

**COMMONWEALTH OF KENTUCKY  
BEFORE THE PUBLIC SERVICE COMMISSION**

In the Matter of:

THE APPLICATION OF )  
NEW CINGULAR WIRELESS PCS, LLC, )  
A DELAWARE LIMITED LIABILITY COMPANY, )  
D/B/A AT&T MOBILITY )  
AND HARMONI TOWERS LLC, A DELAWARE )  
LIMITED LIABILITY COMPANY )  
FOR ISSUANCE OF A CERTIFICATE OF PUBLIC ) CASE NO.: 2022-00279  
CONVENIENCE AND NECESSITY TO CONSTRUCT )  
A WIRELESS COMMUNICATIONS FACILITY )  
IN THE COMMONWEALTH OF KENTUCKY )  
IN THE COUNTY OF WAYNE )

SITE NAME: WEST HIGHWAY 90 / ZULA RELO

\* \* \* \* \*

**APPLICATION FOR  
CERTIFICATE OF PUBLIC CONVENIENCE AND NECESSITY  
FOR CONSTRUCTION OF A WIRELESS COMMUNICATIONS FACILITY**

New Cingular Wireless PCS, LLC, a Delaware limited liability company, d/b/a AT&T Mobility and Harmoni Towers LLC, a Delaware limited liability company (“Applicants”), by counsel, pursuant to (i) KRS §§ 278.020, 278.040, 278.650, 278.665, and other statutory authority, and the rules and regulations applicable thereto, and (ii) the Telecommunications Act of 1996, respectfully submit this Application requesting issuance of a Certificate of Public Convenience and Necessity (“CPCN”) from the Kentucky Public Service Commission (“PSC”) to construct, maintain, and operate a Wireless Communications Facility (“WCF”) to serve the customers of the Applicants with wireless communications services.

In support of this Application, Applicants respectfully provide and state the following

information:

1. The complete names and addresses of the Applicants are: New Cingular Wireless PCS, LLC, a Delaware limited liability company, d/b/a AT&T Mobility, having an address of Meidinger Tower, 462 S. 4<sup>th</sup> Street, Suite 2400, Louisville, Kentucky 40202 and Harmoni Towers LLC, a Delaware limited liability company having an address of 11101 Anderson Drive, Suite 200, Little Rock, Arkansas 72212.

2. Applicants propose construction of an antenna tower for communications services, which is to be located in an area outside the jurisdiction of a planning commission, and Applicants submit this application to the PSC for a certificate of public convenience and necessity pursuant to KRS §§ 278.020(1), 278.040, 278.650, 278.665, and other statutory authority.

3. AT&T Mobility is a limited liability company organized in the State of Delaware on October 20, 1994. Harmoni Towers is a limited liability company organized in the State of Delaware on December 2, 2015.

4. Applicants attest that they are in good standing in the state in which they are organized and further state that they are authorized to transact business in Kentucky.

5. The Certificates of Authority filed with the Kentucky Secretary of State for both Applicants are attached as part of **Exhibit A** pursuant to 807 KAR 5:001: Section 14(3). Note that Harmoni Towers LLC was formerly organized as Uniti Towers LLC (see an Amended Certificate of Authority to change entity name dated March 22, 2021 attached as part of **Exhibit A**). The Certificates of Authority for Uniti Towers LLC along with the Amended Certificate of Authority for Harmoni Towers LLC is attached as part of **Exhibit A**.

6. AT&T Mobility operates on frequencies licensed by the Federal

Communications Commission (“FCC”) pursuant to applicable FCC requirements. Copies of AT&T Mobility’s FCC licenses to provide wireless services are attached to this Application or described as part of **Exhibit A**, and the facility will be constructed and operated in accordance with applicable FCC regulations.

7. The public convenience and necessity require the construction of the proposed WCF. The construction of the WCF will bring or improve AT&T Mobility’s services to an area currently not served or not adequately served by AT&T Mobility by increasing coverage or capacity and thereby enhancing the public’s access to innovative and competitive wireless communications services. The WCF will provide a necessary link in AT&T Mobility’s communications network that is designed to meet the increasing demands for wireless services in Kentucky’s wireless communications service area. The WCF is an integral link in AT&T Mobility’s network design that must be in place to provide adequate coverage to the service area.

8. To address the above-described service needs, Applicants propose to construct a WCF at 571 Holly Hill Tree Lane, Monticello, KY 42633 (E-911) / Hill Drive, Monticello, KY 42633 (PARCEL) (36° 46’ 32.88” North latitude, 84° 56’ 33.45” West longitude), on a parcel of land located entirely within the county referenced in the caption of this application. The property on which the WCF will be located is owned by Mark Lewis and Bryant Dunagan subject to the life estate of Robin Lewis pursuant to a deed recorded at Deed Book 351, Page 60 in the office of the County Clerk. The proposed WCF will consist of a 2-foot tall foundation below a 255-foot tall tower, with an approximately 10-foot tall lightning arrestor attached at the top, for a total height of 267-feet, plus related ground facilities. The WCF will also include concrete foundations and a shelter or cabinets to

accommodate the placement of AT&T Mobility's radio electronics equipment and appurtenant equipment. The Applicants' equipment cabinet or shelter will be approved for use in the Commonwealth of Kentucky by the relevant building inspector. The WCF compound will be fenced and all access gate(s) will be secured. A description of the manner in which the proposed WCF will be constructed is attached as **Exhibit B** and **Exhibit C**.

9. A list of utilities, corporations, or persons with whom the proposed WCF is likely to compete is attached as **Exhibit D**.

10. The site development plan and a vertical profile sketch of the WCF signed and sealed by a professional engineer registered in Kentucky depicting the tower height, as well as a proposed configuration for AT&T Mobility's antennas has also been included as part of **Exhibit B**.

11. Foundation design plans signed and sealed by a professional engineer registered in Kentucky and a description of the standards according to which the tower was designed are included as part of **Exhibit C**.

12. Applicants have considered the likely effects of the installation of the proposed WCF on nearby land uses and values and have concluded that there is no more suitable location reasonably available from which adequate services can be provided, and that there are no reasonably available opportunities to co-locate AT&T Mobility's antennas on an existing structure. When suitable towers or structures exist, AT&T Mobility attempts to co-locate on existing structures such as communications towers or other structures capable of supporting AT&T Mobility's facilities; however, no other suitable or available co-

location site was found to be located in the vicinity of the site.<sup>1</sup>

13. A copy of the Determination of No Hazard to Air Navigation issued by the Federal Aviation Administration (“FAA”) is attached as **Exhibit E**.

14. A copy of the Kentucky Airport Zoning Commission ("KAZC") approval for the proposed construction is attached as **Exhibit F**.

15. A geotechnical engineering firm has performed soil boring(s) and subsequent geotechnical engineering studies at the WCF site. A copy of the geotechnical engineering report, signed and sealed by a professional engineer registered in the Commonwealth of Kentucky, is attached as **Exhibit G**. The name and address of the geotechnical engineering firm and the professional engineer registered in the Commonwealth of Kentucky who supervised the examination of this WCF site are included as part of this exhibit.

16. Clear directions to the proposed WCF site from the County seat are attached as **Exhibit H**. The name and telephone number of the preparer of **Exhibit H** are included as part of this exhibit.

17. Harmoni Towers LLC, pursuant to a written agreement, has acquired the right to use the WCF site and associated property rights. A copy of the agreements or abbreviated agreements recorded with the County Clerk are attached as **Exhibit I**.

18. Personnel directly responsible for the design and construction of the

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<sup>1</sup> AT&T is currently co-located on an existing tower (FCC Antenna Structure Registration Number: 1258267) owned by SBA Towers VII, LLC (hereafter the “SBA Tower”). The SBA Tower is located in the vicinity where AT&T must place its communications facility in order to meet the coverage objectives for this project. However, SBA Towers VII, LLC utilizes a non-competitive and burdensome cost structure that is not economically sustainable because of high rental rates, annual rent increases, rental upcharges and other leasing adjustments each time AT&T needs to upgrade its equipment to keep pace with technological changes necessary to provide state of the art communication services to the area, so the SBA tower is no longer reasonably available for co-location.

proposed WCF are well qualified and experienced. The tower and foundation drawings for the proposed tower submitted as part of **Exhibit C** bear the signature and stamp of a professional engineer registered in the Commonwealth of Kentucky. All tower designs meet or exceed the minimum requirements of applicable laws and regulations.

19. The Construction Manager for the proposed facility is Marshall Corbin and the identity and qualifications of each person directly responsible for design and construction of the proposed tower are contained in **Exhibits B & C**.

20. As noted on the Survey attached as part of **Exhibit B**, the surveyor has determined that the site is not within any flood hazard area.

21. **Exhibit B** includes a map drawn to an appropriate scale that shows the location of the proposed tower and identifies every owner of real estate within 500 feet of the proposed tower (according to the records maintained by the County Property Valuation Administrator). Every structure and every easement within 500 feet of the proposed tower or within 200 feet of the access road including intersection with the public street system is illustrated in **Exhibit B**.

22. Applicants have notified every person who, according to the records of the County Property Valuation Administrator, owns property which is within 500 feet of the proposed tower or contiguous to the site property, by certified mail, return receipt requested, of the proposed construction. Each notified property owner has been provided with a map of the location of the proposed construction, the PSC docket number for this application, the address of the PSC, and has been informed of his or her right to request intervention. A list of the notified property owners and a copy of the form of the notice sent by certified mail to each landowner are attached as **Exhibit J** and **Exhibit K**, respectively.

Copies of the certified green card receipts for each of the landowners who were provided notice are also included as part of **Exhibit J**.

23. Applicants have notified the applicable County Judge/Executive by certified mail, return receipt requested, of the proposed construction. This notice included the PSC docket number under which the application will be processed and informed the County Judge/Executive of his/her right to request intervention. A copy of this notice is attached as **Exhibit L**.

24. Notice signs meeting the requirements prescribed by 807 KAR 5:063, Section 1(2) that measure at least 2 feet in height and 4 feet in width and that contain all required language in letters of required height, have been posted, one in a visible location on the proposed site and on the nearest public road. Such signs shall remain posted for at least two weeks after filing of the Application, and a copy of the posted text is attached as **Exhibit M**. A legal notice advertisement regarding the location of the proposed facility has been published in a newspaper of general circulation in the county in which the WCF is proposed to be located. A copy of the newspaper legal notice advertisement is attached as part of **Exhibit M**.

25. The general area where the proposed facility is to be located is rural in character.

26. The process that was used by AT&T Mobility's radio frequency engineers in selecting the site for the proposed WCF was consistent with the general process used for selecting all other existing and proposed WCF facilities within the proposed network design area. AT&T Mobility's radio frequency engineers have conducted studies and tests in order to develop a highly efficient network that is designed to handle voice and data traffic in the

service area. The engineers determined an optimum area for the placement of the proposed facility in terms of elevation and location to provide the best quality service to customers in the service area. A radio frequency design search area prepared in reference to these radio frequency studies was considered by the Applicants when searching for sites for its antennas that would provide the coverage deemed necessary by AT&T Mobility. A map of the area in which the tower is proposed to be located which is drawn to scale and clearly depicts the necessary search area within which the site should be located pursuant to radio frequency requirements is attached as **Exhibit N**.

27. The tower must be located at the proposed location and proposed height to provide necessary service to wireless communications users in the subject area.

28. All Exhibits to this Application are hereby incorporated by reference as if fully set out as part of the Application.

29. All responses and requests associated with this Application may be directed to:

David A. Pike  
Pike Legal Group, PLLC  
1578 Highway 44 East, Suite 6  
P. O. Box 369  
Shepherdsville, KY 40165-0369  
Telephone: (502) 955-4400  
Telefax: (502) 543-4410  
Email: dpike@pikelegal.com



**WHEREFORE**, Applicants respectfully request that the PSC accept the foregoing Application for filing, and having met the requirements of KRS §§ 278.020(1), 278.650, and 278.665 and all applicable rules and regulations of the PSC, grant a Certificate of Public Convenience and Necessity to construct and operate the WCF at the location set forth herein.

Respectfully submitted,



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David A. Pike  
Pike Legal Group, PLLC  
1578 Highway 44 East, Suite 6  
P. O. Box 369  
Shepherdsville, KY 40165-0369  
Telephone: (502) 955-4400  
Telefax: (502) 543-4410  
Email: dpike@pikelegal.com  
Attorney for Applicants

## LIST OF EXHIBITS

- A - Certificate of Authority & FCC License Documentation
- B - Site Development Plan:
  - 500' Vicinity Map
  - Legal Descriptions
  - Flood Plain Certification
  - Site Plan
  - Vertical Tower Profile
- C - Tower and Foundation Design
- D - Competing Utilities, Corporations, or Persons List
- E - FAA
- F - Kentucky Airport Zoning Commission
- G - Geotechnical Report
- H - Directions to WCF Site
- I - Copy of Real Estate Agreement
- J - Notification Listing & Certified Green Card Receipts
- K - Copy of Property Owner Notification
- L - Copy of County Judge/Executive Notice
- M - Copy of Posted Notices and Newspaper Notice Advertisement
- N - Copy of Radio Frequency Design Search Area

**EXHIBIT A**  
**CERTIFICATE OF AUTHORITY & FCC LICENSE**  
**DOCUMENTATION**

**Commonwealth of Kentucky**  
**Alison Lundergan Grimes, Secretary of State**

Alison Lundergan Grimes  
Secretary of State  
P. O. Box 718  
Frankfort, KY 40602-0718  
(502) 564-3490  
<http://www.sos.ky.gov>

**Certificate of Authorization**

Authentication number: 216299  
Visit <https://app.sos.ky.gov/ftshow/certvalidate.aspx> to authenticate this certificate.

I, Alison Lundergan Grimes, Secretary of State of the Commonwealth of Kentucky, do hereby certify that according to the records in the Office of the Secretary of State,

**NEW CINGULAR WIRELESS PCS, LLC**

, a limited liability company authorized under the laws of the state of Delaware, is authorized to transact business in the Commonwealth of Kentucky, and received the authority to transact business in Kentucky on October 14, 1999.

I further certify that all fees and penalties owed to the Secretary of State have been paid; that an application for certificate of withdrawal has not been filed; and that the most recent annual report required by KRS 14A.6-010 has been delivered to the Secretary of State.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my Official Seal at Frankfort, Kentucky, this 28<sup>th</sup> day of May, 2019, in the 227<sup>th</sup> year of the Commonwealth.



*Alison Lundergan Grimes*  
Alison Lundergan Grimes  
Secretary of State  
Commonwealth of Kentucky  
216299/0481848



COMMONWEALTH OF KENTUCKY  
ALISON LUNDERGAN GRIMES, SECRETARY OF STATE

0972004.06 mstratton  
ADD  
Allison Lundergan Grimes  
Kentucky Secretary of State  
Received and Filed:  
1/3/2017 3:10 PM  
Fee Receipt: \$90.00

Division of Business Filings Business Filings PO Box 718 Frankfort, KY 40602 (502) 564-3490 www.sos.ky.gov	Certificate of Authority (Foreign Business Entity)	FBE
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Pursuant to the provisions of KRS 14A and KRS 271B, 273, 274, 275, 362 and 386 the undersigned hereby applies for authority to transact business in Kentucky on behalf of the entity named below and, for that purpose, submits the following statements:

1. The entity is a:  profit corporation (KRS 271B);  nonprofit corporation (KRS 273);  professional service corporation (KRS 274);  
 business trust (KRS 386);  limited liability company (KRS 275);  professional limited liability company (KRS 275);  
 limited partnership (KRS 362).

2. The name of the entity is Unitl Towers LLC  
(The name must be identical to the name on record with the Secretary of State.)

3. The name of the entity to be used in Kentucky is (if applicable): \_\_\_\_\_  
(Only provide if "real name" is unavailable for use; otherwise, leave blank.)

4. The state or country under whose law the entity is organized is Delaware

5. The date of organization is 12/2/2015 and the period of duration is \_\_\_\_\_  
(If left blank, the period of duration is considered perpetual.)

6. The mailing address of the entity's principal office is  
10802 Executive Center Drive, Benton Building, Suite 300 Little Rock AR 72211  
Street Address City State Zip Code

7. The street address of the entity's registered office in Kentucky is  
306 West Main Street - Suite 512 Frankfort KY 40601  
Street Address (No P.O. Box Numbers) City State Zip Code

and the name of the registered agent at that office is C T Corporation System

8. The names and business addresses of the entity's representatives (secretary, officers and directors, managers, trustees or general partners):

<u>Daniel L. Heard</u> Name	<u>10802 Executive Center Drive, Benton Building, Suite 300</u> Street or P.O. Box	<u>Little Rock</u> City	<u>AR</u> State	<u>72211</u> Zip Code
<u>Kenneth Gunderman</u> Name	<u>10802 Executive Center Drive, Benton Building, Suite 300</u> Street or P.O. Box	<u>Little Rock</u> City	<u>AR</u> State	<u>72211</u> Zip Code
<u>Mark A. Wallace</u> Name	<u>10802 Executive Center Drive, Benton Building, Suite 300</u> Street or P.O. Box	<u>Little Rock</u> City	<u>AR</u> State	<u>72211</u> Zip Code

9. If a professional service corporation, all the individual shareholders, not less than one half (1/2) of the directors, and all of the officers other than the secretary and treasurer are licensed in one or more states or territories of the United States or District of Columbia to render a professional service described in the statement of purposes of the corporation

10. I certify that, as of the date of filing this application, the above-named entity validly exists under the laws of the jurisdiction of its formation.

11. If a limited partnership, it elects to be a limited liability limited partnership. Check the box if applicable:

12. If a limited liability company, check box if manager-managed:

13. This application will be effective upon filing, unless a delayed effective date and/or time is provided.  
 The effective date or the delayed effective date cannot be prior to the date the application is filed. The date and/or time is \_\_\_\_\_  
(Delayed effective date and/or time)

[Signature] Keith Harvey, VP - Deputy General Counsel 12/30/2016  
Signature of Authorized Representative Printed Name & Title Date

I, C T Corporation System, consent to serve as the registered agent on behalf of the business entity.  
Type/Print Name of Registered Agent

[Signature] Tristan Emrich Assistant Secretary 12/30/2016  
Signature of Registered Agent Printed Name Title Date

(09/15)

0972004.06

vmiller  
AMD

Michael G. Adams  
Kentucky Secretary of State  
Received and Filed:  
3/22/2021 12:28 PM  
Fee Receipt: \$40.00



COMMONWEALTH OF KENTUCKY  
MICHAEL ADAMS, SECRETARY OF STATE

Division of Business Filings  
P.O. Box 718  
Frankfort, KY 40602  
(502) 564-3490  
www.sos.ky.gov

Amended Certificate of Authority  
(Foreign Business Entity)

FCA

Pursuant to the provisions of KRS Chapter KRS 14A and 271B, 273, 274, 275, 362 or 386 the undersigned hereby applies for an amended certificate of authority on behalf of the entity named below and, for that purpose, submits the following statements:

- 1. The business entity is:
  - profit corporation (KRS 271B)
  - professional service corporation (KRS 274).
  - limited liability company (KRS 275).
  - professional limited liability company (KRS 275)
  - limited cooperative association
  - cooperative association
  - nonprofit corporation (KRS 273).
  - business trust (KRS 386).
  - limited partnership (KRS 362).
  - statutory trust (KRS 386)
  - non-profit LLC (KRS 275).

2. The name of the company is: Uniti Towers LLC  
(The name must be identical to the name on record with the Secretary of State.)

3. It is an entity organized and existing under the laws of the state or country of Delaware.

4. The entity received authority to transact business in Kentucky on 1/3/2017.

5. The entity has changed its (check all that apply)

- Domicile name to Harmoni Towers LLC
- Name to be used in Kentucky to Harmoni Towers LLC
- Jurisdiction of organization to \_\_\_\_\_
- Period of duration \_\_\_\_\_
- Form of organization \_\_\_\_\_
- Management type:  Member managed     Manager managed

6. This application will be effective upon filing, unless a delayed effective date and/or time is provided. The effective date or the delayed effective date cannot be prior to the date the application is filed. The effective date is \_\_\_\_\_.

Please indicate the county in which your business operates: County: <u>Franklin</u>	
<i>To complete the following, please shade the box completely.</i>	
Please indicate the size of your business: <input type="checkbox"/> Small (Fewer than 50 employees) <input checked="" type="checkbox"/> Large (50 or more employees)	Please indicate whether any of the following make up more than fifty percent (50%) of your business ownership: <input type="checkbox"/> Women-Owned <input type="checkbox"/> Veteran Owned <input type="checkbox"/> Minority Owned
Please indicate which of the following best describes your business:	
<input type="checkbox"/> Agriculture <input type="checkbox"/> Mining <input type="checkbox"/> Services <input type="checkbox"/> Construction <input type="checkbox"/> Wholesale Trade <input type="checkbox"/> Retail Trade <input type="checkbox"/> Manufacturing <input type="checkbox"/> Finance, Insurance, Real Estate <input type="checkbox"/> Public Administration <input checked="" type="checkbox"/> Transportation, Communications, Electric, Gas, Sanitary Services <input type="checkbox"/> Other	

I declare under penalty of perjury under the laws of the state of Kentucky that the foregoing is true and correct.

	Dara Hoey	In-House Counsel	2/25/21
Signature of Authorized Representative	Printed Name	Title	Date

# Delaware

The First State

Page 1

I, JEFFREY W. BULLOCK, SECRETARY OF STATE OF THE STATE OF DELAWARE, DO HEREBY CERTIFY THAT THE SAID "UNITY TOWERS LLC", FILED A CERTIFICATE OF AMENDMENT, CHANGING ITS NAME TO "HARMONI TOWERS LLC" ON THE EIGHTEENTH DAY OF SEPTEMBER, A.D. 2020, AT 5:13 O'CLOCK P.M.

AND I DO HEREBY FURTHER CERTIFY THAT THE AFORESAID LIMITED LIABILITY COMPANY IS DULY FORMED UNDER THE LAWS OF THE STATE OF DELAWARE AND IS IN GOOD STANDING AND HAS A LEGAL EXISTENCE NOT HAVING BEEN CANCELLED OR REVOKED SO FAR AS THE RECORDS OF THIS OFFICE SHOW AND IS DULY AUTHORIZED TO TRANSACT BUSINESS.

AND I DO HEREBY FURTHER CERTIFY THAT THE SAID "HARMONI TOWERS LLC" WAS FORMED ON THE SECOND DAY OF DECEMBER, A.D. 2015.



A handwritten signature in black ink, appearing to read "JBULLOCK", written over a horizontal line. Below the line, the text "Jeffrey W. Bullock, Secretary of State" is printed in a small font.

5896640 8320  
SR# 20210417869

Authentication: 202491953  
Date: 02-11-21

You may verify this certificate online at [corp.delaware.gov/authver.shtml](http://corp.delaware.gov/authver.shtml)

**REFERENCE COPY**

This is not an official FCC license. It is a record of public information contained in the FCC's licensing database on the date that this reference copy was generated. In cases where FCC rules require the presentation, posting, or display of an FCC license, this document may not be used in place of an official FCC license.



**Federal Communications Commission  
Wireless Telecommunications Bureau**

**RADIO STATION AUTHORIZATION**

LICENSEE: NEW CINGULAR WIRELESS PCS, LLC

ATTN: FCC GROUP  
NEW CINGULAR WIRELESS PCS, LLC  
208 S AKARD ST., RM 2100  
DALLAS, TX 75202

<b>Call Sign</b> KNKN666	<b>File Number</b> 0009619100
<b>Radio Service</b> CL - Cellular	
<b>Market Numer</b> CMA447	<b>Channel Block</b> A
<b>Sub-Market Designator</b> 0	

FCC Registration Number (FRN): 0003291192

<b>Market Name</b> Kentucky 5 - Barren
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<b>Grant Date</b> 09-08-2021	<b>Effective Date</b> 09-08-2021	<b>Expiration Date</b> 10-01-2031	<b>Five Yr Build-Out Date</b>	<b>Print Date</b> 09-08-2021
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**Site Information:**

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
7	37-10-00.0 N	085-18-37.0 W	282.5	291.4	1062332

Address: 1210 Cane Valley Road (94238)

City: Columbia County: ADAIR State: KY Construction Deadline:

**Antenna: 1**

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	180.300	151.200	132.800	140.500	155.800	172.800	186.200	183.500
Transmitting ERP (watts)	250.037	98.154	10.266	2.559	0.527	0.738	12.510	102.333

**Antenna: 2**

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	180.300	151.200	132.800	140.500	155.800	172.800	186.200	183.500
Transmitting ERP (watts)	1.408	30.262	153.476	217.337	49.025	5.207	1.772	0.660

**Antenna: 3**

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	180.300	151.200	132.800	140.500	155.800	172.800	186.200	183.500
Transmitting ERP (watts)	2.948	0.454	0.942	4.366	59.310	210.546	155.347	22.706

**Conditions:**

Pursuant to §309(h) of the Communications Act of 1934, as amended, 47 U.S.C. §309(h), this license is subject to the following conditions: This license shall not vest in the licensee any right to operate the station nor any right in the use of the frequencies designated in the license beyond the term thereof nor in any other manner than authorized herein. Neither the license nor the right granted thereunder shall be assigned or otherwise transferred in violation of the Communications Act of 1934, as amended. See 47 U.S.C. § 310(d). This license is subject in terms to the right of use or control conferred by §706 of the Communications Act of 1934, as amended. See 47 U.S.C. §606.



Licensee Name: NEW CINGULAR WIRELESS PCS, LLC

Call Sign: KNKN666

File Number: 0009619100

Print Date: 09-08-2021

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
8	36-43-12.0 N	084-28-13.0 W	409.3	91.1	1042231

Address: 100 Manor Circle (94260)

City: Whitley City County: MCCREARY State: KY Construction Deadline:

Antenna: 1

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	123.400	147.100	135.800	109.800	103.700	143.600	127.300	165.300
Transmitting ERP (watts)	244.175	220.925	36.790	4.400	1.072	1.113	3.637	56.485

Antenna: 2

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	123.400	147.100	135.800	109.800	103.700	143.600	127.300	165.300
Transmitting ERP (watts)	2.526	8.109	37.053	64.172	73.466	23.019	4.143	0.935

Antenna: 3

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	123.400	147.100	135.800	109.800	103.700	143.600	127.300	165.300
Transmitting ERP (watts)	13.438	3.125	0.649	0.912	15.291	122.113	297.793	117.856

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
17	36-56-36.9 N	086-00-52.2 W	218.8	91.1	1063506

Address: 638 GRAHAM ROAD (87368)

City: GLASGOW County: BARREN State: KY Construction Deadline:

Antenna: 1

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	76.900	78.700	69.100	74.800	91.600	116.000	101.800	89.500
Transmitting ERP (watts)	138.618	59.574	7.477	1.200	0.283	0.661	10.185	66.521

Antenna: 2

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	76.900	78.700	69.100	74.800	91.600	116.000	101.800	89.500
Transmitting ERP (watts)	2.142	19.146	94.547	124.562	33.322	3.559	0.817	0.257

Antenna: 3

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	76.900	78.700	69.100	74.800	91.600	116.000	101.800	89.500
Transmitting ERP (watts)	2.434	0.360	0.244	4.119	40.205	121.384	90.927	17.264

Licensee Name: NEW CINGULAR WIRELESS PCS, LLC

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Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
18	36-48-31.1 N	084-50-43.5 W	466.6	61.0	1004214

Address: 6565 MORRIS HILL ROAD (87856)

City: MONTICELLO County: WAYNE State: KY Construction Deadline:

Antenna: 1

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	216.900	160.100	180.400	174.000	158.000	164.800	204.700	214.300
Transmitting ERP (watts)	159.083	70.430	5.874	0.769	0.334	0.371	9.558	76.538

Antenna: 2

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	216.900	160.100	180.400	174.000	158.000	164.800	204.700	214.300
Transmitting ERP (watts)	1.547	33.128	166.094	241.154	55.397	5.855	1.952	0.731

Antenna: 3

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	216.900	160.100	180.400	174.000	158.000	164.800	204.700	214.300
Transmitting ERP (watts)	1.611	0.321	0.293	4.972	42.968	145.725	111.912	13.218

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
19	36-53-52.1 N	084-47-02.5 W	353.6	94.2	1238700

Address: ROUTE 5, BOX 9516 (87058)

City: Monticello County: WAYNE State: KY Construction Deadline:

Antenna: 1

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	153.300	160.500	119.100	104.500	62.300	124.200	155.000	148.700
Transmitting ERP (watts)	151.264	65.591	5.815	0.740	0.328	0.344	9.075	72.988

Antenna: 2

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	153.300	160.500	119.100	104.500	62.300	124.200	155.000	148.700
Transmitting ERP (watts)	2.029	20.018	108.704	142.806	33.266	2.825	0.395	0.478

Antenna: 3

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	153.300	160.500	119.100	104.500	62.300	124.200	155.000	148.700
Transmitting ERP (watts)	1.536	0.299	0.287	4.752	41.633	135.419	106.546	12.709

Licensee Name: NEW CINGULAR WIRELESS PCS, LLC

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File Number: 0009619100

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Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
20	37-05-19.7 N	084-54-47.3 W	331.6	106.4	1232264

Address: 1101 PINE TOP ROAD (86918)

City: RUSSELL SPRINGS County: RUSSELL State: KY Construction Deadline:

**Antenna: 1**

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	118.700	77.600	105.400	136.900	148.600	127.700	120.400	134.300
Transmitting ERP (watts)	106.145	47.603	4.827	0.278	0.215	0.233	6.909	51.527

**Antenna: 2**

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	118.700	77.600	105.400	136.900	148.600	127.700	120.400	134.300
Transmitting ERP (watts)	2.313	23.146	119.606	157.272	35.853	3.353	0.454	0.536

**Antenna: 3**

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	118.700	77.600	105.400	136.900	148.600	127.700	120.400	134.300
Transmitting ERP (watts)	1.748	0.347	0.313	5.295	45.951	158.160	122.299	14.137

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
22	36-45-21.5 N	085-03-35.7 W	353.6	78.6	1258266

Address: RR BOX 200 STATE ROUTE 90 (97275)

City: Albany County: CLINTON State: KY Construction Deadline:

**Antenna: 1**

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	159.200	140.400	108.000	36.100	88.900	81.600	132.000	170.300
Transmitting ERP (watts)	61.485	218.225	164.915	26.293	2.922	0.471	0.954	4.500

**Antenna: 2**

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	159.200	140.400	108.000	36.100	88.900	81.600	132.000	170.300
Transmitting ERP (watts)	1.000	4.591	60.220	229.906	159.544	23.590	2.912	0.466

**Antenna: 3**

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	159.200	140.400	108.000	36.100	88.900	81.600	132.000	170.300
Transmitting ERP (watts)	7.041	2.307	0.511	1.072	23.419	142.307	232.641	64.969

Licensee Name: NEW CINGULAR WIRELESS PCS, LLC

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Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
23	36-44-36.2 N	085-08-34.1 W	350.5	78.0	1258265

Address: 127 North Cross (Route 6 Box 991) (94257)

City: Albany County: CLINTON State: KY Construction Deadline:

Antenna: 1

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	181.800	142.800	72.800	100.300	157.000	167.400	157.200	193.400
Transmitting ERP (watts)	31.597	145.107	168.768	30.884	3.418	1.072	0.669	1.670

Antenna: 2

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	181.800	142.800	72.800	100.300	157.000	167.400	157.200	193.400
Transmitting ERP (watts)	1.105	1.668	14.838	36.641	44.724	30.421	5.045	2.474

Antenna: 3

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	181.800	142.800	72.800	100.300	157.000	167.400	157.200	193.400
Transmitting ERP (watts)	40.424	4.384	1.518	0.529	1.123	24.617	125.244	176.237

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
26	37-18-17.2 N	085-55-38.3 W	285.3	99.1	1200030

Address: 824 I CHILDRESS ROAD (37618)

City: Munfordville County: HART State: KY Construction Deadline:

Antenna: 1

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	137.000	120.900	185.100	176.500	166.200	156.000	134.000	170.100
Transmitting ERP (watts)	87.882	116.157	30.423	3.076	0.288	0.394	1.136	15.107

Antenna: 2

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	137.000	120.900	185.100	176.500	166.200	156.000	134.000	170.100
Transmitting ERP (watts)	0.236	4.016	34.037	111.204	87.767	11.936	0.954	0.231

Antenna: 3

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	137.000	120.900	185.100	176.500	166.200	156.000	134.000	170.100
Transmitting ERP (watts)	0.893	0.228	0.217	2.143	29.130	110.300	94.526	17.072

Licensee Name: NEW CINGULAR WIRELESS PCS, LLC

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Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
27	36-41-54.0 N	085-41-07.0 W	286.5	90.2	1065560

Address: 403 MARTIN SUBDIVISION (87881)

City: TOMPKINSVILLE County: MONROE State: KY Construction Deadline:

Antenna: 1

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	69.700	75.300	146.800	80.100	75.200	103.200	86.800	75.200
Transmitting ERP (watts)	271.841	109.386	7.417	0.800	0.553	0.537	18.630	138.505

Antenna: 2

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	69.700	75.300	146.800	80.100	75.200	103.200	86.800	75.200
Transmitting ERP (watts)	1.721	17.109	89.000	121.386	26.164	2.348	0.328	0.400

Antenna: 3

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	69.700	75.300	146.800	80.100	75.200	103.200	86.800	75.200
Transmitting ERP (watts)	1.247	0.244	0.229	4.118	34.693	116.367	90.021	10.295

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
28	37-21-17.2 N	085-52-24.7 W	352.0	83.8	1220496

Address: 2830 Frenchman's Knob Road (94236)

City: Bonnieville County: HART State: KY Construction Deadline:

Antenna: 1

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	193.700	191.000	195.200	238.600	217.000	184.800	226.800	216.700
Transmitting ERP (watts)	184.924	99.849	11.423	0.450	0.602	0.510	8.026	87.512

Antenna: 2

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	193.700	191.000	195.200	238.600	217.000	184.800	226.800	216.700
Transmitting ERP (watts)	2.115	37.767	246.087	328.098	100.148	5.709	0.676	0.788

Antenna: 3

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	193.700	191.000	195.200	238.600	217.000	184.800	226.800	216.700
Transmitting ERP (watts)	1.310	0.350	0.339	3.061	46.385	170.557	144.024	26.849

Licensee Name: NEW CINGULAR WIRELESS PCS, LLC

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Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
32	37-04-19.5 N	084-59-59.4 W	317.0	78.0	1257488

Address: 227 Horn Rd (94247)

City: Russell Springs County: RUSSELL State: KY Construction Deadline:

Antenna: 1

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	149.200	77.200	79.700	105.800	146.300	99.500	80.900	89.500
Transmitting ERP (watts)	221.223	212.121	177.242	71.356	77.801	28.148	33.937	155.008

Antenna: 2

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	149.200	77.200	79.700	105.800	146.300	99.500	80.900	89.500
Transmitting ERP (watts)	18.208	41.435	173.839	236.936	272.788	110.954	36.898	14.156

Antenna: 3

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	149.200	77.200	79.700	105.800	146.300	99.500	80.900	89.500
Transmitting ERP (watts)	68.660	39.848	0.532	12.732	74.296	228.506	206.369	227.920

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
33	36-50-28.6 N	086-02-47.1 W	225.9	60.7	

Address: Austin Tracy Rd (115120)

City: Lucas County: BARREN State: KY Construction Deadline:

Antenna: 1

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	91.800	79.300	63.800	43.400	95.100	66.500	80.300	112.900
Transmitting ERP (watts)	79.481	128.527	48.267	34.537	0.275	16.613	58.629	118.330

Antenna: 2

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	91.800	79.300	63.800	43.400	95.100	66.500	80.300	112.900
Transmitting ERP (watts)	16.424	105.957	212.448	227.867	141.232	41.336	29.497	11.208

Antenna: 3

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	91.800	79.300	63.800	43.400	95.100	66.500	80.300	112.900
Transmitting ERP (watts)	3.736	0.847	2.276	7.728	35.347	59.316	65.492	20.964

Antenna: 4

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	91.800	79.300	63.700	43.400	95.100	66.500	80.300	112.900
Transmitting ERP (watts)	80.215	129.717	48.867	34.856	0.278	16.767	59.174	119.427

Antenna: 5

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	91.800	79.300	63.700	43.400	95.100	66.500	80.300	112.900
Transmitting ERP (watts)	16.576	106.934	215.086	229.984	142.541	41.717	29.770	11.312

Licensee Name: NEW CINGULAR WIRELESS PCS, LLC

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Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
33	36-50-28.6 N	086-02-47.1 W	225.9	60.7	

Address: Austin Tracy Rd (115120)  
City: Lucas County: BARREN State: KY Construction Deadline:

Antenna: 6

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	91.800	79.300	63.700	43.400	95.100	66.500	80.300	112.900
Transmitting ERP (watts)	3.770	0.854	2.304	7.800	35.674	59.863	66.098	21.158

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
34	36-46-44.5 N	084-56-33.7 W	396.2	78.0	1258267

Address: 9096 W. Hwy 90 (94262)  
City: Monticello County: WAYNE State: KY Construction Deadline:

Antenna: 1

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	194.500	173.000	138.200	103.300	102.200	140.500	166.900	201.300
Transmitting ERP (watts)	147.841	143.877	130.052	39.637	24.482	1.946	8.038	54.683

Antenna: 2

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	194.500	173.000	138.200	103.300	102.200	140.500	166.900	201.300
Transmitting ERP (watts)	0.742	5.202	57.406	186.618	115.460	13.939	2.131	0.396

Antenna: 3

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	194.500	173.000	138.200	103.300	102.200	140.500	166.900	201.300
Transmitting ERP (watts)	27.223	19.327	10.778	15.109	86.367	155.385	168.892	88.819

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
35	36-39-45.3 N	084-26-36.2 W	428.2	79.9	1275397

Address: 6135 Hwy 1651 (115765)  
City: Pine Knot County: MCCREARY State: KY Construction Deadline:

Antenna: 1

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	132.500	143.700	119.600	95.500	88.700	114.200	161.300	166.800
Transmitting ERP (watts)	69.450	261.545	232.470	44.008	2.017	0.559	0.530	4.304

Antenna: 2

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	132.500	143.700	119.600	95.500	88.700	114.200	161.300	166.800
Transmitting ERP (watts)	0.210	0.184	2.662	25.143	50.189	30.009	3.791	0.206

Licensee Name: NEW CINGULAR WIRELESS PCS, LLC

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Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
35	36-39-45.3 N	084-26-36.2 W	428.2	79.9	1275397

Address: 6135 Hwy 1651 (115765)

City: Pine Knot County: MCCREARY State: KY Construction Deadline:

Antenna: 3

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	132.500	143.700	119.600	95.500	88.700	114.200	161.300	166.800
Transmitting ERP (watts)	113.680	6.615	0.792	0.868	2.269	39.368	258.605	358.864

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
36	36-50-27.1 N	084-28-44.2 W	425.5	79.6	1233359

Address: 165 HWY 90 (114139)

City: Parkers Lake County: MCCREARY State: KY Construction Deadline:

Antenna: 1

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	185.500	163.600	170.800	152.900	106.200	178.000	165.700	183.000
Transmitting ERP (watts)	23.185	14.817	1.670	0.153	0.104	0.150	1.655	13.513

Antenna: 2

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	185.500	163.600	170.800	152.900	106.200	178.000	165.700	183.000
Transmitting ERP (watts)	2.683	26.605	140.903	189.301	44.170	3.813	0.542	0.629

Antenna: 3

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	185.500	163.600	170.800	152.900	106.200	178.000	165.700	183.000
Transmitting ERP (watts)	2.063	0.405	0.373	6.243	54.676	179.706	144.196	16.857

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
37	36-41-51.7 N	085-07-19.1 W	303.9	78.0	1273817

Address: 399 Daylton Road (112920)

City: Albany County: CLINTON State: KY Construction Deadline:

Antenna: 1

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	103.500	53.600	30.000	64.200	100.300	112.300	94.400	76.300
Transmitting ERP (watts)	255.895	112.531	6.303	1.065	0.524	0.886	15.778	134.111

Antenna: 2

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	103.500	53.600	30.000	64.200	100.300	112.300	94.400	76.300
Transmitting ERP (watts)	1.151	13.278	68.092	80.326	20.259	1.984	0.205	0.284



Licensee Name: NEW CINGULAR WIRELESS PCS, LLC

Call Sign: KNKN666

File Number: 0009619100

Print Date: 09-08-2021

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
37	36-41-51.7 N	085-07-19.1 W	303.9	78.0	1273817

Address: 399 Daylton Road (112920)

City: Albany County: CLINTON State: KY Construction Deadline:

Antenna: 3

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	103.500	53.600	30.000	64.200	100.300	112.300	94.400	76.300
Transmitting ERP (watts)	0.327	0.106	0.101	1.174	12.741	41.443	34.130	5.644

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
38	36-44-13.0 N	085-42-10.0 W	309.7	91.1	1042225

Address: 3151 EDMONTON ROAD (94259)

City: TOMPKINSVILLE County: MONROE State: KY Construction Deadline:

Antenna: 1

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	111.100	109.700	147.100	108.800	126.000	145.900	125.000	125.900
Transmitting ERP (watts)	189.524	72.806	7.444	1.950	0.393	0.557	9.583	77.626

Antenna: 2

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	111.100	109.700	147.100	108.800	126.000	145.900	125.000	125.900
Transmitting ERP (watts)	1.067	23.007	114.837	166.790	36.523	3.864	1.339	0.493

Antenna: 3

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	111.100	109.700	147.100	108.800	126.000	145.900	125.000	125.900
Transmitting ERP (watts)	2.199	0.335	0.702	3.359	45.136	159.373	117.688	16.866

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
39	36-38-51.6 N	085-17-33.1 W	317.0	60.7	

Address: 5163 State Park (117828)

City: Cumberland County: CUMBERLAND State: KY Construction Deadline:

Antenna: 1

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	100.500	86.500	93.600	115.600	123.000	167.100	133.100	121.800
Transmitting ERP (watts)	24.683	224.514	184.090	16.413	0.520	0.462	0.466	0.469

Antenna: 2

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	100.500	86.500	93.600	115.600	123.000	167.100	133.100	121.800
Transmitting ERP (watts)	46.321	0.611	0.527	0.529	0.541	7.711	140.237	265.546

Licensee Name: NEW CINGULAR WIRELESS PCS, LLC

Call Sign: KNKN666

File Number: 0009619100

Print Date: 09-08-2021

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
40	37-11-42.5 N	085-57-13.0 W	267.6	99.1	1224165

Address: 1515 FISHER RIDGE ROAD (37620)

City: Horse Cave County: HART State: KY Construction Deadline:

Antenna: 1

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	148.700	170.000	148.400	148.400	138.900	116.100	137.500	147.400
Transmitting ERP (watts)	96.574	101.465	19.855	1.861	0.214	0.322	2.056	21.126

Antenna: 2

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	148.700	170.000	148.400	148.400	138.900	116.100	137.500	147.400
Transmitting ERP (watts)	8.514	101.153	307.468	229.726	25.253	1.925	0.630	0.630

Antenna: 3

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	148.700	170.000	148.400	148.400	138.900	116.100	137.500	147.400
Transmitting ERP (watts)	0.226	0.222	3.795	33.295	109.116	83.424	11.320	0.928

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
41	37-01-03.9 N	085-54-42.3 W	254.8	68.6	1230168

Address: 170 Robert Bishop Lane (94244)

City: Glasgow County: BARREN State: KY Construction Deadline:

Antenna: 1

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	93.000	83.300	56.400	66.300	91.100	106.300	92.700	90.500
Transmitting ERP (watts)	104.518	139.218	43.033	2.862	0.290	0.325	1.008	15.797

Antenna: 2

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	93.000	83.300	56.400	66.300	91.100	106.300	92.700	90.500
Transmitting ERP (watts)	0.395	3.203	50.041	189.424	165.261	28.863	1.290	0.398

Antenna: 3

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	93.000	83.300	56.400	66.300	91.100	106.300	92.700	90.500
Transmitting ERP (watts)	11.785	0.490	0.619	0.543	8.652	98.226	207.121	111.304

Control Points:

Control Pt. No. 1

Address: 124 South Keeneland Drive (Suite 103)

City: RICHMOND County: MADISON State: KY Telephone Number: (859)544-4804

**Licensee Name:** NEW CINGULAR WIRELESS PCS, LLC

**Call Sign:** KNKN666

**File Number:** 0009619100

**Print Date:** 09-08-2021

**Waivers/Conditions:**

NONE

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Federal Communications Commission

Wireless Telecommunications Bureau

RADIO STATION AUTHORIZATION

LICENSEE: NEW CINGULAR WIRELESS PCS, LLC

ATTN: CECIL J MATHEW
NEW CINGULAR WIRELESS PCS, LLC
208 S AKARD ST., RM 1015
DALLAS, TX 75202

Table with Call Sign (WPOI255), File Number, and Radio Service (CW - PCS Broadband).

FCC Registration Number (FRN): 0003291192

Table with columns for Grant Date, Effective Date, Expiration Date, Print Date, Market Number, Channel Block, Sub-Market Designator, Market Name, and Build-out Dates.

Waivers/Conditions:

This authorization is subject to the condition that, in the event that systems using the same frequencies as granted herein are authorized in an adjacent foreign territory (Canada/United States), future coordination of any base station transmitters within 72 km (45 miles) of the United States/Canada border shall be required to eliminate any harmful interference to operations in the adjacent foreign territory and to ensure continuance of equal access to the frequencies by both countries.

This authorization is subject to the condition that the remaining balance of the winning bid amount will be paid in accordance with Part 1 of the Commission's rules, 47 C.F.R. Part 1.

Conditions:

Pursuant to §309(h) of the Communications Act of 1934, as amended, 47 U.S.C. §309(h), this license is subject to the following conditions: This license shall not vest in the licensee any right to operate the station nor any right in the use of the frequencies designated in the license beyond the term thereof nor in any other manner than authorized herein. Neither the license nor the right granted thereunder shall be assigned or otherwise transferred in violation of the Communications Act of 1934, as amended. See 47 U.S.C. § 310(d). This license is subject in terms to the right of use or control conferred by §706 of the Communications Act of 1934, as amended. See 47 U.S.C. §606.

This license may not authorize operation throughout the entire geographic area or spectrum identified on the hardcopy version. To view the specific geographic area and spectrum authorized by this license, refer to the Spectrum and Market Area information under the Market Tab of the license record in the Universal Licensing System (ULS). To view the license record, go to the ULS homepage at http://wireless.fcc.gov/uls/index.htm?job=home and select "License Search". Follow the instructions on how to search for license information.

**Licensee Name:** NEW CINGULAR WIRELESS PCS, LLC

**Call Sign:** WPOI255

**File Number:**

**Print Date:**

This license is **conditioned** upon compliance with the provisions of Applications of AT&T Wireless Services, Inc. and Cingular Wireless Corporation **For Consent** to Transfer Control of Licenses and Authorizations, Memorandum Opinion and Order, FCC 04-255 (rel. Oct. 26, 2004).

Spectrum Lease Associated **with this** License. See Spectrum Leasing Arrangement Letter dated 12/06/2004 and File # 0001918558.

The Spectrum Leasing Arrangement, **which** became effective upon approval of application file number 0001918558, was terminated on 04/14/2005. See **file number** 0002135370.

Commission approval of this application **and the** licenses contained therein are subject to the conditions set forth in the Memorandum Opinion and Order, **adopted on** December 29, 2006 and released on March 26, 2007, and revised in the Order on Reconsideration, adopted and released **on** March 26, 2007. See AT&T Inc. and BellSouth Corporation Application for Transfer of Control, WC Docket No. 06-74, Memorandum **Opinion** and Order, FCC 06-189 (rel. Mar. 26, 2007); AT&T Inc. and BellSouth Corporation, WC Docket No. 06-74, **Order on** Reconsideration, FCC 07-44 (rel. Mar. 26, 2007).

**Licensee Name:** NEW CINGULAR WIRELESS PCS, LLC

**Call Sign:** WPOI255

**File Number:**

**Print Date:**

**700 MHz Relicensed Area Information:**

<b>Market</b>	<b>Market Name</b>	<b>Buildout Deadline</b>	<b>Buildout Notification</b>	<b>Status</b>
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**Federal Communications Commission**

**Wireless Telecommunications Bureau**

**RADIO STATION AUTHORIZATION**

LICENSEE: NEW CINGULAR WIRELESS PCS, LLC

ATTN: CECIL J MATHEW  
 NEW CINGULAR WIRELESS PCS, LLC  
 208 S AKARD ST., RM 1015  
 DALLAS, TX 75202

<b>Call Sign</b> WPOK659	<b>File Number</b> 0008716070
<b>Radio Service</b> CW - PCS Broadband	

**FCC Registration Number (FRN):** 0003291192

<b>Grant Date</b> 09-12-2019	<b>Effective Date</b> 09-12-2019	<b>Expiration Date</b> 09-29-2029	<b>Print Date</b> 09-13-2019
<b>Market Number</b> BTA423	<b>Channel Block</b> C	<b>Sub-Market Designator</b> 1	
<b>Market Name</b> Somerset, KY			
<b>1st Build-out Date</b> 09-29-2004	<b>2nd Build-out Date</b> 09-29-2009	<b>3rd Build-out Date</b>	<b>4th Build-out Date</b>

**Waivers/Conditions:**

This authorization is subject to the condition that, in the event that systems using the same frequencies as granted herein are authorized in an adjacent foreign territory (Canada/United States), future coordination of any base station transmitters within 72 km (45 miles) of the United States/Canada border shall be required to eliminate any harmful interference to operations in the adjacent foreign territory and to ensure continuance of equal access to the frequencies by both countries.

**Conditions:**

Pursuant to §309(h) of the Communications Act of 1934, as amended, 47 U.S.C. §309(h), this license is subject to the following conditions: This license shall not vest in the licensee any right to operate the station nor any right in the use of the frequencies designated in the license beyond the term thereof nor in any other manner than authorized herein. Neither the license nor the right granted thereunder shall be assigned or otherwise transferred in violation of the Communications Act of 1934, as amended. See 47 U.S.C. § 310(d). This license is subject in terms to the right of use or control conferred by §706 of the Communications Act of 1934, as amended. See 47 U.S.C. §606.

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**Licensee Name:** NEW CINGULAR WIRELESS PCS, LLC

**Call Sign:** WPOK659

**File Number:** 0008716070

**Print Date:** 09-13-2019

**700 MHz Relicensed Area Information:**

<b>Market</b>	<b>Market Name</b>	<b>Buildout Deadline</b>	<b>Buildout Notification</b>	<b>Status</b>
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**Federal Communications Commission  
Wireless Telecommunications Bureau**

**RADIO STATION AUTHORIZATION**

LICENSEE: NEW CINGULAR WIRELESS PCS, LLC

ATTN: CECIL J MATHEW  
NEW CINGULAR WIRELESS PCS, LLC  
208 S AKARD ST., RM 1015  
DALLAS, TX 75202

<b>Call Sign</b> WPXT205	<b>File Number</b>
<b>Radio Service</b> CW - PCS Broadband	

**FCC Registration Number (FRN):** 0003291192

<b>Grant Date</b> 06-02-2015	<b>Effective Date</b> 08-31-2018	<b>Expiration Date</b> 06-23-2025	<b>Print Date</b>
<b>Market Number</b> MTA026	<b>Channel Block</b> A	<b>Sub-Market Designator</b> 8	
<b>Market Name</b> Louisville-Lexington-Evansvill			
<b>1st Build-out Date</b> 06-23-2000	<b>2nd Build-out Date</b> 06-23-2005	<b>3rd Build-out Date</b>	<b>4th Build-out Date</b>

**Waivers/Conditions:**

This authorization is subject to the condition that, in the event that systems **using the** same frequencies as granted herein are authorized in an adjacent foreign territory (Canada/United States), future **coordination** of any base station transmitters within 72 km (45 miles) of the United States/Canada border shall be required to eliminate any harmful **interference** to operations in the adjacent foreign territory and to ensure continuance of equal access to the frequencies **by both countries**.

This authorization is subject to the condition that the remaining balance of the winning **bid amount will** be paid in accordance with Part 1 of the Commission's rules, 47 C.F.R. Part 1.

**Conditions:**

Pursuant to §309(h) of the Communications Act of 1934, as amended, 47 U.S.C. §309(h), this **license is** subject to the following conditions: This license shall not vest in the licensee any right to operate the station nor any **right in** the use of the frequencies designated in the license beyond the term thereof nor in any other manner than authorized **herein**. **Neither** the license nor the right granted thereunder shall be assigned or otherwise transferred in violation of **the Communications Act** of 1934, as amended. See 47 U.S.C. § 310(d). This license is subject in terms to the right of use or control **conferred by** §706 of the Communications Act of 1934, as amended. See 47 U.S.C. §606.

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**Licensee Name:** NEW CINGULAR WIRELESS PCS, LLC

**Call Sign:** WPXT205

**File Number:**

**Print Date:**

Commission **approval of this application** and the licenses contained therein are subject to the conditions set forth in the Memorandum Opinion **and Order**, adopted on December 29, 2006 and released on March 26, 2007, and revised in the Order on Reconsideration, **adopted** and released on March 26, 2007. See AT&T Inc. and BellSouth Corporation Application for Transfer of Control, WC **Docket** No. 06-74, Memorandum Opinion and Order, FCC 06-189 (rel. Mar. 26, 2007); AT&T Inc. and BellSouth Corporation, WC **Docket** No. 06-74, Order on Reconsideration, FCC 07-44 (rel. Mar. 26, 2007).

**Licensee Name:** NEW CINGULAR WIRELESS PCS, LLC

**Call Sign:** WPXT205

**File Number:**

**Print Date:**

**700 MHz Relicensed Area Information:**

<b>Market</b>	<b>Market Name</b>	<b>Buildout Deadline</b>	<b>Buildout Notification</b>	<b>Status</b>
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**Federal Communications Commission**

**Wireless Telecommunications Bureau**

**RADIO STATION AUTHORIZATION**

LICENSEE: NEW CINGULAR WIRELESS PCS, LLC

ATTN: FCC GROUP  
 NEW CINGULAR WIRELESS PCS, LLC  
 208 S AKARD ST., RM 2100  
 DALLAS, TX 75202

<b>Call Sign</b> WQGA818	<b>File Number</b> 0009696747
<b>Radio Service</b> AW - AWS (1710-1755 MHz and 2110-2155 MHz)	

**FCC Registration Number (FRN):** 0003291192

<b>Grant Date</b> 11-16-2021	<b>Effective Date</b> 11-16-2021	<b>Expiration Date</b> 11-29-2036	<b>Print Date</b> 11-17-2021
<b>Market Number</b> CMA447	<b>Channel Block</b> A	<b>Sub-Market Designator</b> 0	
<b>Market Name</b> Kentucky 5 - Barren			
<b>1st Build-out Date</b>	<b>2nd Build-out Date</b>	<b>3rd Build-out Date</b>	<b>4th Build-out Date</b>

**Waivers/Conditions:**

This authorization is conditioned upon the licensee, prior to initiating operations from any base or fixed station, making reasonable efforts to coordinate frequency usage with known co-channel and adjacent channel incumbent federal users operating in the 1710-1755 MHz band whose facilities could be affected by the proposed operations. See, e.g., FCC and NTIA Coordination Procedures in the 1710-1755 MHz Band, Public Notice, FCC 06-50, WTB Docket No. 02-353, rel. April 20, 2006.

**Conditions:**

Pursuant to §309(h) of the Communications Act of 1934, as amended, 47 U.S.C. §309(h), this license is subject to the following conditions: This license shall not vest in the licensee any right to operate the station nor any right in the use of the frequencies designated in the license beyond the term thereof nor in any other manner than authorized herein. Neither the license nor the right granted thereunder shall be assigned or otherwise transferred in violation of the Communications Act of 1934, as amended. See 47 U.S.C. § 310(d). This license is subject in terms to the right of use or control conferred by §706 of the Communications Act of 1934, as amended. See 47 U.S.C. §606.

This license may not authorize operation throughout the entire geographic area or spectrum identified on the hardcopy version. To view the specific geographic area and spectrum authorized by this license, refer to the Spectrum and Market Area information under the Market Tab of the license record in the Universal Licensing System (ULS). To view the license record, go to the ULS homepage at <http://wireless.fcc.gov/uls/index.htm?job=home> and select "License Search". Follow the instructions on how to search for license information.

**Licensee Name:** NEW CINGULAR WIRELESS PCS, LLC

**Call Sign:** WQGA818

**File Number:** 0009696747

**Print Date:** 11-17-2021

**700 MHz Relicensed Area Information:**

<b>Market</b>	<b>Market Name</b>	<b>Buildout Deadline</b>	<b>Buildout Notification</b>	<b>Status</b>
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**Federal Communications Commission**

**Wireless Telecommunications Bureau**

**RADIO STATION AUTHORIZATION**

LICENSEE: NEW CINGULAR WIRELESS PCS, LLC

ATTN: FCC GROUP  
 NEW CINGULAR WIRELESS PCS, LLC  
 208 S AKARD ST., RM 2100  
 DALLAS, TX 75202

<b>Call Sign</b> WQGD755	<b>File Number</b> 0009778271
<b>Radio Service</b> AW - AWS (1710-1755 MHz and 2110-2155 MHz)	

**FCC Registration Number (FRN):** 0003291192

<b>Grant Date</b> 01-10-2022	<b>Effective Date</b> 01-10-2022	<b>Expiration Date</b> 12-18-2036	<b>Print Date</b> 01-11-2022
<b>Market Number</b> BEA047	<b>Channel Block</b> C	<b>Sub-Market Designator</b> 9	
<b>Market Name</b> Lexington, KY-TN-VA-WV			
<b>1st Build-out Date</b>	<b>2nd Build-out Date</b>	<b>3rd Build-out Date</b>	<b>4th Build-out Date</b>

**Waivers/Conditions:**

This authorization is conditioned upon the licensee, prior to initiating operations from any base or fixed station, making reasonable efforts to coordinate frequency usage with known co-channel and adjacent channel incumbent federal users operating in the 1710-1755 MHz band whose facilities could be affected by the proposed operations. See, e.g., FCC and NTIA Coordination Procedures in the 1710-1755 MHz Band, Public Notice, FCC 06-50, WTB Docket No. 02-353, rel. April 20, 2006.

Special Condition for AU/name change (6/4/2016): Grant of the request to update licensee name is conditioned on it not reflecting an assignment or transfer of control (see Rule 1.948); if an assignment or transfer occurred without proper notification or FCC approval, the grant is void and the station is licensed under the prior name.

**Conditions:**

Pursuant to §309(h) of the Communications Act of 1934, as amended, 47 U.S.C. §309(h), this license is subject to the following conditions: This license shall not vest in the licensee any right to operate the station nor any right in the use of the frequencies designated in the license beyond the term thereof nor in any other manner than authorized herein. Neither the license nor the right granted thereunder shall be assigned or otherwise transferred in violation of the Communications Act of 1934, as amended. See 47 U.S.C. § 310(d). This license is subject in terms to the right of use or control conferred by §706 of the Communications Act of 1934, as amended. See 47 U.S.C. §606.

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**Licensee Name:** NEW CINGULAR WIRELESS PCS, LLC

**Call Sign:** WQGD755

**File Number:** 0009778271

**Print Date:** 01-11-2022

**700 MHz Relicensed Area Information:**

<b>Market</b>	<b>Market Name</b>	<b>Buildout Deadline</b>	<b>Buildout Notification</b>	<b>Status</b>
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Federal Communications Commission
Wireless Telecommunications Bureau

RADIO STATION AUTHORIZATION

LICENSEE: NEW CINGULAR WIRELESS PCS, LLC

ATTN: FCC GROUP
NEW CINGULAR WIRELESS PCS, LLC
208 S AKARD ST. RM 2100
DALLAS, TX 75202

Table with Call Sign (WQUZ670), File Number (0009696437), and Radio Service (AW - AWS (1710-1755 MHz and 2110-2155 MHz)).

FCC Registration Number (FRN): 0003291192

Table with columns: Grant Date, Effective Date, Expiration Date, Print Date, Market Number, Channel Block, Sub-Market Designator, Market Name, 1st Build-out Date, 2nd Build-out Date, 3rd Build-out Date, 4th Build-out Date.

Waivers/Conditions:

This authorization is conditioned upon the licensee, prior to initiating operations from any base or fixed station, making reasonable efforts to coordinate frequency usage with known co-channel and adjacent channel incumbent federal users operating in the 1710-1755 MHz band whose facilities could be affected by the proposed operations. See, e.g., FCC and NTIA Coordination Procedures in the 1710-1755 MHz Band, Public Notice, FCC 06-50, WTB Docket No. 02-353, rel. April 20, 2006.

Conditions:

Pursuant to §309(h) of the Communications Act of 1934, as amended, 47 U.S.C. §309(h), this license is subject to the following conditions: This license shall not vest in the licensee any right to operate the station nor any right in the use of the frequencies designated in the license beyond the term thereof nor in any other manner than authorized herein. Neither the license nor the right granted thereunder shall be assigned or otherwise transferred in violation of the Communications Act of 1934, as amended. See 47 U.S.C. § 310(d). This license is subject in terms to the right of use or control conferred by §706 of the Communications Act of 1934, as amended. See 47 U.S.C. §606.

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**Licensee Name:** NEW CINGULAR WIRELESS PCS, LLC

**Call Sign:** WQUZ670

**File Number:** 0009696437

**Print Date:** 11-17-2021

The license is **subject to compliance** with the provisions of the January 12, 2001 Agreement between Deutsche Telekom AG, VoiceStream Wireless **Corporation**, VoiceStream Wireless Holding Corporation and the Department of Justice (DOJ) and the Federal Bureau of **Investigation** (FBI), which addresses national security, law enforcement, and public safety issues of the FBI and the DOJ regarding the **authority** granted by this license. Nothing in the Agreement is intended to limit any obligation imposed by Federal law or **regulation** including, but not limited to, 47 U.S.C. Section 222(a) and (c)(1) and the FCC's implementing regulations. The **Agreement** is published at VoiceStream-DT Order, IB Docket No. 00-187, FCC 01-142, 16 FCC Rcd 9779, 9853 (2001).

**Licensee Name:** NEW CINGULAR WIRELESS PCS, LLC

**Call Sign:** WQUZ670

**File Number:** 0009696437

**Print Date:** 11-17-2021

**700 MHz Relicensed Area Information:**

<b>Market</b>	<b>Market Name</b>	<b>Buildout Deadline</b>	<b>Buildout Notification</b>	<b>Status</b>
---------------	--------------------	--------------------------	------------------------------	---------------

**EXHIBIT B**

**SITE DEVELOPMENT PLAN:**

**500' VICINITY MAP  
LEGAL DESCRIPTIONS  
FLOOD PLAIN CERTIFICATION  
SITE PLAN  
VERTICAL TOWER PROFILE**

FA NUMBER: 15415629 / 10124719 SITE ID: KYLEX2056

PACE #: MRTNK052250

PROJECT TRACKING #: 2457A0XDC6

SITE NAME: W HIGHWAY 90

LEGACY SITE NAME: ZULA RELO

SITE ADDRESS:

HILL DRIVE

MONTICELLO, KY 42633

WAYNE COUNTY

E911 ADDRESS:

571 HOLLY HILL TREE LANE

MONTICELLO, KY 42633

WAYNE COUNTY

PROPOSED 255' SELF-SUPPORT TOWER

HARMONI TOWERS



at&t  
mobility corp.



HARMONI

**ZONING DRAWINGS**

**A/E DOCUMENT REVIEW STATUS**

TITLE	SIGNATURE	DATE
HARMONI TOWERS PROP:		
HARMONI TOWERS CONST. MGR.:		
INTERCONNECT:		
HARMONI TOWERS SITE DEV. MGR.:		
PROPERTY OWNER:		
STATUS CODE:		
1	ACCEPTED: WITH OR NO COMMENTS, CONSTRUCTION MAY PROCEED	
2	NOT ACCEPTED: RESOLVE COMMENTS AND RESUBMIT	

THE FOLLOWING PARTIES HEREBY APPROVE AND ACCEPT THESE DOCUMENTS AND AUTHORIZE THE CONTRACTOR TO PROCEED WITH THE CONSTRUCTION DESCRIBED HEREIN. ALL DOCUMENTS ARE SUBJECT TO REVIEW BY THE LOCAL BUILDING DEPARTMENT AND MAY IMPOSE CHANGES OR MODIFICATIONS.

**PROJECT SUMMARY**

SITE NAME: W HIGHWAY 90  
 SITE NUMBER: FA15415629 (10124719)  
 TAX MAP PROPERTY ID: 028-00-00-001.00  
 SITE ADDRESS: HILL DRIVE  
 MONTICELLO, KY 42633  
 JURISDICTION: WAYNE COUNTY COUNTY  
 TOWER OWNER: HARMONI TOWERS  
 11101 ANDERSON DRIVE, SUITE 200  
 LITTLE ROCK, AR 72212  
 NAD83  
 LATITUDE: 36°46'32.88" NORTH (36.775800) NAD83  
 LONGITUDE: -84°56'33.45" WEST (-84.942625) NAD83  
 APPLICANT: NEW CINGULAR WIRELESS, PCS, LLC, A  
 DELAWARE LIMITED LIABILITY COMPANY  
 d/b/a AT&T MOBILITY  
 MEIDINGER TOWER  
 462 S/ 4th STREET, SUITE 2400  
 LOUISVILLE, KY 40202  
 CO-APPLICANT: N/A  
 OCCUPANCY TYPE: UNMANNED  
 A.D.A. COMPLIANCE: FACILITY IS UNMANNED AND NOT  
 FOR HUMAN HABITATION

**LOCATION MAP**



NO SCALE

**DRAWING INDEX**

SHEET #	SHEET DESCRIPTION
T-1	TITLE SHEET
1-5	SURVEY
C-1.1	500' RADIUS & ADJOINER'S DRAWING
C-1.2	OVERALL ADJOINER'S DRAWING
C-2	OVERALL SITE LAYOUT
C-3	ENLARGED COMPOUND LAYOUT
C-4	TOWER ELEVATION

HARMONI TOWERS  
 W HIGHWAY 90  
 ZULA RELO  
 FA# 15415629/10124719  
 PACE# MRTNK052250  
 PT# 2457A0XDC6  
 HILL DRIVE  
 MONTICELLO, KY 42633  
 WAYNE COUNTY COUNTY  
 PROPOSED 255' SELF-SUPPORT

PROJECT NO: G0144562.005.01  
 CHECKED BY: MAS

**ISSUED FOR:**

REV	DATE	DRWN	DESCRIPTION
A	12/09/21	DLS	ZONING DRAWINGS
0	03/21/22	DLS	ZONING DRAWINGS
1	05/12/22	DLS	ZONING DRAWINGS

B&T ENGINEERING, INC.  
 4011  
 Expires 12/31/22



IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

TITLE SHEET

SHEET NUMBER:

T-1

CALL KENTUCKY ONE CALL  
 (800) 752-6007  
 CALL 3 WORKING DAYS BEFORE YOU DIG!

**DESIGN INFORMATION**

A&E FIRM: B+T GROUP  
 1717 S. BOULDER  
 SUITE 300  
 TULSA, OK 74119  
 MIKE SPEEDIE  
 (918) 587-4630  
 SURVEYOR: POINT TO POINT LAND SURVEYORS  
 100 GOVERNORS TRACE STE #103  
 PEACHTREE CITY, GA 30269  
 PH. (678) 565-4440  
 ELECTRIC PROVIDER: TRI COUNTFARMER'S RURAL  
 ELECTRIC COOPERATIVE  
 (270) 651-2191  
 TELCO PROVIDER: AT&T  
 (XXX) XXX-XXXX

**DRIVING DIRECTIONS**

DEPART JUDGE EXECUTIVE (N MAIN ST, MONTICELLO, KY 42633) ON KY-90 BRANCH (KY-92) (SOUTH) 98 YDS  
 KEEP STRAIGHT ONTO KY-90 BRANCH (HIGHWAY 187) 0.2 MI  
 KEEP STRAIGHT ONTO KY-90 BRANCH (S MAIN ST) 0.4 MI  
 KEEP STRAIGHT ONTO KY-90 BRANCH (ALBANY RD) 0.7 MI  
 TURN LEFT (SOUTH) ONTO KY-90 (W HIGHWAY 90) 0.3 MI  
 KEEP STRAIGHT ONTO KY-834 (KY-90) 0.1 MI  
 TURN LEFT (EAST) ONTO KY-834 (HIGHWAY 834 E) 0.6 MI  
 TURN LEFT (EAST) ONTO LOCAL ROAD(S) 0.6 MI  
 TURN LEFT (NORTH-EAST) ONTO LOCAL ROAD(S) 0.2 MI  
 ARRIVE 36.77580°N 84.94262°W

**PROJECT DESCRIPTION**

- THE PROPOSED PROJECT INCLUDES:
- CONSTRUCT (1) NEW 255' SELF-SUPPORT TOWER.
  - CONSTRUCT FENCED GRAVEL UTILITY COMPOUND WITH LOCKING ACCESS GATE, 65' x 65' WITHIN 100' x 100' LEASE AREA.
  - INSTALL CONCRETE PAD AND EQUIPMENT CABINET.
  - INSTALL (1) H-FRAME W/ UTILITY EQUIPMENT.
  - INSTALL NEW POWER & TELCO UTILITY SERVICES.
  - CONSTRUCT 12' WIDE GRAVEL ACCESS ROAD.
  - CONSTRUCT (3) FENCED GUY TIE AREAS.

**DO NOT SCALE DRAWINGS**

ALL DRAWINGS CONTAINED HEREIN ARE FORMATTED FOR 11X17. CONTRACTOR SHALL VERIFY ALL PLANS AND EXISTING DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.

**CODE COMPLIANCE**

ALL WORK SHALL BE PERFORMED AND MATERIALS INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED OR MODIFIED BY PER THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES:

CODE TYPE	CODE
BUILDING/DWELLING	IBC 2018
STRUCTURAL	IBC 2018
MECHANICAL	IMC 2018
ELECTRICAL	NEC 2017



N/F  
DALTON FAMILY FARM, LLP  
PARCEL # 027-00-00-069.00  
DB 345 PG 300

POC: IPF 1/2" RB  
N:3443066.6411  
E:5156605.6142

PARENT PARCEL  
MARK LEWIS & BRYANT DUNAGAN  
SUBJECT TO A LIFE ESTATE OF ROBIN LEWIS  
PARCEL # 028-00-00-001.00  
DB 351 PG 60  
TRACT D

POB: LEASE  
N:3442924.2893  
E:5157687.0511

LEASE AREA  
(SEE SHEET 2 FOR DETAIL)

N/F  
TAMARA BELL WRAY  
PARCEL # 028-00-00-001.01  
DB 308 PG 173

C/L 15' INGRESS-EGRESS EASEMENT  
(SEE SHEET 2 FOR DETAIL)

C/L 30' INGRESS-EGRESS EASEMENT  
(SEE SHEET 2 FOR DETAIL)

N/F  
BRYANT DUNAGAN & HALLICE D. HICKS  
PARCEL # 028-00-00-006.00  
DB 264 PG 210

C/L 10' UTILITY EASEMENT  
(SEE SHEET 2 FOR DETAIL)

N/F  
MARK LEWIS & BRYANT DUNAGAN  
PARCEL # 028-00-00-005.00  
DB 351 PG 76

EXISTING 15' INGRESS/EGRESS EASEMENT  
SEE P.B. B, PAGE 280

PARENT PARCEL  
MARK LEWIS & BRYANT DUNAGAN  
PARCEL # 028-00-00-001.00  
TRACT C

N/F  
TAMARA BELL WRAY  
PARCEL # 028-00-00-001.01  
DB 308 PG 173

HOLLY TREE LN  
PRIVATE GRAVEL ROAD

N/F  
HALLIS D. HICKS & NENA DARLENE HICKS  
PARCEL # 028-00-00-004.00  
DB 319 PG 775

N/F  
TAMARA D. WRAY  
PARCEL # 028-00-00-002.00  
DB 316 PG 704

N/F  
CURTIS BRANSCUM & BARBARA BRANSCUM  
PARCEL # 028-00-00-008.00  
DB 357 PG 606

STATE HWY 834  
40' PUBLIC RIGHT-OF-WAY (DB 351 PG 60)



VICINITY MAP  
NOT TO SCALE

STATE of KENTUCKY  
G. DARRELL TAYLOR  
4179  
LICENSED PROFESSIONAL LAND SURVEYOR

NO.	DATE	REVISION
1	3/2/21	TITLE REVIEW
2	3/17/22	TITLE/UTILITY ESMT.

SPECIFIC PURPOSE SURVEY PREPARED BY:  
**POINT TO POINT LAND SURVEYORS**  
100 Governors Trace, Ste. 103  
Peachtree City, GA 30269  
(p) 678.565.4440 (f) 678.565.4497  
(w) pointtopointsurvey.com



SPECIFIC PURPOSE SURVEY PREPARED FOR:

**HARMONI**  
10801 EXECUTIVE CENTER DRIVE  
SHANNON BLDG., STE 100  
LITTLE ROCK, AR 72211

WEST HIGHWAY 90

SITE NO.  
KYLEX2056  
SUSIE COMMUNITY,  
WAYNE COUNTY,  
KENTUCKY

DRAWN BY: GJH	SHEET:
CHECKED BY: JKL	<b>1</b>
APPROVED: D. MILLER	OF 5
DATE: FEBRUARY 22, 2021	
P2P JOB #: 202600KY	

**GENERAL NOTES**

\* THIS SPECIFIC PURPOSE SURVEY IS FOR THE LEASED PREMISES AND EASEMENTS ONLY. THIS SPECIFIC PURPOSE SURVEY WAS PREPARED FOR THE EXCLUSIVE USE OF HARMONI TOWERS AND EXCLUSIVELY FOR THE TRANSFERRAL OF THE LEASED PREMISES AND THE RIGHTS OF EASEMENT SHOWN HEREON AND SHALL NOT BE USED AS AN EXHIBIT OR EVIDENCE IN THE FEE SIMPLE TRANSFERRAL OF THE PARENT PARCEL NOR ANY PORTION OR PORTIONS THEREOF. BOUNDARY INFORMATION SHOWN HEREON HAS BEEN COMPILED FROM TAX MAPS AND DEED DESCRIPTIONS ONLY. NO BOUNDARY SURVEY OF THE PARENT PARCEL WAS PERFORMED.

THIS DRAWING DOES NOT REPRESENT A BOUNDARY SURVEY.  
THE FIELD DATA UPON WHICH THIS SPECIFIC PURPOSE SURVEY IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 10,000+ FEET AND AN ANGULAR ERROR OF 5.0" PER ANGLE POINT AND WAS NOT ADJUSTED FOR CLOSURE.

EQUIPMENT USED FOR ANGULAR & LINEAR MEASUREMENTS: LEICA TPS 1200 ROBOTIC & GEOMAX ZENITH 35. (DATE OF LAST FIELD VISIT: 02/10/2021)

THE 2' CONTOURS AND SPOT ELEVATIONS SHOWN ON THIS SPECIFIC PURPOSE SURVEY ARE ADJUSTED TO NAVD 88 DATUM (COMPUTED USING GEOID18) AND HAVE A VERTICAL ACCURACY OF ± 1'. CONTOURS OUTSIDE THE IMMEDIATE SITE AREA ARE APPROXIMATE.

BEARINGS SHOWN ON THIS SPECIFIC PURPOSE SURVEY ARE BASED ON GRID NORTH (NAD 83) KENTUCKY SINGLE ZONE.

PER THE FEMA FLOODPLAIN MAPS, THE SITE IS LOCATED IN AN AREA DESIGNATED AS ZONE X (AREA OF MINIMAL FLOOD HAZARD). COMMUNITY PANEL NO.: 21231C0165C DATED: 09/02/2009

NO WETLAND AREAS HAVE BEEN INVESTIGATED BY THIS SPECIFIC PURPOSE SURVEY.

ALL ZONING INFORMATION SHOULD BE VERIFIED WITH THE PROPER ZONING OFFICIALS.

ANY UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM ABOVE GROUND FIELD SURVEY INFORMATION. THE SURVEYOR MAKES NO GUARANTEES THAT ANY UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT ANY UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED ANY UNDERGROUND UTILITIES.

**PARENT PARCEL**

OWNER: MARK LEWIS AND BRYANT DUNAGAN  
(SUBJECT TO A LIFE ESTATE OF ROBIN LEWIS)  
SITE ADDRESS: HILL DRIVE, MONTECELLO, KY 42633  
PARCEL ID: 028-00-00-001.00  
AREA: 64.71 ACRES (PER TAX ASSESSOR) - PARCELS B,C,D  
ALL ZONING INFORMATION SHOULD BE VERIFIED WITH THE PROPER ZONING OFFICIALS  
REFERENCE: DEED BOOK 351 PAGE 60

**GPS NOTES**

THE FOLLOWING GPS STATISTICS UPON WHICH THIS SURVEY IS BASED HAVE BEEN PRODUCED AT THE 95% CONFIDENCE LEVEL:  
POSITIONAL ACCURACY: 0.01 FEET (HORZ) 0.21 FEET (VERT)  
TYPE OF EQUIPMENT: GEOMAX ZENITH35 PRO BASE AND ROVER, DUAL FREQUENCY  
TYPE OF GPS FIELD PROCEDURE: ONLINE POSITION USER INTERFACE  
DATES OF SURVEY: 02/04/2021, 02/10/2021  
DATUM / EPOCH: NAD\_83(2011)EPOCH:2010.00000  
PUBLISHED / FIXED CONTROL USE: N/A  
GEOID MODEL: 18  
COMBINED GRID FACTOR(S): 1.00004355 CENTERED ON THE GPS BASE POINT AS SHOWN HEREON.  
CONVERGENCE ANGLE: 0.49451389"  
BENCHMARKS USED: DL6169, DJ9538, DH7217

**LEGEND**

- POB POINT OF BEGINNING
- POC POINT OF COMMENCEMENT
- IPF IRON PIN FOUND
- UP UTILITY POLE
- OJ OVERHEAD UTILITY
- N/F NOW OR FORMERLY
- C/L CENTERLINE
- BWF BARBED WIRE FENCE
- EP EDGE OF PAVEMENT
- RCF REINFORCED CONCRETE PIPE
- TBM TEMPORARY BENCHMARK
- WP WATER PUMP
- FP FENCE POST
- R/W RIGHT-OF-WAY LINE
- CMP CORRUGATED METAL PIPE
- CPP CORRUGATED PLASTIC PIPE
- PVC Polyvinyl chloride PIPE
- INVERT
- RB REBAR
- CRB CRIMPED REBAR
- OTF OPEN-TOP PIPE
- WM WATER METER
- EM ELECTRIC METER
- HH HAND HOLE
- EB ELECTRICAL BOX

**ADJOINER INFORMATION**

OWNER (N/F)	PARCEL	REFERENCE
1 JAMES J. & PATRICIA F. HICKS	028-00-00-004.01	DB 303 PG 724

**SURVEYOR'S CERTIFICATE**

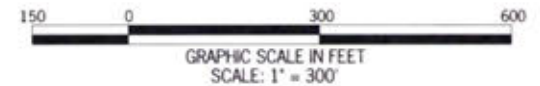
I, G. DARRELL TAYLOR, A KENTUCKY PROFESSIONAL LAND SURVEYOR, CERTIFY THAT THE INFORMATION SHOWN HEREON WAS COMPILED USING DATA FROM AN ACTUAL FIELD SURVEY MADE UNDER MY DIRECT SUPERVISION BY METHOD OF RANDOM TRAVERSE WITH SIDE SHOTS. THE UNADJUSTED PRECISION RATIO OF THE TRAVERSE EXCEEDED 1:10,000 AND WAS NOT ADJUSTED FOR CLOSURE. THIS SURVEY MEETS OR EXCEEDS THE MINIMUM STANDARDS FOR AN URBAN SURVEY AS ESTABLISHED BY THE STATE OF KENTUCKY, PER 201 KAR 18:150 AND IN EFFECT ON THE DATE OF THIS SURVEY.

*G. Darrell Taylor*  
G. DARRELL TAYLOR, PLS 4179  
02/22/2021  
DATE

SURVEY NOT VALID WITHOUT SHEET 2, 3, 4 & 5



Know what's below.  
Call before you dig.



N/F  
DALTON FAMILY FARM, LLP  
PARCEL # 027-00-00-069.00  
DB 345 PG 300

PROPERTY LINE

POC: IPF 1/2" RB  
N:3443066.6411  
E:5156605.6142

LEASE AREA  
(SEE DB 82, PAGE 712)

(TIE-LINE)  
S82°29'20"E 1090.85'

S89°09'08"E  
100.00  
N00°50'52"E  
100.00  
N89°09'08"W  
100.00  
S00°50'52"W  
100.00

POB: UTILITY  
ESMT. 1  
TBM  
ELEV = 1216.3  
N89°09'08"W  
30.00' (TIE)  
N89°09'08"W  
50.00' (TIE)

POB: LEASE  
N:3442924.2893  
E:5157687.0511

POB: ING-EGR  
ESMT. 1

PARENT PARCEL  
MARK LEWIS & BRYANT DUNAGAN  
SUBJECT TO A LIFE ESTATE OF ROBIN LEWIS  
PARCEL # 028-00-00-001.00  
DB 351 PG 60  
TRACT D

**SITE INFORMATION**

LEASE AREA = 10,000 SQUARE FEET (0.2296 ACRES)  
LATITUDE = 36° 46' 32.88" (NAD 83) (36.775800°)  
LONGITUDE = -84° 56' 33.45" (NAD 83) (-84.942625°)  
AT CENTER LEASE AREA  
ELEVATION AT CENTER OF LEASE AREA = 1221.0' A.M.S.L.

C/L 30' INGRESS-EGRESS  
& UTILITY EASEMENT  
(SEE DB 82, PAGE 712)

500'50'43"W 609.48'  
500'50'43"W 624.92'

ROCKY TERRAIN

C/L 10' UTILITY  
EASEMENT #1  
(RIGHTS TO BE ACQUIRED)

S76°10'20"W 288.58'  
S76°10'20"W 297.92'

- LEGEND**
- POB POINT OF BEGINNING
  - POC POINT OF COMMENCEMENT
  - IPF IRON PIN FOUND
  - UP UTILITY POLE
  - OU OVERHEAD UTILITY
  - N/F NOW OR FORMERLY
  - C/L CENTERLINE
  - BWF BARBED WIRE FENCE
  - EP EDGE OF PAVEMENT
  - RCP REINFORCED CONCRETE PIPE
  - TBM TEMPORARY BENCHMARK
  - WP WATER PUMP
  - FP FENCE POST
  - R/W RIGHT-OF-WAY LINE
  - CMP CORRUGATED METAL PIPE
  - CPV CORRUGATED PLASTIC PIPE
  - PVC POLYVINYL CHLORIDE PIPE
  - INW INVERT
  - RB REBAR
  - CRB CRIMPED REBAR
  - OTF OPEN-TOP PIPE
  - WM WATER METER
  - EM ELECTRIC METER
  - HH HAND HOLE
  - EB ELECTRICAL BOX



EXISTING 15'  
INGRESS/EGRESS  
EASEMENT  
SEE P.B. B, PAGE 280

N/F  
TAMARA BELL WRAY  
PARCEL # 028-00-00-001.01  
DB 308 PG 173

END OF  
EXISTING 15'  
INGRESS/EGRESS  
EASEMENT  
SEE P.B. B, PAGE 280

C/L 15'  
INGRESS-EGRESS  
EASEMENT  
(RIGHTS TO BE ACQUIRED)

N/F  
MARK LEWIS & BRYANT DUNAGAN  
PARCEL # 028-00-00-005.00  
DB 351 PG 76

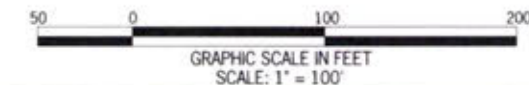
POB: ING-EGR  
ESMT. 2

POB: UTILITY  
ESMT. 2

C/L 10' UTILITY  
EASEMENT #2  
(RIGHTS TO BE ACQUIRED)

N/F  
BRYANT DUNAGAN  
& HALLICE D. HICKS  
PARCEL # 028-00-00-006.00  
DB 264 PG 210

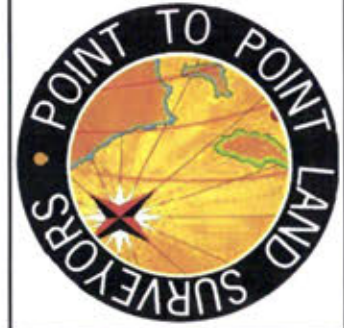
SURVEY NOT VALID WITHOUT SHEET 1, 3, 4 AND 5



STATE of KENTUCKY  
G. DARRELL  
TAYLOR  
4179  
LICENSED  
PROFESSIONAL  
LAND SURVEYOR

NO.	DATE	REVISION
1	3/2/21	TITLE REVIEW
2	3/17/22	TITLE/UTILITY ESMT.

SPECIFIC PURPOSE SURVEY PREPARED BY:  
**POINT TO POINT  
LAND SURVEYORS**  
100 Governors Trace, Ste. 103  
Peachtree City, GA 30269  
(p) 678.565.4440 (f) 678.565.4497  
(w) pointtopointsurvey.com



SPECIFIC PURPOSE SURVEY PREPARED FOR:

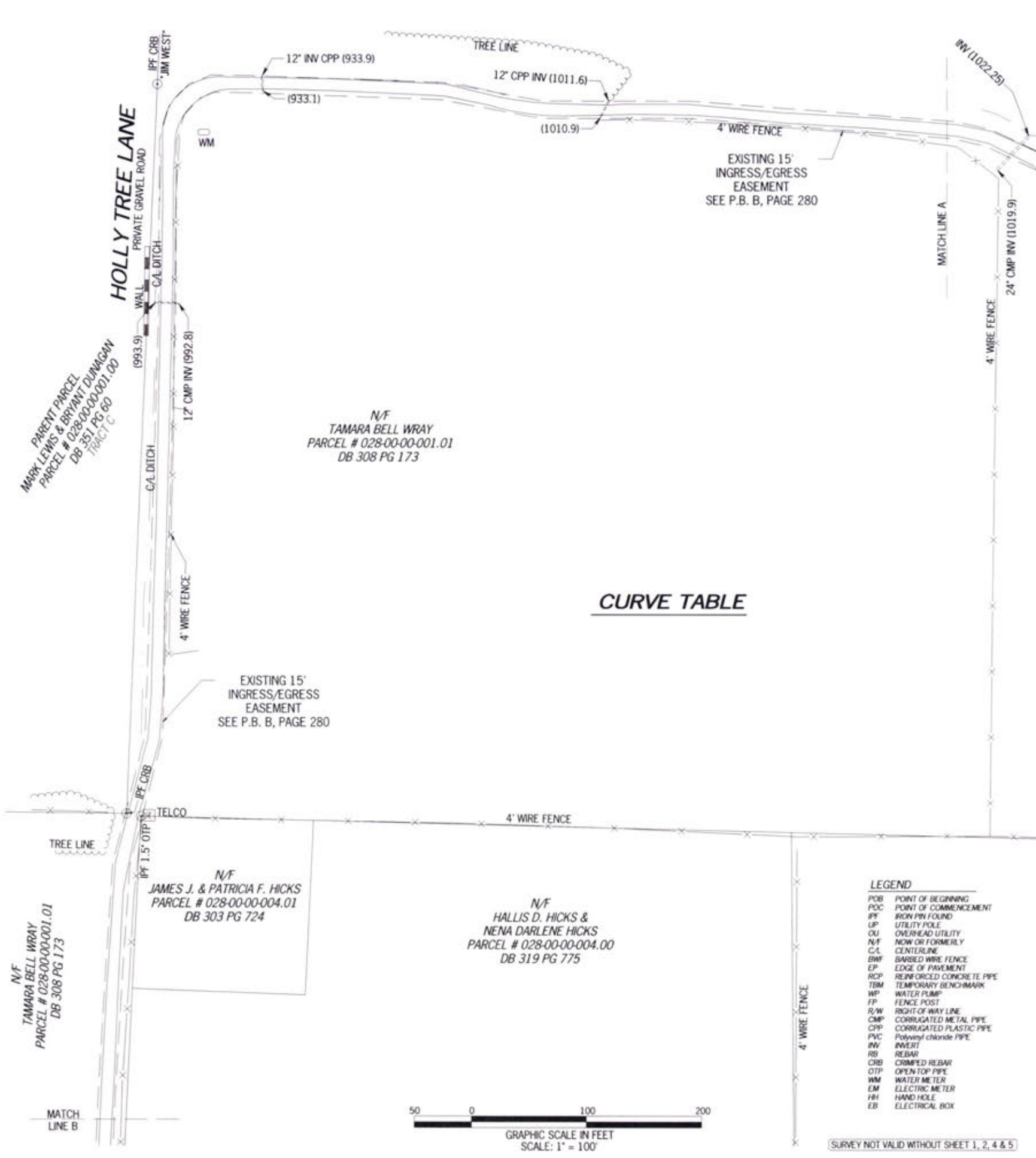
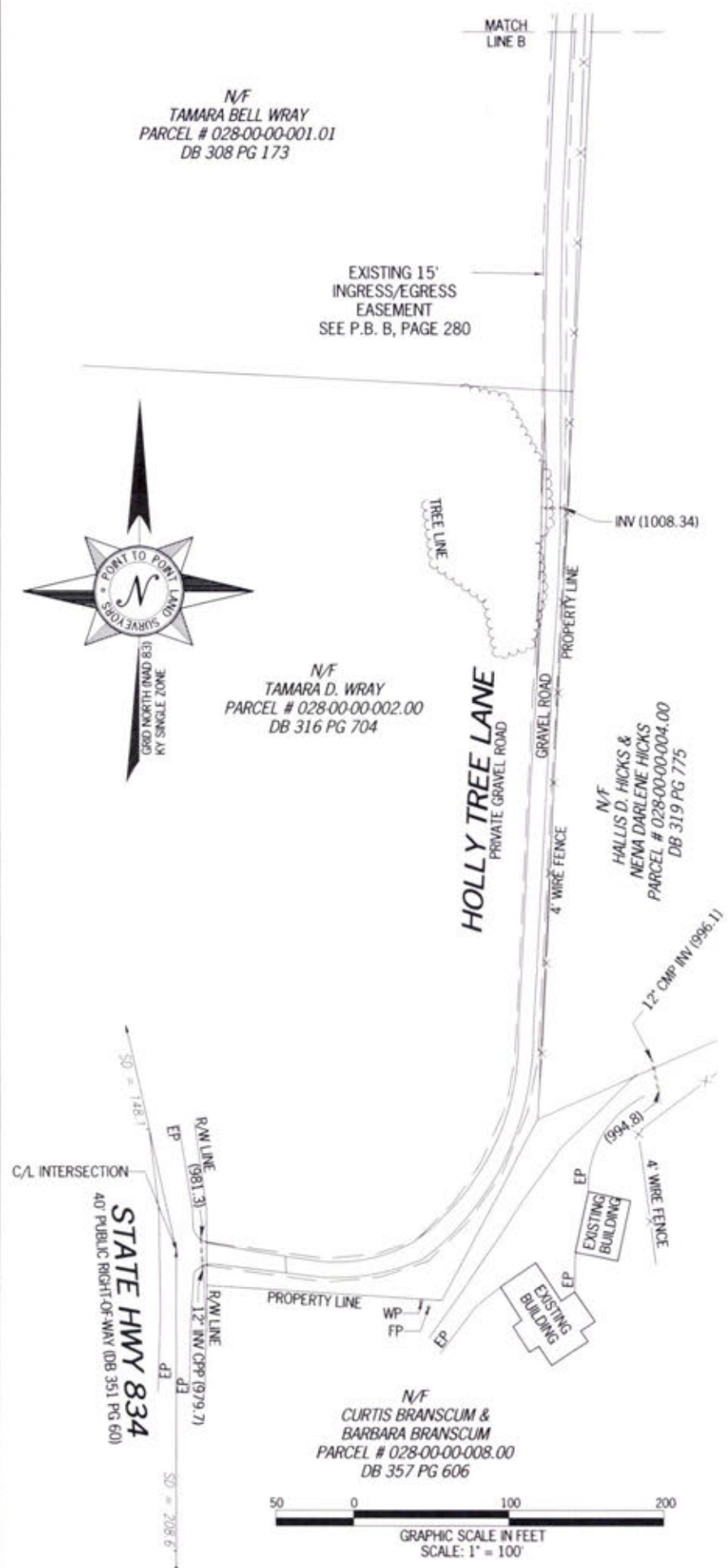
**HARMONI**  
10801 EXECUTIVE CENTER DRIVE  
SHANNON BLDG., STE 100  
LITTLE ROCK, AR 72211

WEST HIGHWAY 90

SITE NO.  
**KYLEX2056**  
SUSIE COMMUNITY,  
WAYNE COUNTY,  
KENTUCKY

DRAWN BY: GJH  
CHECKED BY: JKL  
APPROVED: D. MILLER  
DATE: FEBRUARY 22, 2021  
P2P JOB #: 202600KY

SHEET:  
**2**  
OF 5



CURVE TABLE

**LEGEND**

- POB POINT OF BEGINNING
- POC POINT OF COMMENCEMENT
- IPF IRON PIN FOUND
- UP UTILITY POLE
- OU OVERHEAD UTILITY
- N/F NOW OR FORMERLY
- C/L CENTERLINE
- BWF BARBED WIRE FENCE
- EP EDGE OF PAVEMENT
- RCP REINFORCED CONCRETE PIPE
- TBM TEMPORARY BENCHMARK
- WP WATER PUMP
- FP FENCE POST
- R/W RIGHT-OF-WAY LINE
- CMP CORRUGATED METAL PIPE
- CPP CORRUGATED PLASTIC PIPE
- PVC Polyvinyl chloride PIPE
- INV INVERT
- RS REBAR
- CRB COMBED REBAR
- OTP OPEN TOP PIPE
- WM WATER METER
- EM ELECTRIC METER
- HH HAND HOLE
- EB ELECTRICAL BOX

SURVEY NOT VALID WITHOUT SHEET 1, 2, 4 & 5

STATE of KENTUCKY  
G. DARRELL TAYLOR  
4179  
LICENSED PROFESSIONAL LAND SURVEYOR

NO.	DATE	REVISION
1	3/2/21	TITLE REVIEW
2	3/17/22	TITLE/UTILITY ESMT.

\* SPECIFIC PURPOSE SURVEY PREPARED BY:  
**POINT TO POINT LAND SURVEYORS**  
100 Governors Trace, Ste. 103  
Peachtree City, GA 30269  
(p) 678.565.4440 (f) 678.565.4497  
(w) pointtopointsurvey.com



SPECIFIC PURPOSE SURVEY PREPARED FOR:

**HARMONI**  
10801 EXECUTIVE CENTER DRIVE  
SHANNON BLDG., STE 100  
LITTLE ROCK, AR 72211

**WEST HIGHWAY 90**  
SITE NO.  
**KYLEX2056**  
SUSIE COMMUNITY,  
WAYNE COUNTY,  
KENTUCKY

DRAWN BY: GJH  
CHECKED BY: JKL  
APPROVED: D. MILLER  
DATE: FEBRUARY 22, 2021  
P2P JOB #: 202600KY

SHEET:  
**3**  
OF 5

L:\geogis\point to point\p2p\Current Jobs\202600KY\West Highway 90\202600KY.dwg

# LEGAL DESCRIPTION SHEET

## LEASE AREA

ALL THAT TRACT OR PARCEL OF LAND LYING AND BEING IN THE SUSIE COMMUNITY, WAYNE COUNTY, KENTUCKY, AND BEING A PORTION OF THE LANDS OF MARK LEWIS AND BRYANT DUNAGAN, AS RECORDED IN DEED BOOK 351, PAGE 60, WAYNE COUNTY RECORDS, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

TO FIND THE POINT OF BEGINNING, COMMENCE, AT A ½-REBAR FOUND AT THE NORTHWESTERN CORNER OF TRACT D OF SAID LANDS, SAID REBAR POST HAVING A KENTUCKY GRID NORTH, NAD 83, SINGLE ZONE VALUE OF N:3443066.6411 E:5156605.6142; THENCE RUNNING ALONG A TIE-LINE, SOUTH 82°29'20" EAST, 1090.85 FEET TO A POINT HAVING A KENTUCKY GRID NORTH, NAD 83, SINGLE ZONE VALUE OF N:3442924.2893 E:5157687.0511, AND THE TRUE POINT OF BEGINNING; THENCE RUNNING, NORTH 00°50'52" EAST, 100.00 FEET TO A POINT; THENCE, SOUTH 89°09'08" EAST, 100.00 FEET TO A POINT; THENCE, SOUTH 00°50'52" WEST, 100.00 FEET TO A POINT; THENCE, NORTH 89°09'08" WEST, 100.00 FEET TO A POINT AND THE POINT OF BEGINNING.

BEARINGS BASED ON KENTUCKY GRID NORTH, NAD 83, SINGLE ZONE.

SAID TRACT CONTAINS 0.2296 ACRES (10,000 SQUARE FEET), MORE OR LESS.

## 30' INGRESS-EGRESS EASEMENT

TOGETHER WITH A 30-FOOT WIDE INGRESS-EGRESS EASEMENT (LYING 15 FEET EACH SIDE OF CENTERLINE), LYING AND BEING IN THE SUSIE COMMUNITY, WAYNE COUNTY, KENTUCKY, AND BEING A PORTION OF THE LANDS OF MARK LEWIS AND BRYANT DUNAGAN, AS RECORDED IN DEED BOOK 351, PAGE 60, WAYNE COUNTY RECORDS, AND BEING MORE PARTICULARLY DESCRIBED BY THE FOLLOWING CENTERLINE DATA:

TO FIND THE POINT OF BEGINNING, COMMENCE, AT A ½-REBAR FOUND AT THE NORTHWESTERN CORNER OF TRACT D OF SAID LANDS, SAID REBAR POST HAVING A KENTUCKY GRID NORTH, NAD 83, SINGLE ZONE VALUE OF N:3443066.6411 E:5156605.6142; THENCE RUNNING ALONG A TIE-LINE, SOUTH 82°29'20" EAST, 1090.85 FEET TO A POINT ON THE LEASE AREA, SAID POINT HAVING A KENTUCKY GRID NORTH, NAD 83, SINGLE ZONE VALUE OF N:3442924.2893 E:5157687.0511; THENCE RUNNING, NORTH 00°50'52" EAST, 100.00 FEET TO A POINT; THENCE, SOUTH 89°09'08" EAST, 100.00 FEET TO A POINT; THENCE, SOUTH 00°50'52" WEST, 100.00 FEET TO A POINT; THENCE, NORTH 89°09'08" WEST, 50.00 FEET TO A POINT AND THE TRUE POINT OF BEGINNING; THENCE LEAVING THE LEASE AREA AND RUNNING, SOUTH 00°50'43" WEST, 609.48 FEET TO A POINT; THENCE, SOUTH 76°10'20" WEST, 288.58 FEET TO THE ENDING AT A POINT ON A SOUTHWESTERLY PROPERTY LINE OF SAID TRACT D.

BEARINGS BASED ON KENTUCKY GRID NORTH, NAD 83, SINGLE ZONE.

## 15' INGRESS-EGRESS EASEMENT

TOGETHER WITH A 15-FOOT WIDE INGRESS-EGRESS EASEMENT (LYING 7.5 FEET EACH SIDE OF CENTERLINE), LYING AND BEING IN WAYNE COUNTY, KENTUCKY, AND BEING A PORTION OF THE LANDS OF MARK LEWIS AND BRYANT DUNAGAN, AS RECORDED IN DEED BOOK 351, PAGE 76, WAYNE COUNTY RECORDS, AND BEING MORE PARTICULARLY DESCRIBED BY THE FOLLOWING CENTERLINE DATA:

TO FIND THE POINT OF BEGINNING, COMMENCE, AT A ½-REBAR FOUND AT THE NORTHWESTERN CORNER OF TRACT D OF THE LANDS OF MARK LEWIS AND BRYANT DUNAGAN, AS RECORDED IN DEED BOOK 351, PAGE 60, WAYNE COUNTY RECORDS, SAID REBAR POST HAVING A KENTUCKY GRID NORTH, NAD 83, SINGLE ZONE VALUE OF N:3443066.6411 E:5156605.6142; THENCE RUNNING ALONG A TIE-LINE, SOUTH 82°29'20" EAST, 1090.85 FEET TO A POINT ON THE LEASE AREA, SAID POINT HAVING A KENTUCKY GRID NORTH, NAD 83, SINGLE ZONE VALUE OF N:3442924.2893 E:5157687.0511; THENCE RUNNING, NORTH 00°50'52" EAST, 100.00 FEET TO A POINT; THENCE, SOUTH 89°09'08" EAST, 100.00 FEET TO A POINT; THENCE, SOUTH 00°50'52" WEST, 100.00 FEET TO A POINT; THENCE, NORTH 89°09'08" WEST, 50.00 FEET TO A POINT; THENCE LEAVING THE LEASE AREA AND RUNNING, SOUTH 00°50'43" WEST, 609.48 FEET TO A POINT; THENCE, SOUTH 76°10'20" WEST, 288.58 FEET TO A POINT ON THE NORTHEASTERLY PROPERTY LINE OF SAID LANDS, AND THE TRUE POINT OF BEGINNING; THENCE LEAVING TRACT D AND RUNNING, SOUTH 76°10'20" WEST, 269.33 FEET TO A POINT; THENCE, SOUTH 87°20'00" WEST, 67.73 FEET TO A POINT; THENCE, NORTH 65°13'24" WEST, 216.40 FEET TO A POINT; THENCE, NORTH 78°20'06" WEST, 187.72 FEET TO THE ENDING AT A POINT ON THE WESTERN PROPERTY LINE OF SAID LANDS.

BEARINGS BASED ON KENTUCKY GRID NORTH, NAD 83, SINGLE ZONE.

## 10' UTILITY EASEMENT #1

TOGETHER WITH A 10-FOOT WIDE UTILITY EASEMENT (LYING 5 FEET EACH SIDE OF CENTERLINE), LYING AND BEING IN WAYNE COUNTY, KENTUCKY, AND BEING A PORTION OF THE LANDS OF MARK LEWIS AND BRYANT DUNAGAN, AS RECORDED IN DEED BOOK 351, PAGE 60, WAYNE COUNTY RECORDS, AND BEING MORE PARTICULARLY DESCRIBED BY THE FOLLOWING CENTERLINE DATA:

TO FIND THE POINT OF BEGINNING, COMMENCE, AT A ½-REBAR FOUND AT THE NORTHWESTERN CORNER OF TRACT D OF THE LANDS OF MARK LEWIS AND BRYANT DUNAGAN, AS RECORDED IN DEED BOOK 351, PAGE 60, WAYNE COUNTY RECORDS, SAID REBAR POST HAVING A KENTUCKY GRID NORTH, NAD 83, SINGLE ZONE VALUE OF N:3443066.6411 E:5156605.6142; THENCE RUNNING ALONG A TIE-LINE, SOUTH 82°29'20" EAST, 1090.85 FEET TO A POINT ON THE LEASE AREA, SAID POINT HAVING A KENTUCKY GRID NORTH, NAD 83, SINGLE ZONE VALUE OF N:3442924.2893 E:5157687.0511; THENCE RUNNING, NORTH 00°50'52" EAST, 100.00 FEET TO A POINT; THENCE, SOUTH 89°09'08" EAST, 100.00 FEET TO A POINT; THENCE, SOUTH 00°50'52" WEST, 100.00 FEET TO A POINT; THENCE, NORTH 89°09'08" WEST, 30.00 FEET TO A POINT AND THE TRUE POINT OF BEGINNING; THENCE LEAVING THE LEASE AREA AND RUNNING, SOUTH 00°50'43" WEST, 624.92 FEET TO A POINT; THENCE, SOUTH 76°10'20" WEST, 297.92 FEET TO THE ENDING AT A POINT ON A SOUTHWESTERLY PROPERTY LINE OF SAID TRACT D.

BEARINGS BASED ON KENTUCKY GRID NORTH, NAD 83, SINGLE ZONE.

## 10' UTILITY EASEMENT #2

TOGETHER WITH A 10-FOOT WIDE UTILITY EASEMENT (LYING 5 FEET EACH SIDE OF CENTERLINE), LYING AND BEING IN WAYNE COUNTY, KENTUCKY, AND BEING A PORTION OF THE LANDS OF MARK LEWIS AND BRYANT DUNAGAN, AS RECORDED IN DEED BOOK 351, PAGE 76, WAYNE COUNTY RECORDS, AND BEING MORE PARTICULARLY DESCRIBED BY THE FOLLOWING CENTERLINE DATA:

TO FIND THE POINT OF BEGINNING, COMMENCE, AT A ½-REBAR FOUND AT THE NORTHWESTERN CORNER OF TRACT D OF THE LANDS OF MARK LEWIS AND BRYANT DUNAGAN, AS RECORDED IN DEED BOOK 351, PAGE 60, WAYNE COUNTY RECORDS, SAID REBAR POST HAVING A KENTUCKY GRID NORTH, NAD 83, SINGLE ZONE VALUE OF N:3443066.6411 E:5156605.6142; THENCE RUNNING ALONG A TIE-LINE, SOUTH 82°29'20" EAST, 1090.85 FEET TO A POINT ON THE LEASE AREA, SAID POINT HAVING A KENTUCKY GRID NORTH, NAD 83, SINGLE ZONE VALUE OF N:3442924.2893 E:5157687.0511; THENCE RUNNING, NORTH 00°50'52" EAST, 100.00 FEET TO A POINT; THENCE, SOUTH 89°09'08" EAST, 100.00 FEET TO A POINT; THENCE, SOUTH 00°50'52" WEST, 100.00 FEET TO A POINT; THENCE, NORTH 89°09'08" WEST, 30.00 FEET TO A POINT; THENCE LEAVING THE LEASE AREA AND RUNNING, SOUTH 00°50'43" WEST, 624.92 FEET TO A POINT; THENCE, SOUTH 76°10'20" WEST, 297.92 FEET TO A POINT ON THE NORTHEASTERLY PROPERTY LINE OF SAID LANDS, AND THE TRUE POINT OF BEGINNING; THENCE LEAVING TRACT D AND RUNNING THROUGH SAID LANDS, SOUTH 76°10'20" WEST, 238.64 FEET TO A POINT; THENCE, SOUTH 87°20'00" WEST, 110.75 FEET TO A POINT; THENCE, NORTH 65°13'24" WEST, 159.44 FEET TO A POINT; THENCE, SOUTH 12°31'46" WEST, 129.98 FEET TO THE ENDING AT A POINT.

BEARINGS BASED ON KENTUCKY GRID NORTH, NAD 83, SINGLE ZONE.



NO.	DATE	REVISION
1	3/2/21	TITLE REVIEW
2	3/17/22	TITLE/UTILITY ESMT.

\* SPECIFIC PURPOSE SURVEY PREPARED BY:  
**POINT TO POINT LAND SURVEYORS**  
 100 Governors Trace, Ste. 103  
 Peachtree City, GA 30269  
 (p) 678.565.4440 (f) 678.565.4497  
 (w) pointpointsurvey.com



SPECIFIC PURPOSE SURVEY PREPARED FOR:

10801 EXECUTIVE CENTER DRIVE  
 SHANNON BLDG., STE. 100  
 LITTLE ROCK, AR 72211

**WEST HIGHWAY 90**

**SITE NO.**  
**KYLEX2056**  
 SUSIE COMMUNITY,  
 WAYNE COUNTY,  
 KENTUCKY

DRAWN BY: GJH	SHEET:
CHECKED BY: JKL	<b>4</b>
APPROVED: D. MILLER	
DATE: FEBRUARY 22, 2021	
P2P JOB #: 202600KY	OF 5



**PARENT PARCEL LEGAL DESCRIPTION**

PER FIDELITY NATIONAL TITLE INSURANCE COMPANY ORDER NO. 33549117, DATED 12/28/20

**TRACT B:**

A CERTAIN TRACT OF LAND LYING AND BEING IN THE SUSIE COMMUNITY, WAYNE COUNTY, KENTUCKY AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

UNLESS OTHERWISE STATED, ANY MONUMENT REFERRED TO HEREIN AS A "REBAR AND CAP" IS A 5/8" X 18" REBAR WITH A YELLOW PLASTIC SURVEY CAP STAMPED "DONALD MILLER, KY PLS 3426". ALL BEARINGS STATED HEREIN ARE REFERRED TO THE MAGNETIC MERIDIAN AS OBSERVED AUGUST 4, 1998.

BEGINNING AT A REBAR AND CAP SET THIS SURVEY AT THE SOUTHEAST CORNER OF KELLY AND DARLENE RAMSEY (DEED BOOK 246, PAGE 184), ALSO BEING IN THE NORTHERLY RIGHT-OF-WAY LINE OF KENTUCKY HIGHWAY 834 (40' RIGHT-OF-WAY); THENCE LEAVING SAID NORTHERLY RIGHT OF WAY LINE AND ALONG THE EASTERLY LINE OF SAID RAMSEY, N51 DEG. 22 MIN. 26 SEC. E A DISTANCE OF 129.31 FEET TO A REBAR AND CAP SET THIS SURVEY; THENCE ALONG THE EAST LINE OF WEST PROPERTIES, LLC (DEED BOOK 270, PAGE 91), N 59 DEG. 16 MIN. 13 SEC. E A DISTANCE OF 208.08 FEET TO A REBAR AND CAP FOUND STAMPED "JIM WEST"; THENCE LEAVING WEST PROPERTIES, LLC AND ALONG A NEW DIVISION LINE ON THE FOLLOWING TWO (2) COURSES AND DISTANCES: 1. S 56 DEG. 43 MIN. 29 SEC. E A DISTANCE OF 238.37 FEET TO A REBAR AND CAP SET THIS SURVEY; 2. S 33 DEG. 16 MIN. 31 SEC. W A DISTANCE OF 309.94 FEET TO A REBAR AND CAP SET THIS SURVEY IN THE FOREMENTIONED NORTHERLY RIGHT-OF-WAY LINE OF KENTUCKY HIGHWAY 834; THENCE ALONG SAID NORTHERLY RIGHT-OF-WAY LINE, N 56 DEG. 43 MIN. 29 SEC. W A DISTANCE OF 369.74 FEET TO THE POINT OF BEGINNING.

CONTAINING 2.21 ACRES MORE OR LESS AND BEING SUBJECT TO ALL EASEMENTS, RESTRICTIONS AND RIGHT-OF-WAYS OF RECORD.

**TRACT C:**

A CERTAIN TRACT OF LAND LYING AND BEING IN THE SUSIE COMMUNITY, WAYNE COUNTY, KENTUCKY AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

UNLESS OTHERWISE STATED, ANY MONUMENT REFERRED TO HEREIN AS A "REBAR AND CAP" IS A 5/8" X 18" REBAR WITH A YELLOW PLASTIC SURVEY CAP STAMPED "DONALD MILLER, KY PLS 3426". ALL BEARINGS STATED HEREIN ARE REFERRED TO THE MAGNETIC MERIDIAN AS OBSERVED AUGUST 4, 1998.

COMMENCING AT A REBAR AND CAP SET THIS SURVEY AT THE SOUTHEAST CORNER OF KELLY AND DARLENE RAMSEY (DEED BOOK 246, PAGE 184), ALSO BEING IN THE NORTHERLY RIGHT-OF-WAY LINE OF KENTUCKY HIGHWAY 834 (40' RIGHT-OF-WAY); THENCE ALONG SAID NORTHERLY RIGHT-OF-WAY, S 56 DEG. 43 MIN. 29 SEC. E A DISTANCE OF 369.74 FEET TO THE POINT OF BEGINNING; THENCE LEAVING SAID NORTHERLY RIGHT-OF-WAY AND ALONG A NEW DIVISION LINE ON THE FOLLOWING TWO (2) COURSES AND DISTANCES: 1) N 33 DEG. 16 MIN. 31 SEC. E A DISTANCE OF 309.94 FEET TO A REBAR AND CAP SET THIS SURVEY; 2) N 56 DEG. 43 MIN. 29 SEC. W A DISTANCE OF 238.37 FEET TO A REBAR AND CAP FOUND STAMPED "JIM WEST" THENCE ALONG THE EASTERLY LINE OF AMERICAN WOODMARK CORPORATION (DEED BOOK 264, PAGE 232 ON THE FOLLOWING TWO COURSES AND DISTANCES:

1) N 59 DEG. 16 MIN. 13 SEC. E A DISTANCE OF 193.53 FEET TO A REBAR AND CAP SET THIS SURVEY; 2) N 60 DEG. 53 MIN. 14 SEC. E A DISTANCE OF 766.03 FEET TO A REBAR AND CAP FOUND STAMPED "JIM WEST"; THENCE CONTINUING ALONG SAID AMERICAN WOODMARK CORPORATION AND HALLIS D. & NENE DARLENE HICKS (DEED BOOK 319, PAGE 775), N 61 DEG. 29 MIN. 06 SEC. E A DISTANCE OF 552.78 FEET TO A REBAR AND CAP FOUND STAMPED "JIM WEST"; THENCE CONTINUING ALONG SAID HALLIS D. & DARLENE HICKS, S 83 DEG. 51 MIN. 24 SEC. E A DISTANCE OF 314.13 FEET TO A REBAR AND CAP FOUND STAMPED "JIM WEST"; THENCE LEAVING SAID HICKS AND ALONG THE WESTERLY LINE OF MARK LEWIS, (DEED BOOK 229, PAGE 380), S 04 DEG. 13 MIN. 12 SEC. W A DISTANCE OF 714.78 FEET TO A REBAR AND CAP FOUND STAMPED "JIM WEST"; THENCE ALONG THE WESTERLY LINE OF NANCY KLINE (DEED BOOK 270, PAGE 589), S 04 DEG. 00 MIN. 55 SEC. W A DISTANCE OF 634.61 FEET; THENCE CONTINUING ALONG THE NORTHERLY LINE OF SAID KLINE ON THE FOLLOWING THREE COURSES AND DISTANCES: 1) N 87 DEG. 40 MIN. 18 SEC. W, PASSING A REBAR AND CAP SET THIS SURVEY AT 5.00 FEET, A TOTAL DISTANCE OF 495.00 FEET TO A REBAR AND CAP SET THIS SURVEY; 2) S 82 DEG. 55 MIN. 40 SEC. W A DISTANCE OF 132.77 FEET TO A REBAR AND CAP SET THIS SURVEY; 3) S 45 DEG. 06 MIN. 17 SEC. W A DISTANCE OF 485.74 FEET TO A REBAR AND CAP FOUND STAMPED "JIM WEST" IN THE FOREMENTIONED NORTHERLY RIGHT-OF-WAY LINE OF KENTUCKY HIGHWAY 834; THENCE ALONG SAID NORTHERLY RIGHT-OF-WAY LINE ON THE FOLLOWING FOUR (4) COURSES AND DISTANCES: 1) ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 630.00 FEET AND AN ARC LENGTH OF 311.05 FEET, THE CHORD OF SAID CURVE BEARS N 43 DEG. 49 MIN. 33 SEC. W A DISTANCE OF 307.90 FEET; 2) N29 DEG. 40 MIN. 53 SEC. W A DISTANCE OF 154.58 FEET; 3) ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 570.00 FEET AND AN ARC LENGTH OF 269.04 FEET, THE CHORD OF SAID CURVE BEARS N 43 DEG. 12 MIN. 11 SEC. W A DISTANCE OF 266.55 FEET, 4) N 56 DEG. 43 MIN. 29 SEC. W A DISTANCE OF 77.41 FEET TO THE POINT OF BEGINNING.

CONTAINING 39.52 ACRES MORE OR LESS AND BEING SUBJECT TO ALL EASEMENTS, RESTRICTIONS, AND RIGHT-OF-WAYS OF RECORD.

**TRACT D:**

A CERTAIN TRACT OF LAND LYING AND BEING IN THE SUSIE COMMUNITY, WAYNE COUNTY, KENTUCKY AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

UNLESS OTHERWISE STATED, ANY MONUMENT REFERRED TO HEREIN AS A "REBAR AND CAP" IS A 5/8" X 18" REBAR WITH A YELLOW PLASTIC SURVEY CAP STAMPED "DONALD MILLER, KY PLS 3426". ALL BEARINGS STATED HEREIN ARE REFERRED TO THE MAGNETIC MERIDIAN AS OBSERVED AUGUST 4, 1998.

COMMENCING AT A REBAR AND CAP SET THIS SURVEY AT THE SOUTHEAST CORNER OF KELLY AND DARLENE RAMSEY (DEED BOOK 246, PAGE 184), ALSO BEING IN THE NORTHERLY RIGHT-OF-WAY LINE OF KENTUCKY HIGHWAY 834 (40' RIGHT-OF-WAY); THENCE ALONG A TIE LINE, N 71 DEG. 56 MIN. 45 SEC. E A DISTANCE OF 2689.38 FEET TO A REBAR FOUND IN THE END OF A ROCK FENCE AND THE POINT OF BEGINNING; THENCE ALONG THE SOUTHERLY LINE OF DALTON FAMILY TRUST (DEED BOOK 313, PAGE 54), S 88 DEG. 26 MIN. 31 SEC. E A DISTANCE OF 1907.82 FEET TO A REBAR AND CAP SET THIS SURVEY; THENCE LEAVING SAID DALTON FAMILY TRUST AND ALONG THE WESTERLY LINE OF BRYANT DUNGAN (DEED BOOK 264, PAGE 210), S 44 DEG. 10 MIN. 53 SEC. W A DISTANCE OF 1408.10 FEET TO A REBAR AND CAP SET THIS SURVEY; THENCE ALONG THE EASTERLY LINE OF MARK LEWIS (DEED BOOK 229, PAGE 380), N 28 DEG. 40 MIN.00 SEC. W A DISTANCE OF 499.96 FEET TO A REBAR AND CAP SET THIS SURVEY; THENCE CONTINUING ALONG SAID MARK LEWIS ON THE FOLLOWING THREE COURSES AND DISTANCES: 1) N 63 DEG. 49 MIN. 07 SEC. W A DISTANCE OF 721.14 FEET TO A REBAR AND CAP FOUND STAMPED "JIM WEST"; 2) N 00 DEG. 29 MIN. 23 SEC. W A DISTANCE OF 231.00 FEET TO A REBAR AND CAP FOUND STAMPED "JIM WEST"; 3) N 26 DEG. 29 MIN. 23 SEC. W A DISTANCE OF 82.50 FEET TO THE POINT OF BEGINNING.

CONTAINING 22.98 ACRES MORE OR LESS AND BEING SUBJECT TO ALL EASEMENTS, RESTRICTIONS AND RIGHT-OF-WAYS OF RECORD.

THE ABOVE DESCRIBED PROPERTY HAVING A BENEFIT OF A 15 FOOT WIDE INGRESS-EGRESS EASEMENT OVER AND ACROSS TAMERA WRAY AND AN EXISTING GRAVEL ROAD; BEGINNING AT POINT A AS LISTED ABOVE, S 00 DEG. 13 MIN. 12 SEC. E A DISTANCE OF 426.61 FEET TO THE NORTHWEST CORNER OF MARK LEWIS AND A GRAVEL ROAD; THENCE WITH THE MEANDERS OF SAID GRAVEL ROAD TO KENTUCKY HIGHWAY 834 AND THE POINT OF TERMINUS.

AND BEING THE SAME PROPERTY CONVEYED TO MARK LEWIS AND BRYANT DUNAGAN FROM ROBIN LEWIS BY DEED OF CONVEYANCE DATED FEBRUARY 11, 2013 AND RECORDED FEBRUARY 12, 2013 IN DEED BOOK 351, PAGE 60.

TAX PARCEL NO. 028-00-00-001.00

**TITLE EXCEPTIONS**

THIS SURVEY WAS COMPLETED WITH THE AID OF TITLE WORK PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, COMMITMENT DATE OF JANUARY 19, 2022, BEING ORDER NUMBER 33549117, FOR THE PARENT PARCEL, TO DETERMINE THE IMPACTS OF EXISTING TITLE EXCEPTIONS.

8. MATTERS AS SHOWN AND NOTED ON PLAT RECORDED IN PLAT BOOK B, PAGE 280.

[THIS ITEM IS APPLICABLE TO THE PARENT PARCEL, LEASE AREA, INGRESS- EGRESS AND UTILITY EASEMENTS. THE 15' INGRESS/EGRESS REFERENCED AND SHOWN ON SAID PLAT IS SHOWN HEREON.]

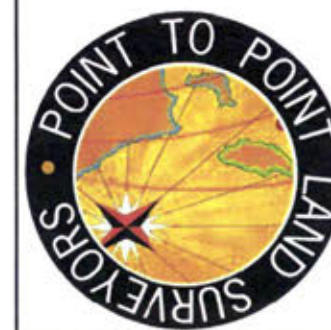
9. TERMS AND CONDITIONS OF MEMORANDUM OF OPTION DATED AUGUST 3, 2021 BY AND BETWEEN MARK LEWIS AND BRYANT DUNAGAN, AND HARMONI TOWERS LLC, A DELAWARE LIMITED LIABILITY COMPANY, RECORDED ON AUGUST 25, 2021 IN DEED BOOK 82, PAGE 712.

[THIS ITEM IS APPLICABLE TO THE PARENT PARCEL, LEASE AREA, INGRESS- EGRESS AND UTILITY EASEMENTS AND THE APPLICABLE ITEMS ARE SHOWN HEREON.]



NO.	DATE	REVISION
1	3/2/21	TITLE REVIEW
2	3/17/22	TITLE/UTILITY ESMT.

\* SPECIFIC PURPOSE SURVEY PREPARED BY:  
**POINT TO POINT LAND SURVEYORS**  
 100 Governors Trace, Ste. 103  
 Peachtree City, GA 30269  
 (p) 678.565.4440 (f) 678.565.4497  
 (w) pointpointsurvey.com



SPECIFIC PURPOSE SURVEY PREPARED FOR:



WEST HIGHWAY 90

SITE NO.  
**KYLEX2056**  
 SUSIE COMMUNITY,  
 WAYNE COUNTY,  
 KENTUCKY

DRAWN BY: GJH

CHECKED BY: JKL

APPROVED: D. MILLER

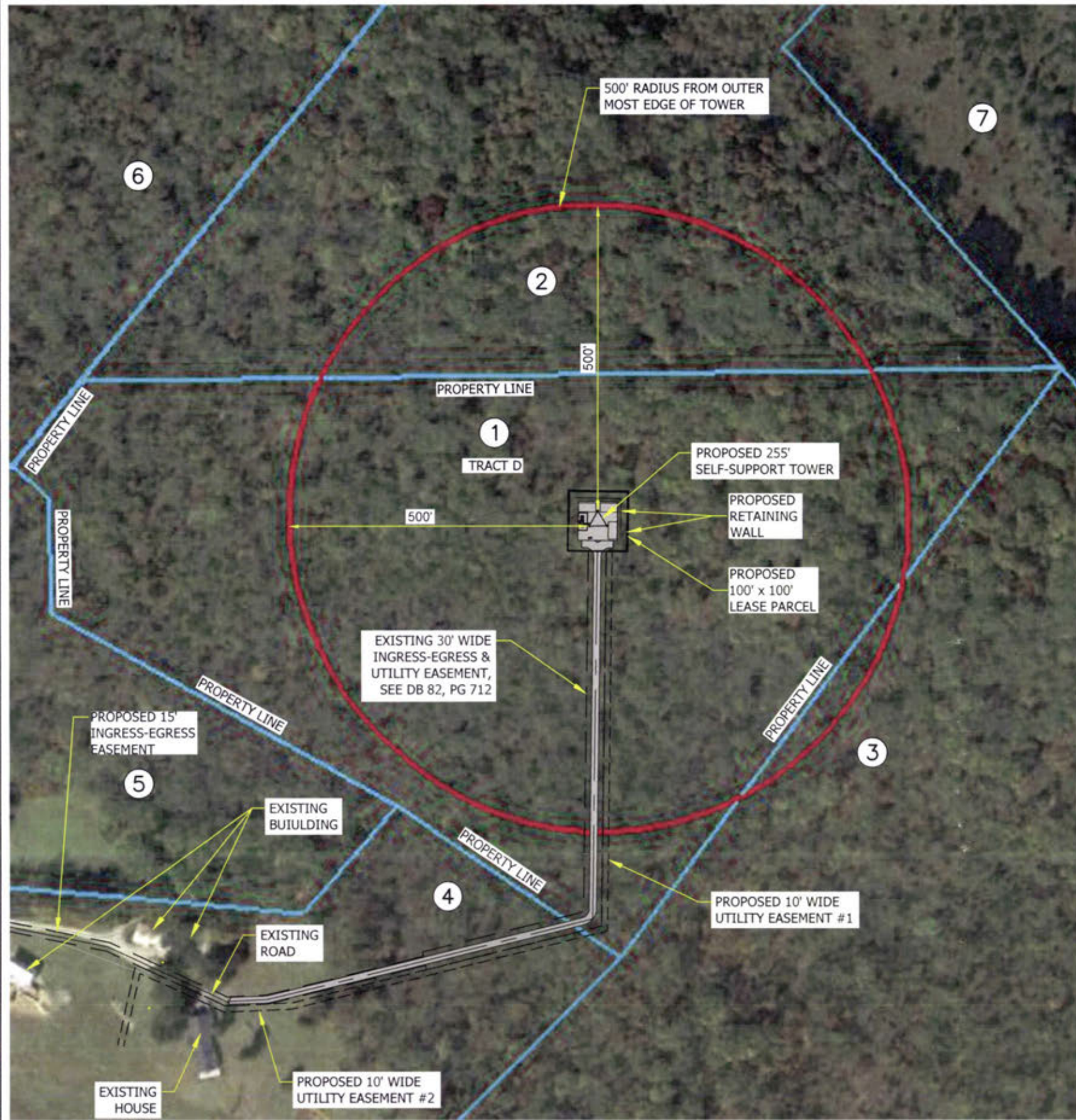
DATE: FEBRUARY 22, 2021

P2P JOB #: 202600KY

SHEET:

**5**

OF 5



#	OWNER	ADDRESS	PID	REF
1	MARK & ROBIN LEWIS AND BRYANT DUNAGAN	197 HWY 3106 MONTICELLO, KY 42633	028-00-00-001.00	DB 351 PG 60
2	DALTON FAMILY FARM, LLP % TIM DALTON	6807 W. HWY 90 MONTICELLO, KY 42633	027-00-00-069.00	DB 345 PG 300
3	BRYANT DUNAGAN AND HALLICE HICKS	2870 E. HWY 90 MONTICELLO, KY 42633	028-00-00-006.00	DB 264 PG 210
4	MARK & ROBIN LEWIS	197 HWY 3106 MONTICELLO, KY 42633	028-00-00-005.00	DB 351 PG 76
5	TAMARA D WARY LENNEX	1577 HWY 3106 MONTICELLO, KY 42633	028-00-00-001.01	DB 308 PG 173
6	WAYNE LUMBER CO. INC	P.O. BOX 576 MONTICELLO, KY 42633	027-00-00-070.00	-
7	VICKERY DAN D ETAL	4903 W. HWY 90 MONTICELLO, KY 42633	028-00-00-042.00	-

**NOTE:**

1. SEE SHEET C-1.2 FOR INFORMATION ON PROPERTIES #8 - #17.
2. PVA INFORMATION WAS OBTAINED ON 12/9/2021 FROM THE OFFICIAL RECORDS OF THE COUNTY'S PROPERTY VALUATION ADMINISTRATOR.
3. THIS MAP IS FOR GENERAL INFORMATION PURPOSES ONLY AND IS NOT A BOUNDARY SURVEY.
4. NOT FOR RECORDING OR PROPERTY TRANSFER.

**BAT NOTE:**

MUST DO TREE CLEARING BETWEEN OCTOBER 15th AND MARCH 31st, DUE TO BAT TREES ON PROPERTY

1 500' RADIUS & ADJOINER'S DRAWING  
SCALE: 1" = 200'



CALL KENTUCKY ONE CALL  
(800) 752-6007  
CALL 3 WORKING DAYS  
BEFORE YOU DIG!



HARMONI TOWERS  
W HIGHWAY 90  
ZULA RELO  
FA# 15415629/10124719  
PACE# MRTNK052250  
PT# 2457A0XDC6  
HILL DRIVE  
MONTICELLO, KY 42633  
WAYNE COUNTY COUNTY  
PROPOSED 255' SELF-SUPPORT

PROJECT NO: G0144562.005.01  
CHECKED BY: MAS

ISSUED FOR:			
REV	DATE	DRWN	DESCRIPTION
A	12/09/21	DLS	ZONING DRAWINGS
0	03/21/22	DLS	ZONING DRAWINGS
1	05/12/22	DLS	ZONING DRAWINGS

B&T ENGINEERING, INC.  
4011  
Expires 12/31/22



IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

500' RADIUS & ADJOINER'S DRAWING

SHEET NUMBER:  
**C-1.1**

144562.005.01.dwg - 11:11 AM - 12/12/2021 - 11:11 AM



HARMONI TOWERS  
 W HIGHWAY 90  
 ZULA RELO  
 FA# 15415629/10124719  
 PACE# MRTNK052250  
 PT# 2457A0XDC6  
 HILL DRIVE  
 MONTICELLO, KY 42633  
 WAYNE COUNTY COUNTY  
 PROPOSED 255' SELF-SUPPORT

PROJECT NO: G0144562.005.01  
 CHECKED BY: MAS

ISSUED FOR:			
REV	DATE	DRWN	DESCRIPTION
A	12/09/21	DLS	ZONING DRAWINGS
0	03/21/22	DLS	ZONING DRAWINGS
1	05/12/22	DLS	ZONING DRAWINGS

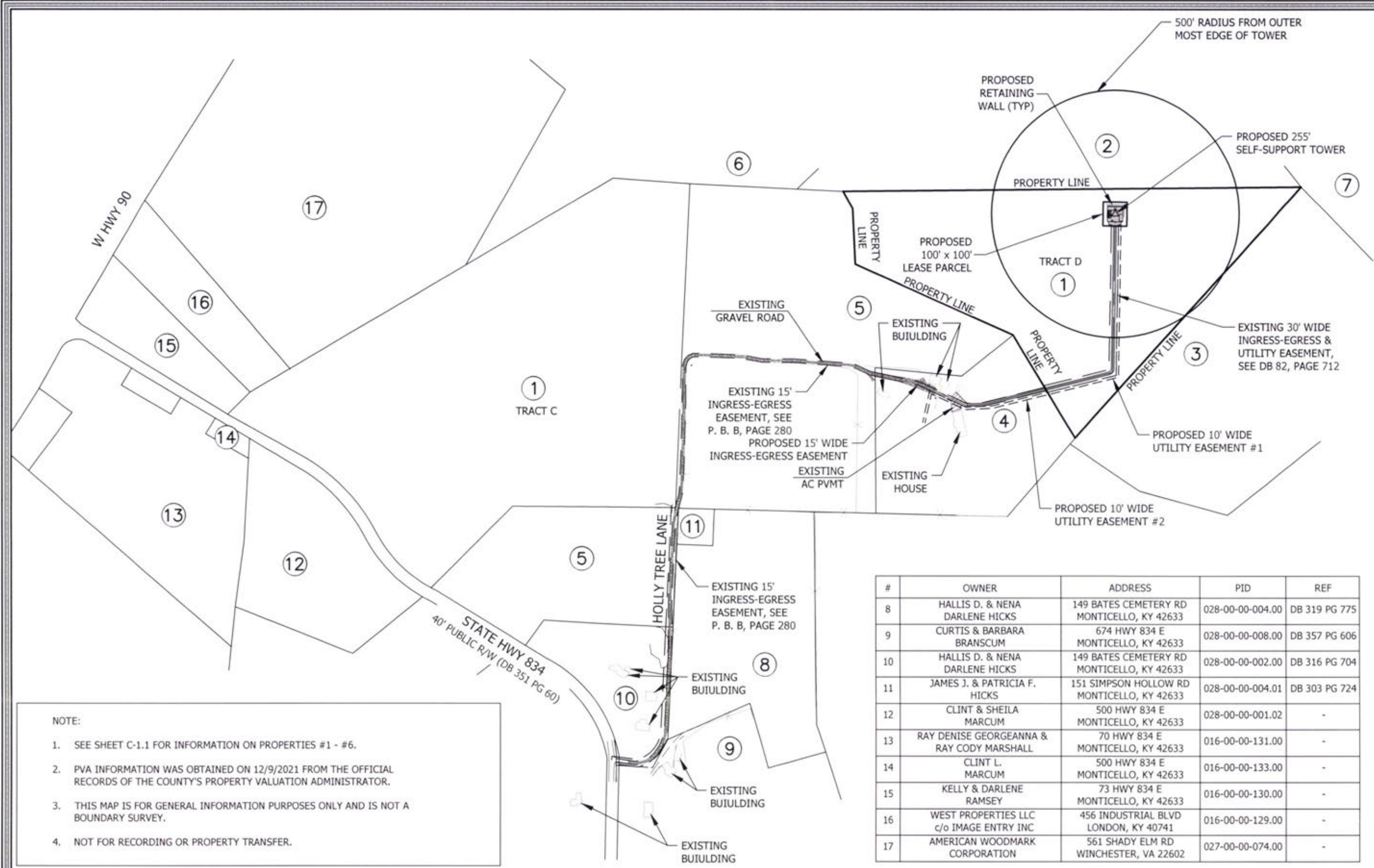
B&T ENGINEERING, INC.  
 4011  
 Expires 12/31/22



IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

OVERALL  
 ADJOINER'S  
 DRAWING

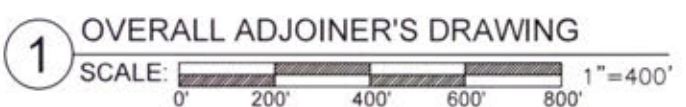
SHEET NUMBER:  
**C-1.2**



**NOTE:**

- SEE SHEET C-1.1 FOR INFORMATION ON PROPERTIES #1 - #6.
- PVA INFORMATION WAS OBTAINED ON 12/9/2021 FROM THE OFFICIAL RECORDS OF THE COUNTY'S PROPERTY VALUATION ADMINISTRATOR.
- THIS MAP IS FOR GENERAL INFORMATION PURPOSES ONLY AND IS NOT A BOUNDARY SURVEY.
- NOT FOR RECORDING OR PROPERTY TRANSFER.

**BAT NOTE:**  
 MUST DO TREE CLEARING BETWEEN  
 OCTOBER 15th AND MARCH 31st, DUE TO BAT  
 TREES ON PROPERTY



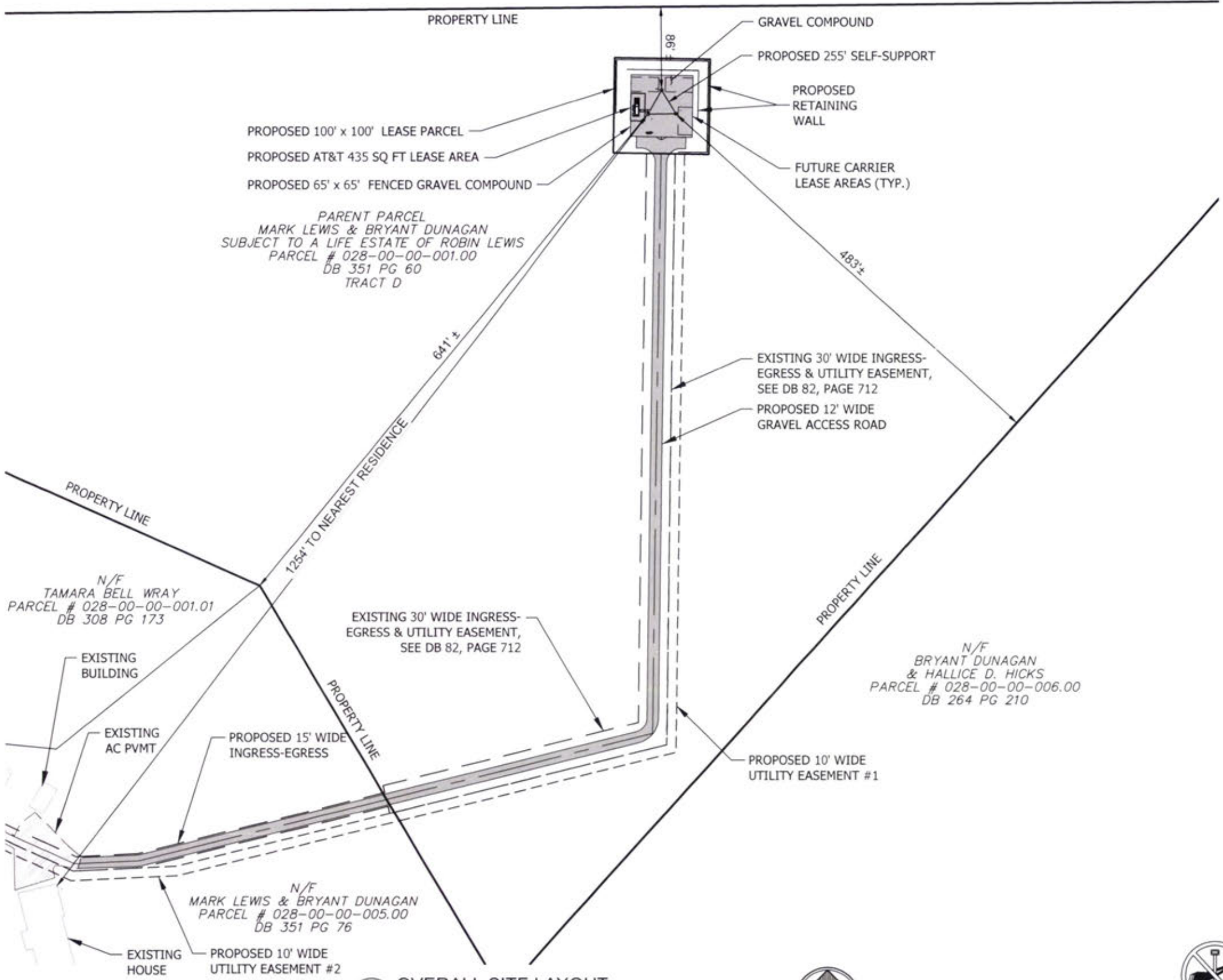
#	OWNER	ADDRESS	PID	REF
8	HALLIS D. & NENA DARLENE HICKS	149 BATES CEMETERY RD MONTICELLO, KY 42633	028-00-00-004.00	DB 319 PG 775
9	CURTIS & BARBARA BRANSCUM	674 HWY 834 E MONTICELLO, KY 42633	028-00-00-008.00	DB 357 PG 606
10	HALLIS D. & NENA DARLENE HICKS	149 BATES CEMETERY RD MONTICELLO, KY 42633	028-00-00-002.00	DB 316 PG 704
11	JAMES J. & PATRICIA F. HICKS	151 SIMPSON HOLLOW RD MONTICELLO, KY 42633	028-00-00-004.01	DB 303 PG 724
12	CLINT & SHEILA MARCUM	500 HWY 834 E MONTICELLO, KY 42633	028-00-00-001.02	-
13	RAY DENISE GEORGEANNA & RAY CODY MARSHALL	70 HWY 834 E MONTICELLO, KY 42633	016-00-00-131.00	-
14	CLINT L. MARCUM	500 HWY 834 E MONTICELLO, KY 42633	016-00-00-133.00	-
15	KELLY & DARLENE RAMSEY	73 HWY 834 E MONTICELLO, KY 42633	016-00-00-130.00	-
16	WEST PROPERTIES LLC c/o IMAGE ENTRY INC	456 INDUSTRIAL BLVD LONDON, KY 40741	016-00-00-129.00	-
17	AMERICAN WOODMARK CORPORATION	561 SHADY ELM RD WINCHESTER, VA 22602	027-00-00-074.00	-



CALL KENTUCKY ONE CALL  
 (800) 752-6007  
 CALL 3 WORKING DAYS  
 BEFORE YOU DIG!



N/F  
DALTON FAMILY FARM, LLP  
PARCEL # 027-00-00-069.00  
DB 345 PG 300



**NOTES:**

1. TOWER LATITUDE, LONGITUDE & ELEVATION MEET FAA"1-A" ACCURACY REQUIREMENTS.

2. PROPOSED 255' SELF-SUPPORT TOWER.

CENTER OF TOWER:

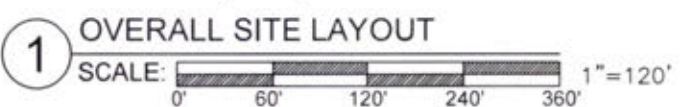
LATITUDE: NORTH 36°46'32.88" (36.775800) NAD 83  
LONGITUDE: WEST -84°56'33.45" (-84.942625) NAD 83  
GROUND ELEVATION @ 1221.0' (A.M.S.L.)

3. THE APPROXIMATE PERPENDICULAR DISTANCES FROM THE OUTER EDGE OF THE PROPOSED TOWER TO PARENT TRACT NEAREST PROPERTY LINE ARE AS FOLLOWS:

NORTHWEST: 86'±  
SOUTHWEST: 641'±  
SOUTHEAST: 483'±

**BAT NOTE:**

MUST DO TREE CLEARING BETWEEN OCTOBER 15th AND MARCH 31st, DUE TO BAT TREES ON PROPERTY



HARMONI TOWERS  
W HIGHWAY 90  
ZULA RELO  
FA# 15415629/10124719  
PACE# MRTNK052250  
PT# 2457A0XDC6  
HILL DRIVE  
MONTICELLO, KY 42633  
WAYNE COUNTY COUNTY  
PROPOSED 255' SELF-SUPPORT

PROJECT NO: G0144562.005.01  
CHECKED BY: MAS

ISSUED FOR:

REV	DATE	DRWN	DESCRIPTION
A	12/09/21	DLS	ZONING DRAWINGS
0	03/21/22	DLS	ZONING DRAWINGS
1	05/12/22	DLS	ZONING DRAWINGS

B&T ENGINEERING, INC.  
4011  
Expires 12/31/22



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OVERALL SITE LAYOUT

SHEET NUMBER:  
**C-2**



CALL KENTUCKY ONE CALL  
(800) 752-6007  
CALL 3 WORKING DAYS  
BEFORE YOU DIG!





HARMONI TOWERS  
 W HIGHWAY 90  
 ZULA RELO  
 FA# 15415629/10124719  
 PACE# MRTNK052250  
 PT# 2457A0XDC6  
 HILL DRIVE  
 MONTICELLO, KY 42633  
 WAYNE COUNTY COUNTY  
 PROPOSED 255' SELF-SUPPORT

PROJECT NO: G0144562.005.01  
 CHECKED BY: MAS

ISSUED FOR:

REV	DATE	DRWN	DESCRIPTION
A	12/09/21	DLS	ZONING DRAWINGS
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1	05/12/22	DLS	ZONING DRAWINGS

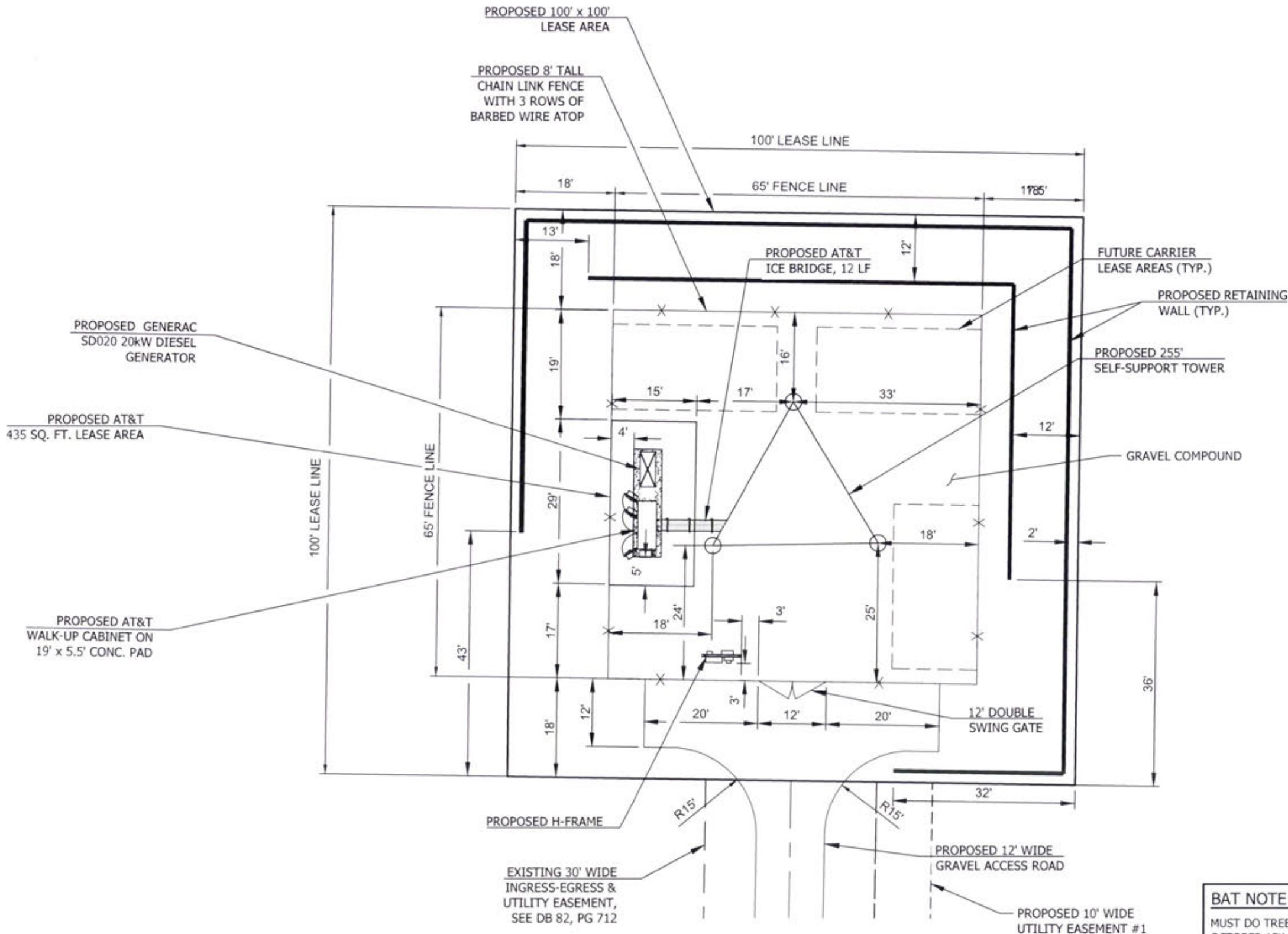
B&T ENGINEERING, INC.  
 4011  
 Expires 12/31/22



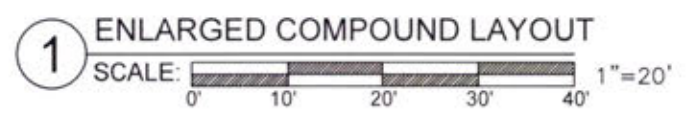
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ENLARGED  
 COMPOUND  
 LAYOUT

SHEET NUMBER:  
**C-3**



**BAT NOTE:**  
 MUST DO TREE CLEARING BETWEEN OCTOBER 15th AND MARCH 31st, DUE TO BAT TREES ON PROPERTY



**CALL KENTUCKY ONE CALL**  
 (800) 752-6007  
 CALL 3 WORKING DAYS BEFORE YOU DIG!



PROPOSED 10' LIGHTNING ROD

FLASH HEAD

PROPOSED AT&T ANTENNA ARRAY  
RAD CENTER=250' AGL

FUTURE ANTENNA ARRAY  
RAD CENTER=240' AGL

FUTURE ANTENNA ARRAY  
RAD CENTER=230' AGL

FUTURE ANTENNA ARRAY  
RAD CENTER=220' AGL

PROPOSED TOWER  
LIGHTING SHALL BE IN  
ACCORDANCE WITH FAA  
REQUIREMENTS (DESIGN  
BY OTHERS)

TOWER FINISH SHALL BE GALVANIZED  
STEEL

PROPOSED ICE BRIDGE

PROPOSED AT&T  
EQUIPMENT

PROPOSED FENCED  
COMPOUND

**STRUCTURAL ANALYSIS NOTES:**

1. ANTENNA PLACEMENT WAS DETERMINED WITHOUT VERIFICATION OF STRUCTURAL ANALYSIS.
2. REFER TO STRUCTURAL ANALYSIS OR STRUCTURAL LETTER FOR APPROVAL OF ADDITIONAL NEW APPURTENANCES.

**BAT NOTE:**  
MUST DO TREE CLEARING BETWEEN  
OCTOBER 15th AND MARCH 31st, DUE TO BAT  
TREES ON PROPERTY

**1** TOWER ELEVATION  
SCALE: N.T.S.



HARMONI TOWERS  
W HIGHWAY 90  
ZULA RELO  
FA# 15415629/10124719  
PACE# MRTNK052250  
PT# 2457A0XDC6  
HILL DRIVE  
MONTICELLO, KY 42633  
WAYNE COUNTY COUNTY  
PROPOSED 255' SELF-SUPPORT

PROJECT NO: G0144562.005.01  
CHECKED BY: MAS

ISSUED FOR:

REV	DATE	DRWN	DESCRIPTION
A	12/09/21	DLS	ZONING DRAWINGS
0	03/21/22	DLS	ZONING DRAWINGS
1	05/12/22	DLS	ZONING DRAWINGS

B&T ENGINEERING, INC.  
4011  
Expires 12/31/22



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TOWER  
ELEVATION

SHEET NUMBER:  
**C-4**

1444562\_005.01\_2022\_05\_12.dwg - 11:11 AM - 05/12/22 - 11:11 AM - 05/12/22

**EXHIBIT C**  
**TOWER AND FOUNDATION DESIGN**



March 30, 2022

Kentucky Public Service Commission  
211 Sower Blvd.  
P.O. Box 615  
Frankfort, KY 40602-0615

RE: Site Name – Zula/West Highway 90  
Proposed Cell Tower  
36.7758 North Latitude, -84.942625 West Longitude

Dear Commissioners:

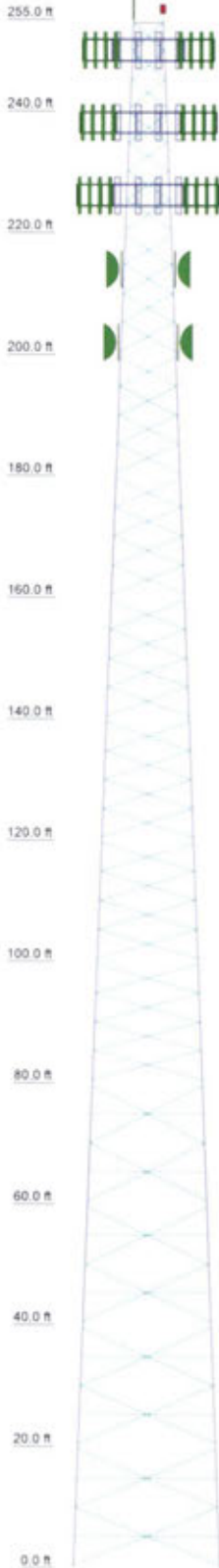
The Construction Manager for the proposed new communications facility will be Marshall Corbin. His contact information is (540) 287-8142 or Marshall Corbin@harmonitowers.com. Marshall has been in the industry completing civil construction and constructing towers since 1996. He has worked at Harmoni Towers LLC since 2021 completing project and construction management on new site build projects.

Thank you,  
***Marshall Corbin***

Marshall Corbin  
Construction Manager – Tennessee/Kentucky Market  
Harmoni Towers LLC



Section	T11	T10	T09	T08	T07	T06	T05	T04	T03	T02	T01
Legs	SR 4 1/2	SR 4 1/4	SR 4	SR 3 3/4	SR 3 1/2	SR 3 1/4	SR 3	SR 2 3/4	SR 2 1/2	SR 2	SR 1 3/4
Leg Grade					A529-50						
Diagonals	2L 3x3x3/16x3/8	2L 2 1/2x2 1/2x3/16x3/8	2L 2 1/2x2 1/2x3/16x3/8	L 3x3x3/16	L 3x3x3/16	L 2 1/2x2 1/2x3/16	L 2 1/2x2 1/2x3/16	L 2 1/2x2 1/2x3/16	L 2 1/2x2 1/2x3/16	L 1 3/4x1 3/4x3/16	
Diagonal Grade					A36M-50						
Top Girts											A
Horizontals	C										
Inner Bracing		2L 2x2x3/16x3/8									
		L 1 3/4x1 3/4x3/16									
Face Width (ft)	24	22.5	19.5	18	16.5	15	13.5	12	10.5	9	7.5
# Panels @ (ft)	43.9	5.5	3.8	4.8	4.4	3.7	3.3	3.5	3.8	4.2	4.875
Weight (K)											3 @ 4.66667



### DESIGNED APPURTENANCE LOADING

TYPE	ELEVATION	TYPE	ELEVATION
Lightning Rod 1"x10"	255	Sector1 (CaAa=10000 Sq.in)/No Ice (Carrier 3)	226
Top Beacon	255	Sector2 (CaAa=10000 Sq.in)/No Ice (Carrier 3)	226
Sector1 (CaAa=13333.33 Sq.in)/No Ice (Carrier 1)	250	Sector3 (CaAa=10000 Sq.in)/No Ice (Carrier 3)	226
Sector2 (CaAa=13333.33 Sq.in)/No Ice (Carrier 1)	250	4 1/2" OD Dish Mount (Carrier 4)	214
Sector3 (CaAa=13333.33 Sq.in)/No Ice (Carrier 1)	250	4 1/2" OD Dish Mount (Carrier 4)	214
Sector1 (CaAa=10000 Sq.in)/No Ice (Carrier 2)	238	6" MW Dish (Carrier 4)	214
Sector2 (CaAa=10000 Sq.in)/No Ice (Carrier 2)	238	6" MW Dish (Carrier 4)	214
Sector3 (CaAa=10000 Sq.in)/No Ice (Carrier 2)	238	4 1/2" OD Dish Mount (Carrier 5)	202
		4 1/2" OD Dish Mount (Carrier 5)	202
		6" MW Dish (Carrier 5)	202
		6" MW Dish (Carrier 5)	202

### SYMBOL LIST

MARK	SIZE	MARK	SIZE
A	L1 3/4x1 3/4x3/16	C	2L 1/2x2 1/2x3/16x3/8
B	2L 1 3/4x1 3/4x3/16x3/8		

### MATERIAL STRENGTH

GRADE	Fy	Fu	GRADE	Fy	Fu
A529-50	50 ksi	65 ksi	A36M-50	50 ksi	65 ksi

### TOWER DESIGN NOTES

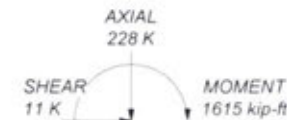
1. Tower is located in Wayne County, Kentucky.
2. Tower designed for Exposure C to the TIA-222-H Standard.
3. Tower designed for a 105 mph basic wind in accordance with the TIA-222-H Standard.
4. Tower is also designed for a 30 mph basic wind with 1.50 in ice. Ice is considered to increase in thickness with height.
5. Deflections are based upon a 60 mph wind.
6. Tower Risk Category II.
7. Topographic Category 5 with Crest Height of 116,000 ft
8. Please see feedline plan for proper feedline placement. Deviation from plan may reduce tower capacity.

ALL REACTIONS  
ARE FACTORED

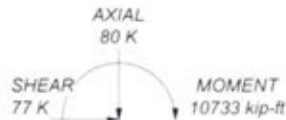
MAX. CORNER REACTIONS AT BASE:

DOWN: 543 K  
SHEAR: 44 K

UPLIFT: -470 K  
SHEAR: 41 K



TORQUE 4 kip-ft  
30 mph WIND - 1.500 in ICE



TORQUE 40 kip-ft  
REACTIONS - 105 mph WIND



**ARCOSA**  
TELECOM STRUCTURES

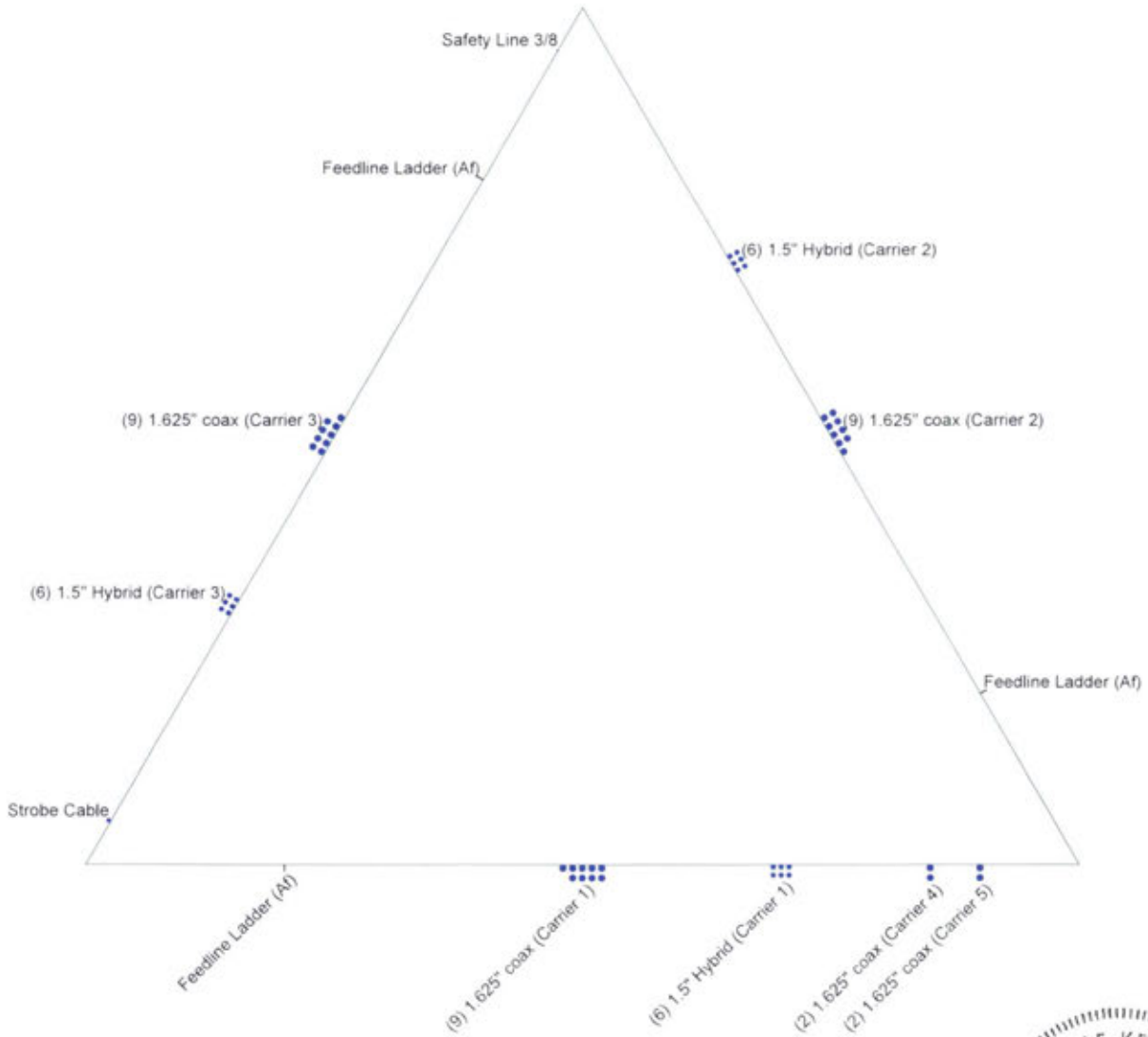


**B+T Group**  
1717 S Boulder Ave, Suite 300  
Tulsa, OK 74119  
Phone: (918) 587-4630  
FAX: (918) 295-0265

Job: **ATS#: 9537 - West Highway 90 (Site# KYLEX205)**  
Project: **255' SST/36.7758, -84.942625**  
Client: **Harmoni Towers** Drawn by: **CCoody** App'd:  
Code: **TIA-222-H** Date: **05/02/22** Scale: **NTS**  
Path: \_\_\_\_\_ Dwg No: **E-1**

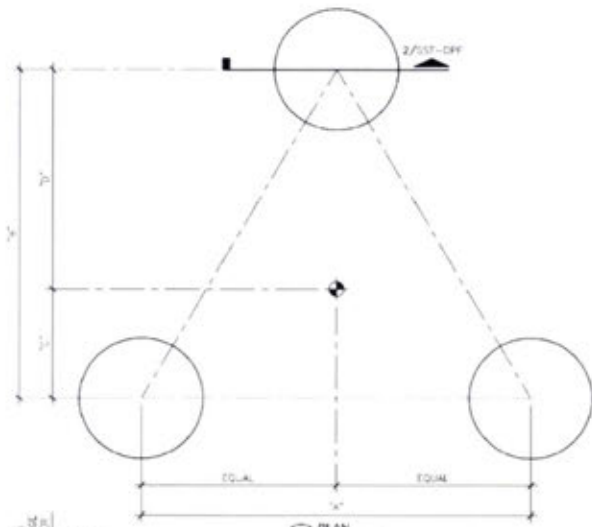
# Feed Line Plan

Round      Flat      App In Face      App Out Face

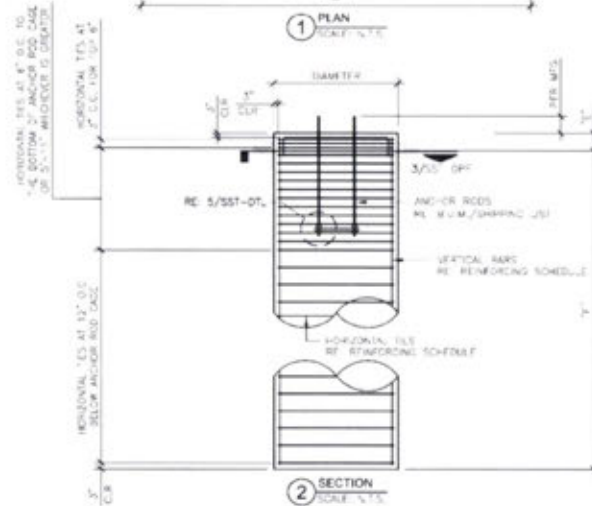


**B+T Group**  
 1717 S Boulder Ave, Suite 300  
 Tulsa, OK 74119  
 Phone: (918) 587-4630  
 FAX: (918) 295-0265

Job	ATS#: 9537 - West Highway 90 (Site# KYLEX205)		
Project	255' SST/36.7758, -84.942625		
Client	Harmoni Towers	Drawn by	CCoody
Code	TIA-222-H	Date	05/02/22
Path	C:\Users\brad.milanowski\Documents\Projects\9537 - West Highway 90\Drawings\Feed Line Plan.dwg		
App'd			Scale: NTS
			Dwg No: E-7



1 PLAN  
SCALE: N.T.S.



2 SECTION  
SCALE: N.T.S.

**NOTES:**

1. REINFORCEMENT STEEL SHALL CONFORM TO THE REQUIREMENT OF ASTM A-615 (GRADE 60) EXCEPT THAT TIES MAY BE ASTM-A118 (GRADE 40) WITH 3" MINIMUM CLEAR COVER.
2. REINFORCEMENT STEEL SHALL BE DETAILED, FABRICATED, BENT, AND PLACED IN ACCORDANCE WITH THE CRSI MANUAL OF STANDARD PRACTICE AND THE ACI 315 (LATEST EDITION).
3. THE CONTRACTOR SHALL THOROUGHLY REVIEW THE GEOTECH REPORT FOR THIS PROJECT AND FOLLOW THE RECOMMENDATIONS IN THAT REPORT WHEN CONSTRUCTING THE FOUNDATION.
4. GEOTECHNICAL PROPERTIES BY: ENVIRONMENTAL CORPORATION OF AMERICA
5. PROJECT NUMBER: 22-000930
6. DATE: 04/22/2022
7. THIS FOUNDATION HAS BEEN DESIGNED, IN ACCORDANCE WITH THE TIA 222-H STANDARD, SPECIFICALLY FOR THE TOWER AND SOIL CONDITION REFERENCED ABOVE. IF ANYTHING DIFFERS THIS DESIGN SHALL BE CONSIDERED INVALID AND MUST BE REDESIGNED PRIOR TO CONSTRUCTION.
8. TOTAL CONCRETE VOLUME FOR ALL (3) PIERS IS CUBIC YARDS: 36.06
9. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS.
10. CONCRETE MIXTURES SHALL MEET DURABILITY REQUIREMENTS OF CHAPTER 19 OF THE ACI 308-14
11. ALL CONCRETE TESTS SHALL BE IN ACCORDANCE WITH ACI 318-14 A MINIMUM OF (2) 6" X 12" OR (3) 4" X 8" CONCRETE CYLINDERS PER INDIVIDUAL FOUNDATION AND A MINIMUM OF (3) 6" X 12" OR (3) 4" X 8" CYLINDERS PER BATCH REQUIRED.
12. SLUMP TEST SHALL BE MADE IN ACCORDANCE WITH ASTM C143. THE ALLOWABLE CONCRETE SLUMP SHALL BE 4 INCHES (1") UNLESS ADMIXTURES ARE USED. ADMIXTURE SHALL BE IN ACCORDANCE WITH ASTM C494 STANDARD TYPES A, B, C, D OR E. THE ENGINEER SHALL PRE-APPROVE SUPER PLASTICIZER USE. DO NOT USE CHLORIDE CONTAINING ADMIXTURES. AIR ENTRAINING ADMIXTURES SHALL CONFORM TO ASTM C260
13. BACKFILL MATERIAL SHALL BE COMPACTED TO A MINIMUM UNIT WEIGHT SPECIFIED IN GEOTECH REPORT. THE SOIL SHALL BE INSTALLED IN 6" TO 8" LIFTS AND COMPACTED THOROUGHLY TO ACHIEVE APPROPRIATE UNIT WEIGHT UNLESS GEOTECH SPECIFIES OTHER COMPACTON REQUIREMENTS.
14. VERIFY ALL DIMENSIONS AGAINST MANUFACTURER'S DRAWINGS.

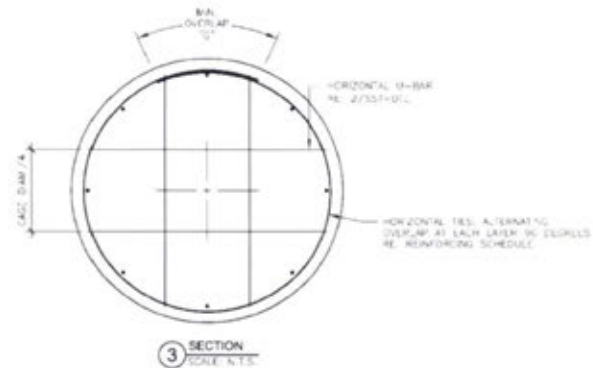
**STIPULATION FOR REUSE:**

1. THIS DRAWING WAS SPECIFICALLY DESIGNED FOR USE BY THE CUSTOMER ON THIS DRAWING AT THE SPECIFIED LOCATION. USE OF THIS DRAWING FOR REFERENCE OR EXAMPLE ON ANOTHER PROJECT REQUIRES THE SERVICES OF A PROPERLY LICENSED ENGINEER.

DIMENSIONING SCHEDULE	
A	28'-0"
B	20'-9-7/16"
C	6'-11-1/8"
D	13'-10'-0"
E	0'-6"
F	11'-0"
G	3'-0"
H	3'-0"

REINFORCING SCHEDULE	SIZE	TOTAL QTY
VERTICAL BARS	#4	36
HORIZONTAL TIES	#4	37
U-BAR HORIZONTAL	#4	12

BASE REACTIONS: (FACTORED LOADS)	
<b>GLOBAL REACTIONS</b>	
MOMENT	10733 LBS-FT
AXIAL	80 KIPS
SHEAR	77 KIPS
<b>REACTIONS PER LEG</b>	
COMPRESSION AXIAL	53.3 KIPS
COMPRESSION SHEAR	44 KIPS
UP/DN AXIAL	470 KIPS
UP/DN SHEAR	41 KIPS



3 SECTION  
SCALE: N.T.S.



1717 S BOULDER AVE #300, TULSA, OK 74119  
(918) 587-4630



4020 TULL AVE MUSKOGEE, OK 74403

ISSUED FOR

REV	DATE	DESCRIPTION
01	05/06/22	ISSUED FOR CONSTRUCTION

COA-4011

EXPIRES: 12/31/2022



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PROJECT INFORMATION

PROJECT NO: 163529-003  
SITE NAME: WEST HIGHWAY 90 (ENTER EX) 1  
SITE NO: 958P  
CLIENT NAME: ARCOSA TELECOM STRUCTURES

DRAWN BY: CDOOR  
CHECKED BY: JJ

SHEET TITLE

DRILLED PIER FOUNDATION

SHEET NUMBER	REVISION
SST-DPF	0

DIMENSIONING SCHEDULE	
A	32'-0"
B	4'-0"
C	24'-0"
D	5'-7 5/16"
E	20'-8 7/16"
F	3'-8 3/16"
G	10'-8"
H	10'-0"
I	2'-9"
J	2'-9"
MIN. OVERLAP "M"	2'-6"
DIAMETER	3'-6"

REINFORCING SCHEDULE	SIZE	TOTAL QTY
VERTICAL BARS WITH 90° BEND	#8	39
HORIZONTAL TIES	#4	42
HORIZONTAL U-BAR (VERTICAL)	#4	17
TOP HORIZONTAL BARS	#9	70
BOTTOM HORIZONTAL BARS	#9	70
CORNER BARS	#8	8
VERTICAL U-BARS (TIES)	#8	70

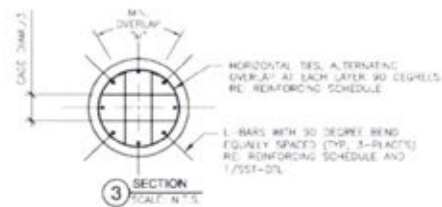
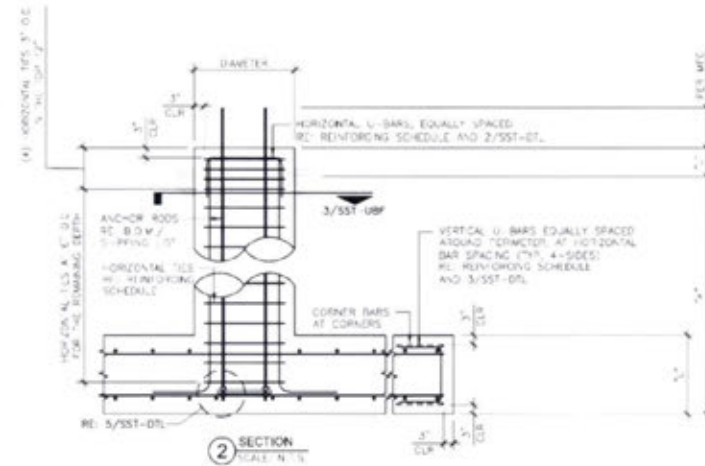
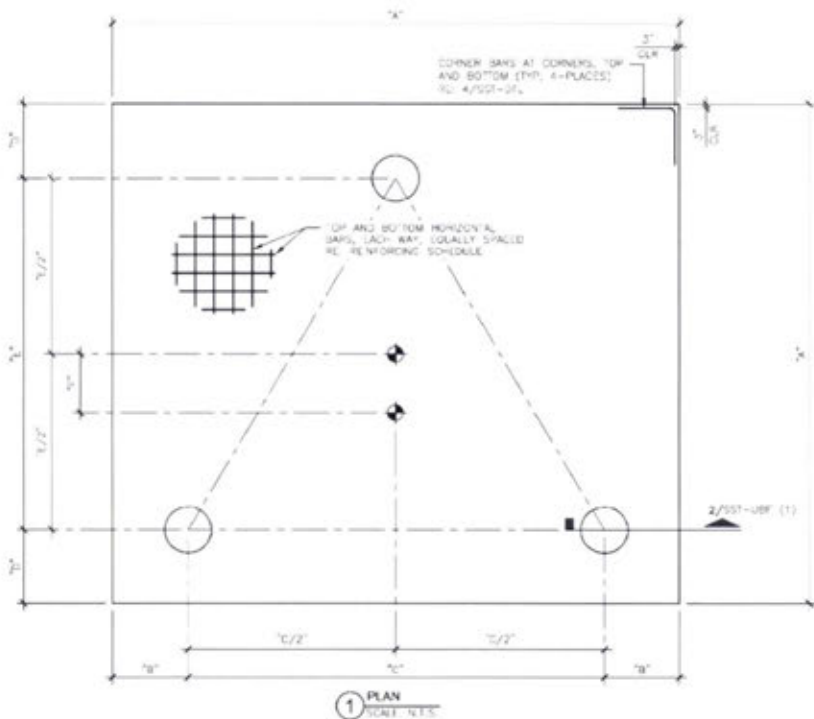
BASE REACTIONS: (FACTORED LOADS)	
GLOBAL REACTIONS	
MOMENT	10733 KIP-FT
AXIAL	80 KIPS
SHEAR	77 KIPS
REACTIONS PER LEG	
COMPRESSION AXIAL	20 KIPS
COMPRESSION SHEAR	19 KIPS
TENSION AXIAL	20 KIPS
TENSION SHEAR	19 KIPS

**NOTES:**

- REINFORCEMENT STEEL SHALL CONFORM TO THE REQUIREMENT OF ASTM A-615 (GRADE 60) EXCEPT THAT TIES MAY BE ASTM 615 (GRADE 40) WITH 8" MINIMUM CLEAR COVER.
- REINFORCEMENT STEEL SHALL BE DETAILED, FABRICATED, BENT, AND PLACED IN ACCORDANCE WITH THE CRS MANUAL OF STANDARD PRACTICE AND THE ACI 315 (LATEST EDITION).
- THE CONTRACTOR SHALL THOROUGHLY REVIEW THE GEOTECH REPORT FOR THIS PROJECT AND FOLLOW THE RECOMMENDATIONS IN THAT REPORT WHEN CONSTRUCTING THE FOUNDATION. (GEOTECHNICAL PROPERTIES BY: ENVIRONMENTAL CORPORATION OF AMERICA PROJECT NUMBER: 22-000940 DATE: 04/22/2022)
- THIS FOUNDATION HAS BEEN DESIGNED IN ACCORDANCE WITH THE TIA 222-H STANDARD, SPECIFICALLY FOR THE TOWER AND SOIL CONDITION REFERENCED ABOVE. IF ANYTHING DIFFERS THIS DESIGN SHALL BE CONSIDERED INVALID AND MUST BE REDESIGNED PRIOR TO CONSTRUCTION.
- CONCRETE VOLUME IN CUBIC YARDS: 89.88
- ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS.
- CONCRETE MIXTURES SHALL MEET DURABILITY REQUIREMENTS OF CHAPTER 19 OF THE ACI 318-14.
- ALL CONCRETE TESTING SHALL BE IN ACCORDANCE WITH ACI 318-14. A MINIMUM OF (2) 6"x12" OR (3) 4"x8" CONCRETE CUNDERS PER INDIVIDUAL FOUNDATION AND A MINIMUM OF (6) 6"x12" OR (6) 4"x8" CUNDERS PER BATCH REQUIRED.
- SUMP TEST SHALL BE MADE IN ACCORDANCE WITH ASTM C143. THE ALLOWABLE CONCRETE SLUMP SHALL BE 4 INCHES (±1") UNLESS ADMIXTURES ARE USED. ADMIXTURE SHALL BE IN ACCORDANCE WITH ASTM C494 STANDARD TYPES A, B, C, D OR E. THE ENGINEER SHALL PRE-APPROVE SUPER PLASTICIZER USE. DO NOT USE CHLORIDE CONTAINING ADMIXTURES. AIR ENTRAINING ADMIXTURES SHALL CONFORM TO ASTM C260.
- BACKFILL MATERIAL SHALL BE COMPACTED TO A MINIMUM UNIT WEIGHT SPECIFIED IN GEOTECH REPORT. THE SOIL SHALL BE INSTALLED IN 4" TO 8" LIFTS AND COMPACTED THOROUGHLY TO ACHIEVE APPROPRIATE UNIT WEIGHT UNLESS GEOTECH SPECIFIES OTHER COMPACTION REQUIREMENTS.
- VERIFY ALL DIMENSIONS AGAINST MANUFACTURER'S DRAWINGS.

**STIPULATION FOR REUSE**

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1717 S BOULDER AVE #300, TULSA, OK 74139  
(918) 587-6630



4020 TULL AVE. MUSKOGEE, OK 74403

**ISSUED FOR:**

REV.	DATE	DESCRIPTION
0	05/04/22	ISSUED FOR CONSTRUCTION

COA-4011

EXPIRES: 12/31/2022



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**PROJECT INFORMATION**

PROJECT NO: 163529-001  
SITE NAME: WEST HIGHWAY 90 (S) RYKLE  
SITE NO: 9537  
CLIENT NAME: ARCOSA TELECOM STRUCTURES

DRAWN BY: CDOOH  
CHECKED BY: JJ

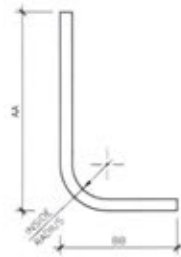
**SHEET TITLE**

UNIT BASE FOUNDATION

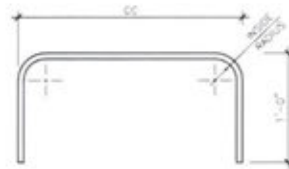
SHEET NUMBER: **SST-UBF**      REVISION: **0**

DIMENSIONING SCHEDULE	
AA*	1'-0" (24")
BB	1'-8"
CC*	VARIABLE
DD*	1'-8"
EE	1'-0"

\*NOTE: CONTRACTOR TO VERIFY DIMENSIONS PRIOR TO FABRICATION



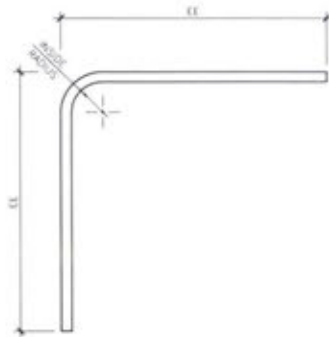
1 L-BAR  
SCALE: N.T.S.



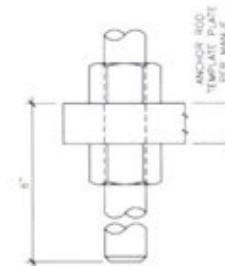
2 HORIZONTAL U-BAR  
SCALE: N.T.S.



3 VERTICAL U-BAR  
SCALE: N.T.S.



4 CORNER BAR  
SCALE: N.T.S.



5 ANCHOR ROD DETAIL  
SCALE: N.T.S.



17175 BOULDER AVE #100, TULSA, OK 74129  
918) 587-4630

**ARCOSA**

TELECOM STRUCTURES

4020 TULL AVE. MUSKOGEE, OK 74403

ISSUED FOR

REV	DATE	DESCRIPTION
1	05/04/22	ISSUED FOR CONSTRUCTION

COA 4011

EXPIRES: 12/31/2022



IT IS A VIOLATION OF LAW FOR ANY PERSON UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT

PROJECT INFORMATION

PROJECT NO: 168579-001  
SITE NAME: WEST HIGHWAY 90 (SITE # KKL)  
SITE NO: 9937  
CLIENT NAME: ARCOSA TELECOM STRUCTURES

DRAWN BY: CLOON  
CHECKED BY: J

SHEET TITLE

DIMENSIONING DETAIL

SHEET NUMBER

SST-DTL

REVISION

0

## Drilled Pier Foundation

Project Number:	163529.001
Site Name:	West Highway 90 (Site# KY
Site Number:	9537
TIA-222 Revision:	H
Tower Type:	Self Support

Applied Loads		
	Comp.	Uplift
Moment (kip-ft)		
Axial Force (kips)	543	470
Shear Force (kips)	44	41

Material Properties	
Concrete Strength, f <sub>c</sub> :	4 ksi
Rebar Strength, F <sub>y</sub> :	60 ksi
Tie Yield Strength, F <sub>yt</sub> :	40 ksi

Pier Design Data	
Depth	11 ft
Ext. Above Grade	0.5 ft
Pier Section 1	
<i>From 0.5' above grade to 11' below grade</i>	
Pier Diameter	4 ft
Rebar Quantity	12
Rebar Size	8
Clear Cover to Ties	3 in
Tie Size	4
Tie Spacing	12 in

Rebar & Pier Options

Embedded Pole Inputs

Belled Pier Inputs

Analysis Results		
<b>Soil Lateral Check</b>		
	Compression	Uplift
D <sub>req</sub> (ft from TOC)	5.33	5.33
Soil Safety Factor	41.27	44.29
Max Moment (kip-ft)	172.73	160.95
Rating	3.2%	3.0%
<b>Soil Vertical Check</b>		
	Compression	Uplift
Skin Friction (kips)	579.62	579.62
End Bearing (kips)	1649.34	-
Weight of Concrete (kips)	26.01	19.51
Total Capacity (kips)	2228.96	599.13
Axial (kips)	569.01	470.00
Rating	25.5%	78.4%
<b>Reinforced Concrete Flexure</b>		
	Compression	Uplift
Critical Depth (ft from TOC)	5.44	2.50
Critical Moment (kip-ft)	172.64	103.01
Critical Moment Capacity	1471.07	174.28
Rating	11.7%	59.1%
<b>Reinforced Concrete Shear</b>		
	Compression	Uplift
Critical Depth (ft from TOC)	8.53	0.00
Critical Shear (kip)	57.51	41.00
Critical Shear Capacity	355.19	109.15
Rating	16.2%	37.6%
<b>Structural Foundation Rating</b>		59.1%
<b>Soil Interaction Rating</b>		78.4%

Check Limitation	
Apply TIA-222-H Section 15.5:	<input type="checkbox"/>
N/A	<input type="checkbox"/>
Additional Longitudinal Rebar	
Input Effective Depths (eise Actual):	<input type="checkbox"/>
Shear Design Options	
Check Shear along Depth of Pier:	<input checked="" type="checkbox"/>
Utilize Shear-Friction Methodology:	<input type="checkbox"/>
Override Critical Depth:	<input type="checkbox"/>

[Go to Soil Calculations](#)

Soil Profile														
Groundwater Depth		N/A		# of Layers		4								
Layer	Top (ft)	Bottom (ft)	Thickness (ft)	γ <sub>soil</sub> (pcf)	γ <sub>concrete</sub> (pcf)	Cohesion (ksf)	Angle of Friction (degrees)	Calculated Ultimate Skin Friction Comp (ksf)	Calculated Ultimate Skin Friction Uplift (ksf)	Ultimate Skin Friction Comp Override (ksf)	Ultimate Skin Friction Uplift Override (ksf)	Ult. Gross Bearing Capacity (ksf)	SPT Blow Count	Soil Type
1	0	1	1	0	150	0	0	0.000	0.000	0.00	0.00			Cohesionless
2	1	2	1	155	150	0	0	0.000	0.000	0.00	0.00			Cohesionless
3	2	6	4	155	150	20	0	9.000	9.000	6.00	6.00			Cohesive
4	6	11	5	160	150	25		11.250	11.250	7.50	7.50	175		Cohesive

# SST Unit Base Foundation

Project #: 163529.001  
 Site Name: West Highway 90  
 Site #: 9537

TIA-222 Revision: H

Top & Bot. Pad Rein. Different?	<input type="checkbox"/>
Tower Centroid Offset?	<input checked="" type="checkbox"/>
Block Foundation?	<input type="checkbox"/>
Rectangular Pad?	<input type="checkbox"/>

Superstructure Analysis Reactions			
Global Moment, <b>M</b> :	10733	ft-kips	
Global Axial, <b>P</b> :	80	kips	
Global Shear, <b>V</b> :	77	kips	
Leg Compression, <b>P<sub>comp</sub></b> :	543	kips	
Leg Comp. Shear, <b>V<sub>u,comp</sub></b> :	44	kips	
Leg Uplift, <b>P<sub>uplift</sub></b> :	470	kips	
Leg Uplift. Shear, <b>V<sub>u,uplift</sub></b> :	41	kips	
Tower Height, <b>H</b> :	255	ft	
Base Face Width, <b>BW</b> :	24	ft	
BP Dist. Above Fdn, <b>bp<sub>dist</sub></b> :	3	in	

Foundation Analysis Checks				
	Capacity	Demand	Rating	Check
<i>Lateral (Sliding) (kips)</i>	18420.87	77.00	0.4%	Pass
<i>Bearing Pressure (ksf)</i>	45.00	5.81	12.9%	Pass
<i>Overtuning (kip*ft)</i>	22556.23	11517.96	51.1%	Pass
<i>Pier Flexure (Comp.) (kip*ft)</i>	1288.37	187.00	14.5%	Pass
<i>Pier Flexure (Tension) (kip*ft)</i>	207.31	174.25	84.1%	Pass
<i>Pier Compression (kip)</i>	6123.66	550.36	9.0%	Pass
<i>Pad Flexure (kip*ft)</i>	3386.84	3086.08	91.1%	Pass
<i>Pad Shear - 1-way (kips)</i>	812.67	695.90	85.6%	Pass
<i>Pad Shear - Comp 2-way (ksi)</i>	0.190	0.125	65.8%	Pass
<i>Flexural 2-way (Comp) (kip*ft)</i>	1676.79	112.20	6.7%	Pass
<i>Pad Shear - Tension 2-way (ksi)</i>	0.190	0.126	66.6%	Pass
<i>Flexural 2-way (Tension) (kip*ft)</i>	1676.79	104.55	6.2%	Pass

Pier Properties		
Pier Shape:	Circular	
Pier Diameter, <b>dpier</b> :	3.5	ft
Ext. Above Grade, <b>E</b> :	0.50	ft
Pier Rebar Size, <b>Sc</b> :	8	
Pier Rebar Quantity, <b>mc</b> :	13	
Pier Tie/Spiral Size, <b>St</b> :	4	
Pier Tie/Spiral Quantity, <b>mt</b> :	14	
Pier Reinforcement Type:	Tie	
Pier Clear Cover, <b>cc<sub>pier</sub></b> :	3	in

Structural Rating:	91.1%
Soil Rating:	51.1%

Pad Properties		
Depth, <b>D</b> :	6.00	ft
Pad Width, <b>W<sub>1</sub></b> :	32.00	ft
Pad Thickness, <b>T</b> :	2.25	ft
Pad Rebar Size (Bottom dir. 2), <b>Sp<sub>2</sub></b> :	9	
Pad Rebar Quantity (Bottom dir. 2), <b>mp<sub>2</sub></b> :	35	
Pad Clear Cover, <b>cc<sub>pad</sub></b> :	3	in

Material Properties		
Rebar Grade, <b>Fy</b> :	60	ksi
Concrete Compressive Strength, <b>F'c</b> :	4	ksi
Dry Concrete Density, <b>δc</b> :	150	pcf

Soil Properties		
Total Soil Unit Weight, <b>γ</b> :	110	pcf
Ultimate Gross Bearing, <b>Qult</b> :	60.000	ksf
Cohesion, <b>Cu</b> :	20.000	ksf
Friction Angle, <b>φ</b> :		degrees
SPT Blow Count, <b>N<sub>blows</sub></b> :		
Base Friction, <b>μ</b> :		
Neglected Depth, <b>N</b> :	1.0	ft
Foundation Bearing on Rock?	Yes	
Groundwater Depth, <b>gw</b> :	N/A	ft

→ Toggle between Gross and Net

<b>tnxTower</b>  <b>B+T Group</b> 1717 S Boulder Ave. Suite 300 Tulsa, OK 74119 Phone: (918) 587-4630 FAX: (918) 295-0265	<b>Job</b> ATS#: 9537 - West Highway 90 (Site# KYLEX2056)	<b>Page</b> 1 of 34
	<b>Project</b> 255' SST/36.7758, -84.942625	<b>Date</b> 15:09:47 05/02/22
	<b>Client</b> Harmoni Towers	<b>Designed by</b> CCoody

## Tower Input Data

The main tower is a 3x free standing tower with an overall height of 255.000 ft above the ground line.

The base of the tower is set at an elevation of 0.000 ft above the ground line.

The face width of the tower is 4.875 ft at the top and 24.000 ft at the base.

This tower is designed using the TIA-222-H standard.

The following design criteria apply:

Tower is located in Wayne County, Kentucky.

Tower base elevation above sea level: 1224.000 ft.

Basic wind speed of 105 mph.

Risk Category II.

Exposure Category C.

Crest Height: 116.000 ft.

Rigorous Topographic Factor Procedure for wind speed-up calculations is used.

Topographic Feature: Hill.

Slope Distance L: 398.000 ft.

Distance from Crest x: 0.000 ft.

Horizontal Distance Downwind: No.

Nominal ice thickness of 1.500 in.

Ice thickness is considered to increase with height.

Ice density of 56.000 pcf.

A wind speed of 30 mph is used in combination with ice.

Temperature drop of 50.000 °F.

Deflections calculated using a wind speed of 60 mph.

Please see feedline plan for proper feedline placement. Deviation from plan may reduce tower capacity..

Design is preliminary and subject to change..

A non-linear (P-delta) analysis was used.

Pressures are calculated at each section.

Stress ratio used in tower member design is 1.

Local bending stresses due to climbing loads, feed line supports, and appurtenance mounts are not considered.

## Options

Consider Moments - Legs

Consider Moments - Horizontals

Consider Moments - Diagonals

Use Moment Magnification

√ Use Code Stress Ratios

√ Use Code Safety Factors - Guys

Escalate Ice

Always Use Max Kz

Use Special Wind Profile

√ Include Bolts In Member Capacity

√ Leg Bolts Are At Top Of Section

√ Secondary Horizontal Braces Leg

Use Diamond Inner Bracing (4 Sided)

SR Members Have Cut Ends

SR Members Are Concentric

Distribute Leg Loads As Uniform

Assume Legs Pinned

√ Assume Rigid Index Plate

√ Use Clear Spans For Wind Area

√ Use Clear Spans For KL/r

Retension Guys To Initial Tension

√ Bypass Mast Stability Checks

√ Use Azimuth Dish Coefficients

√ Project Wind Area of Appurt

Autocalc Torque Arm Areas

Add IBC 6D+W Combination

√ Sort Capacity Reports By Component

Triangulate Diamond Inner Bracing

Treat Feed Line Bundles As Cylinder

Ignore KL/ry For 60 Deg Angle Legs

Use ASCE 10 X-Brace Ly Rules

√ Calculate Redundant Bracing Forces

Ignore Redundant Members in FEA

√ SR Leg Bolts Resist Compression

All Leg Panels Have Same Allowable

Offset Girt At Foundation

√ Consider Feed Line Torque

√ Include Angle Block Shear Check

Use TIA-222-H Bracing Resist. Exemption

Use TIA-222-H Tension Splice Exemption

**Poles**

Include Shear-Torsion Interaction

Always Use Sub-Critical Flow

Use Top Mounted Sockets

Pole Without Linear Attachments

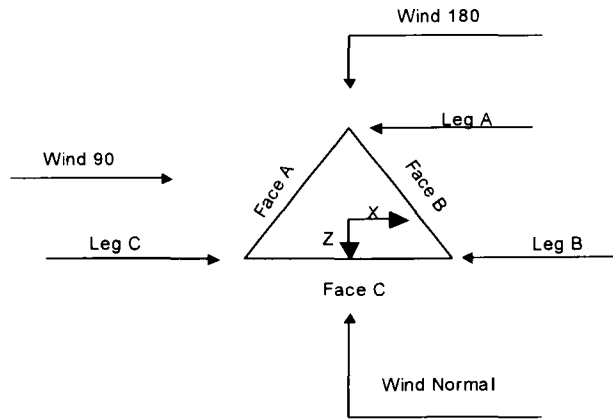
Pole With Shroud Or No Appurtenances

Outside and Inside Corner Radii Are

Known



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**Triangular Tower**

**Tower Section Geometry**

Tower Section	Tower Elevation	Assembly Database	Description	Section Width	Number of Sections	Section Length
	ft			ft		ft
T1	255.000-240.000			4.875	1	15.000
T2	240.000-220.000			6.000	1	20.000
T3	220.000-200.000			7.500	1	20.000
T4	200.000-180.000			9.000	1	20.000
T5	180.000-160.000			10.500	1	20.000
T6	160.000-140.000			12.000	1	20.000
T7	140.000-120.000			13.500	1	20.000
T8	120.000-100.000			15.000	1	20.000
T9	100.000-80.000			16.500	1	20.000
T10	80.000-60.000			18.000	1	20.000
T11	60.000-40.000			19.500	1	20.000
T12	40.000-20.000			21.000	1	20.000
T13	20.000-0.000			22.500	1	20.000

**Tower Section Geometry (cont'd)**

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Tower Section	Tower Elevation	Diagonal Spacing	Bracing Type	Has K Brace End Panels	Has Horizontals	Top Girt Offset	Bottom Girt Offset
	ft	ft				in	in
T1	255.000-240.000	4.667	X Brace	No	No	6.000	6.000
T2	240.000-220.000	4.750	X Brace	No	No	6.000	6.000
T3	220.000-200.000	4.750	X Brace	No	No	6.000	6.000
T4	200.000-180.000	4.750	X Brace	No	No	6.000	6.000
T5	180.000-160.000	4.750	X Brace	No	No	6.000	6.000
T6	160.000-140.000	4.750	X Brace	No	No	6.000	6.000
T7	140.000-120.000	4.750	X Brace	No	No	6.000	6.000
T8	120.000-100.000	4.750	X Brace	No	No	6.000	6.000
T9	100.000-80.000	4.750	X Brace	No	No	6.000	6.000
T10	80.000-60.000	4.750	Double K	No	Yes	6.000	6.000
T11	60.000-40.000	4.750	Double K	No	Yes	6.000	6.000
T12	40.000-20.000	4.750	Double K	No	Yes	6.000	6.000
T13	20.000-0.000	4.750	Double K	No	Yes	6.000	6.000

### Tower Section Geometry (cont'd)

Tower Elevation	Leg Type	Leg Size	Leg Grade	Diagonal Type	Diagonal Size	Diagonal Grade
ft						
255.000-240.000	T1 Solid Round	1 3/4	A529-50 (50 ksi)	Equal Angle	L1 3/4x1 3/4x3/16	A36M-50 (50 ksi)
240.000-220.000	T2 Solid Round	2	A529-50 (50 ksi)	Equal Angle	L1 3/4x1 3/4x3/16	A36M-50 (50 ksi)
220.000-200.000	T3 Solid Round	2 1/2	A529-50 (50 ksi)	Equal Angle	L2x2x3/16	A36M-50 (50 ksi)
200.000-180.000	T4 Solid Round	2 3/4	A529-50 (50 ksi)	Equal Angle	L2 1/2x2 1/2x3/16	A36M-50 (50 ksi)
180.000-160.000	T5 Solid Round	3	A529-50 (50 ksi)	Equal Angle	L2 1/2x2 1/2x3/16	A36M-50 (50 ksi)
160.000-140.000	T6 Solid Round	3 1/4	A529-50 (50 ksi)	Equal Angle	L3x3x3/16	A36M-50 (50 ksi)
140.000-120.000	T7 Solid Round	3 1/2	A529-50 (50 ksi)	Equal Angle	L3x3x3/16	A36M-50 (50 ksi)
120.000-100.000	T8 Solid Round	3 3/4	A529-50 (50 ksi)	Equal Angle	L3x3x3/16	A36M-50 (50 ksi)
100.000-80.000	T9 Solid Round	3 3/4	A529-50 (50 ksi)	Equal Angle	L3x3x1/4	A36M-50 (50 ksi)
80.000-60.000	T10 Solid Round	4	A529-50 (50 ksi)	Double Angle	2L2 1/2x2 1/2x3/16x3/8	A36M-50 (50 ksi)
60.000-40.000	T11 Solid Round	4	A529-50 (50 ksi)	Double Angle	2L2 1/2x2 1/2x3/16x3/8	A36M-50 (50 ksi)
40.000-20.000	T12 Solid Round	4 1/4	A529-50 (50 ksi)	Double Angle	2L3x3x3/16x3/8	A36M-50 (50 ksi)
T13 20.000-0.000	T13 Solid Round	4 1/2	A529-50 (50 ksi)	Double Angle	2L3x3x3/16x3/8	A36M-50 (50 ksi)

### Tower Section Geometry (cont'd)

Tower Elevation	Top Girt Type	Top Girt Size	Top Girt Grade	Bottom Girt Type	Bottom Girt Size	Bottom Girt Grade
ft						
T1	Equal Angle	L1 3/4x1 3/4x3/16	A36M-50	Solid Round		A36M-50

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Tower Elevation ft	Top Girt Type	Top Girt Size	Top Girt Grade	Bottom Girt Type	Bottom Girt Size	Bottom Girt Grade
255.000-240.000			(50 ksi)			(50 ksi)

### Tower Section Geometry (cont'd)

Tower Elevation ft	No. of Mid Girts	Mid Girt Type	Mid Girt Size	Mid Girt Grade	Horizontal Type	Horizontal Size	Horizontal Grade
80.000-60.000	T10 None	Flat Bar		A36 (36 ksi)	Double Angle	2L1 3/4x1 3/4x3/16x3/8	A36M-50 (50 ksi)
60.000-40.000	T11 None	Flat Bar		A36 (36 ksi)	Double Angle	2L2x2x3/16x3/8	A36M-50 (50 ksi)
40.000-20.000	T12 None	Flat Bar		A36 (36 ksi)	Double Angle	2L2x2x3/16x3/8	A36M-50 (50 ksi)
T13 20.000-0.000	None	Flat Bar		A36 (36 ksi)	Double Angle	2L2 1/2x2 1/2x3/16x3/8	A36M-50 (50 ksi)

### Tower Section Geometry (cont'd)

Tower Elevation ft	Secondary Horizontal Type	Secondary Horizontal Size	Secondary Horizontal Grade	Inner Bracing Type	Inner Bracing Size	Inner Bracing Grade
80.000-60.000	T10 Solid Round		A36M-50 (50 ksi)	Single Angle	L1 3/4x1 3/4x3/16	A36M-50 (50 ksi)
60.000-40.000	T11 Solid Round		A36M-50 (50 ksi)	Single Angle	L1 3/4x1 3/4x3/16	A36M-50 (50 ksi)
40.000-20.000	T12 Solid Round		A36M-50 (50 ksi)	Single Angle	L1 3/4x1 3/4x3/16	A36M-50 (50 ksi)
T13 20.000-0.000	Solid Round		A36M-50 (50 ksi)	Single Angle	L1 3/4x1 3/4x3/16	A36M-50 (50 ksi)

### Tower Section Geometry (cont'd)

Tower Elevation ft	Gusset Area (per face) ft <sup>2</sup>	Gusset Thickness in	Gusset Grade	Adjust. Factor A <sub>r</sub>	Adjust. Factor A <sub>r</sub>	Weight Mult.	Double Angle Stitch Bolt Spacing Diagonals in	Double Angle Stitch Bolt Spacing Horizontals in	Double Angle Stitch Bolt Spacing Redundants in
255.000-240.000	T1 0.000	0.375	A36M-50 (50 ksi)	1	1	1	36.000	36.000	36.000
240.000-220.000	T2 0.000	0.375	A36M-50 (50 ksi)	1	1	1	36.000	36.000	36.000
220.000-200.000	T3 0.000	0.375	A36M-50 (50 ksi)	1	1	1	36.000	36.000	36.000







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**Tower Section Geometry (cont'd)**

Tower Elevation ft	Leg Connection Type	Leg		Diagonal		Top Girt		Bottom Girt		Mid Girt		Long Horizontal		Short Horizontal	
		Bolt Size in	No.	Bolt Size in	No.	Bolt Size in	No.	Bolt Size in	No.	Bolt Size in	No.	Bolt Size in	No.	Bolt Size in	No.
255.000-240.000	T1 Flange	0.000 A325N	0	0.625 A325X	1	0.625 A325X	1	0.000 A325X	0	0.625 A325N	0	0.000 A325X	0	0.625 A325N	0
240.000-220.000	T2 Flange	0.750 A325N	6	0.625 A325X	1	0.000 A325X	0	0.000 A325X	0	0.625 A325N	0	0.000 A325X	0	0.625 A325N	0
220.000-200.000	T3 Flange	0.750 A325N	6	0.625 A325X	1	0.000 A325X	0	0.000 A325X	0	0.625 A325N	0	0.000 A325X	0	0.625 A325N	0
200.000-180.000	T4 Flange	0.750 A325N	6	0.625 A325X	1	0.000 A325X	0	0.000 A325X	0	0.625 A325N	0	0.000 A325X	0	0.625 A325N	0
180.000-160.000	T5 Flange	1.000 A325N	6	0.625 A325X	1	0.000 A325X	0	0.000 A325X	0	0.625 A325N	0	0.000 A325X	0	0.625 A325N	0
160.000-140.000	T6 Flange	1.000 A325N	6	0.625 A325X	1	0.000 A325X	0	0.000 A325X	0	0.625 A325N	0	0.000 A325X	0	0.625 A325N	0
140.000-120.000	T7 Flange	1.000 A325N	6	0.625 A325X	1	0.000 A325X	0	0.000 A325X	0	0.625 A325N	0	0.000 A325X	0	0.625 A325N	0
120.000-100.000	T8 Flange	1.250 A325N	6	0.625 A325X	1	0.000 A325X	0	0.000 A325X	0	0.625 A325N	0	0.000 A325X	0	0.625 A325N	0
100.000-80.000	T9 Flange	1.250 A325N	6	0.625 A325X	1	0.000 A325X	0	0.000 A325X	0	0.625 A325N	0	0.000 A325X	0	0.625 A325N	0
80.000-60.000	T10 Flange	1.250 A325N	6	0.625 A325X	1	0.000 A325X	0	0.000 A325X	0	0.625 A325N	0	0.625 A325X	1	0.625 A325N	0
60.000-40.000	T11 Flange	1.250 A325N	6	0.625 A325X	1	0.000 A325X	0	0.000 A325X	0	0.625 A325N	0	0.625 A325X	1	0.625 A325N	0
40.000-20.000	T12 Flange	1.250 A325N	6	0.625 A325X	1	0.000 A325X	0	0.000 A325X	0	0.625 A325N	0	0.625 A325X	1	0.625 A325N	0
20.000-0.000	T13 Flange	1.500 A325N	6	0.625 A325X	1	0.000 A325X	0	0.000 A325X	0	0.625 A325N	0	0.625 A325X	1	0.625 A325N	0

**Feed Line/Linear Appurtenances - Entered As Round Or Flat**

Description	Face or Leg	Allow Shield	Exclude From Torque Calculation	Component Type	Placement ft	Face Offset in	Lateral Offset (Frac FW)	#	# Per Row	Clear Spacing in	Width or Diameter in	Perimeter in	Weight klf
1.625" coax (Carrier 1)	C	No	No	Ar (CaAa)	250.000 - 10.000	0.000	0	9	5	0.750	1.980		0.001
1.5" Hybrid (Carrier 1)	C	No	No	Ar (CaAa)	250.000 - 10.000	0.000	-0.2	6	3	0.750	1.500		0.001
**													
1.625" coax	B	No	No	Ar (CaAa)	238.000 -	0.000	0	9	5	0.750	1.980		0.001

<b>tnxTower</b>  <b>B+T Group</b> 1717 S Boulder Ave. Suite 300 Tulsa, OK 74119 Phone: (918) 587-4630 FAX: (918) 295-0265	<b>Job</b> ATS#: 9537 - West Highway 90 (Site# KYLEX2056)	<b>Page</b> 9 of 34
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Description	Face or Leg	Allow Shield	Exclude From Torque Calculation	Component Type	Placement ft	Face Offset in	Lateral Offset (Frac FW)	#	# Per Row	Clear Spacing in	Width or Diameter in	Perimeter in	Weight klf
(Carrier 2) 1.5" Hybrid (Carrier 2) **	B	No	No	Ar (CaAa)	238.000 - 10.000	0.000	-0.2	6	3	0.750	1.500		0.001
1.625" coax (Carrier 3) 1.5" Hybrid (Carrier 3) **	A	No	No	Ar (CaAa)	226.000 - 10.000	0.000	0	9	5	0.750	1.980		0.001
1.625" coax (Carrier 4) **	C	No	No	Ar (CaAa)	214.000 - 10.000	0.000	-0.35	2	1	0.750	1.980		0.001
1.625" coax (Carrier 5) **	C	No	No	Ar (CaAa)	202.000 - 10.000	0.000	-0.4	2	1	0.750	1.980		0.001
Safety Line 3/8	A	No	No	Ar (CaAa)	255.000 - 10.000	0.000	0.45	1	1	0.375	0.375		0.000
Strobe Cable **	A	No	No	Ar (CaAa)	255.000 - 10.000	0.000	-0.45	1	1	1.250	1.250		0.001
Feedline Ladder (Af) Feedline Ladder (Af) Feedline Ladder (Af) **	C B A	No No No	No No No	Af (CaAa) Af (CaAa) Af (CaAa)	250.000 - 10.000 238.000 - 10.000 226.000 - 10.000	0.000 0.000 0.000	0.3 0.3 0.3	1 1 1	1 1 1	3.000 3.000 3.000	0.250 0.250 0.250		0.008 0.008 0.008

**Feed Line/Linear Appurtenances - Entered As Area**

Description	Face or Leg	Allow Shield	Exclude From Torque Calculation	Component Type	Placement ft	Total Number	C <sub>1</sub> A <sub>1</sub> ft <sup>2</sup> /ft	Weight klf
**								

**Feed Line/Linear Appurtenances Section Areas**

Tower Section	Tower Elevation ft	Face	A <sub>R</sub> ft <sup>2</sup>	A <sub>F</sub> ft <sup>2</sup>	C <sub>1</sub> A <sub>1</sub> In Face ft <sup>2</sup>	C <sub>1</sub> A <sub>1</sub> Out Face ft <sup>2</sup>	Weight K
T1	255.000-240.000	A	0.000	0.000	2.438	0.000	0.014
		B	0.000	0.000	0.000	0.000	0.000
		C	0.000	0.000	27.237	0.000	0.214
T2	240.000-220.000	A	0.000	0.000	19.592	0.000	0.147
		B	0.000	0.000	49.026	0.000	0.386
		C	0.000	0.000	54.473	0.000	0.428
T3	220.000-200.000	A	0.000	0.000	57.723	0.000	0.447
		B	0.000	0.000	54.473	0.000	0.428
		C	0.000	0.000	60.809	0.000	0.455



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Tower Section	Tower Elevation ft	Face	$A_R$ ft <sup>2</sup>	$A_F$ ft <sup>2</sup>	$C_iA_{i1}$ In Face ft <sup>2</sup>	$C_iA_{i1}$ Out Face ft <sup>2</sup>	Weight K
T4	200.000-180.000	A	0.000	0.000	57.723	0.000	0.447
		B	0.000	0.000	54.473	0.000	0.428
		C	0.000	0.000	70.313	0.000	0.494
T5	180.000-160.000	A	0.000	0.000	57.723	0.000	0.447
		B	0.000	0.000	54.473	0.000	0.428
		C	0.000	0.000	70.313	0.000	0.494
T6	160.000-140.000	A	0.000	0.000	57.723	0.000	0.447
		B	0.000	0.000	54.473	0.000	0.428
		C	0.000	0.000	70.313	0.000	0.494
T7	140.000-120.000	A	0.000	0.000	57.723	0.000	0.447
		B	0.000	0.000	54.473	0.000	0.428
		C	0.000	0.000	70.313	0.000	0.494
T8	120.000-100.000	A	0.000	0.000	57.723	0.000	0.447
		B	0.000	0.000	54.473	0.000	0.428
		C	0.000	0.000	70.313	0.000	0.494
T9	100.000-80.000	A	0.000	0.000	57.723	0.000	0.447
		B	0.000	0.000	54.473	0.000	0.428
		C	0.000	0.000	70.313	0.000	0.494
T10	80.000-60.000	A	0.000	0.000	57.723	0.000	0.447
		B	0.000	0.000	54.473	0.000	0.428
		C	0.000	0.000	70.313	0.000	0.494
T11	60.000-40.000	A	0.000	0.000	57.723	0.000	0.447
		B	0.000	0.000	54.473	0.000	0.428
		C	0.000	0.000	70.313	0.000	0.494
T12	40.000-20.000	A	0.000	0.000	57.723	0.000	0.447
		B	0.000	0.000	54.473	0.000	0.428
		C	0.000	0.000	70.313	0.000	0.494
T13	20.000-0.000	A	0.000	0.000	28.862	0.000	0.223
		B	0.000	0.000	27.237	0.000	0.214
		C	0.000	0.000	35.157	0.000	0.247

### Feed Line/Linear Appurtenances Section Areas - With Ice

Tower Section	Tower Elevation ft	Face or Leg	Ice Thickness in	$A_R$ ft <sup>2</sup>	$A_F$ ft <sup>2</sup>	$C_iA_{i1}$ In Face ft <sup>2</sup>	$C_iA_{i1}$ Out Face ft <sup>2</sup>	Weight K
T1	255.000-240.000	A	1.844	0.000	0.000	13.504	0.000	0.193
		B		0.000	0.000	0.000	0.000	0.000
		C		0.000	0.000	42.616	0.000	0.885
T2	240.000-220.000	A	1.834	0.000	0.000	43.440	0.000	0.784
		B		0.000	0.000	76.547	0.000	1.586
		C		0.000	0.000	85.053	0.000	1.762
T3	220.000-200.000	A	1.823	0.000	0.000	102.683	0.000	2.007
		B		0.000	0.000	84.851	0.000	1.754
		C		0.000	0.000	104.996	0.000	2.051
T4	200.000-180.000	A	1.812	0.000	0.000	102.403	0.000	1.997
		B		0.000	0.000	84.658	0.000	1.746
		C		0.000	0.000	134.871	0.000	2.483
T5	180.000-160.000	A	1.802	0.000	0.000	102.148	0.000	1.988
		B		0.000	0.000	84.482	0.000	1.739
		C		0.000	0.000	134.558	0.000	2.471
T6	160.000-140.000	A	1.794	0.000	0.000	101.934	0.000	1.980
		B		0.000	0.000	84.334	0.000	1.733
		C		0.000	0.000	134.295	0.000	2.460
T7	140.000-120.000	A	1.788	0.000	0.000	101.780	0.000	1.975
		B		0.000	0.000	84.228	0.000	1.729
		C		0.000	0.000	134.106	0.000	2.453
T8	120.000-100.000	A	1.785	0.000	0.000	101.711	0.000	1.972

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Tower Section	Tower Elevation ft	Face or Leg	Ice Thickness in	$A_R$ ft <sup>2</sup>	$A_I$ ft <sup>2</sup>	$C_i A_{i1}$ In Face ft <sup>2</sup>	$C_i A_{i1}$ Out Face ft <sup>2</sup>	Weight K
T9	100.000-80.000	B	1.787	0.000	0.000	84.181	0.000	1.727
		C		0.000	0.000	134.021	0.000	2.450
		A		0.000	0.000	101.750	0.000	1.973
T10	80.000-60.000	B	1.793	0.000	0.000	84.208	0.000	1.728
		C		0.000	0.000	134.070	0.000	2.451
		A		0.000	0.000	101.906	0.000	1.979
T11	60.000-40.000	B	1.801	0.000	0.000	84.315	0.000	1.732
		C		0.000	0.000	134.261	0.000	2.459
		A		0.000	0.000	102.124	0.000	1.987
T12	40.000-20.000	B	1.801	0.000	0.000	84.465	0.000	1.738
		C		0.000	0.000	134.529	0.000	2.470
		A		0.000	0.000	102.112	0.000	1.986
T13	20.000-0.000	B	1.723	0.000	0.000	84.457	0.000	1.738
		C		0.000	0.000	134.514	0.000	2.469
		A		0.000	0.000	50.062	0.000	0.958
		B		0.000	0.000	41.544	0.000	0.842
		C		0.000	0.000	66.036	0.000	1.187

### Feed Line Center of Pressure

Section	Elevation ft	$CP_x$ Ice in	$CP_z$ in	$CP_x$ Ice in	$CP_z$ Ice in
T1	255.000-240.000	0.496	4.712	-1.214	3.499
T2	240.000-220.000	2.710	-1.352	1.488	-0.340
T3	220.000-200.000	0.584	-2.030	0.020	-0.740
T4	200.000-180.000	1.762	-0.496	1.891	1.429
T5	180.000-160.000	1.919	-0.538	2.080	1.555
T6	160.000-140.000	1.923	-0.542	2.182	1.628
T7	140.000-120.000	2.032	-0.572	2.327	1.727
T8	120.000-100.000	2.129	-0.599	2.459	1.819
T9	100.000-80.000	2.226	-0.627	2.585	1.909
T10	80.000-60.000	2.872	-0.790	3.086	2.243
T11	60.000-40.000	2.970	-0.819	3.216	2.339
T12	40.000-20.000	2.912	-0.808	3.256	2.374
T13	20.000-0.000	1.765	-0.505	2.057	1.520

### Shielding Factor $K_a$

Tower Section	Feed Line Record No.	Description	Feed Line Segment Elev.	$K_a$ No Ice	$K_a$ Ice
T1	1	1.625" coax	240.00 - 250.00	0.6000	0.6000
T1	2	1.5" Hybrid	240.00 - 250.00	0.6000	0.6000
T1	14	Safety Line 3/8	240.00 - 255.00	0.6000	0.6000
T1	15	Strobe Cable	240.00 - 255.00	0.6000	0.6000
T1	17	Feedline Ladder (Af)	240.00 - 250.00	0.6000	0.6000

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Tower Section	Feed Line Record No.	Description	Feed Line Segment Elev.	K <sub>a</sub> No Ice	K <sub>a</sub> Ice
T2	1	1.625" coax	220.00 - 240.00	0.6000	0.6000
T2	2	1.5" Hybrid	220.00 - 240.00	0.6000	0.6000
T2	4	1.625" coax	220.00 - 238.00	0.6000	0.6000
T2	5	1.5" Hybrid	220.00 - 238.00	0.6000	0.6000
T2	7	1.625" coax	220.00 - 226.00	0.6000	0.6000
T2	8	1.5" Hybrid	220.00 - 226.00	0.6000	0.6000
T2	14	Safety Line 3/8	220.00 - 240.00	0.6000	0.6000
T2	15	Strobe Cable	220.00 - 240.00	0.6000	0.6000
T2	17	Feedline Ladder (Af)	220.00 - 240.00	0.6000	0.6000
T2	18	Feedline Ladder (Af)	220.00 - 238.00	0.6000	0.6000
T2	19	Feedline Ladder (Af)	220.00 - 226.00	0.6000	0.6000
T3	1	1.625" coax	200.00 - 220.00	0.6000	0.6000
T3	2	1.5" Hybrid	200.00 - 220.00	0.6000	0.6000
T3	4	1.625" coax	200.00 - 220.00	0.6000	0.6000
T3	5	1.5" Hybrid	200.00 - 220.00	0.6000	0.6000
T3	7	1.625" coax	200.00 - 220.00	0.6000	0.6000
T3	8	1.5" Hybrid	200.00 - 220.00	0.6000	0.6000
T3	10	1.625" coax	200.00 - 214.00	0.6000	0.6000
T3	12	1.625" coax	200.00 - 202.00	0.6000	0.6000
T3	14	Safety Line 3/8	200.00 - 220.00	0.6000	0.6000
T3	15	Strobe Cable	200.00 - 220.00	0.6000	0.6000
T3	17	Feedline Ladder (Af)	200.00 - 220.00	0.6000	0.6000
T3	18	Feedline Ladder (Af)	200.00 - 220.00	0.6000	0.6000
T3	19	Feedline Ladder (Af)	200.00 - 220.00	0.6000	0.6000
T4	1	1.625" coax	180.00 - 200.00	0.6000	0.6000
T4	2	1.5" Hybrid	180.00 - 200.00	0.6000	0.6000
T4	4	1.625" coax	180.00 - 200.00	0.6000	0.6000
T4	5	1.5" Hybrid	180.00 - 200.00	0.6000	0.6000
T4	7	1.625" coax	180.00 - 200.00	0.6000	0.6000
T4	8	1.5" Hybrid	180.00 - 200.00	0.6000	0.6000
T4	10	1.625" coax	180.00 - 200.00	0.6000	0.6000

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Tower Section	Feed Line Record No.	Description	Feed Line Segment Elev.	K <sub>a</sub> No Ice	K <sub>a</sub> Ice
T4	12	1.625" coax	180.00 - 200.00	0.6000	0.6000
T4	14	Safety Line 3/8	180.00 - 200.00	0.6000	0.6000
T4	15	Strobe Cable	180.00 - 200.00	0.6000	0.6000
T4	17	Feedline Ladder (Af)	180.00 - 200.00	0.6000	0.6000
T4	18	Feedline Ladder (Af)	180.00 - 200.00	0.6000	0.6000
T4	19	Feedline Ladder (Af)	180.00 - 200.00	0.6000	0.6000
T5	1	1.625" coax	160.00 - 180.00	0.6000	0.6000
T5	2	1.5" Hybrid	160.00 - 180.00	0.6000	0.6000
T5	4	1.625" coax	160.00 - 180.00	0.6000	0.6000
T5	5	1.5" Hybrid	160.00 - 180.00	0.6000	0.6000
T5	7	1.625" coax	160.00 - 180.00	0.6000	0.6000
T5	8	1.5" Hybrid	160.00 - 180.00	0.6000	0.6000
T5	10	1.625" coax	160.00 - 180.00	0.6000	0.6000
T5	12	1.625" coax	160.00 - 180.00	0.6000	0.6000
T5	14	Safety Line 3/8	160.00 - 180.00	0.6000	0.6000
T5	15	Strobe Cable	160.00 - 180.00	0.6000	0.6000
T5	17	Feedline Ladder (Af)	160.00 - 180.00	0.6000	0.6000
T5	18	Feedline Ladder (Af)	160.00 - 180.00	0.6000	0.6000
T5	19	Feedline Ladder (Af)	160.00 - 180.00	0.6000	0.6000
T6	1	1.625" coax	140.00 - 160.00	0.6000	0.6000
T6	2	1.5" Hybrid	140.00 - 160.00	0.6000	0.6000
T6	4	1.625" coax	140.00 - 160.00	0.6000	0.6000
T6	5	1.5" Hybrid	140.00 - 160.00	0.6000	0.6000
T6	7	1.625" coax	140.00 - 160.00	0.6000	0.6000
T6	8	1.5" Hybrid	140.00 - 160.00	0.6000	0.6000
T6	10	1.625" coax	140.00 - 160.00	0.6000	0.6000
T6	12	1.625" coax	140.00 - 160.00	0.6000	0.6000
T6	14	Safety Line 3/8	140.00 - 160.00	0.6000	0.6000
T6	15	Strobe Cable	140.00 - 160.00	0.6000	0.6000
T6	17	Feedline Ladder (Af)	140.00 - 160.00	0.6000	0.6000
T6	18	Feedline Ladder (Af)	140.00 - 160.00	0.6000	0.6000

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Tower Section	Feed Line Record No.	Description	Feed Line Segment Elev.	K <sub>a</sub> No Ice	K <sub>a</sub> Ice
T6	19	Feedline Ladder (Af)	140.00 - 160.00	0.6000	0.6000
T7	1	1.625" coax	120.00 - 140.00	0.6000	0.6000
T7	2	1.5" Hybrid	120.00 - 140.00	0.6000	0.6000
T7	4	1.625" coax	120.00 - 140.00	0.6000	0.6000
T7	5	1.5" Hybrid	120.00 - 140.00	0.6000	0.6000
T7	7	1.625" coax	120.00 - 140.00	0.6000	0.6000
T7	8	1.5" Hybrid	120.00 - 140.00	0.6000	0.6000
T7	10	1.625" coax	120.00 - 140.00	0.6000	0.6000
T7	12	1.625" coax	120.00 - 140.00	0.6000	0.6000
T7	14	Safety Line 3/8	120.00 - 140.00	0.6000	0.6000
T7	15	Strobe Cable	120.00 - 140.00	0.6000	0.6000
T7	17	Feedline Ladder (Af)	120.00 - 140.00	0.6000	0.6000
T7	18	Feedline Ladder (Af)	120.00 - 140.00	0.6000	0.6000
T7	19	Feedline Ladder (Af)	120.00 - 140.00	0.6000	0.6000
T8	1	1.625" coax	100.00 - 120.00	0.6000	0.6000
T8	2	1.5" Hybrid	100.00 - 120.00	0.6000	0.6000
T8	4	1.625" coax	100.00 - 120.00	0.6000	0.6000
T8	5	1.5" Hybrid	100.00 - 120.00	0.6000	0.6000
T8	7	1.625" coax	100.00 - 120.00	0.6000	0.6000
T8	8	1.5" Hybrid	100.00 - 120.00	0.6000	0.6000
T8	10	1.625" coax	100.00 - 120.00	0.6000	0.6000
T8	12	1.625" coax	100.00 - 120.00	0.6000	0.6000
T8	14	Safety Line 3/8	100.00 - 120.00	0.6000	0.6000
T8	15	Strobe Cable	100.00 - 120.00	0.6000	0.6000
T8	17	Feedline Ladder (Af)	100.00 - 120.00	0.6000	0.6000
T8	18	Feedline Ladder (Af)	100.00 - 120.00	0.6000	0.6000
T8	19	Feedline Ladder (Af)	100.00 - 120.00	0.6000	0.6000
T9	1	1.625" coax	80.00 - 100.00	0.6000	0.6000
T9	2	1.5" Hybrid	80.00 - 100.00	0.6000	0.6000
T9	4	1.625" coax	80.00 - 100.00	0.6000	0.6000
T9	5	1.5" Hybrid	80.00 - 100.00	0.6000	0.6000
T9	7	1.625" coax	80.00 - 100.00	0.6000	0.6000
T9	8	1.5" Hybrid	80.00 - 100.00	0.6000	0.6000
T9	10	1.625" coax	80.00 - 100.00	0.6000	0.6000
T9	12	1.625" coax	80.00 - 100.00	0.6000	0.6000

<b>tnxTower</b>  <b>B+T Group</b> 1717 S Boulder Ave. Suite 300 Tulsa, OK 74119 Phone: (918) 587-4630 FAX: (918) 295-0265	<b>Job</b> ATS#: 9537 - West Highway 90 (Site# KYLEX2056)	<b>Page</b> 15 of 34
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	<b>Client</b> Harmoni Towers	<b>Designed by</b> CCoody

Tower Section	Feed Line Record No.	Description	Feed Line Segment Elev.	K <sub>a</sub> No Ice	K <sub>a</sub> Ice
T9	14	Safety Line 3/8	80.00 - 100.00	0.6000	0.6000
T9	15	Strobe Cable	80.00 - 100.00	0.6000	0.6000
T9	17	Feedline Ladder (Af)	80.00 - 100.00	0.6000	0.6000
T9	18	Feedline Ladder (Af)	80.00 - 100.00	0.6000	0.6000
T9	19	Feedline Ladder (Af)	80.00 - 100.00	0.6000	0.6000
T10	1	1.625" coax	60.00 - 80.00	0.6000	0.6000
T10	2	1.5" Hybrid	60.00 - 80.00	0.6000	0.6000
T10	4	1.625" coax	60.00 - 80.00	0.6000	0.6000
T10	5	1.5" Hybrid	60.00 - 80.00	0.6000	0.6000
T10	7	1.625" coax	60.00 - 80.00	0.6000	0.6000
T10	8	1.5" Hybrid	60.00 - 80.00	0.6000	0.6000
T10	10	1.625" coax	60.00 - 80.00	0.6000	0.6000
T10	12	1.625" coax	60.00 - 80.00	0.6000	0.6000
T10	14	Safety Line 3/8	60.00 - 80.00	0.6000	0.6000
T10	15	Strobe Cable	60.00 - 80.00	0.6000	0.6000
T10	17	Feedline Ladder (Af)	60.00 - 80.00	0.6000	0.6000
T10	18	Feedline Ladder (Af)	60.00 - 80.00	0.6000	0.6000
T10	19	Feedline Ladder (Af)	60.00 - 80.00	0.6000	0.6000
T11	1	1.625" coax	40.00 - 60.00	0.6000	0.6000
T11	2	1.5" Hybrid	40.00 - 60.00	0.6000	0.6000
T11	4	1.625" coax	40.00 - 60.00	0.6000	0.6000
T11	5	1.5" Hybrid	40.00 - 60.00	0.6000	0.6000
T11	7	1.625" coax	40.00 - 60.00	0.6000	0.6000
T11	8	1.5" Hybrid	40.00 - 60.00	0.6000	0.6000
T11	10	1.625" coax	40.00 - 60.00	0.6000	0.6000
T11	12	1.625" coax	40.00 - 60.00	0.6000	0.6000
T11	14	Safety Line 3/8	40.00 - 60.00	0.6000	0.6000
T11	15	Strobe Cable	40.00 - 60.00	0.6000	0.6000
T11	17	Feedline Ladder (Af)	40.00 - 60.00	0.6000	0.6000
T11	18	Feedline Ladder (Af)	40.00 - 60.00	0.6000	0.6000
T11	19	Feedline Ladder (Af)	40.00 - 60.00	0.6000	0.6000
T12	1	1.625" coax	20.00 - 40.00	0.6000	0.6000
T12	2	1.5" Hybrid	20.00 - 40.00	0.6000	0.6000
T12	4	1.625" coax	20.00 - 40.00	0.6000	0.6000
T12	5	1.5" Hybrid	20.00 - 40.00	0.6000	0.6000
T12	7	1.625" coax	20.00 - 40.00	0.6000	0.6000
T12	8	1.5" Hybrid	20.00 - 40.00	0.6000	0.6000
T12	10	1.625" coax	20.00 - 40.00	0.6000	0.6000
T12	12	1.625" coax	20.00 - 40.00	0.6000	0.6000
T12	14	Safety Line 3/8	20.00 - 40.00	0.6000	0.6000
T12	15	Strobe Cable	20.00 - 40.00	0.6000	0.6000
T12	17	Feedline Ladder (Af)	20.00 - 40.00	0.6000	0.6000
T12	18	Feedline Ladder (Af)	20.00 - 40.00	0.6000	0.6000
T12	19	Feedline Ladder (Af)	20.00 - 40.00	0.6000	0.6000
T13	1	1.625" coax	10.00 - 20.00	0.6000	0.6000
T13	2	1.5" Hybrid	10.00 - 20.00	0.6000	0.6000
T13	4	1.625" coax	10.00 - 20.00	0.6000	0.6000
T13	5	1.5" Hybrid	10.00 - 20.00	0.6000	0.6000
T13	7	1.625" coax	10.00 - 20.00	0.6000	0.6000
T13	8	1.5" Hybrid	10.00 - 20.00	0.6000	0.6000
T13	10	1.625" coax	10.00 - 20.00	0.6000	0.6000
T13	12	1.625" coax	10.00 - 20.00	0.6000	0.6000
T13	14	Safety Line 3/8	10.00 - 20.00	0.6000	0.6000
T13	15	Strobe Cable	10.00 - 20.00	0.6000	0.6000
T13	17	Feedline Ladder (Af)	10.00 - 20.00	0.6000	0.6000
T13	18	Feedline Ladder (Af)	10.00 - 20.00	0.6000	0.6000
T13	19	Feedline Ladder (Af)	10.00 - 20.00	0.6000	0.6000

<b>tnxTower</b>  <b>B+T Group</b> 1717 S Boulder Ave, Suite 300 Tulsa, OK 74119 Phone: (918) 587-4630 FAX: (918) 295-0265	<b>Job</b> ATS#: 9537 - West Highway 90 (Site# KYLEX2056)	<b>Page</b> 16 of 34
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	<b>Client</b> Harmoni Towers	<b>Designed by</b> CCoody

## Discrete Tower Loads

Description	Face or Leg	Offset Type	Offsets:		Azimuth Adjustment	Placement	C <sub>i</sub> A <sub>i</sub>		Weight	
			Horz	Vert			Front	Side		
			Lateral	ft	°	ft	ft <sup>2</sup>	ft <sup>2</sup>	K	
Lightning Rod 1"x10'	C	From Leg	0.000	0.000	0.000	255.000	No Ice	1.000	1.000	0.040
			0.000				1/2" Ice	2.017	2.017	0.049
			5.000				1" Ice	3.050	3.050	0.065
							2" Ice	5.148	5.148	0.116
Top Beacon	B	From Leg	0.000	0.000	0.000	255.000	No Ice	2.700	2.700	0.050
			0.000				1/2" Ice	3.100	3.100	0.070
			1.000				1" Ice	3.500	3.500	0.090
							2" Ice	4.300	4.300	0.130
**										
Sector1(CaAa=13333.33 Sq.in)No Ice (Carrier 1)	A	From Leg	4.000	0.000	0.000	250.000	No Ice	92.600	62.040	0.700
			0.000				1/2" Ice	115.750	77.550	1.400
			0.000				1" Ice	138.900	93.060	2.100
							2" Ice	185.200	124.080	3.500
Sector2(CaAa=13333.33 Sq.in)No Ice (Carrier 1)	B	From Leg	4.000	0.000	0.000	250.000	No Ice	92.600	62.040	0.700
			0.000				1/2" Ice	115.750	77.550	1.400
			0.000				1" Ice	138.900	93.060	2.100
							2" Ice	185.200	124.080	3.500
Sector3(CaAa=13333.33 Sq.in)No Ice (Carrier 1)	C	From Leg	4.000	0.000	0.000	250.000	No Ice	92.600	62.040	0.700
			0.000				1/2" Ice	115.750	77.550	1.400
			0.000				1" Ice	138.900	93.060	2.100
							2" Ice	185.200	124.080	3.500
**										
Sector1(CaAa=10000 Sq.in)No Ice (Carrier 2)	A	From Leg	4.000	0.000	0.000	238.000	No Ice	69.440	46.525	0.700
			0.000				1/2" Ice	86.800	58.156	1.400
			0.000				1" Ice	104.160	69.787	2.100
							2" Ice	138.880	93.050	3.500
Sector2(CaAa=10000 Sq.in)No Ice (Carrier 2)	B	From Leg	4.000	0.000	0.000	238.000	No Ice	69.440	46.525	0.700
			0.000				1/2" Ice	86.800	58.156	1.400
			0.000				1" Ice	104.160	69.787	2.100
							2" Ice	138.880	93.050	3.500
Sector3(CaAa=10000 Sq.in)No Ice (Carrier 2)	C	From Leg	4.000	0.000	0.000	238.000	No Ice	69.440	46.525	0.700
			0.000				1/2" Ice	86.800	58.156	1.400
			0.000				1" Ice	104.160	69.787	2.100
							2" Ice	138.880	93.050	3.500
**										
Sector1(CaAa=10000 Sq.in)No Ice (Carrier 3)	A	From Leg	4.000	0.000	0.000	226.000	No Ice	69.440	46.525	0.700
			0.000				1/2" Ice	86.800	58.156	1.400
			0.000				1" Ice	104.160	69.787	2.100
							2" Ice	138.880	93.050	3.500
Sector2(CaAa=10000 Sq.in)No Ice (Carrier 3)	B	From Leg	4.000	0.000	0.000	226.000	No Ice	69.440	46.525	0.700
			0.000				1/2" Ice	86.800	58.156	1.400
			0.000				1" Ice	104.160	69.787	2.100
							2" Ice	138.880	93.050	3.500
Sector3(CaAa=10000 Sq.in)No Ice (Carrier 3)	C	From Leg	4.000	0.000	0.000	226.000	No Ice	69.440	46.525	0.700
			0.000				1/2" Ice	86.800	58.156	1.400
			0.000				1" Ice	104.160	69.787	2.100
							2" Ice	138.880	93.050	3.500
**										
4 1/2" OD Dish Mount (Carrier 4)	C	From Leg	0.500	0.000	0.000	214.000	No Ice	1.881	1.627	0.057
			0.000				1/2" Ice	2.207	2.207	0.074
			0.000				1" Ice	2.543	2.543	0.094
							2" Ice	3.241	3.241	0.148

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	<b>Client</b> Harmoni Towers	<b>Designed by</b> CCoody

Description	Face or Leg	Offset Type	Offsets: Horz Lateral Vert ft ft ft	Azimuth Adjustment °	Placement ft	C <sub>1</sub> A <sub>1</sub> Front ft <sup>2</sup>	C <sub>1</sub> A <sub>1</sub> Side ft <sup>2</sup>	Weight K
4 1/2" OD Dish Mount (Carrier 4)	B	From Leg	0.500 0.000 0.000	0.000	214.000	No Ice 1.881 1/2" Ice 2.207 1" Ice 2.543 2" Ice 3.241	1.627 2.207 2.543 3.241	0.057 0.074 0.094 0.148
**								
4 1/2" OD Dish Mount (Carrier 5)	C	From Leg	0.500 0.000 0.000	0.000	202.000	No Ice 1.881 1/2" Ice 2.207 1" Ice 2.543 2" Ice 3.241	1.627 2.207 2.543 3.241	0.057 0.074 0.094 0.148
4 1/2" OD Dish Mount (Carrier 5)	B	From Leg	0.500 0.000 0.000	0.000	202.000	No Ice 1.881 1/2" Ice 2.207 1" Ice 2.543 2" Ice 3.241	1.627 2.207 2.543 3.241	0.057 0.074 0.094 0.148
**								

## Dishes

Description	Face or Leg	Dish Type	Offset Type	Offsets: Horz Lateral Vert ft ft ft	Azimuth Adjustment °	3 dB Beam Width °	Elevation ft	Outside Diameter ft	Aperture Area ft <sup>2</sup>	Weight K
6' MW Dish (Carrier 4)	C	Paraboloid w/o Radome	From Leg	1.000 0.000 0.000	0.000		214.000	6.000	No Ice 28.270 1/2" Ice 29.050 1" Ice 29.831 2" Ice 31.392	0.143 0.292 0.441 0.740
6' MW Dish (Carrier 4)	B	Paraboloid w/o Radome	From Leg	1.000 0.000 0.000	0.000		214.000	6.000	No Ice 28.270 1/2" Ice 29.050 1" Ice 29.831 2" Ice 31.392	0.143 0.292 0.441 0.740
**										
6' MW Dish (Carrier 5)	C	Paraboloid w/o Radome	From Leg	1.000 0.000 0.000	0.000		202.000	6.000	No Ice 28.270 1/2" Ice 29.050 1" Ice 29.831 2" Ice 31.392	0.143 0.292 0.441 0.740
6' MW Dish (Carrier 5)	B	Paraboloid w/o Radome	From Leg	1.000 0.000 0.000	0.000		202.000	6.000	No Ice 28.270 1/2" Ice 29.050 1" Ice 29.831 2" Ice 31.392	0.143 0.292 0.441 0.740
**										

## Load Combinations

Comb. No.	Description
1	Dead Only
2	1.2 Dead+1.0 Wind 0 deg - No Ice
3	0.9 Dead+1.0 Wind 0 deg - No Ice



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Comb. No.	Description
4	1.2 Dead+1.0 Wind 30 deg - No Ice
5	0.9 Dead+1.0 Wind 30 deg - No Ice
6	1.2 Dead+1.0 Wind 60 deg - No Ice
7	0.9 Dead+1.0 Wind 60 deg - No Ice
8	1.2 Dead+1.0 Wind 90 deg - No Ice
9	0.9 Dead+1.0 Wind 90 deg - No Ice
10	1.2 Dead+1.0 Wind 120 deg - No Ice
11	0.9 Dead+1.0 Wind 120 deg - No Ice
12	1.2 Dead+1.0 Wind 150 deg - No Ice
13	0.9 Dead+1.0 Wind 150 deg - No Ice
14	1.2 Dead+1.0 Wind 180 deg - No Ice
15	0.9 Dead+1.0 Wind 180 deg - No Ice
16	1.2 Dead+1.0 Wind 210 deg - No Ice
17	0.9 Dead+1.0 Wind 210 deg - No Ice
18	1.2 Dead+1.0 Wind 240 deg - No Ice
19	0.9 Dead+1.0 Wind 240 deg - No Ice
20	1.2 Dead+1.0 Wind 270 deg - No Ice
21	0.9 Dead+1.0 Wind 270 deg - No Ice
22	1.2 Dead+1.0 Wind 300 deg - No Ice
23	0.9 Dead+1.0 Wind 300 deg - No Ice
24	1.2 Dead+1.0 Wind 330 deg - No Ice
25	0.9 Dead+1.0 Wind 330 deg - No Ice
26	1.2 Dead+1.0 Ice+1.0 Temp
27	1.2 Dead+1.0 Wind 0 deg+1.0 Ice+1.0 Temp
28	1.2 Dead+1.0 Wind 30 deg+1.0 Ice+1.0 Temp
29	1.2 Dead+1.0 Wind 60 deg+1.0 Ice+1.0 Temp
30	1.2 Dead+1.0 Wind 90 deg+1.0 Ice+1.0 Temp
31	1.2 Dead+1.0 Wind 120 deg+1.0 Ice+1.0 Temp
32	1.2 Dead+1.0 Wind 150 deg+1.0 Ice+1.0 Temp
33	1.2 Dead+1.0 Wind 180 deg+1.0 Ice+1.0 Temp
34	1.2 Dead+1.0 Wind 210 deg+1.0 Ice+1.0 Temp
35	1.2 Dead+1.0 Wind 240 deg+1.0 Ice+1.0 Temp
36	1.2 Dead+1.0 Wind 270 deg+1.0 Ice+1.0 Temp
37	1.2 Dead+1.0 Wind 300 deg+1.0 Ice+1.0 Temp
38	1.2 Dead+1.0 Wind 330 deg+1.0 Ice+1.0 Temp
39	Dead+Wind 0 deg - Service
40	Dead+Wind 30 deg - Service
41	Dead+Wind 60 deg - Service
42	Dead+Wind 90 deg - Service
43	Dead+Wind 120 deg - Service
44	Dead+Wind 150 deg - Service
45	Dead+Wind 180 deg - Service
46	Dead+Wind 210 deg - Service
47	Dead+Wind 240 deg - Service
48	Dead+Wind 270 deg - Service
49	Dead+Wind 300 deg - Service
50	Dead+Wind 330 deg - Service

### Maximum Member Forces

Section No.	Elevation ft	Component Type	Condition	Gov. Load Comb.	Axial K	Major Axis Moment kip-ft	Minor Axis Moment kip-ft
T1	255 - 240	Leg	Max Tension	15	12.041	0.615	-0.005
			Max. Compression	2	-14.039	0.552	-0.003
			Max. Mx	2	-14.037	-0.656	0.006
			Max. My	4	-1.273	-0.031	-0.557
			Max. Vy	2	-2.416	0.552	-0.003
			Max. Vx	24	-1.877	-0.005	0.146

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Section No.	Elevation ft	Component Type	Condition	Gov. Load Comb.	Axial K	Major Axis Moment kip-ft	Minor Axis Moment kip-ft
T2	240 - 220	Diagonal	Max Tension	2	3.139	0.000	0.000
			Max. Compression	2	-3.163	0.000	0.000
			Max. Mx	2	-1.023	0.019	-0.001
			Max. My	8	-2.660	-0.001	-0.009
			Max. Vy	31	0.023	0.018	0.002
		Top Girt	Max. Vx	8	0.003	0.000	0.000
			Max Tension	23	0.120	0.000	0.000
			Max. Compression	21	-0.198	0.000	0.000
			Max. Mx	26	-0.022	-0.037	0.000
			Max. My	28	-0.027	0.000	0.001
		Leg	Max. Vy	26	-0.030	0.000	0.000
			Max. Vx	28	-0.001	0.000	0.000
			Max Tension	15	49.001	2.114	-0.013
			Max. Compression	2	-55.522	1.180	-0.016
			Max. Mx	2	-55.518	-2.625	0.022
Max. My	4		-1.286	-0.077	-1.450		
Max. Vy	2		-7.605	1.180	-0.016		
Max. Vx	4		3.270	-0.057	-0.676		
Diagonal	Max Tension		12	6.694	0.000	0.000	
	Max. Compression		20	-6.126	0.000	0.000	
	Max. Mx	2	-0.846	0.039	0.002		
	Max. My	20	-6.102	-0.008	0.036		
	Max. Vy	35	0.029	0.027	-0.003		
T3	220 - 200	Leg	Max. Vx	20	-0.009	0.000	0.000
			Max Tension	15	92.482	2.824	-0.020
			Max. Compression	2	-103.438	1.054	-0.007
			Max. Mx	2	-55.543	4.947	-0.053
			Max. My	4	-3.968	-0.085	-2.312
		Diagonal	Max. Vy	2	-9.905	1.054	-0.007
			Max. Vx	4	4.413	0.088	-0.723
			Max Tension	20	8.072	0.000	0.000
			Max. Compression	20	-7.157	0.000	0.000
			Max. Mx	28	0.431	0.039	0.003
		Leg	Max. My	20	-7.115	-0.006	0.020
			Max. Vy	28	0.037	0.039	0.003
			Max. Vx	20	-0.004	0.000	0.000
			Max Tension	7	136.989	3.413	0.191
			Max. Compression	2	-151.480	0.871	-0.009
Max. Mx	2		-103.457	5.971	-0.046		
Max. My	4		-7.105	0.361	-2.931		
Max. Vy	18		-10.531	0.870	0.047		
Max. Vx	4		4.570	0.026	-0.399		
Diagonal	Max Tension		20	8.634	0.000	0.000	
	Max. Compression	20	-9.043	0.000	0.000		
	Max. Mx	29	1.168	0.060	0.005		
	Max. My	20	-8.983	-0.007	0.024		
	Max. Vy	34	0.051	0.059	-0.006		
T4	200 - 180	Leg	Max. Vx	20	-0.005	0.000	0.000
			Max Tension	7	177.507	3.711	0.185
			Max. Compression	2	-195.831	0.934	-0.011
			Max. Mx	18	-151.051	6.109	0.408
			Max. My	4	-11.409	0.238	-2.687
		Diagonal	Max. Vy	18	-11.480	0.937	0.054
			Max. Vx	4	4.736	0.027	-0.475
			Max Tension	20	8.885	0.000	0.000
			Max. Compression	20	-9.012	0.000	0.000
			Max. Mx	34	0.395	0.075	-0.007
		Leg	Max. My	20	-8.938	-0.003	0.020
			Max. Vy	34	0.058	0.075	-0.007
			Max. Vx	20	-0.004	0.000	0.000
			Max Tension	7	215.820	4.188	0.193
			Max. Compression	2	-195.831	0.934	-0.011

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	<b>Client</b> Harmoni Towers	<b>Designed by</b> CCoody

Section No.	Elevation ft	Component Type	Condition	Gov. Load Comb.	Axial K	Major Axis Moment kip-ft	Minor Axis Moment kip-ft
T7	140 - 120	Leg	Max. Compression	2	-238.589	0.937	-0.010
			Max. Mx	18	-195.552	6.650	0.390
			Max. My	4	-15.067	0.216	-2.846
			Max. Vy	18	-12.697	0.943	0.044
			Max. Vx	4	5.024	0.025	-0.431
			Max Tension	20	9.474	0.000	0.000
			Max. Compression	20	-9.399	0.000	0.000
			Max. Mx	30	1.611	0.105	0.008
			Max. My	6	-8.014	0.016	-0.019
			Max. Vy	34	0.074	0.105	-0.010
			Max. Vx	6	0.003	0.000	0.000
			Max Tension	7	253.067	4.705	0.199
			Max. Compression	18	-281.210	0.982	0.043
			Max. Mx	18	-238.607	7.269	0.366
T8	120 - 100	Leg	Max. My	4	-18.451	0.207	-2.947
			Max. Vy	18	-14.075	0.982	0.043
			Max. Vx	4	5.354	0.022	-0.458
			Max Tension	20	10.172	0.000	0.000
			Max. Compression	20	-9.970	0.000	0.000
			Max. Mx	34	0.439	0.128	-0.012
			Max. My	6	-8.563	0.022	-0.017
			Max. Vy	34	0.082	0.128	-0.012
			Max. Vx	28	-0.003	0.000	0.000
			Max Tension	7	289.923	5.723	0.215
			Max. Compression	18	-324.064	0.357	0.035
			Max. Mx	18	-281.236	8.000	0.357
			Max. My	4	-21.634	0.200	-3.139
			Max. Vy	18	-15.599	0.357	0.035
T9	100 - 80	Leg	Max. Vx	4	5.868	0.009	-0.400
			Max Tension	20	11.103	0.000	0.000
			Max. Compression	20	-10.822	0.000	0.000
			Max. Mx	34	0.489	0.152	-0.014
			Max. My	6	-9.952	0.034	-0.017
			Max. Vy	34	0.090	0.152	-0.014
			Max. Vx	28	-0.003	0.000	0.000
			Max Tension	7	326.473	5.631	0.187
			Max. Compression	18	-367.353	0.971	0.094
			Max. Mx	18	-324.088	8.151	0.351
			Max. My	4	-24.704	0.179	-3.338
			Max. Vy	18	-16.867	0.971	0.094
			Max. Vx	4	6.838	-0.012	-1.154
			T10	80 - 60	Leg	Max Tension	20
Max. Compression	20	-11.658				0.000	0.000
Max. Mx	30	0.578				0.195	-0.017
Max. My	6	-10.907				0.058	-0.024
Max. Vy	34	0.106				0.186	-0.017
Max. Vx	28	-0.004				0.000	0.000
Max Tension	7	363.071				7.380	0.240
Max. Compression	18	-411.159				-0.527	0.030
Max. Mx	18	-411.133				-9.621	-0.302
Max. My	4	-27.873				0.165	-4.576
Max. Vy	18	-18.174				-0.527	0.030
Max. Vx	4	7.136				-0.033	-0.469
Max Tension	21	13.880				0.000	0.000
Max. Compression	18	-14.057				0.000	0.000
T10	80 - 60	Horizontal	Max. Mx	30	1.936	0.304	0.000
			Max. My	35	-0.172	0.000	0.007
			Max. Vy	30	-0.112	0.000	0.000
			Max. Vx	35	0.003	0.000	0.000
			Max Tension	18	2.033	-0.058	0.000
			Max. Compression	20	-2.020	0.000	0.000

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	<b>Client</b> Harmoni Towers	<b>Designed by</b> CCoody

Section No.	Elevation ft	Component Type	Condition	Gov. Load Comb.	Axial K	Major Axis Moment kip-ft	Minor Axis Moment kip-ft	
T11	60 - 40	Inner Bracing	Max. Mx	27	0.030	-0.196	0.004	
			Max. My	6	0.738	-0.050	0.005	
			Max. Vy	27	-0.104	-0.196	0.004	
			Max. Vx	31	-0.002	-0.196	0.005	
			Max. Tension	1	0.000	0.000	0.000	
			Max. Compression	29	-0.011	0.000	0.000	
			Max. Mx	26	-0.010	-0.136	0.000	
			Max. My	18	-0.005	0.000	-0.000	
			Max. Vy	26	-0.057	0.000	0.000	
			Max. Vx	18	0.000	0.000	0.000	
			Max. Tension	7	399.099	7.171	0.216	
			Max. Compression	18	-454.587	0.524	0.069	
		Leg	Max. Mx	18	-454.562	-9.424	-0.271	
			Max. My	4	-31.063	0.126	-4.041	
			Max. Vy	18	-19.881	0.524	0.069	
			Max. Vx	4	7.509	-0.009	-0.944	
			Diagonal	Max. Tension	21	14.455	0.000	0.000
				Max. Compression	19	-14.359	0.000	0.000
				Max. Mx	30	2.064	0.349	0.000
			Horizontal	Max. My	35	-0.084	0.000	0.008
				Max. Vy	30	0.121	0.000	0.000
				Max. Vx	35	-0.003	0.000	0.000
				Max. Tension	18	1.975	-0.078	0.001
				Max. Compression	7	-1.874	-0.058	0.003
				Max. Mx	27	0.026	-0.250	0.005
			Inner Bracing	Max. My	37	0.120	-0.245	0.006
				Max. Vy	27	-0.124	-0.250	0.005
Max. Vx	31	-0.003		-0.250	0.006			
Max. Tension	1	0.000		0.000	0.000			
Max. Compression	29	-0.012		0.000	0.000			
Max. Mx	26	-0.011		-0.159	0.000			
Max. My	18	-0.005		0.000	-0.000			
Max. Vy	26	0.062		0.000	0.000			
Max. Vx	18	0.000		0.000	0.000			
T12	40 - 20	Leg		Max. Tension	7	435.305	8.048	0.237
				Max. Compression	18	-498.987	0.467	0.055
				Max. Mx	18	-454.617	10.472	0.408
		Diagonal	Max. My	4	-34.222	0.143	-4.703	
			Max. Vy	18	-21.741	0.467	0.055	
			Max. Vx	4	7.929	-0.007	-0.780	
			Max. Tension	21	15.508	0.000	0.000	
			Max. Compression	20	-15.443	0.000	0.000	
			Max. Mx	30	2.382	0.460	0.000	
		Horizontal	Max. My	35	0.152	0.000	0.011	
			Max. Vy	30	-0.151	0.000	0.000	
			Max. Vx	35	0.004	0.000	0.000	
			Max. Tension	18	2.218	-0.090	0.001	
			Max. Compression	20	-2.152	0.000	0.000	
			Max. Mx	27	-0.060	-0.286	0.006	
Inner Bracing	Max. My	37	0.102	-0.286	0.007			
	Max. Vy	33	-0.133	-0.285	0.005			
	Max. Vx	35	-0.003	-0.285	0.006			
	Max. Tension	1	0.000	0.000	0.000			
	Max. Compression	29	-0.014	0.000	0.000			
	Max. Mx	26	-0.013	-0.182	0.000			
	Max. My	18	-0.006	0.000	-0.000			
	Max. Vy	26	0.066	0.000	0.000			
	Max. Vx	18	0.000	0.000	0.000			
T13	20 - 0	Leg	Max. Tension	7	471.744	9.147	0.269	
			Max. Compression	18	-543.880	0.000	0.000	
			Max. Mx	18	-543.848	-11.852	-0.335	

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Section No.	Elevation ft	Component Type	Condition	Gov. Load Comb.	Axial K	Major Axis Moment kip-ft	Minor Axis Moment kip-ft
			Max. My	4	-37.624	0.142	-4.750
			Max. Vy	18	-23.686	0.000	0.000
			Max. Vx	4	7.957	-0.000	0.000
		Diagonal	Max Tension	21	16.448	0.000	0.000
			Max. Compression	20	-16.631	0.000	0.000
			Max. Mx	35	2.874	0.501	0.000
			Max. My	35	0.779	0.000	0.012
			Max. Vy	35	-0.155	0.000	0.000
			Max. Vx	35	0.004	0.000	0.000
		Horizontal	Max Tension	18	2.559	-0.131	0.001
			Max. Compression	7	-2.263	-0.093	0.004
			Max. Mx	31	-0.125	-0.392	0.008
			Max. My	37	0.058	-0.390	0.010
			Max. Vy	31	0.162	-0.392	0.008
			Max. Vx	37	0.004	-0.390	0.010
		Inner Bracing	Max Tension	1	0.000	0.000	0.000
			Max. Compression	37	-0.014	0.000	0.000
			Max. Mx	35	-0.014	-0.198	0.000
			Max. My	31	-0.014	0.000	-0.000
			Max. Vy	35	0.067	0.000	0.000
			Max. Vx	31	0.000	0.000	0.000

### Maximum Reactions

Location	Condition	Gov. Load Comb.	Vertical K	Horizontal, X K	Horizontal, Z K
Leg C	Max. Vert	18	542.583	38.716	-21.717
	Max. H <sub>x</sub>	18	542.583	38.716	-21.717
	Max. H <sub>z</sub>	5	-410.154	-29.479	19.994
	Min. Vert	7	-470.323	-35.498	19.774
	Min. H <sub>x</sub>	7	-470.323	-35.498	19.774
Leg B	Max. Vert	18	542.583	38.716	-21.717
	Max. H <sub>x</sub>	10	540.550	-38.512	-21.827
	Max. H <sub>z</sub>	23	-467.766	35.268	19.894
	Min. Vert	25	-407.885	29.136	20.370
	Min. H <sub>x</sub>	23	-467.766	35.268	19.894
Leg A	Max. Vert	10	540.550	-38.512	-21.827
	Max. H <sub>x</sub>	10	540.550	-38.512	-21.827
	Max. H <sub>z</sub>	2	538.684	0.242	43.922
	Min. Vert	21	32.452	6.914	1.600
	Min. H <sub>x</sub>	2	538.684	0.242	43.922
	Max. H <sub>z</sub>	15	-451.867	-0.267	-39.165
	Min. Vert	9	32.452	-6.910	1.600
	Min. H <sub>x</sub>	15	-451.867	-0.267	-39.165

### Tower Mast Reaction Summary

Load Combination	Vertical K	Shear <sub>x</sub> K	Shear <sub>z</sub> K	Overturning Moment, M <sub>x</sub> kip-ft	Overturning Moment, M <sub>z</sub> kip-ft	Torque kip-ft
Dead Only	66.571	0.000	0.000	6.503	-3.005	0.000
1.2 Dead+1.0 Wind 0 deg - No	79.885	-0.000	-75.954	-10642.882	-3.682	10.630

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Load Combination	Vertical K	Shear <sub>x</sub> K	Shear <sub>y</sub> K	Overturning Moment, M <sub>x</sub> kip-ft	Overturning Moment, M <sub>y</sub> kip-ft	Torque kip-ft
Ice						
0.9 Dead+1.0 Wind 0 deg - No Ice	59.914	-0.000	-75.951	-10624.949	-2.768	10.621
1.2 Dead+1.0 Wind 30 deg - No Ice	79.885	37.166	-61.623	-8660.783	-5341.814	40.418
0.9 Dead+1.0 Wind 30 deg - No Ice	59.914	37.165	-61.621	-8646.550	-5330.917	40.398
1.2 Dead+1.0 Wind 60 deg - No Ice	79.885	62.204	-35.582	-5044.933	-8876.158	24.089
0.9 Dead+1.0 Wind 60 deg - No Ice	59.914	62.203	-35.581	-5037.494	-8858.658	24.060
1.2 Dead+1.0 Wind 90 deg - No Ice	79.885	72.868	-1.268	-257.899	-10312.816	2.042
0.9 Dead+1.0 Wind 90 deg - No Ice	59.914	72.866	-1.268	-259.406	-10292.645	2.012
1.2 Dead+1.0 Wind 120 deg - No Ice	79.885	67.482	36.423	4946.230	-9478.416	11.008
0.9 Dead+1.0 Wind 120 deg - No Ice	59.914	67.480	36.422	4935.129	-9459.818	10.986
1.2 Dead+1.0 Wind 150 deg - No Ice	79.885	35.538	61.417	8629.527	-4997.684	14.800
0.9 Dead+1.0 Wind 150 deg - No Ice	59.914	35.537	61.416	8611.491	-4987.395	14.795
1.2 Dead+1.0 Wind 180 deg - No Ice	79.885	-0.000	69.235	9827.312	-3.671	-10.629
0.9 Dead+1.0 Wind 180 deg - No Ice	59.914	-0.000	69.233	9806.973	-2.759	-10.621
1.2 Dead+1.0 Wind 210 deg - No Ice	79.885	-35.643	61.601	8672.067	5014.892	-34.762
0.9 Dead+1.0 Wind 210 deg - No Ice	59.914	-35.642	61.599	8653.934	5006.370	-34.742
1.2 Dead+1.0 Wind 240 deg - No Ice	79.885	-67.663	36.528	4970.541	9513.180	-19.681
0.9 Dead+1.0 Wind 240 deg - No Ice	59.914	-67.661	36.527	4959.382	9496.310	-19.651
1.2 Dead+1.0 Wind 270 deg - No Ice	79.885	-72.868	-1.268	-257.898	10305.555	-2.040
0.9 Dead+1.0 Wind 270 deg - No Ice	59.914	-72.866	-1.268	-259.405	10287.209	-2.011
1.2 Dead+1.0 Wind 300 deg - No Ice	79.885	-62.023	-35.478	-5020.688	8826.834	-15.414
0.9 Dead+1.0 Wind 300 deg - No Ice	59.914	-62.022	-35.477	-5013.304	8811.255	-15.394
1.2 Dead+1.0 Wind 330 deg - No Ice	79.885	-37.060	-61.440	-8618.327	5309.940	-20.457
0.9 Dead+1.0 Wind 330 deg - No Ice	59.914	-37.060	-61.438	-8604.193	5300.925	-20.451
1.2 Dead+1.0 Ice+1.0 Temp	228.232	-0.001	-0.002	45.968	-32.829	0.000
1.2 Dead+1.0 Wind 0 deg+1.0 Ice+1.0 Temp	228.232	-0.000	-10.682	-1507.123	-33.280	1.560
1.2 Dead+1.0 Wind 30 deg+1.0 Ice+1.0 Temp	228.232	5.307	-8.946	-1255.842	-815.680	4.426
1.2 Dead+1.0 Wind 60 deg+1.0 Ice+1.0 Temp	228.232	9.079	-5.213	-715.031	-1363.489	3.643
1.2 Dead+1.0 Wind 90 deg+1.0 Ice+1.0 Temp	228.232	10.596	-0.114	22.401	-1577.208	1.673
1.2 Dead+1.0 Wind 120 deg+1.0 Ice+1.0 Temp	228.232	9.453	5.230	791.537	-1407.453	1.421
1.2 Dead+1.0 Wind 150 deg+1.0 Ice+1.0 Temp	228.232	5.162	8.929	1345.338	-784.398	1.061
1.2 Dead+1.0 Wind 180	228.232	-0.000	10.196	1537.815	-33.278	-1.559

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Load Combination	Vertical K	Shear <sub>x</sub> K	Shear <sub>y</sub> K	Overturning Moment, M <sub>x</sub> kip-ft	Overturning Moment, M <sub>y</sub> kip-ft	Torque kip-ft
deg+1.0 Ice+1.0 Temp						
1.2 Dead+1.0 Wind 210	228.232	-5.170	8.944	1348.886	719.886	-3.916
deg+1.0 Ice+1.0 Temp						
1.2 Dead+1.0 Wind 240	228.232	-9.468	5.239	793.587	1344.436	-3.246
deg+1.0 Ice+1.0 Temp						
1.2 Dead+1.0 Wind 270	228.232	-10.596	-0.114	22.404	1510.647	-1.671
deg+1.0 Ice+1.0 Temp						
1.2 Dead+1.0 Wind 300	228.232	-9.064	-5.204	-712.979	1293.380	-1.814
deg+1.0 Ice+1.0 Temp						
1.2 Dead+1.0 Wind 330	228.232	-5.298	-8.931	-1252.293	747.069	-1.570
deg+1.0 Ice+1.0 Temp						
Dead+Wind 0 deg - Service	66.571	-0.000	-24.861	-3468.893	-3.029	3.469
Dead+Wind 30 deg - Service	66.571	12.166	-20.174	-2822.233	-1744.835	13.216
Dead+Wind 60 deg - Service	66.571	20.363	-11.649	-1642.305	-2898.227	7.861
Dead+Wind 90 deg - Service	66.571	23.853	-0.414	-80.125	-3367.053	0.640
Dead+Wind 120 deg - Service	66.571	22.087	11.923	1618.053	-3094.716	3.586
Dead+Wind 150 deg - Service	66.571	11.634	20.106	2819.955	-1632.705	4.853
Dead+Wind 180 deg - Service	66.571	-0.000	22.667	3210.840	-3.027	-3.470
Dead+Wind 210 deg - Service	66.571	-11.669	20.166	2833.818	1634.656	-11.369
Dead+Wind 240 deg - Service	66.571	-22.146	11.957	1625.969	3102.378	-6.412
Dead+Wind 270 deg - Service	66.571	-23.853	-0.414	-80.125	3361.008	-0.639
Dead+Wind 300 deg - Service	66.571	-20.304	-11.614	-1634.390	2878.471	-5.029
Dead+Wind 330 deg - Service	66.571	-12.131	-20.114	-2808.379	1730.781	-6.701

## Solution Summary

Load Comb.	Sum of Applied Forces			Sum of Reactions			% Error
	PX K	PY K	PZ K	PX K	PY K	PZ K	
1	0.000	-66.571	0.000	-0.000	66.571	-0.000	0.000%
2	0.000	-79.885	-75.957	0.000	79.885	75.954	0.003%
3	0.000	-59.914	-75.957	0.000	59.914	75.951	0.005%
4	37.167	-79.885	-61.625	-37.166	79.885	61.623	0.002%
5	37.167	-59.914	-61.625	-37.165	59.914	61.621	0.005%
6	62.206	-79.885	-35.583	-62.204	79.885	35.582	0.002%
7	62.206	-59.914	-35.583	-62.203	59.914	35.581	0.004%
8	72.870	-79.885	-1.268	-72.868	79.885	1.268	0.002%
9	72.870	-59.914	-1.268	-72.866	59.914	1.268	0.005%
10	67.484	-79.885	36.425	-67.482	79.885	-36.423	0.003%
11	67.484	-59.914	36.425	-67.480	59.914	-36.422	0.005%
12	35.539	-79.885	61.419	-35.538	79.885	-61.417	0.002%
13	35.539	-59.914	61.419	-35.537	59.914	-61.416	0.005%
14	0.000	-79.885	69.237	0.000	79.885	-69.235	0.002%
15	0.000	-59.914	69.237	0.000	59.914	-69.233	0.004%
16	-35.645	-79.885	61.603	35.643	79.885	-61.601	0.002%
17	-35.645	-59.914	61.603	35.642	59.914	-61.599	0.005%
18	-67.666	-79.885	36.529	67.663	79.885	-36.528	0.003%
19	-67.666	-59.914	36.529	67.661	59.914	-36.527	0.005%
20	-72.870	-79.885	-1.268	72.868	79.885	1.268	0.002%
21	-72.870	-59.914	-1.268	72.866	59.914	1.268	0.005%
22	-62.025	-79.885	-35.479	62.023	79.885	35.478	0.002%
23	-62.025	-59.914	-35.479	62.022	59.914	35.477	0.004%
24	-37.062	-79.885	-61.442	37.060	79.885	61.440	0.002%
25	-37.062	-59.914	-61.442	37.060	59.914	61.438	0.005%
26	0.000	-228.232	0.000	0.001	228.232	0.002	0.001%
27	0.000	-228.232	-10.683	0.000	228.232	10.682	0.000%
28	5.307	-228.232	-8.947	-5.307	228.232	8.946	0.000%
29	9.080	-228.232	-5.213	-9.079	228.232	5.213	0.000%

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Load Comb.	Sum of Applied Forces			Sum of Reactions			% Error
	PX K	PY K	PZ K	PX K	PY K	PZ K	
30	10.597	-228.232	-0.114	-10.596	228.232	0.114	0.000%
31	9.453	-228.232	5.231	-9.453	228.232	-5.230	0.000%
32	5.162	-228.232	8.930	-5.162	228.232	-8.929	0.000%
33	0.000	-228.232	10.197	0.000	228.232	-10.196	0.000%
34	-5.171	-228.232	8.945	5.170	228.232	-8.944	0.000%
35	-9.468	-228.232	5.239	9.468	228.232	-5.239	0.000%
36	-10.597	-228.232	-0.114	10.596	228.232	0.114	0.000%
37	-9.065	-228.232	-5.205	9.064	228.232	5.204	0.000%
38	-5.299	-228.232	-8.932	5.298	228.232	8.931	0.000%
39	0.000	-66.571	-24.863	0.000	66.571	24.861	0.002%
40	12.167	-66.571	-20.175	-12.166	66.571	20.174	0.002%
41	20.365	-66.571	-11.649	-20.363	66.571	11.649	0.002%
42	23.855	-66.571	-0.414	-23.853	66.571	0.414	0.002%
43	22.088	-66.571	11.924	-22.087	66.571	-11.923	0.002%
44	11.635	-66.571	20.108	-11.634	66.571	-20.106	0.002%
45	0.000	-66.571	22.668	0.000	66.571	-22.667	0.002%
46	-11.669	-66.571	20.168	11.669	66.571	-20.166	0.002%
47	-22.147	-66.571	11.958	22.146	66.571	-11.957	0.002%
48	-23.855	-66.571	-0.414	23.853	66.571	0.414	0.002%
49	-20.305	-66.571	-11.615	20.304	66.571	11.614	0.002%
50	-12.132	-66.571	-20.115	12.131	66.571	20.114	0.002%

### Non-Linear Convergence Results

Load Combination	Converged?	Number of Cycles	Displacement Tolerance	Force Tolerance
1	Yes	6	0.00000001	0.00000001
2	Yes	13	0.00003614	0.00008171
3	Yes	12	0.00006360	0.00013748
4	Yes	13	0.00003295	0.00007479
5	Yes	12	0.00005666	0.00012292
6	Yes	13	0.00003029	0.00006897
7	Yes	12	0.00005075	0.00011045
8	Yes	13	0.00003302	0.00007488
9	Yes	12	0.00005682	0.00012317
10	Yes	13	0.00003607	0.00008146
11	Yes	12	0.00006345	0.00013701
12	Yes	13	0.00003320	0.00007530
13	Yes	12	0.00005721	0.00012403
14	Yes	13	0.00003036	0.00006917
15	Yes	12	0.00005089	0.00011083
16	Yes	13	0.00003321	0.00007535
17	Yes	12	0.00005723	0.00012411
18	Yes	13	0.00003611	0.00008157
19	Yes	12	0.00006354	0.00013723
20	Yes	13	0.00003302	0.00007489
21	Yes	12	0.00005682	0.00012317
22	Yes	13	0.00003029	0.00006895
23	Yes	12	0.00005075	0.00011043
24	Yes	13	0.00003294	0.00007473
25	Yes	12	0.00005663	0.00012283
26	Yes	8	0.00000001	0.00014682
27	Yes	14	0.00000001	0.00007454
28	Yes	14	0.00000001	0.00007415
29	Yes	14	0.00000001	0.00007544
30	Yes	14	0.00000001	0.00007706



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31	Yes	14	0.00000001	0.00007864
32	Yes	14	0.00000001	0.00007715
33	Yes	14	0.00000001	0.00007658
34	Yes	14	0.00000001	0.00007639
35	Yes	14	0.00000001	0.00007722
36	Yes	14	0.00000001	0.00007508
37	Yes	14	0.00000001	0.00007343
38	Yes	14	0.00000001	0.00007283
39	Yes	12	0.00000001	0.00013690
40	Yes	12	0.00000001	0.00013228
41	Yes	12	0.00000001	0.00012851
42	Yes	12	0.00000001	0.00013227
43	Yes	12	0.00000001	0.00013661
44	Yes	12	0.00000001	0.00013256
45	Yes	12	0.00000001	0.00012871
46	Yes	12	0.00000001	0.00013266
47	Yes	12	0.00000001	0.00013675
48	Yes	12	0.00000001	0.00013227
49	Yes	12	0.00000001	0.00012844
50	Yes	12	0.00000001	0.00013217

### Maximum Tower Deflections - Service Wind

Section No.	Elevation ft	Horz. Deflection in	Gov. Load Comb.	Tilt °	Twist °
T1	255 - 240	13.034	47	0.434	0.083
T2	240 - 220	11.646	47	0.430	0.081
T3	220 - 200	9.795	47	0.403	0.076
T4	200 - 180	8.058	47	0.368	0.066
T5	180 - 160	6.502	47	0.324	0.055
T6	160 - 140	5.132	47	0.281	0.045
T7	140 - 120	3.950	47	0.239	0.036
T8	120 - 100	2.928	47	0.201	0.028
T9	100 - 80	2.047	47	0.166	0.020
T10	80 - 60	1.325	47	0.130	0.014
T11	60 - 40	0.785	47	0.096	0.010
T12	40 - 20	0.385	47	0.061	0.006
T13	20 - 0	0.131	47	0.029	0.003

### Critical Deflections and Radius of Curvature - Service Wind

Elevation ft	Appurtenance	Gov. Load Comb.	Deflection in	Tilt °	Twist °	Radius of Curvature ft
255.000	Lightning Rod 1"x10'	47	13.034	0.434	0.083	344539
250.000	Sector1(CaAa=13333.33 Sq.in)No Ice	47	12.572	0.434	0.082	344539
238.000	Sector1(CaAa=10000 Sq.in)No Ice	47	11.459	0.429	0.080	218562
226.000	Sector1(CaAa=10000 Sq.in)No Ice	47	10.344	0.413	0.078	54306
214.000	6' MW Dish	47	9.257	0.393	0.074	30339
202.000	6' MW Dish	47	8.224	0.372	0.068	25235

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### Maximum Tower Deflections - Design Wind

Section No.	Elevation ft	Horz. Deflection in	Gov. Load Comb.	Tilt °	Twist °
T1	255 - 240	39.990	18	1.332	0.254
T2	240 - 220	35.734	18	1.319	0.247
T3	220 - 200	30.054	18	1.236	0.232
T4	200 - 180	24.724	18	1.127	0.203
T5	180 - 160	19.949	18	0.995	0.168
T6	160 - 140	15.746	18	0.861	0.137
T7	140 - 120	12.121	18	0.734	0.112
T8	120 - 100	8.985	18	0.617	0.087
T9	100 - 80	6.282	18	0.510	0.062
T10	80 - 60	4.067	18	0.398	0.042
T11	60 - 40	2.407	18	0.293	0.031
T12	40 - 20	1.181	18	0.186	0.019
T13	20 - 0	0.401	18	0.088	0.010

### Critical Deflections and Radius of Curvature - Design Wind

Elevation ft	Appurtenance	Gov. Load Comb.	Deflection in	Tilt °	Twist °	Radius of Curvature ft
255.000	Lightning Rod 1"x10'	18	39.990	1.332	0.254	111964
250.000	Sector1(CaAa=13333.33 Sq.in)No Ice	18	38.575	1.331	0.251	111964
238.000	Sector1(CaAa=10000 Sq.in)No Ice	18	35.163	1.314	0.245	71257
226.000	Sector1(CaAa=10000 Sq.in)No Ice	18	31.740	1.267	0.238	17855
214.000	6' MW Dish	18	28.404	1.205	0.225	9961
202.000	6' MW Dish	18	25.234	1.139	0.207	8274

### Bolt Design Data

Section No.	Elevation ft	Component Type	Bolt Grade	Bolt Size in	Number Of Bolts	Maximum Load per Bolt K	Allowable Load per Bolt K	Ratio Load Allowable	Allowable Ratio	Criteria
T1	255	Diagonal	A325X	0.625	1	3.139	9.598	0.327 ✓	1	Member Block Shear
		Top Girt	A325X	0.625	1	0.198	14.625	0.014 ✓	1	Member Bearing
T2	240	Leg	A325N	0.750	6	2.006	30.101	0.067 ✓	1	Bolt Tension
		Diagonal	A325X	0.625	1	6.694	9.598	0.698 ✓	1	Member Block Shear
T3	220	Leg	A325N	0.750	6	8.165	30.101	0.271 ✓	1	Bolt Tension
		Diagonal	A325X	0.625	1	8.072	10.740	0.752 ✓	1	Member Block Shear
T4	200	Leg	A325N	0.750	6	15.412	30.101	0.512 ✓	1	Bolt Tension
		Diagonal	A325X	0.625	1	8.634	13.025	0.663 ✓	1	Member Block Shear
T5	180	Leg	A325N	1.000	6	22.830	54.517	0.419 ✓	1	Bolt Tension

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Section No.	Elevation ft	Component Type	Bolt Grade	Bolt Size in	Number Of Bolts	Maximum Load per Bolt K	Allowable Load per Bolt K	Ratio Load Allowable	Allowable Ratio	Criteria
T6	160	Diagonal	A325X	0.625	1	8.885	13.025	0.682 ✓	1	Member Block Shear
		Leg	A325N	1.000	6	29.582	54.517	0.543 ✓	1	Bolt Tension
T7	140	Diagonal	A325X	0.625	1	9.474	14.168	0.669 ✓	1	Member Block Shear
		Leg	A325N	1.000	6	35.968	54.517	0.660 ✓	1	Bolt Tension
T8	120	Diagonal	A325X	0.625	1	10.172	14.168	0.718 ✓	1	Member Block Shear
		Leg	A325N	1.250	6	42.175	87.220	0.484 ✓	1	Bolt Tension
T9	100	Diagonal	A325X	0.625	1	11.103	14.168	0.784 ✓	1	Member Block Shear
		Leg	A325N	1.250	6	48.318	87.220	0.554 ✓	1	Bolt Tension
T10	80	Diagonal	A325X	0.625	1	11.993	17.257	0.695 ✓	1	Bolt Shear
		Leg	A325N	1.250	6	54.409	87.220	0.624 ✓	1	Bolt Tension
T11	60	Diagonal	A325X	0.625	1	13.880	26.051	0.533 ✓	1	Member Block Shear
		Horizontal	A325X	0.625	1	7.126	19.195	0.371 ✓	1	Member Block Shear
		Leg	A325N	1.250	6	60.509	87.220	0.694 ✓	1	Bolt Tension
		Diagonal	A325X	0.625	1	14.455	26.051	0.555 ✓	1	Member Block Shear
T12	40	Horizontal	A325X	0.625	1	7.879	21.480	0.367 ✓	1	Member Block Shear
		Leg	A325N	1.250	6	66.513	87.220	0.763 ✓	1	Bolt Tension
		Diagonal	A325X	0.625	1	15.508	28.336	0.547 ✓	1	Member Block Shear
T13	20	Horizontal	A325X	0.625	1	8.649	21.480	0.403 ✓	1	Member Block Shear
		Leg	A325N	1.500	6	72.547	126.472	0.574 ✓	1	Bolt Tension
		Diagonal	A325X	0.625	1	16.448	28.336	0.580 ✓	1	Member Block Shear
		Horizontal	A325X	0.625	1	9.427	26.051	0.362 ✓	1	Member Block Shear

**Compression Checks**

**Leg Design Data (Compression)**

Section No.	Elevation ft	Size	L ft	L <sub>u</sub> ft	Kl/r	A in <sup>2</sup>	P <sub>u</sub> K	φP <sub>n</sub> K	Ratio P <sub>u</sub> / φP <sub>n</sub>
T1	255 - 240	1 3/4	15.014	4.671	128.1 K=1.00	2.405	-11.647	33.103	0.352 <sup>1</sup> ✓
T2	240 - 220	2	20.019	4.754	114.1 K=1.00	3.142	-49.860	54.509	0.915 <sup>1</sup> ✓
T3	220 - 200	2 1/2	20.019	4.754	91.3 K=1.00	4.909	-97.575	120.108	0.812 <sup>1</sup> ✓

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Section No.	Elevation ft	Size	L ft	L <sub>u</sub> ft	Kl/r	A in <sup>2</sup>	P <sub>u</sub> K	φP <sub>n</sub> K	Ratio $\frac{P_u}{\phi P_n}$
T4	200 - 180	2 3/4	20.019	4.754	83.0 K=1.00	5.940	-145.765	161.540	0.902 <sup>1</sup>
T5	180 - 160	3	20.019	4.754	76.1 K=1.00	7.069	-190.263	208.347	0.913 <sup>1</sup>
T6	160 - 140	3 1/4	20.019	4.754	70.2 K=1.00	8.296	-232.973	260.312	0.895 <sup>1</sup>
T7	140 - 120	3 1/2	20.019	4.754	65.2 K=1.00	9.621	-275.412	317.273	0.868 <sup>1</sup>
T8	120 - 100	3 3/4	20.019	4.754	60.9 K=1.00	11.045	-318.085	379.106	0.839 <sup>1</sup>
T9	100 - 80	3 3/4	20.019	4.754	60.9 K=1.00	11.045	-361.443	379.106	0.953 <sup>1</sup>
T10	80 - 60	4	20.019	4.754	57.1 K=1.00	12.566	-399.736	445.717	0.897 <sup>1</sup>
T11	60 - 40	4	20.019	4.754	57.1 K=1.00	12.566	-443.084	445.717	0.994 <sup>1</sup>
T12	40 - 20	4 1/4	20.019	4.754	53.7 K=1.00	14.186	-486.980	517.034	0.942 <sup>1</sup>
T13	20 - 0	4 1/2	20.019	4.754	50.7 K=1.00	15.904	-531.402	593.004	0.896 <sup>1</sup>

<sup>1</sup> P<sub>u</sub> / φP<sub>n</sub> controls

### Diagonal Design Data (Compression)

Section No.	Elevation ft	Size	L ft	L <sub>u</sub> ft	Kl/r	A in <sup>2</sup>	P <sub>u</sub> K	φP <sub>n</sub> K	Ratio $\frac{P_u}{\phi P_n}$
T1	255 - 240	L1 3/4x1 3/4x3/16	7.166	3.605	125.9 K=1.00	0.621	-3.163	11.206	0.282 <sup>1</sup>
T2	240 - 220	L1 3/4x1 3/4x3/16	8.697	4.355	152.2 K=1.00	0.621	-6.126	7.677	0.798 <sup>1</sup>
T3	220 - 200	L2x2x3/16	9.987	4.976	151.6 K=1.00	0.715	-7.157	8.909	0.803 <sup>1</sup>
T4	200 - 180	L2 1/2x2 1/2x3/16	11.329	5.636	136.6 K=1.00	0.902	-8.041	13.828	0.582 <sup>1</sup>
T5	180 - 160	L2 1/2x2 1/2x3/16	12.706	6.314	153.1 K=1.00	0.902	-8.408	11.018	0.763 <sup>1</sup>
T6	160 - 140	L3x3x3/16	14.108	7.005	141.0 K=1.00	1.090	-9.042	15.683	0.577 <sup>1</sup>
T7	140 - 120	L3x3x3/16	15.529	7.705	155.1 K=1.00	1.090	-9.830	12.964	0.758 <sup>1</sup>
T8	120 - 100	L3x3x3/16	16.963	8.412	169.4 K=1.00	1.090	-10.822	10.877	0.995 <sup>1</sup>
T9	100 - 80	L3x3x1/4	18.408	9.134	185.2 K=1.00	1.440	-11.658	12.022	0.970 <sup>1</sup>
T10	80 - 60	2L2 1/2x2 1/2x3/16x3/8	10.829	10.644	168.4 K=1.00	1.800	-13.625	17.598	0.774 <sup>1</sup>

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Section No.	Elevation ft	Size	L ft	L <sub>u</sub> ft	Kl/r	A in <sup>2</sup>	P <sub>u</sub> K	φP <sub>n</sub> K	Ratio $\frac{P_u}{\phi P_n}$
T11	60 - 40	2L 'a' > 60 948 in - 245 2L2 1/2x2 1/2x3/16x3/8	11.508	11.325	179.2 K=1.00	1.800	-14.309	15.610	0.917 <sup>1</sup> ✓
T12	40 - 20	2L 'a' > 64 848 in - 284 2L3x3x3/16x3/8	12.195	12.003	159.7 K=1.00	2.180	-15.443	23.129	0.668 <sup>1</sup> ✓
T13	20 - 0	2L 'a' > 68 564 in - 323 2L3x3x3/16x3/8	12.889	12.687	168.8 K=1.00	2.180	-16.631	20.849	0.798 <sup>1</sup> ✓
		2L 'a' > 72.475 in - 362							

<sup>1</sup> P<sub>u</sub> / φP<sub>n</sub> controls

### Horizontal Design Data (Compression)

Section No.	Elevation ft	Size	L ft	L <sub>u</sub> ft	Kl/r	A in <sup>2</sup>	P <sub>u</sub> K	φP <sub>n</sub> K	Ratio $\frac{P_u}{\phi P_n}$
T10	80 - 60	2L1 3/4x1 3/4x3/16x3/8	19.106	9.386	209.8 K=1.00	1.242	-7.126	8.079	0.882 <sup>1</sup> ✓
T11	60 - 40	2L 'a' > 54.035 in - 250 2L2x2x3/16x3/8	20.606	10.136	198.3 K=1.00	1.430	-7.879	10.268	0.767 <sup>1</sup> ✓
T12	40 - 20	2L 'a' > 58.256 in - 289 2L2x2x3/16x3/8	22.106	10.876	212.8 K=1.00	1.430	-8.649	8.936	0.968 <sup>1</sup> ✓
T13	20 - 0	2L 'a' > 62.506 in - 328 2L2 1/2x2 1/2x3/16x3/8	23.606	11.616	183.8 K=1.00	1.800	-9.427	14.861	0.634 <sup>1</sup> ✓
		2L 'a' > 66.514 in - 367							

<sup>1</sup> P<sub>u</sub> / φP<sub>n</sub> controls

### Top Girt Design Data (Compression)

Section No.	Elevation ft	Size	L ft	L <sub>u</sub> ft	Kl/r	A in <sup>2</sup>	P <sub>u</sub> K	φP <sub>n</sub> K	Ratio $\frac{P_u}{\phi P_n}$
T1	255 - 240	L1 3/4x1 3/4x3/16	4.913	4.767	166.5 K=1.00	0.621	-0.198	6.409	0.031 <sup>1</sup> ✓

<sup>1</sup> P<sub>u</sub> / φP<sub>n</sub> controls

### Inner Bracing Design Data (Compression)

<b>tnxTower</b>  <b>B+T Group</b> 1717 S Boulder Ave, Suite 300 Tulsa, OK 74119 Phone: (918) 587-4630 FAX: (918) 295-0265	<b>Job</b> ATS#: 9537 - West Highway 90 (Site# KYLEX2056)	<b>Page</b> 31 of 34
	<b>Project</b> 255' SST/36.7758, -84.942625	<b>Date</b> 15:09:47 05/02/22
	<b>Client</b> Harmoni Towers	<b>Designed by</b> CCoody

Section No.	Elevation ft	Size	L ft	L <sub>u</sub> ft	Kl/r	A in <sup>2</sup>	P <sub>u</sub> K	φP <sub>n</sub> K	Ratio $\frac{P_u}{\phi P_n}$
T10	80 - 60	L1 3/4x1 3/4x3/16	9.553	9.553	333.8 K=1.00	0.621	-0.011	1.596	0.007 <sup>1</sup> ✓
T11	60 - 40	KL/R > 250 (C) - 255 L1 3/4x1 3/4x3/16	10.303	10.303	360.0 K=1.00	0.621	-0.012	1.372	0.009 <sup>1</sup> ✓
T12	40 - 20	KL/R > 250 (C) - 294 L1 3/4x1 3/4x3/16	11.053	11.053	386.2 K=1.00	0.621	-0.014	1.192	0.011 <sup>1</sup> ✓
T13	20 - 0	KL/R > 250 (C) - 333 L1 3/4x1 3/4x3/16  KL/R > 250 (C) - 370	11.803	11.803	412.4 K=1.00	0.621	-0.014	1.045	0.014 <sup>1</sup> ✓

<sup>1</sup> P<sub>u</sub> / φP<sub>n</sub> controls

### Tension Checks

### Leg Design Data (Tension)

Section No.	Elevation ft	Size	L ft	L <sub>u</sub> ft	Kl/r	A in <sup>2</sup>	P <sub>u</sub> K	φP <sub>n</sub> K	Ratio $\frac{P_u}{\phi P_n}$
T1	255 - 240	1 3/4	15.014	0.500	13.7	2.405	12.041	108.238	0.111 <sup>1</sup> ✓
T2	240 - 220	2	20.019	0.500	12.0	3.142	49.001	141.372	0.347 <sup>1</sup> ✓
T3	220 - 200	2 1/2	20.019	0.500	9.6	4.909	92.482	220.893	0.419 <sup>1</sup> ✓
T4	200 - 180	2 3/4	20.019	0.500	8.7	5.940	136.989	267.281	0.513 <sup>1</sup> ✓
T5	180 - 160	3	20.019	0.500	8.0	7.069	177.507	318.086	0.558 <sup>1</sup> ✓
T6	160 - 140	3 1/4	20.019	0.500	7.4	8.296	215.820	373.310	0.578 <sup>1</sup> ✓
T7	140 - 120	3 1/2	20.019	0.500	6.9	9.621	253.067	432.951	0.585 <sup>1</sup> ✓
T8	120 - 100	3 3/4	20.019	0.500	6.4	11.045	289.923	497.010	0.583 <sup>1</sup> ✓
T9	100 - 80	3 3/4	20.019	0.500	6.4	11.045	326.473	497.010	0.657 <sup>1</sup> ✓
T10	80 - 60	4	20.019	0.500	6.0	12.566	363.071	565.487	0.642 <sup>1</sup> ✓
T11	60 - 40	4	20.019	0.500	6.0	12.566	399.099	565.487	0.706 <sup>1</sup> ✓
T12	40 - 20	4 1/4	20.019	0.500	5.7	14.186	435.305	638.381	0.682 <sup>1</sup> ✓
T13	20 - 0	4 1/2	20.019	0.500	5.3	15.904	471.744	715.694	0.659 <sup>1</sup> ✓

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	<b>Project</b> 255' SST/36.7758, -84.942625	<b>Date</b> 15:09:47 05/02/22
	<b>Client</b> Harmoni Towers	<b>Designed by</b> CCoody

Section No.	Elevation ft	Size	L ft	L <sub>u</sub> ft	Kl/r	A in <sup>2</sup>	P <sub>u</sub> K	φP <sub>n</sub> K	Ratio $\frac{P_u}{\phi P_n}$
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<sup>1</sup> P<sub>u</sub> / φP<sub>n</sub> controls

### Diagonal Design Data (Tension)

Section No.	Elevation ft	Size	L ft	L <sub>u</sub> ft	Kl/r	A in <sup>2</sup>	P <sub>u</sub> K	φP <sub>n</sub> K	Ratio $\frac{P_u}{\phi P_n}$
T1	255 - 240	L1 3/4x1 3/4x3/16	7.435	3.736	83.5	0.360	3.139	17.567	0.179 <sup>1</sup> ✓
T2	240 - 220	L1 3/4x1 3/4x3/16	8.697	4.355	97.3	0.360	6.694	17.567	0.381 <sup>1</sup> ✓
T3	220 - 200	L2x2x3/16	9.987	4.976	96.8	0.431	8.072	21.001	0.384 <sup>1</sup> ✓
T4	200 - 180	L2 1/2x2 1/2x3/16	11.329	5.636	86.9	0.571	8.634	27.838	0.310 <sup>1</sup> ✓
T5	180 - 160	L2 1/2x2 1/2x3/16	12.706	6.314	97.4	0.571	8.885	27.838	0.319 <sup>1</sup> ✓
T6	160 - 140	L3x3x3/16	14.108	7.005	89.5	0.712	9.474	34.712	0.273 <sup>1</sup> ✓
T7	140 - 120	L3x3x3/16	15.529	7.705	98.5	0.712	10.172	34.712	0.293 <sup>1</sup> ✓
T8	120 - 100	L3x3x3/16	16.963	8.412	107.5	0.712	11.103	34.712	0.320 <sup>1</sup> ✓
T9	100 - 80	L3x3x1/4	18.408	9.134	117.9	0.939	11.993	45.794	0.262 <sup>1</sup> ✓
T10	80 - 60	2L2 1/2x2 1/2x3/16x3/8	10.829	10.644	164.2	1.139	13.880	55.529	0.250 <sup>1</sup> ✓
T11	60 - 40	2L 'a' > 60.948 in - 246 2L2 1/2x2 1/2x3/16x3/8	11.508	11.325	174.7	1.139	14.455	55.529	0.260 <sup>1</sup> ✓
T12	40 - 20	2L 'a' > 64.848 in - 285 2L3x3x3/16x3/8	12.195	12.003	153.4	1.424	15.508	69.423	0.223 <sup>1</sup> ✓
T13	20 - 0	2L 'a' > 68.564 in - 324 2L3x3x3/16x3/8	12.889	12.687	162.1	1.424	16.448	69.423	0.237 <sup>1</sup> ✓
		2L 'a' > 72.475 in - 363							✓

<sup>1</sup> P<sub>u</sub> / φP<sub>n</sub> controls

### Horizontal Design Data (Tension)

Section No.	Elevation ft	Size	L ft	L <sub>u</sub> ft	Kl/r	A in <sup>2</sup>	P <sub>u</sub> K	φP <sub>n</sub> K	Ratio $\frac{P_u}{\phi P_n}$
T10	80 - 60	2L1 3/4x1 3/4x3/16x3/8	19.106	9.386	209.8	0.721	7.126	35.134	0.203 <sup>1</sup>

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	<b>Project</b> 255' SST/36.7758, -84.942625	<b>Date</b> 15:09:47 05/02/22
	<b>Client</b> Harmoni Towers	<b>Designed by</b> CCoody

Section No.	Elevation ft	Size	L ft	L <sub>u</sub> ft	Kl/r	A in <sup>2</sup>	P <sub>u</sub> K	φP <sub>n</sub> K	Ratio $\frac{P_u}{\phi P_n}$
T11	60 - 40	2L 'a' > 54.035 in - 250 2L2x2x3/16x3/8	19.894	9.780	190.2	0.862	7.879	42.001	0.188 <sup>1</sup> ✓
T12	40 - 20	2L 'a' > 56.208 in - 307 2L2x2x3/16x3/8	22.106	10.876	211.5	0.862	8.649	42.001	0.206 <sup>1</sup> ✓
T13	20 - 0	2L 'a' > 62.506 in - 328 2L2 1/2x2 1/2x3/16x3/8	22.894	11.259	173.7	1.139	9.427	55.529	0.170 <sup>1</sup> ✓
		2L 'a' > 64.474 in - 385							✓

<sup>1</sup> P<sub>u</sub> / φP<sub>n</sub> controls

### Top Girt Design Data (Tension)

Section No.	Elevation ft	Size	L ft	L <sub>u</sub> ft	Kl/r	A in <sup>2</sup>	P <sub>u</sub> K	φP <sub>n</sub> K	Ratio $\frac{P_u}{\phi P_n}$
T1	255 - 240	L1 3/4x1 3/4x3/16	4.913	4.767	106.5	0.360	0.120	17.567	0.007 <sup>1</sup> ✓

<sup>1</sup> P<sub>u</sub> / φP<sub>n</sub> controls

### Section Capacity Table

Section No.	Elevation ft	Component Type	Size	Critical Element	P K	φP <sub>allow</sub> K	% Capacity	Pass Fail
T1	255 - 240	Leg	1 3/4	1	-11.647	33.103	35.2	Pass
T2	240 - 220	Leg	2	27	-49.860	54.509	91.5	Pass
T3	220 - 200	Leg	2 1/2	54	-97.575	120.108	81.2	Pass
T4	200 - 180	Leg	2 3/4	81	-145.765	161.540	90.2	Pass
T5	180 - 160	Leg	3	108	-190.263	208.347	91.3	Pass
T6	160 - 140	Leg	3 1/4	135	-232.973	260.312	89.5	Pass
T7	140 - 120	Leg	3 1/2	160	-275.412	317.273	86.8	Pass
T8	120 - 100	Leg	3 3/4	187	-318.085	379.106	83.9	Pass
T9	100 - 80	Leg	3 3/4	214	-361.443	379.106	95.3	Pass
T10	80 - 60	Leg	4	241	-399.736	445.717	89.7	Pass
T11	60 - 40	Leg	4	280	-443.084	445.717	99.4	Pass
T12	40 - 20	Leg	4 1/4	319	-486.980	517.034	94.2	Pass
T13	20 - 0	Leg	4 1/2	358	-531.402	593.004	89.6	Pass
T1	255 - 240	Diagonal	L1 3/4x1 3/4x3/16	16	-3.163	11.206	28.2	Pass
							32.7 (b)	
T2	240 - 220	Diagonal	L1 3/4x1 3/4x3/16	28	-6.126	7.677	79.8	Pass
T3	220 - 200	Diagonal	L2x2x3/16	55	-7.157	8.909	80.3	Pass
T4	200 - 180	Diagonal	L2 1/2x2 1/2x3/16	82	-8.041	13.828	58.2	Pass
							66.3 (b)	
T5	180 - 160	Diagonal	L2 1/2x2 1/2x3/16	109	-8.408	11.018	76.3	Pass
T6	160 - 140	Diagonal	L3x3x3/16	136	-9.042	15.683	57.7	Pass
							66.9 (b)	



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Section No.	Elevation ft	Component Type	Size	Critical Element	P K	$\phi P_{allow}$ K	% Capacity	Pass Fail	
T7	140 - 120	Diagonal	L3x3x3/16	163	-9.830	12.964	75.8	Pass	
T8	120 - 100	Diagonal	L3x3x3/16	190	-10.822	10.877	99.5	Pass	
T9	100 - 80	Diagonal	L3x3x1/4	217	-11.658	12.022	97.0	Pass	
T10	80 - 60	Diagonal	2L2 1/2x2 1/2x3/16x3/8	245	-13.625	17.598	77.4	Pass	
T11	60 - 40	Diagonal	2L2 1/2x2 1/2x3/16x3/8	284	-14.309	15.610	91.7	Pass	
T12	40 - 20	Diagonal	2L3x3x3/16x3/8	323	-15.443	23.129	66.8	Pass	
T13	20 - 0	Diagonal	2L3x3x3/16x3/8	362	-16.631	20.849	79.8	Pass	
T10	80 - 60	Horizontal	2L1 3/4x1 3/4x3/16x3/8	250	-7.126	8.079	88.2	Pass	
T11	60 - 40	Horizontal	2L2x2x3/16x3/8	289	-7.879	10.268	76.7	Pass	
T12	40 - 20	Horizontal	2L2x2x3/16x3/8	328	-8.649	8.936	96.8	Pass	
T13	20 - 0	Horizontal	2L2 1/2x2 1/2x3/16x3/8	367	-9.427	14.861	63.4	Pass	
T1	255 - 240	Top Girt	L1 3/4x1 3/4x3/16	5	-0.198	6.409	3.1	Pass	
T10	80 - 60	Inner Bracing	L1 3/4x1 3/4x3/16	255	-0.011	1.596	0.7	Pass	
T11	60 - 40	Inner Bracing	L1 3/4x1 3/4x3/16	294	-0.012	1.372	0.9	Pass	
T12	40 - 20	Inner Bracing	L1 3/4x1 3/4x3/16	333	-0.014	1.192	1.1	Pass	
T13	20 - 0	Inner Bracing	L1 3/4x1 3/4x3/16	370	-0.014	1.045	1.4	Pass	
							Summary		
							Leg (T11)	99.4	Pass
							Diagonal (T8)	99.5	Pass
							Horizontal (T12)	96.8	Pass
							Top Girt (T1)	3.1	Pass
							Inner Bracing (T13)	1.4	Pass
							Bolt Checks	78.4	Pass
							<b>RATING =</b>	<b>99.5</b>	<b>Pass</b>

**EXHIBIT D**  
**COMPETING UTILITIES, CORPORATIONS, OR PERSONS LIST**

# KY Public Service Commission

## Master Utility Search

- Search for the utility of interest by using any single or combination of criteria.
- Enter Partial names to return the closest match for Utility Name and Address/City/Contact entries.

Utility ID	Utility Name	Address/City/Contact	Utility Type	Status	
<a href="#">View</a>	4111300	2600Hz, Inc. dba ZSWITCH	Cellular	D	San Francisco CA
<a href="#">View</a>	4108300	Air Voice Wireless, LLC	Cellular	B	Houston TX
<a href="#">View</a>	4110650	Alliant Technologies of KY, L.L.C.	Cellular	D	Morristown NJ
<a href="#">View</a>	4111900	ALLNETAIR, INC.	Cellular	D	West Palm Beach FL
<a href="#">View</a>	44451184	Alltel Corporation d/b/a Verizon Wireless	Cellular	A	Lisle IL
<a href="#">View</a>	4110850	AltaWorx, LLC	Cellular	D	Fairhope AL
<a href="#">View</a>	4107800	American Broadband and Telecommunications Company	Cellular	D	Toledo OH
<a href="#">View</a>	4108650	AmeriMex Communications Corp.	Cellular	A	Safety Harbor FL
<a href="#">View</a>	4105100	AmeriVision Communications, Inc. d/b/a Affinity 4	Cellular	D	Virginia Beach VA
<a href="#">View</a>	4105700	Assurance Wireless USA, L.P.	Cellular	A	Atlanta GA
<a href="#">View</a>	4108600	BCN Telecom, Inc.	Cellular	D	Morristown NJ
<a href="#">View</a>	4106000	Best Buy Health, Inc. d/b/a GreatCall d/b/a Jitterbug	Cellular	A	San Diego CA
<a href="#">View</a>	4111050	BlueBird Communications, LLC	Cellular	D	New York NY
<a href="#">View</a>	4202300	Bluegrass Wireless, LLC	Cellular	A	Elizabethtown KY
<a href="#">View</a>	4107600	Boomerang Wireless, LLC	Cellular	C	Hiawatha IA
<a href="#">View</a>	4105500	BullsEye Telecom, Inc.	Cellular	D	Southfield MI
<a href="#">View</a>	4100700	Cellco Partnership dba Verizon Wireless	Cellular	A	Basking Ridge NJ

▼ Active ▼

<a href="#">View</a>	4106600	Cintex Wireless, LLC	Cellular	D	Houston	TX
<a href="#">View</a>	4111150	Comcast OTR1, LLC	Cellular	B	Phoeniexville	PA
<a href="#">View</a>	4101900	Consumer Cellular, Incorporated	Cellular	A	Portland	OR
<a href="#">View</a>	4112700	Cox Wireless, LLC	Cellular	C	Atlanta	GA
<a href="#">View</a>	4108850	Cricket Wireless, LLC	Cellular	A	San Antonio	TX
<a href="#">View</a>	4111500	CSC Wireless, LLC d/b/a Altice Wireless	Cellular	D	Long Island City	NY
<a href="#">View</a>	10640	Cumberland Cellular Partnership	Cellular	A	Elizabethtown	KY
<a href="#">View</a>	4111650	DataBytes, Inc.	Cellular	D	Rogers	AR
<a href="#">View</a>	4112000	DISH Wireless L.L.C.	Cellular	A	Englewood	CO
<a href="#">View</a>	4111200	Dynalink Communications, Inc.	Cellular	C	Brooklyn	NY
<a href="#">View</a>	4111800	Earthlink, LLC	Cellular	D	Atlanta	GA
<a href="#">View</a>	4101000	East Kentucky Network, LLC dba Appalachian Wireless	Cellular	A	Ivel	KY
<a href="#">View</a>	4002300	Easy Telephone Service Company dba Easy Wireless	Cellular	D	Ocala	FL
<a href="#">View</a>	4109500	Enhanced Communications Group, LLC	Cellular	D	Bartlesville	OK
<a href="#">View</a>	4110450	Excellus Communications, LLC	Cellular	D	Chattanooga	TN
<a href="#">View</a>	4112400	Excess Telecom Inc.	Cellular	D	Beverly Hills	CA
<a href="#">View</a>	4105900	Flash Wireless, LLC	Cellular	D	Concord	NC
<a href="#">View</a>	4104800	France Telecom Corporate Solutions L.L.C.	Cellular	D	Herndon	VA
<a href="#">View</a>	4111750	Gabb Wireless, Inc.	Cellular	D	Provo	UT
<a href="#">View</a>	4112300	Gen Mobile Inc.	Cellular	C	Redondo Beach	CA
<a href="#">View</a>	4109350	Global Connection Inc. of America	Cellular	D	Newport	KY
<a href="#">View</a>	4102200	Globalstar USA, LLC	Cellular	C	Covington	LA
<a href="#">View</a>	4109600	Google North America Inc.	Cellular	A	Mountain View	CA
<a href="#">View</a>	33350363	Granite Telecommunications, LLC	Cellular	D	Quincy	MA
<a href="#">View</a>	4111350	HELLO MOBILE TELECOM LLC	Cellular	D	Dania Beach	FL
<a href="#">View</a>	4103100	i-Wireless, LLC	Cellular	B	Newport	KY
<a href="#">View</a>	4112550	IDT Domestic Telecom, Inc.	Cellular	C	Newark	NJ
<a href="#">View</a>	4109800	IM Telecom, LLC d/b/a Infiniti Mobile	Cellular	D	Plano	TX
<a href="#">View</a>	4112650	Insight Mobile, Inc.	Cellular	C	Los Angeles	CA
<a href="#">View</a>	4111950	J Rhodes Enterprises LLC	Cellular	D	Gulf Breeze	FL
<a href="#">View</a>	22215360	KDDI America, Inc.	Cellular	D	Staten Island	NY
<a href="#">View</a>	10872	Kentucky RSA #1 Partnership	Cellular	A	Basking Ridge	NJ
<a href="#">View</a>	10680	Kentucky RSA #3 Cellular General	Cellular	A	Elizabethtown	KY
<a href="#">View</a>	10681	Kentucky RSA #4 Cellular General	Cellular	A	Elizabethtown	KY
<a href="#">View</a>	4112200	Lexvor Inc.	Cellular	D	Irvine	CA

<a href="#">View</a>	4111250	Liberty Mobile Wireless, LLC	Cellular	A	Sunny Isles Beach	FL
<a href="#">View</a>	4111400	Locus Telecommunications, LLC	Cellular	A	Fort Lee	NJ
<a href="#">View</a>	4107300	Lycamobile USA, Inc.	Cellular	D	Newark	NJ
<a href="#">View</a>	4112500	Marconi Wireless Holdings, LLC	Cellular	C	Westlake Village	CA
<a href="#">View</a>	4108800	MetroPCS Michigan, LLC	Cellular	A	Bellevue	WA
<a href="#">View</a>	4111700	Mint Mobile, LLC	Cellular	C	Costa Mesa	CA
<a href="#">View</a>	4111850	Mobi, Inc.	Cellular	D	Honolulu	HI
<a href="#">View</a>	4109400	NetZero Wireless, Inc. dba magicJack Wireless	Cellular	D	West Palm Beach	FL
<a href="#">View</a>	4202400	New Cingular Wireless PCS, LLC dba AT&T Mobility, PCS	Cellular	A	San Antonio	TX
<a href="#">View</a>	4112350	NewPhone Wireless, L.L.C.	Cellular	D	Houston	TX
<a href="#">View</a>	4000800	Nextel West Corporation	Cellular	D	Overland Park	KS
<a href="#">View</a>	4110700	Norcell, LLC	Cellular	D	Buford	GA
<a href="#">View</a>	4001300	NPCR, Inc. dba Nextel Partners	Cellular	D	Overland Park	KS
<a href="#">View</a>	4001800	OnStar, LLC	Cellular	A	Detroit	MI
<a href="#">View</a>	4110750	Onvoy Spectrum, LLC	Cellular	D	Chicago	IL
<a href="#">View</a>	4109050	Patriot Mobile LLC	Cellular	D	Irving	TX
<a href="#">View</a>	4110250	Plintron Technologies USA LLC	Cellular	D	Bellevue	WA
<a href="#">View</a>	33351182	PNG Telecommunications, Inc. dba PowerNet Global Communications	Cellular	D	Cincinnati	OH
<a href="#">View</a>	4107700	Puretalk Holdings, Inc.	Cellular	A	Covington	GA
<a href="#">View</a>	4106700	Q Link Wireless, LLC	Cellular	A	Dania	FL
<a href="#">View</a>	4108700	Ready Wireless, LLC	Cellular	C	Hiawatha	IA
<a href="#">View</a>	4110500	Republic Wireless, Inc.	Cellular	A	Raleigh	NC
<a href="#">View</a>	4106200	Rural Cellular Corporation	Cellular	A	Basking Ridge	NJ
<a href="#">View</a>	4108550	Sage Telecom Communications, LLC dba TruConnect	Cellular	A	Los Angeles	CA
<a href="#">View</a>	4109150	SelecTel, Inc. d/b/a SelecTel Wireless	Cellular	D	Fremont	NE
<a href="#">View</a>	4110150	Spectrotel of the South LLC dba Touch Base Communications	Cellular	D	Neptune	NJ
<a href="#">View</a>	4111450	Spectrum Mobile, LLC	Cellular	A	St. Louis	MO
<a href="#">View</a>	4200100	Sprint Spectrum, L.P.	Cellular	A	Atlanta	GA
<a href="#">View</a>	4200500	SprintCom, LLC	Cellular	A	Atlanta	GA
<a href="#">View</a>	4111600	STX Group LLC dba Twigby	Cellular	D	Murfreesboro	TN
<a href="#">View</a>	4202200	T-Mobile Central, LLC dba T-Mobile	Cellular	A	Bellevue	WA
<a href="#">View</a>	4002500	TAG Mobile, LLC	Cellular	D	Plano	TX
<a href="#">View</a>	4109700	Telecom Management, Inc. dba Pioneer Telephone	Cellular	D	Saco	ME
<a href="#">View</a>	4107200	Telefonica USA, Inc.	Cellular	D	Miami	FL
<a href="#">View</a>	4112100	Tello LLC	Cellular	C	Atlanta	GA
	4108900	Telrite Corporation	Cellular	D	Covington	GA

<a href="#">View</a>						
<a href="#">View</a>	4108450	Tempo Telecom, LLC	Cellular	D	Dallas	TX
<a href="#">View</a>	4109000	Ting, Inc.	Cellular	B	Toronto	ON
<a href="#">View</a>	4110400	Torch Wireless Corp.	Cellular	D	Jacksonville	FL
<a href="#">View</a>	4103300	Touchtone Communications, Inc.	Cellular	D	Cedar Knolls	NJ
<a href="#">View</a>	4104200	TracFone Wireless, Inc.	Cellular	D	Miami	FL
<a href="#">View</a>	4112250	TROOMI WIRELESS, Inc.	Cellular	D	Lehi	UT
<a href="#">View</a>	4002000	Truphone, Inc.	Cellular	D	Durham	NC
<a href="#">View</a>	4112600	Tube Incorporated dba Reach Mobile	Cellular	D	Chelmsford	MA
<a href="#">View</a>	4112750	Unity Wireless, Inc.	Cellular	C	Pembroke Pines	FL
<a href="#">View</a>	4110300	UVNV, Inc. d/b/a Mint Mobile	Cellular	D	Costa Mesa	CA
<a href="#">View</a>	10630	Verizon Americas LLC dba Verizon Wireless	Cellular	A	Basking Ridge	NJ
<a href="#">View</a>	4110800	Visible Service LLC	Cellular	D	Basking Ridge	NJ
<a href="#">View</a>	4106500	WiMacTel, Inc.	Cellular	D	Calgary, AB	CA
<a href="#">View</a>	4110950	Wing Tel Inc.	Cellular	D	New York	NY
<a href="#">View</a>	4112150	Zefcom, LLC	Cellular	C	Wichita Falls	TX

**EXHIBIT E**  
**FAA**



Mail Processing Center  
 Federal Aviation Administration  
 Southwest Regional Office  
 Obstruction Evaluation Group  
 10101 Hillwood Parkway  
 Fort Worth, TX 76177

Aeronautical Study No.  
 2021-ASO-37305-OE

Issued Date: 10/25/2021

Andrew Smith  
 RESCOM Environmental Corp  
 PO Box 361  
 Petoskey, MI 49770

**\*\* DETERMINATION OF NO HAZARD TO AIR NAVIGATION \*\***

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure: Antenna Tower West Highway 90 (1)  
 Location: Monticello, KY  
 Latitude: 36-46-32.90N NAD 83  
 Longitude: 84-56-33.50W  
 Heights: 1221 feet site elevation (SE)  
 267 feet above ground level (AGL)  
 1488 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure does not exceed obstruction standards and would not be a hazard to air navigation provided the following condition(s), if any, is(are) met:

As a condition to this Determination, the structure is to be marked/lighted in accordance with FAA Advisory circular 70/7460-1 M, Obstruction Marking and Lighting, a med-dual system-Chapters 4,8(M-Dual),&15.

Any failure or malfunction that lasts more than thirty (30) minutes and affects a top light or flashing obstruction light, regardless of its position, should be reported immediately to (877) 487-6867 so a Notice to Airmen (NOTAM) can be issued. As soon as the normal operation is restored, notify the same number.

It is required that FAA Form 7460-2, Notice of Actual Construction or Alteration, be e-filed any time the project is abandoned or:

- At least 10 days prior to start of construction (7460-2, Part 1)
- Within 5 days after the construction reaches its greatest height (7460-2, Part 2)

This determination expires on 04/25/2023 unless:

- (a) the construction is started (not necessarily completed) and FAA Form 7460-2, Notice of Actual Construction or Alteration, is received by this office.
- (b) extended, revised, or terminated by the issuing office.
- (c) the construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the FCC, within



6 months of the date of this determination. In such case, the determination expires on the date prescribed by the FCC for completion of construction, or the date the FCC denies the application.

**NOTE: REQUEST FOR EXTENSION OF THE EFFECTIVE PERIOD OF THIS DETERMINATION MUST BE E-FILED AT LEAST 15 DAYS PRIOR TO THE EXPIRATION DATE. AFTER RE-EVALUATION OF CURRENT OPERATIONS IN THE AREA OF THE STRUCTURE TO DETERMINE THAT NO SIGNIFICANT AERONAUTICAL CHANGES HAVE OCCURRED, YOUR DETERMINATION MAY BE ELIGIBLE FOR ONE EXTENSION OF THE EFFECTIVE PERIOD.**

This determination is based, in part, on the foregoing description which includes specific coordinates, heights, frequency(ies) and power. Any changes in coordinates, heights, and frequencies or use of greater power, except those frequencies specified in the Colo Void Clause Coalition; Antenna System Co-Location; Voluntary Best Practices, effective 21 Nov 2007, will void this determination. Any future construction or alteration, including increase to heights, power, or the addition of other transmitters, requires separate notice to the FAA. This determination includes all previously filed frequencies and power for this structure.

If construction or alteration is dismantled or destroyed, you must submit notice to the FAA within 5 days after the construction or alteration is dismantled or destroyed.

This determination does include temporary construction equipment such as cranes, derricks, etc., which may be used during actual construction of the structure. However, this equipment shall not exceed the overall heights as indicated above. Equipment which has a height greater than the studied structure requires separate notice to the FAA.

This determination concerns the effect of this structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

A copy of this determination will be forwarded to the Federal Communications Commission (FCC) because the structure is subject to their licensing authority.

If we can be of further assistance, please contact our office at (718) 553-2611, or [angelique.eersteling@faa.gov](mailto:angelique.eersteling@faa.gov). On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2021-ASO-37305-OE.

**Signature Control No: 495056009-498594711**

( DNE )

Angelique Eersteling  
Technician

Attachment(s)  
Case Description  
Frequency Data  
Map(s)

cc: FCC

**Case Description for ASN 2021-ASO-37305-OE**

This study should replace 2021-ASO-34273-OE for a height increase.

Telecommunications tower

**Frequency Data for ASN 2021-ASO-37305-OE**

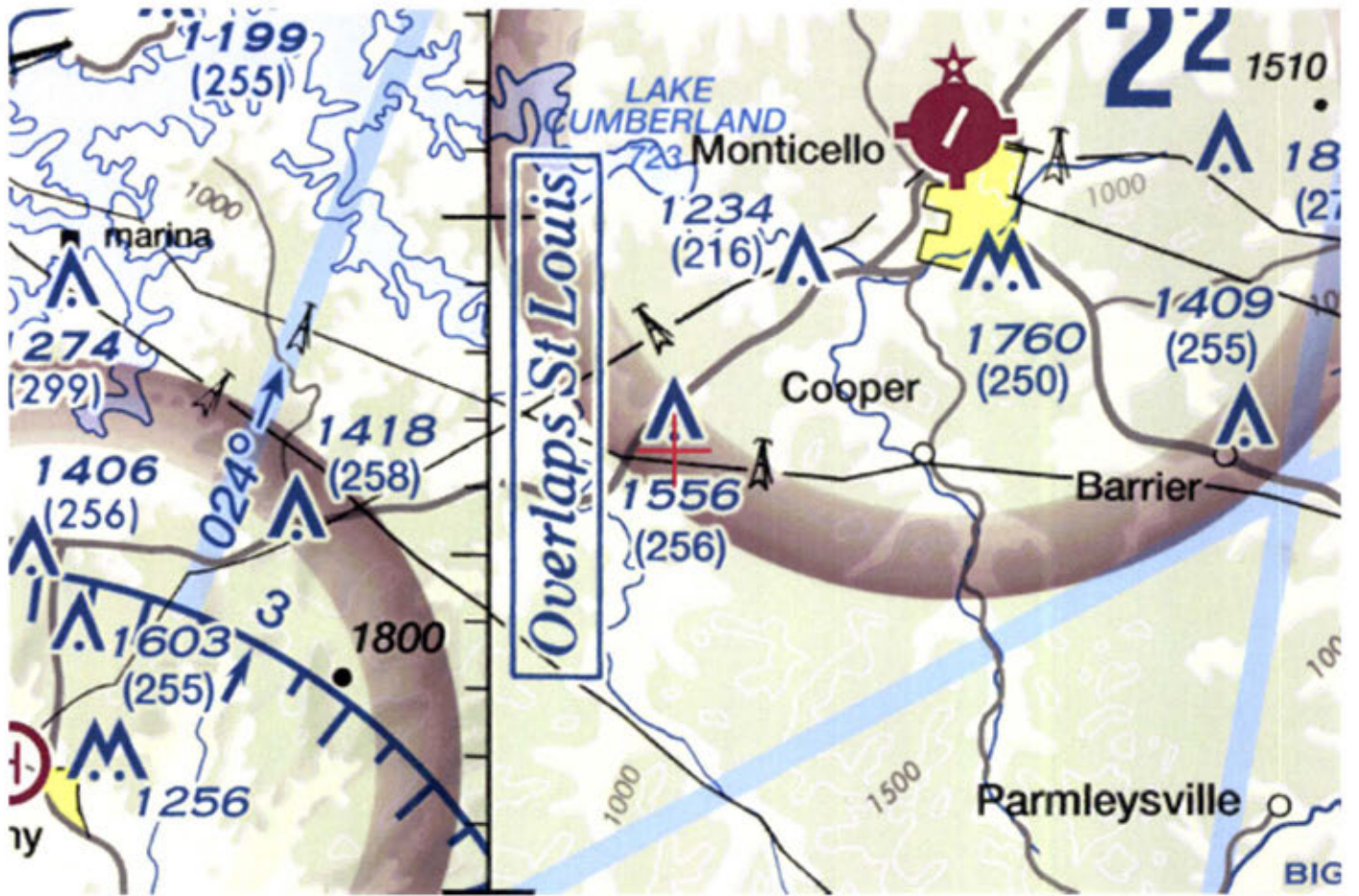
<b>LOW FREQUENCY</b>	<b>HIGH FREQUENCY</b>	<b>FREQUENCY UNIT</b>	<b>ERP</b>	<b>ERP UNIT</b>
6	7	GHz	55	dBW
6	7	GHz	42	dBW
10	11.7	GHz	55	dBW
10	11.7	GHz	42	dBW
17.7	19.7	GHz	55	dBW
17.7	19.7	GHz	42	dBW
21.2	23.6	GHz	55	dBW
21.2	23.6	GHz	42	dBW
614	698	MHz	1000	W
614	698	MHz	2000	W
698	806	MHz	1000	W
806	901	MHz	500	W
806	824	MHz	500	W
824	849	MHz	500	W
851	866	MHz	500	W
869	894	MHz	500	W
896	901	MHz	500	W
901	902	MHz	7	W
929	932	MHz	3500	W
930	931	MHz	3500	W
931	932	MHz	3500	W
932	932.5	MHz	17	dBW
935	940	MHz	1000	W
940	941	MHz	3500	W
1670	1675	MHz	500	W
1710	1755	MHz	500	W
1850	1910	MHz	1640	W
1850	1990	MHz	1640	W
1930	1990	MHz	1640	W
1990	2025	MHz	500	W
2110	2200	MHz	500	W
2305	2360	MHz	2000	W
2305	2310	MHz	2000	W
2345	2360	MHz	2000	W
2496	2690	MHz	500	W

Verified Map for ASN 2021-ASO-37305-OE



TOPO Map for ASN 2021-ASO-37305-OE





**EXHIBIT F**  
**KENTUCKY AIRPORT ZONING COMMISSION**



**KENTUCKY AIRPORT ZONING COMMISSION**

ANDY BESHEAR  
Governor

Office of Audits, 200 Mero Street, 4th floor  
Frankfort, KY 40622  
[www.transportation.ky.gov](http://www.transportation.ky.gov)  
502-782-4043

JIM GRAY  
Secretary

**APPROVAL OF APPLICATION**

February 15, 2022

**APPLICANT**

Harmoni Towers  
B&T Group – Jeremy Siegel  
10801 Executive Center Dr. Ste. 100  
Little Rock, AR 72211

**SUBJECT:** AS-WAYNE-EKQ-2022-006

**STRUCTURE:** Antenna Tower  
**LOCATION:** Monticello, KY  
**COORDINATES:** 36° 46' 32.90" N / 84° 56' 33.50" W  
**HEIGHT:** 267' AGL/1488' AMSL

The Kentucky Airport Zoning Commission has approved your application for a permit to construct 267' AGL/ 1488' AMSL Antenna Tower near Monticello, KY 36° 46' 32.90" N / 84° 56' 33.50" W.

This permit is valid for a period of 18 Month(s) from its date of issuance. If construction is not completed within said 18-Month period, this permit shall lapse and be void, and no work shall be performed without the issuance of a new permit.

Dual red & white medium intensity obstruction lighting is required.

*Randall S. Royer*

Randall S. Royer, Executive Director  
Office of Audits  
Acting Administrator  
[Randall.Royer@ky.gov](mailto:Randall.Royer@ky.gov)  
[Jason.Salazar-Munoz@ky.gov](mailto:Jason.Salazar-Munoz@ky.gov)



An Equal Opportunity Employer M/F/D



**EXHIBIT G**  
**GEOTECHNICAL REPORT**



## ENVIRONMENTAL CORPORATION OF AMERICA

ENVIRONMENTAL | GEOTECHNICAL | WETLANDS | ECOLOGY | CULTURAL RESOURCES

# Geotechnical Investigation

### **KYLEX2056 (West Highway 90)**

**571 Holly Hill Tree Lane  
Monticello, Wayne County, Kentucky**

ECA Project No. 22-000930



### **SUBMITTED TO:**

B+T Group Holdings, Inc.  
1717 S. Boulder Ave., Suite 300  
Tulsa, OK 74119

### **PREPARED BY:**

Environmental Corporation of America  
1375 Union Hill Industrial Court, Suite A  
Alpharetta, GA 30004



## ENVIRONMENTAL CORPORATION OF AMERICA

ENVIRONMENTAL | GEOTECHNICAL | WETLANDS | ECOLOGY | CULTURAL RESOURCES

April 22, 2022

B+T Group Holdings, Inc.  
1717 S. Boulder Ave., Suite 300  
Tulsa, OK 74119

Attention: Ms. Patricia Parr, Project Manager II

**Subject: Geotechnical Investigation Report  
KYLEX2056 (West Highway 90)  
571 Holly Hill Tree Lane  
Monticello, Wayne County, Kentucky  
ECA Project No. 22-000930**

Dear Ms. Parr:

Environmental Corporation of America (ECA) is pleased to submit this report of our geotechnical investigation for the proposed project. Our services were provided as authorized by B+T Group Holdings, Inc., via a purchase order dated March 16, 2022.

This report presents a review of the information provided to us, a description of the site and subsurface conditions, and our recommendations. The appendices contain a Site Location Map, a Boring Location Plan, a Boring Log, Rock Quality Designation (RQD) Index, and Laboratory Testing Results.

We will be happy to discuss our recommendations with you and look forward to providing the additional studies or services necessary to complete this project. We appreciate the opportunity to be of service. Please call us with any questions at (770) 667-2040.

Sincerely,  
**Environmental Corporation of America**

Mrs. Athulya Balakrishnan, P.E.  
Project Engineer



Héctor A. Acosta, M.S.C.E., P.E.  
Principal Geotechnical Engineer  
State of Kentucky P.E. #31144

# Geotechnical Investigation

## Purpose and Scope of Work

The purpose of this investigation was to obtain specific subsurface data at the site and to provide geotechnical related parameters for the design and construction of the foundations for a proposed self-supported lattice tower.

Our scope of work included the following:

- One (1) soil test boring was drilled to a depth of 11 feet below the ground surface (bgs).
- Figure 1 shows the Site Location Map. Figure 2 shows the Boring Location Plan.
- Standard penetration tests (SPTs) were performed to obtain soil samples and SPT N-values, in accordance with ASTM D-1586. Rock core drilling and sampling of rock was performed in accordance with ASTM D-2113.
- The depth to groundwater, if any, was measured in the boring after drilling was completed.
- Natural moisture content ( $W_{CN}$ ) tests were performed on a selected number of soil samples in accordance with ASTM D-2216.
- Unconfined compressive strength ( $q_u$ ) index tests were performed using the pocket penetrometer test or the spring tester test (whenever possible).
- The soil samples were visually classified in accordance with ASTM D-2488 and a boring log was prepared.
- The soil conditions were evaluated by a registered professional engineer and this geotechnical report was prepared with our recommendations.

We have recommended design parameters and settlements based on the SPT N-values, an examination of the soil samples, and our experience with similar soil conditions and structures.

## Project Information

We were provided with a project site survey prepared by Point to Point Land Surveyor, Inc and dated March 2, 2022. The proposed tower would be located at 571 Holly Hill Tree Lane, near Monticello, Wayne County, in Kentucky.

We understand that plans include constructing a 255-foot tall self-supported lattice tower, approximately as shown in Figure 2. We assume that the equipment building/cabinet will be a prefabricated structure supported on a perimeter grade beam, spread footing or turndown slab. The project also includes the construction of a 12-foot-wide gravel access drive within a 30-foot wide ingress/egress and utility easement.

## Field Drilling Work

The field drilling work was conducted on April 11, 2022. Information obtained from the boring log was used to help us evaluate the subsurface conditions and to assist in formulating our recommendations. The site was staked at the time of our field visit.

## Subsurface Soil Conditions (Boring B-1)

In general, soils encountered at the site initially consisted of an initial layer topsoil to an approximate depth of 1-foot, underlain by hard to very hard Limestone Rock to the full depth drilled of 11 feet. Auger refusal was encountered at a depth of 1-foot.

The following table presents a summary of the existing soil conditions.

Soil Profile Depth (ft)		Type of Soils (Soil Manual Classification)	*Soil Symbol	SPT N-Values bpf (blows per foot)
0	1	Fill (topsoil)	Fill	-
1	11	Hard to very hard Limestone Rock	Limestone	**RQD between 64% and 100%

\*Based in the Unified Soil Classification System (USCS) and the Soil and Rock Logging, Classification, and Presentation Manual (Caltrans 2010 ed.)

\*\*RQD: Rock Quality Designation Index.

For Boring B-1 an NQ rock core was obtained from approximately 1 to 11 feet. The encountered Limestone Rock was manually described as coarse textured, white/light grey, hard to very hard, moderately to slightly weathered, and moderately fractured.

The Percent Recovery (Rec.) and Rock Quality Designation (RQD) Index obtained during rock core drilling are described in the following table. Based on RQD value obtained, the rock encountered at the site is considered fair to excellent rock quality.

Boring Log	Core Length Run Depth (feet)	Percent Recovery (Rec.) (inches) / (%)	Rock Quality Designation (RQD) Index (inches) / (%)
B-1	1 to 6	42.0 / 70	38.4 / 64
	6 to 11	60.0 / 100	60.0 / 100

Please refer to Appendix C for the Rock Quality Designation (RQD) Index table per ASTM D-6032.

ECA also conducted Compressive Strength of Intact Rock Cores measurements on selected rock specimens based on ASTM D7012- Method C. Please refer Appendix D for the Laboratory Testing Results.

### Groundwater Level Conditions

At the time of drilling (ATD), a groundwater level was not encountered within the depths drilled. It should be noted that groundwater level observations made within mostly cohesive soils during drilling could be misleading. It should be anticipated that the groundwater level will fluctuate due to seasonal climatic changes during the year. To determine actual groundwater level measurements, groundwater levels should be measured using observation wells installed for prolonged periods.

### Foundation Construction Recommendations

The subsurface conditions are suitable for the support of the proposed tower using either a shallow foundation system or a deep foundation system.

#### Shallow Foundation System

For the case of a pad and pier foundation the existing rock is capable of a maximum net allowable soil bearing pressure ( $q_{ALL}$ ) of 20,000 psf (pounds per square foot) at a minimum depth of foundation ( $D_f$ ) of 5 feet below existing grade elevation. Total and differential settlement should be considered negligible.

A safety factor of 3 and a wet soil unit weight ( $\gamma_{wet}$ ) 155 pcf (pounds per cubic foot) were considered for soil bearing computations.

The provided rock bearing pressure assumes the bottom of excavation would be dry and stable. The bottom of excavation should be proof rolled, observed, and inspected prior to placing any concrete. For more details, please refer to our Fill Placement section.

#### Deep Foundation System

Based on our review of the existing subsurface conditions encountered in the boring, we offer the following average rock parameters for the design of a proposed drilled shaft.

Boring Depth (feet)		*Unit Weight $\gamma_{wet} / \gamma_b$ (pcf)	Friction Angle $\phi$ (deg)	Rock $q_u$ (psf)	$K_p$	Allowable Skin Friction $f_s$ (psf)	Allowable Bearing Pressure $q_{ALL}$ (psf)	Soil Modulus $K_H$ (pci)
0	1	-	0	-	1.00	-	-	-
1	6	155	0	20,000	1.00	3,000	-	1,250
6	11	160	0	25,000	1.00	3,750	35,000	1,450

Notes: A safety factor of 2 is used for allowable skin friction ( $f_s$ ). A safety factor of 5 is used for allowable soil bearing pressure ( $q_{ALL}$ ). \*Below the groundwater level designer should consider the buoyant unit weight ( $\gamma_b$ ) =  $\gamma_{wet} - \gamma_{water}$ .

Active earth pressure coefficient  $K_A = \tan^2(45 - \phi/2) = 1/K_P$ .

At rest earth pressure coefficient  $K_O = 1 - \sin(\phi)$ .

Proposed drilled shaft should be designed using a combination of point bearing and friction forces. Estimated settlement for the proposed drilled shaft foundation should be considered negligible if the bottom of foundation is placed at or below 6 and 11 ft bgs.

Final shaft diameter (D) and embedment length (L) will depend upon final tower loading conditions. For these foundations ECA recommends a minimum concrete strength ( $f'_c$ ) of 4,000 psi (pounds per square inch).

As an alternative, project designer may consider the use of micropiles under a pile cap foundation. For the allowable bond capacity ( $P_{GALL}$ ), a micropile should be installed within the existing hard limestone rock. Based on the current soil conditions this analysis will be considered mainly frictional. Using standard micropile casing sizes, the table below establishes a relationship between allowable bond capacity and total length (L).

(Free Length) Grouted Length (feet)	Total Length (L) (feet)	Allowable Micropile Bond Capacity ( $P_{GALL}$ ) (Kips)		
		Micropile Casing Diameter (inches)		
		6 inches	7 inches	9.625 inches
(1) 10	11	226.2	263.9	362.9
(1) 15	16	339.3	395.8	544.3
(1) 20	21	452.4	527.8	725.7
(1) 25	26	565.5	659.7	907.1
(1) 30	31	678.6	791.7	1,088.6

An anchor free length of 1-foot was considered. An allowable grout/bond stress of 500 psi was considered for the existing rock. A safety factor of 2.5 was applied to the ultimate grout/bond stress.

Please refer to Figure 3 in Appendix A for a micropile construction detail.

### Building Foundations

The proposed equipment building can be supported on a perimeter grade beam, spread footing or turndown slab foundation. For the design of the building foundation the soils are capable of a maximum net allowable soil bearing pressure ( $q_{ALL}$ ) of 2,000 psf. A minimum depth of foundation ( $D_f$ ) of 1.5 feet below existing grade elevation. Total and differential settlements should be less than 1/2-inch and 1/4-inch, respectively.

The ground floor slabs may be designed as conventional slabs on grade and bearing on the existing soils or compacted fill using a Modulus of Subgrade Reaction ( $K_s$ ) of 155 pci (pounds per cubic inch). The bearing pad should be prepared and compacted prior to placing any concrete. The prospective contractor should verify the Fill Placement section of this report.

### Soil Site Class

Based on our site evaluation and the information provided by the International Building Code (IBC 2012 / ASCE 7-10), to perform a dynamic analysis the clients design engineer should consider that the soils at the site fall under a **Rock Profile and Site Class B**.

### Foundation Excavations

A groundwater level was not encountered during excavation. Therefore, the prospective contractor *would not need to consider* excavation dewatering.

**A very hard limestone rock was encountered at the site in Boring B-1 at the ground level. The prospective contractor should consider specialized equipment for hard rock excavation or caisson drilling.**

To avoid softening of the shallow soils exposed at the foundation bearing level, excavations should not be left open for extended periods prior to placing reinforcing steel and concrete. If rain or freezing weather is expected, excavations should not be completed. Leaving the excavations at least 1-foot above final grade should protect the bearing soils from deterioration.

If the excavation must remain open overnight or if rainfall becomes imminent while the bearing soils are exposed, we recommend that a 2 to 4-inch thick "mud-mat" of "lean" (2,000 psi) concrete be placed on the bearing soils before the placement of reinforcing steel. If the bearing soils are softened by surface water intrusion or exposure, the softened soils must be removed from the foundation excavation bottom immediately prior to placement of concrete.

### Fill Placement

If required, borrow materials for fill, **unless otherwise specified**, should consist of essentially granular material (GM, GP, GM, GC, SW, SP or SM Unified Soil Classification System); A-2-4 or better, AASHTO Classification, as approved by the **Project Geotechnical Engineer**. These should be free from vegetation and should not contain rocks greater than 6 inches in size.

The amount of fill required for this project depends on the planned final grades, but we expect it to be minimal. Any fill or backfill required to attain finished grade should be placed in layers not exceeding 8 to 10-inch thick lifts and compacted to not less than 95% of the Standard Proctor Maximum dry density, as determined by method (ASTM D-698). The soil moisture content should be close to the optimum moisture content. All required fills should meet the specified compaction criteria.

ECA does not know the capability of the surficial soil to support pavements. However, we suggest that the upper soils be replaced by granular fill in areas of heavy traffic to improve the subgrade support capabilities and moisture sensitivity.

Field density tests should be conducted at routine intervals as the fill is being placed to verify that adequate compaction is achieved. Prior to placing any new fill, any soft or loose near surface soils should be removed and the area Proof-Rolled with a heavy vehicle or a heavy compaction vibratory roller to confirm that any unsuitable soil conditions have been discovered.



### Basis for Recommendations

The subsurface conditions encountered at the boring location is shown on the Boring Log in Appendix B. The Boring Logs represents our interpretation of the subsurface conditions based on the field logs and visual examination of field samples by an engineer. The lines designating the interface between various strata on the Boring Log represents the approximate interface locations. In addition, the transition between strata may be gradual. The water level shown on the Boring Log, if any, represents the condition only at the time of our exploration.

The recommendations contained herein are based in part on project information provided to us and only apply to the specific project and site discussed in this report. If the project information section in this report contains incorrect information or if additional information is available, please let us know so that we may review the validity of our recommendations.

Regardless of the thoroughness of a geotechnical investigation, there is always a possibility that conditions between borings will be different from those at specific boring locations and that conditions will not be as anticipated by the designers or contractors. In addition, the construction process may itself alter soil conditions. Therefore, experienced geotechnical personnel should observe and document the construction procedures used and the conditions encountered.

Unanticipated conditions and inadequate procedures should be reported to the design team along with timely recommendations to solve the problems created. ECA is best qualified to provide this service based on our familiarity with the project, the subsurface conditions, and the intent of the recommendations and design.

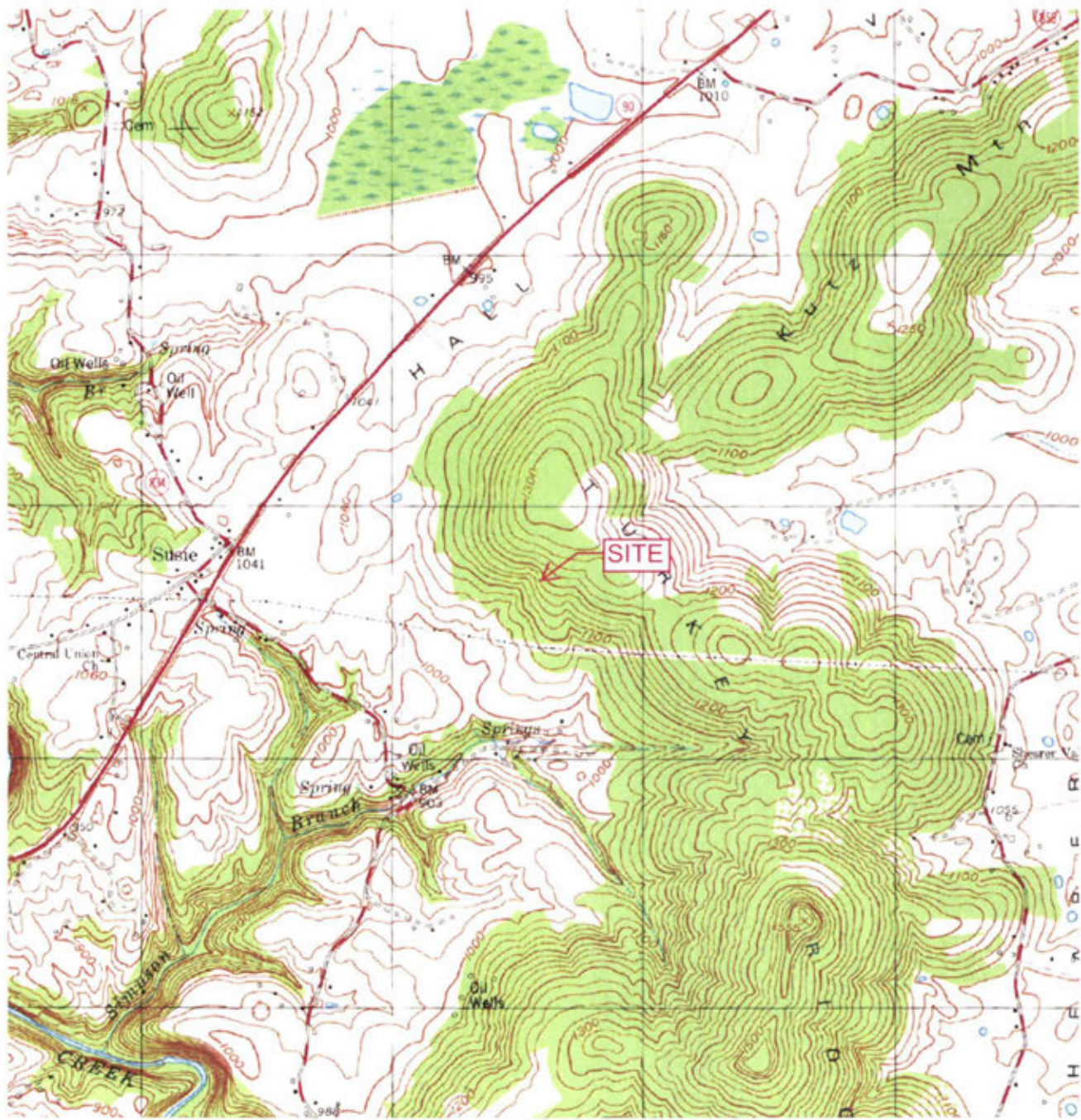
We wish to remind you that we will store the soil samples for 30 days. The samples will then be discarded unless you request otherwise.

### APPENDICES

- Appendix A Figures
- Appendix B Boring Log
- Appendix C Rock Quality Designation (RQD) Index
- Appendix D Laboratory Testing Results

# **APPENDIX A**

## Figures



2,000 0 2,000 ft



Source: USGS Topographic Map, 7.5 Minute Series, Burlington, KY (2019).

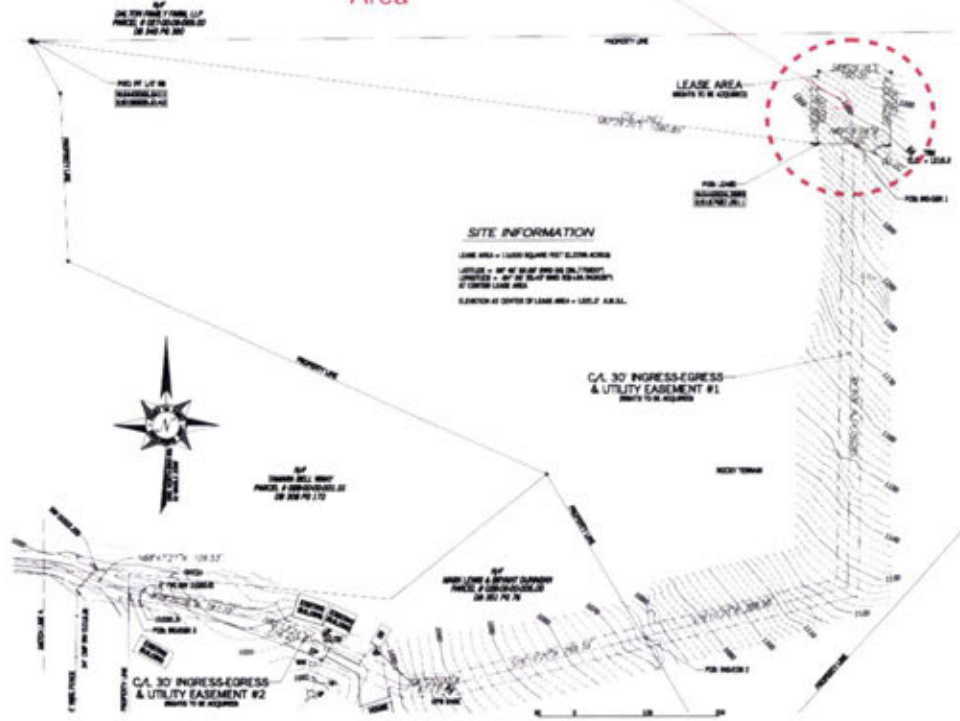


KYLEX2056 (West Highway 90)  
 571 Holly Hill Tree Lane  
 Monticello, Wayne County, Kentucky  
 Figure 1: Site Location Map

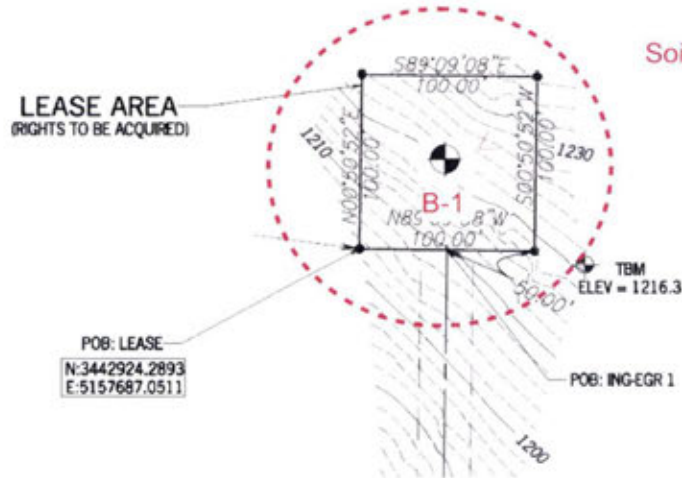


ECA Project No. 22-000930

Proposed Lease Area



Soil Boring Location



Legend: Soil Boring Location

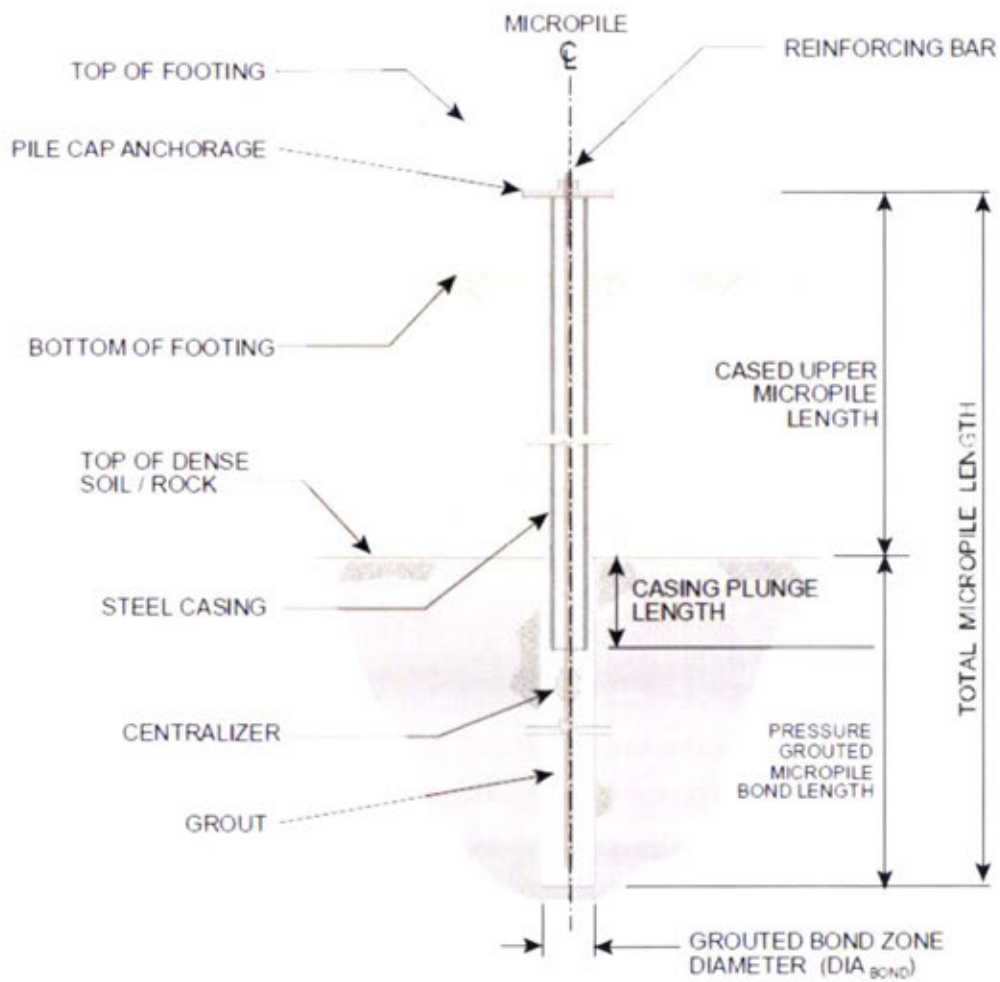
Source: Project site survey prepared by P2PLS and dated March 2, 2021.



KYLEX2056 (West Highway 90)  
 571 Holly Hill Tree Lane  
 Monticello, Wayne County, Kentucky  
 Figure 2: Boring Location Plan



ECA Project No. 22-000930



Source: Micropile construction detail adopted from FHWA/NHI Micropile Design and Construction Manual (December 2005).



KYLEX2056 (West Highway 90)  
 571 Holly Hill Tree Lane  
 Monticello, Wayne County, Kentucky  
 Figure 3: Micropile Construction Detail






ECA Project No. 22-000930

# **APPENDIX B**

## Boring Log

Project: <b>KYLEX2056</b>	<b>Environmental Corp of America</b> 1375 Union Hill Industrial Ct. Suite-A Alpharetta, GA 30004 (770) 667-2040	<b>Log of Boring B-1</b> <b>Sheet 1 of 1</b>
Project Location: <b>Monticello, KY</b>		
Project Number: <b>22-000930</b>		

Date(s) Drilled: <b>4/11/2022</b>	Logged By: <b>A. Balakrishnan</b>	Checked By: <b>H. Acosta</b>
Drilling Method: <b>HSA/CB</b>	Drill Bit Size/Type: <b>2.25 inches</b>	Total Depth of Borehole: <b>11 feet bgs</b>
Drill Rig Type: <b>Truck</b>	Drilling Contractor: <b>South Drilling</b>	Approximate Surface Elevation: <b>1,221 feet AMSL</b>
Groundwater Level and Date Measured: <b>Not Encountered ATD</b>	Sampling Method(s): <b>SPT/CB</b>	Hammer Data: <b>140 Lbs hammer, rope and cathead</b>
Borehole Backfill: <b>Cuttings</b>	Location: <b>Monticello, Wayne County, Kentucky</b>	

Depth (feet)	Sample Number	Sample Type	Sampling Resistance, blows/ft	SPT N-Values	Rec (%) / RQD (%)	MATERIAL DESCRIPTION	Material Type	USCS Symbol	Water Content (%)	qu (tsf)	qu (tsf) - Spring Tester	LL (%)	PI (%)
0						Topsoil 12 inches thick	Fill						
1						Auger refusal at 1 feet.							
2					70/64	Limestone (Sedimentary) Rock coarse grained, grey/white, moderately weathered, hard, moderately fractured, dry							
5													
10					100/100	Limestone (Sedimentary) Rock coarse grained, white, slightly weathered, very hard, moderately fractured, dry							
15						End of Boring at 11 feet.							

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Project: **KYLEX2056**  
 Project Location: **Monticello, KY**  
 Project Number: **22-000930**

**Environmental Corp of America**  
 1375 Union Hill Industrial Ct. Suite-A  
 Alpharetta, GA 30004  
 (770) 667-2040

**Key to Log of Boring**  
**Sheet 1 of 1**

Depth (feet)	Sample Number	Sample Type	Sampling Resistance, blows/ft	SPT N-Values	Rec (%) / RQD (%)	MATERIAL DESCRIPTION	Material Type	USCS Symbol	Water Content (%)	qu (tsf)	qu (tsf)- Spring Tester	LL (%)	PI (%)
1	2	3	4	5	6	7	8	9	10	11	12	13	14

**COLUMN DESCRIPTIONS**

- 1** Depth (feet): Depth in feet below the ground surface.
- 2** Sample Number: Sample identification number.
- 3** Sample Type: Type of soil sample collected at the depth interval shown.
- 4** Sampling Resistance, blows/ft: Number of blows to advance driven sampler one foot (or distance shown) beyond seating interval using the hammer identified on the boring log.
- 5** SPT N-Values: SPT N-values
- 6** Rec (%) / RQD (%): Core Recovery (%) and RQD (%)
- 7** MATERIAL DESCRIPTION: Description of material encountered. May include consistency, moisture, color, and other descriptive text.
- 8** Material Type: Type of material encountered.
- 9** USCS Symbol: Graphic depiction of the subsurface material encountered.
- 10** Water Content (%): Water content of the soil sample, expressed as percentage of dry weight of sample.
- 11** qu (tsf): Unconfined compression test
- 12** qu (tsf)- Spring Tester: Unconfined Compression test value from a spring tester
- 13** LL (%): Liquid Limit, expressed as a water content.
- 14** PI (%): Plasticity Index, expressed as a water content.

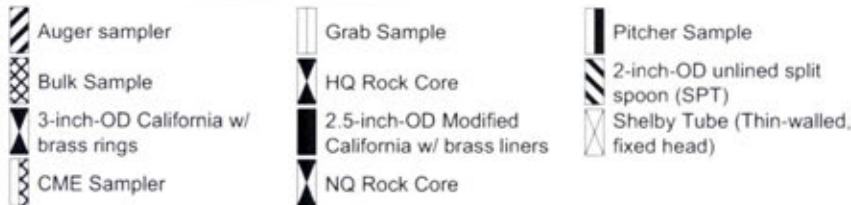
**FIELD AND LABORATORY TEST ABBREVIATIONS**

- CHEM: Chemical tests to assess corrosivity
- COMP: Compaction test
- CONS: One-dimensional consolidation test
- LL: Liquid Limit, percent
- PI: Plasticity Index, percent
- SA: Sieve analysis (percent passing No. 200 Sieve)
- UC: Unconfined compressive strength test, Qu, in ksf
- WA: Wash sieve (percent passing No. 200 Sieve)

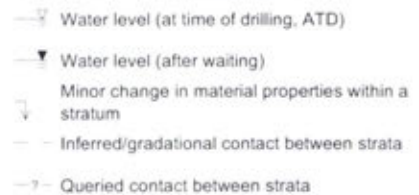
**MATERIAL GRAPHIC SYMBOLS**



**TYPICAL SAMPLER GRAPHIC SYMBOLS**



**OTHER GRAPHIC SYMBOLS**



**GENERAL NOTES**

- 1: Soil classifications are based on the Unified Soil Classification System. Descriptions and stratum lines are interpretive, and actual lithologic changes may be gradual. Field descriptions may have been modified to reflect results of lab tests.
- 2: Descriptions on these logs apply only at the specific boring locations and at the time the borings were advanced. They are not warranted to be representative of subsurface conditions at other locations or times.

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# **APPENDIX C**

## Rock Quality Designation (RQD) Index

**APPENDIX C**  
Rock Quality Designation (RQD) Index  
Environmental Corporation of America (ECA)

ECA Project Name: KYLEX2056

ECA Project No. 22-000930

<b>Rock Quality Designation, RQD (%)</b>	<b>*Description of Rock Quality</b>
0-25	Very Poor
25-50	Poor
50-75	Fair
75-90	Good
90-100	Excellent
*Per ASTM D-6032.	



# **APPENDIX D**

## Laboratory Testing Results

**APPENDIX D**  
Laboratory Testing Results  
Environmental Corporation of America (ECA)

ECA Project Name: KYLEX2056

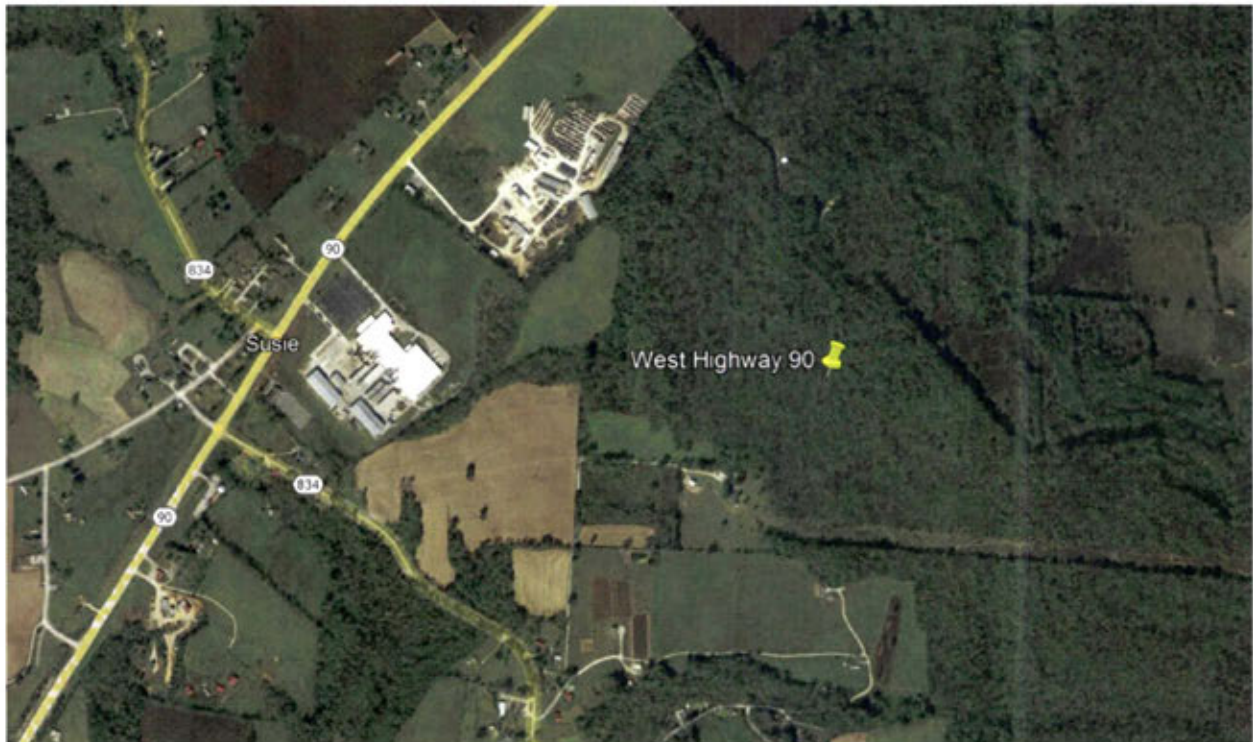
ECA Project No. 22-000930

<b>Sample Number</b>	<b>Sample Depth (feet)</b>	<b>Rock Unit Weight (pcf)</b>	<b>*Compressive Strength of Rock (psi)</b>
Sample RC-1	1 to 6	161.0	7,292
Sample RC-2	6 to 11	169.2	7,443
*Per ASTM D-7012 (Method C)			

**EXHIBIT H  
DIRECTIONS TO WCF SITE**

**Driving Directions to Proposed Tower Site:**

1. Beginning at the 55 North Main Street, Suite 103, Monticello, KY 42633 head southwest on N Main Street toward Columbia Ave and travel approximately 230 feet.
2. Continue straight onto S Main Street and travel approximately 0.4 miles.
3. Turn right to stay on S Main Street and travel approximately 0.2 miles.
4. Continue onto Albany Road and travel approximately 0.7 miles.
5. Turn left onto KY-90 W and travel approximately 6.5 miles.
6. Turn left onto state Hwy 834 and travel approximately 0.6 miles.
7. A private gravel road leading to the site is located on the left. The E-911 address for the site is 571 Holly Hill Tree Lane, Monticello, KY 42633, and the parcel address is Hill Drive, Monticello, KY 42633 (Parcel Address). The site coordinates are: 36° 46' 32.88" North latitude, 84° 56' 33.45" West longitude.



Prepared by:  
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Pike Legal Group  
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P.O. Box 396  
Shepherdsville, KY 40165-3069  
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**EXHIBIT I**  
**COPY OF REAL ESTATE AGREEMENT**

## OPTION AND LEASE AGREEMENT

THIS OPTION AND LEASE AGREEMENT ("**Agreement**"), dated as of the latter of the signature dates below (the "**Effective Date**"), is entered into by Mark Lewis, married, and Bryant Dunagan, married, subject to the life estate of Robin Lewis, ("**Landlord**") having a mailing address of 570 Holly Tree Lane, Monticello, Kentucky 42633, and Harmoni Towers LLC, a Delaware limited liability company having a mailing address of 10801 Executive Center Drive, Shannon Building, Suite 100, Little Rock AR 72211 ("**Tenant**").

### BACKGROUND

Landlord owns or controls that certain plot, parcel or tract of land, as described on **Exhibit 1**, together with all rights and privileges arising in connection therewith, located at 570 Holly Tree Lane, in the City/Town of Monticello, County of Wayne, State of Kentucky (collectively, the "**Property**"). Landlord desires to grant to Tenant the right to use a portion of the Property in accordance with this Agreement.

The parties agree as follows:

#### 1. OPTION TO LEASE.

(a) Landlord grants to Tenant an exclusive option (the "**Option**") to lease a certain portion of the Property containing approximately ten thousand (10,000) square feet including the air space above such ground space, as described on attached **Exhibit 1**, (the "**Premises**"), for the placement of a Communication Facility.

(b) During the Option Term, and during the Term, Tenant and its agents, engineers, surveyors and other representatives will have the right to enter upon the Property to inspect, examine, conduct soil borings, drainage testing, material sampling, radio frequency testing and other geological or engineering tests or studies of the Property (collectively, the "**Tests**"), to apply for and obtain licenses, permits, approvals, or other relief required of or deemed necessary or appropriate at Tenant's sole discretion for its use of the Premises and include, without limitation, applications for zoning variances, zoning ordinances, amendments, special use permits, and construction permits (collectively, the "**Government Approvals**"), initiate the ordering and/or scheduling of necessary utilities, and otherwise to do those things on or off the Property that, in the opinion of Tenant, are necessary in Tenant's sole discretion to determine the physical condition of the Property, the environmental history of the Property, Landlord's title to the Property and the feasibility or suitability of the Property for Tenant's Permitted Use, all at Tenant's expense. Tenant will not be liable to Landlord or any third party on account of any pre-existing defect or condition on or with respect to the Property, whether or not such defect or condition is disclosed by Tenant's inspection. Tenant will restore the Property to its condition as it existed at the commencement of the Option Term, reasonable wear and tear and loss by casualty or other causes beyond Tenant's control excepted.

(c) In consideration of Landlord granting Tenant the Option, Tenant agrees to pay Landlord the sum of [REDACTED] within thirty (30) business days after the Effective Date. The Option may be exercised during an initial term of one (1) year commencing on the Effective Date (the "**Initial Option Term**") which term may be renewed by Tenant for an additional one (1) year (the "**Renewal Option Term**") upon written notification to Landlord and the payment of an additional [REDACTED] no later than five (5) days prior to the expiration date of the Initial Option Term. The Initial Option Term and any Renewal Option Term are collectively referred to as the "**Option Term**."

(d) The Option may be sold, assigned or transferred at any time by Tenant without the written consent of Landlord. Upon notification to Landlord of such sale, assignment, or transfer, Tenant shall immediately be released from any and all liability under this Agreement, including the payment of any rental or other sums due, without any further action.



(e) During the Option Term, Tenant may exercise the Option by notifying Landlord in writing. If Tenant exercises the Option, then Landlord leases the Premises to Tenant subject to the terms and conditions of this Agreement. If Tenant does not exercise the Option during the Initial Option Term or any extension thereof, this Agreement will terminate, and the parties will have no further liability to each other.

(f) If during the Option Term, or during the Term if the Option is exercised, Landlord decides to subdivide, sell, or change the status of the zoning of the Premises, Property or any of Landlord's contiguous, adjoining or surrounding property (the "**Surrounding Property**," ) or in the event of a threatened foreclosure, Landlord shall immediately notify Tenant in writing. Landlord agrees that during the Option Term, or during the Term if the Option is exercised, Landlord shall not initiate or consent to any change in the zoning of the Premises, Property or Surrounding Property or impose or consent to any other use or restriction that would prevent or limit Tenant from using the Premises for the Permitted Use. Any and all terms and conditions of this Agreement that by their sense and context are intended to be applicable during the Option Term shall be so applicable.

2. **PERMITTED USE.** Tenant may use the Premises for the transmission and reception of communications signals and the installation, construction, maintenance, operation, repair, replacement and upgrade of communications fixtures and related equipment, cables, accessories and improvements, which may include a suitable support structure ("**Structure**"), associated antennas, equipment shelters or cabinets and fencing and any other items necessary to the successful and secure use of the Premises (collectively, the "**Communication Facility**"), as well as the right to test, survey and review title on the Property; Tenant further has the right but not the obligation to add, modify and/or replace equipment in order to be in compliance with any current or future federal, state or local mandated application, including, but not limited to, emergency 911 communication services, at no additional cost to Tenant or Landlord (collectively, the "**Permitted Use**"). Landlord and Tenant agree that any portion of the Communication Facility that may be conceptually described on **Exhibit 1** will not be deemed to limit Tenant's Permitted Use. If **Exhibit 1** includes drawings of the initial installation of the Communication Facility, Landlord's execution of this Agreement will signify Landlord's approval of **Exhibit 1**. For a period of ninety (90) days following the start of construction, Landlord grants Tenant, its subtenants, licensees and sublicensees, the right to use such portions of the **Surrounding Property** as may reasonably be required during construction and installation of the Communication Facility. Tenant has the right to install and operate transmission cables from the equipment shelter or cabinet to the antennas, electric lines from the main feed to the equipment shelter or cabinet and communication lines from the Property's main entry point to the equipment shelter or cabinet, install a generator and to make other improvements, alterations, upgrades or additions appropriate for Tenant's Permitted Use including the right to construct a fence around the Premises or equipment, install warning signs to make individuals aware of risks, install protective barriers, install any other control measures reasonably required by Tenant's safety procedures or applicable law, and undertake any other appropriate means to secure the Premises or equipment at Tenant's expense. Tenant has the right to modify, supplement, replace, upgrade, expand the Communication Facility (including, for example, increasing the number of antennas or adding microwave dishes) or relocate the Communication Facility within the Premises at any time during the Term. Tenant will be allowed to make such alterations to the Property in order to ensure that the Communication Facility complies with all applicable federal, state or local laws, rules or regulations. In the event Tenant desires to modify or upgrade the Communication Facility, in a manner that requires an additional portion of the Property (the "**Additional Premises**") for such modification or upgrade, Landlord agrees to lease to Tenant the Additional Premises, upon the same terms and conditions set forth herein, except that the Rent shall increase, in conjunction with the lease of the Additional Premises by the amount equivalent to the then-current per square foot rental rate charged by Landlord to Tenant times the square footage of the Additional Premises. Landlord agrees to take such actions and enter into and deliver to Tenant such documents as Tenant reasonably requests in order to effect and memorialize the lease of the Additional Premises to Tenant.

3. **TERM.**

(a) The initial lease term will be five (5) years (the "**Initial Term**"), commencing on the effective date of written notification by Tenant to Landlord of Tenant's exercise of the Option (the "**Term**")

**Commencement Date**”). The Initial Term will terminate on the fifth (5<sup>th</sup>) anniversary of the Term Commencement Date.

(b) This Agreement will automatically renew for seventeen (17) additional five (5) year term(s) (each additional five (5) year term shall be defined as an "**Extension Term**"), upon the same terms and conditions set forth herein unless Tenant notifies Landlord in writing of Tenant's intention not to renew this Agreement at least sixty (60) days prior to the expiration of the Initial Term or then-existing Extension Term.

(c) Unless (i) Landlord or Tenant notifies the other in writing of its intention to terminate this Agreement at least six (6) months prior to the expiration of the final Extension Term, or (ii) the Agreement is terminated as otherwise permitted by this Agreement prior to the end of the final Extension Term, this Agreement shall continue in force upon the same covenants, terms and conditions for a further term of one (1) year, and for annual terms thereafter ("**Annual Term**") until terminated by either party by giving to the other party written notice of its intention to so terminate at least six (6) months prior to the end of any such Annual Term. Monthly rent during such Annual Terms shall be equal to the [REDACTED]

[REDACTED] If Tenant remains in possession of the Premises after the termination of this Agreement, then Tenant will be deemed to be occupying the Premises on a month-to-month basis (the "**Holdover Term**"), subject to the terms and conditions of this Agreement.

(d) The Initial Term, any Extension Terms, any Annual Terms and any Holdover Term are collectively referred to as the "**Term**".

#### 4. **RENT.**

(a) Commencing on the first day of the month following the date that Tenant commences construction (the "**Rent Commencement Date**"), Tenant will pay Landlord on or before the fifth (5<sup>th</sup>) day of each calendar month in advance, [REDACTED] (the "**Rent**"), at the address set forth above. In any partial month occurring after the Rent Commencement Date, Rent will be prorated. The initial Rent payment will be forwarded by Tenant to Landlord within forty-five (45) days after the Rent Commencement Date.

(b) In the first year of an Extension Term, the monthly Rent will increase by [REDACTED] over the Rent paid during the previous five (5) year term, effective the first day of the month in which the anniversary of the Term Commencement Date occurs.

(c) All charges payable under this Agreement such as utilities and taxes shall be billed by Landlord within one (1) year from the end of the calendar year in which the charges were incurred; any charges beyond such period shall not be billed by Landlord, and shall not be payable by Tenant. The foregoing shall not apply to monthly Rent which is due and payable without a requirement that it be billed by Landlord. The provisions of this subsection shall survive the termination or expiration of this Agreement.

#### 5. **APPROVALS.**

(a) Landlord agrees that Tenant's ability to use the Premises is contingent upon the suitability of the Premises and Property for the Permitted Use and Tenant's ability to obtain and maintain all Government Approvals. Landlord authorizes Tenant to prepare, execute and file all required applications to obtain Government Approvals for the Permitted Use and agrees to reasonably assist Tenant with such applications and with obtaining and maintaining the Government Approvals.

(b) Tenant has the right to obtain a title report or commitment for a leasehold title policy from a title insurance company of its choice and to have the Property surveyed by a surveyor of its choice.

(c) Tenant may also perform and obtain, at Tenant's sole cost and expense, soil borings, percolation tests, engineering procedures, environmental investigation or other tests or reports on, over, and under the Property, necessary to determine if Tenant's use of the Premises will be compatible with Tenant's engineering specifications, system, design, operations or Government Approvals.

#### 6. **TERMINATION.** This Agreement may be terminated, without penalty or further liability, as follows:

(a) by either party on thirty (30) days prior written notice, if the other party remains in default under Section 15 of this Agreement after the applicable cure periods;

(b) by Tenant upon written notice to Landlord, if Tenant is unable to obtain, or maintain, any required approval(s) or the issuance of a license or permit by any agency, board, court or other governmental authority necessary for the construction or operation of the Communication Facility as now or hereafter intended by Tenant; or if Tenant determines, in its sole discretion that the cost of or delay in obtaining or retaining the same is commercially unreasonable;

(c) by Tenant, upon written notice to Landlord, if Tenant determines, in its sole discretion, due to the title report results or survey results, that the condition of the Premises is unsatisfactory for its intended uses;

(d) by Tenant upon written notice to Landlord for any reason or no reason, at any time prior to commencement of construction by Tenant; or

(e) by Tenant upon sixty (60) days' prior written notice to Landlord for any reason or no reason, so long as Tenant pays Landlord a termination fee equal to [REDACTED] provided, however, that no such termination fee will be payable on account of the termination of this Agreement by Tenant under any termination provision contained in any other Section of this Agreement, including the following: Section 5 Approvals, Section 6(a) Termination, Section 6(b) Termination, Section 6(c) Termination, Section 6(d) Termination, Section 11(d) Environmental, Section 18 Condemnation or Section 19 Casualty.

7. **INSURANCE.** During the Option Term and throughout the Term, Tenant will purchase and maintain in full force and effect such general liability policy as Tenant may deem necessary. Said policy of general liability insurance will at a minimum provide a combined single limit of [REDACTED] Notwithstanding the foregoing, Tenant shall have the right to self-insure such general liability coverage.

8. **INTERFERENCE.**

(a) Prior to or concurrent with the execution of this Agreement, Landlord has provided or will provide Tenant with a list of radio frequency user(s) and frequencies used on the Property as of the Effective Date. Tenant warrants that its use of the Premises will not interfere with those existing radio frequency uses on the Property, as long as the existing radio frequency user(s) operate and continue to operate within their respective frequencies and in accordance with all applicable laws and regulations.

(b) Landlord will not grant, after the Effective Date, a lease, license or any other right to any third party, if the exercise of such grant may in any way adversely affect or interfere with the Communication Facility, the operations of Tenant or the rights of Tenant under this Agreement. Landlord will notify Tenant in writing prior to granting any third party the right to install and operate communications equipment on the Property.

(c) Landlord will not, nor will Landlord permit its employees, tenants, licensees, invitees, agents or independent contractors to interfere in any way with the Communication Facility, the operations of Tenant or the rights of Tenant under this Agreement. Landlord will cause such interference to cease within twenty-four (24) hours after receipt of notice of interference from Tenant. In the event any such interference does not cease within the aforementioned cure period, Landlord shall cease all operations which are suspected of causing interference (except for intermittent testing to determine the cause of such interference) until the interference has been corrected.

(d) For the purposes of this Agreement, "interference" may include, but is not limited to, any use on the Property or Surrounding Property that causes electronic or physical obstruction with, or degradation of, the communications signals from the Communication Facility.

9. **INDEMNIFICATION.**

(a) Tenant agrees to indemnify, defend and hold Landlord harmless from and against any and all injury, loss, damage or liability, costs or expenses in connection with a third party claim (including reasonable attorneys' fees and court costs) arising directly from the installation, use, maintenance, repair or removal of the Communication Facility or Tenant's breach of any provision of this Agreement, except to the extent attributable to the negligent or intentional act or omission of Landlord, its employees, invitees, agents or independent contractors.

(b) Landlord agrees to indemnify, defend and hold Tenant harmless from and against any and all injury, loss, damage or liability, costs or expenses in connection with a third party claim (including reasonable attorneys' fees and court costs) arising directly from the actions or failure to act of Landlord, its employees, invitees agents or independent contractors, or Landlord's breach of any provision of this Agreement, except to the extent attributable to the negligent or intentional act or omission of Tenant, its employees, agents or independent contractors.

(c) The indemnified party: (i) shall promptly provide the indemnifying party with written notice of any claim, demand, lawsuit, or the like for which it seeks indemnification pursuant to this Section and provide the indemnifying party with copies of any demands, notices, summonses, or legal papers received in connection with such claim, demand, lawsuit, or the like; (ii) shall not settle any such claim, demand, lawsuit, or the like without the prior written consent of the indemnifying party; and (iii) shall fully cooperate with the indemnifying party in the defense of the claim, demand, lawsuit, or the like. A delay in notice shall not relieve the indemnifying party of its indemnity obligation, except (1) to the extent the indemnifying party can show it was prejudiced by the delay; and (2) the indemnifying party shall not be liable for any settlement or litigation expenses incurred before the time when notice is given.

#### **10. WARRANTIES.**

(a) Each of Tenant and Landlord (to the extent not a natural person) acknowledge and represent that it is duly organized, validly existing and in good standing and has the right, power and authority or capacity, as applicable, to enter into this Agreement and bind itself hereto through the party or individual set forth as signatory for the party below.

(b) Landlord represents, warrants and agrees that: (i) Landlord solely owns the Property as a legal lot in fee simple, or controls the Property by lease or license; (ii) the Property is not and will not be encumbered by any liens, restrictions, mortgages, covenants, conditions, easements, leases, or any other agreements of record or not of record, which would adversely affect Tenant's Permitted Use and enjoyment of the Premises under this Agreement; (iii) as long as Tenant is not in default then Landlord grants to Tenant sole, actual, quiet and peaceful use, enjoyment and possession of the Premises without hindrance or ejection by any persons lawfully claiming under Landlord; (iv) Landlord's execution and performance of this Agreement will not violate any laws, ordinances, covenants or the provisions of any mortgage, lease or other agreement binding on Landlord; and (v) if the Property is or becomes encumbered by a deed to secure a debt, mortgage or other security interest, Landlord will provide promptly to Tenant a mutually agreeable subordination, non-disturbance and attornment agreement executed by Landlord and the holder of such security interest in the form attached hereto as **Exhibit 10(b)**.

#### **11. ENVIRONMENTAL.**

(a) Landlord represents and warrants, except as may be identified in **Exhibit 11** attached to this Agreement, (i) the Property, as of the Effective Date, is free of hazardous substances, including asbestos-containing materials and lead paint, and (ii) the Property has never been subject to any contamination or hazardous conditions resulting in any environmental investigation, inquiry or remediation. Landlord and Tenant agree that each will be responsible for compliance with any and all applicable governmental laws, rules, statutes, regulations, codes, ordinances, or principles of common law regulating or imposing standards of liability or standards of conduct with regard to protection of the environment or worker health and safety, as may now or at any time hereafter be in effect, to the extent such apply to that party's activity conducted in or on the Property.

(b) Landlord and Tenant agree to hold harmless and indemnify the other from, and to assume all duties, responsibilities and liabilities at the sole cost and expense of the indemnifying party for, payment of penalties, sanctions, forfeitures, losses, costs or damages, and for responding to any action, notice, claim, order, summons, citation, directive, litigation, investigation or proceeding ("**Claims**"), to the extent arising from that party's breach of its obligations or representations under Section 11(a). Landlord agrees to hold harmless and indemnify Tenant from, and to assume all duties, responsibilities and liabilities at the sole cost and expense of Landlord for, payment of penalties, sanctions, forfeitures, losses, costs or damages, and for responding to any Claims, to the extent arising from subsurface or other contamination of the Property with hazardous substances

prior to the Effective Date or from such contamination caused by the acts or omissions of Landlord during the Term. Tenant agrees to hold harmless and indemnify Landlord from, and to assume all duties, responsibilities and liabilities at the sole cost and expense of Tenant for, payment of penalties, sanctions, forfeitures, losses, costs or damages, and for responding to any Claims, to the extent arising from hazardous substances brought onto the Property by Tenant.

(c) The indemnification provisions contained in this Section 11 specifically include reasonable costs, expenses and fees incurred in connection with any investigation of Property conditions or any clean-up, remediation, removal or restoration work required by any governmental authority. The provisions of this Section 11 will survive the expiration or termination of this Agreement.

(d) In the event Tenant becomes aware of any hazardous materials on the Property, or any environmental, health or safety condition or matter relating to the Property, that, in Tenant's sole determination, renders the condition of the Premises or Property unsuitable for Tenant's use, or if Tenant believes that the leasing or continued leasing of the Premises would expose Tenant to undue risks of liability to a government agency or other third party, Tenant will have the right, in addition to any other rights it may have at law or in equity, to terminate this Agreement upon written notice to Landlord.

**12. ACCESS.** At all times throughout the Term of this Agreement, and at no additional charge to Tenant, Tenant and its employees, agents, and subcontractors, will have twenty-four (24) hour per day, seven (7) day per week pedestrian and vehicular access ("Access") to and over the Property, from an open and improved public road to the Premises, for the installation, maintenance and operation of the Communication Facility and any utilities serving the Premises. If Tenant elects to utilize an Unmanned Aircraft System ("UAS") in connection with its installation, construction, monitoring, site audits, inspections, maintenance, repair, modification, or alteration activities at the Property, Landlord hereby grants Tenant, or any UAS operator acting on Tenant's behalf, express permission to fly over the applicable Property and Premises, and consents to the use of audio and video navigation and recording in connection with the use of the UAS. As may be described more fully in **Exhibit 1**, Landlord grants to Tenant an easement for such Access and Landlord agrees to provide to Tenant such codes, keys and other instruments necessary for such Access at no additional cost to Tenant. Upon Tenant's request, Landlord will execute a separate recordable easement evidencing this right. Landlord shall execute a letter granting Tenant Access to the Property substantially in the form attached as **Exhibit 12**; upon Tenant's request, Landlord shall execute additional letters during the Term. Landlord acknowledges that in the event Tenant cannot obtain Access to the Premises, Tenant shall incur significant damage. If Landlord fails to provide the Access granted by this Section 12, such failure shall be a default under this Agreement. In connection with such default, in addition to any other rights or remedies available to Tenant under this Agreement or at law or equity, Landlord shall pay Tenant, as liquidated damages and not as a penalty, [REDACTED] per day in consideration of Tenant's damages until Landlord cures such default. Landlord and Tenant agree that Tenant's damages in the event of a denial of Access are difficult, if not impossible, to ascertain, and the liquidated damages set forth above are a reasonable approximation of such damages.

**13. REMOVAL/RESTORATION.** All portions of the Communication Facility brought onto the Property by Tenant will be and remain Tenant's personal property and, at Tenant's option, may be removed by Tenant at any time during or after the Term. Landlord covenants and agrees that no part of the Communication Facility constructed, erected or placed on the Premises by Tenant will become, or be considered as being affixed to or a part of, the Property, it being the specific intention of Landlord that all improvements of every kind and nature constructed, erected or placed by Tenant on the Premises will be and remain the property of Tenant and may be removed by Tenant at any time during or after the Term. Tenant will repair any damage to the Property resulting from Tenant's removal activities. Any portions of the Communication Facility that Tenant does not remove within one hundred twenty (120) days after the later of the end of the Term and cessation of Tenant's operations at the Premises shall be deemed abandoned and owned by Landlord. Notwithstanding the foregoing, Tenant will not be responsible for the replacement of any trees, shrubs or other vegetation.

**14. MAINTENANCE/UTILITIES.**

(a) Tenant will keep and maintain the Premises in good condition, reasonable wear and tear and damage from the elements excepted. Landlord will maintain and repair the Property and access thereto and all areas of the Premises where Tenant does not have exclusive control, in good and tenantable condition, subject to reasonable wear and tear and damage from the elements. Landlord will be responsible for maintenance of landscaping on the Property, including any landscaping installed by Tenant as a condition of this Agreement or any required permit.

(b) Tenant will be responsible for paying on a monthly or quarterly basis all utilities charges for electricity, telephone service or any other utility used or consumed by Tenant on the Premises. In the event Tenant cannot secure its own metered electrical supply, Tenant will have the right, at its own cost and expense, to sub-meter from Landlord. When sub-metering is required under this Agreement, Landlord will read the meter and provide Tenant with an invoice and usage data on a monthly basis. Tenant shall reimburse Landlord for such utility usage at the same rate charged to Landlord by the utility service provider. Landlord further agrees to provide the usage data and invoice on forms provided by Tenant and to send such forms to such address and/or agent designated by Tenant. Tenant will remit payment within sixty (60) days of receipt of the usage data and required forms. Landlord shall maintain accurate and detailed records of all utility expenses, invoices and payments applicable to Tenant's reimbursement obligations hereunder. Within fifteen (15) days after a request from Tenant, Landlord shall provide copies of such utility billing records to the Tenant in the form of copies of invoices, contracts and cancelled checks. If the utility billing records reflect an overpayment by Tenant, Tenant shall have the right to deduct the amount of such overpayment from any monies due to Landlord from Tenant.

(c) As noted in Section 4(c) above, any utility fee recovery by Landlord is limited to a twelve (12) month period. If Tenant submeters electricity from Landlord, Landlord agrees to give Tenant at least twenty-four (24) hours advance notice of any planned interruptions of said electricity. Landlord acknowledges that Tenant provides a communication service which requires electrical power to operate and must operate twenty-four (24) hours per day, seven (7) days per week. If the interruption is for an extended period of time, in Tenant's reasonable determination, Landlord agrees to allow Tenant the right to bring in a temporary source of power for the duration of the interruption. Landlord will not be responsible for interference with, interruption of or failure, beyond the reasonable control of Landlord, of such services to be furnished or supplied by Landlord.

(d) Tenant will have the right to install utilities on the Property and the Premises, at Tenant's expense and to improve present utilities on the Property and the Premises; by way of example, such utilities shall include overhead and underground electric, water, data transmission, and other necessary utility facilities (including guys, wires, poles, and other appurtenant equipment). Landlord hereby grants to Tenant and any service company providing utility or similar services, including electric power and telecommunications, an easement over the Property, from an open and improved public road to the Premises, and upon the Premises, for the purpose of constructing, operating and maintaining such lines, guys, wires, poles, circuits, conduits, associated equipment cabinets, and appurtenances thereto, as may from time to time be required. Upon Tenant's or service company's request, Landlord will execute a separate recordable easement evidencing this grant, at no cost to Tenant or service company.

**15. DEFAULT AND RIGHT TO CURE.**

(a) The following will be deemed a default by Tenant and a breach of this Agreement: (i) non-payment of Rent if such Rent remains unpaid for more than thirty (30) days after written notice from Landlord of such failure to pay; or (ii) Tenant's failure to perform any other term or condition under this Agreement within forty-five (45) days after written notice from Landlord specifying the failure. No such failure, however, will be deemed to exist if Tenant has commenced to cure such default within such period and provided that such efforts are prosecuted to completion with reasonable diligence. Delay in curing a default will be excused if due to causes beyond the reasonable control of Tenant. If Tenant remains in default beyond any applicable cure period, Landlord will have the right to exercise any and all rights and remedies available to it under law and equity.

(b) The following will be deemed a default by Landlord and a breach of this Agreement: (i) Landlord's failure to provide Access to the Premises as required by Section 12 within twenty-four (24) hours after written notice of such failure; (ii) Landlord's failure to cure an interference problem as required by Section 8 within twenty-four (24) hours after written notice of such failure; or (iii) Landlord's failure to perform any term, condition or breach of any warranty or covenant under this Agreement within forty-five (45) days after written notice from Tenant specifying the failure. No such failure, however, will be deemed to exist if Landlord has commenced to cure the default within such period and provided such efforts are prosecuted to completion with reasonable diligence. Delay in curing a default will be excused if due to causes beyond the reasonable control of Landlord. If Landlord remains in default beyond any applicable cure period, Tenant will have: (i) the right to cure Landlord's default and to deduct the costs of such cure from any monies due to Landlord from Tenant, and (ii) any and all other rights available to it under law and equity.

16. **ASSIGNMENT/SUBLEASE.** Tenant will have the right to assign this Agreement or sublease the Premises and its rights herein, in whole or in part, without Landlord's consent. Upon notification to Landlord of such assignment, Tenant will be relieved of all future performance, liabilities and obligations under this Agreement to the extent of such assignment.

17. **NOTICES.** All notices, requests and demands hereunder will be given by first class certified or registered mail, return receipt requested, or by a nationally recognized overnight courier, postage prepaid, to be effective when properly sent and received, refused or returned undelivered. Notices will be addressed to the parties as follows:

If to Tenant:                   Harmoni Towers LLC  
  Attn: Real Estate  
  10801 Executive Center Drive  
  Shannon Building, Suite 100  
  Little Rock AR 72211  
  REAdmin@harmonitowers.com

cc:

Harmoni Towers LLC  
c/o Symphony Wireless  
Attn: Legal  
44 South Broadway, Suite 601  
White Plains, NY 10601

For Emergencies:           [NOC@harmonitowers.com](mailto:NOC@harmonitowers.com)

If to Landlord:               Mark Lewis and Bryant Dunagan  
  2868 East Highway 90  
  Monticello, Kentucky 42633  
  Telephone: [REDACTED]

Either party hereto may change the place for the giving of notice to it by thirty (30) days' prior written notice to the other party as provided herein.

18. **CONDEMNATION.** In the event Landlord receives notification of any condemnation proceedings affecting the Property, Landlord will provide notice of the proceeding to Tenant within twenty-four (24) hours. If a condemning authority takes all of the Property, or a portion sufficient, in Tenant's sole determination, to render the Premises unsuitable for Tenant, this Agreement will terminate as of the date the title vests in the condemning authority. The parties will each be entitled to pursue their own separate awards in the

condemnation proceeds, which for Tenant will include, where applicable, the value of its Communication Facility, moving expenses, prepaid Rent, and business dislocation expenses. Tenant will be entitled to reimbursement for any prepaid Rent on a *pro rata* basis.

**19. CASUALTY.** Landlord will provide notice to Tenant of any casualty or other harm affecting the Property within twenty-four (24) hours of the casualty or other harm. If any part of the Communication Facility or Property is damaged by casualty or other harm as to render the Premises unsuitable, in Tenant's sole determination, then Tenant may terminate this Agreement by providing written notice to Landlord, which termination will be effective as of the date of such casualty or other harm. Upon such termination, Tenant will be entitled to collect all insurance proceeds payable to Tenant on account thereof and to be reimbursed for any prepaid Rent on a *pro rata* basis. Landlord agrees to permit Tenant to place temporary transmission and reception facilities on the Property, but only until such time as Tenant is able to activate a replacement transmission facility at another location; notwithstanding the termination of this Agreement, such temporary facilities will be governed by all of the terms and conditions of this Agreement, including Rent. If Landlord or Tenant undertakes to rebuild or restore the Premises and/or the Communication Facility, as applicable, Landlord agrees to permit Tenant to place temporary transmission and reception facilities on the Property at no additional Rent until the reconstruction of the Premises and/or the Communication Facility is completed. If Landlord determines not to rebuild or restore the Property, Landlord will notify Tenant of such determination within thirty (30) days after the casualty or other harm. If Landlord does not so notify Tenant and Tenant decides not to terminate under this Section, then Landlord will promptly rebuild or restore any portion of the Property interfering with or required for Tenant's Permitted Use of the Premises to substantially the same condition as existed before the casualty or other harm. Landlord agrees that the Rent shall be abated until the Property and/or the Premises are rebuilt or restored, unless Tenant places temporary transmission and reception facilities on the Property.

**20. WAIVER OF LANDLORD'S LIENS.** Landlord waives any and all lien rights it may have, statutory or otherwise, concerning the Communication Facility or any portion thereof. The Communication Facility shall be deemed personal property for purposes of this Agreement, regardless of whether any portion is deemed real or personal property under applicable law; Landlord consents to Tenant's right to remove all or any portion of the Communication Facility from time to time in Tenant's sole discretion and without Landlord's consent.

**21. TAXES.**

(a) Landlord shall be responsible for (i) all taxes and assessments levied upon the lands, improvements and other property of Landlord including any such taxes that may be calculated by a taxing authority using any method, including the income method (ii) all sales, use, license, value added, documentary, stamp, gross receipts, registration, real estate transfer, conveyance, excise, recording, and other similar taxes and fees imposed in connection with this Agreement and (iii) all sales, use, license, value added, documentary, stamp, gross receipts, registration, real estate transfer, conveyance, excise, recording, and other similar taxes and fees imposed in connection with a sale of the Property or assignment of Rent payments by Landlord. Tenant shall be responsible for (y) any taxes and assessments attributable to and levied upon Tenant's leasehold improvements on the Premises if and as set forth in this Section 21 and (z) all sales, use, license, value added, documentary, stamp, gross receipts, registration, real estate transfer, conveyance, excise, recording, and other similar taxes and fees imposed in connection with an assignment of this Agreement or sublease by Tenant. Nothing herein shall require Tenant to pay any inheritance, franchise, income, payroll, excise, privilege, rent, capital stock, stamp, documentary, estate or profit tax, or any tax of similar nature, that is or may be imposed upon Landlord.

(b) In the event Landlord receives a notice of assessment with respect to which taxes or assessments are imposed on Tenant's leasehold improvements on the Premises, Landlord shall provide Tenant with copies of each such notice immediately upon receipt, but in no event later than thirty (30) days after the date of such notice of assessment. If Landlord does not provide such notice or notices to Tenant in a timely manner and Tenant's rights with respect to such taxes are prejudiced by the delay, Landlord shall reimburse Tenant for any increased costs directly resulting from the delay and Landlord shall be responsible for payment of the tax or



assessment set forth in the notice, and Landlord shall not have the right to reimbursement of such amount from Tenant. If Landlord provides a notice of assessment to Tenant within such time period and requests reimbursement from Tenant as set forth below, then Tenant shall reimburse Landlord for the tax or assessments identified on the notice of assessment on Tenant's leasehold improvements, which has been paid by Landlord. If Landlord seeks reimbursement from Tenant, Landlord shall, no later than thirty (30) days after Landlord's payment of the taxes or assessments for the assessed tax year, provide Tenant with written notice including evidence that Landlord has timely paid same, and Landlord shall provide to Tenant any other documentation reasonably requested by Tenant to allow Tenant to evaluate the payment and to reimburse Landlord.

(c) For any tax amount for which Tenant is responsible under this Agreement, Tenant shall have the right to contest, in good faith, the validity or the amount thereof using such administrative, appellate or other proceedings as may be appropriate in the jurisdiction, and may defer payment of such obligations, pay same under protest, or take such other steps as permitted by law. This right shall include the ability to institute any legal, regulatory or informal action in the name of Landlord, Tenant, or both, with respect to the valuation of the Premises. Landlord shall cooperate with respect to the commencement and prosecution of any such proceedings and will execute any documents required therefor. The expense of any such proceedings shall be borne by Tenant and any refunds or rebates secured as a result of Tenant's action shall belong to Tenant, to the extent the amounts were originally paid by Tenant. In the event Tenant notifies Landlord by the due date for assessment of Tenant's intent to contest the assessment, Landlord shall not pay the assessment pending conclusion of the contest, unless required by applicable law.

(d) Landlord shall not split or cause the tax parcel on which the Premises are located to be split, bifurcated, separated or divided without the prior written consent of Tenant.

(e) Tenant shall have the right but not the obligation to pay any taxes due by Landlord hereunder if Landlord fails to timely do so, in addition to any other rights or remedies of Tenant. In the event that Tenant exercises its rights under this Section 21(e) due to such Landlord default, Tenant shall have the right to deduct such tax amounts paid from any monies due to Landlord from Tenant as provided in Section 15(b), provided that Tenant may exercise such right without having provided to Landlord notice and the opportunity to cure per Section 15(b).

(f) Any tax-related notices shall be sent to Tenant in the manner set forth in Section 17. Promptly after the Effective Date of this Agreement, Landlord shall provide the Notice address set forth in Section 17 to the taxing authority for the authority's use in the event the authority needs to communicate with Tenant. In the event that Tenant's tax address changes by notice to Landlord, Landlord shall be required to provide Tenant's new tax address to the taxing authority or authorities.

(g) Notwithstanding anything to the contrary contained in this Section 21, Tenant shall have no obligation to reimburse any tax or assessment for which the Landlord is reimbursed or rebated by a third party.

## **22. SALE OF PROPERTY.**

(a) Landlord may sell the Property or a portion thereof to a third party, provided: (i) the sale is made subject to the terms of this Agreement; and (ii) if the sale does not include the assignment of Landlord's full interest in this Agreement, the purchaser must agree to perform, without requiring compensation from Tenant or any subtenant, any obligation of Landlord under this Agreement, including Landlord's obligation to cooperate with Tenant as provided hereunder.

(b) If Landlord, at any time during the Term of this Agreement, decides to rezone or sell, subdivide or otherwise transfer all or any part of the Premises, or all or any part of the Property or Surrounding Property, to a purchaser other than Tenant, Landlord shall promptly notify Tenant in writing, and such rezoning, sale, subdivision or transfer shall be subject to this Agreement and Tenant's rights hereunder. In the event of a change in ownership, transfer or sale of the Property, within ten (10) days of such transfer, Landlord or its successor shall send the documents listed below in this Section 22(b) to Tenant. Until Tenant receives all such documents, Tenant's failure to make payments under this Agreement shall not be an event of default and Tenant reserves the right to hold payments due under this Agreement.

- i. Old deed to Property
- ii. New deed to Property

- iii. Bill of Sale or Transfer
- iv. Copy of current Tax Bill
- v. New IRS Form W-9
- vi. Completed and Signed Tenant Payment Direction Form
- vii. Full contact information for new Landlord including phone number(s)

(c) Landlord agrees not to sell, lease or use any areas of the Property or Surrounding Property for the installation, operation or maintenance of other wireless communication facilities if such installation, operation or maintenance would interfere with Tenant's Permitted Use or communications equipment as determined by radio propagation tests performed by Tenant in its sole discretion. Landlord or Landlord's prospective purchaser shall reimburse Tenant for any costs and expenses of such testing. If the radio frequency propagation tests demonstrate levels of interference unacceptable to Tenant, Landlord shall be prohibited from selling, leasing or using any areas of the Property or the Surrounding Property for purposes of any installation, operation or maintenance of any other wireless communication facility or equipment.

(d) The provisions of this Section shall in no way limit or impair the obligations of Landlord under this Agreement, including interference and access obligations.

**23. RIGHT OF FIRST REFUSAL.** Notwithstanding the provisions contained in Section 22, if at any time after the Effective Date, Landlord receives a bona fide written offer from a third party seeking any sale, conveyance, assignment or transfer, whether in whole or in part, of any property interest in or related to the Premises, including without limitation any offer seeking an assignment or transfer of the Rent payments associated with this Agreement or an offer to purchase an easement with respect to the Premises ("**Offer**"), Landlord shall immediately furnish Tenant with a copy of the Offer. Tenant shall have the right within ninety (90) days after it receives such copy to match the Offer and agree in writing (the "**Exercise Notice**") to match the financial terms of the Offer. For the avoidance of doubt, to exercise its rights under this Section 23, Tenant shall not be required to match any compensation due to parties unrelated Landlord, including but not limited to broker compensation. The Exercise Notice shall be in the form of a contract substantially similar to the Offer (matching the financial terms as set forth herein); provided, however, that Landlord and Tenant acknowledge and agree that the Exercise Notice is intended to be a letter of intent or similar, and the parties shall thereafter negotiate in good faith the documents reasonably required to consummate Tenant's exercise of its rights under this Section 23. Tenant may assign its rights under this Section 23. If Tenant chooses not to exercise this right or fails to provide written notice to Landlord within the ninety (90) day period, Landlord may sell, convey, assign or transfer such property interest in or related to the Premises pursuant to the Offer, subject to the terms of this Agreement. If Landlord attempts to sell, convey, assign or transfer such property interest in or related to the Premises without complying with this Section 23, the sale, conveyance, assignment or transfer shall be void. Tenant shall not be responsible for any failure to make payments under this Agreement and reserves the right to hold payments due under this Agreement until Landlord complies with this Section 23. Tenant's failure to exercise the right of first refusal shall not be deemed a waiver of the rights contained in this Section 23 with respect to any future proposed conveyances as described herein.

**24. MISCELLANEOUS.**

(a) **Amendment/Waiver.** This Agreement cannot be amended, modified or revised unless done in writing and signed by Landlord and Tenant. No provision may be waived except in a writing signed by both parties. The failure by a party to enforce any provision of this Agreement or to require performance by the other party will not be construed to be a waiver, or in any way affect the right of either party to enforce such provision thereafter.

(b) **Memorandum.** Contemporaneously with the execution of this Agreement, the parties will execute a recordable Memorandum of Lease substantially in the form attached as **Exhibit 24b**. Either party may record this Memorandum of Lease at any time during the Term, in its absolute discretion. Thereafter during the Term, either party will, at any time upon fifteen (15) business days' prior written notice from the other, execute, acknowledge and deliver to the other a recordable Memorandum of Lease.

(c) **Limitation of Liability.** Except for the indemnity obligations set forth in this Agreement, and otherwise notwithstanding anything to the contrary in this Agreement, Tenant and Landlord each waives any claims that each may have against the other with respect to consequential, incidental or special damages, however caused, based on any theory of liability.

(d) **Compliance with Law.** Tenant agrees to comply with all federal, state and local laws, orders, rules and regulations (“Laws”) applicable to Tenant’s use of the Communication Facility on the Property. Landlord agrees to comply with all Laws relating to Landlord’s ownership and use of the Property and any improvements on the Property.

(e) **Bind and Benefit.** The terms and conditions contained in this Agreement will run with the Property and bind and inure to the benefit of the parties, their respective heirs, executors, administrators, successors and assigns.

(f) **Entire Agreement.** This Agreement and the exhibits attached hereto, all being a part hereof, constitute the entire agreement of the parties hereto and will supersede all prior offers, negotiations and agreements with respect to the subject matter of this Agreement. Exhibits are numbered to correspond to the Section wherein they are first referenced. Except as otherwise stated in this Agreement, each party shall bear its own fees and expenses (including the fees and expenses of its agents, brokers, representatives, attorneys, and accountants) incurred in connection with the negotiation, drafting, execution and performance of this Agreement and the transactions it contemplates.

(g) **Governing Law.** This Agreement will be governed by the laws of the state in which the Premises are located, without regard to conflicts of law.

(h) **Interpretation.** Unless otherwise specified, the following rules of construction and interpretation apply: (i) captions are for convenience and reference only and in no way define or limit the construction of the terms and conditions hereof; (ii) use of the term "including" will be interpreted to mean "including but not limited to"; (iii) whenever a party's consent is required under this Agreement, except as otherwise stated in the Agreement or as same may be duplicative, such consent will not be unreasonably withheld, conditioned or delayed; (iv) exhibits are an integral part of this Agreement and are incorporated by reference into this Agreement; (v) use of the terms "termination" or "expiration" are interchangeable; (vi) reference to a default will take into consideration any applicable notice, grace and cure periods; (vii) to the extent there is any issue with respect to any alleged, perceived or actual ambiguity in this Agreement, the ambiguity shall not be resolved on the basis of who drafted the Agreement; (viii) the singular use of words includes the plural where appropriate and (ix) if any provision of this Agreement is held invalid, illegal or unenforceable, the remaining provisions of this Agreement shall remain in full force if the overall purpose of the Agreement is not rendered impossible and the original purpose, intent or consideration is not materially impaired.

(i) **Affiliates.** All references to “Tenant” shall be deemed to include any Affiliate of Harmoni Towers LLC using the Premises for any Permitted Use or otherwise exercising the rights of Tenant pursuant to this Agreement. “Affiliate” means with respect to a party to this Agreement, any person or entity that (directly or indirectly) controls, is controlled by, or under common control with, that party. “Control” of a person or entity means the power (directly or indirectly) to direct the management or policies of that person or entity, whether through the ownership of voting securities, by contract, by agency or otherwise.

(j) **Survival.** Any provisions of this Agreement relating to indemnification shall survive the termination or expiration hereof. In addition, any terms and conditions contained in this Agreement that by their sense and context are intended to survive the termination or expiration of this Agreement shall so survive.

(k) **W-9.** As a condition precedent to payment, Landlord agrees to provide Tenant with a completed IRS Form W-9, or its equivalent, upon execution of this Agreement and at such other times as may be reasonably requested by Tenant, including any change in Landlord’s name or address.

(l) **Execution/No Option.** The submission of this Agreement to any party for examination or consideration does not constitute an offer, reservation of or option for the Premises based on the terms set forth herein. This Agreement will become effective as a binding Agreement only upon the handwritten legal execution, acknowledgment and delivery hereof by Landlord and Tenant. This Agreement may be executed in two (2) or more counterparts, all of which shall be considered one and the same agreement and shall become

effective when one or more counterparts have been signed by each of the parties. All parties need not sign the same counterpart.

(m) **Attorneys' Fees.** In the event that any dispute between the parties related to this Agreement should result in litigation, the prevailing party in such litigation shall be entitled to recover from the other party all reasonable fees and expenses of enforcing any right of the prevailing party, including reasonable attorneys' fees and expenses. Prevailing party means the party determined by the court to have most nearly prevailed even if such party did not prevail in all matters. This provision will not be construed to entitle any party other than Landlord, Tenant and their respective Affiliates to recover their fees and expenses.

(n) **WAIVER OF JURY TRIAL.** EACH PARTY, TO THE EXTENT PERMITTED BY LAW, KNOWINGLY, VOLUNTARILY AND INTENTIONALLY WAIVES ITS RIGHT TO A TRIAL BY JURY IN ANY ACTION OR PROCEEDING UNDER ANY THEORY OF LIABILITY ARISING OUT OF OR IN ANY WAY CONNECTED WITH THIS AGREEMENT OR THE TRANSACTIONS IT CONTEMPLATES.

(o) **Incidental Fees.** Unless specified in this Agreement, no unilateral fees or additional costs or expenses are to be applied by either party to the other party, including review of plans, structural analyses, consents, provision of documents or other communications between the parties.

(p) **Further Acts.** Upon request, Landlord will cause to be promptly and duly taken, executed, acknowledged and delivered all such further acts, documents, and assurances as Tenant may request from time to time in order to effectuate, carry out and perform all of the terms, provisions and conditions of this Agreement and all transactions and permitted use contemplated by this Agreement.

(q) **Force Majeure.** No party shall be liable or responsible to the other party, nor be deemed to have defaulted under or breached this Agreement, for any failure or delay in fulfilling or performing any term of this Agreement, when and to the extent such failure or delay is caused by or results from acts beyond the affected party's reasonable control, including, without limitation: (a) acts of God; (b) flood, fire, earthquake, or explosion; (c) war, invasion, hostilities (whether war is declared or not), terrorist threats or acts, riot, or other civil unrest; (d) government order or law; (e) embargoes, or blockades in effect on or after the date of this Agreement; (f) action by any governmental authority; (g) national or regional emergency; and (h) strikes, labor stoppages or slowdowns, or other industrial disturbances. The party suffering a force majeure event shall give written notice to the other party, stating the period of time the occurrence is expected to continue and shall use diligent efforts to end the failure or delay and ensure the effects of such force majeure event are minimized.

[SIGNATURES APPEAR ON NEXT PAGE]

IN WITNESS WHEREOF, the parties have caused this Agreement to be effective as of the last date written below.

"LANDLORD"

By: Mark Lewis  
Print Name: Mark Lewis 7-23-21  
Its: Owner  
Date: 7-16-21

By: Robin Lewis  
Print Name: Robin Lewis 7-23-21  
Its: Life Estate Holder  
Date: 7-16-2021

By: Robin Lewis  
Print Name: Robin Lewis 7-23-21  
Its: Non-vested owner relinquishing any marital rights  
Date: 7-16-2021

By: Bryant Dunagan  
Print Name: Bryant Dunagan  
Its: Owner  
Date: 7-16-21, 7-23-21

By: Paige Dunagan  
Print Name: Paige Dunagan  
Its: Non-vested owner relinquishing any marital rights  
Date: 7/23/21

"TENANT"

Harmoni Towers LLC

By: Ginger Major  
Print Name: VP-Real Estate  
Its: VP-Real Estate  
Date: 8/3/2021

[ACKNOWLEDGMENTS APPEAR ON NEXT PAGE]

TENANT ACKNOWLEDGMENT

STATE OF ARKANSAS

COUNTY OF PULASKI

On the 3rd day of August, 2021, before me personally appeared Ginger Mapers who acknowledged under oath that he/ she is the V.P. Keel Estate of Harmoni Towers LLC, the Tenant named in the attached instrument, and as such was authorized to execute this instrument on behalf of the Tenant.



Laura Headington  
Notary Public: 12701915  
My Commission Expires: 7/13/2021

**LANDLORD ACKNOWLEDGMENT**

STATE OF Kentucky

COUNTY OF Wayne

BE IT REMEMBERED, that on this 23 day of July, 2021 before me, the subscriber, a person authorized to take oaths in the State of Kentucky, personally appeared Mark Lewis, owner, who, being duly sworn on his/her/their oath, deposed and made proof to my satisfaction that he/she/they is/are the person(s) named in the within instrument; and I, having first made known to him/her/them the contents thereof, he/she/they did acknowledge that he/she/they signed, sealed and delivered the same as his/her/their voluntary act and deed for the purposes therein contained.

**SARA Y. RICHARDSON**  
Notary Public - State at Large  
Kentucky  
My Commission Expires Feb. 4, 2023  
Notary ID KYNP23072

Sara Y Richardson  
Notary Public: Sara Y Richardson  
My Commission Expires: 2/4/2023

**LANDLORD ACKNOWLEDGMENT**

STATE OF Kentucky

COUNTY OF Wayne

BE IT REMEMBERED, that on this 23 day of July, 2021 before me, the subscriber, a person authorized to take oaths in the State of Kentucky, personally appeared Robin Lewis, a Life Estate Holder, who, being duly sworn on his/her/their oath, deposed and made proof to my satisfaction that he/she/they is/are the person(s) named in the within instrument; and I, having first made known to him/her/them the contents thereof, he/she/they did acknowledge that he/she/they signed, sealed and delivered the same as his/her/their voluntary act and deed for the purposes therein contained.

**SARA Y. RICHARDSON**  
Notary Public - State at Large  
Kentucky  
My Commission Expires Feb. 4, 2023  
Notary ID KYNP23072

Sara Y Richardson  
Notary Public: Sara Y Richardson  
My Commission Expires: 2/4/2023

**LANDLORD ACKNOWLEDGMENT**

STATE OF Kentucky

COUNTY OF Wayne

BE IT REMEMBERED, that on this 23 day of July, 2021 before me, the subscriber, a person authorized to take oaths in the State of Kentucky, personally appeared Robin Lewis, a non-vested owner, who, being duly sworn on his/her/their oath, deposed and made proof to my satisfaction that he/she/they is/are the person(s) named in the within instrument; and I, having first made known to him/her/them the contents thereof, he/she/they did acknowledge that he/she/they signed, sealed and delivered the same as his/her/their voluntary act and deed for the purposes therein contained.

**SARA Y. RICHARDSON**  
Notary Public - State at Large  
Kentucky  
My Commission Expires Feb. 4, 2023  
Notary ID KYNP23072

Sara Y Richardson  
Notary Public: Sara Y Richardson  
My Commission Expires: 2/4/2023

**LANDLORD ACKNOWLEDGMENT**

STATE OF Kentucky \_\_\_\_\_

COUNTY OF Wayne \_\_\_\_\_

BE IT REMEMBERED, that on this 23 day of July, 2021 before me, the subscriber, a person authorized to take oaths in the State of Kentucky, personally appeared Bryant Dunagan, owner, who, being duly sworn on his/her/their oath, deposed and made proof to my satisfaction that he/she/they is/are the person(s) named in the within instrument; and I, having first made known to him/her/them the contents thereof, he/she/they did acknowledge that he/she/they signed, sealed and delivered the same as his/her/their voluntary act and deed for the purposes therein contained.

**SARA Y. RICHARDSON**  
Notary Public - State at Large  
Kentucky  
My Commission Expires Feb. 4, 2023  
Notary ID KYNP23072

Sara Y Richardson  
Notary Public: Sara Y Richardson  
My Commission Expires: 2/4/2023



**LANDLORD ACKNOWLEDGMENT**

STATE OF Kentucky \_\_\_\_\_

COUNTY OF Wayne \_\_\_\_\_

BE IT REMEMBERED, that on this 23 day of July, 2021 before me, the subscriber, a person authorized to take oaths in the State of Kentucky, personally appeared Paige Dunagan, a non-vested owner, who, being duly sworn on his/her/their oath, deposed and made proof to my satisfaction that he/she/they is/are the person(s) named in the within instrument; and I, having first made known to him/her/them the contents thereof, he/she/they did acknowledge that he/she/they signed, sealed and delivered the same as his/her/their voluntary act and deed for the purposes therein contained.

**SARA Y. RICHARDSON**  
Notary Public - State at Large  
Kentucky  
My Commission Expires Feb. 4, 2023  
Notary ID KYNP23072

*Sara Y. Richardson*  
Notary Public: Sara Y. Richardson  
My Commission Expires: 2/4/2023

## EXHIBIT 1

### DESCRIPTION OF PREMISES

Page 1 of 11

to the Option and Lease Agreement dated August 3, 2021, by and between Mark Lewis, married, and Bryant Dunagan, married, subject to the life estate of Robin Lewis, as Landlord, and Harmoni Towers LLC, a Delaware limited liability company, as Tenant.

The Property is legally described as follows:

#### Tract B:

A certain tract of land lying and being in the Susie Community, Wayne County, Kentucky and being more particularly described as follows:

Unless otherwise stated, any monument referred to herein as a "Rebar and Cap" is a 5/8" x 18" rebar with a yellow plastic survey cap stamped "Donald Miller, KY PLS 3426". All bearings stated herein are referred to the magnetic meridian as observed August 4, 1998.

Beginning at a rebar and cap set this survey at the Southeast corner of Kelly and Darlene Ramsey (Deed Book 246, Page 184), also being in the Northerly right-of-way line of Kentucky Highway 834 (40' right-of-way); thence leaving said Northerly right of way line and along the Easterly line of said Ramsey, N51 deg. 22 min. 26 sec. E a distance of 129.31 feet to a rebar and cap set this survey; thence along the East line of West Properties, LLC (Deed Book 270, Page 91), N 59 deg. 16 min. 13 sec. E a distance of 208.08 feet to a rebar and cap found stamped "Jim West"; thence leaving West Properties, LLC and along a new division line on the following two (2) courses and distances:

1. S 56 deg. 43 min. 29 sec. E a distance of 238.37 feet to a rebar and cap set this survey;
2. S 33 deg. 16 min. 31 sec. W a distance of 309.94 feet to a rebar and cap set this survey in the aforementioned Northerly right-of-way line of Kentucky highway 834;

Thence along said Northerly right-of-way line, N 56 deg. 43 min. 29 sec. W a distance of 369.74 feet to the Point of Beginning.

Containing 2.21 acres more or less and being subject to all easements, restrictions and right-of-ways of record.

#### Tract C:

A certain tract of land lying and being in the Susie Community, Wayne County, Kentucky and being more particularly described as follows:

Unless otherwise stated, any monument referred to herein as a "Rebar and Cap" is a 5/8" x 18" rebar with a yellow plastic survey cap stamped "Donald Miller, KY PLS 3426". All bearings stated herein are referred to the magnetic meridian as observed August 4, 1998.

Commencing at a rebar and cap set this survey at the Southeast corner of Kelly and Darlene Ramsey (Deed Book 246, Page 184), also being in the Northerly right-of-way line of Kentucky Highway 834 (40" right-of-way); thence along said Northerly right-of-way, S 56 deg. 43 min. 29 sec. E a distance of 369.74 feet to the Point of Beginning, thence leaving said Northerly right-of-way and along a new division line on the following two (2) courses and distances:

- 1) N 33 deg. 16 min. 31 sec. E a distance of 309.94 feet to a rebar and cap set this survey;
- 2) N 56 deg. 43 min. 29 sec. W a distance of 238.37 feet to a rebar and cap found stamped "Jim West"

Thence along the Easterly line of American Woodmark Corporation (Deed Book 264, Page 232 on the following two courses and distances:

- 1) N 59 deg. 16 min. 13 sec. E a distance of 193.53 feet to a rebar and cap set this survey;
- 2) N 60 deg. 53 min. 14 sec. E a distance of 766.03 feet to a rebar and cap found stamped "Jim West";

Thence continuing along said American Woodmark Corporation and Hallis D. & Nene Darlene Hicks (Deed Book 319, Page 775), N 61 deg. 29 min. 06 sec. E a distance of 552.78 feet to a rebar and cap found stamped "Jim West"; thence continuing along said Hallis D. & Darlene Hicks, S 83 deg. 51 min. 24 sec. E a distance of 314.13 feet to a rebar and cap found stamped "Jim West"; thence leaving said Hicks and along the Westerly line of Mark Lewis, (Deed Book 229, Page 380), S 04 deg. 13 min. 12 sec. W a distance of 714.78 feet to a rebar and cap found stamped "Jim West"; thence along the Westerly line of Nancy Kline (Deed Book 270, Page 589), S 04 deg. 00 min. 55 sec. W a distance of 634.61 feet; thence continuing along the Northerly line of said Kline on the following three courses and distances:

- 1) N 87 deg. 40 min. 18 sec. W, passing a rebar and cap set this survey at 5.00 feet, a total distance of 495.00 feet to a rebar and cap set this survey;
- 2) S 82 deg. 55 min. 40 sec. W a distance of 132.77 feet to a rebar and cap set this survey;
- 3) S 45 deg. 06 min. 17 sec. W a distance of 485.74 feet to a rebar and cap found stamped "Jim West" in the aforementioned Northerly right-of-way line of Kentucky Highway 834;

Thence along said Northerly right-of-way line on the following four (4) courses and distances:

- 1) Along a curve to the right having a radius of 630.00 feet and an arc length of 311.05 feet, the chord of said curve bears N 43 deg. 49 min. 33 sec. W a distance of 307.90 feet;
- 2) N29 deg. 40 min. 53 sec. W a distance of 154.58 feet;
- 3) Along a curve to the left having a radius of 570.00 feet and an arc length of 269.04 feet, the chord of said curve bears N 43 deg. 12 min. 11 sec. W a distance of 266.55 feet.
- 4) N 56 deg. 43 min. 29 sec. W a distance of 77.41 feet to the Point of Beginning.

Containing 39.52 acres more or less and being subject to all easements, restrictions, and right-of-ways of record.

Tract D:

A certain tract of land lying and being in the Susie Community, Wayne County, Kentucky and being more particularly described as follows:

Unless otherwise stated, any monument referred to herein as a "Rebar and Cap" is a 5/8" x 18" rebar with a yellow plastic survey cap stamped "Donald Miller, KY PLS 3426". All bearings stated herein are referred to the magnetic meridian as observed August 4, 1998.

Commencing at a rebar and cap set this survey at the Southeast corner of Kelly and Darlene Ramsey (Deed Book 246, Page 184), also being in the Northerly right-of-way line of Kentucky Highway 834 (40' right-of-way); thence along a tie line, N 71 deg. 56 min. 45 sec. E a distance of 2689.38 feet to a rebar found in the end of a rock fence and the Point of Beginning; thence along the Southerly line of Dalton Family Trust (Deed Book 313, Page 54), S 88 deg. 26 min. 31 sec. E a distance of 1907.82 feet to a rebar and cap set this survey; thence leaving said Dalton Family Trust and along the Westerly line of Bryant Dungan (Deed Book 264, Page 210), S 44 deg. 10 min. 53 sec. W a distance of 1408.10 feet to a rebar and cap set this survey; thence along the Easterly line of Mark Lewis (Deed Book 229, Page 380), N 28 deg. 40 min.

00 sec. W a distance of 499.96 feet to a rebar and cap set this survey; thence continuing along said mark Lewis on the following three courses and distances:

- 1) N 63 deg. 49 min. 07 sec. W a distance of 721.14 feet to a rebar and cap found stamped "Jim West";
- 2) N 00 deg. 29 min. 23 sec. W a distance of 231.00 feet to a rebar and cap found stamped "Jim West";
- 3) N 26 deg. 29 min. 23 sec. W a distance of 82.50 feet to the Point of Beginning.

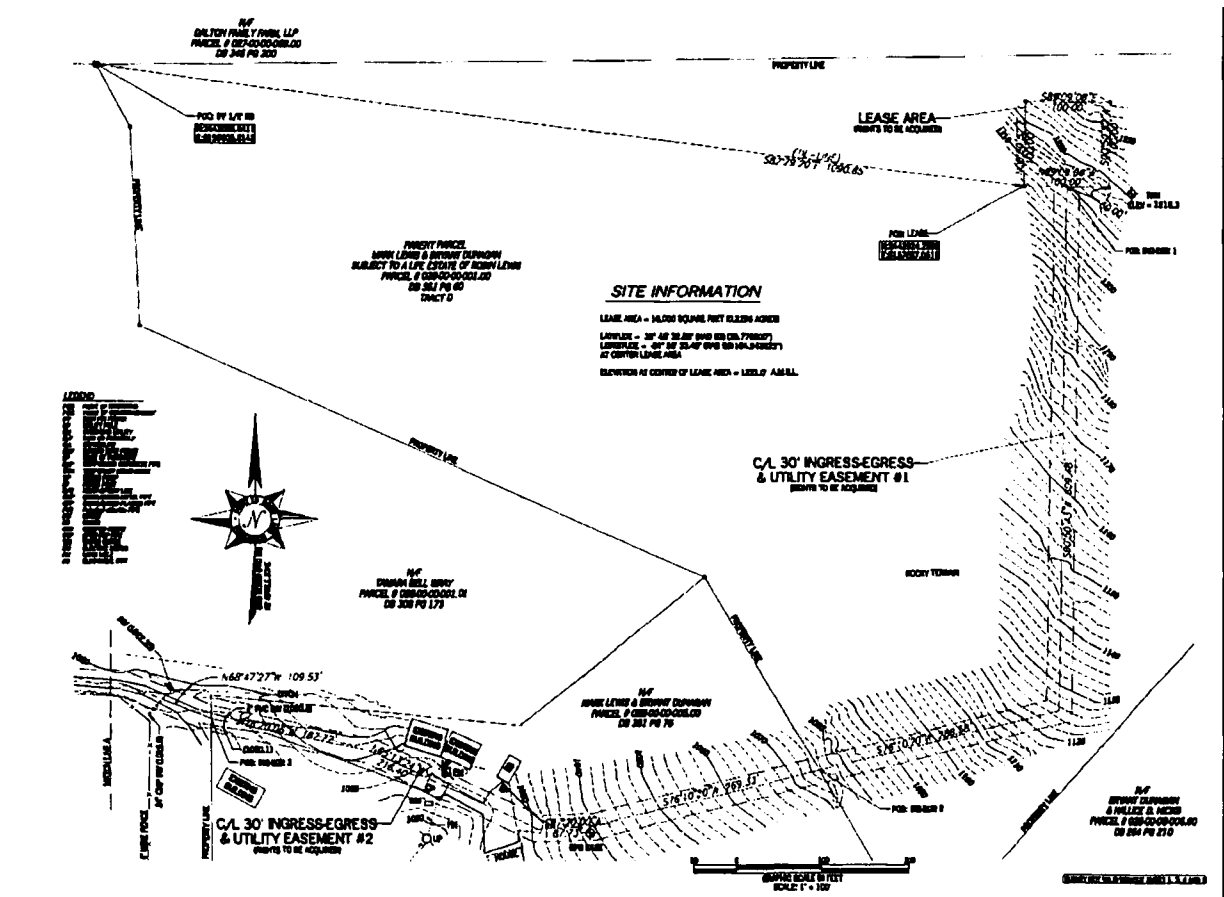
Containing 22.98 acres more or less and being subject to all easements, restrictions and right-of-ways of record.

The above described property having a benefit of a 15 foot wide ingress-egress easement over and across Tamera Wray and an existing gravel road; beginning at Point A as listed above, S 00 deg. 13 min. 12 sec. E a distance of 426.61 feet to the Northwest corner of Mark Lewis and a gravel road; thence with the meanders of said gravel road to Kentucky Highway 834 and the point of terminus.

AND BEING the same property conveyed to Mark Lewis and Bryant Dunagan from Robin Lewis by Deed of Conveyance dated February 11, 2013 and recorded February 12, 2013 in Deed Book 351, Page 60.

Tax Parcel No. 028-00-00-001.00

The Premises are described and/or depicted as follows:



LEASE AREA  
HARMONI TOWERS  
WEST HIGHWAY 90  
KYLEX2056

All that tract or parcel of land lying and being in the Susie Community, Wayne County, Kentucky, and being a portion of the lands of Mark Lewis and Bryant Dunagan, as recorded in Deed Book 351, Page 60, Wayne County records, and being more particularly described as follows:

To find the point of beginning, COMMENCE, at a ½-rebar found at the northwestern corner of Tract D of said lands, said rebar post having a Kentucky Grid North, NAD 83, Single Zone value of N:3443066.6411 E:5156605.6142; thence running along a tie-line, South 82°29'20" East, 1090.85 feet to a point having a Kentucky Grid North, NAD 83, Single Zone value of N:3442924.2893 E:5157687.0511, and the true POINT OF BEGINNING; Thence running, North 00°50'52" East, 100.00 feet to a point; Thence, South 89°09'08" East, 100.00 feet to a point; Thence, South 00°50'52" West, 100.00 feet to a point; Thence, North 89°09'08" West, 100.00 feet to a point and the POINT OF BEGINNING.

Bearings based on Kentucky Grid North, NAD 83, Single Zone.

Said tract contains 0.2296 acres (10,000 square feet), more or less, as shown in a survey prepared for Harmoni Towers by POINT TO POINT LAND SURVEYORS, INC. dated February 22, 2021.

30' INGRESS-EGRESS & UTILITY EASEMENT #1  
HARMONI TOWERS  
WEST HIGHWAY 90  
KYLEX2056

Together with a 30-foot wide Ingress-Egress and Utility Easement (lying 15 feet each side of centerline), lying and being in the Susie Community, Wayne County, Kentucky, and being a portion of the lands of Mark Lewis and Bryant Dunagan, as recorded in Deed Book 351, Page 60, Wayne County records, and being more particularly described by the following centerline data:

To find the point of beginning, COMMENCE, at a ½-rebar found at the northwestern corner of Tract D of said lands, said rebar post having a Kentucky Grid North, NAD 83, Single Zone value of N:3443066.6411 E:5156605.6142; thence running along a tie-line, South 82°29'20" East, 1090.85 feet to a point on the Lease Area, said point having a Kentucky Grid North, NAD 83, Single Zone value of N:3442924.2893 E:5157687.0511; thence running, North 00°50'52" East, 100.00 feet to a point; thence, South 89°09'08" East, 100.00 feet to a point; thence, South 00°50'52" West, 100.00 feet to a point; thence, North 89°09'08" West, 50.00 feet to a point and the true POINT OF BEGINNING; Thence leaving the Lease Area and running, South 00°50'43" West, 609.48 feet to a point; Thence, South 76°10'20" West, 288.58 feet to the ENDING at a point on a southwesterly property line of said Tract D.

Bearings based on Kentucky Grid North, NAD 83, Single Zone.

As shown in a survey prepared for Harmoni Towers by POINT TO POINT LAND SURVEYORS, INC. dated February 22, 2021.

30' INGRESS-EGRESS & UTILITY EASEMENT #2  
HARMONI TOWERS  
WEST HIGHWAY 90  
KYLEX2056

Together with a 30-foot wide Ingress-Egress and Utility Easement (lying 15 feet each side of centerline), lying and being in Wayne County, Kentucky, and being a portion of the lands of Mark Lewis and Bryant Dunagan, as recorded in Deed Book 351, Page 76, Wayne County records, and being more particularly described by the following centerline data:

To find the point of beginning, COMMENCE, at a ½-rebar found at the northwestern corner of Tract D of the lands of Mark Lewis and Bryant Dunagan, as recorded in Deed Book 351, Page 60, Wayne County records, said rebar post having a Kentucky Grid North, NAD 83, Single Zone value of N:3443066.6411 E:5156605.6142; thence running along a tie-line, South 82°29'20" East, 1090.85 feet to a point on the Lease Area, said point having a Kentucky Grid North, NAD 83, Single Zone value of N:3442924.2893 E:5157687.0511; thence running, North 00°50'52" East, 100.00 feet to a point; thence, South 89°09'08" East, 100.00 feet to a point; thence, South 00°50'52" West, 100.00 feet to a point; thence, North 89°09'08" West, 50.00 feet to a point; thence leaving the Lease Area and running, South 00°50'43" West, 609.48 feet to a point; thence, South 76°10'20" West, 288.58 feet to a point on the northeasterly property line of said lands, and the true POINT OF BEGINNING; Thence leaving Tract D and running, South 76°10'20" West, 269.33 feet to a point; Thence, South 87°20'00" West, 67.73 feet to a point; Thence, North 65°13'24" West, 216.40 feet to a point; Thence, North 78°20'06" West, 187.72 feet to the ENDING at a point on the western property line of said lands.

Bearings based on Kentucky Grid North, NAD 83, Single Zone.

As shown in a survey prepared for Harmoni Towers by POINT TO POINT LAND SURVEYORS, INC. dated February 22, 2021.

30' INGRESS-EGRESS & UTILITY EASEMENT #3  
HARMONI TOWERS  
WEST HIGHWAY 90  
KYLEX2056

Together with a 30-foot wide Ingress-Egress and Utility Easement (lying 15 feet each side of centerline), lying and being in Wayne County, Kentucky, and being a portion of the lands of Tamara Bell Wray, as recorded in Deed Book 308, Page 173, Wayne County records, and being more particularly described by the following centerline data:

To find the point of beginning, COMMENCE, at a ½-rebar found at the northwestern corner of Tract D of the lands of Mark Lewis and Bryant Dunagan, as recorded in Deed Book 351, Page 60, Wayne County records, said rebar post having a Kentucky Grid North, NAD 83, Single Zone value of N:3443066.6411 E:5156605.6142; thence running along a tie-line, South 82°29'20" East, 1090.85 feet to a point on the Lease Area, said point having a Kentucky Grid North, NAD 83, Single Zone value of N:3442924.2893 E:5157687.0511; thence running, North 00°50'52" East, 100.00 feet to a point; thence, South 89°09'08" East, 100.00 feet to a point; thence, South 00°50'52" West, 100.00 feet to a point; thence, North 89°09'08" West, 50.00 feet to a point; thence leaving the Lease Area and running, South 00°50'43" West, 609.48 feet to a point; thence, South 76°10'20" West, 288.58 feet to a point on a southwesterly property line of said Tract D; thence leaving Tract D and running onto the lands of Mark Lewis and Bryant Dunagan, as recorded in Deed Book 351, Page 76, Wayne County records, South 76°10'20" West, 269.33 feet to a point; thence, South 87°20'00" West, 67.73 feet to a point; thence, North 65°13'24" West, 216.40 feet to a point; thence, North 78°20'06" West, 187.72 feet to a point on an easterly property line of said Wray lands, and the true POINT OF BEGINNING; Thence running, North 68°47'27" West, 109.53 feet to a point; Thence, North 86°29'49" West, 646.61 feet to a point; Thence, 67.57 feet along the arc of a curve to the left, having a radius of 46.32 feet and being scribed by a chord bearing, South 45°44'20" West, 61.74 feet to a point; Thence, South 01°34'01" West, 525.67 feet to a point; Thence, South 21°20'33" West, 64.22 feet to the ENDING at a point on a westerly property line of said lands.

Bearings based on Kentucky Grid North, NAD 83, Single Zone.

As shown in a survey prepared for Harmoni Towers by POINT TO POINT LAND SURVEYORS, INC. dated February 22, 2021.



**30' INGRESS-EGRESS & UTILITY EASEMENT #4  
HARMONI TOWERS  
WEST HIGHWAY 90  
KYLEX2056**

Together with a 30-foot wide Ingress-Egress and Utility Easement (lying 15 feet each side of centerline), lying and being in the Susie Community, Wayne County, Kentucky, and being a portion of the lands of Mark Lewis and Bryant Dunagan, as recorded in Deed Book 351, Page 60, Wayne County records, and being more particularly described by the following centerline data:

To find the point of beginning, COMMENCE, at a ½-rebar found at the northwestern corner of Tract D of said lands, said rebar post having a Kentucky Grid North, NAD 83, Single Zone value of N:3443066.6411 E:5156605.6142; thence running along a tie-line, South 82°29'20" East, 1090.85 feet to a point on the Lease Area, said point having a Kentucky Grid North, NAD 83, Single Zone value of N:3442924.2893 E:5157687.0511; thence running, North 00°50'52" East, 100.00 feet to a point; thence, South 89°09'08" East, 100.00 feet to a point; thence, South 00°50'52" West, 100.00 feet to a point; thence, North 89°09'08" West, 50.00 feet to a point; thence leaving the Lease Area and running, South 00°50'43" West, 609.48 feet to a point; thence, South 76°10'20" West, 288.58 feet to a point on a southwesterly property line of said Tract D; thence leaving Tract D and running onto the lands of Mark Lewis and Bryant Dunagan, as recorded in Deed Book 351, Page 76, Wayne County records, South 76°10'20" West, 269.33 feet to a point; thence, South 87°20'00" West, 67.73 feet to a point; thence, North 65°13'24" West, 216.40 feet to a point; thence, North 78°20'06" West, 187.72 feet to a point on an easterly property line of said lands; thence running, North 68°47'27" West, 109.53 feet to a point; thence, North 86°29'49" West, 646.61 feet to a point; thence, 67.57 feet along the arc of a curve to the left, having a radius of 46.32 feet and being scribed by a chord bearing, South 45°44'20" West, 61.74 feet to a point; thence, South 01°34'01" West, 525.67 feet to a point; thence, South 21°20'33" West, 64.22 feet to a point on the eastern property line of Tract C of said lands, and the true POINT OF BEGINNING; Thence running, South 21°20'33" West, 7.54 feet to the ENDING at a point on a southeasterly property line of said lands.

Bearings based on Kentucky Grid North, NAD 83, Single Zone.

As shown in a survey prepared for Harmoni Towers by POINT TO POINT LAND SURVEYORS, INC. dated February 22, 2021.

30' INGRESS-EGRESS & UTILITY EASEMENT #5  
HARMONI TOWERS  
WEST HIGHWAY 90  
KYLEX2056

Together with a 30-foot wide Ingress-Egress and Utility Easement (lying 15 feet each side of centerline), lying and being in Wayne County, Kentucky, and being a portion of the lands of Tamara Bell Wray, as recorded in Deed Book 308, Page 173, Wayne County records, and being more particularly described by the following centerline data:

To find the point of beginning, COMMENCE, at a ½-rebar found at the northwestern corner of Tract D of the lands of Mark Lewis and Bryant Dunagan, as recorded in Deed Book 351, Page 60, Wayne County records, said rebar post having a Kentucky Grid North, NAD 83, Single Zone value of N:3443066.6411 E:5156605.6142; thence running along a tie-line, South 82°29'20" East, 1090.85 feet to a point on the Lease Area, said point having a Kentucky Grid North, NAD 83, Single Zone value of N:3442924.2893 E:5157687.0511; thence running, North 00°50'52" East, 100.00 feet to a point; thence, South 89°09'08" East, 100.00 feet to a point; thence, South 00°50'52" West, 100.00 feet to a point; thence, North 89°09'08" West, 50.00 feet to a point; thence leaving the Lease Area and running, South 00°50'43" West, 609.48 feet to a point; thence, South 76°10'20" West, 288.58 feet to a point on a southwesterly property line of said Tract D; thence leaving Tract D and running onto the lands of Mark Lewis and Bryant Dunagan, as recorded in Deed Book 351, Page 76, Wayne County records, South 76°10'20" West, 269.33 feet to a point; thence, South 87°20'00" West, 67.73 feet to a point; thence, North 65°13'24" West, 216.40 feet to a point; thence, North 78°20'06" West, 187.72 feet to a point on an easterly property line of said lands; thence running, North 68°47'27" West, 109.53 feet to a point; thence, North 86°29'49" West, 646.61 feet to a point; thence, 67.57 feet along the arc of a curve to the left, having a radius of 46.32 feet and being scribed by a chord bearing, South 45°44'20" West, 61.74 feet to a point; thence, South 01°34'01" West, 525.67 feet to a point; thence, South 21°20'33" West, 64.22 feet to a point on the eastern property line of Tract C of the lands of Mark Lewis and Bryant Dunagan, as recorded in Deed Book 351, Page 60, Wayne County records; thence running, South 21°20'33" West, 7.54 feet to a point on a northerly property line of said Wray lands, and the true POINT OF BEGINNING; Thence running, South 02°45'14" West, 496.90 feet to the ENDING at a point on a southerly property line of said lands.

Bearings based on Kentucky Grid North, NAD 83, Single Zone.

As shown in a survey prepared for Harmoni Towers by POINT TO POINT LAND SURVEYORS, INC. dated February 22, 2021.

30' INGRESS-EGRESS & UTILITY EASEMENT #6  
HARMONI TOWERS  
WEST HIGHWAY 90  
KYLEX2056

Together with a 30-foot wide Ingress-Egress and Utility Easement (lying 15 feet each side of centerline), lying and being in Wayne County, Kentucky, and being a portion of the lands of Tamara D. Wray, as recorded in Deed Book 316, Page 704, Wayne County records, and being more particularly described by the following centerline data:

To find the point of beginning, COMMENCE, at a ½-rebar found at the northwestern corner of Tract D of the lands of Mark Lewis and Bryant Dunagan, as recorded in Deed Book 351, Page 60, Wayne County records, said rebar post having a Kentucky Grid North, NAD 83, Single Zone value of N:3443066.6411 E:5156605.6142; thence running along a tie-line, South 82°29'20" East, 1090.85 feet to a point on the Lease Area, said point having a Kentucky Grid North, NAD 83, Single Zone value of N:3442924.2893 E:5157687.0511; thence running, North 00°50'52" East, 100.00 feet to a point; thence, South 89°09'08" East, 100.00 feet to a point; thence, South 00°50'52" West, 100.00 feet to a point; thence, North 89°09'08" West, 50.00 feet to a point; thence leaving the Lease Area and running, South 00°50'43" West, 609.48 feet to a point; thence, South 76°10'20" West, 288.58 feet to a point on a southwesterly property line of said Tract D; thence leaving Tract D and running onto the lands of Mark Lewis and Bryant Dunagan, as recorded in Deed Book 351, Page 76, Wayne County records, South 76°10'20" West, 269.33 feet to a point; thence, South 87°20'00" West, 67.73 feet to a point; thence, North 65°13'24" West, 216.40 feet to a point; thence, North 78°20'06" West, 187.72 feet to a point on an easterly property line of said lands; thence running, North 68°47'27" West, 109.53 feet to a point; thence, North 86°29'49" West, 646.61 feet to a point; thence, 67.57 feet along the arc of a curve to the left, having a radius of 46.32 feet and being scribed by a chord bearing, South 45°44'20" West, 61.74 feet to a point; thence, South 01°34'01" West, 525.67 feet to a point; thence, South 21°20'33" West, 64.22 feet to a point on the eastern property line of Tract C of the lands of Mark Lewis and Bryant Dunagan, as recorded in Deed Book 351, Page 60, Wayne County records; thence running, South 21°20'33" West, 7.54 feet to a point on a northerly property line of said Wray lands; thence running, South 02°45'14" West, 496.90 feet to a point on a southerly property line of said lands, and the true POINT OF BEGINNING; Thence running, South 02°45'14" West, 442.61 feet to a point; Thence, 174.99 feet along the arc of a curve to the right, having a radius of 150.45 feet and being scribed by a chord bearing, South 41°19'24" West, 165.29 feet to a point; Thence, North 82°57'08" West, 111.00 feet to the ENDING at a point at the centerline intersection of Holly Tree Lane and Kentucky State Highway 834 (having a 40-foot public right-of-way).

Bearings based on Kentucky Grid North, NAD 83, Single Zone.

As shown in a survey prepared for Harmoni Towers by POINT TO POINT LAND SURVEYORS, INC. dated February 22, 2021.

**Notes:**

1. THIS EXHIBIT MAY BE REPLACED BY A LAND SURVEY AND/OR CONSTRUCTION DRAWINGS OF THE PREMISES ONCE RECEIVED BY TENANT.
2. ANY SETBACK OF THE PREMISES FROM THE PROPERTY'S BOUNDARIES SHALL BE THE DISTANCE REQUIRED BY THE APPLICABLE GOVERNMENT AUTHORITIES.
3. WIDTH OF ACCESS ROAD SHALL BE THE WIDTH REQUIRED BY THE APPLICABLE GOVERNMENT AUTHORITIES, INCLUDING POLICE AND FIRE DEPARTMENTS.
4. THE TYPE, NUMBER AND MOUNTING POSITIONS AND LOCATIONS OF ANTENNAS AND TRANSMISSION LINES ARE ILLUSTRATIVE ONLY. ACTUAL TYPES, NUMBERS AND MOUNTING POSITIONS MAY VARY FROM WHAT IS SHOWN ABOVE.

**EXHIBIT J  
NOTIFICATION LISTING  
CERTIFIED GREEN CARD RECEIPTS**

**West Highway 90 / Zula Relo – Notice List**

LEWIS MARK & ROBIN AND  
DUNAGAN BRYANT  
197 HWY 3106  
MONTICELLO, KY 42633

DALTON FAMILY FARM LLP  
C/O TIM DALTON  
6807 W HWY 90  
MONTICELLO, KY 42633

DUNAGAN BRYANT & HALLICE HICKS  
2870 E HWY 90  
MONTICELLO, KY 42633

LEWIS MARK & ROBIN  
197 HWY 3106  
MONTICELLO, KY 42633

LENNEX TAMARA D WRAY  
1577 HWY 3106  
MONTICELLO, KY 42633

WAYNE LUMBER CO INC  
PO BOX 576  
MONTICELLO, KY 42633

WAYNE DRY KILN INC  
193 WAYNE LUMBER DR  
220 AUCTION ST  
MONTICELLO, KY 42633-0576

VICKERY DAN D ETAL  
4903 W HWY 90  
MONTICELLO, KY 42633

HICKS HALLIS D & NENA DARLENE  
149 BATES CEMETERY RD  
MONTICELLO, KY 42633

BRANSCUM CURTIS & BARBARA  
674 HWY 834 E  
MONTICELLO, KY 42633

HICKS JAMES JASPER & PATRICIA  
151 SIMPSON HOLLOW RD  
MONTICELLO, KY 42633

MARCUM CLINT & SHEILA  
500 HWY 834 E  
MONTICELLO, KY 42633

RAY DENISE GEORGEANNA AND  
RAY CODY MARHSALL  
70 HWY 834 E  
MONTICELLO, KY 42633

MARCUM CLINT L  
500 HWY 834 E  
MONTICELLO, KY 42633

RAMSEY KELLY & DARLENE  
73 HWY 834 E  
MONTICELLO, KY 42633

WEST PROPERTIES LLC  
C/O IMAGE ENTRY INC  
456 INDUSTRIAL BLVD  
LONDON, KY 40741

AMERICAN WOODMARK CORPORATION  
561 SHADY ELM RD  
WINCHESTER, VA 22602

7021 2720 0001 6149 4321

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- Adult Signature Required
- Adult Signature Restricted Delivery

Postage

LEWIS MARK & ROBIN AND  
DUNAGAN BRYANT  
197 HWY 3106  
MONTICELLO, KY 42633



PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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- Adult Signature Required
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Postage

DALTON FAMILY FARM LLP  
C/O TIM DALTON  
6807 W HWY 90  
MONTICELLO, KY 42633



PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7021 2720 0001 6149 4291

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LEWIS MARK & ROBIN  
197 HWY 3106  
MONTICELLO, KY 42633



PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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Postage

DUNAGAN BRYANT & HALICE HICKS  
2870 E HWY 90  
MONTICELLO, KY 42633



PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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Postage

WAYNE LUMBER CO INC  
PO BOX 576  
MONTICELLO, KY 42633



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LENNEX TAMARA D WRAY  
1577 HWY 3106  
MONTICELLO, KY 42633



PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions



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 Return Receipt (electronic) \$  
 Certified Mail Restricted Delivery \$  
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 Adult Signature Restricted Delivery \$

Postage  
\$

VICKERY DAN D ETAL  
4903 W HWY 90  
MONTICELLO, KY 42633



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 Return Receipt (electronic) \$  
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 Adult Signature Restricted Delivery \$

Postage  
\$

WAYNE DRY KILN INC  
193 WAYNE LUMBER DR  
220 AUCTION ST  
MONTICELLO, KY 42633-0576



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Postage  
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BRANSCUM CURTIS & BARBARA  
674 HWY 834 E  
MONTICELLO, KY 42633



7021 2720 0001 6149 4246

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 Return Receipt (electronic) \$  
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 Adult Signature Restricted Delivery \$

Postage  
\$

HICKS HALLIS D & NENA DARLENE  
149 BATES CEMETERY RD  
MONTICELLO, KY 42633



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 Adult Signature Restricted Delivery \$

Postage  
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MARCUM CLINT & SHEILA  
500 HWY 834 E  
MONTICELLO, KY 42633



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 Return Receipt (electronic) \$  
 Certified Mail Restricted Delivery \$  
 Adult Signature Required \$  
 Adult Signature Restricted Delivery \$

Postage  
\$

HICKS JAMES JASPER & PATRICIA  
151 SIMPSON HOLLOW RD  
MONTICELLO, KY 42633



7021 2720 0001 6149 4413

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Extra Services & Fees (check box, add fee as appropriate)  
 Return Receipt (hardcopy) \$  
 Return Receipt (electronic) \$  
 Certified Mail Restricted Delivery \$  
 Adult Signature Required \$  
 Adult Signature Restricted Delivery \$

Postage  
**MARCUM CLINT L  
500 HWY 834 E  
MONTICELLO, KY 42633**

7021 2720 0001 6149 4406

**U.S. Postal Service™  
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Extra Services & Fees (check box, add fee as appropriate)  
 Return Receipt (hardcopy) \$  
 Return Receipt (electronic) \$  
 Certified Mail Restricted Delivery \$  
 Adult Signature Required \$  
 Adult Signature Restricted Delivery \$

Postage  
**RAY DENISE GEORGEANNA AND  
RAY CODY MARHSALL  
70 HWY 834 E  
MONTICELLO, KY 42633**

7021 2720 0001 6149 4437

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 Return Receipt (hardcopy) \$  
 Return Receipt (electronic) \$  
 Certified Mail Restricted Delivery \$  
 Adult Signature Required \$  
 Adult Signature Restricted Delivery \$

Postage  
**WEST PROPERTIES LLC  
C/O IMAGE ENTRY INC  
456 INDUSTRIAL BLVD  
LONDON, KY 40741**

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 Return Receipt (electronic) \$  
 Certified Mail Restricted Delivery \$  
 Adult Signature Required \$  
 Adult Signature Restricted Delivery \$

Postage  
**RAMSEY KELLY & DARLENE  
73 HWY 834 E  
MONTICELLO, KY 42633**

7021 2720 0001 6149 4451

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Extra Services & Fees (check box, add fee as appropriate)  
 Return Receipt (hardcopy) \$  
 Return Receipt (electronic) \$  
 Certified Mail Restricted Delivery \$  
 Adult Signature Required \$  
 Adult Signature Restricted Delivery \$

Postage  
**Mike Anderson  
County Judge Executive  
P.O. Box 439  
55 North Main Street, Suite 103  
Monticello, KY 42633**

7021 2720 0001 6149 4444

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Extra Services & Fees (check box, add fee as appropriate)  
 Return Receipt (hardcopy) \$  
 Return Receipt (electronic) \$  
 Certified Mail Restricted Delivery \$  
 Adult Signature Required \$  
 Adult Signature Restricted Delivery \$

Postage  
**AMERICAN WOODMARK CORPORATION  
561 SHADY ELM RD  
WINCHESTER, VA 22602**

**EXHIBIT K**  
**COPY OF PROPERTY OWNER NOTIFICATION**



1578 Highway 44 East, Suite 6  
P.O. Box 369  
Shepherdsville, KY 40165-0369  
Phone (502) 955-4400 or (800) 516-4293  
Fax (502) 543-4410 or (800) 541-4410

**Notice of Proposed Construction of  
Wireless Communications Facility  
Site Name: West Highway 90 / Zula Relo**

Dear Landowner:

New Cingular Wireless PCS, LLC, a Delaware limited liability company, d/b/a AT&T Mobility and Harmoni Towers LLC, a Delaware limited liability company have filed an application with the Kentucky Public Service Commission ("PSC") to construct a new wireless communications facility on a site located at 571 Holly Hill Tree Lane, Monticello, KY 42633 (E-911) / Hill Drive, Monticello, KY 42633 (PARCEL) (36° 46' 32.88" North latitude, 84° 56' 33.45" West longitude). The proposed WCF will consist of a 2-foot tall foundation below a 255-foot tall tower, with an approximately 10-foot tall lightning arrestor attached at the top, for a total height of 267-feet, plus related ground facilities. This facility is needed to provide improved coverage for wireless communications in the area.<sup>1</sup>

This notice is being sent to you because the County Property Valuation Administrator's records indicate that you may own property that is within a 500' radius of the proposed tower site or contiguous to the property on which the tower is to be constructed. You have a right to submit testimony to the Kentucky Public Service Commission ("PSC"), either in writing or to request intervention in the PSC's proceedings on the application. You may contact the PSC for additional information concerning this matter at: Kentucky Public Service Commission, Executive Director, 211 Sower Boulevard, P.O. Box 615, Frankfort, Kentucky 40602. Please refer to docket number 2022-00279 in any correspondence sent in connection with this matter.

We have attached a map showing the site location for the proposed tower. AT&T Mobility's radio frequency engineers assisted in selecting the proposed site for the facility, and they have determined it is the proper location and elevation needed to provide quality service to wireless customers in the area. Please feel free to contact us toll free at (800) 516-4293 if you have any comments or questions about this proposal.

Sincerely,  
David A. Pike  
Attorney for Applicants

enclosures

---

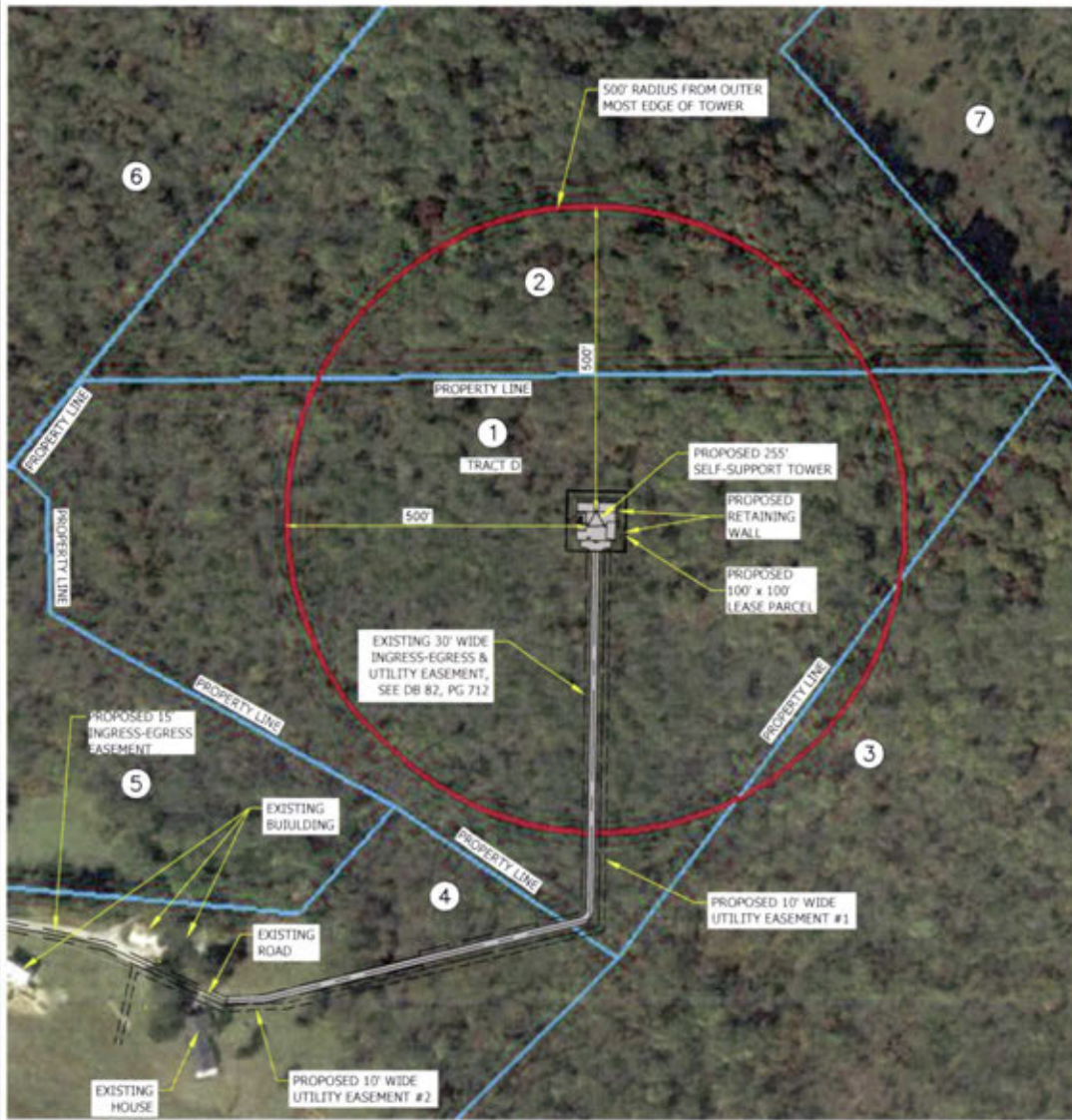
<sup>1</sup> AT&T is currently providing wireless services from an existing tower owned by SBA Towers VII, LLC ("SBA"). The SBA owned tower (FCC Antenna Structure Registration Number: 1258267) is located in the general area where Applicants propose to construct the new tower. However, the SBA owned tower is no longer reasonably available for co-location. As a result, construction of the proposed tower is necessary to meet AT&T's coverage objectives efficiently for this area.

### Driving Directions to Proposed Tower Site:

1. Beginning at the 55 North Main Street, Suite 103, Monticello, KY 42633 head southwest on N Main Street toward Columbia Ave and travel approximately 230 feet.
2. Continue straight onto S Main Street and travel approximately 0.4 miles.
3. Turn right to stay on S Main Street and travel approximately 0.2 miles.
4. Continue onto Albany Road and travel approximately 0.7 miles.
5. Turn left onto KY-90 W and travel approximately 6.5 miles.
6. Turn left onto state Hwy 834 and travel approximately 0.6 miles.
7. A private gravel road leading to the site is located on the left. The E-911 address for the site is 571 Holly Hill Tree Lane, Monticello, KY 42633, and the parcel address is Hill Drive, Monticello, KY 42633 (Parcel Address). The site coordinates are: 36° 46' 32.88" North latitude, 84° 56' 33.45" West longitude.



Prepared by:  
Chris Shouse  
Pike Legal Group  
1578 Highway 44 East, Suite 6  
P.O. Box 396  
Shepherdsville, KY 40165-3069  
Telephone: 502-955-4400 or 800-516-4293



1 500' RADIUS & ADJOINER'S DRAWING  
 SCALE 0 100 200 300 400 1"=200'



#	OWNER	ADDRESS	PID	REF
1	MARK & ROBIN LEWIS AND BRYANT DUNAGAN	197 HWY 3106 MONTICELLO, KY 42633	028-00-00-001.00	DB 351 PG 60
2	DALTON FAMILY FARM, LLP % TIM DALTON	6807 W. HWY 90 MONTICELLO, KY 42633	027-00-00-069.00	DB 345 PG 300
3	BRYANT DUNAGAN AND HALLICE HOCKS	2870 E. HWY 90 MONTICELLO, KY 42633	028-00-00-006.00	DB 264 PG 210
4	MARK & ROBIN LEWIS	197 HWY 3106 MONTICELLO, KY 42633	028-00-00-005.00	DB 351 PG 76
5	TAMARA D WARY LENNEX	1577 HWY 3106 MONTICELLO, KY 42633	028-00-00-001.01	DB 308 PG 173
6	WAYNE LUMBER CO. INC	P.O. BOX 576 MONTICELLO, KY 42633	027-00-00-070.00	-
7	VICKERY DAN D ETAL	4903 W. HWY 90 MONTICELLO, KY 42633	028-00-00-042.00	-

- NOTE:
- SEE SHEET C-1.2 FOR INFORMATION ON PROPERTIES #8 - #17.
  - PVA INFORMATION WAS OBTAINED ON 12/9/2021 FROM THE OFFICIAL RECORDS OF THE COUNTY'S PROPERTY VALUATION ADMINISTRATOR.
  - THIS MAP IS FOR GENERAL INFORMATION PURPOSES ONLY AND IS NOT A BOUNDARY SURVEY.
  - NOT FOR RECORDING OR PROPERTY TRANSFER.

**BAT NOTE:**  
 MUST DO TREE CLEARING BETWEEN OCTOBER 15th AND MARCH 31st, DUE TO BAT TREES ON PROPERTY



CALL KENTUCKY ONE CALL  
 (800) 752-6007  
 CALL 3 WORKING DAYS  
 BEFORE YOU DIG!



HARMONI TOWERS  
 W HIGHWAY 90  
 ZULA RELO  
 FA# 15415629/10124719  
 PACH# MRTNKS052250  
 PTH 2457A0XDC6  
 HILL DRIVE  
 MONTICELLO, KY 42633  
 WAYNE COUNTY COUNTY  
 PROJECT ID: 20210111-SUPP-01

PROJECT NO: 20144562-001-01  
 CHECKED BY: MAN

REV	DATE	DRWN	DESCRIPTION
A	12/09/21	DLS	ZONING DRAWINGS
S	05/21/22	DLS	ZONING DRAWINGS
Y	05/12/22	DLS	ZONING DRAWINGS

B&T ENGINEERING, INC.  
 4011  
 Expires 12/31/22



I, BRAD P. KILANOWSKI, LICENSED PROFESSIONAL ENGINEER, STATE OF KENTUCKY, LICENSE NO. 25311, HEREBY CERTIFY THAT I AM THE AUTHOR, DESIGNER, OR SUPERVISOR OF THE PROFESSIONAL DESIGN OR DESIGNATION ON THIS DOCUMENT.

500' RADIUS & ADJOINER'S DRAWING

SHEET NUMBER:  
**C-1.1**

**EXHIBIT L**  
**COPY OF COUNTY JUDGE/EXECUTIVE NOTICE**



1578 Highway 44 East, Suite 6  
P.O. Box 369  
Shepherdsville, KY 40165-0369  
Phone (502) 955-4400 or (800) 516-4293  
Fax (502) 543-4410 or (800) 541-4410

**VIA CERTIFIED MAIL**

Mike Anderson  
County Judge Executive  
P.O. Box 439  
55 North Main Street, Suite 103  
Monticello, KY 42633

RE: Notice of Proposal to Construct Wireless Communications Facility  
Kentucky Public Service Commission Docket No. 2022-00279  
Site Name: West Highway 90 / Zula Relo

Dear Judge/Executive:

New Cingular Wireless PCS, LLC, a Delaware limited liability company, d/b/a AT&T Mobility and Harmoni Towers LLC, a Delaware limited liability company have filed an application with the Kentucky Public Service Commission ("PSC") to construct a new wireless communications facility on a site located at 571 Holly Hill Tree Lane, Monticello, KY 42633 (E-911) / Hill Drive, Monticello, KY 42633 (PARCEL) (36° 46' 32.88" North latitude, 84° 56' 33.45" West longitude). The proposed WCF will consist of a 2-foot tall foundation below a 255-foot tall tower, with an approximately 10-foot tall lightning arrester attached at the top, for a total height of 267-feet, plus related ground facilities. This facility is needed to provide improved coverage for wireless communications in the area.<sup>1</sup>

You have a right to submit comments to the PSC or to request intervention in the PSC's proceedings on the application. You may contact the PSC at: Executive Director, Public Service Commission, 211 Sower Boulevard, P.O. Box 615, Frankfort, Kentucky 40602. Please refer to docket number 2022-00279 in any correspondence sent in connection with this matter.

We have attached a map showing the site location for the proposed tower. AT&T Mobility's radio frequency engineers assisted in selecting the proposed site for the facility, and they have determined it is the proper location and elevation needed to provide quality service to wireless customers in the area. Please feel free to contact us with any comments or questions you may have.

Sincerely,  
David A. Pike  
Attorney for Applicants  
enclosures

---

<sup>1</sup> AT&T is currently providing wireless services from an existing tower owned by SBA Towers VII, LLC ("SBA"). The SBA owned tower (FCC Antenna Structure Registration Number: 1258267) is located in the general area where Applicants propose to construct the new tower. However, the SBA owned tower is no longer reasonably available for co-location. As a result, construction of the proposed tower is necessary to meet AT&T's coverage objectives efficiently for this area.

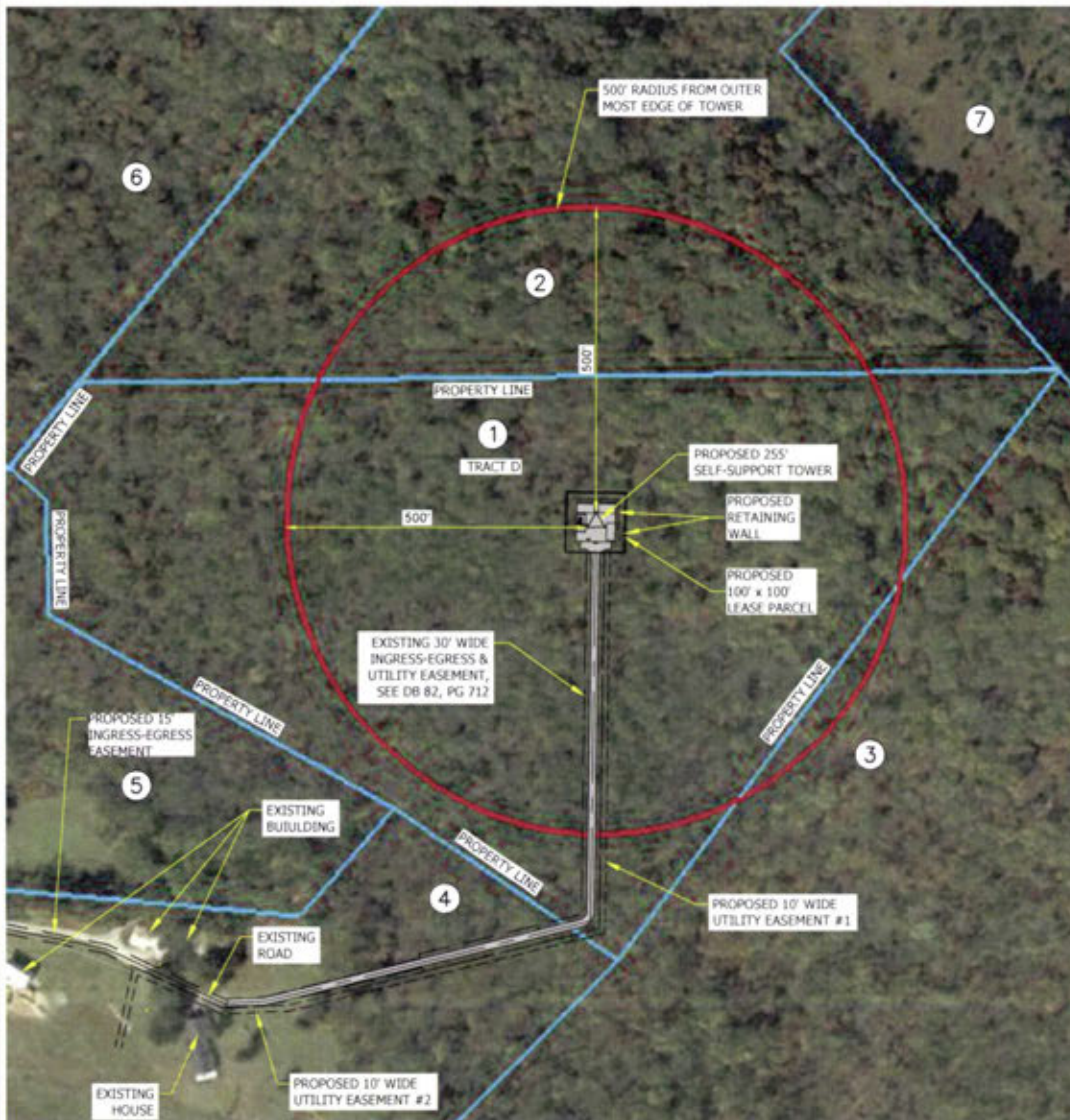


**Driving Directions to Proposed Tower Site:**

1. Beginning at the 55 North Main Street, Suite 103, Monticello, KY 42633 head southwest on N Main Street toward Columbia Ave and travel approximately 230 feet.
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4. Continue onto Albany Road and travel approximately 0.7 miles.
5. Turn left onto KY-90 W and travel approximately 6.5 miles.
6. Turn left onto state Hwy 834 and travel approximately 0.6 miles.
7. A private gravel road leading to the site is located on the left. The E-911 address for the site is 571 Holly Hill Tree Lane, Monticello, KY 42633, and the parcel address is Hill Drive, Monticello, KY 42633 (Parcel Address). The site coordinates are: 36° 46' 32.88" North latitude, 84° 56' 33.45" West longitude.



Prepared by:  
Chris Shouse  
Pike Legal Group  
1578 Highway 44 East, Suite 6  
P.O. Box 396  
Shepherdsville, KY 40165-3069  
Telephone: 502-955-4400 or 800-516-4293



1 500' RADIUS & ADJOINER'S DRAWING  
 SCALE 0 100 200 300 400 1"=200'

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4	MARK & ROBIN LEWIS	197 HWY 3106 MONTICELLO, KY 42633	028-00-00-005.00	DB 351 PG 76
5	TAMARA D WARY LENEX	1577 HWY 3106 MONTICELLO, KY 42633	028-00-00-001.01	DB 308 PG 173
6	WAYNE LUMBER CO. INC	P.O. BOX 576 MONTICELLO, KY 42633	027-00-00-070.00	-
7	VICKERY DAN D ETAL	4903 W. HWY 90 MONTICELLO, KY 42633	028-00-00-042.00	-

- NOTE:
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  - PVA INFORMATION WAS OBTAINED ON 12/9/2021 FROM THE OFFICIAL RECORDS OF THE COUNTY'S PROPERTY VALUATION ADMINISTRATOR.
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**BAT NOTE:**  
 MUST DO TREE CLEARING BETWEEN OCTOBER 15th AND MARCH 31st, DUE TO BAT TREES ON PROPERTY



CALL KENTUCKY ONE CALL  
 (800) 752-6007  
 CALL 3 WORKING DAYS  
 BEFORE YOU DIG!



HARMONI TOWERS  
 W HIGHWAY 90  
 ZULA RELO  
 PAB # 15415629/10124719  
 PACE # MRTNKN052250  
 PTH # 2457A0XDK6  
 HILL DRIVE  
 MONTICELLO, KY 42633  
 WAYNE COUNTY COUNTY  
 PROPOSED 255' SELF-SUPPORT

PROJECT NO: 6284462-001-01  
 CHECKED BY: MAS

REV	DATE	DRWN	DESCRIPTION
A	12/09/21	DLS	ZONING DRAWINGS
0	03/21/22	DLS	ZONING DRAWINGS
1	05/12/22	DLS	ZONING DRAWINGS

B&T ENGINEERING, INC  
 4011  
 Expires 12/31/22



IT IS A VIOLATION OF LAW FOR ANY PERSON UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER TO ALTER THIS DOCUMENT.

500' RADIUS & ADJOINER'S DRAWING

SHEET NUMBER:  
**C-1.1**

**EXHIBIT M  
COPY OF POSTED NOTICES  
AND NEWSPAPER NOTICE ADVERTISEMENT**

**SITE NAME: WEST HIGHWAY 90 / ZULA RELO**  
**NOTICE SIGNS**

The signs are at least (2) feet by four (4) feet in size, of durable material, with the text printed in black letters at least one (1) inch in height against a white background, except for the word “**tower**,” which is at least four (4) inches in height.

New Cingular Wireless PCS, LLC, a Delaware limited liability company, d/b/a AT&T Mobility and Harmoni Towers LLC, a Delaware limited liability company propose to construct a telecommunications **tower** on this site. If you have questions, please contact Pike Legal Group, PLLC, P.O. Box 369, Shepherdsville, KY 40165; telephone: (800) 516-4293, or the Executive Director, Public Service Commission, 211 Sower Boulevard, PO Box 615, Frankfort, Kentucky 40602. Please refer to docket number 2022-00279 in your correspondence.

New Cingular Wireless PCS, LLC, a Delaware limited liability company, d/b/a AT&T Mobility and Harmoni Towers LLC, a Delaware limited liability company propose to construct a telecommunications **tower** near this site. If you have questions, please contact Pike Legal Group, PLLC, P.O. Box 369, Shepherdsville, KY 40165; telephone: (800) 516-4293, or the Executive Director, Public Service Commission, 211 Sower Boulevard, PO Box 615, Frankfort, Kentucky 40602. Please refer to docket number 2022-00279 in your correspondence.



1578 Highway 44 East, Suite 6  
P.O. Box 369  
Shepherdsville, KY 40165-0369  
Phone (502) 955-4400 or (800) 516-4293  
Fax (502) 543-4410 or (800) 541-4410

**VIA TELEPHONE: (606) 340-6397**  
**VIA EMAIL: [advertising@thewayneweekly.com](mailto:advertising@thewayneweekly.com)**

The Wayne Weekly  
45 Park Ave  
Monticello, KY 42633

RE: Legal Notice Advertisement  
Site Name: West Highway 90 / Zula Relo

Dear Staff:

Please publish the following legal notice advertisement in the next edition of *The Wayne Weekly*:

#### **NOTICE**

**New Cingular Wireless PCS, LLC, a Delaware limited liability company, d/b/a AT&T Mobility and Harmoni Towers LLC, a Delaware limited liability company have filed an application with the Kentucky Public Service Commission ("PSC") to construct a new wireless communications facility on a site located on 571 Holly Hill Tree Lane, Monticello, KY 42633 (E-911) / Hill Drive, Monticello, KY 42633 (PARCEL) (36° 46' 32.88" North latitude, 84° 56' 33.45" West longitude). You may contact the PSC for additional information concerning this matter at: Kentucky Public Service Commission, Executive Director, 211 Sower Boulevard, P.O. Box 615, Frankfort, Kentucky 40602. Please refer to docket number 2022-00279 in any correspondence sent in connection with this matter.**

After this advertisement has been published, please forward a tearsheet copy, affidavit of publication, and invoice to Pike Legal Group, PLLC, P. O. Box 369, Shepherdsville, KY 40165. Please call me at (800) 516-4293 if you have any questions. Thank you for your assistance.

Sincerely,  
Chris Shouse  
Pike Legal Group, PLLC

**EXHIBIT N**  
**COPY OF RADIO FREQUENCY DESIGN SEARCH AREA**



36.77903, -84.94269

Susie Susie

90

834

200

2583 ft



Imagery Date: 10/17/2015 36°46'39.70" N 84°56'26.60" W elev 0 ft eye at 11167 ft