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DEC 07 2009

**PUBLIC SERVICE  
COMMISSION**

**COMMONWEALTH OF KENTUCKY**  
**BEFORE THE PUBLIC SERVICE COMMISSION**

**In the Matter of:**

**APPLICATION OF KENTUCKY RSA #3  
CELLULAR GENERAL PARTNERSHIP FOR  
ISSUANCE OF A CERTIFICATE OF PUBLIC  
CONVENIENCE AND NECESSITY TO CONSTRUCT  
A CELL SITE (MCQUADY) IN RURAL  
SERVICE AREA #3 (BRECKINRIDGE) OF THE  
COMMONWEALTH OF KENTUCKY**

**CASE NO. 2009-00415**

**APPLICATION FOR A CERTIFICATE  
OF PUBLIC CONVENIENCE AND NECESSITY (MCQUADY)**

Kentucky RSA #3 Cellular General Partnership ("Kentucky RSA #3"), through counsel, pursuant to KRS 278.020 and 278.040, hereby submits this application for a certificate of public convenience and necessity to construct a cell site to be known as the McQuady cell site in and for rural service area ("RSA") #3 of the Commonwealth of Kentucky, namely the counties of Allen, Breckinridge, Butler, Edmonson, Grayson, Hancock, Logan, McLean, Meade, Muhlenberg, Ohio, Simpson, Todd and Warren, Kentucky.

1. As required by 807 KAR 5:001 Sections 8(1) and (3), and 807 KAR 5:063, Kentucky RSA #3 states that it is a Kentucky general partnership whose full name and post office address are:  
Kentucky RSA #3 Cellular General Partnership, 2902 Ring Road, Elizabethtown, Kentucky, 42701.
2. Pursuant to 807 KAR § 1 (1)(b), a copy of the applicant's applications to the Federal Aviation Administration and Kentucky Airport Zoning Commission are attached as Exhibit "A". Written authorizations from these agencies will be supplied to the Commission upon their approval.
3. Pursuant to 807 KAR 5:063 §1(1)(d), applicant is attaching as Exhibit "B" a geotechnical investigation report, signed and sealed by a professional engineer registered in Kentucky, that includes boring logs, foundation design recommendations, and a finding as to the susceptibility of the area surrounding the proposed site to flood hazard.

4. Pursuant to 807 KAR 5:063 §1(1)(e), clear directions from the county seat to the proposed site, including highway numbers and street names, with the telephone number of the person who prepared the directions are attached as Exhibit “C”.

5. Pursuant to 807 KAR 5:063 §1(1)(f), a copy of the lease for the property on which the tower is proposed to be located is attached as Exhibit “D”.

6. Pursuant to 807 KAR §1(1)(g), experienced personnel will manage and operate the McQuady cell site. The President of Bluegrass Cellular Inc., Mr. Ron Smith, is ultimately responsible for all construction and operations of the cellular system of Kentucky RSA # 3 , of which system the McQuady cell site will be a part. Bluegrass Cellular Inc. provides management services to Kentucky RSA #3 under a management contract, just as it does with three (3) other wireless carriers in the Commonwealth. And, Bluegrass Cellular Inc. has been providing these management services to these other wireless carriers for well over a decade. This extensive management experience with Bluegrass Cellular demonstrates that Bluegrass Cellular Inc.'s management and technical ability to supervise the operations of a wireless carrier.

7. Pursuant to 807 KAR §1(1)(g), Turner Engineering, Inc. is responsible for the design specifications of the proposed tower (identified in Exhibit “B”).

8. Pursuant to 807 KAR 5:063 §1(1)(h), a site development plan or survey, signed and sealed by a professional engineer registered in Kentucky, that shows the proposed location of the tower and all easements and existing structures within 500 feet of the proposed site on the property on which the tower will be located, and all easements and existing structures within 200 feet of the access drive, including the intersection with the public street system is attached as Exhibit “B”.

9. Pursuant to 807 KAR 5:063 §1(1)(i), a vertical profile sketch of the tower, signed and sealed by a professional engineer registered in Kentucky, indicating the height of the tower and the placement of all antennas is attached as Exhibit “B”.

10. Pursuant to 807 KAR 5:063 §1(1)(j), the tower and foundation design plans and a description of the standard according to which the tower was designed, signed and sealed by a professional engineer registered in Kentucky is attached as Exhibit “B”.

11. Pursuant to 807 KAR 5:063 § 1 (1)(k), a map, drawn to a scale no less than one (1) inch equals 200 feet, that identifies every structure and every owner of real estate within 500 feet of the proposed tower is attached as Exhibit “E”.

12. Pursuant to 807 KAR 5:063 § 1 (1)(l), applicant’s legal counsel hereby affirms that every person who owns property within 500 feet of the proposed tower has been: (i) notified by certified mail, return receipt requested, of the proposed construction; (ii) given the commission docket number under which the application will be processed; and (iii) informed of his or her right to request intervention.

13. Pursuant to KRS 278.665(2), applicant’s legal counsel hereby affirms that every person who, according to the records of the property valuation administrator, owns property contiguous to the property where the proposed cellular antenna tower will be located has been: (i) notified by certified mail, return receipt requested, of the proposed construction; (ii) given the commission docket number under which the application will be processed; and (iii) informed of his or her right to request intervention.

14. Pursuant to 807 KAR 5:063 §1(1)(m), a list of the property owners who received the notice together with copies of the certified letters sent to listed property owners is attached as Exhibit “F”.

15. Pursuant to 807 KAR 5:063 § 1 (1)(n), applicant’s legal counsel hereby affirms that the Breckinridge County Judge Executive has been: (i) notified by certified mail, return receipt requested, of the proposed construction; (ii) given the commission docket number under which the application will be processed; and (iii) informed of its right to request intervention.

16. Pursuant to 807 KAR 5:063 §1(1)(o), a copy of the notice sent to the Breckinridge County Judge Executive is Exhibit “G”.

17. Pursuant to 807 KAR 5:063 § 1 (1)(p), applicant’s legal counsel hereby affirms that (i) two written notices meeting subsection two (2) of this section have been posted, one in a visible location

on the proposed site and one on the nearest public road; and (ii) the notices shall remain posted for at least two weeks after the application has been filed.

18. Pursuant to 807 KAR 5:063 § 1 (2)(a), applicant's legal counsel affirms that:

(a) A written notice, of durable material at least two (2) feet by four (4) feet in size, stating that "***Kentucky RSA #3 Cellular General Partnership proposes to construct a telecommunications tower on this site,***" including the addresses and telephone numbers of the applicant and the Kentucky Public Service Commission, has been posted and shall remain in a visible location on the proposed site until final disposition of the application; and

(b) A written notice, of durable material at least two (2) feet by four (4) feet in size, stating that "***Kentucky RSA #3 Cellular General Partnership proposes to construct a telecommunications tower near this site,***" including the addresses and telephone numbers of the applicant and the Kentucky Public Service Commission, has been posted on the public road nearest the site.

A copy of each sign is attached as Exhibit "H"

19. Pursuant to 807 KAR 5:063 § 1 (1)(q), a statement that notice of the location of the proposed construction has been published in a newspaper of general circulation in the county in which the construction is proposed is attached as Exhibit "I".

20. Pursuant to 807 KAR 5:063 § 1(1)(r), the cell site, which has been selected, is in a relatively undeveloped area in McQuady, Kentucky.

21. Pursuant to 807 KAR 5:063 §1(1)(s), Kentucky RSA #3 has considered the likely effects of the installation on nearby land uses and values and has concluded that there is no more suitable location reasonably available from which adequate service to the area can be provided, and that there is no reasonably available opportunity to co-locate. Kentucky RSA #3 has attempted to co-locate on towers designed to host multiple wireless service providers' facilities or existing structures, such as a telecommunications tower, or another suitable structure capable of supporting the utility's facilities.

22. Pursuant to 807 KAR 5:063 § 1(1)(t), a map of the area in which the tower is proposed to be located, that is drawn to scale and that clearly depicts the search area in which a site should, pursuant to radio frequency requirements, be located is attached as Exhibit "J".



23. Pursuant to KRS 100.987(2)(a), a grid map, that is drawn to scale, that shows the location of all existing cellular antenna towers and that indicates the general position of proposed construction sites for new cellular antenna towers is attached as Exhibit "K".

24. No reasonably available telecommunications tower, or other suitable structure capable of supporting the cellular facilities of Kentucky RSA #3 and which would provide adequate service to the area exists.

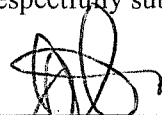
25. Correspondence and communication with regard to this application should be addressed to:

John E. Selent  
Holly C. Wallace  
**DINSMORE & SHOHL LLP**  
1400 PNC Plaza  
500 West Jefferson Street  
Louisville, KY 40202  
(502) 540-2300  
(502) 585-2207 (facsimile)  
*john.selent@dinslaw.com*  
*holly.wallace@dinslaw.com*

WHEREFORE, Kentucky RSA #3 Cellular General Partnership requests the Commission to enter an order:

1. Granting a certificate of public convenience and necessity to construct the McQuady cell site; and
2. Granting all other relief as appropriate.

Respectfully submitted,



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John E. Selent  
Holly C. Wallace  
**DINSMORE & SHOHL LLP**  
1400 PNC Plaza  
500 West Jefferson Street  
Louisville, KY 40202  
(502) 540-2300  
(502) 585-2207 (facsimile)  
*john.selent@dinslaw.com*  
*holly.wallace@dinslaw.com*



Kentucky Transportation Cabinet, Kentucky Airport Zoning Commission, 125 Holmes Street, Frankfort KY 40622

Kentucky Aeronautical Study Number

APPLICATION FOR PERMIT TO CONSTRUCT OR ALTER A STRUCTURE

1. APPLICANT - Name, Address, Telephone, Fax, etc.

Scott McCloud  
Bluegrass Cellular  
2902 Ring Road  
Elizabethtown, KY 42702  
Tel: 270-769-0339  
Fax: 270-737-0580

9. Latitude: 37 ° 42 ' 39 . 229 "

10. Longitude: 86 ° 31 ' 34 . 64 "

11. Datum:  NAD 83  NAD 27  Other

12. Nearest Kentucky City McQuady County: Breckinridge

13. Nearest Kentucky public use or Military airport:  
Breckinridge County Airport

14. Distance from #13 to Structure: 7.0 Miles

15. Direction from #13 to Structure: Southwest

16. Site Elevation (AMSL): 716 Feet

17. Total Structure Height (AGL): 255 Feet

18. Overall Height (#16 + #17) (AMSL): 971 Feet

19. Previous FAA and/or Kentucky Aeronautical Study Number(s):  
N/A

20. Description of Location: (Attach a USGS 7.5 minute Quadrangle Map or an Airport Layout Drawing with the precise site marked and any certified survey)

Site is located at:

245 Dejarnette Lane  
McQuady, KY 40153

2. Representative of Applicant - Name, Address, Telephone, Fax

Leila Rezanavaz  
Lukas, Nace, Gutierrez & Sachs, Chartered  
1650 Tysons Blvd., Suite 1500  
McLean, VA 22102  
T: 703-584-8668

3. Application for:  New Construction  Alteration  Existing

4. Duration:  Permanent  Temporary (Months \_\_\_\_\_ Days \_\_\_\_\_)

5. Work Schedule: Start 12/15/09 and 12/20/09

6. Type:  Antenna Tower  Crane  Building  Power Line  
 Landfill  Water Tank  Other \_\_\_\_\_

7. Marking/Painting and/or Lighting Preferred:

Red Lights and Paint  Dual - Red & Medium Intensity White  
 White - Medium Intensity  Dual - Red & High Intensity White  
 White - High Intensity  Other \_\_\_\_\_

8. FAA Aeronautical Study Number 2009-ASO-6289-OE

21. Description of Proposal:

Structure: Proposed self-supporting tower with overall height of 255' AGL.

Max ERP.: 250 watts

Frequencies: Cellular Band B

22. Has a "NOTICE OF CONSTRUCTION OR ALTERATION" (FAA Form 7460-1)

No

Yes, When 10/20/2009

been filed with the Federal Aviation Administration?

CERTIFICATION: I hereby certify that all the above statements made by me are true, complete and correct to the best of my knowledge and belief.

Leila Rezanavaz / Consulting Engineer Leila Rezanavaz 10/21/09

Printed Name Signature Date

PENALTIES: Persons failing to comply with Kentucky Revised Statutes (KRS 183.861 through 183.990) and Kentucky Administrative Regulations (602 KAR 050: Series) are liable for fines and/or imprisonment as set forth in KRS 183.990(3). Non-compliance with Federal Aviation Administration Regulations may result in further penalties.

Commission Action:

Chairman, KAZC

Administrator, KAZC

Approved

Disapproved

Date \_\_\_\_\_



The system will be going offline around 10 pm ET on Friday, October 23, 2009 as a result of scheduled maintenance at FAA and will be back online around 8 am ET on Saturday, October 24, 2009.  
We apologize for any inconvenience.

« OE/AAA

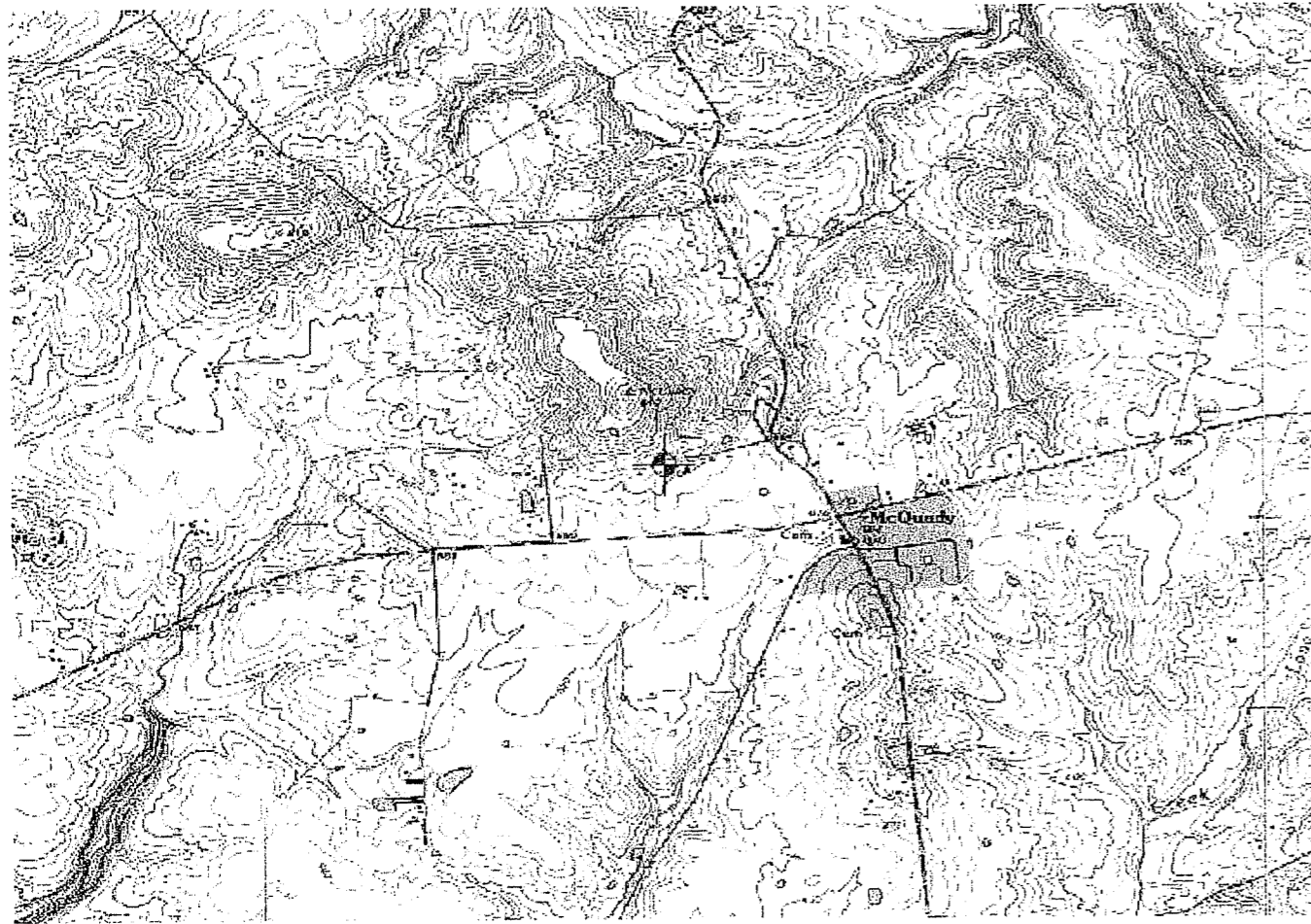
Notice of Proposed Construction or Alteration - Off Airport

Project Name: BLUEG-000131932-09 Sponsor: Bluegrass Cellular, Inc.

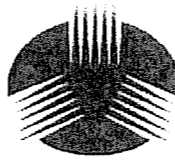
Details for Case : McQuady

Show Project Summary

Case Status	
ASN: 2009-ASO-6289-OE	Date Accepted: 10/20/2009
Status: Accepted	Date Determined:
	Letters: None
	Documents: 10/20/2009 2C- Survey.pdf
Construction / Alteration Information	
Notice Of: Construction	Structure Summary
Duration: Permanent	Structure Type: Antenna Tower
<i>if Temporary</i> : Months: Days:	Structure Name: McQuady
Work Schedule - Start: 12/15/2009	FCC Number:
Work Schedule - End: 12/20/2009	Prior ASN:
State Filing: Filed with State	
Structure Details	
Latitude: 37° 42' 39.29" N	Common Frequency Bands
Longitude: 86° 31' 34.64" W	Low Freq High Freq Freq Unit ERP ERP Unit
Horizontal Datum: NAD83	806 824 MHz 500 W
Site Elevation (SE): 716 (nearest foot)	824 849 MHz 500 W
Structure Height (AGL): 255 (nearest foot)	851 866 MHz 500 W
Requested Marking/Lighting: Dual-red and medium intensity	869 894 MHz 500 W
<i>Other</i> :	896 901 MHz 500 W
Recommended Marking/Lighting:	901 902 MHz 7 W
Current Marking/Lighting: N/A New Structure	930 931 MHz 3500 W
<i>Other</i> :	931 932 MHz 3500 W
Nearest City: McQuady	932 932.5 MHz 17 dBW
Nearest State: Kentucky	935 940 MHz 1000 W
Description of Location: Site is located at: 245 Dejarnette Lane McQuady, KY 40153	940 941 MHz 3500 W
Description of Proposal: Proposed self-supporting tower with top-mounted antennas for overall height of 255'.	1850 1910 MHz 1640 W
	1930 1990 MHz 1640 W
	2305 2310 MHz 2000 W
	2345 2360 MHz 2000 W
Specific Frequencies	



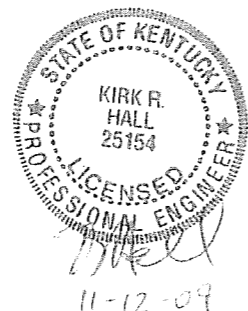


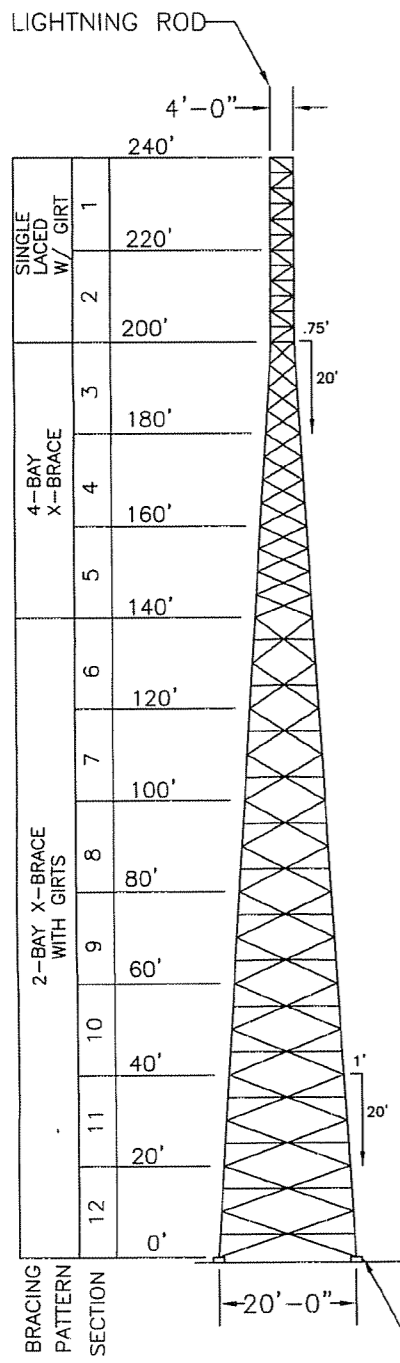


World Tower  
COMPANY, INC

1213 Compressor Drive  
P.O. Box 508  
Mayfield, KY 42066  
270-247-3612  
FAX: 270-247-0909  
E-mail: [worldtower@worldtower.com](mailto:worldtower@worldtower.com)  
Web: [www.worldtower.com](http://www.worldtower.com)

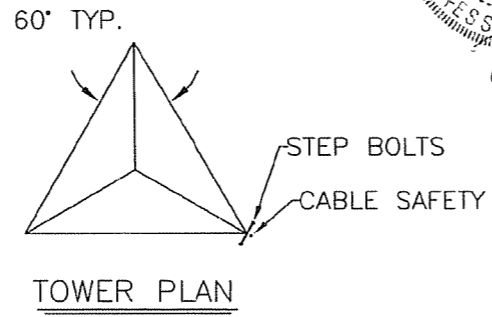
240' MODEL WSST TOWER  
FOR: BLUEGRASS CELLULAR  
SITE: MCQUADY  
BRECKINRIDGE COUNTY, KY  
DESIGN PACKAGE





TOWER ELEVATION

ANCHOR BOLTS WITH EMBEDDED PL.



GENERAL NOTES

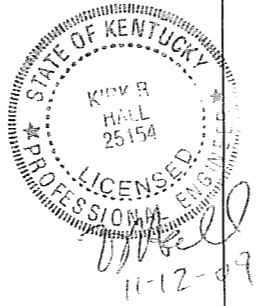
1. TOWER IS DESIGNED TO SUPPORT THE GIVEN LOAD AND MEET THE PROVISIONS OF TIA-222-G FOR A 90 MPH BASIC WIND SPEED WITH NO ICE. TOWER IS ALSO DESIGN FOR A 30 MPH BASIC WIND SPEED WITH 3/4" ICE. STRUCTURE CLASS II, EXP. CAT. C AND TOPO. CAT. 1.
2. WELDED CONNECTIONS SHALL CONFORM TO THE LATEST REVISION OF THE AMERICAN WELDING SOCIETY AWS. D 1.1.
3. TOWER AND ALL FABRICATED ACCESSORIES ARE HOT-DIP GALVANIZED.
4. ALL BOLTS SHALL BE GALVANIZED ACCORDING TO THE STANDARD SPECIFICATION FOR ZINC COATING OF IRON AND STEEL. HARDWARE ASTM A153.
5. LEG STEEL IS 50 KSI MIN YIELD. SOLID ROUND AND BRACING STEEL IS 36 KSI MIN YIELD. SOLID ROUND OR STRUCTURAL ANGLE.
6. ALL STRUCTURAL BOLTS ARE ASTM A325.
7. TOWER IS DESIGNED FOR ALL LINES TO BE MOUNTED ACCORDING TO DRAWING Q09933WG.
8. TOWER SHOULD BE INSPECTED IN ACCORDANCE WITH TIA/EIA-222-G EVERY 5 YEARS.
9. TOWER INSPECTION SHOULD ONLY BE PERFORMED BY EXPERIENCED QUALIFIED PERSONNEL. FOR ASSISTANCE IN PROPER MAINTENANCE OF YOUR TOWER, CALL WORLD TOWER AT 270-247-3642.
10. STEP BOLTS PROVIDED ON ONE LEG FROM 60' TO 240' AND 3 LEGS FROM 0' TO 60'.
11. CABLE SAFETY 0'-240'.

BASE REACTIONS	
OTM:	6385.0 FT. KIPS
COMP.	394.0 KIPS
UPLIFT	330.0 KIPS
SHEAR (3 LEGS)	49.0 KIPS
WT. NO ICE	78.0 KIPS
WT. 3/4" ICE	186.0 KIPS

**WORLD TOWER**

TITLE: 240' MODEL WSST TOWER  
 FOR: BLUEGRASS WIRELESS, LLC  
 SITE : MCQUADY  
 BRECKINRIDGE COUNTY, KY

SCALE NONE DWG. LKB CRD. DATE 11-11-09  
 FILE DWG. NO. Q09933





SECTION NO.	LEGS	DIAGONALS	GIRTS	SPLICE BOLTS	DIAG BOLTS	GIRT BOLTS
1	1 1/2	1	1	4- 3/4"	WELDED CONSTRUCTION	
2	2	1 1/8	1		5/8	5/8
3	2 1/2	2 X 1/8	2 X 1/8	4-1"		N/A
4	2 3/4	2 X 1/8	N/A			
5	3	2 X 3/16				5/8
6	3 1/4	2 1/2 X 3/16	2 X 1/8	6-1"		
7	3 1/4	3 X 3/16	2 X 3/16			
8	3 1/2	3 X 3/16	2 1/2 X 3/16		3/4	3/4
9	3 3/4	3 X 3/16	2 1/2 X 3/16	6-1 1/4"		
10	3 3/4	3 X 1/4	2 1/2 X 3/16			
11	3 3/4	3 1/2 X 1/4	3 X 3/16			
12	4	3 1/2 X 1/4	3 X 3/16	6-1 1/4"		

ANCHOR BOLTS

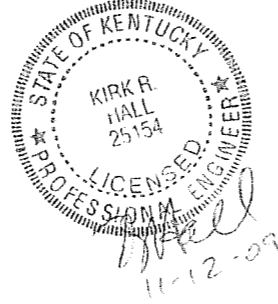
ANTENNA LOADING	
ELEV.	DESCRIPTION
240'	(6) ANTEL RWB 80014/120 ON WD13X53 MOUNT
220'	(6) ANTEL RWB 80014/120 ON WD13X53 MOUNT
200'	(6) ANTEL RWB 80014/120 ON WD13X53 MOUNT
180'	(6) ANTEL RWB 80014/120 ON WD13X53 MOUNT
160'	(6) ANTEL RWB 80014/120 ON WD13X53 MOUNT
140'	6' GRID DISH

ANTENNA LOADING

DESCRIPTION

LINE

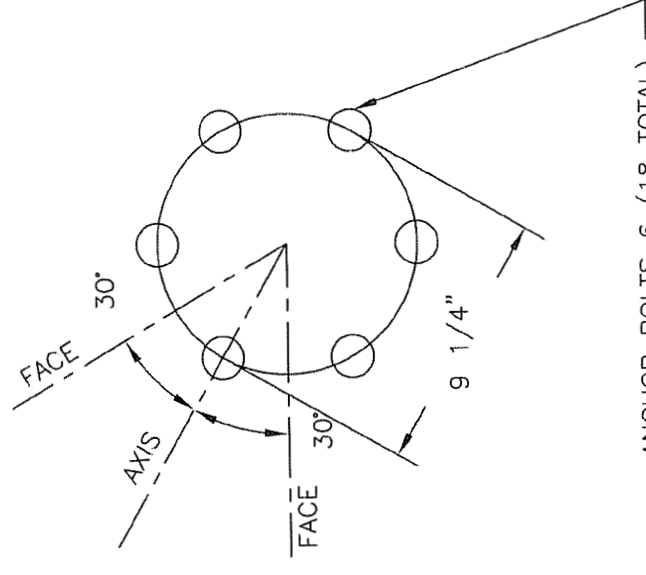
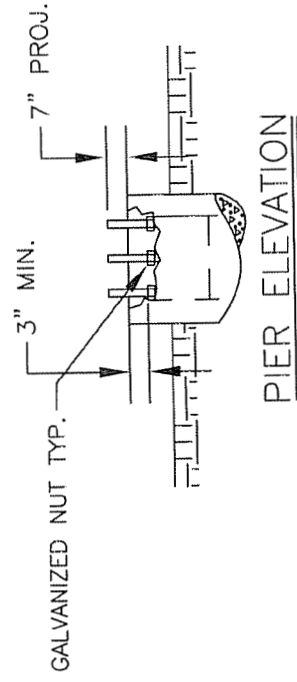
6- 1 5/8"  
6- 1 5/8"  
6- 1 5/8"  
6- 1 5/8"  
6- 1 5/8"  
1- 1 5/8"



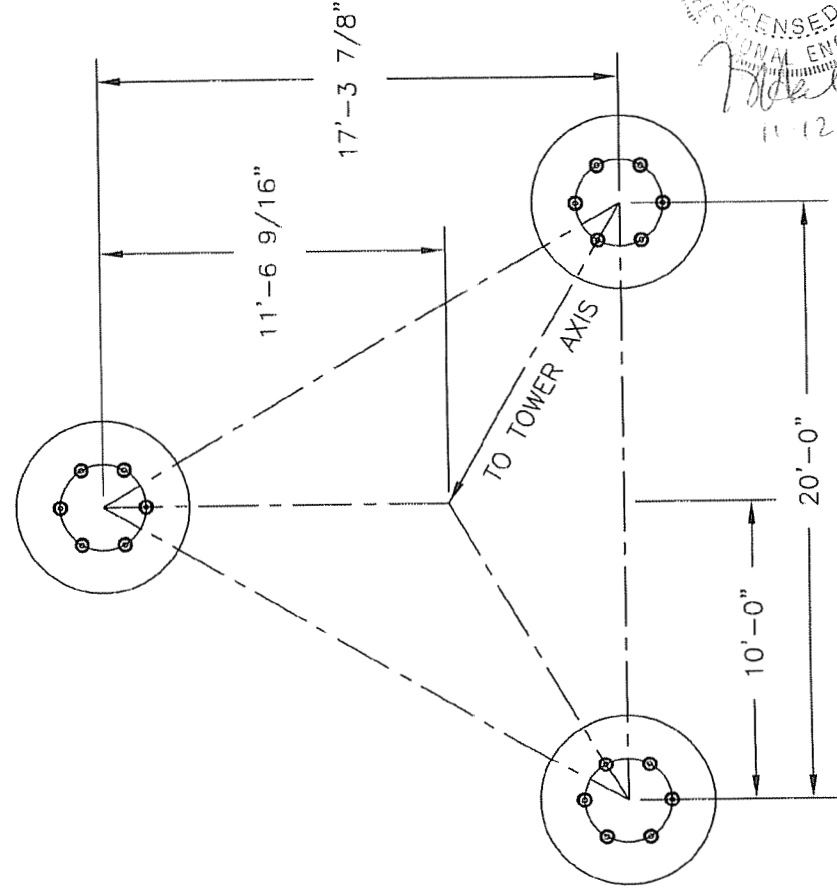
# WORLD TOWER

TITLE: 240' MODEL WSST TOWER  
FOR: BLUEGRASS WIRELESS, LLC  
SITE : MCQUADY  
BRECKINRIDGE COUNTY, KY

SCALE NONE DWG. LKB CHKD. DATE 11-11-09  
FILE Q09933T



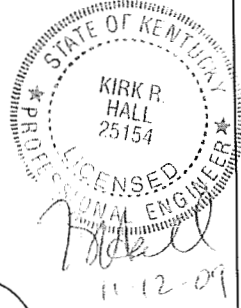
ANCHOR BOLTS 6 (18 TOTAL)  
1 1/4"Ø X 85" ASTM A354 GR. BC  
EQUALLY SPACED ON A 9 1/4"  
DIA. BOLT CIRCLE WITH TOP TEMPLATE  
AND EMBEDDED PLATE

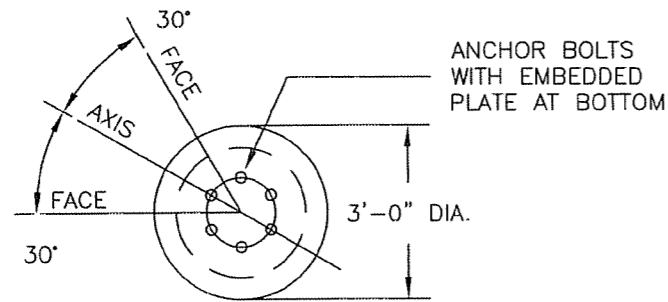


### WORLD TOWER

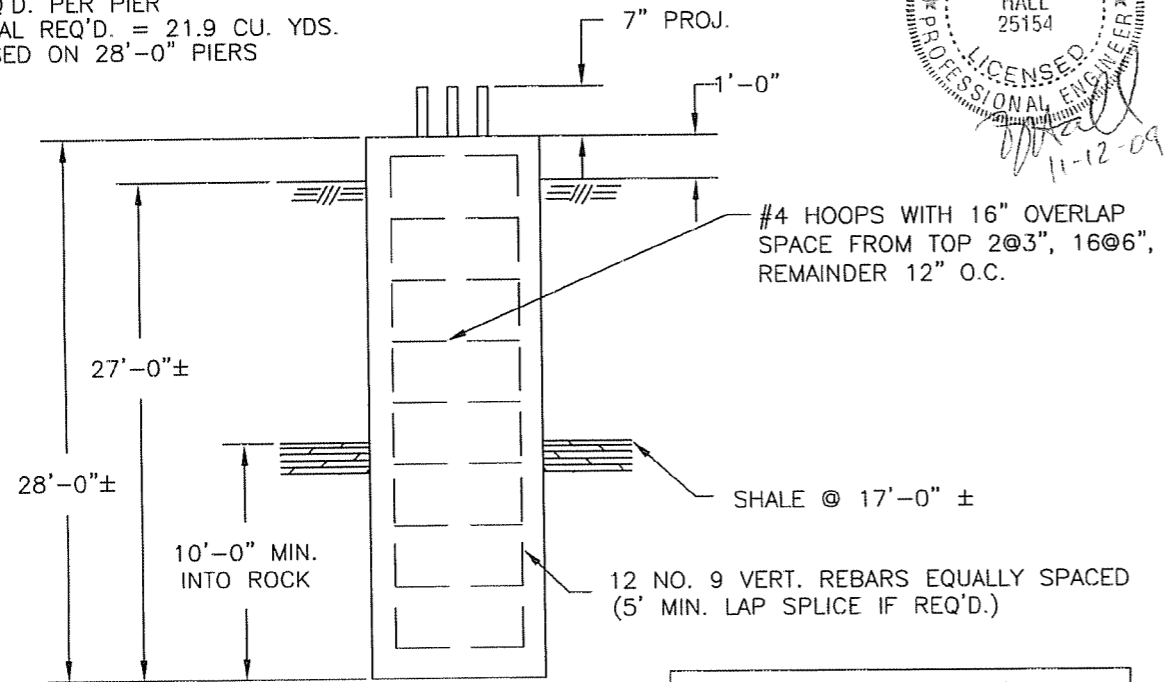
TITLE: ANCHOR BOLT LAYOUT  
240' MODEL WSST TOWER  
FOR: BLUEGRASS WIRELESS, LLC  
SITE : MCQUADY  
BRECKINRIDGE COUNTY, KY

SCALE NONE PWN. LKB CHKD. DATE 11-11-09  
FILE DWG. NO. Q09933AB





7.3 CU. YDS. CONCRETE  
REQ'D. PER PIER  
TOTAL REQ'D. = 21.9 CU. YDS.  
BASED ON 28'-0" PIERS



BASE REACTIONS	
OTM:	6385.0 FT. KIPS
COMP.	394.0 KIPS
UPLIFT	330.0 KIPS
SHEAR (3 LEGS)	49.0 KIPS
WT. NO ICE	78.0 KIPS
WT. 3/4" ICE	186.0 KIPS

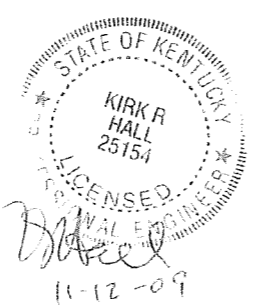
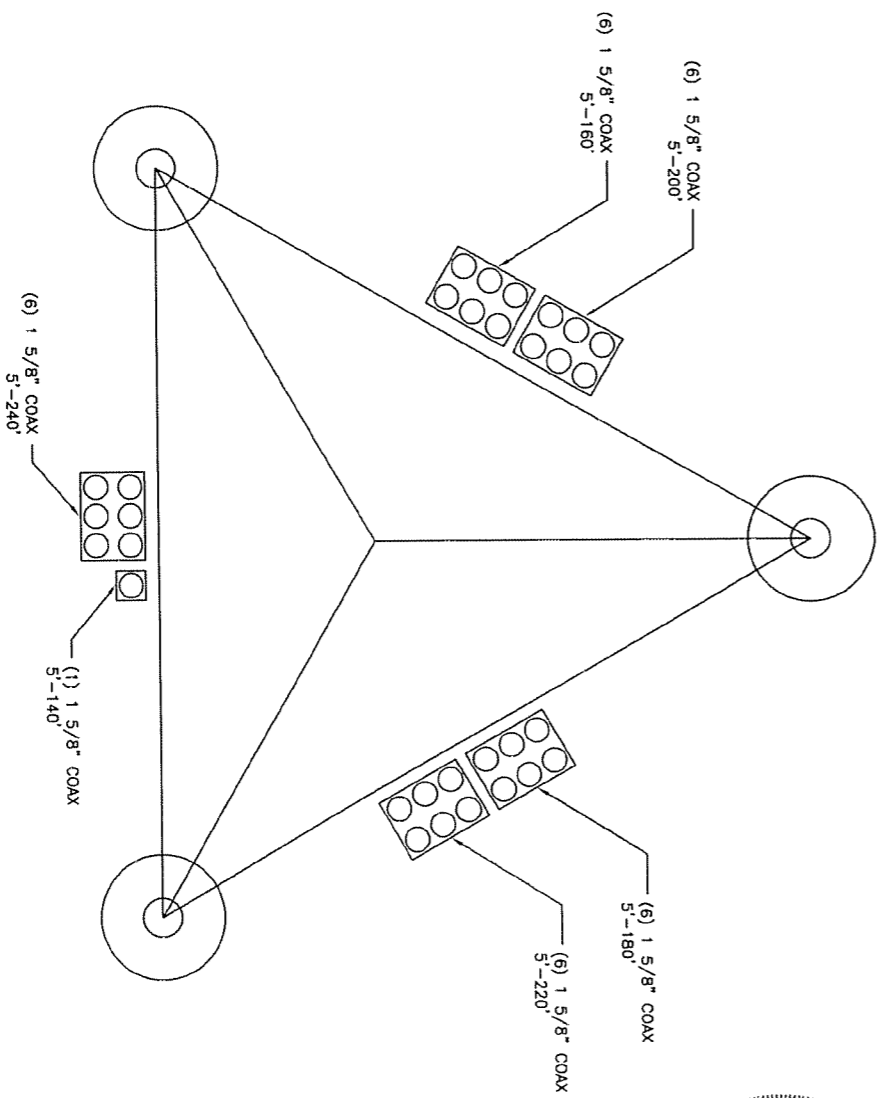
GENERAL NOTES

1. CONCRETE TO HAVE 3000 PSI MIN. COMPRESSIVE STRENGTH AFTER 28 DAYS.
2. ALL REINFORCEMENT STEEL IS DEFORMED AND MEETS THE STRENGTH REQUIREMENTS OF ASTM A615 GRADE 60.
3. EMBEDDED STEEL TO HAVE 3" MIN. CONCRETE COVER.
4. FOUNDATION DESIGN IS BASED ON CUSTOMER SUPPLIED SOIL DATA FROM PATRIOT ENGINEERING. PROJECT NUMBER 5-09-0873 DATED NOVEMBER 9, 2009.

TITLE: FOUNDATION DETAIL  
240' MODEL WSST TOWER  
FOR: BLUEGRASS WIRELESS, LLC  
SITE : MCQUADY  
BRECKINRIDGE COUNTY, KY

**WORLD TOWER**

SCALE NONE DWN LKB CKD. DATE 11-11-09  
FILE DWG. NO. Q09933F

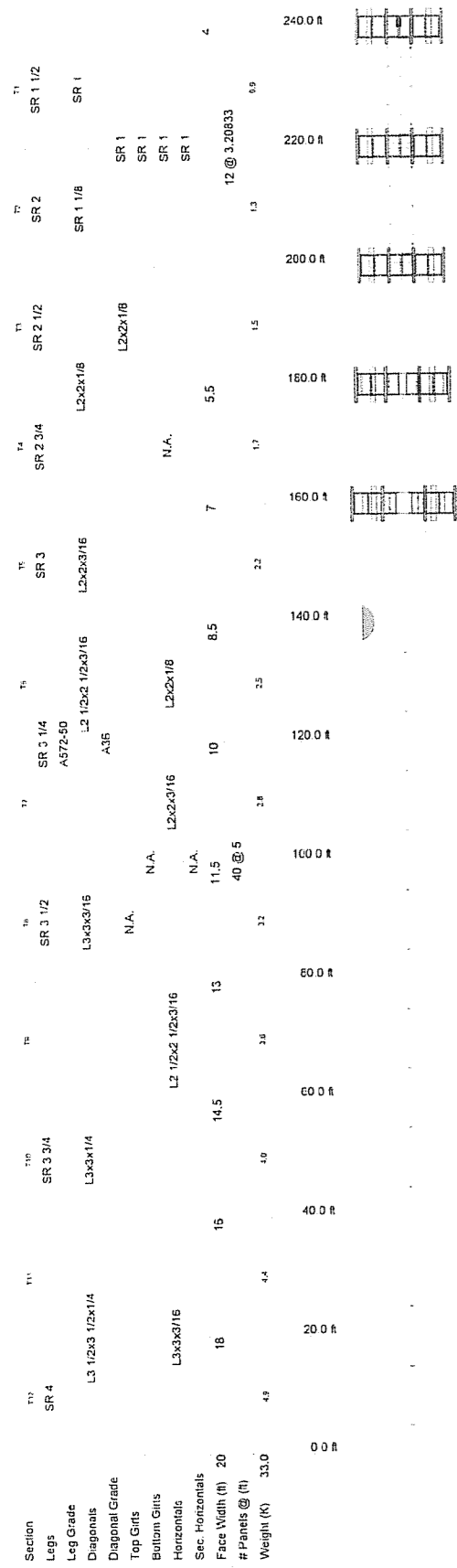


PLAN VIEW

**WORLD TOWER**

TITLE: WAVEGUIDE LOCATION  
 240' MODEL WSST TOWER  
 FOR: BLUEGRASS WIRELESS, LLC  
 SITE : MCQUADY  
 BRECKINRIDGE COUNTY, KY

SCALE	NONE	DATE	11-11-09
FILE		DWG. NO.	009933WG



**DESIGNED APPURTENANCE LOADING**

TYPE	ELEVATION	TYPE	ELEVATION
Flash Beacon Lighting	240	(2) Antel RWB 80014/120 w/ mnt pipe(Panel 96.5"x11.2"x5.9")*	200
WD13X53 Antenna Mounting Frame (w/ 75)*	240	(2) Antel RWB 80014/120 w/ mnt pipe(Panel 96.5"x11.2"x5.9")*	200
WD13X53 Antenna Mounting Frame (w/ 75)*	240	(2) Antel RWB 80014/120 w/ mnt pipe(Panel 96.5"x11.2"x5.9")*	200
(2) Antel RWB 80014/120 w/ mnt pipe(Panel 96.5"x11.2"x5.9")*	240	WD13X53 Antenna Mounting Frame (w/ 75)*	180
(2) Antel RWB 80014/120 w/ mnt pipe(Panel 96.5"x11.2"x5.9")*	240	WD13X53 Antenna Mounting Frame (w/ 75)*	180
(2) Antel RWB 80014/120 w/ mnt pipe(Panel 96.5"x11.2"x5.9")*	240	WD13X53 Antenna Mounting Frame (w/ 75)*	180
WD13X53 Antenna Mounting Frame (w/ 75)*	220	(2) Antel RWB 80014/120 w/ mnt pipe(Panel 96.5"x11.2"x5.9")*	180
WD13X53 Antenna Mounting Frame (w/ 75)*	220	(2) Antel RWB 80014/120 w/ mnt pipe(Panel 96.5"x11.2"x5.9")*	180
(2) Antel RWB 80014/120 w/ mnt pipe(Panel 96.5"x11.2"x5.9")*	220	WD13X53 Antenna Mounting Frame (w/ 75)*	160
(2) Antel RWB 80014/120 w/ mnt pipe(Panel 96.5"x11.2"x5.9")*	220	WD13X53 Antenna Mounting Frame (w/ 75)*	160
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WD13X53 Antenna Mounting Frame (w/ 75)*	200	6" Gnd Dish	140

**MATERIAL STRENGTH**

GRADE	Fy	Fu	GRADE	Fy	Fu
A572-50	50 ksi	65 ksi	A36	36 ksi	58 ksi

**TOWER DESIGN NOTES**

1. Tower is located in Breckinridge County, Kentucky
2. Tower designed for Exposure C to the TIA-222-G Standard
3. Tower designed for a 90.00 mph basic wind in accordance with the TIA-222-G Standard
4. Tower is also designed for a 30.00 mph basic wind with 0.75 in ice. Ice is considered to increase in thickness with height
5. Deflections are based upon a 60.00 mph wind
6. Tower is designed for feedlines distributed on 3 tower faces with a maximum of 6 lines exposed to the wind on any one face.
7. TOWER RATING: 99.6%

**MAX. CORNER REACTIONS AT BASE**

DOWN 394 K  
UPLIFT -330 K  
SHEAR 32 K

AXIAL  
186 K

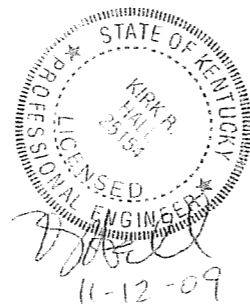
SHEAR 6 K  
MOMENT 835 kip-ft

TORQUE 1 kip-ft  
30.00 mph WIND - 0.75 in ICE

AXIAL  
78 K

SHEAR 49 K  
MOMENT 6385 kip-ft

TORQUE 3 kip-ft  
REACTIONS - 90.00 mph WIND



<b>World Tower Company</b> 1213 Compressor Drive Mayfield, Kentucky 42066 Phone: (270) 247-3642 FAX: (270) 247-0909	<b>Job: Q09-933 / 240' Model WSST Tower</b> Project: <b>McQuady, Kentucky</b> Client: Bluegrass Cellular Drawn by: Kirk Hall App'd Code: TIA-222-G Date: 11/11/09 Scale: NTS Path: C:\Tower\PE_Runs\C009\Q09-933 McQuady KYC09-933.dwg Dwg No: E-1
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Report of  
Geotechnical Engineering Investigation  
**McQuady Cell Tower**  
**DeJarnette Road**  
**McQuady, Breckinridge County, Kentucky**  
Patriot Project No. 5-09-0873

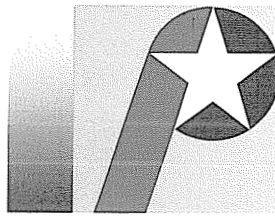
**Prepared For:**

Jeff Brewer  
Bluegrass Cellular  
2902 Ring Road  
P.O. Box 5012  
Elizabethtown, KY 42702

**Prepared By:**

Patriot Engineering and  
Environmental, Inc.  
400 Production Court  
Louisville, Kentucky 40299

November 9, 2009



**PATRIOT ENGINEERING  
and Environmental, Inc.**

*Engineering Value for Project Success*

*Consulting Environmental, Geotechnical and Materials Engineers*

November 9, 2009

Bluegrass Cellular  
2902 Ring Road  
P.O. Box 5012  
Elizabethtown, KY 42702

Attention: Jeff Brewer, Project Supervisor

RE: Report of Geotechnical Engineering Investigation  
**McQuady Cell Tower**  
**DeJarnette Road**  
**McQuady, Breckinridge County, KY**  
Patriot Project Number 5-09-0873


Dear Jeff:

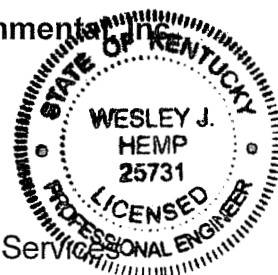
Submitted herewith is the report of our subsurface investigation for the above-referenced project. This investigation was completed in general accordance with our Proposal Number PLE08-0025 dated June 19, 2008.

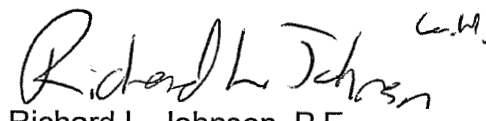
This report includes detailed and graphic logs of the one (1) soil test boring drilled at the proposed site. Also included in the report are the results of laboratory tests performed on samples obtained from the site, and geotechnical recommendations pertinent to the foundation design and construction.

We appreciate the opportunity to have performed this geotechnical engineering investigation and are looking forward to working with you during the construction phase of the project. If you have any questions regarding this report or if we may be of any additional assistance regarding any geotechnical aspect of the project, please do not hesitate to contact our office.

Respectfully submitted,  
Patriot Engineering and Environmental, Inc.

  
Wesley J. Hemp, P.E., LEED AP  
Director – Louisville Geotechnical Services



  
Richard L. Johnson, P.E.  
Senior Project Engineer

Attachment: Report of Geotechnical Engineering Investigation

400 Production Court, Louisville, Kentucky 40299  
(502) 961-5652 • (502) 961-9256 FAX • [www.patrioteng.com](http://www.patrioteng.com)

Offices in Indianapolis, Evansville, Fort Wayne, Lafayette, Terre Haute, and Dayton.

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## REPORT OF GEOTECHNICAL ENGINEERING INVESTIGATION

**McQuady Cell Tower**  
DeJarnette Road  
McQuady, Breckinridge County, Kentucky  
Patriot Project No. 5-09-0873

### 1.0 INTRODUCTION

#### 1.1 General

Bluegrass Cellular is planning the construction of a new cell tower located in McQuady, Breckinridge County, Kentucky. The results of our geotechnical engineering investigation for the project are presented in this report. This investigation was carried out in general accordance with *Patriot's* Proposal No. PLE08-0025, dated June 19, 2008.

#### 1.2 Purpose and Scope

The purpose of this investigation was to determine the general near surface and subsurface conditions within the project area and to develop the geotechnical engineering recommendations necessary for the design and construction of the structure. This was achieved by drilling a soil test boring at 1 location, and by conducting laboratory tests on samples taken from the boring. This report contains the results of our findings, an engineering interpretation of these results with respect to the available project information, and recommendations to aid in the design and construction of the proposed cell tower facility.

### 2.0 PROJECT INFORMATION

The proposed project includes a self-supported cell tower to be constructed on a parcel located in McQuady, Breckinridge County, KY. Structural loading information for this project was not available at the time of this report. However, information provided by the client in regards to projects of a similar size and scope indicates that the tower height will not exceed 240 feet and that the anticipated structural loads will not exceed the following loading conditions:

Vertical (Downward) Load:	400 kips
Uplift:	330 kips
Horizontal Shear:	50 kips

### **3.0 SITE AND SUBSURFACE CONDITIONS**

#### **3.1 Site Conditions**

The area for the proposed cell tower is located in a crop field just beyond the western most point of DeJarnette Road. The crops in the area of the tower had been harvested prior to our site visit. The ground generally slopes down towards the south and was very wet during the course of drilling operations due to rain showers.

#### **3.2 Site Geology**

Information pertaining to soil characteristics in the project area was obtained through the Kentucky Geological Society Website and Interactive GIS Map.

The site is located near the boundary of the Western Kentucky Coal Field physiographic region and the Muldraugh Hills subsection of the Mississippian Plateaus physiographic region in western Kentucky. The bedrock at or near the surface consists of sedimentary rock and is of Mississippian age. Specifically, the underlying bedrock is referred to as the Buffalo Wallow Formation. This formation generally contains varying amounts of limestone, shale, sandstone, and siltstone. The shale is described as medium to dark gray and green, clayey, sandy, and interbedded with siltstone. The Interactive Geology Map indicates that this is an area of low karst potential with no known sinkholes in the vicinity of the project area.

#### **3.3 Subsurface Conditions**

Our interpretation of the subsurface conditions is based upon one soil boring drilled at the approximate location shown on the Boring Location Map in Appendix A. The following discussion is general; for more specific information, please refer to the boring log presented in Appendix A. It should be noted that the dashed stratification lines shown on the soil boring log indicate approximate transitions between soil types. In situ stratification changes could occur gradually or at different depths. All depths discussed below refer to depths below the existing ground surface.

The parcel is generally covered with topsoil, a surficial layer of material that is a blend of silts, sands, and clays, with varying amounts of organic matter. The topsoil layer was about 1 inch thick in the test boring.

Below the topsoil surface cover, the boring encountered moderately plastic (CL/CH) clay described as light brown, moist, and stiff to very stiff to a depth of 6.0 feet. Below this layer, highly plastic (CH) fat clay described as light brown, moist, and stiff to very stiff with trace black weathered shale was encountered to a depth of 8.5 feet. This layer was underlain light brown mottled olive gray, moist, and very stiff to stiff highly plastic (CH) fat clay with trace to some silt and sand to a depth of 13.5 feet. Below this layer the boring encountered gravelly clay described as light brown, wet, and very stiff to a depth of 17.0 feet, at which point auger refusal was encountered.

Standard Penetration Test blow counts (N-values) were 12 blows per foot (bpf) in the upper 3.5 feet, 13 bpf between 3.5 and 6.0 feet, 15 bpf between 6.0 and 8.5 feet, 17 bpf between 8.5 to 13.5 feet, and 26 bpf below 13.5 feet. Natural moisture contents in these soils ranged from 18 to 32 percent.

Atterberg Limits testing was performed on sample B-1, 6.0'-7.5' to determine the plasticity. The results revealed a liquid limit of 84 percent, a plastic limit of 31 percent, and a plasticity index of 53 percent.

Upon reaching auger refusal, 7.5 feet of rock coring was performed. Shale described as brown mottled gray to medium or dark gray, highly weathered, and argillaceous was encountered to a depth of 24.5 feet. Please refer to the table below for more information in regards to rock coring recovery and RQD (Rock Quality Designation).

Table 1 – Rock Coring Data			
Depth (ft)	Recovery (%)	RQD (%)	Rock Quality
17.0-22.0	100	33	Poor
22.0-24.5	83	20	Very Poor

A portion of the rock core from 18.0' to 18.3' was subjected to unconfined compressive strength testing. The results revealed an unconfined compressive strength of 313 psi.

### 3.4 Groundwater Conditions

Groundwater was encountered during drilling at a depth of 13 feet. Water was also encountered at a depth of 10 feet at the completion of drilling operations, but may not

be indicative of the static groundwater table due to water introduced during the rock coring process.

The term groundwater, for the purpose of this report, pertains to any water that percolates through the naturally occurring soil materials found on site. This includes any overland flow that permeates through a given depth of soil, perched water, and water that occurs below the "water table", a zone that remains saturated and water bearing year round.

It should be recognized that fluctuations in the groundwater level should be expected to occur due to variations in rainfall and other environmental or physical factors at the time measurements are made. The true static groundwater level can only be determined through observations made in cased holes over a long period of time, the construction of which was beyond the scope of this investigation.

## **4.0 DESIGN RECOMMENDATIONS**

### **4.1 Basis**

Our recommendations are based on data presented in this report, which include soil borings, laboratory testing and our experience with similar projects. Subsurface variations that may not be indicated by a dispersive exploratory boring program can exist on any site. If such variations or unexpected conditions are encountered during construction, or if the project information is incorrect or changed, we should be informed immediately since the validity of our recommendations may be affected. Refer to Appendix B for additional qualifications and contractual considerations.

## 4.2 Tower Foundation

### Drilled Piers

The structure may be supported on a deep foundation system consisting of drilled piers. Drilled piers may be designed using the net allowable end bearing pressures and allowable skin friction values shown in the table below.

<b>Depth Range (feet)</b>	<b>Soil Type</b>	<b>Allowable Skin Friction (psf)</b>	<b>Allowable End Bearing Pressure (psf)</b>	<b>Angle of Shearing Resistance (degrees)</b>	<b>*Cohesion (psf)</b>
0-5.0	Clay	Ignore	Ignore	Ignore	Ignore
5.0-13.5	Clay	400	Ignore	0	2,250
13.5-17.0	Gravelly Clay	560	Ignore	0	3,750
>17.0	Shale	2,000	30,000	0	20,000

\* It should be noted that the recommended cohesion values do not include a factor of safety.

Development of the design capacity is based on the following conditions or criteria:

- Drilled Piers should be designed as straight shaft and have a minimum diameter of 30 inches and be installed to a minimum depth of four times the pier diameter.
- The center-to-center spacing of the shafts will be a minimum of 2.5 pier diameters.
- Load applied to the shaft cap is uniformly distributed to each of the piers.
- Shafts should be constructed in accordance with the recommendations for shaft construction in Section 5.1 of this report.
- The drilled piers should be installed by a specialty contractor experienced in drilled pier installation.

For drilled pier design, the net allowable end bearing pressure is based on loads applied at the pier cap. The weight of the pier or the pier cap need not be included in the downward axial load used to dimension the pier.

**Mat Foundation**

Alternatively, the cell tower may be supported using a mat foundation. The maximum allowable bearing pressure for mat foundation design should not exceed the values provided in the table below.

<b>Depth Range (feet)</b>	<b>Soil Type</b>	<b>Allowable Bearing Pressure (psf)</b>	<b>Friction Coefficient</b>
0-6.0	Clay	4,200	-
6.0-13.5	Clay	5,500	-
13.5-17.0	Gravelly Clay	5,500	-
>17.0	Shale	20,000	0.50

The thickness of the mat should be sufficient to support the tower as a rigid mat without flexure. For mat foundation design, we recommend that the modulus of subgrade reaction, “K<sub>30</sub>”, not exceed **300** pounds per cubic inch. ***As noted in Section 3.3 of this report, moderately plastic clays (CL/CH) to highly plastic (CH) fat clays that are subject to volume change due to fluctuations in moisture content were encountered to a depth of 13.5 feet below the existing subgrade elevation. Should the mat foundation bear in or on these materials the mat should be of sufficient thickness to withstand potential damage caused by the volume changes in these materials.***

The mat should be constructed in compliance with the recommendations discussed in the Construction Considerations (Section 5.0) of this report.

A detailed settlement analysis was beyond the scope of this report; however, we estimate that the total settlement of the mat foundation bearing on competent sandstone bedrock should not exceed approximately 1 inch. Careful field control during construction is necessary to minimize the actual settlement that will occur.

***It should be noted that if the mat foundation extends to a depth of 10 feet or greater, groundwater will likely be encountered in the excavation.***

#### 4.3 Maintenance Building Foundations

The proposed structure can be supported on spread footings bearing on structural fill after over-excavating to a minimum depth of 24 inches below the foundation bearing elevation and replacing with an equal amount of approved compacted structural fill. ***The reason for this over-excavation and replacement is to reduce the potential for volume changes in the underlying moderately plastic clay (CL/CH) to highly plastic fat clay (CH) that could damage structure foundation due to changes in moisture content.*** These footings may be proportioned using a net allowable soil bearing pressure not exceeding **3,000** pounds per square foot (psf) for wall footings, provided the foundations are constructed in compliance with the recommendations discussed in Section 5.0 of this report.

In using the above net allowable soil bearing pressure, the weight of the foundation and backfill over the foundation need not be considered. Hence, only loads applied at or above the minimum finished grade adjacent to the footing need to be used for dimensioning the foundations. Each new foundation should be positioned so it does not induce significant pressure on adjacent foundations; otherwise the stress overlap must be considered in the design.

All exterior foundations and foundations in unheated areas should be located at a depth of at least 24 inches below final exterior grade for frost protection. We recommend that strip footings be at least 18 inches wide and column footings be at least 24 inches wide. We estimate that the total foundation settlement should not exceed approximately 1 inch and that differential settlement should not exceed about  $\frac{3}{4}$  inch for footings bearing at shallow depths on stiff clayey silt or structural fill. Careful field control during construction is necessary to minimize the actual settlement that will occur.

Positive drainage of surface water, including downspout discharge, should be maintained away from structure foundations to avoid wetting and weakening of the foundation soils both during construction and after construction is complete.

#### 4.4 Floor Slabs

*It should be noted that a test boring was not performed for the proposed maintenance building. Therefore, the following discussion should be considered general in regards to floor slabs.*

***The shallow moderately plastic to highly plastic clay soils encountered in the test boring are not suitable for floor slab support without some remediation. These soils should be over-excavated to a minimum depth of 24 inches below the slab bearing elevation and replaced with an equal amount of approved compacted structural fill.***

Depending upon the time of year in which floor slabs are constructed the subgrade may be soft or frozen. If floor slab construction takes place during the rainy season or the winter months, some undercutting should be expected prior to placement of the granular base course.

We recommend that all floor slabs be designed as "floating", that is, fully ground supported and not structurally connected to walls or foundations. This is to minimize the possibility of cracking and displacement of the floor slab because of differential movements between the slab and the foundation. Although the movements are estimated to be within the tolerable limits for the structural safety, such movements could be detrimental to the slabs if they were rigidly connected to the foundations.

The building floor slab should be supported on a minimum 6-inch thick, granular base course, bearing on a suitably prepared subgrade (refer to Section 5.0 Construction Considerations). The granular base course is expected to help distribute loads and equalize moisture conditions beneath the slab. All slabs should be liberally jointed and designed with the appropriate reinforcement for the anticipated loading conditions.

#### **4.5 Modulus of Subgrade Reaction**

A modulus of subgrade reaction, "K<sub>30</sub>", value of **90** pounds per cubic inch (pci) is recommended for the design of ground supported floor slabs.. It should be noted that the "K<sub>30</sub>" modulus is based on a 30-inch diameter plate load test and a CBR value of **2.0**.

#### **4.6 Access Road and Parking Area**

*No test borings were performed for the tower access drive or parking area. It is possible that conditions different than those encountered at the tower location may exist along the access drive. Therefore, the following discussion should be considered general in nature in regards to access road and parking areas.*



***The near surface moderately plastic (CL/CH) soil encountered in the test boring are generally suitable for support of the access road and parking area, assuming that these areas will not be paved. If the areas are to be paved, we recommend that the areas be over-excavated to a minimum depth of 24 inches below the pavement bearing elevation where moderately to highly plastic clays are encountered and replaced with approved compacted structural fill. As previously discussed, moderately to highly plastic clays are subject to volume change due to changes in moisture content. Pavements are especially susceptible to these effects and damage cost by frost action during the cold season due to the presence of moderately to highly plastic soils.***

Depending upon the time of year in which access road and parking areas are constructed the exposed subgrade may be soft. If soft areas are encountered during construction, the areas should be undercut and replaced with approved compacted structural fill as outlined in section 5.0 of this report. If construction is performed during a wet or cold period, the contractor will need to exercise care during the grading and fill placement activities in order to achieve the necessary subgrade soil support for the access road (See Section 5.0 for Construction Considerations).

*It is assumed that the access drive/parking lot design for this project will be similar to past projects with the same general scope. The typical design generally consists of 6" to 8" of coarse-graded stone overlain by a minimum of 4" of compacted crusher run stone or DGA. A pavement section without asphalt or concrete surface cover will require regular maintenance due to degradation of soils caused by inclement weather, vegetation growth, and vehicular traffic. Therefore, the pavement section will require routine maintenance to keep the access drive and parking areas functional.*

The base soil for the access road and parking will need to be firm and dry. The subgrade should be sloped properly in order to provide good base drainage. To minimize the effects of groundwater or surface water conditions, the base section for the driveway should be sufficiently high above adjacent ditches and properly graded to provide adequate drainage.

Our recommendations are based on the assumption that the access drive and parking areas will be constructed on proofrolled natural soils, or on structural fill overlying the same. Serviceable pavements can be achieved by different

combinations of materials and thickness, varied to provide roughly equivalent strengths. In addition, local practice for existing pavement construction should be reviewed for other blends, combinations of materials that have been found satisfactory, and for applicable minimum standards.

#### 4.7 Seismic Considerations

We have reviewed Section 1615 of the 2007 Kentucky Building Code with respect to the subsurface conditions disclosed by our geotechnical investigation and the following recommendations and comments are presented for your use in developing the seismic design criteria for the structural design. For structural design purposes, we recommend using a **Site Class of C** as defined by the 2007 Kentucky Building Code. Other earthquake resistant design parameters should be applied consistent with the minimum requirements of the Kentucky Building Code. The Site Class of C was based on cohesive soils with an average undrained shear strength of 1500 psf to a depth of 20 feet and soft shale bedrock with an average shear wave velocity of 2500 feet/second from 20 to 100 feet.

#### 4.8 Earth Resistivity Testing

Resistivity testing of the subsurface materials was performed utilizing a Metrel Earth-Insulation Tester. The four point Wenner Array was utilized. The setup of this array consists of placing four equally spaced electrodes in a straight line along the subgrade. A current is sent through the outer two probes via the test meter, while the two inner probes measure the voltage drop due the current flow. The resistance is then calculated utilizing Ohm's Law. Earth resistivity measurements were performed along two lines running perpendicular to one another through the center of the proposed tower location at 5, 10, 15, 20, 30, and 40 foot spacing's. Please refer to the table below for testing results.

Figure 2 - Earth Resistivity Testing Results			
Line A-A'		Line B-B'	
Spacing (ft.)	Resistivity ( $\Omega$ -m)	Spacing (ft.)	Resistivity ( $\Omega$ -m)
5	12	5	14
10	11	10	11
15	11	15	12
20	13	20	13
30	12	30	13
40	13	40	9

## 5.0 CONSTRUCTION CONSIDERATIONS

### 5.1 Site Preparation

All areas that will support foundations, floors, pavements or newly placed structural fill must be properly prepared. All loose surficial soil, topsoil, fill and other unsuitable materials must be removed. Unsuitable materials include: **agricultural debris**, **moderately plastic to highly plastic fat clay**, frozen soil, relatively soft material, relatively wet soils, deleterious material, soils that exhibit a high organic content.

Prior to construction of floor slabs or pavements or the placement of new structural fill, the exposed subgrade must be evaluated by the Patriot representative. The evaluation should include proofrolling of the subgrade.

Care must be exercised during grading and fill placement operations. The combination of heavy construction equipment traffic and excess surface moisture can cause pumping and deterioration of the near surface soils. The severity of this potential problem depends to a great extent on the weather conditions prevailing during construction.

## 5.2 Foundation Excavations

### Drilled Shaft Excavations

The drilled shaft excavations should be observed by *Patriot's* geotechnical engineer or his representative to verify that the foundations will bear at the specified minimum depth and with the minimum bearing requirements, as recommended in Section 4.2 of this report. To confirm adequate bearing, *Patriot's* site representative will visually examine a sample of the bedrock taken at the proposed bearing depth. Surface runoff or seepage water should be drained away from the drilled pier excavation and not be allowed to collect in the excavation.

Additional recommendations for drilled pier foundation construction are presented below:

- **The shale bedrock for which the piers are likely to bear is highly susceptible to slaking; that is, the rock rapidly degrades when exposed to water. For this reason, we recommend that the drilled piers be installed utilizing the dry method or casing in-lieu of the slurry method.**
- The geotechnical engineer should be retained to document the shaft diameter, depth, cleanliness, plumbness, and type of end bearing material during pier construction.
- The foundation bearing material should be evaluated after the bottom of the hole is leveled, cleared of any mud and extraneous materials, and dewatered.
- The drilling equipment should have the capacity to produce a torque of at least 500,000 inch-pounds and a downward force of at least 50,000 pounds.
- Temporary protective steel casing should be available to be installed in the pier, if necessary, to prevent sidewall collapse and excessive mud and water intrusion into the opened excavation. The casing may be extracted as the excavation is filled with concrete. However, the protective casing should not be removed until the weight of concrete placed into the pier exceeds the ground water head.
- A positive head of concrete (minimum of 5 feet) should be maintained above the bottom of the casing during withdrawal and the contractor should prevent concrete from "hanging-up" inside the shell, which may allow soil and water intrusion below the shell.
- If groundwater seepage into the drilled pier excavation is less than 20 gallons per minute, pumps should be used to maintain less than two inches of water.

After observation and evaluation of the pier bottom by the geotechnical engineer, the pumps should be removed and concrete placement initiated immediately. If water is flowing into the hole at a rate greater than 20 gallons per minute, the geotechnical engineer should be consulted for guidance.

- Concrete with slumps ranging between four and seven inches should be used for backfilling the piers.
- Concrete placement into the drilled hole should be directed through a centering device located at the ground surface. If significant groundwater inflow is encountered, a tremie pipe should be used during the concrete placement.
- Construction techniques used for drilled pier installation should conform to applicable Occupational Safety and Health Administration (OSHA) regulations.

#### **Spread Footing & Mat Foundation Excavations**

***The exposed clay or weathered shale in the base of the foundation (except for foundations bearing on structural backfill) should be observed by a Patriot site representative to confirm that bearing material of adequate strength has been reached and that no moderately plastic (CL/CH) to highly plastic (CH) clay materials are present beneath the foundations.*** Any localized soft soil zones encountered at the bearing elevation should be further excavated until adequate support materials encountered. The cavity should be backfilled with approved structural fill as outlined in Section 5.3 of this report.

When it is necessary to support the foundation on structural fill, then the fill pad must extend laterally a minimum distance beyond the edge of the mat foundation. The minimum structural pad width would correspond with a point at which an imaginary line extending downward from the outside edge of the footing at a 1H:2V slope intersects the surface of the natural soils. For example, if the depth to the bottom of excavation is 2 feet below the bottom of the foundation, the excavation would need to extend laterally beyond the edge of the footing at least 1 foot, as shown in Illustration A found at the conclusion of this report.

Excavation slopes should be maintained within OSHA requirements. In addition, we recommend that any surcharge fill or heavy equipment be kept at least 5 feet away from the edge of the excavation. In addition, excavations that occur near existing in-use foundations should be carefully performed, making a conscious effort not to undermine

the support of the in-use foundations. If it is necessary to excavate soils adjacent to and below the bearing elevation of any in-use foundations *Patriot* should be contacted to make further recommendations regarding these excavations. Please refer to Illustration B in Appendix A for further details.

Construction traffic on the exposed surface of the bearing soils will potentially cause some disturbance of the subgrade and consequently loss of bearing capacity. However, the degree of disturbance can be minimized by proper protection of the exposed surface.

### 5.3 Structural Fill and Fill Placement Control

Structural fill, defined as any fill that will support structural loads, should be clean and free of organic material, debris, deleterious materials and frozen soils. Samples of the proposed fill materials should be tested prior to initiating the earthwork and backfilling operations to determine the classification, natural and optimum moisture contents, maximum dry density and overall suitability as a structural fill. ***Structural fill beneath the mat foundation should be limited to compacted No. 57 Stone placed and compacted in accordance with this report, or lean concrete. Compacted lean clay (CL), No.57 Stone, or DGA may be used as backfill for the maintenance building, parking lot, and access roads, provided the clay borrow has a liquid limit of less than 40 percent and a plasticity index of less than 20 percent. The on-site moderately to highly plastic soils should not be used as fill (unless used as overburden backfill for the mat foundation).***

All structural fill placed beneath floor slabs and above the foundation bearing elevation should be compacted to at least 95 percent of its maximum Standard Proctor dry density (ASTM D-698). This minimum compaction requirement should be increased to 100 percent of the maximum Standard Proctor dry density for fill supporting footings or the mat foundation, provided foundations are designed as outlined in Recommendations, Section 4.2.

It may be necessary to scarify and recompact the near surface soil prior to placement of the pavement sections. Any fill placed or recompact within 1 ft of the base of the pavement section should also be compacted to at least 100 percent of the Standard Proctor maximum dry density. This can be reduced to 95 percent for engineered fill

placed more than 1 ft below the base of the pavement section.

To achieve the recommended compaction of the structural fill, we suggest that the fill be placed and compacted in layers not exceeding eight inches in loose thickness. A Patriot soils engineer or his representative should monitor all fill placements.

#### **5.4 Groundwater**

Groundwater was encountered during drilling at a depth of 13 feet. Water was also encountered at a depth of 10 feet at the completion of drilling operations, but may not be indicative of the static groundwater table due to water introduced during the rock coring process.

Groundwater inflow into shallow excavations above the groundwater table is expected to be adequately controlled by conventional methods such as gravity drainage and/or pumping from sumps. More significant inflow can be expected in deeper excavations below the groundwater table requiring more aggressive dewatering techniques, such as well or wellpoint systems. For groundwater to have minimal effects on the construction, foundation excavations should be constructed and poured in the same day, if possible.

## **6.0 INVESTIGATIONAL PROCEDURES**

### **6.1 Field Work**

A total of 1 boring was performed at the project site on October 15, 2009 at the approximate location shown on the Boring Location Plan in Appendix A. The boring was drilled in the center of the cell tower area to auger refusal, which was encountered at a depth of 17.0 feet. Upon reaching auger refusal 7.5 feet of rock coring was performed. Ten (10) feet of coring was to originally be performed, but the coring process was cut short due to the rainy conditions and equipment getting stuck in the soft subgrade. All depths are given as feet below the existing ground surface.

The boring was advanced using 3¼" I.D. (inside diameter) hollow-stem augers. Samples were recovered in the undisturbed material below the bottom of the augers using the standard drive sample technique in accordance with ASTM D 1586-74. A 2" O.D. by 1<sup>3</sup>/<sub>8</sub>" I.D. split-spoon sampler was driven a total of 18 inches with the number of

blows of a 140-pound hammer falling 30 inches of penetration is the Standard Penetration Test result commonly referred to as the N-value (or blow-count). Split-spoon samples were recovered at 2.5-foot intervals, beginning at a depth of 1 foot below the existing surface grade, extending to the auger refusal depth. Water levels were monitored at the borehole location during drilling and upon completion of the boring. The borehole was backfilled with auger cuttings prior to demobilization for safety considerations. For rock coring, a double-tube NX core barrel with a diamond bit was used to obtain the core sample.

Earth Resistivity Testing was performed at the site on October 20, 2009. The testing was performed along two lines running perpendicular to one another through the center of the proposed tower location.

Upon completion of the boring program, all of the samples retrieved during drilling in this sampling program were returned to *Patriot's* soils testing laboratory where they were visually examined and classified. A laboratory generated log was prepared based upon the driller's field log, laboratory test results, and our visual classification. The test boring log and a description of the classification system are included in Appendix A in this report. Indicated on the log are the primary strata encountered, the approximate depth of each stratum change, depth of sample, the Standard Penetration Test results, groundwater conditions, and select laboratory test data. The laboratory log was prepared giving the appropriate sample data and the textural description and classification.

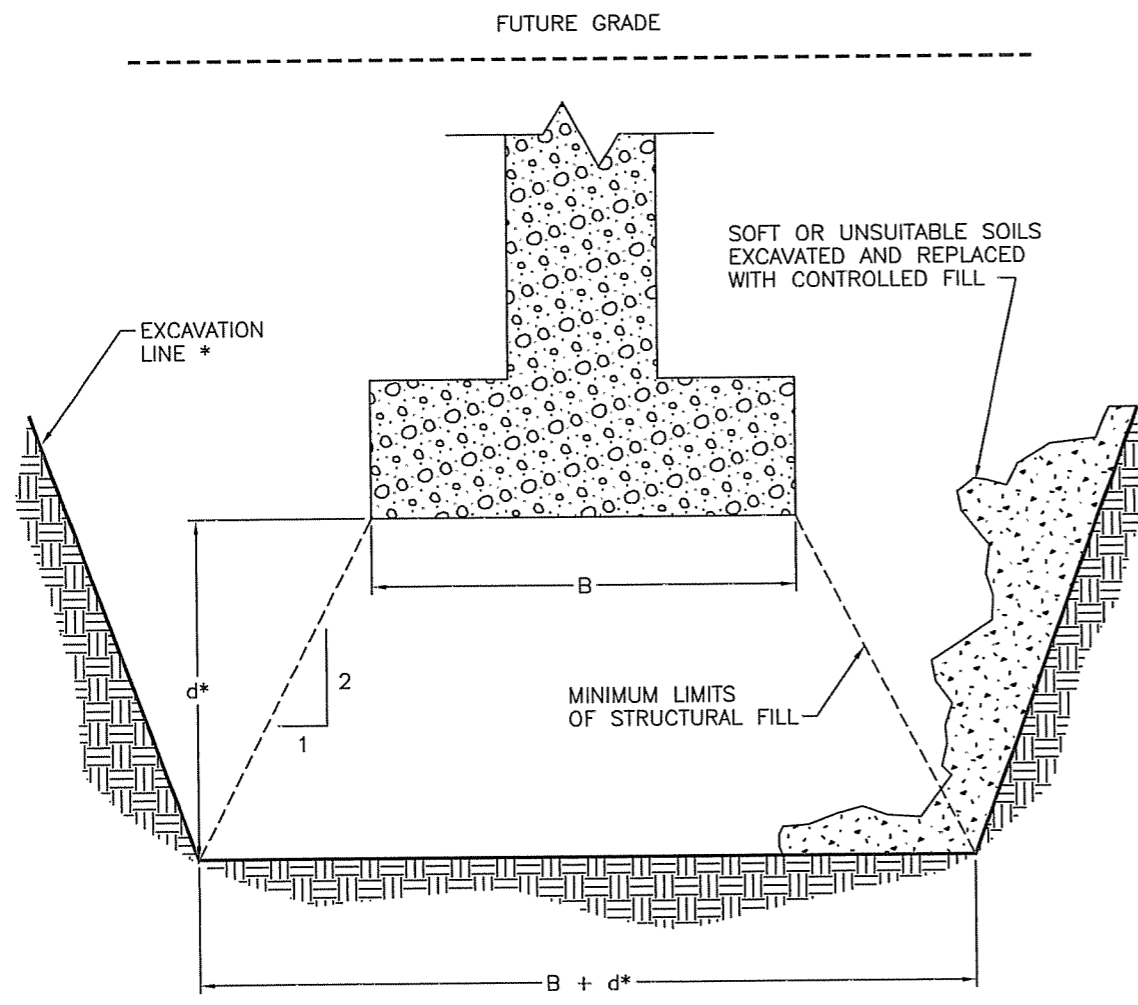
## 6.2 Laboratory Testing

Representative samples recovered in the boring were selected for testing in the laboratory to evaluate their physical properties and engineering characteristics. Laboratory analyses included natural moisture content determinations (ASTM D 2216), the Atterberg Limits (ASTM D 4318), and an estimate of unconfined compressive strength testing by use of a calibrated hand penetrometer, and other testing as deemed necessary and applicable. The results of all laboratory tests are shown on the boring log.



## 7.0 ILLUSTRATIONS

See Illustrations A and B on the following pages. These illustrations are presented to further visually clarify the Construction Considerations presented in Section 5.2.



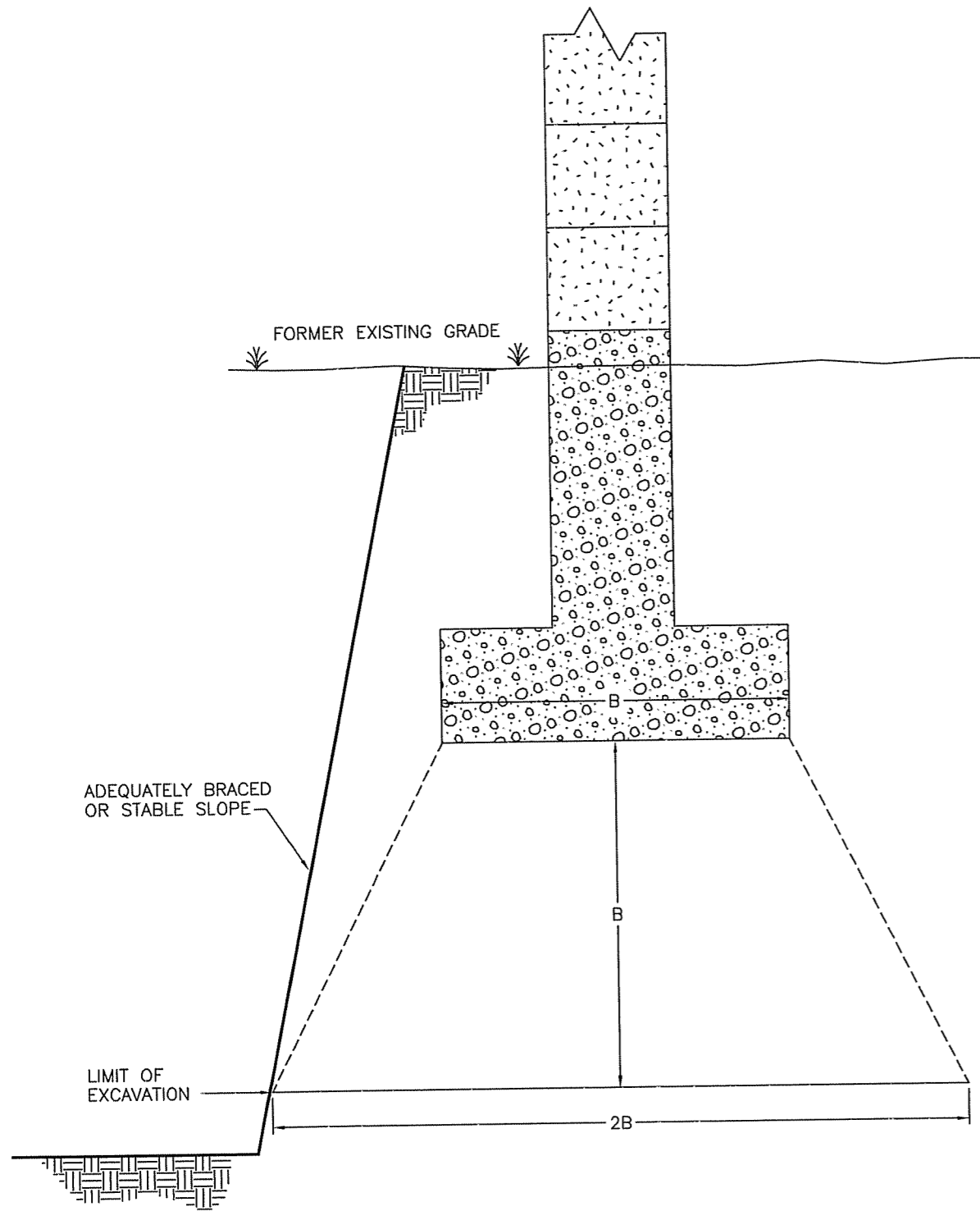
\*d IS DEPTH TO SUITABLE SOILS

\* IN COMPLIANCE WITH OSHA STANDARDS

**PATRIOT ENGINEERING**  
 and Environmental, Inc.  
 4735 Poplar Level Road, Suite 1  
 (502)961-5652 FAX (502)961-9256

Excavation for Footings  
 In an Area of Fill  
**ILLUSTRATION A**

job. no.:	PAT-UC	figure:	1
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**PATRIOT ENGINEERING**  
 and Environmental, Inc.  
 4735 Poplar Level Road, Suite 1  
 (502)961-5652 FAX (502)961-9256

Excavation Near Existing  
 In Use Foundations  
**ILLUSTRATION B**

job. no.: PAT-UC1

figure: 1

**APPENDIX A**

**Site Vicinity Map**

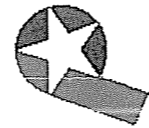
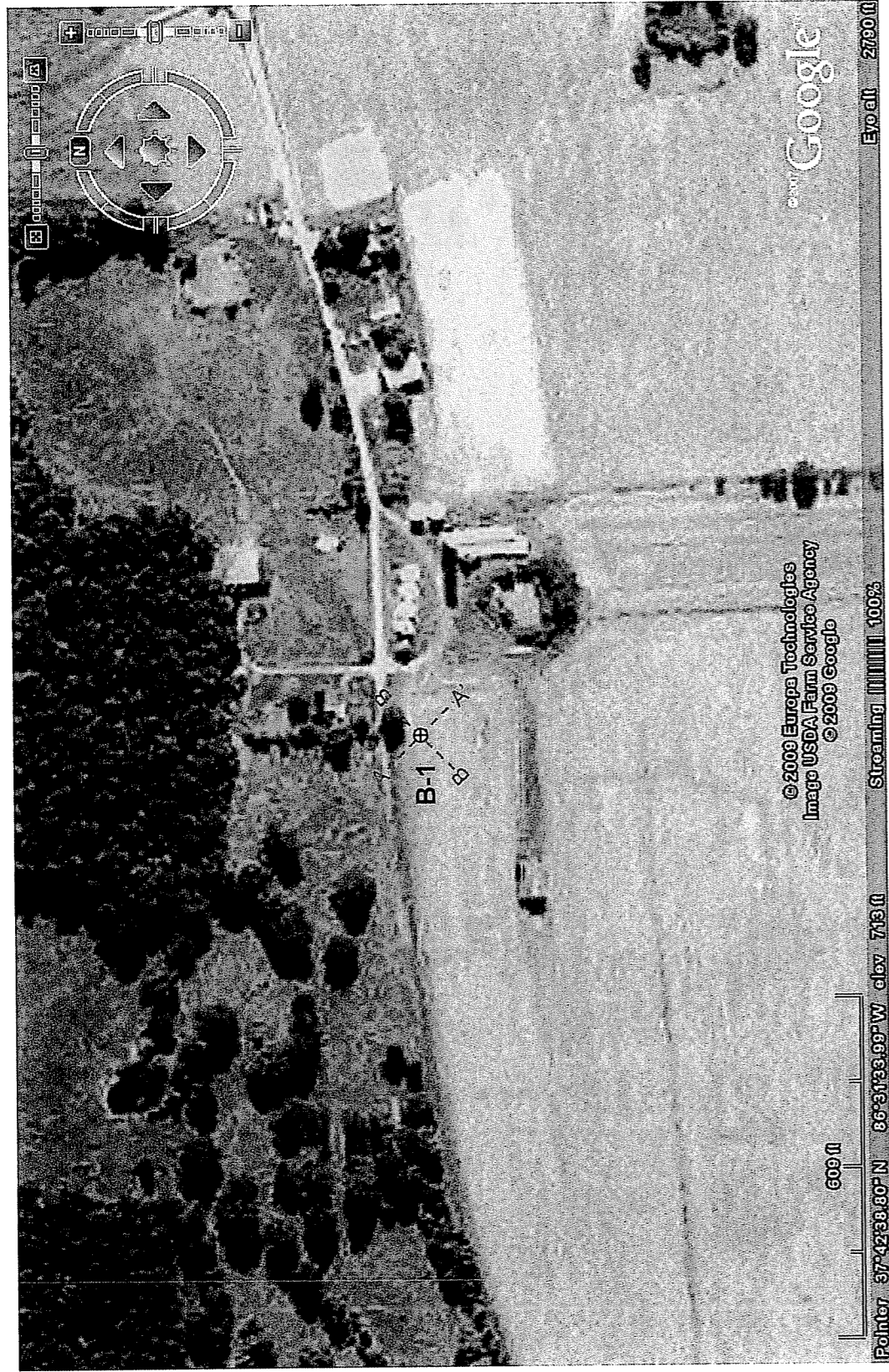
**Boring / Resistivity Test Location Map**

**Boring Log**

**Boring Log Key**

**Unified Soils Classification (USCS)**





**PATRIOT ENGINEERING**  
and Environmental, Inc.  
Louisville, Kentucky 40299

**Boring Location Map**

McQuady Cell Tower  
DeJarmette Road  
McQuady, Breckinridge County, KY

Job No. 5-09-0873

Figure 1



**PATRIOT ENGINEERING**  
and Environmental Inc.  
Indianapolis, Terre Haute, Evansville,  
Fort Wayne, South Bend, Lafayette,  
Louisville KY, Dayton OH,  
Charleston IL

**LOG OF BORING B-1**

(Page 1 of 1)

McQuady Cell Tower  
DeJarnette Road  
McQuady, Breckinridge County, KY

Client Name : Bluegrass Cellular  
Project Number : 5-09-0873  
Logged By : W. Hemp  
Start Date : 10/15/2009  
Drilling Method : HSA

Driller : G. Taylor  
Sampling : Spitspoon  
Approximate Elevation : 720 +/-  
Drill Rig : CME-750 ATV

Depth in Feet	Water Level	USCS	GRAPHIC	DESCRIPTION	Samples	Rec %	SPT Results	qp tsf	w %	RQD %	REMARKS	
												Water Levels
▼ During Drilling ▽ After Completion ◆ After 24 hours												
0				Topsoil (1)								
		CL/CH		CLAY, light brown, moist, stiff to very stiff		67	6/5/7	2.75	20			
5		CH		CLAY, light brown, moist, stiff to very stiff, w/ trace black weathered shale		67	6/6/7	1.5	22			
		CH		CLAY, light brown, moist, stiff to very stiff, w/ trace black weathered shale		67	5/7/8	3.25	32		Atterberg Limits LL=84% PL=31% PI=53%	
10	▽	CH		CLAY, light brown mottled olive gray, moist, very stiff to stiff, w/ trace to some silt and sand		78	8/8/9	1.75	25		Water level after drilling may not be indicative of the true groundwater elevation due to water introduced during the coring process.	
	▼	CH		GRAVELLY CLAY, light brown, wet, very stiff		67	15/17/9	-	18			
15		SH		SHALE, brown mottled gray, highly weathered, argillaceous							Auger refusal encountered at 17.0'. Core rock from 17.0'-22.0'. Sample from 18.0' to 18.3' subjected to unconfined compressive strength testing. Qu= 313 psi	
		SH		SHALE, medium to dark gray, highly weathered, argillaceous		100				33		
20		SH		SHALE, medium to dark gray, highly weathered, argillaceous		83				20	Core rock from 22.0'-24.5'	
25		Boring terminated at 24.5'										
30												

11-09-2009 P:\Borings\KY2009\5-09-0873\B-1.bor

## BORING LOG KEY

### UNIFIED SOIL CLASSIFICATION SYSTEM FIELD CLASSIFICATION SYSTEM FOR SOIL EXPLORATION

#### NON COHESIVE SOILS (Silt, Sand, Gravel and Combinations)

Density		Grain Size Terminology		
		<u>Soil Fraction</u>	<u>Particle Size</u>	<u>US Standard Sieve Size</u>
Very Loose	-5 blows/ft. or less			
Loose	-6 to 10 blows/ft.			
Medium Dense	-11 to 30 blows/ft.	Boulders	Larger than 12"	Larger than 12"
Dense	-31 to 50 blows/ft.	Cobbles	3" to 12"	3" to 12"
Very Dense	-51 blows/ft. or more	Gravel: Coarse	¾" to 3"	¾" to 3"
		Small	4.76mm to ¾"	#4 to ¾"
		Sand: Coarse	2.00mm to 4.76mm	#10 to #4
		Medium	0.42mm to 2.00mm	#40 to #10
		Fine	0.074mm to 0.42mm	#200 to #40
		Silt	0.005mm to 0.074 mm	Smaller than #200
		Clay	Smaller than 0.005mm	Smaller than #200

#### RELATIVE PROPORTIONS FOR SOILS

<u>Descriptive Term</u>	<u>Percent</u>
Trace	1 - 10
Little	11 - 20
Some	21 - 35
And	36 - 50

#### COHESIVE SOILS (Clay, Silt and Combinations)

<u>Consistency</u>	<u>Field Identification</u>	<u>Unconfined Compressive Strength (tons/sq. ft.)</u>
Very Soft	Thumb will penetrate soil more than 1 inch	Less than 0.25
Soft	Thumb will penetrate soil about 1 inch	0.25 - < 0.5
Medium Stiff	Thumb will penetrate soil about ½ inch	0.5 - < 1.0
Stiff	Thumb will indent soil about ¼ inch	1.0 - < 2.0
Very Stiff	Readily indented by thumbnail	2.0 - < 4.0
Hard	Indented with difficulty by thumbnail	Over 4.0

**Classification** on logs are made by visual inspection.

**Standard Penetration Test** - Driving a 2.0" O.D., 1<sup>3/8"</sup> I.D., sampler a distance of 1.0 foot into undisturbed soil with a 140 pound hammer free falling a distance of 30.0 inches. It is customary for **Patriot** to drive the spoon 6.0 inches to seat into undisturbed soil, then perform the test. The number of hammer blows for seating the spoon and making the tests are recorded for each 6.0 inches of penetration on the drill log (Example - 6/8/9). The standard penetration test results can be obtained by adding the last two figures (i.e. 8 + 9 = 17 blows/ft.).

**Strata Changes** - In the column "Soil Descriptions" on the drill log the horizontal lines represent strata changes. A solid line (————) represents an actually observed change, a dashed line (- - - -) represents an estimated change.

**Groundwater** observations were made at the times indicated. Porosity of soil strata, weather conditions, site topography, etc., may cause changes in the water levels indicated on the logs.

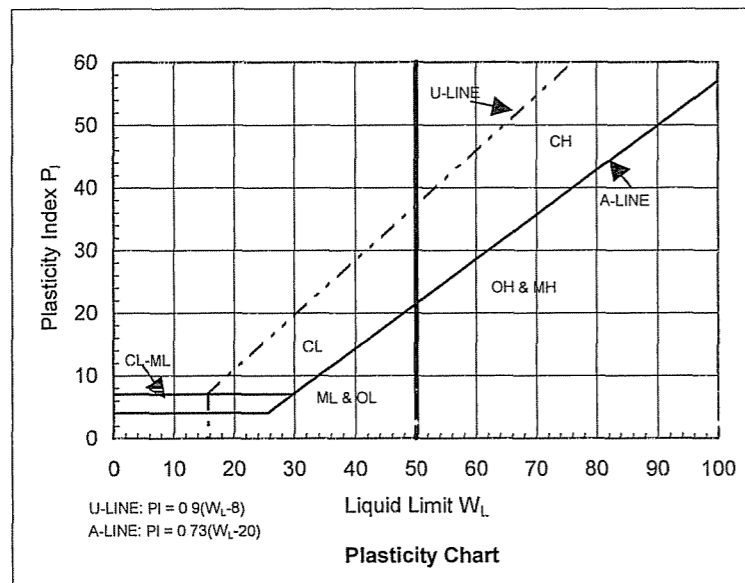
**Groundwater symbols:** ▼-observed groundwater elevation, encountered during drilling; ▽-observed groundwater elevation upon completion of boring.





## Unified Soil Classification

Major Divisions		Group Symbol	Typical Names	Classification Criteria for Coarse-Grained Soils				
Coarse-grained soils (more than half of material is larger than No. 200)	Gravels (more than half of coarse fraction is larger than No. 4 sieve size)	Clean gravels (little or no fines)	GW	Well-graded gravels, gravel-sand mixtures, little or no fines	$C_u \geq 4$ $1 \leq C_c \leq 3$	$C_u = \frac{D_{60}}{D_{10}}$	$C_c = \frac{D_{30}^2}{D_{10} D_{60}}$	
		Poorly graded gravels, gravel-sand mixtures, little or no fines	GP	Not meeting all gradation requirements for GW ( $C_u < 4$ or $1 > C_c > 3$ )				
		Gravels with fines (appreciable amount of fines)	GM	$\frac{d}{u}$	Silty gravels, gravel-sand-silt mixtures	Atterberg limits below A line or $P_i < 4$		
		Clayey gravels, gravel-sand-clay mixtures	GC		Atterberg limits above A line or $P_i > 7$			
	Sands (more than half of coarse fraction is smaller than No. 4 sieve size)	Clean sands (little or no fines)	SW	Well-graded sands, gravelly sands, little or no fines	$C_u \geq 6$ $1 \leq C_c \leq 3$	$C_u = \frac{D_{60}}{D_{10}}$	$C_c = \frac{(D_{30})^2}{D_{10} D_{60}}$	
		Poorly graded sands, gravelly sands, little or no fines	SP	Not meeting all gradation requirements for SW ( $C_u < 6$ or $1 > C_c > 3$ )				
		Sands with fines (appreciable amount of fines)	SM	$\frac{d}{u}$	Silty sands, sand-silt mixtures	Atterberg limits below A line or $P_i < 4$		
		Clayey sands, sand-clay mixtures	SC		Atterberg limits above A line with $P_i > 7$			
Fine-grained soils (more than half of material is smaller than No. 200)	Silt and clays (liquid limit <50)	ML	Inorganic silts and very fine sands, rock flour, silty or clayey fine sands, or clayey silts with slight plasticity		<ol style="list-style-type: none"> <li>Determine percentages of sand and gravel from grain size curve.</li> <li>Depending on percentages of fines (fraction smaller than 200 sieve size), coarse-grained soils are classified as follows:            Less than 5% - GW, GP, SW, SP            More than 12% - GM, GC, SM, SC            5-12% - Borderline cases requiring dual symbols</li> </ol>			
		CL	Inorganic clays of low to medium plasticity, gravelly clays, sandy clays, silty clays, lean clays					
		OL	Organic silts and organic silty clays of low plasticity					
	Silt and clays (liquid limit >50)	MH	Inorganic silts, micaceous or diatomaceous fine sandy or silty soils, elastic silts					
		CH	Inorganic clays of high plasticity, fat clays					
		OH	Organic clays of medium to high plasticity, organic silts					
	Highly organic soils	PT	Peat and other highly organic soils					



**APPENDIX B**

**General Qualifications**

**and**

**Standard Clause for Unanticipated Subsurface Conditions**

**GENERAL QUALIFICATIONS**  
**of Patriot Engineering's Geotechnical Engineering Investigation**

This report has been prepared at the request of our client for his use on this project. Our professional services have been performed, findings obtained, and recommendations prepared in accordance with generally accepted geotechnical engineering principles and practices. This warranty is in lieu of all other warranties either expressed or implied.

The scope of our services did not include any environmental assessment or investigation for the presence or absence of wetlands, hazardous or toxic materials in the soil, groundwater, or surface water within or beyond the site studied. Any statements in this report or on the test borings logs regarding vegetation types, odors or staining of soils, or other unusual conditions observed are strictly for the information of our client and the owner.

This report may not contain sufficient information for purposes of other parties or other uses. This company is not responsible for the independent conclusions, opinions or recommendations made by others based on the field and laboratory data presented in this report. Should there be any significant differences in structural arrangement, loading or location of the structure, our analysis should be reviewed.

The recommendations provided herein were developed from the information obtained in the test borings, which depict subsurface conditions only at specific locations. The analysis, conclusions, and recommendations contained in our report are based on site conditions as they existed at the time of our exploration. Subsurface conditions at other locations may differ from those occurring at the specific drill sites. The nature and extent of variations between borings may not become evident until the time of construction. If, after performing on-site observations during construction and noting the characteristics of any variation, substantially different subsurface conditions from those encountered during our explorations are observed or appear to be present beneath excavations we must be advised promptly so that we can review these conditions and reconsider our recommendations where necessary.

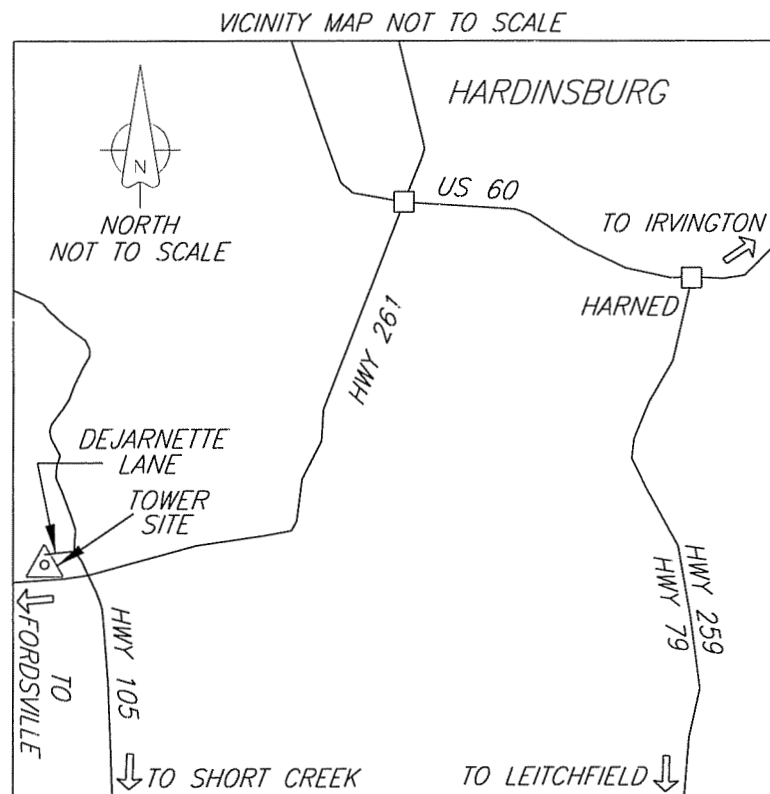
If there is a substantial lapse of time between the submission of our report and the start of work at the site, or if conditions have changed due to natural causes or construction operations at or adjacent to the site, we urge that our report be reviewed to determine the applicability of the conclusions and recommendations considering the changed conditions and time lapse.

We urge that Patriot be retained to review those portions of the plans and specifications that pertain to earthwork and foundations to determine whether they are consistent with our recommendations. In addition, we are available to observe construction, particularly the compaction of structural backfill and preparation of the foundations, and such other field observations as may be necessary.

In order to fairly consider changed or unexpected conditions that might arise during construction, we recommend the following verbiage (Standard Clause for Unanticipated Subsurface Conditions) be included in the project contract.

# BLUEGRASS CELLULAR

## VICINITY MAP



### DIRECTIONS TO SITE

FROM THE SOUTH SIDE OF HARDINSBURG, KENTUCKY AT INTERSECTION OF US-60 AND KY-261: TRAVEL SOUTHWEST ON KY-261 FOR 5.6 MILES TO KY-105, TURN RIGHT ON TO KY-105 AND TRAVEL NORTH FOR 0.3 MILES TO DEJARNETTE LANE. TURN LEFT ON TO DEJARNETTE LANE AND TRAVEL 0.25 MILES TO TOWER SITE ON LEFT.

### SITE DATA

**PROPERTY OWNER:** ORVILLE STACY & JUDI TAUL  
5811 N HWY 105  
HARDINSBURG, KY. 40143  
270-617-0381 (CELL)

**TOWER OWNER:** BLUEGRASS CELLULAR  
(270) 769-0339

**POWER COMPANY:** MEADE CO. RECC  
(270) 756-5172

**BLUEGRASS PROJECT SUPERVISOR:** JEFF BREWER (270) 734-3436

**TELEPHONE COMPANY:** AT&T  
(866) 620-6000

SITE NAME: MCQUADY SITE

911 ADDRESS: 245 DEJARNETTE LANE  
MCQUADY, KY. 40153

COUNTY: BRECKINRIDGE CO.

TOWER LATITUDE & LONGITUDE

N 37°42'39.29" W 86°31'34.64"

### APPROVAL SIGNATURES

BLUEGRASS CELLULAR  
PROJECT SUPERVISOR: \_\_\_\_\_  
DATE: \_\_\_\_\_

CITY REPRESENTATIVE: \_\_\_\_\_  
TITLE: \_\_\_\_\_  
DATE: \_\_\_\_\_

PROPERTY OWNER/OWNERS: \_\_\_\_\_  
DATE: \_\_\_\_\_

TOWER OWNER/OWNERS: \_\_\_\_\_  
DATE: \_\_\_\_\_

### SHEET INDEX

SHEET NO.	DESCRIPTION	REVISIONS
TITLE SHEET	TITLE SHEET	
SURVEY	SURVEY	
A-1	SITE PLAN	
A-2	FENCE DETAILS	
ANTENNA DETAILS 1	ANT. SPECS/TOWER ELEV.	
ANTENNA DETAILS 2	ANTENNA DETAILS 2	
E-1	ELECTRICAL SITE PLAN	
E-2	ELECTRICAL DETAILS	
LYNCOLE	LYNCOLE GROUNDING	
E-3	ELEC. PLAN- GROUNDING	
E-4	GROUNDING DETAILS	
S-1	FOUNDATION DETAILS	
GENERATOR DETAIL	GENERATOR DETAIL	
GENERAL NOTES	GENERAL NOTES	

TURNER ENGINEERING, INC  
DIVISION OF NEW BANKS, INC.  
5735 NORTH DIXIE HIGHWAY  
ELIZABETHTOWN, KY 42701  
P (270) 737-3232 F (270) 769-5497

NO.	DATE	DESCRIPTION	BY

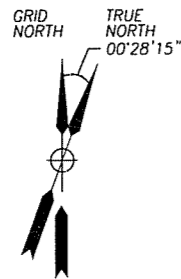
BLUEGRASS CELLULAR  
2902 RING ROAD  
ELIZABETHTOWN, KY 42701  
270-769-0339

STANDARD CELLULAR SITE  
MCQUADY SITE  
245 DEJARNETTE LANE, MCQUADY, KY. 40153  
DRAWN BY: JLYNCH LSIT  
DATE: 12/01/09 SCALE 1"=100'

SHEET NUMBER  
TITLE SHEET

**BASIS OF BEARINGS**

THE BEARING SYSTEM OF THIS SURVEY IS BASED UPON GPS OBSERVATIONS MADE ON SEPT. 29, 2009 USING THE NATIONAL GEODETIC SURVEY SERVICE "OPUS" AND THE KENTUCKY STATE PLANE COORDINATE SYSTEM, SOUTH ZONE 1602, NAD 1983 (GORS 1996). THIS SYSTEM IS GRID NORTH.



**POWER LOCATION INFORMATION**

DESIGNATION: MCQUADY SITE  
 SITE ID#: NONE  
 HORIZONTAL DATUM: NAD 1983 (GORS 96)  
 LATITUDE: 37°42'39.29" NORTH  
 LONGITUDE: 86°31'34.64" WEST  
 VERTICAL DATUM: NAVD 1988  
 GROUND ELEVATION: 716.09 FEET OR (218.26 METERS)  
 STATE PLANE COORDINATES  
 NORTHING: 2,142,909.52 FEET (653,160.129 METERS)  
 EASTING: 1,415,853.22 FEET (431,552.925 METERS)

**PROPERTY OWNER INFORMATION**

LANDOWNER: ORVILLE STACY & JUDI TAU  
 ADDRESS: 5811 N HWY 105  
 HARDINSBURG, KENTUCKY 40143  
 CONTACT PERSON: ORVILLE STACY TAU  
 CELL PHONE: 270-617-0361  
 PVA MAP # 047-00-00-015A

**PROJECT BENCHMARK**

NORTHING: 2,142,945 FEET (653,171.05 METERS)  
 EASTING: 1,415,874 FEET (431,589.81 METERS)  
 ELEVATION: 712.15 FEET (217.06 METERS)  
 DESCRIPTION: A 1/2" STEEL REBAR SET WITH A RED TRAVERSE CAP, ON THE WEST SIDE OF THE WESTERN MOST SILO ALONG THE SOUTH SIDE OF DEJARNETTE LANE. SAID REBAR BEING APPROX 10' WEST OF SAID SILO APPROX 37' SOUTH OF THE CENTERLINE OF DEJARNETTE LANE, AND N73°31'10"E A DISTANCE OF 126.18' FROM THE CENTER OF THE TOWER.

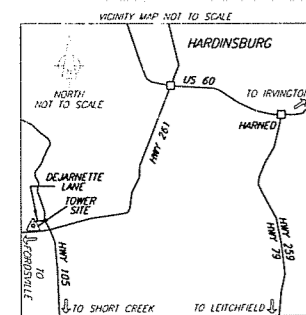
**PROPOSED SELF-SUPPORT TOWER**

LATITUDE: 37°42'39.29" NORTH (NAD 1983)  
 LONGITUDE: 86°31'34.64" WEST (NAD 1983)  
 GROUND ELEVATION: 716.09 ft or (218.263 m) (NAVD 1988)

**FLOOD PLAIN NOTE**

ACCORDING TO THE FEMA WEB SITE, THE FLOOD INSURANCE RATE INDEX MAP FOR THE UNINCORPORATED AREAS OF BRECKINRIDGE COUNTY, KENTUCKY, SHOWS THAT THE COMMUNITY PANEL IN WHICH THE SITE LIES (PANEL NO 21027C 0325C) WAS PRINTED 05/04/2008 AND NO FLOOD HAZARD AREAS EXIST WITHIN THE SITE AREA THEREFORE, THE SITE DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD AREA ACCORDING TO FEMA.

**COUNTY MAP**



**DIRECTIONS TO SITE**

FROM THE SOUTH SIDE OF HARDINSBURG, KENTUCKY AT INTERSECTION OF US-60 AND KY-261, TRAVEL SOUTHWEST ON KY-261 FOR 5.6 MILES TO KY-105 TURN RIGHT ON TO KY-105 AND TRAVEL NORTH FOR 0.3 MILES TO DEJARNETTE LANE, TURN LEFT ON TO DEJARNETTE LANE AND TRAVEL 0.25 MILES TO TOWER SITE ON LEFT.

BARN (FALLING DOWN)

1 THIS SURVEY IS SUBJECT TO A STATEMENT OF FACTS WHICH MAY BE DISCLOSED BY AN ABSTRACT OF TITLE OR A TITLE COMMITMENT POLICY THIS DOCUMENTATION WAS NOT PROVIDED BY THE CLIENT

2 NO SEARCH OF PUBLIC RECORDS HAS BEEN PERFORMED BY THIS FIRM TO DETERMINE ANY DEFECTS AND/OR AMBIGUITIES IN THE TITLE OF THE PARENT TRACT

3 THE UTILITIES SHOWN ON THIS PLAT MAY OR MAY NOT REPRESENT ALL THE UTILITIES LOCATED ON THE SUBJECT SITE THE PRESENCE OF THE EXISTING UTILITIES SHOWN WAS DETERMINED BY A VISUAL INSPECTION OF THE PROPERTY SURFACE NO UTILITY LOCATE WAS CALLED IN PRIOR TO THIS SURVEY IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ANY UTILITIES PRESENT PRIOR TO CONSTRUCTION

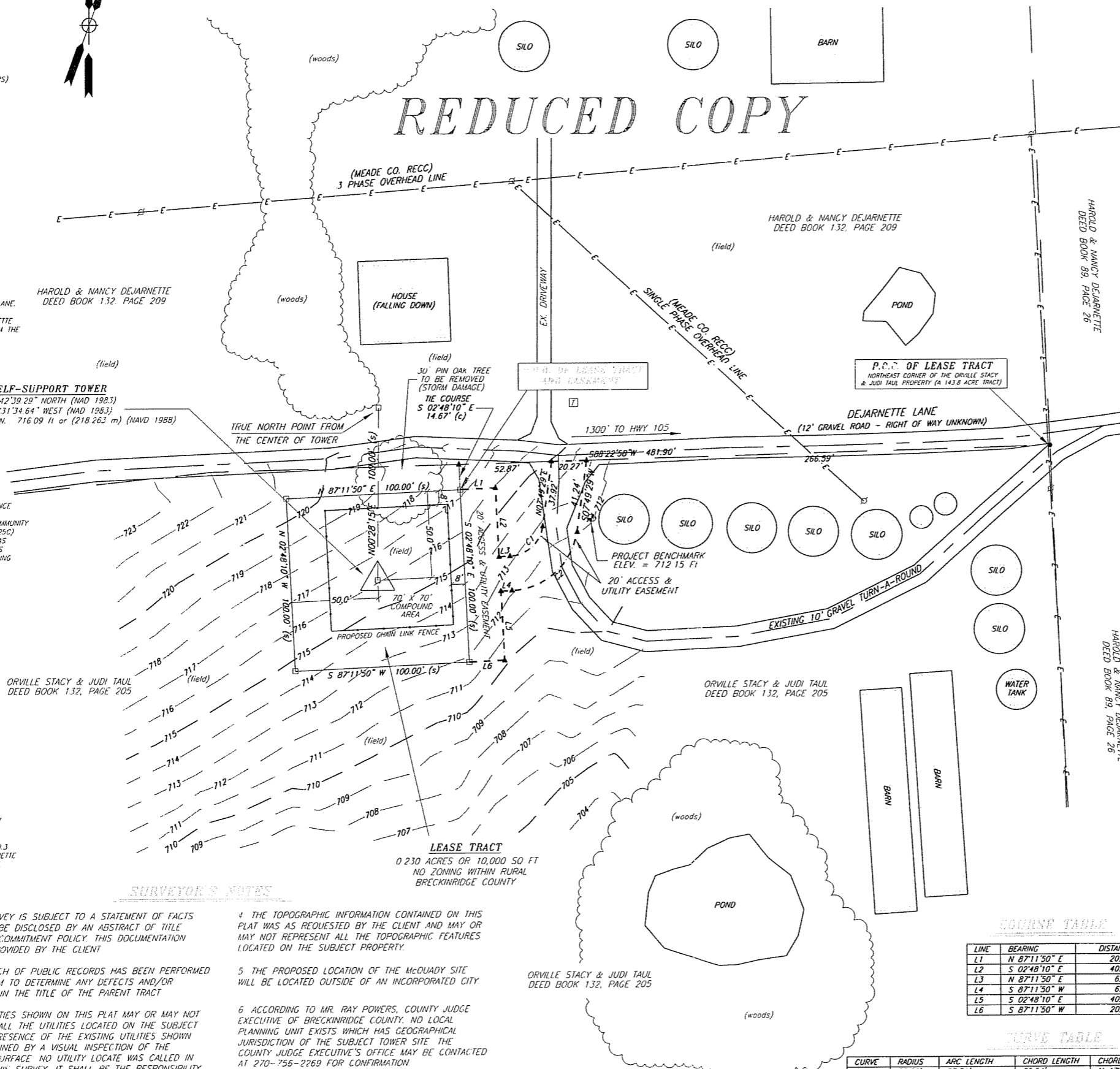
4 THE TOPOGRAPHIC INFORMATION CONTAINED ON THIS PLAT WAS AS REQUESTED BY THE CLIENT AND MAY OR MAY NOT REPRESENT ALL THE TOPOGRAPHIC FEATURES LOCATED ON THE SUBJECT PROPERTY.

5 THE PROPOSED LOCATION OF THE MCQUADY SITE WILL BE LOCATED OUTSIDE OF AN INCORPORATED CITY

6 ACCORDING TO MR. RAY POWERS, COUNTY JUDGE EXECUTIVE OF BRECKINRIDGE COUNTY, NO LOCAL PLANNING UNIT EXISTS WHICH HAS GEOGRAPHICAL JURISDICTION OF THE SUBJECT TOWER SITE THE COUNTY JUDGE EXECUTIVE'S OFFICE MAY BE CONTACTED AT 270-756-2269 FOR CONFIRMATION

**SITE: MCQUADY  
 LEASE BOUNDARY & TOPOGRAPHIC SURVEY  
 BRECKINRIDGE COUNTY, KENTUCKY**

REDUCED COPY



**LEASE BOUNDARY & EASEMENT DESCRIPTION**

A tract of land this is located approx 20' south of the centerline of DeJarnette Lane and approx 0.25 miles west of the intersection of Ky Hwy 105 in Breckinridge County, Kentucky and being further described as follows:

UNLESS stated otherwise, any monument referred to herein as a "set rebar" is a 1/2" diameter rebar pin twenty four inches (24") in length with a yellow plastic survey cap stamped "G.S. Turner PLS 2153"

COMMENCING AT a steel pipe found without an id cap on the south side of DeJarnette Lane (approx 20' from center) and being the northeast corner of the Orville Stacy & Judi Taul tract, as recorded in the office of the County Clerk of Breckinridge County, Kentucky THENCE with the north lines of Taul and the south side of DeJarnette Lane South 88°22'58" West 339.73' to an unmarked point on the south side of DeJarnette Lane and in the north line of Taul, THENCE severing Taul South 02°48'10" East 14.67' to a set rebar and being the true

POINT OF BEGINNING, THENCE South 02°48'10" East 100.00' to a set rebar, THENCE South 87°11'50" West 100.00' to a set rebar, THENCE North 02°48'10" West 100.00' to a set rebar, THENCE North 87°11'50" East 100.00' to the point of beginning and containing 0.230 acres (10,000 sq ft), more or less

TOGETHER WITH an access and utility easement from the above described 0.230 acre lease tract to DeJarnette Lane said easement being described as follows: BEGINNING AT a set rebar of the northeast corner of the 0.230 acre lease tract THENCE leaving the 0.230 acre lease tract and following the north side of the easement North 87°11'50" East 20.00' to an unmarked point, THENCE South 02°48'10" East 40.00' to an unmarked point, THENCE North 87°11'50" East 6.21' to an unmarked point, THENCE with a curve to the left having a chord bearing of North 47°30'40" East, a chord distance of 25.54', and a radius of 20.00' to an unmarked point, THENCE North 07°49'29" East 37.92' to an unmarked point on the south side of DeJarnette Lane, THENCE with the south side of DeJarnette Lane North 88°22'58" East 20.27' to an unmarked point on the south side of DeJarnette Lane, THENCE leaving DeJarnette Lane and following the south side of the easement South 07°49'29" West 41.24' to an unmarked point, THENCE with a curve to the right having a chord bearing of South 47°30'40" West, a chord distance of 51.09', and a radius of 40.00' to an unmarked point, THENCE South 87°11'50" West 6.21' to an unmarked point, THENCE South 02°48'10" East 40.00' to an unmarked point, THENCE South 87°11'50" West 20.00' to a set rebar, said rebar being the southeast corner of the 0.230 acre lease tract, THENCE with the east line of the 0.230 acre lease tract North 02°48'10" West 100.00' to the point of beginning.

The bearing system of these descriptions is based upon the Kentucky State Plane Coordinate System, South Zone, NAD 1983, as determined by G.P.S. observations made on Sept 29, 2009 using the National Geodetic Survey Program "OPUS". These descriptions are based upon a survey completed by New Banks, Inc. DBA Turner Engineering and Land Surveying and certified by Glenn S. Turner, PLS 2153, on Oct 03, 2009. This survey is hereby referenced and made a part of these descriptions.

SOURCE OF TITLE: Being a portion of and lying entirely within the land described in deed to Orville Stacy & Judi Taul in Deed Book 132, Page 205 in the office of the county clerk of Breckinridge County, Kentucky.

**SURVEYORS CERTIFICATION**

I HEREBY CERTIFY THAT THE SURVEY DEPICTED BY THIS PLAT WAS DONE BY PERSONS UNDER MY DIRECT SUPERVISION BY THE METHOD OF RANDOM TRAVERSE WITH SIDESHOTS THE UNADJUSTED PRECISION RATIO OF THE TRAVERSE WAS 1:36,500 AND WAS NOT ADJUSTED. THE BEARINGS AND DISTANCES SHOWN ON THIS PLAT ARE BASED ON SAID UNADJUSTED TRAVERSE. THE SURVEY HEREON IS A CLASS "B" RURAL SURVEY AND THE ACCURACY AND PRECISION OF SAID SURVEY MEETS ALL THE SPECIFICATIONS OF THIS CLASS BASIS OF BEARINGS KY SOUTH ZONE 1602

I FURTHER CERTIFY THAT THIS PLAT WAS PREPARED BY ME OR UNDER MY DIRECTION, THAT ALL MONUMENTS INDICATED HEREON DO ACTUALLY EXIST AND THAT THEIR LOCATIONS, SIZES, AND MATERIALS ARE CORRECTLY INDICATED AND THAT THE INFORMATION SHOWN HEREON IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

DATE OF SIGNATURE: 09/29/2009  
 DATE OF FIELD SURVEY: 10/03/2009  
 DATE OF FINAL PLAT: 10/03/2009

GLENN S. TURNER, LICENSED PROFESSIONAL LAND SURVEYOR #2153

**LEGEND**

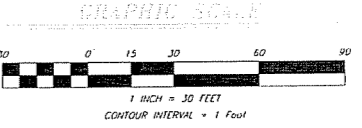
- 1/2" x 24" SET REBAR WITH AN ID CAP STAMPED "G.S. TURNER PLS 2153"
- EXISTING STEEL PIPE WITHOUT AN ID CAP
- UNMARKED RIGHT OF WAY POINTS
- UTILITY POLES
- LEASE BOUNDARY
- OTHER BOUNDARIES
- EASEMENT BOUNDARY
- PROPOSED CHAIN LINK FENCE
- BUILDING SETBACK LINES
- OVERHEAD ELECTRIC LINE
- TELEPHONE PEDSTAL

**COURSE TABLE**

LINE	BEARING	DISTANCE
L1	N 87°11'50" E	20.00'
L2	S 02°48'10" E	40.00'
L3	N 87°11'50" E	6.21'
L4	S 87°11'50" W	6.21'
L5	S 02°48'10" E	40.00'
L6	S 87°11'50" W	20.00'

**CURVE TABLE**

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	20.00'	27.71'	25.54'	N 47°30'40" E	79°22'22"
C2	40.00'	55.41'	51.09'	N 47°30'40" E	79°22'22"



REVISIONS

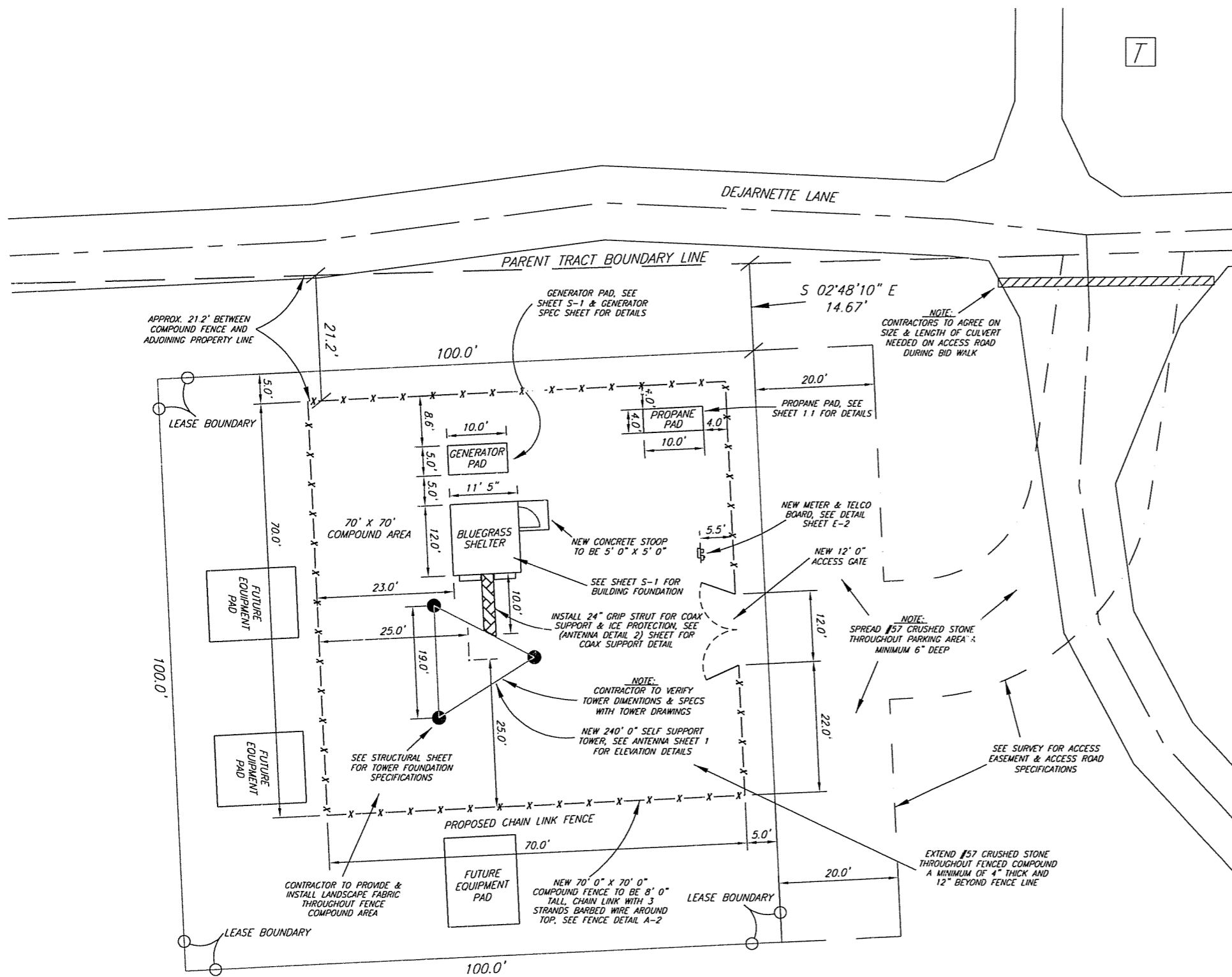
NO.	DATE	DESCRIPTION
1	10/20/09	REVISION TO PLANNING NOTE
2	11/04/09	REVISION TO PLAT LAYOUT

**TURNER ENGINEERING, INC.**  
 DIVISION OF NEW BANKS, INC.  
 5735 NORTH DIXIE HIGHWAY  
 ELIZABETHTOWN, KY 42701  
 PH: (270) 737-3232 FAX (270) 768-5497

LEASE BOUNDARY SURVEY  
 245 DEJARNETTE LANE  
 MCQUADY, KENTUCKY 40153

PREPARED FOR:  
**BLUEGRASS CELLULAR**  
 2902 RING ROAD  
 ELIZABETHTOWN, KY 42701

DRAWN BY: J. LYNCH  
 DATE: 10/03/2009  
 SCALE: 1" = 30'  
 SHEET 1 OF 1



## GENERAL NOTES

- 1) EQUIPMENT PICK-UP AND DELIVERY TO SITE FROM BLUEGRASS CELLULAR STAGING FACILITY TO BE THE CONTRACTORS RESPONSIBILITY, INCLUDING CRANE SET AND ALL COST INCURRED.
- 2) FOR BUILDING AND ALL CONCRETE PAD DETAILS REFER TO STRUCTURALS AND SHEET S-1
- 3) ALL CONCRETE TO HAVE SPECIFIED COATED SEALANT PER STRUCTURAL RECOMMENDATIONS.
- 4) ANY DAMAGE DUE TO CONSTRUCTION, TO BE REPAIRED OR REPLACED TO ORIGINAL CONDITION. (SUBJECT TO BLUEGRASS CELLULAR'S APPROVAL)
- 5) ANY DAMAGE TO NATURAL SURROUNDINGS INCLUDING BUT NOT LIMITED TO, GRASS, TREES, LANDSCAPING, ETC.. TO BE REPAIRED OR REPLACED TO ORIGINAL CONDITION AT BLUEGRASS CELLULAR'S APPROVAL.
- 6) ROADWAYS TO BE GRADED SMOOTH AND EVEN, REMOVING ALL POTHOLES. ROADS TO HAVE PROPER DRAINAGE AND RUNOFF PER BLUEGRASS CELLULAR'S APPROVAL.
- 7) ANY RELOCATION OF EXISTING UTILITIES TO BE DONE IN ACCORDANCE WITH LOCAL CODES AND RECOMMENDATIONS, CONSULTING ALL UTILITY COMPANIES INVOLVED FOR APPROVAL AND SPECIFICATIONS REQUIRED.
- 8) FOR GRADING DETAILS, SEE GENERAL WORKSHEET.
- 9) CONTRACTOR TO FIELD VERIFY ALL TOWER DIMENSIONS WITH TOWER MANUFACTURER PRIOR TO JOB BIDDING OR START OF ANY CONSTRUCTION.
- 10) CONTRACTOR RESPONSIBLE FOR APPLYING FOR SERVICE TO SITE AND PAYING ANY FEES REQUIRED FOR PERMITS, HOOKUPS, ETC.....

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NO.	DATE	REVISIONS	DESCRIPTION	BY

**BLUEGRASS CELLULAR**  
 2902 RING ROAD  
 ELIZABETHTOWN, KY 42701  
 270-769-0339

STANDARD CELLULAR SITE  
 MCQUADY SITE  
 245 DEJARNETTE LANE, MCQUADY, KY. 40153  
 DRAWN BY: JLYNCH LSIT  
 DATE: 12/01/09 SCALE 1"=20'

SHEET NUMBER  
 A-1

## SITE PLAN

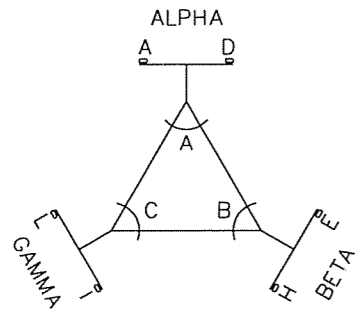
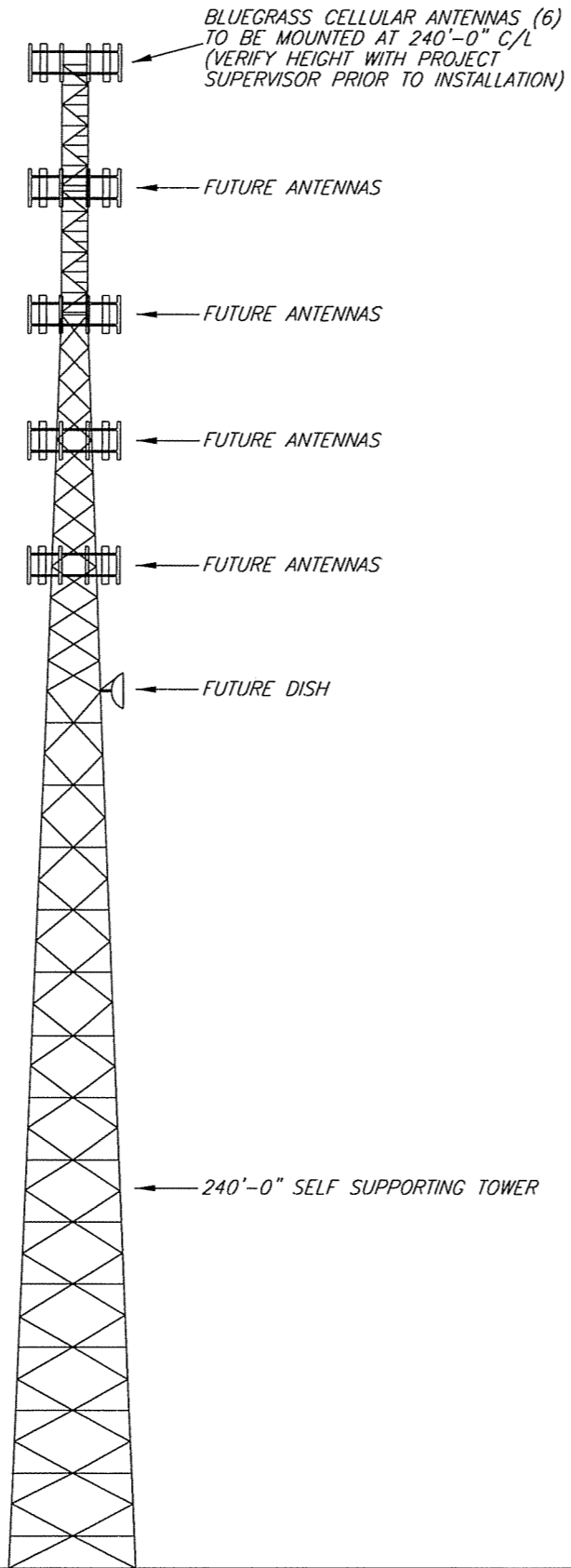
SCALE: 1" = 20'





# BLUEGRASS CELLULAR GENERAL NOTES & ANTENNA SPECS

- ALL LINES AND ANTENNAS TO BE PROPERLY MOUNTED TO TOWER OR STRUCTURE PER BLUEGRASS CELLULAR SPECIFICATIONS.
- ALL GROUND BARS TO BE INSTALLED AND CAD WELDED TO GROUND FIELD (WHERE REQUIRED)
- ALL LINES TO BE GROUNDED AT THE TOP AND BASE OF STRUCTURE OR TOWER.
- ALL LINES TO BE GROUNDED AT THE ENTRANCE OF SHELTER BEFORE WAVE GUIDE PORTS. (EXTERIOR OF BUILDING)
- LINES ARE TO BE SECURED TO ICE BRIDGE
- WAVE-GUIDE BOOTS ARE TO BE INSTALLED ON ALL LINES (BOTH INSIDE AND OUTSIDE)
- ALL COAX CONNECTIONS ARE TO BE WEATHER PROOFED
- INVENTORY OF ALL MATERIAL IS TO BE DONE PRIOR TO INSTALLATION BY CONTRACTOR. (LIST WILL BE PROVIDED)
- ALL TRASH AND REFUGE IS TO BE PROPERLY DISPOSED OF FROM SITE
- CONTRACTOR TO EXTEND HARD LINES INTO BUILDING 12" AND INSTALL POLYPHASERS, PER INSTRUCTION OF PROJECT SUPERVISOR.
- CONTRACTORS TO SUPPLY POLYPHASERS OR LIKE UNITS TO BE INSTALLED AND GROUNDED TO THE GROUND BAR INSIDE BUILDING AT WAVE GUIDE ENTRANCE. GO TO SUPPLY GROUND CABLE AND LUGS.
- GENERAL CONTRACTOR TO MOUNT ANTENNA MOUNTS AT TOP OF STRUCTURE OR TOWER BY BLUEGRASS CELLULAR SPECIFICATIONS.
- ICE BRIDGE TO BE SUPPLIED AND INSTALLED BY GENERAL CONTRACTOR. (ADDITIONAL ICE BRIDGE IF NEEDED)
- TRAPEZE KIT TO BE SUPPLIED AND INSTALLED BY GENERAL CONTRACTOR.
- CONTRACTOR TO INSTALL GPS BRACKET



VERIFY ANTENNA ORIENTATION WITH ANTENNA SPECIFICATIONS

**SELF SUPPORT TOWER ELEVATION (TYPICAL)**

TOWER HEIGHT & TYPE	
240'-0" SELF SUPPORT TOWER	

ANTENNA SPECS <span style="float: right;">***VERIFY WITH PROJECT SUPERVISOR</span>					
	TYPE	SIZE L x W x D	NUMBER	AZIMUTH	MOUNTING HEIGHT
ANTENNA (PRIMARY)	AP13-880-850D ADT-XP	78.6 x 10.3 x 4.6	6	0°, 120°, 240°	***240'-0" C/L
ANTENNA (SECONDARY)					

ANTENNA MOUNTING HARDWARE SPECS			
	TYPE	SIZE	NUMBER
MOUNT (PRIMARY)	TRI-SECTOR MOUNT		3
MOUNT (SECONDARY)			

ANTENNA TRANSMISSION LINES SPECS			
	TYPE	SIZE	NUMBER
TRANSMISSION LINE (PRI)	ANDREW	1 5/8"	6
TRANSMISSION LINE (SEC)			

DISH SPECS					
	MICROWAVE / DONOR	SIZE	NUMBER	AZIMUTH	MOUNTING HEIGHT
DISH #1	TPG-QF4-52-N				
DISH #2					

DISH MOUNT SPECS			
	TYPE	SIZE	NUMBER
MOUNT #1			
MOUNT #2			

DISH TRANSMISSION LINES			
	TYPE	SIZE	NUMBER
TRANSMISSION LINE #1			
TRANSMISSION LINE #2			

ANTENNA SYNOPSIS	
* ANTENNA TO HAVE A 2° EAST X,Y,Z	
* ANTENNA FREQUENCY 880.00 - 890.00	

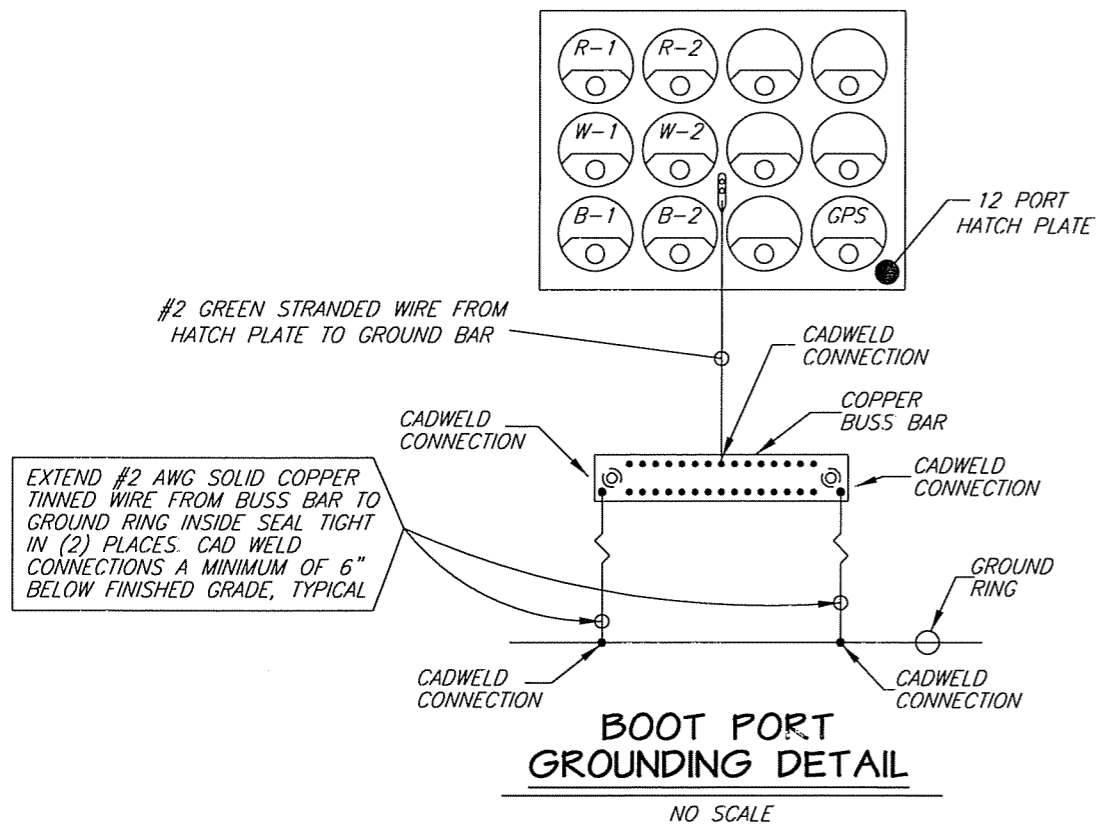
**TURNER ENGINEERING, INC**  
 DIVISION OF NEW BANKS, INC.  
 5735 NORTH DIXIE HIGHWAY  
 ELIZABETHTOWN, KY 42701  
 P (270) 737-3232 F (270) 769-5497

NO.	DATE	DESCRIPTION	BY

**BLUEGRASS CELLULAR**  
 2902 RING ROAD  
 ELIZABETHTOWN, KY 42701  
 270-769-0339

STANDARD CELLULAR SITE  
 MCQUADY SITE  
 245 DEJARNETTE LANE, MCQUADY, KY. 40153  
 DRAWN BY: JLYNCH LSIT  
 DATE: 12/01/09 SCALE NTS



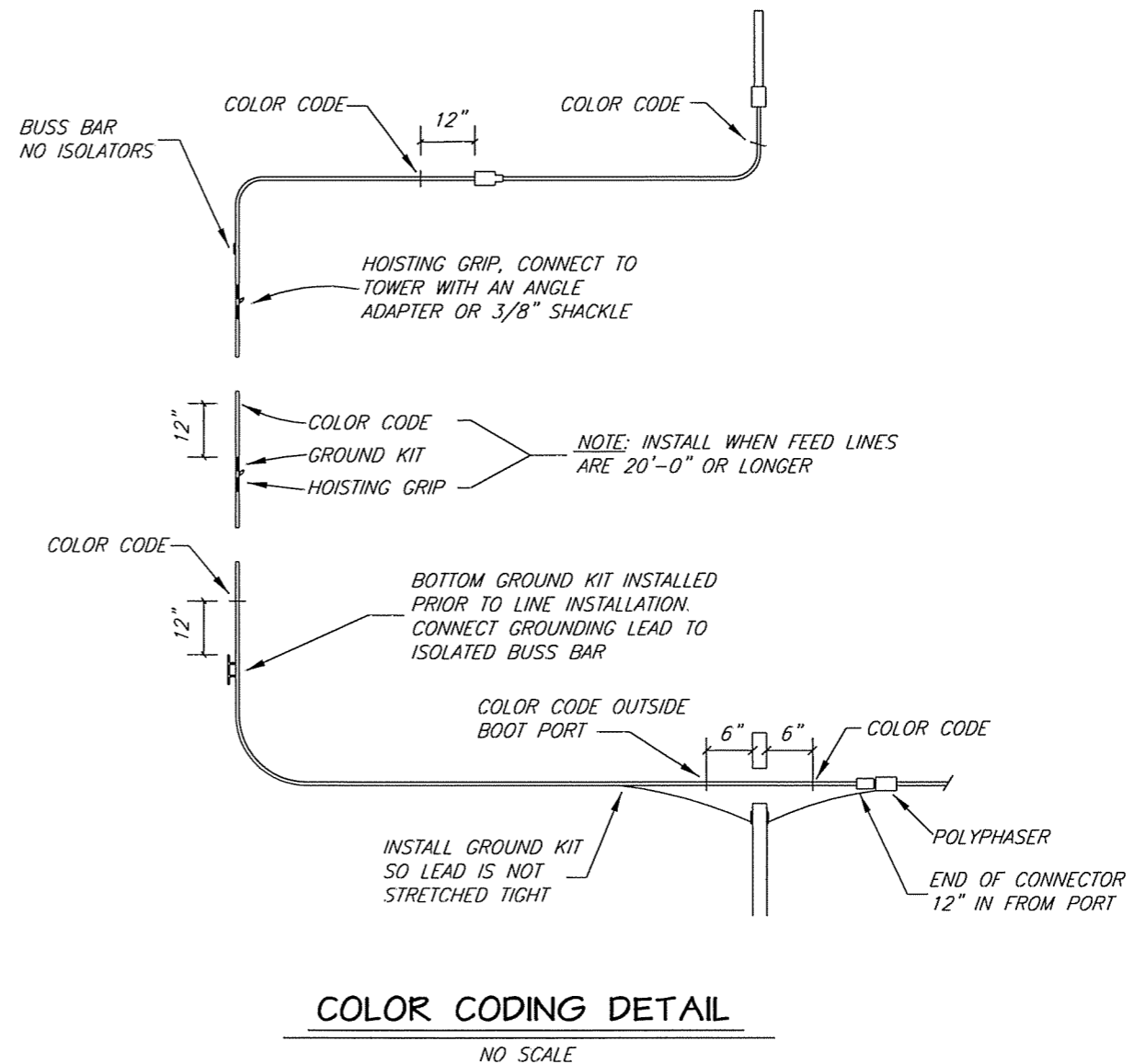
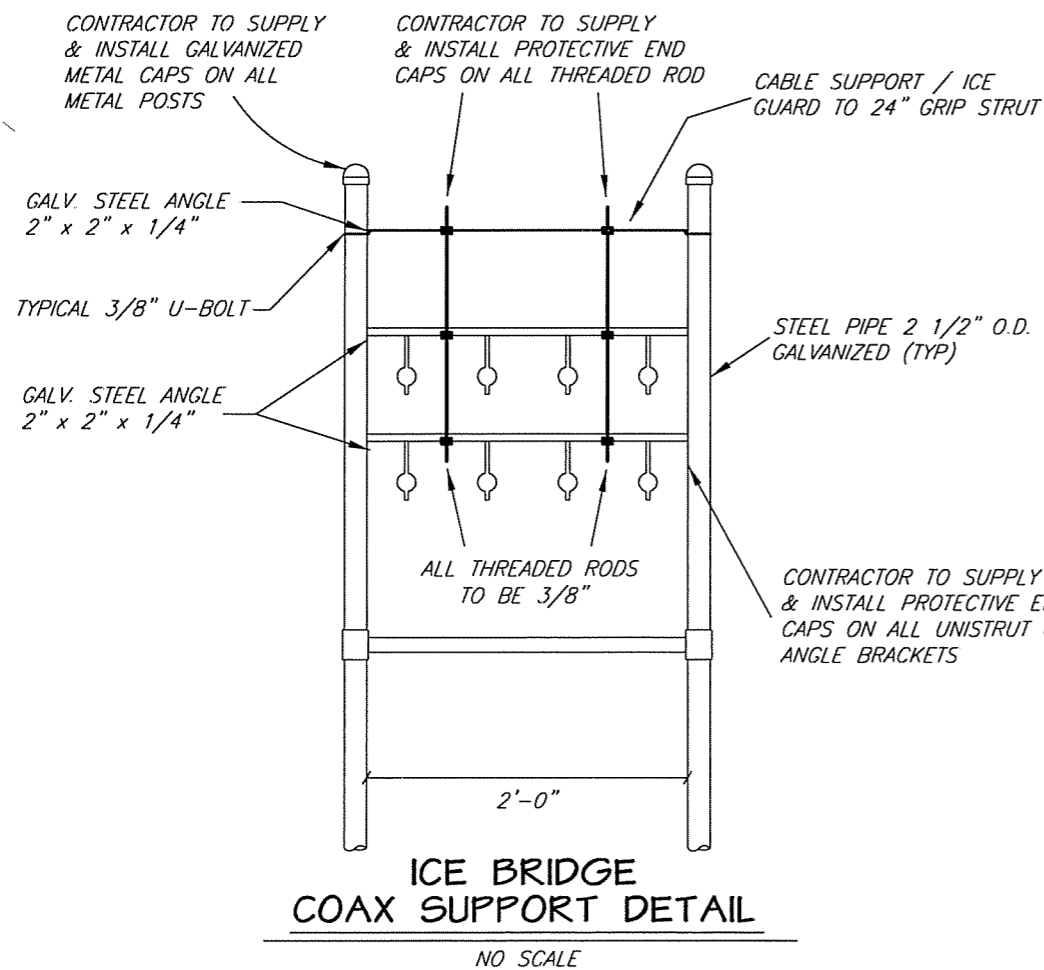


**COAX ENTRY DETAIL A/C SIDE (VIEW FROM INSIDE SHELTER)**

NO SCALE

**COAX ENTRY DETAIL POWER SIDE (VIEW FROM INSIDE SHELTER)**

NO SCALE



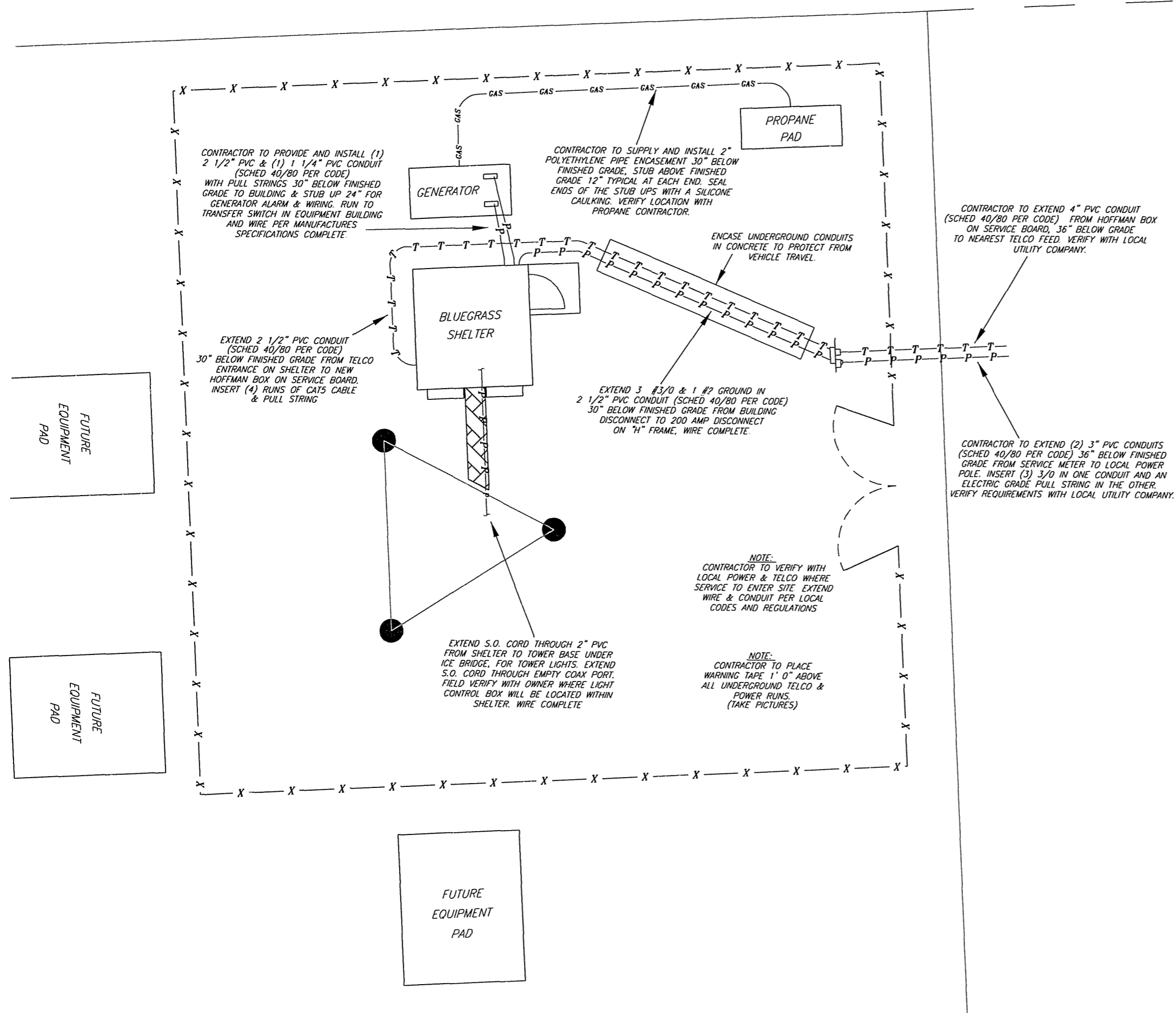
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 ELIZABETHTOWN, KY 42701  
 270-769-0339

**STANDARD CELLULAR SITE**  
**MCQUADY SITE**  
 245 DEJARNETTE LANE, MCQUADY, KY. 40153  
 DRAWN BY: JLYNCH LST  
 DATE: 12/01/09 SCALE 1"=100'

SHEET NUMBER  
**ANTENNA DETAILS**  
 2



**GENERAL ELECTRIC NOTES**

- 1) CONTRACTOR RESPONSIBLE FOR MAKING ALL ARRANGEMENTS WITH THE LOCAL UTILITIES FOR SERVICE AND FEE PAYMENTS REQUIRED TO OBTAIN SERVICE.
- 2) CONTRACTOR RESPONSIBLE FOR MAKING ALL ARRANGEMENTS WITH THE LOCAL TELEPHONE COMPANY FOR SERVICE AND FEE PAYMENTS REQUIRED TO OBTAIN SERVICE.
- 3) GROUND RING TO BE CONTAINED WITHIN THE COMPOUNDS FENCE AREA.
- 4) FENCE TO BE GROUNDED FROM GROUND RING TO ALL CORNER POST & GATES. SPACE FENCE GROUNDING APPROX. 20'-0" O.C. (CADWELD ALL CONNECTIONS)
- 5) ALL GROUND RING CONNECTIONS TO BE AS CLOSE AS POSSIBLE, SHARP BENDS WILL NOT BE PERMITTED AS WELL AS "T" CONNECTIONS, ALL CONNECTIONS TO HAVE A SWEEPING RADIUS OF 8" MINIMUM. GROUNDING CONFIGURATION TO BE IN PARALLEL.
- 6) CONTACT POINTS FOR GROUNDING TO BE CLEARED OF ANY RUST, PAINT, DIRT, ETC. TO CREATE A GOOD BOND FOR CONDUCTOR. AREA THAT HAS BEEN CLEANED TO BE RESEALED TO PREVENT RUSTING.
- 7) PROPERLY GROUND ANY EXPOSED METAL THAT MAY EXIST ON EXTERIOR OF EQUIPMENT SHELTER OR CABINET.
- 8) WHERE GROUND CONDUCTORS REQUIRE MECHANICAL BONDING, STAINLESS STEEL CONNECTORS ARE REQUIRED AT EACH CONNECTING POINT USING LOCK WASHERS.
- 9) CONTRACTOR RESPONSIBLE FOR SEEING THAT UTILITY PERSONNEL MAKE FINAL CONNECTIONS, MAKING SURE THE TOWER ALARM IS CONNECTED AND WORKING. A TELEPHONE NUMBER FOR THE ALARM MUST BE SUPPLIED.
- 10) CONTRACTOR RESPONSIBLE FOR MEG TESTING THE SITE AND SUPPLYING OWNER WITH FINAL READINGS IN OWNERS SPECIFICATIONS.
- 11) IF CONDUIT RUNS BURIED LESS THAN REQUIRED DEPTHS, CONTACT BLUEGRASS CELLULAR FOR FURTHER INSTRUCTIONS.
- 12) CONTRACTOR TO PROVIDE WARNING TAPE IN TRENCHES FOR ALL POWER AND TELCO RUNS UNDER GROUND. TAPE TO BE INSTALLED 1'-0" ABOVE CONDUIT RUNS (CONTRACTOR TO TAKE PICTURES)

**SYMBOLS LEGEND**

- P — POWER
- GAS — GAS
- T — TELEPHONE
- X — FENCE
- ⊞ SWITCH DISCONNECT
- ⊞ METER PACK

**SITE PLAN- ELECTRICAL**

SCALE: 1" = 10'

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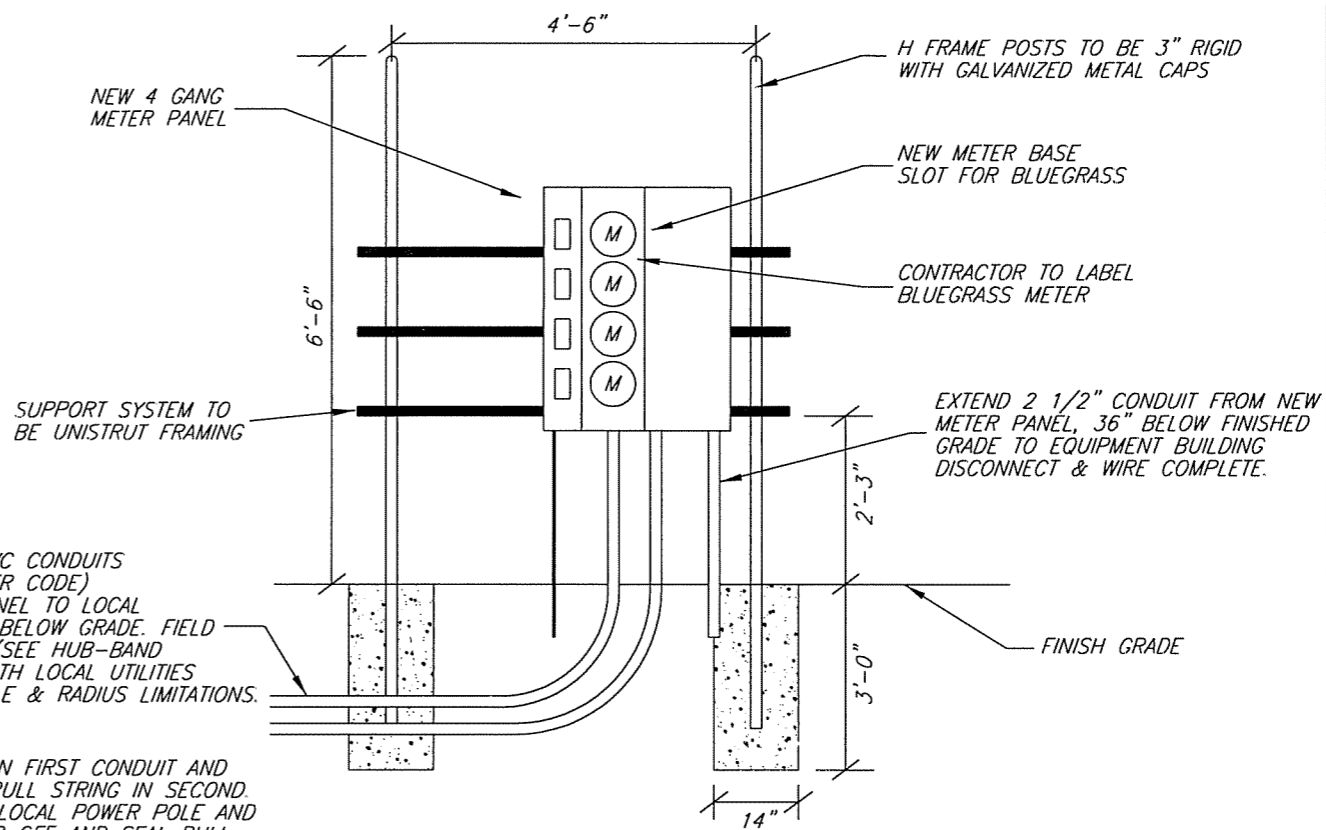
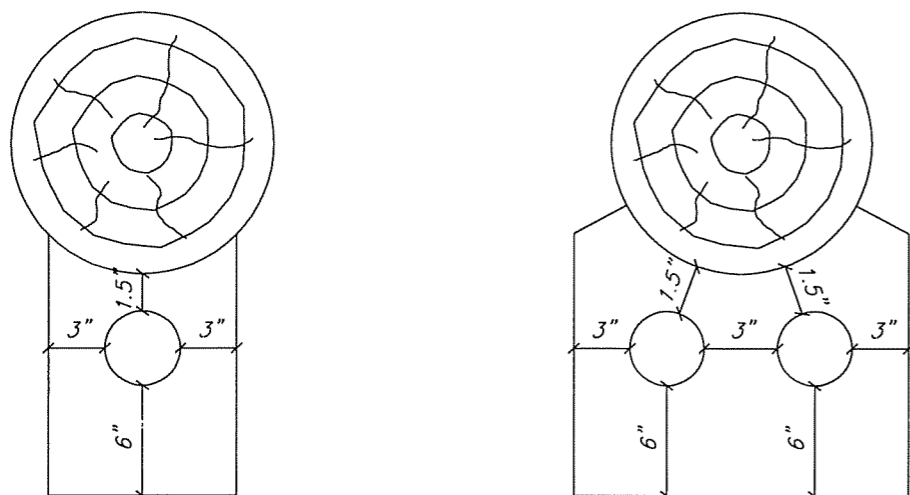
NO.	DATE	REVISIONS	DESCRIPTION	BY

**BLUEGRASS CELLULAR**  
 2902 RING ROAD  
 ELIZABETHTOWN, KY 42701  
 270-769-0339

STANDARD CELLULAR SITE  
 MCQUADY SITE  
 245 DEJARNETTE LANE, MCQUADY, KY. 40153  
 DRAWN BY: JLYNCH LSIT  
 DATE: 12/01/09 SCALE: 1"=10'

**TOP VIEW**

NO SCALE

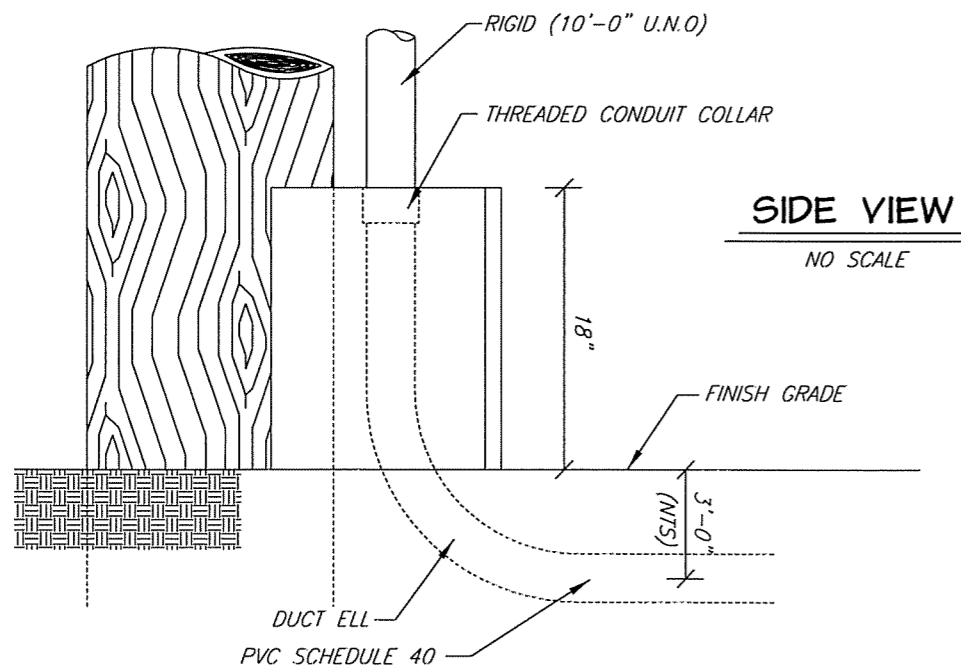


EXTEND (2) 3" PVC CONDUITS (SCHED 40/80 PER CODE) FROM SERVICE PANEL TO LOCAL UTILITY POLE 36" BELOW GRADE. FIELD VERIFY LOCATION (SEE HUB-BAND DETAIL). VERIFY WITH LOCAL UTILITIES FOR PVC SCHEDULE & RADIUS LIMITATIONS.

**NOTE:**  
EXTEND (3) 3/0 IN FIRST CONDUIT AND ELECTRIC GRADE PULL STRING IN SECOND. EXTEND BOTH TO LOCAL POWER POLE AND STUB UP 24". CAP OFF AND SEAL PULL STRING CONDUIT.

**SERVICE BOARD DETAIL**

NO SCALE



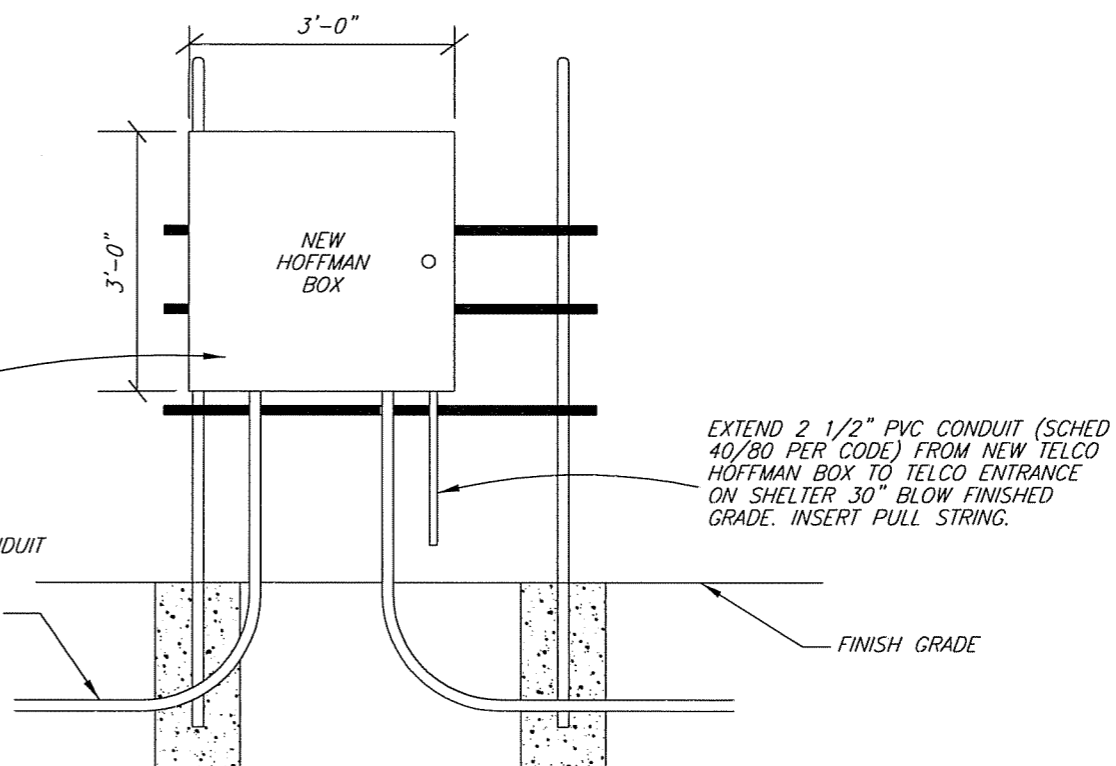
**HUB-BAND DETAIL**

NO SCALE

**NOTE:**  
CONTRACTOR TO SUPPLY FULL SIZE HOFFMAN BOX 3'-0" x 3'-0" MINIMUM, WITH 3/4" PLYWOOD BACKING INSIDE.

CONTRACTOR TO FURNISH & MOUNT HOFFMAN BOX ON BACK SIDE OF SERVICE PANEL FOR FUTURE CELLPACK.

EXTEND 4" SCHED. 40 PVC CONDUIT FROM HOFFMAN BOX 36" BELOW FINISHED GRADE TO EXISTING TELCO FEED OUTSIDE OF FENCED COMPOUND AND STUB UP 12".



**BACKBOARD DETAIL**

NO SCALE

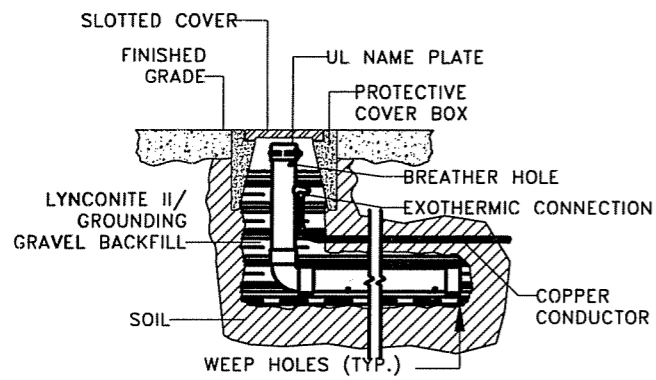
**TURNER ENGINEERING, INC**  
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5735 NORTH DIXIE HIGHWAY  
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P (270) 737-3232 F (270) 769-5497

NO.	DATE	REVISIONS	DESCRIPTION	BY

**BLUEGRASS CELLULAR**  
2902 RING ROAD  
ELIZABETHTOWN, KY 42701  
270-769-0339

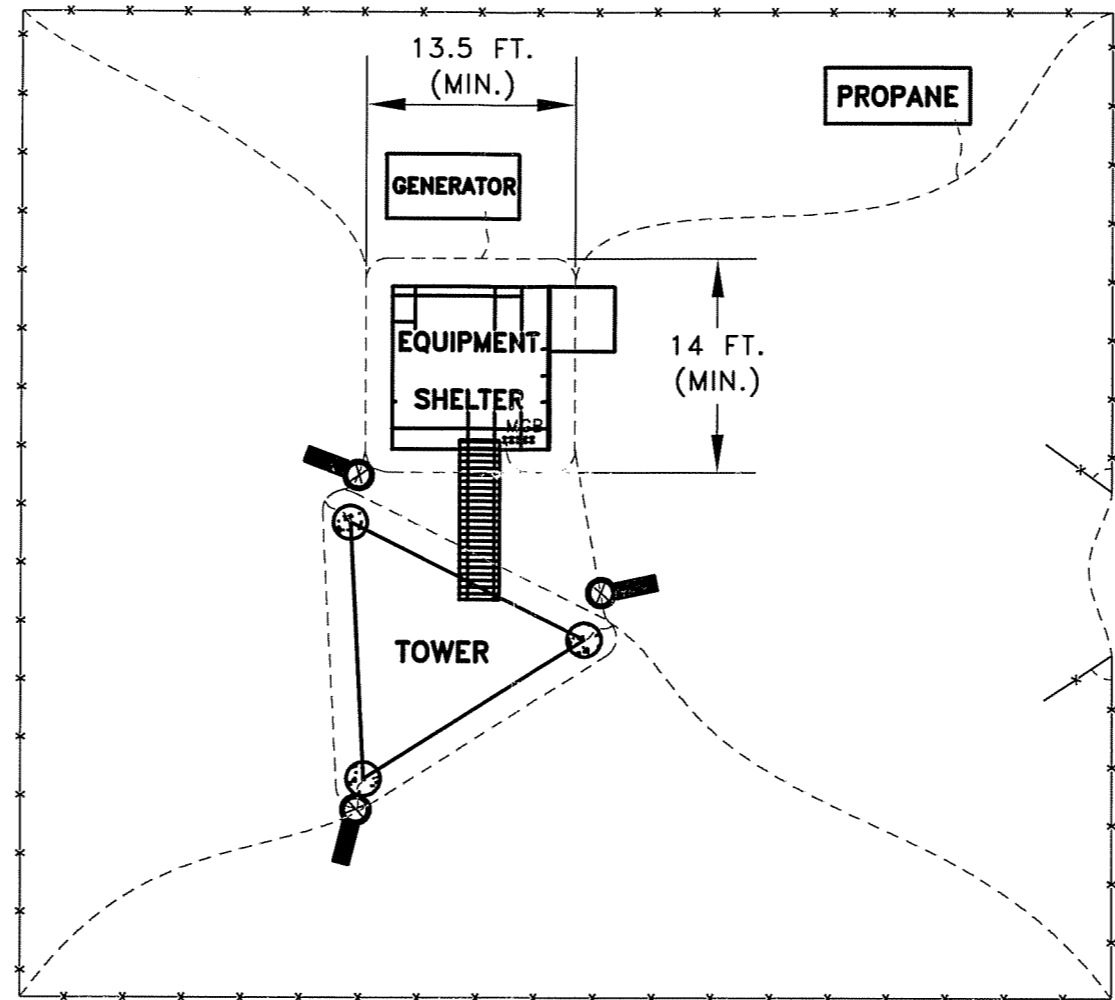
STANDARD CELLULAR SITE  
MCQUADY SITE  
245 DEJARNETTE LANE, MCQUADY, KY. 40153  
DRAWN BY: JLYNCH LSIT  
DATE: 12/01/09 SCALE 1"=100'

SHEET NUMBER  
F-2



L-SHAPE MODEL  
LYNCOLE XIT GROUNDING  
(800) 962-2610

**DETAIL**



**NOTES:**

- x — x — FENCE LINE
- - - - - BARE #2 AWG TINNED SOLID COPPER CONDUCTOR BURIED 30 IN. BELOW GRADE OR 6 IN. BELOW FROST LINE
- ALL BENDS IN GROUND CONDUCTORS TO BE MADE WITH 12 IN. RADIUS OR LARGER
- ⊗ K2L-10CS (SEE DETAIL)



**TECHNICAL SERVICES**  
3547 VOYAGER STREET, SUITE 204  
TORRANCE, CA 90503  
(800)962-2610 FAX (310)214-1114  
ENGINEERING@LYNCOLE.COM

SOIL DATA PROVIDED BY  
PATRIOT ENGINEERING

CLIENT / END USER BLUEGRASS CELLULAR		
DRAWING 1	PROJECT NAME McQUADY	
TITLE GROUNDING OPTION		
LOCATION: CITY, STATE McQUADY, KY	CALCULATED RESISTANCE < 5 OHMS	
DRAWN BY PD	APPROVED BY	DATE 11/17/2009
REFERENCE NUMBER N/A	SCALE NONE	LTS NUMBER 090201

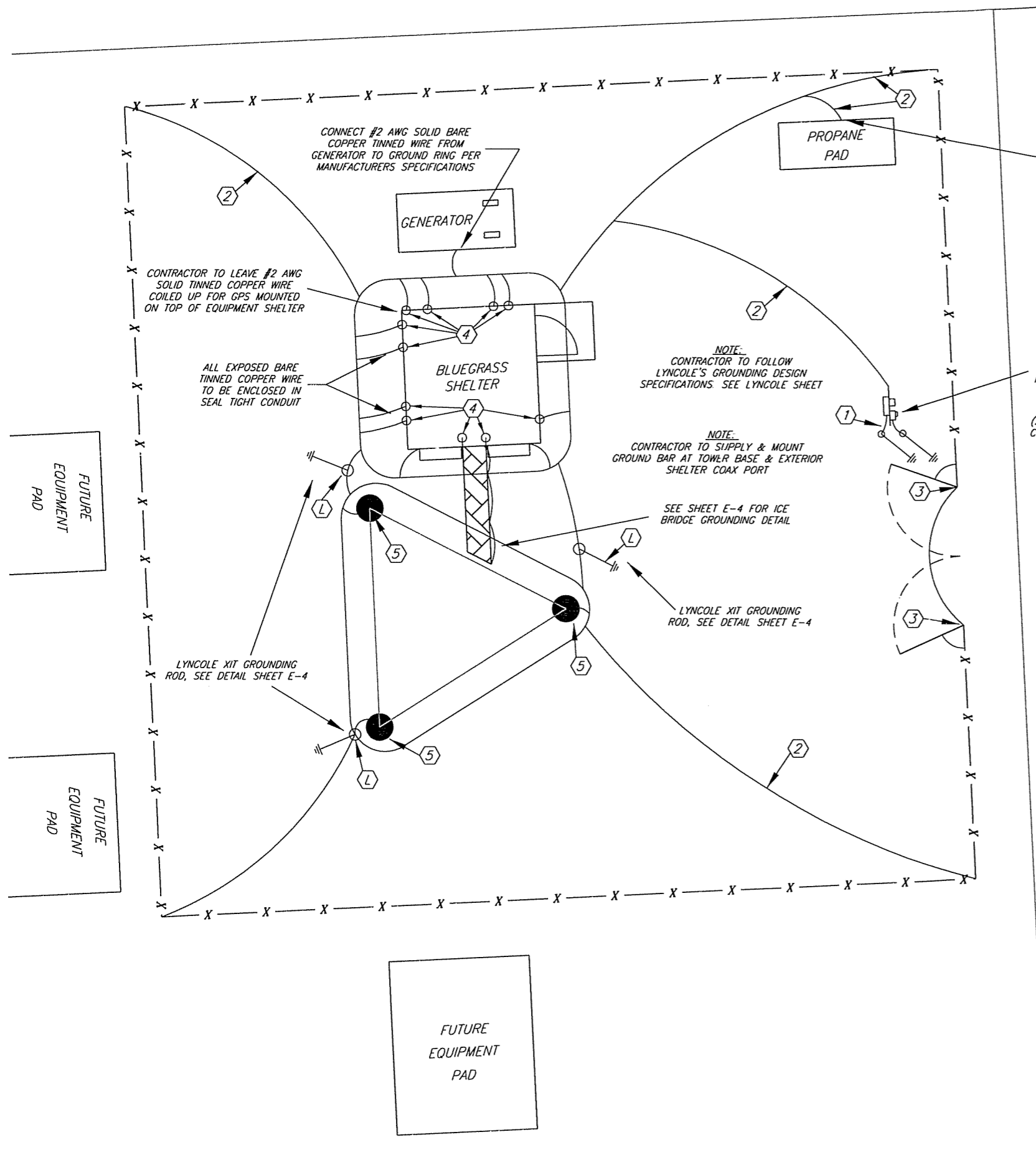
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REVISIONS	
NO.	DESCRIPTION

**BLUEGRASS CELLULAR**  
2902 RING ROAD  
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270-769-0339

STANDARD CELLULAR SITE  
MCQUADY SITE  
245 DEJARNETTE LANE, MCQUADY, KY. 40153  
DRAWN BY: JLYNCH LST  
DATE: 12/01/09 SCALE NTS

SHEET NUMBER  
LYNCOLE  
TECHNICAL



## GENERAL ELECTRIC NOTES

- 1) CONTRACTOR RESPONSIBLE FOR MAKING ALL ARRANGEMENTS WITH THE LOCAL UTILITIES FOR SERVICE AND FEE PAYMENTS REQUIRED TO OBTAIN SERVICE.
- 2) CONTRACTOR RESPONSIBLE FOR MAKING ALL ARRANGEMENTS WITH THE LOCAL TELEPHONE COMPANY FOR SERVICE AND FEES PAYMENTS REQUIRED TO OBTAIN SERVICE.
- 3) GROUND RING TO BE CONTAINED WITHIN THE COMPOUNDS FENCED AREA.
- 4) FENCE TO BE GROUNDED FROM GROUND RING TO ALL CORNER POSTS & GATES. SPACE FENCE GROUNDING APPROX. 20'-0" ON CENTER. (CADWELD ALL CONNECTIONS.)
- 5) ALL GROUND RING CONNECTIONS TO BE AS CLOSE AS POSSIBLE SHARP BENDS WILL NOT BE PERMITTED AS WELL AS "T" CONNECTIONS. ALL CONNECTIONS TO HAVE A SWEEPING RADIUS OF 8" MINIMUM. GROUNDING CONFIGURATION TO BE IN PARALLEL.
- 6) CONTACT POINTS FOR GROUNDING TO BE CLEANED OF ANY RUST, PAINT, DIRT, ETC. TO CREATE A GOOD BOND FOR CONDUCTOR. AREA THAT HAS BEEN CLEANED TO BE RESEALED TO PREVENT RUSTING.
- 7) PROPERLY GROUND ANY EXPOSED METAL THAT MAY EXIST ON EXTERIOR OF EQUIPMENT SHELTER OR CABINET.
- 8) WHERE GROUND CONDUCTORS REQUIRE MECHANICAL BONDING, STAINLESS STEEL CONNECTORS ARE REQUIRED AT EACH CONNECTING POINT USING LOCK WASHERS.
- 9) CONTRACTOR RESPONSIBLE FOR SEEING THAT UTILITY PERSONNEL MAKE FINAL CONNECTIONS, MAKING SURE THE TOWER ALARM IS CONNECTED AND WORKING. A TELEPHONE NUMBER FOR THE ALARM MUST BE SUPPLIED.
- 10) CONTRACTOR RESPONSIBLE FOR MEG TESTING THE SITE AND SUPPLYING OWNER WITH FINAL READINGS IN OWNERS SPECIFICATIONS.
- 11) CONTRACTOR TO PROVIDE WARNING TAPE IN TRENCHES FOR ALL POWER AND TELCO RUNS UNDERGROUND. TAPE TO BE INSTALLED AT 9" BELOW GRADE.
- 12) CONTRACTOR TO FOLLOW LYNCOLE GROUNDING SPECIFICATIONS WHEN USING THEIR XIT GROUNDING RODS. SEE DETAIL SHEET E-4.

## KEYNOTES

- ① LYNCOLE XIT GROUNDING ROD TO BE INSTALLED WHERE SHOWN AND TO MANUFACTURES SPECIFICATIONS. (SEE LYNCOLE SPECIFICATIONS)
- ② GROUNDING RODS 10'-0" LONG x 3/4" COPPER BONDED GROUND RODS. (TYPICAL) SPACING OF RODS INDICATED ON PLANS.
- ③ INSTALL AND PROVIDE SOLID BARE TINNED COPPER WIRE #2 AWG GROUND RING BELOW GRADE 30". USE #2 AWG SOLID BARE TINNED COPPER GROUND "TAP" CONNECTING CONDUCTORS. (CONNECTIONS FOR ALL TAP CONDUCTORS TO BE PARALLEL AND "CADWELD" CONNECTIONS)
- ④ FLEXIBLE GROUNDING STRIP TO BE USED TO PROVIDE A COMMON BOND BETWEEN GATE AND CHAIN LINK FENCE, #2 AWG SOLID COPPER BARE TINNED CONDUCTOR FROM GROUND RING TO FENCE USING CAD WELD CONNECTIONS. GROUND TAP TO BE PROVIDED ON EACH 4 SIDES TO GROUND RING AS DESCRIBED ABOVE.
- ⑤ BONDING GROUND TO BE PROVIDED TO GROUND RING FOR EACH OF THE FOLLOWING: BUILDING STEEL, HATCH PLATE, EMERGENCY RECEPTACLE, WAVE GUIDE STRUCTURE, FRAME WORK, BUILDING DISCONNECT.
- ⑥ FOR TOWER FRAME GROUNDING, REMOVE GALVANIZED COATING COMPLETELY AT SPOT OF "CAD WELD" TO AND CLEAN. #2 AWG SOLID BARE TINNED COPPER CONDUCTOR TO BE CAD WELDED APPROXIMATELY 1'-0" ABOVE FOUNDATION OR AT FLANGE IF PROVIDED BY TOWER MANUFACTURER. EXTEND CONDUCTOR TO GROUND RING. RIGHT ANGLES NOT ACCEPTED, ALL BENDS TO BE SWEEPING.

## SITE PLAN- GROUNDING

SCALE: 1" = 10'

**TURNER ENGINEERING, INC**  
 DIVISION OF NEW BANKS, INC.  
 5735 NORTH DIXIE HIGHWAY  
 ELIZABETHTOWN, KY 42701  
 P (270) 737-3232 F (270) 769-5497

NO.	DATE	DESCRIPTION	BY

**BLUEGRASS CELLULAR**  
 2902 RING ROAD  
 ELIZABETHTOWN, KY 42701  
 270-769-0339

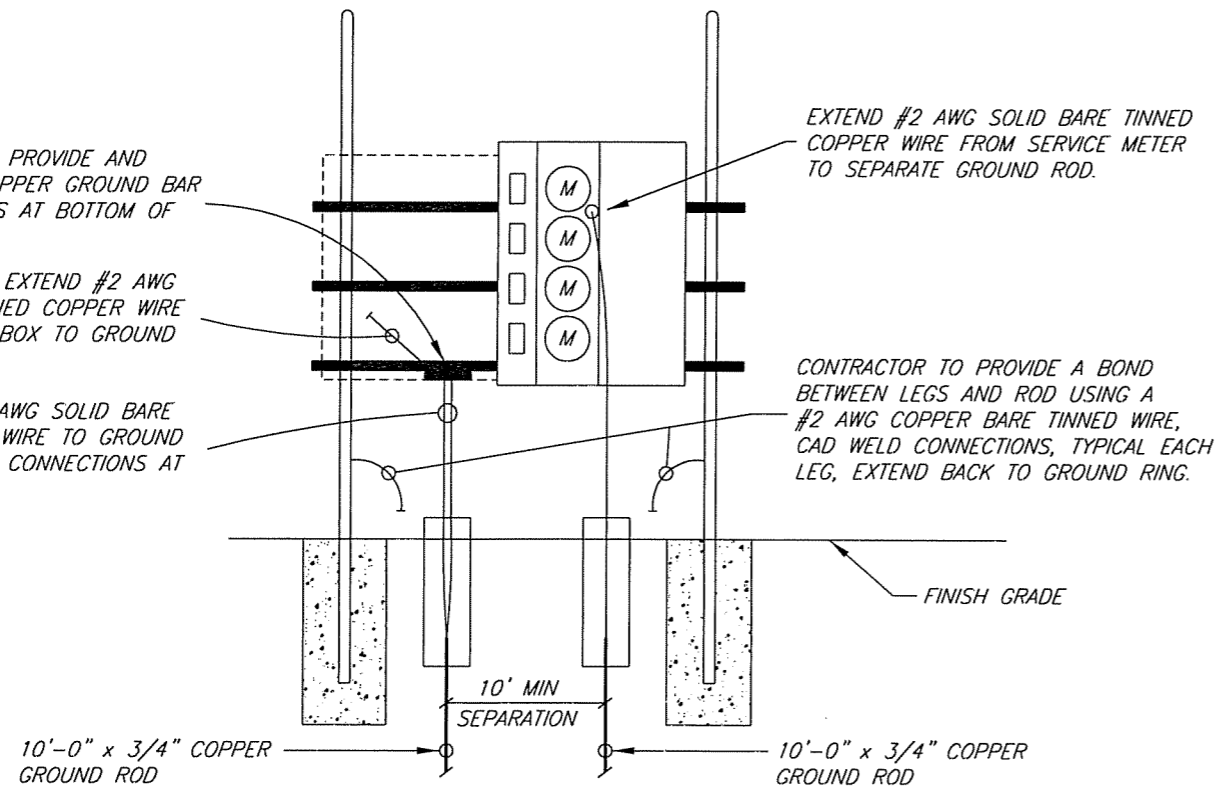
STANDARD CELLULAR SITE  
 MCQUADY SITE  
 245 DEJARNETTE LANE, MCQUADY, KY. 40153  
 DRAWN BY: JLYNCH LSIT  
 DATE: 12/01/09 SCALE 1"=10'

SHEET NUMBER  
 E-3

CONTRACTOR TO PROVIDE AND MOUNT A 9" COPPER GROUND BAR WITH INSULATORS AT BOTTOM OF HOFFMAN BOX.

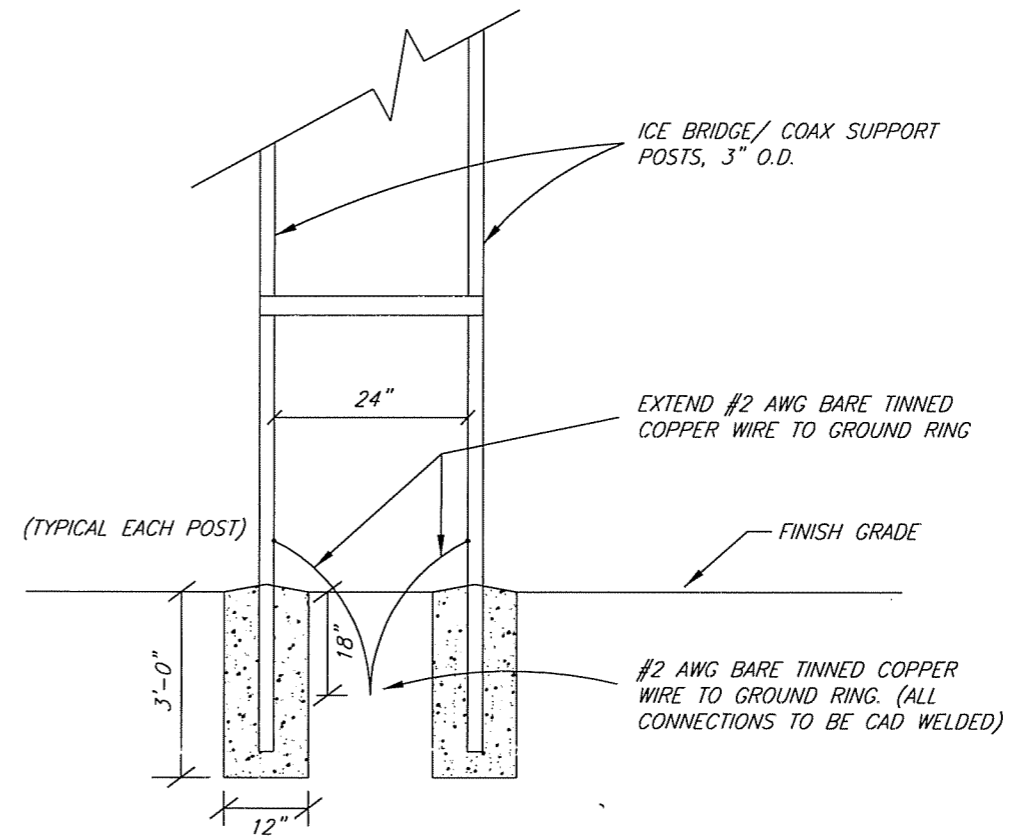
CONTRACTOR TO EXTEND #2 AWG SOLID BARE TINNED COPPER WIRE FROM HOFFMAN BOX TO GROUND BAR

EXTEND (2) #2 AWG SOLID BARE TINNED COPPER WIRE TO GROUND RING, CAD WELD CONNECTIONS AT BAR AND ROD.



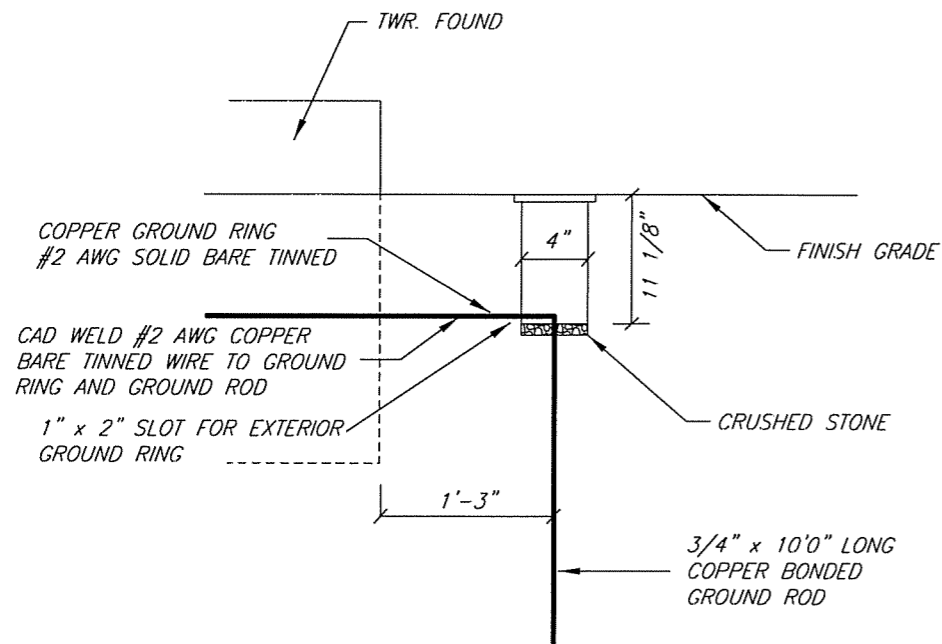
**SERVICE BOARD DETAIL**

NO SCALE



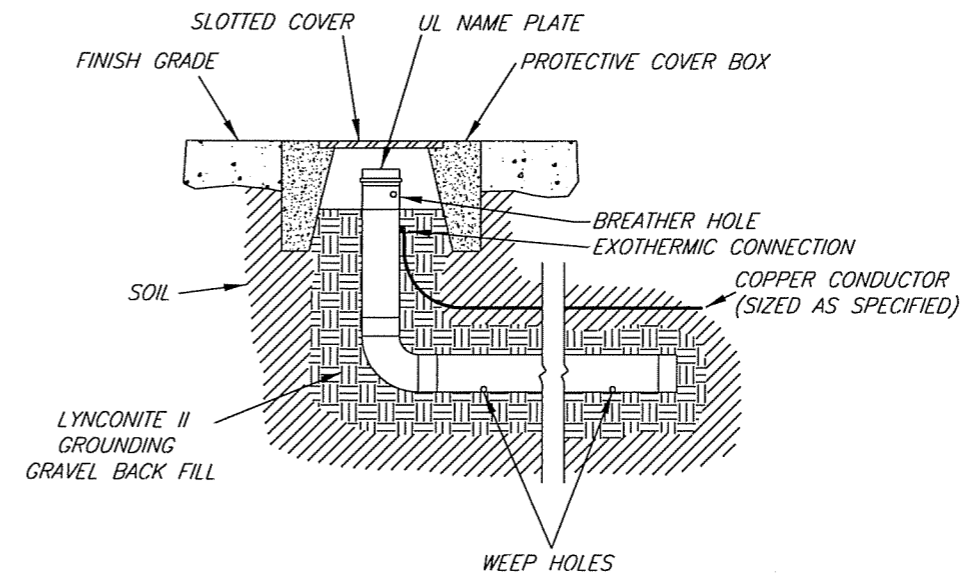
**COAX SUPPORT DETAIL**

NO SCALE



**GROUND ROD DETAIL**

NO SCALE



**LYNCOLE XIT ROD DETAIL**

NO SCALE

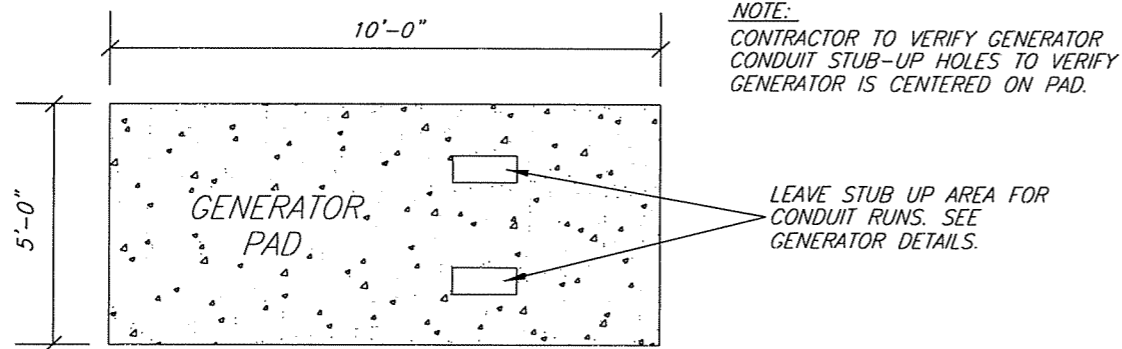
**TURNER ENGINEERING, INC.**  
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 5735 NORTH DIXIE HIGHWAY  
 ELIZABETHTOWN, KY 42701  
 P (270) 737-3232 F (270) 769-5497

NO.	DATE	DESCRIPTION	BY

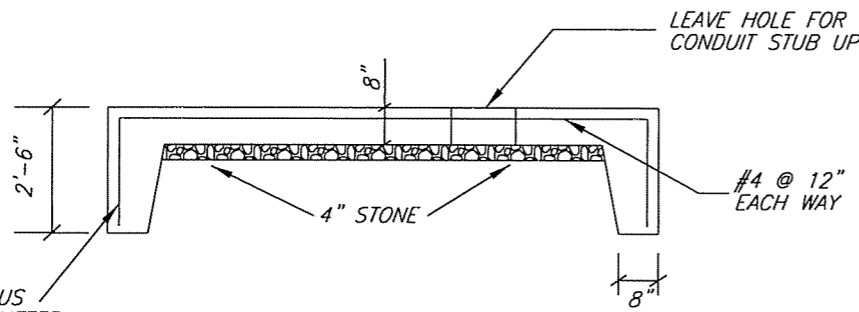
**BLUEGRASS CELLULAR**  
 2902 RING ROAD  
 ELIZABETHTOWN, KY 42701  
 270-769-0339

STANDARD CELLULAR SITE  
 MCQUADY SITE  
 245 DEJARNETTE LANE, MCQUADY, KY. 40153  
 DRAWN BY: JLYNCH LSIT  
 DATE: 12/01/09 SCALE 1"=100'

SHEET NUMBER  
 E-4

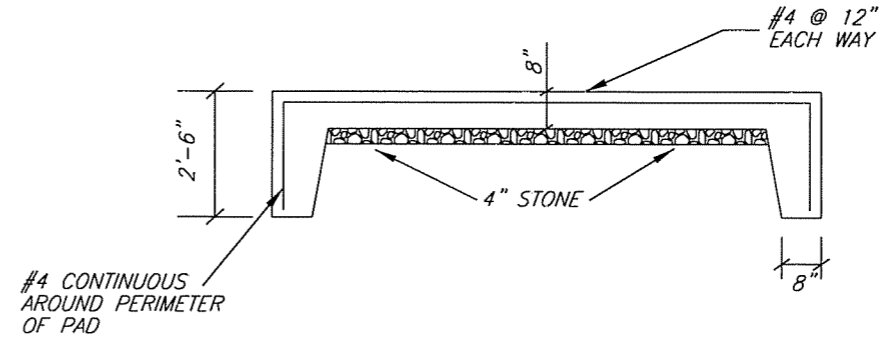
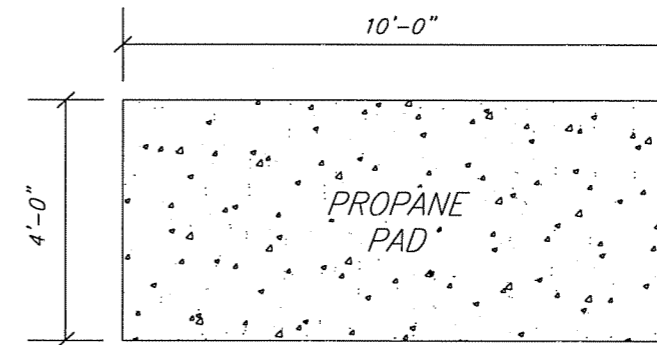


LEAVE STUB UP AREA FOR  
CONDUIT RUNS. SEE  
GENERATOR DETAILS.



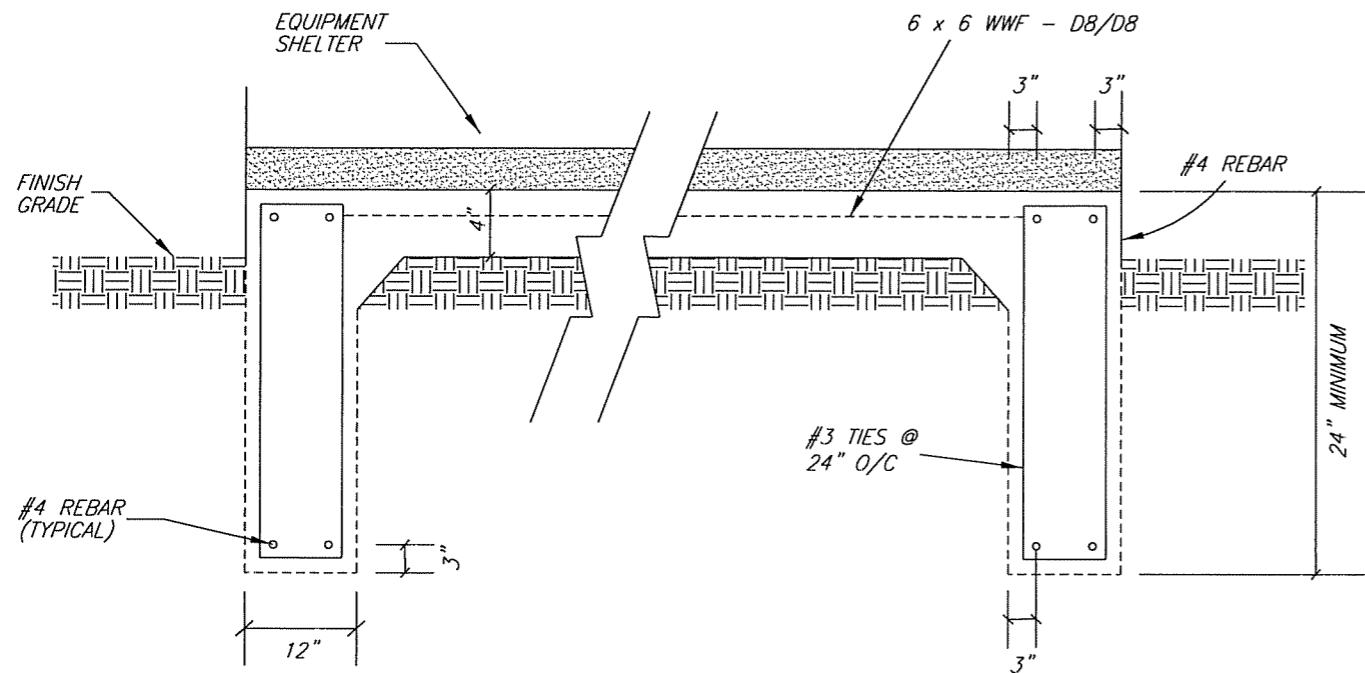
**FOUNDATION DETAIL**

NO SCALE



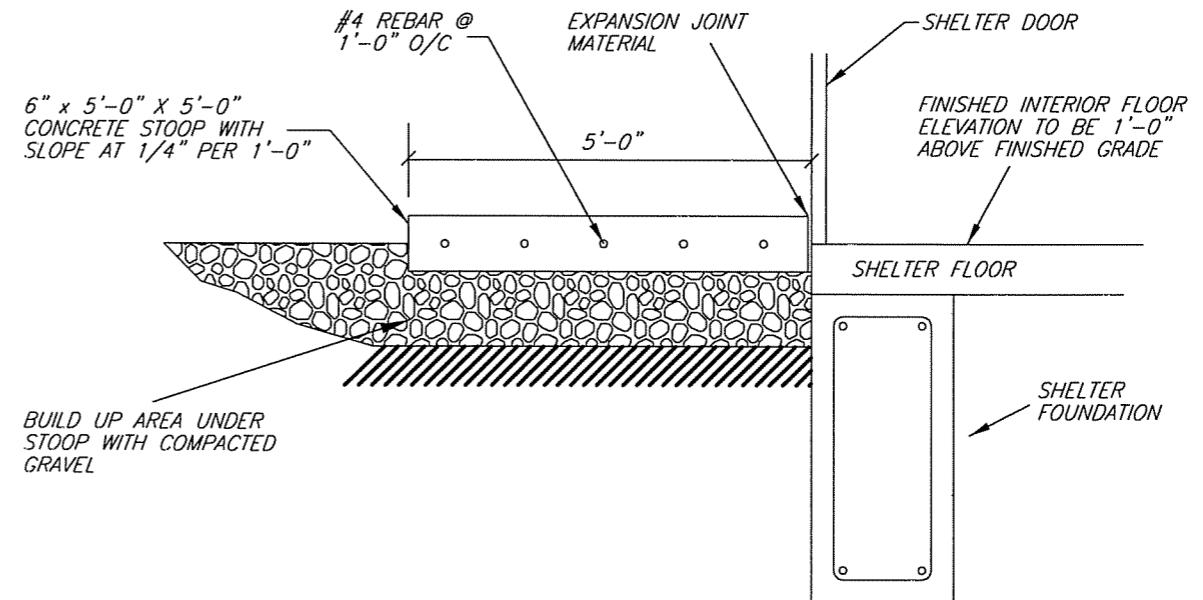
**FOUNDATION DETAIL**

NO SCALE



**SHELTER FOUNDATION PLAN**

NO SCALE



**CONCRETE STOOP DETAIL**

NO SCALE

**TURNER ENGINEERING, INC.**  
DIVISION OF NEW BANKS, INC.  
5735 NORTH DIXIE HIGHWAY  
ELIZABETHTOWN, KY 42701  
P (270) 737-3232 F (270) 769-5497

NO.	DATE	BY	DESCRIPTION

**BLUEGRASS CELLULAR**  
2902 RING ROAD  
ELIZABETHTOWN, KY 42701  
270-769-0339

STANDARD CELLULAR SITE  
MCQUADY SITE  
245 DEJARNETTE LANE, MCQUADY, KY. 40153  
DRAWN BY: JLYNCH LSIT  
DATE: 12/01/09 SCALE 1"=100'

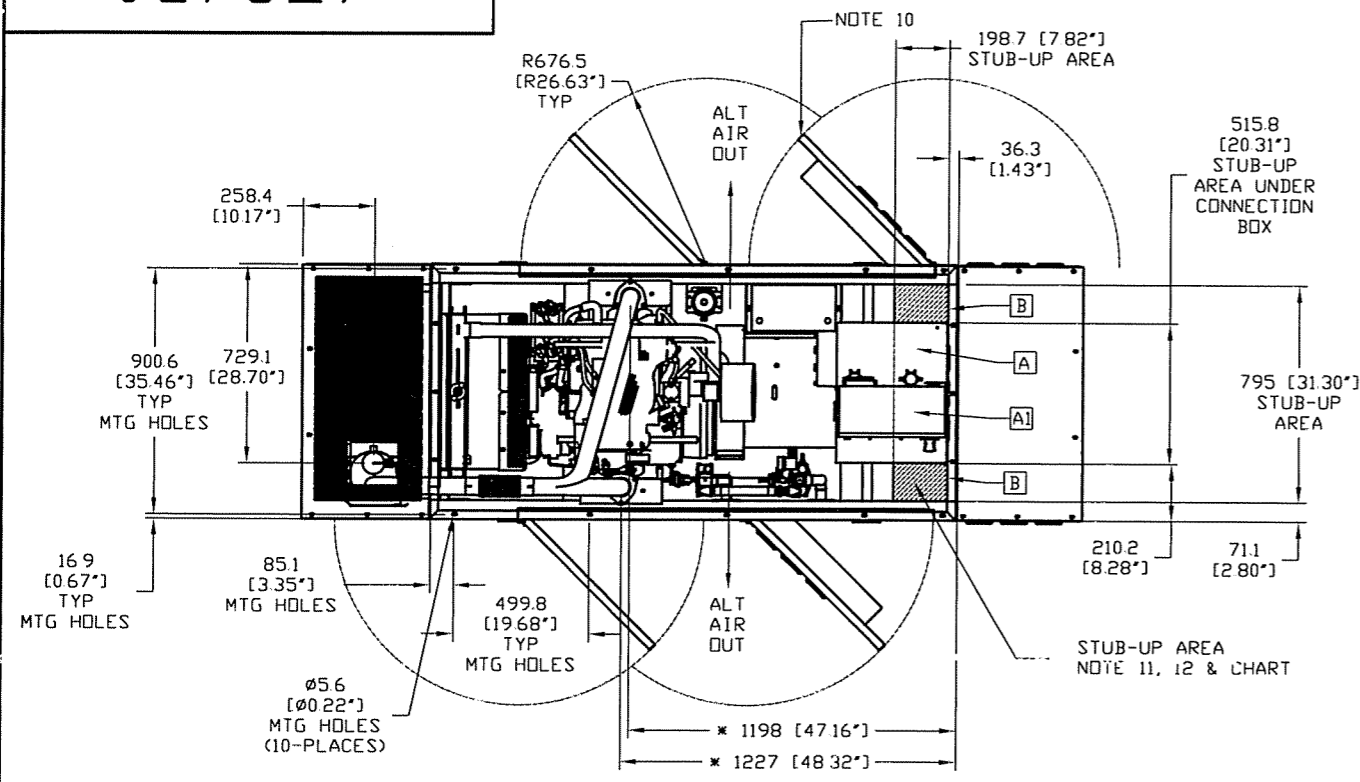
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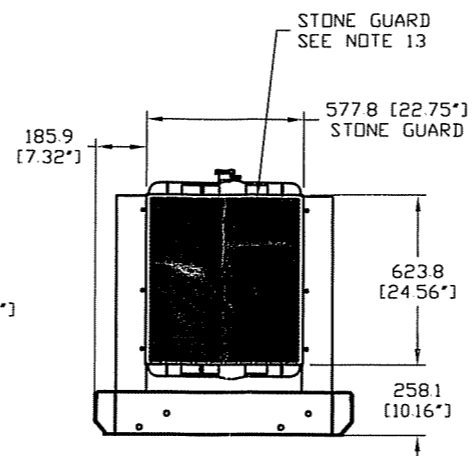
0G7627

ENGINE SERVICE CONNECTIONS

INLET L/P GAS = 3/4" NPT COUPLING  
 INLET NATURAL GAS = 3/4" NPT COUPLING  
 OIL DRAIN = 1/2" NPT COUPLING  
 EXHAUST OUTLET - EXHAUST MANIFOLDS AS SHOWN  
 ON OPEN SET, 3" OD MUFFLER  
 OUTLET WITH ENCLOSURE



TOP OR PLAN VIEW



RADIATOR END VIEW WITH STONE GUARD OPTION

RECOMMENDED FUEL/ELECTRICAL STUB-UPS (SEE TOP VIEW)

DESCRIPTION	INSIDE BASE
AC LOAD LEAD CONDUIT (RIGHT) (LEFT)	A
	A'
ADDITIONAL STUB UP AREA FOR 120VAC GFCI OUTLET, (STANDARD BLOCK HEATER, BATTERY CHARGER, AND OTHER 120 VAC OPTIONS)	B

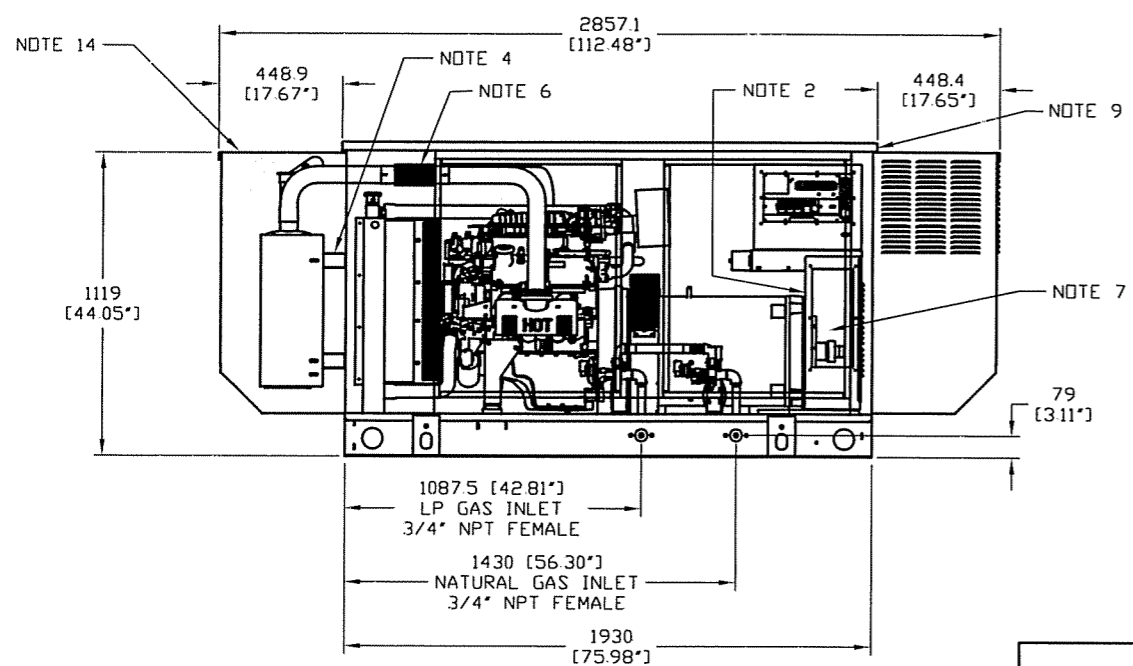
NOTE:  
 FUEL SYSTEM SET UP WITH OUTSIDE STUB-UPS (SEE RIGHT SIDE VIEW).

WEIGHT DATA  
 UNIT: ??? kg [??? lbs.]  
 STEEL ENCLOSURE: ??? kg [??? lbs.]

UNITS: mm [INCHES]

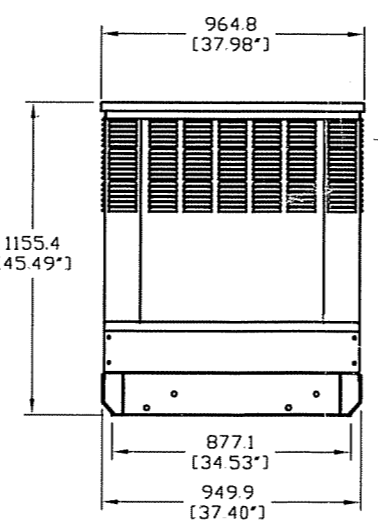
NOTES:

- CONTROL PANEL MAY BE ROTATED 180° IN EITHER DIRECTION.
  - STANDARD 20A GFCI DUPLEX OUTLET - 120VAC REQUIRED.
  - CONNECTION POINTS FOR CONTROL WIRES PROVIDED IN AC CONNECTION PANEL.
  - EXHAUST MUFFLER SUPPORT BRACKETS SUPPLIED WITH OPTIONAL ENCLOSURE.
  - 12 VOLT NEGATIVE GROUND SYSTEM.
  - 2.5" I. D. FLEX EXHAUST, STANDARD WITH ENCLOSURE UNITS, OPTIONAL WITHOUT.
  - MAIN LINE CIRCUIT BREAKER (MLCB) AND AC LOAD LEAD CONNECTION.
  - REMOVABLE BLANK PANEL FOR OPTIONAL 2nd MAIN LINE CIRCUIT BREAKER.
  - OPTIONAL ENCLOSURE.
  - DOORS MUST BE ABLE TO OPEN 90 DEG TO BE REMOVED.
  - STUB-UPS:  
 STANDARD BASE TANK REQUIRES ALL STUB-UPS TO BE OUTSIDE OR IN THE REAR TANK STUB-UP AREA.
  - A OR A' IS THE STUB UP AREA UNDER THE MLCB, DEPENDING ON CIRCUIT BREAKER LOCATION. AREA B IS STUB UP AVAILABLE FOR UNITS WITH A BASE TANK.
  - STONE GUARD AND AIR DUCT ADAPTER STANDARD WITH OPEN SET ONLY.
  - SEE DRAWING OC3850 FOR DUCT REMOVAL. REMOVAL OF FRONT DUCT WILL PROVIDE ACCESS TO MUFFLER FOR SERVICING.
- \*NOTE: DIMENSIONS TO THE CENTER OF EXHAUST FLANGE SHOULD BE USED AS A REFERENCE WHEN EXHAUST SYSTEM IS NOT ORDERED. APPLIES TO OPEN SET ONLY.

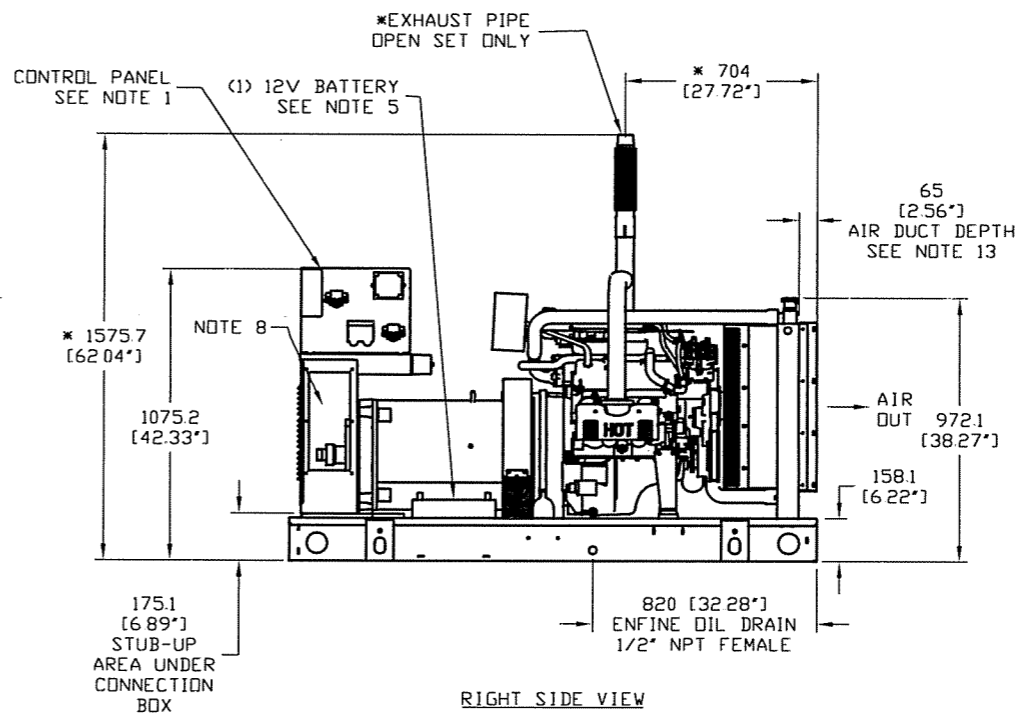


LEFT SIDE VIEW

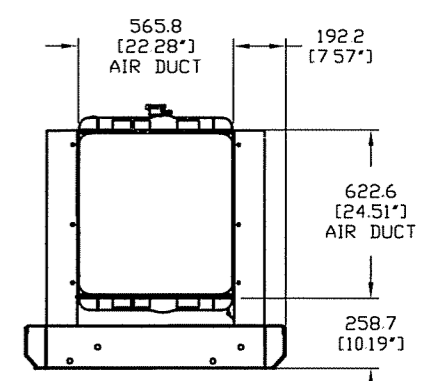
APPLICABLE TO 4.5L G3 35, 40 & 45KW



REAR VIEW



RIGHT SIDE VIEW



RADIATOR END VIEW WITH AIR DUCT ADAPTER OPTION

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SG 35, 40, 45 KW (UPSIZED 100 KW)

4.2L DIRECT DRIVE

ACOUSTIC ENCLOSURE

ISSUE DATE: 11/13/07

GENERAC POWER SYSTEMS  
 Waukesha  
 P.O. BOX 8  
 WAUKESHA, WIS. 53187

FILE NAME	0G7627-A.DWG	SIZE	B
SCALE	NTS	FIRST USE	4.2L G3
DWG NO.	0G7627	REV	A

INSTALLATION DRAWING












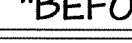
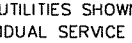
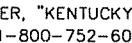
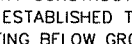
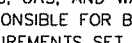
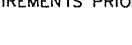
## GENERAL ELECTRIC NOTES

- 1) THE CONTRACTOR IS RESPONSIBLE FOR EQUIPMENT PICK UP DELIVERY TO SITE, ERECTION OF TOWER, AND CRANE SET, ALL COSTS INCURRED.
- 2) THE CONTRACTOR IS RESPONSIBLE FOR VISITING THE SITE PRIOR TO BIDDING AND REVIEWING EXISTING STRUCTURES OR UTILITIES THAT MIGHT BE LOCATED ON OR AROUND THE COMPOUND THAT COULD INTERFERE.
- 3) THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING LOCAL AUTHORITIES NECESSARY FOR INSPECTIONS IF REQUIRED, PLEASE PROVIDE AMPLE NOTICE
- 4) THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING PERSONS RESPONSIBLE FOR ANY MATERIALS TESTING, PLEASE PROVIDE AMPLE NOTICE.
- 5) THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE OWNER WITH FINAL TEST RESULTS ON ALL MATERIALS TESTING. IF ANY PROBLEMS ARE FOUND PRIOR TO FINAL RESULTS PLEASE NOTIFY A&E OR OWNER IMMEDIATELY.
- 6) THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO ADJOINING PROPERTY, AND REPAIRING OR REPLACING WHAT IS NECESSARY TO OWNERS APPROVAL.
- 7) THE CONTRACTOR IS TO VERIFY DIMENSIONS ON SITE PRIOR TO CONSTRUCTION STARTING, ANY PROBLEMS OR CHANGES FOUND CONTACT A&E OR OWNER TO VERIFY.
- 8) THE CONTRACTOR IS RESPONSIBLE FOR ANY TEMPORARY LIGHTING ON THE TOWER AND CONTACTING PROPER AUTHORITIES IF ANY LIGHTING PROBLEMS OCCUR, ALL FINAL LIGHTING TO BE MOUNTED ON TOWER DURING CONSTRUCTION, NOTIFY OWNER WHEN TOWER HAS REACHED FINAL HEIGHT.
- 9) THE CONTRACTOR IS RESPONSIBLE FOR ALL ONSITE WORK MEANS AND METHODS
- 10) CONTRACTOR, ANY CONTRACTOR EMPLOYEES OR REPRESENTATIVES, OR SUBCONTRACTOR, ANY SUB-CONTRACTOR EMPLOYEES OR REPRESENTATIVES, WILL CONFORM TO ALL LAWS AND REGULATIONS APPLICABLE TO THE WORK BEING PERFORMED, INCLUDING BUT NOT LIMITED TO, ALL OCCUPATIONAL SAFETY AND HEALTH ACT (OSHA) STATUTES AND REGULATIONS AS WELL AS ALL OTHER FEDERAL STATE AND/OR LOCAL LAWS OR REGULATIONS APPLICABLE TO THE WORK BEING PERFORMED BY CONTRACTOR.
- 11) THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL SITE DRAINAGE, AND PROVIDING SILT AND EROSION CONTROL NECESSARY TO MAINTAIN AN RUN OFF.
- 12) THE CONTRACTOR IS RESPONSIBLE FOR ALL SEED AND STRAW WORK NECESSARY TO REPAIR DAMAGED AREAS
- 13) CONTRACTOR TO GRADE SMOOTH OR REPAIR ANY POT HOLES OR DITCHING ON PROPERTY OR ROAD THAT HAS OCCURRED DURING CONSTRUCTION AT CONTRACTORS EXPENSE.
- 14) CONTRACTORS RESPONSIBILITIES REGARDING BUILD OUT ON FIBREBOND EQUIPMENT SHELTERS TO INCLUDE:
  - \*\*INSTALLING THE DOOR CANOPY
  - \*\*INSTALLING EXTERIOR LIGHT ON WALL DETERMINED BY PROJECT SUPERVISOR AND PHOTOCCELL REQUIREMENTS
  - \*\*INSTALLING INTRUDER ALARMS
  - \*\*CHECK OPERATIONS OF DOOR AND DOOR HARDWARE.
  - \*\*ADJUST WEATHER STRIPPING ON DOORS AS NEEDED.
  - \*\*INSPECT ROOF FOR DAMAGE AND POSSIBLE LEAKS
  - \*\*INSPECT INTERIOR FINISH FOR IMPERFECTIONS AND REPAIR AS NEEDED.
  - \*\*CHECK OPERATION OF LIGHTS AND ELECTRICAL OUTLETS
  - \*\*CHECK OPERATION OF INTAKE AND EXHAUST LOUVERS AND ADJUST AS NEEDED
  - \*\*CHECK OPERATIONS OF ENVIRONMENTAL CONTROLS AND HVAC UNITS.
  - \*\*INSTALL AND PAINT SHELTER TIE-DOWNS TO MATCH.
- 15) INSTALL CONCRETE PADS FOR BUILDING, PROPANE TANK, AND GENERATOR PAD.
- 16) INSTALL ELECTRIC AND GROUND FIELD FOR COMPOUND.
- 17) GC WILL BE RESPONSIBLE FOR ALL CRANE OPERATIONS IN ORDER TO SET FIBREBOND BUILDING COORDINATE BUILDING DELIVERY DATE THROUGH BLUEGRASS CELLULAR
- 18) GC WILL BE RESPONSIBLE FOR OFF LOADING AND STACKING OF TOWER WHEN APPLICABLE.
- 19) GC WILL BE RESPONSIBLE FOR MOUNTING ALL LINES AND ANTENNAS
- 20) GC WILL BE RESPONSIBLE FOR SUPPLYING AND INSTALLING ICE BRIDGE.
- 21) GC WILL BE RESPONSIBLE FOR SCHEDULING PROPANE TANK DELIVERY & HOOK UP. PREFERRED SUPPLIERS ARE EMPIRE & AMERIGAS
- 22) GC WILL BE RESPONSIBLE FOR COORDINATING THE CLEANING OF THE INSIDE OF THE BUILDING WITH THE PROJECT SUPERVISOR AFTER THE SITE HAS BEEN TURNED OVER TO THE OPERATIONS DEPARTMENT AND ALL TURN UP PROCEDURES HAVE BEEN COMPLETED. THIS WILL INCLUDE SUPPLYING A 30 GALLON TRASH CAN, 30 GALLON TRASH BAGS, BROOM, DUST PAN, AND DOOR MAT FOR BUILDING.
- 23) GC TO VERIFY ALL BLUEGRASS CELLULAR EQUIPMENT DIMENSIONS & SPECIFICATIONS WITH MANUFACTURER'S DRAWINGS (FIBREBOND, GENERAC, EASTPOINTE, ETC.) PRIOR TO CONSTRUCTION. ADDRESS ANY ISSUES WITH PROJECT SUPERVISOR BEFORE WORK BEGINS.
- 24) ALL WAREHOUSE MATERIAL (LINES, ANTENNAS, MOUNTING HARDWARE, GENERATOR, TOWER FOUNDATIONS KITS, ETC..) WILL NEED TO BE PICKED UP BY GC.
- 25) GC WILL BE RESPONSIBLE FOR SCHEDULING GENERATOR START UP WITH CONTACT SCOTT ANDERSON (EVAPAR) 502-267-6315
- 26) T1 CONDUIT WILL NEED TO BE PLACED FROM POLE TO BUILDING. (IF A MICROWAVE DISH IS USED, THE T1 CONDUIT WILL STILL BE INSTALLED FOR FUTURE USE)
- 27) GC WILL BE RESPONSIBLE FOR INSTALLATION OF ALL FENCE.
- 28) ALL TRASH AND DEBRIS TO BE REMOVED BY GC.
- 29) GC WILL BE RESPONSIBLE FOR APPLYING FOR ELECTRICAL SERVICE AND PAYING NECESSARY FEES REQUIRED.
- 30) GC WILL BE RESPONSIBLE FOR SUPPLYING & INSTALLING PROTECTIVE END CAPS ON ANY EXPOSED THREADED ROD OR UNISTRUT USED ON SITE. VERIFY TYPE WITH PROJECT SUPERVISOR PRIOR TO INSTALLATION.
- 31) GC WILL BE RESPONSIBLE FOR HAVING A CERTIFIED ELECTRICIAN HOOK UP THE BATTERIES (IMMEDIATELY) AFTER POWER HAS BEEN TURNED UP AT THE SITE, PREVENTING THE DELAY OF ANY WORK FOR OPERATIONS. THE GC MUST NOTIFY THE PROJECT SUPERVISOR IMMEDIATELY AT THIS TIME SO HE CAN COORDINATE A CELL TECH TO BE ONSITE WHEN THIS OCCURS.
- 32) GC WILL BE RESPONSIBLE FOR RUNNING (CAT5) FROM THE GENERATOR ALARM PANEL MOUNTED ON THE SIDE OF THE TRANSFER SWITCH (BY THE CONTRACTOR) THROUGH THE TRANSFER SWITCH AND UP TO THE EXISTING CONDUIT BESIDE THE A/C POWER FAIL RELAY. THE (CAT5) WILL BE PULLED THROUGH EXISTING CONDUIT AROUND THE SHELTER AND EXTENDED TO THE ALARM BLOCK. THERE SHOULD BE A MINIMUM 3'-0" OF (CAT5) LEFT HANGING ON EACH END FOR THE CELL TECH TO HOOK UP THE GENERATOR ALARMS.
- 33) GC MUST SUBMIT A COPY OF THE BUILDING PERMIT AND CONSTRUCTION SCHEDULE TO THE PROJECT SUPERVISOR PRIOR TO RECEIVING (NTP) TO BEGIN CONSTRUCTION. \*\*\*(NO EXCEPTIONS)\*\*\*
- 34) GC MUST DISPLAY FCC TOWER REGISTRATION NUMBER & EMERGENCY PHONE NUMBERS ON A 3'-0" X 4'-0" MINIMUM WOODEN BACKBOARD SOMEWHERE ON SITE LOCATION PRIOR TO BREAKING GROUND.

## GRADING & EXCAVATING NOTES

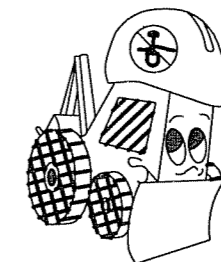
- 1) ANY DAMAGE TO EXISTING UTILITIES, STRUCTURES, ROADS, AND PARKING AREAS TO BE REPAIRED OR REPLACED TO OWNERS SATISFACTION.
- 2) PREPARATION FOR FILL: REMOVAL OF ALL DEBRIS, WET AND UNSATISFACTORY SOIL MATERIALS, TOPSOIL, VEGETATION, AND HARMFUL MATERIALS FROM SURFACE OF GROUND PRIOR TO PLOWING, STRIPPING, PLACING FILLS OR BREAKING UP OF SLOPED SURFACES GREATER THAN 1 VERTICAL TO 4 HORIZONTAL SO MATERIAL FOR FILL WILL BOND TO EXISTING SURFACE. WHEN AREA TO RECEIVE FILL HAS A DENSITY LESS THAN REQUIRED, BREAD UP GROUND SURFACE TO DEPTH REQUIRED, AERATE, MOISTURE - CONDITION, OR PULVERIZE SOIL AND RE-COMPACT TO REQUIRED DENSITY.
- 3) BACK FILLING: -EXCAVATED AREA SHALL BE CLEARED FROM STONES OR CLODS OVER 2 1/2" MAXIMUM DIAMETER. -SHALL BE PLACED IN LAYERS OF 6" AND COMPACTED TO A 95% STANDARD PROCTOR, USE A 90% PROCTOR IN GRASSED LANDSCAPED AREAS WHERE REQUIRED. -SHALL BE APPROVED MATERIALS CONSISTING OF SANDY CLAY GRAVEL AND SAND, SOFT SHALE, EARTH OR LOAM. CONSULT WITH OWNER PRIOR TO FILL BEING ADDED.
- 4) ALL MATERIAL FOR FILL TO BE APPROVED BY OWNER AND ALL COMPACTING TEST TO BE COMPLETED TO SPEC'S. ALL COMPACTING RESULTS TO BE TURNED OVER TO OWNER.
- 5) AFTER COMPLETION OF BELOW GRADE EXCAVATION, AREA TO BE CLEANED AND CLEARED TO ANY UNSUITABLE MATERIALS, SUCH AS TRASH, DEBRIS, VEGETATION AND SO FORTH.
- 6) ANY EXCAVATING IN WHICH CONCRETE IS TO BE PLACED SHALL BE SUBSTANTIALLY HORIZONTAL ON UNDISTURBED AND UNFROZEN SOIL AND BE FREE OF ANY LOOSE MATERIAL AND EXCESS GROUND WATER.
- 7) IF SOUND SOIL IS NOT REACHED AT DESIGNATED EXCAVATION DEPTH, THE POOR SOIL IS TO BE EXCAVATED TO ITS FULL DEPTH AND EITHER REPLACED WITH MECHANICALLY COMPACTED GRANULAR MATERIAL OR THE EXCAVATION TO BE FILLED WITH THE SAME QUALITY CONCRETE SPECIFIED FOR THE FOUNDATION PLEASE NOTIFY THE PROJECT SUPERVISOR AND THEY WILL HAVE A 3RD PARTY ENGINEERING FIRM CONTACT YOU WITH RECOMMENDATIONS.
- 8) MECHANICALLY COMPACTED GRANULAR MATERIAL OR CONCRETE OF THE SAME QUALITY SPECIFIED FOR THE FOUNDATIONS TO BE USED IF EXCAVATION EXCEEDED THE OVERALL REQUIRED DEPTH FOR STABILIZATION OF THE BOTTOM OF THE EXCAVATION, CRUSHED STONE MAY BE USED. STONE, IF USED, SHALL NOT BE USED AS COMPILING CONCRETE THICKNESS. PLEASE NOTIFY THE PROJECT SUPERVISOR AND THEY WILL HAVE A 3RD PARTY ENGINEERING FIRM CONTACT YOU WITH RECOMMENDATIONS.
- 9) EXCAVATION TO COMPOUND TO INCLUDE WEED CONTROL MAT.
- 10) SITE TO HAVE PROPER DRAINAGE & EROSION CONTROL (CROWNED FORMATION)
- 11) GC WILL BE RESPONSIBLE FOR REPAIR OF ALL AREAS DISTURBED DURING CONSTRUCTION (EXCAVATING ISSUES)

## SYMBOLS LEGEND

	KEYNOTES
	INSPECTION SLEEVE/ GROUND ROD
	INSPECTION SLEEVE
	CAD WELD CONNECTION
	TRANSFORMER
	LIGHTNING SUPPRESSER
	SWITCH DISCONNECT
	METER PACK
	POWER
	GAS
	WATER LINE
	SANITARY SEWER
	TELEPHONE
	STORM SEWER DRAIN
	FENCE

## "BEFORE YOU DIG"

ALL UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE. INDIVIDUAL SERVICE LINES ARE NOT SHOWN. THE CONTRACTOR OR SUBCONTRACTOR SHALL NOTIFY THE UTILITY PROTECTION CENTER, "KENTUCKY DIG SAFELY (K.D.S.)" (TOLL FREE PHONE NO. 1-800-752-6007) FORTY EIGHT HOURS IN ADVANCE OF ANY CONSTRUCTION ON THIS PROJECT. THIS NUMBER WAS ESTABLISHED TO PROVIDE ACCURATE LOCATIONS OF EXISTING BELOW GROUND UTILITIES (I.E. CABLES, ELECTRIC WIRES, GAS, AND WATERLINES). THE CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING FAMILIAR WITH ALL UTILITY REQUIREMENTS SET FORTH ON THESE PLANS AND ALL LOCAL REQUIREMENTS PRIOR TO ANY CONSTRUCTION.



1-800-752-6007  
KENTUCKY UNDERGROUND PROTECTION  
CALL 2 WORKING DAYS  
BEFORE YOU DIG

**TURNER ENGINEERING, INC**  
DIVISION OF NEW BANKS, INC.  
5735 NORTH DIXIE HIGHWAY  
ELIZABETHTOWN, KY 42701  
P (270) 737-3232 F (270) 769-5497

NO.	DATE	DESCRIPTION	BY

**BLUEGRASS CELLULAR**  
2902 RING ROAD  
ELIZABETHTOWN, KY 42701  
270-769-0339

STANDARD CELLULAR SITE  
MCQUADY SITE  
245 DEJARNETTE LANE, MCQUADY, KY. 40153  
DRAWN BY: JLYNCH LSIT  
DATE: 12/01/09 SCALE 1"=100'

SHEET NUMBER  
**GENERAL NOTES**

***Turner Engineering & Land Surveying Co.***



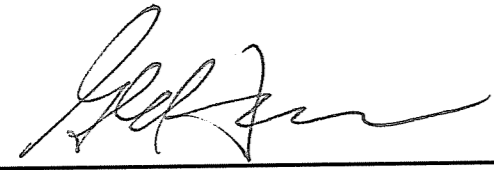
Glenn S. Turner P.E., P.L.S., President  
Blake Durrett E.I.T.  
Keith Higdon P.L.S.  
Jeremy Lynch L.S.I.T.  
Wesley McClure L.S.I.T.

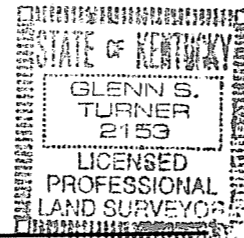
A Division of New Banks, Inc.  
5735 North Dixie Hwy.  
Elizabethtown, Ky. 42701  
Phone: 270-737-3232

**Directions to the Site**  
**From the County Seat of Breckinridge County,**  
**Kentucky**

MCQUADY SITE  
Breckinridge County, Kentucky

From the south side of Hardinsburg, Kentucky at the intersection of US-60 and KY-261:  
Travel southwest on KY-261 for 5.6 miles to the intersection of KY-105;  
Turn right on KY-105 and travel north for 0.3 miles to the intersection of Dejarnette  
Lane;  
Turn left on Dejarnette Lane and travel 0.25 miles to tower site on left.

 10/9/09



Glenn S. Turner, Kentucky Professional Land Surveyor No. 2153

Date



Site Name: McQuady

OPTION TO LEASE AND LEASE AGREEMENT

I.

OPTION TO LEASE REAL PROPERTY

THIS OPTION TO LEASE REAL PROPERTY (the "Option Agreement") is made and entered into this 24 day of Sept., 2009, by and between Orville Stacy Taul and Judi C. Taul, husband and wife, whose address is 5811 N. Hwy 105, Hardinsburg, KY 40143 (the "Optionor (s)") and Kentucky RSA 3 Cellular General Partnership, d/b/a Bluegrass Cellular, a Kentucky general partnership with principal office and place of business at 2902 Ring Road, Elizabethtown, KY 42701 (the "Optionee").

WITNESSETH:

WHEREAS, the Optionor(s) is the owner of certain real property located in Breckinridge County, Kentucky as more particularly described on Exhibit A attached hereto and incorporated herein by reference (the "Property"); and

WHEREAS, the Optionor(s) wishes to grant to the Optionee, and the Optionee wishes to obtain from the Optionor(s), an option to lease the Property upon the terms and conditions set forth herein;

NOW, THEREFORE, in consideration of the foregoing premises and for other good and valuable consideration, the mutuality, receipt and sufficiency of which are hereby acknowledged, the parties hereto do agree as follows.

Site Name: McQuady

1. In consideration of **One Thousand Eight Hundred Dollars and Zero Cents (\$1,800.00)** paid by the Optionee to the Optionor(s) (the "Option Consideration"), the receipt of which is hereby acknowledged by the Optionor(s), the Optionor(s) hereby grants to the Optionee an exclusive and irrevocable option to lease the Property (the "Option"), upon the terms and conditions hereinafter set forth, upon the exercise of the Option at any time before 4:00 p.m. prevailing time on 22 March 2011, (the "Option Period") as set forth in Paragraph 5 thereof.
2. The parties hereto anticipate that the Property comprises approximately a **One Hundred Foot by One Hundred Foot** area, and that a right of way will be given by the Optionor(s) for the purposes of ingress and egress throughout the term of the lease. The Optionee shall obtain an accurate survey of the Property by a registered land surveyor licensed in the Commonwealth of Kentucky at the sole expense of the Optionee. A copy of the survey shall be provided to the Optionor(s). The description of the Property shall include the number of acres determined by the surveyor. The Optionee shall obtain said survey within a reasonable time following the date of the Option Agreement.
3. During the term of the Option, the Optionee may enter onto the Property at its own risk to obtain soil samples and to bore soil for the purposes of determining the suitability of the Property for a communications tower.
4. Upon the Optionee's proper exercise of the Option in accordance with Paragraph 5 hereof, the Optionor(s) shall be deemed to have immediately executed, acknowledged and delivered to the Optionee the Lease Agreement contained in Section II hereof. The description of the Property shall be that determined by the registered land surveyor in accordance with Paragraph 2 hereof.

5. If the Optionee elects to exercise the Option in accordance with the terms hereof, notice of such election shall be deemed sufficient if personally delivered or sent by registered or certified mail, return receipt requested, to the address of the Optionor(s) set forth in Paragraph 14 hereof.
6. The Optionor(s) agrees not to sell, lease or offer for sale or lease the Property during the term of this Option or any renewal or extension of the Option.
7. In the event the Optionee fails to exercise the Option as set forth herein (unless such failure is due to the discovery of a defect in the Property or other matter unsatisfactory to the Optionee), the Optionor(s) shall have the right to retain the Option Consideration.
8. The Optionee may assign this Option with written consent of the Optionor(s), which consent shall not be unreasonably withheld, and upon any assignment such assignee shall have all the rights, remedies and obligations as if it were the original Optionee hereunder. From and after any such assignment, the term "Optionee" shall refer to such assignee.
9. Each party hereto shall bear any and all of its own expenses in connection with the negotiation, execution or settlement of this Option.
10. Risk of loss with respect to the Property during the term of this Option and during the term of the lease shall be upon the Optionor(s). If, during the term of the Option, any portion of the Property shall be acquired by public authority under the right or threat of eminent domain, the Optionee may, at its sole option, either (i) exercise the

Site Name: McQuady

Option, and in such event, all sums received from the public authority by the Optionor(s) by reason of the taking of a portion of the Property shall reduce the rent due under the lease, or (ii) terminate this Option and thereupon the Optionor(s) shall be obligated to return to the Optionee the full amount of the Option Consideration previously paid to the Optionor(s) in "good and collected funds."

11. The parties hereto represent to each other that neither has engaged any broker to represent their interests in connection with the transactions contemplated hereby, and each agrees to indemnify the other against any and all claims made by any brokers engaged or purported to be engaged by the other for brokerage commissions or fees in connection with the transactions contemplated hereby.
12. The Optionor(s) represents, warrants and covenants to the Optionee that the Optionor(s) has not caused or permitted, and shall not cause or permit, and to the best of Optionor(s)' knowledge no other person has caused or permitted any hazardous material (as defined by any applicable federal, state or local law, rule or regulation) to be brought upon, placed, held, located or disposed of at the Property. In the event any such contamination occurs for which the Optionee becomes legally liable, the Optionor(s) shall indemnify the Optionee against all claims, damages, judgments, penalties and costs and expenses, including reasonable attorneys' fees, which Optionee may incur.
13. This Option Agreement and the rights and obligations of the parties hereto shall be construed in accordance with the laws of the Commonwealth of Kentucky.

14. For the purposes of giving notice as permitted or required herein, the address of the Optionor(s) shall be: **5811 N Hwy 105, Hardinsburg, KY 40143**; the Optionee's address shall be: **2902 Ring Road, Elizabethtown, KY 42701**. Any inquiry by the Optionor to the Optionee regarding the terms and conditions of the Option Agreement or Lease Agreement, or otherwise related to the Option Agreement or Lease Agreement, shall be made in writing and submitted to the attention of the Optionee's Lease Administrator at the above address.
15. The Optionee shall have the right, in its sole discretion, to record this Option in the Office of the Clerk of the County Court of Breckinridge County, **Kentucky**.

## II.

### LEASE AGREEMENT

16. In the event the Optionee elects to exercise the Option to lease the Property, the terms of the Lease Agreement ("Lease Agreement" or "Lease") shall become immediately effective upon such exercise and shall be as follows.
  1. The term of the Lease shall commence on the date that the Optionor(s) receives proper notice that the Optionee has exercised the Option, pursuant to Paragraph **5** therein. The initial term shall expire **five (5) year(s)** from the commencement date of the Lease Agreement and shall include **six (6) additional five (5)-year terms** per the Lease Agreement. Optionee may, by providing written notice at least sixty (60) days prior to the expiration of the original or any renewal Lease term, elect to unilaterally terminate this Lease at the end of any original or renewal Lease term. Such notice must be



Site Name: McQuady

personally delivered or sent via registered or certified mail, return receipt requested, to the address of the Optioner(s) set forth in Paragraph 14 hereof. The Lease amount shall be adjusted at the end of each term by an increase of 12%.

2. The Optionee shall pay to the Optionor(s) rent for the Property in the sum of Four Thousand Eight Hundred Dollars and Zero Cents (\$4,800.00) yearly, to be paid in advance. All rent payments shall be personally delivered or mailed to the Optionor(s) at the address set forth in Paragraph 14 hereof. Any check payment of the rent due under the Lease shall be payable to the order of Optionor(s).
3. The Optionee shall be entitled to use and occupy the Property for the purpose of erecting, maintaining and operating a communications tower and communications facilities thereon and for all such other uses as Optionee may, in its sole discretion, deem necessary in connection therewith.
4. The Optionor(s) shall be responsible for the payment of all real estate taxes which shall be assessed against the Property during the term of the lease. The Optionee shall pay all charges for heat, water, gas, electricity, sewer use charges and any other utility used or consumed on the Property. The Optionee shall, at its own cost and expense, maintain and keep in full force and effect during the term of the lease public liability insurance with coverage in the amount of at least one million dollars (\$1,000,000.00) per person for bodily injury, disease, or death and shall maintain property insurance on any property the Optionee located on the Property.

5. The Optionee may assign the lease. The Optionee may sublet all or part of the space on the tower or ground space.
6. The Optionor(s) covenants that upon the Optionee's payment of the rent agreed upon herein, as well as Optionee's observing and performing all of the covenants and conditions contained in the Lease, the Optionee may peacefully and quietly enjoy the Property subject to the terms and conditions set forth in the Lease.
7. The Optionee agrees to maintain an access road in a passable manner for the term of the lease.
8. Optionee's Payment of Taxes, Fees and Assessments. Optionee shall pay directly to the applicable federal, state or local governmental unit or agency ("Governmental Entity") or to Optionor if Optionor is invoiced by such Governmental Entity, all taxes, fees, assessments or other charges assessed by any Governmental Entity directly against Optionee's Equipment and/or Optionee's use of the Facility. Optionee shall also pay to Optionor Optionee's Pro Rata Share of all taxes, fees, assessments or charges including, but not limited to, personal property taxes attributable to Optionee's equipment and antenna(s), municipal franchise fees, use fees, municipal application fees, installation fees and increases thereof. "Pro Rata Share" shall mean the fraction of decimal equivalent of dividing one (1) by the total number of then existing users occupying a tower on the last day of the applicable calendar year.

17. This Option and Lease Agreement contains the entire agreement between the parties hereto and no modification or amendment shall be binding upon any party unless made in writing and signed by each of the parties hereto.
18. Upon the termination or other end of this Lease Agreement, Optionee shall have the right to remove any and all of its property (real or personal) from the Property regardless of whether or not such property may be considered a fixture thereto.
19. Upon abandonment of the property, Optionee shall have thirty (30) days to dismantle and remove the cellular antenna tower and any/all equipment located on Optionor's property.

[Remainder of Page Intentionally Left Blank]

EXECUTION OF AGREEMENT(S)

IN WITNESS WHEREOF, the parties hereto have set their hands and affixed their respective seals.

Orville Stacy and Judi C. Taul

Date: 9-24-09

Judi C. Taul

Date: 9/24/09

("Optionor(s)")

By: Orville Stacy and Judi C. Taul  
Property Owner(s)

Ron Smith

Date: 9/29/09

("Optionee")

By: Ron Smith  
Authorized Representative

STATE OF Ky

COUNTY OF Harlan

The foregoing instrument was acknowledged before me this 24 day of Sept., 2009, by Orville Stacy & Judi C. Taul to be his/her free act and deed.

Judi L. Veil  
NOTARY PUBLIC STATE AT LARGE  
My commission expires: 1-21-13

STATE OF \_\_\_\_\_

COUNTY OF \_\_\_\_\_

The foregoing instrument was acknowledged before me this \_\_\_\_ day of \_\_\_\_\_,  
200\_\_, by \_\_\_\_\_ to be his/her free act and deed.

NOTARY PUBLIC STATE AT LARGE

My commission expires: \_\_\_\_\_

STATE OF KENTUCKY


COUNTY OF HARDIN

The foregoing instrument was acknowledged before me this 29 day of September,  
2009, by **Ron Smith**, to be his free act and deed.

  
NOTARY PUBLIC STATE AT LARGE

My commission expires: 1-21-13

This instrument prepared by:

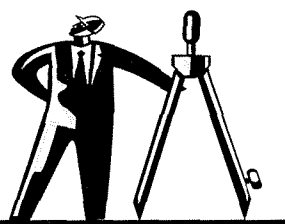


John E. Selent  
DINSMORE & SHOHL LLP  
1400 PNC Plaza  
500 West Jefferson Street  
Louisville, KY 40202  
(502) 540-2300





*Turner Engineering & Land Surveying Co.*



Glenn S. Turner P.E., P.L.S., President  
Blake Durrett E.I.T.  
Keith Higdon P.L.S.  
Jeremy Lynch L.S.I.T.  
Wesley McClure L.S.I.T.

A Division of New Banks, Inc.  
5735 North Dixie Hwy.  
Elizabethtown, Ky. 42701  
Phone: 270-737-3232

Landowner and Adjacent Landowner List

Bluegrass Cellular  
MCQUADY SITE  
Breckinridge County, Kentucky

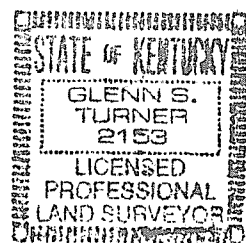
Orville Stacy & Judi Taul  
5811 N Hwy 105  
Hardinsburg, Ky. 40143

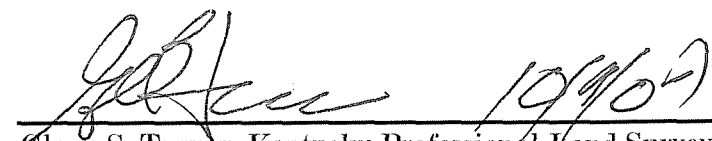
Jack & Ruth Ann Jolly  
PO Box 25  
McQuady, Ky. 40153

Harold & Nancy Dejarnette  
PO Box 23  
McQuady, Ky. 40153

Eddie Wayne Sherron  
PO Box 39  
McQuady, Ky. 40153

Johnny Allen & Maura Armes  
PO Box 26  
McQuady, Ky. 40153



  
Glenn S. Turner, Kentucky Professional Land Surveyor No. 2153

Date



November 3, 2009

Jack and Ruth Ann Jolly  
P.O. Box 25  
McQuady, Kentucky 40153

## Public Notice

Kentucky RSA #3 Cellular General Partnership ("Kentucky RSA #3") is a Kentucky general partnership that markets its services as Bluegrass Cellular. Bluegrass Cellular has been serving Central Kentucky with wireless communications services for over 15 years.

Kentucky RSA #3 is applying to the Public Service Commission of the Commonwealth of Kentucky (the "Commission") for a Certificate of Public Convenience and Necessity to construct and a new cell facility to provide cellular telephone service. This facility will include a 240-foot tower to be located at 245 DeJarnette Lane, McQuady, Breckinridge County, Kentucky, 40153. A map showing the location is attached.

**The Commission invites your comments regarding this proposed construction. Also, the Commission wants you to be aware of your right to intervene in this matter. Your comments and request for intervention should be addressed to:**

**Executive Director's Office  
Public Service Commission of Kentucky  
P.O. Box 615  
Frankfort, Kentucky, 40602.**

**Please refer to case number 2009-00415 in your correspondence.**

Bluegrass Cellular welcomes the opportunity to serve and provide wireless service in your community! (For more information, please check us out online at [www.myblueworks.com](http://www.myblueworks.com))

SENDER: COMPLETE THIS SECTION	COMPLETE THIS SECTION ON DELIVERY
<ul style="list-style-type: none"><li>■ Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.</li><li>■ Print your name and address on the reverse so that we can return the card to you.</li><li>■ Attach this card to the back of the mailpiece, or on the front if space permits.</li></ul>	A. Signature <input checked="" type="checkbox"/> <i>Ruth Ann Jolly</i> <input type="checkbox"/> Agent <input type="checkbox"/> Addressee
1. Article Addressed to: <i>JACK &amp; Ruth Ann Jolly P.O. BOX 25 McQuady, Kentucky 40153</i>	B. Received by (Printed Name) _____ C. Date of Delivery _____ D. Is delivery address different from item 1? <input type="checkbox"/> Yes If YES, enter delivery address below: <input type="checkbox"/> No
2. Article Number (Transfer from service label) <i>7009 0080 0001 0806 4320</i>	3. Service Type <input checked="" type="checkbox"/> Certified Mail <input type="checkbox"/> Express Mail <input type="checkbox"/> Registered <input type="checkbox"/> Return Receipt for Merchandise <input type="checkbox"/> Insured Mail <input type="checkbox"/> C.O.D.
	4. Restricted Delivery? (Extra Fee) <input type="checkbox"/> Yes

November 3, 2009

Eddie Wayne Sherron  
P.O. Box 39  
McQuady, Kentucky 40153

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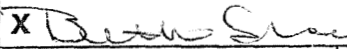
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1. Article Addressed to: Eddie Wayne Sherron P.O. Box 39 McQuady, KY 40153	B. Received by (Printed Name) C. Date of Delivery
2. Article Number (Transfer from service label) 7009 0080 0001 0806 4337	D. Is delivery address different from item 1? <input type="checkbox"/> Yes If YES, enter delivery address below: <input type="checkbox"/> No
	3. Service Type <input checked="" type="checkbox"/> Certified Mail <input type="checkbox"/> Express Mail <input type="checkbox"/> Registered <input type="checkbox"/> Return Receipt for Merchandise <input type="checkbox"/> Insured Mail <input type="checkbox"/> C.O.D.
	4. Restricted Delivery? (Extra Fee) <input type="checkbox"/> Yes

November 3, 2009

Johnny Allen & Maura Armes  
P.O. Box 26  
McQuady, Kentucky 40153

## Public Notice

Kentucky RSA #3 Cellular General Partnership ("Kentucky RSA #3") is a Kentucky general partnership that markets its services as Bluegrass Cellular. Bluegrass Cellular has been serving Central Kentucky with wireless communications services for over 15 years.


Kentucky RSA #3 is applying to the Public Service Commission of the Commonwealth of Kentucky (the "Commission") for a Certificate of Public Convenience and Necessity to construct and a new cell facility to provide cellular telephone service. This facility will include a 240-foot tower to be located at 245 Dejarnette Lane, McQuady, Breckinridge County, Kentucky, 40153. A map showing the location is attached.

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Public Service Commission of Kentucky  
P.O. Box 615  
Frankfort, Kentucky, 40602.**

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1. Article Addressed to: Johnny Allen & Maura Armes P.O. Box 26 McQuady, KY 40153	B. Received by (Printed Name) _____ C. Date of Delivery _____
2. Article Number (Transfer from service label)	D. Is delivery address different from item 1? <input type="checkbox"/> Yes If YES, enter delivery address below: <input type="checkbox"/> No
	3. Service Type <input checked="" type="checkbox"/> Certified Mail <input type="checkbox"/> Express Mail <input type="checkbox"/> Registered <input type="checkbox"/> Return Receipt for Merchandise <input type="checkbox"/> Insured Mail <input type="checkbox"/> C.O.D.
	4. Restricted Delivery? (Extra Fee) <input type="checkbox"/> Yes

7009 0080 0001 0886 4313

November 3, 2009

Harold and Nancy DeJarnette  
P.O. Box 23  
McQuady, Kentucky 40153

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Kentucky RSA #3 Cellular General Partnership ("Kentucky RSA #3) is a Kentucky general partnership that markets its services as Bluegrass Cellular. Bluegrass Cellular has been serving Central Kentucky with wireless communications services for over 15 years.

Kentucky RSA #3 is applying to the Public Service Commission of the Commonwealth of Kentucky (the "Commission") for a Certificate of Public Convenience and Necessity to construct and a new cell facility to provide cellular telephone service. This facility will include a 240-foot tower to be located at 245 DeJarnette Lane, McQuady, Breckinridge County, Kentucky, 40153. A map showing the location is attached.

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Public Service Commission of Kentucky  
P.O. Box 615  
Frankfort, Kentucky, 40602.**

**Please refer to case number 2009-00415 in your correspondence.**

Bluegrass Cellular welcomes the opportunity to serve and provide wireless service in your community! (For more information, please check us out online at [www.myblueworks.com](http://www.myblueworks.com))

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1. Article Addressed to: <i>Harold &amp; Nancy DeJarnette P.O. Box 23 McQuady, Kentucky 40153</i>	B. Received by <i>(Printed Name)</i> C. Date of Delivery
2. Article Number <i>(Transfer from service label)</i> 7009 0080 0001 0806 4306	D. Is delivery address different from item 1? <input type="checkbox"/> Yes If YES, enter delivery address below: <input type="checkbox"/> No
	3. Service Type <input checked="" type="checkbox"/> Certified Mail <input type="checkbox"/> Express Mail <input type="checkbox"/> Registered <input type="checkbox"/> Return Receipt for Merchandise <input type="checkbox"/> Insured Mail <input type="checkbox"/> C.O.D.
	4. Restricted Delivery? (Extra Fee) <input type="checkbox"/> Yes

November 3, 2009

Orville Stacy and Judi Taul  
5811 North Highway 105  
Hardinsburg, Kentucky 40143

## Public Notice

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Public Service Commission of Kentucky  
P.O. Box 615  
Frankfort, Kentucky, 40602.**

**Please refer to case number 2009-00415 in your correspondence.**

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1. Article Addressed to: Orville Stacy & Judi Taul 5811 N. Highway 105 Hardinsburg, Kentucky 40143	B. Received by (Printed Name) STACY TAUL C. Date of Delivery 11/30/09
2. Article Number (Transfer from service label) 7009 0000 0001 0806 4290	D. Is delivery address different from item 1? <input type="checkbox"/> Yes If YES, enter delivery address below: <input type="checkbox"/> No
	3. Service Type <input checked="" type="checkbox"/> Certified Mail <input type="checkbox"/> Express Mail <input type="checkbox"/> Registered <input type="checkbox"/> Return Receipt for Merchandise <input type="checkbox"/> Insured Mail <input type="checkbox"/> C.O.D.
	4. Restricted Delivery? (Extra Fee) <input type="checkbox"/> Yes

F  
Receipt 102595-02-M-1540



**Dinsmore & Shohl**  
ATTORNEYS LLP

Kerry W. Ingle  
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November 3, 2009

Honorable Ray Powers  
Breckinridge County Judge Executive  
Courthouse Annex  
111 West 2<sup>nd</sup> Street  
P.O. Box 227  
Hardinsburg, Kentucky 40143-0227

**Re: *Application of Kentucky RSA #3 Cellular General Partnership d/b/a Bluegrass Cellular for a Certificate of Public Convenience and Necessity to construct a cellular tower to be located at 245 Dejarnette Lane, McQuady, Kentucky, 40153, before the Public Service Commission of the Commonwealth of Kentucky, Case No. 2009-00415***

Dear Judge Powers:


Kentucky RSA #3 Cellular General Partnership is applying to the Public Service Commission of Kentucky (the Commission”) for a Certificate of Public Convenience and Necessity to propose construction and operation for a new facility to provide cellular radio telecommunications service in rural service area (RSA) #3 in Breckinridge County. The facility will include a 240 ft. tower and an equipment shelter to be located at 245 Dejarnette Lane, McQuady, Breckinridge County, Kentucky, 40153. A map showing the location of the proposed new facility is enclosed.

The Commission invites your comments regarding the proposed construction. You also have the right to intervene in this matter.

Your comments and request for intervention should be addressed to: Executive Director’s Office, Public Service Commission, P.O. Box 615, Frankfort, Kentucky 40602. Please refer to case number 2007-00434 in your correspondence.

Very truly yours,

DINSMORE & SHOHL LLP



Kerry W. Ingle, Paralegal

enclosure

SENDER: COMPLETE THIS SECTION	COMPLETE THIS SECTION ON DELIVERY
<ul style="list-style-type: none"> <li>Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.</li> <li>Print your name and address on the reverse so that we can return the card to you.</li> <li>Attach this card to the back of the mailpiece, or on the front if space permits.</li> </ul>	<p>A. Signature  <input checked="" type="checkbox"/> <i>Kathina Bell</i>      <input checked="" type="checkbox"/> Agent  <input type="checkbox"/> Addressee</p> <p>B. Received by (Printed Name)  <i>Kathina Bell</i></p> <p>C. Date of Delivery  <input type="checkbox"/> Yes  <input checked="" type="checkbox"/> No</p>
<p>1. Article Addressed to:</p> <p><i>Honorable Ray Powers  Breckinridge County Judge  Executive  111 West 2nd Street  P.O. Box 227  Hardinsburg, KY 40143-0227</i></p>	<p>D. Is delivery address different from Item 1?  If YES, enter delivery address below:</p> <p style="text-align: center;">NOV 11 4 2009</p> <p>3. Service Type <i>40143</i></p> <p><input checked="" type="checkbox"/> Certified Mail    <input type="checkbox"/> Express Mail  <input type="checkbox"/> Registered        <input type="checkbox"/> Return Receipt for Merchandise  <input type="checkbox"/> Insured Mail      <input type="checkbox"/> C.O.D.</p> <p>4. Restricted Delivery? (Extra Fee)    <input type="checkbox"/> Yes</p>
<p>2. Article Number  (Transfer from service label)</p>	<p>7009 0080 0001 0806 4344</p>







# **PUBLIC NOTICE**

**Kentucky RSA #3 Cellular  
General Partnership proposes  
to construct a cellular  
communications**

# **TOWER**

**on this site. If you have any  
questions please contact:**

**Kentucky RSA #3 Cellular  
General Partnership  
P. O. Box 5012  
2902 Ring Road  
Elizabethtown, KY 42701**

**or**

**Executive Director,  
The Public Service Commission  
211 Sower Boulevard  
P. O. Box 615  
Frankfort, KY 40602**

**Please refer to P.S.C.  
Case #2009-00415  
in your correspondence.**



# **PUBLIC NOTICE**

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General Partnership proposes  
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# **TOWER**

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The Public Service Commission  
211 Sower Boulevard  
P. O. Box 615  
Frankfort, KY 40602**

**Please refer to P.S.C.  
Case #2009-00415  
in your correspondence.**







**PUBLIC NOTICE**  
NOTICE TO THE PUBLIC  
REGARDING THE  
CONSTRUCTION OF A  
NEW POWER TOWER  
ON THE  
PROPERTY OF  
THE  
STATE OF  
MISSISSIPPI  
CASE #2009-09415  
BY THE  
COMMISSIONER OF  
THE MISSISSIPPI  
POWER AND LIGHT  
COMMISSION





# The Breckinridge Herald-News

- 120 Old Hwy 60 • P.O. Box 6  
Hardinsburg, KY 40143
- Telephone: (270) 756-2109 • Fax: (270) 756-1003

November 12, 2009

## AFFIDAVIT OF PUBLICATION

I, Nadean Croan, hereby certify that I am the manager of The Breckinridge Herald-News, a newspaper published in the State of Kentucky, County of Breckinridge, and having a bona fide circulation in Breckinridge County, Kentucky.

I certify that the attached advertisement "Notice" Kentucky RSA #3 Cellular General Partnership, LLC," for the purpose of intent to construct and operate a new cellular facility (McQuady cell site), is a true copy of the said notice and was published in The Breckinridge Herald-News on Wednesday, November 11, 2009.

The Breckinridge Herald-News

By \_\_\_\_\_

Subscribed and sworn to before me this November 12, 2009

My Commission expires: 12-22-2012

Suzanne N. Hinton  
Notary Public

Breckinridge County, Kentucky



### Help Wanted

**TIRE TECHNICIAN WANTED**  
**Big O Tires**  
**Old US Hwy 60**  
**Hardinsburg**  
**Apply in person**

**35**  
**Wanted**

**WANTED TO BUY:** Junk cars-pay up to \$150. Transmissions, batteries & catalytic converters. 270-230-6942. W Geary. 45-17p.

**IT PAYS TO ADVERTISE**

### GUNS FOR SALE

- REMINGTON 700 BDL, bolt action, 25-06 Bull barrell with scope & sling \$ 550;
- REMINGTON Model 700, bolt action 270 black stock with scope & sling \$ 450;
- REMINGTON Model 710, bolt action 30-06 with scope, grey stock \$ 400;
- SAVAGE 243 bolt action with scope, black stock \$ 350.

**270-945-1781**

**OPEN POSITION** - Part time Certified Medical Technologist or MLT graduate. Variable hours, second and third shifts. Excellent pay and benefits. Interested qualified applicants make application at Breckinridge Memorial Hospital, 1011 Old Hwy 60, Hardinsburg, KY 40143, or call (270) 756-6541 for Lab Supervisor, or (270) 756-6562 for Human Resources.

We are an equal opportunity employer.

**BRECKINRIDGE HEALTH, INC.**  
 A regional health system formed to improve the health and functioning of the people of our communities.  
 A Tradition of Community Healthcare

### \$2,500 SIGN ON BONUS!

**Medco Center of Hardinsburg** currently has Full Time opportunities for RNs and LPNs on Evening and Night shifts. We offer an industry leading salary and benefits package for FT nurses including:

- Dental Insurance
- Vision Insurance
- 7 Paid Holidays
- 401K
- Sick
- Vacation

\$2,500 Annual Tuition Reimbursement

Part time and PRN positions available all shifts.

Interested candidates apply in person to:

**Nola Brooks, DON**  
**Medco Center of Hardinsburg**  
**101 Fairgrounds Road**  
**Hardinsburg KY 40143**  
**270-756-2157**

**60**  
**Garage/Yardsales**

**OPEN HOUSE- HOME INTERIOR & Celebrating Home Items;** All New & lots of them. Cash & carry or can order. Great gifts for Christmas or anytime. Plus lots of Christmas decorations. Fri & Sat, Nov. 13 & 14 starting at 9 a.m. Hwy 690 SeRee. Signs posted. Rain or shine. Gladys Drane 257-2378. 45p

**2 PC QUEEN PILLOW TOP** mattress set, still sealed in original wrapper, \$75. 270-854-5205. Britton. 45p.

**FOR SALE- NEW RECLINER** lift chair. Bought at Taylor Pharmacy, paid \$600, will take \$550. Sherron, 270-589-2502. 45p.

**USED FURNITURE CALL**  
**270-259-3856**  
**OR**  
**270-259-6254**

### PUBLIC NOTICE

The Hardinsburg Sports and Recreation Complex Board of Directors currently have two vacancies. For information pertaining to the vacancies, contact Sh Ashley at 756-5113. Applications are available at the Courthouse Annex during regular business hours and a criminal background check is required.

### LEGAL NOTICE

This is to serve as notice that Kentucky RSA #3 Cellular General Partnership, LLC, a Kentucky limited liability company, d/b/a Bluegrass Cellular, is fulfilling compliance requirements for proposed construction of a 240 foot self support telecommunications tower located at 245 DeJarnette Lane, McQuady, Kentucky. Comments are sought on the effect of the proposed tower on historic properties. For comments, please contact Liz Barrow at Pat Engineering and Environmental, Inc., 400 Production Court, Louisville, Kentucky 40299.

### NOTICE

Kentucky RSA #3 Cellular General Partnership is applying to the Public Service Commission of the Commonwealth of Kentucky for a certificate of Public Convenience and Necessity to construct and operate a new facility to provide cellular radio telecommunications service in rural service area #3 of the Commonwealth of Kentucky (McQuady Cell Site). The facility is a 240 foot tower and an equipment shelter to be located at 245 DeJarnette Lane, McQuady, Breckinridge County, Kentucky 40153. Your comments and requests for intervention should be addressed to: Executive Director's Office, Public Service Commission, Post Office Box 211 Sower Boulevard, Frankfort, Kentucky 40602. Please refer to Case No. 2009-00415 in your correspondence.

Communicare, a progressive community mental health organization has the following position available:

### COORDINATOR-PREVENTION

This full time position provides alcohol and drug prevention services. Qualifications include a Master's Degree in a behavioral health field. A Bachelors Degree may be substituted with experience in the substance abuse prevention field. Candidate must obtain a Certified Prevention Specialist certification within 2 years of employment.

Communicare offers a competitive salary, flexible scheduling and an exceptional benefit plan to include: Medical, Dental, Vision and Life Insurance, 401(k), KY Retirement, up to 33 days off per year and other exceptional benefits. For consideration please e-mail, fax or mail resumes to:

**COMMUNICARE, INC.**  
 Attn: Human Resources/Job Opportunities  
 107 Cranes Roost Court  
 Elizabethtown, KY 42701  
 (270) 762-9554 Fax  
 hr@communicare.org  
 "EOE"

# The Breckinridge Herald-News

• 120 Old Hwy 60 • P.O. Box 6  
Hardinsburg, KY 40143  
• Telephone: (270) 756-2109 • Fax: (270) 756-1003

December 1, 2009

## AFFIDAVIT OF PUBLICATION

I, Nadean Croan, hereby certify that I am the manager of The Breckinridge Herald-News, a newspaper published in the State of Kentucky, County of Breckinridge, and having a bona fide circulation in Breckinridge County, Kentucky.

I certify that the attached advertisement "Notice" Kentucky RSA #3 Cellular General Partnership, LLC," for the purpose of intent to construct and operate a new cellular facility (McQuady cell site), is a true copy of the said notice and was published in The Breckinridge Herald-News on Wednesday, November 18, 2009.

The Breckinridge Herald-News

By Nadean Croan

Subscribed and sworn to before me this December 1, 2009

My Commission expires: 12-22-2012

Suzanne N. Dunion

Notary Public

Breckinridge County, Kentucky

# NOTICE

Kentucky RSA #3 Cellular General Partnership is applying to the Public Service Commission of the Commonwealth of Kentucky for a certificate of Public Convenience and Necessity to construct and operate a new facility to provide cellular radio telecommunications service in rural service area #3 of the Commonwealth of Kentucky (McQuady Cell Site). The facility is a 240 foot tower and an equipment shelter to be located at 245 DeJarnette Lane, McQuady, Breckinridge County, Kentucky 40159. Your comments and requests for intervention should be addressed to: Executive Director's Office, Public Service Commission, Post Office Box 615, 211 Sower Boulevard, Frankfort, Kentucky 40602. Please refer to Case No. 2009-00415 in your correspondence.

RNs and LPNs on Evening and Night shifts.  
We offer an industry leading salary and benefits package for FT nurses including:

- Dental Insurance
- Vision Insurance
- 7 Paid Holidays
- 401K
- Sick
- Vacation
- \$2,500 Annual Tuition

Part time and PRN positions

Interested candidates apply in person

**Nola Brooks,**  
Medco Center of Hardinsburg  
101 Fairgrounds  
Hardinsburg KY  
270-756-215

COMMONWEALTH OF KENTUCKY  
46<sup>TH</sup> JUDICIAL DISTRICT  
BRECKINRIDGE CIRCUIT COURT  
DIVISION I  
CIVIL ACTION NO. 09-CI-00171

BAC HOME LOANS SERVICING, LP f/k/a  
COUNTRYWIDE HOME LOANS SERVICING LP

PLAINTIFF

VS.

COMMISSIONER'S SALE

JOHN ADKISSON  
LUTISHA J. ADKISSON

DEFENDANTS

By virtue of a Judgment and Order of Sale of the Breckinridge Circuit Court entered October 22, 2009, in the above styled action, awarding Plaintiff in rem judgment against the Defendants, John Adkisson and Lutisha J. Adkisson, in the amount of \$42,647.13 (FORTY-TWO THOUSAND SIX HUNDRED FORTY-SEVEN DOLLARS AND THIRTEEN CENTS), plus interest, court costs, attorney fees, etc. I shall proceed to offer for sale at the front door of the Breckinridge County Courthouse, to the highest and best bidder, at Public Auction, on December 7, 2009, at 10:30 a.m., local prevailing time, the following real estate having a street address of 444 East 86 Highway, Irvington, Breckinridge County, Kentucky 40146, and more particularly described as follows:

BEGINNING at a set 1/2 inch rebar and cap on a corner common to the subject tract and a tract conveyed to Roger Dale Dowell as described in Deed Book 155 page 246 in said clerk's office and in the southerly line of the right of way line of Kentucky Highway No. 86 said point of beginning being located 30 feet from the centerline and referenced southeasterly along said highway about 0.35 of a mile from its intersection with US 60; THENCE along said right of way line South 64 degrees 40 minutes 45 seconds East 531.77 feet to a set 1/2 inch rebar and cap in said right of way line; THENCE along a new line severing the lands of said Lyons South 19 degrees 39 minutes 45 seconds West 238.15 feet to a set 1/2 inch rebar and cap on a new corner to the parent tract and in the northerly line of a tract conveyed to Steve Tabor as described in Deed Book 262 Page 125 and Deed Book 229 Page 376 in said clerk's office; THENCE along the northerly line of said Tabor tract North 70 degrees 20 minutes 15 seconds West 490.46 feet to a set 1/2 inch rebar and cap corner to Tabor; THENCE along said Tabor's and said Dowell's easterly property line North 12 degrees 04 minutes 24 seconds East 293.15 feet to the point of beginning, containing 3.082 acres according to this survey made 03/09/01 by William J. Kelley PLS #2026 and being subject to all recorded and implied easements and rights of way and especially an ingress and egress easement whose description is as follows: A strip of land 20 feet wide lying 10 feet on each side of the following described line; Beginning at a point in the centerline of an existing drive, said point being located in the southerly line of the right of way of Kentucky Highway No. 86 North 64 degrees 40 minutes 45 seconds West 101.80 feet from a set 1/2 inch rebar and cap on the northeast corner of the subject tract; THENCE along the centerline of a drive following two (2) courses and distances which are as follows:

- 1) South 16 degrees 06 minutes 03 seconds West 15.93 feet to a point;
- 2) South 35 degrees 06 minutes 09 seconds East 122.82 feet to a point in the southeasterly property line of the subject tract, as surveyed by William J. Kelley, L.S.S. #2026, March 11, 2001.

Being the same property conveyed to John Adkisson, single, from Anna Mae Lyons by deed dated March 13, 2001 and recorded in Deed Book 272 at page 790 in the Breckinridge County Clerk's Office.

The above-described real estate will be sold free and clear of all claims but subject to the following:

- a. The purchaser shall pay all city, state, county and school taxes due and payable for the current year and all subsequent taxes, and any delinquent State, County and/or real estate taxes sold pursuant to the provisions of KRS Chapter 134 to any private purchaser during the pendency of this action,
- b. Easements, restrictions, and stipulations of record,
- c. Any matters which would be disclosed by an accurate survey or inspection of the property, and
- d. Any current assessments for public improvements levied against the property.

The real estate will be sold on terms of ten (10%) percent of the purchase price in cash; with the balance due and payable in thirty (30) days, with the purchaser to be required to execute bond with good surety thereon, to be approved by the Master Commissioner, to secure the unpaid portion of the purchase price; said bond to bear interest at the rate of twelve (12%) percent per annum from the date of sale until paid, and said bond shall have the same force and effect as a judgment and to remain a prior and superior lien on said property until fully paid.

The purchaser shall have the privilege of paying the purchase price in cash, or paying said bond before maturity by paying the principal amount thereof, together with all interest accrued thereon to date of such payment. The purchaser shall be required to assume and pay all taxes against said property by the County of Breckinridge, Commonwealth of Kentucky, and any school district which shall become due and payable at any time during the year 2009 and thereafter, and said sale shall be made subject to all easements, covenants and restrictions of record, and shall be sold with improvements thereon, "as is". Bidders shall be prepared to comply promptly with these terms.

Based on the Property Valuation Administrator's records the 2009 assessed value of the property is \$30,000.00. Based on the 2008 tax rate the 2009 tax bill will be for the approximate amount of \$254.40 which shall be the responsibility of the purchaser of the property.

The risk of loss for the subject property shall pass to the purchaser on the date of sale. The right to possession of the premises shall pass to the purchaser upon payment of the purchase price and delivery of the deed.

Dated this the 29th day of October, 2009.

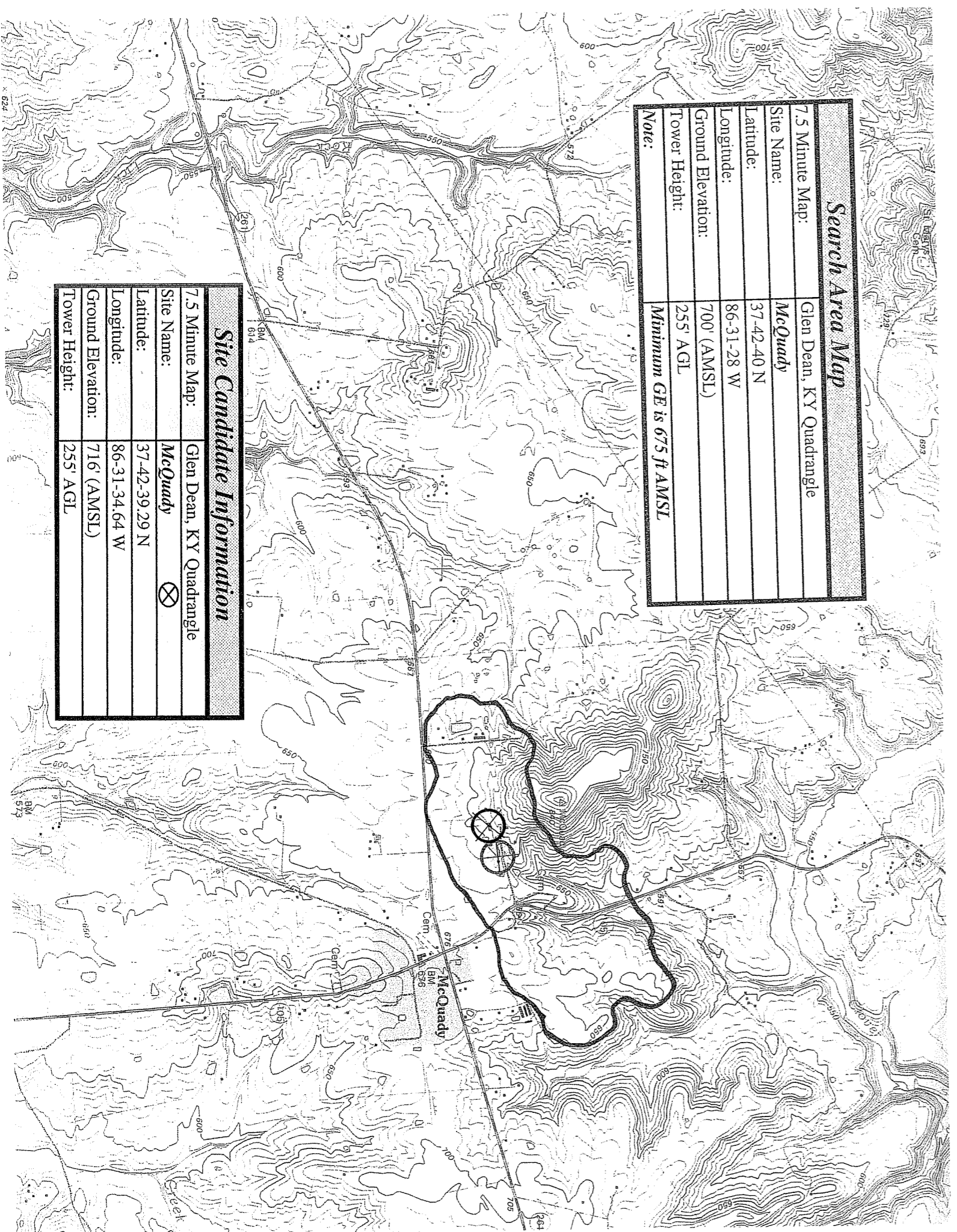
**HERBERT M. O'REILLY**  
MASTER COMMISSIONER  
BRECKINRIDGE CIRCUIT COURT



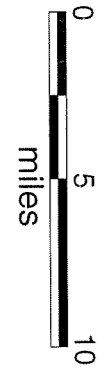


<b>Search Area Map</b>	
7.5 Minute Map:	Glen Dean, KY Quadrangle
Site Name:	<i>McQuady</i>
Latitude:	37-42-40 N
Longitude:	86-31-28 W
Ground Elevation:	700' (AMSL)
Tower Height:	255' AGL
<b>Note:</b>	<i>Minimum GE is 675 ft AMSL</i>

<b>Site Candidate Information</b>	
7.5 Minute Map:	Glen Dean, KY Quadrangle
Site Name:	<i>McQuady</i> ⊗
Latitude:	37-42-39.29 N
Longitude:	86-31-34.64 W
Ground Elevation:	716' (AMSL)
Tower Height:	255' AGL







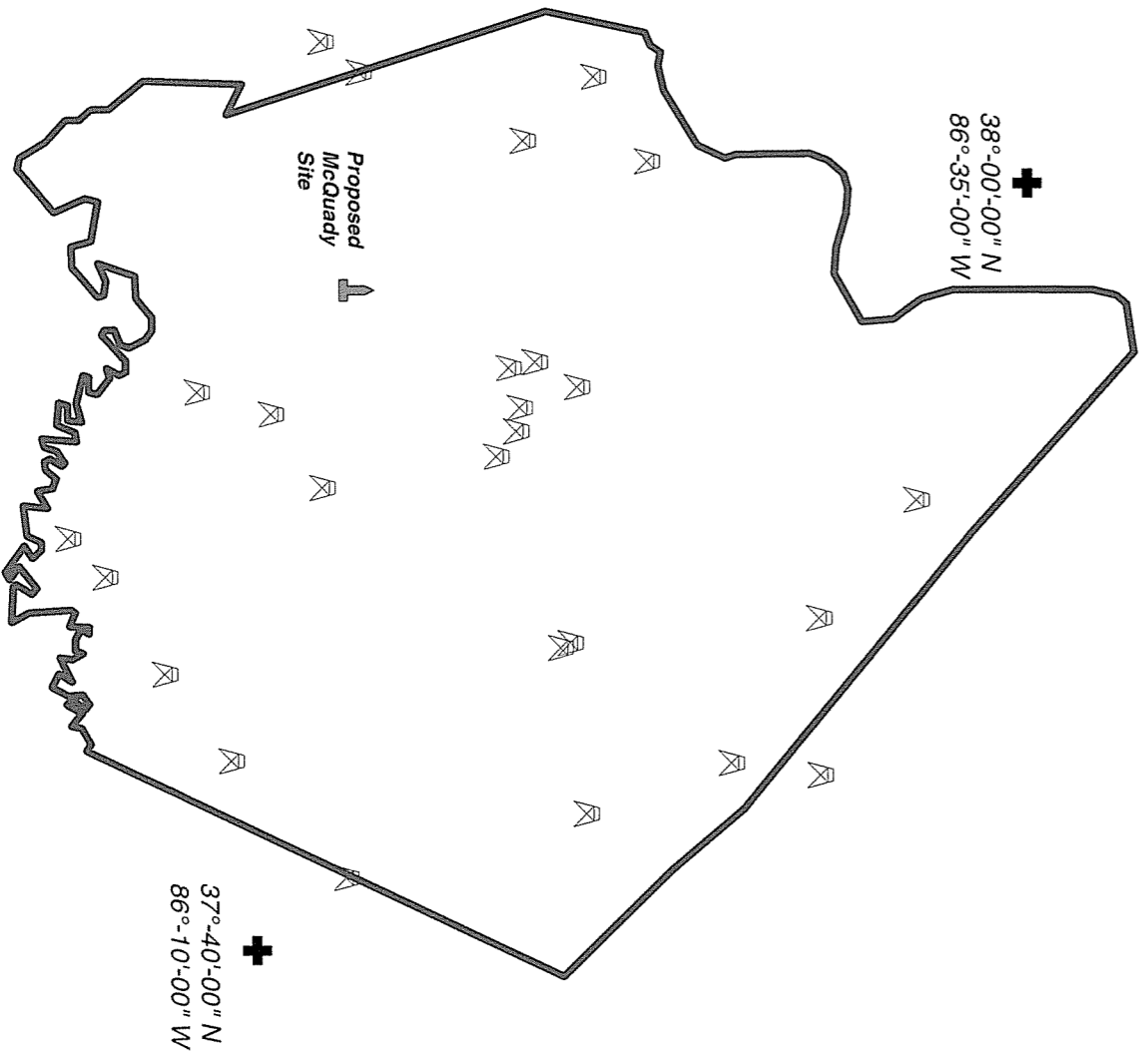
**Breckinridge County Boundary**

**Constructed Wireless Tower Locations Registered with the FCC**

**Proposed Tower Location**

**Tick Marks**

Prepared By: LNGS Engineering      10/23/2009



**Information on Towers Registered with the FCC  
in Breckinridge County and 1/2 Mile Area Outside of the County Boundary**

FCC Tower Reg. No.	North Latitude	West Longitude	City, State	Tower Owner
1025097	37-40-25.2 N	86-27-31.7 W	Hardinsburg, KY	NEW CINGULAR WIRELESS PCS, LLC
1039667	37-47-15 N	86-29-12 W	Hardinsburg, KY	Texas Gas Transmission, LLC
1031873	37-38-30 N	86-28-15 W	Kingswood, KY	KENTUCKY RSA #3 CELLULAR GENERAL PARTNERSHIP
1042282	37-46-14.2 N	86-26-6.9 W	Hardinsburg, KY	BRECKINRIDGE BROADCASTING CO INC
1043043	37-47-53 N	86-19-51 W	Garfield, KY	KENTUCKY RSA 3 CELLULAR GENERAL PARTNERSHIP DBA = BLUEGRASS CELLULAR
1043429	37-57-6.1 N	86-24-38.3 W	Union Star, KY	NEW CINGULAR WIRELESS PCS, LLC
1043452	37-37-37.8 N	86-19-2 W	McDaniels, KY	DukeNet Communication Services LLC
1043896	37-52-17.8 N	86-16-3.5 W	Irvington, KY	Skytower Communications-94.3, LLC
1044834	37-39-21 N	86-16-11 W	Constantine, KY	KENTUCKY, COMMONWEALTH OF DBA = KY EMERGENCY WARNING SYSTEM KEWS
1049229	37-41-45 N	86-39-42 W	Fordsville, KY	American Towers, Inc.
1050174	37-42-44 N	86-38-42 W	Fordsville, KY	TELAVA WIRELESS INC
1050176	37-48-32 N	86-14-25 W	Bewleyville, KY	Telava Wireless, Inc.
1061965	37-46-51 N	86-27-42 W	Hardinsburg, KY	BRECKINRIDGE, COUNTY OF
1200734	37-54-35 N	86-20-47 W	Webster, KY	Big Rivers Electric Corporation
1200744	37-46-34 N	86-29-0 W	Hardinsburg, KY	Big Rivers Electric Corporation
1200816	37-46-57.8 N	86-36-26.3 W	Mattingly, KY	The Cronwell Group, Inc.
1214128	37-36-6.2 N	86-22-12.9 W	McDaniels, KY	Radio Station WBFJ - Bethel Fellowship, Inc.
1215288	37-48-20.2 N	86-22-22.4 W	Hardinsburg, KY	NEW CINGULAR WIRELESS PCS, LLC
1242951	37-50-10.4 N	86-35-44.7 W	Cloverport, KY	Kentucky RSA #3 Cellular General Partnership
1245605	37-48-47.7 N	86-38-31.5 W	Breckinridge, KY	NEW CINGULAR WIRELESS PCS, LLC
1261013	37-54-35.9 N	86-15-38.9 W	Guston, KY	Big Rivers Electric Corporation
1261014	37-46-45.5 N	86-26-56.5 W	Hardinsburg, KY	Big Rivers Electric Corporation
1262107	37-41-44.8 N	86-25-6.2 W	Harned, KY	Kentucky RSA #3 Cellular General Partnership
1264212	37-42-18.4 N	86-12-20.7 W	Cecilia, KY	Kentucky RSA 4 Cellular General Partnership
1268315	37-35-8.1 N	86-12-20.7 W	Leitchfield, KY	PowerTel/Memphis, Inc.
1270783	37-48-8.3 N	86-20-0.2 W	Irvington, KY	PowerTel/Memphis, Inc.