

**COMMONWEALTH OF KENTUCKY
BEFORE THE PUBLIC SERVICE COMMISSION**

RECEIVED

JAN 28 2016

PUBLIC SERVICE
COMMISSION

In the Matter of:

THE APPLICATION OF)
NEW CINGULAR WIRELESS PCS, LLC)
FOR ISSUANCE OF A CERTIFICATE OF PUBLIC)
CONVENIENCE AND NECESSITY TO CONSTRUCT)
A WIRELESS COMMUNICATIONS FACILITY)
IN THE COMMONWEALTH OF KENTUCKY)
IN THE COUNTY OF JOHNSON)

CASE NO.: 2016-00057

SITE NAME: NIPPA

**APPLICATION FOR
CERTIFICATE OF PUBLIC CONVENIENCE AND NECESSITY
FOR CONSTRUCTION OF A WIRELESS COMMUNICATIONS FACILITY**

New Cingular Wireless PCS, LLC, a Delaware limited liability company, d/b/a AT&T Mobility (“Applicant”), by counsel, pursuant to (i) KRS §§ 278.020, 278.040, 278.650, 278.665, and other statutory authority, and the rules and regulations applicable thereto, and (ii) the Telecommunications Act of 1996, respectfully submits this Application requesting issuance of a Certificate of Public Convenience and Necessity (“CPCN”) from the Kentucky Public Service Commission (“PSC”) to construct, maintain, and operate a Wireless Communications Facility (“WCF”) to serve the customers of the Applicant with wireless communications services.

In support of this Application, Applicant respectfully provides and states the following information:

1. The complete name and address of the Applicant: New Cingular Wireless

PCS, LLC, a Delaware limited liability company, d/b/a AT&T Mobility, having a local address of 601 West Chestnut Street, Louisville, Kentucky 40203.

2. Applicant proposes construction of an antenna tower for communications services, which is to be located in an area outside the jurisdiction of a planning commission, and Applicant submits this application to the PSC for a certificate of public convenience and necessity pursuant to KRS §§ 278.020(1), 278.040, 278.650, 278.665, and other statutory authority.

3. The Certificate of Authority filed with the Kentucky Secretary of State for the Applicant entity was attached to a prior application and is part of the case record for PSC case number 2011-00473 and is hereby incorporated by reference. AT&T Mobility is in good standing in the state in which it is organized and is authorized to transact business in Kentucky.

4. The Applicant operates on frequencies licensed by the Federal Communications Commission ("FCC") pursuant to applicable FCC requirements. A copy of the Applicant's FCC license to provide wireless services is attached to this Application or described as part of **Exhibit A**, and the facility will be constructed and operated in accordance with applicable FCC regulations.

5. The public convenience and necessity require the construction of the proposed WCF. The construction of the WCF will bring or improve the Applicant's services to an area currently not served or not adequately served by the Applicant by increasing coverage or capacity and thereby enhancing the public's access to innovative and competitive wireless communications services. The WCF will provide a necessary link in

the Applicant's communications network that is designed to meet the increasing demands for wireless services in Kentucky's wireless communications service area. The WCF is an integral link in the Applicant's network design that must be in place to provide adequate coverage to the service area.

6. To address the above-described service needs, Applicant proposes to construct a WCF at Old U.S. 23, Wittensville, Kentucky 41274 (37° 51' 45.52" North latitude, 82° 47' 11.59" West longitude), on a parcel of land located entirely within the county referenced in the caption of this application. The property on which the WCF will be located is owned by Chris and Jennifer Ferguson pursuant to a Deed recorded at Deed Book 404, Page 672 in the office of the Johnson County Clerk. The proposed WCF will consist of a 255-foot tall tower, with an approximately 10-foot tall lightning arrestor attached at the top, for a total height of 265-feet. The WCF will also include concrete foundations and a shelter or cabinets to accommodate the placement of the Applicant's radio electronics equipment and appurtenant equipment. The Applicant's equipment cabinet or shelter will be approved for use in the Commonwealth of Kentucky by the relevant building inspector. The WCF compound will be fenced and all access gate(s) will be secured. A description of the manner in which the proposed WCF will be constructed is attached as **Exhibit B** and **Exhibit C**.

7. A list of utilities, corporations, or persons with whom the proposed WCF is likely to compete is attached as **Exhibit D**.

8. The site development plan and a vertical profile sketch of the WCF signed and sealed by a professional engineer registered in Kentucky depicting the tower height, as

well as a proposed configuration for the antennas of the Applicant has also been included as part of **Exhibit B**.

9. Foundation design plans signed and sealed by a professional engineer registered in Kentucky and a description of the standards according to which the tower was designed are included as part of **Exhibit C**.

10. Applicant has considered the likely effects of the installation of the proposed WCF on nearby land uses and values and has concluded that there is no more suitable location reasonably available from which adequate services can be provided, and that there are no reasonably available opportunities to co-locate Applicant's antennas on an existing structure. When suitable towers or structures exist, Applicant attempts to co-locate on existing structures such as communications towers or other structures capable of supporting Applicant's facilities; however, no other suitable or available co-location site was found to be located in the vicinity of the site.

11. A copy of the Determination of No Hazard to Air Navigation issued by the Federal Aviation Administration ("FAA") is attached as **Exhibit E**.

12. A copy of the Kentucky Airport Zoning Commission ("KAZC") Approval to construct the tower is attached as **Exhibit F**. There is a small discrepancy between the coordinates on the KAZC approval and the FAA approval. KAZC has confirmed that this is within their margin of error and does not invalidate their approval.

13. A geotechnical engineering firm has performed soil boring(s) and subsequent geotechnical engineering studies at the WCF site. A copy of the geotechnical engineering report, signed and sealed by a professional engineer registered in the Commonwealth of

Kentucky, is attached as **Exhibit G**. The name and address of the geotechnical engineering firm and the professional engineer registered in the Commonwealth of Kentucky who supervised the examination of this WCF site are included as part of this exhibit.

14. Clear directions to the proposed WCF site from the County seat are attached as **Exhibit H**. The name and telephone number of the preparer of **Exhibit H** are included as part of this exhibit.

15. Applicant, pursuant to a written agreement, has acquired the right to use the WCF site and associated property rights. A copy of the agreement or an abbreviated agreement recorded with the County Clerk is attached as **Exhibit I**.

16. Personnel directly responsible for the design and construction of the proposed WCF are well qualified and experienced. The tower and foundation drawings for the proposed tower submitted as part of **Exhibit C** bear the signature and stamp of a professional engineer registered in the Commonwealth of Kentucky. All tower designs meet or exceed the minimum requirements of applicable laws and regulations.

17. The Construction Manager for the proposed facility is Kyle Ballard, and the identity and qualifications of each person directly responsible for design and construction of the proposed tower are contained **Exhibits B & C**.

18. As noted on the Survey attached as part of **Exhibit B**, the surveyor has determined that the site is not within any flood hazard area.

19. **Exhibit B** includes a map drawn to an appropriate scale that shows the location of the proposed tower and identifies every owner of real estate within 500 feet of

the proposed tower (according to the records maintained by the County Property Valuation Administrator). Every structure and every easement within 500 feet of the proposed tower or within 200 feet of the access road including intersection with the public street system is illustrated in **Exhibit B**.

20. Applicant has notified every person who, according to the records of the County Property Valuation Administrator, owns property which is within 500 feet of the proposed tower or contiguous to the site property, by certified mail, return receipt requested, of the proposed construction. Each notified property owner has been provided with a map of the location of the proposed construction, the telephone number and address of the PSC, and has been informed of his or her right to request intervention. A list of the notified property owners and a copy of the form of the notice sent by certified mail to each landowner are attached as **Exhibit J** and **Exhibit K**, respectively.

21. Applicant has notified the applicable County Judge/Executive by certified mail, return receipt requested, of the proposed construction. This notice included the PSC docket number under which the application will be processed and informed the County Judge/Executive of his/her right to request intervention. A copy of this notice is attached as **Exhibit L**.

22. Notice signs meeting the requirements prescribed by 807 KAR 5:063, Section 1(2) that measure at least 2 feet in height and 4 feet in width and that contain all required language in letters of required height, have been posted, one in a visible location on the proposed site and one on the nearest public road. Such signs shall remain posted for at least two weeks after filing of the Application, and a copy of the posted text is attached as

Exhibit M. Notice of the location of the proposed facility has been published in a newspaper of general circulation in the county in which the WCF is proposed to be located.

23. The general area where the proposed facility is to be located is atop a mountain. No residential structures are located within a 500-foot radius of the proposed tower location.

24. The process that was used by the Applicant's radio frequency engineers in selecting the site for the proposed WCF was consistent with the general process used for selecting all other existing and proposed WCF facilities within the proposed network design area. Applicant's radio frequency engineers have conducted studies and tests in order to develop a highly efficient network that is designed to handle voice and data traffic in the service area. The engineers determined an optimum area for the placement of the proposed facility in terms of elevation and location to provide the best quality service to customers in the service area. A radio frequency design search area prepared in reference to these radio frequency studies was considered by the Applicant when searching for sites for its antennas that would provide the coverage deemed necessary by the Applicant. A map of the area in which the tower is proposed to be located which is drawn to scale and clearly depicts the necessary search area within which the site should be located pursuant to radio frequency requirements is attached as **Exhibit N**.

25. All Exhibits to this Application are hereby incorporated by reference as if fully set out as part of the Application.

26. All responses and requests associated with this Application may be directed to:

David A. Pike
Pike Legal Group, PLLC
1578 Highway 44 East, Suite 6
P. O. Box 369
Shepherdsville, KY 40165-0369
Telephone: (502) 955-4400
Telefax: (502) 543-4410
Email: dpike@pikelegal.com

WHEREFORE, Applicant respectfully request that the PSC accept the foregoing Application for filing, and having met the requirements of KRS §§ 278.020(1), 278.650, and 278.665 and all applicable rules and regulations of the PSC, grant a Certificate of Public Convenience and Necessity to construct and operate the WCF at the location set forth herein.

Respectfully submitted,



David A. Pike
Pike Legal Group, PLLC
1578 Highway 44 East, Suite 6
P. O. Box 369
Shepherdsville, KY 40165-0369
Telephone: (502) 955-4400
Telefax: (502) 543-4410
Email: dpike@pikelegal.com
Attorney for New Cingular Wireless PCS, LLC
d/b/a AT&T Mobility

LIST OF EXHIBITS

- A - FCC License Documentation
- B - Site Development Plan:
 - 500' Vicinity Map
 - Legal Descriptions
 - Flood Plain Certification
 - Site Plan
 - Vertical Tower Profile
- C - Tower and Foundation Design
- D - Competing Utilities, Corporations, or Persons List
- E - FAA
- F - Kentucky Airport Zoning Commission
- G - Geotechnical Report
- H - Directions to WCF Site
- I - Copy of Real Estate Agreement
- J - Notification Listing
- K - Copy of Property Owner Notification
- L - Copy of County Judge/Executive Notice
- M - Copy of Posted Notices
- N - Copy of Radio Frequency Design Search Area

EXHIBIT A
FCC LICENSE DOCUMENTATION

ULS License

Cellular License - KNKN861 - NEW CINGULAR WIRELESS PCS, LLC

Call Sign	KNKN861	Radio Service	CL - Cellular
Status	Active	Auth Type	Regular

Market

Market	CMA451 - Kentucky 9 - Elliott	Channel Block	A
Submarket	0	Phase	2

Dates

Grant	08/30/2011	Expiration	10/01/2021
Effective	06/09/2014	Cancellation	

Five Year Buildout Date

02/04/1997

Control Points

- 1 1650 Lyndon Farms Court, LOUISVILLE, KY
P: (502)329-4700
- 2 707 CONCORD ROAD, KNOXVILLE, TN

Licensee

FRN	0003291192	Type	Limited Liability Company
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Licensee

NEW CINGULAR WIRELESS PCS, LLC 3300 E. Renner Road, B3132 Richardson, TX 75082 ATTN Reginald Youngblood	P:(855)699-7073 F:(972)907-1131 E:FCCMW@att.com
--	---

Contact

AT&T MOBILITY LLC Michael P Goggin 1120 20th Street, NW - Suite 1000 Washington, DC 20036 ATTN Michael P. Goggin	P:(202)457-2055 F:(202)457-3073 E:michael.p.goggin@att.com
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Ownership and Qualifications

Radio Service Type	Mobile
Regulatory Status	Common Carrier Interconnected Yes

Alien Ownership

The Applicant answered "No" to each of the Alien Ownership questions.

Basic Qualifications

The Applicant answered "No" to each of the Basic Qualification questions.

Demographics

ULS License

PCS Broadband License - KNLF235 - New Cingular Wireless PCS, LLC

Call Sign	KNLF235	Radio Service	CW - PCS Broadband
Status	Active	Auth Type	Regular

Market

Market	MTA018 - Cincinnati-Dayton	Channel Block	A
Submarket	15	Associated Frequencies (MHz)	001850.00000000-001865.00000000-001930.00000000-001945.00000000

Dates

Grant	07/01/2015	Expiration	06/23/2025
Effective	07/01/2015	Cancellation	

Buildout Deadlines

1st	06/23/2000	2nd	06/23/2005
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Notification Dates

1st	07/03/2000	2nd	05/16/2005
-----	------------	-----	------------

Licensee

FRN	0003291192	Type	Limited Liability Company
-----	------------	------	---------------------------

Licensee

New Cingular Wireless PCS, LLC 3300 E. Renner Road, B3132 Richardson, TX 75082 ATTN Reginald Youngblood	P:(855)699-7073 F:(972)907-1131 E:FCCMW@att.com
--	---

Contact

AT&T Mobility LLC Michael P Goggin 1120 20th Street, NW - Suite 1000 Washington, DC 20036 ATTN Michael P. Goggin	P:(202)457-2055 F:(202)457-3073 E:michael.p.goggin@att.com
--	--

Ownership and Qualifications

Radio Service Type	Mobile
Regulatory Status	Common Carrier Interconnected Yes

Alien Ownership

The Applicant answered "No" to each of the Alien Ownership questions.

Basic Qualifications

The Applicant answered "No" to each of the Basic Qualification questions.

Tribal Land Bidding Credits

ULS License

AWS (1710-1755 MHz and 2110-2155 MHz) License - WQGA822 - New Cingular Wireless PCS, LLC

Call Sign	WQGA822	Radio Service	AW - AWS (1710-1755 MHz and 2110-2155 MHz)
Status	Active	Auth Type	Regular
Market			
Market	CMA451 - Kentucky 9 - Elliott	Channel Block	A
Submarket	0	Associated Frequencies (MHz)	001710.00000000- 001720.00000000 002110.00000000- 002120.00000000

Dates

Grant	11/29/2006	Expiration	11/29/2021
Effective	02/12/2014	Cancellation	

Buildout Deadlines

1st	2nd
-----	-----

Notification Dates

1st	2nd
-----	-----

Licensee

FRN	0003291192	Type	Limited Liability Company
-----	------------	------	---------------------------

Licensee

New Cingular Wireless PCS, LLC 3300 E. Renner Road, B3132 Richardson, TX 75082 ATTN Reginald Youngblood	P:(855)699-7073 F:(972)907-1131 E:FCCMW@att.com
--	---

Contact

AT&T Mobility LLC Michael P Goggin 1120 20th Street, NW - Suite 1000 Washington, DC 20036 ATTN Michael P. Goggin	P:(202)457-2055 F:(202)457-3073 E:michael.p.goggin@att.com
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Ownership and Qualifications

Radio Service Type	Mobile
Regulatory Status	Common Carrier Interconnected Yes

Alien Ownership

The Applicant answered "No" to each of the Alien Ownership questions.

Basic Qualifications

The Applicant answered "No" to each of the Basic Qualification questions.

ULS License

AWS (1710-1755 MHz and 2110-2155 MHz) License - WQGD755 - New Cingular Wireless PCS, LLC

Call Sign	WQGD755	Radio Service	AW - AWS (1710-1755 MHz and 2110-2155 MHz)
Status	Active	Auth Type	Regular
Market			
Market	BEA047 - Lexington, KY-TN-VA-WV	Channel Block	C
Submarket	0	Associated Frequencies (MHz)	001730.00000000-001735.00000000 002130.00000000-002135.00000000

Dates

Grant	12/18/2006	Expiration	12/18/2021
Effective	12/05/2014	Cancellation	

Buildout Deadlines

1st	2nd
-----	-----

Notification Dates

1st	2nd
-----	-----

Licensee

FRN	0003291192	Type	Limited Liability Company
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Licensee

New Cingular Wireless PCS, LLC 3300 E. Renner Road, B3132 Richardson, TX 75082 ATTN Reginald Youngblood	P:(855)699-7073 F:(972)907-1131 E:FCCMW@att.com
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Contact

AT&T Mobility LLC 1120 20th Street, NW - Suite 1000 Washington, DC 20036 ATTN Michael P. Goggin	P:(202)457-2055 F:(202)457-3073 E:michael.p.goggin@att.com
--	--

Ownership and Qualifications

Radio Service Type	Mobile
Regulatory Status	Common Carrier Interconnected Yes

Alien Ownership

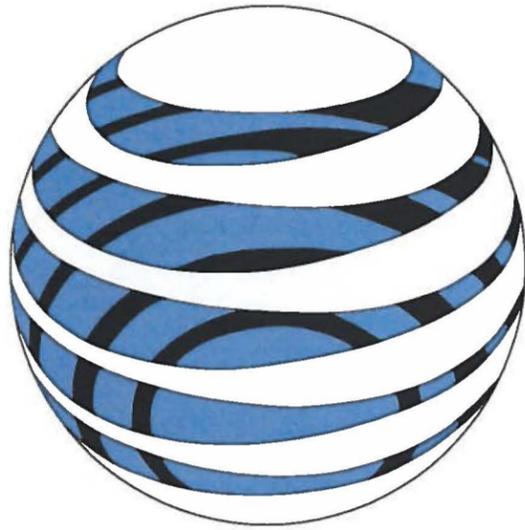
The Applicant answered "No" to each of the Alien Ownership questions.

Basic Qualifications

EXHIBIT B

SITE DEVELOPMENT PLAN:

**500' VICINITY MAP
LEGAL DESCRIPTIONS
FLOOD PLAIN CERTIFICATION
SITE PLAN
VERTICAL TOWER PROFILE**



at&t

NIPPA

SITE ID: KYALU6167

OLD US 23
JOHNSON COUNTY
WITTEVILLE, KENTUCKY 41274

PROPOSED 255' SELF-SUPPORT
WITH MULTIPLE CARRIERS

SCOPE OF WORK:

CONSTRUCTION DRAWINGS FOR:
CONSTRUCTION OF A NEW UNMANNED TELECOMMUNICATIONS FACILITY.

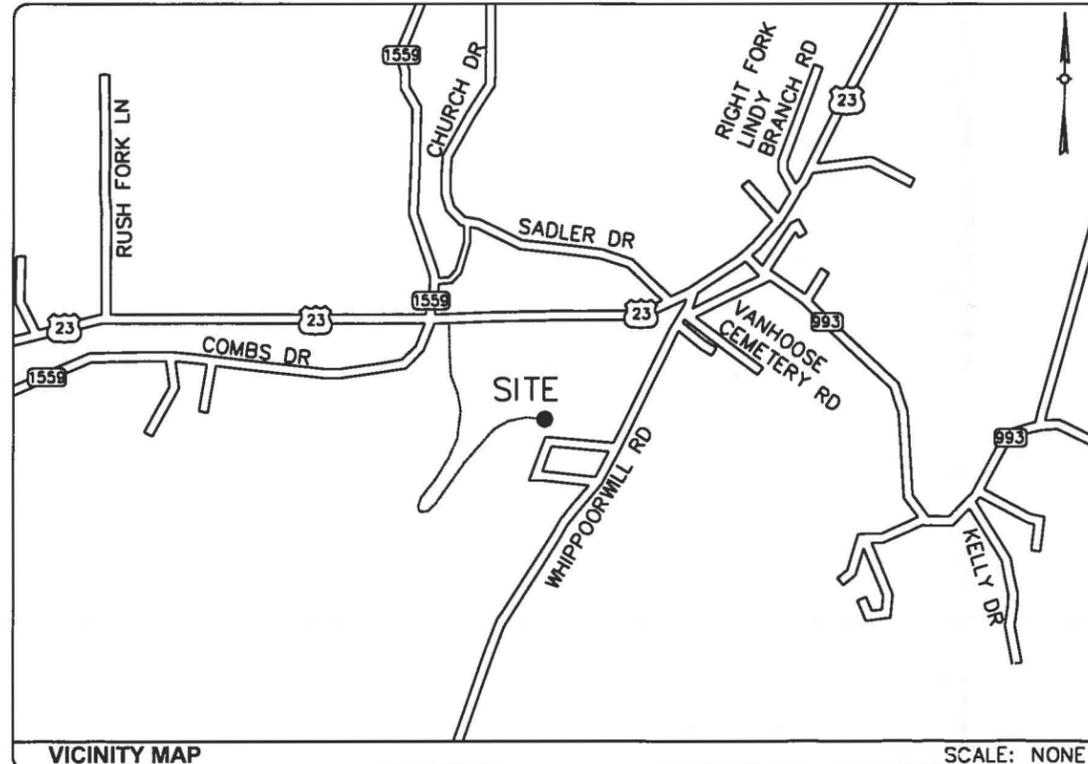
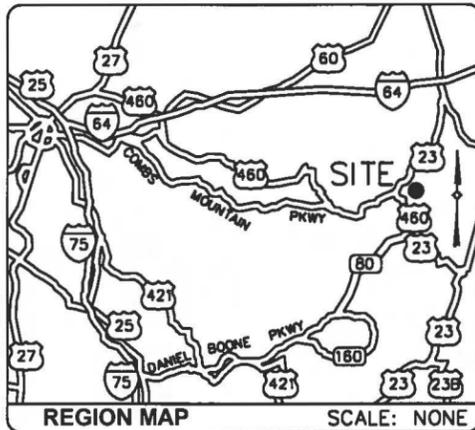
SITE WORK: NEW SELF-SUPPORT TOWER, UNMANNED EQUIPMENT SHELTER AND GENERATOR ON A CONCRETE FOUNDATION, AND UTILITY INSTALLATIONS.

UTILITY PROTECTION NOTE

THE CONTRACTOR'S ATTENTION IS DIRECTED TO THE UTILITY PROTECTION CENTER, WHICH WAS ESTABLISHED TO PROVIDE ACCURATE LOCATIONS OF UNDERGROUND UTILITIES. THE CONTRACTOR SHALL NOTIFY THE UTILITY PROTECTION CENTER 48 HOURS IN ADVANCE OF ANY CONSTRUCTION ON THIS PROJECT. ALL NEW SERVICE AND GROUNDING TRENCHES PROVIDE A WARNING TAPE @ 12 INCHES ABOVE THE UNDERGROUND INSTALLATION (SEE NEC 300.5).



Mastec
BTM Engineering, Inc.
CONSULTING ENGINEERS, LANDSCAPE ARCHITECTS,
PLANNERS & SURVEYORS
3001 TAYLOR SPRINGS DRIVE
LOUISVILLE, KENTUCKY 40220
PHONE: (502) 459-8402
FAX: (502) 459-8427



AT&T _____
MASTEC _____ CONSTRUCTION MANAGER
MASTEC _____
SIGNATURE BOX

SHT. NO.	DESCRIPTION
T-1	TITLE SHEET
Z-2	OVERALL SITE PLAN
Z-2A	OVERALL SITE PLAN (DIMENSIONS)
Z-3	SITE LAYOUT
Z-4	AT&T SHELTER LAYOUT
Z-5	NORTH/SOUTH TOWER ELEVATIONS
Z-6	EAST/WEST TOWER ELEVATIONS

SITE NAME: NIPPA
SITE NUMBER: KYALU6167
SITE ADDRESS: OLD US 23
WITTEVILLE, KY 41274
AREA: 10,000 SF
PROPERTY OWNER: CHRIS & JENNIFER FERGUSON
PO BOX 625
WITTEVILLE, KY 41274
TAX MAP #: N/A PARCEL NUMBER: 052-00-00-024.00
SOURCE OF TITLE: DEED BOOK 404 PAGE 672
LATITUDE: N 37° 51' 45.52" LONGITUDE: W 82° 47' 11.59"

BTM Engineering, Inc.
Consulting Engineers, Landscape Architects, Planners & Surveyors
"Serving the Bluegrass and Beyond"
3001 TAYLOR SPRINGS DRIVE
LOUISVILLE, KENTUCKY 40220 (502)
459-8402 PHONE (502) 459-8427
FAX
DESIGN ENGINEER

SITE NAME
NIPPA
SITE ID NUMBER
KYALU6167
SITE ADDRESS
OLD US 23
WITTEVILLE, KY 41274
1A COORDINATES
LAT: 37° 51' 45.52"
LONG: 82° 47' 11.59"
ELEV: ±884' AMSL (NAVD 88)
PROPERTY OWNER
CHRIS & JENNIFER FERGUSON
PO BOX 625
WITTEVILLE, KY 41274
CONTACT: CHRIS FERGUSON
PHONE: (606) 793-2894

SHEET INDEX

NO.	BY	DESCRIPTION	CHK	DATE
1	KTL	ISSUE FOR COMMENT	PH	01/12/16
2	KTL	ISSUE FOR ZONING	PH	01/25/16

APPLICANT
AT&T
601 W. CHESTNUT ST. 1 EAST
LOUISVILLE, KENTUCKY 40203
CONTACT: MICHELLE WARD
PHONE: (502) 779-5950
TAX MAP NUMBER
N/A
PARCEL NUMBER
052-00-00-024.00
SOURCE OF TITLE
DEED BOOK 404, PAGE 672
LEASE AREA
10,000 SF
PROJECT INFORMATION

POLICE DEPARTMENT
JOHNSON CO SHERIFF
PHONE: (606) 789-3411
FIRE DEPARTMENT
JOHNSON CO FIRE & RESCUE
PHONE: (606) 789-5200
ELECTRIC COMPANY
AEP
PHONE: (606) 929-1458
CONTACT: STEVE MARTIN
TELEPHONE COMPANY
FOOTHILLS RURAL TELEPHONE CO-OP
PHONE: (606) 297-3501
CONTACT: CUSTOMER SERVICE
CONTACT INFORMATION

POD
POWER OF DESIGN
11490 BLUEGRASS PARKWAY
LOUISVILLE, KY 40299
SURVEYOR

DIRECTIONS FROM COUNTY SEAT: FROM PAINTSVILLE AT THE CORNER OF COURT ST AND SR 40/2ND ST, PROCEED NORTH ON COURT ST TOWARDS 3RD STREET AND TURN RIGHT. TRAVEL ON 3RD ST APX. 0.7 MILES AND CONTINUE ONTO SR 321 BUS. AFTER APX. 1.0 MILES, TURN RIGHT ONTO KY-321 N. PROCEED ON KY-321 N APX. 0.8 MILES TO US-23N AND TURN RIGHT. PROCEED APX. 3.2 MILES AND TURN RIGHT ONTO SR 1559/COMBS ROAD. ACCESS ROAD TO SITE ON LEFT IN DRIVEWAY.
DIRECTIONS FROM WINCHESTER AT&T MTSO: STARTING AT 3800 CORPORATE DR WINCHESTER, KY, PROCEED TO THE COMBS MOUNTAIN PKWY AND CONTINUE FOR APX 75 MILES TO US 460/SR 114. CONTINUE ON US 460/SR 114 APX 2.0 MILES TO US 460 AND TURN LEFT. PROCEED ON US 460 APX 13.6 MILES TO KY-40W AND TURN LEFT. CONTINUE ONTO US 23 APX 4.3 MILES TO SR 1559/COMBS ROAD AND TURN RIGHT. ACCESS ROAD TO SITE ON LEFT IN DRIVEWAY.
DIRECTIONS TO SITE

REVISIONS

NO.	BY	DESCRIPTION	CHK	DATE
1	KTL	ISSUE FOR COMMENT	PH	01/12/16
2	KTL	ISSUE FOR ZONING	PH	01/25/16

TITLE: TITLE SHEET
SHEET: T-1

LEGAL DESCRIPTIONS

THE FOLLOWING IS A DESCRIPTION OF AN AREA TO BE LEASED FROM THE PROPERTY OF CHRIS & JENNIFER FERGUSON, WHICH IS MORE PARTICULARLY DESCRIBED AS FOLLOWS:

PROPOSED LEASE AREA

BEGINNING AT A FOUND 5/8" REBAR CAPPED "DIA ENGR / BIGGS PLS 1965" IN THE SOUTHEAST LINE OF THE PROPERTY CONVEYED TO W R CASTLE MEMORIAL SCHOOL c/o JOHNSON COUNTY BRD OF ED AS RECORDED IN DEED BOOK 145, PAGE 167 IN THE OFFICE OF THE CLERK OF THE COUNTY COURT OF JOHNSON COUNTY, KENTUCKY, BEING N 18°28'35" E - 111.50' FROM A FOUND 5"x5" CONCRETE MARKER POST ALSO IN SAID SOUTHEAST LINE; THENCE TRAVERSING SAID W R CASTLE PROPERTY, N 42°02'45" W - 828.38' TO A SET PK NAIL IN THE SOUTH RIGHT-OF-WAY LINE OF COMBS DRIVE aka OLD US 23; THENCE S 30°40'44" E - 172.66' TO A SET PK NAIL ON THE PROPERTY CONVEYED TO CHRIS & JENNIFER FERGUSON AS RECORDED IN DEED BOOK 386, PAGE 187 IN THE AFORESAID CLERK'S OFFICE; THENCE TRAVERSING SAID FERGUSON PROPERTY WITH THE ARC OF A CURVE TO THE RIGHT WITH A RADIUS OF 600.00' AND A CHORD BEARING OF S 11°43'08" E - 389.89' TO A SET PK NAIL; THENCE S 53°01'51" E - 48.53' TO A SET PK NAIL; THENCE WITH THE ARC OF A CURVE TO THE LEFT WITH A RADIUS OF 50.00' AND A CHORD BEARING OF N 86°12'26" E - 65.29' TO A SET 5/8" REBAR CAPPED "PATTERSON PLS 3136" ON THE PROPERTY CONVEYED TO CHRIS & JENNIFER FERGUSON AS RECORDED IN DEED BOOK 404, PAGE 672 IN THE AFORESAID CLERK'S OFFICE; THENCE TRAVERSING SAID FERGUSON PROPERTY, N 45°26'42" E - 193.99' TO A SET 5/8" REBAR CAPPED "PATTERSON PLS 3136"; THENCE WITH THE ARC OF A CURVE TO THE LEFT WITH A RADIUS OF 300.00' AND A CHORD BEARING OF N 37°09'47" E - 86.43' TO A SET 5/8" REBAR CAPPED "PATTERSON PLS 3136"; THENCE N 28°52'52" E - 90.00' TO A SET 5/8" REBAR CAPPED "PATTERSON PLS 3136"; THENCE WITH THE ARC OF A CURVE TO THE RIGHT WITH A RADIUS OF 85.00' AND A CHORD BEARING OF N 68°06'35" E - 107.51' TO A SET 5/8" REBAR CAPPED "PATTERSON PLS 3136"; THENCE S 72°39'42" E - 149.18' TO A SET 5/8" REBAR CAPPED "PATTERSON PLS 3136"; THENCE WITH THE ARC OF A CURVE TO THE RIGHT WITH A RADIUS OF 20.00' AND A CHORD BEARING OF S 18°34'53" E - 39.38' TO A SET 5/8" REBAR CAPPED "PATTERSON PLS 3136"; THENCE S 61°17'56" W - 69.90' TO A SET 5/8" REBAR CAPPED "PATTERSON PLS 3136"; THENCE WITH THE ARC OF A CURVE TO THE LEFT WITH A RADIUS OF 115.00' AND A CHORD BEARING OF S 28°20'55" W - 125.10' TO A SET 5/8" REBAR CAPPED "PATTERSON PLS 3136"; 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THENCE N 20°29'57" E - 168.68' TO A SET 5/8" REBAR CAPPED "PATTERSON PLS 3136"; THENCE N 24°01'11" E - 162.72' TO A SET 5/8" REBAR CAPPED "PATTERSON PLS 3136"; THENCE N 51°41'18" E - 114.20' TO A SET 5/8" REBAR CAPPED "PATTERSON PLS 3136"; THENCE N 51°41'18" E - 13.04' TO THE TRUE POINT OF BEGINNING OF THE PROPOSED LEASE AREA; THENCE N 36°31'13" W - 84.99' TO A SET 5/8" REBAR CAPPED "PATTERSON PLS 3136"; THENCE N 53°28'47" E - 100.00' TO A SET 5/8" REBAR CAPPED "PATTERSON PLS 3136"; THENCE S 36°31'13" E - 100.00' TO A SET 5/8" REBAR CAPPED "PATTERSON PLS 3136"; THENCE S 53°28'47" W - 100.00' TO A SET 5/8" REBAR CAPPED "PATTERSON PLS 3136"; THENCE N 36°31'13" W - 15.01' TO THE TRUE POINT OF BEGINNING CONTAINING 10,000 SQUARE FEET AS PER SURVEY BY MARK E. PATTERSON, PLS #3136 WITH POWER OF DESIGN GROUP, LLC DATED SEPTEMBER 10, 2013.

CENTERLINE PROPOSED 30' ACCESS & UTILITY EASEMENT

BEGINNING AT A FOUND 5/8" REBAR CAPPED "DIA ENGR / BIGGS PLS 1965" IN THE SOUTHEAST LINE OF THE PROPERTY CONVEYED TO W R CASTLE MEMORIAL SCHOOL c/o JOHNSON COUNTY BRD OF ED AS RECORDED IN DEED BOOK 145, PAGE 167 IN THE OFFICE OF THE CLERK OF THE COUNTY COURT OF JOHNSON COUNTY, KENTUCKY, BEING N 18°28'35" E - 111.50' FROM A FOUND 5"x5" CONCRETE MARKER POST ALSO IN SAID SOUTHEAST LINE; THENCE TRAVERSING SAID W R CASTLE PROPERTY, N 42°02'45" W - 828.38' TO A SET PK NAIL IN THE SOUTH RIGHT-OF-WAY LINE OF COMBS DRIVE aka OLD US 23 AND THE TRUE POINT OF BEGINNING OF THE CENTERLINE OF THE PROPOSED 30' ACCESS & UTILITY EASEMENT; THENCE WITH SAID CENTERLINE, S 30°40'44" E - 172.66' TO A SET PK NAIL ON THE PROPERTY CONVEYED TO CHRIS & JENNIFER FERGUSON AS RECORDED IN DEED BOOK 386, PAGE 187 IN THE AFORESAID CLERK'S OFFICE; THENCE TRAVERSING SAID FERGUSON PROPERTY WITH THE ARC OF A CURVE TO THE RIGHT WITH A RADIUS OF 600.00' AND A CHORD BEARING OF S 11°43'08" E - 389.89' TO A SET PK NAIL; THENCE S 53°01'51" E - 48.53' TO A SET PK NAIL; THENCE WITH THE ARC OF A CURVE TO THE LEFT WITH A RADIUS OF 50.00' AND A CHORD BEARING OF N 86°12'26" E - 65.29' TO A SET 5/8" REBAR CAPPED "PATTERSON PLS 3136" ON THE PROPERTY CONVEYED TO CHRIS & JENNIFER FERGUSON AS RECORDED IN DEED BOOK 404, PAGE 672 IN THE AFORESAID CLERK'S OFFICE; THENCE TRAVERSING SAID FERGUSON PROPERTY, N 45°26'42" E - 193.99' TO A SET 5/8" REBAR CAPPED "PATTERSON PLS 3136"; THENCE WITH THE ARC OF A CURVE TO THE LEFT WITH A RADIUS OF 300.00' AND A CHORD BEARING OF N 37°09'47" E - 86.43' TO A SET 5/8" REBAR CAPPED "PATTERSON PLS 3136"; THENCE N 28°52'52" E - 90.00' TO A SET 5/8" REBAR CAPPED "PATTERSON PLS 3136"; THENCE WITH THE ARC OF A CURVE TO THE RIGHT WITH A RADIUS OF 85.00' AND A CHORD BEARING OF N 68°06'35" E - 107.51' TO A SET 5/8" REBAR CAPPED "PATTERSON PLS 3136"; THENCE S 72°39'42" E - 149.18' TO A SET 5/8" REBAR CAPPED "PATTERSON PLS 3136"; THENCE WITH THE ARC OF A CURVE TO THE RIGHT WITH A RADIUS OF 20.00' AND A CHORD BEARING OF S 18°34'53" E - 39.38' TO A SET 5/8" REBAR CAPPED "PATTERSON PLS 3136"; 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PATTERSON, PLS #3136 WITH POWER OF DESIGN GROUP, LLC DATED SEPTEMBER 10, 2013.

GENERAL NOTES

BAIS OF BEARING IS GPS OBSERVATIONS COMPLETED ON AUGUST 21, 2013.

NO SEARCH OF PUBLIC RECORDS HAS BEEN COMPLETED BY POD GROUP TO DETERMINE ANY DEFECTS AND/OR AMBIGUITIES IN THE TITLE OF THE SUBJECT PROPERTY.

THIS DRAWING DOES NOT REPRESENT A BOUNDARY SURVEY OF THE PARENT TRACT.

THIS PROPERTY IS SUBJECT TO ANY RECORDED EASEMENTS AND/OR RIGHTS OF WAY SHOWN HEREON OR NOT.

THIS DRAWING IS NOT INTENDED FOR LAND TRANSFER.

LEGEND

	UTILITY POLE		EOP	EDGE OF PAVEMENT
	LIGHT POST		CONC	CONCRETE
	TELCO PEDESTAL		ROW	RIGHTS OF WAY
	TRANSFORMER		POB	POINT OF BEGINNING
	GUY WIRE		IPC	IRON PIN CAPPED
	OHE		OHE&T	EX. OVERHEAD ELECTRIC & TELEPHONE
	X		D	EX. DITCH
	SET 5/8" REBAR		PK	SET PK NAIL
	FOUND MONUMENT		FM	FOUND MONUMENT AS NOTED

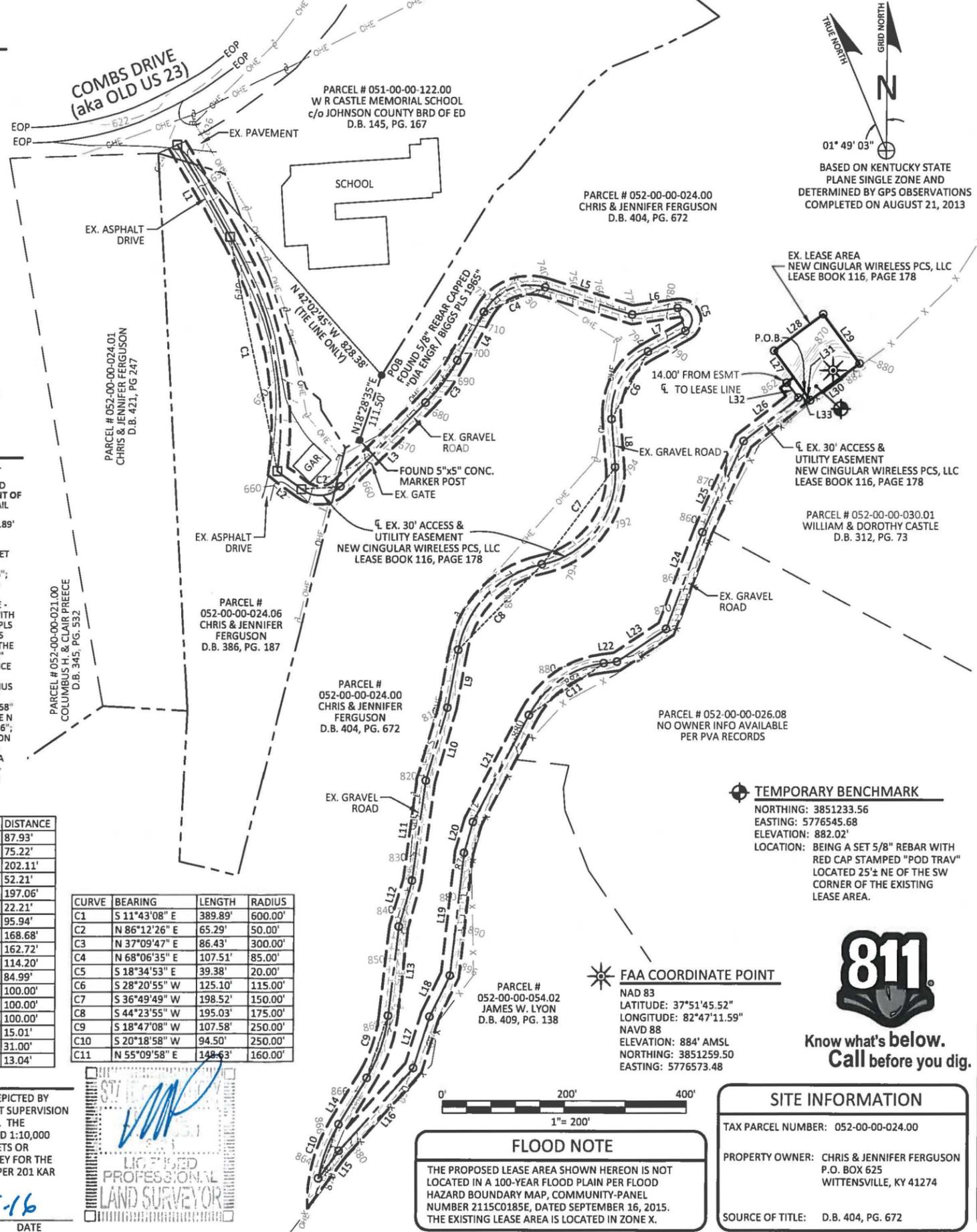
LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE
L1	S 30°40'44" E	172.66'	L17	N 17°20'41" E	87.93'
L2	S 53°01'51" E	48.53'	L18	N 26°06'08" E	75.22'
L3	N 45°26'42" E	193.99'	L19	N 06°22'22" E	202.11'
L4	N 28°52'52" E	90.00'	L20	N 16°05'48" E	52.21'
L5	S 72°39'42" E	149.18'	L21	N 27°29'26" E	197.06'
L6	N 81°32'18" E	75.98'	L22	N 82°50'31" E	22.21'
L7	S 61°17'56" W	69.90'	L23	N 56°25'03" E	95.94'
L8	S 04°36'05" E	78.53'	L24	N 20°29'57" E	168.68'
L9	S 10°32'06" W	96.43'	L25	N 24°01'11" E	162.72'
L10	S 16°26'09" W	124.21'	L26	N 51°41'18" E	114.20'
L11	S 07°38'13" W	164.71'	L27	N 36°31'13" W	84.99'
L12	S 15°48'06" W	78.32'	L28	N 53°28'47" E	100.00'
L13	S 06°21'38" W	147.07'	L29	S 36°31'13" E	100.00'
L14	S 31°12'38" W	88.93'	L30	S 53°28'47" W	100.00'
L15	N 36°32'01" E	56.34'	L31	N 36°31'13" W	15.01'
L16	N 41°45'09" E	182.28'	L32	N 38°18'42" W	31.00'
			L33	N 51°41'18" W	13.04'

LAND SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THE SURVEY OF THE LEASE AREA DEPICTED BY THE PLAT WAS PERFORMED BY PERSONS UNDER MY DIRECT SUPERVISION BY THE METHOD OF RANDOM TRAVERSE WITH SIDE SHOTS. THE UNADJUSTED PRECISION RATIO OF THE TRAVERSE EXCEEDED 1:10,000 AND WAS NOT ADJUSTED FOR CLOSURE. THIS SURVEY MEETS OR EXCEEDS THE MINIMUM STANDARDS FOR AN URBAN SURVEY FOR THE LEASE AREA AS ESTABLISHED BY THE STATE OF KENTUCKY, PER 201 KAR 18:150 AND IN EFFECT ON THE DATE OF THIS SURVEY.

Mark Patterson 1-25-16
 MARK PATTERSON, LPLS #3136 DATE

CURVE	BEARING	LENGTH	RADIUS
C1	S 11°43'08" E	389.89'	600.00'
C2	N 86°12'26" E	65.29'	50.00'
C3	N 37°09'47" E	86.43'	300.00'
C4	N 68°06'35" E	107.51'	85.00'
C5	S 18°34'53" E	39.38'	20.00'
C6	S 28°20'55" W	125.10'	115.00'
C7	S 36°49'49" W	198.52'	150.00'
C8	S 44°23'55" W	195.03'	175.00'
C9	S 18°47'08" W	107.58'	250.00'
C10	S 20°18'58" W	94.50'	250.00'
C11	N 55°09'58" E	148.63'	160.00'



TRUE NORTH
 GRID NORTH
 01° 49' 03"
 BASED ON KENTUCKY STATE PLANE SINGLE ZONE AND DETERMINED BY GPS OBSERVATIONS COMPLETED ON AUGUST 21, 2013

EX. LEASE AREA
 NEW CINGULAR WIRELESS PCS, LLC
 LEASE BOOK 116, PAGE 178

EX. 30' ACCESS & UTILITY EASEMENT
 NEW CINGULAR WIRELESS PCS, LLC
 LEASE BOOK 116, PAGE 178

EX. 30' ACCESS & UTILITY EASEMENT
 NEW CINGULAR WIRELESS PCS, LLC
 LEASE BOOK 116, PAGE 178

PARCEL # 052-00-00-030.01
 WILLIAM & DOROTHY CASTLE
 D.B. 312, PG. 73

PARCEL # 052-00-00-026.08
 NO OWNER INFO AVAILABLE
 PER PVA RECORDS

TEMPORARY BENCHMARK
 NORTHING: 3851233.56
 EASTING: 5776545.68
 ELEVATION: 882.02'
 LOCATION: BEING A SET 5/8" REBAR WITH RED CAP STAMPED "POD TRAV" LOCATED 25± NE OF THE SW CORNER OF THE EXISTING LEASE AREA.



FLOOD NOTE
 THE PROPOSED LEASE AREA SHOWN HEREON IS NOT LOCATED IN A 100-YEAR FLOOD PLAIN PER FLOOD HAZARD BOUNDARY MAP, COMMUNITY-PANEL NUMBER 2115C0185E, DATED SEPTEMBER 16, 2015. THE EXISTING LEASE AREA IS LOCATED IN ZONE X.

SITE INFORMATION
 TAX PARCEL NUMBER: 052-00-00-024.00
 PROPERTY OWNER: CHRIS & JENNIFER FERGUSON
 P.O. BOX 625
 WITTESSVILLE, KY 41274
 SOURCE OF TITLE: D.B. 404, PG. 672



SURVEY

REV.	DATE	DESCRIPTION
1	12.12.13	ACCESS AND UTILITY ESMT CHANGE
2	4.4.14	LEGAL DESCRIPTION
3	1.8.16	TITLE REVIEW

SITE INFORMATION:

NIPPA
 OLD US 23
 WITTESSVILLE, KY 41274
 COUNTY: JOHNSON

SITE NUMBER:

POD NUMBER: 15-7277
 DRAWN BY: DSR
 CHECKED BY: MEP
 DATE: 09.10.13

SHEET TITLE:

SITE SURVEY

SHEET NUMBER:

B-1



SURVEY

REV.	DATE	DESCRIPTION
1	12.12.13	ACCESS AND UTILITY ESMT CHANGE
2	4.4.14	LEGAL DESCRIPTION
3	1.8.16	TITLE REVIEW

SITE INFORMATION:

NIPPA

OLD US 23
WITTSVILLE, KY 41274
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SITE NUMBER:

POD NUMBER: 15-7277

DRAWN BY: DSR
CHECKED BY: MEP
DATE: 09.10.13

SHEET TITLE:

SITE SURVEY

SHEET NUMBER:

B-1.1

TITLE OF COMMITMENT

THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY POD GROUP, LLC. AND AS SUCH WE ARE NOT RESPONSIBLE FOR THE INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, UNRECORDED EASEMENTS, AUGMENTING EASEMENTS, IMPLIED OR PRESCRIPTIVE EASEMENTS, OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE AND THIS SURVEY WAS COMPLETED WITH THE AID OF TITLE WORK PREPARED BY STEWART TITLE GUARANTY COMPANY, FILE NO. 2015216, DATED OCTOBER 23, 2015 AT 8:00 AM. THE FOLLOWING COMMENTS ARE IN REGARD TO SAID REPORT.

"SCHEDULE B, SECTION II, EXCEPTIONS"

- DEFECTS, LIENS, ENCUMBRANCES, ADVERSE CLAIMS OR OTHER MATTERS, IF ANY, CREATED, FIRST APPEARING IN THE PUBLIC RECORDS OR ATTACHING SUBSEQUENT TO THE EFFECTIVE DATE BUT PRIOR TO THE DATE THE PROPOSED INSURED ACQUIRES FOR VALUE OF RECORD THE ESTATE OR INTEREST OR MORTGAGE THEREON COVERED BY THIS COMMITMENT. (POD GROUP, LLC DID NOT EXAMINE OR ADDRESS THIS ITEM.)
- RIGHTS OR CLAIMS OF PARTIES IN POSSESSION NOT SHOWN BY THE PUBLIC RECORDS. (POD GROUP, LLC DID NOT EXAMINE OR ADDRESS THIS ITEM.)
- EASEMENTS OR CLAIMS OF EASEMENTS, NOT SHOWN BY THE PUBLIC RECORDS. (POD GROUP, LLC DID NOT EXAMINE OR ADDRESS THIS ITEM.)
- ENCROACHMENTS, OVERLAPS, BOUNDARY LINE DISPUTES, OR OTHER MATTERS WHICH WOULD BE DISCLOSED BY AN ACCURATE SURVEY AND INSPECTION OF THE PREMISES. (POD GROUP, LLC DID NOT PERFORM A BOUNDARY SURVEY OF THE PARENT PARCEL, THEREFORE WE CANNOT ADDRESS THIS ITEM.)
- ANY LIEN OR RIGHT TO A LIEN, FOR SERVICES, LABOR, OR MATERIAL HERETOFORE OR HEREAFTER FURNISHED, IMPOSED BY LAW AND NOT SHOWN BY THE PUBLIC RECORDS. (POD GROUP, LLC DID NOT EXAMINE OR ADDRESS THIS ITEM.)
- SUBJECT TO 2015 TAXES, WHICH ARE NOT YET DUE AND PAYABLE (IF APPLICABLE). (POD GROUP, LLC DID NOT EXAMINE OR ADDRESS THIS ITEM.)
- OIL AND GAS LEASE DATED AUGUST 14, 2007, TO INTERSTATE NATURAL GAS COMPANY, OF RECORD IN LEASE BOOK 111, PAGE 564, IN THE OFFICE AFORESAID. (LEASE AS RECORDED IN BOOK 111, PAGE 564 IS APPLICABLE TO THE PARENT TRACT, BUT IT IS BLANKET IN NATURE AND HAS NO DESCRIPTION TO PLOT, THEREFORE WE CANNOT DETERMINE THE IMPACT ON THE EXISTING LEASE AREA OR THE EXISTING ACCESS & UTILITY EASEMENT.)
- RIGHT OF WAY EASEMENT AS SET FORTH IN COMMISSIONER'S DEED DATED JUNE 16, 1970, TO COMMONWEALTH OF KENTUCKY, DEPARTMENT OF HIGHWAYS, OF RECORD IN DEED BOOK 159, PAGE 671, IN THE OFFICE AFORESAID. (RIGHT OF WAY AS RECORDED IN D.B. 159, PG. 671 IS APPLICABLE TO THE PARENT TRACT, BUT DOES NOT AFFECT THE EXISTING LEASE AREA OR THE EXISTING ACCESS & UTILITY EASEMENT.)
- INGRESS AND EGRESS AS SET FORTH IN DEED DATED JANUARY 17, 1962, OF RECORD IN DEED BOOK 145, PAGE 167, IN THE OFFICE AFORESAID. (INGRESS AND EGRESS AS RECORDED IN D.B. 145, PG. 167 IS APPLICABLE TO THE PARENT TRACT, BUT DOES NOT AFFECT THE EXISTING LEASE AREA OR THE EXISTING ACCESS & UTILITY EASEMENT.)
- MEMORANDUM OF LEASE DATED DECEMBER 19, 2013, BETWEEN CHRIS FERGUSON AND JENNIFER FERGUSON AND NEW CINGULAR WIRELESS PCS, LLC, OF RECORD IN LEASE BOOK 116, PAGE 178, IN THE OFFICE AFORESAID. (MEMORANDUM AS RECORDED IN BOOK 116, PAGE 178 IS APPLICABLE TO THE PARENT TRACT, THE EXISTING LEASE AREA AND THE EXISTING ACCESS & UTILITY EASEMENT.)
- MINERALS OF WHATSOEVER KIND, SUBSURFACE AND SURFACE SUBSTANCES, INCLUDING BUT NOT LIMITED TO COAL, LIGNITE, OIL, GAS, URANIUM, CLAY, ROCK, SAND AND GRAVEL IN, ON, UNDER AND THAT MAY BE PRODUCED FROM THE LAND, TOGETHER WITH ALL RIGHTS, PRIVILEGES, AND IMMUNITIES RELATING THERETO, WHETHER OR NOT APPEARING IN THE PUBLIC RECORDS OR LISTED IN SCHEDULE B. THE COMPANY MAKES NO REPRESENTATION AS TO THE PRESENT OWNERSHIP OF ANY SUCH INTERESTS. THERE MAY BE LEASES, GRANTS, EXCEPTIONS OR RESERVATIONS OF INTERESTS THAT ARE NOT LISTED. (POD GROUP, LLC DID NOT EXAMINE OR ADDRESS THIS ITEM.)

LAND SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THE SURVEY OF THE LEASE AREA DEPICTED BY THE PLAT WAS PERFORMED BY PERSONS UNDER MY DIRECT SUPERVISION BY THE METHOD OF RANDOM TRAVERSE WITH SIDE SHOTS. THE UNADJUSTED PRECISION RATIO OF THE TRAVERSE EXCEEDED 1:10,000 AND WAS NOT ADJUSTED FOR CLOSURE. THIS SURVEY MEETS OR EXCEEDS THE MINIMUM STANDARDS FOR AN URBAN SURVEY FOR THE LEASE AREA AS ESTABLISHED BY THE STATE OF KENTUCKY, PER 201 KAR 18:150 AND IN EFFECT ON THE DATE OF THIS SURVEY.

Mark Patterson 1-25-16
MARK PATTERSON, LPLS #3136 DATE



FLOOD NOTE
THE PROPOSED LEASE AREA SHOWN HEREON IS NOT LOCATED IN A 100-YEAR FLOOD PLAIN PER FLOOD HAZARD BOUNDARY MAP, COMMUNITY-PANEL NUMBER 2115C0185E, DATED SEPTEMBER 16, 2015. THE EXISTING LEASE AREA IS LOCATED IN ZONE X.

SITE INFORMATION
TAX PARCEL NUMBER: 052-00-00-024.00
PROPERTY OWNER: CHRIS & JENNIFER FERGUSON
P.O. BOX 625
WITTSVILLE, KY 41274
SOURCE OF TITLE: D.B. 404, PG. 672



EXHIBIT

REV.	DATE	DESCRIPTION
A	03.21.14	VERIFIED PVA
B	1.8.16	UPDATED PVA INFO

SITE INFORMATION:

NIPPA

OLD US 23
WITTSVILLE, KY 41274
COUNTY: JOHNSON

SITE NUMBER:

POD NUMBER: 13-0884

DRAWN BY: CSA
CHECKED BY: MEP
DATE: 10.08.13

SHEET TITLE:

500' RADIUS &
ABUTTER'S MAP

SHEET NUMBER:

B-2

- (A) PARCEL # 052-00-00-024.00
CHRIS AND JENNIFER FERGUSON
P.O. BOX 625
WITTSVILLE, KY 41274
NO ZONING
- (B) PARCEL # 052-00-00-024.06
CHRIS AND JENNIFER FERGUSON
P.O. BOX 625
WITTSVILLE, KY 41274
NO ZONING
- (C) PARCEL # 052-00-00-024.01
CHRIS AND JENNIFER FERGUSON
P.O. BOX 625
WITTSVILLE, KY 41274
NO ZONING
- (D) PARCEL # 051-00-00-122.00
W R CASTLE MEMORIAL SCHOOL
c/o JOHNSON CO BRD OF ED
201 U.S. 23
PAINTSVILLE, KY 41240
NO ZONING
- (E) PARCEL # 052-00-00-023.00
ROBERTA CASTLE
591 COMBS DR
WITTSVILLE, KY 41274
NO ZONING
- (F) PARCEL # 052-00-00-023.03
JASON L AND KATHERINE M MEADE
P.O. BOX 584 559 COMBS DR
WITTSVILLE, KY 41274
NO ZONING
- (G) PARCEL # 051-00-00-115.00
YVONNE DAY
1158 SAY AVE
COLUMBUS, OH 43201
NO ZONING
- (H) PARCEL # 051-00-00-101.09
TERESA L HENSLEY
4033 U.S. 23 N
NIPPA, KY 41240
NO ZONING
- (I) PARCEL # 051-00-00-101.08
TERESA L HENSLEY
4033 U.S. 23 N
NIPPA, KY 41240
NO ZONING
- (J) PARCEL # 051-00-00-105.01
MICHAEL AND VICKIE CASE
4083 U.S. 23
NIPPA, KY 41240
NO ZONING
- (K) PARCEL # 051-00-00-105.00
MICHAEL AND VICKIE CASE
4083 U.S. 23
NIPPA, KY 41240
NO ZONING
- (L) PARCEL # 051-00-00-100.00
MARK AND NANCY CANTRELL
11324 KENTUCKY ROUTE 172
FLAT GAP, KY 41219
NO ZONING
- (M) PARCEL # 051-00-00-099.00
SHERRY McCARTY
P.O. BOX 266
WITTSVILLE, KY 41274
NO ZONING
- (N) PARCEL # 051-00-00-097.00
DOUG AND BETSY VANHOOSE
P.O. BOX 683
PAINTSVILLE, KY 41240
NO ZONING
- (O) PARCEL # 052-00-00-029.03
WILLIAM C AND DORTHY CASTLE
P.O. BOX 229
WITTSVILLE, KY 41274
NO ZONING
- (P) PARCEL # 052-00-00-030.02
NO RECORD FOUND
- (Q) PARCEL # 052-00-00-030.01
WILLIAM AND DOROTHY CASTLE
P.O. BOX 229
WITTSVILLE, KY 41274
NO ZONING
- (R) PARCEL # 052-00-00-026.08
NO RECORD FOUND
- (S) PARCEL # 052-00-00-054.02
JAMES W LYON
P.O. BOX 725
SAYLERSVILLE, KY 41465
NO ZONING
- (T) PARCEL # 052-00-00-053.02
NO RECORD FOUND
- (U) PARCEL # 052-00-00-053.00
ROY L BURNS
794 WHIPPOORWILL RD
PAINTSVILLE, KY 41240
NO ZONING
- (V) PARCEL # 052-00-00-021.00
MICHAEL AND CLAIR PREECE
P.O. BOX 339
WITTSVILLE, KY 41274
NO ZONING

GENERAL NOTE:

- ALL INFORMATION SHOWN HEREON WAS OBTAINED FROM THE RECORDS OF THE JOHNSON COUNTY KENTUCKY PROPERTY VALUATION ADMINISTRATION OFFICE ON 3.21.14 AND UPDATED ON 1.8.16 PER JOHNSON COUNTY PVA WEB SITE. THE PROPERTY VALUATION ADMINISTRATION RECORDS MAY NOT REFLECT THE CURRENT OWNERS AND ADDRESSES DUE TO THE INACCURACIES AND TIME LAPSE IN UPDATING FILES. POD AND THE COUNTY PROPERTY VALUATION ADMINISTRATION EXPRESSLY DISCLAIMS ANY WARRANTY FOR THE CONTENT AND ANY ERRORS CONTAINED IN THEIR FILES
- THIS MAP IS FOR GENERAL INFORMATIONAL PURPOSES ONLY AND IS NOT A BOUNDARY SURVEY.
- NOT FOR RECORDING OR PROPERTY TRANSFER.

CERTIFICATE

I HEREBY CERTIFY THAT THIS EXHIBIT PERTAINING TO THE ADJOINING PROPERTY OWNERS PER PVA RECORDS WAS PREPARED UNDER MY DIRECT SUPERVISION. NO BOUNDARY SURVEYING OF ANY KIND HAS BEEN PERFORMED FOR THIS EXHIBIT.

Mark Patterson
MARK PATTERSON, LPLS #3136

DATE

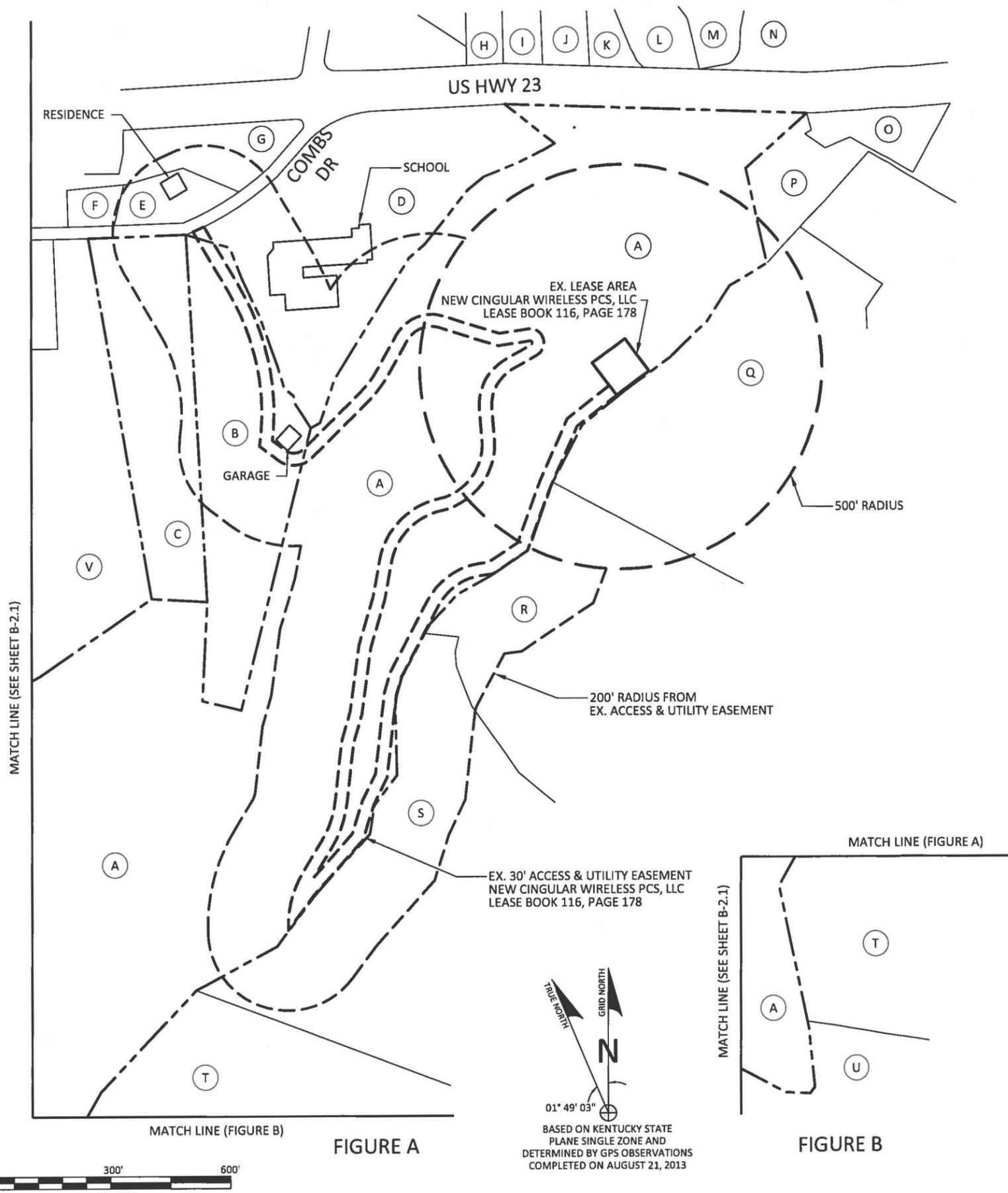
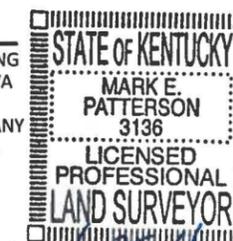
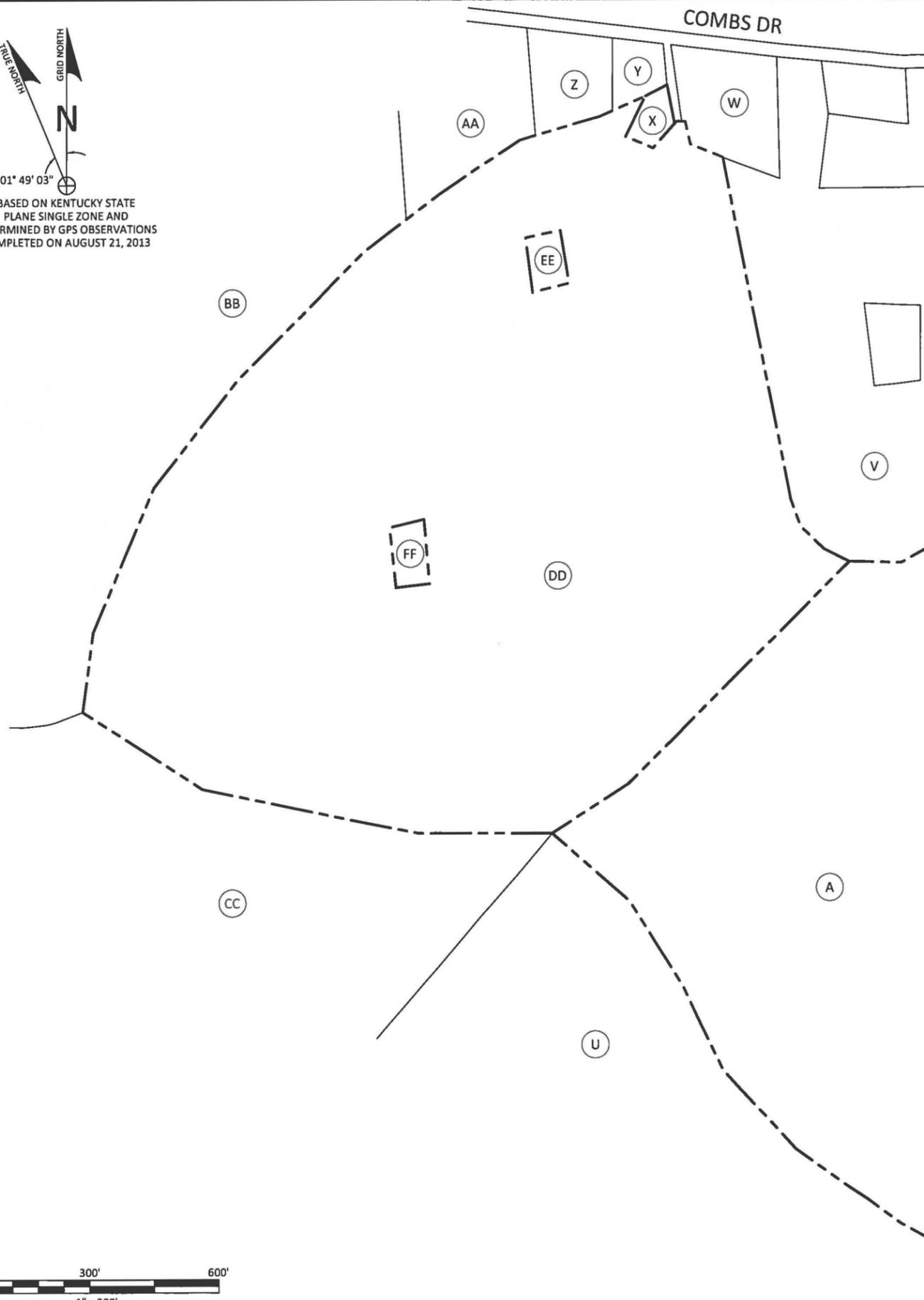


FIGURE A

FIGURE B

TRUE NORTH
GRID NORTH
01° 49' 03"
BASED ON KENTUCKY STATE PLANE SINGLE ZONE AND DETERMINED BY GPS OBSERVATIONS COMPLETED ON AUGUST 21, 2013

TRUE NORTH
GRID NORTH
N
01° 49' 03"
BASED ON KENTUCKY STATE
PLANE SINGLE ZONE AND
DETERMINED BY GPS OBSERVATIONS
COMPLETED ON AUGUST 21, 2013



MATCH LINE (SEE SHEET B-2)

- | | |
|---|--|
| <p>(A) PARCEL # 052-00-00-024.00
CHRIS AND JENNIFER FERGUSON
P.O. BOX 625
WITTENSVILLE, KY 41274
NO ZONING</p> <p>(U) PARCEL # 052-00-00-053.00
ROY L BURNS
794 WHIPPOORWILL RD
PAINTSVILLE, KY 41240
NO ZONING</p> <p>(V) PARCEL # 052-00-00-021.00
COLUMBUS H AND CLAIR PREECE
P.O. BOX 339
WITTENSVILLE, KY 41274
NO ZONING</p> <p>(W) PARCEL # 052-00-00-020.04
BRIAN AND EDNA KENNARD
470 COMBS DR
WITTENSVILLE, KY 41274
NO ZONING</p> <p>(X) PARCEL # 052-00-00-020.01
D P FAMILY TRUST
126 PINE VALLEY ROAD
STAFFORDSVILLE, KY 41256
NO ZONING</p> <p>(Y) PARCEL # 052-00-00-019.00
M T WOMACK, JR
P.O. BOX 533
WITTENSVILLE, KY 41274
NO ZONING</p> <p>(Z) PARCEL # 052-00-00-018.00
HUBERT AND LINDA L SLONE
21536 JACKS FORK ROAD
RUSH FORK, KY 41168-9201
NO ZONING</p> | <p>(AA) PARCEL # 052-00-00-017.00
ARBIE COMBS
c/o DIANA COMBS
209 JULIA AVE
DAYTON, OH 45405
NO ZONING</p> <p>(BB) PARCEL # 052-00-00-015.00
NO RECORD FOUND</p> <p>(CC) PARCEL # 052-00-00-062.03
DANNY AND DIANA S HOUSTON
P.O. BOX 255
WITTENSVILLE, KY 41274
NO ZONING</p> <p>(DD) PARCEL # 052-00-00-020.00
D P FAMILY TRUST
126 PINE VALLEY ROAD
STAFFORDSVILLE, KY 41256
NO ZONING</p> <p>(EE) PARCEL # 052-00-00-020.02
MCCLURE CEMETERY
c/o CHESTER MCCLURE
470 COMBS DR
WITTENSVILLE, KY 41274
NO ZONING</p> <p>(FF) PARCEL # 052-00-00-020.03
MCKENZIE CEMETERY
c/o CHESTER MCCLURE
470 COMBS DR
WITTENSVILLE, KY 41274
NO ZONING</p> |
|---|--|

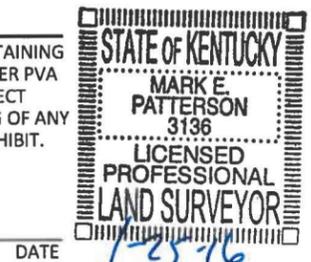
GENERAL NOTE:

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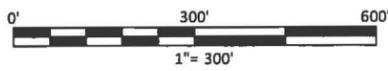
CERTIFICATE

I HEREBY CERTIFY THAT THIS EXHIBIT PERTAINING TO THE ADJOINING PROPERTY OWNERS PER PVA RECORDS WAS PREPARED UNDER MY DIRECT SUPERVISION. NO BOUNDARY SURVEYING OF ANY KIND HAS BEEN PERFORMED FOR THIS EXHIBIT.

Mark E. Patterson
MARK PATTERSON, LPLS #3136



DATE



EXHIBIT

REV.	DATE	DESCRIPTION
A	03.21.14	VERIFIED PVA
B	1.8.16	UPDATED PVA INFO

SITE INFORMATION:

NIPPA

OLD US 23
WITTENSVILLE, KY 41274
COUNTY: JOHNSON

SITE NUMBER:

POD NUMBER: 13-0884

DRAWN BY: CSA
CHECKED BY: MEP
DATE: 10.08.13

SHEET TITLE:

**500' RADIUS &
ABUTTER'S MAP**

SHEET NUMBER:

B-2.1

SITE PLAN NOTES

1. THE PROPOSED DEVELOPMENT IS FOR A 255 FOOT SELF-SUPPORT TOWER AND MULTIPLE EQUIPMENT LOCATIONS. THE LOCATION IS OLD US 23, WITTSVILLE, KY 41274.
2. THE TOWER WILL BE ACCESSED BY A PROPOSED STABILIZE DRIVE FROM AN EXISTING ASPHALT ROADWAY (US 23) WHICH IS A PUBLIC RIGHT-OF-WAY. THE ACCESS ROAD IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE LOCAL HIGHWAY DEPARTMENT OF TRANSPORTATION STANDARDS. WATER, SANITARY SEWER AND WASTE COLLECTIONS SERVICES ARE NOT REQUIRED FOR THE PROPOSED DEVELOPMENT.
3. CENTERLINE OF PROPOSED TOWER GEOGRAPHIC LOCATIONS
 LATITUDE: 37° 51' 45.52" N
 LONGITUDE: 82° 47' 11.59" W
4. REMOVE ALL VEGETATION & CLEAN LEASE AREA (WHERE REQUIRED)
5. FINISH GRADING TO PROVIDE EFFECTIVE DRAINAGE WITH A SLOPE OF NO LESS THAN ONE EIGHTH INCH (1/8") PER FOOT FLOWING AWAY FROM EQUIPMENT FOR A MINIMUM DISTANCE OF SIX FEET (6') IN ALL DIRECTIONS.
6. LOCATE ALL U.G. UTILITIES PRIOR TO ANY CONSTRUCTION.
7. COMPOUND FINISHED SURFACE TO BE FENCED.

LEGEND

- OHE ——— EXISTING OVERHEAD ELECTRIC
- OHT ——— EXISTING OVERHEAD TELEPHONE
- UGE ——— EXISTING UNDERGROUND ELECTRIC
- UGT ——— EXISTING UNDERGROUND TELEPHONE
- UGE ——— PROPOSED UNDERGROUND ELECTRIC
- UGT ——— PROPOSED UNDERGROUND TELEPHONE
- x — x — FENCE LINE
- POWER POLE
- TELE. PED
- TELEPHONE PEDESTAL
- WATER VALVES
- FIRE HYDRANTS
- BOLLARDS

PARCEL #052-00-00-021.00
 COLUMBUS H & CLAIR PREECE
 DB: 345, PG. 532

PARCEL #052-00-00-024.01
 CHRIS & JENNIFER FERGUSON
 DB: 421, PG. 247

PARCEL #052-00-00-024.06
 CHRIS & JENNIFER FERGUSON
 DB: 404, PG. 187

PARCEL #052-00-00-024.00
 CHRIS & JENNIFER FERGUSON
 DB: 404, PG. 672

PARCEL #052-00-00-024.00
 CHRIS & JENNIFER FERGUSON
 DB: 404, PG. 672

PARCEL #052-00-00-030.01
 WILLIAM & DOROTHY CASTLE
 DB: 312, PG. 73

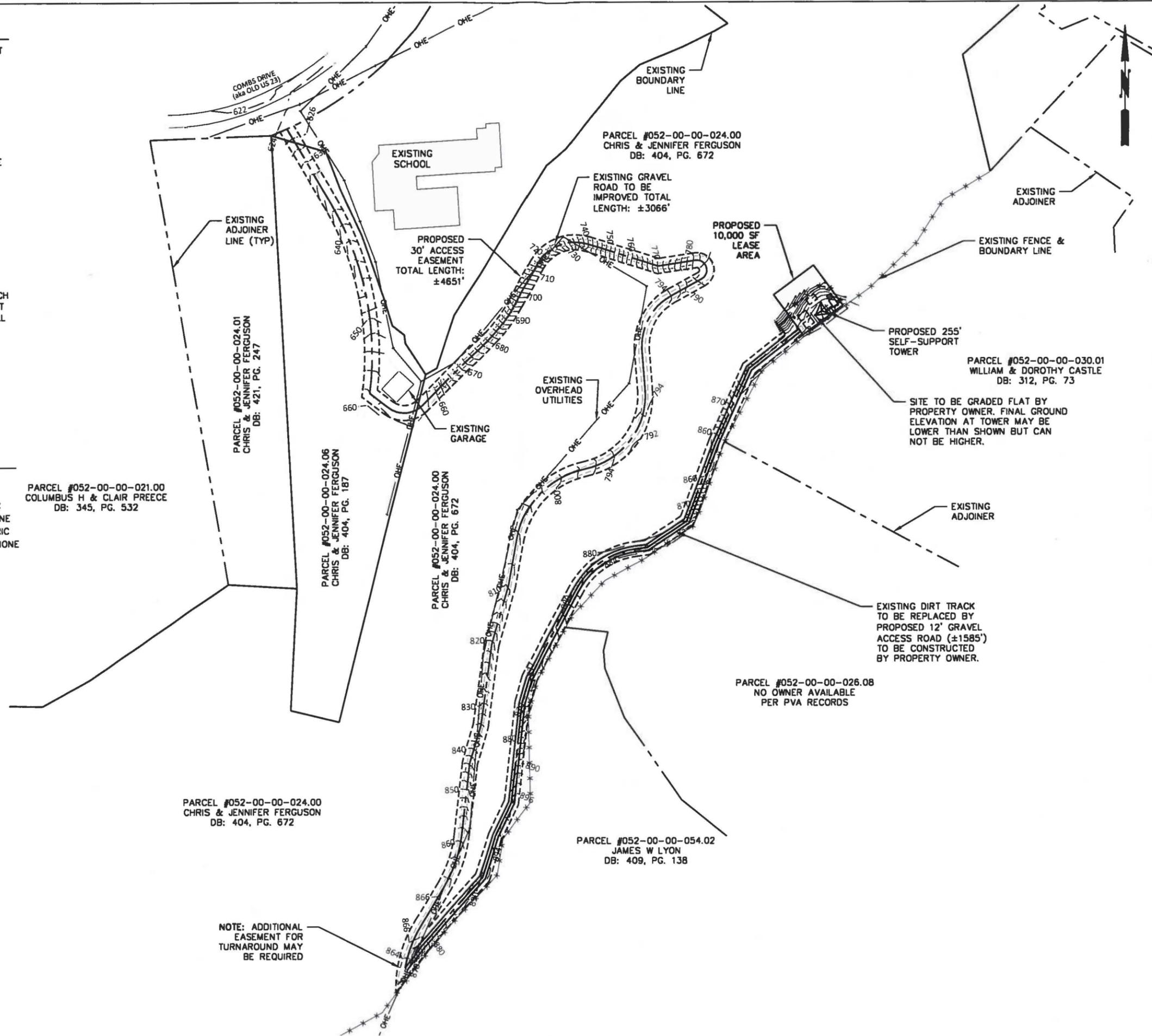
PARCEL #052-00-00-026.08
 NO OWNER AVAILABLE
 PER PVA RECORDS

PARCEL #052-00-00-024.00
 CHRIS & JENNIFER FERGUSON
 DB: 404, PG. 672

PARCEL #052-00-00-054.02
 JAMES W LYON
 DB: 409, PG. 138

NOTE: ADDITIONAL
 EASEMENT FOR
 TURNAROUND MAY
 BE REQUIRED

GRAPHIC SCALE



Mastec

BTM Engineering, Inc.
 CONSULTING ENGINEERS, LANDSCAPE ARCHITECTS,
 PLANNERS & SURVEYORS
 3001 TAYLOR SPRINGS DRIVE
 LOUISVILLE, KENTUCKY 40220
 PHONE: (502) 459-8402
 FAX: (502) 459-8427



SITE NAME:	NIPPA
SITE NUMBER:	KYALU6167
SITE ADDRESS:	OLD US 23 WITTSVILLE, KY 41274
AREA:	10,000 SF
PROPERTY OWNER:	CHRIS & JENNIFER FERGUSON PO BOX 625 WITTSVILLE, KY 41274
TAX MAP #:	N/A
PARCEL NUMBER:	052-00-00-024.00
SOURCE OF TITLE:	DEED BOOK 404 PAGE 672
LATITUDE:	N 37° 51' 45.52"
LONGITUDE:	W 82° 47' 11.59"

NO.	BY	DESCRIPTION	DATE	CHK	
				PH	PH
1	KTL	ISSUE FOR COMMENT	01/12/16		
2	KTL	ISSUE FOR ZONING	01/25/16		

TITLE:
OVERALL SITE PLAN

SHEET:
Z-2

SITE PLAN NOTES

1. THE PROPOSED DEVELOPMENT IS FOR A 255 FOOT SELF-SUPPORT TOWER AND MULTIPLE EQUIPMENT LOCATIONS. THE LOCATION IS OLD US 23, WITTVILLE, KY 41274.
2. THE TOWER WILL BE ACCESSED BY A PROPOSED STABILIZE DRIVE FROM AN EXISTING ASPHALT ROADWAY (US 23) WHICH IS A PUBLIC RIGHT-OF-WAY. THE ACCESS ROAD IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE LOCAL HIGHWAY DEPARTMENT OF TRANSPORTATION STANDARDS. WATER, SANITARY SEWER AND WASTE COLLECTIONS SERVICES ARE NOT REQUIRED FOR THE PROPOSED DEVELOPMENT.
3. CENTERLINE OF PROPOSED TOWER GEOGRAPHIC LOCATIONS
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7. COMPOUND FINISHED SURFACE TO BE FENCED.

LEGEND

- OHE — EXISTING OVERHEAD ELECTRIC
- OHT — EXISTING OVERHEAD TELEPHONE
- UGE — EXISTING UNDERGROUND ELECTRIC
- UGT — EXISTING UNDERGROUND TELEPHONE
- UGE — PROPOSED UNDERGROUND ELECTRIC
- UGT — PROPOSED UNDERGROUND TELEPHONE
- x - x - FENCE LINE
- — POWER LINE
- TELE. PEDESTAL
- WATER VALVES
- FIRE HYDRANTS
- BOLLARDS

PARCEL #052-00-00-021.00
COLUMBUS H & CLAIR PREECE
DB: 345, PG. 532

PARCEL #052-00-00-024.01
CHRIS & JENNIFER FERGUSON
DB: 421, PG. 247

PARCEL #052-00-00-024.06
CHRIS & JENNIFER FERGUSON
DB: 404, PG. 187

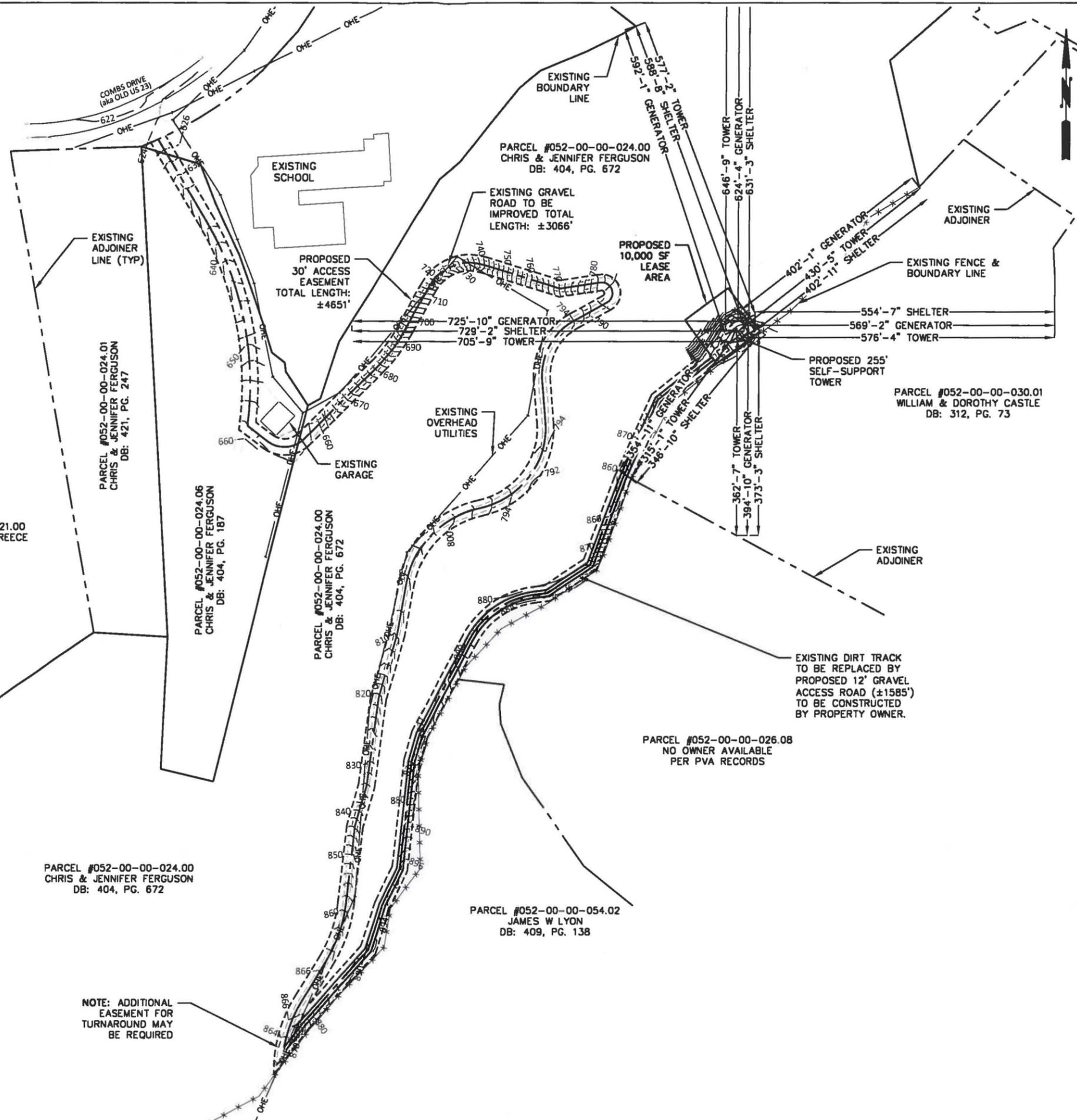
PARCEL #052-00-00-024.00
CHRIS & JENNIFER FERGUSON
DB: 404, PG. 672

PARCEL #052-00-00-024.00
CHRIS & JENNIFER FERGUSON
DB: 404, PG. 672

PARCEL #052-00-00-054.02
JAMES W LYON
DB: 409, PG. 138

PARCEL #052-00-00-026.08
NO OWNER AVAILABLE
PER PVA RECORDS

PARCEL #052-00-00-030.01
WILLIAM & DOROTHY CASTLE
DB: 312, PG. 73



NOTE: ADDITIONAL EASEMENT FOR TURNAROUND MAY BE REQUIRED

GRAPHIC SCALE



Mastec

BTM Engineering, Inc.
 CONSULTING ENGINEERS, LANDSCAPE ARCHITECTS,
 PLANNERS & SURVEYORS
 3001 TAYLOR SPRINGS DRIVE
 LOUISVILLE, KENTUCKY 40220
 PHONE: (502) 459-8400
 FAX: (502) 459-8427

STATE OF KENTUCKY
 1-25-16
 PHILIP G. HEID
 29820
 LICENSED PROFESSIONAL ENGINEER

SITE NAME:	NIPPA
SITE NUMBER:	KYALU6167
SITE ADDRESS:	OLD US 23 WITTVILLE, KY 41274
AREA:	10,000 SF
PROPERTY OWNER:	CHRIS & JENNIFER FERGUSON PO BOX 625 WITTVILLE, KY 41274
TAX MAP #:	N/A
PARCEL NUMBER:	052-00-00-024.00
SOURCE OF TITLE:	DEED BOOK 404 PAGE 672
LATITUDE:	N 37° 51' 45.52"
LONGITUDE:	W 82° 47' 11.59"

NO.	BY	DESCRIPTION	DATE	
			CHK	PH
1	KTL	ISSUE FOR COMMENT	01/12/16	PH
2	KTL	ISSUE FOR ZONING	01/25/16	PH

TITLE:
OVERALL SITE PLAN (DIMENSIONS)

SHEET:
Z-2A

SITE PLAN NOTES

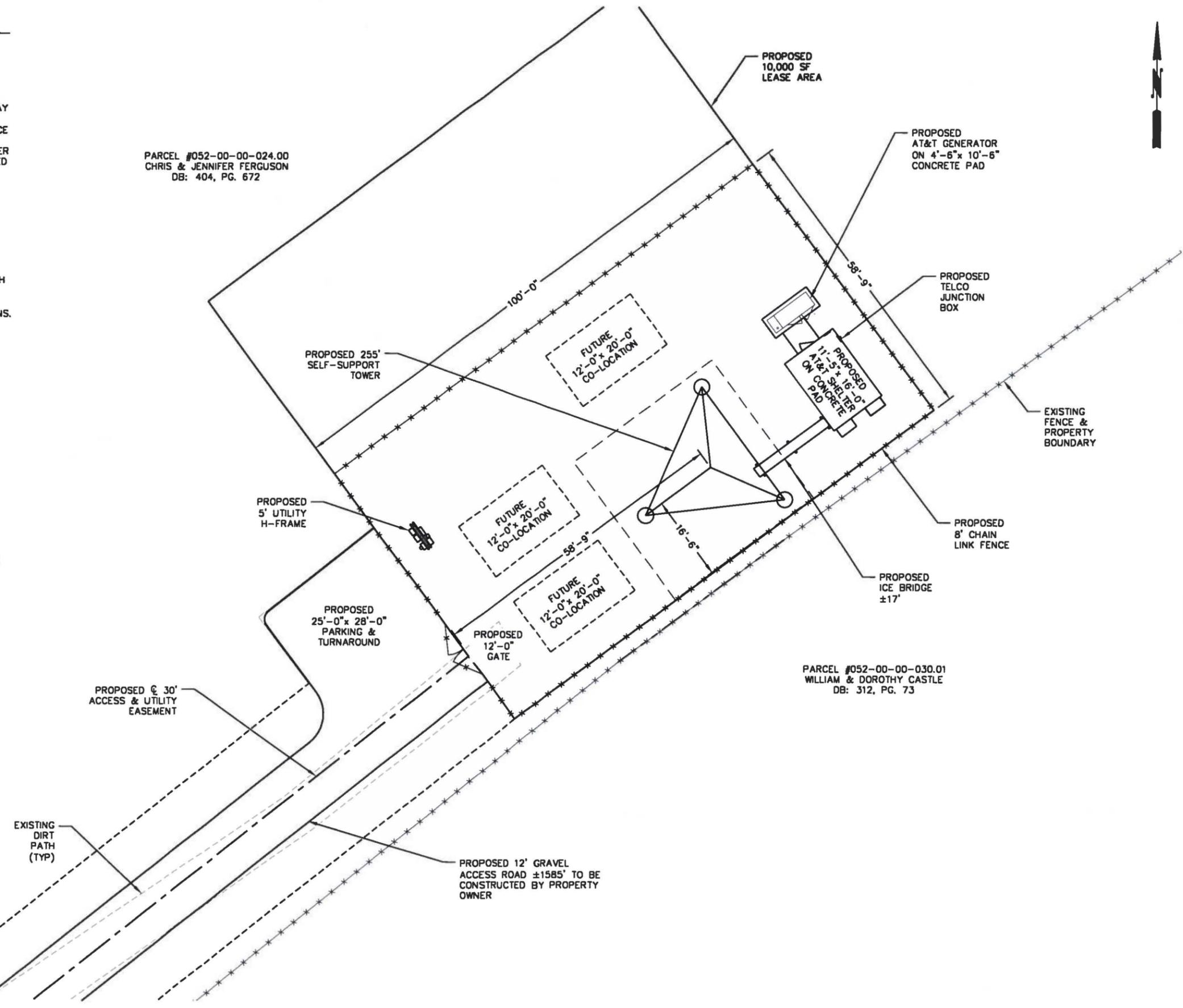
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PARCEL #052-00-00-024.00
 CHRIS & JENNIFER FERGUSON
 DB: 404, PG. 672

LEGEND

- OHE — EXISTING OVERHEAD ELECTRIC
- OHT — EXISTING OVERHEAD TELEPHONE
- UGE — EXISTING UNDERGROUND ELECTRIC
- UGT — EXISTING UNDERGROUND TELEPHONE
- UGE — PROPOSED UNDERGROUND ELECTRIC
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- x - x - FENCE LINE
- P — POWER POLE
- TELE PED TELEPHONE PEDESTAL
- WATER VALVES
- FIRE HYDRANTS
- BOLLARDS

GRAPHIC SCALE



Mastec

BTM Engineering, Inc.
 CONSULTING ENGINEERS, LANDSCAPE ARCHITECTS,
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 3001 TAYLOR SPRINGS DRIVE
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STATE OF KENTUCKY
 1-25-16
 PHILIP G. HEID
 29820
 LICENSED PROFESSIONAL ENGINEER
Philip Heid

SITE NAME:	NIPPA
SITE NUMBER:	KYALU6167
SITE ADDRESS:	OLD US 23 WITTENSVILLE, KY 41274
AREA:	10,000 SF
PROPERTY OWNER:	CHRIS & JENNIFER FERGUSON PO BOX 625 WITTENSVILLE, KY 41274
TAX MAP #:	N/A
PARCEL NUMBER:	052-00-00-024.00
SOURCE OF TITLE:	DEED BOOK 404 PAGE 672
LATITUDE:	N 37° 51' 45.52"
LONGITUDE:	W 82° 47' 11.59"

NO.	BY	DESCRIPTION	DATE	
			CHK	PH
1	KTL	ISSUE FOR COMMENT	01/12/16	PH
2	KTL	ISSUE FOR ZONING	01/25/16	PH

TITLE:
SITE LAYOUT

SHEET:
Z-3

PARCEL #052-00-00-024.00
CHRIS & JENNIFER FERGUSON
DB: 404, PG. 672

PROPOSED 8'
CHAIN LINK
FENCE

FUTURE
12'-0" x 20'-0"
CO-LOCATION

PROPOSED AT&T
GENERATOR &
CONCRETE PAD

PROPOSED
11'-5" x 16'-0"
AT&T SHELTER
AND CONCRETE
PAD

PROPOSED 255'
SELF-SUPPORT
TOWER

PROPOSED
ICE BRIDGE
±17'

FUTURE
12'-0" x 20'-0"
CO-LOCATION

PROPOSED
5' UTILITY
H-FRAME

PROPOSED
25'-0" x 28'-0"
PARKING &
TURNAROUND

FUTURE
12'-0" x 20'-0"
CO-LOCATION

PROPOSED
12'-0"
GATE

PROPOSED 30'
ACCESS & UTILITY
EASEMENT

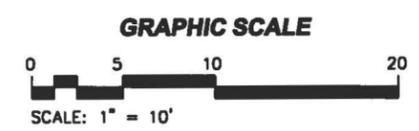
PARCEL #052-00-00-030.01
WILLIAM & DOROTHY CASTLE
DB: 312, PG. 73

PROPOSED 12'
GRAVEL ACCESS ROAD
TO BE CONSTRUCTED
BY PROPERTY OWNER
±1585'

EXISTING
DIRT
PATH



- LEGEND**
- E— EXISTING OVERHEAD ELECTRIC
 - T— EXISTING OVERHEAD TELEPHONE
 - UE— EXISTING UNDERGROUND ELECTRIC
 - UT— EXISTING UNDERGROUND TELEPHONE
 - UE— PROPOSED UNDERGROUND ELECTRIC
 - UT— PROPOSED UNDERGROUND TELEPHONE
 - x-x- FENCE LINE
 - POWER POLE
 - TELE. PEDESTAL
 - WATER VALVES
 - FIRE HYDRANTS
 - BOLLARDS



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LOUISVILLE, KENTUCKY 40220
PHONE: (502) 459-8402
FAX: (502) 459-8427

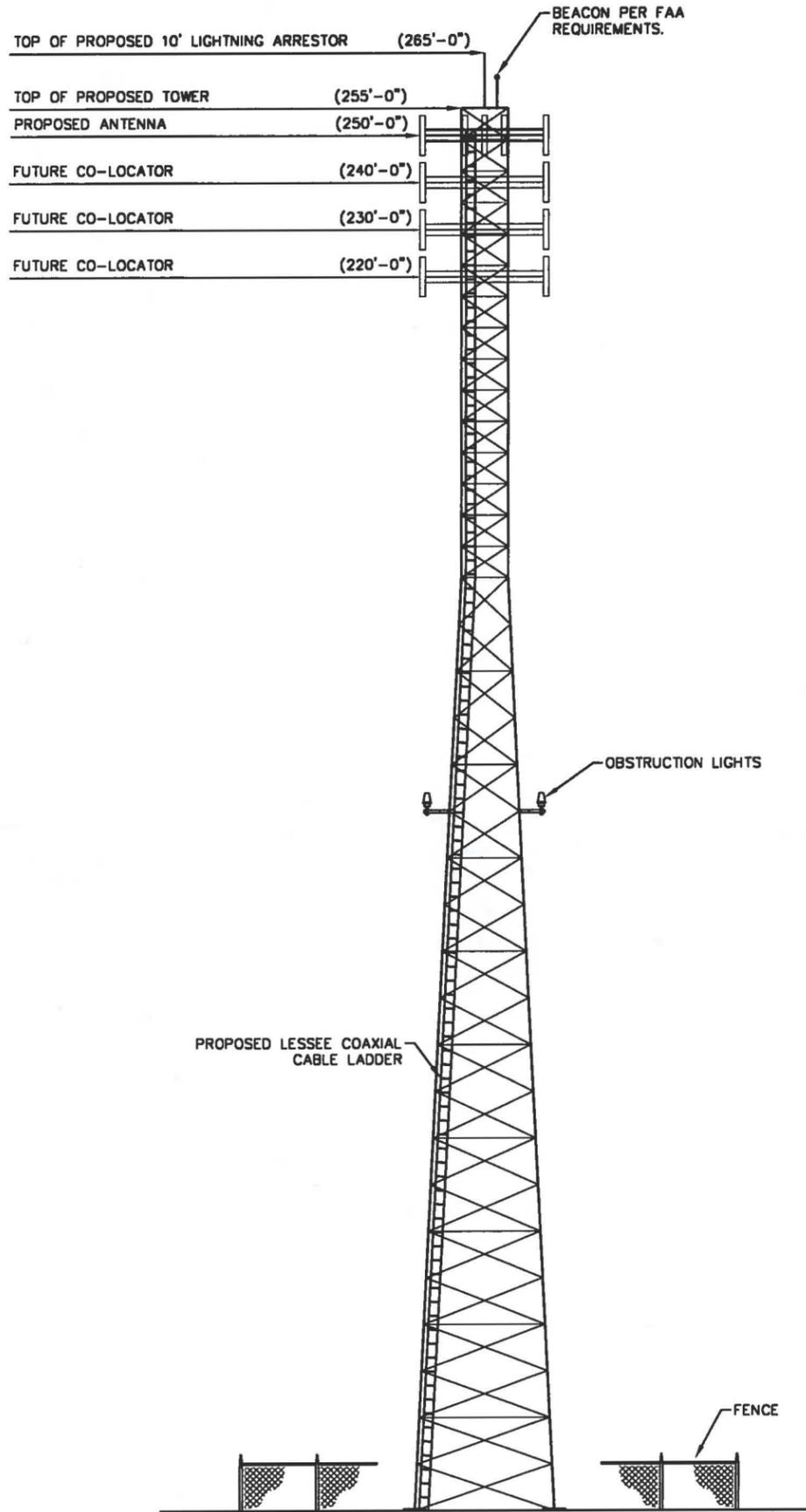
STATE OF KENTUCKY
1-25-16
PHILIP G. HEID
29820
LICENSED PROFESSIONAL ENGINEER
Philip Heid

SITE NAME:	NIPPA
SITE NUMBER:	KYALU6167
SITE ADDRESS:	OLD US 23 WITTENSVILLE, KY 41274
AREA:	10,000 SF
PROPERTY OWNER:	CHRIS & JENNIFER FERGUSON PO BOX 625 WITTENSVILLE, KY 41274
TAX MAP #:	N/A
PARCEL NUMBER:	052-00-00-024.00
SOURCE OF TITLE:	DEED BOOK 404 PAGE 672
LATITUDE:	N 37° 51' 45.52"
LONGITUDE:	W 82° 47' 11.59"

REVISIONS		CHK	DATE	PH	PH
NO.	BY DESCRIPTION				
1	KTL ISSUE FOR COMMENT		01/12/16		
2	KTL ISSUE FOR ZONING		01/25/16		

TITLE:
**AT&T SHELTER
LAYOUT**

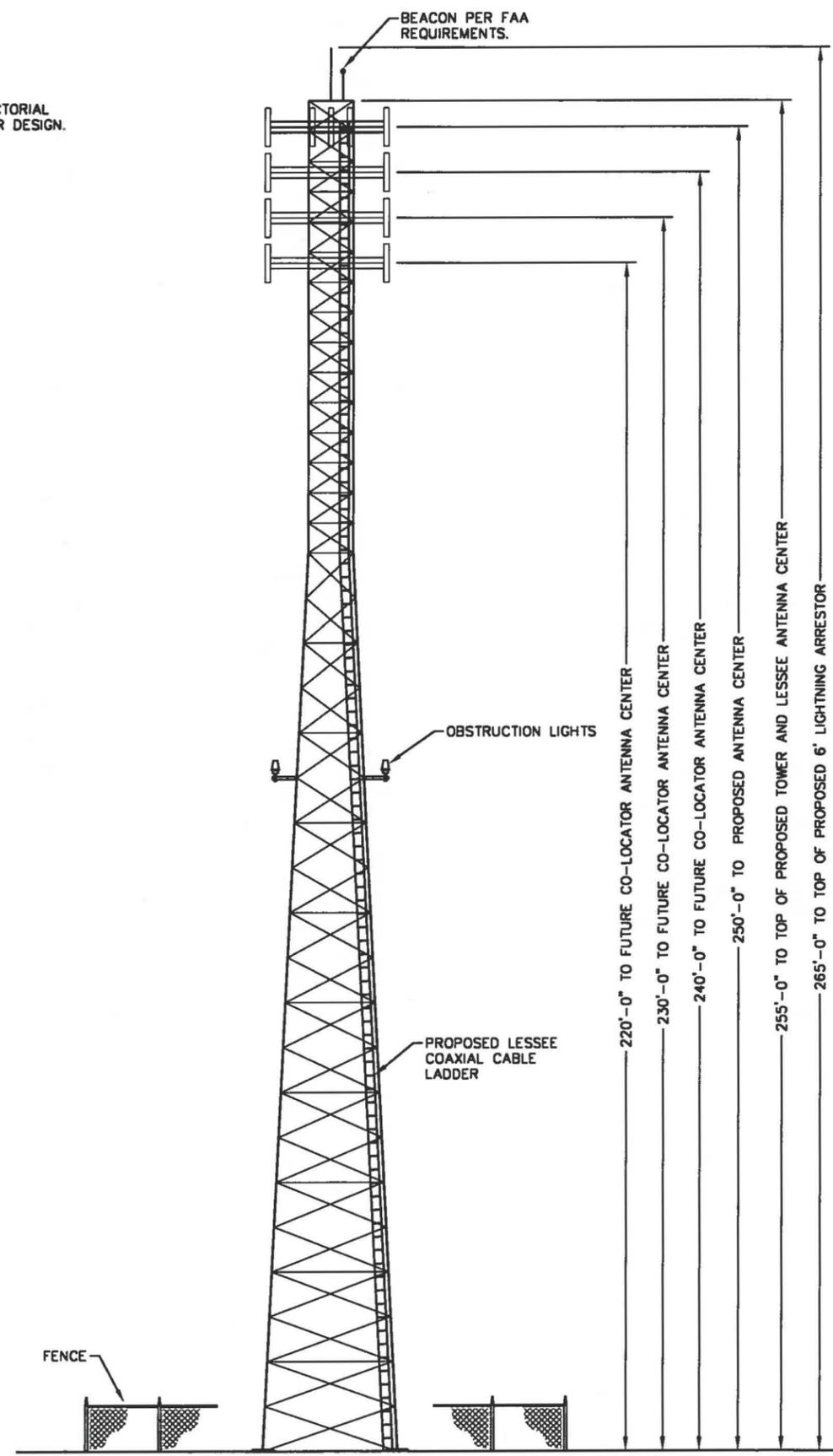
SHEET:
Z-4



- TOP OF PROPOSED 10' LIGHTNING ARRESTOR (265'-0")
- BEACON PER FAA REQUIREMENTS.
- TOP OF PROPOSED TOWER (255'-0")
- PROPOSED ANTENNA (250'-0")
- FUTURE CO-LOCATOR (240'-0")
- FUTURE CO-LOCATOR (230'-0")
- FUTURE CO-LOCATOR (220'-0")

NORTH ELEVATION
NOT TO SCALE

NOTE:
THE ELEVATIONS SHOWN ON THIS SHEET ARE FOR PICTORIAL PURPOSES ONLY. REFER TO TOWER PLANS FOR TOWER DESIGN.

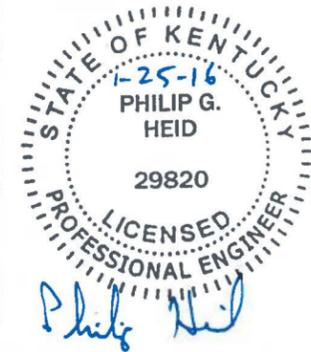


SOUTH ELEVATION
NOT TO SCALE

- 220'-0" TO FUTURE CO-LOCATOR ANTENNA CENTER
- 230'-0" TO FUTURE CO-LOCATOR ANTENNA CENTER
- 240'-0" TO FUTURE CO-LOCATOR ANTENNA CENTER
- 250'-0" TO PROPOSED ANTENNA CENTER
- 255'-0" TO TOP OF PROPOSED TOWER AND LESSEE ANTENNA CENTER
- 265'-0" TO TOP OF PROPOSED 6' LIGHTNING ARRESTOR

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PHONE: (502) 459-8402
FAX: (502) 459-8427



SITE NAME: NIPPA
SITE NUMBER: KYALU6167
SITE ADDRESS: OLD US 23
WTTENSVILLE, KY 41274
AREA: 10,000 SF
PROPERTY OWNER: CHRIS & JENNIFER FERGUSON
PO BOX 625
WTTENSVILLE, KY 41274
TAX MAP #: N/A PARCEL NUMBER: 052-00-00-024.00
SOURCE OF TITLE: DEED BOOK 404 PAGE 672
LATITUDE: N 37° 51' 45.52" LONGITUDE: W 82° 47' 11.59"

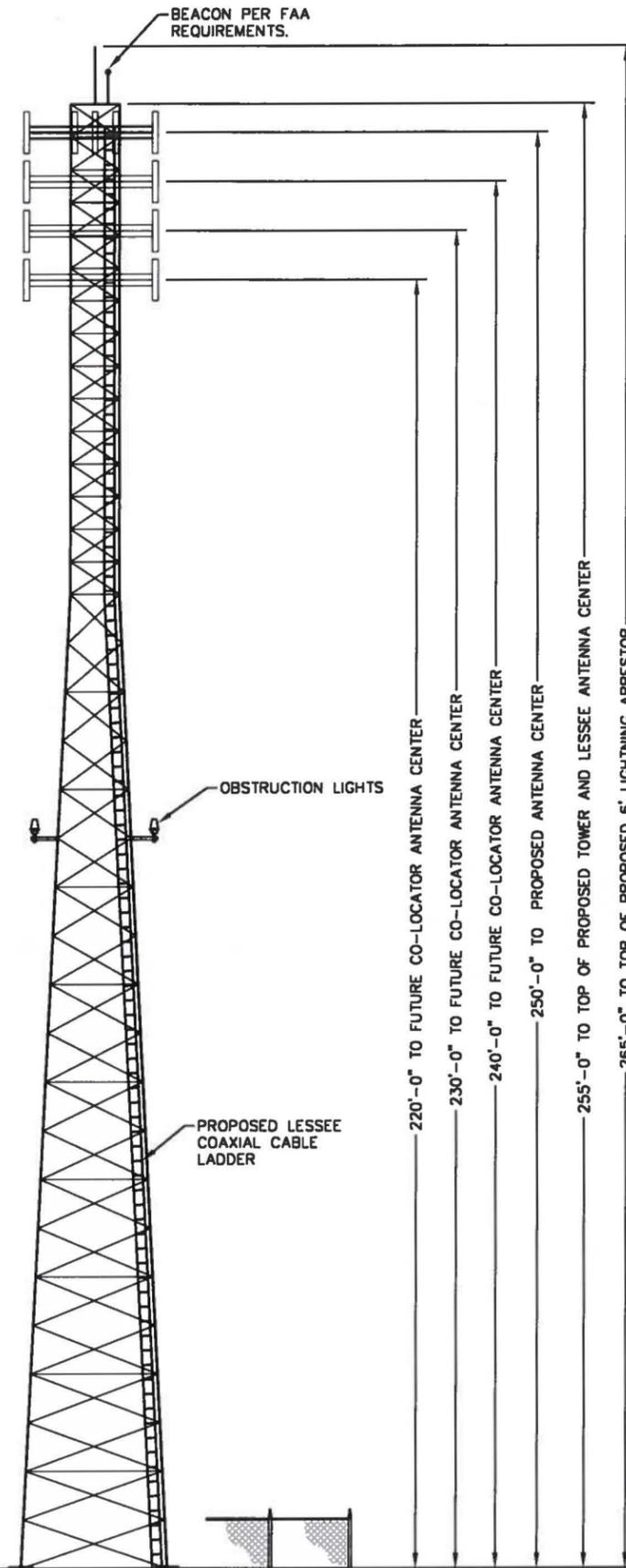
NO.	BY	DESCRIPTION	DATE		CHK	
			DATE	PH	PH	PH
1	KTL	ISSUE FOR COMMENT	01/12/16			
2	KTL	ISSUE FOR ZONING	01/25/16			

TITLE: NORTH/SOUTH TOWER ELEVATIONS

SHEET: Z-5

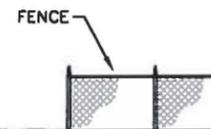
TOP OF PROPOSED 10' LIGHTNING ARRESTOR (265'-0")
 BEACON PER FAA REQUIREMENTS.
 TOP OF PROPOSED TOWER (255'-0")
 PROPOSED ANTENNA (250'-0")
 FUTURE CO-LOCATOR (240'-0")
 FUTURE CO-LOCATOR (230'-0")
 FUTURE CO-LOCATOR (220'-0")

NOTE:
 THE ELEVATIONS SHOWN ON THIS SHEET ARE FOR PICTORIAL PURPOSES ONLY. REFER TO TOWER PLANS FOR TOWER DESIGN.



OBSTRUCTION LIGHTS
 PROPOSED LESSEE COAXIAL CABLE LADDER

EAST ELEVATION
 NOT TO SCALE



WEST ELEVATION
 NOT TO SCALE

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 PHONE: (502) 459-8402
 FAX: (502) 459-8427

STATE OF KENTUCKY
 1-25-16
 PHILIP G. HEID
 29820
 LICENSED PROFESSIONAL ENGINEER
Philip Heid

SITE NAME: NIPPA
 SITE NUMBER: KYALU6167
 SITE ADDRESS: OLD US 23
 WITTSVILLE, KY 41274
 AREA: 10,000 SF
 PROPERTY OWNER: CHRIS & JENNIFER FERGUSON
 PO BOX 625
 WITTSVILLE, KY 41274
 TAX MAP #: N/A PARCEL NUMBER: 052-00-00-024.00
 SOURCE OF TITLE: DEED BOOK 404 PAGE 672
 LATITUDE: N 37° 51' 45.52" LONGITUDE: W 82° 47' 11.59"

NO.	BY	DESCRIPTION	DATE		CHK
			DATE	PH	
1	KTL	ISSUE FOR COMMENT	01/12/16	PH	
2	KTL	ISSUE FOR ZONING	01/25/16	PH	

TITLE: EAST/WEST TOWER ELEVATIONS

SHEET: Z-6

EXHIBIT C
TOWER AND FOUNDATION DESIGN

MasTec

Network Solutions

January 26th, 2016

Kentucky Public Service Commission
211 Sower Blvd.
P.O. Box 615'
Frankfort, KY 40602-0615

RE: Site Name: Nippa
Proposed Cell Tower
37-51-45.52 North Latitude, 82-47-11.59 West Longitude

Dear Commissioners:

The Project / Construction Manager for the proposed new communications facility will be Kyle Ballard. His contact information is (703) 627-2919 or Kyle.Ballard@mastec.com.

Kyle has been in the industry completing civil construction and constructing towers since 2013. He has worked at MasTec Network Solutions since 2013 completing project and construction management on new site build projects.

Thank you,



Kyle Ballard, Project Manager - Tennessee/Kentucky Market
MasTec Network Solutions
703-627-2919
Kyle.Ballard@mastec.com

January 14, 2014

Westower Communications

Attn: John Boud

SUBJECT: Valmont File # 243504
Model V-27.0 X 255' Self Supporting Tower
Site Name: Nippa-AL6167, KY

Thank you for your inquiry concerning tower design codes and practices as they relate to your requested tower designs.

Valmont Structures has been designing and building guyed and self-supporting towers and monopoles since the early 1950's. During this time, we have sold thousands of towers ranging in height from as little as 50' high to in excess of 1400'. These towers were individually engineered to accommodate the loading requirements imparted by the design wind speed, ice considerations, antenna loading, and other factors dictated by the national code requirements existing at the time the tower was built.

The ANSI/TIA-222-G Standard represents the latest refinement of specific minimum requirements for tower engineers and manufacturers to follow to help assure that the tower structure and its foundations are designed to meet the most realistic conditions for local weather while assuring that the tower is designed to stringent factors of safety. This tower is designed to 90 MPH (no ice) and 30 MPH (1/2" ice) per ANSI/TIA-222-G with Class II, Topographical category 1, Exposure criteria C and a Crest height of 0 feet.

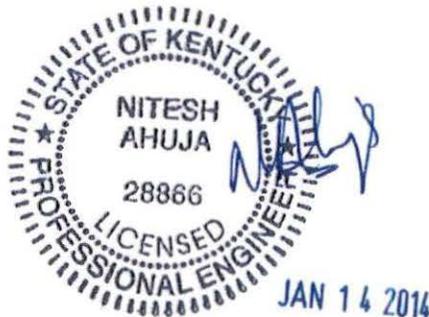
We are aware of few documented instances of a self supporting tower or monopole failure. Self supporting towers and monopoles can be designed such that the most common mode of failure is in the upper middle region of the tower, with the upper portion of the tower remaining connected and "bending and bowing over" against the base of the tower or pole. The fact that the wind is normally greater on the upper portion of the structure contributes to the likelihood of this type of failure. This particular Tower has a theoretical failure at the tower midpoint or above. The predicted mode of wind induced failure would be a buckling of the tower legs at or above the tower midpoint with the top sections of the tower folding over on to the intact base sections. This would then affect a "zero fall zone" at ground level.

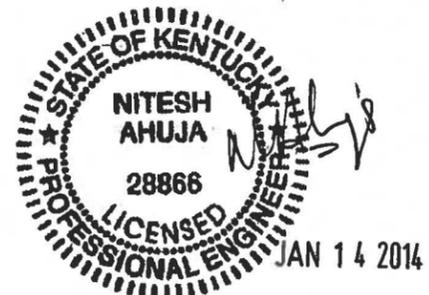
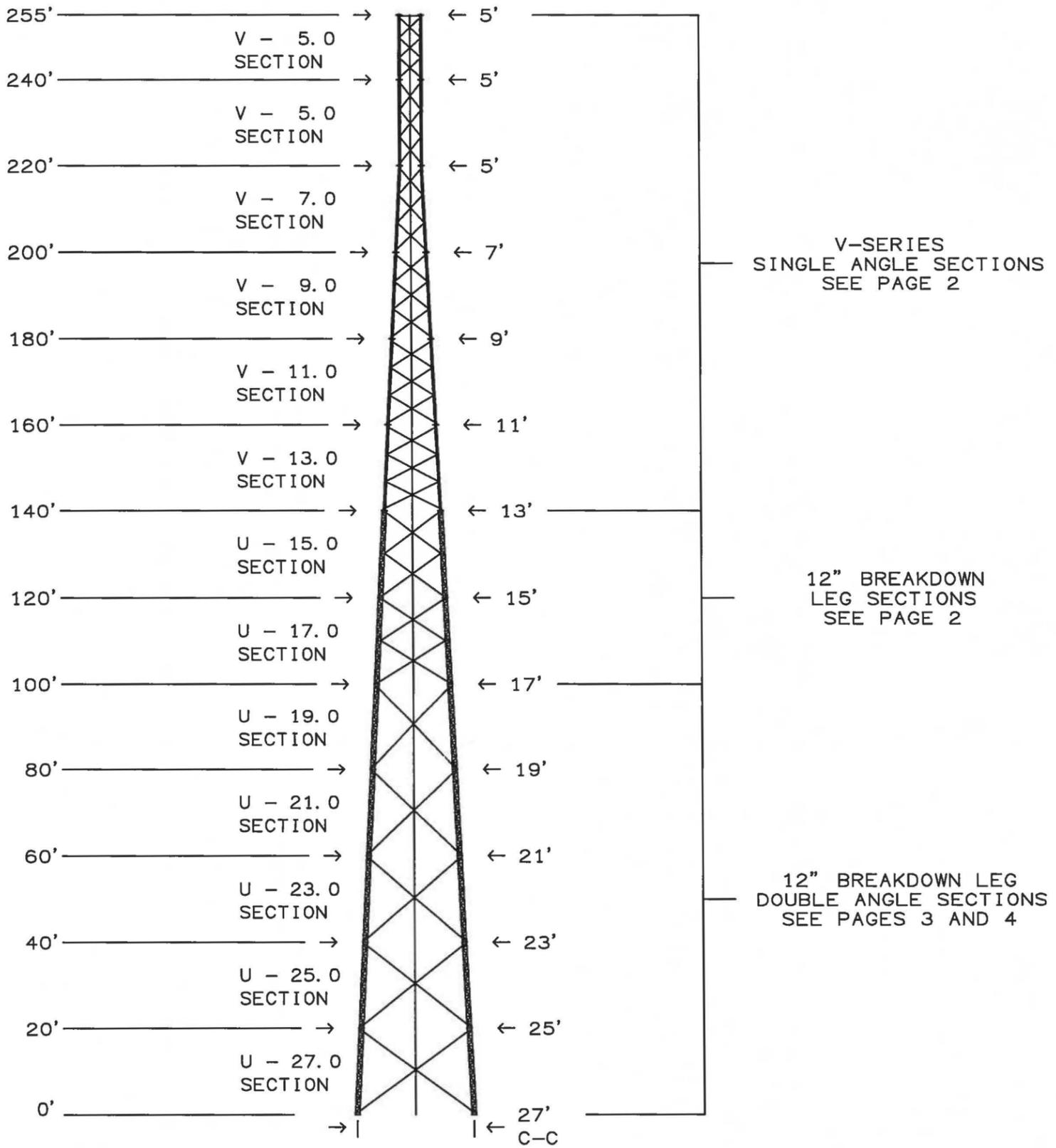
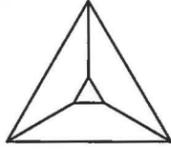
Including myself, our site has three licensed Professional Engineers covering a total of 49 states. Valmont Structures is an AISC approved shop. All Valmont Structures welders are AWS and CWB qualified. Our total design, engineer and build process has been quality audited by our customers including public utilities, telephone companies, government agencies, and of course AISC.

We trust the above and the attached will be helpful to you. If you should need anything else, please let us know at your convenience.

Sincerely,

Nitesh Ahuja, P.E.
Senior Engineer
Ext. #5257





Nitesh Ahuja, KY Professional Engineer #28866

WESTOWER COMMUNICATIONS
NIPPA AL6167, KY
V-27.0 X 255'

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1 OF 10

V-SERIES LEG SECTION DATA 140' - 255' ELEVATION

SECTION		LEG										DIAGONAL BRACE						HOR		
#	LENGTH	* WEIGHT	NOM SIZE	WALL	GRADE	CLIMBING		NON-CLIMB		CONNECT BOLT+		PART NUMBER **			ANGLE		CONNECT BOLT		CENTER SPACER	QTY
						QTY	PART#	QTY	PART#	DIAM	LENGTH	#1	#2	#3	FACE	THICK	DIAM	LENGTH		
V- 5.0	15'	734#	2-1/2"	0.203	A572-50	1	226169	2	226170	3/4"	3-1/2"	227077	227077	227077	2"	1/8"	3/4"	2-1/4"	116467	1
V- 5.0	20'	1285#	4"	0.237	A572-50	1	226184	2	226185	3/4"	3-1/2"	227113	227113	227113	2"	3/16"	3/4"	2-1/4"	116467	
V- 7.0	20'	1609#	5"	0.258	A572-50	1	226200	2	226201	3/4"	3-1/2"	226190	226189	231342	2"	3/16"	3/4"	2-1/4"	116467	
V- 9.0	20'	1752#	5"	0.258	A572-50	3	226192			3/4"	3-1/2"	226196	226195	231344	2"	3/16"	3/4"	2-1/4"	116467	
V-11.0	20'	2200#	8"	0.280	A572-50	3	226206			3/4"	3-1/2"	225038	225037	231347	2-1/2"	3/16"	3/4"	2-1/4"	116487	
V-13.0	20'	2490#	6"	0.280	A572-50	3	229377			1"	4-3/4"	227341	226209	231349	2-1/2"	3/16"	3/4"	2-1/4"	116487	

+ AT BOTTOM OF SECTION
 * THE WEIGHTS LISTED ARE THEORETICAL. THE ACTUAL WEIGHTS WILL VARY. ALL WEIGHTS SHOULD BE CONFIRMED IN THE FIELD PRIOR TO ERECTION.
 ** PANELS ARE NUMBERED BEGINNING AT THE TOP OF THE SECTION.

HORIZONTAL DATA

HORIZ HT	IN SEC#	HORIZ PART#
255	V- 5.0	227584

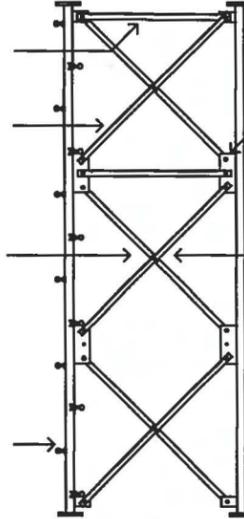
TYPICAL V-SERIES SECTION ASSEMBLY 140' - 255' ELEVATION

HORIZONTALS AS REQUIRED. SEE TABLE TO LEFT FOR ELEVATION AND PART #.

DIAGONAL BRACE - SEE TABLE ABOVE FOR PART NUMBER.

DIAGONAL CENTER CONNECTION - 5/8" X 2-1/4" BOLT

LEG ASSEMBLY - SEE TABLE ABOVE FOR PART NUMBER.



DIAGONAL CONNECTION BOLT - SEE SECTION TABLE ABOVE FOR SIZE.

DIAGONAL CENTER SPACER - SEE TABLE ABOVE FOR PART NUMBER.

LEG CONNECTION - SEE TABLE ABOVE FOR BOLT SIZE.

BREAKDOWN SECTION DATA (12" LEG) 100' - 140' ELEVATION

SEC #	SECTION LENGTH	LEG SIZE	LEG PART#	TOP DIAG PART#	BOT DIAG PART#	DIAG DIAGONAL FACE	DIAGONAL THICK	SECTION WEIGHT	LEG CONNECT+ DIAM	LEG CONNECT+ LENGTH	DIAG CONNECT DIAM	DIAG CONNECT LENGTH
U-15.0	20'	1- 3/4"	229588	105579	105582	3"	3/16"	3128#	1"	4-3/4"	1"	2-1/4"
U-17.0	20'	1- 3/4"	229588	105588	127611	3"	5/16"	3710#	1"	4-3/4"	1"	2-1/4"

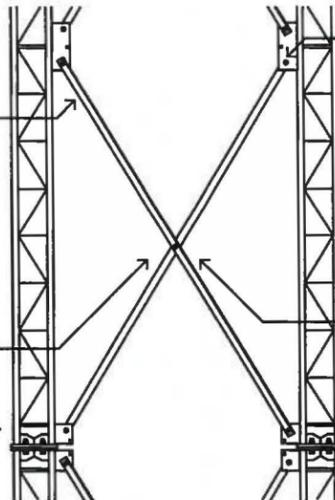
* THE WEIGHTS LISTED ARE THEORETICAL. THE ACTUAL WEIGHTS WILL VARY. ALL WEIGHTS SHOULD BE CONFIRMED IN THE FIELD PRIOR TO ERECTION.
 + USE 1 FLAT WASHER UNDER EACH LOCK WASHER FOR LEG CONNECTION ONLY.

TYPICAL BREAKDOWN SECTION ASSEMBLY (12" LEG) 100' - 140' ELEVATION

DIAGONAL BRACE - SEE TABLE ABOVE FOR PART NUMBER. USE A LOCK WASHER UNDER EACH PLAIN NUT FOR DIAGONAL CONNECTION ONLY. NO FLAT WASHER REQUIRED.

DIAGONAL CENTER CONNECTION IS 3/4" X 3" BOLT.

LEG ASSEMBLY - SEE TABLE ABOVE FOR PART NUMBER.



DIAGONAL CONNECTION BOLT - SEE SECTION TABLE ABOVE FOR SIZE.

USE SPACER PART # 104291 BETWEEN DIAGONAL ANGLES.

LEG CONNECTION - SEE TABLE ABOVE FOR BOLT SIZE. USE 1 FLAT WASHER AND 1 LOCK WASHER UNDER EACH PLAIN NUT FOR LEG CONNECTION.



Nitesh Ahuja, KY Professional Engineer #28866

WESTOWER COMMUNICATIONS
 NIPPA AL6167, KY
 V-27.0 X 255'

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BREAKDOWN SECTION LEG DATA (12" LEG WITH DOUBLE ANGLES) 0' - 100' ELEVATION

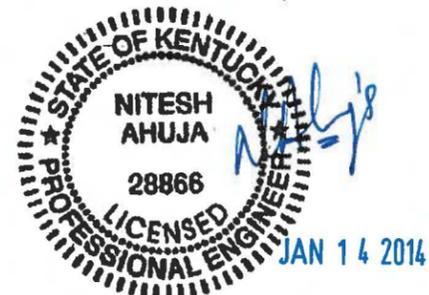
SECTION				LEG		LEG CONNECT @ BOTTOM+		
#	MODEL	LENGTH	WEIGHT*	SIZE	PART #	DIAM	LENGTH	#
5	U-19.0	20'	4069#	2 "	208332	1"	4-3/4"	12
4	U-21.0	20'	4741#	2- 1/4 "	208334	1"	4-3/4"	12
3	U-23.0	20'	4807#	2- 1/4 "	208334	1"	4-3/4"	12
2	U-25.0	20'	4876#	2- 1/4 "	208334	1"	4-3/4"	12
1	U-27.0	20'	5681#	2- 1/4 "	208334			

* THE WEIGHTS LISTED ARE THEORETICAL. THE ACTUAL WEIGHTS WILL VARY. ALL WEIGHTS SHOULD BE CONFIRMED IN THE FIELD PRIOR TO ERECTION.
 + QTY IS PER LEG. USE 1 LOCK WASHER AND 1 FLAT WASHER UNDER EACH PLAIN NUT.

BREAKDOWN SECTION DIAGONAL DATA (12" LEG WITH DOUBLE ANGLES) 0' - 100' ELEVATION

SECTION		DIAGONAL PART #			DIAG ANGLE		DIAG END BOLT		DIAG CENTER & SPACER BOLT		CENTER PLATE	SPACER	
#	MODEL	UPPER	LOWER	LONG	FACE	THICK	DIAM	LENGTH	DIAM	LENGTH	PART #	PART #	**
5	U-19.0	215288	215292	215364	3"	3/16"	7/8"	2-1/2"	5/8"	2-1/4"	211833	104291	7
4	U-21.0	215295	215299	215368	3"	3/16"	7/8"	2-1/2"	5/8"	2-1/4"	211833	104291	8
3	U-23.0	215303	215307	215372	3"	3/16"	7/8"	2-1/2"	5/8"	2-1/4"	211833	104291	8
2	U-25.0	215311	215315	215376	3"	3/16"	7/8"	2-1/2"	5/8"	2-1/4"	211833	104291	8
1	U-27.0	215320	215324	215380	3-1/2"	1/4"	7/8"	2-1/2"	5/8"	2-1/4"	211833	104291	8

* QUANTITY IS PER PANEL PER FACE. USE 1 LOCK WASHER UNDER EACH PLAIN NUT.



Nitesh Ahuja, KY Professional Engineer #28866

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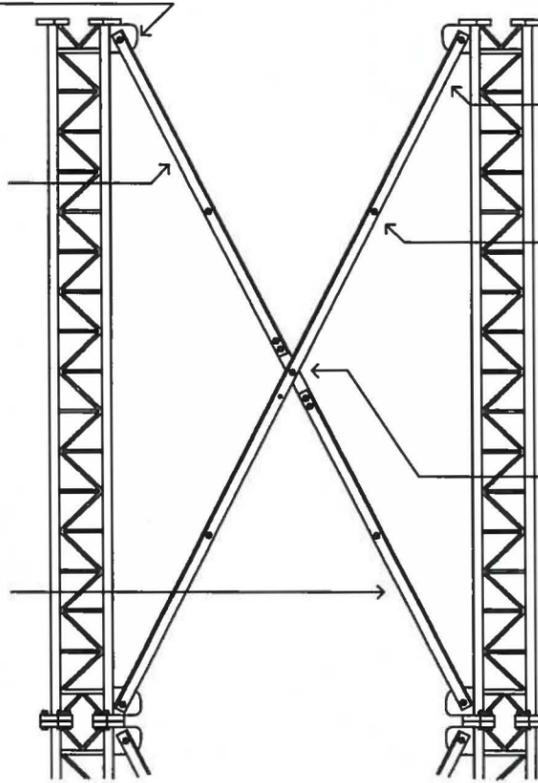
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TYPICAL BREAKDOWN SECTION ASSEMBLY (12" LEG WITH DOUBLE ANGLES) 0' - 100' ELEVATION

DIAGONAL END BOLTS - SEE DIAGONAL TABLE ON PAGE 3 FOR SIZE. NO FLAT WASHER REQUIRED.

"UPPER" DIAGONAL BRACES (BACK TO BACK ANGLES) - SEE TABLE ON PG. 3 FOR PART #.

"LOWER" DIAGONAL BRACES (BACK TO BACK ANGLES) - SEE TABLE ON PG. 3 FOR PART #.



"LONG" DIAGONAL BRACE (BACK TO BACK ANGLES) - SEE TABLE ON PG. 3 FOR PART #.

INTERMEDIATE DIAGONAL BOLTS WITH SPACER - SEE TABLE ON PG. 3 FOR SIZE, SPACER PART # AND NUMBER OF LOCATIONS PER PANEL ON EACH FACE. USE 1 SPACER PER BOLT. SEE DRAWING # 214823 FOR DETAILS.

DIAGONAL CENTER PLATE - SEE DIAGONAL TABLE ON PAGE 3 FOR PART # AND BOLT SIZE.

LEG CONNECTION - SEE TABLE ON PAGE 3 FOR BOLT SIZE. USE 1 LOCK WASHER AND 1 FLAT WASHER UNDER EACH PLAIN NUT FOR LEG CONNECTION.

ATTENTION ERECTOR:

- EXTRA CARE MUST BE TAKEN WHEN STANDING BREAKDOWN LEG SECTIONS FROM A FLAT "ASSEMBLY" POSITION ON THE GROUND TO AN UPRIGHT POSITION FOR STACKING. POOR RIGGING AND/OR LIFTING PROCEDURES MAY DAMAGE THE ANGLE BRACES AND/OR BREAKDOWN LEGS. IT IS THE RESPONSIBILITY OF THE TOWER CONTRACTOR TO ENSURE BREAKDOWN LEGS AND ANGLES ARE NOT DAMAGED DURING THE TOWER ASSEMBLY AND ERECTION.
- WHEN LIFTING ("FLYING") SINGLE PANEL TOWER SECTIONS TO PLACE THEM ON PREVIOUSLY ERECTED SECTIONS, A MINIMUM OF TWO (2) FULL SECTIONS (TYPICALLY 40') MUST BE ASSEMBLED TOGETHER TO PROVIDE ADEQUATE STABILITY TO THE TOWER LEGS AND ANGLE BRACES. IT IS THE RESPONSIBILITY OF THE TOWER CONTRACTOR TO ENSURE BREAKDOWN LEGS AND ANGLES ARE NOT DAMAGED DURING THE TOWER ASSEMBLY AND ERECTION.



Nitesh Ahuja, KY Professional Engineer #28866

WESTOWER COMMUNICATIONS
NIPPA AL6167, KY
V-27.0 X 255'

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PAGE

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GENERAL NOTES

1. TOWER DESIGN CONFORMS TO STANDARD TIA-222-G UTILIZING AN 90 MPH 3-SEC GUST BASIC WIND SPEED WITH A STRUCTURE CLASS OF II, TOPOGRAPHIC CATEGORY OF 1 AND EXPOSURE C CRITERIA WITH NO ICE.
TOWER DESIGN CONFORMS TO STANDARD TIA-222-G UTILIZING AN 30 MPH 3-SEC GUST BASIC WIND SPEED WITH A STRUCTURE CLASS OF II, TOPOGRAPHIC CATEGORY OF 1 AND EXPOSURE C CRITERIA WITH .5" RADIAL ICE.
2. NO TWIST AND SWAY LIMITATIONS SPECIFIED OR USED FOR THIS TOWER.
3. MATERIAL: (A) SOLID RODS TO ASTM A572 GRADE 50. (B) ANGLES TO ASTM A36. (C) PIPE TO ASTM A500 GRADE B. (D) STEEL PLATES TO ASTM A36. (E) CONNECTION BOLTS TO ASTM A325 OR ASTM A449 (Fu=120 KSI AND Fy=92 KSI) AND ANCHOR BOLTS TO ASTM F1554 (Fu=150 KSI AND Fy=105 KSI). (F) TOWER LEG PIPE TO BE ASTM A500 GRADE B/C WITH 50KSI MIN. YIELD STRENGTH
4. BASE REACTIONS PER TIA-222-G FOR 90 MPH BASIC WIND SPEED WITH NO ICE (REACTIONS INCLUDE TIA-222-G LOAD FACTORS): TOTAL WEIGHT = 68.0 KIPS. MAXIMUM COMPRESSION = 432.0 KIPS PER LEG. MOMENT = 9578.0 KIP-FT. MAXIMUM UPLIFT = 378.0 KIPS PER LEG. MAXIMUM SHEAR = 65.0 KIPS TOTAL.
5. BASE REACTIONS PER TIA-222-G FOR 30 MPH BASIC WIND SPEED WITH 0.50" RADIAL ICE (REACTIONS INCLUDE TIA-222-G LOAD FACTORS): TOTAL WEIGHT = 169.0 KIPS. MOMENT = 1092.0 KIP-FT. MAXIMUM SHEAR = 7.0 KIPS TOTAL.
6. FINISH: ALL BOLTS ARE GALVANIZED IN ACCORDANCE WITH ASTM A153 (HOT DIPPED) OR ASTM B695 CLASS 50 (MECHANICAL). ALL OTHER STRUCTURAL MATERIALS ARE GALVANIZED IN ACCORDANCE WITH ASTM 123.
7. ANTENNAS: 250'-(3) SBNH-1D8585C, (3) SBNH-1D8585C (ANDREW PANELS), (9) ERICSSON RRU11, (3) ANDREW E15Z01P13, (3) RAYCAP DC6-48-60-18-F AND (3) RAYCAP DC2-48-60-0-9F WITH (12) 1-5/8" AND (2) 1/2" LINES ASSUMED
240'-(3) SBNH-1D6565C, (3) SBNH-1D8585C (ANDREW PANELS), (9) ERICSSON RRU11, (3) ANDREW E15Z01P13, (3) RAYCAP DC6-48-60-18-F AND (3) RAYCAP DC2-48-60-0-9F WITH (12) 1-5/8" AND (2) 1/2" LINES ASSUMED
230'-(3) SBNH-1D6565C, (3) SBNH-1D8585C (ANDREW PANELS), (9) ERICSSON RRU11, (3) ANDREW E15Z01P13, (3) RAYCAP DC6-48-60-18-F AND (3) RAYCAP DC2-48-60-0-9F WITH (12) 1-5/8" AND (2) 1/2" LINES ASSUMED
220'-(3) SBNH-1D6565C, (3) SBNH-1D8585C (ANDREW PANELS), (9) ERICSSON RRU11, (3) ANDREW E15Z01P13, (3) RAYCAP DC6-48-60-18-F AND (3) RAYCAP DC2-48-60-0-9F WITH (12) 1-5/8" AND (2) 1/2" LINES ASSUMED
NOTE: (A) ELEVATIONS ARE TO THE BOTTOM OF THE ANTENNAS EXCEPT FOR MICROWAVE DISHES, WHICH ARE TO THE CENTERLINE. (B) ALL TRANSMISSION LINES MUST BE PLACED ON PIROD SUPPLIED LINE BRACKETS.
8. REMOVE FOUNDATION TEMPLATE PRIOR TO ERECTING TOWER. INSTALL BASE SECTION WITH MINIMUM OF 2" CLEARANCE ABOVE CONCRETE. SEE BASE SECTION PLACEMENT PAGE FOR MORE INFORMATION. PACK NON-SHRINK STRUCTURAL GROUT UNDER BASE SECTION AFTER LEVELING TOWER.
9. MIN. WELDS 5/16" UNLESS OTHERWISE SPECIFIED. ALL WELDING TO CONFORM TO AWS D1.1 SPECIFICATIONS .
10. THIS DRAWING DOES NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND HE SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, SEQUENCES AND PROCEDURES.
11. ALL BOLTS AND NUTS MUST BE IN PLACE BEFORE THE ADJOINING SECTIONS ARE INSTALLED.
12. ALL STRUCTURAL BOLTS ARE TO BE TIGHTENED TO A SNUG TIGHT CONDITION AS DEFINED BY AISC SPECIFICATION UNLESS OTHERWISE NOTED.
13. ATTENTION TOWER ERECTOR: COAT ALL BOLT ASSEMBLIES THAT USE PIN LOCK NUTS WITH ZINC RICH COLD GALVANIZING COMPOUND AFTER FINAL TIGHTENING.
14. TIA-222-G GROUNDING FOR TOWER.
15. BASED ON THE LOADING LISTED ABOVE, THIS TOWER HAS A THEORETICAL FAILURE POINT AT TOWER MIDPOINT OR ABOVE FOR AN EFFECTIVE "ZERO FALL ZONE" AT GROUND LEVEL.



Nitesh Ahuja, KY Professional Engineer #28866

		WESTOWER COMMUNICATIONS NIPPA AL6167, KY V-27.0 X 255'	
APPROVED/ENG.	M_S	1/14/2014	 1-877-467-4763 Plymouth, IN 1-888-880-9191 Salem, OR
APPROVED/FOUND.	N/A		
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From: F1015871.DFT - 01/14/2014 09: 21		ENG. FILE NO. A-243504-	252661
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FOUNDATION NOTES

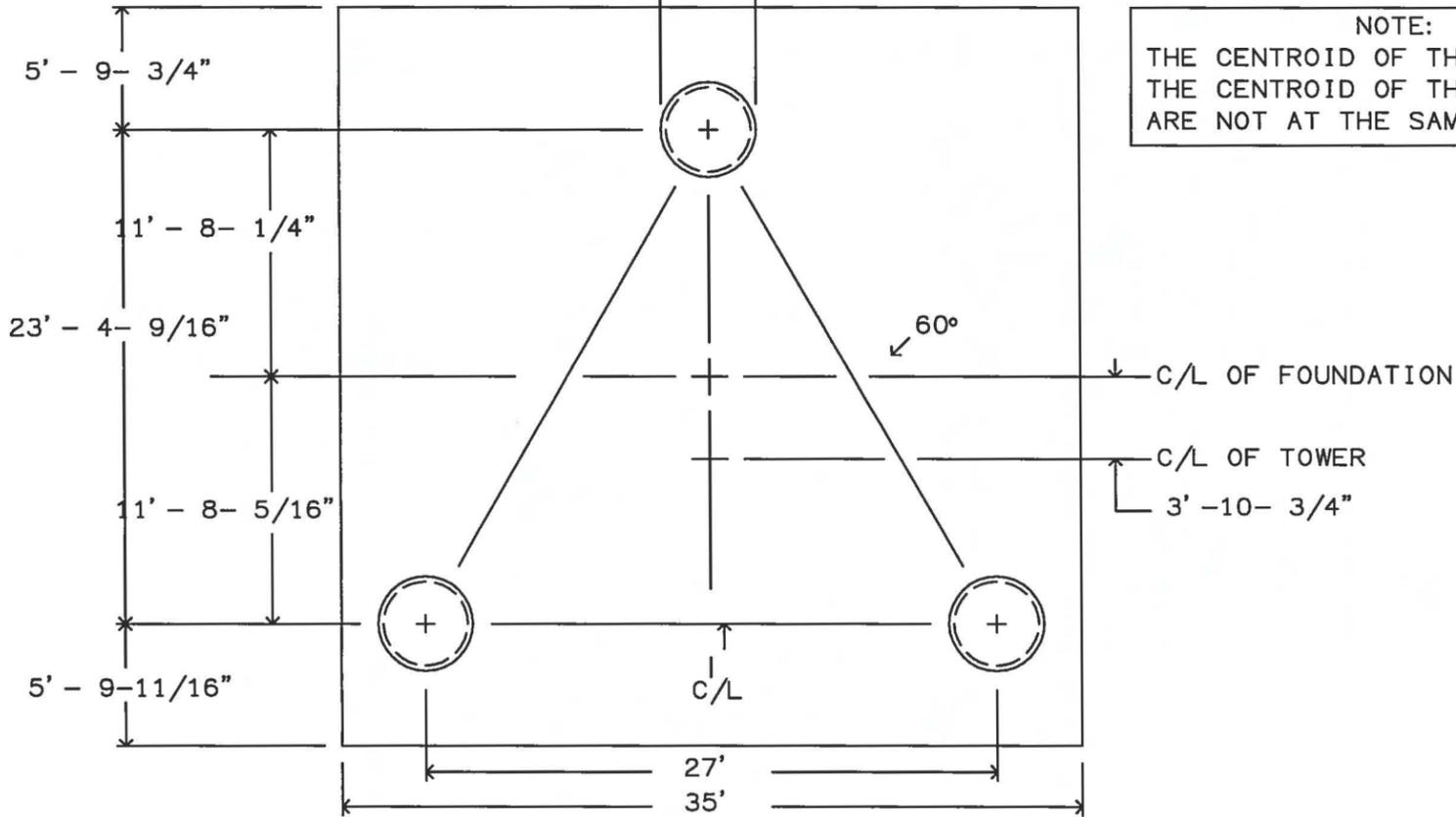
1. ULTIMATE SOIL PRESSURE ASSUMED TO BE 5000 PSF. ULTIMATE PASSIVE PRESSURE ASSUMED TO BE 450 LB PCF. THE PURCHASER & OWNER/CONTRACTOR MUST VERIFY THAT THE ACTUAL SITE SOIL PARAMETERS MEET OR EXCEED THE ASSUMED SOIL PARAMETERS PER THIS NOTE AND/OR SHOULD OBTAIN A SOIL REPORT TO DETERMINE THE SOIL CONDITIONS AT THE SITE. FOUNDATION DESIGN MODIFICATIONS MAY BE REQUIRED IN THE EVENT THE ASSUMED SOIL PARAMETERS ARE NOT APPLICABLE FOR THE ACTUAL SUBSURFACE CONDITIONS ENCOUNTERED.
2. CONCRETE TO BE 4000 PSI @ 28 DAYS. REINFORCING BAR TO CONFORM TO ASTM A615 GRADE 60 SPECIFICATIONS. CONCRETE INSTALLATION TO CONFORM TO ACI-318 (2008) BUILDING REQUIREMENTS FOR REINFORCED CONCRETE. ALL CONCRETE TO BE PLACED AGAINST UNDISTURBED EARTH FREE OF WATER AND ALL FOREIGN OBJECTS AND MATERIALS. A MINIMUM OF THREE INCHES OF CONCRETE SHALL COVER ALL REINFORCEMENT. WELDING OF REBAR NOT PERMITTED.
3. A COLD JOINT IS PERMISSIBLE UPON CONSULTATION WITH PIROD. ALL COLD JOINTS SHALL BE COATED WITH BONDING AGENTS PRIOR TO SECOND POUR.
4. ALL FILL SHOULD BE PLACED IN LOOSE LEVEL LIFTS OF NO MORE THAN 12" THICK. FILL MATERIALS SHOULD BE CLEAN AND FREE OF ORGANIC AND FROZEN MATERIALS OR ANY OTHER DELETERIOUS MATERIALS. COMPACT FILL TO 97% OF STANDARD PROCTOR MAXIMUM DRY DENSITY IN ACCORDANCE WITH ASTM D698.
5. BENDING, STRAIGHTENING OR REALIGNING (HOT OR COLD) OF THE ANCHOR BOLTS BY ANY METHOD IS PROHIBITED.
6. CROWN TOP OF FOUNDATION FOR PROPER DRAINAGE.
7. IN THE ABSENCE OF A GEOTECHNICAL REPORT, THE FOLLOWING PRESUMPTIVE SOIL PARAMETERS WERE USED: AN ULTIMATE BEARING PRESSURE OF 5000 PSF, A COHESION OF 1000 PSF, A SOIL UNIT WEIGHT OF 110 PCF, AN ANGLE OF INTERNAL FRICTION OF 0 DEGREES AND NO GROUNDWATER ENCOUNTERED. THESE SOIL PARAMETERS ARE IN COMPLIANCE WITH THE REQUIREMENTS OF ANSI/TIA-222-G-2005 AND CAN BE FOUND IN ANNEX F OF THIS STANDARD.



Nitesh Ahuja, KY Professional Engineer #28866

		WESTOWER COMMUNICATIONS NIPPA AL6167, KY V-27.0 X 255'	
		valmont	
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APPROVED/FOUND.	M_S	1/14/2014	STRUCTURES
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4' - 6" ROUND, CENTERED AROUND THE CIRCULAR REBAR CAGE



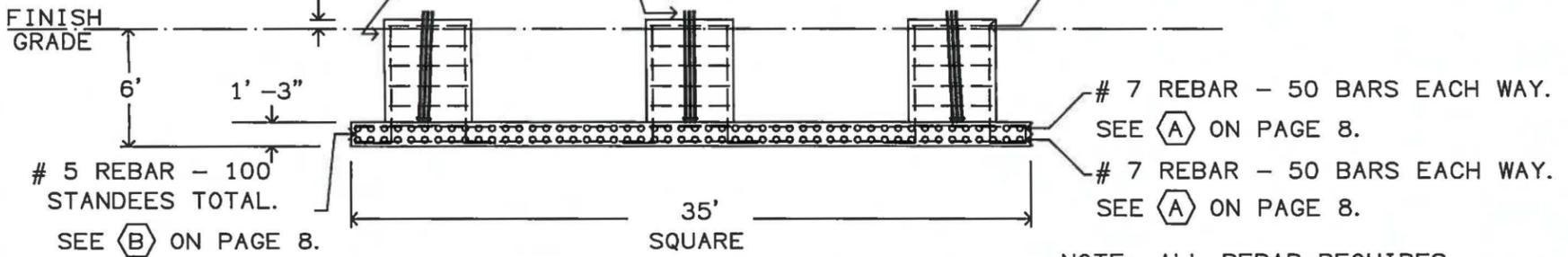
NOTE:
THE CENTROID OF THE TOWER AND THE CENTROID OF THE FOUNDATION ARE NOT AT THE SAME POINT!

NOTE: THE FOUNDATIONS DEPICTED ON THIS DRAWING WERE DESIGNED PER ASSUMED SOIL PARAMETERS. ALTHOUGH IT IS OUR EXPECTATION THAT THE SOIL WILL EXHIBIT SUFFICIENT STRENGTH TO COMPLY WITH THE ASSUMED STRENGTHS, IT IS POSSIBLE THAT THE SOIL MAY NOT EXHIBIT THE REQUIRED STRENGTHS. THEREFORE, IT IS HIGHLY RECOMMENDED THAT THE ASSUMED PROPERTIES BE CONFIRMED BY A GEOTECHNICAL ENGINEER VIA A SOIL REPORT OR AN ON-SITE INSPECTION DURING INSTALLATION.

7 VERTICAL REBAR - SEE (C) ON PAGE 8. 22 PIECES REQ. PER PIER, EQUALLY SPACED, TO BE PLACED INSIDE TIES.

FOR ANCHOR STEEL IDENTIFICATION AND PLACEMENT INFORMATION, SEE PAGE 9 OF THIS DRAWING. SEE PAGE 10 FOR BASE SECTION INSTALLATION DETAIL.

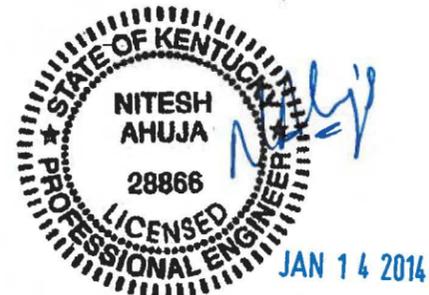
4 TIES - SEE (D) ON PAGE 8. 7 PIECES REQ. PER PIER



NOTE: ALL REBAR REQUIRES MIN. 3" CONCRETE COVERAGE

TOWER FOUNDATION

66.0 CUBIC YARDS CONCRETE REQUIRED FOR INSTALLATION SPECIFICATIONS AND ADDITIONAL INFORMATION, SEE PAGE 6 OF THIS DRAWING.



Nitesh Ahuja, KY Professional Engineer #28866

WESTOWER COMMUNICATIONS
NIPPA AL6167, KY
V-27.0 X 255'

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ENG. FILE NO. A-243504-

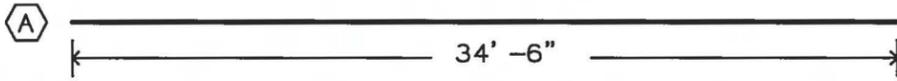
ARCHIVE F-1015871

DRAWING NO.

252661

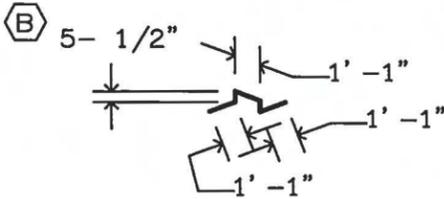
PAGE



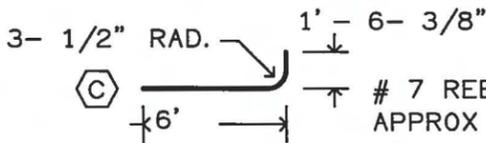


7 REBAR - 200 PIECES REQ. TOTAL
 APPROX WT = 70.5# EACH, 14100# TOTAL

REBAR SUPPORTS MAY CONSIST OF ANY ACCEPTABLE MEANS OF SECURELY SUPPORTING THE TOP REINFORCEMENT GRID ABOVE THE BOTTOM REINFORCEMENT GRID WHILE MAINTAINING A SEPARATION OF 0'-9" (OUTSIDE REBAR TO OUTSIDE REBAR).



5 REBAR - 100 PIECES REQUIRED TOTAL
 TYPE 26 STANDEE PLACED BETWEEN REBAR GRIDS ON NOMINAL 4' SPACING THROUGHOUT
 APPROX UNBENT LENGTH = 4'-3-3/8"
 APPROX WT = 4.5# EACH, 450# TOTAL



7 REBAR - 66 PIECES REQUIRED TOTAL
 APPROX UNBENT LENGTH = 7'-4-7/8"
 APPROX WT = 15.1# EACH, 997# TOTAL

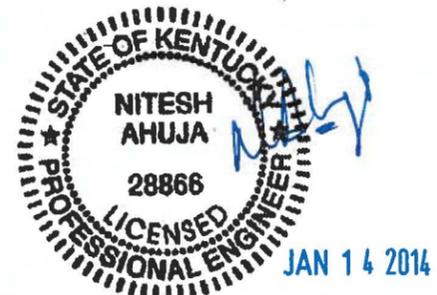


4 REBAR - 21 PIECES REQUIRED TOTAL
 APPROX UNBENT LENGTH = 14'-1-3/8"
 APPROX WT = 9.4# EACH, 197# TOTAL

LAP DIMENSION: 1'-6-1/2"
 PLACE CIRCULAR TIES SO THAT LAPS ON ADJACENT TIES ARE 180 DEGREES APART. PLACE ONE TIE AT TOP OF PAD AND TWO TIES AT TOP OF PIER REBAR. EQUALLY SPACE REMAINING TIES ALONG PIER.

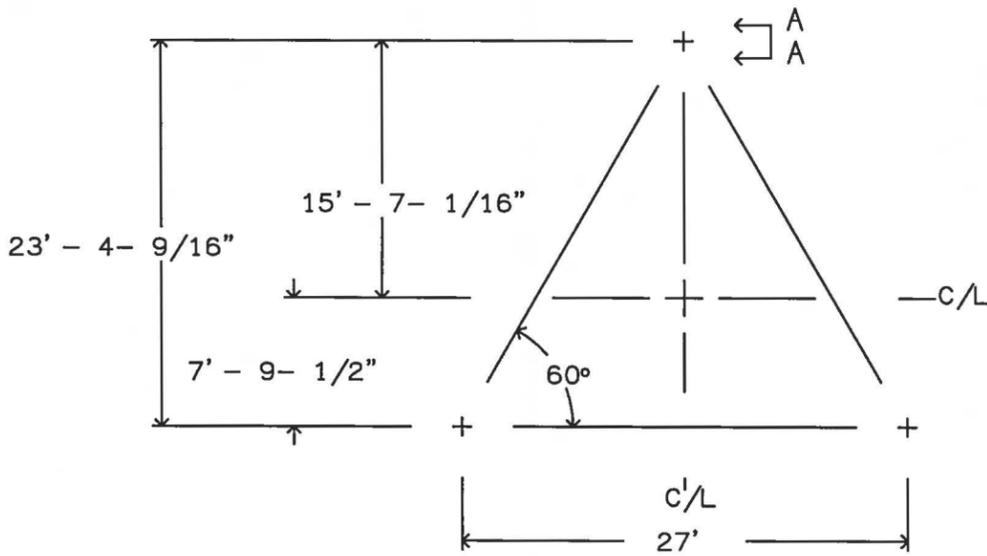
REBAR DETAIL

TOTAL APPROX REBAR WEIGHT = 15744#
 REINFORCING BAR TO CONFORM TO
 ASTM A615 GRADE 60 SPECIFICATIONS.



Nitesh Ahuja, KY Professional Engineer #28866

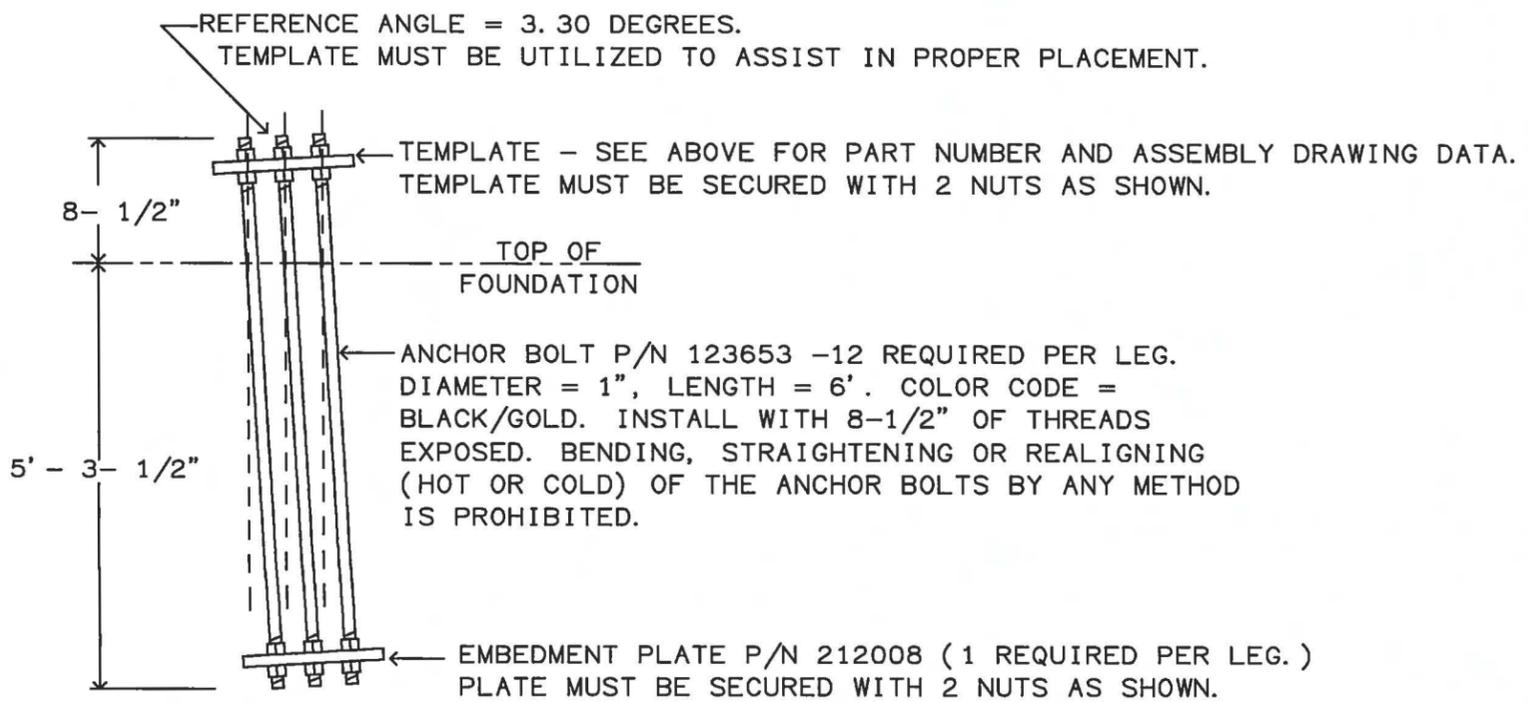
		WESTOWER COMMUNICATIONS NIPPA AL6167, KY V-27.0 X 255'		valmont STRUCTURES	
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TEMPLATE ASSEMBLY P/N 216152 INCLUDES CORNER PLATE P/N 211902, IS REQUIRED FOR INSTALLATION AND MUST BE PLACED AS SHOWN. SEE DRAWING # 211875 FOR TEMPLATE ASSEMBLY DETAILS. SEE PAGE 7 FOR TOWER C/L LOCATION RELATIVE TO THE FOUNDATION LAYOUT. TEMPLATE PLACEMENT +/- 3". EACH LEG MUST BE CENTERED IN PIER WITHIN +/- 10% OF PIER DIAMETER. TEMPLATE MUST BE LEVEL +/- 1 DEGREE. INSTALL TEMPLATE WITH SUFFICIENT SPACE BENEATH (2" MINIMUM) TO PERMIT FINISHING OF CONCRETE AND TO FACILITATE TEMPLATE REMOVAL PRIOR TO TOWER ERECTION.

SEE PAGE 10 FOR BASE SECTION INSTALLATION DETAIL.

TOWER ANCHOR STEEL PLACEMENT - TOP VIEW



VIEW A - A - ANCHOR BOLT INSTALLATION DETAIL (NOT TO SCALE)

ATTENTION CONTRACTOR INSTALLING THE ANCHOR BOLTS!

1" DIAMETER ANCHOR BOLTS FOR TAPERED TOWER.

VERIFY THE PART NUMBERS AND SIZES FOR ALL COMPONENTS ON THIS PAGE AND PAGE 10.

IF THERE ARE ANY DISCREPANCIES, PLEASE NOTIFY PIROD, INC. PRIOR TO INSTALLATION!!



Nitesh Ahuja, KY Professional Engineer #28866

WESTOWER COMMUNICATIONS
NIPPA AL6167, KY
V-27.0 X 255'

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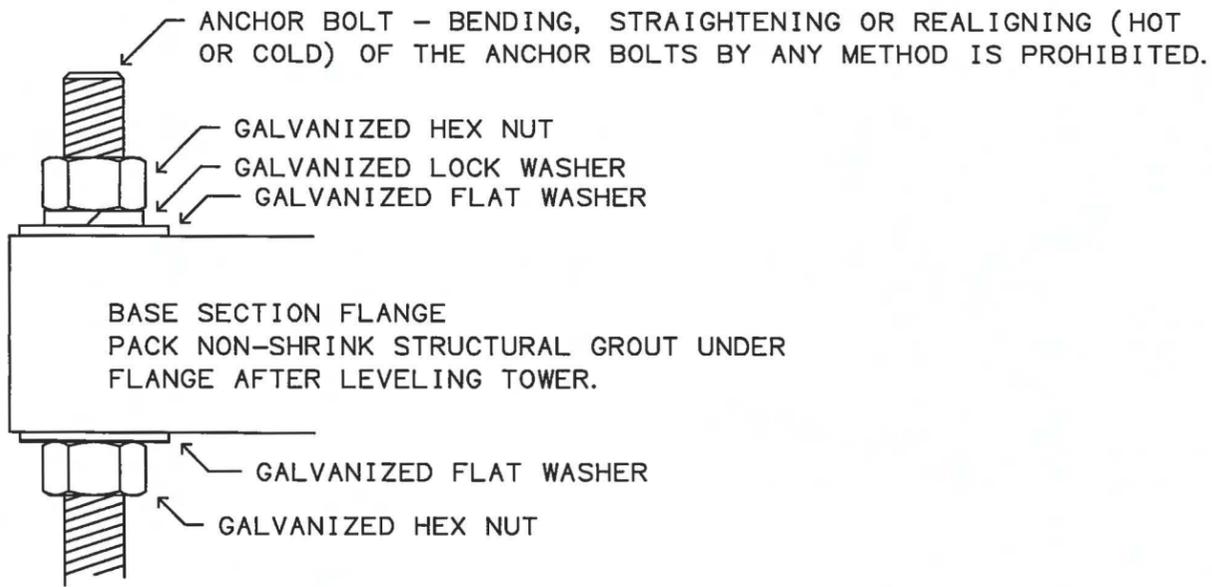


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252661

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BASE SECTION INSTALLATION DETAIL



Nitesh Ahuja, KY Professional Engineer #28866

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EXHIBIT D
COMPETING UTILITIES, CORPORATIONS, OR PERSONS LIST

KY Public Service Commission

Master Utility Search

- Search for the utility of interest by using any single or combination of criteria.
- Enter Partial names to return the closest match for Utility Name and Address/City/Contact entries.

Utility ID	Utility Name	Address/City/Contact	Utility Type	Status
				Active ▼
<input type="text"/> <input type="button" value="Search"/>				

	Utility ID	Utility Name	Utility Type	Class	City	State
<input type="button" value="View"/>	4107900	365 Wireless, LLC	Cellular	D	Atlanta	GA
<input type="button" value="View"/>	4109300	Access Point, Inc.	Cellular	D	Cary	NC
<input type="button" value="View"/>	4108300	Air Voice Wireless, LLC	Cellular	D	Bloomfield Hill	MI
<input type="button" value="View"/>	44451184	Alltel Communications, LLC	Cellular	A	Basking Ridge	NJ
<input type="button" value="View"/>	4107800	American Broadband and Telecommunications Company	Cellular	D	Toledo	OH
<input type="button" value="View"/>	4108650	AmeriMex Communications Corp.	Cellular	B	Roswell	GA
<input type="button" value="View"/>	4105100	AmeriVision Communications, Inc. d/b/a Affinity 4	Cellular	D	Norfolk	VA
<input type="button" value="View"/>	4107400	Bandwidth.com, Inc.	Cellular	B	Raleigh	NC
<input type="button" value="View"/>	4108600	BCN Telecom, Inc.	Cellular	D	Morristown	NJ
<input type="button" value="View"/>	4108750	Blue Jay Wireless, LLC	Cellular	D	Addison	TX
<input type="button" value="View"/>	4202300	Bluegrass Wireless, LLC	Cellular	A	Elizabethtown	KY
<input type="button" value="View"/>	4107600	Boomerang Wireless, LLC	Cellular	D	Hiawatha	IA
<input type="button" value="View"/>	4105600	Budget PrePay, Inc. dba Budget Mobile	Cellular	A	Bossier City	LA
<input type="button" value="View"/>	4105500	BullsEye Telecom, Inc.	Cellular	D	Southfield	MI
<input type="button" value="View"/>	4110050	CampusTVs, Inc.	Cellular	C	Weston	MA
<input type="button" value="View"/>	4100700	Cellco Partnership dba Verizon Wireless	Cellular	A	Basking Ridge	NJ
<input type="button" value="View"/>	4106600	Cintex Wireless, LLC	Cellular	D	Rockville	MD
<input type="button" value="View"/>	4101900	Consumer Cellular,	Cellular	A	Portland	OR

		Incorporated				
View	4104900	Credit Union Wireless, LLC	Cellular	D	Salem	OR
View	4106400	Credo Mobile, Inc.	Cellular	A	San Francisco	CA
View	4108850	Cricket Wireless, LLC	Cellular	D	Alpharetta	GA
View	4001900	CTC Communications Corp. d/b/a EarthLink Business I	Cellular	D	Marlborough	MA
View	10640	Cumberland Cellular Partnership	Cellular	A	Elizabethtown	KY
View	4109250	Defense Mobile Corporation	Cellular	D	Westport	CT
View	4101000	East Kentucky Network, LLC dba Appalachian Wireless	Cellular	A	Ivel	KY
View	4002300	Easy Telephone Service Company dba Easy Wireless	Cellular	D	Ocala	FL
View	4109500	Enhanced Communications Group, LLC	Cellular	D	Bartlesville	OK
View	4109050	EOS Mobile Holdings, LLC	Cellular	D	Southlake	TX
View	4105900	Flash Wireless, LLC	Cellular	D	Concord	NC
View	4107100	Flatel Wireless, Inc dba Zing PCS	Cellular	D	Royal Palm Bch	FL
View	4104800	France Telecom Corporate Solutions L.L.C.	Cellular	D	Oak Hill	VA
View	4109350	Global Connection Inc. of America	Cellular	D	Norcross	GA
View	4102200	Globalstar USA, LLC	Cellular	B	Covington	LA
View	4109600	Google North America Inc.	Cellular	C	Mountain View	CA
View	33350363	Granite Telecommunications, LLC	Cellular	D	Quincy	MA
View	4106000	GreatCall, Inc. d/b/a Jitterbug	Cellular	A	San Diego	CA
View	10630	GTE Wireless of the Midwest dba Verizon Wireless	Cellular	A	Basking Ridge	NJ
View	4103100	i-Wireless, LLC	Cellular	A	Newport	KY
View	4109800	IM Telecom, LLC d/b/a Infiniti Mobile	Cellular	C	Tulsa	OK
View	22215360	KDDI America, Inc.	Cellular	C	New York	NY
View	10872	Kentucky RSA #1 Partnership	Cellular	A	Basking Ridge	NJ
View	10680	Kentucky RSA #3 Cellular General	Cellular	A	Elizabethtown	KY
View	10681	Kentucky RSA #4 Cellular General	Cellular	A	Elizabethtown	KY
View	4109750	Konatel, Inc. dba telecom.mobi	Cellular	C	Johnstown	PA
View	4107300	Lycamobile USA, Inc.	Cellular	D	Newark	NJ
View	4108100	MCC Telephony of the South, LLC	Cellular	D	Mediacom Park	NY
View	4108800	MetroPCS Michigan, LLC	Cellular	A	Bellevue	WA
View	4109650	Mitel Cloud Services, Inc.	Cellular	C	Mesa	AZ
View	4109400	NetZero Wireless, Inc.	Cellular	D	Woodland Hills	CA

View	4202400	New Cingular Wireless PCS, LLC dba AT&T Mobility, PCS	Cellular	A	San Antonio	TX
View	10900	New Par dba Verizon Wireless	Cellular	A	Basking Ridge	NJ
View	4000800	Nextel West Corporation	Cellular	A	Overland Park	KS
View	4104500	Nexus Communications, Inc.	Cellular	D	Columbus	OH
View	4001300	NPCR, Inc. dba Nextel Partners	Cellular	A	Overland Park	KS
View	4001800	OnStar, LLC	Cellular	A	Detroit	MI
View	4109450	Pix Wireless, LLC	Cellular	D	Boca Raton	FL
View	4109850	PLATINUMTEL COMMUNICATIONS, LLC d/b/a Care Wireless	Cellular	C	Justice	IL
View	33351182	PNG Telecommunications, Inc. dba PowerNet Global Communications	Cellular	D	Cincinnati	OH
View	4202100	Powertel/Memphis, Inc. dba T-Mobile	Cellular	A	Bellevue	WA
View	4107700	Puretalk Holdings, LLC	Cellular	A	Covington	GA
View	4106700	Q Link Wireless, LLC	Cellular	A	Dania	FL
View	4108700	Ready Wireless, LLC	Cellular	C	Hiawatha	IA
View	4106200	Rural Cellular Corporation	Cellular	A	Basking Ridge	NJ
View	4108550	Sage Telecom Communications, LLC	Cellular	D	Dallas	TX
View	4109150	SelecTel, Inc. d/b/a SelecTel Wireless	Cellular	D	Freemont	NE
View	4110000	Senior Tech, LLC d/b/a Snapfon	Cellular	C	Chattanooga	TN
View	4106300	SI Wireless, LLC	Cellular	A	Carbondale	IL
View	4109100	Solavei, LLC	Cellular	C	Bellevue	WA
View	4200100	Sprint Spectrum, L.P.	Cellular	A	Atlanta	GA
View	4200500	SprintCom, Inc.	Cellular	A	Atlanta	GA
View	4109550	Stream Communications, LLC	Cellular	C	Dallas	TX
View	4202200	T-Mobile Central, LLC dba T-Mobile	Cellular	A	Bellevue	WA
View	4002500	TAG Mobile, LLC	Cellular	D	Carrollton	TX
View	4109700	Telecom Management, Inc. dba Pioneer Telephone	Cellular	C	South Portland	ME
View	4107200	Telefonica USA, Inc.	Cellular	D	Miami	FL
View	4108900	Telrite Corporation dba Life Wireless	Cellular	D	Covington	GA
View	4108450	Tempo Telecom, LLC	Cellular	D	Kansas City	MO
View	4109950	The People's Operator USA, LLC	Cellular	C	New York	NY
View	4109000	Ting, Inc.	Cellular	B	Toronto	ON
View	4103900	Total Call Mobile, Inc.	Cellular	A	Gardena	CA
View	4103300	Touchtone Communications,	Cellular	D	Whippany	NJ

		Inc.				
View	4104200	TracFone Wireless, Inc.	Cellular	D	Miami	FL
View	4002000	Truphone, Inc.	Cellular	D	Durham	NC
View	4105700	Virgin Mobile USA, L.P.	Cellular	A	Atlanta	GA
View	4104100	WDT Wireless Telecommunications, Inc.	Cellular	D	Dallas	TX
View	4200600	West Virginia PCS Alliance, L.C.	Cellular	A	Waynesboro	VA
View	4106500	WiMacTel, Inc.	Cellular	D	Omaha	NE
View	4110100	Windward Wireless LLC	Cellular	C	Suwanee	GA
View	4109900	Wireless Telecom Cooperative, Inc. dba theWirelessFreeway	Cellular	C	Louisville	KY

EXHIBIT E
FAA



Mail Processing Center
Federal Aviation Administration
Southwest Regional Office
Obstruction Evaluation Group
2601 Meacham Boulevard
Fort Worth, TX 76193

Aeronautical Study No.
2013-ASO-7435-OE

Issued Date: 04/24/2015

John Monday (Judd Yarbrough)
AT&T Mobility
3300 E. Renner Road b3132
Richardson, TX 75082

**** Extension ****

A Determination was issued by the Federal Aviation Administration (FAA) concerning:

Structure:	Antenna Tower Nippa
Location:	Wittensville, KY
Latitude:	37-51-45.37N NAD 83
Longitude:	82-47-11.75W
Heights:	883 feet site elevation (SE) 265 feet above ground level (AGL) 1148 feet above mean sea level (AMSL)

In response to your request for an extension of the effective period of the determination, the FAA has reviewed the aeronautical study in light of current aeronautical operations in the area of the structure and finds that no significant aeronautical changes have occurred which would alter the determination issued for this structure.

Accordingly, pursuant to the authority delegated to me, the effective period of the determination issued under the above cited aeronautical study number is hereby extended and will expire on 10/24/2016 unless otherwise extended, revised, or terminated by this office. You must adhere to all conditions identified in the original determination.

This extension issued in accordance with 49 U.S.C., Section 44718 and, if applicable, Title 14 of the Code of Federal Regulations, part 77, concerns the effect of the structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

A copy of this extension will be forwarded to the Federal Communications Commission (FCC) because the structure is subject to their licensing authority.

If we can be of further assistance, please contact our office at (718) 553-2611. On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2013-ASO-7435-OE.

Signature Control No: 196886818-250046314

(EXT)

Angelique Eersteling
Technician

Attachment(s)
Additional Information

cc: FCC

All conditions previously cited in the original FAA determination will remain in effect.



Mail Processing Center
 Federal Aviation Administration
 Southwest Regional Office
 Obstruction Evaluation Group
 2601 Meacham Boulevard
 Fort Worth, TX 76137

Aeronautical Study No.
 2013-ASO-7435-OE

Issued Date: 11/15/2013

John Monday (Judd Yarbrough)
 AT&T Mobility
 2200 Greenville Ave.
 Richardson, TX 75082

**** DETERMINATION OF NO HAZARD TO AIR NAVIGATION ****

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure:	Antenna Tower Nippa
Location:	Wittensville, KY
Latitude:	37-51-45.37N NAD 83
Longitude:	82-47-11.75W
Heights:	883 feet site elevation (SE) 265 feet above ground level (AGL) 1148 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure does not exceed obstruction standards and would not be a hazard to air navigation provided the following condition(s), if any, is(are) met:

As a condition to this Determination, the structure is marked/lighted in accordance with FAA Advisory circular 70/7460-1 K Change 2, Obstruction Marking and Lighting, a med-dual system - Chapters 4,8(M-Dual),&12.

It is required that FAA Form 7460-2, Notice of Actual Construction or Alteration, be e-filed any time the project is abandoned or:

- At least 10 days prior to start of construction (7460-2, Part I)
- Within 5 days after the construction reaches its greatest height (7460-2, Part II)

This determination expires on 05/15/2015 unless:

- (a) the construction is started (not necessarily completed) and FAA Form 7460-2, Notice of Actual Construction or Alteration, is received by this office.
- (b) extended, revised, or terminated by the issuing office.
- (c) the construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the FCC, within 6 months of the date of this determination. In such case, the determination expires on the date prescribed by the FCC for completion of construction, or the date the FCC denies the application.

NOTE: REQUEST FOR EXTENSION OF THE EFFECTIVE PERIOD OF THIS DETERMINATION MUST BE E-FILED AT LEAST 15 DAYS PRIOR TO THE EXPIRATION DATE. AFTER RE-EVALUATION OF CURRENT OPERATIONS IN THE AREA OF THE STRUCTURE TO DETERMINE THAT NO SIGNIFICANT AERONAUTICAL CHANGES HAVE OCCURRED, YOUR DETERMINATION MAY BE ELIGIBLE FOR ONE EXTENSION OF THE EFFECTIVE PERIOD.

This determination is based, in part, on the foregoing description which includes specific coordinates , heights, frequency(ies) and power . Any changes in coordinates , heights, and frequencies or use of greater power will void this determination. Any future construction or alteration , including increase to heights, power, or the addition of other transmitters, requires separate notice to the FAA.

This determination does include temporary construction equipment such as cranes, derricks, etc., which may be used during actual construction of the structure. However, this equipment shall not exceed the overall heights as indicated above. Equipment which has a height greater than the studied structure requires separate notice to the FAA.

This determination concerns the effect of this structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

Any failure or malfunction that lasts more than thirty (30) minutes and affects a top light or flashing obstruction light, regardless of its position, should be reported immediately to (877) 487-6867 so a Notice to Airmen (NOTAM) can be issued. As soon as the normal operation is restored, notify the same number.

A copy of this determination will be forwarded to the Federal Communications Commission (FCC) because the structure is subject to their licensing authority.

If we can be of further assistance, please contact our office at (847) 294-8084. On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2013-ASO-7435-OE.

Signature Control No: 196886818-201894849

(DNE)

Carole Bernacchi
Technician

Attachment(s)
Frequency Data

cc: FCC

Frequency Data for ASN 2013-ASO-7435-OE

LOW FREQUENCY	HIGH FREQUENCY	FREQUENCY UNIT	ERP	ERP UNIT
698	806	MHz	1000	W
806	824	MHz	500	W
824	849	MHz	500	W
851	866	MHz	500	W
869	894	MHz	500	W
896	901	MHz	500	W
901	902	MHz	7	W
930	931	MHz	3500	W
931	932	MHz	3500	W
932	932.5	MHz	17	dBW
935	940	MHz	1000	W
940	941	MHz	3500	W
1850	1910	MHz	1640	W
1930	1990	MHz	1640	W
2305	2310	MHz	2000	W
2345	2360	MHz	2000	W

EXHIBIT F
KENTUCKY AIRPORT ZONING COMMISSION



KENTUCKY AIRPORT ZONING COMMISSION

STEVEN BESHEAR
Governor

90 Airport Road, Bldg 400
Frankfort, KY 40601
www.transportation.ky.gov/aviation
502 564-4480

October 2, 2015

APPROVAL OF APPLICATION EXTENSION

APPLICANT:

AT&T
AT&T
601 W. Chestnut
Louisville, KY 40203

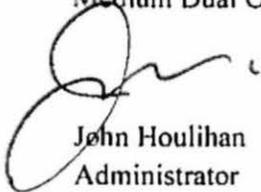
SUBJECT: AS-058-SJS-2013-146

STRUCTURE: Antenna Tower
LOCATION: Wittensville, KY
COORDINATES: 37° 51' 45.52" N / 82° 47' 11.59" W
HEIGHT: 265' AGL/1149' AMSL

The Kentucky Airport Zoning Commission has approved your application for a permit to construct 265' AGL/ 1149' AMSL Antenna Tower near Wittensville, KY 37° 51' 45.52" N / 82° 47' 11.59" W.

This permit is valid for a period of 18 Month(s) from its date of issuance. If construction is not completed within said 18-Month period, this permit shall lapse and be void, and no work shall be performed without the issuance of a new permit.

Medium Dual Obstruction Lighting is required in accordance with 602 KAR 50:100.



John Houlihan
Administrator



An Equal Opportunity Employer M/F/D



KENTUCKY AIRPORT ZONING COMMISSION

STEVEN BESHEAR
Governor

90 Airport Road, Bldg 400
Frankfort, KY 40601
www.transportation.ky.gov/aviation
502 564-4480

CONSTRUCTION/ALTERATION STATUS REPORT

October 2, 2015

AERONAUTICAL STUDY NUMBER: AS-058-SJS-2013-146

AT&T
AT&T
601 W. Chestnut
Louisville, KY 40203

This concerns the permit extension which was issued to you by the Kentucky Airport Zoning Commission on October 2, 2015. This permit is valid for a period of 18 Month(s) from its date of issuance. If construction is not completed within the said 18-Month period, this permit shall lapse and be void, and no work shall be performed without the issuance of a new permit. When appropriate, please indicate the status of the project in the place below and return this letter to John Houlihan, Administrator, Kentucky Airport Zoning Commission, 90 Airport Road, Bldg 400, Frankfort, KY, 40601. 502 564-4480.

STRUCTURE: Antenna Tower
LOCATION: Wittensville, KY
COORDINATES: 37° 51' 45.52" N / 82° 47' 11.59" W
HEIGHT: 265' AGL / 1149' AMSL

CONSTRUCTION/ALTERATION STATUS

1. The project () is abandoned. () is not abandoned.

2. Construction status is as follows:

Structure reached its greatest height of _____ ft. AGL
_____ ft. AMSL on _____ (date).

Date construction was completed. _____

Type of obstruction marking/painting. _____

Type of obstruction lighting. _____

As built coordinates. _____

Miscellaneous Information. _____

DATE _____

SIGNATURE/TITLE _____





KENTUCKY AIRPORT ZONING COMMISSION

STEVEN BESHEAR
Governor

90 Airport Road, Bldg 400
Frankfort, KY 40601
www.transportation.ky.gov/aviation
502 564-4480

April 8, 2014

APPROVAL OF APPLICATION

APPLICANT:

AT&T
AT&T
601 W. Chestnut
Louisville, KY 40203

SUBJECT: AS-058-SJS-2013-146

STRUCTURE: Antenna Tower
LOCATION: Wittensville, KY
COORDINATES: 37° 51' 45.52" N / 82° 47' 11.59" W
HEIGHT: 265' AGL/1149' AMSL

The Kentucky Airport Zoning Commission has approved your application for a permit to construct 265' AGL/ 1149' AMSL Antenna Tower near Wittensville, KY 37° 51' 45.52" N / 82° 47' 11.59" W.

This permit is valid for a period of 18 Month(s) from its date of issuance. If construction is not completed within said 18-Month period, this permit shall lapse and be void, and no work shall be performed without the issuance of a new permit.

A copy of the approved application is enclosed for your files.

Medium Dual Obstruction Lighting is required in accordance with 602 KAR 50:100.


John Houlihan
Administrator



An Equal Opportunity Employer M/F/D



KENTUCKY AIRPORT ZONING COMMISSION

STEVEN BESHEAR
Governor

90 Airport Road, Bldg 400
Frankfort, KY 40601
www.transportation.ky.gov/aviation
502 564-4480

CONSTRUCTION/ALTERATION STATUS REPORT

April 8, 2014

AERONAUTICAL STUDY NUMBER: AS-058-SJS-2013-146

AT&T
AT&T
601 W. Chestnut
Louisville, KY 40203

This concerns the permit which was issued to you by the Kentucky Airport Zoning Commission on April 8, 2014. This permit is valid for a period of 18 Month(s) from its date of issuance. If construction is not completed within the said 18-Month period, this permit shall lapse and be void, and no work shall be performed without the issuance of a new permit. When appropriate, please indicate the status of the project in the place below and return this letter to John Houlihan, Administrator, Kentucky Airport Zoning Commission, 90 Airport Road, Bldg 400, Frankfort, KY, 40601. 502 564-4480.

STRUCTURE: Antenna Tower
LOCATION: Wittensville, KY
COORDINATES: 37° 51' 45.52" N / 82° 47' 11.59" W
HEIGHT: 265' AGL / 1149' AMSL

CONSTRUCTION/ALTERATION STATUS

1. The project () is abandoned. () is not abandoned.

2. Construction status is as follows:

Structure reached its greatest height of _____ ft. AGL
_____ ft. AMSL on _____ (date).

Date construction was completed. _____

Type of obstruction marking/painting. _____

Type of obstruction lighting. _____

As built coordinates. _____

Miscellaneous Information. _____

DATE _____

SIGNATURE/TITLE _____



NIPPA SITE



KENTUCKY TRANSPORTATION CABINET

TC 56-50
Rev. 07/2010
Page 2 of 2

KENTUCKY AIRPORT ZONING COMMISSION

APPLICATION FOR PERMIT TO CONSTRUCT OR ALTER A STRUCTURE

APPLICANT (name) AT&T		PHONE 502-779-5951	FAX	KY AERONAUTICAL STUDY # AS-058-K22-2013-146
ADDRESS (street) 601 W. Chestnut		CITY Louisville	STATE KY	ZIP 40203
APPLICANT'S REPRESENTATIVE (name) Kit Nickel		PHONE 614-582-8825	FAX 614-583-9148	
ADDRESS (street) 3173 Deanpark Drive		CITY Hilliard	STATE OH	ZIP 43026
APPLICATION FOR <input checked="" type="checkbox"/> New Construction <input type="checkbox"/> Alteration <input type="checkbox"/> Existing			WORK SCHEDULE	
DURATION <input type="checkbox"/> Permanent <input type="checkbox"/> Temporary (months days)			Start End	
TYPE <input type="checkbox"/> Crane <input type="checkbox"/> Building <input checked="" type="checkbox"/> Antenna Tower <input type="checkbox"/> Power Line <input type="checkbox"/> Water Tank <input type="checkbox"/> Landfill <input type="checkbox"/> Other		MARKING/PAINTING/LIGHTING PREFERRED <input type="checkbox"/> Red Lights & Paint <input type="checkbox"/> White- medium intensity <input type="checkbox"/> White- high intensity <input checked="" type="checkbox"/> Dual- red & medium intensity white <input type="checkbox"/> Dual- red & high intensity white <input type="checkbox"/> Other		
LATITUDE 37°51'45.52"		LONGITUDE 82°47'11.59"		DATUM <input checked="" type="checkbox"/> NAD83 <input type="checkbox"/> NAD27 <input type="checkbox"/> Other
NEAREST KENTUCKY City Wittensville County Johnson ✓		NEAREST KENTUCKY PUBLIC USE OR MILITARY AIRPORT		
SITE ELEVATION (AMSL, feet) 884.0		TOTAL STRUCTURE HEIGHT (AGL, feet) 265		CURRENT (FAA aeronautical study #)
OVERALL HEIGHT (site elevation plus total structure height, feet) 1149.0				PREVIOUS (FAA aeronautical study #)
DISTANCE (from nearest Kentucky public use or Military airport to structure)				PREVIOUS (KY aeronautical study #)
DIRECTION (from nearest Kentucky public use or Military airport to structure)				
DESCRIPTION OF LOCATION (Attach USGS 7.5 minute quadrangle map or an airport layout drawing with the precise site marked and any certified survey.) Site is 1/2 mile East of Wittensville, KY				
DESCRIPTION OF PROPOSAL AT&T is proposing to construct a 255' self-supporting tower, with lightning rod of up to 10', for a total height of 265'.				
FAA Form 7460-1 (Has the "Notice of Construction or Alteration" been filed with the Federal Aviation Administration?) <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes, when? unknown date of submission				
CERTIFICATION (I hereby certify that all the above entries, made by me, are true, complete, and correct to the best of my knowledge and belief.)				
PENALTIES (Persons failing to comply with KRS 183.861 to 183.990 and 602 KAR 050 are liable for fines and/or imprisonment as set forth in KRS 183.990(3). Noncompliance with FAA regulations may result in further penalties.)				
NAME Kit Nickel	TITLE Agent for AT&T	SIGNATURE <i>Kit Nickel, as agent</i>	DATE September 5, 2013	
COMMISSION ACTION		<input type="checkbox"/> Chairperson, KAZC <input checked="" type="checkbox"/> Administrator, KAZC		
<input checked="" type="checkbox"/> Approved <input type="checkbox"/> Disapproved		SIGNATURE <i>[Signature]</i>		DATE 9-8-14

EXHIBIT G
GEOTECHNICAL REPORT



ENVIRONMENTAL CORPORATION OF AMERICA

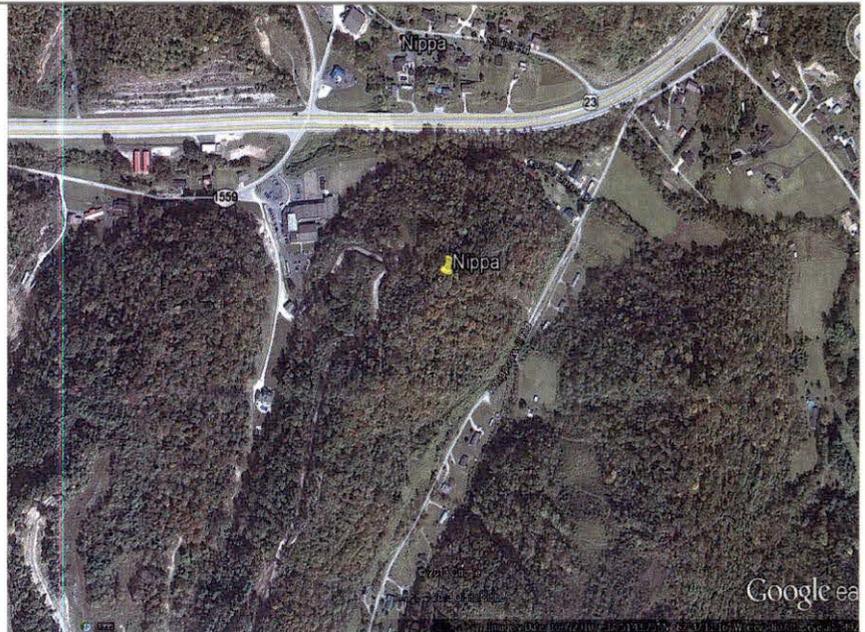
ENVIRONMENTAL | GEOTECHNICAL | WETLANDS | ECOLOGY | CULTURAL RESOURCES

Geotechnical Investigation

AT&T Site (Nippa)

Off Old US Highway 23
Whitensville, Kentucky
Johnson County

ECA Project No. P1327



SUBMITTED TO:

WesTower Communications
10400 Linn Station Road, Suite 225
Louisville, KY 40223

PREPARED BY:

Environmental Corporation of America
1375 Union Hill Industrial Court, Suite A
Alpharetta, GA 30004



ENVIRONMENTAL CORPORATION OF AMERICA

ENVIRONMENTAL | GEOTECHNICAL | WETLANDS | ECOLOGY | CULTURAL RESOURCES

March 4, 2014

WesTower Communications
10400 Linn Station Road, Suite 225
Louisville, KY 40223

Attention: Mr. John Boud

Subject: **Report of Geotechnical Investigation
AT&T Site NIPPA
Off Old US Highway 23
Whitensville, Johnson County, Kentucky
ECA Project No. P1327**

Dear Mr. Boud:

Environmental Corporation of America (ECA) is pleased to submit this report of our investigation for the proposed project. Our services were provided as authorized via purchase order dated October 1, 2013.

This report presents a review of the information provided to us, a description of the site and subsurface conditions, and our recommendations. The appendices contain a Boring Location Plan and a Boring Log.

Purpose and Scope of Work

The purpose of this exploration was to obtain specific subsurface data at the site and to provide geotechnical-related design parameters and construction recommendations for the proposed tower.

Our scope of work included the following:

- Two soil test borings were drilled to depths of 7.8 and 8 ft below the ground surface (bgs). Figure 1 shows the boring locations. Standard penetration tests (SPTs) were conducted to obtain soil samples and SPT (N) values, in accordance with ASTM D1586.
- The depth to groundwater, if any, was measured in the borings after drilling was completed.

- The soil samples were visually classified and a boring log was prepared. The soil conditions were evaluated by a registered professional engineer and this geotechnical report was prepared with our recommendations.

No physical testing of soil samples has been conducted to calculate site specific bearing capacities or settlements. We have recommended design parameters and settlements based on the SPT (N) values, an examination of the soil samples, and our experience with similar soil conditions and structures.

Project Information

We were provided with a survey of the Property by Power of Design dated September 10, 2013. The Property is located in a wooded area south of Old US Highway 23.

We understand that plans call for the construction of a 255-foot self-supporting lattice tower on the site. We assume that the equipment building/cabinets will be pre-fabricated structures supported on a turned-down slab foundation.

Site Conditions

The fieldwork was conducted on February 25, 2014. Information obtained from the borings was used to help us evaluate the subsurface conditions and to assist in formulating our recommendations.

Subsurface Conditions

The subsurface conditions were explored with two borings drilled approximately as shown on Figure 1.

The borings encountered sandy silt and very silty sand overlying apparent bedrock at approximately 8 feet. The soils classified as ML and SM soil types based on the Unified Soil Classification System (USCS). The N-values are shown on the attached boring log and ranged from 34 to over 100 blows per foot (bpf). Auger refusal was encountered at 8 feet in boring B-1. Boring B-1A was offset approximately 5 feet south and auger refusal was encountered at 7.8 feet.

Groundwater was not present in the borings at the time of completion.

Recommendations

Tower Foundations: The subsurface conditions are suitable for support of the tower using a mat foundation. Due to the shallow depth to bedrock, a caisson foundation would not be feasible.

For a pad and pier foundation design, the soils are capable of a maximum, net allowable design bearing pressure of 6.0 ksf with the base bearing at or below 4-feet from existing grade. Total and differential settlement should be less than 1-inch and 1/2-inch, respectively. Soil parameters that may be of use in design are as follows:

Cohesion	1500 psf
Angle of internal friction	10°
Unit weight of soil	115 pcf

Groundwater should not be encountered in a mat foundation excavation.

Building Foundations: The proposed equipment cabinet(s) can be supported on a spread footing foundation. A maximum allowable net bearing pressure of 2.0 kips per ft² should be used to design the building/cabinet foundation. Total and differential settlements should be less than 1/2-inch and 1/4-inch, respectively.

Foundation Excavations: To avoid softening of the shallow soils exposed at the foundation bearing level, excavations should not be left open for extended periods, prior to placing reinforcing steel and concrete. If rain or freezing weather is expected, excavations should not be completed. Leaving the excavations at least 1 ft above final grade should protect the bearing soils from deterioration.

If the excavation must remain open overnight or if rainfall becomes imminent while the bearing soils are exposed, we recommend that a 2 to 4-inch thick "mud-mat" of "lean" (2000 psi) concrete be placed on the bearing soils before the placement of reinforcing steel. If the bearing soils are softened by surface water intrusion or exposure, the softened soils must be removed from the foundation excavation bottom immediately prior to placement of concrete.

Fill Placement: The amount of fill required for this project depends on the planned final grades, but we expect it to be minimal. Any required fill should be placed in maximum 8-inch thick lifts. The soil moisture content should be close to the optimum moisture content. The soil should be compacted to at least 98% of the maximum dry density, as determined by the standard Proctor method (ASTM D-698).

In areas supporting floor slabs or pavements, the upper 18 inches of fill should be compacted to 100% of the standard Proctor density. As no laboratory testing has been conducted, we do not know the capability of the surficial soil to support pavements. However, we suggest that the upper soils be replaced by granular fill in areas of heavy traffic to improve the subgrade support capabilities and moisture sensitivity.

Field density tests should be conducted at routine intervals, as the fill is being placed, to verify that adequate compaction is achieved.

Prior to placing any new fill, any soft or loose near surface soils should be removed and the area proofrolled with a heavy vehicle to confirm that any unsuitable soil conditions have been discovered.

Basis for Recommendations

The subsurface conditions encountered at the boring location are shown on the Boring Log in Appendix B. This Boring Log represents our interpretation of the subsurface conditions based on the field logs and visual examination of field samples by an engineer. The lines designating the interface between various strata on the Boring Log represent the approximate interface locations. In addition, the transition between strata may be gradual. The water level shown on the Boring Log, if any, represents the condition only at the time of our exploration.

The recommendations contained herein are based in part on project information provided to us and only apply to the specific project and site discussed in this report. If the project information section in this report contains incorrect information or if additional information is available, please let us know so that we may review the validity of our recommendations.

Regardless of the thoroughness of a geotechnical investigation, there is always a possibility that conditions between borings will be different from those at specific boring locations and that conditions will not be as anticipated by the designers or contractors. In addition, the construction process may itself alter soil conditions. Therefore, experienced geotechnical personnel should observe and document the construction procedures used and the conditions encountered. Unanticipated conditions and inadequate procedures should be reported to the design team along with timely recommendations to solve the problems created. ECA is best qualified to provide this service based on our familiarity with the project, the subsurface conditions, and the intent of the recommendations and design.

We wish to remind you that we will store the soil samples for 30 days. The samples will then be discarded unless you request otherwise.

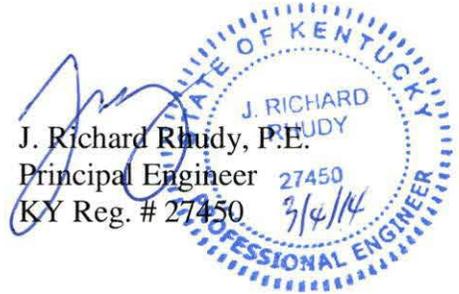
Mr. Boud
Page 5

We will be happy to discuss our recommendations with you and look forward to providing the additional studies or services necessary to complete this project. We appreciate the opportunity to be of service. Please call us with any questions at (770) 667-2040.

Sincerely,
Environmental Corporation of America



Kelby Williams, EIT
Project Engineer

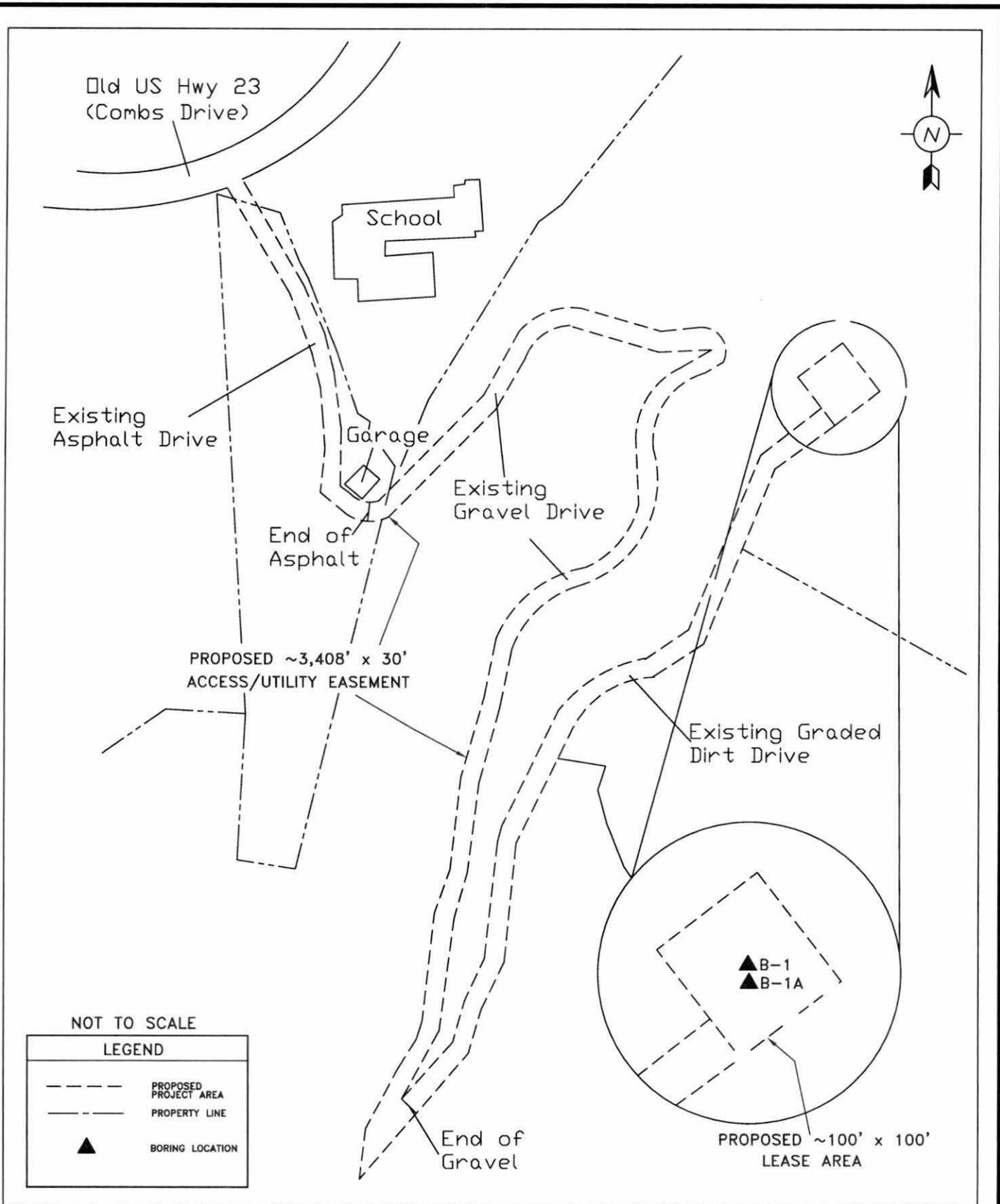


J. Richard Rhudy, P.E.
Principal Engineer
KY Reg. # 27450
3/4/14

Appendix A Boring Location Plan
Appendix B Boring Log

APPENDIX A

Boring Location Plan



AT&T Site KYALU6167 (Nippa)
Off Old US Highway 23
Wittensville, Johnson County, Kentucky

Figure 1: Boring Location Plan

SOURCE: ECA Site Visit and Site
Survey

DRAWN BY: JLD/KLW DATE: 3/3/2014
FILE NAME: F:\%P1327\ .dwg



ECA Project # P1327

APPENDIX B

Boring Log

Project: AT&T Site (Nippa)

Log of Boring: B-1/B-1A

City, State Wittensville, Kentucky

Client: Westower

Drill Date: February 25, 2014

ECA Job No: P1327

Field Rep: Tyler

Elevation (ft)	Depth	SUBSURFACE PROFILE		SAMPLE								
		Symbol	Description	Blow Counts (per ft)	SPT Values (blows/ft)		Remarks					
					10	20		30	40			
0	0		Ground Surface									
-3			Hard tan sandy SILT (ML)	34								
	5		<i>Partially Weathered Rock</i> Very dense tan very silty SAND (SM)	100+								
-8			Boring Terminated	100+								
	10											
	15											
	20											
	25											
	30											
	35											
	40											

Drilled By: Tri-State Drilling

Depth to Water: N/A

Borehole Size: 2.25" ID

Total Depth: 8 ft

Drill Method: Hollow Stem Augers

Sheet: 1 of 1

Environmental Corp. of America
1375 Union Hill Indus. Ct., Ste A
Alpharetta, GA 30004
(770) 667-2040



EXHIBIT H
DIRECTIONS TO WCF SITE

Driving Directions to Proposed Tower Site at Nippa

1. Beginning at the Johnson County Clerk's office located at 230 Court Street, Paintsville, KY, head north on Court Street toward 3rd Street.
2. Turn left onto 3rd Street and continue for approximately 0.2 miles.
3. Turn right onto West Street and travel approximately 105 feet.
4. West Street turns slightly left and becomes 3rd St. / U.S. 23 Bus. Continue to follow U.S. 23 Bus for approximately 1.5 miles.
5. Turn right onto KY-321 North and travel for approximately 0.8 miles.
6. Turn right onto US-23 North and travel for approximately 3.0 miles. The site will be on the right.
7. The site coordinates are
 - a. North 37 deg 51' 45.52"
 - b. West 82 deg 47' 11.59"



Prepared by:
Aaron L. Roof
Pike Legal Group PLLC
1578 Highway 44 East, Suite 6
P.O. Box 369
Shepherdsville, KY 40165-3069
Telephone: 502-955-4400 or 800-516-4293

EXHIBIT I
COPY OF REAL ESTATE AGREEMENT

MEMORANDUM OF LEASE

Prepared by:

Kit Nickel

PBM Wireless

13714 Smokey Ridge Overlook

Carmel, IN 46033

Return to:

New Cingular Wireless PCS, LLC

Attn: Network Real Estate Administration

575 Morosgo Drive NE,

Suite 13-F West Tower,

Atlanta, GA 30324

Re: Cell Site # KYALU6167; Cell Site Name: NIPPA

Fixed Asset # 12568748

State: KENTUCKY

County: JOHNSON

MEMORANDUM
OF
LEASE

This Memorandum of Lease is entered into on this 19th day of December, 2013, by and between CHRIS FERGUSON AND JENNIFER FERGUSON, HUSBAND AND WIFE, having a mailing address of PO BOX 625, WITTENSVILLE, KY 41274 (hereinafter referred to as "**Landlord**") and New Cingular Wireless PCS, LLC, a Delaware limited liability company, having a mailing address of 575 Morosgo Drive NE, Suite 13-F West Tower, Atlanta, Ga 30324 (hereinafter referred to as "**Tenant**").

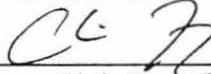
1. Landlord and Tenant entered into a certain Option and Lease Agreement ("**Agreement**") on the 19th day of December, 2013, for the purpose of installing, operating and maintaining a communications facility and other improvements. All of the foregoing is set forth in the Agreement.
2. The initial lease term will be five (5) years commencing on the effective date of written notification by Tenant to Landlord of Tenant's exercise of its option, with four (4) successive five (5) year options to renew.

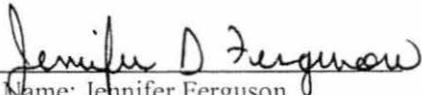
3. The portion of the land being leased to Tenant and associated easements are described in **Exhibit 1** annexed hereto.
4. This Memorandum of Lease is not intended to amend or modify, and shall not be deemed or construed as amending or modifying, any of the terms, conditions or provisions of the Agreement, all of which are hereby ratified and affirmed. In the event of a conflict between the provisions of this Memorandum of Lease and the provisions of the Agreement, the provisions of the Agreement shall control. The Agreement shall be binding upon and inure to the benefit of the parties and their respective heirs, successors, and assigns, subject to the provisions of the Agreement.

IN WITNESS WHEREOF, the parties have executed this Memorandum of Lease as of the day and year first above written.

"LANDLORD"

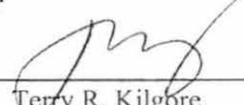
CHRIS FERGUSON AND JENNIFER FERGUSON,
HUSBAND AND WIFE

By: 
Print Name: Chris Ferguson
Its: Owner
Date: 10-1-13

By: 
Print Name: Jennifer Ferguson
Its: Owner
Date: 10-1-13

"TENANT"

New Cingular Wireless PCS, LLC,
a Delaware limited liability company
By: AT&T Mobility Corporation
Its: Manager

By: 
Print Name: Terry R. Kilgore
Its: Area Manager, C&E
Date: 12/19/13

[ACKNOWLEDGMENTS APPEAR ON THE NEXT PAGE]

TENANT ACKNOWLEDGMENT

STATE OF Georgia)
) ss:
COUNTY OF Fulton)

On the 19th day of December, 2013, before me personally appeared Terry R. Kilgore, and acknowledged under oath that he/she is the Area Mgr. Const. & Engrg. of AT&T Mobility Corporation, the Manager of New Cingular Wireless PCS, LLC, the Tenant named in the attached instrument, and as such was authorized to execute this instrument on behalf of the Tenant.

Daphne Robertson
Notary Public: DAPHNE ROBERTSON
My Commission Expires: 7/5/15

LANDLORD ACKNOWLEDGMENT

STATE OF Kentucky)
) ss:
COUNTY OF Johnson)

On the 1st day of October, 2013 before me, personally appeared Chris Ferguson and Jennifer Ferguson, who acknowledged under oath, that they are the persons named in the within instrument, and that they executed the same in their stated capacity as the voluntary act and deed of the Landlord for the purposes therein contained.

Robin Meek
Notary Public: Robin Meek
My Commission Expires: 02-11-17
#483071

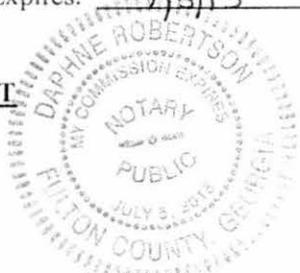


EXHIBIT 1

DESCRIPTION OF PREMISES

Page 1 of 5

to the Option and Lease Agreement dated December 19, 2013, by and between Chris Ferguson and Jennifer Ferguson, Husband and Wife, as Landlord, and New Cingular Wireless PCS, LLC, a Delaware limited liability company, as Tenant.

The Property is legally described as follows:

Beginning at a concrete and steel stake at the Bonita VanHoose lane and the W.R. Castle property and Danny VanHoose line; thence following the Danny VanHoose line South West to an iron and cement pin at the base of a stump at point 102.05 of the survey map of Alcheny Engineering Associates, Inc., filed of record of even date, said survey map having been made September 10, 1999.

Thence in a straight line South following the old John Walker line; to the top of the hill to a steel and concrete stake; thence following the ridge East at the point it joins the wipple will creek at a steel stake; thence down the center of the ridge in a North Westerly direction with the old bob wire fence to Toms Creek; thence Westerly up Toms Creek to the W.R. Castle School Board line following along the survey map of Alcheny Engineering Associates, Inc., made September 10, 1999, recorded of even date to a 5"x 5" concrete marker; thence to the drain at the W.R. Castle line at Bonita lane in a Westerly direction back to the point of beginning. Containing approximately 60 acres more or less

Grantors further convey any and all interest they may own or have ever owned in the property commonly referred to as the "Old Doc W.R. Castle Farm". Grantors further declare that to the best of their knowledge, the mineral rights have not been sold from this property and therefore convey any and all mineral rights of any kind that they may own or have ever owned in this property to the Grantees.

Being the same property conveyed to Chris D. Ferguson and Jennifer D. Ferguson by Deed dated February 3, 2007, of record in Deed Book 404, Page 672, in the Office of the Clerk of Johnson County, Kentucky. Also see Deed Book 38, Page 582.

The Premises are a 10,000 square foot portion (100' x 100') of the above described Property along with a 30' access and utility easement described as follows:

EXHIBIT 1

DESCRIPTION OF PREMISES

Page 2 of 5

PROPOSED LEASE AREA

Beginning at a found 5/8" rebar capped DIA ENGR / BIGGS PLS 1965" in the southeast line of the property conveyed to W R Castle Memorial School c/o Johnson County Brd of Ed as recorded in Deed Book 145, Page 167 in the office of the clerk of the county court of Johnson County, Kentucky, being N 18°28'35" E - 111.50' from a found 5"x5" concrete marker post also in said southeast line; thence traversing said W R Castle property, N 42°02'45" W - 828.38' to a set PK nail in the south right-of-way line of Combs Drive aka Old US 23; thence S 30°40'44" E - 172.66' to a set PK nail on the property conveyed to Chris & Jennifer Ferguson as recorded in Deed Book 386, Page 187 in the aforesaid clerk's office; thence traversing said Ferguson property with the arc of a curve to the right with a radius of 600.00' and a chord bearing of S 11°43'08" E - 389.89' to a set PK nail; thence S 53°01'51" E - 48.53' to a set PK nail; thence with the arc of a curve to the left with a radius of 50.00' and a chord bearing of N 86°12'26" E - 65.29' to a set 5/8" rebar capped "Patterson PLS 3136" on the property conveyed to Chris & Jennifer Ferguson as recorded in Deed Book 404, Page 672 in the aforesaid clerk's office; thence traversing said Ferguson property, N 45°26'42" E - 193.99' to a set 5/8" rebar capped "Patterson PLS 3136"; thence with the arc of a curve to the left with a radius of 300.00' and a chord bearing of N 37°09'47" E - 86.43' to a set 5/8" rebar capped "Patterson PLS 3136"; thence N 28°52'52" E - 90.00' to a set 5/8" rebar capped "Patterson PLS 3136"; thence with the arc of a curve to the right with a radius of 85.00' and a chord bearing of N 68°06'35" E - 107.51' to a set 5/8" rebar capped "Patterson PLS 3136"; thence S 72°39'42" E - 149.18' to a set 5/8" rebar capped "Patterson PLS 3136"; thence N 81°32'18" E - 75.98' to a set 5/8" rebar capped "Patterson PLS 3136"; thence with the arc of a curve to the right with a radius of 20.00' and a chord bearing of S 18°34'53" E - 39.38' to a set 5/8" rebar capped "Patterson PLS 3136"; thence S 61°17'56" W - 69.90' to a set 5/8" rebar capped "Patterson PLS 3136"; thence with the arc of a curve to the left with a radius of 115.00' and a chord bearing of S 28°20'55" W - 125.10' to a set 5/8" rebar capped "Patterson PLS 3136"; thence S 04°36'05" E - 78.53' to a set 5/8" rebar capped "Patterson PLS 3136"; thence with the arc of a curve to the right with a radius of 150.00' and a chord bearing of S 36°49'49" W - 198.52' to a set 5/8" rebar capped "Patterson PLS 3136"; thence with the arc of a curve to the left with a radius of 175.00' and a chord bearing of S 44°23'55" W - 195.03' to a set 5/8" rebar capped "Patterson PLS 3136"; thence S 10°32'06" W - 96.43' to a set 5/8" rebar capped "Patterson PLS 3136"; thence S 16°26'09" W - 124.21' to a set 5/8" rebar capped "Patterson PLS 3136"; thence S 07°38'13" W - 164.71' to a set 5/8" rebar capped "Patterson PLS 3136"; thence S 15°48'06" W - 78.32' to a set 5/8" rebar capped "Patterson PLS 3136"; thence S 06°21'38" W - 147.07' to a set 5/8" rebar capped "Patterson PLS 3136"; thence with the arc of a curve to the right with a radius of 250.00' and a chord bearing of S 18°47'08" W - 107.58' to a set 5/8" rebar capped "Patterson PLS 3136"; thence S 31°12'38" W - 88.93' to a set 5/8" rebar capped "Patterson PLS 3136"; thence with the arc of a curve to the left with a radius of 250.00' and a chord bearing of S 20°18'58" W - 94.50' to a set 5/8" rebar capped "Patterson PLS 3136"; thence N 36°32'01" E - 56.34' to a set 5/8" rebar capped "Patterson PLS 3136"; thence N 41°45'09" E - 182.28' to a set 5/8" rebar capped "Patterson PLS 3136"; thence N 17°20'41" E - 87.93' to a set 5/8" rebar capped "Patterson PLS 3136"; thence N 26°06'08" E - 75.22' to a set 5/8" rebar capped "Patterson PLS 3136"; thence N 06°22'22" E - 202.11' to a set 5/8" rebar capped "Patterson PLS 3136"; thence N 16°05'48" E - 52.21' to a set 5/8" rebar capped "Patterson PLS 3136"; thence N 27°29'26" E - 197.06' to a set 5/8" rebar capped "Patterson PLS 3136"; thence with the arc of a curve to the right with a radius of 160.00' and a chord bearing of N 55°09'58" E - 148.63' to a set 5/8" rebar capped "Patterson PLS 3136"; thence N 82°50'31" E - 22.21' to a set 5/8"

EXHIBIT 1

DESCRIPTION OF PREMISES

Page 3 of 5

rebar capped "Patterson PLS 3136"; thence N 56°25'03" E - 95.94' to a set 5/8" rebar capped "Patterson PLS 3136"; thence N 20°29'57" E - 168.68' to a set 5/8" rebar capped "Patterson PLS 3136"; thence N 24°01'11" E - 162.72' to a set 5/8" rebar capped "Patterson PLS 3136"; thence N 51°41'18" E - 127.24' to a set 5/8" rebar capped "Patterson PLS 3136" and the true point of beginning of the proposed lease area; thence N 36°31'13" W - 84.99' to a set 5/8" rebar capped "Patterson PLS 3136"; thence N 53°28'47" E - 100.00' to a set 5/8" rebar capped "Patterson PLS 3136"; thence S 36°31'13" E - 100.00' to a set 5/8" rebar capped "Patterson PLS 3136"; thence S 53°28'47" W - 100.00' to a set 5/8" rebar capped "Patterson PLS 3136"; thence N 36°31'13" W - 15.01' to the true point of beginning containing 10,000 square feet as per survey by Mark E. Patterson, PLS #3136 with Power of Design Group, LLC dated September 10, 2013.

CENTERLINE PROPOSED 30' ACCESS & UTILITY EASEMENT

Beginning at a found 5/8" rebar capped "DIA ENGR / BIGGS PLS 1965" in the southeast line of the property conveyed to W R Castle Memorial School c/o Johnson County Brd of Ed as recorded in Deed Book 145, Page 167 in the office of the clerk of the county court of Johnson County, Kentucky, being N 18°28'35" E - 111.50' from a found 5"x5" concrete marker post also in said southeast line; thence traversing said W R Castle property, N 42°02'45" W - 828.38' to a set PK nail in the south right-of-way line of Combs Drive aka Old US 23 and the true point of beginning of the centerline of the proposed 30' access & utility easement; thence with said centerline, S 30°40'44" E - 172.66' to a set PK nail on the property conveyed to Chris & Jennifer Ferguson as recorded in Deed Book 386, Page 187 in the aforesaid clerk's office; thence traversing said Ferguson property with the arc of a curve to the right with a radius of 600.00' and a chord bearing of S 11°43'08" E - 389.89' to a set PK nail; thence S 53°01'51" E - 48.53' to a set PK nail; thence with the arc of a curve to the left with a radius of 50.00' and a chord bearing of N 86°12'26" E - 65.29' to a set 5/8" rebar capped "Patterson PLS 3136" on the property conveyed to Chris & Jennifer Ferguson as recorded in Deed Book 404, Page 672 in the aforesaid clerk's office; thence traversing said Ferguson property, N 45°26'42" E - 193.99' to a set 5/8" rebar capped "Patterson PLS 3136"; thence with the arc of a curve to the left with a radius of 300.00' and a chord bearing of N 37°09'47" E - 86.43' to a set 5/8" rebar capped "Patterson PLS 3136"; thence N 28°52'52" E - 90.00' to a set 5/8" rebar capped "Patterson PLS 3136"; thence with the arc of a curve to the right with a radius of 85.00' and a chord bearing of N 68°06'35" E - 107.51' to a set 5/8" rebar capped "Patterson PLS 3136"; thence S 72°39'42" E - 149.18' to a set 5/8" rebar capped "Patterson PLS 3136"; thence N 81°32'18" E - 75.98' to a set 5/8" rebar capped "Patterson PLS 3136"; thence with the arc of a curve to the right with a radius of 20.00' and a chord bearing of S 18°34'53" E - 39.38' to a set 5/8" rebar capped "Patterson PLS 3136"; thence S 61°17'56" W - 69.90' to a set 5/8" rebar capped "Patterson PLS 3136"; thence with the arc of a curve to the left with a radius of 115.00' and a chord bearing of S 28°20'55" W - 125.10' to a set 5/8" rebar capped "Patterson PLS 3136"; thence S 04°36'05" E - 78.53' to a set 5/8" rebar capped "Patterson PLS 3136"; thence with the arc of a curve to the right with a radius of 150.00' and a chord bearing of S 36°49'49" W - 198.52' to a set 5/8" rebar capped "Patterson PLS 3136"; thence with the arc of a curve to the left with a radius of 175.00' and a chord bearing of S 44°23'55" W - 195.03' to a set 5/8" rebar capped "Patterson PLS 3136"; thence S 10°32'06" W - 96.43' to a set 5/8" rebar capped "Patterson PLS 3136"; thence S 16°26'09" W - 124.21' to a set 5/8" rebar capped "Patterson PLS 3136"; thence S 07°38'13" W - 164.71' to a set 5/8" rebar capped "Patterson PLS 3136"; thence S 15°48'06" W - 78.32' to a set 5/8" rebar capped "Patterson PLS 3136"; thence S 06°21'38" W - 147.07' to a set 5/8"

EXHIBIT 1

DESCRIPTION OF PREMISES

Page 4 of 5

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DOCUMENT NO: 463557
RECORDED: January 24, 2014 02:04:00 PM
TOTAL FEES: \$32.00
COUNTY CLERK: SALLEE HOLBROOK
DEPUTY CLERK: JENNIFER
COUNTY: JOHNSON COUNTY

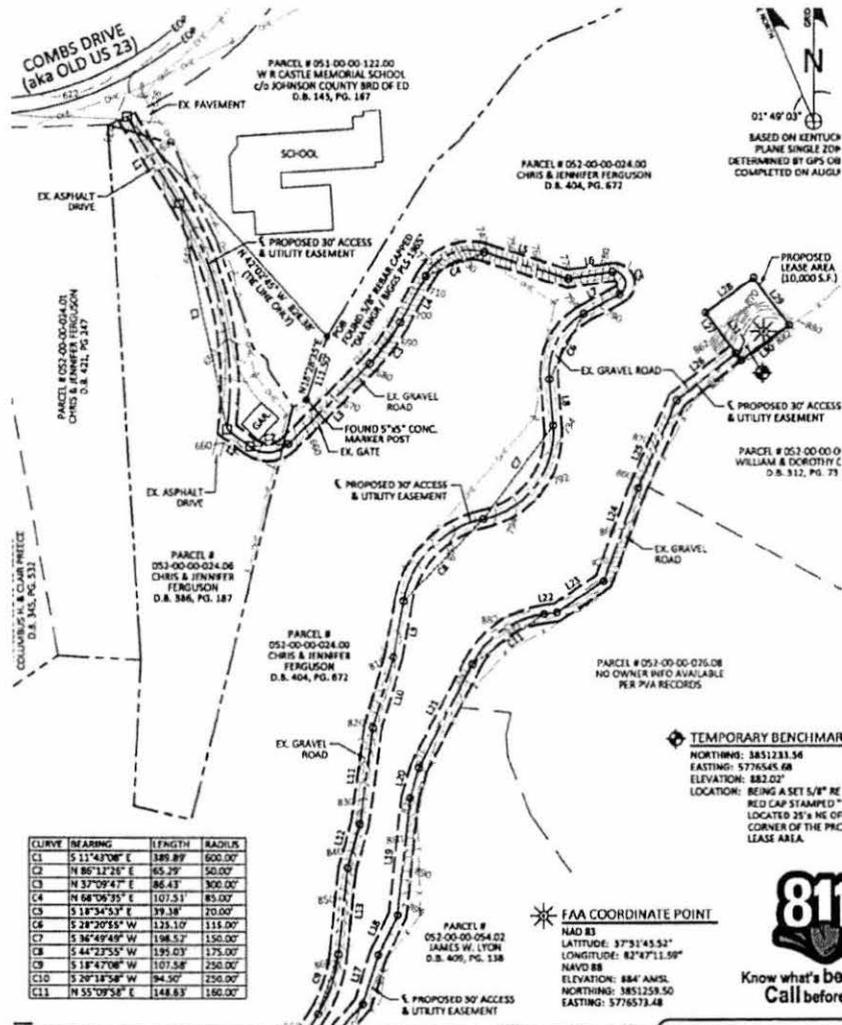
BOOK: L116 PAGES: 178 - 185

EXHIBIT 1

DESCRIPTION OF PREMISES

Page 5 of 5

The Premises are further described and/or depicted as follows:



Notes:

1. THIS EXHIBIT MAY BE REPLACED BY A LAND SURVEY AND/OR CONSTRUCTION DRAWINGS OF THE PREMISES ONCE RECEIVED BY TENANT.
2. ANY SETBACK OF THE PREMISES FROM THE PROPERTY'S BOUNDARIES SHALL BE THE DISTANCE REQUIRED BY THE APPLICABLE GOVERNMENTAL AUTHORITIES.
3. WIDTH OF ACCESS ROAD SHALL BE THE WIDTH REQUIRED BY THE APPLICABLE GOVERNMENTAL AUTHORITIES, INCLUDING POLICE AND FIRE DEPARTMENTS.
4. THE TYPE, NUMBER AND MOUNTING POSITIONS AND LOCATIONS OF ANTENNAS AND TRANSMISSION LINES ARE ILLUSTRATIVE ONLY. ACTUAL TYPES, NUMBERS AND MOUNTING POSITIONS MAY VARY FROM WHAT IS SHOWN ABOVE.

EXHIBIT J
NOTIFICATION LISTING

Nippa – Notice List

Chris & Jennifer Ferguson
P.O. Box 625
Wittensville, KY 41274

W R Castle Memorial School
c/o Johnson Co Brd of Ed
201 US 23
Paintsville, KY 41240

Roberta Castle
591 Combs Drive
Wittensville, KY 41274

Jason L. & Katherine M. Meade
P.O. Box 584
559 Combs Dr
Wittensville, KY 41274

Jason L. & Katherine M. Meade
559 Combs Dr
Wittensville, KY 41274

Jason L. & Katherine M. Meade
P.O. Box 584
Wittensville, KY 41274

Yvonne Day
1158 Say Avenue
Columbus, OH 43201

Teresa L. Hensley
4033 US 23 N
Nippa, KY 41240

Michael & Vikie Case
4083 US 23
Nippa, KY 41240

Michael and Vickie Case
4083 US 23
Nippa, KY 41240

Mark & Nancy Cantrell
11324 Kentucky Route 172
Flat Gap, KY 41219

Sherry McCarty
P.O. Box 266
Wittensville, KY 41274

Doug & Betsy Vanhooose
P.O. Box 683
Paintsville, KY 41240

William C. & Dorothy Castle
P.O. Box 229
Wittensville, KY 41274

William & Dorothy Castle
P.O. Box 229
Wittensville, KY 41274

James W. Lyon
P.O. Box 725
Salyersville, KY 41465

James W. Lyon
P.O. Box 725
Salyersville, KY 41465

Roy L. Burns
794 Whippoorwill Road
Paintsville, KY 41240

Nancy Burns
794 Whipperwill Road
Nippa, KY 41240

Roy L. & Nancy W. Burns
794 Whippoorwill Road
Nippa, KY 41249

Columbus H. & Clair Preece
P.O. Box 339
Wittensville, KY 41274

Brian & Edna Kennard
470 Combs Drive
Wittensville, KY 41274

DP Family Trust
126 Pine Valley Road
Staffordsville, KY 41256

MT Womack Jr.
P.O. Box 533
Wittensville, KY 41274

Hubert & Linda L. Slone
21536 Jacks Fork Road
Rush Fork, KY 41168-9201

Arbie Combs
c/o Diana Combs
209 Julia Ave
Dayton, OH 45405

Melvee Endicott
158 Combs Drive
Wittensville, KY 41274

Danny & Dianna S. Houston
P.O. Box 255
Wittensville, KY 41274

McClure Cemetery
c/o Chester McClure
470 Combs Drive
Wittensville, KY 41274

McKenzie Cemetery
c/o Chester McClure
470 Combs Drive
Wittensville, KY 41274

Sherry McCarty
c/o Family Bank
311 N. Arnold Avenue Ste 100
Prestonsburg, KY 41653

M.T. Womack Jr.
422 Combs Drive
Wittensville, KY 41274

Hubert & Linda L. Slone
P.O. Box 474
Wittensville, KY 41274

Arbie Jones
c/o Diana Combs
209 Julia Avenue
Dayton, OH 45405

EXHIBIT K
COPY OF PROPERTY OWNER NOTIFICATION



1578 Highway 44 East, Suite 6
P.O. Box 369
Shepherdsville, KY 40165-0369
Phone (502) 955-4400 or (800) 516-4293
Fax (502) 543-4410 or (800) 541-4410

**Notice of Proposed Construction of
Wireless Communications Facility
Site Name: Nippa**

Dear Landowner:

New Cingular Wireless PCS, LLC, a Delaware limited liability company, d/b/a AT&T Mobility has filed an application with the Kentucky Public Service Commission ("PSC") to construct a new wireless communications facility on a site located on Old U.S. 23, Wittensville, KY 41274 (37°51'45.52" North latitude, 82°47'11.59" West longitude). The proposed facility will include a 255-foot tall antenna tower, plus a 10-foot lightning arrester and related ground facilities. This facility is needed to provide improved coverage for wireless communications in the area.

This notice is being sent to you because the Johnson County Property Valuation Administrator's records indicate that you may own property that is within a 500' radius of the proposed tower site or contiguous to the property on which the tower is to be constructed. You have a right to submit testimony to the Kentucky Public Service Commission ("PSC"), either in writing or to request intervention in the PSC's proceedings on the application. You may contact the PSC for additional information concerning this matter at: Kentucky Public Service Commission, Executive Director, 211 Sower Boulevard, P.O. Box 615, Frankfort, Kentucky 40602. Please refer to docket number 2016-00057 in any correspondence sent in connection with this matter.

We have attached a map showing the site location for the proposed tower. AT&T Mobility's radio frequency engineers assisted in selecting the proposed site for the facility, and they have determined it is the proper location and elevation needed to provide quality service to wireless customers in the area. Please feel free to contact us toll free at (800) 516-4293 if you have any comments or questions about this proposal.

Sincerely,
David A. Pike
Attorney for AT&T Mobility

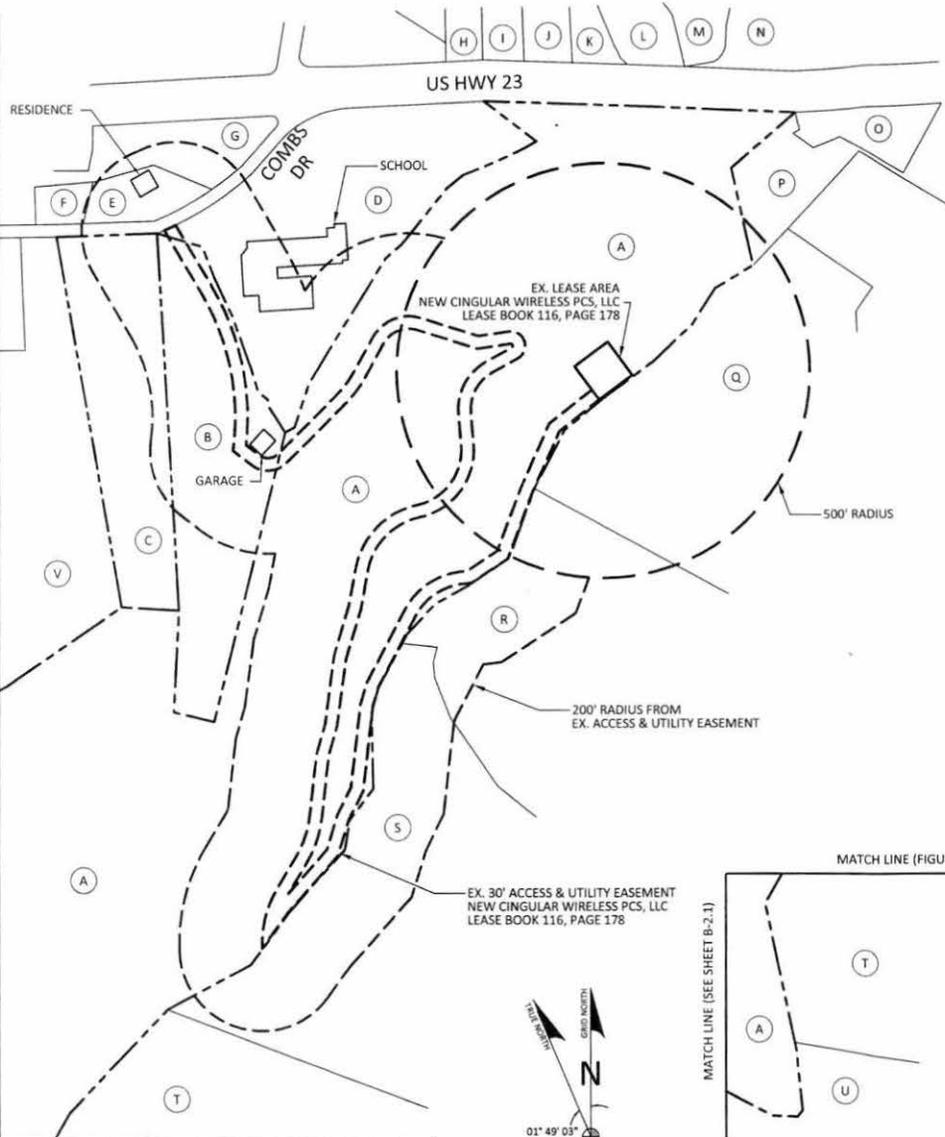
enclosure

Driving Directions to Proposed Tower Site at Nippa

1. Beginning at the Johnson County Clerk's office located at 230 Court Street, Paintsville, KY, head north on Court Street toward 3rd Street.
2. Turn left onto 3rd Street and continue for approximately 0.2 miles.
3. Turn right onto West Street and travel approximately 105 feet.
4. West Street turns slightly left and becomes 3rd St. / U.S. 23 Bus. Continue to follow U.S. 23 Bus for approximately 1.5 miles.
5. Turn right onto KY-321 North and travel for approximately 0.8 miles.
6. Turn right onto US-23 North and travel for approximately 3.0 miles. The site will be on the right.
7. The site coordinates are
 - a. North 37 deg 51' 45.52"
 - b. West 82 deg 47' 11.59"



Prepared by:
Aaron L. Roof
Pike Legal Group PLLC
1578 Highway 44 East, Suite 6
P.O. Box 369
Shepherdsville, KY 40165-3069
Telephone: 502-955-4400 or 800-516-4293



- (A) PARCEL # 052-00-00-024.00
CHRIS AND JENNIFER FERGUSON
P.O. BOX 625
WITTENSVILLE, KY 41274
NO ZONING
- (B) PARCEL # 052-00-00-024.06
CHRIS AND JENNIFER FERGUSON
P.O. BOX 625
WITTENSVILLE, KY 41274
NO ZONING
- (C) PARCEL # 052-00-00-024.01
CHRIS AND JENNIFER FERGUSON
P.O. BOX 625
WITTENSVILLE, KY 41274
NO ZONING
- (D) PARCEL # 051-00-00-122.00
W R CASTLE MEMORIAL SCHOOL
c/o JOHNSON CO BRD OF ED
201 U.S. 23
PAINTSVILLE, KY 41240
NO ZONING
- (E) PARCEL # 052-00-00-023.00
ROBERTA CASTLE
591 COMBS DR
WITTENSVILLE, KY 41274
NO ZONING
- (F) PARCEL # 052-00-00-023.03
JASON L AND KATHERINE M MEADE
P.O. BOX 584 559 COMBS DR
WITTENSVILLE, KY 41274
NO ZONING
- (G) PARCEL # 051-00-00-115.00
YVONNE DAY
1158 SAY AVE
COLUMBUS, OH 43201
NO ZONING
- (H) PARCEL # 051-00-00-101.09
TERESA L HENSLEY
4033 U.S. 23 N
NIPPA, KY 41240
NO ZONING
- (I) PARCEL # 051-00-00-101.08
TERESA L HENSLEY
4033 U.S. 23 N
NIPPA, KY 41240
NO ZONING
- (J) PARCEL # 051-00-00-105.01
MICHAEL AND VICKIE CASE
4083 U.S. 23
NIPPA, KY 41240
NO ZONING
- (K) PARCEL # 051-00-00-105.00
MICHAEL AND VICKIE CASE
4083 U.S. 23
NIPPA, KY 41240
NO ZONING
- (L) PARCEL # 051-00-00-100.00
MARK AND NANCY CANTRELL
11324 KENTUCKY ROUTE 172
FLAT GAP, KY 41219
NO ZONING
- (M) PARCEL # 051-00-00-099.00
SHERRY MCCARTY
P.O. BOX 266
WITTENSVILLE, KY 41274
NO ZONING
- (N) PARCEL # 051-00-00-097.00
DOUG AND BETSY VANHOOSE
P.O. BOX 683
PAINTSVILLE, KY 41240
NO ZONING
- (O) PARCEL # 052-00-00-029.03
WILLIAM C AND DOROTHY CASTLE
P.O. BOX 229
WITTENSVILLE, KY 41274
NO ZONING
- (P) PARCEL # 052-00-00-030.02
NO RECORD FOUND
- (Q) PARCEL # 052-00-00-030.01
WILLIAM AND DOROTHY CASTLE
P.O. BOX 229
WITTENSVILLE, KY 41274
NO ZONING
- (R) PARCEL # 052-00-00-026.08
NO RECORD FOUND
- (S) PARCEL # 052-00-00-054.02
JAMES W LYON
P.O. BOX 725
SAYLERSVILLE, KY 41465
NO ZONING
- (T) PARCEL # 052-00-00-053.02
NO RECORD FOUND
- (U) PARCEL # 052-00-00-053.00
ROY L BURNS
794 WHIPPOORWILL RD
PAINTSVILLE, KY 41240
NO ZONING
- (V) PARCEL # 052-00-00-021.00
COLUMBUS H AND CLAIR PREECE
P.O. BOX 339
WITTENSVILLE, KY 41274
NO ZONING

- GENERAL NOTE:**
- ALL INFORMATION SHOWN HEREON WAS OBTAINED FROM THE RECORDS OF THE JOHNSON COUNTY KENTUCKY PROPERTY VALUATION ADMINISTRATION OFFICE ON 3.21.14 AND UPDATED ON 1.8.16 PER JOHNSON COUNTY PVA WEB SITE. THE PROPERTY VALUATION ADMINISTRATION RECORDS MAY NOT REFLECT THE CURRENT OWNERS AND ADDRESSES DUE TO THE INACCURACIES AND TIME LAPSE IN UPDATING FILES. POD AND THE COUNTY PROPERTY VALUATION ADMINISTRATION EXPRESSLY DISCLAIMS ANY WARRANTY FOR THE CONTENT AND ANY ERRORS CONTAINED IN THEIR FILES
 - THIS MAP IS FOR GENERAL INFORMATIONAL PURPOSES ONLY AND IS NOT A BOUNDARY SURVEY.
 - NOT FOR RECORDING OR PROPERTY TRANSFER.

CERTIFICATE
I HEREBY CERTIFY THAT THIS EXHIBIT PERTAINING TO THE ADJOINING PROPERTY OWNERS PER PVA RECORDS WAS PREPARED UNDER MY DIRECT SUPERVISION. NO BOUNDARY SURVEYING OF ANY KIND HAS BEEN PERFORMED FOR THIS EXHIBIT.

Mark Patterson
MARK PATTERSON, LPLS #3136 DATE



MasTec
Infrastructure That Delivers



REV.	DATE	DESCRIPTION
A	03.21.14	VERIFIED PVA
B	1.8.16	UPDATED PVA INFO

EXHIBIT

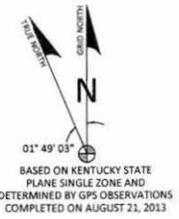
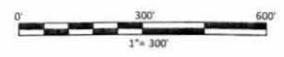
REV.	DATE	DESCRIPTION
A	03.21.14	VERIFIED PVA
B	1.8.16	UPDATED PVA INFO

SITE INFORMATION:
NIPPA
OLD US 23
WITTENSVILLE, KY 41274
COUNTY: JOHNSON

SITE NUMBER:
POD NUMBER: 13-0884
DRAWN BY: CSA
CHECKED BY: MEP
DATE: 10.08.13

SHEET TITLE:
500' RADIUS & ABUTTER'S MAP

SHEET NUMBER:
B-2



MATCH LINE (FIGURE B) **FIGURE A**

MATCH LINE (FIGURE A) **FIGURE B**

BASED ON KENTUCKY STATE PLANE SINGLE ZONE AND DETERMINED BY GPS OBSERVATIONS COMPLETED ON AUGUST 21, 2013

01° 49' 03"
 BASED ON KENTUCKY STATE
 PLANE SINGLE ZONE AND
 DETERMINED BY GPS OBSERVATIONS
 COMPLETED ON AUGUST 21, 2013

COMBS DR

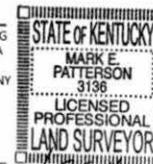
MATCH LINE (SEE SHEET B-2)

- | | |
|---|--|
| <p>(A) PARCEL # 052-00-00-024.00
CHRIS AND JENNIFER FERGUSON
P.O. BOX 625
WITTENSVILLE, KY 41274
NO ZONING</p> <p>(U) PARCEL # 052-00-00-053.00
ROY L BURNS
794 WHIPPOORWILL RD
PAINTSVILLE, KY 41240
NO ZONING</p> <p>(V) PARCEL # 052-00-00-021.00
COLUMBUS H AND CLAIR PREECE
P.O. BOX 339
WITTENSVILLE, KY 41274
NO ZONING</p> <p>(W) PARCEL # 052-00-00-020.04
BRIAN AND EDNA KENNARD
470 COMBS DR
WITTENSVILLE, KY 41274
NO ZONING</p> <p>(X) PARCEL # 052-00-00-020.01
D P FAMILY TRUST
126 PINE VALLEY ROAD
STAFFORDSVILLE, KY 41256
NO ZONING</p> <p>(Y) PARCEL # 052-00-00-019.00
M T WOMACK, JR
P.O. BOX 533
WITTENSVILLE, KY 41274
NO ZONING</p> <p>(Z) PARCEL # 052-00-00-018.00
HUBERT AND LINDA L SLONE
21536 JACKS FORK ROAD
RUSH FORK, KY 41168-9201
NO ZONING</p> | <p>(AA) PARCEL # 052-00-00-017.00
ARBIE COMBS
c/o DIANA COMBS
209 JULIA AVE
DAYTON, OH 45405
NO ZONING</p> <p>(BB) PARCEL # 052-00-00-015.00
NO RECORD FOUND</p> <p>(CC) PARCEL # 052-00-00-062.03
DANNY AND DIANA S HOUSTON
P.O. BOX 255
WITTENSVILLE, KY 41274
NO ZONING</p> <p>(DD) PARCEL # 052-00-00-020.00
D P FAMILY TRUST
126 PINE VALLEY ROAD
STAFFORDSVILLE, KY 41256
NO ZONING</p> <p>(EE) PARCEL # 052-00-00-020.02
MCCLURE CEMETERY
c/o CHESTER MCCLURE
470 COMBS DR
WITTENSVILLE, KY 41274
NO ZONING</p> <p>(FF) PARCEL # 052-00-00-020.03
MCKENZIE CEMETERY
c/o CHESTER MCCLURE
470 COMBS DR
WITTENSVILLE, KY 41274
NO ZONING</p> |
|---|--|

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CERTIFICATE
 I HEREBY CERTIFY THAT THIS EXHIBIT PERTAINING TO THE ADJOINING PROPERTY OWNERS PER PVA RECORDS WAS PREPARED UNDER MY DIRECT SUPERVISION. NO BOUNDARY SURVEYING OF ANY KIND HAS BEEN PERFORMED FOR THIS EXHIBIT.



MARK PATTERSON, LPLS #3136 DATE 10/25/16



EXHIBIT

REV.	DATE	DESCRIPTION
A	03.21.14	VERIFIED PVA
B	1.8.16	UPDATED PVA INFO

SITE INFORMATION:

NIPPA

OLD US 23
 WITTENSVILLE, KY 41274
 COUNTY: JOHNSON

SITE NUMBER:

POD NUMBER: 13-0884
 DRAWN BY: CSA
 CHECKED BY: MEP
 DATE: 10.08.13

SHEET TITLE:

**500' RADIUS &
 ABUTTER'S MAP**

SHEET NUMBER:

B-2.1

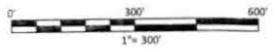


EXHIBIT L
COPY OF COUNTY JUDGE/EXECUTIVE NOTICE



1578 Highway 44 East, Suite 6
P.O. Box 369
Shepherdsville, KY 40165-0369
Phone (502) 955-4400 or (800) 516-4293
Fax (502) 543-4410 or (800) 541-4410

VIA CERTIFIED MAIL

Hon. Roger T. Daniel
Johnson County Judge Executive
230 Court St.
P.O. Box 868
Paintsville, KY 41240

RE: Notice of Proposal to Construct Wireless Communications Facility
Kentucky Public Service Commission Docket No. 2016-00057
Site Name: Nippa

Dear Judge Daniel:

New Cingular Wireless PCS, LLC, a Delaware limited liability company, d/b/a AT&T Mobility has filed an application with the Kentucky Public Service Commission ("PSC") to construct a new wireless communications facility on a site located at Old US 23 in Wittensville, Kentucky 41274 (37°51'45.52" North latitude, 82°47'11.59" West longitude). The proposed facility will include a 255-foot tall antenna tower, plus a 10-foot lightning arrestor and related ground facilities. This facility is needed to provide improved coverage for wireless communications in the area.

You have a right to submit comments to the PSC or to request intervention in the PSC's proceedings on the application. You may contact the PSC at: Executive Director, Public Service Commission, 211 Sower Boulevard, P.O. Box 615, Frankfort, Kentucky 40602. Please refer to docket number 2016-00057 in any correspondence sent in connection with this matter.

We have attached a map showing the site location for the proposed tower. AT&T Mobility's radio frequency engineers assisted in selecting the proposed site for the facility, and they have determined it is the proper location and elevation needed to provide quality service to wireless customers in the area. Please feel free to contact us with any comments or questions you may have.

Sincerely,

David A. Pike
Attorney for AT&T Mobility
enclosure

Driving Directions to Proposed Tower Site at Nippa

1. Beginning at the Johnson County Clerk's office located at 230 Court Street, Paintsville, KY, head north on Court Street toward 3rd Street.
2. Turn left onto 3rd Street and continue for approximately 0.2 miles.
3. Turn right onto West Street and travel approximately 105 feet.
4. West Street turns slightly left and becomes 3rd St. / U.S. 23 Bus. Continue to follow U.S. 23 Bus for approximately 1.5 miles.
5. Turn right onto KY-321 North and travel for approximately 0.8 miles.
6. Turn right onto US-23 North and travel for approximately 3.0 miles. The site will be on the right.
7. The site coordinates are
 - a. North 37 deg 51' 45.52"
 - b. West 82 deg 47' 11.59"



Prepared by:
Aaron L. Roof
Pike Legal Group PLLC
1578 Highway 44 East, Suite 6
P.O. Box 369
Shepherdsville, KY 40165-3069
Telephone: 502-955-4400 or 800-516-4293

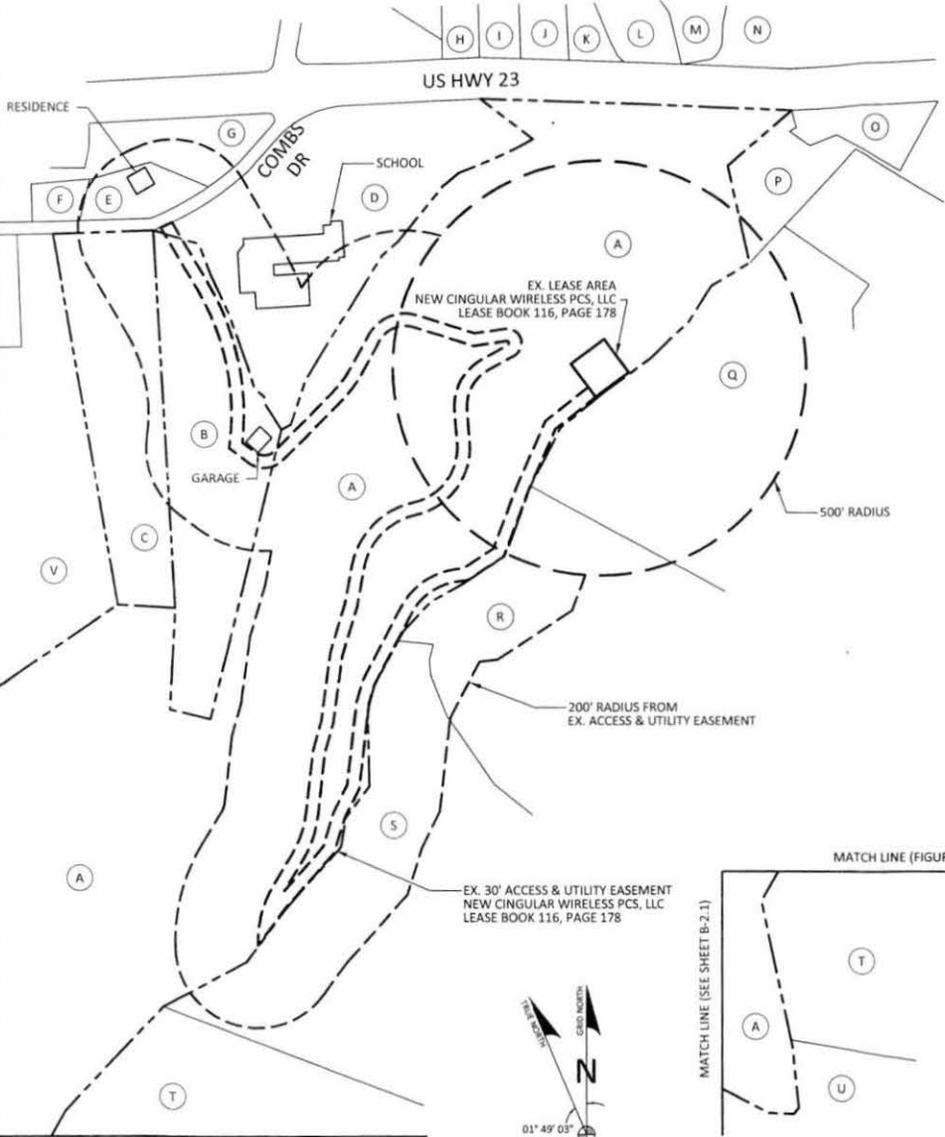


FIGURE A

FIGURE B

01° 49' 03" N
 BASED ON KENTUCKY STATE
 PLANE SINGLE ZONE AND
 DETERMINED BY GPS OBSERVATIONS
 COMPLETED ON AUGUST 21, 2013



- (A) PARCEL # 052-00-00-024.00
CHRIS AND JENNIFER FERGUSON
P.O. BOX 625
WITTENSVILLE, KY 41274
NO ZONING
- (B) PARCEL # 052-00-00-024.06
CHRIS AND JENNIFER FERGUSON
P.O. BOX 625
WITTENSVILLE, KY 41274
NO ZONING
- (C) PARCEL # 052-00-00-024.01
CHRIS AND JENNIFER FERGUSON
P.O. BOX 625
WITTENSVILLE, KY 41274
NO ZONING
- (D) PARCEL # 051-00-00-122.00
W R CASTLE MEMORIAL SCHOOL
c/o JOHNSON CO BRD OF ED
201 U.S. 23
PAINTSVILLE, KY 41240
NO ZONING
- (E) PARCEL # 052-00-00-023.00
ROBERTA CASTLE
591 COMBS DR
WITTENSVILLE, KY 41274
NO ZONING
- (F) PARCEL # 052-00-00-023.03
JASON L AND KATHERINE M MEADE
P.O. BOX 584 559 COMBS DR
WITTENSVILLE, KY 41274
NO ZONING
- (G) PARCEL # 051-00-00-115.00
YVONNE DAY
1158 SAY AVE
COLUMBUS, OH 43201
NO ZONING
- (H) PARCEL # 051-00-00-101.09
TERESA L HENSLEY
4033 U.S. 23 N
NIPPA, KY 41240
NO ZONING
- (I) PARCEL # 051-00-00-101.08
TERESA L HENSLEY
4033 U.S. 23 N
NIPPA, KY 41240
NO ZONING
- (J) PARCEL # 051-00-00-105.01
MICHAEL AND VICKIE CASE
4083 U.S. 23
NIPPA, KY 41240
NO ZONING
- (K) PARCEL # 051-00-00-105.00
MICHAEL AND VICKIE CASE
4083 U.S. 23
NIPPA, KY 41240
NO ZONING
- (L) PARCEL # 051-00-00-100.00
MARK AND NANCY CANTRELL
11324 KENTUCKY ROUTE 172
FLAT GAP, KY 41219
NO ZONING
- (M) PARCEL # 051-00-00-099.00
SHERRY McCARTY
P.O. BOX 266
WITTENSVILLE, KY 41274
NO ZONING
- (N) PARCEL # 051-00-00-097.00
DOUG AND BETSY VANHOOSE
P.O. BOX 683
PAINTSVILLE, KY 41240
NO ZONING
- (O) PARCEL # 052-00-00-029.03
WILLIAM C AND DORTHY CASTLE
P.O. BOX 229
WITTENSVILLE, KY 41274
NO ZONING
- (P) PARCEL # 052-00-00-030.02
NO RECORD FOUND
- (Q) PARCEL # 052-00-00-030.01
WILLIAM AND DOROTHY CASTLE
P.O. BOX 229
WITTENSVILLE, KY 41274
NO ZONING
- (R) PARCEL # 052-00-00-026.08
NO RECORD FOUND
- (S) PARCEL # 052-00-00-054.02
JAMES W LYON
P.O. BOX 725
SAYLERSVILLE, KY 41465
NO ZONING
- (T) PARCEL # 052-00-00-053.02
NO RECORD FOUND
- (U) PARCEL # 052-00-00-053.00
ROY L BURNS
794 WHIPPOORWILL RD
PAINTSVILLE, KY 41240
NO ZONING
- (V) PARCEL # 052-00-00-021.00
COLUMBUS H AND CLAIR PREECE
P.O. BOX 339
WITTENSVILLE, KY 41274
NO ZONING

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Mark Patterson
 MARK PATTERSON, LPLS #3136 DATE 7-25-16



POD
 POWER OF DESIGN
 11490 BLUEGRASS PARKWAY
 LOUISVILLE, KY 40299
 502-497-9252

MasTec
 Infrastructure That Delivers

at&t

EXHIBIT

REV	DATE	DESCRIPTION
A	03.21.14	VERIFIED PVA
B	1.8.16	UPDATED PVA INFO

SITE INFORMATION:

NIPPA

OLD US 23
 WITTENSVILLE, KY 41274
 COUNTY: JOHNSON

SITE NUMBER:

POD NUMBER: 13-0884

DRAWN BY: CSA
 CHECKED BY: MEP
 DATE: 10.08.13

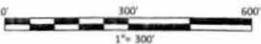
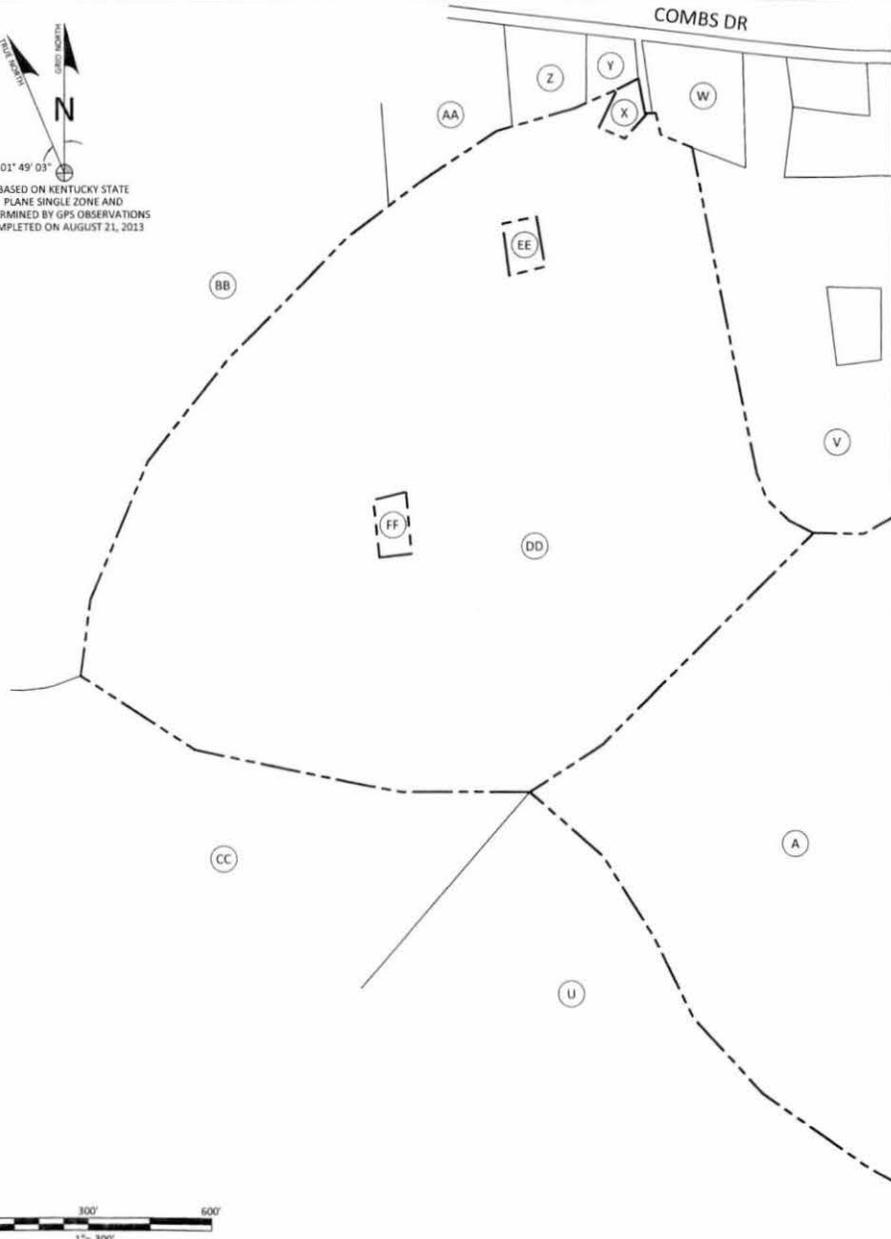
SHEET TITLE:

**500' RADIUS &
 ABUTTER'S MAP**

SHEET NUMBER:

B-2

01° 49' 03"
 BASED ON KENTUCKY STATE
 PLANE SINGLE ZONE AND
 DETERMINED BY GPS OBSERVATIONS
 COMPLETED ON AUGUST 21, 2013



- | | |
|---|--|
| <p>(A) PARCEL # 052-00-00-024.00
CHRIS AND JENNIFER FERGUSON
P.O. BOX 625
WITTENSVILLE, KY 41274
NO ZONING</p> <p>(U) PARCEL # 052-00-00-053.00
ROY L BURNS
794 WHIPPOORWILL RD
PAINTSVILLE, KY 41240
NO ZONING</p> <p>(V) PARCEL # 052-00-00-021.00
COLUMBUS H AND CLAIR PREECE
P.O. BOX 339
WITTENSVILLE, KY 41274
NO ZONING</p> <p>(W) PARCEL # 052-00-00-020.04
BRIAN AND EDNA KENNARD
470 COMBS DR
WITTENSVILLE, KY 41274
NO ZONING</p> <p>(X) PARCEL # 052-00-00-020.01
D P FAMILY TRUST
126 PINE VALLEY ROAD
STAFFORDSVILLE, KY 41256
NO ZONING</p> <p>(Y) PARCEL # 052-00-00-019.00
M T WOMACK, JR
P.O. BOX 533
WITTENSVILLE, KY 41274
NO ZONING</p> <p>(Z) PARCEL # 052-00-00-018.00
HUBERT AND LINDA L SLONE
21536 JACKS FORK ROAD
RUSH FORK, KY 41168-9201
NO ZONING</p> | <p>(AA) PARCEL # 052-00-00-017.00
ARBIE COMBS
c/o DIANA COMBS
209 JULIA AVE
DAYTON, OH 45405
NO ZONING</p> <p>(BB) PARCEL # 052-00-00-015.00
NO RECORD FOUND</p> <p>(CC) PARCEL # 052-00-00-062.03
DANNY AND DIANA S HOUSTON
P.O. BOX 255
WITTENSVILLE, KY 41274
NO ZONING</p> <p>(DD) PARCEL # 052-00-00-020.00
D P FAMILY TRUST
126 PINE VALLEY ROAD
STAFFORDSVILLE, KY 41256
NO ZONING</p> <p>(EE) PARCEL # 052-00-00-020.02
MCCLURE CEMETERY
c/o CHESTER MCCLURE
470 COMBS DR
WITTENSVILLE, KY 41274
NO ZONING</p> <p>(FF) PARCEL # 052-00-00-020.03
MCKENZIE CEMETERY
c/o CHESTER MCCLURE
470 COMBS DR
WITTENSVILLE, KY 41274
NO ZONING</p> |
|---|--|

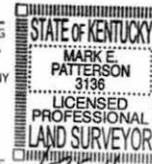
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Mark E. Patterson
 MARK PATTERSON, LPLS #3136 DATE 7/25/16



EXHIBIT

REV.	DATE	DESCRIPTION
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SITE INFORMATION:

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OLD US 23
 WITTENSVILLE, KY 41274
 COUNTY: JOHNSON

SITE NUMBER:

POD NUMBER: 13-0884
 DRAWN BY: CSA
 CHECKED BY: MEP
 DATE: 10.08.13

SHEET TITLE:

**500' RADIUS &
 ABUTTER'S MAP**

SHEET NUMBER:

B-2.1

EXHIBIT M
COPY OF POSTED NOTICES

SITE NAME: NIPPA
NOTICE SIGNS

The signs are at least (2) feet by four (4) feet in size, of durable material, with the text printed in black letters at least one (1) inch in height against a white background, except for the word "**tower**," which is at least four (4) inches in height.

New Cingular Wireless PCS, LLC d/b/a AT&T Mobility proposes to construct a telecommunications **tower** on this site. If you have questions, please contact Pike Legal Group, PLLC, P.O. Box 369, Shepherdsville, KY 40165 (800) 516-4293, or the Executive Director, Public Service Commission, 211 Sower Boulevard, PO Box 615, Frankfort, Kentucky 40602. Please refer to docket number Case No. 2016-00057 in your correspondence.

New Cingular Wireless PCS, LLC d/b/a AT&T Mobility proposes to construct a telecommunications **tower** near this site. If you have questions, please contact Pike Legal Group, PLLC, P.O. Box 369, Shepherdsville, KY 40165 (800) 516-4293, or the Executive Director, Public Service Commission, 211 Sower Boulevard, PO Box 615, Frankfort, Kentucky 40602. Please refer to docket number Case No. 2016-00057 in your correspondence.

VIA TELEFAX: 606-789-9717

The Paintsville Herald
Attn: Nancy Daniels
978 Broadway
P.O. Box 1547
Paintsville, KY 41240

RE: Legal Notice Advertisement
Site Name: Nippa

Dear Ms. Daniels:

Please publish the following legal notice advertisement in the next edition of *The Paintsville Herald*:

NOTICE

New Cingular Wireless PCS, LLC, a Delaware limited liability company, d/b/a AT&T Mobility has filed an application with the Kentucky Public Service Commission ("PSC") to construct a new wireless communications facility on a site located on Old U.S. 23, Wittensville, Kentucky 41274 (37°51'45.52" North latitude, 82°47'11.59" West longitude). You may contact the PSC for additional information concerning this matter at: Kentucky Public Service Commission, Executive Director, 211 Sower Boulevard, P.O. Box 615, Frankfort, Kentucky 40602. Please refer to docket number 2016-00057 in any correspondence sent in connection with this matter.

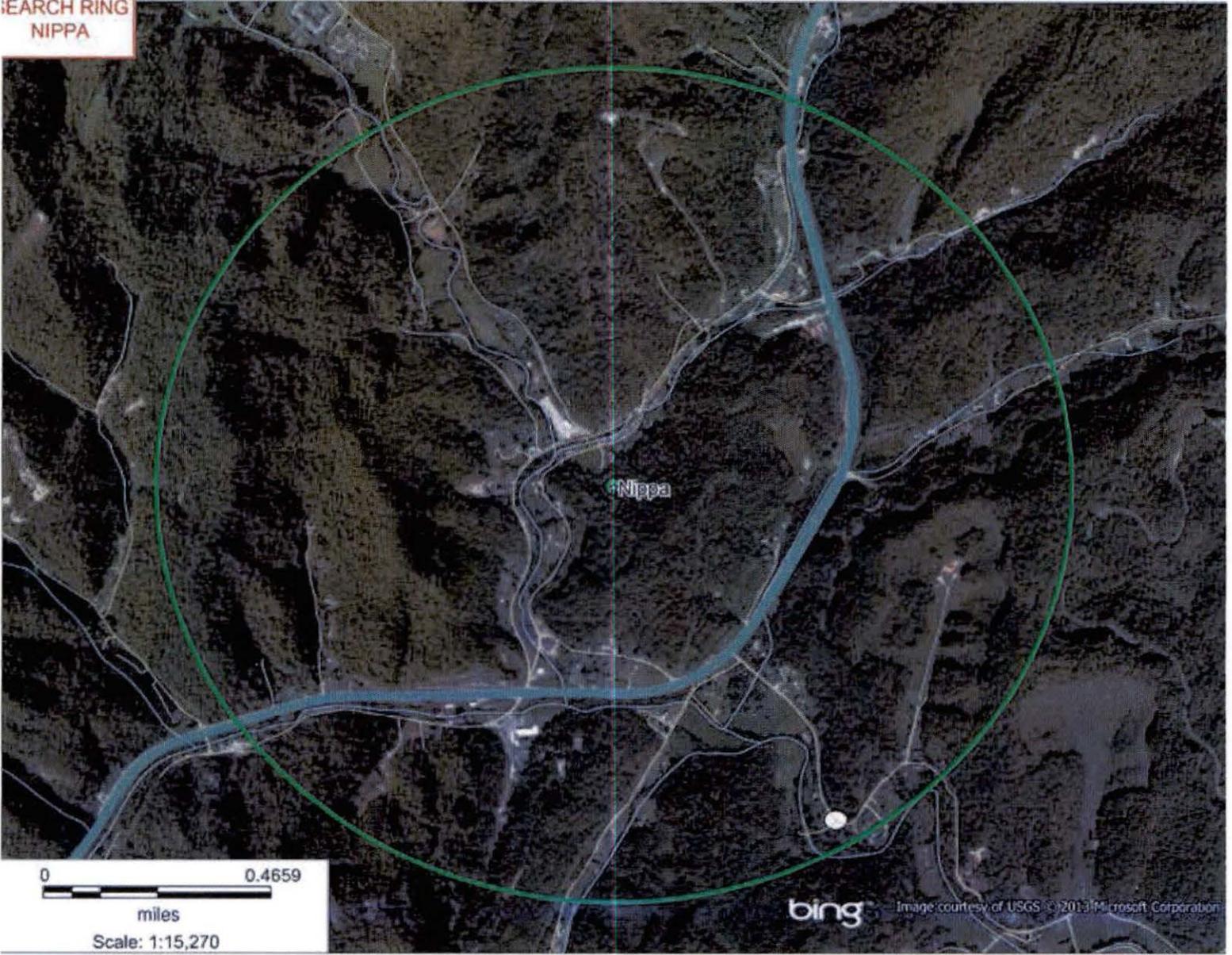
After this advertisement has been published, please forward a tearsheet copy, affidavit of publication, and invoice to Pike Legal Group, PLLC, P. O. Box 369, Shepherdsville, KY 40165. Please call me at (800) 516-4293 if you have any questions. Thank you for your assistance.

Sincerely,

Aaron L. Roof
Pike Legal Group, PLLC

EXHIBIT N
COPY OF RADIO FREQUENCY DESIGN SEARCH AREA

SEARCH RING
NIPPA



0 0.4659

miles

Scale: 1:15,270

bing

Image courtesy of USGS © 2013 Microsoft Corporation