MCBRAYER McBrayer, McGinnis, Leslie & Kirkland, PLLC

ATTORNEYS AT LAW

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September 1, 2011

COMMISSION PUBLIC SERVICE

SEP 01 2011

Ms. Linda Faulkner Division of Filings Public Service Commission 211 Sower Blvd. Frankfort, KY 40602-0615

BECEINED

RE:

Application of Global Tower Assets, LLC and New Cingular Wireless PCS, LLC, for Issuance of a Certificate of Public Convenience and Necessity to Construct a wireless communications Facility at 5730 Rockwood Drive, Catlettsburg, Boyd County, Kentucky ("Application") PSC Case No. 2011-00354

Hurricane Road (KY-5006)

Dear Ms. Fauklner:

Please be advised that the undersigned represents Global Tower Assets, LLC and New Cingular Wireless PCS, LLC in regard to the above-referenced Application which I am filing on their behalf today with the Commission.

Enclosed please find one original and ten (10) copies of the Application along with one (1) set of project description drawings, which has been signed and sealed by a licensed professional engineer in Kentucky.

Any comments or questions in regard to the application should be forwarded to the undersigned. Thank you for your assistance in this matter.

Sincerely, Ligantille

W. Brent Rice

Counsel for Global Tower Assets, LLC and

New Cingular Wireless PCS, LLC

WBR/dkw Enclosures

COMMONWEALTH OF KENTUCKY BEFORE THE PUBLIC SERVICE COMMISSION

In the Matter of:

ORIGINAL

APPLICATION OF GLOBAL TOWER ASSETS,LLC)
AND NEW CINGULAR WIRELESS PCS, LLC FOR)
ISSUANCE OF CERTIFICATE OF PUBLIC)
CONVENIENCE AND NECESSITY TO CONSTRUCT)
A WIRELESS COMMUNICATIONS FACILITY AT)
5730 ROCKWOOD DRIVE, CATLETTSBURG, BOYD)
COUNTY, KENTUCKY

Case No. 2011-00354

RECEIVED

SEP 0 1 2011

PUBLIC SERVICE COMMISSION

(SITE NAME: HURRICANE ROAD, (KY-5006)

APPLICATION

Global Tower Assets, LLC, a Delaware limited liability company and New Cingular Wireless PCS, LLC d/b/a AT&T Mobility, a Delaware limited liability company, hereinafter collectively referred to as "Applicants," by counsel, apply for a Certificate of Public Convenience and Necessity to construct and operate a wireless communications facility ("WCF") to serve the customers of New Cingular Wireless PCS, LLC with wireless communication services in the Commonwealth of Kentucky. In support of this Application, Applicants respectfully state that:

- 1. The complete name and address of Global Tower Assets, LLC is: 750 Park of Commerce Blvd., Ste. 300, Boca Raton, Florida 33487-3612. Upon completion of construction of the WCF, it will be the owner.
- 2. The complete name and address of New Cingular Wireless PCS, LLC, a Delaware limited liability company, is 601 West Chesnut Street, Louisville, Kentucky 40203. New Cingular Wireless PCS, LLC d/b/a AT&T Mobility is a licensed public utility.

Copies of its Delaware Certificate of Formation and Certificate of Amendment are attached as **Exhibit A**. A copy of the Certificate of Authorization to transact business in the Commonwealth of Kentucky is also included as part of **Exhibit A**.

- 3. The Applicants propose to construct a WCF in Boyd County, Kentucky. The WCF will be comprised of a 195' monopole (the "tower"), including attached antennas and an equipment shelter. The equipment shelter will contain the transmitters and receivers required to connect the WCF with wireless telephone users, which will link the WCF with the New Cingular Wireless PCS, LLC network. The WCF will be fenced with a secured access gate. Two sets of project drawings are being submitted with this Application. A detailed description of the manner in which the WCF will be constructed is included in the drawings and on the Survey (scale: 1" = 200'). A reduced copy of the Survey is attached as **Exhibit B**. The Survey is signed and sealed by Frank L. Sellinger, II, a professional registered surveyor in Kentucky and it depicts the proposed location of the tower and all easements and existing structures on the property on which the tower will be located. A vertical tower profile and its foundation, each signed and sealed by a professional engineer registered in Kentucky are attached as Exhibit C. The tower design plans include a description of the standard according to which the tower was designed.
- 4. A geotechnical investigation report performed by Engineering Professionals, Inc. dated August 15, 2011 is attached as **Exhibit D**. The geotechnical investigation report is signed and sealed by Peter J. Jernigan, Jr., a professional engineer registered in Kentucky. The geotechnical investigation report includes boring logs, foundation design recommendations, and a finding as the proximity of the

proposed site to flood hazard areas.

- 5. As noted on the Survey attached as a part of **Exhibit B**, the surveyor has determined that the site is not within any FIA flood hazard area.
- 6. The possibility of a strong ground shaking has been considered in the design of this tower. Formulas are given in codes for earthquake loading. The formulas are for lateral loads, and they take into account the seismic zone, ground motion and structure. The two most important components of the structure are its weight and shape. Applying all of the factors to the formula, the resultant earthquake load is less than the design wind load. Seismic loading has been considered in the design of this tower, although it is regarded as secondary to the wind loading.
- 7. Similarly, the possibility of a strong wind has been considered in the design of this tower. It has been designed and engineered by professional engineers using computer assistance and the same accepted codes and standards as are typically used for high-rise building construction. This tower has been designed in accordance with the Electronic Industries Association ("ETA") Standard RS-222E, which has been accepted and approved by ANSI and is a nationally recognized tower design standard.
- 8. Personnel directly responsible for the design and construction of the proposed tower are qualified and experienced. The tower foundation and design was performed by Sabre Industries under the supervision of Amy R. Herbst, P.E., a registered professional engineer in the Commonwealth of Kentucky. Her specialty is tower design which includes sub-surface exploration and foundation design. The Applicants use qualified installation crews and site inspectors for construction of their towers.

9. The public convenience and necessity require the construction of this WCF. The WCF is essential to improve service to Applicants' current customers in that transmission and reception "weak spots" within the area to be covered by the WCF will be substantially reduced. The WCF will also increase the system's capacity to meet the increasing demands for wireless service in Kentucky. A statement from Applicants' RF Design Engineer describing the need for the WCF is attached as **Exhibit E**.

The process that was used in selecting the site for the proposed WCF by the Applicants' radio frequency engineers was consistent with the process used for selecting generally all other existing cell facilities within the licensed area. The engineers used computer programs to locate cell sites that will enable the cell facilities to serve the Federal Communications Commission certificated territory without extending beyond its approved boundary and to meet other mandates of the Commission. The engineers select the optimum site in terms of elevation and location to provide the best quality service to customers in the service area. A map of the area in which the tower is proposed to be located, that is drawn to scale and that clearly depicts the necessary search area within which a site should be located as determined by the Applicants' Radio Frequency Engineers is attached as **Exhibit F**.

It is imperative that the proposed WCF be constructed to allow New Cingular Wireless PCS, LLC to meet the increasing demands for wireless communication service in the licensed area.

- 10. The WCF will serve an area totally within Applicants' current service area in the licensed area.
 - 11. Since the proposed WCF will serve only the licensed area, no further

approvals by the Federal Communications Commission ("FCC") are required. See 47 C.F.R. §24.11(b), "[b]lanket licenses are granted for each market and frequency block. Applications for individual sites are not required and will not be accepted."

- 12. The Federal Aviation Administration determination that the proposed tower height (agl) of 199' does not exceed notice criteria is attached as **Exhibit G**. The Kentucky Airport Zoning Commission determination that the WCF does not require a permit, dated June 15, 2011 is attached as **Exhibit H**.
- 13. The proposed location of the tower is an area which is outside the jurisdiction of a planning commission, and therefore, Applicants submit the Application to the Public Service Commission for a CPCN pursuant to KRS § 278.020(1), 278.650, and 278.665. The Applicants have notified the Boyd County Judge Executive, by certified mail, return receipt requested, of the proposed construction. The Applicants included in the notice the Commission docket number under which the Application will be processed and informed said person of his right to request intervention. A copy of the notice is attached as **Exhibit I**.
- 14. The WCF will be located at 5730 Rockwood Drive, Catlettsburg, Boyd County, Kentucky. Pursuant to 807 KAR 5:063 Kentucky appropriate notices 2' X 4' with the word "TOWER" in letters at least four inches high, have been posted in a visible location on the proposed site and on the nearest public road and shall remain posted for at least two (2) weeks after the Application is filed. The location of the proposed facility has been published in a newspaper of general circulation in Boyd County, Kentucky. The WCF's coordinates are: Latitude: 38° 26' 3.46"; Longitude: 82° 37' 48.12".
 - 15. Clear directions to the proposed site from Lexington are:

Take US-23 north. Turn left onto State Route 168. Turn left onto Rockwood Road. Access to the site is on the left.

The telephone number for the person preparing the directions is 678-280-2325 and the individual's name is Matt Chastain. The Survey identifies every structure within 500' of the proposed tower, and all easements and existing structures within 200' of the access drive, including the intersection with the Public Street System, drawn to a scale no less than one (1) inch equals 200'.

- 16. Applicants have notified every person who is contiguous or within 500' of the proposed tower by certified mail, return receipt requested, of the proposed construction. Applicants included in said notice the Commission docket number under which the Application will be processed and informed each person of his or her right to request intervention. A list of the property owners and copies of the certified letters sent to the referenced property owners are attached as **Exhibit J**. Copies of the return receipts will be filed with the Commission when received.
- 17. The site for the proposed facility is located outside the incorporated limits of the City of Catlettsburg and is not zoned. The current use of the property is agricultural.
- 18. Applicants have considered the likely effects of the installation on nearby land uses and values and have concluded that there is no more suitable location reasonably available from which adequate service can be provided. Applicants attempted to collocate on existing towers or structures, however, there are no such existing towers or structures in the vicinity of the proposed site.
- 19. The site for the WCF is to be leased from Vernon and Constance Saunders, 5730 Rockwood Drive, Catlettsburg, KY 41129. A copy of the Land Lease

Agreement is attached as Exhibit K.

20. The names of all public utilities, corporations, or persons with whom the proposed new construction is likely to compete is Verizon Wireless, Sprint Nextel and T-Mobile.

21. Correspondence with regard to this Application should be directed to: W. Brent Rice, Esq., McBrayer, McGinnis, Leslie & Kirkland, PLLC, 201 East Main Street, Suite 1000, Lexington, Kentucky 40507.

WHEREFORE, Applicant requests that the Commission, pursuant to KRS 278.020, grant a Certificate of Public Convenience and Necessity to Applicant for construction and operation of the proposed WCF and providing for such other relief as is necessary and appropriate.

Respectfully submitted,

W. Brent Rice

McBRAYER, McGINNIS, LESLIE &

KIRKLAND, PLLC

201 East Main Street, Suite 1000

Lexington, KY 40507

Phone: 859/231-8780

COUNSEL FOR GLOBAL TOWER ASSETS, AND NEW CINGULAR WIRELESS PCS, LLC

p:\donnaw\my documents\wbr\global tower\hurricane road\psc application.docx

LIST OF EXHIBITS

Exhibit A Applicant Adoption Notices

Exhibit B Site Plan and Survey

Exhibit C Tower and Foundation Profile

Exhibit D Report of Geotechnical Exploration

Exhibit E RF Engineer Statement

Exhibit F Search Area Map

Exhibit G FAA Determination

Exhibit H KAZC Determination

Exhibit I Correspondence to County Judge Executive

Exhibit J Notice to Adjoining Property Owners

Exhibit K Land Lease Agreement

Commonwealth of Kentucky Trey Grayson, Secretary of State

Trey Grayson Secretary of State P. O. Box 718 Frankfort, KY 40602-0718 (502) 564-3490 http://www.sos.ky.gov

Certificate of Authorization

Authentication number: 104309

Visit http://apps.sos.ky.gov/business/obdb/certvalidate.aspx to authenticate this certificate.

I, Trey Grayson, Secretary of State of the Commonwealth of Kentucky, do hereby certify that according to the records in the Office of the Secretary of State,

NEW CINGULAR WIRELESS PCS, LLC

, a limited liability company authorized under the laws of the state of Delaware, is authorized to transact business in the Commonwealth of Kentucky, and received the authority to transact business in Kentucky on October 14, 1999.

I further certify that all fees and penalties owed to the Secretary of State have been paid; that an application for certificate of withdrawal has not been filed; and that the most recent annual report required by KRS 275.190 has been delivered to the Secretary of State.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my Official Seal at Frankfort, Kentucky, this 30th day of September, 2010, in the 219th year of the Commonwealth.



Trey Grayson
Secretary of State
Commonwealth of Kentucky
104309/0481848



PAGE I

The First State

I, HARRIET SMITH WINDSOR, SECRETARY OF STATE OF THE STATE OF DELAWARE, DO HEREBY CERTIFY THE ATTACHED IS A TRUE AND CORRECT COPY OF THE CERTIFICATE OF AMENDMENT OF "ATET WIRELESS PCS, LLC", CHANGING ITS NAME FROM "ATET WIRELESS PCS, LLC" TO "NEW CINGULAR WIRELESS PCS, LLC", FILED IN THIS OFFICE ON THE TWENTY-SIXTH DAY OF OCTOBER, A.D. 2004, AT 11:07 O'CLOCK A.M.

AND I DO HEREBY FURTHER CERTIFY THAT THE EFFECTIVE DATE OF THE AFORESAID CERTIFICATE OF AMENDMENT IS THE TWENTY-SIXTH DAY OF OCTOBER, A.D. 2004, AT 7:30 O'CLOCK P.M.

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Flarmet Smith Hundred

AUTHENTICATION: 3434823

חאיים. זר מכבחא

State of Delaware
Secretary of State
Division of Corporations
Delivered 11:20 AM 10/26/2004
FILED 11:07 AM 10/26/2004
CERTIFICATE OF AMENDMENT SRV 040770586 - 2445544 FILE

CERTIFICATE OF AMENDMENT SAV 045770586 - 244554 TO THE CERTIFICATE OF FORMATION OF AT&T WIRELESS PCS, LLC

- The name of the limited liability company is AT&T Wireless PCS, LLC (the "Company").
- 2. The Certificate of Formation of the Company is amended by deleting the first paragraph in its entirety and replacing it with a new first paragraph to read as follows:
 - "FIRST: The name of the limited liability company is New Cingular Wireless PCS, LLC."
- 3. The Certificate of Amendment shall be effective at 7:30 p.m. EDT on October 24, 2004.

[Signature on following page]

IN WITNESS WHEREOF, AT&T Wireless PCS, LLC has caused this Certificate of Amendment to be executed by its duly authorized Manager this 20th day of October, 2004.

AT&T WIRELESS PCS, LLC

By: Cingular Wireless LLC, its Manager

Title:__

ASSISTING COOR

STATE OF DELAWARE CERTIFICATE OF FORMATION OF AT&T WIRELESS PCS, LLC

The undersigned authorized person hereby executes the following Certificate of Formation for the purpose of forming a limited liability company under the Delaware Limited Liability Company Act.

FIRST.

The name of the limited liability company is AT&T Wireless PCS, LLC.

SECOND:

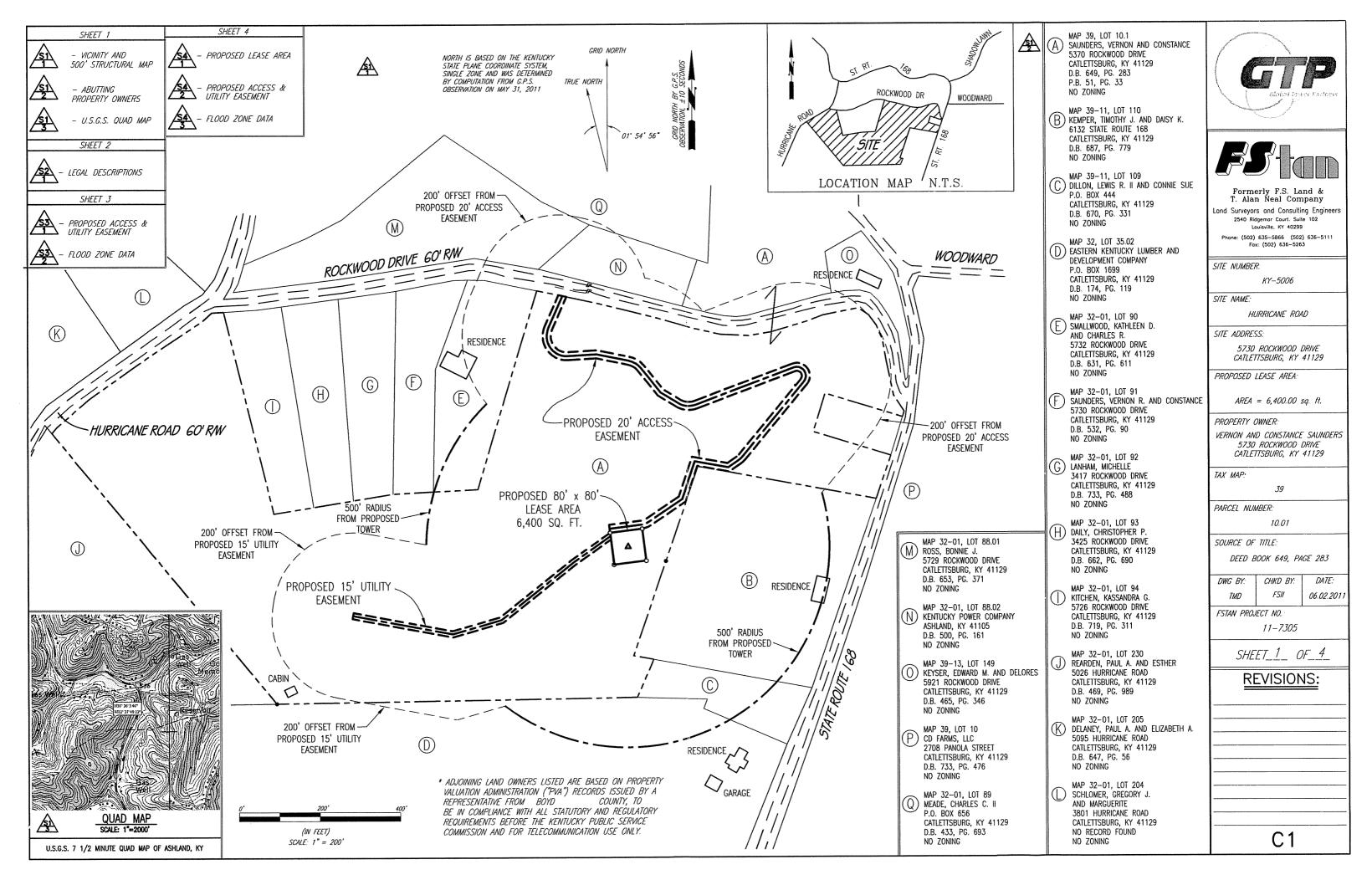
The address of its registered office in the State of Delaware is Corporation Trust Center, 1209 Orange Street, Wilmington, Delaware 19801. The name of its registered agent at such address is The Corporation Trust Company.

DATED this 7 day of September, 1999.

AT&T WIRELESS SERVICES, INC., As Authorized Person

Mark U. Thomas, Vice President

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- VICINITY AND 500' STRUCTURAL MAP



- ABUTTING PROPERTY OWNERS



- U.S.G.S. QUAD MAP



- LEGAL DESCRIPTIONS



SHEET 2



PROPOSED ACCESS & UTILITY EASEMENT



FLOOD ZONE DATA
SHEET 4



PROPOSED LEASE AREA



PROPOSED ACCESS & UTILITY EASEMENT

-- FLOOD ZONE DATA

LEGAL DESCRIPTIONS:

This is a description for Global Tower Partners, of an area to be leased from the property of Vernon R. and Constance E. Saunders of record in deed book 649, page 283, which is further described as follows:

PROPOSED LEASE AREA

Beginning at a found 6"x6" concrete monument in the southwestern most corner of the Vernon R. and Constance E. Saunders parcel of record in deed book 649. page 283, said point being a common corner to Edward T. and Esther Rearden of record in deed book 469, page 989 and being in the line of Eastern Kentucky Lumber and Development Company of record in deed book 174, page 119: thence with the line of Eastern Kentucky Lumber and Development Company, S89'08'07"W 892.93' to a corner point of Lewis R. Dillon, Jr., and Connie Sue Dillon of record in deed book 670, page 331; thence with the line of Dillon, N23'07'26"E 102.89' to a corner point to Timothy J. and Daisey K. Kemper of record in deed book 687, page 779; thence with the line of Kemper the following calls: N79'29'34"W 50.00', N18'52'40"E 248.76' to a found \(\frac{1}{2} \)" rebar with a yellow cap stamped "K. Barker P.L.S. 2630," N18*52'40"E 248.76' and S79°29'34"E 450.00' to a point in the west right-of-way line of State Route 168: thence with said right-of-way line, N18'42'22"E 114.06' to a corner point of Stanley E. and Geneva Stark of record in deed book 515, page 410. thence leaving said right-of-way and with the line of Stark the following calls; N72'51'27"W 200.00'. N17'08'33"E 100.00' and S72'51'27"E 200.00' to a point in the west right-of-way line of State Route 168: thence with said right-of-way line. N17'08'33"E 14.43' to the right-of-way intersection of State Route 168 and Rockwood Drive; thence with the right-of-way line of Rockwood Drive the following calls; N33*34'56"W 47.99', N11*32'56"W 84.41', N10*25'32"W 56.87', N22*19'57"W 38.29', N36*30'43"W 31.98', N54*42'35"W 23.03', N75'54'20"W 13.27', S78'37'15"W 82.75', S69'13'18"W 44.80', S73'38'57"W 89.93', S80'35'35"W 56.14', N87'27'00"W 70.66', N77'01'23"W 68.72', N74°00'52"W 94.06', N75°45'33"W 141.55' and N77°29'27"W 100.68'; thence leaving said right-of-way line. \$23'44'49"W 87.31': thence with the chord of a curve to the left having a radius of 50.00'. S34'49'06"E 85.32': thence N86'36'58"E 70.90'. S78'22'556"E 81.65': thence with the chord of a curve to the right having a radius of 50.00'. S58'33'52"E 33.90': thence S38'44'49"E 78.15', S58*21'55"E 52.12'; thence with the chord of a curve to the left having a radius of 50.00', S83*54'04"E 43.11'; thence N70*33'47"E 262.04'; thence with the chord of a curve to the right having a radius of 17.50', S35'29'47"E 33.63": thence S38'26'40"W 242.11": thence with the chord of a curve to the right having a radius of 50.00', S47'09'19"W 15.14'; thence S55'51'57"W 28.66', N79'29'34"W 85.06', S18'52'40W 99.34' and S55'51'57"W 98.90'; thence with the chord of a curve to the right having a radius of 50.00', S69'26'34"W 23.47'; thence \$83.01'10"W 76.55' and \$06.58'50"E 10.00' to a set #5 rebar in the northwest corner of the proposed lease area, said point being the true Point of Beginning: thence N83'01'10"E 80.00' to a set #5 rebar; thence S06'58'50"E 80.00' to a set #5 rebar; thence \$83.01'10"W 80.00' to a set #5 rebar and NO6'58'50"W 80.00' to the Point of Beginning containing 6,400.00 square feet per survey by Frank L. Sellinger, II, PLS No. 3282 with FS/Tan Land Surveyors & Consulting Engineers, dated May 31, 2011.

CENTERLINE OF PROPOSED 20' ACCESS EASEMENT

Beginning at a found 6"x6" concrete monument in the southwestern most corner of the Vernon R. and Constance E. Saunders parcel of record in deed book 649. page 283, said point being a common corner to Edward T. and Esther Rearden of record in deed book 469, page 989 and being in the line of Eastern Kentucky Lumber and Development Company of record in deed book 174, page 119; thence with the line of Eastern Kentucky Lumber and Development Company, S89'08'07"W 892.93' to a corner point of Lewis R. Dillon, Jr.. and Connie Sue Dillon of record in deed book 670, page 331; thence with the line of Dillon, N23'07'26"E 102.89' to a corner point to Timothy J. and Daisey K. Kemper of record in deed book 687, page 779; thence with the line of Kemper the following calls; N79'29'34"W 50.00', N18'52'40"E 248.76' to a found b rebar with a yellow cap stamped "K. Barker P.L.S. 2630," N18'52'40"E 248.76' and S79°29'34"E 450.00' to a point in the west right-of-way line of State Route 168: thence with said right-of-way line, N18'42'22"E 114.06' to a corner point of Stanley E. and Geneva Stark of record in deed book 515, page 410: thence leaving said right-of-way and with the line of Stark the following calls; N72'51'27"W 200.00', N17'08'33"E 100.00' and S72'51'27"E 200.00' to a point in the west right-of-way line of State Route 168; thence with said right-of-way line. N17'08'33"E 14.43' to the right-of-way intersection of State Route 168 and Rockwood Drive; thence with the right-of-way line of Rockwood Drive the following calls: N.33:34'56"W 47.99', N11'32'56"W 84.41', N10'25'32"W 56.87', N22"19'57"W 38.29', N36"30'43"W 31.98', N54"42'35"W 23.03', N75°54'20"W 13.27', S78°37'15"W 82.75', S69°13'18"W 44.80', S73°38'57"W 89.93', S80°35'35"W 56.14', N87°27'00"W 70.66', N77°01'23"W 68.72', N74'00'52"W 94.06'. N75'45'33"W 141.55' and N77'29'27"W 100.68' to the true Point of Beginning of the proposed 20' Access Easement; thence with the centerline of said easement, S23*44'49"W 87.31'; thence with the chord of a curve to the left having a radius of 50.00', S34'49'06"E 85.32'; thence N86'36'58"E 70.90', S78'22'556"E 81.65'; thence with the chord of a curve to the right having a radius of 50.00'. S58'33'52"E 33.90': thence S38'44'49"E 78.15', S58'21'55"E 52.12'; thence with the chord of a curve to the left having a radius of 50.00', S84'26'57"E 43.97'; thence N69'28'01"E 260.71'; thence with the chord of a curve to the right having a radius of 22.50', S35'27'12"E 43.48': thence S39'37'34"W 242.72'; thence with the chord of a curve to the right having a radius of 50.00', S47"44'46"W 14.12'; thence S55"51'57"W 28.66'; thence N79°29'34"W 85.06'; thence S18°52'40"W 99.34'; thence S55°51'57"W 98.90'; thence with the chord of a curve to the right having a radius of 50.00', S69°26'34"W 23.47': thence S83'01'10"W 76.55' to the end of said easement per survey by Frank L. Sellinger, II, PLS No. 3282 with FS/Tan Land Surveyors & Consulting Engineers, dated May 31, 2011.

CENTERLINE OF PROPOSED 15' UTILITY EASEMENT

Beginning at a found 6"x6" concrete monument in the southwestern most corner of the Vernon R. and Constance E. Saunders parcel of record in deed book 649, page 283, said point being a common corner to Edward T. and Esther Rearden of record in deed book 469, page 989 and being in the line of Eastern Kentucky Lumber and Development Company of record in deed book 174, page 119: thence with the line of Eastern Kentucky Lumber and Development Company, S89'08'07"W 892.93' to a corner point of Lewis R. Dillon, Jr., and Connie Sue Dillon of record in deed book 670, page 331; thence with the line of Dillon, N23'07'26"E 102.89' to a corner point to Timothy J. and Daisey K. Kemper of record in deed book 687, page 779; thence with the line of Kemper the following calls: N79°29'34"W 50.00'. N18°52'40"E 248.76' to a found 1," rebar with a yellow cap stamped "K. Barker P.L.S. 2630," N18'52'40"E 248.76' and S79'29'34"E 450.00' to a point in the west right-of-way line of State Route 168; thence with said right-of-way line, N18'42'22"E 114.06' to a corner point of Stanley E. and Geneva Stark of record in deed book 515, page 410: thence leaving said right-of-way and with the line of Stark the following calls: N72'51'27"W 200.00'. N17'08'33"E 100.00' and S72'51'27"E 200.00' to a point in the west right-of-way line of State Route 168; thence with said right-of-way line. N17'08'33"E 14.43' to the right-of-way intersection of State Route 168 and Rockwood Drive: thence with the right-of-way line of Rockwood Drive the following calls; N33'34'56"W 47.99', N11'32'56"W 84.41'. N10'25'32"W 56.87', N22"19'57"W 38.29', N36"30'43"W 31.98', N54"42'35"W 23.03', N75'54'20"W 13.27', S78'37'15"W 82.75', S69'13'18"W 44.80', S73'38'57"W 89.93', S80:35'35"W 56.14', N87'27'00"W 70.66', N77'01'23"W 68.72', N74'00'52"W 94.06', N75'45'33"W 141.55' and N77'29'27"W 100.68': thence leaving said right-of-way line. \$23'44'49"W 87.31': thence with the chord of a curve to the left having a radius of 50.00', S34'49'06"E 85.32'; thence N86°36'58"E 70.90'. S78°22'556"E 81.65'; thence with the chord of a curve to the right having a radius of 50.00', S58'33'52"E 33.90'; thence S38'44'49"E 78.15', S58°21'55"E 52.12'; thence with the chord of a curve to the left having a radius of 50.00', S83*54'04"E 43.11'; thence N70*33'47"E 262.04'; thence with the chord of a curve to the right having a radius of 17.50', S35'29'47"E 33.63'; thence S38'26'40"W 242.11'; thence with the chord of a curve to the right having a radius of 50.00', S47'09'19"W 15.14'; thence S55'51'57"W 28.66', N79'29'34"W 85.06'. S18'52'40W 99.34' and S55'51'57"W 98.90'; thence with the chord of a curve to the right having a radius of 50.00', S69°26'34"W 23.47'; thence S83'01'10"W 76.55' and S06'58'50"E 18.52' to the true Point of Beginning of the proposed 15' Utility Easement; thence with the centerline of said easement. \$54.41.22 W 111.67', \$51.19.39 W 229.10', \$73.57'14"W 126.33' and N79°24'07"W 251.61' to the end of said easement per survey by Frank L. Sellinger, II, PLS No. 3282 with FS/Tan Land Surveyors & Consulting Engineers, dated May 31, 2011.

POWER POLE

UTILITY COMPANY: UNKNOWN IDENTIFICATION #: N/A

PROJECT BENCHMARK

NORTH: 4060732.090 EAST: 5814739.357

ELEVATION: 758.59'

LOCATION: BEING A SET IPC STAMPED
"FSTAN #3282" AT THE SOUTHWEST
CORNER OF THE LEASE AREA.

SURVEYORS NOTES

SOURCE OF BEARING IS A G.P.S. OBSERVATION ON MAY 31, 2011.

SITE SHOWN SUBJECT TO RIGHT OF WAYS AND EASEMENTS SHOWN HEREON OR NOT.

NO SEARCH OF PUBLIC RECORDS HAS BEEN PERFORMED BY THIS FIRM TO DETERMINE ANY DEFECTS AND/OR AMBROUTHES IN THE TITLE OF THE PARENT TRACT.

THIS DRAWING DOES NOT REPRESENT A BOUNDARY SURVEY.



COORDINATE POINT LOCATION

NAD 1983
LATITUDE: 38'26'03.46"
LONGTUDE: 82'37'48.12"
NAVD 1988
ELEVATION: 754' AMSL
STATE PLANE COORDINATE SINGLE ZONE
(BLUE MARBLE GEOGRAPHIC
CALCULATOR VERSION 3.0)
NORTHING: 4060776.655
EASTING: 58'14774.190



LAND SURVEYOR'S CERTIFICATE

TIPE "A" SURVEY: UNUOUSTED TRAVERSE CLOSURE BETTER THAN 1 IN 15,000.

TO ALL PARTIES INTERESTED IN TITLE TO PREMISES SURVEYED I hereby certify that this plot and survey were made under my supervision, and that the angular and linear measurements, as witnessed by manuments shown hereon, are true and correct to the best of my knowledge and belief.

This survey and plot meets or exceeds the minimum standards of the governing authorities.

This property is subject to any recorded easements or right of ways not shown hereon.

ronk L Sellinger, N Ky. Reg. No. 3282

UNDERGROUND UTILITIES

CALL 2 WORKING DAYS

BEFORE YOU DIG

INDIANA 1-800-382-5544 KENTUCKY 1-800-752-6007 UTILITIES PROTECTION SERVICE NON-MEMBERS MUST CALL DIRECTLY

The utility information shown on this plat, prepared by FSTAN was obtained from existing records and or by field locations. It is the contractor's responsibility to verify their existence and location, and to contact the appropriate utility company for field locations.

"CELLULAR	COMMUNICATION TOWER SITE SURVEY"	
	REFERENCED AS "EXHIBIT B"	
WNER APPROVAL:	DATE:	
T&T APPROVAL:	DATE:	





Formerly F.S. Land & T. Alan Neal Company

Land Surveyors and Consulting Engineers 2540 Ridgemar Court, Suite 102

Louisville, KY 40299

Phone: (502) 635-5866 (502) 636-5111 Fax: (502) 636-5263

SITE NUMBER:

KY-5006

SITE NAME:

HURRICANE ROAD

SITE ADDRESS:

5730 ROCKWOOD DRIVE CATLETTSRURG KY 41129

PROPOSED LEASE AREA:

AREA = 6,400.00 sq. ft.

PROPERTY OWNER:

VERNON AND CONSTANCE SAUNDERS 5730 ROCKWOOD DRIVE CATLETTSBURG, KY 41129

TAX MAP:

39

PARCEL NUMBER:

....

10.01

SOURCE OF TITLE:

DEED BOOK 649, PAGE 283

DWG BY:

TMD FSII

FSTAN PROJECT NO.:

DATE:

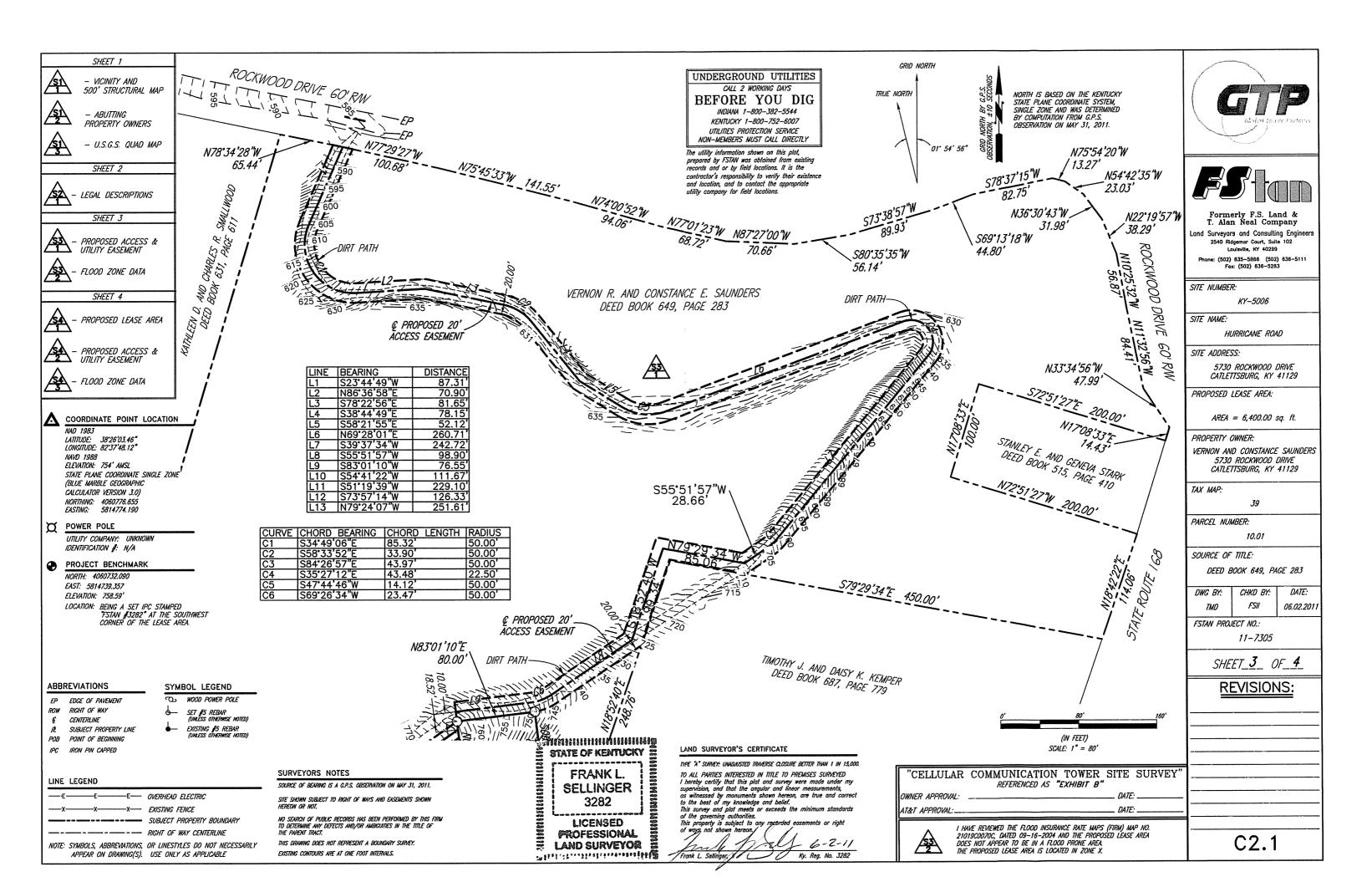
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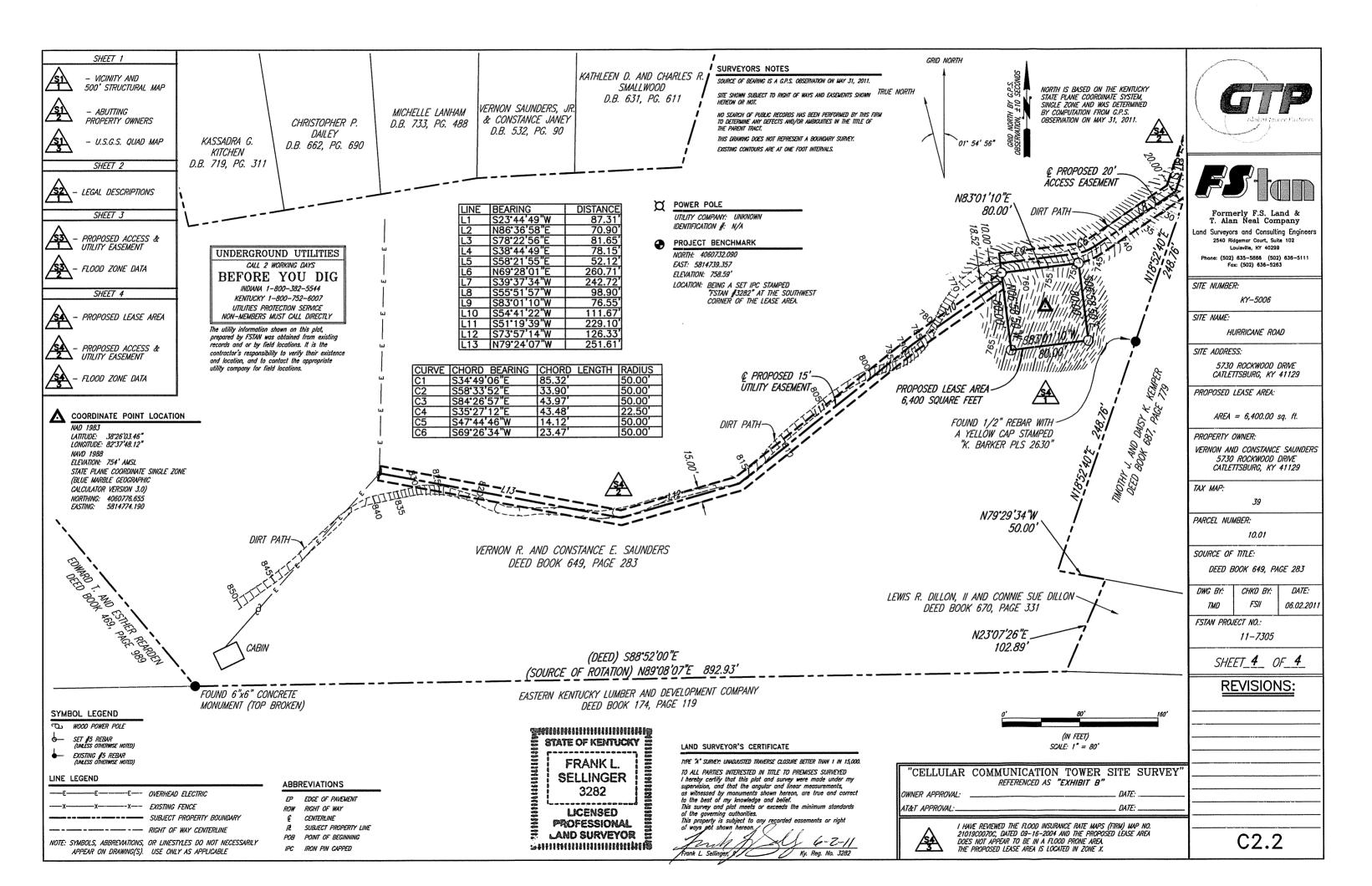
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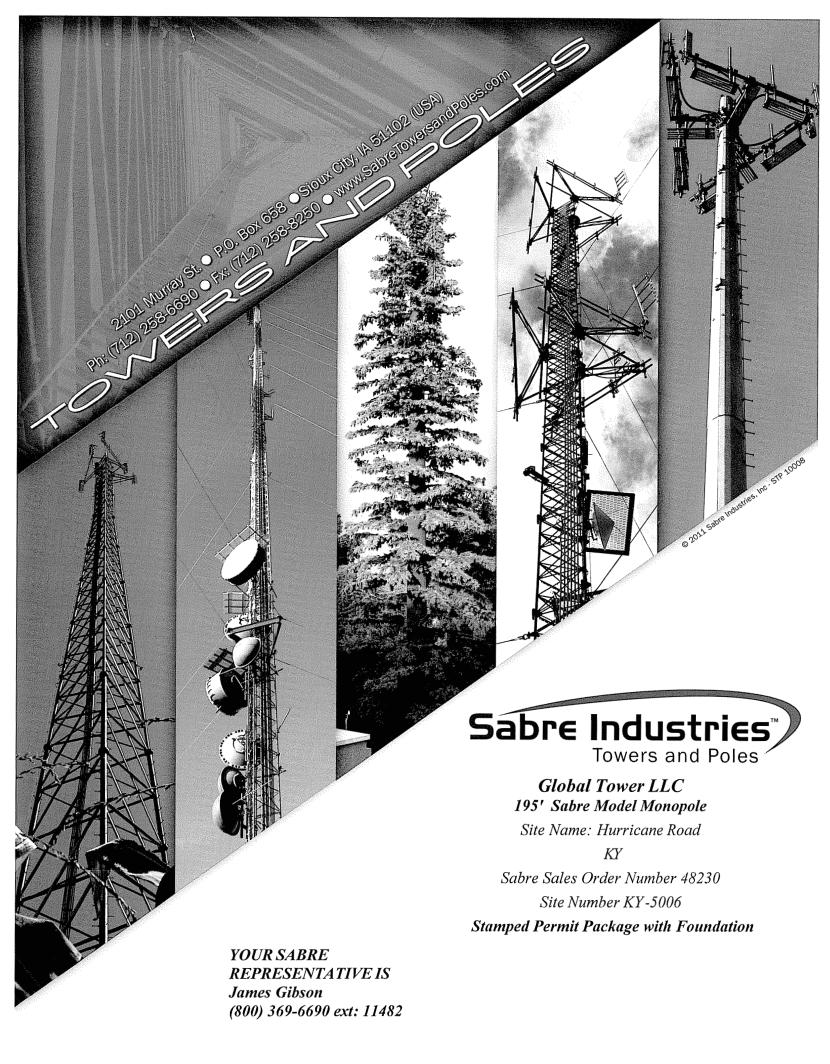
11-7305 SHFET **2** OF **4**

	\Box /	101	\sim 1	VS:
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 C_2









Structural Design Report

195' Monopole located at: Hurricane Road, KY Site Number: KY-5006

prepared for: GLOBAL TOWER LLC by: Sabre Towers & Poles TM

Job Number: 48230

August 17, 2011

Monopole Profile	1
Foundation Design Summary	2
Pole Calculation	C1-C6
Foundation Calculations	A1-A2

Monopole by

Foundation by

Approved by

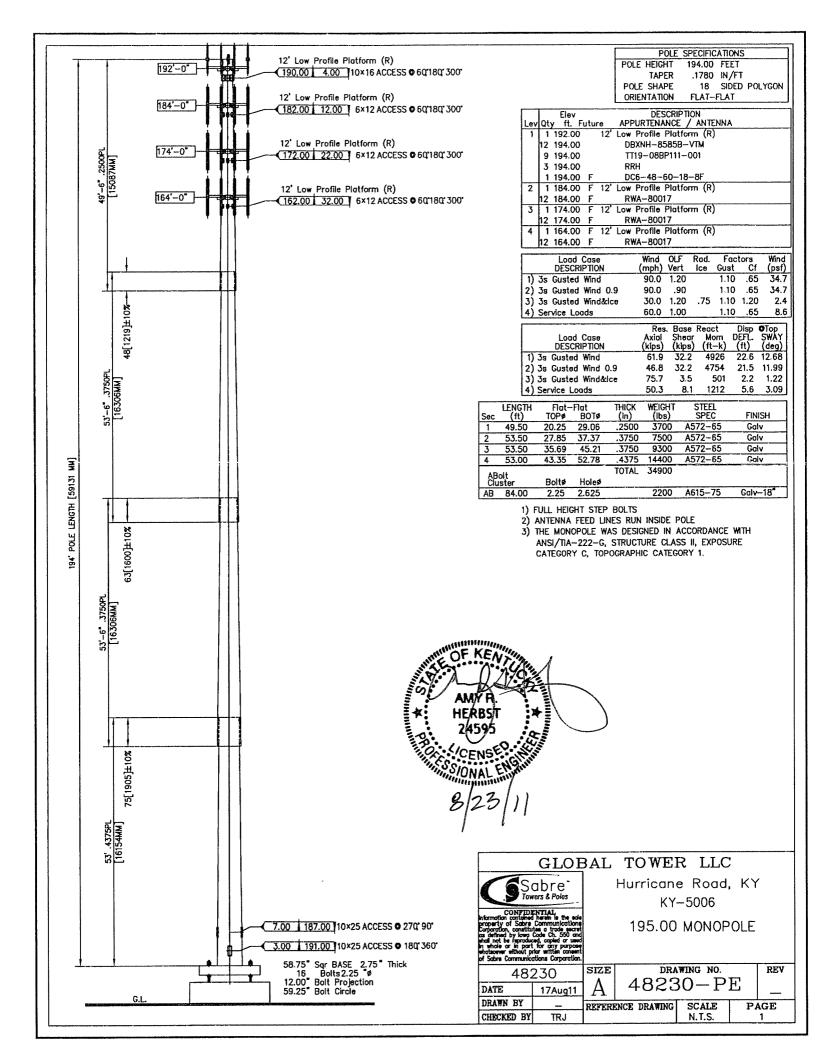
AMY A.

HERBST

24595

CENSE

(CENSE)



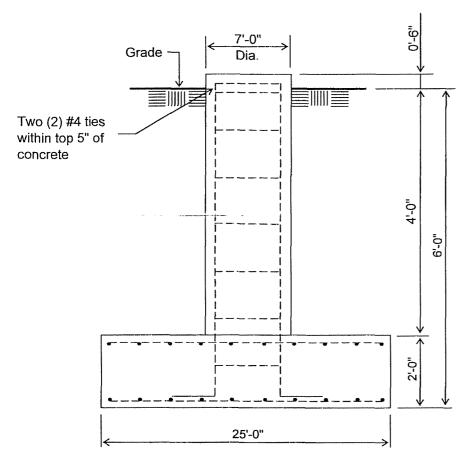


No.: 48230 Page: 2 Date: 8/17/11

By: REB

Customer: GLOBAL TOWER LLC Site: Hurricane Road, KY KY-5006

195' Monopole at 90 mph Wind with no ice and 30 mph Wind with 0.75 in. Ice per ANSI/TIA-222-G-2005. Antenna Loading per Page 1



ELEVATION VIEW

(52.71 Cu. Yds. each) (1 REQUIRED; NOT TO SCALE)



- 1). Concrete shall have a minimum 28-day compressive strength of 4000 PSI, in accordance with ACI 318-05
- 2). Rebar to conform to ASTM specification A615 Grade 60.
- 3). All rebar to have a minimum of 3" concrete cover.
- 4). All exposed concrete corners to be chamfered 3/4".
- 5). The foundation design is based on the geotechnical report by TEP project no. 112956.10, dated: 8/15/11
- 6). See the geotechnical report for compaction requirements, if specified.
- 7). The foundation is based on the following factored loads: Moment (kip-ft) = 4926.67 Axial (kips) = 61.889Shear (kips) = 32.165

KEN / WALLER	
AMYR. HERBST 24595 LICENSE LICENSE	
SSIONAL ENGLISH	23/11

	Rebar Schedule per Pad and Pier					
	(32) #9 vertical rebar w/hooks at bottom					
Pier	w/#4 ties, two within top 5" of top of pier then					
	12" C/C					
Pad	(33) #8 horizontal rebar evenly spaced each					
rau	way top and bottom (132 Total)					

8). This is a design drawing only. Please see final construction drawings for all installation details.

Information contained herein is the sole property of Sabre Towers & Poles, constitutes a trade secret as defined by Iowa Code Ch. 550 and shall not be reproduced, copied or used in whole or part for any purpose whatsoever without the prior written consent of Sabre Towers & Poles.

SABRE COMMUNICATIONS CORP	JOB: 00-48230	17-Aug-11 09:19
2101 Murray Street	GLOBAL TOWER LLC	Ph 712.258.6690
Sioux City, IA 51101	Hurricane Road, KY	Fx 712.258.8250

TOP BOTTOM POLE	DIAMETER DIAMETER HEIGHT	52.78 194.00	in. ft.	ĺ		Point FLAT	
BASE	HEIGHT	1.00			ABOVE GROU		_
E-MODULU	S	29000	ksi	[12000 ksi	SHEAR	MODULUS]

APPURTENANCES -

ATTACH POINTS:	NO.	X.ft	Otv	Description	Status
111 111011 2 0 1111 10 1	1	192.00	1	User Defined Loading	Initial Appurt
	2	191.90	1	User Defined Loading	Future Appurt
	3	184.00	1	User Defined Loading	Future Appurt
	4	174.00	1	User Defined Loading	Future Appurt
	5	164.00	1	User Defined Loading	Future Appurt

Some wind forces may have been derived from full-scale wind tunnel tests.

Pole	Bottom	Thick	Connect	LAP	Taper	Length	Weight	Steel	Pole Finish
Section	X,ft.	in.	Type	in.	in/ft	ft.	<u>lbs</u>	Spec	
1			SLIP-JNT	48.	.1780	49.50	3261	A572-65	GALVANIZE
2	99.00	.37500	SLIP-JNT	63.	.1780	53.50	6984	A572-65	GALVANIZE
3	147.25	.37500	SLIP-JNT	75.	.1780	53.50	8682	A572-65	GALVANIZE
11 ~			C-WELD		.1780	53.00	11926	A572-65	GALVANIZE

SECTION	PROPE	RTIES	***************************************							
X,ft	UP,ft	D,in	T,in	Area in²	Iz in ⁴	IxIy in ⁴	SxSy in ³	w/t	d/t	F _y (ksi)
80.000 80.000 70.000 65.000 553.000 446.775 441.775 331.775 11.775	00000000000000000000000000000000000000	512132109876565432109848210987654046543210986547 2665098754323543210976456542109871243210986547 2000122234567888890123344566667899011234444444444444555555	00000000000000000000000000000000000000	757789990111230517384062294062840624236047148258 8118296418523566778990901223334560813680357026 811829641852356677899090122333446678901223345677899022333333333333333333333444444444444555566666666	$\begin{array}{c} 1409460948208848420484222669226188448420042222666927322222336994484220488665230660042266642222666886652366642222266684667898665678966242222666846933677991111111111111111111111111111111$	8844735804199924765779659703007133221168839355567174 88446309922694102262160117288431226636889995605 111122233604482661601172884181225798889995605 1111214456889995605 1111214111111112223222	08925444756955226699810311113028955513291920438946 80082086543345728841975141544445792166207654445578 888900012234555346679123668880244645798216207788366923 111111111222223333333333344444555556666777788888993	278170369147378024680174689135790776173891 2222334.55667.881.222334445555.667777888259936035 2222334.55667881.2222334455555667777888866666777788999	81.17284495044259377048812570448259366167777888899996 822688999999999999999999999999	65.00 TOP 65.00 P02 65.00 P03 65.00 P03 65.00 P04 65.00 P05 65.00 P05 65.00 Slip-B01 65.00 Slip-T02 65.00 Slip-T02 65.00 Slip-T03 65.00 Slip-T04 65.00 Slip-T04 65.00 Slip-T04 65.00 Slip-T04

CASE - 1: 3s Gusted Wind	SABRE COMMUNICATIONS C	ORP	JOB: 00-			17-Aug-11 09	
WIND OLF	2101 Murray Street		GLOBAL TO	WER LLC		Ph 712.258.6	16
WIND OLF			nurricane	koad, KY			
VERTICAL OLF	CASE - 1: 3s Gusted Win	a -				—ANSI-TIA-22	22-G
# Qty Description	VERTICAL OLF DESIGN ICE GUST FACTOR (Gh FORCE COEFF (Cf IMPORTANCE FAC (I) DIRECTION FAC (Kd TOPOGRAPHIC CAT	1.20 .00 in 1.10 .65 1.00	EXP-CAT/STRUEXP-POWER CO	JC CLASS DEFF.	C-II .2105 900.0 ft 34.7 psf 1.0 .0 ft	1659.0 Pa	
# Oty Description	APPURTENANCES -		Center WFTCUT	AREA T			reas MOM.
1 User Defined Loading 192.0 1791 67.0 50.4 3.38 -2.1 2 User Defined Loading 191.9 296 11.5 50.4 .58 -1.9 3 User Defined Loading 191.9 296 11.5 50.0 4.18 -1.9 4 User Defined Loading 174.0 1611 83.7 49.4 4.13 -1.9 5 User Defined Loading 174.0 1611 83.7 48.8 4.08 -1.9 RESULTS	# Oty Description	ر. يا	Line each	each Ft^2 Type	Oty #/F+	WIND Tra-Y Ax-	Z La-X
194.00 1.00 32.83 .00 .0 .01 -1 .0 .0 .0 82.55 .000 192.00 1.00 32.75 .00 .0 6.10 -8.09 .0 .0 82.55 .007 191.90 1.00 32.75 .00 .0 6.10 -8.09 .0 .0 82.55 .008 186.90 1.00 32.57 .00 .0 6.37 -8.2 -31.4 .0 .0 .82.55 .064 184.00 1.00 32.47 .00 .0 11.76 -12.2 -50.0 .0 .0 82.55 .097 179.00 1.00 32.28 .00 .0 12.11 -12.6 -108.8 .0 .0 82.55 .185 174.00 1.00 32.09 .00 .0 17.79 -17.0 -256.8 .0 .0 .82.55 .368 164.00 1.00 31.89 .00 .0 17.79 -17.0 -256.8 .0 .3 .82.55 .368 164.00 1.00 31.49 .00 .0 23.00 -21.0 -346.0 .0 .0 82.255 .368 164.00 1.00 31.28 .00 .0 23.56 -22.1 -577.4 .0 .0 82.55 .678 149.00 1.00 31.06 .00 .0 23.71 -22.5 -695.2 .0 .0 80.01 .770 148.50 1.00 31.04 .00 .0 23.89 -23.0 -707.1 .0 .0 80.01 .779 144.50 1.00 30.64 .00 .0 24.26 -24.1 -802.6 .0 .0 82.55 .568 139.50 1.00 30.64 .00 .0 24.97 -26.0 -1046.7 .0 .0 82.55 .568 139.50 1.00 30.41 .00 .0 24.97 -26.0 -1046.7 .0 .0 82.55 .569 124.50 1.00 29.92 .00 .0 25.30 -26.9 -1171.7 .0 .0 82.55 .749 145.50 1.00 29.92 .00 .0 25.63 -27.9 -11298.3 .0 .0 .0 82.55 .749 145.50 1.00 29.40 .00 .0 25.63 -27.9 -11298.3 .0 .0 .0 82.55 .749 145.50 1.00 29.40 .00 .0 25.63 -27.9 -11298.3 .0 .0 .0 82.55 .796 104.50 1.00 29.40 .00 .0 26.62 -29.8 -11556.7 .0 .0 82.55 .749 119.50 1.00 29.40 .00 .0 26.62 -29.8 -11556.7 .0 .0 82.55 .749 119.50 1.00 29.40 .00 .0 26.62 -29.8 -1171.7 .0 .0 82.55 .749 119.50 1.00 29.40 .00 .0 26.62 -29.8 -11820.8 .0 .0 .0 82.55 .796 104.50 1.00 28.85 .00 .0 26.62 -30.8 -1687.5 .0 .0 .0 82.55 .796 104.50 1.00 29.40 .00 .0 25.63 -27.9 -1298.3 .0 .0 .0 82.55 .796 104.50 1.00 29.40 .00 .0 25.63 -27.9 -1298.3 .0 .0 .0 82.55 .796 104.50 1.00 29.40 .00 .0 25.63 -27.9 -1298.3 .0 .0 .0 82.55 .796 104.50 1.00 29.40 .00 .0 25.63 -27.9 -1298.3 .0 .0 .0 82.55 .796 104.50 1.00 29.40 .00 .0 25.63 -27.9 -1298.3 .0 .0 .0 82.55 .796 104.50 1.00 29.40 .00 .0 28.89 .00 .0 26.62 -30.8 -1687.5 .0 .0 .0 82.55 .796 104.50 1.00 29.40 .00 .0 28.89 .00 .0 27.46 -34.1 -2071.7 .0 .0 82.55 .883 190.00 1.00 27.28 .00 .0 28.49 -38.5 -2497.5 -1 .0 .0 82.55 .897 1100.25 1.00 28.29 .00 .0	1 l User Defined Loading 2 l User Defined Loading 3 l User Defined Loading 4 l User Defined Loading 5 l User Defined Loading					50.4 3.38 -2.	12
60.00 1.00 25.70 .00 .0 29.53 -43.3 -3075.81 .0 79.76 .983 55.00 1.00 25.05 .00 .0 29.71 -44.3 -3223.31 .0 79.26 .994 53.00 1.00 25.05 .00 .0 29.90 -45.5 -3282.51 .0 79.07 .999 48.00 1.00 24.54 .00 .0 30.07 -46.7 -3431.71 .0 82.49 .856 46.75 1.00 24.41 .00 .0 30.24 -48.0 -3470.01 .0 82.38 .858 41.75 1.00 23.85 .00 .0 30.49 -49.8 -3620.81 .0 81.96 .865 36.75 1.00 23.23 .00 .0 30.72 -51.2 -3773.31 .0 81.54 .871 31.75 1.00 22.55 .00 .0 30.93 -52.7 -3926.71 .0 81.11 .876 26.75 1.00 21.78 .00 .0 31.14 -54.2 -4081.71 .0 80.69 .882 21.75 1.00 20.88 .00 .0 31.34 -55.8 -4237.51 .0 80.69 .882 21.75 1.00 19.82 .00 .0 31.55 -57.3 -4394.21 .0 79.85 .891 11.75 1.00 19.16 .00 .0 31.75 -58.9 -4551.71 .0 79.43 .896 6.75 1.00 19.16 .00 .0 31.96 -60.5 -4710.81 .0 79.00 .900 1.75 1.00 19.16 .00 .0 32.09 -61.6 -4870.01 .0 78.58 .903 .00 1.00 19.16 .00 .0 32.16 -61.9 4926.7 .1 .0 78.43 .904	X, ft Kzt psf 32.83 192.00 1.00 32.75 186.90 1.00 32.75 186.90 1.00 32.47 179.00 1.00 32.47 179.00 1.00 32.49 164.00 1.00 31.49 164.00 1.00 31.28 149.00 1.00 31.28 149.00 1.00 31.28 149.00 1.00 31.28 149.50 1.00 30.86 139.50 1.00 30.86 139.50 1.00 30.41 129.50 1.00 30.41 129.50 1.00 29.96 114.50 1.00 29.96 114.50 1.00 29.96 114.50 1.00 29.96 114.50 1.00 29.88 29 95.00 1.00 28.29 95.00 1.00 28.29 95.00 1.00 28.29 95.00 1.00 27.63 80.00 1.00 27.63 80.00 1.00 27.63 80.00 1.00 27.28 75.00 1.00 26.54 65.00 1.00 25.24 41.75 1.00 25.25 1.00 26.54 46.75 1.00 25.25 1.00 24.54 46.75 1.00 25.25 1.0	.00	-7.60 -7.80	0394086800421627737758073775022835708377527807 108686800421627737758073775022835708377527807 11234679002461866705186667044955321003617411111111111111111111111111111111111		00078 00078 00078 00078 00078 00078 00078 00078 00078 00078 00078 00078 00078 00078 00078 00078 000647	
ELEV DEFLECTION feet ROTATION, degrees X, ft X Y Z XY-Result X Y Z XY-Result 194.00 .00 22.62 -1.82 22.62<11.66%> -12.68 .00 .00 12.68	X, ft X Y	LECTION TEET Z -1.82	XY-Result 22.62<11.66%>	X -12.68	NOTTATOA Y 00	Z XY-Result .00 12.68	=

SABRE COMMUNICATION 2101 Murray Street	S CORP	JOB: 00- GLOBAL TO	48230 WER LLC	17 Ph	-Aug-11 09:19 712.258.6690
2101 Murray Street Sioux City, IA 5110	1	Hurricane 1	Road, KY	Fx	712.258.8250
CASE - 2: 3s Gusted	Wind 0.9 Dead			7	MSI-TIA-222-G
WIND OLF VERTICAL OLF DESIGN ICE GUST FACTOR FORCE COEFF IMPORTANCE FAC DIRECTION FAC TOPOGRAPHIC CAT	1.60 .90 .00 in (Gh) 1.10 (Cf) .65 (I) 1.00 (Kd) .95	GUSTED WIND EXP-CAT/STRU EXP-POWER CC REFERENCE HE PRESSURE @ BASE ABOVE G CREST HEIGHT	(3sec) JC CLASS DEFF. JIGHT 9 32.7 ft Grd	90.0 mph 14 C-II .2105 900.0 ft 34.7 psf 165 1.0 .0 ft	4.8 kph 9.0 Pa
APPURTENANCES -			7 D D 7	- CADID	- Sabre Areas
# Qty Description 1 1 User Defined Load 2 1 User Defined Load 3 1 User Defined Load 4 1 User Defined Load 5 1 User Defined Load RESULTS	ding ding ding ding ding	Center WEIGHT Line each Elev-Ft Lbs 192.0 1791 191.9 296 184.0 1611 174.0 1611 164.0 1611	AREA Tyeach Ft^2 Type 67.0 11.5 83.7 83.7 83.7	CABLE WI Qty #/Ft P 50 50 49 48	FORCES MOM. ND Tra-Y Ax-Z Lg-X sf Kips Kips Ft-K
X, ft Kzt 194.00 1.00 32.5 191.90 1.00 32.5 186.90 1.00 32.5 184.00 1.00 32.5 174.00 1.00 31.6 164.00 1.00 31.6 164.00 1.00 31.6 164.00 1.00 31.6 164.00 1.00 31.6 164.50 1.00 31.6 149.00 1.00 31.6 139.50 1.00 30.6 139.50 1.00 29.6 114.50 1.00 1.00 29.6 114.50 1.00 1.00 29.6 114.50 1.00 1.00 29.6 114.50 1.00 1.00 1.00 29.6 114.50 1.00 1.00 1.00 1.00 1.00 1.00 1.00 1	33	RCESeary in A	03855826883347070070057527870207820700723303		82.555 82.555
ELEV	DEFLECTION fee Y Z 21.51 -1.64	tXY-Result 21.51<11.09%>	X	ROTATION, C Y Z .00 .00	degrees XY-Result) 11.99

SABRE COMMUNICAT 2101 Murray Stre	IONS CORP	JOB: 00-48230 GLOBAL TOWER LLC	17-Aug-11 09:19 Ph 712.258.6690
Sioux City, IA 5	1101	Hurricane Road, KY	
CASE - 3: 3s Gus			ANSI-TIA-222-G
WIND OL VERTICAL OL DESIGN IC GUST FACTO FORCE COEFF IMPORTANCE DIRECTION TOPOGRAPHIC	F 1.00 F 1.20 E .75 R (Gh) 1.10 (Cf) 1.20 FAC (I) 1.00 FAC (Kd) .95 CAT 1	GUSTED WIND (3sec) 30 EXP-CAT/STRUC CLASS C. IN EXP-POWER COEFF. REFERENCE HEIGHT 900 PRESSURE @ 32.7 ft 2 BASE ABOVE Grd 1 CREST HEIGHT	.0 mph 48.3 kph -II .2105 .0 ft .4 psf 115.2 Pa .0 .0 ft
APPURTENANCES			Sabre Areas
# Qty Description		Center WEIGHT AREA Tx-C. Line each each Elev-Ft Lbs Ft^2 Type Q	ty #/Ft Psf Kips Kips Ft-K
1 1 User Defined 2 1 User Defined 3 1 User Defined 4 1 User Defined 5 1 User Defined RESULTS	Loading Loading	192.0 1970 73.7 191.9 325 12.6 184.0 1772 92.1 174.0 1772 92.1 164.0 1772 92.1	3.5 .26 -2.4 .0 3.5 .044 .0 3.5 .32 -2.1 .0 3.4 .32 -2.1 .0 3.4 .31 -2.1 .0
X, ft Kzt 194.00 1.00	4.20 1.79 4.18 1.78 4.18 1.778 4.10 1.777 4.00 1.775 4.00 1.775 4.00 1.775 4.00 1.773 1.773 1.773 1.773 1.773 1.773 1.773 1.773 1.773 1.773 1.773 1.668 1.773 1.668 1.667 1.668 1.663	0 2.82 -44.0 -199.0 0 2.87 -45.5 -213.1 0 2.91 -46.8 -2242.0 0 2.96 -48.2 -242.0 0 3.00 -49.6 -256.8 0 3.04 -51.0 -2271.8 0 3.08 -52.4 -287.0 0 3.12 -53.9 -302.3 0 3.12 -55.1 -318.0 0 3.18 -56.5 -324.3 0 3.20 -57.9 -340.2 0 3.23 -59.4 -340.2 0 3.23 -59.4 -340.2 0 3.33 -64.9 -393.1 0 3.33 -64.9 -393.1 0 3.36 -66.7 -409.8 0 3.40 -68.5 -426.6 0 3.49 -74.2 -477.9 0 3.51 -75.7 501.5	0
ELEV X, ft X 194.00 .00	Y Z	feetF XY-Result X 2.22< 1.14%> -1.22	ROTATION, degrees Y Z XY-Result .00 .00 1.22

SABRE COMMUNICATIONS CORP 2101 Murray Street Sioux City, IA 51101	JOB: 00-48230 GLOBAL TOWER LLC Hurricane Road, KY	17-Aug-11 09:19 Ph 712.258.6690 Fx 712.258.8250				
CASE - 4: Service Loads		-ANSI-TIA-222-G				
WIND OLF 1.00 VERTICAL OLF 1.00 DESIGN ICE .00 in GUST FACTOR (Gh) 1.10 FORCE COEFF (Cf) .65 IMPORTANCE FAC (I) 1.00 DIRECTION FAC (Kd) .85 TOPOGRAPHIC CAT 1	GUSTED WIND (3sec) EXP-CAT/STRUC CLASS EXP-POWER COEFF. REFERENCE HEIGHT PRESSURE @ 32.7 ft BASE ABOVE Grd CREST HEIGHT .2105 900.0 ft 8.6 psf 1.0 .0 ft	96.6 kph 412.3 Pa Sabre Areas				
Center WEIGHT AREA Tx-CABLE FORCES MOM.						
# Qty Description	Line each each Elev-Ft Lbs Ft^2 Type Qty #/Ft	WIND Tra-Y Ax-Z Lg-X Psf Kips Kips Ft-K				
1 1 User Defined Loading 2 1 User Defined Loading 3 1 User Defined Loading 4 1 User Defined Loading 5 1 User Defined Loading RESULTS	192.0 1791 67.0 191.9 296 11.5 184.0 1611 83.7 174.0 1611 83.7 164.0 1611 83.7	12.5 .84 -1.8 .0 12.5 .143 .0 12.4 1.04 -1.61 12.3 1.03 -1.61 12.1 1.01 -1.61				
X, ft Kzt psf in Shear; 194.00 1.00 8.16 .00 .0 192.00 1.00 8.14 .00 .0 191.90 1.00 8.14 .00 .0 186.90 1.00 8.07 .00 .0 184.00 1.00 8.07 .00 .0 179.00 1.00 7.98 .00 .0 179.00 1.00 7.98 .00 .0 164.00 1.00 7.88 .00 .0 159.00 1.00 7.83 .00 .0 159.00 1.00 7.77 .00 .0 144.50 1.00 7.77 .00 .0 144.50 1.00 7.61 .00 .0 134.50 1.00 7.61 .00 .0 129.50 1.00 7.56 .00 .0 124.50 1.00 7.37 .00 .0 124.50 1.00 7.37 .00 .0 124.50 1.00 7.37 .00 .0 124.50 1.00 7.37 .00 .0 124.50 1.00 7.37 .00 .0 129.50 1.00 7.37 .00 .0 100.51 1.00 7.37 .00 .0 100.55 1.00 1.00 6.60 .00 .00 .00 .00 .00 .00 .00 .00	ORCES, kips:MOMENTS, ft-kips- X ShearY AxiaZ BendX BendY Tor 1.24 -7.1	F'Y Inter 4.8.2 0.0 82.555 .0006 0.0 82.555 .0020 0.0 82.555 .0513 0.0 82.555 .0573 0.0 82.555 .0997 0.0 82.555 .0997 0.0 82.555 .1229 0.0 82.555 .1449 0.0 80.751 .1999 0.0 82.555 .1566 0.0 82.555 .1566 0.0 82.555 .1566 0.0 82.555 .1889 0.0 82.555 .1889 0.0 82.555 .2209 0.0 82.555 .2209 0.0 82.555 .2209 0.0 82.555 .2229				
DISPLACEMENTS ELEV DEFLECTION fee X, ft X Y Z 194.00 .00 5.5511	tROTATION XY-Result X Y 5.55< 2.86%> -3.09 .00	N, degrees MicroWZXY-Result AlloW.00 3.09				

SABRE COMMUNIC 2101 Murray St Sioux City, IA	reet		GLOBAL	00-48230 TOWER LLC e Road, KY		Ph 71	g-11 09:19 2.258.6690 2.258.8250
POLE DATA	SHAPE: BOLTS: LOCATE:	18 SIDED PC QUADRANT SE	OLYGON wit ACED BOLT	h FLAT-FLAT S 6.00 in.	ORIENTA: ON CENTI	FION ER	
DIAME PLATE TAPER POLE	E = .437 R = .178 Fy = 65.0	5 in. 30 in/ft 90 ksi	BASE ACTIONS	AXIAL FORCE= SHEAR X = SHEAR Y = X-AXIS MOM = Y-Axis MOM = Z-Axis MOM =	-61.9 20.3 24.9 3483.2 3483.2	kips kips kips ft-kips ft-kips ft-kips	Vert Long Tran Tran Long Vert
			on Reacti	ons at 45.00 c	deg to X-	-AXIS	
BOLT LOADS -	AXIAL SHEAR YIELD ULT. ALLOW		/ 1 a [.80 x / [.80 x	$ \begin{array}{cccccccccccccccccccccccccccccccccccc$	A kips 4 ksi 2 ksi 0 ksi 0 ksi 0 ksi 0 ksi 0 ksi	Intera .997 T	
		TENSION ARE TENSION ARE ROOT ARE	EA REQUIRE EA FURNISH LA FURNISH	D = 3.17 ED = 3.25 ED = 3.07	7 in^2 5 in^2 7 in^2		
. 2	16 Bolt 2.250 in.	s on a Diameter	59.250 67.13	LT DESIGN US in. Bolt Ci in. Embedde in. Total L	rcle d	SHIP (lbs) 2174	

CONCRETE - Fc= 4000 psi

ANCHOR BOLTS are STRAIGHT w\ UPLIFT NUT

BASE PLATE -

[Bend Model: Flat- 17]
YIELD STRENGTH = 50.0 ksi
BEND LINE WIDTH = 30.4 in.
PLATE MOMENT = 2325.8 in-k
THICKNESS REQD = 2.606 in.
BENDING STRESS = 40.4 ksi
ALLOWABLE STRESS = 45.0 ksi
[Fy x .90 x 1.00]

	BAS	SE PLATE	USED	
2.75		THICK	0	SHIP
58.75	in.	SOUARE		(lbs)
40.50	in.	CENTER	HOLE	1386
12.00	in.	CORNER	CLIP	

- LOAD CASE SUMMARY

		· · · · · · · · · · · · · · · · · · ·					ABol	t-Str	Plate-	Str	
	FO	RCES-(k:	ips)	MOME	NTS-(ft	-k)		Allow	_Actual	Allow	_Design
LO	Axial	ShearX	ShearY	X-axis	Y-axis	TorQ	CSR	ksi	ksi	ksi	Code
1	61.9	20.3	24.9	3113	3818	0	.997	75.00	40.40	45.00	TIA-G
2	46.8	20.3	25.0	3004	3684	0	.960	75.00	38.85	45.00	TIA-G
3	75.7	2.2	2.7	316	388	0	.118	75.00	4.83	45.00	TIA-G
4	50.3	5.1	6.3	766	939	0	.254	75.00	10.30	45.00	TIA-G

MAT FOUNDATION DESIGN BY SABRE TOWERS & POLES

195' Monopole GLOBAL TOWER LLC Hurricane Road, KY (48230) 8-17-11 REB

Overall Loads:			
Factored Moment (ft-kips)	4926.67		
Factored Axial (kips)	61.889		
Factored Shear (kips)	32.165		
Bearing Design Strength (ksf)	39.55	Max. Net Bearing Press. (ksf)	3.67
Water Table Below Grade (ft)	999	100 (B '- B /b-6	50.72
Width of Mat (ft)	25	Ultimate Bearing Pressure (ksf) Bearing Фs	52.73 0.75
Thickness of Mat (ft) Depth to Bottom of Slab (ft)	6	bearing Φs	<u>U.75</u>
Quantity of Bolts in Bolt Circle	16		
Bolt Circle Diameter (in)	59.25		
Top of Concrete to Top			
of Bottom Threads (in)	60		
Diameter of Pier (ft)	7	Minimum Pier Diameter (ft)	6.44
Ht. of Pier Above Ground (ft)	0.5	Equivalent Square b (ft)	6.20
Ht. of Pier Below Ground (ft)	4		
Quantity of Bars in Mat	33		
Bar Diameter in Mat (in)	25.00		
Area of Bars in Mat (in ²)	25.92	Decemberded Chaoing (in)	6 to 12
Spacing of Bars in Mat (in) Quantity of Bars Pier	9.16	Recommended Spacing (in)	0 10 12
Bar Diameter in Pier (in)	1 128		
Tie Bar Diameter in Pier (in)	0.5		
Spacing of Ties (in)	12		
Area of Bars in Pier (in²)	31.98	Minimum Pier A _s (in ²)	27.71
Spacing of Bars in Pier (in)	7.45	Recommended Spacing (in)	6 to 12
fc (ksi)	4		
fy (ksi)	60		
Unit Wt. of Soil (kcf)	0.118		
Unit Wt. of Concrete (kcf)	0.15		
Volume of Concrete (yd3)	52.71		
Two-Way Shear Action:			
Average d (in)	20		
ϕV_c (kips)	1239.8	V _u (kips)	93.1
$\phi V_c = \phi (2 + 4/\beta_c) f_c^{1/2} b_o d$	1859.8		
$\phi V_c = \phi(\alpha_s d/b_o + 2) f_c^{1/2} b_o d$	1378.9		
$\phi V_c = \phi 4 f_c^{1/2} b_o d$	1239.8		
Shear perimeter, b _o (in)	326.73		
$eta_{ extsf{c}}$	1		
One-Way Shear:			
φV _c (kips)	645.1	V _u (kips)	345.3
φν _ε (κιρε) Stability:	المناوية	τ _υ (προ)	0.40.0
Overturning Design Strength (ft-k)	5176.9	Total Applied M (ft-k)	5135.7
	<u> </u>		

MAT FOUNDATION DESIGN BY SABRE TOWERS & POLES (CONTINUED)
195' Monopole GLOBAL TOWER LLC Hurricane Road, KY (48230) 8-17-11 REB

***	-		
Pier	1)6	2614	n.
1 101		-014	

φV _n (kips)	610.3	V _u (kips)	32.2
$\phi V_c = \phi 2(1 + N_u/(2000A_g)) f_c^{1/2} b_w d$	610.3	•	
V _s (kips)	0.0	*** V_s max = 4 $f_c^{1/2}b_w d$ (kips)	1428.0
Maximum Spacing (in)	5.61	(Only if Shear Ties are Required)	
Actual Hook Development (in)	19.00	Req'd Hook Development I _{dh} (in)	14.98
		*** Ref. To Spacing Requirements ACI	11.5.4.3

Flexure in Slab: φM _n (ft-kips)	2243.7	M _u (ft-kips)	2193.3
a (in)	1.52		
Steel Ratio	0.00432		
β_1	0.85		
Maximum Steel Ratio (.75p _b)	0.0214		
Minimum Steel Ratio	0.0018		
Rebar Development in Pad (in)	147.00	Required Development in Pad (in)	46.33

Condition	1 is OK, 0 Fails	
Maximum Soil Bearing Pressure	1	
Pier Area of Steel	1	
Pier Shear	1	
Interaction Diagram Visual Check	1	
Two-Way Shear Action	1	
One-Way Shear Action	1	
Overturning	1	
Flexure	1	
Steel Ratio	1	
Length of Development in Pad	1	
Hook Development	1	

Date: August 15, 2011

Erin Scantlin Global Tower Partners

1200 Peachtree Street, Mailstop 114

Atlanta, GA 30309 Office: (404) 962-5548 Tower Engineering Professionals, Inc. 3703 Junction Boulevard Raleigh, NC 27603 (919) 661-6351 Geotech@tepgroup.net

OF KEAD

EPINGAN. JP

Subject: Subsurface Exploration Report

GTP Designation: Site Number: KY-5006

Site Name: Hurricane Road

Engineering Firm Designation: TEP Project Number: 112956.10

Site Data: 5730 Rockwood Drive, Catlettsburg, KY 41129 (Boyd County)

Latitude N38° 26' 3.46", Longitude W82° 37' 48.12"

195 Foot - Proposed Monopole Tower

Dear Ms. Scantlin,

Tower Engineering Professionals, Inc. is pleased to submit this "Subsurface Exploration Report" to evaluate subsurface conditions in the tower area as they pertain to providing support for the tower foundation.

This report has been prepared in accordance with generally accepted geotechnical engineering practice for specific application to this project. The conclusions in this report are based on the applicable standards of TEP's practice in this geographic area at the time this report was prepared. No other warranty, express or implied, is made.

TEP assumes the current ground surface elevation; tower location and subsequent centerline provided are correct and are consistent with the elevation and centerline to be used for construction of the structure. Should the ground surface elevation be altered and/or the tower location be moved or shifted TEP should be contacted to determine if additional borings are necessary.

The analyses and recommendations submitted herein are based, in part, upon the data obtained from the subsurface exploration. The soil conditions may vary from what is represented in the boring log. While some transitions may be gradual, subsurface conditions in other areas may be quite different. Should actual site conditions vary from those presented in this report, TEP should be provided the opportunity to amend its recommendations as necessary.

We at *Tower Engineering Professionals, Inc.* appreciate the opportunity of providing our continuing professional services to you and Global Tower Partners. If you have any questions or need further assistance on this or any other projects please give us a call.

Report Prepared/Reviewed by: Cory A. Bauer / John D. Longest, P.E.

Respectfully submitted by:

Pete Jernigah, P.F.

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- 1) PROJECT DESCRIPTION
- 2) SITE EXPLORATION
- 3) SITE CONDITIONS
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 - 4.3) Subsurface Water
 - 4.4) Frost

5) TOWER FOUNDATION DESIGN

5.1) Shallow Foundations

Tables 1A to 1B - Shallow Foundation Analysis and Rock Parameters

5.2) Rock Anchor Foundations

6) SOIL RESISTIVITY

7) CONSTRUCTION CONSIDERATIONS - SHALLOW FOUNDATION

- 7.1) Excavation
- 7.2) Foundation Evaluation/Subgrade Preparation
- 7.3) Fill Placement and Compaction
- 7.4) Reuse of Excavated Soil

8) APPENDIX A

Boring Layout

9) APPENDIX B

Boring Log

1) PROJECT DESCRIPTION

Based on the preliminary drawings, it is understood a monopole communications tower will be constructed at the referenced site. The structure loads will be provided by the tower manufacturer.

2) SITE EXPLORATION

The field exploration included the performance of one soil test boring (B-1) to the auger refusal depth of 9 feet (bgs) at the approximate centerline of the proposed monopole tower. The boring was performed by an ATV mounted drill rig using continuous flight hollow stem augers to advance the hole. Split-spoon samples and Standard Penetration Resistance Values (N-values) were obtained in accordance with ASTM D 1586 at a frequency of 4 samples to auger refusal.

The Split-spoon samples were transported to the TEP laboratory where they were classified by a Geotechnical Engineer in general accordance with the Unified Soil Classification System (USCS), using visual-manual identification procedures (ASTM D 2488).

Diamond-bit core drilling procedures were used to help determine the character and continuity of the rock in boring B-1. The core drilling procedures were in accordance with ASTM Specification D-2113. Rock core samples of the materials penetrated were protected and retained in a swivel-mounted inner tube of the core barrel. Upon completion of the drill run, the core barrel was brought to the surface and samples removed and placed in standard boxes. The samples were classified by a Geotechnical Engineer and the "Recovery" and "Rock Quality Designation" were determined.

The "Recovery" is the ratio of the sample length obtained to the length drilled, expressed as a percent. The "Rock Quality Designation" (RQD) is the percent of the recovered rock samples in lengths of four or more inches, compared to the total length of the core run. This designation is generally applied to samples of NWX size (2-1/8 inch diameter) or larger and to samples described as moderately hard or harder. The percent recovery and RQD are related to rock soundness and continuity. Generalized rock descriptions, percent recovery, and the RQD value are shown on the boring log.

A Boring Location Plan showing the approximate boring location, a Boring Log presenting the subsurface information obtained and a brief guide to interpreting the boring log are included in the Appendix.

3) SITE CONDITIONS

The site is located at 5730 Rockwood Drive in Catlettsburg, Boyd County, Kentucky. The proposed tower and compound are to be located on a ridge in a wooded area. The ground topography is sloping.

4) SUBSURFACE CONDITIONS

The following description of subsurface conditions is brief and general. For more detailed information, the individual Boring Log contained in Appendix B - Boring Log may be consulted.

4.1) Soil

The USCS classification of the materials encountered in the boring include CL and weathered siltstone. The Standard Penetration Resistance ("N" Values) recorded in the materials ranged from 45 blows per foot of penetration to 50 blows per 2 inches of penetration.

4.2) Rock

Weathered siltstone was encountered at a depth of 3.5 feet (bgs) in the boring. Refusal of auger advancement was encountered at a depth of 9 feet (bgs) in the boring.

4.3) Subsurface Water

Subsurface water was not encountered in the boring at the time of drilling. It should be noted the subsurface water level will fluctuate during the year, due to seasonal variations and construction activity in the area.

4.4) Frost

The TIA frost depth for Boyd County Kentucky is 30 inches.

5) TOWER FOUNDATION DESIGN

Based on the boring data, it is the opinion of TEP that a pier extending to a single large mat foundation can used to support the new tower. The following presents TEP's conclusions and recommendations regarding the foundation type.

5.1) Shallow Foundation

The foundation should bear a minimum of 2.5 feet below the ground surface to penetrate the frost depth and with sufficient depth to withstand the overturning of the tower. To resist the overturning moment, the weight of the concrete and any soil directly above the foundation can be used. A friction factor of 0.35 can be utilized at this depth. The values are based on the current ground surface elevation.

Table 1A - Shallow Foundation Analysis Parameters - Boring B-1

Depth		Soil	Static Cohesion ^{2,5}		Friction Angle ²	Effective Unit	
Тор	Bottom	3011	(psf) (psf)		(degrees)	Weight (pcf)	
0	3.5	CL	12825	4500	-	118	
3.5	6	Siltstone ⁴	18875	10000	35	130	
6	8.5	Siltstone ⁴	19775	10000	35	130	
8.5	9	Siltstone ⁴	20725	10000	35	130	
9	14	Siltstone ⁴	20900	10000	35	130	

Notes:

- 1) The bearing values provided are net allowable with a minimum factor of safety of 2 with anticipated settlement less than 1 inch. Bearing may be increased by 1/3 for transient loading (e.g. wind or earthquake loading)
- 2) These values should be considered ultimate soil parameters
- In cases where the shear failure is likely to develop along planes of discontinuity or through highly fractured rock masses cohesion cannot be relied upon to provide resistance to failure
- 4) Rock cores could not be extracted and/or rock quality was not sufficient from these layers for unconfined compressive strength tests. Without unconfined compressive strength tests, soil parameters for rock/weathered rock cannot be determined. To provide strength parameters these layers are being evaluated as weathered siltstone

Table 1B - Rock Parameters - Boring B-1

Depth		Rock	Recovery		Unconfined Compressive	(Srout/Rock"	Effective Unit
Тор	Bottom		(%)	Designation (%)	Strength (psi)	(psi)	Weight (pcf)
9	14	Siltstone	52	0	n/a	n/a	130

Notes:

- 1) These values should be considered ultimate rock parameters. A minimum factor of safety of 4 should be utilized
- 2) The rock encountered is not considered competent, see section 5.2 for design recommendations



5.2) Rock Anchor Foundations

A rock anchor foundation cannot be utilized at the reference site. Competent rock was not encountered at the time of the exploration. Rock competency is typically estimated based on compressive strength of the intact rock, RQD value, joint spacing, condition of the joints, and ground water conditions.

6) SOIL RESISTIVITY

Soil resistivity was performed at the TEP laboratory in accordance with ASTM G187-05 (Standard Test Method for Measurement of Soil Resistivity Using the Two Electrode Soil Box Method). Test results indicated a result of 35,500 ohms/cm.

7) CONSTRUCTION CONSIDERATIONS - SHALLOW FOUNDATION

7.1) Excavation

The boring data indicates excavation to the expected subgrade level for the shallow foundation will extend through clay and weathered siltstone. A large tracked excavator with rock teeth and/or a pneumatic hammer may be necessary to remove the materials with some difficulty. TEP anticipates the depth to the surface of the weathered rock will vary outside of the boring location. Boulders and bedrock outcroppings are common to this geographic region and may also be encountered in the excavation area.

Excavations should be sloped or shored in accordance with local, state and federal regulations, including OSHA (29 CFR Part 1926) excavation trench safety standards. It is the responsibility of the contractor for site safety. This information is provided as a service and under no circumstance should TEP be assumed responsible for construction site safety.

7.2) Foundation Evaluation/Subgrade Preparation

After excavation to the design elevation for the footing, the materials should be evaluated by a Geotechnical Engineer or a representative of the Geotechnical Engineer prior to reinforcement and concrete placement. This evaluation should include probing, shallow hand auger borings and dynamic cone penetrometer testing (ASTM STP-399) to help verify that suitable residual material lies directly under the foundation and to determine the need for any undercut and replacement of unsuitable materials. Loose surficial material should be compacted in the excavation prior to reinforcement and concrete placement to stabilize surface soil that may have become loose during the excavation process. TEP recommends a 6-inch layer of compacted crushed stone be placed just after excavation to aid in surface stability.

7.3) Fill Placement and Compaction

Backfill materials placed above the shallow foundation to the design subgrade elevation should not contain more than 5 percent by weight of organic matter, waste, debris or any otherwise deleterious materials. To be considered for use, backfill materials should have a maximum dry density of at least 100 pounds per cubic foot as determined by standard Proctor (ASTM D 698), a Liquid Limit no greater than 40, a Plasticity Index no greater than 20, a maximum particle size of 4 inches, and 20 percent or less of the material having a particle size between 2 and 4 inches. Because small handheld or walkbehind compaction equipment will most likely be used, backfill should be placed in thin horizontal lifts not exceeding 6 inches (loose).

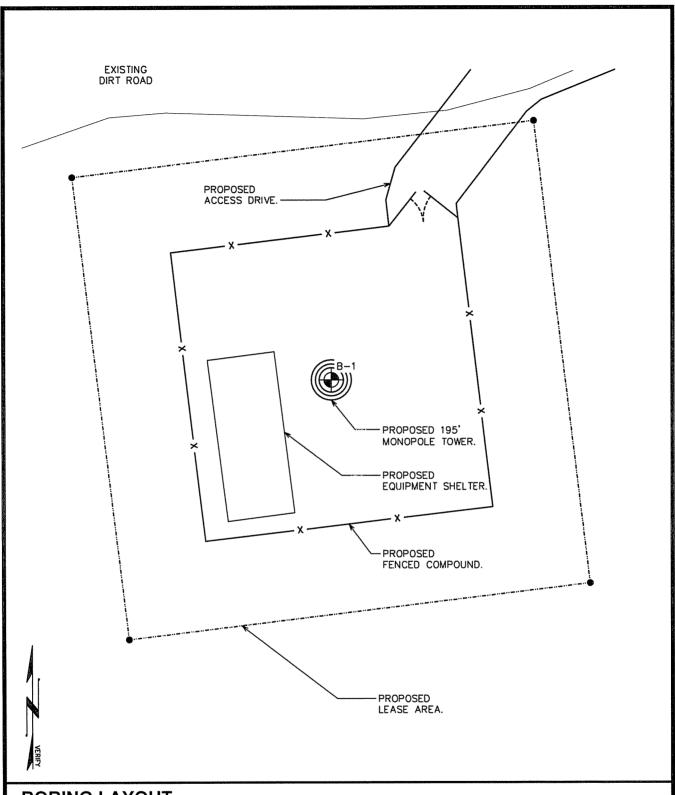
Fill placement should be monitored by a qualified Materials Technician working under the direction of a Geotechnical Engineer. In addition to the visual evaluation, a sufficient amount of in-place field density tests should be conducted to confirm the required compaction is being attained.

7.4) Reuse of Excavated Soil

The clay and siltstone (ML) that meets the above referenced criteria can be utilized as backfill based on dry soil and site conditions at the time of construction.

If variability in the subsurface materials is encountered, a representative of the Geotechnical Engineer should verify that the design parameters are valid during construction. Modification to the design values presented above may be required in the field.

APPENDIX A BORING LAYOUT



BORING LAYOUT

SCALE: N.T.S.

PREPARED BY:

(919) 661-6351 www.tepgroup.net PREPARED FOR:

GTP

1200 PEACHTREE STREET, 114 ATLANTA, GA 30309 OFFICE (404) 962-5548 PROJECT INFORMATION:

HURRICANE ROAD SITE #: KY-5006

> 5730 ROCKWOOD DRIVE CATLETTSBURG, KY 41129 (BOYD COUNTY)

R	REVISION:			_	0	
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APPENDIX B

BORING LOG

Project: KY-5006 Hurricane Road Key to Log of Boring Project Location: Catlettsburg, Kentucky Sheet 1 of 1 Project Number: 112956.10 JSCS Symbol Graphic Log REMARKS AND **MATERIAL DESCRIPTION** OTHER TESTS 9 1 2 3 4 5 6 7 8 10 **COLUMN DESCRIPTIONS** 1 Elevation, feet: Elevation (MSL, feet) 6 Relative Consistency: Relative consistency of the subsurface material. 2 Depth, feet: Depth in feet below the ground surface. 7 USCS Symbol: USCS symbol of the subsurface material. Sample Type: Type of soil sample collected at the depth 8 Graphic Log: Graphic depiction of the subsurface material interval shown encountered. 4 Sample Number: Sample identification number. 9 MATERIAL DESCRIPTION: Description of material 5 Sampling Resistance, blows/foot: Number of encountered. May include consistency, moisture, blows to advance driven sampler foot (or distance color, and other descriptive text. shown) beyond seating interval using the hammer 10 REMARKS AND OTHER TESTS: Comments and identified on the boring logobservations regarding drilling or sampling made by driller or field personnel. FIELD AND LABORATORY TEST ABBREVIATIONS CHEM: Chemical tests to assess corrosivity SA: Sieve analysis (percent passing No. 200 Sieve) **COMP:** Compaction test UC: Unconfined compressive strength test, Qu, in ksf CONS: One-dimensional consolidation test WA: Wash sieve (percent passing No. 200 Sieve) LL: Liquid Limit, percent PI: Plasticity Index, percent TYPICAL MATERIAL GRAPHIC SYMBOLS SILTY CLAY (CL-ML) Well graded GRAVEL (GW) Well graded SAND with Clay (SW-SC) Poorly graded GRAVEL (GP) Poorly graded SAND with Silt (SP-SM) Lean CLAY/PEAT (CL-OL) Well graded GRAVEL with Silt (GW-GM) Poorly graded SAND with Clay (SP-SC) Fat CLAY/SILT (CH-MH) Well graded GRAVEL with Clay (GW-GC) Silty SAND (SM) Fat CLAY/PEAT (CH-OH) Poorly graded GRAVEL with Silt (GP-GM) Clayey SAND (SC) Silty SAND to Sandy SILT (SM-ML) Poorly graded GRAVEL with Clay (GP-GC) SILT, SILT w/SAND, SANDY SILT (ML) Silty SAND to Sandy SILT (SM-MH) Silly GRAVEL (GM) Lean CLAY, CLAY w/SAND, SANDY CLAY (CL) Clavey SAND to Sandy CLAY (SC-CL) SILT, SILT w/SAND, SANDY SILT (MH) Clayey SAND to Sandy CLAY (SC-CH) Clavey GRAVEL (GC) Well graded SAND (SW) Fat CLAY, CLAY w/SAND, SANDY CLAY (CH) SILT to CLAY (CL/ML) SILT, SILT with SAND, SANDY SILT (ML-MH) Poorly graded SAND (SP) Silly to Clayey SAND (SC/SM) ... Well graded SAND with Silt (SW-SM) Lean-Fat CLAY, CLAY w/SAND, SANDY CLAY (CL-CH) TYPICAL SAMPLER GRAPHIC SYMBOLS OTHER GRAPHIC SYMBOLS 2-inch-OD unlined split Shelby Tube (Thin-walled, ─¥ Water level (at time of drilling, ATD) Pitcher Sample spoon (SPT) fixed head) Water level (after waiting a given time) 2.5-inch-OD Modified Minor change in material properties within Grab Sample Other sampler California w/ brass liners a stratum Inferred or gradational contact between 3-inch-OD California w/ Bulk Sample strata brass rings - 1 - Queried contact between strata **GENERAL NOTES** 1. Soil classifications are based on the Unified Soil Classification System. Descriptions and stratum lines are interpretive, and actual lithologic changes may be gradual. Field descriptions may have been modified to reflect results of lab tests. 2. Descriptions on these logs apply only at the specific boring locations and at the time the borings were advanced. They are not warranted to be representative of subsurface conditions at other locations or times

Figure 1

KY-5006 Hurricane Road\Geotech\Boring B-1 KY-5006.bgs [Basic Boring Log.tpl]

Project: KY-5006 Hurricane Road

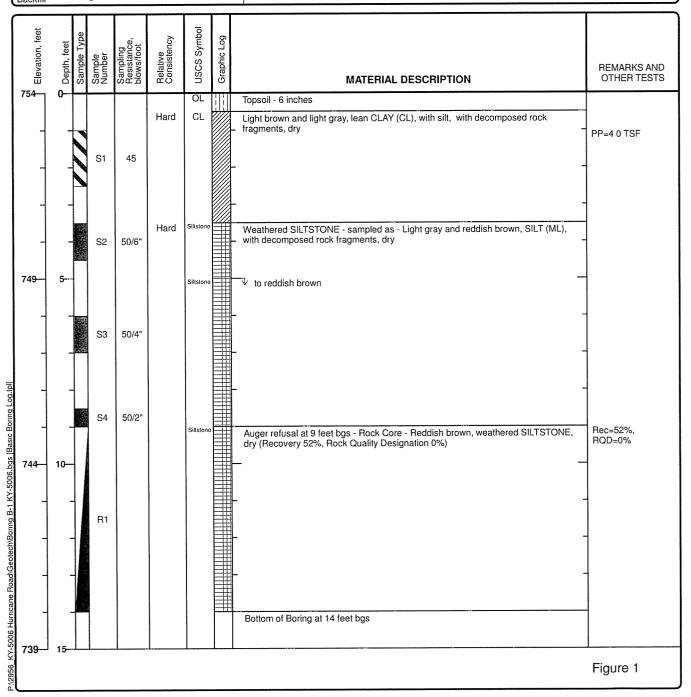
Project Location: Catlettsburg, Kentucky

Project Number: 112956.10

Log of Boring B-1

Sheet 1 of 1

Date(s) Drilled August 11, 2011	Logged By Cory Bauer	Checked By John Longest	
Drilling Method Hollow Stem Auger	Drill Bit Size/Type	Total Depth of Borehole 14 feet bgs	
Drill Rig Type ATV	Drilling Contractor Geo Drill, Inc.	Approximate Surface Elevation 754 feet AMSL	
Groundwater Level and Date Measured Not Encountered ATD	Sampling Method(s) SPT, Other	Hammer Data 140 lb, 30 in drop, Hammer	
Borehole Backfill Cuttings	Location Approximate centerline fo the proposed monopole centerline		





AT&T Mobility 4801 Cox Road Suite 300 Glen Allen, VA 23060 T: 804.290.5030 F: 804.290.5055 www.att.com

May, 23th 2011

To Whom It May Concern:

Re: AT&T Mobility Tower -Boyd County

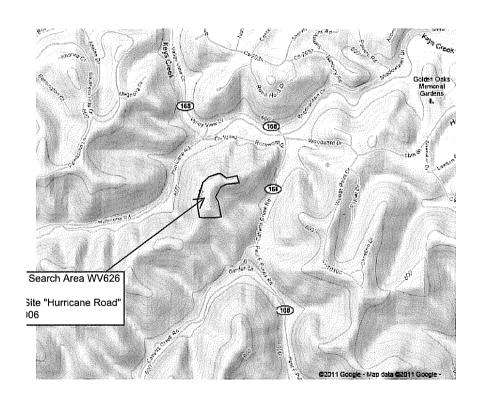
Dear Sir or Madam:

This letter is to state the need for the proposed AT&T site called WV626 (Global Tower Partners' KY-5006 Hurricane Road), to be located at 5756 Rockwood Drive in Catlettsburg in Boyd County, KY. The WV626 site is necessary to improve coverage in Boyd County in the areas of Ashland, Catlettsburg, KY, and along Skyline Dr and Johnsons Ford Rd. There is currently no reliable service in this area. Our closest site is 2.9 miles away and cannot provide dominant service with call quality for customers. Customer in the area are experience high dropped calls and poor call quality or no service areas. With the addition of this site, the customers in these areas of Boyd County will be provided with reliable communications, improved in-building coverage, and more access to emergency 911 service.

Christian D. La Tendresse RF Design Engineer

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« OE/AAA

Notice Criteria Tool

The requirements for filing with the Federal Aviation Administration for proposed structures vary based on a number of factors: height, proximity to an airport, location, and frequencies emitted from the structure, etc. For more details, please reference CFR Title 14 Part 77.9.

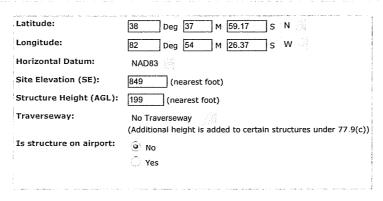
You must file with the FAA at least 45 days prior to construction if:

* your structure will exceed 200ft above ground level

- your structure will be in proximity to an airport and will exceed the slope ratio your structure involves construction of a traverseway (i.e. highway, railroad, waterway etc...) your structure will emit frequencies, and does not meet the conditions of the FAA Co-location Policy
- your structure will be in an instrument approach area and might exceed part 77 Subpart C
- your structure will be on an airport or heliport

If you require additional information regarding the filing requirements for your structure, please identify and contact the appropriate FAA representative using the Air Traffic Areas of Responsibility map for Off Airport construction, or contact the FAA Airports Region / District Office for On Airport construction

The tool below will assist in applying Part 77 Notice Criteria.



Results

You do not exceed Notice Criteria

Matt Chastain

From: Dustin Billman doi:llman@bluewavedeployment.com

Sent: Wednesday, June 15, 2011 3:53 PM

To: Matt Chastain

Subject: FW: Hurrican Rd KACZ Filing

Importance: Low

For the file

Dustin Billman

Blue Wave Deployment

8401 Shelbyville Rd., Suite 104
Louisville, KY 40222

502-645-0262
fax 502-849-0449

From: Houlihan, John (KYTC) [mailto:John.Houlihan@ky.gov]

Sent: Wednesday, June 15, 2011 11:24 AM

To: Dustin Billman

Subject: RE: Hurrican Rd KACZ Filing

Importance: Low

The above subject <u>does not</u> require a permit from the Kentucky Airport Zoning Commission. The antenna does not exceed any of the following criteria:

602 KAR 50:030. Jurisdiction of the Kentucky Airport Zoning Commission.

RELATES TO: KRS 183.861, 183.865, 183.867, 183.870

STATUTORY AUTHORITY: KRS 183.861

NECESSITY, FUNCTION, AND CONFORMITY: KRS 183.867 specifies that the commission has jurisdiction over zoning for all public use and military airports. This administrative regulation defines the areas over which the Kentucky Airport Zoning Commission has jurisdiction for the purpose of zoning in accordance with KRS Chapter 183 and specifics when the owner or person who has control over a structure which encroaches on the jurisdiction of the Kentucky Airport Zoning Commission shall apply for a permit.

Section 1. The commission has zoning jurisdiction over that airspace over and around the public use and military airports within the Commonwealth which lies above the imaginary surface that extends outward and upward at one (1) of the following slopes:

- (1) 100 to one (1) for a horizontal distance of 20,000 feet from the nearest point of the nearest runway of each public use and military airport with at least one (1) runway 3,200 feet or more in length; or
- (2) Fifty (50) to one (1) for a horizontal distance of 10,000 feet from the nearest point of the nearest runway of each public use and military airport with its longest runway less than 3,200 feet in actual length.

Section 2. The commission has zoning jurisdiction over the use of land and structures within public use airports within the state.

Section 3. The commission has jurisdiction from the ground upward within the limits of the primary and approach surfaces of each public use and military airport as depicted on Airport Zoning Maps approved by the Kentucky Airport Zoning Commission.

Section 4. The commission has jurisdiction over the airspace of the Commonwealth that exceeds 200 feet in height above ground level.

Section 5. The owner or person who has control over a structure which penetrates or will penetrate the airspace over which the commission has jurisdiction shall apply for a permit from the commission in accordance with 602 KAR 50:090. (KAV-9-1; 1 Ky.R. 807; eff. 5-14-75; Am. 2 Ky.R. 306; eff. 3-10-76; 5 Ky.R. 599; eff. 3-7-79; 10 Ky.R. 445; eff. 1-4-84; 14 Ky.R. 267; eff. 9-10-87; 19 Ky.R. 800; eff. 11-4-92; 27 Ky.R. 2228; 2774; eff. 4-9-2001.)

Please keep this email for your records. Thank you.

Kentucky Airport Zoning Commission John Houlihan, Administrator 90 Airport Road, Building 400 Frankfort, KY 40601 Desk 502.564.0310 Cell 502.330.3955

http://transportation.ky.gov/aviation/kyzoning.html

CONFIDENTIALITY NOTICE: This e-mail message, including any attachments, is for the sole use of the intended recipient(s) and may contain confidential and privileged information. Any unauthorized review, use, disclosure or distribution is prohibited. If you are not the intended recipient, please contact the sender by reply e-mail or call (502) 564-0310 and destroy all copies of the original message.

From: Dustin Billman [mailto:dbillman@bluewavedeployment.com]

Sent: Monday, June 13, 2011 3:42 PM

To: Houlihan, John (KYTC)
Cc: 'Matt Chastain'

Subject: Hurrican Rd KACZ Filing (OOJ)

John,

I have attached a KAZC application for a proposed Global Tower Partners tower site referred to as Hurricane Rd. Please advise of any questions or concerns.

Hurricane Rd. 38 26 03.17 82 37 48.54 Ground Elevation 754 Structure Height 199 AMSL 953

Nearest Airport is HTS – Huntington Tri-State Airport 5.25 Miles Southeast

MCBRAYER McBrayer, McGinnis, Leslie & Kirkland, PLLC

ATTORNEYS AT LAW

W. BRENT RICE BRICE@MMLK.COM

201 East Main Street, Suite 1000 Lexington, Kentucky 40507 (859) 231-8780 ext. 115 Fax: (859) 231-6518

September 1, 2011

Hon. William C. Stevens Courthouse 2800 Louisa Street PO Box 423 Catlettsburg, KY 41129-0423

RE: Public Notice – Public Service Commission of Kentucky

Case No. 2011-00354

Hurricane Road Site (KY-5006)

Dear Judge Stevens:

Global Tower Assets, LLC and New Cingular Wireless PCS, LLC are applying to the Kentucky Public Service Commission (the "Commission") for a Certificate of Public Convenience and Necessity to construct and operate a new wireless communications facility located 5730 Rockwood Drive, Catlettsburg, Boyd County Kentucky. A map showing the location is attached. The proposed facility will include a 195' monopole tower, plus related ground facilities.

You have a right to submit comments regarding the proposed construction to the Commission or to request intervention in the Commission's proceedings on this application.

Your comment and request for intervention should be addressed to: Kentucky Public Service Commission, Executive Director, 211 Sower Blvd., PO Box 615, Frankfort, Kentucky 40602. Please refer to Case No. 2011-00354 in any correspondence.

Sincerely,

W. Brent Rice

Counsel for Global Tower Assets, LLC and New Cingular Wireless PCS, LLC

Global Tower Assets, LLC and New Cingular Wireless PCS, LLC

PSC Case Number 2011-00354/Hurricane Road Site (KY-5006)

Property Owners

Vernon and Constance Saunders 5370 Rockwood Drive Catlettsburg, KY 41129

Timothy J. and Daisy K. Kemper 6132 State Route 168 Catlettsburg, KY 41129

Lewis R. II and Connie Sue Dillon PO Box 444 Catlettsburg, KY 41129

Eastern Kentucky Lumber & Development Co. PO Box 1699 Catlettsburg, KY 41129

Kathleen D. and Charles R. Smallwood 5732 Rockwood Drive Catlettsburg, KY 41129

Michelle Lanham 3417 Rockwood Drive Catlettsburg, KY 41129

Christopher P. Daily 3425 Rockwood Drive Catlettsburg, KY 41129

Kassandra G. Kitchen 5726 Rockwood Drive Catlettsburg, KY 41129 Paul A. and Esther Rearden 5026 Hurricane Road Catlettsburg, KY 41129

Gregory J. and Marguerite Schlomer 3801 Hurricane Road Catlettsburg, KY 41129

Paul A. and Elizabeth A. Delaney 5095 Hurricane Road Catlettsburg, KY 41129

Bonnie J. Ross 5729 Rockwood Drive Catlettsburg, KY 41129

Kentucky Power Company Ashland, KY 41105

Edward M. and Delores Keyser 5921 Rockwood Drive Catlettsburg, KY 41129

CD Farms, LLC 2708 Panola Street Catlettsburg, KY 41129

Charles C. Meade, II PO Box 656 Catlettsburg, KY 41129



W. BRENT RICE brice@mmlk.com

201 E. Main Street, Suite 1000 Lexington, Kentucky 40507 (859) 231-8780 FAX (859) 231-6518

September 1, 2011

VIA CERTIFIED MAIL, RETURN RECEIPT REQUESTED

Vernon and Constance Saunders 5370 Rockwood Drive Catlettsburg, KY 41129

RE:

Public Notice – Public Service Commission of Kentucky

Case No. 2011-00354

Hurricane Road Site (KY-5006)

Dear Property Owner:

Global Tower Assets, LLC and New Cingular Wireless PCS, LLC d/b/a AT&T Mobility have applied to the Public Service Commission of Kentucky for a Certificate of Public Convenience and Necessity to construct and operate a wireless communications facility located at 5730 Rockwood Drive, Catlettsburg, Boyd County, Kentucky. The facility will be comprised of a 195' monopole tower, plus related ground facilities. A map showing the location of the proposed new facility is enclosed. This notice is being sent to you because you own property within a 500' radius of the proposed facility or are a contiguous property owner.

The Commission invites your comments regarding the proposed construction. You also have the right to intervene in this matter. Your initial communication the Commission must be received by the Commission within 20 days of the date of this letter as shown above.

Your comments and request for intervention should be addressed to: Executive Director's Office, Public Service Commission of Kentucky, P.O. Box 615, Frankfort, KY 40602. Please refer to **Case No. 2011-00354** in your correspondence.

Sincerely,

C. Short Mich

W. Brent Rice

Counsel for Global Tower Assets, LLC and New Cingular Wireless PCS, LLC



W. BRENT RICE brice@mmlk.com

201 E. Main Street, Suite 1000 Lexington, Kentucky 40507 (859) 231-8780 FAX (859) 231-6518

September 1, 2011

VIA CERTIFIED MAIL, RETURN RECEIPT REQUESTED

Timothy J. and Daisy K. Kemper 6132 State Route 168 Catlettsburg, KY 41129

RE: Public Notice – Public Service Commission of Kentucky

Case No. 2011-00354

Hurricane Road Site (KY-5006)

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Sincerely

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201 E. Main Street, Suite 1000 Lexington, Kentucky 40507 (859) 231-8780 FAX (859) 231-6518

September 1, 2011

VIA CERTIFIED MAIL, RETURN RECEIPT REQUESTED

Lewis R. II and Connie Sue Dillon PO Box 444 Catlettsburg, KY 41129

RF.

Public Notice – Public Service Commission of Kentucky

Case No. 2011-00354

Hurricane Road Site (KY-5006)

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h. Sport Rice

W. Brent Rice

Counsel for Global Tower Assets, LLC and New Cingular Wireless PCS, LLC



W. BRENT RICE brice@mmlk.com

201 E. Main Street, Suite 1000 Lexington, Kentucky 40507 (859) 231-8780 FAX (859) 231-6518

September 1, 2011

VIA CERTIFIED MAIL, RETURN RECEIPT REQUESTED

Eastern Kentucky Lumber & Development Co. PO Box 1699 Catlettsburg, KY 41129

RE: Public Notice – Public Service Commission of Kentucky

Case No. 2011-00354

Hurricane Road Site (KY-5006)

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a Sport Rice

W. Brent Rice

Counsel for Global Tower Assets, LLC and New Cinqular Wireless PCS, LLC



W. BRENT RICE brice@mmlk.com

201 E. Main Street, Suite 1000 Lexington, Kentucky 40507 (859) 231-8780 FAX (859) 231-6518

September 1, 2011

VIA CERTIFIED MAIL, RETURN RECEIPT REQUESTED

Kathleen D. and Charles R. Smallwood 5732 Rockwood Drive Catlettsburg, KY 41129

RF.

Public Notice – Public Service Commission of Kentucky

Case No. 2011-00354

Hurricane Road Site (KY-5006)

Dear Property Owner:

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Sincerely

W. Brent Rice

a . Sport Rice

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W. BRENT RICE brice@mmlk.com

201 E. Main Street, Suite 1000 Lexington, Kentucky 40507 (859) 231-8780 FAX (859) 231-6518

September 1, 2011

VIA CERTIFIED MAIL, RETURN RECEIPT REQUESTED

Michelle Lanham 3417 Rockwood Drive Catlettsburg, KY 41129

RE:

Public Notice – Public Service Commission of Kentucky

Case No. 2011-00354

Hurricane Road Site (KY-5006)

Dear Property Owner:

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Sincerely,

W. Brent Rice

Counsel for Global Tower Assets, LLC and New Cingular Wireless PCS, LLC

McBrayer, McGinnis, Leslie & Kirkland, PLLC

ATTORNEYS AT LAW

W. BRENT RICE brice@mmlk.com

201 E. Main Street, Suite 1000 Lexington, Kentucky 40507 (859) 231-8780 FAX (859) 231-6518

September 1, 2011

VIA CERTIFIED MAIL, RETURN RECEIPT REQUESTED

Christopher P. Daily 3425 Rockwood Drive Catlettsburg, KY 41129

RE:

Public Notice - Public Service Commission of Kentucky

Case No. 2011-00354

Hurricane Road Site (KY-5006)

Dear Property Owner:

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Sincerely.

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Sport Reco

MCBrayer, McGinnis, Leslie & Kirkland, PLLC

ATTORNEYS AT LAW

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201 E. Main Street, Suite 1000 Lexington, Kentucky 40507 (859) 231-8780 FAX (859) 231-6518

September 1, 2011

VIA CERTIFIED MAIL, RETURN RECEIPT REQUESTED

Kassandra G. Kitchen 5726 Rockwood Drive Catlettsburg, KY 41129

RF.

Public Notice – Public Service Commission of Kentucky

Case No. 2011-00354

Hurricane Road Site (KY-5006)

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ATTORNEYS AT LAW

W. BRENT RICE brice@mmlk.com

201 E. Main Street, Suite 1000 Lexington, Kentucky 40507 (859) 231-8780 FAX (859) 231-6518

September 1, 2011

VIA CERTIFIED MAIL, RETURN RECEIPT REQUESTED

Paul A. and Esther Rearden 5026 Hurricane Road Catlettsburg, KY 41129

RE: Public Notice – Public Service Commission of Kentucky

Case No. 2011-00354

Hurricane Road Site (KY-5006)

Dear Property Owner:

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201 E. Main Street, Suite 1000 Lexington, Kentucky 40507 (859) 231-8780 FAX (859) 231-6518

September 1, 2011

VIA CERTIFIED MAIL, RETURN RECEIPT REQUESTED

Gregory J. and Marguerite Schlomer 3801 Hurricane Road Catlettsburg, KY 41129

RE: Public Notice – Public Service Commission of Kentucky

Case No. 2011-00354

Hurricane Road Site (KY-5006)

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Counsel for Global Tower Assets, LLC and New Cingular Wireless PCS, LLC

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ATTORNEYS AT LAW

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201 E. Main Street, Suite 1000 Lexington, Kentucky 40507 (859) 231-8780 FAX (859) 231-6518

September 1, 2011

VIA CERTIFIED MAIL, RETURN RECEIPT REQUESTED

Paul A. and Elizabeth A. Delaney 5095 Hurricane Road Catlettsburg, KY 41129

RE: Public Notice – Public Service Commission of Kentucky Case No. 2011-00354

Hurricane Road Site (KY-5006)

Dear Property Owner:

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W. Brent Rice

Sincerely,

Counsel for Global Tower Assets, LLC and New Cingular Wireless PCS, LLC

McBrayer, McGinnis, Leslie & Kirkland, PLLC

ATTORNEYS AT LAW

W. BRENT RICE brice@mmlk.com

201 E. Main Street, Suite 1000 Lexington, Kentucky 40507 (859) 231-8780 FAX (859) 231-6518

September 1, 2011

VIA CERTIFIED MAIL, RETURN RECEIPT REQUESTED

Bonnie J. Ross 5729 Rockwood Drive Catlettsburg, KY 41129

RE:

Public Notice - Public Service Commission of Kentucky

Case No. 2011-00354

Hurricane Road Site (KY-5006)

Dear Property Owner:

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Sincerely,

W. Brent Rice

Counsel for Global Tower Assets, LLC and New Cingular Wireless PCS, LLC



W. BRENT RICE brice@mmlk.com

201 E. Main Street, Suite 1000 Lexington, Kentucky 40507 (859) 231-8780 FAX (859) 231-6518

September 1, 2011

VIA CERTIFIED MAIL, RETURN RECEIPT REQUESTED

Kentucky Power Company Ashland, KY 41105

RE:

Public Notice – Public Service Commission of Kentucky

Case No. 2011-00354

Hurricane Road Site (KY-5006)

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Sincerely,

L. Sport Mec

W. Brent Rice

Counsel for Global Tower Assets, LLC and New Cingular Wireless PCS, LLC



ATTORNEYS AT LAW

W. BRENT RICE brice@mmlk.com

201 E. Main Street, Suite 1000 Lexington, Kentucky 40507 (859) 231-8780 FAX (859) 231-6518

September 1, 2011

VIA CERTIFIED MAIL, RETURN RECEIPT REQUESTED

Edward M. and Delores Keyser 5921 Rockwood Drive Catlettsburg, KY 41129

RE:

Public Notice - Public Service Commission of Kentucky

Case No. 2011-00354

Hurricane Road Site (KY-5006)

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L. Short Mich

W. Brent Rice

Counsel for Global Tower Assets, LLC and New Cinqular Wireless PCS, LLC

WBR/dkw Enclosure

MCBrayer, McGinnis, Leslie & Kirkland, PLLC

ATTORNEYS AT LAW

W. BRENT RICE brice@mmlk.com

201 E. Main Street, Suite 1000 Lexington, Kentucky 40507 (859) 231-8780 FAX (859) 231-6518

September 1, 2011

VIA CERTIFIED MAIL, RETURN RECEIPT REQUESTED

CD Farms, LLC 2708 Panola Street Catlettsburg, KY 41129

RE:

Public Notice – Public Service Commission of Kentucky

Case No. 2011-00354

Hurricane Road Site (KY-5006)

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Counsel for Global Tower Assets, LLC and New Cingular Wireless PCS, LLC

WBR/dkw Enclosure

MCB BRAYER McBrayer, McGinnis, Leslie & Kirkland, PLLC

ATTORNEYS AT LAW

W. BRENT RICE brice@mmlk.com

201 E. Main Street, Suite 1000 Lexington, Kentucky 40507 (859) 231-8780 FAX (859) 231-6518

September 1, 2011

VIA CERTIFIED MAIL, RETURN RECEIPT REQUESTED

Charles C. Meade, II PO Box 656 Catlettsburg, KY 41129

RF.

Public Notice - Public Service Commission of Kentucky

Case No. 2011-00354

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Dear Property Owner:

Global Tower Assets, LLC and New Cingular Wireless PCS, LLC d/b/a AT&T Mobility have applied to the Public Service Commission of Kentucky for a Certificate of Public Convenience and Necessity to construct and operate a wireless communications facility located at 5730 Rockwood Drive, Catlettsburg, Boyd County, Kentucky. The facility will be comprised of a 195' monopole tower, plus related ground facilities. A map showing the location of the proposed new facility is enclosed. This notice is being sent to you because you own property within a 500' radius of the proposed facility or are a contiguous property owner.

The Commission invites your comments regarding the proposed construction. You also have the right to intervene in this matter. Your initial communication the Commission must be received by the Commission within 20 days of the date of this letter as shown above.

Your comments and request for intervention should be addressed to: Executive Director's Office, Public Service Commission of Kentucky, P.O. Box 615, Frankfort, KY 40602. Please refer to **Case No. 2011-00354** in your correspondence.

Sincerely,

W. Brent Rice

Counsel for Global Tower Assets, LLC and New Cingular Wireless PCS, LLC

WBR/dkw Enclosure



Vernon R. and Constance E. Saunders 5730 Rockwood Dr. Catlettsburg, KY 41129



TENANT:

Global Tower Assets, LLC 750 Park of Commerce Blvd. Suite 300 Boca Raton, FL 33487-3612

Site # & name: KY-5006 Hurricane Road

LEASE AGREEMENT

THIS LEASE AGREEMENT ("Lease") is made this 22 day of , 2011 by and between, Vernon R. Saunders and Constance E. Saunders, husband and wife, (the "Landlord"), whose address is 5730 Rockwood Dr., Catlettsburg, KY 41129, and Global Tower Assets, LLC, a Delaware limited liability company (the "Tenant"), whose address is 750 Park of Commerce Boulevard, Suite 300, Boca Raton, Florida 33487-3612.

WHEREAS, the Landlord owns certain real property located the County of Boyd, in the State of Kentucky, that is more particularly described or depicted in attached Exhibit 1 (the "Property"); and,

WHEREAS, the Tenant desires to lease from Landlord a certain portion of the Property, more particularly described or depicted in attached Exhibit 2 (the "Premises").

NOW THEREFORE, for good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, the parties hereto agree:

1. RIGHT TO LEASE.

- (a) Landlord grants to Tenant right to lease a portion of the Property measuring approximately 80' x 80' (6400 SF) square feet as described on attached Exhibit 2, together with unrestricted access for Tenant's uses from the nearest public right-of-way along the Property to the Premises as described on the attached Exhibit 2 (collectively, the "Premises").
- (b) From and after the date of this Agreement as set forth above for the time period set forth below (the "Testing Period"), and at any time during the term of this Agreement, Tenant and its agents, engineers, surveyors and other representatives will have the right to enter upon the Property to inspect, examine, conduct soil borings, drainage testing, material sampling, and other geological or engineering tests or studies of the Property (collectively, the "Tests"), to apply for and obtain licenses, permits, approvals, or other relief required of or deemed necessary or appropriate at Tenant's sole discretion for its use of the Premises and include, without limitation, applications for zoning variances, zoning ordinances, amendments, special use permits, and construction permits (collectively, the "Government Approvals"), initiate the ordering and/or scheduling of necessary utilities, and otherwise to do those things on or off the Property that, in the opinion of Tenant, are necessary in Tenant's sole discretion to determine the physical condition of the Property, the environmental history of the Property, Landlord's title to the Property and the feasibility or suitability of the Property for Tenant's Permitted Use, all at Tenant's expense. Tenant will not be liable to Landlord or any third party on account of any pre-existing defect or condition on or with respect to the Property, whether or not such defect or condition is disclosed by Tenant's inspection. Tenant will restore the Property to its condition as it existed at the commencement of the Testing Period (as defined below), reasonable wear and tear and casualty not caused by Tenant excepted. In addition, Tenant shall indemnify, defend and hold Landlord harmless from and against any and all injury, loss, damage or claims arising directly out of Tenant's Tests.
- (c) In consideration of Landlord granting Tenant the Testing Period, Tenant agrees to pay Landlord the sum of

) within thirty (30) business days of the full execution of this

 Agreement. The Testing Period will be for an initial term of one (1) year (the "Initial Testing Period") and may be
 renewed by Tenant for one (1) additional one (1) year period ("Renewal Testing Period") upon written notification
 to Landlord and the payment of an additional
 io later than ten (10)
 days prior to the expiration date of the Initial Testing Period or current Renewal Testing Period.

(d) During the Initial Testing Period and any extension thereof, Tenant may commence the Initial Term of this Agreement by notifying Landlord in writing. If Tenant commences the Initial Term, then Landlord leases the Premises to the Tenant subject to the terms and conditions of this Agreement. If Tenant does not commence the Agreement during the Initial Testing Period or any extension thereof, this Agreement will terminate and the parties will have no further liability to each other.

2. TERM.

- (a) This Lease shall commence on date Tenant begins construction at the site (the "Commencement Date"), which shall be confirmed in writing from Tenant to Landlord. Unless extended or sooner terminated as herein provided, the term shall be for a period of one hundred twenty (120) months following the Commencement Date ("Initial Term").
- (b) Tenant shall have the option to extend the term of this Lease for four (4) successive additional periods of sixty (60) months each (each a "Renewal Term"). Each Renewal Term shall commence automatically, unless Tenant delivers notice to Landlord of its intent not to renew, such notice to be delivered not less than thirty (30) days prior to the end of the then-current term.

3. RENT.

- (a) Tenant shall pay rent to Landlord beginning at Commencement Date a monthly rental payment of '("Rent"), on or before the fifth (5th) day of each calendar month in advance. Payments will be made via electronic funds transfer ("EFT") directly to Landlord's bank account unless otherwise directed. Rent will be prorated for any partial month. The initial Rent payment will be forwarded by Tenant to Landlord within thirty (30) days from Commencement Date.
- (b) In year one (1) of each Renewal Term, the monthly Rent will increase by fifteen percent (15%) over the Rent paid during the previous Term.
- 4. TAXES. Landlord shall pay when due all taxes and all other fees and assessments attributable to the Property and Premises. In the event that Landlord fails to pay when due any taxes affecting the Premises or the Easement, Tenant shall have the right but not the obligation to pay such taxes and deduct the full amount of the taxes paid by Tenant on Landlord's behalf from future installments of Rent. Tenant will pay any property tax increase directly attributable to Tenants personal property.

5. USE.

- (a) The Premises are being leased for the purpose of erecting, installing, operating and maintaining radio and communications towers, transmitting and receiving equipment, antennas, dishes, mounting structures, buildings, and related equipment ("Communications Facility"). Tenant may make any improvement, alteration or modification to the Premises as are deemed appropriate by Tenant. Tenant shall have the right to clear the Premises of any trees, vegetation, or undergrowth which, in Tenant's sole opinion, interferes with Tenant's use of the Premises for the intended purposes. Tenant shall have the exclusive right to install upon the Premises communications towers, buildings, equipment, antennas, dishes, fencing, and other accessories related thereto, and to alter, supplement, and/or modify same as may be necessary.
- (b) Landlord grants Tenant the right to clear all trees, undergrowth, or other obstructions and to trim, cut and keep trimmed and cut all tree limbs, which may interfere with or fall upon the Communications Facility or Premises. Landlord grants Tenant a non-exclusive easement in, over, across and through other real property owned by Landlord as reasonably required for construction, installation, maintenance, and operation of the Communication Facilities. In the event that the tower to be constructed by Tenant on the Premises is a guyed tower, Landlord also grants Tenant an easement in, over, across and through Landlord's real property for the installation and maintenance of and reasonable access to the guy wires and guy wire anchors. Tenant shall be entitled to sublease and/or sublicense the Premises, including any communications tower located thereon. At all times during the term of this Lease, Tenant, and its guests, agents, customers, lessees, and assigns shall have the unrestricted, exclusive right to use, and shall have free access to, the Premises seven (7) days a week, twenty-four (24) hours a day. Tenant shall have the exclusive right to sublease or grant licenses to use the radio tower or any structure or equipment on the

Premises, but no such sublease or license shall relieve or release Tenant from its obligations under this Lease. If at any time during the term of this Lease, the Federal Aviation Administration, Federal Communications Commission, or other governmental agency changes its regulations and requirements, or otherwise takes any action, the result of which inhibits Tenant's use the Premises, or any communications tower located thereon, for the purposes originally intended by Tenant , or if technological changes render Tenant's intended use of the Premises obsolete or impractical, or if Tenant otherwise determines, in its sole and absolute discretion, with or without cause, that the Premises is no longer suitable or desirable for Tenant's intended use and/or purposes, Tenant shall have the right to terminate this Lease Agreement upon written notice to Landlord.

- 6. ACCESS AND UTILITIES. Landlord for itself, its successors and assigns, hereby grants and conveys unto Tenant, its customers, employees, agents, invitees, successors and assigns a nonexclusive easement for ingress and egress, as well as for the construction, installation, operation and maintenance of overhead and underground electric and other utility facilities (including wires, poles, guys, cables, conduits and appurtenant equipment), with the right to reconstruct, improve, add to, enlarge, change and remove such facilities, over, across and through any easement for the benefit of and access to the Premises, subject to the terms and conditions herein set forth. The rights granted to Tenant herein shall also include the right to partially assign its rights hereunder to any public or private utility company or authority to facilitate the uses contemplated herein, and all other rights and privileges reasonably necessary for Tenant's safe and efficient use and enjoyment of the easement for the purposes described above.
- 7. EQUIPMENT, FIXTURES AND SIGNS. All improvements, equipment or other property attached to or otherwise brought onto the Premises shall at all times be the personal property of Tenant and/or its subtenants and licensees. Tenant or its customers shall have the right to erect, install, maintain, and operate on the Premises such equipment, structures, fixtures, signs, and personal property as Tenant may deem necessary or appropriate, and such property, including the equipment, structures, fixtures, signs, and personal property currently on the Premises, shall not be deemed to be part of the Premises, but shall remain the property of Tenant or its customers. At any time during the term of this Lease Agreement Tenant or its customers shall have the right, but not the obligation, to remove their equipment, structures, fixtures, signs, and personal property from the Premises. Upon termination of this agreement property shall be returned to original state at current grade with natural wear and tear accepted. Upon termination, at Tenants option, Tenant may transfer ownership of their personal property to Landlord in lieu of removing and returning Premises to original state.
- 8. ASSIGNMENT AND SUBLEASE. Tenant may assign this Lease to any person or entity at any time without the prior written consent of Landlord. After delivery by Tenant to Landlord of an instrument of assumption by an assignee that assumes all of the obligations of Tenant under this Lease, Tenant will be relieved of all liability hereunder. Tenant shall be entitled to sublease or grant licenses to use the Premises and/or the radio tower or any structure or equipment on the Premises without the prior written consent of Landlord, but no such sublease or license shall relive or release Tenant from its obligations under the Lease. Landlord may assign this Lease, in whole or in part, to any person or entity (a) who or which acquires fee title to the Premises and/or (b) who or which agrees to be subject to and bound by all provisions of this Lease. Except for the foregoing, assignment of this Lease by Landlord must be approved by Tenant, in Tenant's sole discretion.

9. WARRANTIES AND REPRESENTATIONS.

- (a) Landlord warrants and represents that it is the owner in fee simple of the Premises, free and clear of all liens and encumbrances except as to those which may have been disclosed to Tenant, in writing prior to the execution hereof, and that it alone has full right to Lease the Premises for the term set out herein. Landlord further represents and warrants that Tenant, on paying the rent and performing its obligations hereunder, shall peaceably and quietly hold and enjoy the Premises for the term of this Lease.
- (b) Landlord shall promptly pay all taxes and assessments against the Premises when due and shall avoid any delinquencies with respect thereto and shall protect and indemnify Tenant for any lack of such payment. Landlord shall also pay promptly, when due, any other amounts or sums due and owing with respect to its ownership and operation of the Premises, including, without limitation, judgments, liens, mortgage payments and other similar

encumbrances. If Landlord fails to make any payments required under this Lease, such as the payment of taxes and assessments, or breaches any other obligation or covenant under this Lease, Tenant may (without obligation), after providing ten (10) days written notice to Landlord, make such payment or perform such obligation on behalf of Landlord. The full amount of any costs so incurred by Tenant (including any attorneys' fees incurred in connection with Tenant performing such obligation) shall be paid by Landlord to Tenant with interest at the statutory rate thereon.

- (c) Landlord does hereby authorize Tenant and its employees, representatives, agents and consultants to prepare, execute, submit, file and present on behalf of Landlord building, permitting, zoning or land-use applications with the appropriate local, state and/or federal agencies necessary to obtain land use changes, special exceptions, zoning variances, conditional use permits, special use permits, administrative permits, construction permits, operation permits and/or building permits. Landlord understands that any such applications and/or the satisfaction of any requirements thereof may require Landlord's cooperation, which Landlord hereby agrees to provide.
- (d) Landlord shall not do or permit anything that will interfere with or negate any special use permit or approval pertaining to the Premises or cause any tower on the Premises to be in nonconformance with applicable local, state, or federal laws. Landlord shall cooperate with Tenant in any effort by Tenant to obtain certificates, permits, licenses and other approvals that may be required by any governmental authorities. Landlord agrees to execute any necessary applications, consents or other documents as may be reasonably necessary for Tenant to apply for and obtain the proper zoning approvals required to use and maintain the Premises and the tower site.
- (e) Landlord has complied with all, and will continue to comply with environmental, health, and safety laws with respect to the Premises, and no action, suit, proceeding, hearing, investigation, charge, complaint, claim, demand, or notice has been filed or commenced, or received by Landlord regarding the Premises alleging any failure to so comply. Without limiting the generality of the preceding sentence, Landlord and the Premises are in compliance with all environmental, health, and safety laws. No asbestos-containing thermal insulation or products containing PCB, formaldehyde, chlordane, or heptachlor or other hazardous substances, materials, or wastes have been placed, stored, disposed, or discharged on, under or about the Premises by Landlord or, to the knowledge of Landlord, by any prior owner or user of the Premises, or any other person. To the knowledge of Landlord, there has been no release of or contamination by hazardous materials, substances or wastes on the Premises. Landlord represents and warrants that Tenant shall not be liable for any hazardous materials, substances, or wastes on, under, or about the Premises prior to Tenant's occupancy of the Premises, and Tenant shall not be liable for any violation or environmental law related to the Premises prior to Tenant's occupancy of the Premises.
- (f) All utilities required for the operation of the Tenant's improvements enter the Premises through adjoining public streets or, if they pass through an adjoining private tract, do so in accordance with valid public easements. All utilities are installed and operating and all installation and connection charges have been paid in full.
- (g) Landlord has no knowledge of any fact or condition that could result in the termination or reduction of the current access from the Premises to existing highways and roads, or to sewer or other utility services serving the Premises.
- (h) The Premises abuts on and has direct vehicular access to a public road, or has access to a public road via a permanent, irrevocable, appurtenant easement benefiting the parcel of real property, and access to the property is provided by paved public right-of-way with adequate curb cuts available.
- (i) With respect to the Premises, except as disclosed in writing to Tenant prior to the execution hereof: there currently exist no licenses, sublicenses, or other agreements, written or oral, granting to any party or parties the right of use or occupancy of any portion of the of Premises; there are no outstanding options or rights of first refusal to purchase the Premises or any portion thereof or interest therein; and there are no parties (other than Landlord) in possession of the Premises.
- (j) It is intended that the legal description of the Premises accurately reflect an "as-built" survey of any existing communications tower and accordingly the parties agree that, if any part of such tower, buildings, roadways, utilities, guy wires or anchors related to the communications tower located on the Premises is located beyond the legal description of the Premises or any easements specified in the Lease, the Lease is hereby amended to provide that the Premises includes the existing location of any such improvements as part of the Premises demised in the Lease, to the extent that such improvements are located on real property owned by Landlord.

(k) Landlord hereby agrees to indemnify, defend, and hold harmless Tenant and its officers, directors, shareholders, agents, and attorneys for, from, and against all damages asserted against or incurred by any of them by reason of or resulting from a breach by Landlord of any representation, warranty, or covenant of Landlord contained herein or in any agreement executed pursuant hereto.

- 10. HOLD OVER TENANCY. Should Tenant or any assignee, sublessee or licensee of Tenant hold over the Premises or any part thereof after the expiration of the term set forth herein, such holdover shall constitute and be construed as a tenancy from month-to-month only, but otherwise upon the same terms and conditions.
- 11. INDEMNITIES. The parties agree to indemnify, defend and hold harmless the other party, its parent company or other affiliates, successors, assigns, officers, directors, shareholders, agents and employees (collectively, "Indemnified Persons"), from and against all claims and liabilities (including reasonable attorneys' and fees court costs) caused by or arising out of (i) such party's breach of any of its obligations, covenants, or warranties contained herein, or (ii) such party's acts or omissions with regard to the Lease. However, in the event of an Indemnified Person's contributory negligence or other fault, the Indemnified Person shall not be indemnified hereunder to the extent that the Indemnified Person's negligence or other fault caused such claim or liability.

WAIVERS

- (a) Landlord hereby waives any and all lien rights it may have, statutory or otherwise, in and to the tower facilities or any portion thereof, regardless of whether or not such is deemed real or personal property under applicable laws. Landlord will not assert any claim whatsoever against Tenant for loss of anticipatory profits or any other indirect, special, incidental or consequential damages incurred by Landlord as a result of the construction, maintenance, operation or use of the Premises by Tenant.
- (b) EACH PARTY HERETO WAIVES ANY AND ALL CLAIMS AGAINST THE OTHER FOR ANY LOSS, COST, DAMAGE, EXPENSE, INJURY OR OTHER LIABILITY WHICH IS IN THE NATURE OF INDIRECT, SPECIAL, INCIDENTAL, PUNITIVE OR CONSEQUENTIAL DAMAGES WHICH ARE SUFFERED OR INCURRED AS THE RESULT OF, ARISE OUT OF, OR ARE IN ANY WAY CONNECTED TO THE PERFORMANCE OF THE OBLIGATIONS UNDER THIS LEASE.

13. INSURANCE.

- (a) Tenant shall insure against property damage and bodily injury arising by reason of occurrences on or about the Premises in the amount of not less than \$1,000,000. The insurance coverage provided for herein may be maintained pursuant to master policies of insurance covering other tower locations of Tenant and its corporate affiliates. All insurance policies required to be maintained by Tenant hereunder shall be with responsible insurance companies, authorized to do business in the state where the Premises are located if required by law, and shall provide for cancellation only upon 10 days' prior written notice to Landlord. Tenant shall evidence such insurance coverage by delivering to Landlord, if requested, a copy of all such policies or, at Tenant's option, certificates in lieu thereof issued by the insurance companies underwriting such risks.
- (b) Landlord shall carry, at no cost to Tenant, general property fire, hazard and casualty insurance appropriate for Landlord's improvements on Landlord's Property, and in such amounts to cause the replacement/restoration of the Property (excluding Tenant's improvements and personal property) in the event of casualty.
- 14. INTERFERENCE. During the term of this Lease, Landlord, its successors and assigns, will not grant any ground lease, license, or easement with respect to any property adjacent to the Premises: (a) for any of the uses contemplated in paragraph 5 herein; or (b) if such lease, license, or easement would detrimentally impact Tenant's communications facilities, or the use thereof. Landlord shall not cause or permit the construction of radio or communications towers on the Premises or on any other property of Landlord adjacent or contiguous to or in the immediate vicinity of the Premises, except for towers constructed by Tenant.
- 15. RIGHT OF FIRST REFUSAL. If during the term of this Lease, Landlord receives a bona fide arm's length offer, that Landlord is willing to accept, from any third party to purchase (in whole or in part) (i) Landlord's interest

under this Lease; (iii) Landlord's rights to receive rents under the terms of this Lease; (iii) the Premises, and/or to purchase an easement or any other interest in the land underneath the Premises or underneath areas of access and or utility service to the Premises, (the "Purchase Offer"), the Landlord shall serve a notice (the "Transfer Notice") upon Tenant. The forgoing rights, interest, and property described in (i), (ii), (iii), and (iv) herein shall collectively be referred to as the "Interest". The Transfer Notice shall set forth the exact terms of the Purchase Offer so received, together with a copy of such offer, and shall state the Landlord's desire to sell the Interest on such terms and conditions. Thereafter, the Tenant shall have the right of first refusal ("Right of First Refusal") and option to so lease or purchase the same. If the Tenant desires to exercise its option to purchase the Interest, it shall give notice (the "Counter Notice") to that effect to the Landlord within thirty (30) days after receipt of the Transfer Notice by Tenant. The closing of the purchase and sale of the Interest pursuant to this option shall occur at the time set forth in the Purchase Offer, provided that Tenant shall not be required to Close before the fifteenth (15th) day following the date of the Counter Notice. The Tenant's failure to give a timely Counter Notice (or its notice of refusal to purchase) shall be deemed a waiver of its rights to exercise its right of first refusal to accept the Offer but shall not be deemed a waiver of its right of first refusal with respect to any modification to the Purchase Offer or and future Purchase Offers.

- 16. SECURITY. The parties recognize and agree that Tenant shall have the right to safeguard and protect its improvements located upon or within the Premises. Consequently, Tenant may elect, at its expense, to construct such enclosures and/or fences as Tenant reasonably determines to be necessary to secure its improvements, including the tower(s), building(s), guy anchors, and related improvements situated upon the Premises. Tenant may also undertake any other appropriate means to restrict access to its communications towers, buildings, guy anchors, guy wires, and related improvements.
- 17. FORCE MAJEURE. The time for performance by Landlord or Tenant of any term, provision, or covenant of this Agreement shall be deemed extended by time lost due to delays resulting from acts of God, strikes, civil riots, floods, material or labor restrictions by governmental authority, and any other cause not within the control of Landlord or Tenant, as the case may be.
- 18. CONDEMNATION. Notwithstanding any provision of the Lease to the contrary, in the event of condemnation of the Premises, the Landlord and Tenant shall be entitled to separate awards with respect to the Premises, in the amount determined by the court conducting such condemnation proceedings based upon the Landlord's and Tenant's respective interests in the Premises. If a separate condemnation award is not determined by such court, Landlord shall permit Tenant to participate in the allocation and distribution of the award. In no event shall the condemnation award to Landlord exceed the unimproved value of the Premises, without taking into account the improvements located thereon, and in no event shall the Lease be terminated or modified (other than an abatement of rent) due to a casualty or condemnation without the prior written consent of Lender.
- 19. DEFAULT. The failure of Tenant or Landlord to perform any of the covenants of this Agreement shall constitute a default. The non-defaulting party shall give the other written notice of such default, and the defaulting party shall cure such default within thirty (30) days after receipt of such notice. In the event any such default cannot reasonably be cured within such thirty (30) day period, if the defaulting party shall proceed promptly after the receipt of such notice to cure such default, and shall pursue curing such default with due diligence, the time for curing shall be extended for such period of time as may be necessary to complete such curing, however, in no event shall this extension of time be in excess of sixty (60) days, unless agreed upon by the non-defaulting party.
- 20. REMEDIES. Should the defaulting party fail to cure a default under this Agreement, the other party shall have all remedies available either at law or in equity, including the right to terminate this Lease. In the event Landlord elects to terminate this Lease due to a default by Tenant, it shall continue to honor all sublicense commitments made by Tenant through the expiration of the term of any such commitment, it being intended hereby that each such commitment shall survive the early termination of this Lease. Upon early termination by Landlord any rental

payment from such sublicense commitment shall revert to Landlord until the expiration of the term of any such commitment.

21. ATTORNEY'S FEES. If there is any legal proceeding between Landlord or Tenant arising from or based on this Agreement, the unsuccessful party to such action or proceeding shall pay to the prevailing party all costs and expenses, including reasonable attorney's fees and disbursements, incurred by such prevailing party in such action or proceeding and in any appeal in connection therewith. If such prevailing party recovers a judgment in any such action, proceeding or appeal, such costs, expenses and attorney's fees and disbursements shall be included in and as a part of such judgment.

22. PRIOR AGREEMENTS. The parties hereby covenant, recognize and agree that the terms and provisions of this Lease shall constitute the sole embodiment of the arrangement between the parties with regard to the Premises, and that all other written or unwritten agreements, contracts, or leases by and between the parties with regard to the Premises are hereby terminated, superceded and replaced by the terms hereof.

23. LENDER'S CONTINUATION RIGHTS.

- (a) Landlord agrees to recognize the leases/licenses of all subtenants and sublicensees and will permit each of them to remain in occupancy of its premises notwithstanding any default hereunder by Tenant so long as each such respective subtenant or sublicensee is not in default under the lease/license covering its premises. Landlord agrees to execute such documents as any such subtenant and/or sublicensee might reasonably require, including customary subordination, non-disturbance and attornment agreements and/or Landlord recognition agreements, to further memorialize the foregoing, and further agrees to use reasonable efforts to also cause its lenders to similarly acknowledge, in writing, subtenant/sublicensee's right to continue to occupy its premises as provided above.
- (b) Landlord consents to the granting by Tenant of a lien and security interest in Tenant's interest in the Lease and all of Tenant's personal property and fixtures attached to the real property described herein, and furthermore consents to the exercise by Tenant's mortgagee of its rights of foreclosure with respect to its lien and security interest. Landlord agrees to recognize Tenant's Lender (as hereinafter defined) as Tenant hereunder upon any such exercise by Lender of its rights of foreclosure.
- (c) Landlord hereby agrees to give Lender written notice of any breach or default of the terms of the Lease, within fifteen days after the occurrence thereof, at such address as is specified by Lender. Landlord further agrees that no default under the Lease shall be deemed to have occurred unless such notice to Lender is also given and that, in the event of any such breach or default under the terms of the Lease, Lender shall have the right, to the same extent, for the same period and with the same effect, as the Tenant, plus an additional ninety days after any applicable grace period to cure or correct any such default whether the same shall consist of the failure to pay rent or the failure to perform, and Landlord agrees to accept such payment or performance on the part of the Lender as though the same had been made or performed by the Tenant. Landlord agrees that it shall not exercise its right to terminate the Lease or any of its other rights under the Lease upon breach or default of the terms of the Lease without so affording Lender the foregoing notice and periods to cure any default or breach under the Lease.
- (d) Landlord hereby (i) agrees to subordinate any lien or security interest which it may have which arises by law or pursuant to the Lease to the lien and security interest of Lender in the collateral securing all indebtedness at any time owed by Tenant to the Lender (the "Collateral"), and (ii) furthermore agrees that upon an event of default under the loan documents between Tenant and Lender or the Lease, Lender shall be fully entitled to exercise its rights against the Collateral prior to the exercise by the Landlord of any rights which it may have therein, including, but not limited to, entry upon the Premises and removal of the Collateral free and clear of the Landlord's lien and security interest.
- (e) Landlord acknowledges that nothing contained herein shall be deemed or construed to obligate the Lender to take any action hereunder, or to perform or discharge any obligation, duty or liability of Tenant under the Lease.
- (f) During the term of this Lease, Landlord covenants and agrees that it will not grant, create, or suffer any claim, lien, encumbrance, easement, restriction, or other charge or exception to title to the Premises (an "Encumbrance") without the prior written consent of Tenant; provided, however, that it is expressly agreed and understood that Landlord may subject its interest in the Premises to a first mortgage lien if its lender shall agree for

itself and its lender, its successors, and assigns, by written instrument in form and substance reasonably satisfactory to Tenant: (1) to be bound by the terms of this Lease; (2) not to disturb Tenant's use or possession of the Premises in the event of a foreclosure of such lien or encumbrance so long as Tenant is not in default hereunder; and (3) not to join Tenant as a party defendant in any such foreclosure proceeding taken by it. With regard to any existing Encumbrance, Landlord covenants and agrees that, upon the request of Tenant, it shall use its best efforts to cause the holder thereof to execute a customary Subordination Non-disturbance and Attornment Agreement providing to Tenant the rights afforded to Tenant above with regard to future first mortgage liens.

24. NOTICE/RIGHTS TO CURE. Supplementing the provisions of Section 23 hereof:

(a) The Tenant shall have the right from time to time to mortgage or otherwise encumber the Tenant's interest in this Lease; provided, however, in no event shall there be more than one such mortgage or encumbrance outstanding at any one time. If the Tenant shall so mortgage (each a "Mortgage") the Tenant's interest in this Lease to a lender (such lender, and any successor, assign, designee or nominee of such lender, hereinafter a "Lender"), the Tenant or such Lender shall give the Landlord prompt notice of such Mortgage and furnish the Landlord with a complete and correct copy of such Mortgage, certified as such by the Tenant or such Lender, together with the name and address of such Lender. After receipt of the foregoing, the Landlord shall give to such Lender, at the address of such Lender set forth in such notice, and otherwise in the manner provided by Section 27of this Lease, a copy of each notice of default hereunder at the same time as, and whenever, any such notice of default shall thereafter be given by the Landlord to the Tenant, and no such notice of default by the Landlord shall be deemed to have been duly given to the Tenant unless and until a copy thereof shall have been so given to Lender. Notices to Lender under this Section 24 shall be deemed given on the date received by Lender. Lender (i) shall thereupon have a period of ninety (90) days more than given to the Tenant in each instance in the case of a default in the payment of rent and in the case of any other default, for remedying the default or causing the same to be remedied; provided, however, if any non-rent default is not capable of remedy by Lender within such ninety (90) day period, Lender shall have such ninety (90) day period to commence curing the default and such greater period of time as is necessary to complete same with due diligence, and (ii) shall, within such periods and otherwise as herein provided, have the right to remedy such default or cause the same to be remedied. The Landlord shall accept performance by a Lender of any covenant, condition or agreement on the Tenant's part to be performed hereunder with the same force and effect as though performed by the Tenant. Notwithstanding anything to the contrary contained herein, if the default is of such a nature that it cannot be cured by Lender (for example, the bankruptcy of the Tenant), such event shall not be a default under this Lease.

(b) Notwithstanding any of the provisions of this Lease to the contrary, no default by the Tenant shall be deemed to exist as long as Lender within the periods set forth in paragraph (a) above shall have delivered to the Landlord its written agreement to take the action described in clause (i) or (ii) herein and thereafter, in good faith, shall have commenced promptly either (1) to cure the default and to prosecute the same to completion, or (2) if possession of the Premises is required in order to cure the default, to institute foreclosure proceedings and obtain possession directly or through a receiver, and to prosecute such proceedings with diligence and continuity and, upon obtaining such possession, commence promptly to cure the default and to prosecute the same to completion with diligence and continuity, provided that during the period in which such action is being taken (and any foreclosure proceedings are pending), all of the other obligations of the Tenant under this Lease, to the extent they are reasonably susceptible to being performed by Lender, are being performed. However, at any time after the delivery of the aforementioned agreement, Lender may notify the Landlord, in writing, that it has relinquished possession of the Premises or that it will not institute foreclosure proceedings or, if such proceedings have been commenced, that it has discontinued or will discontinue them, and in such event, Lender shall have no further liability under such agreement from and after the date it delivers such notice to the Landlord, and, thereupon, the Landlord shall have the unrestricted right to terminate this Lease and to take any other action it deems appropriate by reason of any default, and upon any such termination the provisions of Section 24 below shall apply. Notwithstanding anything to the contrary contained herein, provided such Lender shall have otherwise complied with the provisions of this Section 23, such Lender shall have no obligation to cure any defaults which are not susceptible to being cured by such Lender.

(c) Except as provided in Section 24(a) above, no Lender shall become liable under the provisions of this Lease or any lease executed pursuant to Section 24 hereof unless and until such time as it becomes, and then only for as long as it remains, the owner of the leasehold estate credited hereby or thereby. This Lease shall not be amended or modified without the consent of any Lender which has delivered the notice provided for in Section 24(a) hereof. In the event that a Lender shall become the owner of such leasehold estate, such Lender shall not be bound by any modification or amendment of the Lease made subsequent to the date of the Mortgage and delivery to the Landlord of the notice provided in Section 24(a) hereof and prior to its acquisition of such interest unless Lender shall have consented to such modification or amendment at the time it was made or at the time of such acquisition.

25. RIGHT TO NEW LEASE.

(a) In the case of termination of this Lease for any reason, or in the event this Lease is rejected or disaffirmed pursuant to any bankruptcy, insolvency or other law affecting creditor's rights, the Landlord shall give prompt notice thereof to a Lender whose name and address the Landlord has received pursuant to notice made in compliance with the provisions of Section 24(a), at the address of such Lender set forth in such notice, and otherwise in the manner provided by Section 27 of this Lease. The Landlord, on written request of such Lender made any time within thirty (30) days after the giving of such notice by the Landlord, shall promptly execute and deliver a new lease of the Premises to Lender or its designee or nominee, for the remainder of the term upon all the covenants, conditions, limitations and agreements contained herein (including, without limitation, options to extend the term of this Lease) except for such provisions which must be modified to reflect such termination, rejection or disaffirmance and the passage of time, provided that such Lender (i) shall pay to the Landlord, simultaneously with the delivery of such new lease, all unpaid rent due under this Lease up to and including the date of the commencement of the term of such new lease and all reasonable expenses, including, without limitation, reasonable attorneys' fees and disbursements and court costs, incurred by the Landlord in connection with the default by the Tenant, the termination of this Lease and the preparation of the new lease, and (ii) shall cure all defaults existing under this Lease which are susceptible to being cured by such Lender promptly and with due diligence after the delivery of such new lease. Notwithstanding anything to the contrary contained herein, provided such Lender shall have otherwise complied with the provisions of this Section 25, such Lender shall have no obligation to cure any defaults which are not susceptible to being cured by such Lender (for example, the bankruptcy of the Tenant).

(b) Any such new lease and the leasehold estate thereby created shall, subject to the same conditions contained in this Lease, continue to maintain the same priority as this Lease with respect to any mortgage, including any fee mortgage, encumbering the Premises or any part thereof or any leasehold interest therein or any other lien, charge or encumbrance thereon whether or not the same shall then be in existence. Any new lease made pursuant to this Section 25 shall be accompanied by a conveyance of the Landlord's interest, if any, to the improvements on the land demised hereby (free of any mortgage or other lien, charge or encumbrance created or suffered to be created by the Landlord but not any mortgage or other lien, charge or encumbrance created or suffered to be created by the Tenant) for a term of years equal in duration to the term of the new lease as the same may be extended pursuant to the provisions of said new lease, subject, however, to any lease of such improvements theretofore made by the Tenant, as landlord, which is then in effect. Concurrently with the execution and delivery of such new lease, the Landlord shall assign to the tenant named therein all of its right, title and interest in and to moneys (including insurance and condemnation proceeds), if any, then held by or payable to the Landlord or any other depository which the Tenant would have been entitled to receive but for the termination of this Lease, and any sums then held by or payable to the Landlord or such depository shall, subject to the provisions of Section 26 hereof, be deemed to be held by or payable to it as the Landlord or depository under the new lease.

(c) Upon the execution and delivery of a new lease under this Section 25, all subleases which theretofore have been assigned to, or made by, the Landlord shall be assigned and transferred, without recourse, by the Landlord to the tenant named in such new lease. Between the date of termination of this Lease and the date of execution of the new lease, if a Lender shall have requested such new lease as provided in Section 25(a), the Landlord shall not cancel any subleases or accept any cancellation, termination or surrender thereof (unless such termination shall be effected as a matter of law on the termination of this Lease) or enter into new subleases without the consent of Lender.

(d) For so long as Lender shall have the right to enter into a new lease with the Landlord pursuant to this Section 25, the Landlord shall not enter into a new lease of the Premises with any person or entity other than Lender, without the prior written consent of Lender.

26. ADDITIONAL PROVISIONS.

- (a) The parties hereto agree that (1) the Tenant is in possession of the Premises notwithstanding the fact that the Tenant has subleased, or may in the future sublease, certain of the improvements thereon to third parties and (2) the requirements of Section 365(h) of Title 11 of the United States Code (the "Bankruptcy Code") with respect to the Tenant's possession of the leasehold under this Lease are satisfied. Accordingly, the right of the Tenant to remain in possession of the leasehold under this Lease shall continue notwithstanding any rejection of this Lease in any bankruptcy proceeding involving the Landlord, or any other actions by any party in such a proceeding. This provision, while included in this Lease, has been separately negotiated and shall constitute a separate contract between the parties as well as a part of this Lease. The provisions of this Section 26(a) are for the benefit of the Tenant and its assigns, including, without limitation, Lender. The parties hereto also agree that Lender is a party in interest and shall have the right to appear as a party in any proceeding brought under any bankruptcy law or under any other law which may affect this Lease.
- (b) The provisions of Sections 24, 25, and 26 hereof shall survive the termination, rejection or disaffirmance of this Lease and shall continue in full force and effect thereafter to the same extent as if Sections 24, 25 and 26 hereof were a separate and independent contract made by the Landlord, the Tenant and Lender and, from the effective date of such termination, rejection or disaffirmance of this Lease to the date of execution and delivery of such new lease, Lender may use and enjoy the leasehold estate created by this Lease without hindrance by the Landlord. The aforesaid agreement of the Landlord to enter into a new lease with Lender shall be deemed a separate agreement between the Landlord and such Lender, separate and apart from this Lease as well as a part of this Lease, and shall be unaffected by the rejection of this Lease in any bankruptcy proceeding by any party.
- (c) The Landlord shall have no right and expressly waives any right arising under applicable law, in and to the rentals payable to the Tenant under any lease of the improvements on the land demised hereunder, if any, which rentals may be assigned by the Tenant to Lender.
- (d) If a Mortgage is in effect, (i) this Lease shall not be modified or amended by the parties hereto, or terminated or surrendered by the Tenant, nor shall the Landlord accept any such termination or surrender of this Lease by the Tenant, without the prior written consent of Lender and (ii) the Landlord shall not have the right to terminate this Lease in the event of a casualty or condemnation without the prior written consent of Lender.
- (e) The provisions of Sections 24, 25and 26 hereof are for the benefit of Lender and may be relied upon and shall be enforceable by Lender as if Lender were a party to this Lease.
- (f) This Lease may be assigned by the Tenant (and Lender if and when it becomes the tenant hereunder) and any space in any of the improvements on the Premises may be sublet by the Tenant (and Lender if and when it becomes the tenant hereunder), each without the consent of the Landlord.
- (g) This Lease shall have priority over all liens and encumbrances on the fee estate of the Landlord in the Premises or any improvements thereon, including mortgages on the fee estate which were executed prior to the execution of this Lease.
- (h) The Landlord shall, within ten days of the request of the Tenant or any Lender or prospective Lender, provide an estoppel certificate as to any matters reasonably requested by the Tenant or Lender.
- (i) Lender shall have the right to participate in the adjustment of losses with any insurance company with respect to any damage or destruction of the Premises or any improvements thereon and such Lender shall have the right to supervise and control the receipt and disbursements of all insurance proceeds and shall be entitled to all insurance proceeds pursuant to the terms of the Mortgage, or as the case may be, pursuant to the terms of the loan documents secured by such Mortgage.
- (j) Notwithstanding anything to the contrary contained herein, in the event of any taking of all or any part of the Premises, Lender shall have the right to participate in any condemnation proceedings settlement discussions, shall have the right to supervise and control the receipt and disbursement of all condemnation awards and shall be entitled to all condemnation awards which are not used to restore the Premises to be applied to the reduction of the debt secured by the Mortgage; provided, however, that the Landlord shall be entitled to the balance of the award after

payment of the debt secured by the Mortgage in full until the Landlord obtains the portion of the award to which it is entitled under this Lease prior to the insertion of this Section 26(j). In the event of a partial taking, this Lease shall continue and the rent provided in this Lease shall be reduced proportionately, from and after the date of such taking, based upon the percentage of land which is taken; provided, however, if the portion of the land taken is such that the Tenant cannot in its reasonable judgment economically continue its operations on the Premises, the Tenant, with the prior written consent of Lender, shall have the right to terminate this Lease. Upon a taking for a temporary period, this Lease shall continue and the entire award shall be payable to the Tenant, subject to the provisions of the Mortgage, or as the case may be, subject to the provisions of the loan documents secured by such Mortgage.

- (k) The right to extend or renew this Lease and any right of first refusal to purchase the Premises may be exercisable by the holder of a Mortgage and, before the expiration of any periods to exercise such a right, the Landlord must provide to Lender at least thirty (30) days prior written notice before the expiration of the right to so extend or renew in order to extinguish Lender's right to so extend, renew or purchase.
- (I) Under no circumstances shall the fee estate of the Landlord and the leasehold estate created hereby merge, even though owned by the same party, without the written consent of the holder of a Mortgage.
- (m) Notwithstanding any provisions of this Lease to the contrary, so long as a Mortgage is in effect, the Tenant shall have no right to terminate the Lease with respect to any event unless the written approval of Lender holding a Mortgage on the leasehold estate is obtained, including, without limitation, the right to terminate in the event of any damage or condemnation.
- 27. NOTICES. All notices, requests, claims, demands, and other communications hereunder shall be in writing and may be hand delivered (provided the deliverer provides proof of delivery) or sent by nationally-established overnight courier that provides proof of delivery, or certified or registered mail (postage prepaid, return receipt requested). Notice shall be deemed received on the date of delivery as demonstrated by the receipt of delivery. Notices shall be delivered to a parties at the address below, or to such other address that a party below may provide from time to time:

If to Landlord:

Vernon and Constance Saunders 5730 Rockwood Dr. Catlettsburg, KY 41129

If to Tenant:

Global Tower Assets, LLC 750 Park of Commerce Blvd. Suite 300 Boca Raton, FL 33487-3612

Attn: Asset Management Fax: 561-995-0321

Ref: KY-5006 Hurricane Road

If to Lender:

Toronto Dominion (Texas) LLC 77 King Street West 18th Floor Toronto, Ontario Canada M5K 1A2 Attn: GTP Deal Manager

Fax: 416-307-3826

With copy to:

The Bank of New York Mellon as Indentured Trustee ABS Structured Finance Services, 101 Barclay Street, Floor 4 West New York, NY 10286

Attn: Alan Terezian Fax: 212-815-2493

28. MISCELLANEOUS.

(a) Each party hereto warrants and represents that it has the necessary power and authority to enter into and perform its respective obligations under this agreement.

- (b) If any term of this Lease is found to be void or invalid, such invalidity shall not affect the remaining terms of this Lease, which shall continue in full force and effect.
 - (c) All attached exhibits are hereby incorporated by this reference as if fully set forth herein.
- (d) Failure of party to insist on strict performance of any of the conditions or provisions of this Lease, or failure to exercise any of a party's rights hereunder, shall not waive such rights.
- (e) This Lease shall be governed by and construed in accordance with the laws of the state in which the Leased Premises are located.
- (f) This Lease constitutes the entire Lease and understanding of the parties and supersedes all offers, negotiations and other lease agreements with regard to the Leased Premises. There are no representations or understandings of any kind not set forth herein. Any amendment to this Lease must be in writing and executed by both parties.
- (g) This agreement shall be binding upon and shall inure to the benefit of the parties hereto and their respective heirs, legal representatives, successors and assigns.
- (h) A short-form memorandum of this Lease may be recorded at Landlord or Tenant's option in the form as depicted in Exhibit 3 attached hereto.
 - (i) Tenant will maintain the access road from the public right of way to the Leased Premises.

[THE REMAINDER OF THIS PAGE IS INTENTIONALLY LEFT BLANK, SIGNATURES BEGIN ON NEXT PAGE]

IN WITNESS WHEREOF, the parties hereto have executed this Lease as of the date last signed by a party hereto.

WITNESSES:	LANDLORD:
	Vernon R. Saunders and Constance E. Saunders
Name: Cathy Tackett Name: Cathy Dackett ANOIE ROARK Name: Lugi RoarD	By: Alarm R. Darm! Name: Vernor R. Saunders Date: 4-7-2011
Name: Vanessa Singer Name: Michael RoarK	By: <u>Opstance Saunders</u> Name: Constance E. Saunders Date: <u>O(00711</u>
WITNESSES:	TENANT: Global Tower Assets, LLC a Delaware limited liability company
Name: Kesha DeJesus Name: Kesha DeJesus	By: Name: Alexander L. Gellman- Senior Vice President Title: President and COO Operations Date: 6-22-2511



EXHIBIT 1

Description of Parent Tract Page One of Two

TRACT NO SEVEN

Lying sad being on the South of Rockwood Road and being more particularly described to follows:

BEGINNING as the point where the East supporty line of C. C. Nevase talersers with Rockwood Read, diesce South 18 depres 31 minutes West 550 feet these South 89 degrees 05 minutes West 210 feet thance South 67 degrees 15 mlasses Wen 300 feet, threes going down the hill North 11 degrees 48 rolants Would the line of C. C. Meado 510 free, more or loss to Roshwood Road; theme along the South right-of-way of Reckwood Read \$46 feet, more or less, in a sending seally direction to the property line of Chydo Williams, thence along the property line of Chyde Williams South M degrees 12 exientes East a distance of 902.4 foos to a monument on the line of the Eastern Kentucky Lumber and Development Company; thence along the line of Eastern Kennstry Lumber and Development Connery South 65 degrees 52 manage East a circura of 1408 feet, were as less, to the sees of the property like of Frenk Riddle; thence along the new property line of Frenk Riddle North 25 degrees East 371.2 fort to the property line of Kenneth Franks; theore North 77 degrees 37 minutes West t difference of 50 foot secre or less to the roas comes of the Kenneth Franks suspensy, thence North II degrees 30 minutes Basi a distance of 500 feet, theree in a southeasterly direction along the line of Kannach Fronts 400 feet, more or less, to Sentucky State Roste 162, thence clong the line of Routo 168, 111 feet in a pertinancity direction to the line of property came owned by Paul Barnest, thence North 73 degrees 20 miletains East a distance of 200 feet; George North 18 degrees 35 minutes East 100 feet, thence South 73 degrees 22 minutes East a distance of III feet to Kernbedy Roses 168; thence slong the line of Kennedy Roses 164, 250 feet, wave as left, to the South fight-of-way that of Rockwood Road; thence following along the southerly line of Reskwood Road a distance of 1100 feet more or less to the point of beziezing

THERE IS EXCEPTED, and not hereby conveyed, these cursus varconveyances set forth in the following instruments, to-wit.

- 1) Ocea Gates June 7, 1905, to James E. Addina and Holen Addina, (Lots 5, 7, Block "A", Woodland Termse), of record in Doed Brock 406, 417, records aforesald;
- 2) Respirations of Block "A", Woodland Tenece, of recording Devd Book 410, Page 271, records absended.
- Deed dated lancary 17, 1966, to William H. White and Blanche T. White, (Lot 4, Block "A", Woodland Terrace), of second in Deed Book 410, Page 513, records alwessid;
- 4) Deed dated April 10, 1965, to Lurry K. McKenzie and Bonnie L. McKenzie, (Lot 3, Block "A", Woodland Terreur), of record in Deed Book 413, Page 568, recreat startement;
- Doed dated June 24, 1956, to John Jemes Blue end Burtle Ethabeth Blair, (Lot 9, Block "A", Woodland Terrace), of record in Doed Book 414, Page 276, records aforeseld;
- 6) Deed dued Pure 23, 1966, to Lonnie E. McComis and Evelyn L. McComis, (Lot 8, Block "A", Woodland Terrace), of record in Deed Book 414, Page 299, records aforesaid;
- 7) Deed Luce July 18, 1966, an David Marushi. (Lot 2, Block "A". Woodland Terrare), of moord in Dood Sock 415, Page 47, mounts aforcasid.

EXHIBIT 1

Description of Parent Tract Page Two of Two

6) Deed deed July 22, 1966, and propose E. Morris and Bessy K. Morris. (Let 11. Block "A", Woodsens Tenesco), of record in Cent Book 415, Page 66, seponds aforemic:

 Deed dated November 13, 1945, to Crawford B. Thompson and Nizz M. Thompson, (Lot 1, Block "A", Woodland Terrace), afrecard in Deed Book 418, Page 17, rectrids afortsaid;

10) Dred dued September 25, 1969, to ference Marvin Hill, Engle (Let 10. Block "A", Woodland Terreer, of wears in Reed Book 436, Page 181, records aforesald.

11) Doed dated April 20, 1970, to Course C. Stafford and Phyllis L. Stafford, (Los 6, Black "A", Woodland Terrace, of second in Bood Book 438, Paga 664, 1926rds aforesaid.

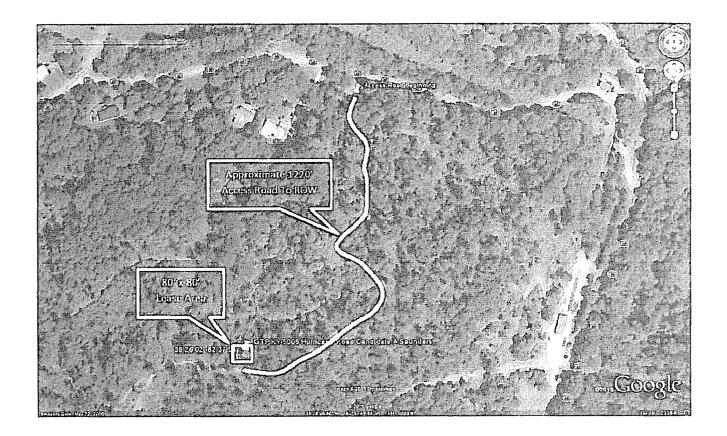
12) Doed dated April 17. 1975, to Errora N. Serat, widow, (Lots 12. 13 and 14) of record as Doed Bond 466, Page 23, records asserted.

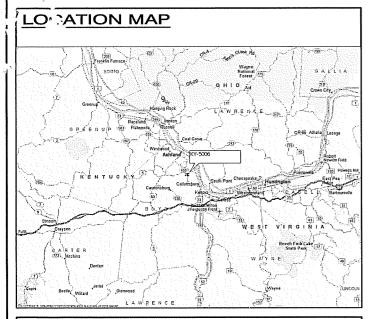
The real course conveyed bereby being part of the rank real estate conveyed to Woodhard Development, i.e., of Boyd County, a Kensucky corporation, by Deed from Lines 2. Adding and Malen Adding, his wife, and David Kinner and Lais Kinner, his wife, fated Genster 16, 1974, of second to Deed Book 461, Page 202, Boyd County Clerk's records.

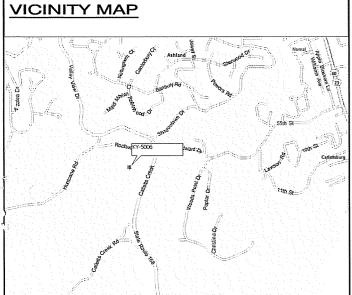
Also being a part of the same real estate convoyed by woodland ficvelopment. Inc., of Boyd County, to Denver Ruggles and Glenda Ruggles, husband and wife, by Deed dated January 3/2001, of record in Beed Book 642, Page 101, Boyd County Court Clerk's Records.

EXHIBIT 2

The Premises is depicted/described as follows and will be replaced by a surveyed legal description when available







DRIVE DIRECTIONS

FROM CATLETTSBURG, KY:
TAKE US-23 NORTH. TURN LEFT ONTO STATE ROUTE 168. TURN LEFT ONTO
ROCKWOOD ROAD. ACCESS TO THE SITE IS ON THE LEFT.

NAME / SIGNATURE DATE DEPARTMENT LAND OWNER / TOWER OWNER SITE ACQUISITION AGENT ZONING / FERMITTING AGENT A&E MANAGER CONSTRUCTION MANAGER RF ENGINEER

SITE NAME:

HURRICANE ROAD

GTP SITE NUMBER:

KY-5006

PROJECT DESCRIPTION:

PROPOSED 195 FT. MONOPOLE TOWER

PREPARED FOR:



750 PARK OF COMMERCE BLVD **BOCA RATON, FLORIDA 33487** 866-487-8977

CARRIER:



PREPARED BY:



30 MANSELL CT SUITE 103 ROSWELL, GA 30076 678-280-2325

RECEIVED

SEP 0 1 2011

PUBLIC SERVICE COMMISSION

PROJECT INFORMATION

SITE ADDRESS: 5730 ROCKWOOD DRIVE

CATLETTSBURG, KY 41129

PARCEL ID: 10.01

TAX MAP:

VERNON R. AND CONSTANCE E. SAUNDERS LAND OWNER:

5730 ROCKWOOD DRIVE CATLETTSBURG, KY 41129

GLOBAL TOWER ASSETS, LLC DEVELOPER:

MARSHALL HAZELHURST, 404-518-2064 C/O NORFOLK SOUTHERN RAILROAD

1200 PEACTREE STREET NE

MAILSTOP 114 ATLANTA, GA 30309

GLOBAL TOWER PARTNERS 750 PARK OF COMMERCE BLVD.

SUITE 300

BOCA RATON, FL 33487

561-995-0320

P MARSHALL & ASSOCIATES ENGINEER: 30 MANSELL CT, SUITE 103

ROSWELL, GA 30076 PATRICK MARSHALL, P.E. 678-280-2325

754' AMSL (NAVD 88)

LATITUDE: 38° 26' 3.46" (NAD 83) 82° 37' 48.12" (NAD 83) LONGITUDE:

ZONING CLASSIFICATION:

ELEVATION:

BOYD COUNTY PERMIT JURISDICTION:

XXXXX POWER COMPANY: XXXXX TELEPHONE COMPANY:

DRAWING INDEX

TITLE SHEET & PROJECT INFORMATION

SURVEY

GENERAL NOTES

OVERALL SITE PLAN C-3 DETAILED SITE PLAN

TOWER ELEVATION & DETAILS GRADING & EROSION CONTROL PLAN

GRADING & EROSION CONTROL DETAILS

GRADING & EROSION CONTROL SPECIFICATIONS
GRADING & EROSION CONTROL SPECIFICATIONS

AT&T EQUIPMENT FOUNDATION DETAILS & NOTES

COAX ICE BRIDGE DETAILS

FENCE DETAILS

AT&T SITE SIGNAGE

ELECTRICAL SPECS & ONE-LINE DIAGRAM ELECTRICAL SITE PLAN

E-3 GROUNDING SITE PLAN

GROUNDING NOTES & COAX COLOR CODE TEMPLATE

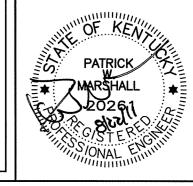
GROUNDING DETAILS

UTILITY FRAME DETAILS



KENTUCKY 811

http://www.kentucky811.com/



30 MANSELL CT SUITE 103 ROSWELL, GA 30076 678-280-2325

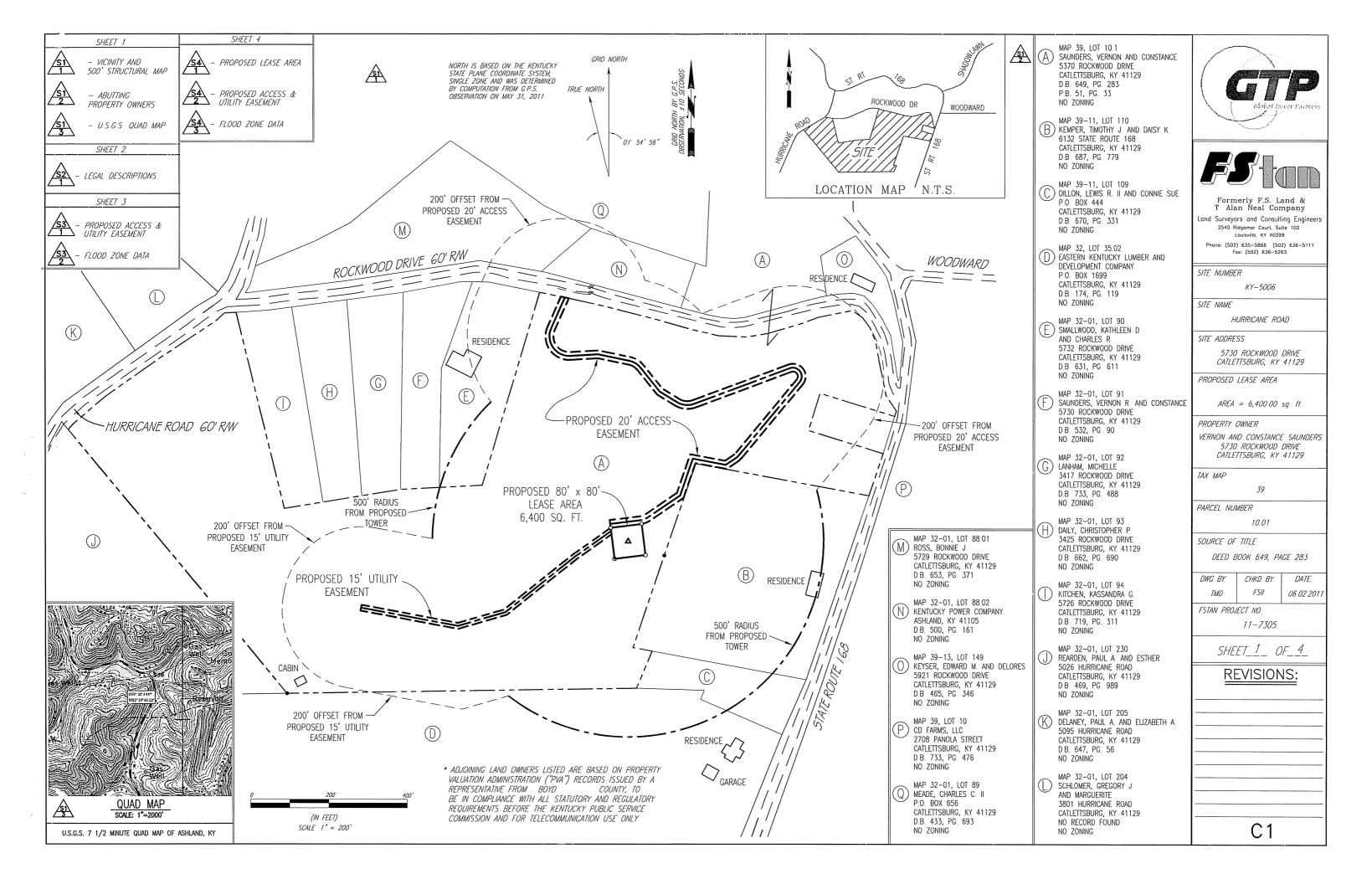
TITLE SHEET & PROJECT INFORMATION

DCC

DESIGNED: DRAWN:

DCC CHECKED: PWM

JOB 1: GTP004



· VICINITY AND 500' STRUCTURAL MAP



- ABUTTING PROPERTY OWNERS



- U.S.G.S. QUAD MAP



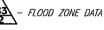
LEGAL DESCRIPTIONS

SHEET 2

SHEET 3



- PROPOSED ACCESS & LITHITY FASFMENT



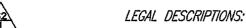
SHEET 4



PROPOSED LEASE AREA



LITH ITY FASEMENT - FLOOD ZONE DATA



This is a description for Global Tower Partners, of an area to be leased from the property of Vernon R. and Constance E. Saunders of record in deed book 649. page 283, which is further described as follows:

PROPOSED LEASE AREA

Beginning at a found 6"x6" concrete monument in the southwestern most corner of the Vernon R, and Constance E. Saunders parcel of record in deed book 649, page 283, said point being a common corner to Edward T, and Esther Rearden of record in deed book 469, page 989 and being in the line of Eastern Kentucky Lumber and Development Company of record in deed book 174, page 119; thence with the line of Eastern Kentucky Lumber and Development Company, S89'08'07"W 892.93' to a corner point of Lewis R. Dillon, Jr., and Connie Sue Dillon of record in deed book 670, page 331; thence with the line of Dillon, N23'07'26"E 102.89' to a corner point to Timothy J. and Daisey K. Kemper of record in deed book 687, page 779; thence with the line of Kemper the following calls; N79'29'34"W 50.00', N18'52'40"E 248.76' to a found 1" rebar with a vellow cap stamped "K. Barker P.J.S. 2630." N18'52'40"F 248.76' and S79'29'34"E 450.00' to a point in the west right-of-way line of State Route 168; thence with said right-of-way line, N18'42'22"E 114.06' to a corner point of Stanley E. and Geneva Stark of record in deed book 515, page 410; thence leaving said right-of-way and with the line of Stark the following calls: N72'51'27"W 200.00', N17'08'33"E 100.00' and S72'51'27"E 200.00' to a point in the west right-of-way line of State Route 168; thence with said right-of-way line, N17'08'33"E 14.43' to the right-of-way intersection of State Route 168 and Rockwood Drive: thence with the right-of-way line of Rockwood Drive the following calls; N33'34'56"W 47.99', N11'32'56"W 84.41', N10'25'32"W 56.87', N22'19'57"W 38.29', N36'30'43"W 31.98', N54'42'35"W 23.03', N75'54'20"W 13.27', S78'37'15"W 82.75', S69'13'18"W 44.80', S73'38'57"W 89.93', \$80'35'35"W 56.14', N87'27'00"W 70.66', N77'01'23"W 68.72', N74'00'52"W 94.06', N75'45'33"W 141.55' and N77'29'27"W 100.68'; thence leaving said right-of-way line, S23'44'49"W 87.31'; thence with the chord of a curve to the left having a radius of 50.00', S34*49'06"E 85.32'; thence N86*36'58"E 70.90', S78'22'556"E 81.65': thence with the chord of a curve to the right having a radius of 50.00'. S58'33'52"E 33.90'; thence S38'44'49"E 78.15'. S58'21'55"E 52.12'; thence with the chord of a curve to the left having a radius of 50.00'. S83'54'04"E 43.11'; thence N70'33'47"E 262.04'; thence with the chord of a curve to the right having a radius of 17.50', S35'29'47"E 33.63": thence S38'26'40"W 242.11": thence with the chord of a curve to the right having a radius of 50.00', S47'09'19"W 15.14'; thence S55'51'57"W 28.66', N79'29'34"W 85.06', S18'52'40W 99.34' and S55'51'57"W 98.90'; thence with the chard of a curve to the right having a radius of 50.00', S69'26'34"W 23.47'; thence \$83'01'10"W 76.55' and \$06'58'50"E 10.00' to a set #5 rebar in the northwest corner of the proposed lease area, said point being the true Point of Beginning; thence N83'01'10"E 80.00' to a set #5 rebar; thence S06'58'50"E 80.00' to a set #5 rebar; thence \$83'01'10"W 80.00' to a set #5 rebar and N06'58'50"W 80.00' to the Point of Beginning containing 6,400.00 square feet per survey by Frank L. Sellinger, II, PLS No. 3282 with FS/Tan Land Surveyors & Consulting Engineers, dated May 31, 2011.

CENTERLINE OF PROPOSED 20' ACCESS EASEMENT

Beginning at a found 6"x6" concrete monument in the southwestern most corner of the Vernon R. and Constance E. Saunders parcel of record in deed book 649. page 283, said point being a common corner to Edward T, and Esther Rearden of record in deed book 469, page 989 and being in the line of Eastern Kentucky Lumber and Development Company of record in deed book 174, page 119: thence with the line of Eastern Kentucky Lumber and Development Company, S89'08'07"W 892.93' to a corner point of Lewis R. Dillon, Jr., and Connie Sue Dillon of record in deed book 670, page 331; thence with the line of Dillon, N23'07'26"E 102.89' to a corner point to Timothy J. and Daisev K. Kemper of record in deed book 687, page 779; thence with the line of Kemper the following calls; N79'29'34"W 50.00', N18'52'40"E 248.76' to a found \(\frac{1}{2} \) rebor with a yellow cap stamped "K. Barker P.L.S. 2630," N18'52'40"E 248.76' and \$79'29'34"E 450.00' to a point in the west right-of-way line of State Route 168; thence with said right-of-way line, N18'42'22"E 114.06' to a corner point of Stanley E. and Geneva Stark of record in deed book 515, page 410; thence leaving said right-of-way and with the line of Stark the following calls: N72'51'27"W 200.00', N17'08'33"E 100.00' and S72'51'27"E 200.00' to a point in the west right-of-way line of State Route 168; thence with said right-of-way line, N17'08'33"E 14.43' to the right-of-way intersection of State Route 168 and Rockwood Drive; thence with the right-of-way line of Rockwood Drive the following calls; N33'34'56"W 47.99', N11'32'56"W 84.41', N10'25'32"W 56.87', N22'19'57"W 38.29', N36'30'43"W 31.98', N54'42'35"W 23.03', N75'54'20"W 13.27', S78'37'15"W 82.75', S69'13'18"W 44.80', S73'38'57"W 89.93', \$80'35'35"W 56.14', N87'27'00"W 70.66', N77'01'23"W 68.72', N74'00'52"W 94.06', N75'45'33"W 141.55' and N77'29'27"W 100.68' to the true Point of Beginning of the proposed 20' Access Easement; thence with the centerline of said easement, S23'44'49"W 87.31': thence with the chord of a curve to the left having a radius of 50.00', S34'49'06"E 85.32'; thence N86'36'58"E 70.90', S78'22'556"E 81.65'; thence with the chord of a curve to the right having a radius of 50.00', S58'33'52"E 33.90'; thence S38'44'49"E 78.15', S58'21'55"F 52.12'; thence with the chord of a curve to the left having a radius of 50.00'. S84'26'57"E 43.97': thence N69'28'01"E 260.71': thence with the chord of a curve to the right having a radius of 22.50', S35'27'12"E 43.48'; thence S39'37'34"W 242.72': thence with the chord of a curve to the right having a radius of 50.00', S47'44'46"W 14.12'; thence S55'51'57"W 28.66'; thence N79'29'34"W 85.06'; thence S18'52'40"W 99.34'; thence S55'51'57"W 98.90'; thence with the chord of a curve to the right having a radius of 50.00', S69'26'34"W 23.47'; thence S83'01'10"W 76.55' to the end of said easement per survey by Frank L. Sellinger, II, PLS No. 3282 with FS/Tan Land Surveyors & Consulting Engineers, dated May 31, 2011.

STATE OF KENTUCKY E BD 建打造管理管理存置设置设置设置 FRANK L. SELLINGER 3282 -----LICENSED E PROFESSIONAL E LAND SURVEYOR E EMMINIMINIS

LAND SURVEYOR'S CERTIFICATE

TYPE "A" SURVEY: UNADJUSTED TRAVERSE CLOSURE BETTER THAN 1 IN 15.000.

TO ALL PARTIES INTERESTED IN TITLE TO PREMISES SURVEYED I hereby certify that this plat and survey were made under my supervision, and that the angular and linear measurements, as witnessed by manuments shown herean, are true and correct to the best of my knowledge and belief. This survey and plat meets or exceeds the minimum standards of the governing outhorities. This property is subject to any recorded eas

of ways not shown hereon.

CENTERLINE OF PROPOSED 15' UTILITY EASEMENT

Beginning at a found 6"x6" concrete monument in the southwestern most corner of the Vernon R. and Constance E. Saunders parcel of record in deed book 649. page 283, said point being a common corner to Edward T, and Esther Rearden of record in deed book 469, page 989 and being in the line of Eastern Kentucky Lumber and Development Company of record in deed book 174, page 119; thence with the line of Eastern Kentucky Lumber and Development Company, S89'08'07"W 892.93' to a corner point of Lewis R. Dillon, Jr., and Connie Sue Dillon of record in deed book 670, page 331; thence with the line of Dillon. N23'07'26"E 102.89' to a corner point to Timothy J. and Daisey K. Kemper of record in deed book 687, page 779; thence with the line of Kemper the following calls: N79'29'34"W 50.00', N18'52'40"F 248.76' to a found 1" report with a yellow cap stamped "K. Barker P.L.S. 2630," N18'52'40"E 248.76' and S79'29'34"E 450.00' to a point in the west right-of-way line of State Route 168: thence with said right-of-way line. N18'42'22"E 114,06' to a corner point of Stanley E. and Geneva Stark of record in deed book 515, page 410; thence leaving said right-of-way and with the line of Stark the following calls; N72'51'27"W 200.00', N17'08'33"E 100.00' and S72'51'27"E 200.00' to a point in the west right-of-way line of State Route 168; thence with said right-of-way line. N17'08'33"E 14.43" to the right-of-way intersection of State Route 168 and Rockwood Drive; thence with the right-of-way line of Rockwood Drive the following calls: N33'34'56"W 47.99', N11'32'56"W 84.41', N10'25'32"W 56.87', N22'19'57"W 38,29', N36'30'43"W 31,98', N54'42'35"W 23,03', N75'54'20"W 13.27', S78'37'15"W 82.75', S69'13'18"W 44.80', S73'38'57"W 89.93', S80'35'35"W 56.14', N87'27'00"W 70.66', N77'01'23"W 68.72', N74'00'52"W 94.06'. N75'45'33"W 141.55' and N77'29'27"W 100.68'; thence leaving said right-of-way line, S23'44'49"W 87.31'; thence with the chord of a curve to the left having a radius of 50.00', S34'49'06"E 85.32'; thence N86'36'58"E 70.90', \$78'22'556"E 81.65"; thence with the chord of a curve to the right having a radius of 50.00', S58'33'52"E 33.90'; thence S38'44'49"E 78.15', S58'21'55"F 52.12': thence with the chord of a curve to the left having a radius of 50.00', S83'54'04"E 43.11': thence N70'33'47"E 262.04'; thence with the chord of a curve to the right having a radius of 17.50', \$35'29'47"F 33.63'; thence S38'26'40"W 242.11'; thence with the chord of a curve to the right having a radius of 50.00', S47'09'19"W 15.14'; thence S55'51'57"W 28.66', N79'29'34"W 85.06'. S18'52'40W 99.34' and S55'51'57"W 98.90'; thence with the chord of a curve to the right having a radius of 50.00', S69'26'34"W 23.47'; thence S83'01'10"W 76.55' and S06'58'50"E 18.52' to the true Point of Beginning of the proposed 15' Utility Easement; thence with the centerline of said easement. \$54*41'22"W 111.67', \$51*19'39"W 229.10', \$73*57'14"W 126.33' and N79°24'07"W 251.61' to the end of said easement per survey by Frank L. Sellinger, II, PLS No. 3282 with FS/Tan Land Surveyors & Consulting Engineers. dated May 31, 2011.

UNDERGROUND UTILITIES CALL 2 WORKING DAYS BEFORE YOU DIG INDIANA 1-800-382-5544 KENTUCKY 1-800-752-6007 UTILITIES PROTECTION SERVICE NON-MEMBERS MUST CALL DIRECTLY

The utility information shown on this plot, prepared by FSTAN was obtained from existing records and or by field locations. It is the contractor's responsibility to verify their existence and location, and to contact the appropriate utility company for field locations

REFERENCED AS "EXHIBIT B"

"CELLULAR COMMUNICATION TOWER S

Ky Reg. No. 3282



Formerly F.S. Land & ' Alan Neal Company Land Surveyors and Consulting Enginee 2540 Ridgemar Court, Suite 102

Phone: (502) 635-5866 (502) 636-5111

SITE NUMBER

KY-5006

SITE NAME.

HURRICANE ROAD

SITE ADDRESS

5730 ROCKWOOD DRIVE CATLETTSBURG, KY 41129

PROPOSED LEASE AREA.

AREA = 6,400.00 sq. ft.

PROPERTY OWNER:

VERNON AND CONSTANCE SAUNDERS 5730 ROCKWOOD DRIVE CATIFITSBURG KY 41129

TAY MAP

39

PARCEL NUMBER

TMD

SOURCE OF TITLE: DEED BOOK 649, PAGE 283

DWG BY: CHKD BY: DATE: F5//

06.02.201

ESTAN PROJECT NO

11-7305

SHEET 2 OF 4

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SITE SURVEY"	
DATE:	<u> </u>
	<u> </u>

POWER POLE UTILITY COMPANY: UNKNOWN IDENTIFICATION #: N/A

PROJECT BENCHMARK NORTH- 4060732 090

EAST: 5814739.357 ELEVATION: 758.59 LOCATION: BEING A SET IPC STAMPED "FSTAN #3282" AT THE SOUTHWEST CORNER OF THE LEASE AREA.

SURVEYORS NOTES

SOURCE OF BEARING IS A G.P.S. OBSERVATION ON MAY 31, 2011.

SITE SHOWN SUBJECT TO RIGHT OF WAYS AND EASEMENTS SHOWN NO SEARCH OF PUBLIC RECORDS HAS BEEN PERFORMED BY THIS FIRM TO DETERMINE ANY DEFECTS AND/OR AMBIGUITIES IN THE TITLE OF

THIS DRAWING DOES NOT REPRESENT A ROUNDARY SURVEY. EXISTING CONTOURS ARE AT ONE FOOT INTERVALS.

A COORDINATE POINT LOCATION

NAD 1983 LATITUDE: 38'26'03.46' LONGITUDE: 82'37'48.12" NAVD 1988 ELEVATION: 754' AMSL STATE PLANE COORDINATE SINGLE ZONE (BLUE MARBLE GEOGRAPHIC CALCILLATOR VERSION 30) NORTHING: 4060776,655 EASTING: 5814774,190

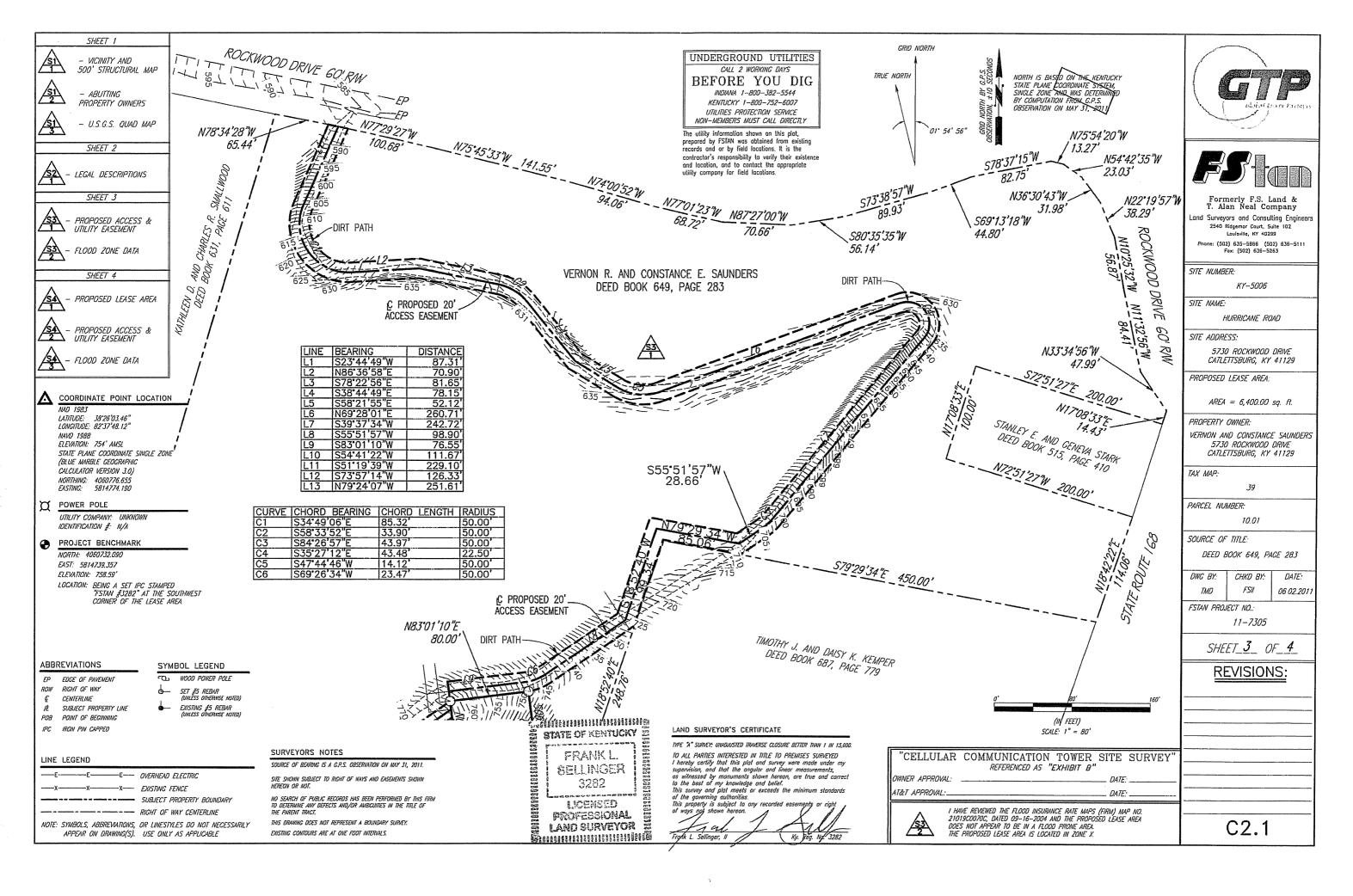
SCHEDULE B - SECTION II EXCEPTIONS

FIDELITY NATIONAL TITLE INSURANCE COMPANY COMMITMENT NO. 12721857 DATED MAY 26, 2011 8. PLAT OF SURVEY OF PROPERTY OF VERNON R. SAUNDERS AND CONSTANCE E. SAUNDERS RECORDED ON 11-06-2003 IN PLAT BOOK 51, PAGE 33. (DOES APPLY TO THE PROPOSED 20' ACCESS EASEMENT, PROPOSED 15' UTILITY EASEMENT AND THE PROPOSED LEASE AREA) 9. EASEMENT IN FAVOR OF KENTUCKY POWER COMPANY, ITS SUCCESSORS AND ASSIGNS, SET FORTH IN INSTRUMENT RECORDED ON 1-26-2004 IN DEED BOOK

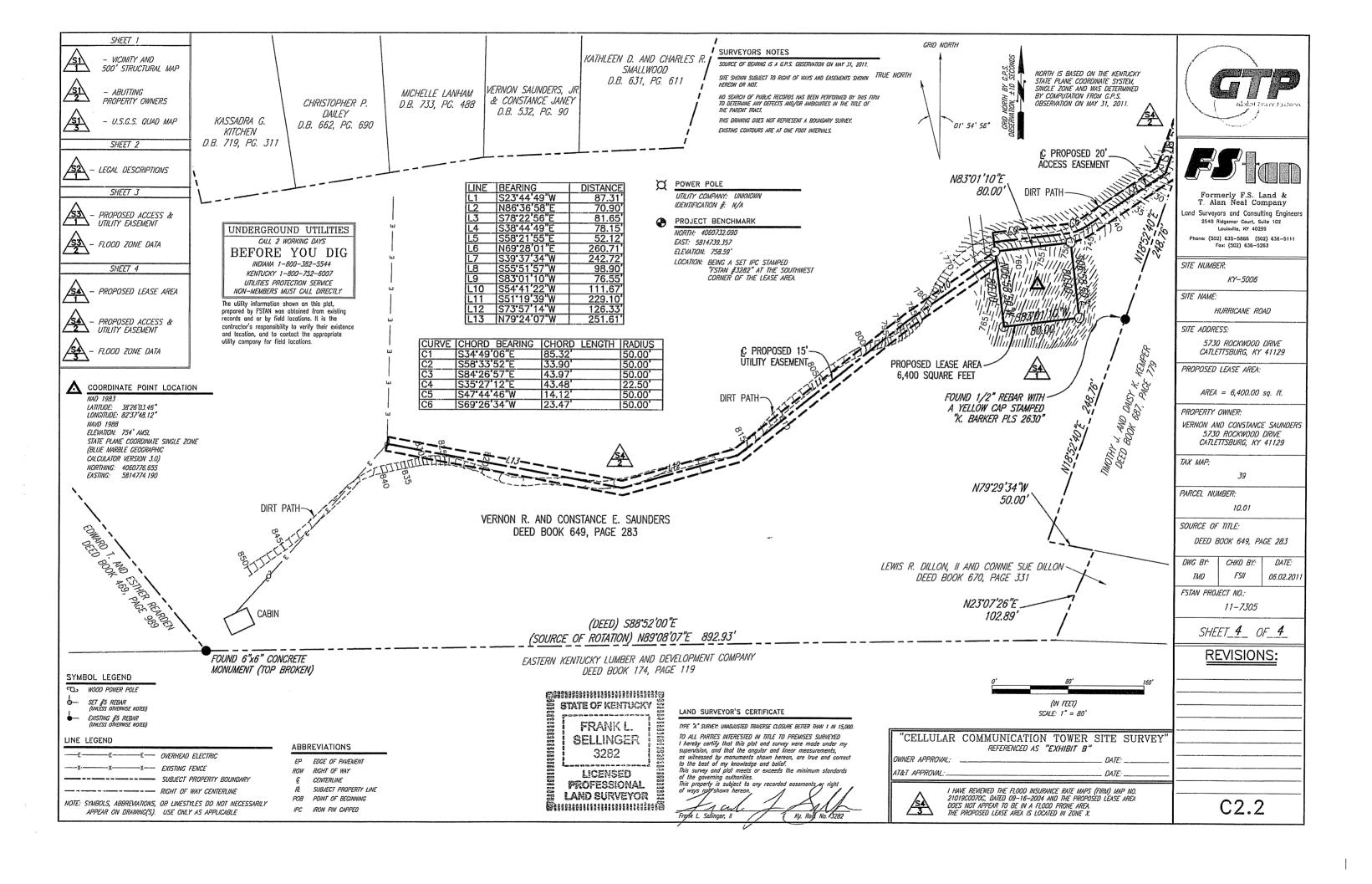
D668, PAGE 611. (VAGUE AND AMBIGUOUS DEED DESCRIPTION - SURVEYOR UNABLE TO DETERMINE EXACT LOCATION OF EASEMENT)

T&T APPROVAL

OWNER APPROVAL:



l



GENERAL NOTES:

- I. THE GENERAL CONTRACTOR MUST VERIFY ALL DIMENSIONS, CONDITIONS AND ELEVATIONS BEFORE STARTING WORK. ALL DISCREPANCIES SHALL BE CALLED TO THE ATTENTION OF THE ENGINEER AND SHALL BE RESOLVED BEFORE PROCEEDING WITH THE WORK. ALL WORK SHALL BE PERFORMED IN A WORKMANLIKE MANNER IN ACCORDANCE WITH ACCEPTED CONSTRUCTION PRACTICES.
- 2. IT IS THE INTENTION OF THESE DRAWINGS TO SHOW THE COMPLETED INSTALLATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TEMPORARY BRACING, SHORING, TIES, FORM WORK, ETC. IN ACCORDANCE WITH ALL NATIONAL, STATE, AND LOCAL ORDINANCES, TO SAFELY EXECUTE ALL WORK AND SHALL BE RESPONSIBLE FOR SAME. ALL WORK SHALL BE IN ACCORDANCE WITH LOCAL CODES.
- 3. THE CONTRACTOR SHALL USE ADEQUATE NUMBER OF SKILLED WORKMEN WHO ARE THOROUGHLY TRAINED AND EXPERIENCED IN THE NECESSARY CRAFTS AND WHO ARE COMPLETELY FAMILIAR WITH THE SPECIFIED REQUIREMENTS AND METHOD NEEDED FOR PROPER PERFORMANCE OF THE WORK.
- 4. CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONSTRUCTION CONTRACTOR FURTHER AGREES TO INDEMNIPY AND HOLD DESIGN ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH PERFORMANCE OF WORK ON THIS PROJECT.
- 5. SITE GROUNDING SHALL COMPLY WITH GTP GROUNDING STANDARDS, LATEST EDITION, AND COMPLY WITH GTP GROUNDING CHECKLIST, LATEST VERSION. WHEN NATIONAL AND LOCAL GROUNDING CODES ARE MORE STRINGENT THEY SHALL GOVERN. GROUNDING SHALL BE COMPLETED BEFORE ERECTION OF THE TOWER.
- 6. ALL WORK SHALL COMPLY WITH OSHA AND STATE SAFETY REQUIREMENTS. PROCEDURES FOR THE PROTECTION OF EXCAVATIONS, EXISTING CONSTRUCTION AND UTILITIES SHALL BE ESTABLISHED PRIOR TO FOUNDATION INSTALLATION. IF TEMPORARY LIGHTING AND MARKING IS REQUIRED BY THE FEDERAL AVIATION ADMINISTRATION (FAA), IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN THE NECESSARY LIGHTS AND NOTIFY THE PROPER AUTHORITIES IN THE EVENT OF A PROBLEM.
- 7. ALL WORK SHALL BE ACCOMPLISHED IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL CODES AND ORDINANCES. THE MOST STRINGENT CODE WILL APPLY IN THE CASE OF DISCREPANCIES OR DIFFERENCES IN THE CODE REGUIREMENTS.
- 8, ANY DAMAGE TO ADJACENT PROPERTIES SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
- 4. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AMPLE NOTICE TO THE BUILDING INSPECTION DEPARTMENT TO SCHEDULE THE REQUIRED INSPECTIONS. A MINIMUM OF 24 HOURS OF NOTICE SHALL BE GIVEN AND THE BUILDING INSPECTION DEPARTMENTS HAVE REQUESTED THAT GROUPS OF TWO OR THREE SITES BE SCHEDULED AT ONE TIME IF DOSESIE I.E.
- IO, CONSTRUCTION MANAGER WILL CONFIRM FAA APPROVAL OF TOWER LOCATION BY ISSUING TOWER RELEASE FORM. NO TOWER SHALL BE CONSTRUCTED UNTIL THE TOWER RELEASE FORM IS ISSUED TO THE CONTRACTOR.
- II. THE COMPLETE BID PACKAGE INCLUDES THESE CONSTRUCTION DRAWINGS ALONG WITH THE SPECIFICATIONS AND TOWER DRAWINGS, CONTRACTOR IS RESPONSIBLE FOR REVIEW OF TOTAL BID PACKAGE PRIOR TO BID SUBMITTAL.
- 12. CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES WITHIN CONSTRUCTION LIMITS PRIOR TO CONSTRUCTION.
- 13. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING POSITIVE DRAINAGE ON THE SITE AT ALL TIMES. SILT AND EROSION CONTROL SHALL BE MAINTAINED ON THE DOWNSTREAM SIDE OF THE SITE AT ALL TIMES. ANY DAMAGE TO ADJACENT PROPERTIES SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
- 14. CLEARING OF TREES AND VEGETATION ON THE SITE SHOULD BE HELD TO A MINIMUM. ONLY THE TREES NECESSARY FOR CONSTRUCTION OF THE FACILITIES SHALL BE REMOVED. ANY DAMAGE TO PROPERTY OUTSIDE THE LEASE PROPERTY SHALL BE REPAIRED BY THE CONTRACTOR.
- IS. ALL SUITABLE BORROW MATERIAL FOR BACK FILL OF THE SITE SHALL BE INCLUDED IN THE BID. EXCESS TOPSOIL AND UNSUITABLE MATERIAL SHALL BE DISPOSED OF OFF SITE AT LOCATIONS APPROVED BY GOVERNING AGENCIES PRIOR TO DISPOSAL.
- I6. SEEDING AND MULCHING OF THE SITE SHALL BE ACCOMPLISHED AS SOON AS POSSIBLE AFTER COMPLETION OF THE SITE DEVELOPMENT. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND MAINTAINING AN ADEQUATE COVER OF VEGETATION OVER THE SITE FOR A ONE YEAR PERIOD.
- 17. FOR ITEMS THAT SHALL BE PROVIDED BY THE OWNER & INSTALLED BY THE CONTRACTOR, SEE "OWNER SUPPLIED MATERIAL LIST" INSERTED IN THIS DRAWING PACKAGE.
- 18. PERMITS: OBTAIN AND PAY FOR REQUIRED PERMITS, LICENSES, FEES, INSPECTIONS, ETC.
- 19. RECORD DRAWINGS: MAINTAIN A RECORD OF ALL CHANGES, SUBSTITUTIONS BETWEEN WORK AS SPECIFIED AND INSTALLED. RECORD CHANGES ON A CLEAN SET OF CONTRACT DRAWINGS WHICH SHALL BE TURNED OVER TO THE CONSTRUCTION MANAGER UPON COMPLETION OF THE PROJECT.
- 20. REFER TO SITE CIVIL SPECIFICATIONS SECTION 13000 REFERENCE STANDARDS
- 21. THE CONTRACTOR SHALL VISIT THE SITE BEFORE BIDDING ON THE WORK CONTAINED IN THIS DESIGN PACKAGE.

EXCAVATION & GRADING NOTES:

- I, ALL OUT AND FILL SLOPES SHALL BE 3: I MAXIMUM.
- 2. ALL EXCAVATIONS ON WHICH CONCRETE IS TO BE PLACED SHALL BE SUBSTANTIALLY HORIZONTAL ON UNDISTURBED AND UNFROZEN SOIL AND BE FREE FROM LOOSE MATERIAL AND EXCESS GROUND WATER. DEWATERING FOR EXCESS GROUND WATER SHALL BE PROVIDED IF REQUIRED.
- 3. CONCRETE FOUNDATIONS SHALL NOT BE PLACED ON ORGANIC MATERIAL. IF SOUND SOIL IS NOT REACHED AT THE DESIGNATED EXCAVATION DEPTH, THE UNSATISFACTORY SOIL SHALL BE EXCAVATED TO ITS FULL DEPTH AND EITHER BE REPLACED WITH MECHANICALLY COMPACTED GRANULAR MATERIAL OR THE EXCAVATION BE FILLED WITH CONCRETE OF THE SAME QUALITY SPECIFIED FOR THE FOUNDATION.
- 4. ANY EXCAVATION OVER THE REQUIRED DEPTH SHALL BE FILLED WITH EITHER MECHANICALLY COMPACTED GRANULAR MATERIAL OF CONCRETE OF THE SAME QUALITY SPECIFIED FOR THE FOUNDATION. CRUSHED STONE MAY BE USED TO STABILIZE THE BOTTOM OF THE EXCAVATION. STONE, IF USED, SHALL NOT BE USED AS COMPILING CONCRETE THICKNESS.
- AFTER COMPLETION OF THE FOUNDATION AND OTHER CONSTRUCTION BELOW GRADE, AND BEFORE BACK FILLING, ALL EXCAVATIONS SHALL BE CLEAN OF UNSUITABLE MATERIAL SUCH AS VEGETATION, TRASH, DEBRIS, AND SO FORTH.
- 6. BACK FILL SHALL BE:
 - APPROVED MATERIALS CONSISTING OF EARTH, LOAM, SANDY CLAY, SAND, GRAVEL, OR SOFT SHALE;
 - FREE FROM CLODS OR STONES OVER 2-1/2" MAXIMUM DIMENSIONS;
 - IN LAYERS AND COMPACTED.
- 7. SITE FILL MATERIAL AND FOUNDATION BACK FILL SHALL BE PLACED IN LAYERS, MAXIMUM 6" DEEP BEFORE COMPACTION. EACH LAYER SHALL BE SPRINKLED IF REQUIRED AND COMPACTED BY HAND OPERATED OR MACHINE TAMPERS TO 45% OF MAXIMUM DENSITY, AT THE OPTIMUM MOISTURE CONTENT \$2% AS DETERMINED BY ASTM DESIGNATION D-646, UNLESS OTHERWISE APPROVED. SUCH BACK FILL SHALL NOT BE PLACED BEFORE 3 DAYS AFTER PLACEMENT OF CONCRETE.
- 8. THE FOUNDATION AREA SHALL BE GRADED TO PROVIDE WATER RUNOFF AND PREVENT WATER FROM STANDING. THE FINAL GRADE SHALL SLOPE AWAY IN ALL DIRECTIONS FROM THE FOUNDATION AND SHALL THEN BE COVERED WITH 4" DEEP COMPACTED STONE OR GRAVEL.
- 9. CONTRACTOR SHALL PROVIDE ALL EROSION AND SEDIMENTATION CONTROL MEASURES AS REQUIRED BY LOCAL CITY, COUNTY AND STATE CODES AND ORDINANCES TO PROTECT EMBANKMENTS FROM SOIL LOSS AND TO PREVENT ACCUMULATION OF SOIL AND SILT IN STREAMS AND DRAINAGE PATHS LEAVING THE CONSTRUCTION AREA. THIS MAY INCLUDE SUCH MEASURES AS SILT FENCES, STAW BALE SEDIMENT BARRIERS AND CHECK DAMS.
- O. FILL PREPARATION:
- REMOVE ALL VEGETATION, TOPSOIL, DEBRIS, WET AND UNSATISFACTORY SOIL MATERIALS, OBSTRUCTIONS, AND DELETERIOUS MATERIALS FROM GROUND SURFACE PRIOR TO PLACING FILLS. PLOW STRIP OR BREAK UP SLOPED SURFACES STEEPER THAT I VERTICAL TO 4 HORIZONTAL SO FILL MATERIAL WILL BOND WITH EXISTING SURFACE. WHEN SUBGRADE OR EXISTING GROUND SURFACE TO RECEIVE FILL HAS A DENSITY LESS THAN THAT REQUIRED FOR FILL, BREAK UP GROUND SURFACE TO DEPTH REQUIRED, PULVERIZE, MOISTURE-CONDITION OR AFRATE SOIL AND RECOMPACT TO REQUIRED DENSITY.
- II. REPLACE THE EXISTING WEARING SURFACE ON AREAS WHICH HAVE BEEN DAMAGED OR REMOVED DURING CONSTRUCTION OPERATIONS, SURFACE SHALL BE REPLACE TO MATCH EXISTING ADJACENT SURFACING AND SHALL BE OF THE SAME THICKNESS. NEW SURFACE SHALL BE FREE FROM CORRUGATIONS AND WAVES, EXISTING SURFACING MAY BE EXCAVATED SEPARATELY AND REUSED IF INJURIOUS AMOUNTS OF EARTH, ORGANIC MATERIAL, OF OTHER DELETERIOUS MATERIALS ARE REMOVED PRIOR TO REUSE. FURNISH ALL ADDITIONAL RESURFACING MATERIAL AS REQUIRED. BEFORE SURFACING IS REPLACED, SUBGRADE SHALL BE GRADED TO CONFORM TO REQUIRED SUBGRADE ELEVATIONS, AND LOOSE OR DISTURBED MATERIALS SHALL BE THOROUGHLY COMPACTED. DEPRESSIONS IN THE SUBGRADE SHALL BE FILLED AND COMPACTED WITH APPROVED SELECTED MATERIAL. SURFACING SHALL NOT BE USED FOR FILLING DEPRESSIONS IN THE SUBGRADE.
- 12. PROTECT EXISTING SURFACING AND SUBGRADE IN AREAS WHERE EQUIPMENT LOADS WILL OPERATE, USE PLANKING OR OTHER SUITABLE MATERIALS DESIGNED TO SPREAD EQUIPMENT LOADS, REPAIR DAMAGE TO EXISTING GRAYEL SURFACING OR SUBGRADE WHERE SUCH DAMAGE IS DUE TO THE CONTRACTOR'S OPERATIONS, DAMAGED GRAVEL SURFACING SHALL BE RESTORED TO MATCH THE ADJACENT UNDAMAGED GRAVEL SURFACING AND SHALL BE OF THE SAME THICKNESS.
- 13. DAMAGE TO EXISTING STRUCTURES AND UTILITIES RESULTING FROM CONTRACTOR'S NEGLIGENCE SHALL BE REPAIRED / REPLACED TO OWNER'S SATISFACTION AT CONTRACTOR'S EXPENSE.
- 14. CONTRACTOR SHALL COORDINATE THE CONSTRUCTION SCHEDULE WITH PROPERTY OWNER SO AS TO AVOID INTERRUPTIONS TO PROPERTY OWNER'S OPERATIONS.
- 15. ENSURE POSITIVE DRAINAGE DURING AND AFTER COMPLETION OF CONSTRUCTION.
- I6. RIPRAP SHALL BE CLEAN, HARD, SOUND, DURABLE, UNIFORM IN QUALITY, AND FREE OF ANY DETRIMENTAL QUANTITY OF SOFT, FRIABLE, THIN, ELONGATED OR LAMINATED PIECES, DISINTEGRATED MATERIAL, ORGANIC MATTER, OIL, ALKALI, OR OTHER DELETERIOUS SUBSTANCE.

LEGEND

– G ·

FENCE - |550|- CONTOUR LINE PROPERTY LINE / ROW LEASE AREA EASEMENT DISCONNECT SWITCH \triangle \bigcirc METER CIRCUIT BREAKER (X)CODED NOTE NUMBER **--**CHEMICAL GROUND ROD \otimes GROUND ROD \boxtimes GROUND ROD WITH INSPECTION SLEEVE CADWELD TYPE CONNECTION O COMPRESSION TYPE CONNECTION

GROUND WIRE





ATE DESCRIPTION:	Н	INCI INCIDENT TOR REVIEW	6/24/II ISSUED FOR PERMITTING ¢ CONSTRUCTION	8/22/II DRIVING DIRECTIONS		
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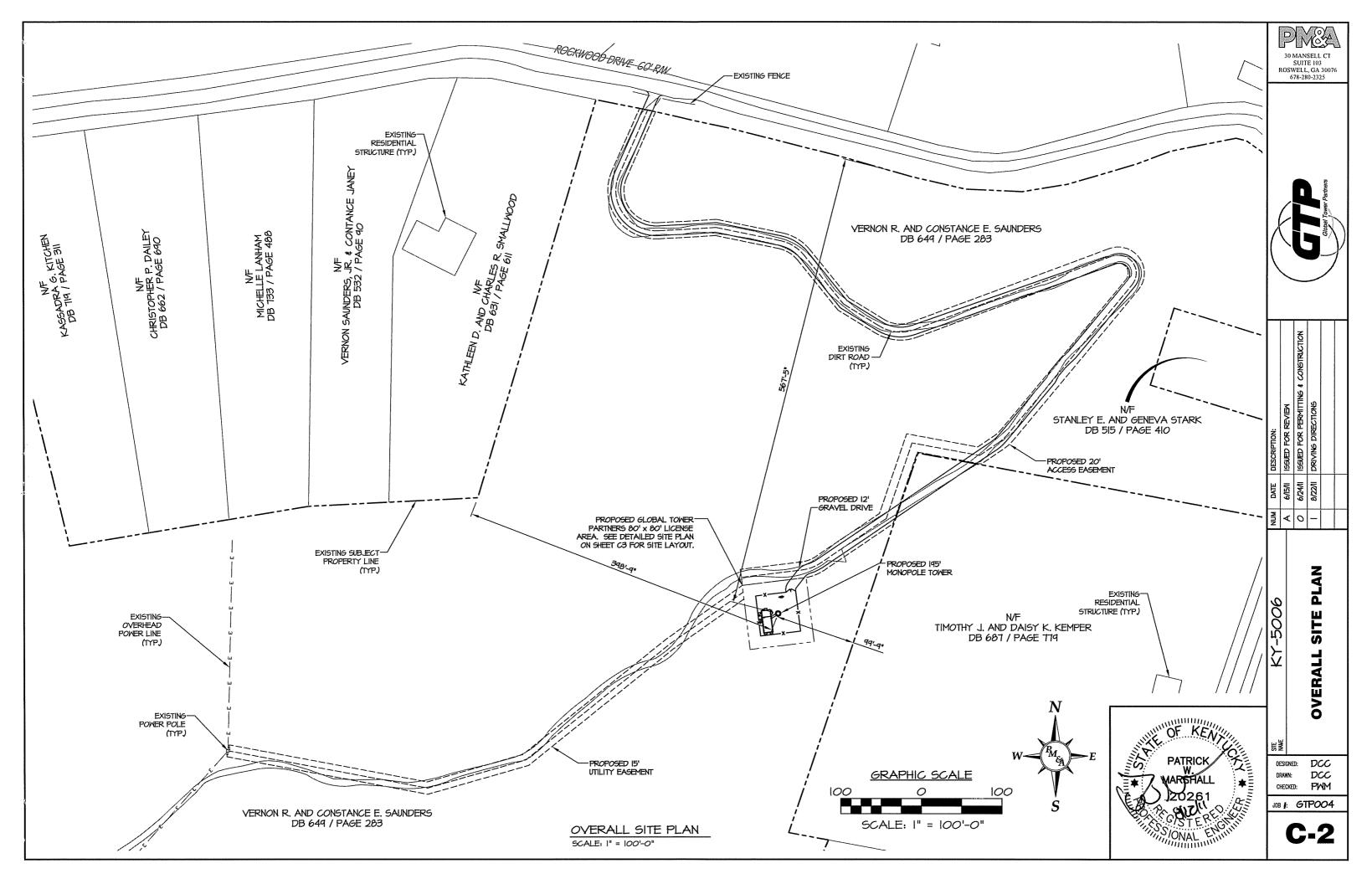
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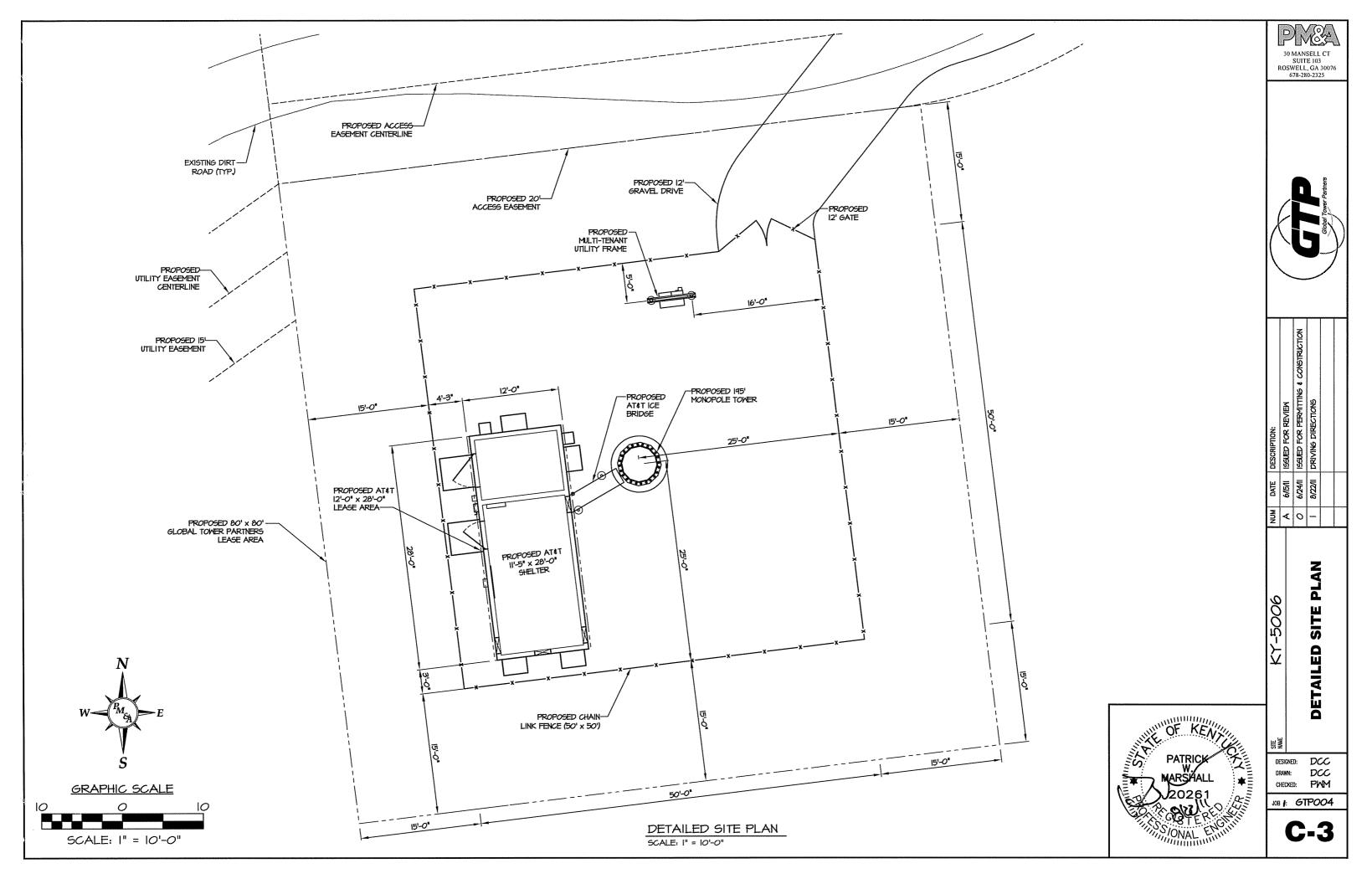
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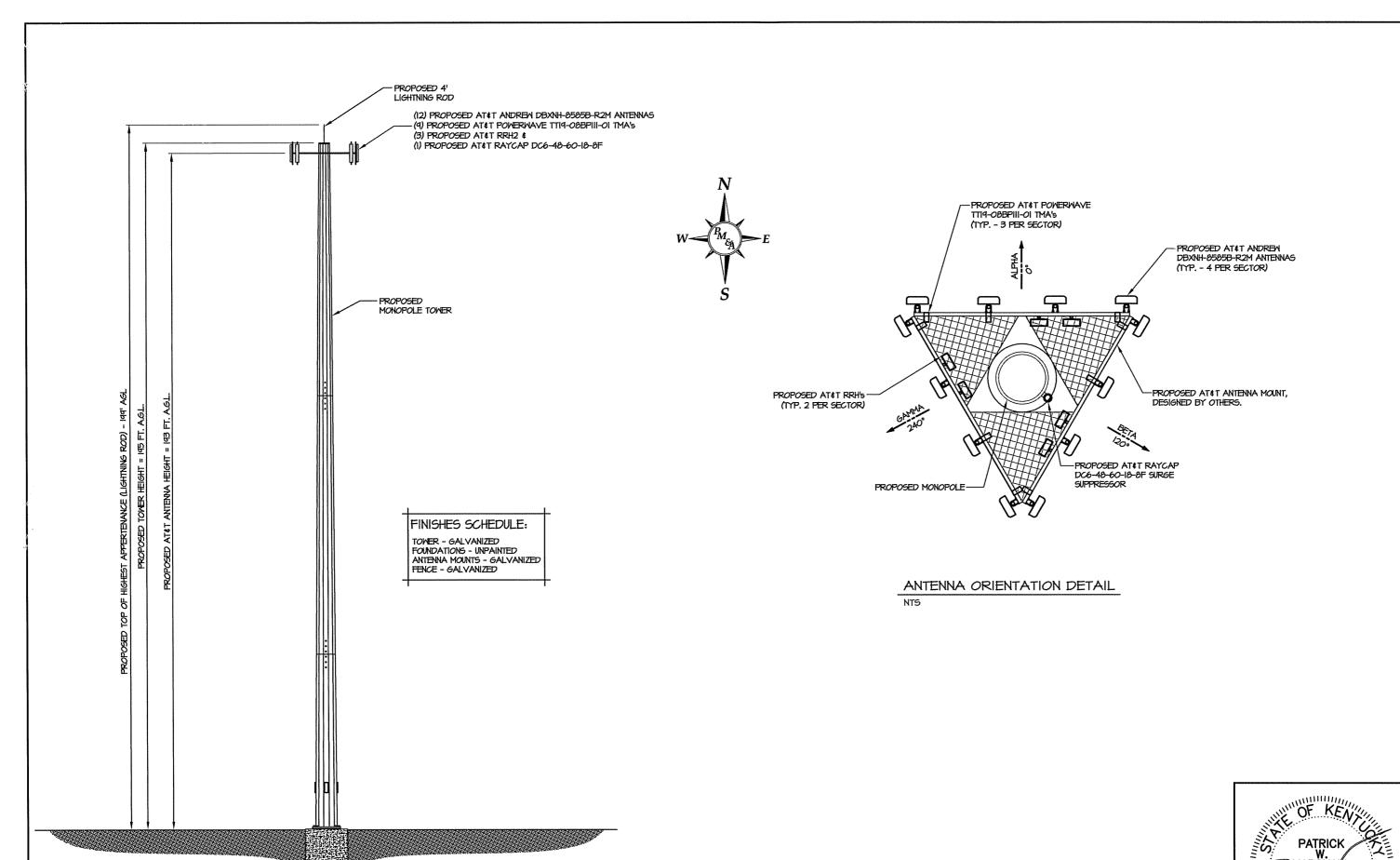
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JOB #: GTP004

C-1







TOWER ELEVATION





DRIVING DIRECTIONS	11/22/18	_
ISSUED FOR PERMITTING & CONSTRUCTION	6/24/11	0
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DESCRIPTION:	DATE	N N

KY-5006 OWER ELEVATION

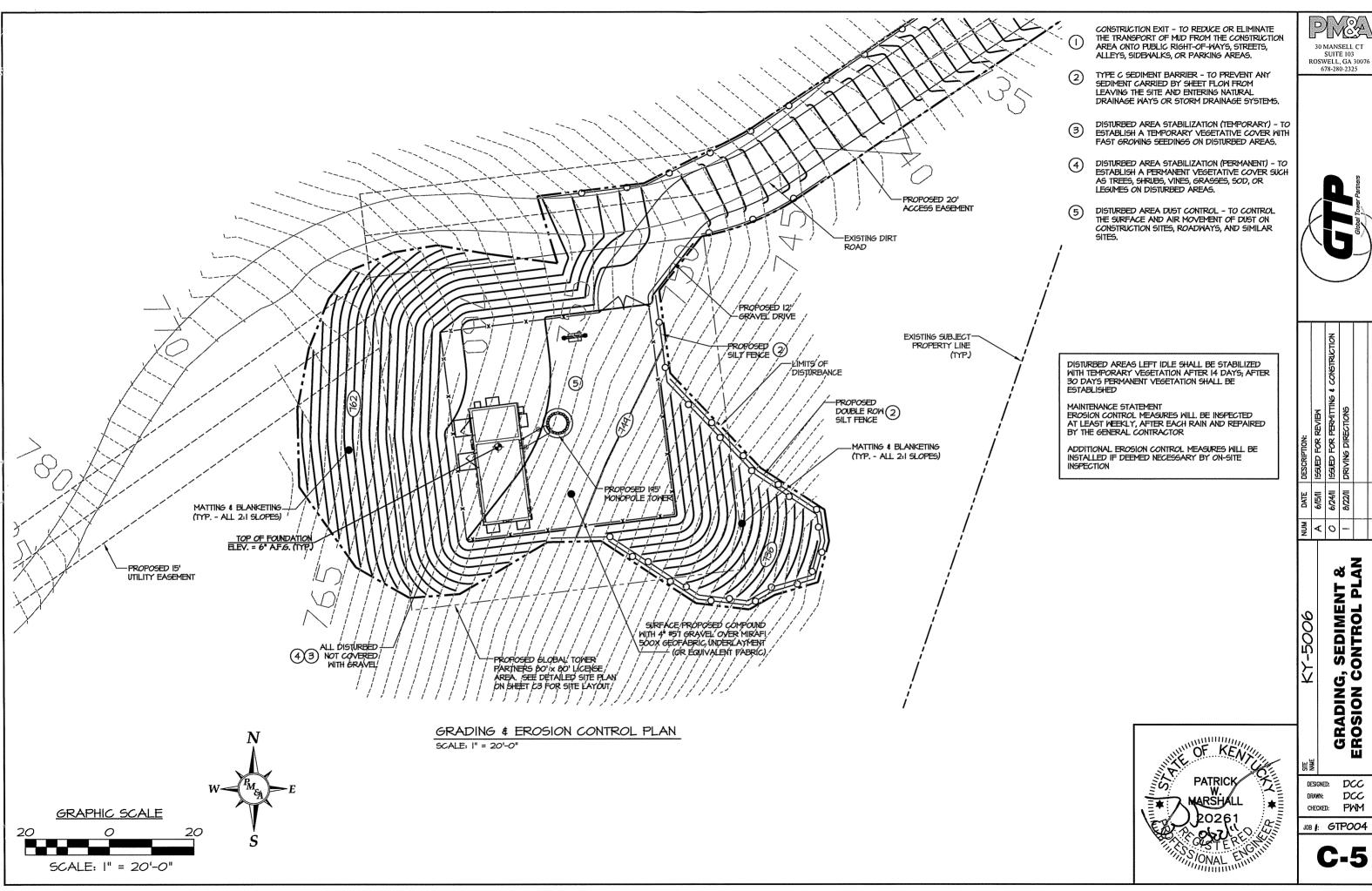
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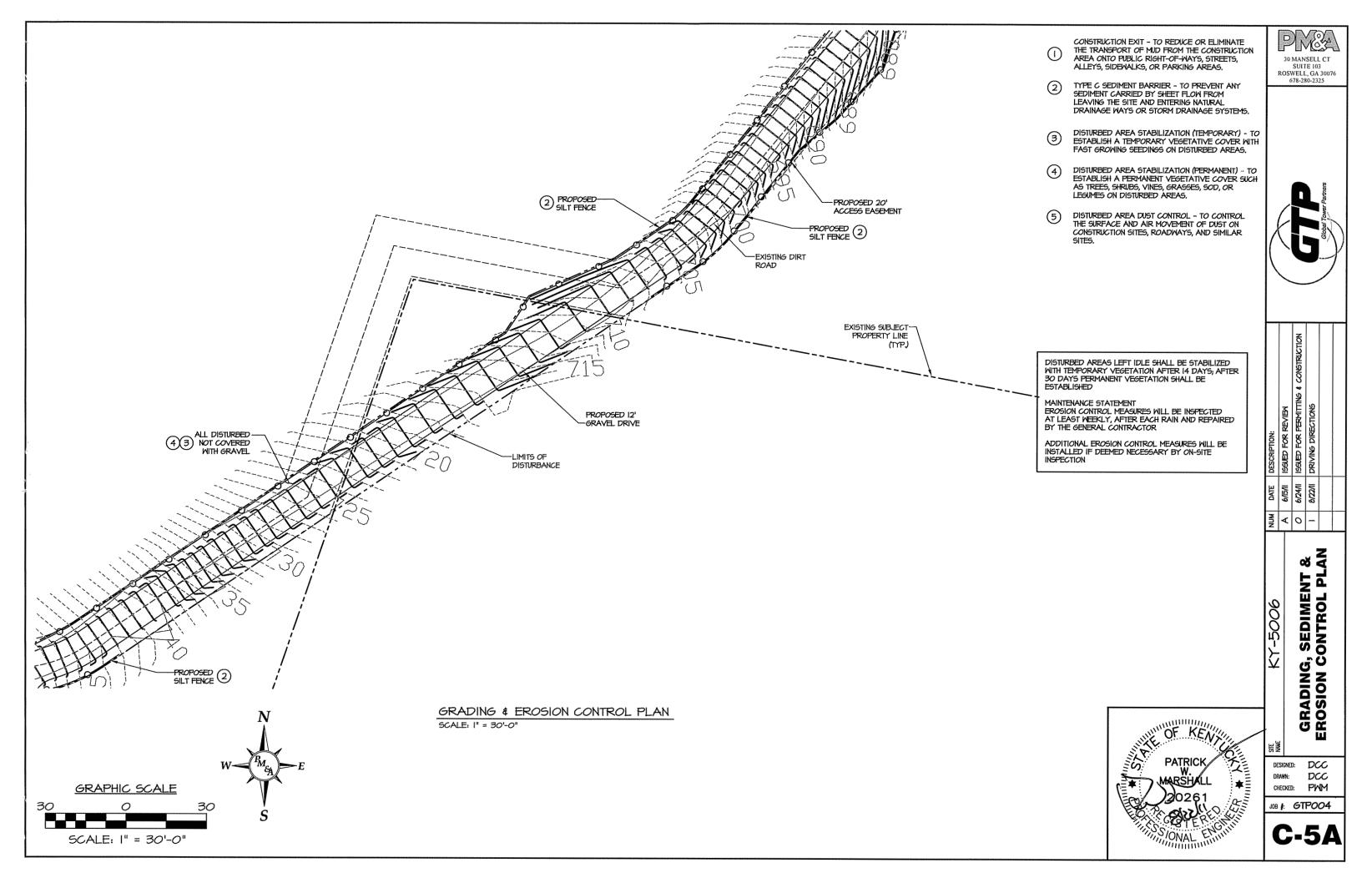
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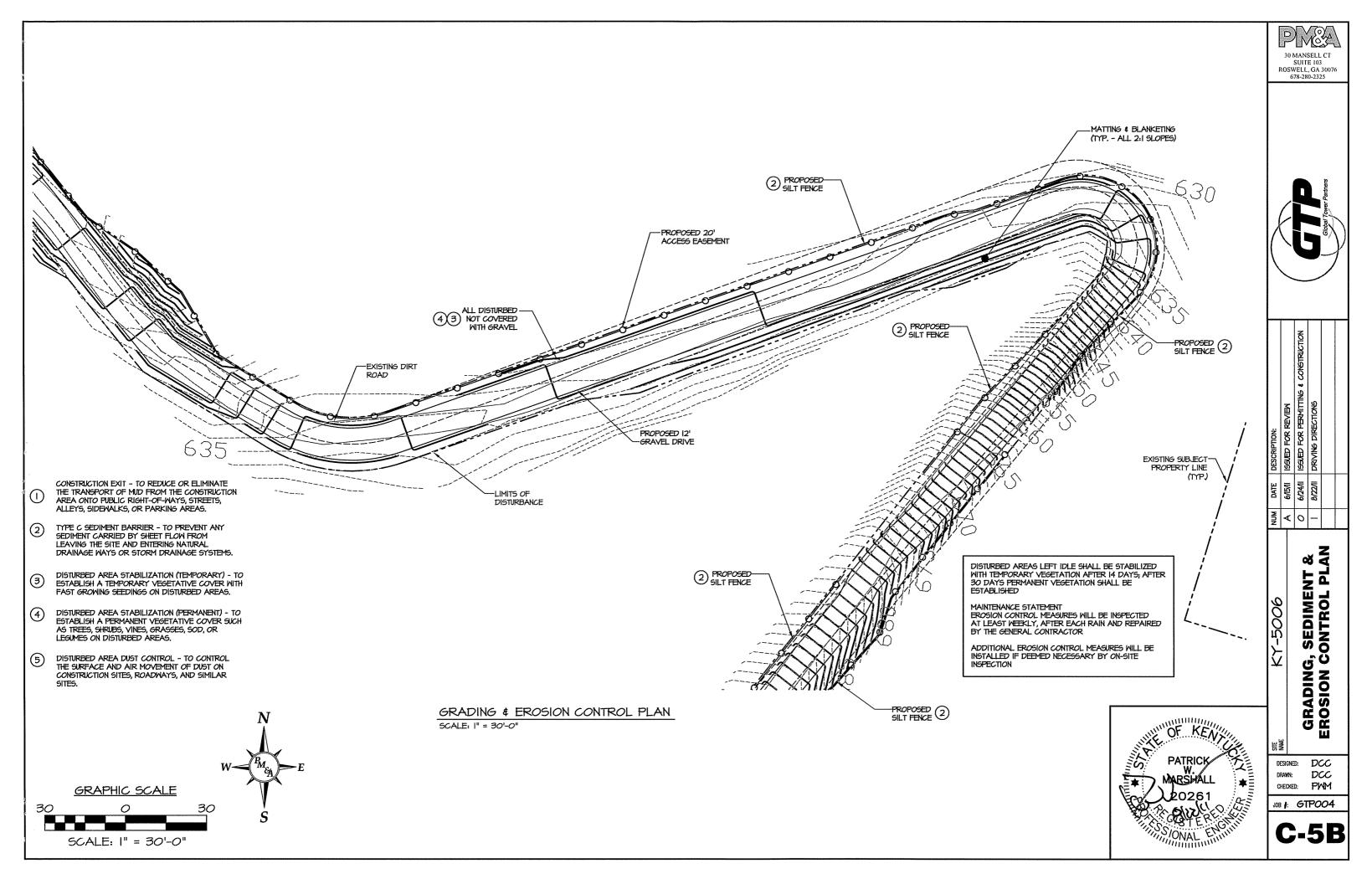


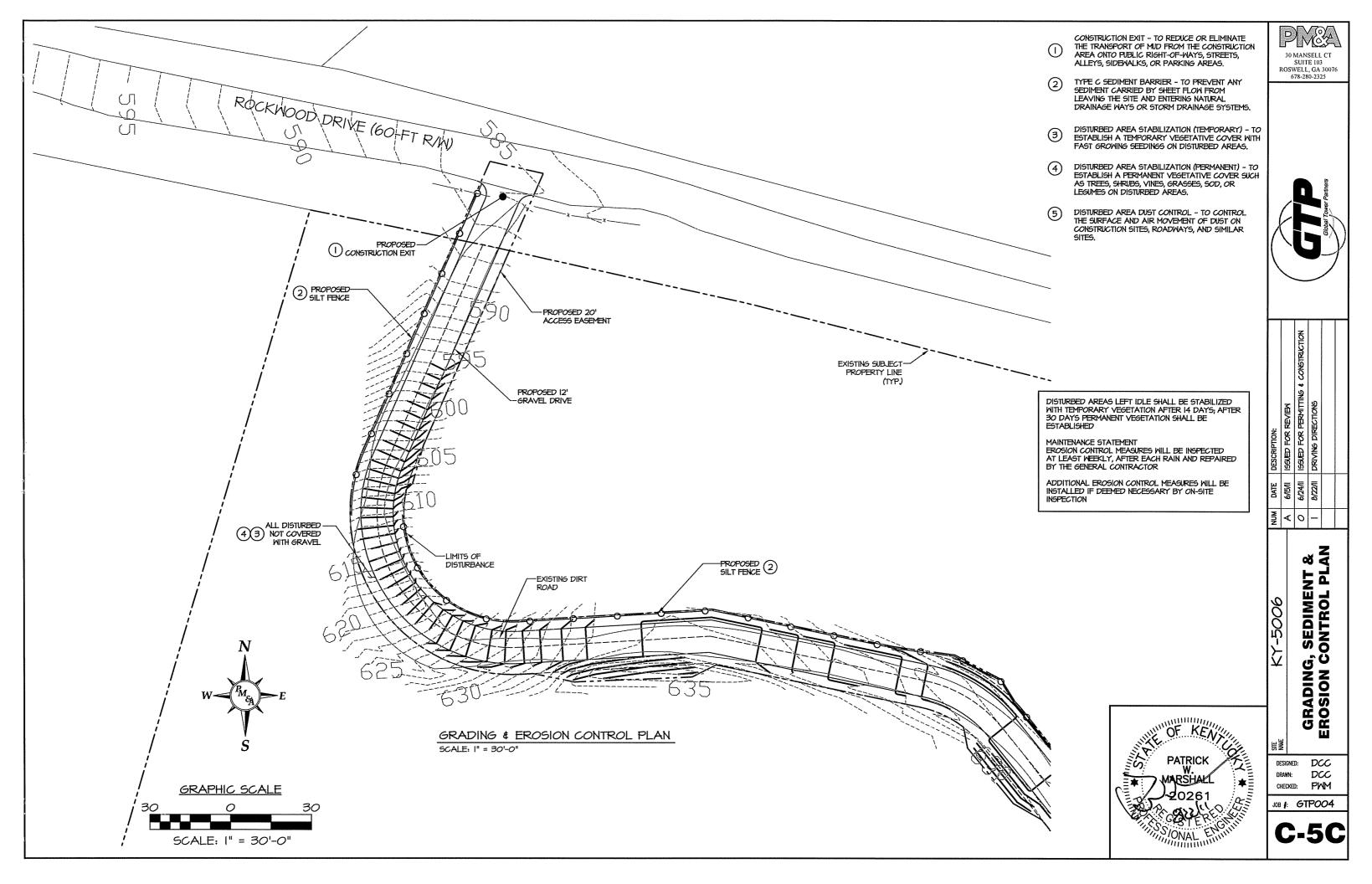
30 MANSELL CT

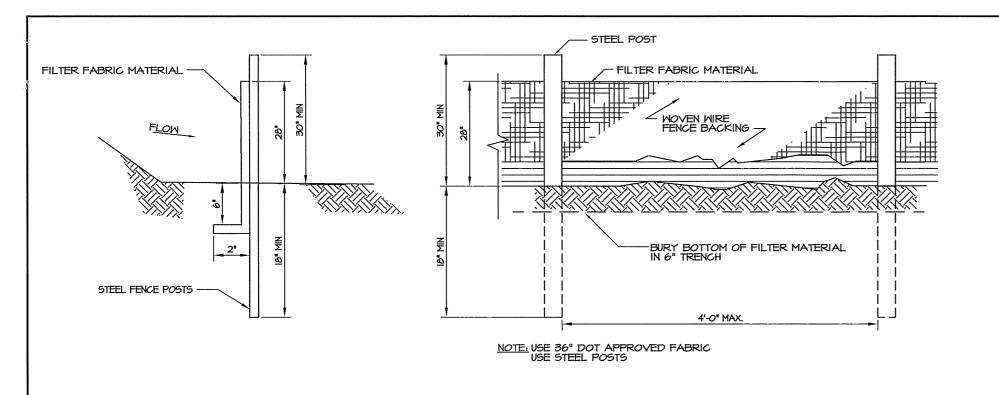


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∢	11/51/9	ISSUED FOR REVIEW
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-	IVZZ/8	DRIVING DIRECTIONS



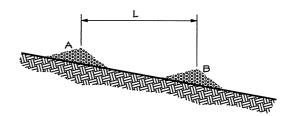






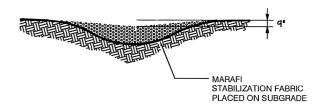
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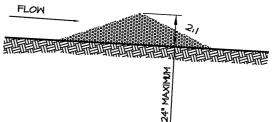
L = THE DISTANCE SUCH THAT POINTS A AND B ARE OF EQUAL ELEVATION.



SPACING BETWEEN CHECK DAMS

STONE CHECK DAM

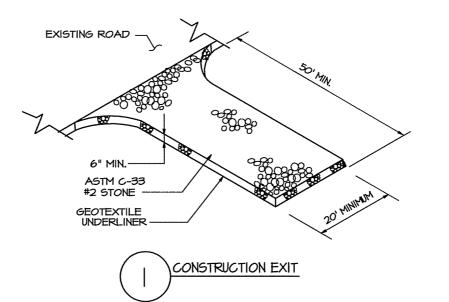


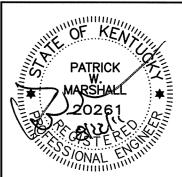


NOTES:

- CHECK DAMS TO BE CONSTRUCTED OF GRADED SIZE 2 10 INCH STONE, MECHANICAL OR HAND PLACEMENT SHALL BE REQUIRED TO INSURE COMPLETE COVERAGE OF ENTIRE WIDTH OF DITCH OR SWALE AND THAT CENTER OF DAM IS LOWER THAN EDGES.
- SEDIMENT TO BE REMOVED WHEN A LEVEL OF I/2 THE ORIGINAL DAM
 HEIGHT OR LESS IS REACHED. REMOVE CHECK DAMS AT COMPLETION OF
 PROJECT AND TREAT RESULTING DISTURBED AREAS AS REQUIRED.







30 MANSELL CT SUITE 103 ROSWELL, GA 30076 678-280-2325



GRADING, SEDIMENT & EROSION CONTROL DETAILS KY-5006

DESIGNED: DCC DCC DRAWN: CHECKED: PWM

PIEDMONT VEGETATIVE COVERS

CALENDAR MONTH	TEMPORARY SEED	APPLICATION RATE/ACRE	PERMANENT SEED	APPLICATION RATE/ACRE
I. JANUARY	RYE GRASS	40-50 LB.	UNHULLED BERMUI SERICEA LESPED	DA 8-10 LB. EZA ² 30-40 LB.
2. FEBRUARY			UNHULLED BERMUT SERICEA LESPED FESCUE	DA 8-10 LB. EZA ² 30-40 LB. 30-50 LB.
3. MARCH	RYE ANNUAL LESPEDEZ WEEPING LOVE GR	2-3 BU. ZA 20-25 LB. RASS 4-6 LB.	UNHULLED BERMUT SERICEA LESPED FESCUE	
4. APRIL	RYE BROWN TOP MILLE ANNUAL LESPEDE: SUDAN ANNUAL	ZA 20-25 LB.	WEEPING LOVE G HULLED BERMUDA BAHIA	RASS 4-6 LB. 5-6 LB. 40-60 LB.
5. MAY	WEEPING LOVE GR SUDAN GRASS BROWN TOP MILLE	2A55 4-6 LB. 35 LB. ET 30-40 LB.	WEEPING LOVE G HULLED BERMUDA BAHIA	RASS 4-6 LB. 5-6 LB. 40-60 LB.
6. JUNE	WEEPING LOVE GR SUDAN GRASS BROWN TOP MILLE	RASS 4-6 LB. 35 LB. ET 30-40 LB.	WEEPING LOVE G HULLED BERMUDA BAHIA	RASS 4-6 LB. 5-6 LB. 40-60 LB.
7. JULY	WEEPING LOVE GR SUDAN GRASS BROWN TOP MILLE	35 LB.		
8. AUGUST	RYE GRASS WEEPING LOVE GR			
9. SEPTEMBER			TALL FESCUE	30-50 LB.
IO. OCTOBER	NHEAT	2-3 EU.	UNHULLED BERMUI SERICEA LESPED FESCUE	DA 8-10 LB. EZA ² 30-40 LB. 30-50 LB.
II. NOVEMBER	WHEAT	2-3 단J.	UNHULLED BERMU SERICEA LESPED FESCUE	
I2. DECEMBER	RYE RYE GRASS W IE AT	2-3 BJ. 40-50 LB. 2-3 BJ.	UNHULLED BERMU SERICEA LESPED FESCUE	

USE A MINIMUM OF 40 LBS. SCARIFIED SEED. THE REMAINDER MAY BE UNGCARIFIED,

DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING)

DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION)

GENERAL

THIS VEGETATIVE PLAN WILL BE CARRIED OUT ON ROAD CUT AND FILL SLOPES, SHOULDERS, AND OTHER CRITICAL AREAS CREATED BY CONSTRUCTION. SEEDING WILL BE DONE AS SOON AS CONSTRUCTION IN AN AREA IS COMPLETED. PLANTINGS WILL BE MADE TO CONTROL EROSION, TO REDUCE DAMAGE FROM SEDIMENT AND RUNOFF TO DOWNSTREAM AREAS AND TO IMPROVE THE SAFETY AND BEAUTY OF THE DEVELOPMENT AREA.

SOIL CONDITIONS

DUE TO GRADING AND CONSTRUCTION, THE AREAS TO BE TREATED ARE MAINLY SUBSOIL AND SUBSTRATES. FERTILITY IS LOW AND THE PHYSICAL CHARACTERISTICS OF THE EXPOSED MATERIAL ARE UNFAVORABLE TO ALL BUT THE MOST HARDY PLANTS.

TREATMENT SPECIFICATIONS

HYDRAULIC SEEDING EQUIPMENT: WHEN HYDRAULIC SEEDING AND FERTILIZING EQUIPMENT IS USED, NO GRADING AND SHAPING OR SEEDBED PREPARATION WILL BE REQUIRED. THE FERTILIZER, SEED AND WOOD CELLULOSE FIBER MULCH WILL BE MIXED WITH WATER AND APPLIED IN A SLURRY, ALL SLURRY INGREDIENTS MUST BE COMBINED TO FORM A HOMOGENOUS MIXTURE, AND SPREAD UNIFORMLY OVER THE AREA WITHIN ONE HOUR AFTER MIXTURE IS MADE, STRAW OR HAY MULCH AND ASPHALT EMULSION WILL BE APPLIED WITH BLOWER-TYPE MULCH SPREADING EQUIPMENT WITHIN 24 HOURS AFTER SEEDING, THE MULCH WILL BE SPREAD UNIFORMLY OVER THE AREA, LEAVING ABOUT 25 PERCENT OF THE GROUND SURFACE EXPOSED. THE PER ACRE APPLICATION RATES ARE AS FOLLOWS:

A. SEEDING WITH MULCH: (HYDRAULIC SEEDING EQUIPMENT ON SLOPES 3:1 AND STEEPER)

AGRICULTURAL LIMESTONE #75	4000 LB5/ACRE
FERTILIZER, 5-10-15	1500 LB5/ACRE
MULCH (STRAW OR HAY) OR	5000 LBS/ACRE
WOOD CELLULOSE FIBER MULCH	1000 LB5/ACRE

SEED SPECIES	APPLICATION RATE/ACRE	PLANTING DATES
SERICEA LESPEDEZA, SCARIFIED WEEPING LOVE GRASS, OR COMMON BERMUDA, HULLED	60 LB5. 4 LB5. 6 LB5.	3/1 - 6/15
FESCUE SERICEA LESPEDEZA, UNSCARIFIED	40 LB6. 60 LB6.	9/1 - 10/31
FESCUE SERICEA LESPEDEZA, UNSCARIFIED RYE	40 LB5. 15 LB5. 50 LB5.	II/I - 2/28
HAY MULCH FOR TEMPORARY COVER	5000 LB5.	6/15 - 8/31

B. TOP DRESSING: APPLY WHEN PLANTS ARE 2 TO 4 INCHES TALL

FERTILIZER (AMMONIUM NITRATE 33.5%) 300 LB5/ACRE

C. SECOND-YEAR TREATMENT:

FERTILIZER (0-20-20 OR EQUIVALENT) 500 LBS/ACRE

GENERAL

THIS VEGETATIVE PLAN WILL BE CARRIED OUT ON ROAD OUT AND FILL SLOPES, SHOULDERS, AND OTHER CRITICAL AREAS CREATED BY CONSTRUCTION. SEEDING WILL BE DONE AS SOON AS CONSTRUCTION IN AN AREA IS COMPLETED, PLANTINGS WILL BE MADE TO CONTROL. EROSION, TO REDUCE DAMAGE FROM SEDIMENT AND RUNOFF TO DOWNSTREAM AREAS AND TO IMPROVE THE SAFETY AND BEAUTY OF THE DEVELOPMENT AREA

SOIL CONDITIONS

DUE TO GRADING AND CONSTRUCTION, THE AREAS TO BE TREATED ARE MAINLY SUBSOIL AND SUBSTRATES, FERTILITY IS LOW AND THE PHYSICAL CHARACTERISTICS OF THE EXPOSED MATERIAL ARE UNFAVORABLE TO ALL BUT THE MOST HARDY PLANTS.

TREATMENT SPECIFICATIONS

CONVENTIONAL SEEDING EQUIPMENT; GRADE, SHAPE, AND SMOOTH WHERE NEEDED TO PROVIDE FOR SAFE EQUIPMENT OPERATION AT SEEDING TIME AND FOR MAINTENANCE PURPOSES, THE LIME AND FERTILIZER IN DRY FORM WILL BE SPREAD UNIFORMLY OVER THE AREA IMMEDIATELY BEFORE SEEDBED PREPARATION, A SEEDBED WILL BE PREPARED BY SCARIFYING TO A DEPTH OF I TO 4 INCHES AS DETERMINED ON SITE. THE SEEDBED MUST BE WELL PULVERIZED, SMOOTHED, AND FIRMED. SEEDING WILL BE DONE WITH A CULTIPACKER-SEEDER, DRILL, ROTARY SEEDER, OR OTHER MECHANICAL OR HAND SEEDER, SEED WILL BE DISTRIBUTED UNIFORMLY OVER A FRESHLY PREPARED SEEDBED AND COVERED LIGHTLY, WITHIN 24 HOURS AFTER SEEDING, STRAW OR HAY MULCH WILL BE SPREAD UNIFORMLY OVER THE AREA, LEAVING ABOUT 25 PERCENT OF THE GROUND SURFACE EXPOSED. MULCH WILL BE SPREAD WITH BLOWER-TYPE MULCH EQUIPMENT OR BY HAND AND ANCHORED IMMEDIATELY AFTER IT IS SPREAD, A DISK HARROW WITH THE DISK SET STRAIGHT OR A SPECIAL PACKER DISK MAY BE USED TO PRESS THE MULCH INTO THE SOIL. THE PER ACRE APPLICATION RATES ARE AS

A. SEEDING WITH MULCH: (CONVENTIONAL SEEDING EQUIPMENT ON SLOPES LESS THAN 3:1)

AGRICULTURAL LIMESTONE #15 FERTILIZER, 5-10-15 MULCH (STRAW OR HAY)

4000 LBS/ACRE 1500 LBS/ACRE 5000 LBS/ACRE

SEED SPECIES	APPLICATION RATE/ACRE	Planting Dates
HULLED COMMON BERMUDA GRASS	IO LBS.	3/1 <i>6/</i> 15
FESCUE	50 LBS.	9/1 - 10/31
FESCUE RYE GRASS	50 LB6. 50 LB6.	11/1 - 2/28
HAY MULCH FOR TEMPORARY COVER	5000 LBS.	6/15 - 8/31

B. TOP DRESSING: APPLY WHEN PLANTS ARE 2 TO 4 INCHES TALL

FERTILIZER (AMMONIUM NITRATE 33.5%) 300 LBS/ACRE

C. SECOND-YEAR TREATMENT:

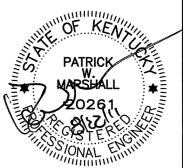
FERTILIZER (5-10-15 OR EQUIVALENT)

800 LBS/ACRE

DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING)

3

DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION)



30 MANSELL CT SUITE 103 ROSWELL, GA 30076 678-280-2325



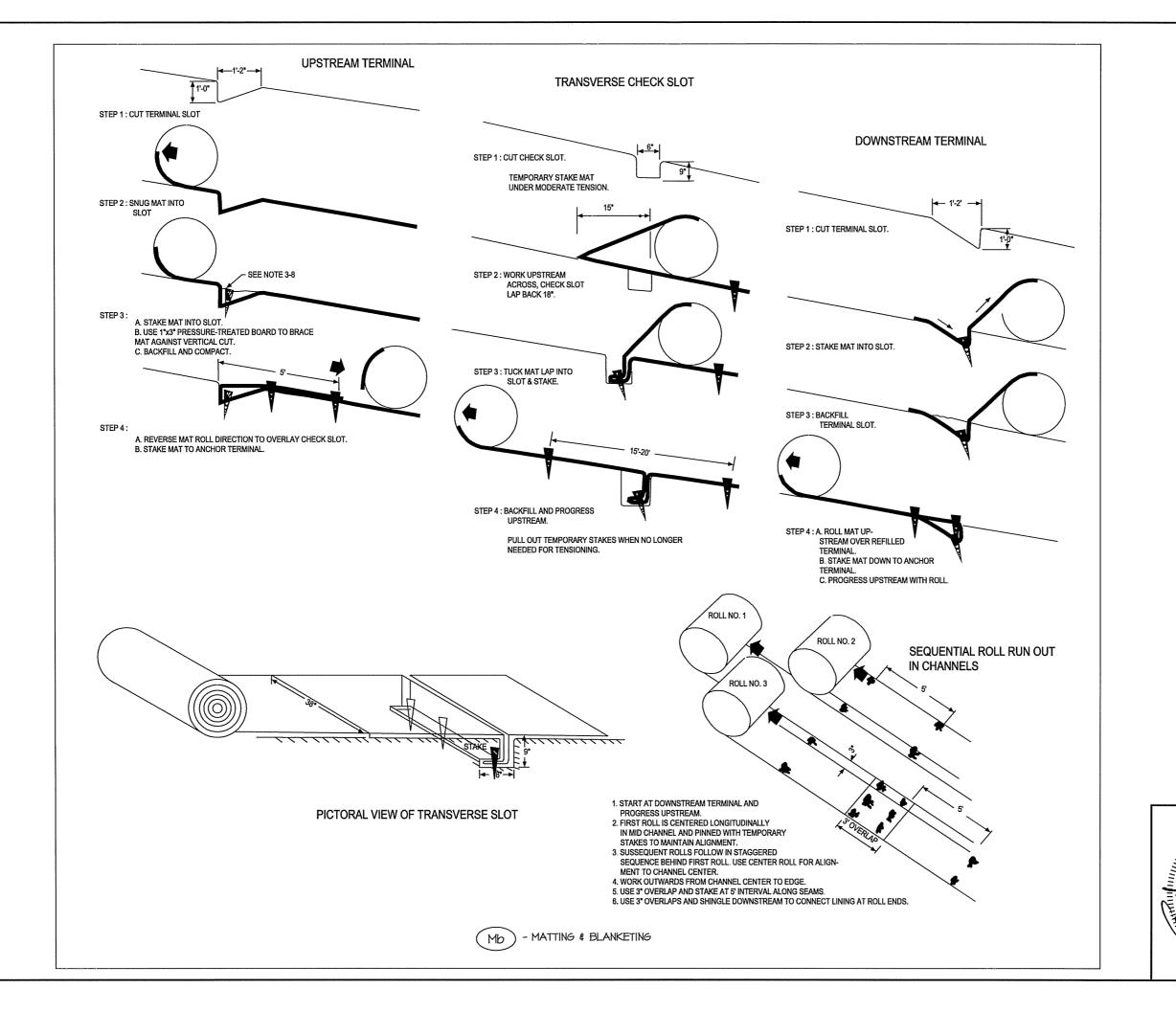
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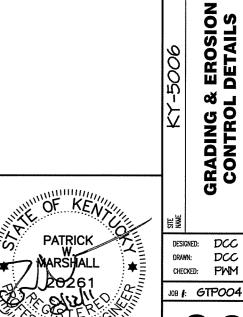
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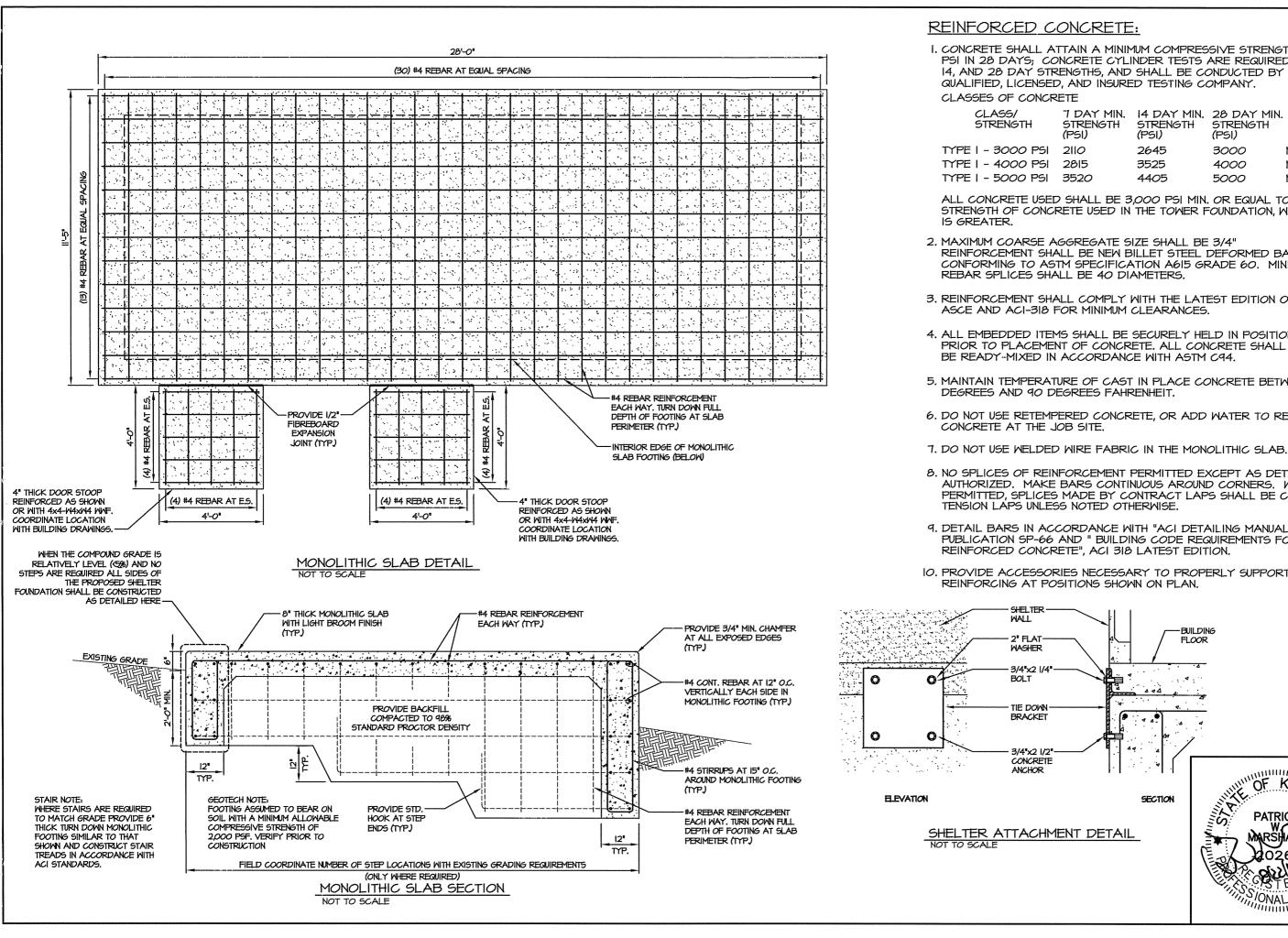


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KY-5006

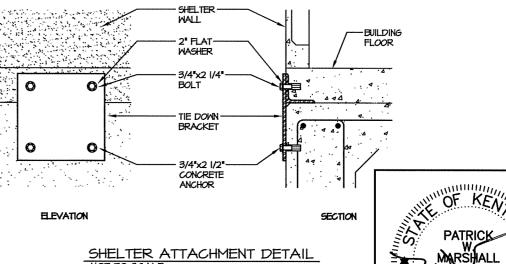


I. CONCRETE SHALL ATTAIN A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI IN 28 DAYS; CONCRETE CYLINDER TESTS ARE REQUIRED FOR 7, 14, AND 28 DAY STRENGTHS, AND SHALL BE CONDUCTED BY A QUALIFIED, LICENSED, AND INSURED TESTING COMPANY.

CLASS/ STRENGTH	7 DAY MIN. STRENGTH (PSI)	14 DAY MIN. STRENGTH (PSI)	28 DAY MIN STRENGTH (PSI)	. NOTES
TYPE I - 3000 PSI	2110	2645	3000	NORMAL WT.
TYPE I - 4000 PSI	2815	3525	4000	NORMAL WT.
TYPE I - 5000 PSI	352 <i>0</i>	4405	5000	NORMAL WT.

ALL CONCRETE USED SHALL BE 3,000 PSI MIN. OR EQUAL TO THE STRENGTH OF CONCRETE USED IN THE TOWER FOUNDATION, WHICHEVER

- 2. MAXIMUM COARSE AGGREGATE SIZE SHALL. BE 3/4" REINFORCEMENT SHALL BE NEW BILLET STEEL DEFORMED BARS CONFORMING TO ASTM SPECIFICATION A615 GRADE 60. MINIMUM
- 3. REINFORCEMENT SHALL COMPLY WITH THE LATEST EDITION OF ASCE AND ACI-318 FOR MINIMUM CLEARANCES.
- 4. ALL EMBEDDED ITEMS SHALL BE SECURELY HELD IN POSITION PRIOR TO PLACEMENT OF CONCRETE. ALL CONCRETE SHALL BE READY-MIXED IN ACCORDANCE WITH ASTM C94.
- 5. MAINTAIN TEMPERATURE OF CAST IN PLACE CONCRETE BETWEEN 50 DEGREES AND 90 DEGREES FAHRENHEIT.
- 6. DO NOT USE RETEMPERED CONCRETE, OR ADD WATER TO READY-MIX
- 8. NO SPLICES OF REINFORCEMENT PERMITTED EXCEPT AS DETAILED OR AUTHORIZED. MAKE BARS CONTINUOUS AROUND CORNERS. WHERE PERMITTED, SPLICES MADE BY CONTRACT LAPS SHALL BE CLASS "B"
- 9. DETAIL BARS IN ACCORDANCE WITH "ACI DETAILING MANUAL 1985, PUBLICATION SP-66 AND "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE", ACI 318 LATEST EDITION.
- IO. PROVIDE ACCESSORIES NECESSARY TO PROPERLY SUPPORT REINFORCING AT POSITIONS SHOWN ON PLAN.









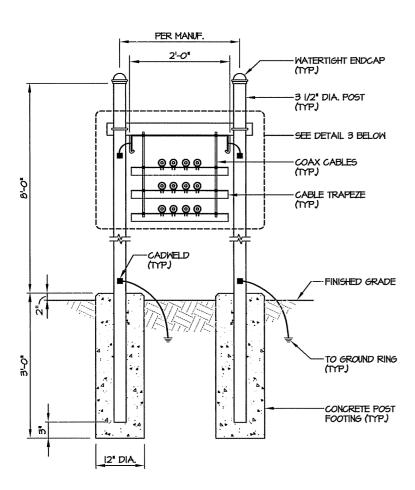
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AT&T EQUIPMENT FOUNDATION DETAIL & NOTES

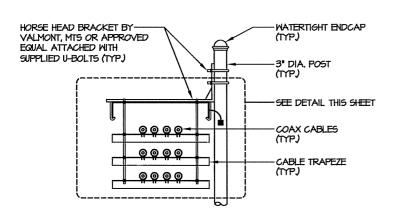
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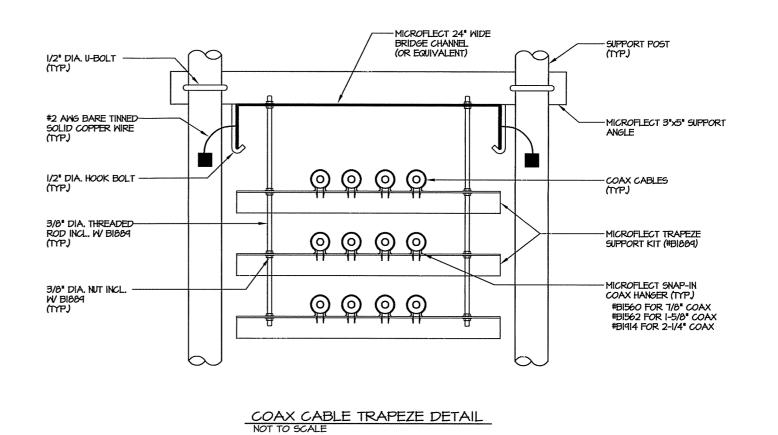
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ICE BRIDGE SECTION
NOT TO SCALE



ICE BRIDGE SECTION (ALTERNATE HORSE HEAD)
NOT TO SCALE





30 MANSELL CT SUITE 103 ROSWELL, GA 30076 678-280-2325

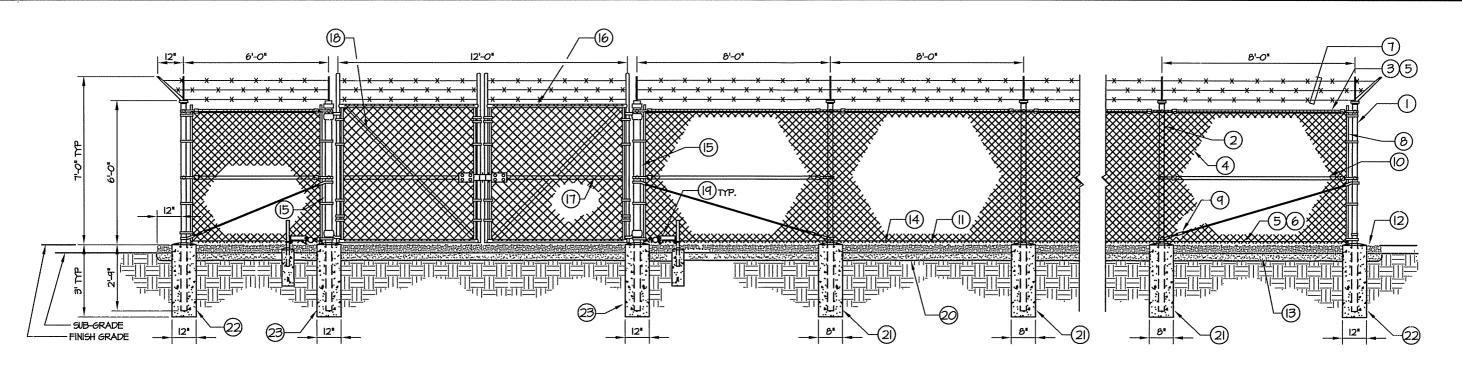
COAX ICE BRIDGE DETAILS KY-5006

DESIGNED: DRAWN: CHECKED:

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C-10



REFERENCE NOTES:

- CORNER, END OR PULL POST 3" NOMINAL SCHEDULE 40 PIPE.
- LINE POST: 2 1/2" SCHEDULE 40 PIPE, PER ASTM-FIO83. LINE POSTS SHALL BE EQUALLY SPACED AT MAXIMUM 8'-0" O.C.
- (3) TOP RAIL & BRACE RAIL: 1 1/2" PIPE, PER ASTM-FI083.
- (4) FABRIC: 9 GA CORE WIRE SIZE 2" MESH, CONFORMING TO ASTM-A392.
- TIE WIRE: MINIMUM II GA GALVANIZED STEEL AT POSTS AND RAILS 5 A SINGLE WRAP OF FABRIC TIE AND AT TENSION WIRE BY HOG RINGS SPACED MAX, 24" INTERVALS.
- (6) TENSION WIRE: 9 GA. GALVANIZED STEEL.
- BARBED WIRE: DOUBLE STRAND 12-1/2" O.D. TWISTED WIRE TO MATCH WITH FABRIC 14 6a, 4 Pt. Barbs spaced on approximately 5" centers.
- (8) STRETCHER BAR.
- 3/8" DIAGONAL ROD WITH GALVANIZED STEEL TURNBUCKLE OR DIAGONAL THREADED ROD.
- FENCE CORNER POST BRACE: I 5/6" DIA, EACH CORNER EACH WAY.
- (||) | 1/2" MAXIMUM CLEARANCE FROM GRADE.

- 2" FINISH OR AS DETERMINED BY CONSTRUCTION MANAGER DIRING RID WALL MANAGER DURING BID WALK.
- 4" COMPACTED 95% BASE MATERIAL OR AS DETERMINED BY CONSTRUCTION MANAGER DURING BID WALK.
- (4) FINISH GRADE SHALL BE UNIFORM AND LEVEL.
- GATE POST 4". SCHEDULE 40 PIPE, FOR GATE
 WIDTHS UP THRU 7 FEET OR 14 FEET FOR
 DOING E CANNA CATE TO BE SENTENCED. DOUBLE SHING GATE, PER ASTM-FI083.
- 6 GATE FRAME: 1 1/2" PIPE, PER ASTM-F1083.
- GATE FRAME; I 5/8" DIAMETER PIPE, PER ASTM-FI083
- (8) GATE DIAGONAL GALVANIZED STEEL I 1/2" PIPE.
- DUCK BILL OPEN GATE HOLDER. VERIFY LOCATION IN FIELD PRIOR TO INSTALLATION.
- 6EOTEXTILE FABRIC
- (21) LINE POST: CONCRETE FOUNDATION (2000 PSI)
- CORNER POST: CONCRETE FOUNDATION (2000 PSI)
- GATE POST: CONCRETE FOUNDATION (2000 PSI)

GENERAL NOTES:

- I. INSTALL FENCING PER ASTM F-567
- 2. INSTALL SWING GATES PER ASTM F- 900
- 3. LOCAL ORDINANCE OF BARBED WIRE PERMIT REQUIREMENT SHALL BE COMPLIED IF REQUIRED.
- ALL PIPE TO BE I 1/2" GALV. (HOT DIP, ASTM AI20 GRADE "A" STEEL). ALL GATE FRAMES SHALL BE WELDED. ALL WELDING SHALL BE COATED WITH (3) COATS OF COLD GALV. (OR EQUAL).



4. POST & GATE PIPE SIZES ARE INDUSTRY STANDARDS.

5. ALL OPEN POSTS SHALL HAVE END-CAPS.

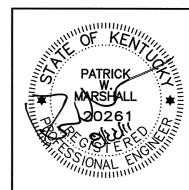
6. USE GALVANIZED HOG-RING WIRE TO MOUNT ALL SIGNS.

7. ALL SIGNS MUST BE MOUNTED ON INSIDE OF FENCE FABRIC.

30 MANSELL CT SUITE 103 ROSWELL, GA 30076 678-280-2325



Y-5006 NUM DATE DESCRIPTION:	A 6/15/11 ISSUED FOR REVIEW	O 6/24/II ISSUED FOR PERMITTING & CONSTRUCT	DETAILS I 8/22/II DRIVING DIRECTIONS	
	NEW	RMITTING & CONSTRUC	TIONS	



DESIGNED: DCC DCC DRAWN: CHECKED: PWM

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AT&T SIGNAGE NOTES:

- SIGNS SHALL MEASURE 8" x 12" & BE FABRICATED FROM CORROSION RESISTANT PRESSED METAL & PAINTED WITH LONG LASTING UV RESISTANT COATINGS.
- 2. SIGNS (EXCEPT WHERE NOTED OTHERWISE) SHALL BE MOUNTED TO THE TOWER, GATE & FENCE USING A MINIMUM OF 4 GAUGE ALIMINUM WIRE, HOG RINGG (FENCE) OR BRACKETS, WHERE NECESSARY, BRACKETS SHALL BE OF SIMILAR METAL AS THE STRUCTURE TO AVOID GALVANIC CORROSION
- 3. ADDITIONAL EY!! ADDRESS & FCC REGISTRATION SIGNS SHALL BE MOUNTED AT EACH ACCESS ROAD GATE LEADING TO THE COMOUND AS WELL AS ON THE COMPOUND GATE ITSELF.
- 4. AT&T SITE # & EMERGENCY CONTACT SIGNS SHALL BE MOUNTED ON THE EQUIPMENT CABIENT WITH PERMANENT SET ADHESIVE. TWO SIDED TAPE SHALL BE UTILIZED AT EACH CORNER ON THE BACKSIDE TO AID PLACEMENT UNTIL THE ADHESIVE SETS.

SITE # WV632

SITE # IDENTIFICATION SIGN

WHITE BACKGROUND, BLACK LETTERING MOUNTING LOCATION: EQUIPMENT CABIENT QUANTITY: I

WHITE TEXT -TEAL BACKGROUND INFORMATION AT&T operates telecommunications antennas at this location. Stay back a minimum of 3 feet from any antenna. Obey all posted signs & site guidelines. Contact the owner(s) of the antenna(s) & follow their instructions prior to performing any repairs or maintenance within a restricted area or closer than 3 feet from their antenna(s). Contact AT&T at BACKGROUND prior to doing any work near AT&T antennas. This is Site # Contact the management office if this door, hatch, or gate is found unlocked.

INFORMATION RF EXPOSURE SIGN

WHITE/TEAL BACKGROUND, BLACK/WHITE LETTERING MOUNTING LOCATION: GATE QUANTITY: I

IN CASE OF EMERGENCY CALL 1-800-298-3551

EMERGENCY CONTACT SIGN

WHITE BACKGROUND, BLACK LETTERING MOUNTING LOCATION: EQUIPMENT CABINET CHANTLY, I





N N	DATE	DESCRIPTION:
∢	6/15/11	ISSUED FOR REVIEW
0	11/4/19	6/24/II ISSUED FOR PERMITTING & CONSTRUCTION
_	11/22/19	8/22/II DRIVING DIRECTIONS

KY-5006 TRT SITE SIGNAGE

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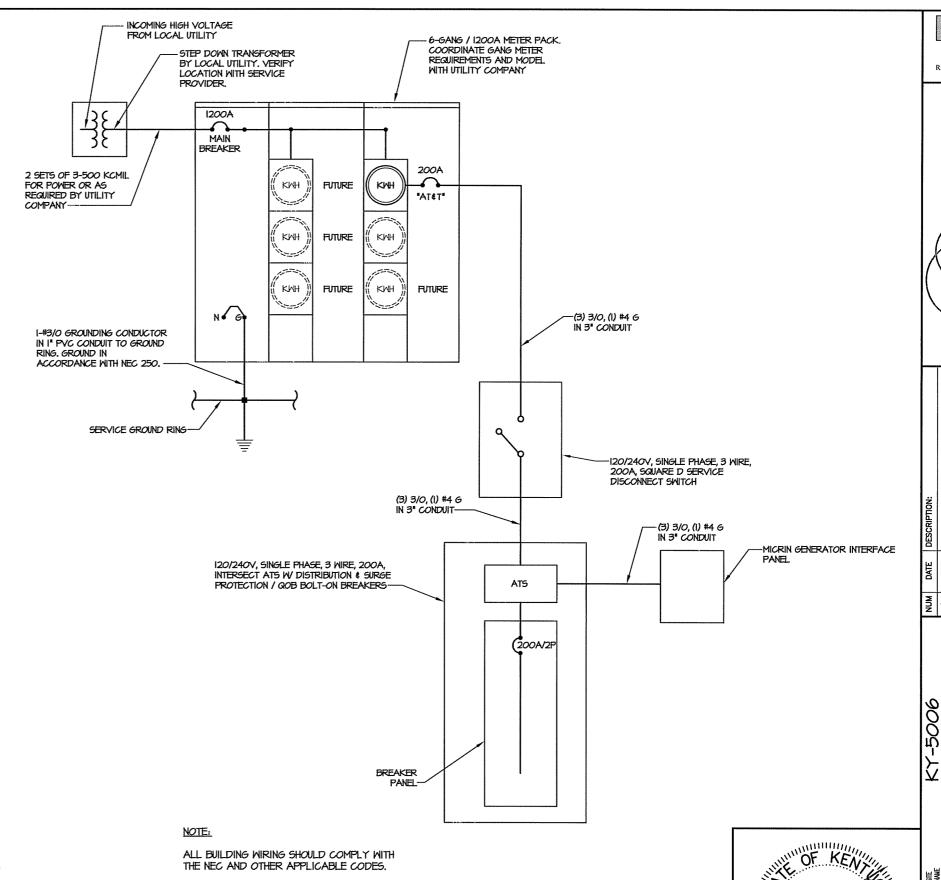
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J08 #: GTP004

C-12

ELECTRICAL INSTALLATION NOTES

- I. ALL ELECTRICAL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS, NEC AND ALL APPLICABLE LOCAL CODES.
- 2. CONDUIT ROUTINGS ARE SCHEMATIC. SUBCONTRACTOR SHALL INSTALL CONDUITS SO THAT ACCESS TO EQUIPMENT IS NOT
- 3. WIRING, RACEWAY AND SUPPORT METHODS AND MATERIALS SHALL COMPLY WITH THE REQUIREMENTS OF THE NEC AND
- 4. ALL CIRCUITS SHALL BE SEGREGATED AND MAINTAIN MINIMUM CABLE SEPARATION AS REQUIRED BY THE NEC AND TELCORDIA.
- 5. CABLES SHALL NOT BE ROUTED THROUGH LADDER-STYLE CABLE TRAY RUNGS.
- 6. EACH END OF EVERY POWER, POWER PHASE CONDUCTOR (I.E., HOTS), GROUNDING, AND TI CONDUCTOR AND CABLE SHALL BE LABELED WITH COLOR-CODED INSULATION OR ELECTRICAL TAPE (3M BRAND, I/2 INCH PLASTIC ELECTRICAL TAPE WITH UV PROTECTION, OR EQUAL). THE IDENTIFICATION METHOD SHALL CONFORM WITH NEC & OSHA.
- 7. ALL ELECTRICAL COMPONENTS SHALL BE CLEARLY LABELED WITH ENGRAVED LAMACOID PLASTIC LABELS. ALL EQUIPMENT SHALL BE LABELED WITH THEIR VOLTAGE RATING, PHASE CONFIGURATION, WIRE CONFIGURATION, POWER OR AMPACITY RATING, AND BRANCH CIRCUIT ID NUMBERS (I.E., PANELBOARD AND CIRCUIT ID'S).
- 6. PANELBOARDS (ID NUMBERS) AND INTERNAL CIRCUIT BREAKERS (CIRCUIT ID NUMBERS) SHALL BE CLEARLY LABELED WITH ENGRAVED LAMACOID PLASTIC LABELS.
- 4. ALL TIE WRAPS SHALL BE CUT FLUSH WITH APPROVED CUTTING TOOL TO REMOVE SHARP EDGES.
- IO. POWER, CONTROL, AND EQUIPMENT GROUND WIRING IN TUBING OR CONDUIT SHALL BE SINGLE CONDUCTOR (#14 AWG OR LARGER), 600 V, OIL. RESISTANT THHN OR THWN-2, CLASS B STRANDED COPPER CABLE RATED FOR 90 °C (WET AND DRY) OPERATION; LISTED OR LABELED FOR THE LOCATION AND RACEWAY SYSTEM USED, UNLESS OTHERWISE SPECIFIED.
- II. SUPPLEMENTAL EQUIPMENT GROUND WIRING LOCATED INDOORS SHALL BE SINGLE CONDUCTOR (#6 AWG OR LARGER), 600 V,
 OIL RESISTANT THIN OR THINN-2 GREEN INSULATION, CLASS B STRANDED COPPER CABLE RATED FOR 90 °C (WET AND DRY)
 OPERATION: LISTED OR LABELED FOR THE LOCATION AND RACEWAY SYSTEM USED. UNLESS OTHERWISE SPECIFIED.
- 12. POWER AND CONTROL WIRING, NOT IN TUBING OR CONDUIT, SHALL BE MULTI-CONDUCTOR, TYPE TC CABLE (#14 AWG OR LARGER), 600 V, OIL RESISTANT THEN OR THAN-2, CLASS B STRANDED COPPER CABLE RATED FOR 90 °C (WET AND DRY) OPERATION; WITH OUTER JACKET, LISTED OR LABELED FOR THE LOCATION USED, UNLESS OTHERWISE SPECIFIED.
- 13. ALL POWER AND POWER GROUNDING CONNECTIONS SHALL BE CRIMP-STYLE, COMPRESSION WIRE LUGS AND WIRENUTS BY THOMAS AND BETTS (OR EQUAL). LUGS AND WIRENUTS SHALL BE RATED FOR OPERATION AT NO LEGS THAN 15°C (90°C IF AVAILABLE).
- 14. RACEMAY AND CABLE TRAY SHALL BE LISTED OR LABELED FOR ELECTRICAL USE IN ACCORDANCE WITH NEMA, UL, ANSI/IEEE, AND NEC.
- 15. ELECTRICAL METALLIC TUBING (EMT) OR RIGID NONMETALLIC CONDUIT (I.E., RIGID PVC SCHEDULE 40, OR RIGID PVC SCHEDULE 80 FOR LOCATIONS SUBJECT TO PHYSICAL DAMAGE) SHALL BE USED FOR EXPOSED INDOOR LOCATIONS.
- 16. ELECTRICAL METALLIC TUBING (EMT), ELECTRICAL NONMETALLIC TUBING (ENT), OR RIGID NONMETALLIC CONDUIT (RIGID PVC, SCHEDULE 40) SHALL BE USED FOR CONCEALED INDOOR LOCATIONS.
- 17. GALVANIZED STEEL INTERMEDIATE METALLIC CONDUIT (IMC) SHALL BE USED FOR OUTDOOR LOCATIONS ABOVE GRADE.
- IB. RIGID NONMETALLIC CONDUIT (I.E., RIGID PVC SCHEDULE 40 OR RIGID PVC SCHEDULE 80) SHALL BE USED UNDERGROUND; DIRECT BURIED, IN AREAS OF OCCASIONAL LIGHT VEHICLE TRAFFIC OR ENCASED IN REINFORCED CONCRETE IN AREAS OF HEAVY VEHICLE TRAFFIC.
- 19. LIQUID-TIGHT FLEXIBLE METALLIC CONDUIT (LIQUID-TITE FLEX) SHALL BE USED INDOORS AND OUTDOORS, WHERE VIBRATION OCCURS OR FLEXIBILITY IS NEEDED.
- 20, CONDUIT AND TUBING FITTINGS SHALL BE THREADED OR COMPRESSION-TYPE AND APPROVED FOR THE LOCATION USED, SETSCREM FITTINGS ARE NOT ACCEPTABLE.
- 21. CABINETS, BOXES, AND WIREWAYS SHALL BE LISTED OR LABELED FOR ELECTRICAL USE IN ACCORDANCE WITH NEMA, UL, ANSI/IEEE, AND NEC.
- 22. WIREWAYS SHALL BE EPOXY-COATED (GRAY) AND INCLUDE A HINGED COVER, DESIGNED TO SWING OPEN DOWNWARD; SHALL BE PANDUIT TYPE E (OR EQUAL); AND RATED NEMA I (OR BETTER) INDOORS, OR NEMA 3R (OR BETTER) OUTDOORS.
- 23. EQUIPMENT CABINETS, TERMINAL BOXES, JUNCTION BOXES, AND PULL BOXES SHALL BE GALVANIZED OR EPOXY-COATED SHEET STEEL, SHALL MEET OR EXCEED UL 50, AND RATED NEMA I (OR BETTER) INDOORS, OR NEMA 3R (OR BETTER) OUTDOORS
- 24. METAL RECEPTACLE, SWITCH, AND DEVICE BOXES SHALL BE GALVANIZED, EPOXY-COATED, OR NON-CORRODING; SHALL MEET OR EXCEED UL 514A AND NEMA OS I; AND RATED NEMA I (OR BETTER) INDOORS, OR WEATHER PROTECTED (MP OR BETTER) OUTDOORS.
- 25. NONMETALLIC RECEPTACLE, SMITCH, AND DEVICE BOXES SHALL MEET OR EXCEED NEMA 05 2; AND RATED NEMA I (OR BETTER) INDOORS, OR MEATHER PROTECTED (NP OR BETTER) OUTDOORS.
- 26. THE SUBCONTRACTOR SHALL NOTIFY AND OBTAIN NECESSARY AUTHORIZATION FROM THE CONTRACTOR BEFORE COMMENCING WORK ON THE AC POWER DISTRIBUTION PANELS.
- 27. THE SUBCONTRACTOR SHALL PROVIDE NECESSARY TAGGING ON THE BREAKERS, CABLES AND DISTRIBUTION PANELS IN ACCORDANCE WITH THE APPLICABLE CODES AND STANDARDS TO SAFEGUARD AGAINST LIFE AND PROPERTY.



ONE-LINE DIAGRAM

30 MANSELL CT

SUITE 103 ROSWELL, GA 30076

678-280-2325

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DIAGRAM

E-LINE

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JOB #: GTP004

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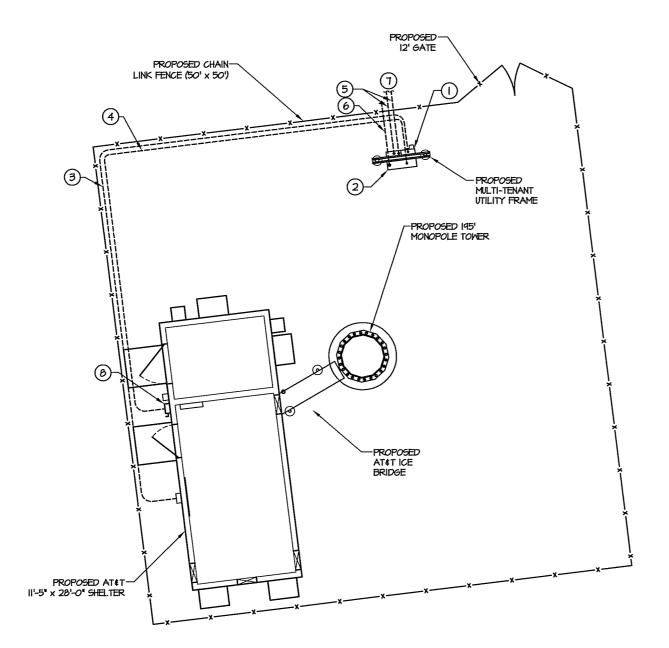
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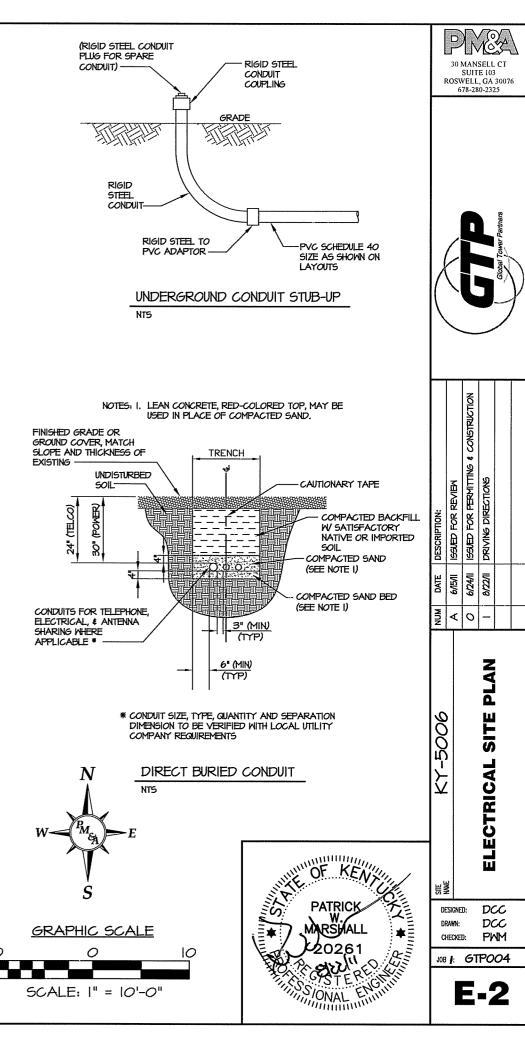
ELECTRICAL INSTALLATION NOTES

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ELECTRICAL KEY NOTES:

- PROPOSED 600A GANG METER
 PANEL, SEE SHEET E-6 FOR MOUNTING
 DETAILS, SEE SHEET E-1 FOR
 ELECTRICAL ONE-LINE DIAGRAM.
- PROPOSED TELCO DEMARC CABINET. SEE SHEET E-6 FOR MOUNTING DETAILS.
- (3) PROPOSED (3) 3/0, (1) #4 6 IN 3" CONDUIT FROM THE METER TO THE DISCONNECT ON SHELTER.
- (4) PROPOSED 4" CONDUIT WITH (2) PULL STRINGS FROM PROPOSED TELCO DEMARC TO THE EQUIPMENT SHELTER.
- 5 PROPOSED (2) 4" PVC CONDUITS FOR POWER SERVICE.
- PROPOSED 4" PVC CONDUIT WITH PULLSTRINGS FOR TELCO SERVICE.
- TIB UP CONDUITS A MINIMUM OF 2'
 ABOVE FINISHED GRADE AND CAP AT
 REQUIRED LOCATION. COORDINATE
 WITH UTILITY PROVIDER FOR FINAL
 CONNECTION TO EXISTING UTILITIES.
- PROPOSED MANUAL DISCONNECT SMITCH MOUNTED ONTO SHELTER FOR POWER SERVICE CONDUIT.



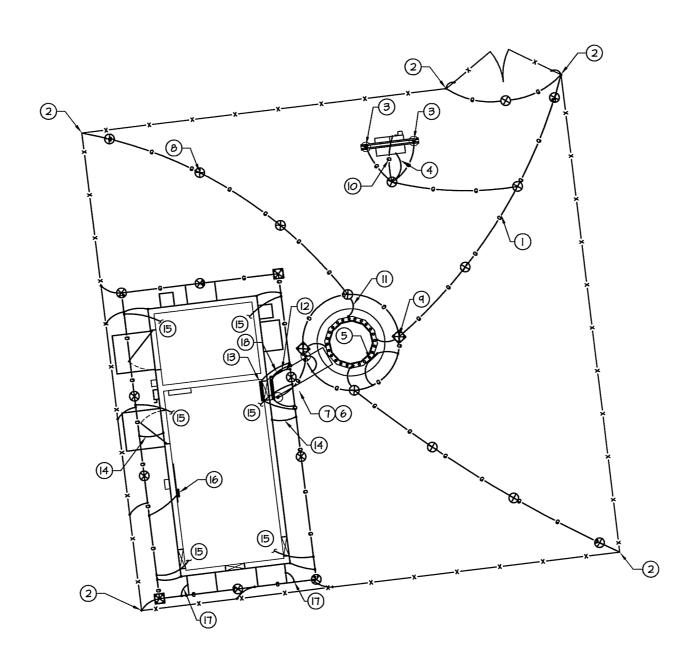


ELECTRICAL SITE PLAN

SCALE: 1" = 10'

- #2 AWG BARE TINNED SOLID COPPER GROUND RING BURIED 30" BELOW GRADE (TYP)
- 2 BOND FENCE & GATE POSTS TO GROUND RING WITH CADWELD CONNECTION (TYP)
- BOND ALL H-FRAME POSTS TO GROUND RING
- BOND TELCO BUSS BAR TO GROUND RING
- BOND TOWER MOUNTED GROUND BAR TO TOWER GROUND RING
- 6 BOND EACH ICE BRIDGE SECTION TOGETHER WITH JUMPERS. BOND FIRST AND LAST SECTION TO GROUND RING.
- BOND EVERY ICE BRIDGE POST BASE TO GROUND RING WITH CADWELD.
- (8) PROPOSED GROUND ROD (TYP).
- PROPOSED GROUND ROD WITH INSPECTION WELL.
- PROPOSED #3/O GROUNDING CONDUCTOR IN I* PVC CONDUIT TO GROUND RING, GROUND IN ACCORDANCE WITH NFC 250.
- (II) BOND TOWER TO TOWER GROUND RING.
- (12) CONNECT EXTERIOR GROUND BAR (UNDER WAVEGUIDE PORT) TO NEW GROUND RING WITH #2 GROUND CONDUCTORS.
- (3) CONNECT MASTER GROUND BAR TO EXTERIOR GROUND RING, COORDINATE WITH EQUIPMENT BUILDING MANUFACTURER FOR LOCATION OF WALL PENETRATION.
- BOND EACH SHELTER TIE DOWN PLATE TO GROUND RING WITH CADWELD.
- (5) PROVIDE GROUND LEADS FROM SHELTER HALO TO GROUND RING (6 PLACES). COORDINATE WITH SHELTER MANUFACTURER FOR LOCATION OF WALL PENETRATIONS.
- (6) CONNECT TELCO GROUND BAR TO EXTERIOR GROUND RING, COORDINATE WITH EQUIPMENT BUILDING MANUFACTURER FOR LOCATION OF WALL PENETRATION
- (17) BOND HVAC UNITS TO GROUND RING (TYP.)
- (B) GROUND GPS ANTENNAS PER MANUFACTURER'S SPECIFICATIONS.









Š	DATE	DESCRIPTION:
∢	11/51/9	ISSUED FOR REVIEW
0	6/24/1	ISSUED FOR PERMITTING & CONSTRUCTION
_	11/22/18	8/22/II DRIVING DIRECTIONS

KY-5006 GROUNDING SITE P

SITE

DESIGNED:

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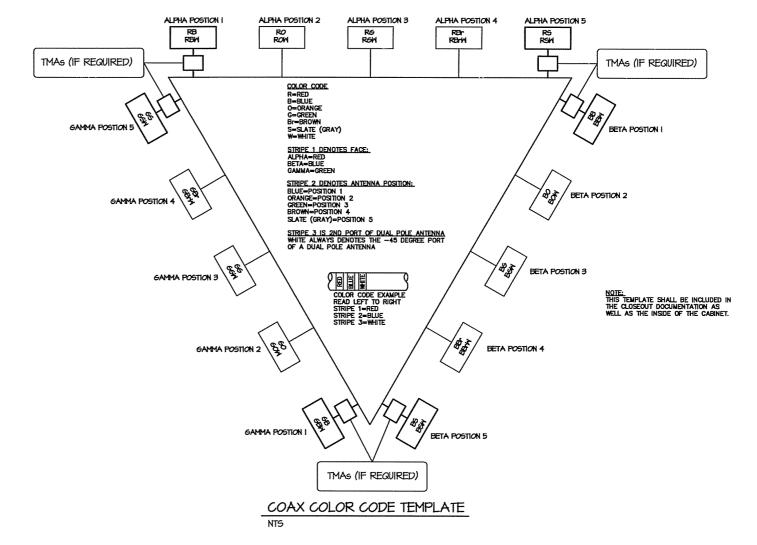
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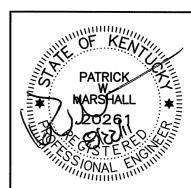
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GROUNDING NOTES

- I, ALL GROUND ELECTRODE SYSTEMS (INCLUDING TELECOMMUNICATION, RADIO, LIGHTNING PROTECTION, AND AC POWER GES'S) SHALL BE BONDED TOGETHER, AT OR BELOW GRADE, BY TWO OR MORE COPPER BONDING CONDUCTORS IN ACCORDANCE WITH THE NEC AND AT&T ND-OOOTI.
- 2. THE SUBCONTRACTOR SHALL PERFORM IEEE FALL-OF-POTENTIAL RESISTANCE TO EARTH TESTING (PER IEEE IIOO AND 8I) FOR GROUND ELECTRODE SYSTEMS, TESTING SHALL BE IN ACCORDANCE WITH SPECIFICATION 24782-000-3PS-EGOO-00001, USE OF OTHER METHODS MUST BE PRE-APPROVED BY CONTRACTOR IN WRITING.
- 3. THE SUBCONTRACTOR SHALL FURNISH AND INSTALL SUPPLEMENTAL GROUND ELECTRODES AS NEEDED TO ACHIEVE A TEST RESULT OF 5 OHMS OR LESS, WHEN ADDING ELECTRODES, CONTRACTOR SHALL MAINTAIN A MINIMUM DISTANCE BETWEEN THE ADDED ELECTRODE AND ANY OTHER EXISTING ELECTRODE EQUAL TO THE BURIED LENGTH OF THE ROD. IDEALLY, CONTRACTOR SHALL STRIVE TO KEEP THE SEPARATION DISTANCE EQUAL TO TWICE THE BURIED LENGTH OF THE RODS.
- 4. THE SUBCONTRACTOR IS RESPONSIBLE FOR PROPERLY SEQUENCING GROUNDING AND UNDERGROUND CONDUIT INSTALLATION AS TO PREVENT ANY LOSS OF CONTINUITY IN THE GROUNDING SYSTEM OR DAMAGE TO THE CONDUIT.
- 5. METAL CONDUIT AND TRAY SHALL BE GROUNDED AND MADE ELECTRICALLY CONTINUOUS WITH LISTED BONDING FITTINGS OR BY BONDING ACROSS THE DISCONTINUITY WITH #6 ANG COPPER WIRE AND UL APPROVED GROUNDING TYPE CONDUIT CLAMPS PER NEC AND AT&T ND-00071.
- 6. METAL RACEWAY SHALL NOT BE USED AS THE NEC REQUIRED EQUIPMENT GROUND CONDUCTOR. STRANDED COPPER CONDUCTORS WITH GREEN INSULATION, SIZED IN ACCORDANCE WITH THE NEC, SHALL BE FURNISHED AND INSTALLED WITH THE POWER CIRCUITS TO BTS EQUIPMENT.
- 7. CONNECTIONS TO THE GROUND BUS SHALL NOT BE DOUBLED UP OR STACKED, BACK-TO-BACK CONNECTIONS ON OPPOSITE SIDES OF THE GROUND BUS ARE PERMITTED.
- 8, ALIMINUM CONDUCTOR OR COPPER CLAD STEEL CONDUCTOR SHALL NOT BE USED FOR GROUNDING CONNECTIONS,
- 4. USE OF 90° BENDS IN THE PROTECTION GROUNDING CONDUCTORS SHALL BE AVOIDED WHEN 45° BENDS CAN BE ADEQUATELY SUPPORTED. IN ALL CASES, BENDS SHALL BE MADE WITH A MINIMUM BEND RADIUS OF θ INCHES.
- IO. EACH INTERIOR BTS CABINET FRAME/PLINTH SHALL BE DIRECTLY CONNECTED TO THE MASTER GROUND BAR WITH #2 AWG STRANDED, GREEN INSULATED SUPPLEMENTAL EQUIPMENT GROUND WIRES. EACH OUTDOOR CABINET FRAME/PLINTH SHALL BE DIRECTLY CONNECTED TO THE BURIED GROUND RING WITH #2 AWG SOLID TIN-PLATED COPPER WIRE.
- II. ALL EXTERIOR GROUND CONDUCTORS BETWEEN EQUIPMENT/GROUND BARS AND THE GROUND RING, SHALL BE #2 AMG SOLID TIN-PLATED COPPER UNLESS OTHERWISE INDICATED.
- 12. EXOTHERMIC WELDS SHALL BE USED FOR ALL GROUNDING CONNECTIONS BELOW GRADE, CONNECTIONS TO ABOVE GRADE EXTERIOR UNITS SHALL BE MADE WITH EXOTHERMIC WELDS WHERE PRACTICAL OR WITH 2 HOLE MECHANICAL TYPE BRASS CONNECTORS WITH STAINLESS STEEL HARDWARE, INCLUDING SET SCREWS, HIGH PRESSURE CRIMP CONNECTORS MAY ONLY BE USED WITH WRITTEN PERMISSION FROM AT&T MARKET REPRESENTATIVE.
- 13. EXOTHERMIC WELDS SHALL BE PERMITTED ON TOWERS ONLY WITH THE EXPRESS APPROVAL OF THE TOWER MANUFACTURER OR THE CONTRACTORS STRUCTURAL ENGINEER.
- 14. ALL WIRE TO WIRE GROUND CONNECTIONS TO THE INTERIOR GROUND RING SHALL BE FORMED USING HIGH PRESS CRIMPS OR SPLIT BOLT CONNECTORS WHERE INDICATED IN THE DETAILS.
- IS. ON ROOFTOP SITES WHERE EXOTHERMIC WELDS ARE A FIRE HAZARD COPPER COMPRESSION CAP CONNECTORS MAY BE USED FOR WIRE TO WIRE CONNECTORS, 2 HOLE MECHANICAL TYPE BRASS CONNECTORS WITH STAINLESS SITEL HARDWARE, INCLUDING SET SCREMS SHALL BE USED FOR CONNECTION TO ALL ROOFTOP BTS EQUIPMENT AND STRUCTURAL STEEL.
- I6. ICE BRIDGE BONDING CONDUCTORS SHALL BE EXOTHERMICALLY BONDED OR BOLTED TO THE BRIDGE AND THE TOWER GROUND BAR USING TWO HOLED MECHANICAL TYPE BRASS CONNECTORS AND STAINLESS STEEL HARDWARE.
- I7. APPROVED ANTIOXIDANT COATINGS (I.E., CONDUCTIVE GEL OR PASTE) SHALL BE USED ON ALL COMPRESSION AND BOLTED GROUND CONNECTIONS.
- 16. ALL EXTERIOR GROUND CONNECTIONS SHALL BE COATED WITH A CORROSION RESISTANT MATERIAL.
- 19. MISCELLANEOUS ELECTRICAL AND NON-ELECTRICAL METAL BOXES, FRAMES AND SUPPORTS SHALL BE BONDED TO THE GROUND RING, IN ACCORDANCE WITH THE NEC.
- 20. BOND ALL METALLIC OBJECTS WITHIN 6 FT OF THE BURIED GROUND RING WITH # 2 SOLID AWG TIN-PLATED COPPER GROUND CONDUCTOR
- 21. GROUND CONDUCTORS USED IN THE FACILITY GROUND AND LIGHTNING PROTECTION SYSTEMS SHALL NOT BE ROUTED THROUGH METALLIC OBJECTS THAT FORM A RING AROUND THE CONDUCTOR, SUCH AS METALLIC CONDUITS, METAL SUPPORT CLIPS OR SLEEVES THROUGH WALLS OR FLOORS, WHEN IT IS REQUIRED TO BE HOUSED IN CONDUIT TO MEET CODE REQUIREMENTS OR LOCAL CONDITIONS, NON-METALLIC MATERIAL SOLICH AS PVC PLASTIC CONDUIT SHALL BE USED. WHERE USE OF METAL CONDUIT IS UNAVOIDABLE (E.G., NON-METALLIC CONDUIT PROHIBITED BY LOCAL CODE) THE GROUND CONDUCTOR SHALL BE BONDED TO EACH END OF THE METAL CONDUIT WITH LISTED BONDING FITTINGS.
- 22. GROUND ALL RF EQUIPMENT INCLUDING BUT NOT LIMITED TO COAX, DIPLEXERS, SURGE ARRESTORS, TMA'S, ANTENNAS, & ANTENNA MASTS PER NEC AND AT & T ND-00071.









NUM DATE DESCRIPTION:
A 6//5/II ISSUED FOR REVIEW
O 6/24/II ISSUED FOR PERMITTING & CONSTRUCTION
I 8//22/II DRIVING DIRECTIONS

ROUNDING NOTES
COAX COLOR
CODE TEMPLATE

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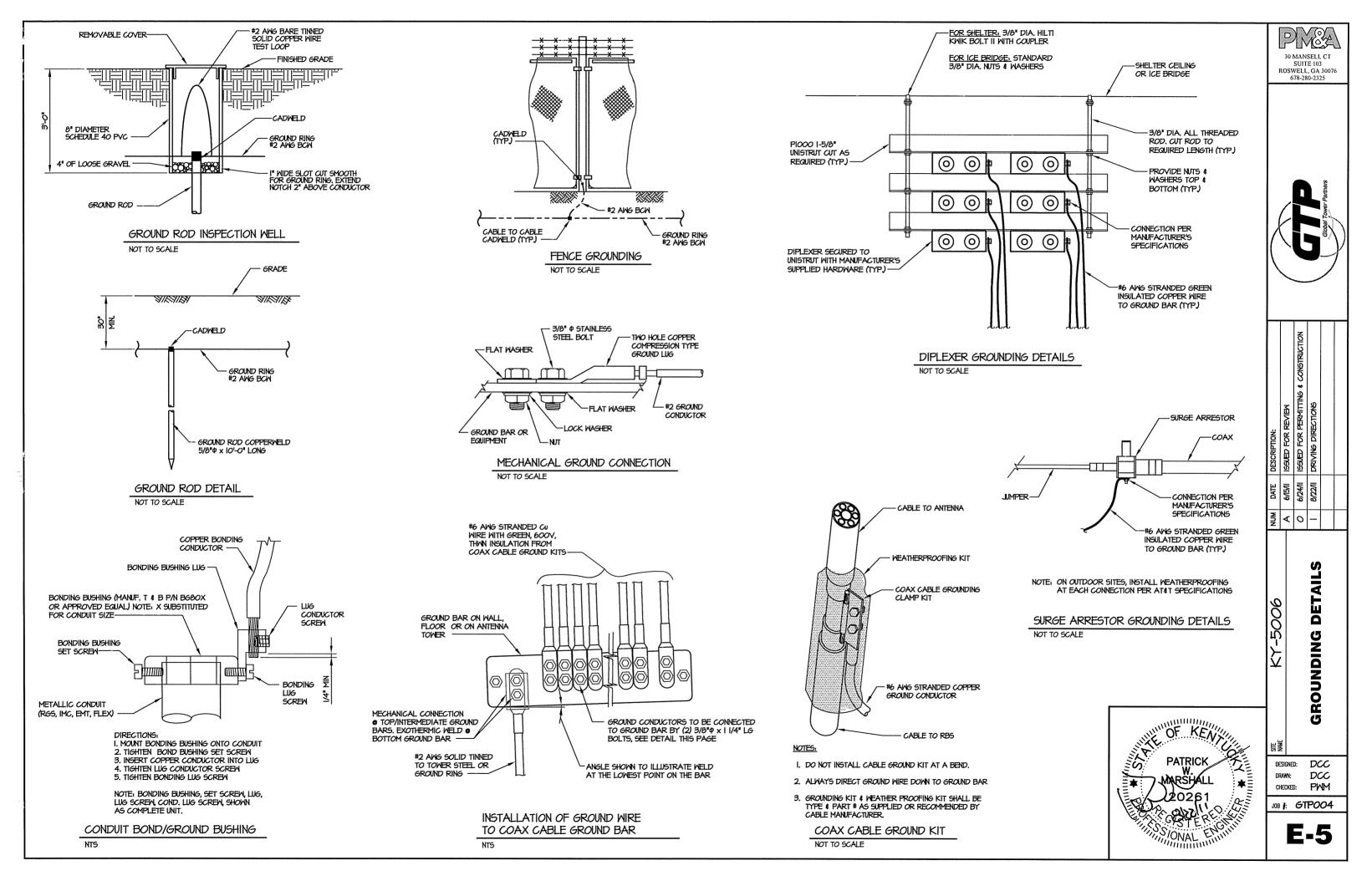
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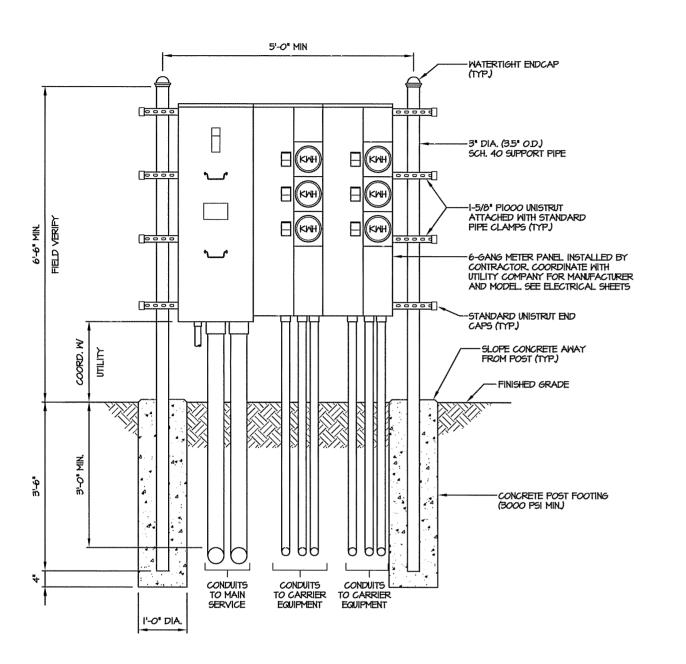
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5'-0" MIN WATERTIGHT ENDCAP (TYP) 000000000 - STANDARD UNISTRUT END CAPS (TYP.) 48"x48"xIO" MULTI-TENANT TELCO CABINET 1-5/8" PIOOO UNISTRUT ATTACHED WITH STANDARD PIPE CLAMPS (TYP.) 000000000 000000 -3" DIA. (35" O.D.) SCH. 40 SUPPORT PIPE SLOPE CONCRETE AWAY FROM POST (TYP.) -FINISHED GRADE CONCRETE POST FOOTING D \mathcal{O} O (3000 PSI MIN.) CONDUITS TO CARRIER EQUIPMENT TO MAIN SERVICE 1'-0" DIA

UTILITY FRAME DETAIL (GANG METER)

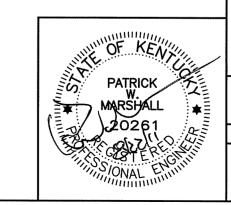
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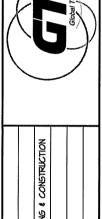
- CONTRACTOR SHALL FIELD LOCATE THE METER PEDESTAL AS SHOWN ON SITE PLAN.
 INSTALL THE METER PEDESTAL NEAR THE PERIMETER OF THE FENCED COMPOUND WITH
 THE METERS FACING AS SHOWN.
- 2. THE CONTRACTOR SHALL COORDINATE WITH THE LOCAL UTILITY COMPANY FOR THE CONDUIT RIN TO THE MAIN SERVICE CONNECTION OR TRANSFORMER.
- THE CONTRACTOR SHALL COORDINATE WITH THE LOCAL UTILITY COMPANY FOR GROUND ROD REQUIREMENTS. IF REQUIRED, THE CONTRACTOR SHALL ORDER AND PAY FOR NECESSARY GROUND TESTS.
- 4. SUPPORT POST AND UNISTRUT SHALL BE GALVANIZED, PIPE CLAMPS AND HARDWARE SHALL BE GALVANIZED OR STAINLESS STEEL.
- TELCO CABINET SHALL BE 46"x46"xio" HOFFMAN OR EQUIVALENT. PROVIDE 3/4" PLYWOOD BACKBOARD INSIDE THE MULTI-TENANT TELCO CABINET.
- 6. ADJUSTMENTS TO THE METER PEDESTAL DESIGN MAY BE REQUIRED DEPENDING ON THE EXACT METER PANEL INSTALLED, CONTRACTOR SHALL FIELD COORDINATE ADJUSTMENTS AND INFORM THE ENGINEER IF ANY UNUSUAL CONDITIONS ARE FOUND TO EVICT.

UTILITY FRAME DETAIL (TELCO)

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30 MANSELL CT SUITE 103 ROSWELL, GA 30076 678-280-2325



LITY FRAME DETAILS

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