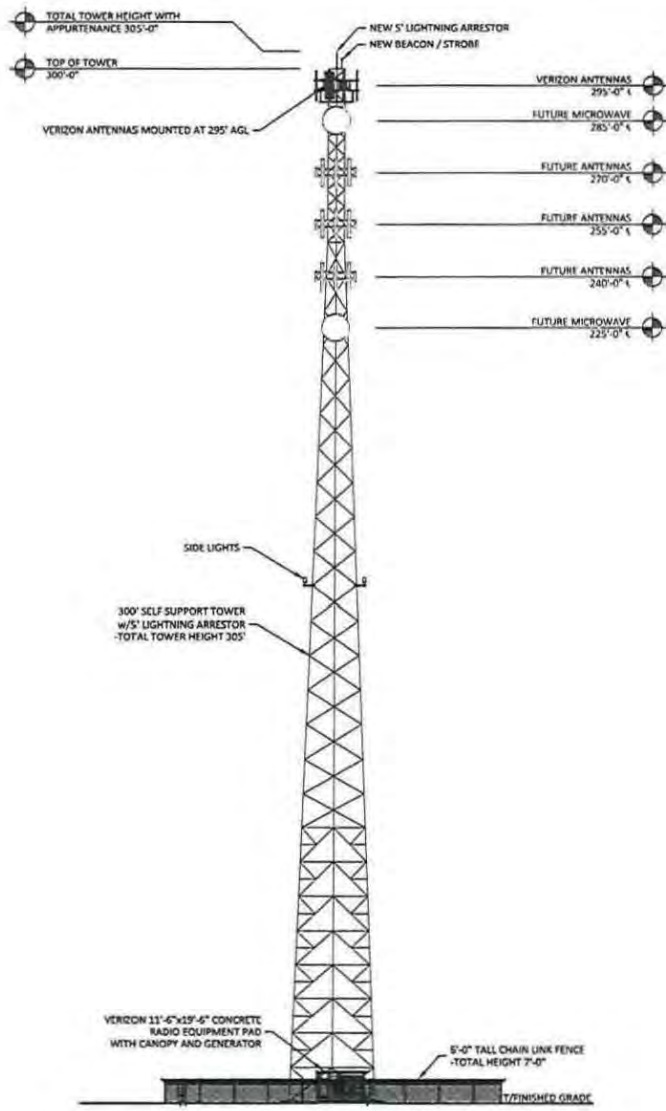
LIBERTY ROAD  
CORBIN, KY 40701  
KNOX COUNTY

POD NUMBER: 21-83974  
DRAWN BY: POD  
CHECKED BY: MEP  
DATE: 04.05.22

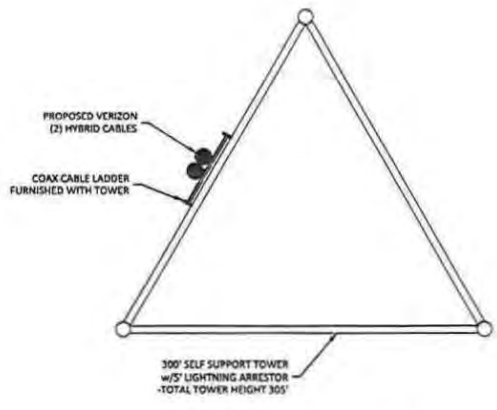
SHEET TITLE:

**REVISION LOG**

SHEET NUMBER:  
**R-1**



- NOTE:**
- IT IS THE INSTALLING CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL ANTENNA INFORMATION AGAINST FINAL RADIO ENGINEERING PLAN PROVIDED BY CELCO PARTNERSHIP d/b/a VERIZON (VZW GC).
  - ALL TOWER LIGHTING SHALL BE INSTALLED AS REQUIRED BY THE FEDERAL AVIATION ADMINISTRATION AND RECOMMENDED BY THE USFAS INTERIM GUIDELINES (2000) FOR LIGHTING OF TOWERS OVER 200' IN HEIGHT.



**TOWER ELEVATION**  
SCALE: N.T.S. 1  
TE-1

**COAX PLAN**  
SCALE: N.T.S. N



PRELIMINARY  
NOT FOR  
CONSTRUCTION

LEASE EXHIBIT

REV.	DATE	DESCRIPTION
A	4.5.22	ISSUED FOR REVIEW

SITE INFORMATION:

**LV WILTON LAKE**  
 LIBERTY ROAD  
 CORBIN, KY 40701  
 KNOX COUNTY

POD NUMBER: 21-83974  
 DRAWN BY: POD  
 CHECKED BY: MEP  
 DATE: 04.05.22

SHEET TITLE:

**TOWER ELEVATION**

SHEET NUMBER:  
**TE-1**

CELLCO PARTNERSHIP  
DBA



**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

**LEASE EXHIBIT**

REV.	DATE	DESCRIPTION
A	4.5.22	ISSUED FOR REVIEW

SITE INFORMATION:

**LV WILTON LAKE**

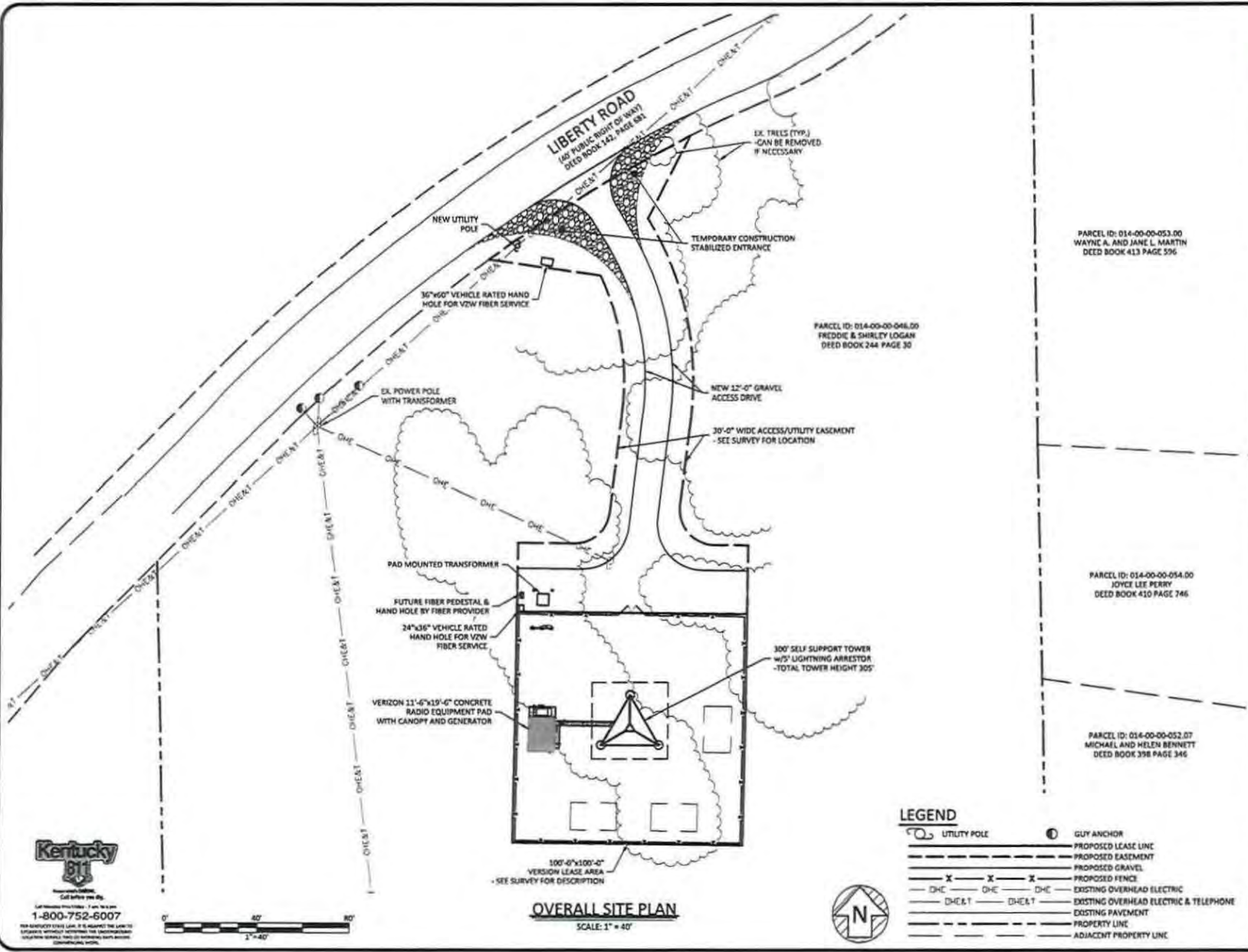
LIBERTY ROAD  
CORBIN, KY 40701  
KNOX COUNTY

POD NUMBER: 21-83974  
DRAWN BY: MEF  
CHECKED BY: MEF  
DATE: 04.05.22

SHEET TITLE:

**OVERALL SITE PLAN**

SHEET NUMBER:  
**C-1A**



CELLCO PARTNERSHIP  
DBA



PRELIMINARY  
NOT FOR  
CONSTRUCTION

LEASE EXHIBIT

REV.	DATE	DESCRIPTION
A	4.5.22	ISSUED FOR REVIEW

SITE INFORMATION:

**LV WILTON LAKE**

LIBERTY ROAD  
CORBIN, KY 40701  
KNOX COUNTY

POD NUMBER: 21-83974

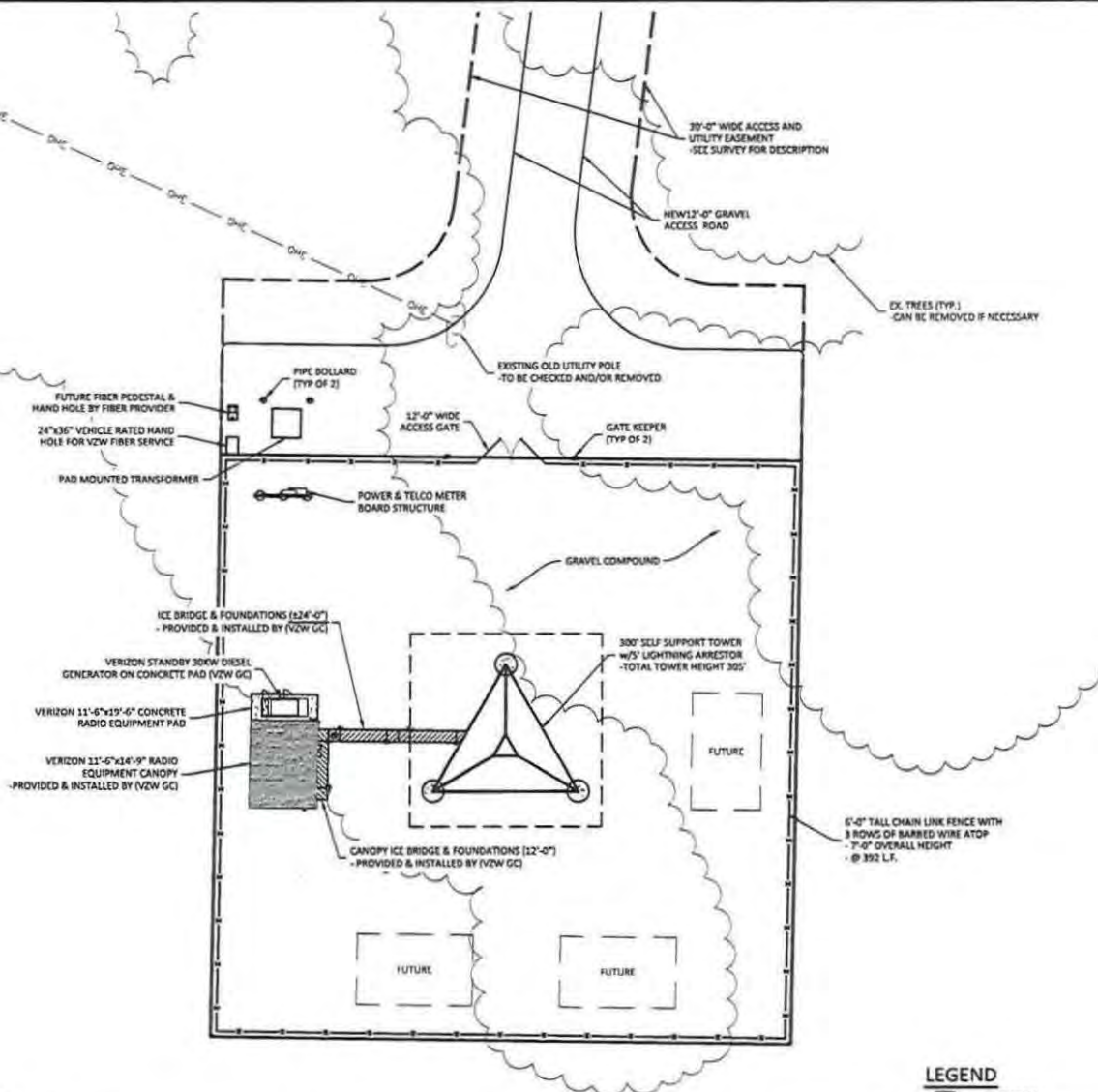
DRAWN BY: POD  
CHECKED BY: MEP  
DATE: 04.05.22

SHEET TITLE:

**DETAILED SITE PLAN**

SHEET NUMBER:

**C-3**



**LEGEND**

- UTILITY POLE
- PROPOSED LEASE LINE
- PROPOSED EASEMENT
- PROPOSED GRAVEL
- PROPOSED FENCE
- DHC
- DHE
- DHC
- EXISTING OVERHEAD ELECTRIC



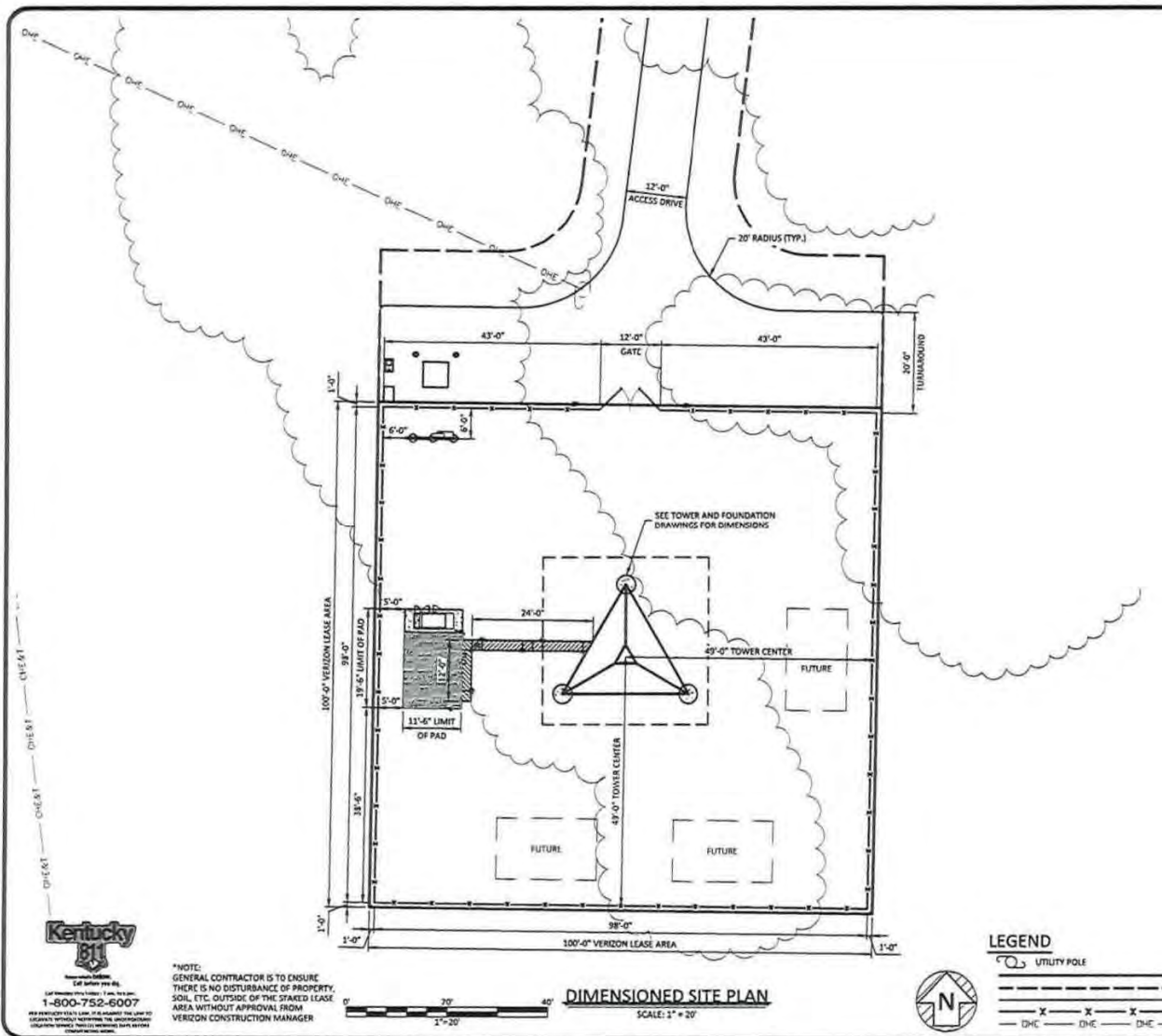
**DETAILED SITE PLAN**

SCALE: 1" = 20'

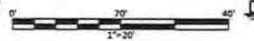
\*NOTE:  
GENERAL CONTRACTOR IS TO ENSURE  
THERE IS NO DISTURBANCE OF PROPERTY,  
SOIL, ETC. OUTSIDE OF THE STAKED LEASE  
AREA WITHOUT APPROVAL FROM  
VERIZON CONSTRUCTION MANAGER



DHEAST DHEAST DHEAST DHEAST



\*NOTE:  
GENERAL CONTRACTOR IS TO ENSURE  
THERE IS NO DISTURBANCE OF PROPERTY,  
SOIL, ETC. OUTSIDE OF THE STAKED LEASE  
AREA WITHOUT APPROVAL FROM  
VERIZON CONSTRUCTION MANAGER



**DIMENSIONED SITE PLAN**

**LEGEND**

- UTILITY POLE
- PROPOSED LEASE LINE
- PROPOSED EASEMENT
- PROPOSED GRAVEL
- PROPOSED FENCE
- EXISTING OVERHEAD ELECTRIC



CELLCO PARTNERSHIP  
DBA



PRELIMINARY  
NOT FOR  
CONSTRUCTION

LEASE EXHIBIT

REV.	DATE	DESCRIPTION
A	4.5.22	ISSUED FOR REVIEW

SITE INFORMATION:

**LV WILTON LAKE**  
LIBERTY ROAD  
CORBIN, KY 40701  
KNOX COUNTY

POD NUMBER: 21-83974  
DRAWN BY: POD  
CHECKED BY: MTP  
DATE: 04.05.22

SHEET TITLE:

**DIMENSIONED SITE PLAN**

SHEET NUMBER:  
**C-4**

CELLCO PARTNERSHIP  
DBIA



**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

**LEASE EXHIBIT**

REV.	DATE	DESCRIPTION
A	4.5.22	ISSUED FOR REVIEW

SITE INFORMATION:

**LV WILTON LAKE**

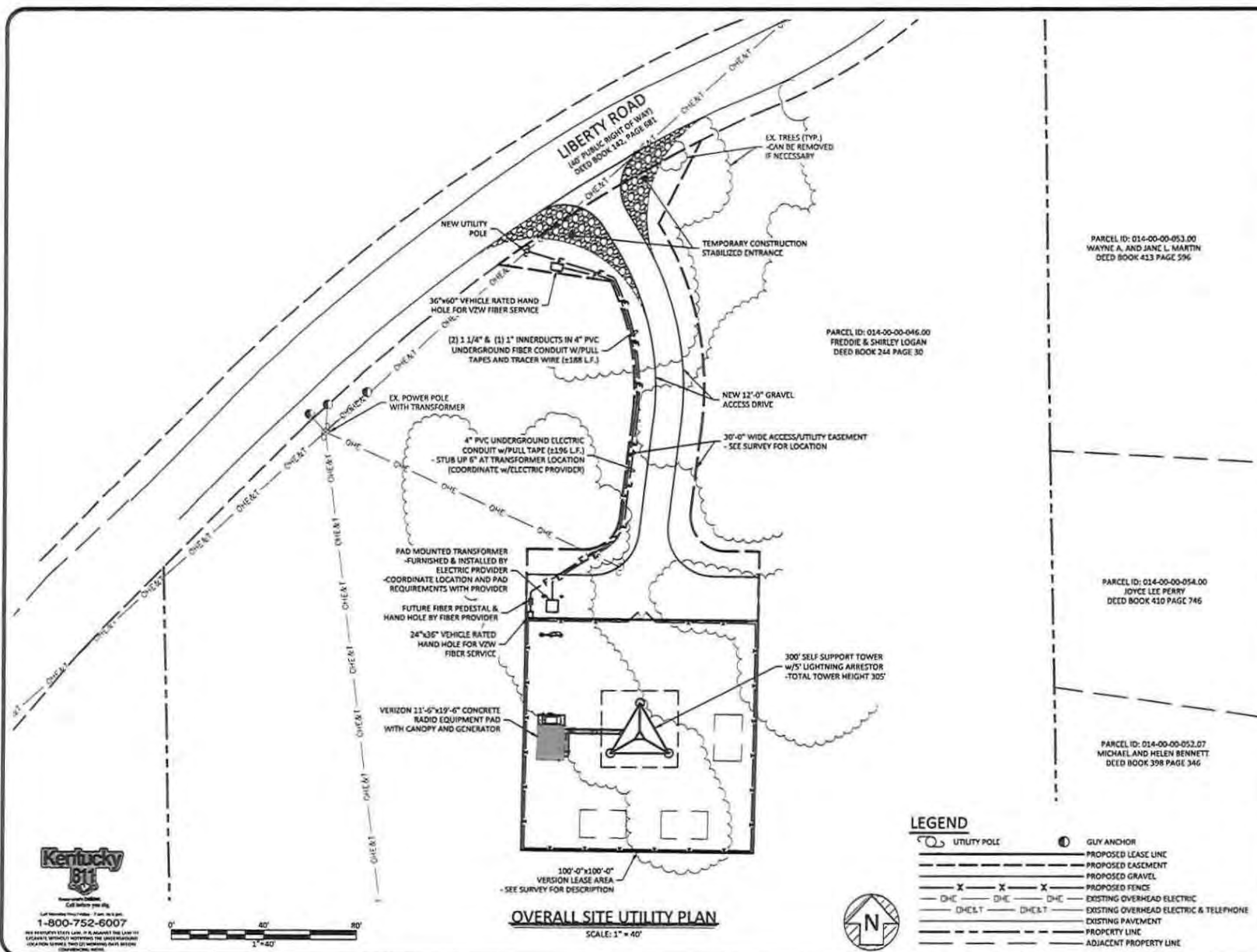
LIBERTY ROAD  
CORBIN, KY 40701  
KNOX COUNTY

POD NUMBER: 21-83974  
DRAWN BY: POD  
CHECKED BY: MEP  
DATE: 04.05.22

SHEET TITLE:

**OVERALL SITE  
UTILITY PLAN**

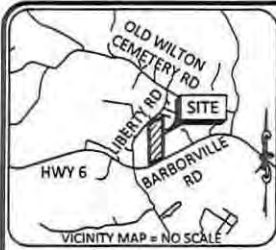
SHEET NUMBER:  
**E-0**



VzW Site Name: LV Wilton Lake  
Location Code: 677497

**EXHIBIT "C"**

**SURVEY**



0° 59' 08"
   
 BASED ON KENTUCKY STATE PLANE SINGLE ZONE AND DETERMINED BY GPS OBSERVATIONS COMPLETED ON MARCH 9, 2022.

**GENERAL NOTES**

NO SEARCH OF PUBLIC RECORDS HAS BEEN COMPLETED BY POD GROUP TO DETERMINE ANY DEFECTS AND/OR AMBIGUITIES IN THE TITLE OF THE SUBJECT PROPERTY.

THIS SURVEY IS FOR THE PROPOSED LEASE AREA AND THE PROPOSED 30' ACCESS & UTILITY EASEMENT ONLY, AND ONLY A PARTIAL BOUNDARY SURVEY OF THE PARENT TRACT HAS BEEN PERFORMED.

A PORTION OF THIS SURVEY WAS CONDUCTED BY METHOD OF RANDOM TRAVERSE WITH SIDE SHOTS. UNADJUSTED CLOSURE EQUALS 0.07', FOR A PRECISION OF 1:36,740 AND HAS NOT BEEN ADJUSTED.

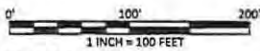
THIS PROPERTY IS SUBJECT TO ANY RECORDED EASEMENTS AND/OR RIGHTS OF WAY SHOWN HEREON OR NOT.

THIS PLAT IS NOT INTENDED FOR LAND TRANSFER.

THE PARENT PARCEL, THE PROPOSED LEASE AREA, THE PROPOSED 30' ACCESS & UTILITY EASEMENT SHOWN HEREON ARE NOT LOCATED IN A 100-YEAR FLOOD PLAN (ZONE X) PER FLOOD HAZARD BOUNDARY MAP, COMMUNITY-PANEL NUMBER 21121C0093F, DATED MARCH 16, 2015.

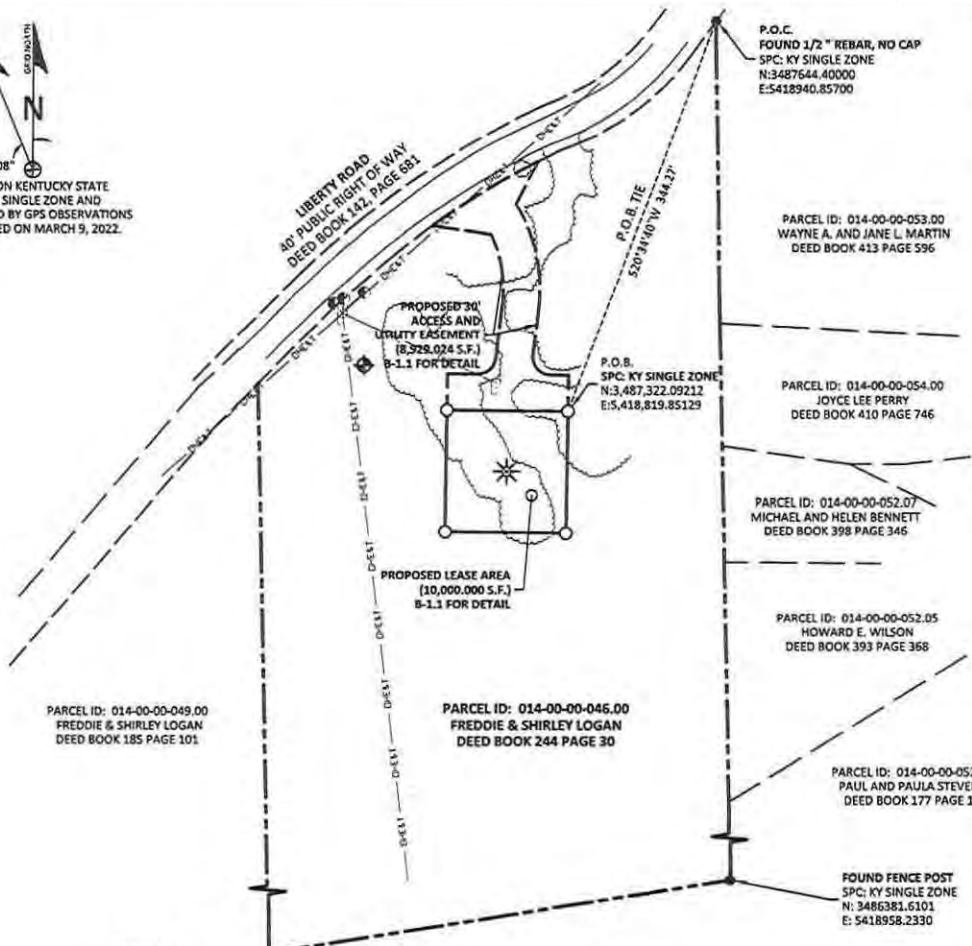


Call before you dig.  
 800-485-4848  
 1-800-752-6007  
THE KENTUCKY STATE LAW, IT IS A CRIME THAT ANY PERSON SHALL BE PENALIZED FOR VIOLATING THE PROVISIONS OF THIS ACT. PENALTY: UP TO \$10,000 FINE AND 12 MONTHS IN JAIL.



**GLOBAL POSITIONING SYSTEMS NOTE**

- RANDOM CONTROL POINTS AND A PORTION OF THE TOPOGRAPHY WAS LOCATED USING GPS.
- THE TYPE OF GPS UTILIZED WAS NETWORK ADJUSTED REAL TIME KINEMATIC (KDOT VRS NETWORK), NAD 83 KENTUCKY SINGLE ZONE WITH THE ORTHOMETRIC HEIGHT COMPUTED USING GEOID18. RELATIVE POSITIONAL ACCURACY VARIED FROM 0.04' TO 0.07' HORIZONTALLY.
- SPECTRA PRECISION EPOCH 50 DUAL FREQUENCY RECEIVERS WERE USED TO PERFORM THE SURVEY.



**LEGEND**

—●— P.O.C.	POINT OF COMMENCEMENT	—○— UTILITY POLE
—●— P.O.B.	POINT OF BEGINNING	—○— GUY
— X — ROW	RIGHT OF WAY	
— DHT —	OVERHEAD TELEPHONE	
— OHE —	OVERHEAD ELECTRIC	
— OHE&T —	OVERHEAD ELECTRIC & TELEPHONE	
—○—	SET 1/2" REBAR 18" LONG CAPPED "PATTERSON PLS 3136"	
—●—	FOUND MONUMENT AS NOTED	
— — —	PROPERTY LINE	
— - - -	ADJACENT PROPERTY LINE	
— X —	EX. FENCE	

P.O.C.  
 FOUND 1/2" REBAR, NO CAP  
 SPC: KY SINGLE ZONE  
 N:3487644.40000  
 E:5418940.85700

FAA COORDINATE POINT  
 NAD 83  
 LATITUDE: 36°53'16.145918"  
 LONGITUDE: -84°02'55.850567"  
 NAVD 88  
 ELEVATION: 1144.0' ± AMSL  
 NORTHING: 3487272.7120  
 EASTING: 5418769.2390

TEMPORARY BENCHMARK  
 NORTHING: 3487360.2550  
 EASTING: 5418651.0710  
 ELEVATION: 1153.22'  
 LOCATION: SET 1/2" REBAR WITH RED CAP STAMPED "POD TRAVERSE" N84°16'31"W 69.50' ± FROM THE NORTHWEST CORNER OF THE PROPOSED LEASE AREA.

PARCEL ID: 014-00-00-053.00  
 WAYNE A. AND JANE L. MARTIN  
 DEED BOOK 413 PAGE 596

PARCEL ID: 014-00-00-054.00  
 JOYCE LEE PERRY  
 DEED BOOK 410 PAGE 746

PARCEL ID: 014-00-00-052.07  
 MICHAEL AND HELEN BENNETT  
 DEED BOOK 398 PAGE 346

PARCEL ID: 014-00-00-052.05  
 HOWARD E. WILSON  
 DEED BOOK 393 PAGE 368

FOUND FENCE POST  
 SPC: KY SINGLE ZONE  
 N: 3486381.6101  
 E: 5418958.2330

**LAND SURVEYOR'S CERTIFICATE**

I, MARK E. PATTERSON, HEREBY CERTIFY THAT I AM A LICENSED PROFESSIONAL LAND SURVEYOR LICENSED IN COMPLIANCE WITH THE LAWS OF THE COMMONWEALTH OF KENTUCKY. I FURTHER CERTIFY THAT THIS PLAT AND THE SURVEY ON THE GROUND WERE PERFORMED BY PERSONS UNDER MY DIRECT SUPERVISION, AND THAT THE DIRECTIONAL AND LINEAR MEASUREMENTS BEING WITNESSED BY MONUMENTS SHOWN HEREON ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE, THE "RURAL" SURVEY, AND THE PLAT ON WHICH IT IS BASED, MEETS ALL SPECIFICATIONS AS STATED IN KAR 201.18-150.

**PRELIMINARY**

MARK PATTERSON, PLS #3136

DATE

PREPARED BY:  
  
 POWER OF DESIGN  
 11490 RLYFOURASS PARKWAY  
 LOUISVILLE, KY 40299  
 502-437-9273

PREPARED FOR:  
  
 CELCO PARTNERSHIP  
 D/B/A

**SITE SURVEY**

REV.	DATE	DESCRIPTION
A	3.21.22	PRELIM ISSUE

**SITE INFORMATION:**  
 LV WILTON LAKE  
 LIBERTY ROAD  
 CORBIN, KY 40701  
 KNOX COUNTY  
 TAX PARCEL NUMBER:  
 014-00-046.00  
 PROPERTY OWNER:  
 FREDDIE & SHIRLEY LOGAN  
 SOURCE OF TITLE:  
 DEED BOOK 244, PAGE 30

POD NUMBER: 22-122082  
 DRAWN BY: AIM  
 CHECKED BY: MEP  
 SURVEY DATE: 3.9.22  
 PLAT DATE: 3.21.22

SHEET TITLE:  
**SITE SURVEY**  
 THIS DOES NOT REPRESENT A BOUNDARY SURVEY OF THE PARENT PARCEL

SHEET NUMBER: (3 pages)  
**B-1**



**GLOBAL POSITIONING SYSTEMS NOTE**

1. RANDOM CONTROL POINTS AND A PORTION OF THE TOPOGRAPHY WAS LOCATED USING GPS.
2. THE TYPE OF GPS UTILIZED WAS NETWORK ADJUSTED REAL TIME KINEMATIC (KDOT VRS NETWORK), NAD 83 KENTUCKY SINGLE ZONE WITH THE ORTHOMETRIC HEIGHT COMPUTED USING GEOID18. RELATIVE POSITIONAL ACCURACY VARIED FROM 0.04" TO 0.07" HORIZONTALLY.
3. SPECTRA PRECISION EPOCH 50 DUAL FREQUENCY RECEIVERS WERE USED TO PERFORM THE SURVEY.

**FAA COORDINATE POINT**

NAD 83  
 LATITUDE: 36°53'16.145918"  
 LONGITUDE: -84°02'55.850567"  
 NAVD 88  
 ELEVATION: 1144.0' ± AMSL  
 NORTHING: 3487272.7120  
 EASTING: 5418769.2390

**TEMPORARY BENCHMARK**

NORTHING: 3487360.2550  
 EASTING: 5418651.0710  
 ELEVATION: 1153.22'  
 LOCATION: SET 1/2" REBAR WITH RED CAP STAMPED "POD TRAVERSE" N84°16'31"W 69.50' +/- FROM THE NORTHWEST CORNER OF THE PROPOSED LEASE AREA.

**GENERAL NOTES**

NO SEARCH OF PUBLIC RECORDS HAS BEEN COMPLETED BY POD GROUP TO DETERMINE ANY DEFECTS AND/OR AMBIGUITIES IN THE TITLE OF THE SUBJECT PROPERTY.

THIS SURVEY IS FOR THE PROPOSED LEASE AREA AND THE PROPOSED 30' ACCESS & UTILITY EASEMENT ONLY, AND ONLY A PARTIAL BOUNDARY SURVEY OF THE PARENT TRACT HAS BEEN PERFORMED.

A PORTION OF THIS SURVEY WAS CONDUCTED BY METHOD OF RANDOM TRAVERSE WITH SIDE SHOTS. UNADJUSTED CLOSURE EQUALS 0.07'. FOR A PRECISION OF 1:36,740 AND HAS NOT BEEN ADJUSTED.

THIS PROPERTY IS SUBJECT TO ANY RECORDED EASEMENTS AND/OR RIGHTS OF WAY SHOWN HEREON OR NOT.

THIS PLAT IS NOT INTENDED FOR LAND TRANSFER.

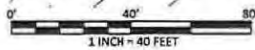
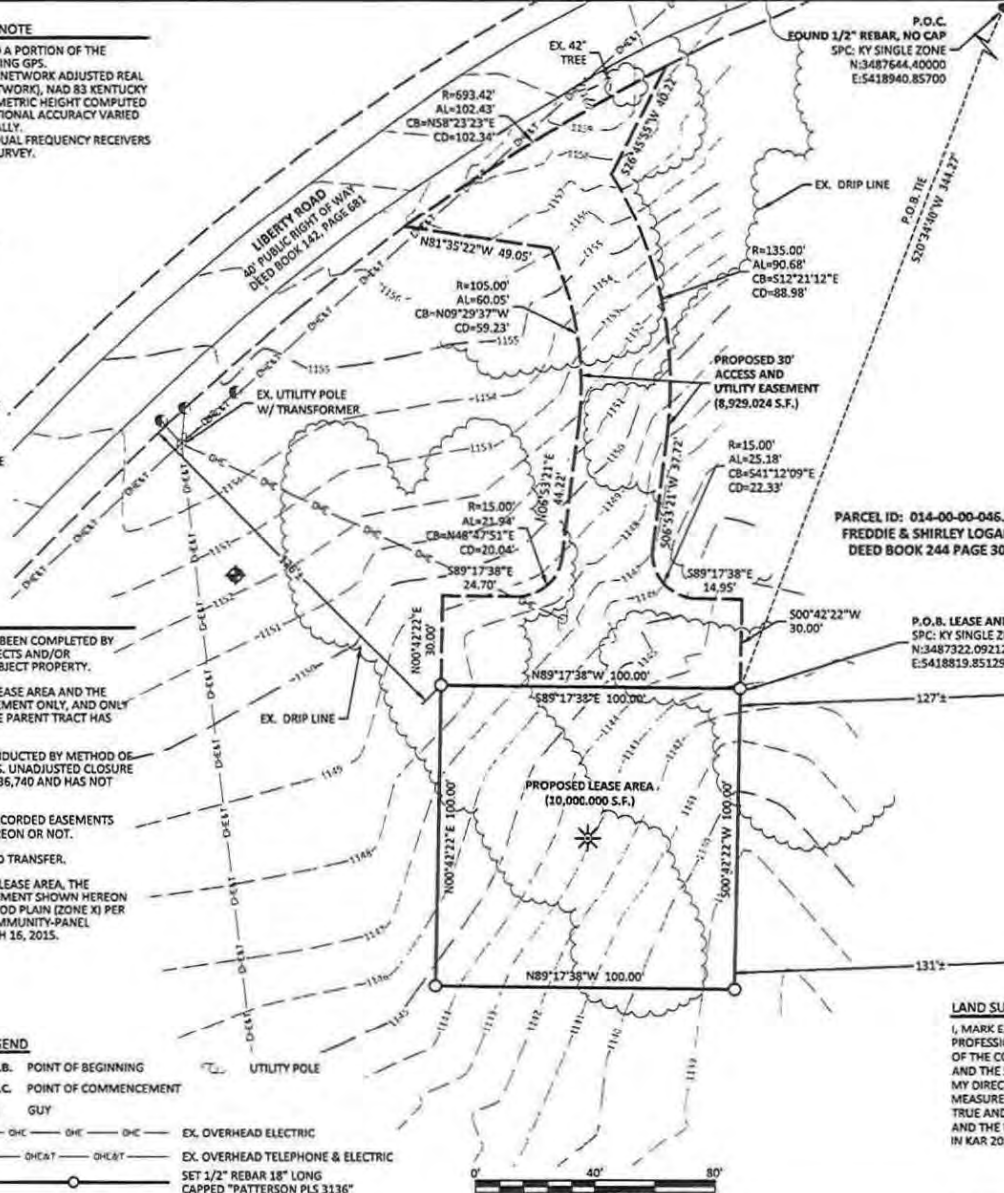
THE PARENT PARCEL, THE PROPOSED LEASE AREA, THE PROPOSED 30' ACCESS & UTILITY EASEMENT SHOWN HEREON ARE NOT LOCATED IN A 100-YEAR FLOOD PLAIN (ZONE X) PER FLOOD HAZARD BOUNDARY MAP, COMMUNITY-PANEL NUMBER 21121C0093F, DATED MARCH 16, 2015.



Call before you dig.  
 1-800-752-6007

**LEGEND**

- P.O.B. POINT OF BEGINNING
- P.O.C. POINT OF COMMENCEMENT
- GUY
- EX. OVERHEAD ELECTRIC
- EX. OVERHEAD TELEPHONE & ELECTRIC
- SET 1/2" REBAR 18" LONG CAPPED "PATTERSON PLS 3136"
- FOUND MONUMENT AS NOTED



PARCEL ID: 014-00-00-053.00  
 WAYNE A. AND JANE L. MARTIN  
 DEED BOOK 413 PAGE 596

PARCEL ID: 014-00-00-046.00  
 FREDDIE & SHIRLEY LOGAN  
 DEED BOOK 244 PAGE 30

PARCEL ID: 014-00-00-054.00  
 JOYCE LEE PERRY  
 DEED BOOK 410 PAGE 746

PARCEL ID: 014-00-00-052.07  
 MICHAEL AND HELEN BENNETT  
 DEED BOOK 398 PAGE 346

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I, MARK E. PATTERSON, HEREBY CERTIFY THAT I AM A LICENSED PROFESSIONAL LAND SURVEYOR LICENSED IN COMPLIANCE WITH THE LAWS OF THE COMMONWEALTH OF KENTUCKY. I FURTHER CERTIFY THAT THIS PLAT AND THE SURVEY ON THE GROUND WERE PERFORMED BY PERSONS UNDER MY DIRECT SUPERVISION, AND THAT THE DIRECTIONAL AND LINEAR MEASUREMENTS BEING WITNESSED BY MONUMENTS SHOWN HEREON ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. THE "RURAL" SURVEY, AND THE PLAT ON WHICH IT IS BASED, MEETS ALL SPECIFICATIONS AS STATED IN KAR 201.18-150.

**PRELIMINARY**

MARK PATTERSON, PLS #3136 DATE



**SITE SURVEY**

REV.	DATE	DESCRIPTION
A	3.21.22	PRELIM ISSUE

**SITE INFORMATION:**  
 LV WILTON LAKE  
 LIBERTY ROAD  
 CORBIN, KY 40701  
 KNOX COUNTY  
 TAX PARCEL NUMBER:  
 014-00-046.00  
 PROPERTY OWNER:  
 FREDDIE & SHIRLEY LOGAN  
 SOURCE OF TITLE:  
 DEED BOOK 244, PAGE 30

POD NUMBER: 22-12208  
 DRAWN BY: AIM  
 CHECKED BY: MEP  
 SURVEY DATE: 3.9.22  
 PLAT DATE: 3.21.22

**SHEET TITLE:**  
**SITE SURVEY**  
 THIS DOES NOT REPRESENT A BOUNDARY SURVEY OF THE PARENT PARCEL

SHEET NUMBER: (3 pages)  
**B-1.1**

LEGAL DESCRIPTIONS

PROPOSED LEASE AREA

THE FOLLOWING IS A DESCRIPTION OF THE PROPOSED LEASE AREA ON THE PROPERTY CONVEYED TO FREDDIE & SHIRLEY LOGAN AS RECORDED IN THE OFFICE OF THE CLERK OF KNOX COUNTY, KENTUCKY IN DEED BOOK 244, PAGE 30, PARCEL ID: 014-00-00-053.00, WHICH IS MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEARING DATUM USED HEREIN IS BASED UPON KENTUCKY STATE PLANE COORDINATE SYSTEM, SINGLE ZONE, NAD 83, FROM A REAL TIME KINEMATIC GLOBAL POSITIONING SYSTEM OBSERVATION USING THE KENTUCKY TRANSPORTATION CABINET REAL TIME GPS NETWORK COMPLETED ON MARCH 9, 2022.

COMMENCING AT A FOUND 1/2" REBAR IN THE SOUTH LINE OF LIBERTY ROAD, AT THE COMMON CORNER OF THE PROPERTY CONVEYED TO FREDDIE & SHIRLEY LOGAN AS RECORDED IN DEED BOOK 244, PAGE 30, PARCEL ID: 014-00-046.00 AND CORNER TO THE PROPERTY CONVEYED TO WAYNE A. & JANE I. MARTIN AS RECORDED IN DEED BOOK 413, PAGE 596, PARCEL ID: 014-00-00-053.00, HAVING A STATE PLANE COORDINATE, KENTUCKY SINGLE ZONE VALUE OF N:3,487,644.40000 & E:5,418,940.85700; THENCE TRaversing THE LAND OF LOGAN, S20°34'40"W 344.27' TO A SET 1/2" REBAR 18" LONG CAPPED "PATTERSON PLS 3136", HEREAFTER REFERRED TO AS A "SET IPC", AT THE NORTHEAST CORNER OF THE PROPOSED LEASE AREA HAVING A STATE PLANE COORDINATE, KENTUCKY SINGLE ZONE VALUE OF N:3,487,322.09212 & E:5,418,819.85129, ALSO BEING THE TRUE POINT OF BEGINNING; THENCE S00°42'22"W 100.00' TO A SET "IPC" IN THE SOUTHEAST CORNER OF SAID LEASE AREA; THENCE N89°17'38"W 100.00' TO A SET "IPC" IN THE SOUTHWEST CORNER OF SAID LEASE AREA; THENCE THENCE N00°42'22"E 100.00' TO A SET "IPC" IN THE NORTHWEST CORNER OF SAID LEASE AREA; THENCE S89°17'38"E 100.00' TO THE POINT OF BEGINNING CONTAINING 10,000.000 SQ. FT. AS PER SURVEY BY MARK PATTERSON, PLS #3136 WITH POWER OF DESIGN GROUP, LLC DATED MARCH 9, 2022.

PROPOSED 30' ACCESS & UTILITY EASEMENT

THE FOLLOWING IS A DESCRIPTION OF THE PROPOSED 30' ACCESS & UTILITY EASEMENT ON THE PROPERTY CONVEYED TO TO FREDDIE & SHIRLEY LOGAN AS RECORDED IN THE OFFICE OF THE CLERK OF KNOX COUNTY, KENTUCKY IN DEED BOOK 244, PAGE 30, PARCEL ID: 014-00-00-053.00, WHICH IS MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEARING DATUM USED HEREIN IS BASED UPON KENTUCKY STATE PLANE COORDINATE SYSTEM, SINGLE ZONE, NAD 83, FROM A REAL TIME KINEMATIC GLOBAL POSITIONING SYSTEM OBSERVATION USING THE KENTUCKY TRANSPORTATION CABINET REAL TIME GPS NETWORK COMPLETED ON MARCH 9, 2022.

COMMENCING AT A FOUND 1/2" REBAR IN THE SOUTH LINE OF LIBERTY ROAD, AT THE COMMON CORNER OF THE PROPERTY CONVEYED TO FREDDIE & SHIRLEY LOGAN AS RECORDED IN DEED BOOK 244, PAGE 30, PARCEL ID: 014-00-046.00 AND CORNER TO THE PROPERTY CONVEYED TO WAYNE A. & JANE I. MARTIN AS RECORDED IN DEED BOOK 413, PAGE 596, PARCEL ID: 014-00-00-053.00, HAVING A STATE PLANE COORDINATE, KENTUCKY SINGLE ZONE VALUE OF N:3,487,644.40000 & E:5,418,940.85700; THENCE TRaversing THE LAND OF LOGAN, S20°34'40"W 344.27' TO A SET 1/2" REBAR 18" LONG CAPPED "PATTERSON PLS 3136", HEREAFTER REFERRED TO AS A "SET IPC", AT THE NORTHEAST CORNER OF THE PROPOSED LEASE AREA HAVING A STATE PLANE COORDINATE, KENTUCKY SINGLE ZONE VALUE OF N:3,487,322.09212 & E:5,418,819.85129, ALSO BEING THE TRUE POINT OF BEGINNING; THENCE N89°17'38"W 100.00' TO A SET "IPC" IN THE NORTHWEST CORNER OF SAID LEASE AREA; THENCE N00°42'22"E 30.00'; THENCE S89°17'38"E 24.70'; THENCE ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 15.00', ARC LENGTH OF 21.54', THE CHORD OF WHICH BEARS N48°47'51"E 20.04'; THENCE N06°53'21"E 44.22'; THENCE ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 105.00', ARC LENGTH OF 60.05', THE CHORD OF WHICH BEARS N09°29'37"W 59.23'; THENCE N81°35'22"W 49.05' TO A POINT IN THE SOUTH RIGHT OF WAY LINE OF LIBERTY ROAD AS RECORDED IN DEED BOOK 142, PAGE 681; THENCE ALONG SAID RIGHT OF WAY, ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 693.42', ARC LENGTH OF 102.43', THE CHORD OF WHICH BEARS N58°22'22"E 102.34'; THENCE LEAVING SAID RIGHT OF WAY, S26°45'55"W 40.22'; THENCE ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 135.00', ARC LENGTH OF 90.68', THE CHORD OF WHICH BEARS S12°21'12"E 88.98'; THENCE S06°53'21"W 37.72'; THENCE ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 15.00', ARC LENGTH OF 25.18', THE CHORD OF WHICH BEARS S41°12'09"E 22.33'; THENCE S89°17'38"E 14.95'; THENCE S00°42'22"W 30.00' TO THE POINT OF BEGINNING CONTAINING 8,929.024 SQ. FT. AS PER SURVEY BY MARK PATTERSON, PLS #3136 WITH POWER OF DESIGN GROUP, LLC DATED MARCH 9, 2022.

PARENT PARCEL (DEED BOOK 244, PAGE 30)

PROPERTY LOCATED IN KNOX COUNTY, KENTUCKY

THE FOLLOWING DESCRIBED REAL PROPERTY LOCATED IN KNOX COUNTY, KENTUCKY, TO WIT:

BEGINNING ON AN IRON PIN CORNER TO LOT #2 ON THE NORTH SIDE OF KENTUCKY HIGHWAY #6; THENCE ALONG SAID HIGHWAY RIGHT OF WAY N. 64 DEG. 52' E. 215.5 FEET TO A STAKE; THENCE N. 60 DEG. 37' E. 197 FEET TO A STAKE AT THE FOOT OF A WHITE OAK; THENCE LEAVING SAID RIGHT OF WAY WITH A FENCE N. 00 DEG. 07' W. 283 FEET TO A STAKE; THENCE N. 00 DEG 20' W. 227 FEET TO A STAKE; THENCE N. 01 DEG. 19' W. 403 FEET TO A STAKE; THENCE N. 00 DEG. 30' E. 246 FEET TO A STAKE ON THE SOUTH SIDE OF THE COUNTY ROAD; THENCE ALONG THE RIGHT OF WAY OF SAME S. 54 DEG. 49' W. 162 FEET TO A STAKE; THENCE S. 71 DEG. 11' W. 76 FEET TO A STAKE; THENCE S. 50 DEG. 50' W. 242 FEET TO AN IRON PIN CORNER TO LOT #2; THENCE WITH THE LINE OF LOT #2 SOUTH 1121 FEET TO THE BEGINNING, CONTAINING 10 ACRES, MORE OR LESS.

AND BEING THE SAME PROPERTY CONVEYED TO FREDDIE LOGAN AND SHIRLEY LOGAN FROM NORMA WAGONER PERKINS AND RAY PERKINS BY WARRANTY DEED DATED JULY 13, 1989 AND RECORDED JULY 24, 1989 IN DEED BOOK 244, PAGE 30.

TAX PARCEL NO. 014-00-00-046.00

REPORT OF SEARCH

THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY POD GROUP, LLC AND AS SUCH WE ARE NOT RESPONSIBLE FOR THE INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, UNRECORDED EASEMENTS, AUGMENTING EASEMENTS, IMPLIED OR PRESCRIPTIVE EASEMENTS, OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE. INFORMATION REGARDING THESE MATTERS WERE GAINED FROM FIDELITY NATIONAL TITLE. ORDER NO. 36483486, PREPARED FOR VERIZON WIRELESS, PERIOD OF SEARCH: APRIL 30, 1948 TO JANUARY 28, 2022 AT 8:00 A.M. DATED: FEBRUARY 9, 2022. THE FOLLOWING COMMENTS ARE IN REGARD TO SAID SEARCH AND THE NUMBERS IN THE COMMENTS CORRESPOND TO THE NUMBERING SYSTEM IN SAID REPORT.

SEARCH DISCLOSED THE FOLLOWING:

1. TAXES  
TYPE OF TAX: COUNTY  
CALENDAR YEAR: 2021  
AMOUNT: \$18.06 ANNUALLY  
PARCEL ID #: 014-00-00-046.00  
PAID THROUGH: 2021  
ASSESSMENT: \$1700.00 (TOTAL = LAND AND IMPROVEMENTS, IF ANY) (NOT A LAND SURVEYING MATTER, THEREFORE, POD GROUP, LLC DID NOT EXAMINE OR ADDRESS THIS ITEM.)
2. EXCEPT THE COAL, OIL, GAS AND OTHER MINERALS UNDERLYING THE SURFACE OF SAID LAND AND ALL RIGHTS AND EASEMENTS IN FAVOR OF THE ESTATE OF SAID COAL, OIL, GAS AND OTHER MINERALS; INCLUDING, BUT NOT LIMITED TO, EXPRESS OR IMPLIED EASEMENTS IN, OVER AND UNDER THE ESTATE FOR THE ENTRY AND REMOVAL OF MINERALS. THIS POLICY SHOULD NOT BE CONSTRUED AS INSURING AGAINST LOSS OR DAMAGE RESULTING TO THE SURFACE OF THE LAND OR ANY IMPROVEMENTS THEREON CAUSED BY SURFACE ENTRY OR BY THE REMOVAL OF THE OIL, GAS, AND OTHER MINERALS LYING THEREUNDER, SEE INSTRUMENT RECORDED IN DEED BOOK 98, PAGE 267. (NOT A LAND SURVEYING MATTER, THEREFORE, POD GROUP, LLC DID NOT EXAMINE OR ADDRESS THIS ITEM.)
3. EASEMENT IN FAVOR OF DUMBERLAND VALLEY RURAL ELECTRIC COOPERATIVE COOPERATION SET FORTH IN INSTRUMENT RECORDED ON MARCH 18, 1948 IN DEED BOOK 98, PAGE 267. (CANNOT DETERMINE LOCATION OF EASEMENT PER DEED BOOK 98, PAGE 267.)



SITE SURVEY

REV.	DATE	DESCRIPTION
A	3.21.22	PRELIM ISSUE

SITE INFORMATION:

LV WILTON LAKE  
LIBERTY ROAD  
CORBIN, KY 40701  
KNOX COUNTY  
  
TAX PARCEL NUMBER:  
014-00-046.00  
  
PROPERTY OWNER:  
FREDDIE & SHIRLEY LOGAN  
  
SOURCE OF TITLE:  
DEED BOOK 244, PAGE 30

POD NUMBER: 22-12208  
DRAWN BY: AIM  
CHECKED BY: MEP  
SURVEY DATE: 3.9.22  
PLAT DATE: 3.21.22

SHEET TITLE:  
**SITE SURVEY**  
THIS DOES NOT REPRESENT A  
BOUNDARY SURVEY OF THE  
PARENT PARCEL

SHEET NUMBER: (3 pages)

**B-1.2**

LAND SURVEYOR'S CERTIFICATE

I, MARK E. PATTERSON, HEREBY CERTIFY THAT I AM A LICENSED PROFESSIONAL LAND SURVEYOR LICENSED IN COMPLIANCE WITH THE LAWS OF THE COMMONWEALTH OF KENTUCKY. I FURTHER CERTIFY THAT THIS PLAT AND THE SURVEY ON THE GROUND WERE PERFORMED BY PERSONS UNDER MY DIRECT SUPERVISION, AND THAT THE DIRECTIONAL AND LINEAR MEASUREMENTS BEING WITNESSED BY MONUMENTS SHOWN HEREON ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. THE "RURAL" SURVEY, AND THE PLAT ON WHICH IT IS BASED, MEETS ALL SPECIFICATIONS AS STATED IN KAR 201 18:150.

**PRELIMINARY**

MARK PATTERSON, PLS #3136

DATE

Notification List

PARCEL ID: 014-00-00-046.00  
LOGAN FREDDIE & SHIRLEY  
5375 KY 3436  
CORBIN KY 40701

PARCEL ID: 014-00-00-049.00  
LOGAN FREDDIE & SHIRLEY  
5375 KY 3436  
CORBIN KY 40701

PARCEL ID: 014-00-00-048.01  
BOWMAN KAREN & BOBBY  
13378 KY 6  
CORBIN KY 40701

PARCEL ID: 014-00-00-048.02  
DEGROSELLIERS KAY DAROLYN  
1194 DANIEL BOONE DR  
MORRISTOWN TN 37814

PARCEL ID: 014-00-00-011.00  
JONES ROSE E & KENNETH  
53 BURR OAK DR  
CORBIN KY 40701

PARCEL ID: 014-00-00-012.00  
WILSON BETTY C/O SUSANNE GRIFFIN  
814 W. 4<sup>TH</sup> STREET  
CORBIN KY 40701

PARCEL ID: 014-00-00-050.00  
WILSON BETTY ANN C/O SUSANNE GRIFFIN  
814 W. 4TH STREET  
CORBIN KY 40701

PARCEL ID: 014-00-00-051.00  
DONNIE LOGAN  
5236 KY 3436  
CORBIN KY 40701

PARCEL ID: 014-00-00-052.00  
GREER ROBERT RAYMOND  
JAMES D & DEBRA KAY HELTON  
HOLD LIFE ESTATE  
31 HELTON LN

CORBIN KY 40701

PARCEL ID: 014-00-00-053.00  
MARTIN WAYNE A & JANE I  
5195 KY 3436  
CORBIN KY 40701

PARCEL ID: 014-00-00-054.00  
PERRY JOYCE LEE  
134 HELTON LN  
CORBIN KY 40701

PARCEL ID: 014-00-00-052.07  
BENNETT MICHAEL & HELEN  
PO BOX 173  
WOODBINE KY 40771

PARCEL ID: 014-00-00-052.05  
WILSON HOWARD E  
6957 KY 1232  
CORBIN KY 40701

PARCEL ID: 014-00-00-052.06  
HELTON JAMES JR  
121 HELTON LN  
CORBIN KY 40701

PARCEL ID: 014-00-00-052.04  
HELTON JAMES DARRELL JR  
121 HELTON LN  
CORBIN KY 40701

PARCEL ID: 014-00-00-052.03  
PREWITT ETTIE & ROY  
83 HELTON LN  
CORBIN KY 40701

PARCEL ID: 014-00-00-038.00  
CARTER RANDALL TODD &  
PATRICIA MARIE  
13076 KY 6  
CORBIN KY 40701

PARCEL ID: 014-00-00-044.00  
STEVENS PAUL & PAULA  
13218 KY 6

CORBIN KY 40701

PARCEL ID: 014-00-00-043.01  
WEST TERRY  
13191 KY 6  
CORBIN KY 40701

PARCEL ID: 014-00-00-047.00  
MODICA ANDREW & STACY  
13355 KY 6  
CORBIN KY 40701

PARCEL ID: 014-00-00-056.00  
LAWSON SANDRA  
5076 KY 3436  
CORBIN KY 40701

BALL BOBBIE & JAMES  
SANDRA GALLIMORE LAWSON  
5076 KY 3436  
CORBIN KY 40701

BALL JAMES  
5086 KY 3436  
CORBIN KY 40701



Russell L. Brown  
Attorney at Law  
rbrown@clarkquinnlaw.com

320 N. Meridian St., Ste. 1100  
Indianapolis, IN 46204  
(317) 637-1321 main  
(317) 687-2344 fax

March 9, 2023

**Notice of Proposed Construction of  
Wireless Communications Facility  
Site Name: Wilton Lake**

Cellco Partnership, d/b/a Verizon Wireless is filing an application with the Kentucky Public Service Commission ("PSC") to construct a new wireless communications facility on a site located on Liberty Road, Corbin KY 40701 (North Latitude: (36° 53' 16.015", West Longitude 84° 02' 55.85"). The proposed facility will include a 300-foot tall antenna tower, plus a 5-foot lightning arrestor, for a total height of 305 feet with related ground facilities. This facility is needed to provide improved coverage for wireless communications in the area.

This notice is being sent to you because the County Property Valuation Administrator's records indicate that you may own property that is within a 500' radius of the proposed tower site or contiguous to the property on which the tower is to be constructed. You have a right to submit testimony to the Kentucky Public Service Commission ("PSC"), either in writing or to request intervention in the PSC's proceedings on the application. You may contact the PSC for additional information concerning this matter at: Kentucky Public Service Commission, Executive Director, 211 Sower Boulevard, P.O. Box 615, Frankfort, Kentucky 40602. Please refer to docket number 2023-00075 in any correspondence sent in connection with this matter.

We have attached a map showing the site location for the proposed tower. Applicant's radio frequency engineers assisted in selecting the proposed site for the facility, and they have determined it is the proper location and elevation needed to provide quality service to wireless customers in the area. Please feel free to contact us at 317-637-1321 if you have any comments or questions about this proposal.

Sincerely,  
Russell L. Brown

Attorney for Applicant  
RLB/jdj  
enclosure

Location Map



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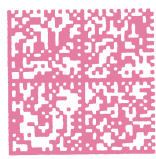
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Clark, Quinn, Moses, Scott & Grahn, LLP



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LOGAN FREDDIE & SHIRLEY  
5375 KY 3436  
CORBIN KY 40701

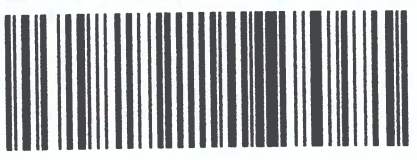
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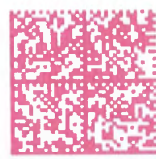
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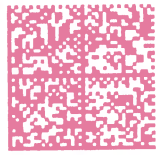
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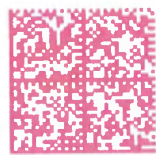
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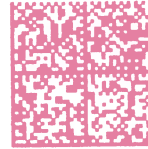
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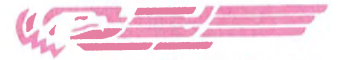
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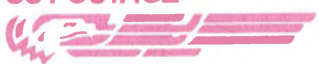
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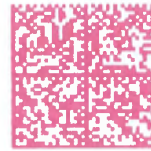
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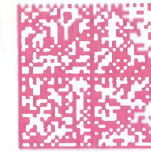
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PATRICIA MARIE  
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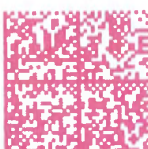
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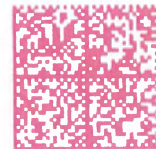
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5076 KY 3436  
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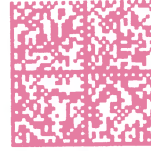
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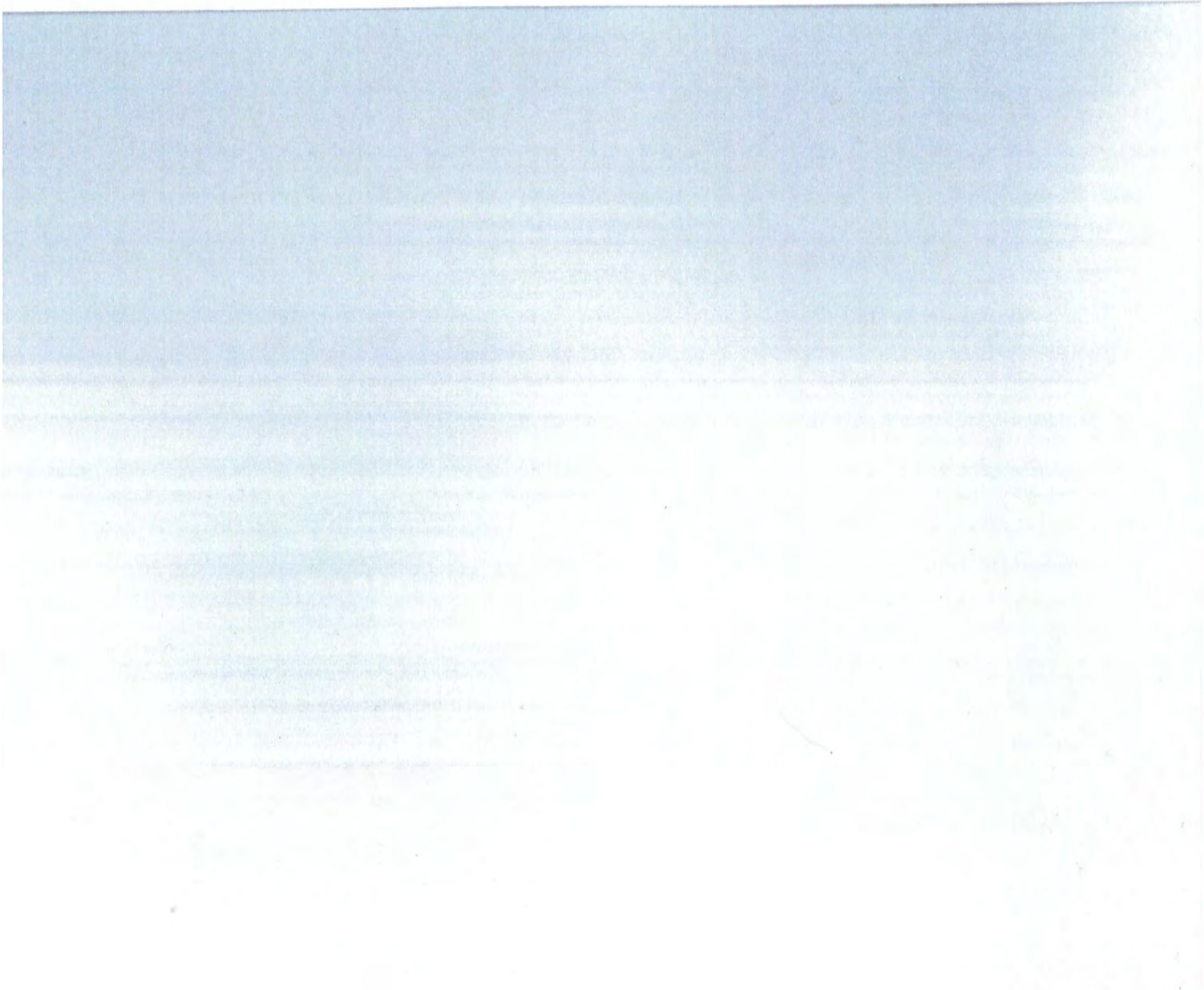


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- Addressee

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Jane I Martin

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- Collect on Delivery
- Collect on Delivery Restricted Delivery
- Insured Mail
- Mail Restricted Delivery (500)
- Priority Mail Express®
- Registered Mail™
- Registered Mail Restricted Delivery
- Return Receipt for Merchandise
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A. Signature

X *Randall T. Carter*

- Agent
- Addressee

B. Received by (Printed Name)

Randall T. Carter

C. Date of Delivery

D. Is delivery address different from item 1?  Yes  
If YES, enter delivery address below:  No

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- Adult Signature Restricted Delivery
- Certified Mail®
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- Collect on Delivery
- Collect on Delivery Restricted Delivery
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5236 KY 3436  
CORBIN KY 40701



9590 9402 5283 9154 4140 95

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X *Rita Logan*

- Agent
- Addressee

B. Received by (Printed Name)

Rita Logan

C. Date of Delivery

D. Is delivery address different from item 1?  Yes  
If YES, enter delivery address below:  No

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- Certified Mail Restricted Delivery
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 JAMES D & DEBRA KAY  
 HELTON HOLD LIFE ESTATE  
 31 HELTON LN  
 CORBIN KY 40701



9590 9402 5283 9154 4140 88

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 X *Robert Greer*  Agent  
 Addressee

B. Received by (Printed Name)  
 Robert Greer

C. Date of Delivery

D. Is delivery address different from item 1?  Yes  
 If YES, enter delivery address below:  No

3. Service Type  Priority Mail Express®  
 Adult Signature  Registered Mail™  
 Adult Signature Restricted Delivery  Registered Mail Restricted Delivery  
 Certified Mail®  Return Receipt for Merchandise  
 Certified Mail Restricted Delivery  Signature Confirmation™  
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 53 BURR OAK DR  
 CORBIN KY 40701



9590 9402 5283 9154 4141 25

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 X *Zachary Walter*  Agent  
 Addressee

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 Zachary Walter

C. Date of Delivery

D. Is delivery address different from item 1?  Yes  
 If YES, enter delivery address below:  No

3. Service Type  Priority Mail Express®  
 Adult Signature  Registered Mail™  
 Adult Signature Restricted Delivery  Registered Mail Restricted Delivery  
 Certified Mail®  Return Receipt for Merchandise  
 Certified Mail Restricted Delivery  Signature Confirmation™  
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 LAWSON SANDRA  
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A. Signature  
 X *Sandra Lawson*  Agent  
 Addressee

B. Received by (Printed Name)  
 Sandra Lawson



C. Date of Delivery

D. Is delivery address different from item 1?  Yes  
 If YES, enter delivery address below:  No


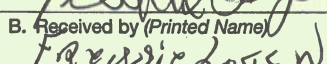

3. Service Type  Priority Mail Express®  
 Adult Signature  Registered Mail™  
 Adult Signature Restricted Delivery  Registered Mail Restricted Delivery  
 Certified Mail®  Return Receipt for Merchandise  
 Certified Mail Restricted Delivery  Signature Confirmation™  
 Collect on Delivery  Signature Confirmation Restricted Delivery  
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Domestic Return Receipt

SENDER: COMPLETE THIS SECTION	COMPLETE THIS SECTION ON DELIVERY																	
<ul style="list-style-type: none"> <li>Complete items 1, 2, and 3.</li> <li>Print your name and address on the reverse so that we can return the card to you.</li> <li>Attach this card to the back of the mailpiece, or on the front if space permits.</li> </ul>	<p>A. Signature   <input type="checkbox"/> Agent  <input type="checkbox"/> Addressee</p>																	
1. Article Addressed to:	B. Received by (Printed Name) 	C. Date of Delivery																
<p>WEST TERRY          13191 KY 6          CORBIN KY 40701</p>	<p>D. Is delivery address different from item 1? <input type="checkbox"/> Yes          If YES, enter delivery address below: <input type="checkbox"/> No</p>																	
 9590 9402 5283 9154 4138 45	<p>3. Service Type</p> <table border="0"> <tr> <td><input type="checkbox"/> Adult Signature</td> <td><input type="checkbox"/> Priority Mail Express®</td> </tr> <tr> <td><input type="checkbox"/> Adult Signature Restricted Delivery</td> <td><input type="checkbox"/> Registered Mail™</td> </tr> <tr> <td><input checked="" type="checkbox"/> Certified Mail®</td> <td><input type="checkbox"/> Registered Mail Restricted Delivery</td> </tr> <tr> <td><input type="checkbox"/> Certified Mail Restricted Delivery</td> <td><input checked="" type="checkbox"/> Return Receipt for Merchandise</td> </tr> <tr> <td><input type="checkbox"/> Collect on Delivery</td> <td><input type="checkbox"/> Signature Confirmation™</td> </tr> <tr> <td><input type="checkbox"/> Collect on Delivery Restricted Delivery</td> <td><input type="checkbox"/> Signature Confirmation Restricted Delivery</td> </tr> <tr> <td><input type="checkbox"/> Insured Mail</td> <td></td> </tr> <tr> <td><input type="checkbox"/> Insured Mail Restricted Delivery (over \$500)</td> <td></td> </tr> </table>		<input type="checkbox"/> Adult Signature	<input type="checkbox"/> Priority Mail Express®	<input type="checkbox"/> Adult Signature Restricted Delivery	<input type="checkbox"/> Registered Mail™	<input checked="" type="checkbox"/> Certified Mail®	<input type="checkbox"/> Registered Mail Restricted Delivery	<input type="checkbox"/> Certified Mail Restricted Delivery	<input checked="" type="checkbox"/> Return Receipt for Merchandise	<input type="checkbox"/> Collect on Delivery	<input type="checkbox"/> Signature Confirmation™	<input type="checkbox"/> Collect on Delivery Restricted Delivery	<input type="checkbox"/> Signature Confirmation Restricted Delivery	<input type="checkbox"/> Insured Mail		<input type="checkbox"/> Insured Mail Restricted Delivery (over \$500)	
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2. Article Number (Transfer from service label)	7022 0410 0002 1799 1355																	
PS Form 3811, July 2015 PSN 7530-02-000-9053		Domestic Return Receipt																

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<ul style="list-style-type: none"> <li>Complete items 1, 2, and 3.</li> <li>Print your name and address on the reverse so that we can return the card to you.</li> <li>Attach this card to the back of the mailpiece, or on the front if space permits.</li> </ul>	<p>A. Signature   <input type="checkbox"/> Agent  <input type="checkbox"/> Addressee</p>																	
1. Article Addressed to:	B. Received by (Printed Name) 	C. Date of Delivery																
<p>STEVENS PAUL &amp; PAULA          13218 KY 6          CORBIN KY 40701</p>	<p>D. Is delivery address different from item 1? <input type="checkbox"/> Yes          If YES, enter delivery address below: <input type="checkbox"/> No</p>																	
 9590 9402 5283 9154 4138 52	<p>3. Service Type</p> <table border="0"> <tr> <td><input type="checkbox"/> Adult Signature</td> <td><input type="checkbox"/> Priority Mail Express®</td> </tr> <tr> <td><input type="checkbox"/> Adult Signature Restricted Delivery</td> <td><input type="checkbox"/> Registered Mail™</td> </tr> <tr> <td><input checked="" type="checkbox"/> Certified Mail®</td> <td><input type="checkbox"/> Registered Mail Restricted Delivery</td> </tr> <tr> <td><input type="checkbox"/> Certified Mail Restricted Delivery</td> <td><input checked="" type="checkbox"/> Return Receipt for Merchandise</td> </tr> <tr> <td><input type="checkbox"/> Collect on Delivery</td> <td><input type="checkbox"/> Signature Confirmation™</td> </tr> <tr> <td><input type="checkbox"/> Collect on Delivery Restricted Delivery</td> <td><input type="checkbox"/> Signature Confirmation Restricted Delivery</td> </tr> <tr> <td><input type="checkbox"/> Insured Mail</td> <td></td> </tr> <tr> <td><input type="checkbox"/> Insured Mail Restricted Delivery (over \$500)</td> <td></td> </tr> </table>		<input type="checkbox"/> Adult Signature	<input type="checkbox"/> Priority Mail Express®	<input type="checkbox"/> Adult Signature Restricted Delivery	<input type="checkbox"/> Registered Mail™	<input checked="" type="checkbox"/> Certified Mail®	<input type="checkbox"/> Registered Mail Restricted Delivery	<input type="checkbox"/> Certified Mail Restricted Delivery	<input checked="" type="checkbox"/> Return Receipt for Merchandise	<input type="checkbox"/> Collect on Delivery	<input type="checkbox"/> Signature Confirmation™	<input type="checkbox"/> Collect on Delivery Restricted Delivery	<input type="checkbox"/> Signature Confirmation Restricted Delivery	<input type="checkbox"/> Insured Mail		<input type="checkbox"/> Insured Mail Restricted Delivery (over \$500)	
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2. Article Number (Transfer from service label)	7022 0410 0002 1799 1348																	
PSN 7530-02-000-9053		Domestic Return Receipt																

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1. Article Addressed to:	B. Received by (Printed Name) 	C. Date of Delivery																
<p>LOGAN FREDDIE &amp; SHIRLEY          5375 KY 3436          CORBIN KY 40701</p>	<p>D. Is delivery address different from item 1? <input type="checkbox"/> Yes          If YES, enter delivery address below: <input type="checkbox"/> No</p>																	
 9590 9402 5283 9154 4141 56	<p>3. Service Type</p> <table border="0"> <tr> <td><input type="checkbox"/> Adult Signature</td> <td><input type="checkbox"/> Priority Mail Express®</td> </tr> <tr> <td><input type="checkbox"/> Adult Signature Restricted Delivery</td> <td><input type="checkbox"/> Registered Mail™</td> </tr> <tr> <td><input checked="" type="checkbox"/> Certified Mail®</td> <td><input type="checkbox"/> Registered Mail Restricted Delivery</td> </tr> <tr> <td><input type="checkbox"/> Certified Mail Restricted Delivery</td> <td><input checked="" type="checkbox"/> Return Receipt for Merchandise</td> </tr> <tr> <td><input type="checkbox"/> Collect on Delivery</td> <td><input type="checkbox"/> Signature Confirmation™</td> </tr> <tr> <td><input type="checkbox"/> Collect on Delivery Restricted Delivery</td> <td><input type="checkbox"/> Signature Confirmation Restricted Delivery</td> </tr> <tr> <td><input type="checkbox"/> Insured Mail</td> <td></td> </tr> <tr> <td><input type="checkbox"/> Insured Mail Restricted Delivery (over \$500)</td> <td></td> </tr> </table>		<input type="checkbox"/> Adult Signature	<input type="checkbox"/> Priority Mail Express®	<input type="checkbox"/> Adult Signature Restricted Delivery	<input type="checkbox"/> Registered Mail™	<input checked="" type="checkbox"/> Certified Mail®	<input type="checkbox"/> Registered Mail Restricted Delivery	<input type="checkbox"/> Certified Mail Restricted Delivery	<input checked="" type="checkbox"/> Return Receipt for Merchandise	<input type="checkbox"/> Collect on Delivery	<input type="checkbox"/> Signature Confirmation™	<input type="checkbox"/> Collect on Delivery Restricted Delivery	<input type="checkbox"/> Signature Confirmation Restricted Delivery	<input type="checkbox"/> Insured Mail		<input type="checkbox"/> Insured Mail Restricted Delivery (over \$500)	
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2. Article Number (Transfer from service label)	7022 0410 0002 1799 1164																	
PS Form 3811, July 2015 PSN 7530-02-000-9053		Domestic Return Receipt																

SENDER: COMPLETE THIS SECTION

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1. Article Addressed to:

MODICA ANDREW & STACY  
13355 KY 6  
CORBIN KY 40701



9590 9402 5283 9154 4138 38

2. Article Number (Transfer from service label)

7022 0410 0002 1799 1362

PS Form 3811, July 2015 PSN 7530-02-000-9053

COMPLETE THIS SECTION ON DELIVERY

A. Signature

X *Stacy Modica*  Agent  
 Addressee

B. Received by (Printed Name)

Stacy Modica

C. Date of Delivery

D. Is delivery address different from item 1?  Yes  
If YES, enter delivery address below:  No

3. Service Type

- Adult Signature
- Adult Signature Restricted Delivery
- Certified Mail®
- Certified Mail Restricted Delivery
- Collect on Delivery
- Collect on Delivery Restricted Delivery
- Insured Mail
- Mail Restricted Delivery (0)
- Priority Mail Express®
- Registered Mail™
- Registered Mail Restricted Delivery
- Return Receipt for Merchandise
- Signature Confirmation™
- Signature Confirmation Restricted Delivery

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

WILSON BETTY  
C/O SUSANNE GRIFFIN  
814 W. 4<sup>TH</sup> STREET  
CORBIN KY 40701



9590 9402 5283 9154 4141 18

2. Article Number (Transfer from service label)

7022 0410 0002 1799 1218

PS Form 3811, July 2015 PSN 7530-02-000-9053

COMPLETE THIS SECTION ON DELIVERY

A. Signature

X *Stacy Modica*  Agent  
 Addressee

B. Received by (Printed Name)

Stacy Modica

C. Date of Delivery

3-13-23

D. Is delivery address different from item 1?  Yes  
If YES, enter delivery address below:  No

3. Service Type

- Adult Signature
- Adult Signature Restricted Delivery
- Certified Mail®
- Certified Mail Restricted Delivery
- Collect on Delivery
- Collect on Delivery Restricted Delivery
- Insured Mail
- Mail Restricted Delivery (0)
- Priority Mail Express®
- Registered Mail™
- Registered Mail Restricted Delivery
- Return Receipt for Merchandise
- Signature Confirmation™
- Signature Confirmation Restricted Delivery

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- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

PREWITT ETTIE & ROY  
83 HELTON LN  
CORBIN KY 40701



9590 9402 7453 2055 4389 56

2. Article Number (Transfer from service label)

7022 0410 0002 1799 1324

PS Form 3811, July 2020 PSN 7530-02-000-9053

COMPLETE THIS SECTION ON DELIVERY

A. Signature

X *Roy Prewitt*  Agent  
 Addressee

B. Received by (Printed Name)

Roy Prewitt

C. Date of Delivery

D. Is delivery address different from item 1?  Yes  
If YES, enter delivery address below:  No

3. Service Type

- Adult Signature
- Adult Signature Restricted Delivery
- Certified Mail®
- Certified Mail Restricted Delivery
- Collect on Delivery
- Collect on Delivery Restricted Delivery
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- Mail Restricted Delivery (0)
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- Registered Mail Restricted Delivery
- Return Receipt for Merchandise
- Signature Confirmation™
- Signature Confirmation Restricted Delivery

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- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

BENNETT MICHAEL & HELEN  
PO BOX 173  
WOODBINE KY 40771



9590 9402 5283 9154 4140 57

2. Article Number (Transfer from service label)

7022 0410 0002 1799 1287

**COMPLETE THIS SECTION ON DELIVERY**

A. Signature

X *Dawn Hill*  Agent  Addressee

B. Received by (Printed Name)

C. Date of Delivery

D. Is delivery address different from item 1?  Yes  
If YES, enter delivery address below:  No

3. Service Type

- Adult Signature
- Adult Signature Restricted Delivery
- Certified Mail®
- Certified Mail Restricted Delivery
- Collect on Delivery
- Collect on Delivery Restricted Delivery
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- Insured Mail Restricted Delivery
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- Registered Mail™
- Registered Mail Restricted Delivery
- Return Receipt for Merchandise
- Signature Confirmation™
- Signature Confirmation Restricted Delivery



ClarkQuinn

www.clarkquinnlaw.com

**Russell L. Brown**  
Attorney at Law  
rbrown@clarkquinnlaw.com

**320 N. Meridian St., Ste. 1100**  
**Indianapolis, IN 46204**  
**(317) 637-1321 main**  
**(317) 687-2344 fax**

March 9, 2023

Via Certified Mail, Return Receipt Requested  
7022 0410 0002 1799 1263

Hon. Mike Mitchell  
PO Box 173  
401 Court St., Ste 6  
Barbourville, KY 40906

RE: Notice of Proposal to Construct Wireless Communications Facility  
Kentucky Public Service Commission Docket No. 2023-00075  
Site Name: Wilton Lake

Dear Judge Mitchell:

Cellco Partnership, d/b/a Verizon Wireless have filed an application with the Kentucky Public Service Commission ("PSC") to construct a new wireless communications facility on a site located on Liberty Road, Corbin, KY 40701 (North Latitude: (36° 53' 16.15", West Longitude 84° 02' 55.85"). The proposed facility will include a 300-foot tall antenna tower, plus a 5-foot lightning arrestor, for a total height of 305 feet with related ground facilities. This facility is needed to provide improved coverage for wireless communications in the area.

You have a right to submit comments to the PSC or to request intervention in the PSC's proceedings on the application. You may contact the PSC at: Executive Director, Public Service Commission, 211 Sower Boulevard, P.O. Box 615, Frankfort, Kentucky 40602. Please refer to docket number 2023-00075 in any correspondence sent in connection with this matter.

We have attached a map showing the site location for the proposed tower. Verizon Wireless' radio frequency engineers assisted in selecting the proposed site for the facility, and they have determined it is the proper location and elevation needed to provide quality service to wireless customers in the area. Please feel free to contact us with any comments or questions you may have.

Sincerely,  
Russell L. Brown

Attorney for Applicant  
RLB/jdj  
Enclosures

Location Map

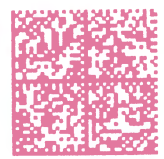


ClarkQuinn  
ark, Quinn, Moses, Scott & Grahn, LLP



7022 0410 0002 1799 1263

FIRST-CLASS

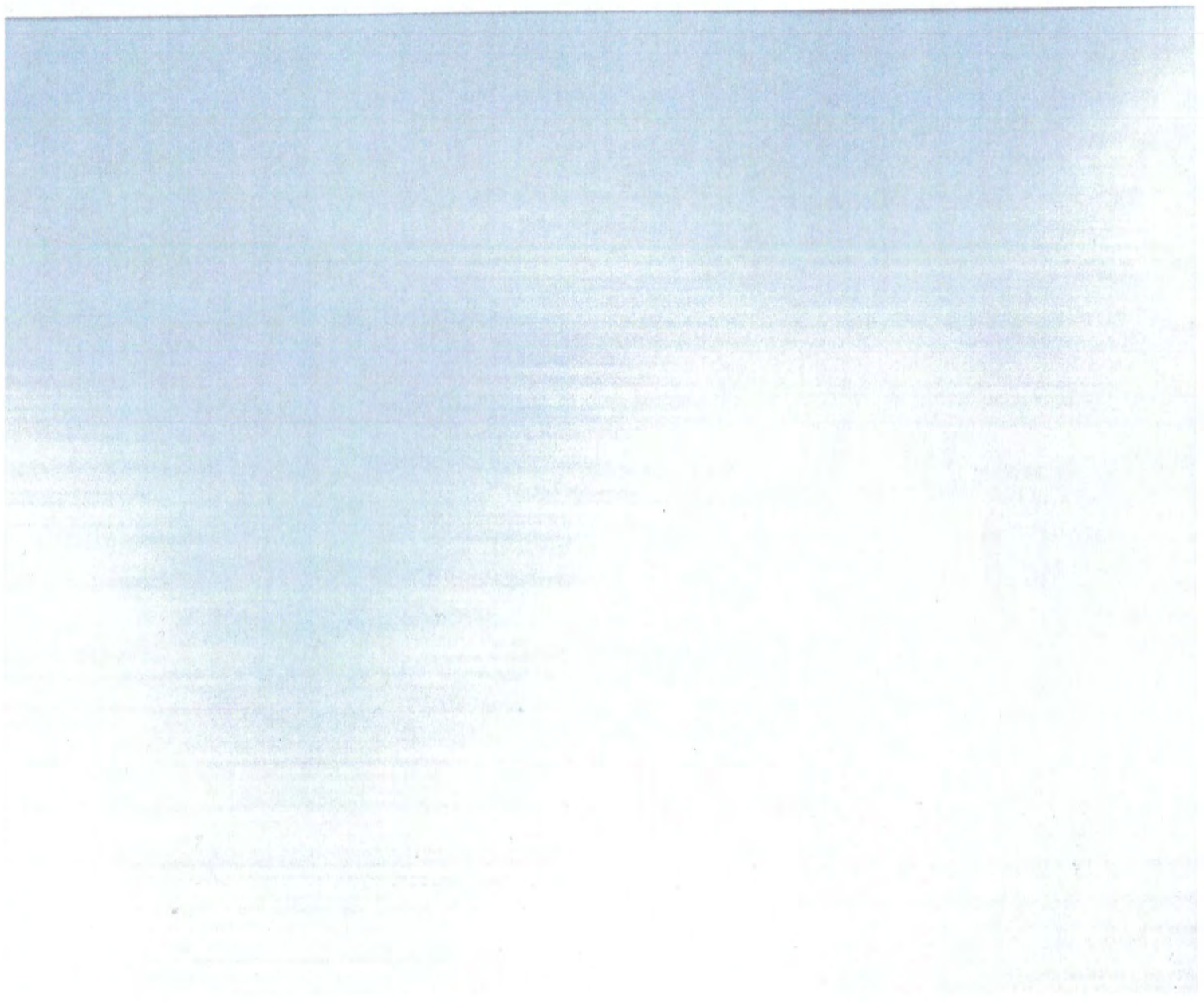


US POSTAGE<sup>IMP</sup>PITNEY BOWES



ZIP 46204 \$ 008.10<sup>0</sup>  
02 7H  
0006035028 MAR 09 2023

Hon. Mike Mitchell  
P.O. Box 173  
401 Court Street, Ste. 6  
Barbourville, KY 40906



**SENDER: COMPLETE THIS SECTION**

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- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

Hon. M. Mitchell  
 P.O. Box 173  
 401 Court Street, Ste. 6  
 Barbourville, KY 40906



9590 9402 5283 9154 4139 06

2. Article Number (Transfer from service label)

7022 0410 0002 1799 1263

**COMPLETE THIS SECTION ON DELIVERY**

A. Signature

*[Handwritten Signature]*

- Agent
- Addressee

B. Received by (Printed Name)

*John Tye*

C. Date of Delivery

3-13-23

- D. Is delivery address different from item 1?  Yes  
 If YES, enter delivery address below:  No

3. Service Type

- Adult Signature
- Adult Signature Restricted Delivery
- Certified Mail®
- Certified Mail Restricted Delivery
- Collect on Delivery
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- Mail Restricted Delivery (0)
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- Registered Mail™
- Registered Mail Restricted Delivery
- Return Receipt for Merchandise
- Signature Confirmation™
- Signature Confirmation Restricted Delivery



## SITE NAME: Wilton Lake NOTICE SIGNS

The signs are at least (2) feet by four (4) feet in size, of durable material, with the text printed in black letters at least one (1) inch in height against a white background, except for the word "**tower**," which is at least four (4) inches in height.

Cellco Partnership, d/b/a Verizon Wireless proposes to construct a telecommunications **tower** on this site. If you have questions, please contact Clark, Quinn, Moses, Scott & Grahn, LLP, 320 N. Meridian Street, Indianapolis, IN 46204; 317-637-1321, or the Executive Director, Public Service Commission, 211 Sower Boulevard, PO Box 615, Frankfort, Kentucky 40602. Please refer to docket number 2023-00075 in your correspondence.

Cellco Partnership, d/b/a Verizon Wireless proposes to construct a telecommunications **tower** on this site. If you have questions, please contact Clark, Quinn, Moses, Scott & Grahn, LLP, 320 N. Meridian Street, Indianapolis, IN 46204; 317-637-1321, or the Executive Director, Public Service Commission, 211 Sower Boulevard, PO Box 615, Frankfort, Kentucky 40602. Please refer to docket number 2023-00075 in your correspondence.



Robert B. Scott  
Charles R. Grahn  
Frank D. Otte\*  
John "Bart" Herriman  
William W. Gooden\*\*  
Michael P. Maxwell  
Russell L. Brown\*\*†  
Jennifer F. Perry  
Keith L. Beall  
N. Davey Neal  
Travis W. Cohron  
Maggie L. Sadler  
Kristin A. McIlwain  
Olivia A. Hess

VIA EMAIL: [jbenfield@corbinnewsjournal.com](mailto:jbenfield@corbinnewsjournal.com)

---

Land Use Consultant  
Elizabeth Bentz Williams, AICP

---

The News Journal  
PO Box 1524  
Corbin, KY 40701

\*Also admitted in Montana  
†Also admitted in Kentucky  
\*\*

Registered Civil Mediator

RE: Legal Notice Advertisement  
Site Name: Wilton Lake

To Whom It May Concern,

Please publish the following legal notice advertisement in the next available edition of the Corbin News Journal Publication:

#### NOTICE

**Cellco Partnership, d/b/a Verizon Wireless has filed an application with the Kentucky Public Service Commission ("PSC") to construct a new wireless communications facility on a site located on Liberty Road, Corbin KY 40701 (North Latitude: (36° 53' 16.15", West Longitude 84° 02' 55.85")). The proposed facility will include a 300-foot tall antenna tower, plus a 5-foot lightning arrestor, for a total height of 305 feet with related ground facilities. You have a right to submit comments to the PSC or to request intervention in the PSC's proceedings on the application. You may contact the PSC at: Executive Director, Public Service Commission, 211 Sower Boulevard, P.O. Box 615, Frankfort, Kentucky 40602. Please refer to docket number 2023-00075 in any correspondence sent in connection with this matter.**

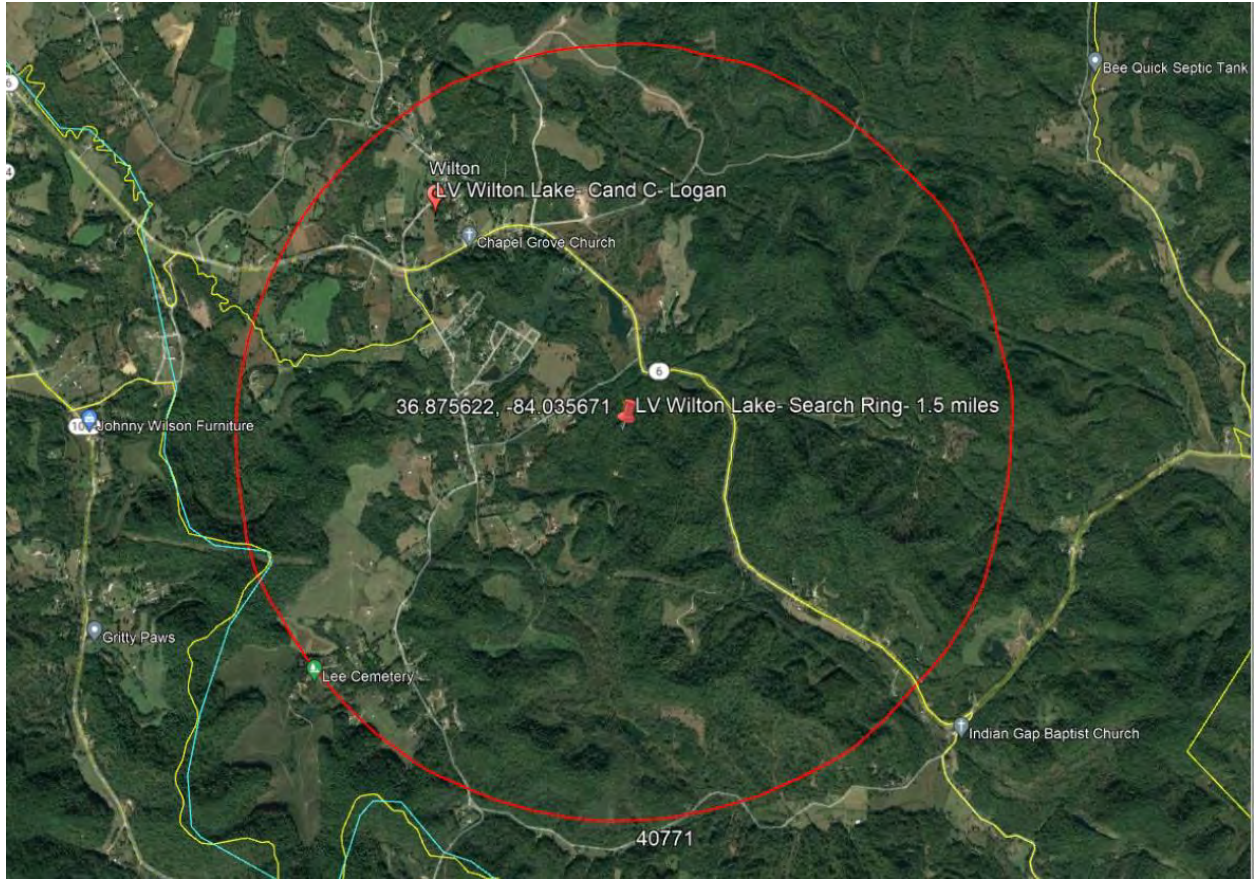
After this advertisement has been published, please forward a tearsheet copy, affidavit of publication, and invoice to Clark, Quinn, Moses, Scott & Grahn, LLC, 320 N. Meridian Street, Indianapolis, IN 46204 or by email to [ebw@clarkquinnlaw.com](mailto:ebw@clarkquinnlaw.com). Please call me on my cell with any questions at 317-902-2187 if you have any questions. Thank you for your assistance.

Sincerely,

A handwritten signature in cursive script that reads 'Elizabeth Bentz Williams'.

Elizabeth Bentz Williams, AICP

# RF Design Search Area





August, 26<sup>th</sup>, 2022

RE: Proposed Celco Partnership d/b/a Verizon Wireless Communications Facility

Site Name: **LV WILTON LAKE**

Type of Tower: 305' Self Support

Location: Near Liberty Road, Corbin, KY 40701 Knox County

To Whom It May Concern:

As a radio frequency engineer for Verizon Wireless, I am providing this letter to state the need for a Verizon Wireless site called **LV WILTON LAKE**.

The **LV WILTON LAKE** site is proposed with the below objectives:

- 1 To offload existing demand and traffic of existing Verizon sites in this area.
- 2 Improve 4G throughput to existing heavy data users.
- 3 Improve 4G network reliability by increasing the amount of time our customers operate on 4G instead of 3G.

Currently the area is experiencing high demand for wireless high-speed data. Growth forecasts have triggered the need for an additional site in the area. The tower is needed to provide all Verizon customers in the area with the best experience on their 4G wireless devices.

Raw Land – Design plans for a new tower would provide overall tower height of **305'** with a Verizon Wireless Centerline of **295'**. The new structure height was decided upon to best cover the offload area and interact with the existing Verizon sites. If we are limited to building a structure less than the proposed height, another tower would be needed in the vicinity in the near future. In addition, building a structure that is too short can cause existing taller sites to shoot over the proposed site and building a site that is too tall can cause the proposed site to shoot over existing sites. Both situations create a poor experience from a user perspective. The new structure will be placed near the center of the area with high traffic demand and offload the surrounding sites greatly. The new tower design meets stated objectives.

Verizon Wireless cares about the communities as well as the environment and prefers to collocate on existing structures when available. It can be noticed from any map that Verizon Wireless is currently collocated on many existing structures in the area. We prefer collocation due to reduced construction costs, faster deployment, and environment protection. However, Verizon Wireless was unable to find a suitable structure within the center of demand area to collocate the proposed **LV WILTON LAKE** site.

**Encore Communication (FCC ID: 10435525)** –Site is located far Northwest of the demand area and outside the demand search ring. Therefore Verizon does not feel this site meets our customer's needs and is not viable.



Verizon Wireless design engineers establish search area criteria in order to effectively meet coverage objectives as well as offload existing Verizon cell sites. When met, the criterion also reduces the need for a new site to cover the area in the immediate future. Each cellular site covers a limited area, depending on site configuration and the surrounding terrain. Cell sites are built in an interconnected network; which means each cell site must be located so that their respective coverage areas are contiguous. This provides uninterrupted communications throughout the coverage area.

Since collocation is generally the most cost-effective means for prompt deployment of new facilities, Verizon Wireless makes every effort to investigate the feasibility for using existing towers or other tall structures for collocation when designing a new site or system expansion. However, collocation on an existing tower or tall structure is not always feasible due to location of existing cell sites. Cell sites are placed in a way so they provide smooth hand off to each other and are placed at some distance from each other to eliminate too much overlap. Too much overlap may result in a waste of resources and raise a system capacity overload concern.

This cell site has been designed, and shall be constructed and operated in a manner that satisfies regulations and requirements of all applicable governmental agencies that have been charged with regulating tower specifications, operation, construction, and placement, including the FAA and FCC.

Sincerely,

A handwritten signature in black ink, appearing to read "Gordon Bruce Snyder". The signature is fluid and cursive, with a long horizontal stroke extending to the right.

Gordon Bruce Snyder  
Sr RF Engineer  
**Verizon Wireless**



August, 26<sup>th</sup>, 2022.

RE: Knox County Zoning Plots

Site Name: LV WILTON LAKE

To Whom It May Concern:

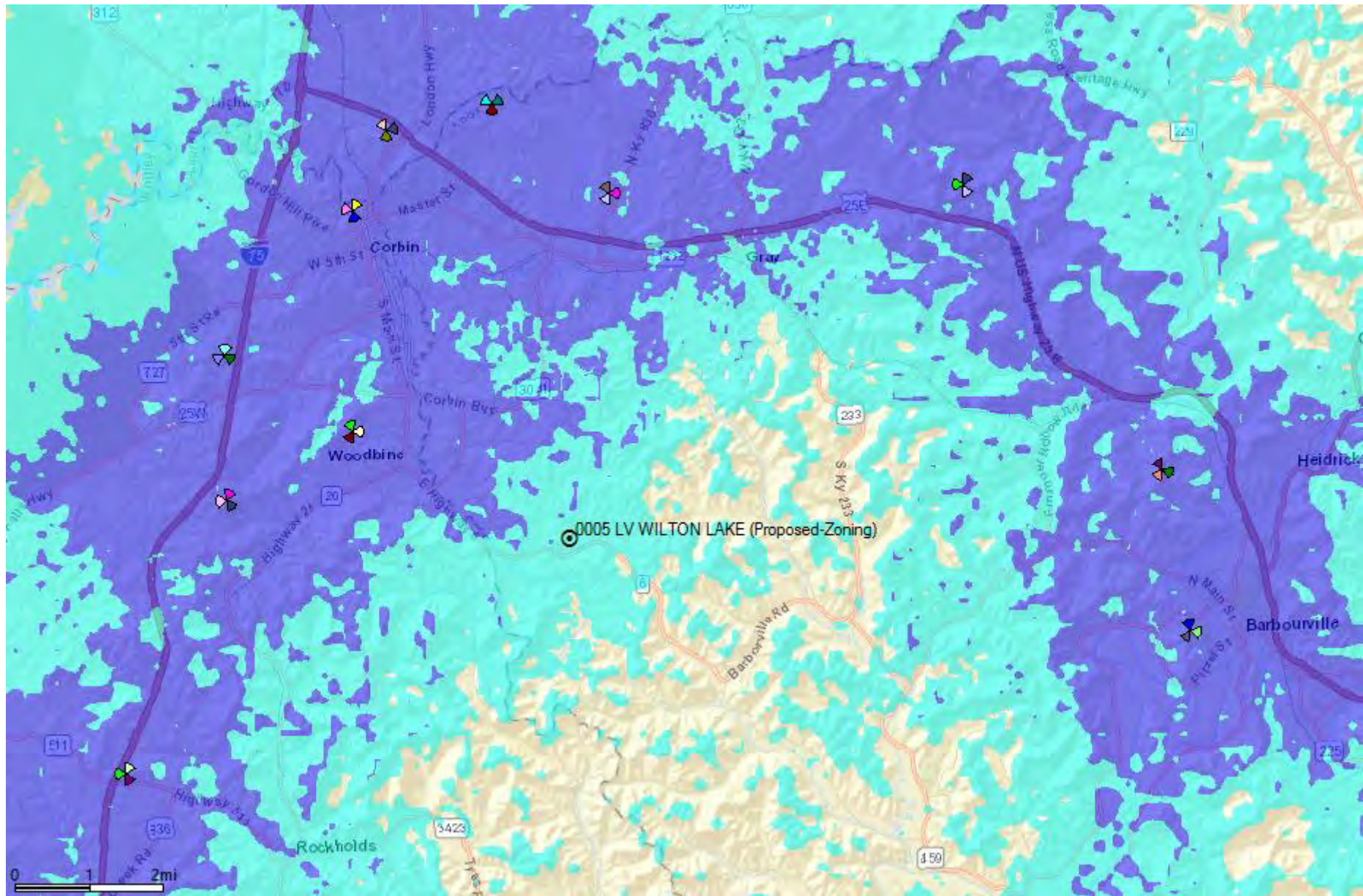
This map is not a guarantee of coverage and may contain areas with no service. This map reflects a depiction of predicted and approximate wireless coverage of the network and is intended to provide a relative comparison of coverage. The depictions of coverage do not guarantee service availability as there are many factors that can influence coverage and service availability. These factors vary from location to location and change over time. The coverage areas may include locations with limited or no coverage. Even within a coverage area shown, there are many factors, including but not limited to, usage volumes, service, outage, and customer's equipment, and terrain, proximity to buildings, foliage, and weather that may impact service.

The proposed site is needed to offload capacity from existing sites. This map reflects the predicted coverage area that will be offloaded from existing sites and transferred to the proposed site.

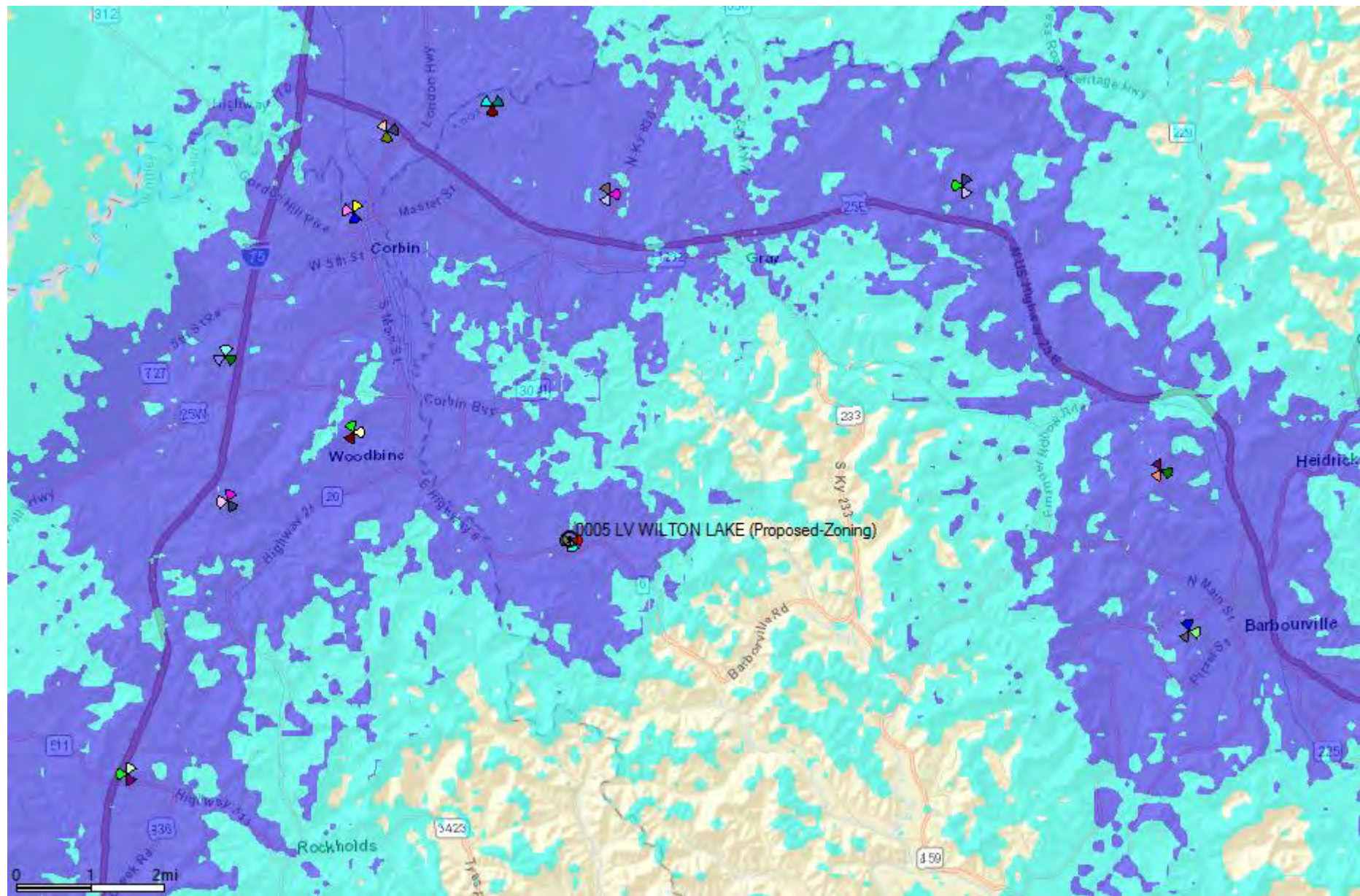
Sincerely,

A handwritten signature in black ink, appearing to read "Gordon Bruce Snyder". The signature is fluid and cursive, with a long horizontal stroke at the end.

Gordon Bruce Snyder  
Sr RF Engineer, **Verizon Wireless**



■ LTE Core Coverage  
■ LTE Border Coverage



■ LTE Core Coverage  
■ LTE Border Coverage



**Exhibit S**  
**List and Identity and Qualifications of Professionals**

Mark E. Patterson  
Professional Land Surveyor  
Kentucky License 3136  
Power of Design Group, LLC  
11490 Bluegrass Parkway  
Louisville, KY 40299

Mark E. Patterson  
Professional Engineer  
Kentucky License 16300  
Power of Design Group, LLC  
11490 Bluegrass Parkway  
Louisville, KY 40299

Joseph Pachicarah Jacobs  
Professional Engineer  
Kentucky License 22177  
Valmont Structures  
1545 Pidco Dr.  
Plymouth, IN 462563

Vincent Caprino  
Construction Manager  
Verizon Wireless  
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