

JAMES HITE HAYS  
ATTORNEY AT LAW  
521 MAIN STREET  
SHELBYVILLE, KENTUCKY 40065

FAX  
(502) 633-3577

TELEPHONE  
(502) 633-3534

June 15, 2018

RECEIVED

JUN 15 2018

PUBLIC SERVICE  
COMMISSION

Kentucky Public Service Commission  
Attn: Brandon Bruner  
Administrative Branch Manager  
Filings Branch  
211 Sower Blvd.  
Frankfort KY 40601

IN RE: West Shelby Water District  
Request for Public Service Commission (hereinafter referred to as PSC)  
granting a certificate construction of a storage building next to their  
existing office

Dear Mr. Bruner:

Enclosed are the original and 10 copies of the West Shelby Water District application for Certificate of Public Convenience and Necessity to construct a storage building, and motion for expedited Certificate.

Please contact me should you have any questions or need further information.

Very truly yours,



James Hite Hays, Attorney for  
West Shelby Water District

JHH/kvj  
Enclosures

RECEIVED

JUN 15 2018

PUBLIC SERVICE  
COMMISSION

COMMONWEALTH OF KENTUCKY  
BEFORE THE  
KENTUCKY PUBLIC SERVICE COMMISSION

IN THE MATTER OF:

The application of West Shelby Water )  
For Commission approval for a Certificate ) Case No. 2018-00196  
Of Public Convenience and Necessity to )  
construct a storage building next to their )  
existing office )

APPLICATION and  
MOTION FOR EXPEDITED CERTIFICATE

West Shelby Water (hereinafter referred to as WSW) respectfully states:

1. The applicant, WSW, is a part of Shelby County Government and operates from three (3) appointed commissioners by Shelby County Judge Executive. It is organized under KRS Chapter 74 as a water district and is engaged in the business of providing water to the members-consumers in Shelby County, Kentucky. This application is submitted pursuant to KRS 278.020 and 807 KAR 5:001(9).
2. The name and address of the applicant, West Shelby Water, whose address is PO Box 39, Simpsonville, KY 40067, and the email address of the Steve Eden, Manger is seden@westshelbywater.org. The application will be signed by Steve Eden, Manager.
3. The applicant seeks a Certificate of Public Convenience and Necessity ("CPCN") to construct a storage building for machinery and equipment.
4. This new construction will be paid from existing funds of the WSW and/or from the sale of their existing building which is located at 7101 Shelbyville Road, Simpsonville, Kentucky.
5. Estimated cost of the construction is \$223,633.00. Estimated annual costs of operation of the facility is \$2000/year in actual utilities. WSW does not need any permits from local authorities.
6. Attached hereto and made a part of this Application are the following:
  - Exhibit "A" Necessary Construction Letter dated May 17, 2018 from Steve Eden, Mgr.
  - Exhibit "B" Description of where construction will take place—total of 2 pages

- Exhibit "C" Plans for new construction
- Exhibit "D" Specifications for new construction—total of 3 pages
- Exhibit "E" Drawings for new construction—total of 2 pages
- Exhibit "F" Engineering plans & drawings w/engineering certificate—total of 6 pages

Wherefore, applicant asks that the Public Service Commission of the Commonwealth of Kentucky issue a Certificate of Public Convenience and Necessity authorizing the construction of a storage building. A motion is also made to request an expedited decision on this application as the WSW needs to build this storage facility this year to protect its vehicles and equipment.

COMMONWEALTH OF KENTUCKY  
COUNTY OF SHELBY

Steve Eden, after first being duly sworn, deposes and says: that he is the Manager of West Shelby Water District; that he has read the foregoing Application and knows the contents thereof; that the same is true of his knowledge except as to such matters as are therein stated on information or belief and as to those matters he believes to be true.

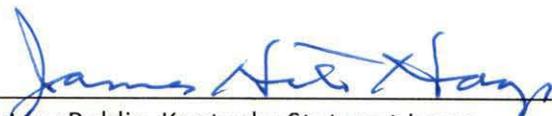
This 19 day of June, 2018.

WEST SHELBY WATER DISTRICT

BY: 

Steve Eden, Manager

Subscribed and sworn to before me by Steve Eden, Manager, this 19 day of June, 2018.

  
Notary Public, Kentucky Stater at Large

My Commission Expires: 12-18-2021

589967

This application prepared by  
James Hite Hays, Attorney for WSW  
521 Main Street  
Shelbyville KY 40065





# West Shelby Water District

*Ray Larmee,  
Chairman*

*Raymond Williams,  
Secretary*

*Ben Quinn, Jr.  
Treasurer*

*7101 Shelbyville Rd.  
P.O. Box 39  
Simpsonville, KY 40067  
(502) 722-8944  
State Relay TDD (800) 648-6057  
E-mail: [seden@westshelbywater.org](mailto:seden@westshelbywater.org)*

*Steve Eden,  
Manager*

*Lisa M. Didier,  
Executive  
Administrator*

May 17, 2018

Reference: Certificate of Public Convenience and Necessity (KRS 278.020) for proposed construction of a new storage building for West Shelby Water District

Dear Public Service Commission:

West Shelby Water District will be selling our existing maintenance building at 7101 Shelbyville Rd in Simpsonville Ky. We have occupied this space for 21 years and due to the growth of our District from 800 to 2000 customers over this time span, we are lacking space to adequately serve our district and store our equipment. Please review the following points as follows:

1. West Shelby already has existing property a 492 Third Street which we have owned for almost 20 years. This tract is 2 acres and site work was done 10 years ago at this property to construct a new building.
2. We will take the proceeds of selling our existing building at 7101 Shelbyville Rd to pay for new construction of new building.
3. The construction of this building will not affect our rates or have to borrow money to construct.
4. I will attach to this letter a copy of the two bids that were taken to show cost of construction for new building
5. Also attached will be a copy of our appraisal from 7101 Shelbyville Rd to demonstrate how we will generate funds to pay for the cost of new Maintenance building

*Equal Opportunity Employer and Provider*

6. West Shelby Water District will not have any storage space for equipment once we sell our existing building and would like to have something constructed by November of this year to avoid our equipment setting out in implement weather.

After review of our request, please advise us on how to proceed. I have not been through this process before on Needs of Necessity so forgive my ignorance. You can contact me at 502-722-8944 or email me at [seden@westshelbywater.org](mailto:seden@westshelbywater.org).

Thank you



---

Steve Eden  
Manager  
West Shelby Water District

*Equal Opportunity Employer and Provider*

# **APPRAISAL REPORT**

**7101 Shelbyville Road  
Simpsonville, Shelby County, Kentucky 40067**



**For:**

**West Shelby Water District  
P.O. Box 39  
Simpsonville, Shelby County, Kentucky 40067  
Attn. Ms. Lisa M. Didier**

**GALLOWAY APPRAISAL  
RONNIE L. GALLOWAY, MAI  
2525 NELSON MILLER PARKWAY  
SUITE 101  
LOUISVILLE, KENTUCKY 40223**



GALLOWAY APPRAISAL  
Real Estate Counselors & Appraisers

Offices Located In:  
Louisville, KY  
Lexington, KY

-- Since 1969 --

October 10, 2015

West Shelby Water District  
P.O. Box 39  
Simpsonville, Shelby County, Kentucky 40067  
Attn. Ms. Lisa M. Didier

Re: 7101 Shelbyville Road  
P.V.A. Parcel #015A-11-001, Deed Book 329, Page 249  
Simpsonville, Shelby County, Kentucky, 40067

Dear Ms. Didier:

As requested, we have personally inspected the site and prepared an Appraisal Report of the commercial property located at 7101 Shelbyville Road, Simpsonville, Shelby County, Kentucky 40065. The purpose of the appraisal is to conclude an opinion of the market value of the property described herein based upon market conditions prevailing on October 5, 2015, the date of the physical site visit.

This report is intended for use only by West Shelby Water District, Attn. Ms. Lisa M. Didier, to serve as a benchmark in decisions involving an opinion of market value in conjunction with their internal use. This report is not intended for any other use or by others than the stated client.

The scope of work defined for this appraisal includes a physical site visit, the use of information from on site observations, property owners, Shelby County Property Valuation Administrator's Office (PVA), and other publicly available information. The opinion of market value provided in this report is determined through the Sales Comparison Approach and is supported by a Highest and Best Use analysis as established from observations made from the subject neighborhood. The scope of work, as described, provides adequate and reliable findings for the purpose of this appraisal.

This is an Appraisal Report which is intended to comply with the reporting requirements set forth under Standards Rule 2-2(a) of the Uniform Standards of Professional Appraisal Practice for an Appraisal Report. The appraiser is not responsible for unauthorized use of this report.

This transmittal letter is followed by the certification of the appraisal and the appraisal report, further describing the subject property and containing a summation of the reasoning and pertinent data leading to the opinion of value. Your attention is directed to the "General Underlying Assumptions" and "Limiting Conditions" which are considered usual of the type of assignment and have been included following the certification of the appraisal.

Sincerely,

*Galloway Appraisal*

PRINCIPAL OFFICE

2525 Nelson Miller Parkway • Suite 101 • Louisville, Kentucky 40223 • (502) 589-4976 • FAX (502) 585-3778

**CERTIFICATION AND FINAL VALUE ESTIMATE:** I certify that, to the best of my knowledge and belief

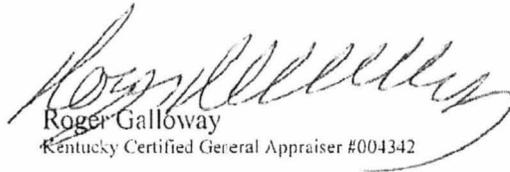
1. The statements of fact contained in this appraisal report are true and correct.
2. The use of this report is subject to the requirements of the Appraisal Institute relating to review by its duly authorized representatives.
3. The reported analyses, opinions and conclusions are limited only by the reported assumptions and limiting conditions, and is my personal, impartial and unbiased professional analyses, opinions and conclusions.
4. I have no present or prospective interest in the property that is the subject of this report and no personal interest with respect to the parties involved.
5. I have no bias with respect to the property that is the subject of this report or to the parties involved with this assignment.
6. My engagement in this assignment is not contingent upon developing or reporting predetermined results.
7. My compensation for completing this assignment is not contingent upon the development or reporting of a predetermined value or direction in value that favors the cause of the client, the amount of the value opinion, the attainment of a stipulated result or the occurrence of a subsequent event directly related to the intended use of this appraisal.
8. My analyses, opinions and conclusions are developed, and this report has been prepared, in conformity with the Uniform Standards of Professional Appraisal Practice.
9. The reported analyses, opinions, and conclusions were developed, and this report has been prepared, in conformity with the requirements of the Code of Professional Ethics and Standards of Professional Appraisal Practice of the Appraisal Institute.
10. Galloway Appraisal has performed no services, as an appraiser *or in any other capacity*, regarding the property that is the subject of this report within the three-year period immediately preceding acceptance of this assignment.
11. Roger Galloway, Kentucky Certified General Appraiser #004342, performed the following functions on this appraisal report: 1) inspected property, 2) researched all comparables, and 3) wrote the unedited written appraisal.
12. Ronnie L. Galloway did not inspect the subject property, but assisted in a review capacity in concluding a value estimate.
13. As of the date of this report, Ronnie L. Galloway has completed the continuing education program of the Appraisal Institute.
14. No one else provided significant professional assistance to the persons signing this report.

Taking into consideration all of the pertinent factors which affect value, it is the recommendation of this report that the market value of the subject property **Fee Simple Title** is as follows:

**As of October 5, 2015**  
**\*\*\* TWO HUNDRED FORTY THOUSAND DOLLARS \*\*\***  
**(\$240,000)**



Ronnie L. Galloway, MAI  
Kentucky Certified General Appraiser #000002



Roger Galloway  
Kentucky Certified General Appraiser #004342

HAYS LAW OFFICE  
521 MAIN ST.  
P. O. BOX 88  
SHELBYVILLE, KENTUCKY  
40066-0088  
TEL (502) 633-3534  
FAX (502) 633-3577

PARCEL NO. 1:

Situated in Shelby County, Kentucky, and thus described:

Beginning at a ½" rebar with ID cap stamped 2269 set this survey in the East right of way of Todds Point Road corner to the property conveyed to Timothy L. Pearce and Annette Pearce by deed book 383 page 339, said point being located 205.8 feet (as measured along said road right of way) south of the intersection of the south line of Grand Central Drive with the east right of way of Todds Point Road; thence along the east right of way of Todds Point Road (25 feet from and parallel to the center of road) S 05 degrees 04 minutes 05 seconds W 124.32 feet to an existing rebar with cap stamped 221 corner to the Leggett Partners, L.P. property. Thence leaving road right of way and along the line of the Leggett Partners, L.P. property N 89 degrees 45 minutes W passing through a round metal fence post at 11.2 feet-in all 575.33 feet to a ½" rebar with ID cap stamped 2269 set this survey and N 01 degrees 15 minutes E 123.90 feet to a ½" rebar with ID cap stamped 2269 set this survey at the base of a wood post corner to the Timothy L. Pearce and Annette E. Pearce property. Thence with the line of the Timothy L. Pearce and Annette E. Pearce property (see DB 383 Pg 339) S 89 degrees 45 minutes E 583.61 feet to the point of beginning and containing 1.65 acres according to a survey made by Charles B. Moody, PLS 2269, with McGinnis & Associates on September 23, 2003. (See copy of survey drawing attached)

PARCEL NO. 2:

**BEGINNING AT AN EXISTING ½" REBAR CAPPED #221 IN THE WEST 50' FT. RIGHT OF WAY OF TODD'S POINT RD. AND BEING CORNER TO WEST SHELBY WATER DISTRICT (DEED BOOK 445 PAGE 701); THENCE, LEAVING SAID RIGHT-OF-WAY AND WITH A NEW LINE OF LEGGETT PARTNERS LP S76°34'08"W 126.84 FT. TO A SET 18" NO. 4 REBAR CAPPED "BROWN 3759"; THENCE N89°45'00"W 452.61 FT. TO A SET 18" No. 4 REBAR CAPPED "BROWN 3759"; THENCE N01°15'00" E 30.00 FT. TO AN EXISTING ½" REBAR CAPPED #2269 CORNER TO WEST SHELBY WATER DISTRICT (DEED BOOK 445 PAGE 701); THENCE, WITH WEST SHELBY, S89°45'00"E 575.33 FT. TO THE POINT-OF-BEGINNING CONTAINING 0.3540 ACRES AS SURVEYED BY WILLIAM T. BROWN, PLS #3759, WITH CENTERLINE SURVEYING, LLC, ON 2-13-2008 AND BEING PART OF THE SAME PROPERTY CONVEYED TO LEGGETT PARTNERS, L.P. BY LEGETT & PLATT, INC. BY DEED DATED 03-18-1997 AND RECORDED IN DEED BOOK 335 PAGE 573 IN THE RECORDS OF SHELBY COUNTY, KENTUCKY.**

**LAND SURVEYORS CERTIFICATE**

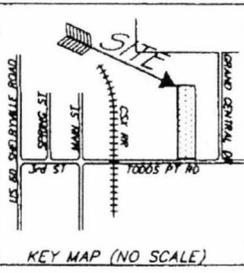
I HEREBY CERTIFY THAT THIS SURVEY AND PLAT WERE MADE UNDER MY DIRECT SUPERVISION AND THAT THE ANGULAR AND LINEAR MEASUREMENTS AS WITNESSED BY MONUMENTS SHOWN HEREON SUBSTANTIALLY MEET MINIMUM REQUIREMENTS FOR LAND SURVEYORS, SUBJECT TO THE NOTES SHOWN HEREON.

DATE: Sept 23, 2003 PLS 2289

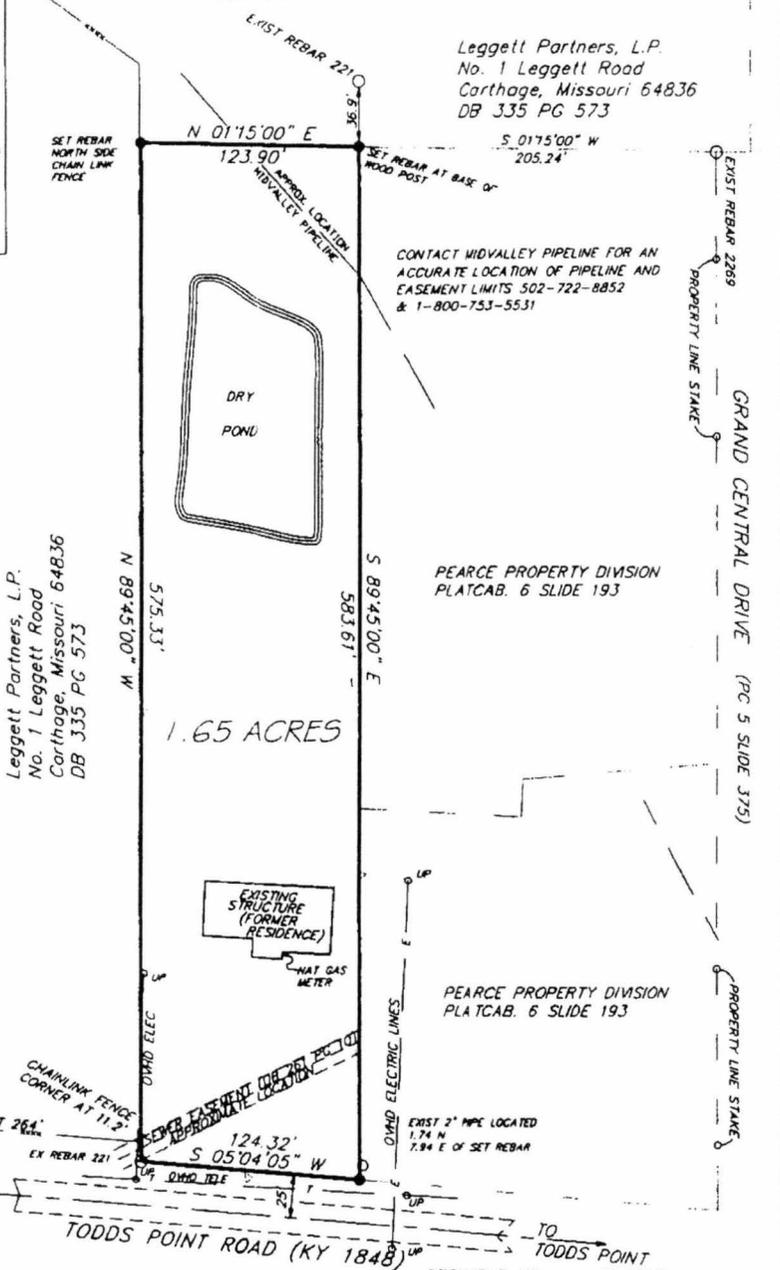
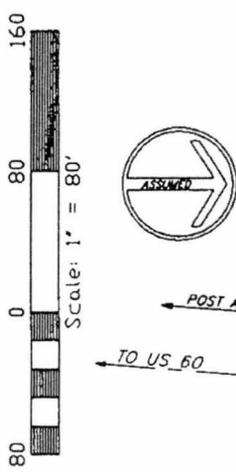
STATE OF KENTUCKY  
LAND SURVEYOR  
No. 2269

**SURVEY NOTES:**

THIS SURVEY WAS MADE USING THE RANDOM TRAVERSE METHOD. THE UNADJUSTED CLOSURE SUBSTANTIALLY MEETS REQUIREMENTS FOR LAND SURVEYORS. BEARINGS AND DISTANCES HAVE NOT BEEN ADJUSTED FOR CLOSURE. BEARINGS ARE ASSUMED. 1/2" REBAR WITH ID CAP STAMPED 2269 SET AT NEW DIVISION CORNERS. TITLE REPORT NOT FURNISHED, PROPERTY MAY BE SUBJECT TO UTILITIES, EASEMENTS AND OTHER MATTERS NOT SHOWN HEREON. NO ATTEMPT WAS MADE TO LOCATE UTILITY LINES AND EASEMENTS OTHER THAN AS SHOWN HEREON. ALL LOCATIONS OF EXISTING UTILITIES AND EASEMENTS ARE APPROXIMATE. CONTACT THE APPROPRIATE UTILITY COMPANY FOR AN ACCURATE LOCATION OF UTILITY LINE AND EASEMENT LIMITS. CONTACT B.U.D. AT 1-800-752-6007, TOLL FREE, FOR AN ACCURATE LOCATION OF SELECTED UTILITY LINES. THE PURPOSE OF THIS SURVEY AND PLAT IS TO DESCRIBE THE PROPERTY BOUNDARY AND AREA OF THE TRACT(S) SHOWN HEREON. THIS IS A CLASS A SURVEY. FIELD WORK COMPLETED SEPT. 23, 2003.



**LEGEND**  
 ○ = EXISTING MONUMENT AS NOTED  
 ● = SET 1/2" REBAR #2269 THIS SURVEY  
 ◊ = EXISTING UTILITY POLE  
 ▽ = RANDOM TRAVERSE POINT



Leggett Partners, L.P.  
No. 1 Leggett Road  
Carthage, Missouri 64836  
DB 335 PG 573

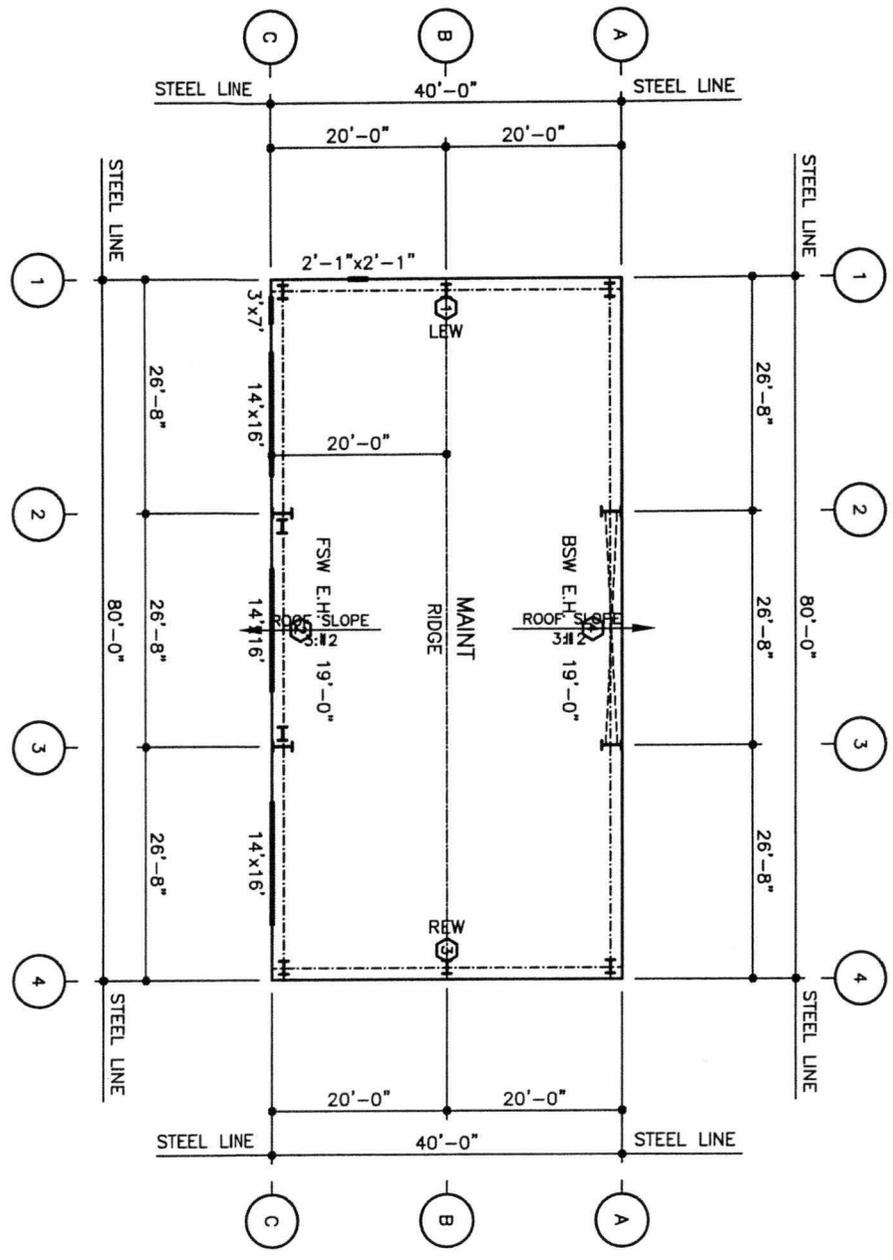
Leggett Partners, L.P.  
No. 1 Leggett Road  
Carthage, Missouri 64836  
DB 335 PG 573

PEARCE PROPERTY DIVISION  
PLATCAB. 6 SLIDE 193

PEARCE PROPERTY DIVISION  
PLATCAB. 6 SLIDE 193

DOCUMENT NO: 249815  
 RECORDED ON: OCTOBER 22, 2003 11:19:52AM  
 TOTAL FEES PREPARED: \$14.00  
 TRANSFER TAX & ASSOCIATED: \$76.00  
 COUNTY CLERK: SUE CAROLE PERRY  
 COUNTY and Boulevards: SHELBY COUNTY #24  
 DEPUTY CLERK: SUE CAROLE PERRY  
 (502) 633-5100

DRAWN BY: CBM	SURVEY FOR WEST SHELBY WATER DISTRICT 7101 SHELBYVILLE ROAD SIMPSONVILLE, KY. 40067
DATE: SEPT. 23, 2003	PROPERTY OWNER: SHELBY PROPERTIES, LLC 6535 SHELBYVILLE ROAD SIMPSONVILLE, KY. 40067
SCALE: 1" = 80'	
SOURCE: DB. 366 PG 555	



WALL LINER PANEL SCHEDULE

ID	LINER TYPE	DIST. FROM LEFT BOTTOM OF PANEL AFT TOP OF PANEL AFT	LENGTH
1	FULL WIDTH	0'-0"	40'-0"
2	FULL WIDTH	0'-0"	39'-0"
3	FULL WIDTH	0'-0"	40'-0"
4	FULL WIDTH	0'-0"	39'-0"

### EXHIBIT C

DO NOT USE FOR FINAL CONSTRUCTION		PROJECT NAME: WEST SHELBY	 <small>Building Systems</small> 
SHEET TITLE: 5/17/2018 10:38 AM		SIMPSONVILLE, KY	
PRELIMINARY FLOOR PLAN		CUSTOMER NAME: R E PURNELL CONSTRUCTION	
SHEET NUMBER: FP1	QUOTE NUMBER: SOF-18045	SHELBYVILLE, KY	



Proposal, West Shelby Water District Maintenance Building

Concrete:

8" Grade Beam, 4000PSI  
6" Slab, 4000PSI with Tuff Strand  
Footer 3' x 3' x 1' @ Piers  
15' x 80' Apron

Building:

40' x 80' x 19' 3/12 Pitch PEMB  
3-14' x 16' Front Opening with insulated doors, with manual operators  
1 - 3' x 7' Main Door  
1 - 14' White Liner Panel  
1- 2' x 2' Frame' Opening with Exhaust Fan  
26 Gauge Painted siding  
26 Gauge Galvalume Roof  
Gutters and Downspouts

Insulation:

Walls R-19 – WMP – VRR  
Roof R-30 Skyliner System Banded

Electric:

240 Volt 200 Amp single phase service  
Three (3) Outlets for Door Opener  
Four (4) Hi-bay LED Fixture  
Four (4) Hi-bay LED fixture installation  
Three (3) 33 watt Exterior Wall Packs with photo cell  
Three (3) 33 watt Exterior Wall Packs with photo cell installation  
Exit/Emergency Fixture  
Exit/Emergency Fixture installation  
Ten (10) Shop plugs  
Ceiling Fan opening only  
240 Volt 30 Amp Circuit for Air Compressor

Electric cont'd:

240 Volt 30 Amp Circuit for Water Heater  
Temp Pole Installation  
Six (6) Single Pole Switches  
Eight (8) Office plugs  
Two (2) 2 x 4 Four Bulb lay-in fixture with 4 LED Bulbs  
Two (2) 2 x 4 Four Bulb lay-in fixture with 4 LED Bulbs installation  
24" Exhaust fan and installation  
Administrative/Overhead

Plumbing:

Plans and Permits  
Plumbing for Water Closets  
Plumbing for Bathroom Sink  
Plumbing and installation of Shower  
Supply and install 40 Gallon Electric Water Heater  
Install Gas Main from meter on building to Furnace

1 Mansfield Ada Elongated Toilet  
1 Lucern wall Hung Sink  
1 Five Foot Fiberglass Shower  
1 Delta Single Handle Faucet  
1 Delta Single Handle Delta Shower Valve

Water Service: Water will be stubbed out of building five (5) Feet. Cost of water service to be determined at later date.

Sewer Line: Sewer line stubbed out of building two (2) Feet. Cost of sewer to be determined at later date.

Doors:

Three (3) Clopay Insulated Sectional Door, White, no windows

Office:

Office and Bathroom to each be 12 x 12 x 8'.  
Wood Frame. Drywall exterior and interiors.

Office Cont'd:

Pre-Hung Wood Doors  
Painted interior and exterior  
Floor: Concrete, bare finish  
Ceiling: 2 x 4 Drop Ceiling

Base Price \$218,883.00 includes fan allowance of \$4000  
(Excludes sales tax and permits)

(Alternate 1: Add for Electric Openers \$4,750.00)

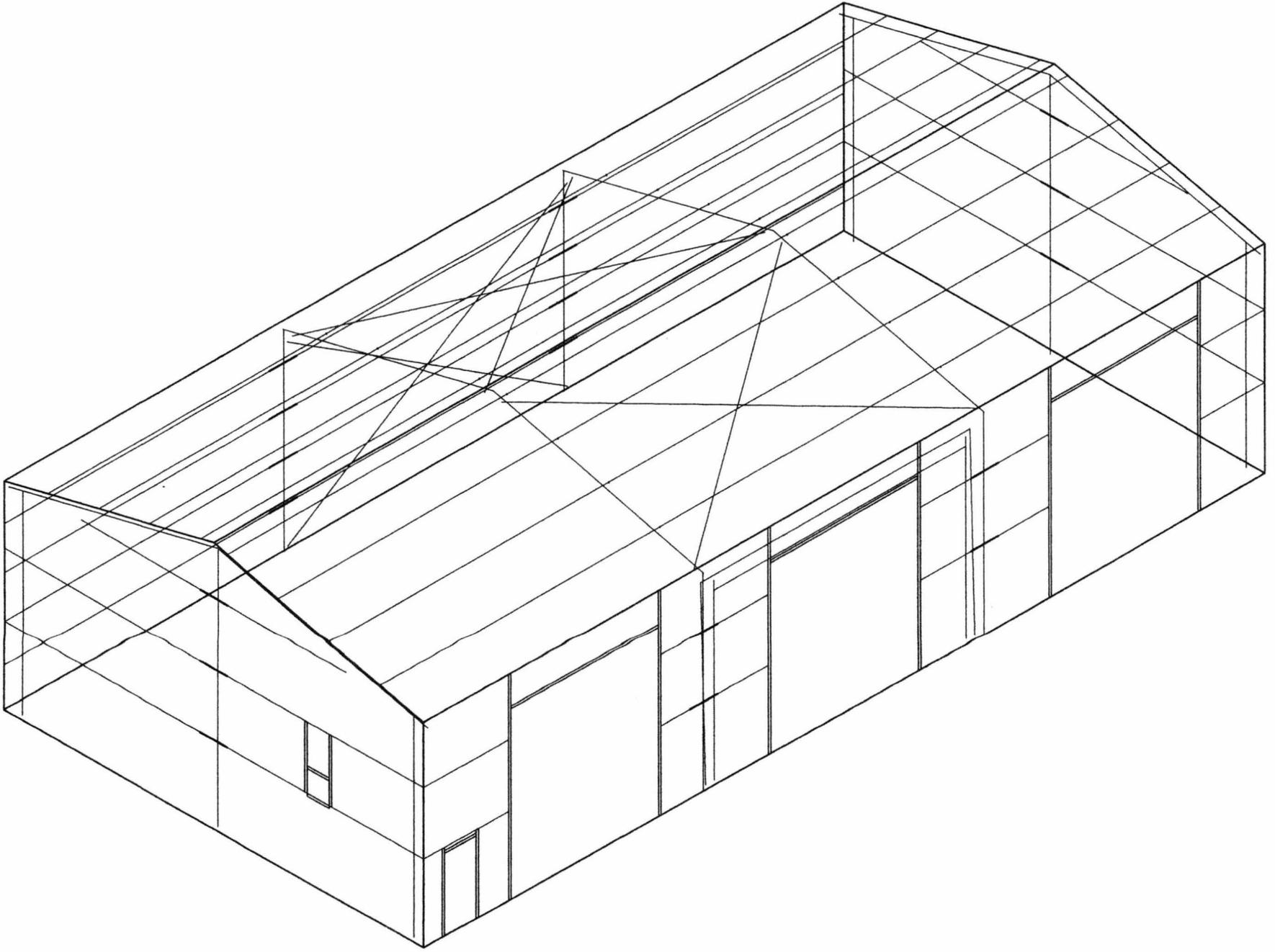
Bid submitted this 17<sup>th</sup> day of May, 2018.

  
Robert E. Purnell, Jr.



EXHIBIT E

EXHIBIT E  
2



# NUCOR

## BUILDING SYSTEMS

200 Whetstone Rd  
Swansea, SC 29160  
www.NucorBuildingSystems.com

PH: 803/568-2100  
FAX: 803/568-2121

### LETTER OF TRANSMITTAL

Project No: S18F0391A  
To: RE Purnell Construction  
429 Haven Hill Rd.  
Shelbyville, KY 40065

Project Name: West Shelby  
Date: 6/6/2018  
Attn: Rob Purnell  
(502) 647-1466

Drawings have been e-mailed to the following in .pdf format:

E-mail address: rep@reprents.com

We are sending you the following items:

- Prints  Other: \_\_\_\_\_  
Sent Via:  Ground  Overnight-Standard  
 Other  Overnight-Priority

Customer **Must** Receive By: 6/7/2018

	DESCRIPTION
	Anchor Bolt Plan(s) - Sheets: <b>C1, F1, F2, R1</b>
	Column Base Reactions
	Approval Drawing Set - Sheets:
	Confirmation Drawing Set - Sheets:
	Permit Drawing Set - Sheets:
	Design Calculations
	Erection Drawing Set - Sheets:
	Bill Of Materials List
1	Letter Of Design Certification
	Revised Anchor Bolt Plan(s) - Sheets:

**MAILED**  
JUN 06 2018

- APPROVAL  CRANE CONFIRMATION  FOR PROGRESS  
 MEZZANINE CONFIRMATION  RTU CONFIRMATION  FOR PERMIT  
 HANGAR CONFIRMATION
- Final detailing and fabrication **HAVE NOT BEEN** scheduled. Your price is protected based on the must ship date shown on the order contract. Please return the approved drawings no later than \_\_\_\_\_ so we can begin final detailing and determine a delivery schedule. If the drawings are not returned by this date, the schedule and price will be subject to change.
- Final detailing and fabrication have been scheduled. Changes or alterations to the building may cause the schedule and/or price to be subject to change.
- Final detailing has been scheduled. Changes or alterations to the building may cause the price to be subject to change. **FABRICATION HAS NOT BEEN SCHEDULED.**
- Final detailing and fabrication **HAVE BEEN** scheduled. Your price is protected based on the must ship date shown on the order contract. Please return the approved drawings no later than \_\_\_\_\_ so we can begin final detailing and determine a delivery scheduled. If the drawings are not returned by this date, the schedule and price will be subject to change.
- FOR ERECTION (A. BOLTS)  
Final detailing and fabrication have been scheduled. Changes or alterations to the building may cause the schedule and/or price to be subject to change.
- FOR PRELIMINARY USE ONLY  
Joist Bridging Information to follow
- FOR PRELIMINARY USE ONLY

Remarks: \_\_\_\_\_

Copy To: File Signed: Glen Vandekerkhove  
Dtlr: JMT Eng: JL Proj. Coordinator: ATS

200 Whetstone Road Ph: (803) 568-2100  
 Swansea, SC 29160 Fax: (803) 568-2121

June 6, 2018

R E Purnell Construction  
 429 Haven Hill Road  
 Shelbyville, KY 40065  
Attn.: Rob Purnell  
Project Location: Simpsonville, KY 40067  
NBS Project #: S18F0391A

Project Name: west shelby  
Buildings: A->40'-0"x80'-0"x19'-6"(RCG,3.0:12)

This Letter of Design Certification ensures that the materials supplied by Nucor Buildings Group are designed in accordance with the information specified to NBS on the order documents and summarized by the loading information listed below. The Project Engineer of Record (not Nucor Buildings Group) is responsible for verifying that the building code and design loads meet any and all applicable local requirements.

The Professional Engineer whose seal appears on this Letter of Certification is employed by Nucor Buildings Group, a Member of MBMA, and does not serve as or represent the Engineer of Record for this project and shall not be construed as such.

**DESIGN LOAD CRITERIA:**

Structural Loads Applied in General Accordance with: Kentucky (KYBC 2013)  
 Risk Category: II - Standard Buildings

**PROJECT-WIDE LOADING INFORMATION:**

Ground Snow Load: 15.0 psf Snow Exposure Factor, Ce: 1.00 Snow Imp. Factor, Is: 1.00  
 Roof Live Load: 20.0 psf Reducible As Per Code.  
 Ultimate Design Wind Velocity: 115 mph Nominal Design Wind Velocity: 89 mph  
 \*\*\*Components & Cladding Pressures: 31 psf/ -42 psf  
 Is Roof to meet UL 90 Requirements?: No Wind Exposure: C  
 Seismic Criteria: Ss: 0.221 S1: 0.095 • No ground snow included in seismic calculations.  
 Design Sds / Sd1: 0.236/0.152 Analysis Procedure: Equiv. Lat. Force Procedure  
 Seis. Imp. Factor, Ie: 1.00 Basic SFRS: Not Detailed for Seismic  
 Seis. Design Category: C Site Class: D

**BUILDING-SPECIFIC LOADING INFORMATION:**

Bldg	Roof Dead (psf)*	Collateral Dead		Snow Coefficient		Snow Load (psf)		Wind		Seismic		
		Pri (psf)	Sec (psf)	Ct	Cs	Ps (psf)	**Pm (psf)	Enclosure	GCpi	R	Cs	V (kips)
A	3.0	2.0	2.0	1.1	0.93	10.77	15.00	Enclosed	± 0.18	3.00	0.079	2.2

\*Primary Structural Not Included

\*\*P<sub>m</sub> is based on the minimum roof snow load calculated per building code or the contract-specified roof snow load, whichever is greater. This value, P<sub>m</sub>, is only applied in combination with Dead and Collateral Loads. Roof Snow in other loading conditions is determined per the specified Building Code.

\*\*\*Design wind pressures to be used for wall exterior component and cladding materials not provided by Nucor Building Systems.

Mezzanine Information:

Floor Dead Load: N/A Floor Collateral Load: N/A Floor Live Load: N/A

Crane Information:

No cranes on building.

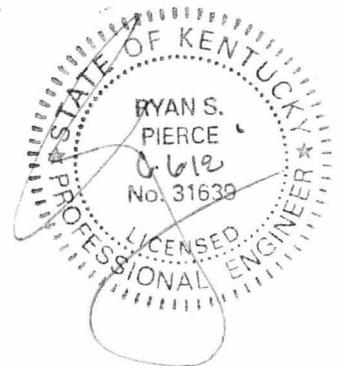
Roof-Top Unit Information

No roof-top units on building.

The design of structural members supporting roof gravity loads is controlled by the more critical effect of roof live load or roof snow applied in accordance with the governing building code.

**DESIGN STANDARDS REFERENCED:**

- AISC Specification for Structural Steel Buildings - Steel Construction Manual, 14th Edition, © 2010.
- AISI North-American Specification for the Design of Cold-Formed Steel Structures, © 2007 Edition w/2010 Supplement.
- IBC codes are designed in accordance with ASCE7-10 Edition.
- MBMA Low Rise Building Systems Manual, Latest Edition.
- AWS Latest Edition of Structural Welding Code.
- No buyout structural components provided on this project.





PROJECT NUMBER: S18F0391A  
 PROJECT NAME: West Shelby  
 PROJECT LOCATION: Simpsonville, KY 40067  
 CUSTOMER: R E Purnell Construction



**BUILDING LOADS**

DESIGN CODE: KYBC 2013  
 ROOF LIVE LOAD: 20.00 PSF MBMA OCC. CLASS: II  
 LIVE LOAD REDUCIBLE Yes  
 GROUND SNOW LOAD: 15.0 PSF SNOW EXP. FACTOR,  $C_e$ : 1.00  
 SNOW IMPORTANCE FACTOR,  $I_s$ : 1.00

WIND: 115 / 89 MPH  
 (Wind / (Wind))  
 \*\*\* & C PRESSURES (PSF): .31 / -.42

EXPOSURE: C  
 UL 90 NO  
 Classic Roof-Const. No. 161; Classic Roof w/ Translucent Panel-Const. No. 167  
 CFR Roof-Const. No. 552; CFR Roof w/ Translucent Panel-Const. No. 550;  
 Composite CFR Roof-Const. No. 552A; VR16 II Roof-Const. No. 332.

SEISMIC INFORMATION  $S_s$ : 0.221  $S_1$ : 0.095  
 Design  $S_d$ / $S_1$ : 0.236 / 0.152 Site Class: D  
 Seismic Imp. Factor: 1.00 Seismic Design Category: C  
 Analysis Procedure: Equivalent Lateral Force Method  
 Basic SFRS: Not Detailed for Seismic

NOTES:  
 1) COLLATERAL DEAD LOADS, UNLESS OTHERWISE NOTED, ARE ASSUMED TO BE UNIFORMLY DISTRIBUTED. WHEN SUSPENDED SPRINKLER SYSTEMS, LIGHTING, HVAC EQUIPMENT, CRANES, ETC., ARE SUSPENDED FROM ROOF MEMBERS, CONSULT THE M.B.S. IF THESE CONCENTRATED LOADS EXCEED 500 POUNDS (USE THE WEB MOUNT DETAIL) OR 200 POUNDS (USE THE FLANGE MOUNT DETAIL), OR IF INDIVIDUAL MEMBERS ARE LOADED SIGNIFICANTLY MORE THAN OTHERS.

2) THE DESIGN OF STRUCTURAL MEMBERS SUPPORTING GRAVITY LOADS IS CONTROLLED BY THE MORE CRITICAL EFFECT OF ROOF LIVE LOAD OR ROOF SNOW LOAD, AS DETERMINED BY THE APPLICABLE CODE.  
 3)  $P_n$  IS BASED ON THE MINIMUM ROOF SNOW LOAD CALCULATED PER BUILDING CODE OR THE CONTRACT SPECIFIED SNOW LOAD, WHICHEVER IS GREATER. THIS VALUE,  $P_n$ , IS ONLY APPLIED IN COMBINATION WITH THE DEAD AND COLLATERAL LOADS. ROOF SNOW IN OTHER LOADING CONDITIONS IS DETERMINED PER THE SPECIFIED BUILDING CODE.

BUILDING	
	A
ROOF DEAD (PSF)	3.0
PR. COL. (PSF)	2.0
SEC. COL. (PSF)	2.0
SNOW $C_e$	1.1
SNOW $C_e$	0.93
ROOF SNOW $P_n$ (PSF)	10.77
ROOF SNOW $P_m$ (PSF)	15.00
WIND ENCLOSURE	Closed
$C_{pe}$	0.18
SEISMIC $R$	3.00
SEISMIC $C_e$	0.079
BASE SHEAR (KIPS)	2.2

**ERECTION MANUALS REQUIRED**  
 (ERECTION MANUALS ARE SHIPPED WITH THE BUILDING IN A WAREHOUSE PACKING CRATE)

<input type="checkbox"/> CFR ROOF	<input type="checkbox"/> H9700 OR <input type="checkbox"/> H8260	<input type="checkbox"/> SINGLE CURB (H9850)
<input checked="" type="checkbox"/> CLASSIC ROOF	<input checked="" type="checkbox"/> H9420 OR <input type="checkbox"/> H8201	<input type="checkbox"/> DOUBLE CURB (H9800)
<input checked="" type="checkbox"/> WALL SHEETING	<input checked="" type="checkbox"/> H9430 OR <input type="checkbox"/> H8300	<input type="checkbox"/> VR16 II (H9925)

**Notes and Specifications**

**Building Erection Notes**

1) The general contractor and/or erector is responsible to safely and properly erect the metal building system in conformance with these drawings, OSHA requirements and metal building system in conformance with these drawings, OSHA requirements and either ASCE 10 or CSA S16 standards pertaining to proper erection. This includes, but is not limited to, the correct use of temporary guys and bracing where needed for sequencing, plumbing, and securing the structural and secondary framing. Secondary wall framing members (girts or bar joists) are not designed to function as a work platform or provide safely tie-off attachment in accordance with OSHA requirements. Secondary roof framing members (purlins or bar joists) are not designed to provide safety tie-off attachment in accordance with OSHA requirements.

2) A325 & A490 Bolt Tightening requirements: It is the responsibility of the erector to ensure proper bolt tightness in accordance with applicable requirements. See the ACSC Specification for Structural Steel Buildings A325 or A490 Bolts for more information.

The following criteria may be used to determine the bolt tightness (i.e., "snug-tight" or "fully-pre-tensioned"), unless required otherwise by local jurisdiction or contract requirements:  
 A) All A490 bolts shall be "fully-pre-tensioned".  
 B) All A325 bolts in primary framing (rigid frames and bracing) may be "snug-tight".  
 C) "Fully-tensioned" A325 bolts if:

- Building supports a crane system with a capacity greater than 5 tons.
  - Building supports machinery that creates vibration, impact or stress-reversals on the connection. The Engineer-Record for the project should be consulted to evaluate for this condition.
  - The project site is located in a high seismic area. For IBC-based codes, "High Seismic Area" is defined as "Seismic Design Category" of "D", "E", or "F". See the "Building Loads" section of this page for the defined seismic design category for the project.
  - Any connection designated in these drawings as "A325-SC". "Slip-Critical (SC)" connections must be free of paint, oil, or other materials that reduce friction at contact surfaces. Galvanized or lightly coated surfaces are acceptable.
- In Canada: all A325 and A490 bolts shall be fully pre-tensioned, except for secondary members (purlins, girts, opening framing, etc.) and flange bracing connections may always be "snug-tight", unless indicated otherwise in these drawings.

3) The metal building supplier shall be notified prior to any field modifications. Modifications shall be approved by the metal building supplier before work is undertaken.  
 4) Common Abbreviations:  
 a) TYP UNO - Typical Unless Noted Otherwise f) SIM - Similar  
 b) SLV - Short Leg Vertical h) SL - Steel Line  
 c) LLV - Long Leg Vertical i) N/A - Not Applicable  
 d) NS & FS - Near Side and Far Side j) MBS - Metal Building Supplier  
 e) O.A.L. - Overall Length

- Construction loads shall not be placed on any structural steel framework unless such framework is safely bolted, welded, or otherwise adequately secured.
- Purlins and girts shall not be used as an anchorage point for a fall arrest system unless written approval is obtained from the metal building supplier.
- Purlins may only be used as a walking/working surface when installing safety systems, after all permanent bridging has been installed and fall protection is provided.
- Construction loads may be placed only within a zone that is within 8 feet of the center line of the primary support member. CFR bracing should be placed directly over the rigid frames.
- All lifting devices must meet OSHA or MSHA standards and in no case is it acceptable to use structural members supplied by the MBS as a spreader bar or lifting device.

**General Design Notes**

- All structural steel sections and welded plate members are designed in accordance with ANSI/AISC 360 "Specifications for Structural Steel Buildings" or the CAN/CSA S16 "Limit States Design of Steel Structures", as required by the specified building code.
- All welding of structural steel is based on either AWS D1.1 "Structural Welding Code - Steel" or CAN/CSA W59 "Welded Steel Construction (Metal Arc Welding)", as required by the specified building code.
- All cold formed members are designed in accordance with ANSI/AISI S111 or CAN/CSA S136 "Specifications for the Design of Cold Formed Steel Structural Members", as required by the specified building code.
- All welding of cold formed steel is based on AWS D1.3 "Structural Welding Code - Sheet Steel" or CAN/CSA W59 "Welded Steel Construction (Metal Arc Welding)", as required by the specified building code.
- This Metal Building Supplier is certified in US AS-472 Accredited and CAN/CSA A860 and W471 Certified (if applicable) for the design and manufacturing of Metal Building Systems.
- If joints are included with this project, they are supplied as a part of the systems engineered metal building and are fabricated in accordance with the requirements of Section 1928.756 of the OSHA safety standards for steel erection, dated January 18, 2001.

**Material Specifications**

Plate and Flange Material:	A572 Grade 55
5" - 12" Wide, to 1 1/4" Th.	A572 Grade 50
Others	A572 Grade 50
Ball-Slip Structural Web	A1011 SS for HSLAS Class 1) Grade 55
Hot-Rolled Structural	A36 or A572 Grade 50 or A992 Grade 50
Structural Tube	A500 Grade B (46 KS)
Structural Pipe	A500 Grade B (46 KS)
Cold-Formed Structural	A1011 or A1039 SS (or HSLAS Class 1) or A853 Grade 55
Classic Roof Panel	A792 Grade 80
CFR / VR16 II Roof Panel	A792 Grade 50, Class 1
All Wall Panel Profiles	A853 Grade 80, Class 1 or A792 Grade 80, Class 1
Roof Bracing	A572 Grade 50
Welds	AWS D1.1/D1.3 or CSA W59 per Building Code
High-Strength Bolts	A325 Type 1 or A490 Type 1 Heavy Hex
Machine Bolts	A307 Grade A Hex

PRIMARY AND SECONDARY STEEL PRIMER COLOR: RED

ROOF SHEETING, TYPE: Classic 26 GAGE, FINISH: Galvalume

ROOF PANEL CLIP TYPE:  N/A  TALL  SHORT  UTILITY  FIXED  FLOATING

THERMAL BLOCKS:  YES  NO EPS FOAM SPACER:  YES  NO

SEAMING METHOD (FOR CFR ONLY):  ROLL LOCK™  VISE LOCK™  
 REFER TO THE DETAIL PAGES FOR ADDITIONAL SEAMING INFORMATION

COMPOSITE CFR DECK, TYPE: N/A GAGE, FINISH: \_\_\_\_\_

ROOF LINE TRIM, PAINTED: Fox Gray SP

EXTERIOR WALL SHEETING, TYPE: Reverse Classic 26 GAGE, FINISH: Fox Gray SP

EXTERIOR WALL CORNER TRIM FINISH: Fox Gray SP

EXTERIOR BASE TRIM, PAINTED: Fox Gray SP

FRAMED OPENING TRIM, PAINTED: Fox Gray SP

WALL FRAMED OPENING, SIZES: FSW (3) 14'-0" W x 16'-0" H

BSW none

LEW (1) 2'-1" W x 18'-1" window sill at 16'-0"

REW none

INTERIOR WALL SHEETING, TYPE: Classic 26 GAGE, FINISH: Polar White SP

INTERIOR WALL LINER, TYPE: N/A GAGE, FINISH: \_\_\_\_\_

INTERIOR WALL TRIM, PAINTED: Polar White SP

YES NO

DOWNSPOUTS PAINTED: Fox Gray SP GUTTERS PAINTED: Fox Gray SP

WALKDOORS, QUANTITY: (1) 3070 PAINTED: Polar White SP

WINDOWS: \_\_\_\_\_ PAINTED: \_\_\_\_\_

INSULATION (NOT BY MBS), ROOF: 3.5 INCH WALLS: 6 INCH

CRANES (SEE CRANE PLAN FOR ADDITIONAL CRANE INFORMATION)

MEZZANINE (SEE MEZZANINE PLAN FOR ADDITIONAL MEZZANINE INFO)

WALL TRANSLUCENT PANELS:

ROOF TRANSLUCENT PANELS:

INSULATED PANELS YES  NO

PIPE JACKS, SIZE: \_\_\_\_\_ QUANTITY: \_\_\_\_\_

ROOF FRAMED OPENINGS, SEE ROOF FRAMING PLAN FOR SIZES

RIDGE VENTS, 10'-0" LONG X 9" THROAT. QUANTITY: \_\_\_\_\_

FOR OCCUPANCY CATEGORY I OR II BUILDINGS, IBC ALLOWS FOR SINGLE STORY BUILDINGS TO HAVE NO LIMIT FOR SEISMIC STORY DRIFT. PLEASE NOTE THAT ANY INTERIOR WALLS, PARTITIONS, CEILING, AND EXTERIOR WALLS SHOULD BE DETAILED (BY OTHERS) TO ACCOMMODATE THIS STORY DRIFT.

YES NO

FASCIA, PROJECTION: \_\_\_\_\_ TOP OF FASCIA HEIGHT: \_\_\_\_\_

FACE PANEL, TYPE: \_\_\_\_\_ GAGE, FINISH: \_\_\_\_\_

BACK PANEL, TYPE: \_\_\_\_\_ GAGE, FINISH: \_\_\_\_\_

CAP TRIM PAINTED: \_\_\_\_\_ BASE TRIM PAINTED: \_\_\_\_\_

CLOSED SYSTEM, CLEAR UNDER SOFFIT TRIM:

SOFFIT PANEL, TYPE: \_\_\_\_\_ GAGE, FINISH: \_\_\_\_\_

SOFFIT TRIM AT BUILDING LINE PAINTED: \_\_\_\_\_

OPEN SYSTEM, (NO SOFFIT PANEL PROVIDED)

CLEAR UNDER FASCIA: \_\_\_\_\_

PARAPET SYSTEM

STRUCTURAL PARAPET  NON-STRUCTURAL PARAPET

CLEAR UNDER CANOPY: \_\_\_\_\_

TOP OF PARAPET HEIGHT: \_\_\_\_\_

BACKER PANEL, TYPE: \_\_\_\_\_ GAGE, FINISH: \_\_\_\_\_

CANOPY, PROJECTION: \_\_\_\_\_

AT EAVE LINE  BELOW EAVE

ROOF PANEL, TYPE: \_\_\_\_\_ GAGE, FINISH: \_\_\_\_\_

SOFFIT PANEL, TYPE: \_\_\_\_\_ GAGE, FINISH: \_\_\_\_\_

SOFFIT TRIM AT BUILDING LINE PAINTED: \_\_\_\_\_

CLEAR UNDER CANOPY BEAM: \_\_\_\_\_

EAVE EXTENSION, PROJECTION: \_\_\_\_\_

SOFFIT PANEL, TYPE: \_\_\_\_\_ GAGE, FINISH: \_\_\_\_\_

SOFFIT TRIM AT BUILDING LINE PAINTED: \_\_\_\_\_

RAKE EXTENSION, PROJECTION: \_\_\_\_\_

SOFFIT PANEL, TYPE: \_\_\_\_\_ GAGE, FINISH: \_\_\_\_\_

SOFFIT TRIM AT BUILDING LINE PAINTED: \_\_\_\_\_

PARTITION WALL SHEETING

PANEL TYPE: \_\_\_\_\_ GAGE, FINISH: \_\_\_\_\_

PARTITION WALL TRIM COLOR: \_\_\_\_\_

WAINSCOT

WALL PANEL, TYPE: \_\_\_\_\_ GAGE, FINISH: \_\_\_\_\_

BASE TRIM PAINTED: \_\_\_\_\_ JAMB TRIM PAINTED: \_\_\_\_\_

TRANSITION TRIM PAINTED: \_\_\_\_\_

**MAILED**  
JUN 06 2018

**DRAWING INDEX**

COVERSHEET	<u>C1</u>
ANCHOR BOLT DRAWINGS	<u>F1, F2</u>
COLUMN BASE REACTIONS	<u>R1</u>
STRUCTURAL/SHEETING DRAWINGS	
DETAILS	

PROJECT NAME: WEST SHELBY  
 PROJECT ADDRESS: 492 3RD STREET, SIMPSONVILLE, KY 40067  
 CONTRACTOR: R E PURNELL CONSTRUCTION  
 PROJECT NUMBER: S18F0391A

DATE: 6/7/18  
 DRAWN BY: JP  
 CHECKED BY: JP  
 DESIGNED BY: JP  
 PROJECT ENGINEER: JP

RYAN S. PIERCE  
 No. 31639

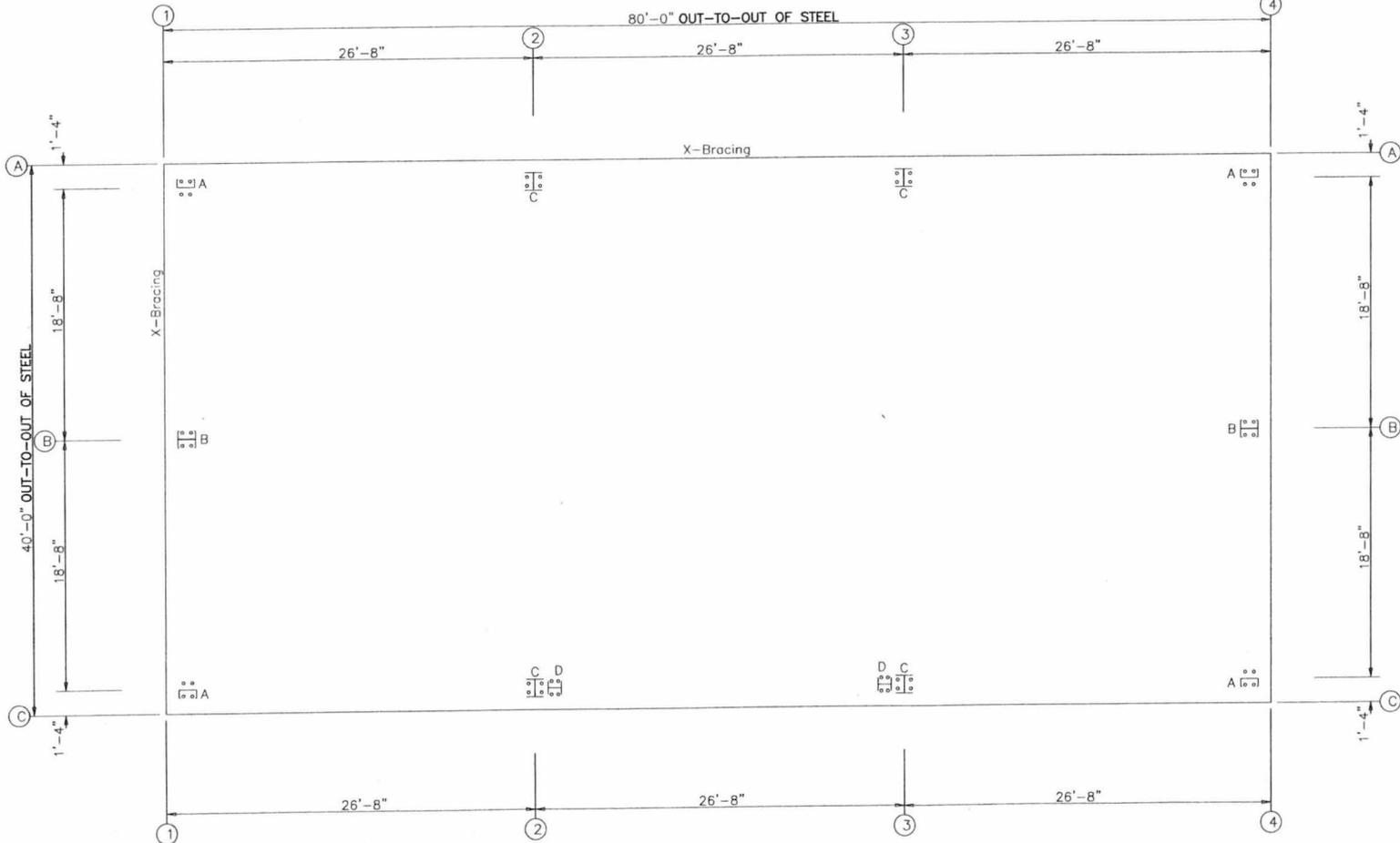
REGISTERED PROFESSIONAL ENGINEER  
 KY REG. NO. 15187

NUCOR BUILDING SYSTEMS  
 4539  
 1000 N. 300 W. WASHINGTON, MO, WARREN, MO 64090  
 660 AVENUE TRAIL, TOWSON, MD 21286  
 1000 AVENUE TRAIL, TOWSON, MD 21286  
 PHONE: (410) 284-4407 FAX: (410) 274-2547  
 PHONE: (410) 274-4407 FAX: (410) 274-2547  
 PHONE: (410) 274-4407 FAX: (410) 274-2547

CONSTRUCTION ANCHOR BOLTS

THIS DRAWING IS THE PROPERTY OF NUCOR BUILDING SYSTEMS. IT IS TO BE USED ONLY FOR THE PROJECT AND LOCATION SPECIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF NUCOR BUILDING SYSTEMS.

C1 of 1



**ANCHOR BOLT PLAN**  
NOTE: All Base Plates ● 100'-0" (U.N.)

o Dia = 3/4"

**ANCHOR BOLT SUMMARY**

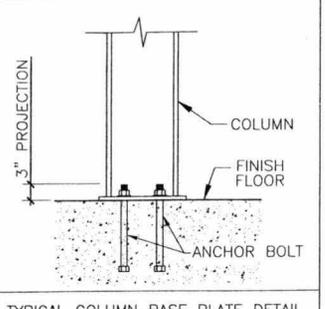
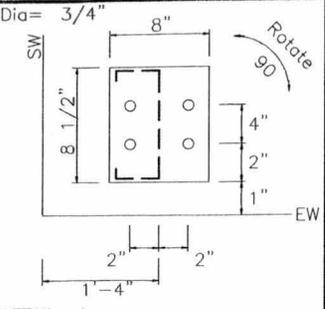
Qty	Locate	Dia (in)	Type	Proj (in)
24	Endwall	3/4"	F1554	3.00
16	Frame	3/4"	F1554	3.00
8	WindCal	3/4"	F1554	3.00

**ANCHOR BOLT PLAN**

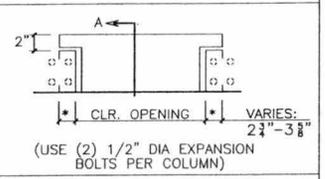
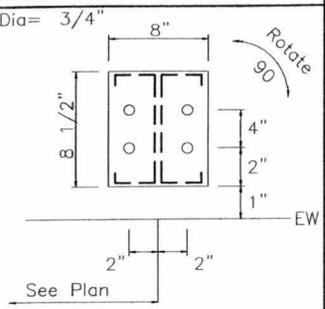
**GENERAL NOTES**

1. THE SPECIFIED ANCHOR ROD DIAMETER ASSUMES F1554 GRADE 36 UNLESS NOTED OTHERWISE. ANCHOR ROD MATERIAL OF EQUAL DIAMETER MEETING OR EXCEEDING THE STRENGTH REQUIREMENTS SET FORTH ON THESE DRAWINGS MAY BE UTILIZED AT THE DISCRETION OF THE FOUNDATION DESIGN ENGINEER. ANCHOR ROD EMBEDMENT LENGTH SHALL BE DETERMINED BY THE FOUNDATION DESIGN ENGINEER.
2. METAL BUILDING MANUFACTURER IS NOT RESPONSIBLE FOR PROJECT FOUNDATION DESIGN. THE FOUNDATION DESIGN IS THE RESPONSIBILITY OF A REGISTERED PROFESSIONAL ENGINEER, FAMILIAR WITH LOCAL SITE CONDITIONS.
3. ALL ANCHOR RODS, FLAT WASHERS FOR ANCHOR RODS, EXPANSION BOLTS, AS WELL AS ALL CONCRETE/MASONRY EMBEDMENT PLATES ARE NOT BY METAL BUILDING MANUFACTURER.
4. THIS DRAWING IS NOT TO SCALE.
5. FINISHED FLOOR ELEVATION = 100'-0" UNLESS NOTED OTHERWISE.
6. "SINGLE" CEE COLUMNS SHALL BE ORIENTED WITH THE "TOES" TOWARD THE LOW LEAVE UNLESS NOTED OTHERWISE.
7. ANCHOR RODS ARE REQUIRED ONLY IN THE QUANTITIES SPECIFIED. BASEPLATES MAY BE FABRICATED WITH MORE HOLES THAN NEEDED FOR THIS PROJECT.
8. THE ANCHOR BOLT LOCATIONS PROVIDED BY METAL BUILDING MANUFACTURER SATISFY PERTINENT REQUIREMENTS FOR THE DESIGN OF THE MATERIALS SUPPLIED BY THE METAL BUILDING MANUFACTURER. PLEASE NOTE THAT THESE REQUIREMENTS MAY NOT SATISFY ALL ANCHOR BOLT CONCRETE EDGE DISTANCE REQUIREMENTS DEPENDING ON THE DETAILS OF THE FOUNDATION DESIGN. BECAUSE FOUNDATION DESIGN IS NOT WITHIN THE METAL BUILDING MANUFACTURER'S SCOPE OF WORK, IT IS THE RESPONSIBILITY OF THE QUALIFIED PROFESSIONAL ENGINEER DESIGNING THE FOUNDATION TO MAKE SURE CERTAIN THAT SUFFICIENT CONCRETE EDGE DISTANCE IS PROVIDED FOR THE ANCHOR BOLTS IN THE DETAILS OF THE FOUNDATION DESIGN.

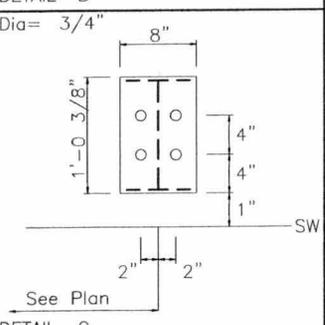
CONSTRUCTION ANCHOR BOLTS							
DATE: 6/9/76							
<p><b>NUSCOR</b>                  BUILDING SYSTEMS                  300 INDUSTRIAL PARKWAY, WHEELING, W. VA. 26073                  P.O. BOX 200, WHEELING, W. VA. 26073                  PHONE: (802) 886-2100 FAX: (802) 886-2101                  PHONE: (272) 284-4407 FAX: (272) 284-4417                  PHONE: (408) 918-3100 FAX: (408) 918-3101</p>							
PROJECT NAME: WEST SHELBY 192 3RD STREET, SIMPSONVILLE, KY 40067 CONTRACT NO.: PRE PURNELL CONSTRUCTION SHELBYVILLE, KY 40065 JOB NUMBER: S18F0391A SHEET TITLE:							
RYAN S. PIERCE No. 31839 REGISTERED PROFESSIONAL ENGINEER							
This seal pertains only to the signature of Ryan S. Pierce, a contractor who is not responsible for the design of the foundation. The design of the foundation is the responsibility of the registered professional engineer who has signed and sealed this drawing. The seal of the registered professional engineer is required for the foundation design.							



TYPICAL COLUMN BASE PLATE DETAIL

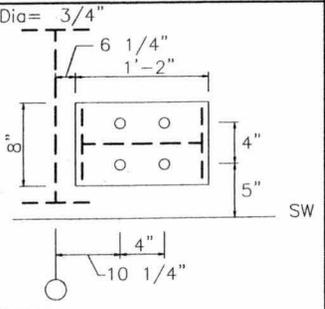


SECTION A  
(RECOMMENDED)  
TYPICAL OVERHEAD DOOR  
FRAMED OPENING



**FOUNDATION DESIGN NOTES:**

1. THE ORIENTATION OF THE ANCHOR BOLT DETAILS SHOWN ON THIS PAGE MAY NOT COINCIDE WITH THE ACTUAL COLUMN ORIENTATION SHOWN ON PAGE F1. PLEASE REFERENCE THE SIDEWALL (SW) AND ENDWALL (EW) STEEL LINES SHOWN ON THE ANCHOR BOLT DETAILS WITH THE ANCHOR BOLT PLAN ON PAGE F1 DURING LAYOUT OF COLUMN AND ANCHOR BOLT LOCATIONS.
2. COLUMN BASE PLATES MAY HAVE MORE HOLES THAN ARE REQUIRED DUE TO PRODUCTION LIMITATIONS. PLEASE FOLLOW ANCHOR BOLT DETAILS FOR QUANTITY OF ANCHOR BOLTS REQUIRED. EXTRA BASE PLATE HOLES DO NOT NEED INFILLED PER THE MBS DESIGN SPECIFICATIONS.



DETAIL D

DATE	6/15/18
REV	
NO.	
BY	JMT
CHK	JL
CONSTRUCTION	ANCHOR BOLTS

**NUCOR**  
BUILDING SYSTEMS  
305 E. INDUSTRIAL PARKWAY, WESTFIELD, IN 47981  
PO BOX 1008, 200 WESTFIELD BL, SIMPSONVILLE, KY 40067  
PHONE (812) 521-3400 FAX (812) 521-5417  
PHONE (425) 874-3300 FAX (425) 918-1101

PROJECT NAME  
**WEST SHELBY**  
7892 3RD STREET, SIMPSONVILLE, KY 40067  
PROJECT NUMBER  
**RE PURNELL CONSTRUCTION**  
SHELBYVILLE, KY 40065  
JOB NUMBER  
**S18F0391A**  
SHEET TITLE



This seal pertains only to the professional services rendered by the engineer or architect herein. It does not constitute a warranty or endorsement of any product or service. The engineer or architect shall be responsible for the design and construction of the project. The engineer or architect shall be responsible for the design and construction of the project.

EXHIBIT 5

