RECEIVED

SEY 29 2009

PUBLIC SERVICE COMMISSION

COMMONWEALTH OF KENTUCKY

BEFORE THE PUBLIC SERVICE COMMISSION

In the Matter of:

APPLICATION OF CUMBERLAND CELLULAR
PARTNERSHIP FOR ISSUANCE OF A CERTIFICATE
OF PUBLIC CONVENIENCE AND NECESSITY TO
CONSTRUCT A CELL SITE (MILLTOWN) IN RURAL
SERVICE AREA #5 (ADAIR) OF THE COMMONWEALTH
OF KENTUCKY

CASE NO. 2009-00324

APPLICATION FOR A CERTIFICATE OF PUBLIC CONVENIENCE AND NECESSITY (MILLTOWN)

Cumberland Cellular Partnership ("Cumberland Cellular"), through counsel, pursuant to KRS 278.020 and 278.040, hereby submits this application for a certificate of public convenience and necessity to construct a cell site to be known as the Milltown cell site in and for rural service area ("RSA") #5 of the Commonwealth of Kentucky, namely the counties of Barren, Monroe, Metcalfe, Adair, Cumberland, Russell, Clinton, Wayne, McCreary and Hart, Kentucky.

- 1. As required by 807 KAR 5:001 Sections 8(l) and (3), and 807 KAR 5:063, Cumberland Cellular states that it is a Kentucky limited liability partnership whose full name and post office address are: Cumberland Cellular Partnership, 2902 Ring Road, Elizabethtown, Kentucky, 42701.
- 2. Pursuant to 807 KAR § 1 (1)(b), a copy of the applicant's applications to the Federal Aviation Administration and Kentucky Airport Zoning Commission are Exhibit "A". Written authorizations from these agencies will be supplied to the Commission upon their approval.
- 3. Pursuant to 807 KAR 5:063 §1(1)(d), applicant is submitting as Exhibit "B" a geotechnical investigation report, signed and sealed by a professional engineer registered in Kentucky, that includes boring logs, foundation design recommendations, and a finding as to the susceptibility of the area surrounding the proposed site to flood hazard.
- 4. Pursuant to 807 KAR 5:063 §1(1)(e), clear directions from the county seat to the proposed site, including highway numbers and street names, if applicable, with the telephone number of the person who prepared the directions are Exhibit "C".

- 5. Pursuant to 807 KAR 5:063 §1(1)(f), a copy of the lease for the property on which the tower is proposed to be located, is Exhibit "D".
- 6. Pursuant to 807 KAR §1(1)(g), experienced personnel will manage and operate the Milltown cell site. The President of Bluegrass Cellular Inc., Mr. Ron Smith, is ultimately responsible for all construction and operations of the cellular system of Cumberland Cellular, of which system the Milltown cell site will be a part. Bluegrass Cellular Inc. provides management services to Cumberland Cellular under a management contract, just as it does with three (3) other wireless carriers in the Commonwealth. And, Bluegrass Cellular Inc. has been providing these management services to these other wireless carriers for well over a decade. This extensive management experience with Bluegrass Cellular demonstrates that Bluegrass Cellular Inc.'s management and technical ability to supervise the operations of a wireless carrier.
- 7. Pursuant to 807 KAR §1(1)(g), World Tower Company, Inc. is responsible for the design specifications of the proposed tower (identified in Exhibit "B").
- 8. Pursuant to 807 KAR 5:063 §1(1)(h), a site development plan or survey, signed and sealed by a professional engineer registered in Kentucky, that shows the proposed location of the tower and all easements and existing structures within 500 feet of the proposed site on the property on which the tower will be located, and all easements and existing structures within 200 feet of the access drive, including the intersection with the public street system, is Exhibit "B".
- 9. Pursuant to 807 KAR 5:063 §1(1)(i), a vertical profile sketch of the tower, signed and sealed by a professional engineer registered in Kentucky, indicating the height of the tower and the placement of all antennas; is Exhibit "B".
- 10. Pursuant to 807 KAR 5:063 §1(1)(j), the tower and foundation design plans and a description of the standard according to which the tower was designed, signed and sealed by a professional engineer registered in Kentucky, is Exhibit "B".

- 11. Pursuant to 807 KAR 5:063 § 1 (1)(k), a map, drawn to a scale no less than one (1) inch equals 200 feet, that identifies every structure and every owner of real estate within 500 feet of the proposed tower, is Exhibit "E".
- 12. Pursuant to 807 KAR 5:063 § 1 (1)(l), applicant's legal counsel hereby affirms that every person who owns property within 500 feet of the proposed tower has been: (i) notified by certified mail, return receipt requested, of the proposed construction; (ii) given the commission docket number under which the application will be processed; and (iii) informed of his right to request intervention.
- 13. Pursuant to KRS 278.665(2), applicant's legal counsel hereby affirms that every person who, according to the records of the property valuation administrator, owns property contiguous to the property where the proposed cellular antenna tower will be located has been: (i) notified by certified mail, return receipt requested, of the proposed construction; (ii) given the commission docket number under which the application will be processed; and (iii) informed of his right to request intervention.
- 14. Pursuant to 807 KAR 5:063 §1(1)(m), a list of the property owners who received the notice together with copies of the certified letters sent to listed property owners, is Exhibit "F".
- 15. Pursuant to 807 KAR 5:063 § 1 (1)(n), applicant's legal counsel hereby affirms that the Adair County Judge Executive has been: (i) notified by certified mail, return receipt requested, of the proposed construction; (ii) given the commission docket number under which the application will be processed; and (iii) informed of its right to request intervention.
- 16. Pursuant to 807 KAR 5:063 §1(1)(o), a copy of the notice sent to the Adair County Judge Executive is Exhibit "G".
- 17. Pursuant to 807 KAR 5:063 § 1 (1)(p), applicant's legal counsel hereby affirms that (i) two written notices meeting subsection two (2) of this section have been posted, one in a visible location on the proposed site and one on the nearest public road; and (ii) the notices shall remain posted for at least two weeks after the application has been filed.

- 18. Pursuant to 807 KAR 5:063 § 1 (2)(a), applicant's legal counsel affirms that:
 - (a) A written notice, of durable material at least two (2) feet by four (4) feet in size, stating that "Cumberland Cellular Partnership proposes to construct a telecommunications tower on this site", including the addresses and telephone numbers of the applicant and the Kentucky Public Service Commission, has been posted and shall remain in a visible location on the proposed site until final disposition of the application; and
 - (b) A written notice, of durable material at least two (2) feet by four (4) feet in size, stating that "Cumberland Cellular Partnership proposes to construct a telecommunications tower near this site", including the addresses and telephone numbers of the applicant and the Kentucky Public Service Commission, has been posted on the public road nearest the site.

A copy of each sign is attached as Exhibit "H"

- 19. Pursuant to 807 KAR 5:063 § 1 (1)(q), a statement that notice of the location of the proposed construction has been published in a newspaper of general circulation in the county in which the construction is proposed and is attached as Exhibit "I.".
- 20. Pursuant to 807 KAR 5:063 § 1(1)(r), the cell site, which has been selected, is in a relatively undeveloped area in Columbia, Kentucky.
- 21. Pursuant to 807 KAR 5:063 §1(1)(s), Cumberland Cellular has considered the likely effects of the installation on nearby land uses and values and has concluded that there is no more suitable location reasonably available from which adequate service to the area can be provided, and that there is no reasonably available opportunity to co-locate. Cumberland Cellular has attempted to co-locate on towers designed to host multiple wireless service providers' facilities or existing structures, such as a telecommunications tower, or another suitable structure capable of supporting the utility's facilities.
- 22. Pursuant to 807 KAR 5:063 § 1(1)(t), a map of the area in which the tower is proposed to be located, that is drawn to scale and that clearly depicts the search area in which a site should, pursuant to radio frequency requirements, be located is Exhibit "J".
- 23. Pursuant to KRS 100.987(2)(a), a grid map, that is drawn to scale, that shows the location of all existing cellular antenna towers and that indicates the general position of proposed construction sites for new cellular antenna towers is Exhibit "K".

- 24. No reasonably available telecommunications tower, or other suitable structure capable of supporting the cellular facilities of Cumberland Cellular and which would provide adequate service to the area exists.
- 25. Correspondence and communication with regard to this application should be addressed to:

John E. Selent
Holly C. Wallace
DINSMORE & SHOHL LLP
1400 PNC Plaza
500 West Jefferson Street
Louisville, KY 40202
(502) 540-2300
(502) 585-2207 (Fax)
selent@dinslaw.com
holly.wallace@dinslaw.com

WHEREFORE, Cumberland Cellular Partnership requests the Commission to enter an order:

- 1. Granting a certificate of public convenience and necessity to construct the Milltown cell site; and
 - 2. Granting all other relief as appropriate.

Respectfully submitted,

John E. Sefent Holly C. Wallace

DINSMORE & SHOHL LLP

1400 PNC Plaza

500 West Jefferson Street

Louisville, KY 40202

(502) 540-2300

(502) 585-2207 (Fax)

john.selent@dinslaw.com

holly.wallace@dinslaw.com

	,		

LUKAS, NACE, GUTIERREZ & SACHS, LLP

1650 Tysons Boulevard, Suite 1500 McLean, Virginia 22102 703 584 8678 • 703 584 8696 Fax

WWW.FCCLAW.COM

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DAVID A. LAFURIA
PAMELA L. GIST
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J. K. HAGE III*

JOHN J. MCAVOY*

HON. GERALD S. MCGOWAN*

TAMARA DAVIS BROWN*

CONSULTING ENGINEERS

ALI KUZEHKANANI

*NOT ADMITTED IN VA

September 18, 2009

Via Federal Express

Mr. John Houlihan Kentucky Airport Zoning Commission 90 Airport Road Building 400 Frankfort, Kentucky 40601

Dear Mr. Houlihan:

Enclosed please find two completed TC 56-50 forms, Application for Permit to Construct or Alter a Structure, for a new tower (Milltown) near Columbia, Kentucky. The Structure, including top-mounted antennas will have an overall height of 255 feet Above Ground Level.

Enclosed Form TC 56-50 and the attached exhibit include all the pertinent information for this existing tower structure. Also enclosed are copies of the completed FAA Form 7460-1 for the proposed site, a non-reduced 7-1/2' U.S. Geological Survey map indicating the exact location of the site, and a 2-C survey.

Please do not hesitate to contact the undersigned if there are questions regarding this matter.

Sincerely,

Deila Rezanavaz

Consulting Engineer

Enclosures

CC: Doug Updegraff

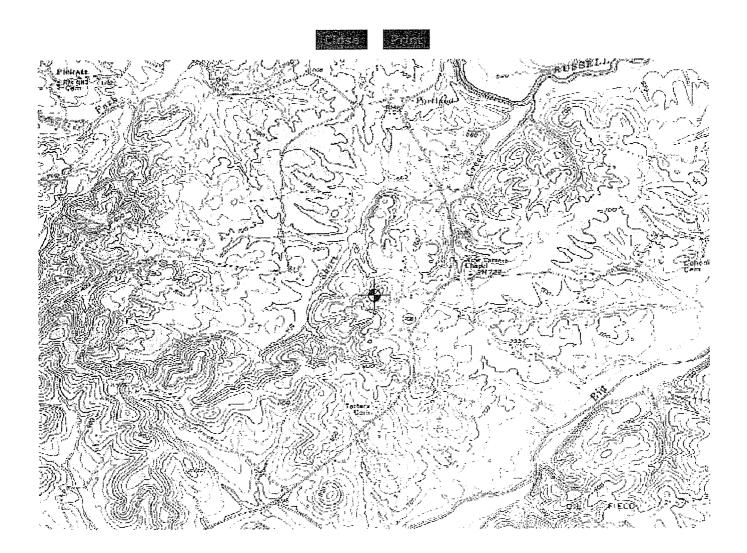
Kentucky Transportation Cabinet, Kentucky Airport Zoning Commission, 125 Holmes Street, Frankfort KY 40622

Kentucky Aeronautical Study Number

APPLICATION FOR PERMIT TO CONSTRUCT OR ALTER A STRUCTURE

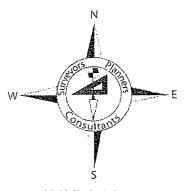
1. APPLICANT - Name, Address, Telephone, Fax, etc. Scott McCloud Bluegrass Cellular 2902 Ring Road Elizabethtown, KY 42702 Tel: 270-769-0339 Fax: 270-737-0580 2. Representative of Applicant - Name, Address, Telephone, Fax Leila Rezanavaz Lukas, Nace, Gutierrez & Sachs, Chartered 1650 Tysons Blvd., Suite 1500 McLean, VA 22102 T: 703-584-8668 3. Application for. New Construction Alteration Existing 4. Duration: Permanent Temporary (Months	9. Latitude: 37 ° 6 ' 15 .98 " 10. Longitude: 85 ° 26- ' 55 14 " 11. Datum: NAD 83 NAD 27 Other 12. Nearest Kentucky City Columbia County: Adair 13. Nearest Kentucky public use or Military airport: Columbia—AdairCounty Airport 14. Distance from #13 to Structure: 5.7 Miles 15. Direction from #13 to Structure: West 16. Site Elevation (AMSL): 794 Feet 17. Total Structure Height (AGL): 255 Feet 18. Overall Height (#16+#17) (AMSL): 1049 Feet 19. Previous FAA and/or Kentucky Aeronautical Study Number(s): N/A							
5. Work Schedule: Start11/15/09End 11/20/09 6. Type: Antenna Tower Crane Building Power Line Landfill Water Tank Other 7. Marking/Painting and/or Lighting Preferred: Red Lights and Paint Dual - Red & Medium Intensity White White - Medium Intensity Dual - Red & High Intensity White White - High Intensity Other 8. FAA Aeronautical Study Number 2009-ASO-5605-OF	20. Description of Location: (Attach a USGS 7.5 minute Quadrangle Map or an Airport Layout Drawing with the precise site marked and any certified survey) Site is located at: 294 Ben Smith Road Columbia, KY 42728							
21. Description of Proposal: Structure: Proposed self-supporting tower with overall height of 255'. Max. ERP.: 250 Watts Frequencies: Cellular Band B								
22. Has a "NOTICE OF CONSTRUCTION OR ALTERATION" (FAA Form 7460-1) been filed with the Federal Aviation Administration? CERTIFICATION: I hereby certify that all the above statements made by me are true, complete and correct to the best of my knowledge and belief. Leila Rezanavaz / Consuting Engineer Penalties: Persons failing to comply with Kentucky Revised Statutes (KRS 183.861 through 183.990) and Kentucky Administrative Regulations (602 KAR 050: Series) are liable for fines and/or imprisonment as set forth in KRS 183.990(3). Non-compliance with Federal Aviation Administration Regulations may result in further penalties.								
Commission Action: Chairman, KAZC Approved Disapproved	Administrator, KAZC Date							

OE/AAA Mapping Page 1 of 1



Landmark Surveying Co., Inc.

Darren L. Helms, P.L.S., PRESIDENT Dennis N. Helms, P.L.S., VICE PRESIDENT



15 N.E. 3rd Street
Washington, Indiana 47501
Phone: 812-257-0950
Fax: 812-257-0953
Email: landmark97@sbcglobal.net

DARREN L. HELMS
3386
LICENSED
PROFESSIONAL

2C Certification

April 20, 2009

Designation: Milltown
Site ID No.: Not Available

Tower Type: Proposed Self-Support Tower

Location: 294 Ben Smith Road, Columbia, Kentucky 42728

I certify that the latitude, longitude, ground elevation and height of the proposed self-support tower are as follows:

Latitude: 37 degrees 06 minutes 15.98 seconds North (NAD 1983)
Longitude: 85 degrees 26 minutes 55.14 seconds West (NAD 1983)
Ground Elevation: 794.0 feet or 242.01 meters (NAVD 1988)
Proposed Structure Height: 240 feet or 73.2 meters (above ground level)

Proposed Overall Structure Height: not available (above ground level)

(abovo ground tovol)

The accuracy of the latitude and longitude of the proposed self-support tower is \pm 50 feet or \pm 15 meters. The ground elevation and structure height are accurate to within \pm 20 feet or \pm 6 meters.

The information shown above is based upon field observations made on April 16, 2009 using the National Geodetic Survey monument "Z 225" and the Kentucky State Plane Coordinate System, South Zone, NAD 1983 (2007). The field observations were completed using Sokkia GPS receivers and a Topcon GPT-8005A robotic total station. Geodetic computations were completed using Sokkia's Locus software and Autodesk Land Desktop Companion 2008 software.

Landmark Surveying Co., Inc.

Darren L. Helms, Kentucky Professional Land Surveyor No. 3386

Notice of Proposed Construction or Alteration - Off Airport

	to the second property and the property of the second seco	
Project Name:	3LUEG-000129422-09	Sponsor: Bluegrass Cellular, Inc.

Details for Case: Milltown

Show Project Summary

Case Status									
ASN: 2009-ASO-560	15-OE		Date Accepted: 09/18/2009						
Status: Accepted			Date Determined:						
			Letters:	None					
			Documents:	09/18/2009	2C Survey.pd	f			
Construction / Alterat	ion Infor	mation	Structure Sumn	nary					
Notice Of:	Construction	on	Structure Type:	Antenna Tower					
Duration:	Permanent		Structure Name:	Milltown					
if Temporary :	Months:	Days:	FCC Number:						
Work Schedule - Start:	11/15/200	9	Prior ASN:						
Work Schedule - End:	11/20/200	9							
State Filing:	Filed with 9	State							
Structure Details			Common Freque	ency Bands					
Latitude:		37° 6' 15.98" N	Low Freq 806	High Freq 824	Freq Unit MHz	ERP 500	ERP U		
Longitude:		85° 26' 55.14" W	824 851	849 866	MHz MHz	500 500	w		
Horizontal Datum;		NAD83	869	894 901	MHz	500 500	w w		
Site Elevation (SE):		794 (nearest foot)	896 901	902	MHz MHz	7	W		
Structure Height (AGL):		255 (nearest foot)	930 93 1	931 932	MHz MHz	3500 3500	w		
Requested Marking/Ligh	ting:	Dual-red and medium intensity	932 935	932.5 940	MHz MHz	17 1000	dBW W		
	Other:		940 1850	941 1910	MHz MHz	3500 1640	w		
Recommended Marking/	Lighting:		1930 2305	1990 2310	MHz MHz	1640 2000	w		
Current Marking/Lightin	g:	None	2345	2360	MHz	2000	w		
	Other:		Cunsidia France						
Nearest City:		Columbia	Specific Freque	licies					
Nearest State:		Kentucky							
Description of Location:		The site is located at: 294 Ben Smith Road Columbia, KY 42728							
		Proposed self supporting tower							



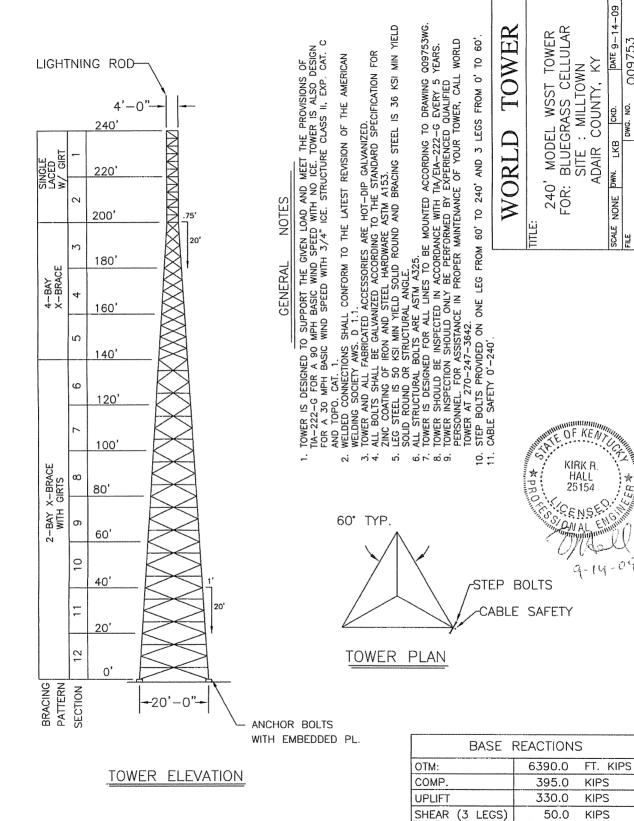
1213 Compressor Drive P O Box 508 Mayfield, KY 42066 270-247-3642 FAX: 270-247-0909

E-mail: worldtower@worldtower.com

Web: www.worldtower.com

240' MODEL WSST TOWER FOR: BLUEGRASS CELLULAR SITE: MILLTOWN ADAIR COUNTY, KY DESIGN PACKAGE





DATE 9-14-09

COUNTY, KY

79.0

188.0

WT. NO ICE WT. 3/4" ICE KIPS

KIPS

009753

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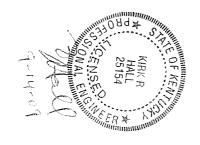
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DWN.

SCALE NONE

SECTION NO.	LEGS	DIAGONALS	GIRTS	SPLICE BOLTS	DIAG BOLTS	GIRT BOLTS	
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2	2	1 1/8	1		WELDED CONSTRUCTION		
3	2 1/2	2 X 1/8	2 X 1/8	4-1"	5/8	5/8	
4	2 3/4	2 X 1/8	N/A			N/A	
5	3	2 X 3/16					
6	3 1/4	2 1/2 X 3/16	2 X 1/8	6-1"		5/8	
7	3 1/2	3 X 3/16	2 X 3/16		+		
8	3 1/2	3 X 3/16	2 1/2 X 3/16		3/4	3/4	
9	3 3/4	3 X 1/4	2 1/2 X 3/16	6-1 1/4"			
10	3 3/4	3 X 1/4	3 X 3/16				
11	4	3 1/2 X 1/4	3 X 3/16				
12	4	3 1/2 X 1/4	3 X 3/16	6-1 1/4"	<u> </u>		
	I	1		ANCHOR BOLTS			

	ANTENNA LOADING	
ELEV.	DESCRIPTION	LINE
240'	(6) ANTEL RWB 80014/120 ON WD13X53 MOUNT	6- 1 5/8"
220'	(6) ANTEL RWB 80014/120 ON WD13X53 MOUNT	6- 1 5/8"
200'	(6) ANTEL RWB 80014/120 ON WD13X53 MOUNT	6- 1 5/8"
180'	(6) ANTEL RWB 80014/120 ON WD13X53 MOUNT	6- 1 5/8"
160'	(6) ANTEL RWB 80014/120 ON WD13X53 MOUNT	6- 1 5/8"
140'	6' GRID DISH	1- 1 5/8"

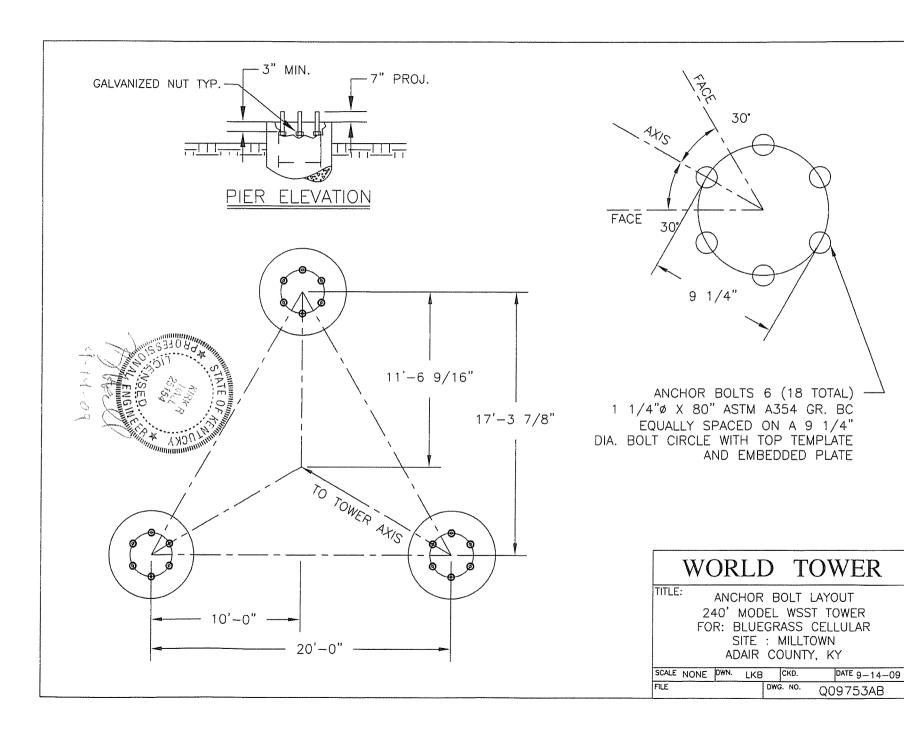


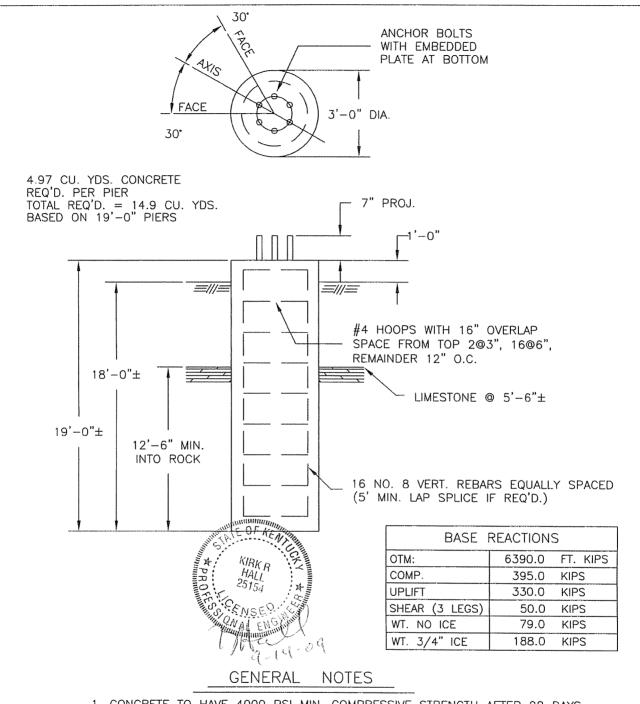
WORLD TOWER

TITLE:

240' MODEL WSST TOWER FOR: BLUEGRASS CELLULAR SITE : MILLTOWN ADAIR COUNTY, KY

SCALE	NONE	DWN.	LKB	CKD.	D	ATE 9-14-09
FILE			DWG. NO	Q09	9753T	





- 1. CONCRETE TO HAVE 4000 PSI MIN. COMPRESSIVE STRENGTH AFTER 28 DAYS. 2. ALL REINFORCMENT STEEL IS DEFORMED AND MEETS THE STRENGTH

REQUIREMENTS OF ASTM A615 GRADE 60.

3. EMBEDDED STEEL TO HAVE 3" MIN. CONCRETE COVER.

4. FOUNDATION DESIGN IS BASED ON CUSTOMER SUPPLIED SOIL DATA FROM TERRACON PROJECT NO. 57097337 DATED SEPTEMBER 8, 2009.

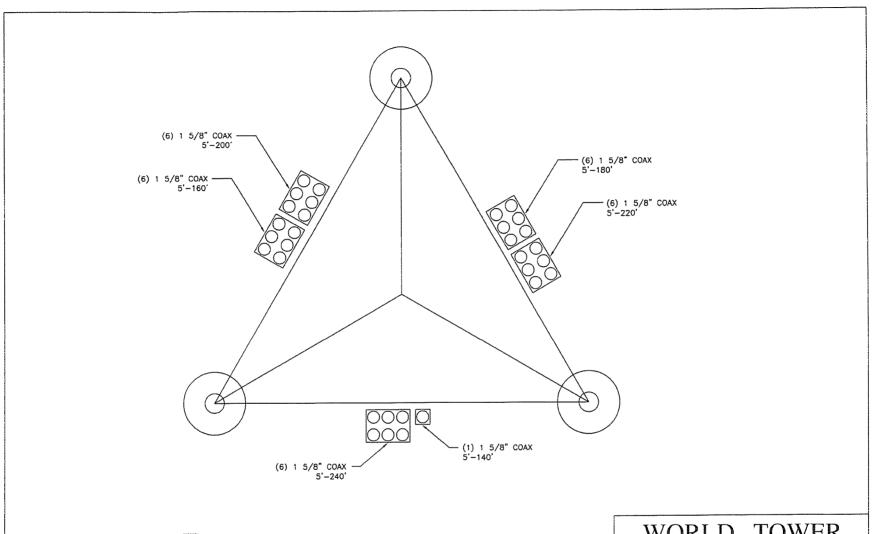
TITLE:

FOUNDATION DETAIL 240' MODEL WSST TOWER FOR: BLUEGRASS CELLULAR SITE: MILLTOWN

ADAIR COUNTY, KY

WORLD TOWER

SCALE	NONE	DWN.	LKB		CKD.		DATE	9-14-09
FILE				DWG	. NO.	Q09	753	SF .





PLAN VIEW

WORLD TOWER

TITLE: WAVEGUIDE LOCATION 240' MODEL WSST TOWER FOR: BLUEGRASS CELLULAR SITE : MILLTOWN ADAIR COUNTY, KY

SCALE NONE DWN.				CKD.		DATE 9-14-09
FILE				DWG. NO.	QO	9753WG

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DESIGNED APPURTENANCE LOADING

DESIGNED AT TORTERIANCE ESABING										
TYPE	ELEVATION	TYPE	ELEVATION							
Flash Beacon Lighting WD13X53 Antenna Mounting Frame	240 240	(2) Antel RWB 80014/120 w/ mnt pipe(Panel 96.5"x11.2"x5 9")*	200							
(w/ 75)*		(2) Antel RWB 80014/120 w/ mnt pipe(Panel 96 5"x11,2"x5 9")*	200							
WD13X53 Antenna Mounting Frame (w/ 75)*	240	(2) Antel RWB 80014/120 w/ mnt	200							
WD13X53 Antenna Mounting Frame (w/ 75)*	240	pipe(Panel 96 5"x11 2"x5.9")* WD13X53 Antenna Mounting Frame	180							
(2) Antel RWB 80014/120 w/ mnl.	240	(w/ .75)*	100							
pipe(Panel 96 5"x11 2"x5.9")* (2) Antel RWB 80014/120 w/ mnt	240	WD13X53 Antenna Mounting Frame (w/ 75)*	180							
pipe(Panel 96.5"x11.2"x5.9")*		WD13X53 Antenna Mounting Frame (w/ 75)°	180							
(2) Antel RWB 80014/120 w/ mnt pipe(Panel 96 5"x11.2"x5.9")*	240	(2) Antel RWB 80014/120 w/ mnt	180							
WD13X53 Antenna Mounting Frame (w/ 75)*	220	pipe(Panel 96.5"x11.2"x5 9")* (2) Antel RWB 80014/120 w/ mnt.	180							
WD13X53 Antenna Mounting Frame	220	pipe(Panel 96 5"x11 2"x5.9")*	160							
(w/ .75)* WD13X53 Antenna Mounting Frame	220	(2) Antel RWB 80014/120 w/ mnt. pipe(Panel 96.5"x11 2"x5.9")*	180							
(w/ 75)*		WD13X53 Antenna Mounting Frame	160							
(2) Antal RWB 80014/120 w/ mnt pipe(Panel 96.5"x11.2"x5.9")*	220	(w/ .75)* WD13X53 Antenna Mounting Frame	160							
(2) Antel RWB 80014/120 w/ mnt pipe(Panel 96 5"x11 2"x5 9")*	220	(w/ .75)*	• * * * * * * * * * * * * * * * * * * *							
(2) Antel RWB 80014/120 w/ mnt	220	WD13X53 Antenna Mounting Frame (w/ 75)*	160							
pipe(Panel 96 5"x11 2"x5 9")* WD13X53 Antenna Mounting Frame	200	(2) Antel RWB 80014/120 w/ mnt pipe(Panet 96.5"x11.2"x5.9")*	160							
(w/ 75)*		(2) Antel RWB 80014/120 w/ mnt pipe(Panel 96.5"x11.2"x5.9")*	160							
WD13X53 Antenna Mounting Frame (w/ 75)*	200	(2) Antel RWB 80014/120 w/ mnt	160							
WD13X53 Antenna Mounting Frame	200	pipe(Panel 96.5"x11 2"x5 9")*	***							
(w/ 75)*		6' Grid Dish	140							

MATERIAL STRENGTH

GRADE	T	Fy	Fu	GRADE	F	У	Fu	ı
A572-50	50 ksi	6.	5 ksi	A36	36 ksi		58 ksi	

TOWER DESIGN NOTES

- Tower is located in Adair County, Kentucky.
- Tower designed for Exposure C to the TIA-222-G Standard
- Tower designed for a 90 00 mph basic wind in accordance with the TIA-222-G Standard
- 4. Tower is also designed for a 30 00 mph basic wind with 0 75 in ice. Ice is considered to increase in thickness with height
- 5 Deflections are based upon a 60 00 mph wind
 6 Tower is designed for feedlines distributed on 3 tower faces with a maximum of 6 lines exposed to the wind on any one face.
- Weak link in diagonals from 140' to 120'
- TOWER RATING: 95.5%

MAX. CORNER REACTIONS AT BASE

DOWN: 395 K UPLIFT: -330 K SHEAR: 32 K

> AXIAL 188 K

SHEAR 6 K

MOMENT 834 kip-ft

J TORQUE 1 kip-ft 30 00 mph WIND - 0.75 in ICE

79 K

AXIAL

MOMENT

SHEAR 50 K

6390 kip-ft J

TORQUE 3 kip-ft REACTIONS - 90 00 mph WIND



World Tower Company 1213 Compressor Drive Mayfield, Kentucky 42066 Phone: (270) 247-3642 FAX: (270) 247-0909

© Q09-753 fall half height

Project Milltown, Adair County, Kentucky

Client Bluegrass Cellular Drawn by Kirk Hall App'd

Code: TIA-222-G

Date: 09/14/09 Scale: NTS Dwg No. E-1

Path CNTowerPE Runs/0009/Q69-753 Milltown/Q69-753 en

Proposed 240' Self Supporting Tower

Milltown Site

Columbia, Adair County, Kentucky

September 8, 2009 Project No. 57097337

Prepared for: Bluegrass Cellular Partnership Elizabethtown, Kentucky

> Prepared by: Terracon Consultants, Inc. Louisville, Kentucky

Offices Nationwide Employee-Owned Established in 1965 terracon.com





Bluegrass Cellular Partnership 2902 Ring Road Elizabethtown, Kentucky 42702

Attention: Mr. Doug Updegraff

Regarding: Geotechnical Engineering Report

Proposed 240' Self-Supporting Tower

Site Name: Milltown

Columbia, Adair County, Kentucky Terracon Project No. 57097337

Dear Mr. Updegraff:

Terracon Consultants, Inc. (Terracon) has completed the geotechnical engineering services for the above referenced project. This report presents the findings of the subsurface exploration and provides geotechnical recommendations concerning earthwork and the design and construction of foundations for the proposed project.

Terracon's geotechnical design parameters and recommendations within this report apply to the existing planned tower height and would apply to adjustments in the tower height, up to a 20% increase or decrease in height, as long as the type of tower does not change. If changes in the height of the tower dictate a change in tower type (i.e. - self-support to monopole), Terracon should be contacted to evaluate our recommendations with respect to these changes.

We appreciate the opportunity to be of service to you on this project. If you have any questions concerning this report, or if we may be of further service, please contact us.

Sincerely,

Terracon Consultants, Inc.

Shaikh Z. Rahman, P.E.

Project Engineer

Copies

3 hard copies, 1 pdf Addressee:

Timothy G. LáGrow Senior Principal Kentucky PE#- 177

LaGHOW

4545 Bishop Lane, Suite 101 Louisville, KY 40218 Terracon Consultants, Inc. P [502] 456 1256 F [502] 456 1278 terracon.com

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APPENDIX

Boring Location Plan

Boring Log

Field Exploration

Laboratory Testing

General Notes

General Notes – Sedimentary Rock Classification

Unified Soil Classification

GEOTECHNICAL ENGINEERING REPORT PROPOSED 240' SELF-SUPPORTING TOWER MILLTOWN SITE COLUMBIA, ADAIR COUNTY, KENTUCKY

Project No. 57097337 September 8, 2009

1.0 PROJECT INFORMATION

1.1 Project Description

ITEM	DESCRIPTION					
Site layout	See Appendix A, Figure 1, Boring Location Diagram					
Site Dimensions	About 100 feet by 100 feet					
Tower	Self Supporting, 240 feet tall					
	Vertical: 600 kips (assumed)					
Maximum loads	Shear: 80 kips (assumed)					
	Uplift 500 kips (assumed)					
Maximum allowable settlement	1-inch (assumed)					
Equipment Building:	Column: 25 kips (assumed)					
Maximum Loads	Wall: 1.5 kips/ft (assumed)					
Equipment Building:	Total Settlement: <1-inch (assumed)					
Maximum allowable settlement	Differential Settlement: ¾ inch over 40 feet (assumed)					
Condina	Cut: 3 feet (+/-) max (assumed)					
Grading	Fill: 3 feet (+/-) max (assumed)					
Cut and fill slopes	Not expected					

1.2 Site Location and Description

ITEM	DESCRIPTION					
Location	294 Ben Smith Road, Columbia, Adair County, Kentucky.					
Existing improvements	Undeveloped pasture, adjacent to an existing self-supporting telecommunication tower.					
Current ground cover	Grass					
Existing topography	Moderate to gently sloping					



Terracon Project No. 57097337

2.0 SUBSURFACE CONDITIONS

2.1 Geology

	This formation consists of limestone, siltstone and						
	shale. Limestone is yellowish-gray and brownish-						
	gray to medium-gray, coarse grained and medium						
Ft. Payne ¹	to thick bedded. Siltstone and Shale are medium to						
•	dark gray, locally calcareous and fossiliferous.						
	Shale is medium bedded. This formation is						
	approximately 265 to 300 feet thick.						
1. Based on the Geologic Map of Gradyville	quadrangle, Kentucky, published by the Kentucky						

^{1.} Based on the Geologic Map of *Gradyville* quadrangle, Kentucky, published by the Kentucky Geological Survey (1963).

2.2 Typical Profile

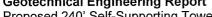
Based on the results of our boring, drilled near the expected tower center as staked in the field by the client's representative, the subsurface conditions on the project site can be generalized as follows:

Description	Approximate Depth to Bottom of Stratum (feet)	Material Encountered	Consistency/Density		
Surface	0.1	Topsoil	N/A		
Stratum 1	2½	Silty Clay and seathered limestone	N/A		
Stratum 3	17½	Limestone	165 pcf, RQD = 0 to 77%		

Stratification boundaries on the boring log represent the approximate location of changes in soil types; in-situ, the transition between materials may be gradual. Further details of the boring can be found on the boring log in Appendix of this report.

2.3 Groundwater

No groundwater was encountered during the auger drilling portion of the borehole. Water was used to advance the borehole during rock coring operations. The introduction of water into the borehole precluded obtaining accurate groundwater level readings at the time of drilling operations. Long term observation of the groundwater level in monitoring wells, sealed from the influence of surface water, would be required to obtain accurate groundwater levels on the site.





3.0 RECOMMENDATIONS FOR DESIGN AND CONSTRUCTION

3.1 **Geotechnical Considerations**

Based on subsurface conditions encountered in the boring, the tower can be supported by drilled pier foundations or a shallow mat foundation. The lightly loaded equipment building may be supported on shallow spread footings bearing on suitable near surface natural soils. Design recommendations for the tower drilled piers and a mat foundation as well as shallow footings for the equipment building are presented in the following paragraphs.

3.2 **Foundation Recommendations**

3.2.1 Drilled Pier Foundation System

The proposed tower can be founded on a straight shaft drilled pier foundation system. Based on the results of field and laboratory testing, we have developed the following drilled pier design parameters.

Approximate Depth (feet) 1	Allowable Skin Friction (psf)	Allowable End Bearing Pressure (psf) ²	Allowable Passive Pressure (psf)	Cohesion (psf)	Internal Angle of Friction (Degrees)	Strain ε ₅₀	Lateral Subgrade Modulus (pci)
0 – 2 Weathered Limestone	Ignore	Ignore	Ignore	Ignore	Ignore	Ignore	Ignore
2 – 5½ Weathered Limestone	1,000	5,000	2,000	20,000		0.001	1,000
5½ - 17½ Competent Limestone	5,000 ³	20,000	10,000 ³	100,000 ³		0.00001	3,000

- 1. Pier observation is recommended to adjust pier length if variable soil conditions are encountered.
- 2. A total unit weight of 150 and 165 pcf can be assumed for the weathered and relatively intact limestone, respectively.
- 3. The parameters have been reduced to take into account the shallow overburden. The pier should be embedded a minimum of 3 feet into competent limestone to mobilize these higher rock strength parameters. Furthermore, it is assumed the rock socket will be extended using coring techniques rather than blasting/shooting.

Proposed 240' Self-Supporting Tower

■ Columbia, Kentucky
Terracon Project No. 57097337



The above indicated cohesion, friction angle, lateral subgrade modulus and strain values have no factors of safety, and the allowable skin friction and the passive resistances have a factor of safety of about 2. The cohesion, internal friction angle, lateral subgrade modulus and strain values given in the above table are based on our borings, published values and our past experience with similar geologic settings. These values should, therefore, be considered approximate. To mobilize the higher rock strength parameters, the pier should be socketed at least 3 feet into competent bedrock. Furthermore, it is assumed that the rock socket is developed using coring rather than blasting techniques. The allowable end bearing pressure provided in the table has an approximate factor of safety of at least 3. If the drilled pier is designed using the above parameters and bears within the limestone bedrock, settlements are not anticipated to exceed ½ inch.

The upper about 2 foot of silty clay and weathered limestone should be ignored due to potential effects of construction disturbance. To avoid a reduction in uplift and lateral resistance caused by variable bedrock quality, it is recommended that a minimum pier length and minimum rock socket length be stated on the design drawings. Competent bedrock was encountered in our boring below a depth of about 5½ foot but this depth could vary if the tower is moved from the location of our borings, or if significant grade changes occur at the site. Considering the site geology, variable depths of competent bedrock should be anticipated. If the tower center is moved more than 25 feet, our office should be notified to review our recommendations and determine whether an additional boring is required. To facilitate pier length adjustments that may be necessary because of variable rock conditions, it is recommended that a Terracon representative observe the drilled pier excavation.

A drilled pier foundation should be designed with a minimum shaft diameter of 30 inches to facilitate clean out and possible dewatering of the pier excavation. Temporary casing may be required during the pier excavation in order to control possible groundwater seepage and support the sides of the excavation in weak soil zones. Care should be taken so that the sides and bottom of the excavations are not disturbed during construction. The bottom of the shaft should be free of soil or loose rock or debris prior to reinforcing steel and concrete placement.

A concrete slump of at least 6 inches is recommended to facilitate temporary casing removal. It should be possible to remove the casing from a pier excavation during concrete placement provided that the concrete inside the casing is maintained at a sufficient level to resist any earth and hydrostatic pressures outside the casing during the entire casing removal procedure.

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3.2.2 Shallow Mat Foundation System

If desired, a mat foundation can be used to support the proposed tower. The mat foundation can be designed using the following natural soil/engineered fill parameters.

DESCRIPTION	<u>VALUE</u>						
Foundation Subgrade ¹	Overshot and re-compacted bedrock, crushed stone or granular fill extending to bedrock						
Net allowable bearing pressure ²	4,000 psf						
Allowable passive pressure ³	Neglect						
Coefficient of sliding friction ⁴	0.5						
Minimum embedment below finished grade for frost protection	18 inches						
Approximate total settlement ⁵	1 inch						

- 1. A geotechnical engineer should verify footing subgrade prior to concrete placement.
- 2. Assumes any loose rock or soils, if encountered, will be undercut and replaced with approved engineered granular fill. The recommended net allowable bearing pressure is the pressure in excess of the minimum surrounding overburden pressure at the footing base elevation.
- 3. Neglect assuming overshot bedrock and disturbed sidewalls provide limited passive resistance.
- 4. If passive resistance is used to resist lateral loads, the base friction should be neglected.
- 5. The foundation settlement will depend upon the variations within the subsurface soil profile, the structural loading conditions, the embedment depth of the footing, the thickness of compacted fill, and the quality of the earthwork operations.

Uplift forces can be resisted by the dead weight of the footing and the effective weight of any soil above the footing. A unit weight of soil not exceeding 115 pcf is appropriate for the on-site soils backfilled above the foundation, assuming that it is compacted to at least 95 percent of standard Proctor maximum dry density (ASTM D-698). A unit weight of 150 pcf could be used for reinforced footing concrete. The ground surface should be sloped away from the foundation to avoid ponding of water and saturation of the backfill materials.

The base of all foundation excavations should be free of water and loose soil prior to placing concrete. Concrete should be placed soon after excavating to reduce bearing soil disturbance. Should the soils at bearing level become excessively dry, disturbed or saturated, or frozen, the affected soil should be removed prior to placing concrete. Place a lean concrete mud-mat over the bearing soils if the excavations must remain open over night or for an extended period of time. It is recommended that the geotechnical engineer be retained to observe and test the soil foundation bearing materials.

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3.2.3 Equipment Building/Cabinet Foundations

DESCRIPTION	<u>VALUE</u>						
Foundation Subgrade ¹ Net allowable bearing pressure ² Minimum footing sizes Isolated: Wall: Coefficient of sliding friction Minimum embedment below finished grade for frost protection ³	Overshot and re-compacted bedrock, crushed stone or granular fill extending to bedrock						
Net allowable bearing pressure ²	2,500 psf						
Minimum footing sizes Isolated:	2 feet by 2 feet						
Wall:	16 inches wide						
Coefficient of sliding friction	0.5						
Minimum embedment below finished grade for frost protection ³	18 inches						
Approximate total settlement ⁴	1 inch						

- 1. A geotechnical engineer should verify footing subgrade prior to concrete placement.
- 2. Assumes any loose rock or soils, if encountered, will be undercut and replaced with approved engineered fill. The recommended net allowable bearing pressure is the pressure in excess of the minimum surrounding overburden pressure at the footing base elevation.
- 3. For perimeter footing and footings beneath unheated areas.
- 4. The foundation settlement will depend upon the variations within the subsurface soil profile, the structural loading conditions, the embedment depth of the footings, the thickness of compacted fill, and the quality of the earthwork operations.

3.3 Earthwork

Site preparation should begin with removal of topsoil, vegetation, organics and any soft or otherwise unsuitable materials from the entire construction area. We recommend the actual stripping depth along with any soft soils that will require undercutting be evaluated by the geotechnical engineer at the time of construction.

Engineered fill should meet the following material property requirements:

Fill Type ¹	USCS Classification	Acceptable Location for Placement
Well graded granular material	GW, SW, SM, and SC ²	All locations and elevations
On-site materials – weathered rock	-	Not recommended beneath the mat foundation and equipment building area.

- Controlled, compacted fill should consist of approved materials that are free of organic matter and debris. Frozen material should not be used, and fill should not be placed on a frozen subgrade. A sample of each material type should be submitted to the geotechnical engineer for evaluation. Any fill to be placed beneath the tower mat footing should consist of well graded granular material.
- 2. Similar to crushed limestone aggregate or limestone screenings or granular material such as sand, gravel or crushed stone (pug mix).

Proposed 240' Self-Supporting Tower Columbia, Kentucky

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3.3.1 Compaction Requirements

Fill Lift Thickness	9-inches or less in loose thickness				
Compaction Requirements ¹	98% of the materials standard Proctor maximum dry density (ASTM D-698)				
Moisture Content – Granular Material	Workable moisture levels ²				

- We recommend that engineered fill be tested for moisture content and compaction during placement. Should the results of the in-place density tests indicate the specified moisture or compaction limits have not been met, the area represented by the test should be reworked and retested as required until the specified moisture and compaction requirements are achieved.
- Specifically, moisture levels should be maintained low enough to allow for satisfactory compaction to be achieved without the cohesionless fill material pumping when proofrolled.

3.3.2 Construction Considerations

Construction traffic over the completed subgrade should be avoided to the extent practical. The site should also be graded to prevent ponding of surface water on the prepared subgrades or in excavations. If the subgrade should become frozen, desiccated, saturated, or disturbed, the affected material should be removed or these materials should be scarified, moisture conditioned, and recompacted.

The presence of surface rock and proposed grading will result in excavation difficulty that will include rock excavation. This should be considered during the design and construction of the foundation.

As a minimum, all temporary excavations should be sloped or braced as required by Occupational Health and Safety Administration (OSHA) regulations to provide stability and safe working conditions. Temporary excavations will probably be required during grading operations. The grading contractor, by his contract, is usually responsible for designing and constructing stable, temporary excavations and should shore, slope or bench the sides of the excavations as required, to maintain stability of both the excavation sides and bottom. All excavations should comply with applicable local, state and federal safety regulations, including the current OSHA Excavation and Trench Safety Standards.

The geotechnical engineer should be retained during the construction phase of the project to observe earthwork and to perform necessary tests and observations during subgrade preparation; proof-rolling; placement and compaction of controlled compacted fills; backfilling of excavations into the completed subgrade, and just prior to construction of foundations.

Geotechnical Engineering Report
Proposed 240' Self-Supporting Tower

■ Columbia, Kentucky
Terracon Project No. 57097337



4.0 GENERAL COMMENTS

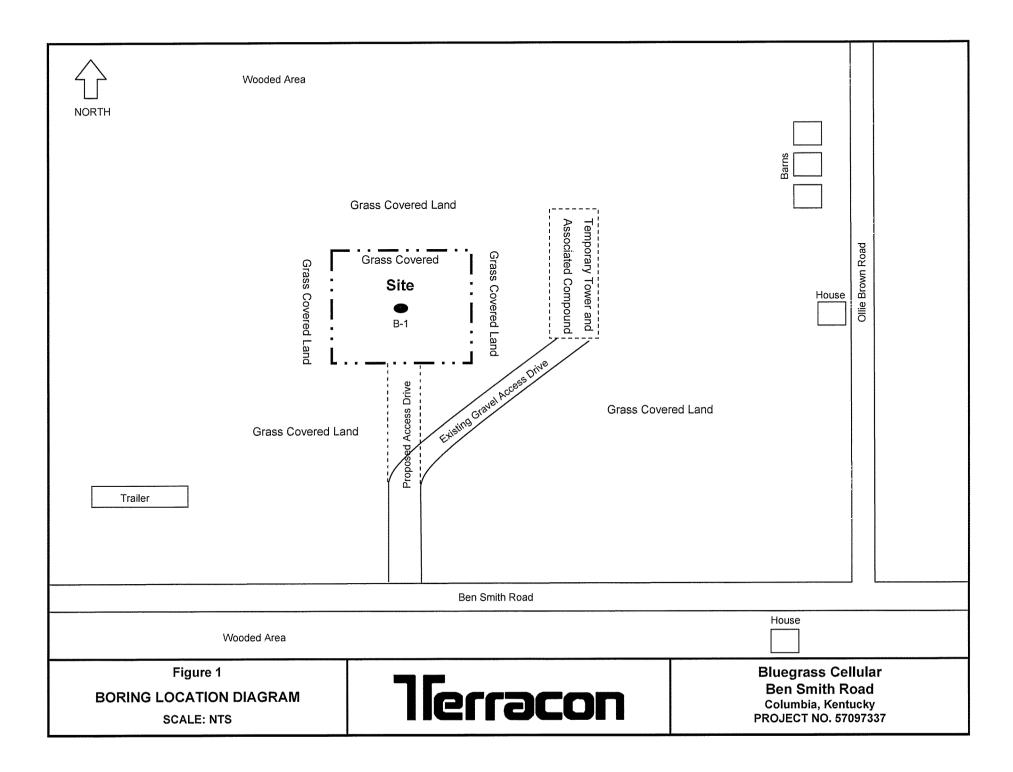
Terracon should be retained to review the final design plans and specifications so comments can be made regarding interpretation and implementation of our geotechnical recommendations in the design and specifications. Terracon also should be retained to provide observation and testing services during grading, excavation, foundation construction and other earth-related construction phases of the project.

The analysis and recommendations presented in this report are based upon the data obtained from the boring performed at the indicated location and from other information discussed in this report. This report does not reflect variations that may occur across the site, or due to the modifying effects of weather. The nature and extent of such variations may not become evident until during or after construction. If variations appear, we should be immediately notified so that further evaluation and supplemental recommendations can be provided.

The scope of services for this project does not include either specifically or by implication any environmental or biological (e.g., mold, fungi, bacteria) assessment of the site or identification or prevention of pollutants, hazardous materials or conditions. If the owner is concerned about the potential for such contamination or pollution, other studies should be undertaken.

This report has been prepared for the exclusive use of our client for specific application to the project discussed and has been prepared in accordance with generally accepted geotechnical engineering practices. No warranties, either express or implied, are intended or made. Site safety, excavation support, and dewatering requirements are the responsibility of others. In the event that changes in the nature, design, or location of the project as outlined in this report are planned, the conclusions and recommendations contained in this report shall not be considered valid unless Terracon reviews the changes and either verifies or modifies the conclusions of this report in writing.





	LOG OF BOR	RING	N	D. E	3-1					Pa	age 1 of 1
CLII	ENT Bluegrass Cellular Partnership										
SITI	Ben Smith Road	PROJECT 240' Self-Supporting Tower Milltown Site									
	Columbia, Kentucky		Milltown Site SAMPLES T								
GRAPHIC LOG	DESCRIPTION Approx. Surface Elev.: 790 ft	DЕРТН, ft.	USCS SYMBOL	NUMBER	ТҮРЕ	RECOVERY, in.	SPT - N BLOWS / ft.	WATER CONTENT, %	DRY UNIT WT pcf	UNCONFINED STRENGTH, psf	
	0.1 TOPSOIL 790	-	-								
	1 SILTY CLAY, light brown 789 WEATHERED LIMESTONE	-	-	1	ss	0	50/1"				
	2.5 787.										
	Auger refusal at 2.5 feet, began coring	_		R-1	DB	63%	RQD 0%				
	LIMESTONE , moderately weathered, dark gray, moderately hard, thin to very thin bedded	-								Acceptance	
H	shale and clay seam from 3.2 to 4.4 feet	5-		R-2	DB	100%	RQD		165	8200	
	LIMESTONE , slightly weathered, dark gray, hard, very thin to thin bedded	-					66%			psi	
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		-		R-3	DB	100%	RQD 77%		165	8410 psi	
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NG LOC											
The	The stratification lines represent the approximate boundary lines between soil and rock types: in-situ, the transition may be gradual. **CME 140 lb SPT automatic hammer										
Ϋ́ .						BORING STARTED 8-21-09					
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WL WL	ă ă Î					RIG		CME		OREMA	
g WL	N/E					APP	ROVE	D	BK .	IOB#	57097337

Geotechnical Engineering Report Proposed 240' Self-Supporting Tower © Columbia, Kentucky

lerracon

Terracon Project No. 57097337

Field Exploration Description

The boring was drilled near the expected tower center as staked in the field by the owner's representative. The approximate boring location is shown on the enclosed boring location plan. The surface elevation shown on the boring log was obtained from the site plan provided by the client.

Drilling was performed using a truck mounted drill rig. Due to shallow refusal, only one (1) sample was obtained by the split-barrel sampling procedure. The boring was advanced into the bedrock using a diamond bit attached to the outer barrel of a double core barrel. The inner barrel collected the cored material as the outer barrel was rotated at high speeds to cut the rock. The barrel was retrieved to the surface upon completion of each drill run. Once the core samples were retrieved, they were placed in a box and logged. The rock was later classified by an engineer and the "percent recovery" and rock quality designation (RQD) were determined.

The "percent recovery" is the ratio of the sample length retrieved to the drilled length, expressed as a percent. An indication of the actual in-situ rock quality is provided by calculating the sample's RQD. The RQD is the percentage of the length of broken cores retrieved which have core segments at least 4 inches in length compared to each drilled length. The percent recovery and RQD are related to rock soundness and quality as illustrated below:

Relation of RQD and In-situ Rock Quality			
RQD (%)	Rock Quality		
90 - 100	Excellent		
75 - 90	Good		
50 - 75	Fair		
25 - 50	Poor		
0 -25	Very Poor		

A field log of the boring was prepared by the drill crew. This log included visual classifications of the materials encountered during drilling as well as the driller's interpretation of the subsurface conditions between samples. The final boring log included with this report represents an interpretation of the field log and includes modifications based on laboratory observation and tests of the samples.

Classification and descriptions of rock core samples are in general accordance with the enclosed General Notes, and are based on visual and tactile observations. Petrographic analysis of thin sections may indicate other rock types. Percent recovery and rock quality designation (RQD) were calculated for these samples and are noted at their depths of occurrence on the boring log.

A field log of the boring was prepared by the drill crew. This log included visual classifications of the materials encountered during drilling as well as the driller's interpretation of the subsurface conditions between samples. The final boring log included with this report represents an Geotechnical Engineering Report
Proposed 240' Self-Supporting Tower

■ Columbia, Kentucky
Terracon Project No. 57097337



interpretation of the field log and includes modifications based on laboratory observation and tests of the samples.

Laboratory Testing

The samples were classified in the laboratory based on visual observation, texture and plasticity. The descriptions of the soils indicated on the boring logs are in general accordance with the enclosed General Notes and the Unified Soil Classification System. Estimated group symbols according to the Unified Soil Classification System are given on the boring logs. A brief description of this classification system is attached to this report.

The laboratory testing program consisted of performing unconfined compressive strength and density tests on representative rock core samples. Results of these tests are provided on the boring log at the appropriate horizon.

GENERAL NOTES

DRILLING & SAMPLING SYMBOLS:

SS:	Split Spoon - 1-3/8" L.D., 2" O.D., unless otherwise noted	HS:	Hollow Stem Auger
ST:	Thin-Walled Tube - 2" O.D., unless otherwise noted	PA:	Power Auger
RS:	Ring Sampler - 2.42" I.D., 3" O.D., unless otherwise noted	HA:	Hand Auger
DB:	Diamond Bit Coring - 4", N, B	RB:	Rock Bit

WB: Wash Boring or Mud Rotary BS: Bulk Sample or Auger Sample

The number of blows required to advance a standard 2-inch O.D. split-spoon sampler (SS) the last 12 inches of the total 18-inch penetration with a 140-pound hammer falling 30 inches is considered the "Standard Penetration" or "N-value".

WATER LEVEL MEASUREMENT SYMBOLS:

WL:	Water Level	WS:	While Sampling	N/E:	Not Encountered
WCI:	Wet Cave in	WD:	While Drilling		
DCI:	Dry Cave in	BCR:	Before Casing Removal		
AB:	After Boring	ACR:	After Casing Removal		

Water levels indicated on the boring logs are the levels measured in the borings at the times indicated. Groundwater levels at other times and other locations across the site could vary. In pervious soils, the indicated levels may reflect the location of groundwater. In low permeability soils, the accurate determination of groundwater levels may not be possible with only short-term observations.

DESCRIPTIVE SOIL CLASSIFICATION: Soil classification is based on the Unified Classification System. Coarse Grained Soils have more than 50% of their dry weight retained on a #200 sieve; their principal descriptors are: boulders, cobbles, gravel or sand. Fine Grained Soils have less than 50% of their dry weight retained on a #200 sieve; they are principally described as clays if they are plastic, and silts if they are slightly plastic or non-plastic. Major constituents may be added as modifiers and minor constituents may be added according to the relative proportions based on grain size. In addition to gradation, coarse-grained soils are defined on the basis of their in-place relative density and fine-grained soils on the basis of their consistency.

CONSISTENCY OF FINE-GRAINED SOILS

RELATIVE DENSITY OF COARSE-GRAINED SOILS

<u>Unconfined</u> <u>Compressive</u> <u>Strength, Qu, psf</u>	Standard Penetration or N-value (SS) Blows/Ft.	Consistency	Standard Penetration or N-value (SS) Blows/Ft.	Relative Density
< 500	<2	Very Soft	0 – 3	Very Loose
500 - 1,000	2-3	Soft	4 – 9	Loose
1,001 - 2,000	4-7	Medium Stiff	10 – 29	Medium Dense
2,001 - 4,000	8-15	Stiff	30 – 49	Dense
4,001 - 8,000	16-30	Very Stiff	50+	Very Dense
8.000+	30+	Hard		•

RELATIVE PROPORTIONS OF SAND AND GRAVEL

Departmentive Term(e) of other

Descriptive Term(s) of other

GRAIN	SIZE '	TERMIN	IOL	OGY

PLASTICITY DESCRIPTION

<u>constituents</u>	Dry Weight	of Sample	<u>Particle Size</u>
Trace	< 15	Boulders	Over 12 in. (300mm)
With	15 29	Cobbles	12 in. to 3 in. (300mm to 75 mm)
Modifier	> 30	Gravel	3 in. to #4 sieve (75mm to 4.75 mm)
		Sand	#4 to #200 sieve (4.75mm to 0.075mm)
RELATIVE PROPORTION	IS OF FINES	Silt or Clay	Passing #200 Sieve (0.075mm)

constituents	Dry Weight	Term	Plasticity Index
		101111	1 idottoity index
Trace	< 5	Non-plastic	0
VVith	5 – 12	Low	1-10
Modifiers	> 12	Medium	11-30
		High	30+

Percent of



Dartiala Cira

GENERAL NOTES

Sedimentary Rock Classification

DESCRIPTIVE ROCK CLASSIFICATION:

Sedimentary rocks are composed of cemented clay, silt and sand sized particles. The most common minerals are clay, quartz and calcite. Rock composed primarily of calcite is called limestone; rock of sand size grains is called sandstone, and rock of clay and silt size grains is called mudstone or claystone, siltstone, or shale. Modifiers such as shaly, sandy, dolomitic, calcareous, carbonaceous, etc. are used to describe various constituents. Examples: sandy

shale; calcareous sandstone.

LIMESTONE Light to dark colored, crystalline to fine-grained texture, composed of CaCo₃, reacts readily

with HCl.

DOLOMITE Light to dark colored, crystalline to tine-grained texture, composed of CaMg(CO₃)₂, harder

than limestone, reacts with HCl when powdered.

CHERT Light to dark colored, very fine-grained texture, composed of micro-crystalline quartz (Si0₂),

brittle, breaks into angular fragments, will scratch glass.

SHALE Very fine-grained texture, composed of consolidated slit or clay, bedded in thin layers. The

unlaminated equivalent is frequently referred to as slitstone, claystone or mudstone.

SANDSTONE Usually light colored, coarse to fine texture, composed of cemented sand size grains of quartz,

feldspar, etc. Cement usually is silica but may be such minerals as calcite, iron-oxide, or some

other carbonate.

CONGLOMERATE Hounded rock fragments of variable mineralogy varying in size from near sand to boulder size

Joint

Seam

but usually pebble to cobble size (1/2 inch to 6 inches). Cemented together with various comonling agents. Breccia is similar but composed of angular, fractured rock particles cemented

together.

PHYSICAL PROPERTIES:

DEGREE OF WEATHERING

Slight Slight decomposition of parent

material on joints. May be color

change.

Moderate Some decomposition and color

change throughout.

High Rock highly decomposed, may be ex-

tremely broken.

BEDDING AND JOINT CHARACTERISTICS

Bed Thickness Joint Spacing **Dimensions** Very Thick Very Wide >10' 3' - 10' Thick Wide Medium Moderately Close 1' -3' 2" ⋅ Thin Close 11 Very Close Very Thin 2* Laminated

Bedding Plane A plane dividing sedimentary rocks of

ment has occurred.

weathering.

the same or different lithology. Fracture in rock, generally more or

less vertical or transverse to bedding,

along which no appreciable move-

Generally applies to bedding plane

with an unspecified degree of

HARDNESS AND DEGREE OF CEMENTATION

Limestone and Dolomite:

Hard Difficult to scratch with knife.

Moderately Can be scratched easily with knife, Hard cannot be scratched with fingernail.

Soft Can be scratched with fingernall.

Shale, Siltstone and Claystone

Hard Can be scratched easily with knife,

cannot be scratched with fingernail.

Moderately

Hard Can be scratched with fingernall.

Soft Can be easily dented but not molded

with fingers.

Sandstone and Conglomerate

Well Capable of scratching a knife blade.

Cemented

Cemented Can be scratched with knife.

Poorly Can be broken apart easily with

Cemented fingers.

SOLUTION AND VOID CONDITIONS

Solid Contains no voids.

Vuggy (Pitted) Rock having small solution pits or

cavities up to 1/2 inch diameter, fre-

quently with a mineral lining.

Porous Containing numerous voids, pores, or

other openings, which may or may

not interconnect.

Cavernous Containing cavities or caverns, some-

times quite large.



UNIFIED SOIL CLASSIFICATION SYSTEM

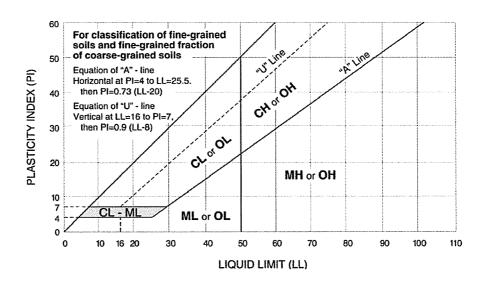
Criteria f	for Assigning Group Symbo	ols and Group Names Usin	g Laboratory Tests ^A			Soil Classification
					Group Symbol	Group Name ⁸
Coarse Grained Soils	Gravels	Clean Gravels	Cu ≥ 4 and 1 ≤ Cc ≤ 3 ^E		GW	Well-graded gravel ^F
More than 50% retained	More than 50% of coarse fraction retained on	Less than 5% fines ^c	Cu < 4 and/or 1 > Cc > 3 ^E		GP	Poorly graded gravel ^F
on No. 200 sieve	No. 4 sieve		Fines classify as ML or MH		GM	Silty gravel ^{F.G. H}
		than 12% fines ^c	Fines classify as CL or CH		GC	Clayey gravel ^{F G H}
	Sands 50% or more of coarse fraction passes No. 4 sieve	Clean Sands	Cu ≥ 6 and 1 ≤ Cc ≤ 3 ^E		sw	Well-graded sand
		Less than 5% fines ^b	Cu < 6 and/or 1 > Cc > 3 ^E		SP	Poorly graded sand
		Sands with Fines More than 12% fines ^D	Fines classify as ML or MH		SM	Silty sand ^{G.H.I}
			Fines Classify as CL or CH		SC	Clayey sand ^{G,H1}
Fine-Grained Soils	Silts and Clays	inorganic	PI > 7 and plots on or above "A" line ^J		CL	Lean clay ^{K L M}
50% or more passes the No. 200 sieve	Liquid limit less than 50		Fines Classify as CL or CH SC Clayey sa	Silt ^{K.L.M}		
140. 200 sieve		organic	Liquid limit - oven dried	< 0.75	OL	L Lean clay ^{KLM} Silt ^{KLM} Organic clay ^{KLMN}
			Liquid limit - not dried	< 0.75 OL	UL	Organic silt ^{K,L,M,O}
	Silts and Clays	inorganic	PI plots on or above "A" line		CH	Fat clay ^{KLM}
	Liquid limit 50 or more		Pl plots below "A" line		МН	Elastic Silt ^{K-L M}
		organic	Liquid limit - oven dried	< 0.75	ОН	Organic clay ^{KLMP}
			Liquid limit - not dried	< 0.75	OH	Organic silt ^{K L.M.Q}
Highly organic soils	Prima	rily organic matter, dark in co	olor, and organic odor		PT	Peat

^ABased on the material passing the 3-in. (75-mm) sieve

^ECu =
$$D_{60}/D_{10}$$
 Cc = $\frac{(D_{30})^2}{D_{10} \times D_{60}}$

HIf fines are organic, add "with organic fines" to group name.

^QPI plots below "A" line.





^B If field sample contained cobbles or boulders, or both, add "with cobbles or boulders, or both" to group name.

^c Gravels with 5 to 12% fines require dual symbols: GW-GM well-graded gravel with silt, GW-GC well-graded gravel with clay, GP-GM poorly graded gravel with silt, GP-GC poorly graded gravel with clay.

D Sands with 5 to 12% fines require dual symbols: SW-SM well-graded sand with silt, SW-SC well-graded sand with clay, SP-SM poorly graded sand with silt, SP-SC poorly graded sand with clay

^F If soil contains ≥ 15% sand, add "with sand" to group name.

^GIf fines classify as CL-ML, use dual symbol GC-GM, or SC-SM.

¹ If soil contains ≥ 15% gravel, add "with gravel" to group name.

^J If Atterberg limits plot in shaded area, soil is a CL-ML, silty clay.

 $^{^{\}rm K}$ If soil contains 15 to 29% plus No. 200, add "with sand" or "with gravel," whichever is predominant.

 $^{^{\}rm L}$ If soil contains \geq 30% plus No. 200 predominantly sand, add "sandy" to group name.

^MIf soil contains ≥ 30% plus No. 200, predominantly gravel, add "gravelly" to group name.

^NPl ≥ 4 and plots on or above "A" line.

^oPI < 4 or plots below "A" line.

PPI plots on or above "A" line.

Basis of Bearings

The bearing system of this survey is based upon G.P.S. observations made on April 16, 2009 using the National Geodetic Survey monument "Z 225" and the Kentucky State monument "Z 225" and the Kentucky State Plane Coordinate System, South Zone, NAD 1983 (2007). This system is grid north.

Tower Location Information

Designation: Milltown
Site 10½: None
Horizontal Datum: NAD 1983 (2007)
Latitude: 37'06'15.98" North
Longitude: 85'26'55.14" West
Vertical Datum: NAVD 1988

vertical Datamir. NAVD 1900 Ground Elevation: 794.0 feet (242.01 m) State Plane Coordinates Northing: 1,728,295.79 feet (555,614.911 m) Easting: 1,728,295.79 feet (526,785.610 m)

Owner Information

Landowners: Melvin Brown, Jr. and 109 Ollie Brown Road Columbia, KY 42728

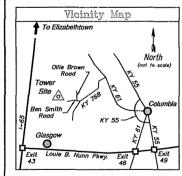
Contact Person: Melvin Brown, Jr. Phone: 270-378-5188 Cell: 270-378-0140 PVA Map No. 012-026

◆ Project Bench Mark ◆

1,921,188 feet (585,579 m) 1.728.266 feet (526.777 m. 790.64 feet (240.988 m) Description: A Mag Nail set in the north side of an 18" cedar, 10" above grade. The bench mark is 121 feet south of the center of the tower.

Flood Plain Statement

According to the FEMA web site, this is an unmapped area. No flood information is available for the Unincerporated Areas of Adalr County, Kentucky, However, a visual inspection of the site would indicate that the subject site does not lie within a flood

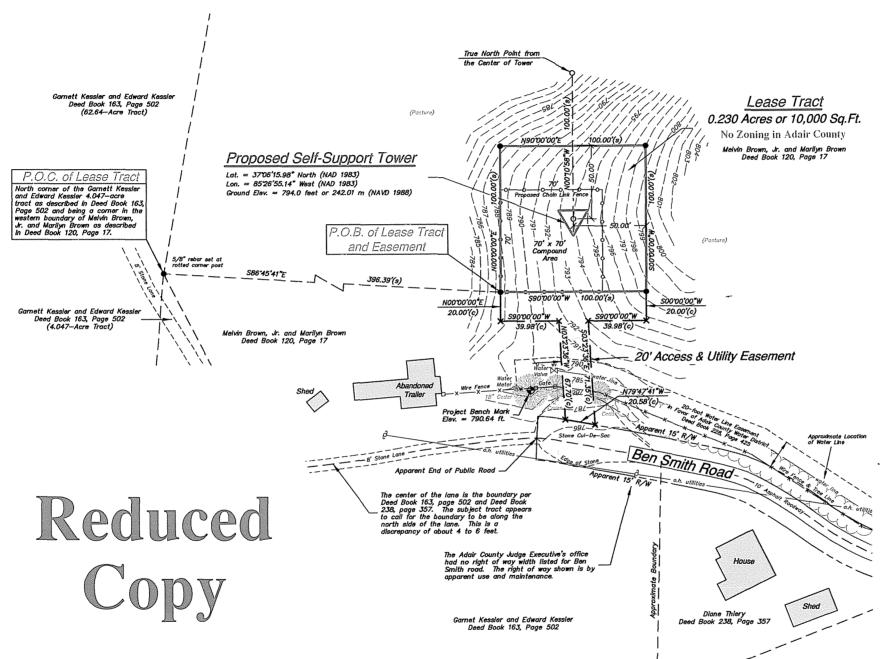


Directions to Site

Directions to Site

From Elizabethtown, Kentucky: travel south on I-65 for approximately 50 miles to Exit 43 and the Louie B. Nunn Parkway, travel east on the Louie B. Nunn Parkway to Exit 46 and Kentucky Highway 61 on the southwest side of Columbia; travel north on Kentucky Highway 61 for 1.6 miles to the intersection of Kentucky Highway 63; turn left onto Kentucky Highway 55; turn left onto Kentucky Highway 55 and travel northwest 1.1 miles to the intersection of Kentucky Highway 51 and travel northwest for 5.0 miles to Kentucky Highway 758 and Kentucky Highway 768; turn left onto Kentucky Highway 768; turn left onto Kentucky Highway 768 and travel southwest for 3.6 miles to Ben Smith Road; turn right onto Ben Smith Road and travel west for 0.3 miles to the end of Ben Smith Road and the tower access lane on the right near an abandone trailer; turn right onto the lane abandone trailer; turn right onto the lane and travel north approximately 100 feet to the tower site in a pasture.

Site: Willtown Lease Boundary and Topographic Survey Adair County, Kentucky



Lease Boundary and Easement Description

A tract of land that is located on the north side of Ben Smith Road about 700 feet westerly of the intersection of said road with the Ollie Brown Road in the Matney Community of Adair County, Kentucky, said tract being described as follows:

COMMENCING AT the north corner of the Garnett Kessler and Edward Kessler 4.047-acre tract as described in Deed Book 163, page 502 in the office of the County Clerk of Adair County, Kentucky and being a corner in the western boundary of the Melvin Brown, Jr. and Marilyn Brown tract as described in Deed Book 120 page of the Melvin Brown, Jr. and Marilyn Brown tract as described in Deed Book 120 page 17 in said County Clerk's office; said corner being monumented by a 5/8-inch rebar set flush with a survey cap inscribed D.L. Helms PLS 3386' (referred to as a rebar in the remainder of this description) at a rotted wood corner post; thence South 86 degrees 45 minutes 41 seconds East 396.39 feet to a rebar set flush at the POINT OF BEGINNING of this description: thence North 00 degrees 00 minutes 00 seconds East 100.00 feet to a rebar set flush; thence South 00 degrees 00 minutes 00 seconds East 100.00 feet to a rebar set flush; thence South 00 degrees 00 minutes 00 seconds West 100.00 feet to a rebar set flush; thence South 90 degrees 00 minutes 00 seconds West 100.00 feet to the point of beginning and containing 0.230 acres (10,000 square feet), more or less.

TOGETHER WITH an access and utility easement from the above-described 0.230-acre lease tract to Ben Smith Road; said easement being described as follows: BEGINNING AT a 5/8-inch rebar set flush with a survey cap inscribed *D.L. Helms PLS 3386* at the southwest corner of the above-described 0.230-acre lease tract; thence North 90 degrees 00 minutes 00 seconds East 100.00 feet to a 5/8-inch rebar set flush with said Helms survey cap at the southeast corner of the obove-described 0.230-acre lease tract; thence South 00 degrees 00 minutes 00 seconds West 23.98 feet; thence South 03 degrees 20 minutes 36 seconds East 71.35 feet to the northern boundary of Ben Smith Road (15 feet from the centerline); thence, along said northern boundary, North 79 degrees 47 minutes 41 seconds West 20.58 feet; thence North 03 degrees 23.98 feet; thence North 03 degrees 00 minutes 00 seconds West 53.98 feet; thence North 03 degrees 23.98 feet; thence North 00 degrees 00 minutes 00 seconds West 53.98 feet; thence North 00 degrees 00 minutes 00 seconds East 20.00 feet to the point of beginning.

The bearing system of these descriptions is based upon the Kentucky State Plane Coordinate System, South Zone, NAD 1983 (2007), as determined by G.P.S. observations made on April 16, 2009 using the Notional Geodetic Survey monument "225". These descriptions are based upon a survey completed by Landmark Surveying Co., Inc. and certified by Dorren L. Helms, P.L.S. 3386, on April 27, 2009. This

SOURCE OF TITLE: Being a portion of and lying entirely within the land described in deed to Melvin Brown, Jr. and Marilyn Brown on September 18, 1975 in Deed Book 120, page 17 in the office of the County Clerk of Addir County, Kentucky.

Surveyor's Certification

I hereby certify that this plat has been compiled from a survey actually made upon the ground under my direct supervision on April 16, 2009 by the method of a baseline survey with sideshots. The unadjusted precision ratio of the traverse was 1:14,700 and it was not adjusted. This survey is a Class B survey and the

APRIL 27, 2009

ע*ווווווווווווווווווווווווווווווע*ט **ESTATE OF KENTUCKY** DARREN L. HELMS 3386 Licensed Professional 3 AND SURVEYOR

GRAPHIC SCALE (IN FERT)

Surveyor's Notes

1. This survey is subject to a statement of facts which may be disclosed by an Abstract of Title or a Title Commitment Policy. This documentation was not provided by the client.

2. No search of public records has been performed by this firm to determine any defects and/or ambiguities in the title of the parent tract.

3. The utilities shown on this plat may or may not represent all of the utilities located on the subject site. The presence of the existing utilities shown was determined by a visual inspection of the property surface. No utility locate was called in prior to this survey. It shall be the responsibility of the contractor to locate any utilities present prior to construction.

The topographic information contained on this plat was as requested by the client and may or may not represent all of the topographic feature located on the subject property.

5. According to Ann Melton, County Judge Executive of Adair County, no local planning unit exists which has geographical jurisdiction of the subject tower site. The County Judge Executive's Office may be contacted at (270) 384-4703 for confirmation.

6. The proposed location of the Milltown cell site will be located outside of an incorporated city.

Existing Easement Q Q Utility Pole Electric Meter

5/8" Rebar Set Flush - No Cap

Subject Boundarie ---- New Easement Boundaries --- - Right of Way

--- Other Boundaries

(m) Measured (r) Recorded (c) Calculated

 \Box

(s)

Guy Anchor

Telephone Pedesto

Contour Interval = 1-foo

17501

Road Smith

Kentucky

Columbia,

Ben 294

42701 ellular Kentucky grass Ring 0

Elizabeth town, 2902 8 REVISIONS DATE

SHEET NO. OF 1 SHEETS FILE NO.



APPROVAL SIGNATURES	
BLUEGRASS CELLULAR PROJECT SUPERVISOR:	
DATE:	
CITY REPRESENTATIVE:	
<u> TITLE:</u>	
DATE:	
PROPERTY OWNER/OWNERS:	
DATE:	
TOWER OWNER/OWNERS:	
DATE:	

SITE NAME: MILLTOWN

911 ADDRESS: 294 BEN SMITH RD.

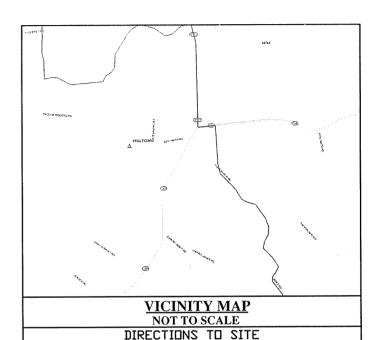
COLUMBIA, KY. 42728

COUNTY: ADAIR

TOWER LATITUDE & LONGITUDE

N 37* 06' 16.00" W 85* 26' 55.1"

SHEET NO.	DESCRIPTION	REVISION
OILLI NO.	DECOKII NOK	ILLVIOIOIL
TITLE SHEET	TITLE SHEET	
SURVEY	SURVEY	
A-1	SITE PLAN	
A-2	FENCE DETAILS	
ANTENNA DETAILS 1	ANT.SPECS/TOWER ELEV.	
ANTENNA DETAILS 2	ANTENNA DETAILS 2	
E-1	SITE PLAN - ELECTRICAL	
E-2	ELECTRICAL DETAILS	
LYNCOLE	LYNCOLE GROUNDING	
E-3	ELEC. PLAN - GROUNDING	
E-4	GROUNDING DETAILS	
S-1	FOUNDATION DETAILS	
GENERATOR DETAIL	GENERATOR DETAIL	
GENERAL NOTES	GENERAL NOTES	
		



From Elizabethtown, Kentucky: travel southeasterly on Kentucky Highway 61 to Greensburg; continue southeasterly from Greensburg on Kentucky Highway 61 t oKentucky Highway 768 (MILLTOWN Road); turn right onto Kentucky Highway 768 and travel to intersection of KY. HWY. 768 & KY HWY. 1702. Take a left of KY. HWY 768 and follow to first street on the right, which is BEN SMITH RD. Take a right on Ben Smith Rd. and follow to end. Tower site located on right side at dead end of street.

PROPERTY OWNER: Melvin Brown Jr. 109 Ollie Brown Rd. (270) 378–5188 TOWER OWNER: BLUEGRASS CELLULAR (270) 769–0339 POWER COMPANY: TAYLOR COUNTY RECC (270) 465–4101 TELEPHONE COMPANY: DUO COUNTY TELEPHONE (270) 378–4141 BLUEGRASS PROJECT SUPERVISOR: JEFF BREWER (270) 734–3436 ROBIN BECKER (502)231–3656 OFFICE/FAX

Grid True North North

Basis of Bearings

The bearing system of this survey is based upon G.P.S. observations made on April 16, 2009 using the National Geodetic Survey monument "Z 225" and the Kentucky State Plane Coordinate System, South Zone, NAD 1983 (2007). This system is grid north.

Tower Location Information

Designation: Millorm
Site ID# None
Horizontal Datum: NAD 1983 (2007)
Latitude: 3:706'15.98" North
Longitude: 8526'55.14" West
Vertical Datum: NAVD 1988
Ground Elevation: 794.0 feet (242.01 m)
State Plane Coordinates
Northing: 1,921,304.92 feet (585,614.911 m)

Northing: 1,921,304.92 feet (585,614.911 m) Easting: 1,728,295.79 feet (526,785.610 m)

Owner Information

Landowners: Melvin Brown, Jr. and 109 Ollie Brown Road Columbia, KY 42728 Contact Person: Melvin Brown, Jr. Phone: 270-378-5188 Cell: 270-378-0140

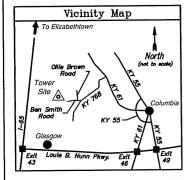
PVA Map No. 012-026

Project Bench Mark

Northing: 1,921,188 feet (585,579 m) 1,728,266 feet (526,777 m) Description: A Mag Nall set in the north side of an 18" cedar, 10" above grade. The bench mark is 121 feet south of the center of the tower.

Flood Plain Statement

According to the FEMA web site, this is an necoraing to me FEMA web site, this is an unmapped area. No flood information is available for the Unincorporated Areas of Adair County, Kentucky, However, a visual inspection of the site would indicate that the subject site does not lie within a flood prone area.

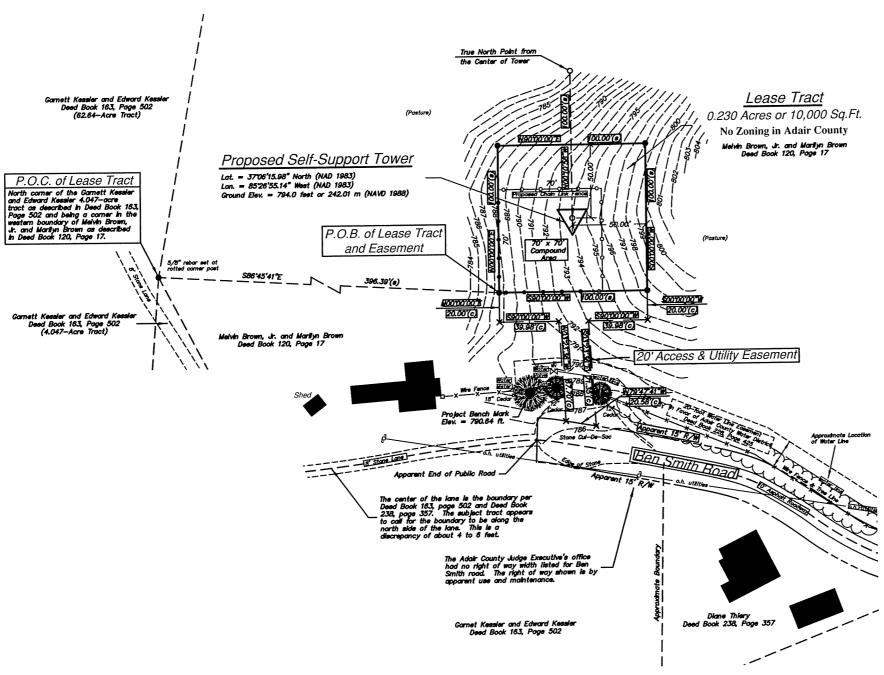


Directions to Site

Directions to Site

From Elizabethtown, Kentucky: travel south
on I-65 for approximately 50 miles to Exit
43 and the Loule B. Nunn Parkway; travel
east on the Loule B. Nunn Parkway to Exit
46 and Kentucky Highway 61 on the
southwest side of Columbie; travel north on
Kentucky Highway 61 for 1.6 miles to the
Intersection of Kentucky Highway 63 and
Kentucky Highway 55; turn left onto
Kentucky Highway 56 and travel
northwest for 5.0 miles to Kentucky Highway
768; turn left onto Kentucky Highway 768
and travel southwest for 3.6 miles to Ben
Smith Road; turn right onto Ben Smith
Road and travel west for 0.3 miles to the
end of Ben Smith Road and the tower
access lane on the right near an abandoned
trailer, turn right onto be and travel
north approximately 100 feet to the tower north approximate site in a pasture. itely 100 feet to the tower

Site: Milltown Lease Boundary and Topographic Survey Adair County, Kentucky



Lease Boundary and Easement Description

A tract of land that is located on the north side of Ben Smith Road about 700 feet westerly of the intersection of said road with the Oile Brown Road in the Matney Community of Adair County, Kentucky, said tract being described as follows:

COMMENCING AT the north corner of the Garnett Kessler and Edward Kessler 4.047-acre tract as described in Deed Book 163, page 502 in the office of the County Clerk of Adoir County, Kentucky and being a corner in the western boundary of the Melvin Brown, Jr. and Marilyn Brown tract as described in Deed Book 120 page 17 in sold County Cerk's office; sold corner being monumented by a 5/8-inch rebar set flush with a survey cap inscribed D.L. Heims PLS 3386 (referred to as a rebar in the remainder of this description) at a rotted wood corner post; thence South 80 degrees 45 minutes 41 seconds East 396.39 feet to a rebar set flush at the POINT OF BEGINNING of this description: thence North 90 degrees 00 minutes 00 seconds East 100.00 feet to a rebar set flush; thence South 90 degrees 00 minutes 00 seconds West 100.00 feet to a rebar set flush; thence South 90 degrees 00 minutes 00 seconds West 100.00 feet to a rebar set flush; thence South 90 degrees 00 minutes 00 seconds West 100.00 feet to a rebar set flush; thence South 90 degrees 00 minutes 00 seconds West 100.00 feet to a rebar set flush; thence South 90 degrees 00 minutes 00 seconds West 100.00 feet to a rebar set flush; thence South 90 degrees 00 minutes 00 seconds West 100.00 feet to a rebar set flush; thence South 90 degrees 00 minutes 00 seconds West 100.00 feet to a rebar set flush; thence South 90 degrees 00 minutes 00 seconds West 100.00 feet to a rebar set flush; thence South 90 degrees 00 minutes 00 seconds West 100.00 feet to the point of beginning and containing 0.230 acres (10,000 square feet), more or less.

TOSETHER MITH an access and utility easement from the above—described 0.230—acre lease tract to Ben Smith Road; said easement being described as follows: BEGINNING AT a 5/8—inch rebar set flush with a survey cap inscribed D.L. Heims PLS 3386° at the southwest corner of the above—described 0.230—acre lease tract; thence North 90 degrees 00 minutes 00 seconds East 100.00 feet to a 5/8—inch rebar set flush with said Helms survey cap at the southeast corner of the above—described 0.230—acre lease tract; thence South 00 degrees 00 minutes 00 seconds West 20.00 feet; thence South 90 degrees 00 minutes 00 seconds West 39.98 feet; thence South 03 degrees 23 minutes 36 seconds East 71.35 feet to the northern boundary, North 79 degrees 47 minutes 41 seconds West 20.88 feet; thence North 03 degrees 23 minutes 36 seconds West 67.70 feet; thence South 90 degrees 00 minutes 00 seconds West 39.98 feet; thence North 00 degrees 00 minutes 00 seconds West 39.98 feet; thence North 00 degrees 00 minutes 00 seconds East 20.00 feet to the point of beginning.

The bearing system of these descriptions is based upon the Kentucky State Plane Coordinate System, South Zone, NAD 1983 (2007), as determined by G.P.S. observations made on April 16, 2009 using the National Geodetic Survey monument "Z 225". These descriptions are based upon a survey completed by Landmark Surveying Co., Inc. and certified by Darren L. Heims, P.L.S. 3386, on April 27, 2009. This survey is hereby referenced and made a part of these descriptions.

SOURCE OF TITLE: Being a portion of and lying entirely within the land described in deed to Meivin Brown, Jr. and Marilyn Brown on September 18, 1975 in Deed Book 120, page 17 in the office of the County Clerk of Adair County, Kentucky.

Surveyor's Certification

I hereby certify that this plat has been compiled from a survey actually made upon the ground under my direct supervision on April 16, 2009 by the method of a baseline survey with sideshots. The unadjusted precision ratio of the traverse was 1:14,700 and it was not adjusted. This survey is a Closs B survey and the accuracy and precision of this survey meets all the specifications of this class.

Darren L. Helms, P.L.S. 3386

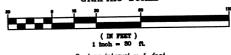
Surveyor's Notes

- This survey is subject to a statement of facts which may be disclosed by an Abstract of Title or a Title Commitment Policy. This documentation was not provided by the client.
- 2. No search of public records has been performed by this firm to determine any defects and/or ambiguities in the title of the parent
- 3. The utilities shown on this plat may or may not represent all of the utilities located on the subject site. The presence of the existing utilities shown was determined by a visual inspection of the property surface. No utility locate was called in prior to this survey. It shall be the responsibility of the contractor to locate any utilities present prior to construction.
- The topographic information contained on this plat was as requested by the client and may or may not represent all of the topographic feature located on the subject property.
- 5. According to Ann Melton, County Judge Executive of Addir County, no local planning unit exists which has geographical jurisdiction of the subject tower site. The County Judge Executive's Office may be contacted at (270) 384-4703 for confirmation.
- 6. The proposed location of the Militown cell site will be located outside of an incorporated city.

<u>Legend</u>

- 5/8" Rebar Set Flush With A Survey Cap Inscribed D.L. Helms PLS 3386
- 5/8" Rebar Set Flush No Cap
- Subject Boundaries ---- New Easement Boundaries
- ____ Right of Way ___ Other Boundaries

- Existina Easements Utility Pole
- Electric Meter Guy Anchor
- Ш (m) Measured
- (r) Recorded Calculated
- (s) Set



GRAPHIC SCALE Contour Interval = 1-foot

P

42728 Road Kentucky Smith

Ben Columbia,

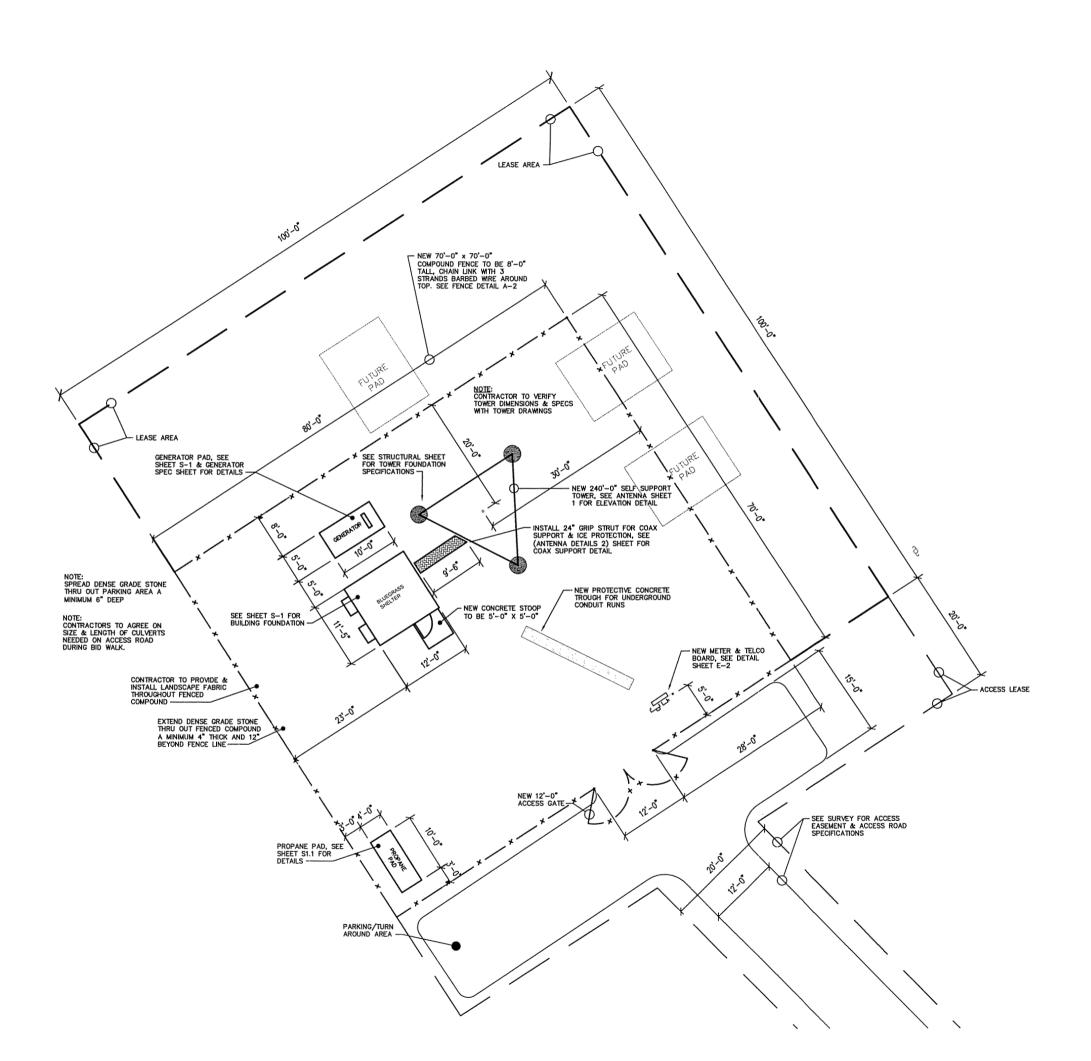
42701 Cellular Kentucky Bluegrass Road 2902 Ring Roa Elizabethtown,

DATE REVISIONS

SHEET NO.

OF 1 SHEETS

FILE NO.



GENERAL NOTES:

- 1) EQUIPMENT PICK—UP AND DELIVERY TO SITE FROM BLUEGRASS CELLULAR STAGING FACILITY TO BE THE CONTRACTORS RESPONSIBILITY, INCLUDING CRANE SET, AND ALL COST INCURRED.
- 2) FOR, BUILDING AND ALL CONCRETE PAD DETAILS REFER TO STRUCTURALS AND SHEET S1.1
- 3) ALL CONCRETE TO HAVE SPECIFIED COATED SEALANT PER STRUCTURAL RECOMMENDATIONS.
- 4) ANY DAMAGE DUE TO CONSTRUCTION, TO BE REPAIRED OR REPLACED TO ORIGINAL CONDITION. (SUBJECT TO BLUEGRASS CELLULAR'S APPROVAL).
- 5) ANY DAMAGE OF NATURAL SURROUNDINGS , INCLUDING BUT NOT LIMITED TO, GRASS, TREES, LANDSCAPING, ETC.. TO BE REPAIRED OR REPLACED TO ORIGINAL CONDITION AT BLUEGRASS CELLULAR'S APPROVAL.
- 6) ROADWAYS TO BE GRADED SMOOTH AND EVEN, REMOVING ALL POTHOLES. ROADS TO HAVE PROPER DRAINAGE AND RUNOFF PER BLUEGRASS CELLULAR'S APPROVAL.
- 7) ANY RELOCATION OF EXISTING UTILITIES TO BE DONE IN ACCORDANCE WITH LOCAL CODES AND RECOMMENDATIONS, CONSULTING ALL UTILITY COMPANIES INVOLVED FOR APPROVAL AND SPECIFICATIONS REQUIRED.
- 8) FOR GRADING DETAILS, SEE GENERAL NOTESHEET
- 9) CONTRACTOR TO FIELD VERIFY ALL TOWER DIMENSIONS WITH TOWER MANUFACTURER PRIOR TO JOB BIDDING OR START OF ANY CONSTRUCTION
- 10) CONTRACTOR RESPONSIBLE FOR APPLYING FOR SERVICE TO SITE AND PAYING ANY FEES REQUIRED FOR PERMITS, HOOKUP, ETC..



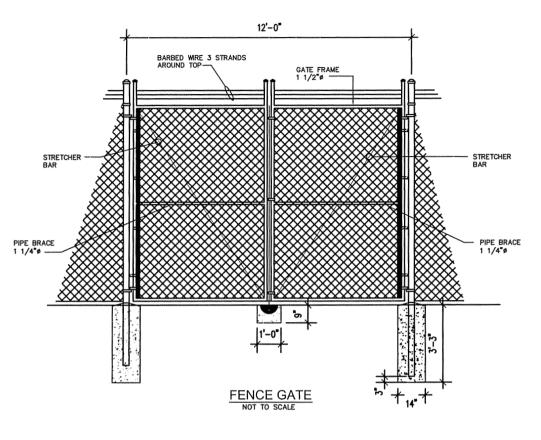
REVISION		
NO. DATE		
NO.		

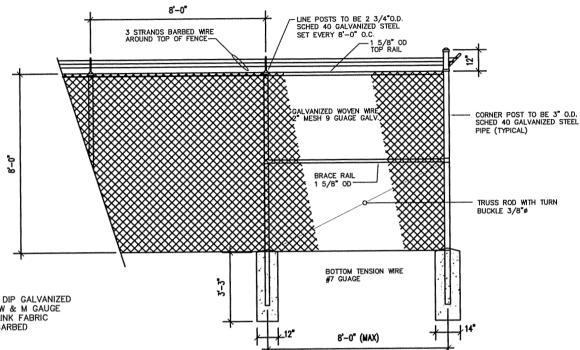
BLUEGRASS CELLULAR, INC. STANDARD CELLULAR SITE **MILLTOWN**BEN SMITH RD. GRADYVILLE, KY. 42742

R. BECKER
R. BECKER
I ISSUE DATE:
3-26-09
SCALE:
LISTED

A-1

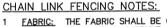
SITE PLAN
SCALE: 1'-0"



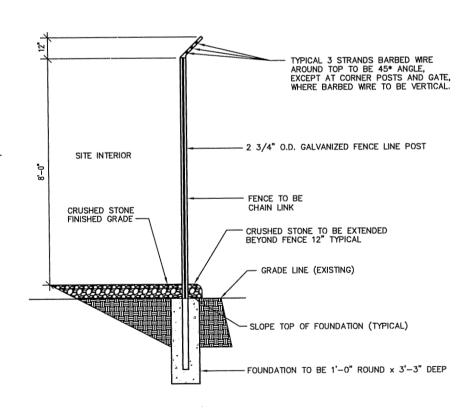


FENCE DETAIL END POLES

NOT TO SCALE



- FABRIC: THE FABRIC SHALL BE COMPOSED OF INDIVIDUAL HOT DIP GALVANIZED WIRE PICKETS HELICALLY WOUND AND INTERWOVEN FROM NO.9 W & M GAUGE COPPER BEARING STEEL WIRE TO FORM A CONTINUOUS CHAIN LINK FABRIC HAVING A 2" MESH. TOP EDGES SHALL HAVE A TWISTED AND BARBED
- 2 POSTS: SHALL BE 2 3/4" O.D. SS 40 PIPE HOT GALVINIZED. THESE POSTS: SHALL BE SPACED APPROXIMATELY 8'-0" ON CENTERS AND SET FULL 3'-3"IN BELL SHAPED CONCRETE FOOTING, CROWNED AT TOP TO SHED WATER.
- TOP RAIL: SHALL BE 1 5/8" O.C. STANDARD PIPE HOT GALVANIZED AND SHALL BE FURNISHED IN RANDOM LENGTHS AVRERAGING NOT LESS THAN 20".
- FABRIC TIES: FOR ATTACHING FABRIC TO LINE POST, TOP RAIL OR TOP WIRE, SHALL BE ALUMINUM STRIP OF WIRE OF APPROVED GUAGE AND DESIGN. USED ON TOP OF RAIL EVERY 24" AND ONE POST EVERY 12".
- EXTENSION ARMS: CAST STEEL GALVANIZED TO ACCOMODATE 3 STRANDS OF BARB WIRE, SINGLE ARM SLOPED TO 45*, AND VERTICAL ON TOP OF SWING GATES.
- BARBED WIRE (STEEL): ASTM A121 GALVINIZED STEEL, 12 GUAGE THICK WIRE, 3 STRANDS 4 POINTS AT 3" O.C.
- $\underline{\text{SWNG GATE POSTS:}}$ SHALL BE 3" O.C. STANDARD HOT GALVINIZED, WEIGHING 5.79 LBS. PER FOOT.
- GATES: (a) SWING GATES: 2" O.C. STANDARD PIPE WITH INTERNAL BRACING OF 1 5/8" O.D. STANDARD PIPE; WELDED AT ALL JOINTS TO PROVIDE RIGID WATERTIGHT CONSTRUCTION. FABRIC SAME AS FENCE.
- FENCE TO BE 100% ERECTED WITHIN TEN(10) DAYS OF COMPLETION OF CONSTRUCTION, IF TIME FRAME CANNOT BE MET, PLEASE NOTIFY PROJECT SUPERVISOR.
- 10 FENCE STOPS TO BE PLACED ON INSIDE OF COMPOUND PER ACCESS GATE SPECIFICATIONS.



INC. SITE

BLUEGRASS (STANDARD (

GRASS CELLULAR, II

IDARD CELLULAR SI

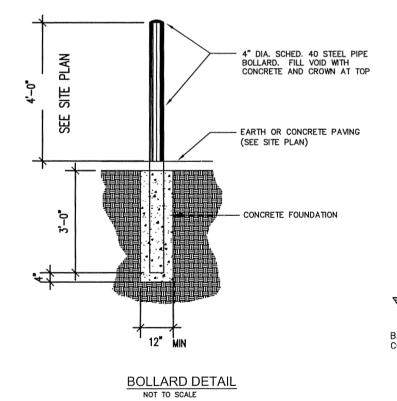
MILLTOWN

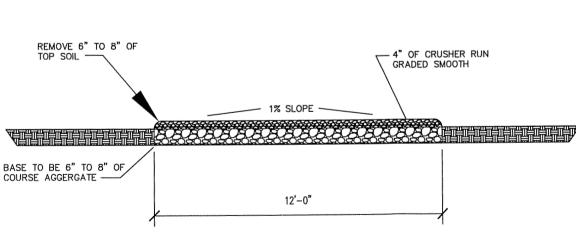
ITH RD. GRADYVILLE, KY. 4

SHEET NUMBER

A-2

FENCE DETAIL LINE POLES NOT TO SCALE





ROAD DETAIL

NOT TO SCALE

ALL LINES AND ANTENNAS TO BE PROPERLY MOUNTED TO TOWER OR STRUCTURE PER BLUEGRASS CELLULAR SPECIFICATIONS.

ALL GROUND BARS TO BE INSTALLED AND CAD WELDED TO GROUND FIELD (WHERE REQUIRED)

ALL LINES TO BE GROUNDED AT THE TOP AND BASE OF STRUCTURE OR TOWER.

ALL LINES TO BE GROUNDED AT ENTRANCE OF SHELTER BEFORE WAVE GUIDE PORTS.

(EXTERIOR OF BUILDING)

LINES ARE TO BE SECURED TO ICE BRIDGE

WAVE-GUIDE BOOTS ARE TO BE INSTALLED ON ALL LINES (BOTH INSIDE AND OUTSIDE)

ALL COAX CONNECTIONS ARE TO BE WEATHER PROOFED.

INVENTORY OF ALL MATERIAL IS TO BE DONE PRIOR TO INSTALLATION BY CONTRACTOR. (LIST WILL BE PROVIDED)

ALL TRASH AND REFUGE IS TO BE PROPERLY DISPOSED OF.

CONTRACTOR TO EXTEND HARDLINES INTO BUILDING 12" & INSTALL POLYPHASERS, PER INSTRUCTION OF PROJECT SUPERVISOR.

CONTRACTORS TO SUPPLY POLYPHASERS OR LIKE UNITS TO BE INSTALLED AND GROUNDED TO GROUND BAR INSIDE BUILDING AT WAVE GUIDE ENTRANCE. GO TO SUPPLY GROUND CABLE & LUGS.

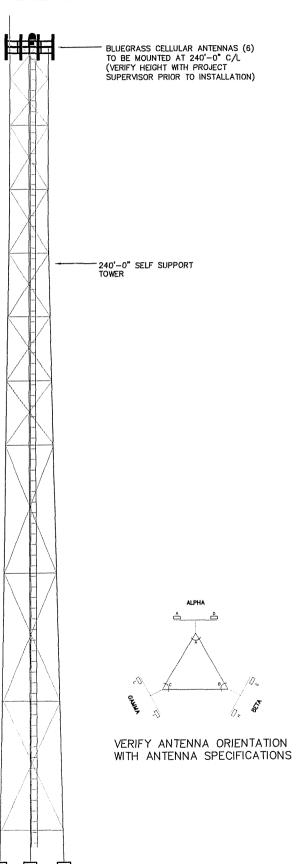
GENERAL CONTRACTOR TO MOUNT ANTENNA MOUNTS AT TOP OF STRUCTURE OR TOWER BY BLUEGRASS CELLULAR SPECIFICATIONS.

ICE BRIDGE TO BE SUPPLIED AND INSTALLED BY GENERAL CONTRACTOR. (Additional Ice Bridge if needed)

TRAPEZE KIT TO BE SUPPLIED AND INSTALLED BY GENERAL CONTRACTOR.

CONTRACTOR TO INSTALL GPS BRACKET

BLUEGRASS CELLULAR GENERAL NOTES & ANTENNA SPECS



SELF SUPPORT TOWER ELEVATION (TYPICAL)

TOWER HEIGHT & TYPE

240'-0" SELF SUPPORT TOWER

ANTENNA SPECS

	TYPE	SIZE L x W x D	NUMBER	AZIMUTH	MOUNTING HEIGHT
ANTENNA (PRIMARY)	AP13-880-850D ADT-XP	L=78.6 W=10.3 D=4.6	6	0*, 120*, 240*	240'-0" C/L VERIFY WITH CONSTRUCTION SUPERVISOR
ANTENNA (SECONDARY)					

ANTENNA MOUNTING HARDWARE SPECS

	TYPE	SIZE	NUMBER
MOUNT (PRIMARY)	TRI-SECTOR MOUNT		3
MOUNT (SECONDARY)			

ANTENNA TRANSMISSION LINES SPECS

	TYPE	SIZE	NUMBER
TRANSMISSION LINE (PRIMARY)	ANDREW	1-5/8"	6
TRANSMISSION LINE (SECONDARY)			

DISH SPECS

	MICROWAVE/DONOR	SIZE	NUMBER	AZIMUTH	MOUNTING HEIGHT
DISH #1					
DISH #2					

DISH MOUNT SPECS

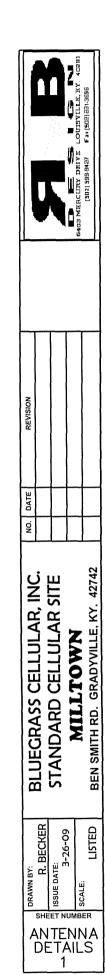
	TYPE	SIZE	NUMBER
MOUNT #1			
MOUNT #2			

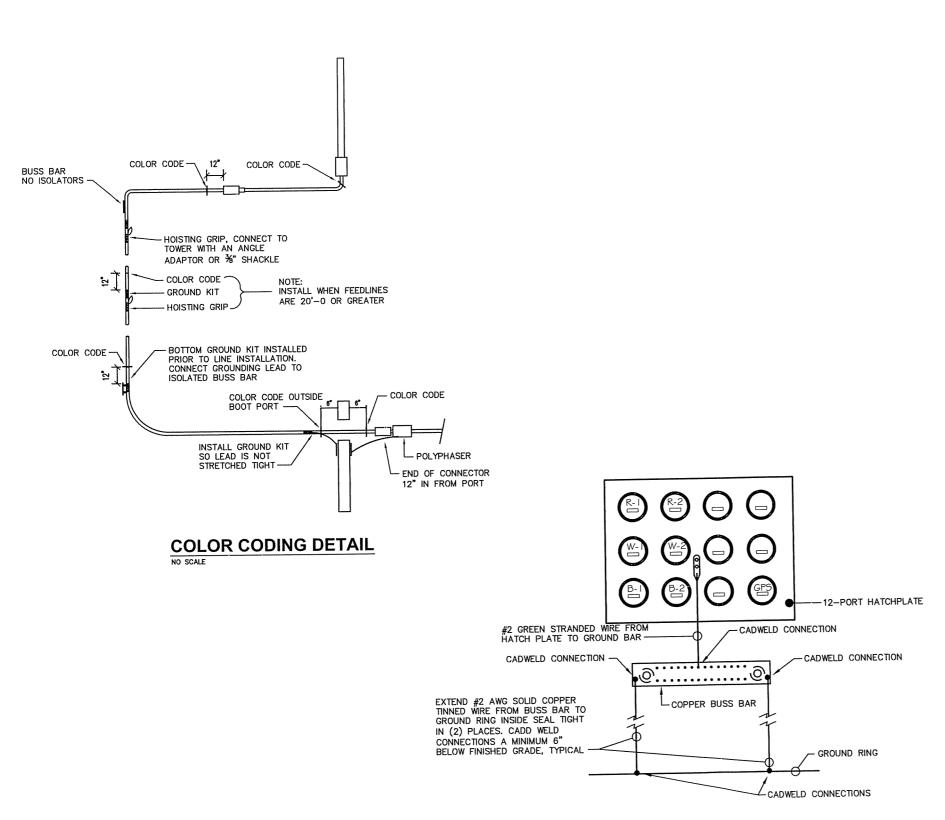
DISH TRANSMISSION LINES

	TYPE	SIZE	NUMBER
TRANSMISSION LINE #1			
TRANSMISSION LINE #2			

ANTENNA SYNOPSIS

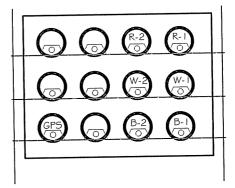
- * ANTENNAS TO HAVE A 2*E X,Y, Z
- * ANTENNA FREQUENCY 880.00 890.00





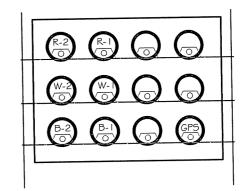
BOOT PORT GROUNDING DETAIL

NO SCALE



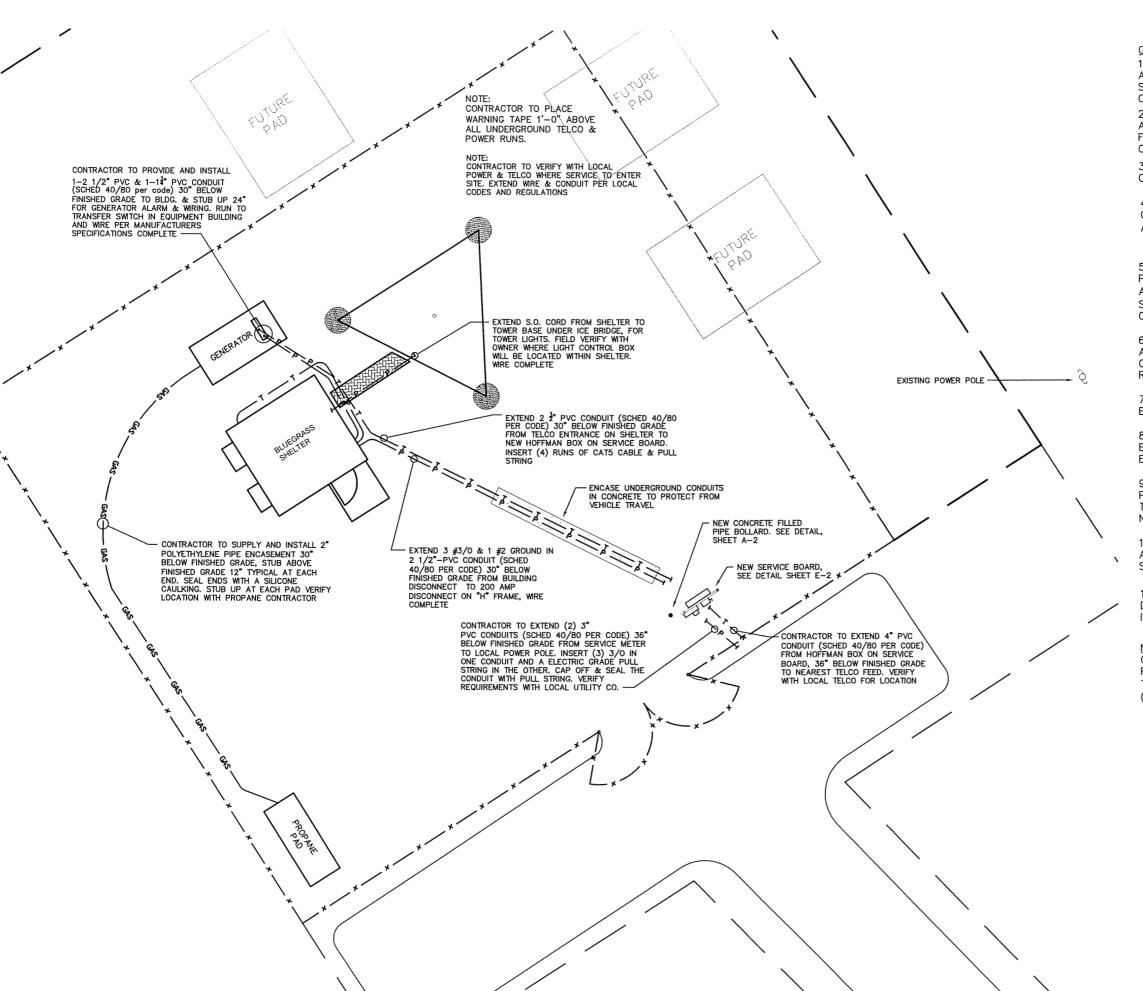
COAX ENTRY DETAIL POWER SIDE (VIEW FROM INSIDE SHELTER)

NO SCALE



COAX ENTRY DETAIL A/C SIDE (VIEW FROM INSIDE SHELTER)
NO SCALE

	J		6403 MERCURY DRIVE LOUISVILLE, KY. 40893	(502) 599-9427 Fax (502) 231-3656	
TE REVISION					
DATE OF LITTING NO. DATE	BLUEGRASS CELLULAR, INC.	STANDARD CELLULAR SITE	NAME OF LANGE	MILLIOWIN	BEN SMITH RD. GRADYVILLE, KY. 42742
	FCKFR	Issue DATE:	56-09	Z B SCALE:	LISTED



GENERAL ELECTRICAL NOTES:

- 1) CONTRACTOR RESPONSIBLE FOR MAKING ALL ARRANGEMENTS WITH THE LOCAL UTILITIES FOR SERVICE AND FEE PAYMENTS REQUIRED TO OBTAIN SERVICE.
- 2) CONTRACTOR RESPONSIBLE FOR MAKING ALL ARRANGEMENTS WITH THE LOCAL TELEPHONE COMPANY FOR SERVICE AND FEE PAYMENTS REQUIRED TO OBTAIN SERVICE.
- 3) GROUND RING TO BE CONTAINED WITH IN THE COMPOUNDS FENCED AREA.
- 4) FENCE TO BE GROUNDED FROM GROUND RING TO ALL CORNER POST & GATES. SPACE FENCE GROUNDING APPROXIMATELY 20'-0" O/C. (CAD WELD ALL CONNECTIONS)
- 5) ALL GROUND RING CONNECTIONS TO BE AS CLOSE AS POSSIBLE, SHARP BENDS WILL NOT BE PERMITTED AS WELL AS "T" CONNECTIONS. ALL CONNECTIONS TO HAVE A SWEEPING RADIUS OF 8" MINIMUM. GROUNDING CONFIGURATION TO BE IN PARALLEL.
- 6) CONTACT POINTS FOR GROUNDING TO BE CLEANED OF ANY RUST, PAINT, DIRT, ETC. TO CREATE A GOOD BOND FOR CONDUCTOR. AREA THAT HAS BEEN CLEANED TO BE RESEALED TO PREVENT RUSTING.
- 7) PROPERLY GROUND ANY EXPOSED METAL THAT MAY EXIST ON EXTERIOR OF EQUIPMENT SHELTER OR CABINET.
- 8) WHERE GROUND CONDUCTORS REQUIRE MECHANICAL BONDING, STAINLESS STEEL CONNECTORS ARE REQUIRED AT EACH CONNECTING POINT USING LOCK WASHERS.
- 9) CONTRACTOR RESPONSIBLE FOR SEEING THAT UTILITY PERSONNEL MAKE FINAL CONNECTIONS, MAKING SURE THE TOWER ALARM IS CONNECTED AND WORKING. A TELEPHONE NUMBER FOR THE ALARM MUST BE SUPPLIED.
- 10) CONTRACTOR RESPONSIBLE FOR MEG TESTING THE SITE AND SUPPLYING OWNER WITH FINAL READINGS IN OWNERS SPECIFICATIONS.
- 11) IF CONDUIT RUNS BURIED LESS THAN REQUIRED DEPTHS, CONTACT BLUEGRASS CELLULAR FOR FURTHER INSTRUCTIONS

NOTE:
CONTRACTOR TO PROVIDE WARNING TAPE IN TRENCHES
FOR ALL POWER AND TELCO RUNS UNDER GROUND.
TAPE TO BE INSTALLED 1'-0" ABOVE CONDUIT RUNS.
(TAKE PICTURES)

SITE PLAN- ELECTRICAL

SCALE: 3/32" = 1'-0"

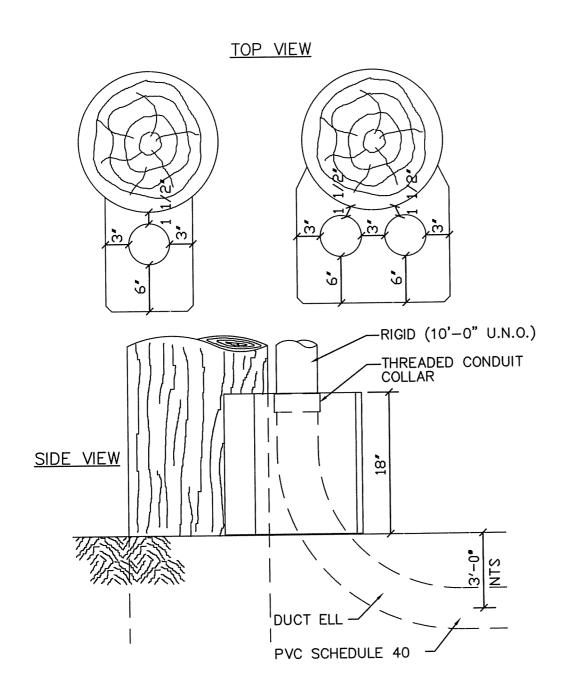


2				
	REVISION			
	NO. DATE			
	NO.			

BLUEGRASS CELLULAR, INC.
STANDARD CELLULAR SITE
MILLTOWN
BEN SMITH RD. GRADYVILLE, KY. 42742

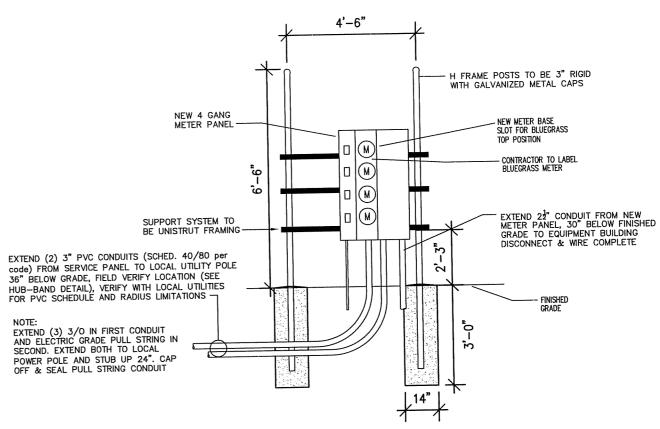
DRAWN BY:
R. BECKER
ISSUE DATE:
3-26-09
SCALE:
LISTED

E-1



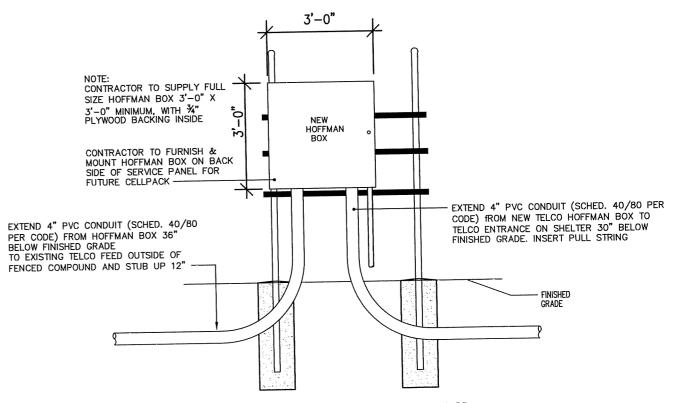
HUB-BAND DETAIL

NO SCALE



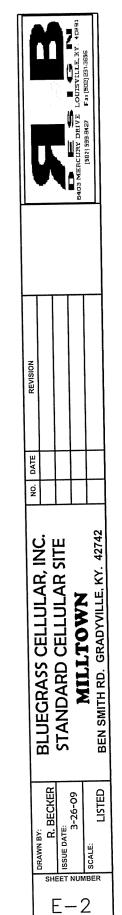
SERVICE BOARD DETAIL

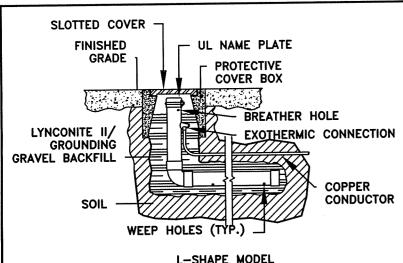
NO SCAL



BACKBOARD DETAIL

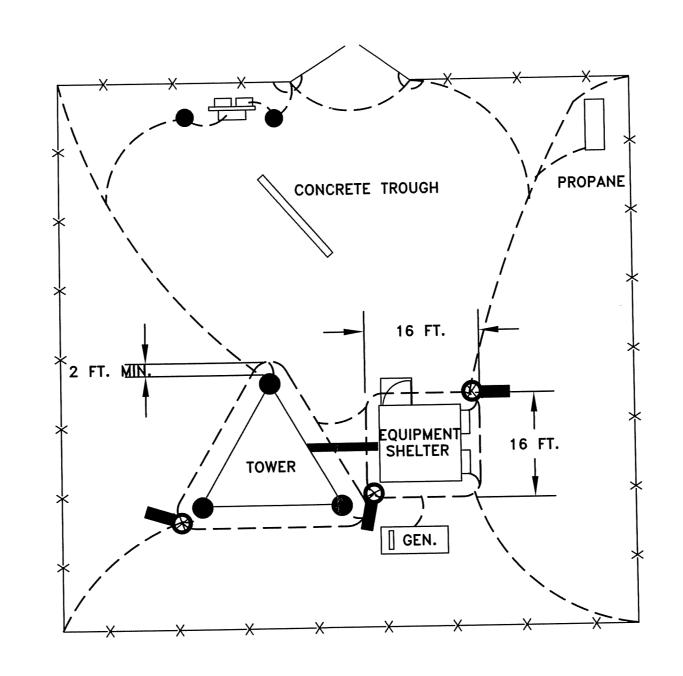
NO SCALE





L-SHAPE MODEL
LYNCOLE XIT GROUNDING (800) 962-2610

DETAIL



NOTES:

FENCE LINE

BARE #2 AWG TINNED SOLID COPPER CONDUCTOR BURIED 30 IN. BELOW GRADE OR 6 IN. BELOW FROST LINE ALL BENDS IN GROUND CONDUCTORS TO BE MADE WITH 12 IN. RADIUS OR LARGER



K2L-10CS (SEE DETAIL)



3/4 IN. X 10 FT. COPPER CLAD DRIVEN ROD



3547 VUYAGER STREET, SUITE 204 TURRANCE, CA. 90503 (800)962-2610 FAX (310)214-1114 ENGINEERING@LYNCOLE.COM

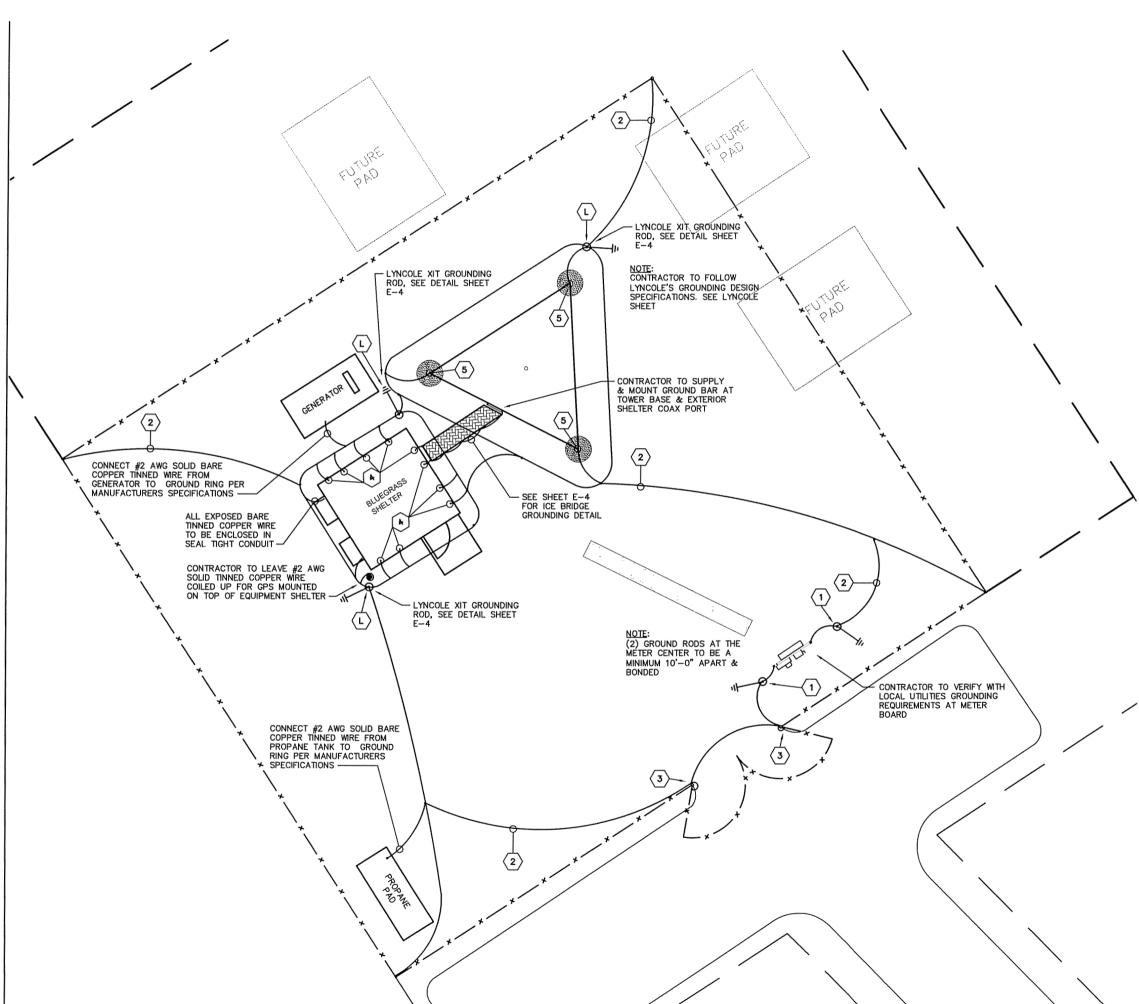
SOIL DATA PROVIDED BY

CLIENT / END USER
BLUEGRASS CELLULAR DRAWING PROJECT NAME MILLTOWN TITLE GROUNDING OPTION CALCULATED RESISTANCE LOCATION: CITY, STATE < 5 OHMS COLUMBIA, KY DRAWN BY APPROVED BY DATE 9/9/09 BBD

LTS NUMBER

090152

SCALE REFERENCE NUMBER NONE N/A TERRACON



GENERAL ELECTRICAL NOTES:

- 1) CONTRACTOR RESPONSIBLE FOR MAKING ALL ARRANGEMENTS WITH THE LOCAL UTILITIES FOR SERVICE AND FEE PAYMENTS REQUIRED TO
- 2) CONTRACTOR RESPONSIBLE FOR MAKING ALL ARRANGEMENTS WITH THE LOCAL TELEPHONE COMPANY FOR SERVICE AND FEE PAYMENTS REQUIRED TO
- 3) GROUND RING TO BE CONTAINED WITH IN THE COMPOUNDS FENCED AREA.
- 4) FENCE TO BE GROUNDED FROM GROUND RING TO ALL CORNER POST & GATES. SPACE FENCE GROUNDING APPROXIMATELY 20'-0" O/C. (CAD WELD ALL CONNECTIONS)
- 5) ALL GROUND RING CONNECTIONS TO BE AS CLOSE AS POSSIBLE, SHARP BENDS WILL NOT BE PERMITTED AS WELL AS "T" CONNECTIONS. ALL CONNECTIONS TO HAVE A SWEEPING RADIUS OF B" MINIMUM. GROUNDING CONFIGURATION TO BE IN PARALLEL.
- 6) CONTACT POINTS FOR GROUNDING TO BE CLEANED OF ANY RUST, PAINT, DIRT, ETC. TO CREATE A GOOD BOND FOR CONDUCTOR. AREA THAT HAS BEEN CLEANED TO BE RESEALED TO PREVENT RUSTING.
- 7) PROPERLY GROUND ANY EXPOSED METAL THAT MAY EXIST ON EXTERIOR OF EQUIPMENT SHELTER OR CABINET.
- 8) WHERE GROUND CONDUCTORS REQUIRE MECHANICAL BONDING, STAINLESS STEEL CONNECTORS ARE REQUIRED AT EACH CONNECTING POINT USING LOCK WASHERS.
- 9) CONTRACTOR RESPONSIBLE FOR SEEING THAT UTILITY PERSONNEL MAKE FINAL CONNECTIONS, MAKING SURE THE TOWER ALARM IS CONNECTED AND WORKING. A TELEPHONE NUMBER FOR THE ALARM MUST BE SUPPLIED.
- 10) CONTRACTOR RESPONSIBLE FOR MEG TESTING THE SITE AND SUPPLYING OWNER WITH FINAL READINGS IN OWNERS SPECIFICATIONS.

NOTE: CONTRACTOR TO PROVIDE WARNING TAPE IN TRENCHES FOR ALL POWER AND TELCO RUNS UNDER GROUND. TAPE TO BE INSTALLED AT 9" BELOW GRADE.

NOTE: CONTRACTOR TO FOLLOW LYNCOLES GROUNDING SPECIFICATIONS WHEN USING THEIR XIT GROUNDING RODS. SEE DETAIL SHEET E-4.

- $\begin{tabular}{lllll} L YNCOLE XIT GROUNDING ROD TO BE INSTALLED WHERE SHOWN AND TO MANUFACTURERS SPECIFICATIONS. (SEE LYNCOLE SPECIFICATIONS)$
- ① GROUNDING RODS 10'-0" LONG x 3/4" COPPER BONDED GROUND RODS
- (2) INSTALL AND PROVIDE SOLID BARE TINNED COPPER WIRE #2 AWG, GROUND RING BELOW GRADE 30". USE #2 AWG SOLID BARE TINNED COPPER GROUND "TAP" CONNECTING CONDUCTORS. (CONNECTIONS FOR ALL TAP CONDUCTORS TO BE PARALLEL AND "CAD WELD" CONNECTIONS)
- (3) FLEXIBLE GROUNDING STRAP TO BE USED TO PROVIDE A COMMON BOND BETWEEN GATE AND CHAIN LINK FENCE, #2 AWG SOLID COPPER BARE TINKED CONDUCTOR FROM GROUND RING TO FENCE USING CAD WELD CONNECTIONS. GROUND TAP TO BE PROVIDED ON EACH 4 SIDES TO GROUND RING AS DESCRIBED ABOVE.
- (4) BONDED GROUND TO BE PROVIDED TO GROUND RING FOR EACH OF THE FOLLOWING: BUILDING STEEL, HATCH PLATE, EMERGENCY RECEPTACLE, WAVE GUIDE STRUCTURE, FRAME WORK, BUILDING DISCONNECT.
- (5) FOR TOWER FRAME GROUNDING, REMOVE GALVANIZED COATING COMPLETELY AT SPOT TO "CAD WELD" TO AND CLEAN. #2 AWG SOLID BARE TINNED COPPER CONDUCTOR TO BE CAD WELDED APPROXIMATELY 1'-0" ABOVE FOUNDATION OR AT FLANGE IF PROVIDED BY TOWER MANUFACTURER. EXTEND CONDUCTOR TO GROUND RING. RIGHT ANGLES NOT ACCEPTED ALL BENDS TO BE SWEEPING.

SITE PLAN-GROUNDING

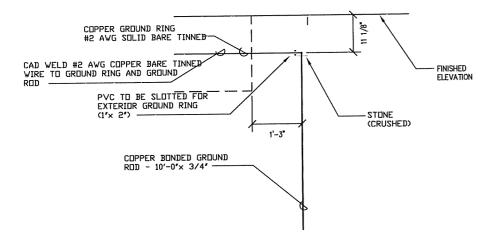
SCALE: 3/32" = 1'-0"



BLUEGRASS CELLULAR, INC. STANDARD CELLULAR SITE MILLTOWN BEN SMITH RD. GRADYVILLE. KY. 42742

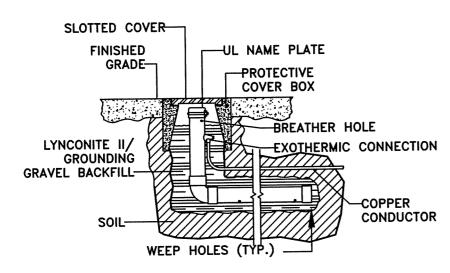
BECKER SHEET NUMBER

E-3



GROUND ROD DETAIL

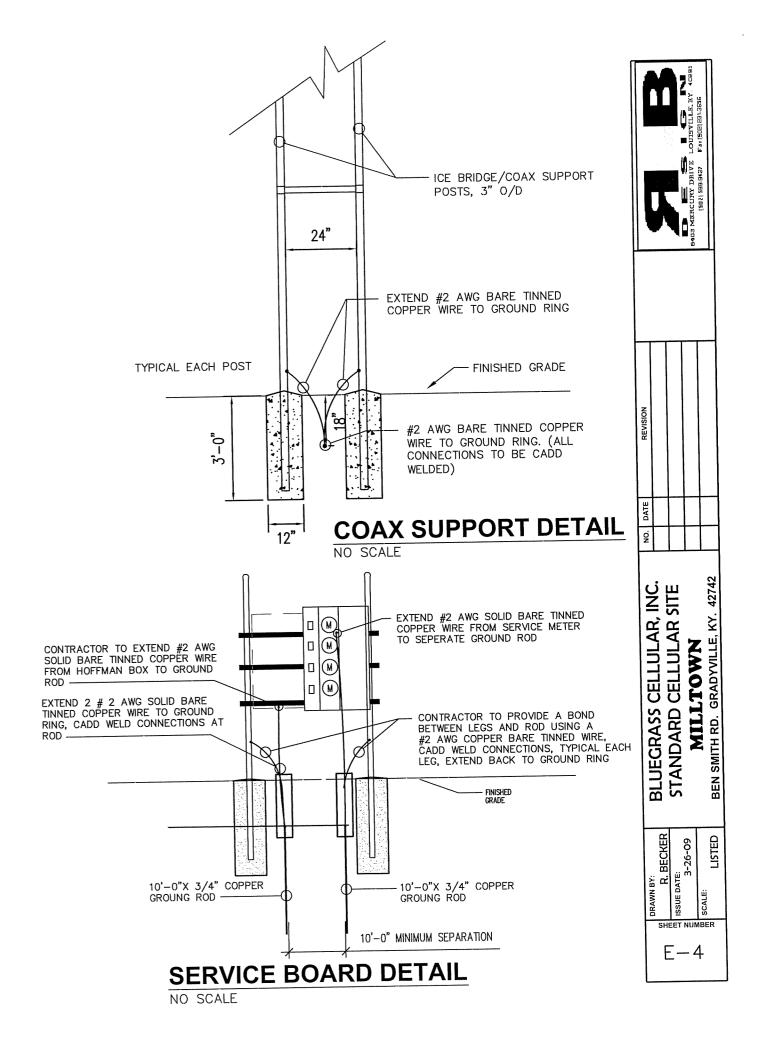
NO SCALE

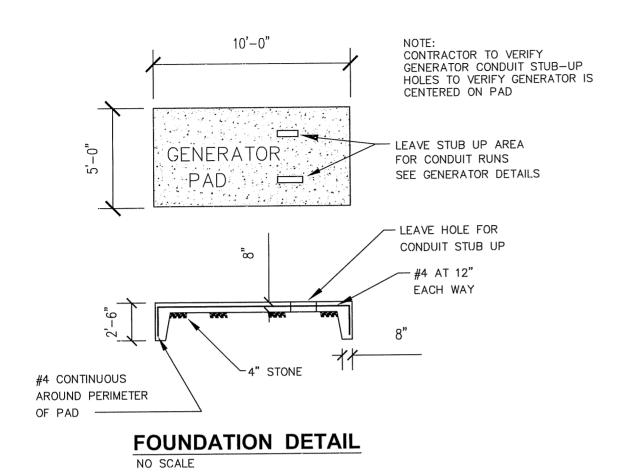


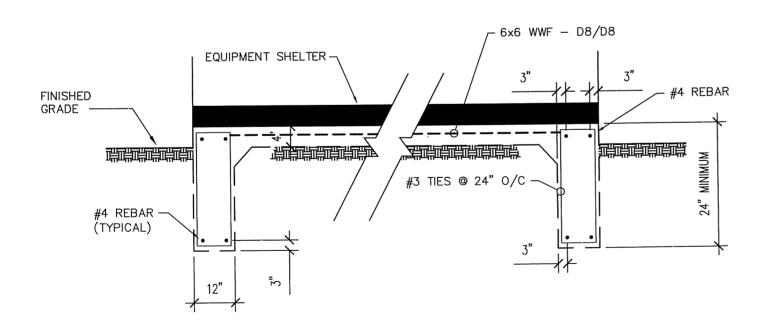
L-SHAPE MODEL LYNCOLE XIT GROUNDING (800) 962-2610

LYNCOLE XIT ROD DETAIL

NO SCALE

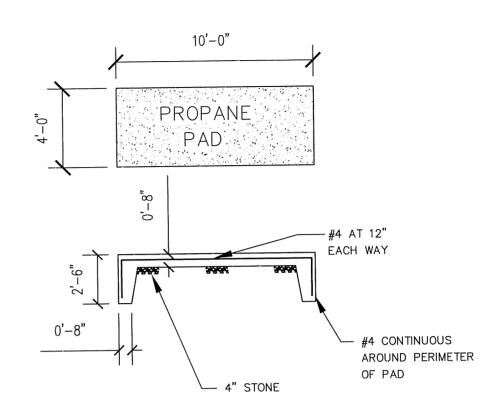






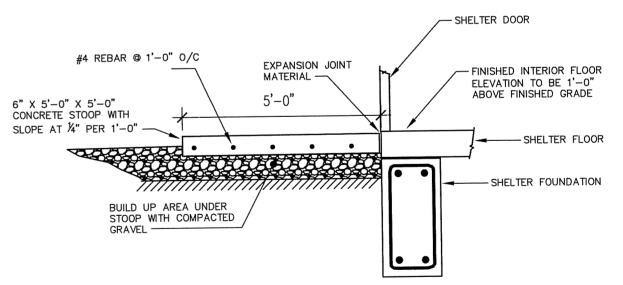
SHELTER FOUNDATION PLAN

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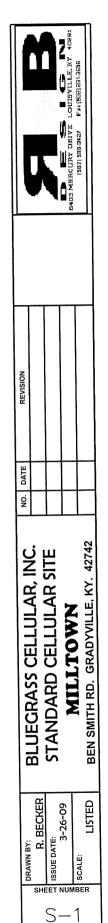
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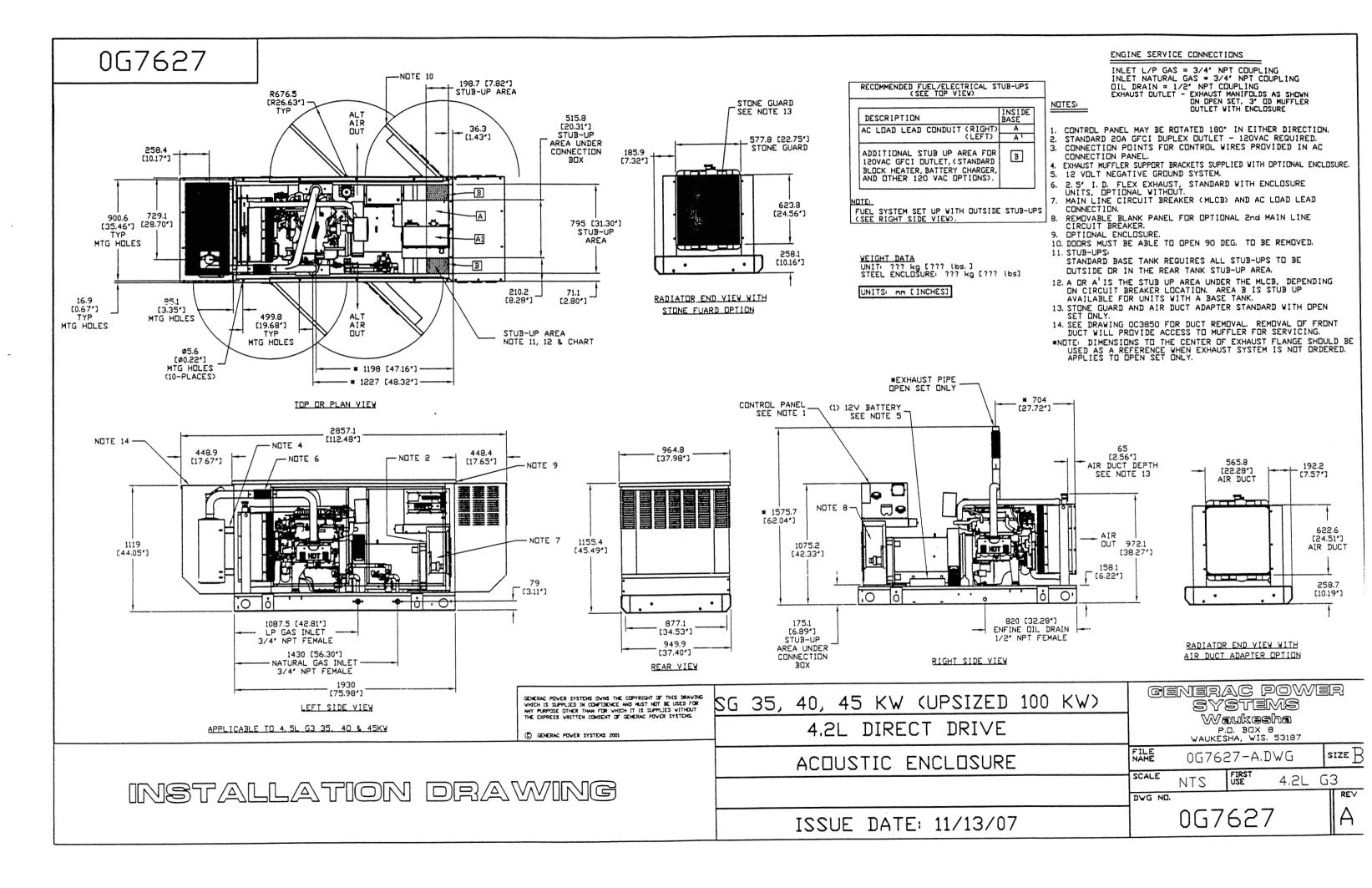
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CONCRETE STOOP DETAIL

NO SCALE





GENERAL NOTES:

- 1) THE CONTRACTOR IS RESPONSIBLE FOR EQUIPMENT PICK UP DELIVERY TO SITE, ERECTION OF TOWER, AND CRANE SET, ALL COSTS INCURRED.
- 2) THE CONTRACTOR IS RESPONSIBLE FOR VISITING THE SITE PRIOR TO BIDDING AND REVIEWING EXISTING STRUCTURES OR UTILITIES THAT MIGHT BE LOCATED ON OR AROUND THE COMPOUND THAT COULD INTERFERE.
- 3) THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING LOCAL AUTHORITIES NECESSARY FOR INSPECTIONS IF REQUIRED, PLEASE PROVIDE AMPLE NOTICE.
- 4) THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING PERSONS RESPONSIBLE FOR ANY MATERIALS TESTING, PLEASE PROVIDE AMPLE NOTICE
- 5) THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE OWNER WITH FINAL TEST RESULTS ON ALL MATERIALS TESTING. IF ANY PROBLEMS ARE FOUND PRIOR TO FINAL RESULTS PLEASE NOTIFY A&E OR OWNER IMMEDIATELY.
- 6) THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO ADJOINING PROPERTY, AND REPAIRING OR REPLACING WHAT IS NECESSARY TO OWNERS APPROVAL.
- 7) THE CONTRACTOR IS TO VERIFY DIMENSIONS ON SITE PRIOR TO CONSTRUCTION STARTING, ANY PROBLEMS OR CHANGE FOUND CONTACT A&E OR OWNER TO VERIFY.
- 8) THE CONTRACTOR IS RESPONSIBLE FOR ANY TEMPORARY LIGHTING ON THE TOWER AND CONTACTING PROPER AUTHORITIES IF ANY LIGHTING PROBLEMS OCCUR, ALL FINAL LIGHTING TO BE MOUNTED ON TOWER DURING CONSTRUCTION, NOTIFY OWNER WHEN TOWER HAS REACHED FINAL HEIGHT.
- 9) THE CONTRACTOR IS RESPONSIBLE FOR ALL ON SITE WORK
- 10) CONTRACTOR, ANY CONTRACTOR EMPLOYEES OR REPRESENTATIVES, OR SUB-CONTRACTOR, ANY SUB-CONTRACTOR EMPLOYEES OR REPRESENTATIVES, WILL CONFORM TO ALL LAWS AND REGULATIONS APPLICABLE TO THE WORK BEING PERFORMED, INCLUDING BUT NOT LIMITED TO, ALL OCCUPATIONAL SAFETY AND HEALTH ACT ("OSHA") STATUTES AND REGULATIONS AS WELL AS ALL OTHER FEDERAL, STATE AND/OR LOCAL LAWS OR REGULATIONS APPLICABLE TO THE WORK BEING PERFORMED BY CONTRACTOR.
- 11) THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL SITE DRAINAGE, AND PROVIDING SILT AND EROSION CONTROL NECESSARY TO MAINTAIN ANY RUN OFF.
- 12) THE CONTRACTOR IS RESPONSIBLE FOR ALL SEED AND STRAW WORK NECESSARY TO REPAIR DAMAGED AREAS.
- 13) CONTRACTOR TO GRADE SMOOTH OR REPAIR ANY POT HOLES OR DITCHING ON PROPERTY OR ROAD THAT HAS OCCURRED DURING CONSTRUCTION AT CONTRACTORS EXPENSE.
- 14) CONTRACTOR'S RESPONSIBILITIES REGARDING BUILD OUT ON FIBREBOND EQUIPMENT SHELTERS TO INCLUDE:
- INSTALLING THE DOOR CANOPY
- * INSTALLING EXTERIOR LIGHT ON WALL DETERMINED BY PROJECT SUPERVISOR AND PHOTOCELL REQUIREMENTS
- * INSTALLING INTRUDER ALARMS
- * CHECK OPERATIONS OF DOOR AND DOOR HARDWARE
- ADJUST WEATHERSTRIPPING ON DOORS AS NEEDED
- * INSPECT ROOF FOR DAMAGE AND POSSIBLE LEAKS
- * INSPECT INTERIOR FINISH FOR IMPERFECTIONS AND REPAIR AS NEEDED
- CHECK OPERATION OF LIGHTS AND ELECTRICAL OUTLETS
- * CHECK OPERATION OF INTAKE AND EXHAUST LOUVERS AND ADJUST AS NEEDED
- CHECK OPERATION OF ENVIRONMENTAL CONTROLS AND HVAC UNITS
- * INSTALL AND PAINT SHELTER TIE-DOWNS TO MATCH
- 15) INSTALL CONCRETE PADS FOR BUILDING, PROPANE TANK, GENERATOR PAD
- 16) INSTALL ELECTRIC AND GROUND FIELD FOR COMPOUND

- 17) GC WILL BE RESPONSIBLE FOR ALL CRANE OPERATIONS IN ORDER TO SET FIBREBOND BUILDING. COORDINATE BUILDING DELIVERY DATE THROUGH BLUEGRASS CELLULAR.
- 18) GC WILL BE RESPONSIBLE FOR OFF LOADING AND STACKING OF TOWER WHEN APPLICABLE.
- 19) GC WILL BE RESPONSIBLE FOR MOUNTING ALL LINES AND ANTENNAS.
- 20) GC WILL BE RESPONSIBLE FOR SUPPLYING AND INSTALLING ICE RRIDGE
- 21) GC WILL BE RESPONSIBLE FOR SCHEDULING PROPANE TANK DELIVERY AND HOOK-UP. PREFERRED SUPPLIERS ARE EMPIRE & AMERIGAS

 22) GC WILL BE RESPONSIBLE FOR COORDINATING THE CLEANING OF THE INSIDE OF THE BUILDING WITH THE PROJECT SUPERVISOR AFTER THE SITE HAS BEEN TURNED OVER TO THE OPERATIONS DEPARTMENT AND ALL TURN-UP PROCEDURES HAVE BEEN COMPLETED. THIS WILL INCLUDE SUPPLYING A 30 GALLON TRASHCAN, 30 GALLON TRASH BAGS, BROOM, DUST PAN AND DOORMAT FOR BUILDING.
- 23) GC TO VERIFY ALL BLUEGRASS CELLULAR EQUIPMENT DIMENSIONS & SPECIFICATIONS WITH MANUFACTURER'S DRAWINGS, (FIBREBOND, GENERAC, EASTPOINTE ETC.) PRIOR TO CONSTRUCTION. ADDRESS ANY ISSUES WITH PROJECT SUPERVISOR BEFORE WORK BEGINS.
- 24) ALL WAREHOUSE MATERIAL (LINES, ANTENNAS, MOUNTING HARDWARE, GENERATOR, TOWER FOUNDATION KIT, ETC.) WILL NEED TO BE PICKED UP BY GC.
- 25) GC WILL BE RESPONSIBLE FOR SCHEDULING GENERATOR START-UP WITH CONTACT SCOTT ANDERSON (EVAPAR) 502-267-6315
- 26) TI CONDUIT WILL NEED TO BE PLACED FROM POLE TO BUILDING. (IF A MICROWAVE DISH IS USED, THE TI CONDUIT WILL STILL BE INSTALLED FOR FITTING USE?)
- 27) GC WILL BE RESPONSIBLE FOR INSTALLATION OF ALL FENCING.
- 28) ALL TRASH AND DEBRIS TO BE REMOVED BY GC
- 29) GC WILL BE RESPONSIBLE FOR APPLYING FOR ELECTRICAL SERVICE AND PAYING NECESSARY FEES REQUIRED.
- 30) GC WILL BE RESPONSIBLE FOR SUPPLYING & INSTALLING PROTECTIVE END CAPS ON ANY EXPOSED THREADED ROD OR UNISTRUT USED ON SITE. VERIFY TYPE WITH PROJECT SUPERVISOR PRIOR TO INSTALLATION.
- 31) GC WILL BE RESPONSIBLE FOR HAVING A CERTIFIED ELECTRICIAN HOOK UP THE BATTERIES (IMMEDIATELY) AFTER POWER HAS BEEN TURNED UP AT THE SITE, PREVENTING THE DELAY OF ANY WORK FOR OPERATIONS. THE GENERAL CONTRACTOR MUST NOTIFY THE PROJECT SUPERVISOR IMMEDIATELY AT THIS TIME SO HE CAN COORDINATE A CELL TECH TO BE ONSITE WHEN THIS OCCURS.
- 32) GC WILL BE RESPONSIBLE FOR RUNNING (CAT5) FROM THE GENERATOR ALARM PANEL MOUNTED ON THE SIDE OF THE TRANSFER SWITCH (BY THE CONTRACTOR), THROUGH THE TRANSFER SWITCH AND UP TO THE EXISTING CONDUIT BESIDE THE A/C POWER FAIL RELAY. THE (CAT5) WILL BE PULLED THROUGH EXISTING CONDUIT AROUND THE SHELTER AND EXTENDED TO THE ALARM BLOCK. THERE SHOULD BE A MINIMUM 3'-0" OF (CAT5) LEFT HANGING ON EACH END FOR THE CELL TECH TO HOOK UP THE GENERATOR ALARMS.
- 33) GC MUST SUBMIT A COPY OF THE BUILDING PERMIT AND CONSTRUCTION SCHEDULE TO THE PROJECT SUPERVISOR PRIOR TO RECEIVING (NTP) TO BEGIN CONSTRUCTION (NO EXCEPTIONS).
- 34) GC MUST DISPLAY FCC TOWER REGISTRATION NUMBER AND EMERGENCY PHONE NUMBERS ON 3'-0 X 4'-0" MINIMUM WOODEN BACKBOARD SOMEWHERE ON SITE LOCATION PRIOR TO BREAKING GROUND.

GRADING & EXCAVATING NOTES:

- 1) ANY DAMAGE TO EXISTING UTILITIES, STRUCTURES, ROADS AND PARKING AREAS TO BE REPAIRED OR REPLACED TO OWNERS SATISFACTION.
- 2) PREPARATION FOR FILL:
 REMOVAL OF ALL DEBRIS, WET AND UNSATISFACTORY SOIL
 MATERIALS, TOPSOIL, VEGETATION, AND HARMFUL MATERIALS
 FROM SURFACE OF GROUND PRIOR TO PLOWING, STRIPPING,
 PLACING FILLS OR BREAKING UP OF SLOPED SURFACES
 GREATER THAN 1 VERTICAL TO 4 HORIZONTAL SO MATERIAL
 FOR FILL WILL BOND TO EXISTING SURFACE. WHEN
 AREA TO RECEIVE FILL HAS A DENSITY LESS THAN
 REQUIRED, BREAK UP GROUND SURFACE TO DEPTH
 REQUIRED, AERATE, MOISTURE CONDITION, OR PULVERIZE
 SOIL AND RECOMPACT TO REQUIRED DENSITY.
- 3) BACK FILLING:

 EXCAVATED AREA SHALL BE CLEARED FROM STONES OR CLODS OVER 2 1/2" MAXIMUM DIAMETER

 SHALL BE PLACED IN LAYERS OF 6" AND COMPACTED TO A 95% STANDARD PROCTOR, USE A 90%

 PROCTOR IN GRASSED / LANDSCAPED AREAS WHERE REQUIRED.

 SHALL BE APPROVED MATERIALS CONSISTING OF SANDY CLAY, GRAVEL AND SAND, SOFT SHALE, EARTH OR LOAM.

CONSULT WITH OWNER PRIOR TO FILL BEING ADDED.

- 4) ALL MATERIAL FOR FILL TO BE APPROVED BY OWNER AND ALL COMPACTING TEST TO BE COMPLETED TO SPEC'S ALL COMPACTING RESULTS TO BE TURNED OVER TO OWNER.
- 5) AFTER COMPLETION OF BELOW GRADE EXCAVATING, AREA TO BE CLEANED AND CLEARED OF ANY UNSUITABLE MATERIALS, SUCH AS TRASH, DEBRIS, VEGETATION AND SO FORTH.
- 6) ANY EXCAVATING IN WHICH CONCRETE IS TO BE PLACED SHALL BE SUBSTANTIALLY HORIZONTAL ON UNDISTURBED AND UNFROZEN SOIL AND BE FREE OF ANY LOOSE MATERIAL AND EXCESS GROUND WATER.
- 7) IF SOUND SOIL IS NOT REACHED AT DESIGNATED EXCAVATION DEPTH, THE POOR SOIL IS TO BE EXCAVATED TO ITS FULL DEPTH AND EITHER REPLACED WITH MECHANICALLY COMPACTED GRANULAR MATERIAL OR THE EXCAVATION TO BE FILLED WITH THE SAME QUALITY CONCRETE SPECIFIED FOR THE FOUNDATION. PLEASE NOTIFY THE PROJECT SUPERVISOR AND THEY WILL HAVE A 3RD PARTY ENGINEERING FIRM CONTACT YOU WITH RECOMMENDATIONS.
- 8) MECHANICALLY COMPACTED GRANULAR MATERIAL OR CONCRETE OF THE SAME QUALITY SPECIFIED FOR THE FOUNDATIONS TO BE USED IF EXCAVATION EXCEEDED THE OVERALL REQUIRED DEPTH. FOR STABILIZATION OF THE BOTTOM OF THE EXCAVATION, CRUSHED STONE MAY BE USED. STONE, IF USED, SHALL NOT BE USED AS COMPILING CONCRETE THICKNESS. PLEASE NOTIFY THE PROJECT SUPERVISOR AND THEY WILL HAVE A 3RD PARTY ENGINEERING FIRM CONTACT YOU WITH RECOMMENDATIONS.
- 9) EXCAVATION TO COMPOUND TO INCLUDE WEED CONTROL MAT.
- SITE TO HAVE PROPER DRAINAGE & EROSION CONTROL (CROWNED FORMATION)
- 11) GC WILL BE RESPONSIBLE FOR REPAIR OF ALL AREAS DISTURBED DURING CONSTRUCTION. (EXCAVATING ISSUES)

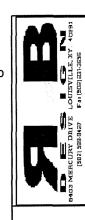
"CALL BEFORE YOU DIG"

THE CONTRACTOR'S ATTENTION IS DIRECTED TO THE UTILITY PROTECTION CENTER, PHONE 811 IN KENTUCKY, WHICH WAS ESTABLISHED TO PROVIDE ACCURATE LOCATIONS OF UNDERGROUND UTILITIES. THE CONTRACTOR SHALL NOTIFY THE UTILITY PROTECTION CENTER 48 HOURS IN ADVANCE OF ANY CONSTRUCTION ON THIS PROJECT. ALL NEW SERVICE AND GROUNDING TRENCHES PROVIDE A WARNING TAPE © 12 INCHES BELOW GRADE.

SYMBOLS LEGEND

KEYNOTE INSPEC. SLEEVE / GRND ROD -⊙ 0 INSPECTION SLEEVE CAD WELD CONNECTION T TRANSFORMER LA LIGHTNING SUPPRESSOR <u>___</u> SWITCH (DISCONNECT) M METER PACK POWER GAS LINE WATER LINE SANITARY SEWER TELEPHONE -SSD-STORM SEWER DRAIN

FENCE



NO. DATE REVISION

BLUEGRASS CELLULAR, INC. STANDARD CELLULAR SITE MILLTOWN

> R. BECKER ssue date: 3-26-09

General Notes

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Landmark Surveying Co., Inc.

Darren L. Helms, P.L.S., PRESIDENT Dennis N. Helms, P.L.S., VICE PRESIDENT



15 N.E. 3rd Street Washington, Indiana 47501 Phone: 812-257-0950 Fax: 812-257-0953

Email: landmark97@sbcglobal.net

<u>Directions to the Site</u> <u>From the County Seat of Adair County, Kentucky</u>

Bluegrass Cellular, Inc. Milltown Site Adair County, Kentucky

From the Adair County Courthouse in Columbia, Kentucky: travel west on Kentucky Highway 80 for 0.5 miles to Kentucky Highway 61; turn right onto Kentucky Highway 61 and travel northwest for 6.1 miles to Kentucky Highway 768; turn left onto Kentucky Highway 768 and travel southwest for 3.6 miles to Ben Smith Road; turn right onto Ben Smith Road and travel west for 0.3 miles to the end of Ben Smith Road and the tower access lane on the right near an abandoned trailer; turn right onto the lane and travel north approximately 100 feet to the tower site in a pasture. The address of the site is 294 Ben Smith Road, Columbia, Kentucky 42728.

Darren L. Helms, Kentucky Professional Land Surveyor No. 3386

APRIL 27, 2009

STATE OF KENTUCKY

DARREN L. HELMS

3386

LICENSED

PROFESSIONAL

LAND SURVEYOR

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LEASE AGREEMENT

THIS AGREEMENT TO LEASE REAL PROPERTY (the "Lease Agreement") is made and entered into this // day of // 2009 (the "Effective Date"), by and between Melvin Brown, Jr. and Marilyn Brown, husband and wife (the "Landlord(s)") and Cumberland Cellular Partnership, d/b/a Bluegrass Cellular, a Kentucky general partnership with a principal office and place of business at 2902 Ring Road, Elizabethtown, KY 42701 (the "Tenant").

$\underline{\mathbf{W}}\underline{\mathbf{I}}\underline{\mathbf{T}}\underline{\mathbf{N}}\underline{\mathbf{E}}\underline{\mathbf{S}}\underline{\mathbf{S}}\underline{\mathbf{E}}\underline{\mathbf{T}}\underline{\mathbf{H}}$:

WHEREAS, the Landlord(s) is the owner of certain real property located in <u>Adair</u> County, **Kentucky** as more particularly described on Exhibit A attached hereto and incorporated herein by reference (the "Property"); and

WHEREAS, the Landlord(s) wishes to grant to the Tenant, and the Tenant wishes to obtain from the Landlord(s), an agreement to lease the Property upon the terms and conditions set forth herein;

NOW, THEREFORE, in consideration of the foregoing premises and for other good and valuable consideration, the mutuality, receipt and sufficiency of which are hereby acknowledged, the parties hereto do agree as follows.

One Hundred Foot by One Hundred Foot area, and that a right of way will be given by the Landlord(s) for the purposes of ingress and egress throughout the term of the lease. The Tenant shall obtain an accurate survey of the Property by a registered land surveyor licensed in the Commonwealth of Kentucky at the sole expense of the Tenant. A copy of the survey shall be provided to the Landlord(s). The description of the Property shall include the number of acres determined by the surveyor. The Tenant shall obtain said survey within a reasonable time following the date of the Lease Agreement.

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- 2. The Tenant may assign this Lease Agreement, and upon any assignment such assignee shall have all the rights, remedies and obligations as if it were the original Tenant hereunder. From and after any such assignment, the term "Tenant" shall refer to such assignee.
- 3. The parties hereto represent to each other that neither has engaged any broker to represent their interests in connection with the transactions contemplated hereby, and each agrees to indemnify the other against any and all claims made by any brokers engaged or purported to be engaged by the other for brokerage commissions or fees in connection with the transactions contemplated hereby.
- 4. The Landlord(s) represents, warrants and covenants to the Tenant that the Landlord(s) has not caused or permitted, and shall not cause or permit, and to the best of Landlords(s)' knowledge no other person has caused or permitted any hazardous material (as defined by any applicable federal, state or local law, rule or regulation) to be brought upon, placed, held, located or disposed of at the Property. In the event any such contamination occurs for which the Tenant becomes legally liable, the Landlord(s) shall indemnify the Tenant against all claims, damages,

judgments, penalties and costs and expenses, including reasonable attorneys' fees, which Tenant may incur. Landlord shall not be responsible for indemnifying the Tenant, however, to the extent such contamination occurs as a result of the intentional or negligent acts or omissions of the Tenant.

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- 5. This Lease Agreement and the rights and obligations of the parties hereto shall be construed in accordance with the laws of the Commonwealth of Kentucky.
- 6. For the purposes of giving notice as permitted or required herein, the address of the Landlord(s)shall be: 109 Ollie Brown Road, Columbia, KY 42728 the Tenant's address shall be: 2902 Ring Road, Elizabethtown, KY 42701. Any inquiry by the Landlord to the Tenant regarding the terms and conditions of the Lease Agreement, or otherwise related to the Lease Agreement, shall be made in writing and submitted to the attention of the Tenant's Lease Administrator at the above address.
- 7. The Tenant shall have the right, in its sole discretion, to record this Lease Agreement or a Memorandum of this Lease Agreement in the Office of the Clerk of the County Court of <u>Adair</u> County, Kentucky.
- 8. The term of the Lease shall commence on the Effective Date. The initial term shall expire **five (5) year(s)** ("Original Term") from the Effective Date of the Lease Agreement and shall be renewable for up to **six (6)** additional **five (5)**-year terms (each a "Renewal Term"). Tenant may, by providing written notice at least sixty (60) days prior to the expiration of the Original Term or any Renewal Term, elect to unilaterally terminate this Lease at the end of any such term. Such notice must be personally delivered or sent via registered or certified mail, return receipt requested, to the notice address of the Landlord(s) identified in Paragraph 6 hereof. The rent

amount shall be adjusted at the end of the Original Term and each Renewal Term, if any, by an increase of twelve percent (12%).

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The parties hereby further acknowledge that Tenant has not yet received all required governmental, regulatory, and/or other approvals (the "Required Approvals") for the erection of a permanent cellular antenna tower (as distinguished from a "cell on wheels" or "COW") on the Property and that, accordingly, Tenant is executing this Lease Agreement prior to securing those Required Approvals as an accommodation to Landlord. Therefore, Landlord and Tenant agree that Tenant may terminate this Lease Agreement at any time during the Original Term or any Renewal Term without penalty or other cost in the event that Tenant, in the exercise of its sole judgment and discretion, determines that the Required Approvals are unlikely to be received. In the event Tenant seeks to terminate this Lease Agreement pursuant to this provision, Tenant shall provide Landlord with no less than ten (10) days prior written notice of its intent to do so.

- 9. The Tenant shall pay to the Landlord(s) rent for the Property in the sum of Four Thousand Eight Hundred Dollars and Zero Cents (\$4,800.00) yearly, to be paid in advance. All rent payments shall be personally delivered or mailed to the Landlord(s) at the address set forth in Paragraph 6, hereof. Any rent payments made by check shall be payable to the order of Landlord(s).
- 10. The Tenant shall be entitled to use and occupy the Property for the purpose of erecting, maintaining and operating a COW, a communications tower and communications facilities thereon and for all such other uses as Tenant may, in its sole discretion, deem necessary in connection therewith.

11. The Landlord(s) shall be responsible for the payment of all real estate taxes which shall be assessed against the Property during the term of the lease. The Tenant shall pay all charges for heat, water, gas, electricity, sewer use charges and any other utility used or consumed on the Property by Tenant. The Tenant shall, at its own cost and expense, maintain and keep in full force and effect during the term of the lease public liability insurance with coverage in the amount of at least one million dollars (\$1,000,000.00) per person for bodily injury, disease, or death and shall maintain property insurance on any property the Tenant located on the Property.

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- 12. The Tenant may sublet all or part of the space on the tower or ground space.
- 13. The Landlord may sell or otherwise convey the Property subject to the terms of this Lease Agreement. Upon such conveyance, the conveyee of the Property shall have all the rights, remedies and obligations as if it were the original Landlord hereunder. From and after any such conveyance, the term "Landlord" shall refer to such conveyee.
- 14. The Landlord(s) covenants that upon the Tenant's payment of the rent agreed upon herein, as well as Tenant's observing and performing all of the covenants and conditions contained in this Lease Agreement, the Tenant may peacefully and quietly enjoy the Property subject to the terms and conditions set forth in this Lease Agreement.
- 15. The Tenant agrees to maintain an access road in a passable manner for the term of the lease. The access road shall be the Existing Access Road or the Optional Access Road identified in the survey of the Property.

- 16. Except with respect to real estate taxes, which are comprehensively addressed in Section 11, hereof, Tenant shall pay directly to the applicable federal, state or local governmental unit or agency ("Governmental Entity") or to Landlord if Landlord is invoiced by such Governmental Entity, all taxes, fees, assessments or other charges assessed by any Governmental Entity directly against Tenant's communications equipment and/or Tenant's use of the COW and/or communications tower. Tenant shall also pay to Landlord Tenant's Pro Rata Share of all taxes, fees, assessments or charges including, but not limited to, personal property taxes attributable to Tenant's equipment and antenna(s), municipal franchise fees, use fees, municipal application fees, installation fees and increases thereof. "Pro Rata Share" shall mean the fraction of decimal equivalent of dividing one (1) by the total number of then existing users occupying a tower on the last day of the applicable calendar year.
- 17. This Lease Agreement contains the entire agreement between the parties hereto and no modification or amendment shall be binding upon any party unless made in writing and signed by each of the parties hereto.
- 18. Upon the termination or other end of this Lease Agreement, Tenant shall remove any and all of its property (real or personal) from the Property regardless of whether or not such property may be considered a fixture thereto.
- 19. Upon abandonment of the property, Tenant shall have thirty (30) days to dismantle and remove the cellular antenna tower and any/all equipment located on Landlord's property.

[REMAINDER OF PAGE INTENTIONALLY LEFT BLANK]

EXECUTION OF AGREEMENT(S)

IN WITNESS WHEREOF, the parties hereto have set their hands and affixed their respective seals.

("Landlord") (aeelon) Procen	Cumberland Cellular Partnership, d/b/a Bluegrass Cellular ("Tenant")
By: Melvin Brown, Jr. and Marilyn Brown	By: Ron Smith
Its: (If Landlord is signing in individual capacity, leave this line blank.) Date: 3 - 16-09	Its: Authorized Representative
Date: 3-1809	Date: 3/15/5
GTTA TTT. O.D.	
STATE OF	
COUNTY OF Adaw	
	dged before me this <u>l</u> day of <u>March</u> ,

STATE OF Ky
COUNTY OF Adam
11. 00 1
The foregoing instrument was acknowledged before me this $\frac{16}{2}$ day of $\frac{1}{2}$ day of $\frac{1}{2}$,
200 9, by Marilyn Brown to be his/her free act and deed.
Sinday Yng
NOTARY PUBLIC STATE AT LARGE
My commission expires: 12-8-10
STATE OF KENTUCKY
COUNTY OF HARDIN
This instrument was acknowledged before me this A day of March,
200 by Ron Smith, authorized representative of Cumberland Cellular Partnership, d/b/a Bluegrass
Cellular Level Level
NOTARY PUBLIC STATE AT LARGE
My commission expires: $\sqrt{2/-/3}$

This instrument prepared by:

DINSMORE & SHOHL LLP 1400 PNC Plaza 500 West Jefferson Street Louisville, KY 40202

(502) 540-2300

143179_1.DOC

Grid True North North 0010'58

Basis of Bearings

The bearing system of this survey is based upon G.P.S. observations made on April 16, 2009 using the National Geodelic Survey monument '7 225' and the Kentucky State Plane Coordinate System, South Zone, NAD 1983 (2007). This system is grid north.

Tower Location Information

Designation: Millions
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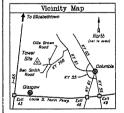
Owner Information

Landowners: Helvin Brown, Jr. and Maniba Brawn Mariya proem ddress: 109 Olio Brosn Road Columbia, KY 42728 ontact Person: Melvin Brown, Jr. hana: 270–378–5188 Cell: 270–378–0140

PVA Map No. 012-026

Project Bench Mark & Northing: 1,921,188 feet (585,579 m) Easting: 1,728,266 feet (326,777 m) Easting: 770,64 feet (240,988 m) Description: A Map Noil set in the north side of an 16° cedar, 10° cabve grade. The bench mark is 12! feet south of the center of the tower.

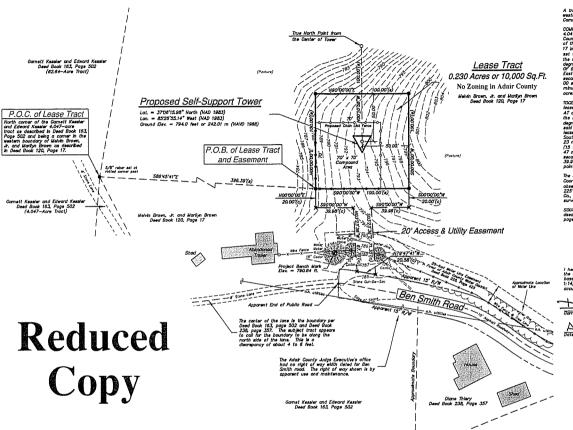
Flood Plain Statement FIGOR PIBIN Statement
According to the FUA we site, this is en
umapped crea. No flood information is
available for the Unincorporated Area of
Adolf County, Kentucky, However, a visual
inspection of the site would indicate that the
subject site does not fix within a flood
profit once.



Directions to Site

Directions to Site
From Esphalton, Kaluszy Towel south
on I-65 for approximately 50 miles to Euit
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Site: Milltown Lease Boundary and Topographic Survey Adair County, Kentucky



Surveyor's Notes

2. No search of public records has been performed by this firm to determine any defects and/or ambiguities in the title of the parent tract.

3. The utilities shown on this plot may or may not represent all of the utilities located on the subject shall he present the stating subject shall he present the stating subject shall be present to the subject shall be present to the survey. It shall be the responsibility of the contractor to locate was called in print to this survey. It shall be the responsibility of the contractor to locate any utilities present prior to construction.

The topographic information contained on this plot was as requested by the client and may or may not represent all of the topographic features located on the subject property.

5. According to Ann Melton, County Judge Executive of Adair County, no local planning unit exists which has geographical partiaction of the aubject tower site. The County Judge Executive's Office may be contacted at (270) 384–4703 for confirmation.

5. The proposed location of the Militown cell site will be located outside at an incorporated city.

Legend

- 5/8° Rebor Set Flush With A Survey Cap Inscribed "D.L. Helms PLS 3386 5/8° Rebor Sat Flush - No Cop
- Subtest Boundarie.
- ---- New Easement Boundaries ---- Other Boundaries

Existing Easements

- Utility Pole Electric Meter Guy Ancher Calculated Position - No Manumen
 - m Measured
 - (c) (s) Calculated

Lease Boundary and Easement Description

A tract of land that is located on the north side of Ben Smith Road about 700 feet resterly of the intersection of said road with the Ollie Brown Road in the Matney Community of Ada'r County, Kentucky, said tract being described as follows:

Committy of Aget County, Kentacky, sold tred being destribed as follows:

OUMENTING AT The north comes of the Comest Kessler and Edered Kessler
AOH7-care tred as described in Paed Book 183, page 502 in the office of the
County Date of Aget County, Retaining and being a come in the settlen county
The sold County Clark's office, sold comes being mouramented by a 5/8-tack retain
17 in sold County Clark's office, sold comes being mouramented by a 5/8-tack retain
18 than with a surrey cap benefit of 11. Indeed TS 3380 (referred to as a rabor to the remarkader of this description) at a rolled seved committed by a 5/8-tack retain
18 than with a surrey cap benefit of 11. Indeed TS 3380 (referred to as a rabor to the remarkader of this description; there is Not to Congress Of mixture 40 associated than the County of ESCHAMICTO of this description; thereoe North Odogress Of mixture 40 associated than the County of the Coun

Cores (10,000 agrees test), more or less.

TOCLTRES WITH on occases and utility essement from the above—described 0.230—core lesses tract to the Smith Road and easement being described as follows: BEDINGHO As a subject to the Smith Road and easement being described as follows: BEDINGHO As a subject to the subject to the

The bearing system of these descriptions is based upon the Kentucky State Plane Coordnote System, South Zone, NAO 1983 (2007), are determined by CP-2, and Coordnote System Coordnote Coord by the Coordinate Coord of the Coordinate C

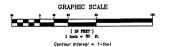
SOURCE OF TITLE. Being a portion of and lying entirely within the land described in deed to Mahin Brown, Jr. and Marilyn Brown on September 18, 1975 in Deed Book 120, page 17 in the affice of the County, Celerical Adal County, Kentucky.

Surveyor's Certification

I hereby certify that this plot has been compiled from a survey actually made upon the ground under my direct supervision on April 16, 2009 by the method of a boardies survey with distants. The unadjusted precision ratio of the traverse was 1:14,700 and it was not adjusted. This survey is a Class 8 survey and the accuracy and precision of this arvery mets of this specifications of this class.

APRIL 27, 2009







Road Smith Ben

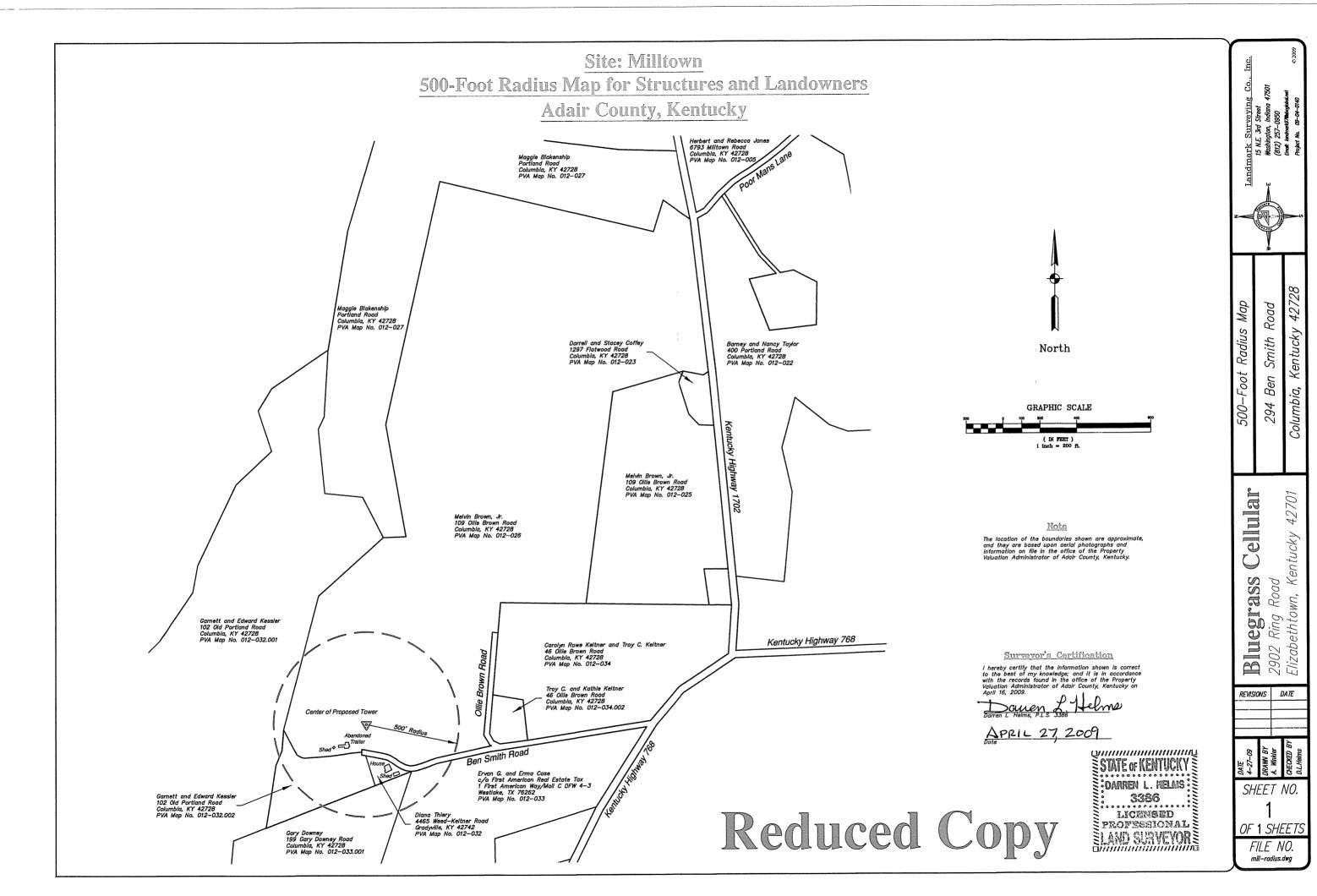
Kentucky Columbia, 294

Cellular Kentucky Bluegrass Road 2902 Ring Roa Elizabethtown,

REVISIONS DATE SHEET NO. OF 1 SHEETS

FILE NO.

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COMMONWEALTH OF KENTUCKY

BEFORE THE PUBLIC SERVICE COMMISSION

In the Matter of:

APPLICATION OF CUMBERLAND
CELLULAR PARTNERSHIP FOR
ISSUANCE OF A CERTIFICATE OF PUBLIC
CONVENIENCE AND NECESSITY TO CONSTRUCT
A CELL SITE (MILLTOWN) IN RURAL
SERVICE AREA #5 (ADAIR) OF THE
COMMONWEALTH OF KENTUCKY

CASE NO. 2009-00324

AFFIDAVIT OF JOHN E. SELENT

- I, John E. Selent, being duly sworn, depose and state as follows:
- 1. My name is John E. Selent and I am a member of the Kentucky Bar Association.

 I am legal counsel to Cumberland Cellular Partnership and am submitting this affidavit in conjunction with the above referenced matter.
- 2. In order to demonstrate compliance with 807 KAR 5:063 §1(1)(l) & (m), Exhibit 1 identifies, with the exception of the individuals identified in paragraphs 4, 5 and 6, the names of the residents/tenants and property owners within 500 feet of the proposed tower who have been: (i) notified by written notice of the proposed construction, sufficient postage prepaid, by United States Certified Mail, return receipt requested; (ii) given the Commission docket number under which the application will be processed; and (iii) informed of the right to request intervention.
- 3. Attached as Exhibit 2 is a copy of the United States <u>Certified Mail</u> return receipt that demonstrates proof of service of the written notice of the proposed construction upon: (1) Barney and Nancy Taylor; (2) Ervan and Erma Case c/o First American Real Estate Tax; (3) Carolyn and Troy Keltner; (4) Diana Thiery; (5) Darrell and Stacey Coffee; (6) Garnett and Edward Kessler; (7) Herbert and Rebecca Janes; and (8) Troy and Kathie Keltner.

- 4. Affiant attempted to serve written notice of the proposed construction upon Maggie Blankenship (see Exhibit 1) via United States Certified Mail pursuant to 807 KAR 5:063 §1(1)(1) & (m). Service of the written notice of the proposed construction to Maggie Blankenship was attempted via United States Certified Mail and was returned marked "Return to Sender Insufficient Address Unable to Forward." (See attached Exhibit 3) Therefore, another copy of the written notice of proposed construction was sent to Maggie Blankenship via United States First Class Mail. (See Exhibit 1.)
- 5. Affiant attempted to serve written notice of the proposed construction upon Gary Downey (see Exhibit 1) via United States Certified Mail pursuant to 807 KAR 5:063 §1(1)(1) & (m). Service of the written notice of the proposed construction to Gary Downey was attempted via United States Certified Mail and was returned marked "Return to Sender Unclaimed Unable to Forward." (See attached Exhibit 4) Therefore, another copy of the written notice of proposed construction was sent to Gary Downey via United States First Class Mail. (See Exhibit 1.)
- 6. Affiant attempted to serve written notice of the proposed construction upon Melvin Brown, Jr. (see Exhibit 1) via United States Certified Mail pursuant to 807 KAR 5:063 §1(1)(1) & (m). Service of the written notice of the proposed construction to Melvin Brown, Jr. was attempted via United States Certified Mail and was returned marked "Return to Sender Unclaimed Unable to Forward." (See attached Exhibit §) Therefore, another copy of the written notice of proposed construction was sent to Melvin Brown, Jr. via United States First Class Mail. (See Exhibit 1.)

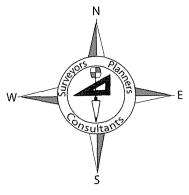
Further Affiant saith not.

John E Seler

COMMONWEALTH OF KENTUCK	XY)	
)SS:	
COUNTY OF JEFFERSON)	
	\mathcal{U}_{\cdot}	
	MA	
SUBSCRIBED AND SWORN	N to before me this \mathcal{L} day of September, 20)09
	11/20/20/1	
My commission expires:	11/20/09/1	
	1 1840	
	Notary Public	
	T .	
	1	

Landmark Surveying Co., Inc.

Darren L. Helms, P.L.S., PRESIDENT Dennis N. Helms, P.L.S., VICE PRESIDENT



15 N.E. 3rd Street Washington, Indiana 47501 Phone: 812-257-0950 Fax: 812-257-0953

Email: landmark97@sbcglobal.net

Landowner and Adjacent Landowner List

Bluegrass Cellular, Inc. Milltown Site Adair County, Kentucky

Garnett and Edward Kessler 102 Old Portland Road Columbia, KY 42728

Gary Downey 199 Gary Downey Road Columbia, KY 42728

Diana Thiery 4465 Weed-Keltner Road Gradyville, KY 42742

Ervan G. and Erma Case c/o First American Real Estate Tax 1 First American Way/Mail C DFW 4-3 Westlake, TX 76262

Troy C. and Kathie Keltner 46 Ollie Brown Road Columbia, KY 42728

Carolyn Rowe Keltner and Troy C. Keltner 46 Ollie Brown Road Columbia, KY 42728 Melvin Brown, Jr. 109 Ollie Brown Road Columbia, KY 42728

Darrell and Stacey Coffey 1297 Flatwood Road Columbia, KY 42728

Barney and Nancy Taylor 400 Portland Road Columbia, KY 42728

Herbert And Rebecca Janes 6793 Milltown Road Columbia, KY 42728

Maggie Blakenship Portland Road Columbia, KY 42728

Darren L. Helms, Kentucky Professional Land Surveyor No. 3386

36

licensed rofessional AND SURVEYOR

DARREN L. HELMS

Date

Garnett and Edward Kessler 102 Old Portland Road Columbia, Kentucky 42728

Public Notice

Cumberland Cellular Partnership is a Kentucky general partnership that markets its services as Bluegrass Cellular. Bluegrass Cellular has been serving Central Kentucky with wireless communications services for over 15 years.

Cumberland Cellular Partnership is applying to the Public Service Commission of the Commonwealth of Kentucky (the "Commission") for a Certificate of Public Convenience and Necessity to construct and a new cell facility to provide cellular telephone service. This facility will include a 240 foot tower to be located at 294 Ben Smith Road, Columbia, Kentucky, 42728. A map showing the location is attached.

The Commission invites your comments regarding this proposed construction. Also, the Commission wants you to be aware of your right to intervene in this matter. Your comments and request for intervention should be addressed to:

Executive Director's Office
Public Service Commission of Kentucky
P.O. Box 615
Frankfort, Kentucky, 40602.

Please refer to case number 2009-00324 in our correspondence.

SENDER: COMPLETE THIS SECTION Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired. Print your name and address on the reverse so that we can return the card to you. Attach this card to the back of the mailpiece or on the front if space permits. Article Addressed to: CANNEH & SWAND KESS LEY 102 PONHAND LOAD	,	A. Signature X A. Received by (Printed Name) D. Is delivery address different from item 1? If YES, enter delivery address below:	ssee ivery
Columbia, KY42728	Ľ	3. Service Type Certified Mail Express Mall Registered Receipt for Merchan C.O.D.	ndise
		4. Restricted Delivery? (Extra Fee)	
2. Article Number (Transfer from service label) 7 0 0 5	008	30 0001 0806 4870	
PS Form 3811, February 2004 Dome	estic Reti	urn Receipt 102595-02-h	A-1540

Diana Thiery 4465 Weed-Keltner Road Gradyville, Kentucky 42742

Public Notice

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Grady Ville, KY 42742	3. Service Type ☐ Certified Mail ☐ Express Mail ☐ Registered ☐ Return Receipt for Merchandise ☐ Insured Mail ☐ C.O.D. 4. Restricted Delivery? (Extra Fee) ☐ Yes
2. Article Number (Transfer from service label) 7009 008	0 0001 0806 4856
PS Form 3811, February 2004 Domestic Retu	ırn Receipt 102595-02-M-1540

Ervan G. and Erma Case C/O First American Real Estate Tax 1 First American Way/Mall C DFW 4-3 Westlake, Texas 76262

Public Notice

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Public Service Commission of Kentucky
P.O. Box 615
Frankfort, Kentucky, 40602.

Please refer to case number 2009-00324 in our correspondence.

SENDER: COMPLETE THIS SECTION	COMPLETE THIS SECTION ON DELI	VERY
 ☑ Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired. ☑ Print your name and address on the reverse 	A. Signature	☐ Agent
so that we can return the card to you. Attach this card to the back of the mailpiece, or on the front if space permits.	B. Received by (Printed Name)	C. Date of Delivery
1. Article Addressed to: EVVan G. & EVMA Case	D. Is delivery address different from Iten If YES, enter delivery address below	
Go First American Real		Market and the second s
1 First American Way Mall CDFW 4-3	3. Service Type Certified Mail	il eipt for Merchandise
Westlake, Texas 76262	4. Restricted Delivery? (Extra Fee)	☐ Yes
2. Article Number (Transfer from service label) 7009 00	80 0001 0806 4849	
PS Form 3811, February 2004 Domestic Retu	urn Receipt	102595-02-M-1540

Troy C. and Kathie Keltner 46 Ollie Brown Road Columbia, Kentucky 42728

Public Notice

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SENDER: COMPLETE THIS SECTION	COMPLETE THIS SECTION ON DELIVERY
 Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired. Print your name and address on the reverse so that we can return the card to you. Attach this card to the back of the mailpiece, or on the front if space permits. 	A. Signature X //2003 / 2 Agent Addressee B. Received by (Printed Name) C. Date of Delivery 3-2-4
1. Article Addressed to: Troy & Kathie Keltner 46011; e Brown Rd	D. Is delivery address different from item 1? ☐ Yes If YES, enter delivery address below: ☐ No
Columbia, KY 42728	3. Service Type ☐ Certified Mail ☐ Express Mail ☐ Registered ☐ Return Receipt for Merchandise ☐ Insured Mail ☐ C.O.D.
	4. Restricted Delivery? (Extra Fee) Yes
2. Article Number (Transfer from service label) 7 0 0 7	80 0001 0806 4835
PS Form 3811, February 2004 Domestic Retu	ırn Receipt 102595-02-M-1540

Carolyn Rowe Keltner and Troy C. Keltner 46 Ollie Brown Road Columbia, Kentucky 42728

Public Notice

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 Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired. Print your name and address on the reverse so that we can return the card to you. 	A. Signature X // Agent Addressee
Attach this card to the back of the mailpiece, or on the front if space permits.	B. Received by (Printed Name) C. Date of Delivery
1. Article Addressed to: Carolyn Rowe Keltner + Troy C. Keltner	D. Is delivery address different from item 1? ☐ Yes If YES, enter delivery address below: ☐ No
46 Ollie Brown Md. L Columbia, KY42728	3. Service Type CU-Certified Mail
	4. Restricted Delivery? (Extra Fee)
2. Article Number (Transfer from service label) 7009 00	80 000l 080L 4825
PS Form 3811, February 2004 Domestic Retu	urn Receipt 102595-02-M-1540

Darrell and Stacey Coffee 1297 Flatwood Road Columbia, Kentucky 42728

Public Notice

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Public Service Commission of Kentucky
P.O. Box 615
Frankfort, Kentucky, 40602.

Please refer to case number 2009-00324 in our correspondence.

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Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired. Print your name and address on the reverse so that we can return the card to you. Attach this card to the back of the mailpiece, or on the front if space permits. 1. Article Addressed to: AVVELL & STACRY (& Feel 29, 7) The Addressed to: 297 Thatwood Rd.	A. Signature Agent Addressee Addressee Addressee B. Received by (Printed Name) C. Date of Delivery C. Dat
Columbia, KY 42728	3. Service Type Griffied Mail Registered Receipt for Merchandise C.O.D.
	4. Restricted Delivery? (Extra Fee)
2. Article Number 7009 00	80 0001 0806 4801
PS Form 3811, February 2004 Domestic Retu	urn Receipt 102595-02-M-1540

Herbert and Rebecca Janes 6793 Milltown Road Columbia, Kentucky 42728

Public Notice

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Please refer to case number 2009-00324 in our correspondence.

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Columbia, KY42728	3. Service Type ☐ Certified Mail ☐ Registered ☐ Return Receipt for Merchandise ☐ Insured Mail ☐ C.O.D.
	4. Restricted Delivery? (Extra Fee) ☐ Yes
2. Article Number 7009 008	0 0001 0806 4788
PS Form 3811, February 2004 Domestic Ret	urn Receipt 102595-02-M-1540

Barney and Nancy Taylor 400 Portland Road Columbia, Kentucky 42728

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Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired. Print your name and address on the reverse so that we can return the card to you. Attach this card to the back of the mailpiece, or on the front if space permits. 1. Article Addressed to: Bay Ney A Navy Taylor 400 Port Gnd Rd.	A. Signature A. Agent Addressee B. Réceived by Printed Name C. Date of Delivery R/26/09 D. Is delivery address different from item 1? Yes If YES, enter delivery address below:
Columbia, KY 42728	3. Service Type Certifled Mall Registered Insured Mail C.O.D. 4. Restricted Delivery? (Extra Fee)
2. Article Number 7009 008 (Transfer from service label)	D 0001 0806 4795
PS Form 3811, February 2004 Domestic Retu	urn Receipt 102595-02-M-1540

Maggie Blakenship Portland Road Columbia, Kentucky 42728

Public Notice

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P.O. Box 615
Frankfort, Kentucky, 40602.

Please refer to case number 2009-00324 in our correspondence.

1400 PNC Plaza, 500 West Jefferson Street Louisville, KY 40202

Dinsmore & Shohl LLP





PERSONAL PRINER BOWES AUG 20 2009 MAILED FROM ZIP CODE 40202

Maggie Blakenship Portland Road Columbia, Kentucky 42728

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02 08/22/09

RETURN TO SENDER INSUFFICIENT ADDRESS UNABLE TO FORWARD

BC: 40202282399

*2070-06055-20-43

40203@3939

Gary Downey 199 Gary Downey Road Columbia, Kentucky 42728

Public Notice

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Executive Director's Office
Public Service Commission of Kentucky
P.O. Box 615
Frankfort, Kentucky, 40602.

Please refer to case number 2009-00324 in our correspondence.

Vest Jefferson Street

re&Shohl LLP

Garilla Di Wall.









MAILED FROM ZIP CODE 4020

2 77 6

Gary Downey 199 Gary Downey Road Columbia, Kentucky 42728

1ST NOTICE 8.26 2ND NOTICE 9.5

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02 09/10/09

RETURN TO SENDER UNCLAIMED UNABLE TO FORWARD

BC: 40202282399

*2870-06859-20-43

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Melvin Brown, Jr. 109 Ollie Brown Road Columbia, Kentucky 42728

Public Notice

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Executive Director's Office
Public Service Commission of Kentucky
P.O. Box 615
Frankfort, Kentucky, 40602.

Please refer to case number 2009-00324 in our correspondence.

00 West Jefferson Street

nore&Shohl



7009 0080 0001 0806 4818





02 1A 0004608059 MAILED FROM ZIP CODE 40 20

AUG 20 2000

Melvin Brown, Jr. 109 Ollie Brown Road Columbia, Kentuckv 42728

NIXIE

02 09/09/0

TO SENDER AIMED TO FORWARD

BC: 40202282399

*2970-00248-20 48

4272245246464646







Kerry W. Ingle (502) 540-2354 (Direct Dial) kerry.ingle@dinslaw.com

August 20, 2009

Via Certified Mail

Honorable Ann Melton Adair County Judge Executive 424 Public Square, Suite 1 Columbia, KY 42728

RE: Application of Cumberland Cellular Partnership d/b/a Bluegrass Cellular for a Certificate of Public Convenience and Necessity to construct a cellular tower to be located at 294 Ben Smith Road, Columbia, Kentucky, 42728, before the Public Service Commission of the Commonwealth of Kentucky, Case No. 2009-00324

Dear Judge Melton,

We are legal counsel to Cumberland Cellular Partnership ("Cumberland Cellular") which markets it services as Bluegrass Cellular.

Cumberland Cellular is applying to the Public Service Commission of the Commonwealth of Kentucky (the Commission") for a Certificate of Public Convenience and Necessity to propose construction and operation for a new facility to provide cellular telecommunications service in rural service area (RSA) #5 in Adair County. The facility would include a 240 foot tower to be located at 294 Ben Smith Road, Columbia, Kentucky, 42728. A map showing the location of the proposed new facility is enclosed.

The Commission invites your comments regarding the proposed construction. You also have the right to intervene in this matter.

Your comments and request for intervention should be addressed to: Executive Director's Office, Public Service Commission of the Commonwealth of Kentucky, P.O. Box 615, Frankfort, Kentucky 40602. Please refer to case number 2009-00324 in your correspondence.

Very truly yours,

DINSMORE & SHOHL LE

Kerry W. Ingle, Paralegal

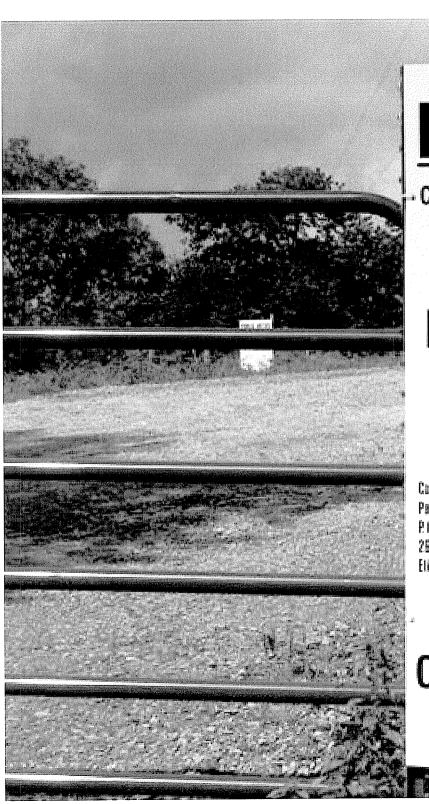
(PM), Dava, 500 (view faifgright property, artistic, Kr. 4037, 502,530,2300, 502,533,220,7 feg., state, floring re-

149452_1 21965-43

SENDER: COMPLETE THIS SECTION Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired. Print your name and address on the reverse so that we can return the card to you. Attach this card to the back of the mailpiece, or on the front if space permits. 1. Article Addressed to: HONDRADIE ANN ME HON	A. Signature A. Signature Agent Addressee B. Received by (Printed Name) C. Date of Delivery D. Is delivery address different from item 1? If YES, enter delivery address below:
Adair County Judge Executive 424 Public Square, Swite 1	3. Service Type Greatified Mail Registered Insured Mail C.O.D.
Columbia, KY 42728	4. Restricted Delivery? (Extra Fee) ☐ Yes
Transfor from Service labely	80 0001 0806 4764 102595-02-M-1540

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PUBLIC NOTICE

Cumberland Cellular Partnership proposes to construct a cellular communications

TOWER

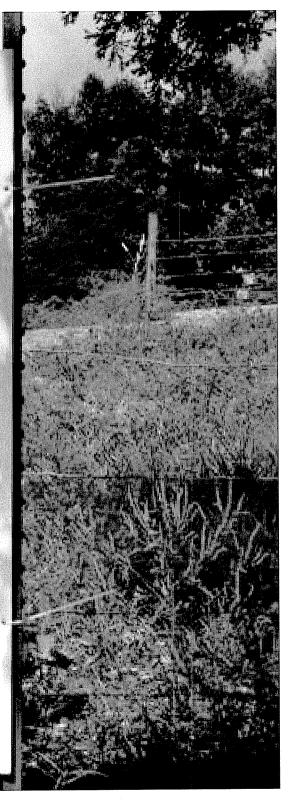
near this site. If you have any questions please contact:

Comberland Collular Partnership P.O. Bon 5012 2502 Ring Bond Elizabethtown, KY 42701 Enecative Director, The Public Service Commission 211 Sower Boolevard P. G. Soo S15 Franklard, NY 40802

Please refer to P.S.C.

Case #2009-00324

in your correspondence.









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NOTARIZED PROOF OF PUBLICATION

STATE OF KENTUCKY

COUNTY OF ADAIR

Before me, a Notary Public, in and for said County and State, this

1st day of SEPTEMBER, 2009, came Donna Hancock,

Personally known to me, who being duly sworn, states as follows:

That she is Publisher of The Adair Progress, and (Name of Publication)

that said publication of AUGUST 25&27, 2009 carried the

<u>CUMBERLAND CELLULAR</u> legal advertisement for <u>CERTIFICATE OF PUBLIC CONVENIENCE</u>.

(Signature)

(Notary Public)

My Commission expires:

revenue of \$414,519.00.

Compensating Tax Rate of .2386 which will produce revenue of \$398.647.00.

Revenue from new property and personal property at .2481 tax rate would be \$109,454,000.

Revenue in excess of preceding year revenue will be allocated for the purpose of paying officers and employees of the City of Columbia, expenses of the Fire Department, street maintenance and improvements, construction as well as the current expenses of the City and shall be paid into the Main Account for the purpose of paying all legal claims arising against the City.

The General Assembly of Kentucky requires publication of this Public Notice and the information contained herein per KRS 132.027 when the proposed tax rate (.2481) exceeds the compensating tax rate (.2386).

All interested citizens will have the opportunity to give comments at the Public Hearing with regards to the proposed tax rate. Senior citizens are encouraged to attend and comment. Disabled persons needing assistance or aid should contact the City Clerk's Office (270-384-2501) no later than three (3) days prior to the hearing.

NOTICE

Cumberland Cellular Partnership is applying to the Public Service Commission of Kentucky for a Certificate of Public Convenience and Necessity to construct and operate a new facility to provide cellular radio telecommunications service in rural service area #5 of the Commonwealth of Kentucky (Milltown Cell Site). The facility is a 240 foot tower and an equipment shelter to be located at 294 Ben Smith Road. Columbia, Kentucky 42728. Your comments and requests for intervention should be addressed to: Executive Director's Office, Public Service Commission, Post Office Box 615, 211 Sower Boulevard, Frankfort, Kentucky

ISSUANCE OF THE CITY OF COLUMBIA. KENTUCKY EDUCATIONAL DEVELOPMENT REVENUE **BONDS** (LINDSEY WILSON COLLEGE PROJECT). SERIES 2009.

SUMMARY

As required by KRS 103.210, I hereby certify that a Resolution, the title of which is the foregoing, was enacted by the City Council of the City of Columbia, Kentucky, at a regular meeting on August 20, 2009, and that the following is a summary of the provisions of said Resolution. The Resolution:

Α. Authorizes and approves the issuance of the City of Columbia, Kentucky Educational Development Revenue Bonds (Lindsey Wilson College Project) Series 2009 in an aggregate principal amount not to exceed \$12,000,000 (the Bonds") for the purpose of constructing additions and extensions to its Attorney educational facilities through the acquisition, construction and equipping of (i) a 73,000 square foot Wellness Center, (ii) an outdoor sports complex, (iii) a 12,400 square foot field house; (iv) a new 6,200 square foot facility to house the physical plant operations staff (maintenance and housekeeping) and (v) other general campus improvements including parking facilities, renovations to student

housing and academic

buildings (collectively the

"Project").

the Bonds.

Provides that the Bonds will not be a general obligation of the City, but will be payable solely out of the revenues of the College, including loan payments received under the Loan Agreement.

G. Provides that the Resolution shall be effective upon publication of this Notice Enactment and Summary of Bond Resolution. (Signed) Carolyn Edwards, City Clerk -

I, Charles S. Musson, hereby certify that I aman Attorney at Law of Louisville, Kentucky, licensed to practice law in the Commonwealth of Kentucky, that I prepared the foregoing Notice of **Enactment and Summary** of Bond Resolution of the City of Columbia, Kentucky, and I certify the foregoing Summary to be true and accurate summary of the contents of said Bond Resolution.

s/Charles S. Musson,

PUBLIC NOTICE

The Adair County Fiscal Court will have second reading and adoption of an ordinance on Tuesday, September 8,2009 at 7:00 p.m. CST in the basement of the Adair County Annex Building to make the following changes to the Adair County Road Maintenance Program, A complete copy of the ordinance is available for public inspection in the Adair County Judges' Office during normal business hours at 424 Public Square, Ste 1,

ORDER SETTING CONTESTED HEARING ON EMANCIPATION

Comes now the Court and notes that a pre-trial hearing was held in the Rush County Circuit Court on July 13, 2009 at 10:30 a.m. The Court now hereby finds:

Present for the pre-trial hearing was the natural father, David E. Manlove, and his attorney John W. Alexander.

The child of this relationship accepted her certified mail return receipt requested of said pre-trial hearing and signed her last name as "Loveless". The adult child failed to appear for said pre-trial hearing.

* 3) The natural mother. Wanda A. Palmer, was not served as the certified mail came back as "unclaimed",

The Court now sets the natural father's claim of emancipation for a final fifteen (15) minute contested hearing to be held in the Rush County Circuit Court on the 22nd day of September, 2009 at 9:00 a.m.

5) The Court directs counsel for the natural father to serve the natural mother, Wanda D. Palmer, and the adult child, Amanda Loveless, by Notice of Publication in the county of their residence in Columbia, Kentucky, and by the Sheriff of Adair County, Kentucky

6) The Sheriff of Adair County is to personally serve Wanda A. Palmer and Amanda D. Loveless at 351 North Bramlett Street, Columbia, Kentucky 42728 and make due return thereon

Sidney and I bought the farm where we still live in 1948, shortly after we married in Germany. It was up for sale by the owners Mr. and Mrs. Bruce White and was located next to the farm of Sidney's parents, the ideal place for us. We actually

these nice arrowheads were there after all these perhaps the ground nevel been plowed as Sidney plate. I wish we had saved sooner. The ones who carried from that field a make a great display.







(PN) PUBLIC NOTICE

NOTICE

Cumberland Cellular Partnership is applying to the Public Service Commission of Kentucky for a Certificate of Public Convenience and Necessity to construct and operate a new facility to provide callular radio telecommunications service in raral service #5 of the area Commonweal Kentucky (Milliown Cell Site). The facility is a 240 Site). The facility foot tower and an equipment shelter to be located at 294 Ben Smith Road. Columbia, Kentucky 42728. Your comments and requests for intervention should be addressed to: Executive Director's Office, Public Service Commission, Post Office Box 615, 211 Sower Boulevard, Frankfort, Kentucky 40602. Please refer to Case No. 2009-00324 in your correspondence.

(G) CHILDCARE/BABYSITTING

WILL DO BABYSITING in my home. (Millerfield community). Daytime hours, infant to schoolage. 384-9048.

WILL DO BABYSITTING in my home Mon.-Fri, Experienced, dependable, convenient location. References available, Call 384-5602,

(J) ARTICLES FOR SALE

ALUMINUM SHEETS-50¢ a sheet. Can be seen at The Adair Progress office, 98 Grant Lane, Columbia, Ky.

TRANSMISSION-4 CYL. 5 SPEED manual transmission for 2000 Mit. Eclipse GS model. Less than 3,000 miles. Call 270-384-6471 days or 270-384-9737 nights.

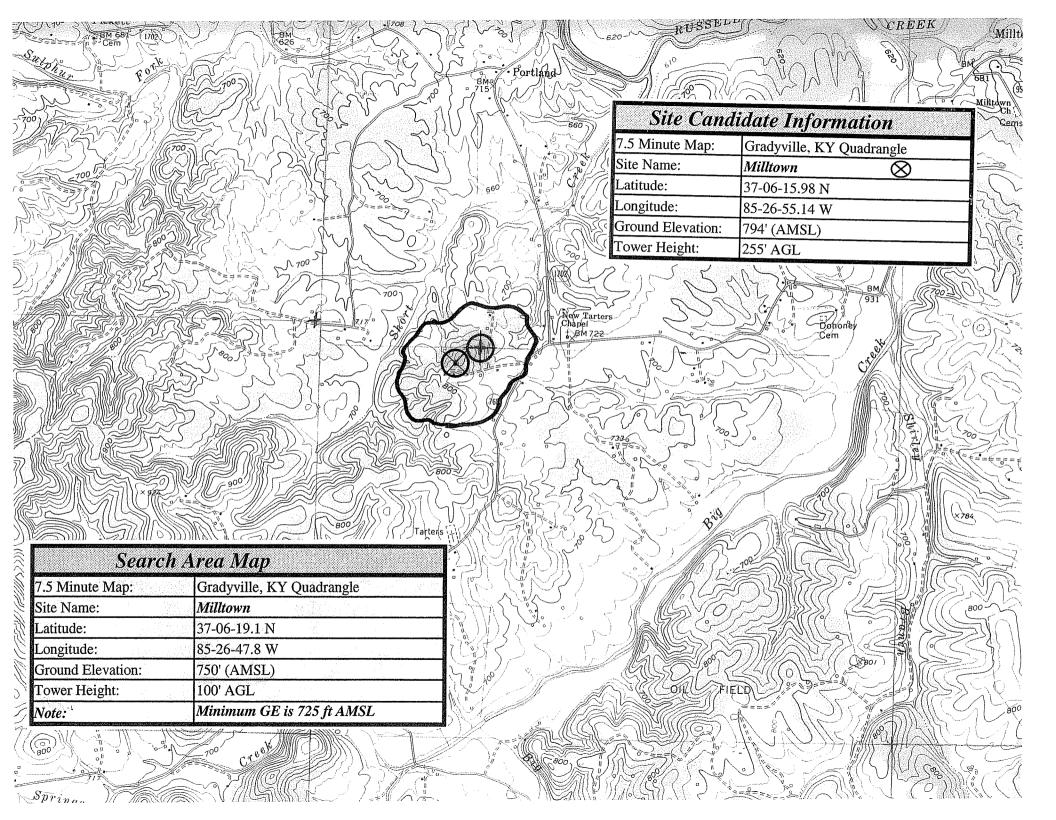


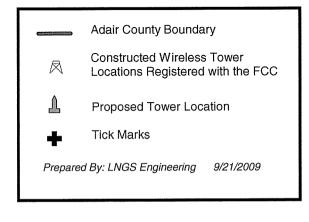
Rare 1988 Nissan 240 SX Great Project or Drift Car \$1,000 O.B.O. Call 270-384-6479

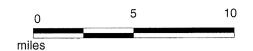
FOR SA ENGLAN **FAMILIES** book, Barbara related Millie Jessee. avallabli by cont Jessee c or Edra (270) 38book postage (T) MOBIL 3 BR & HOME; appliani

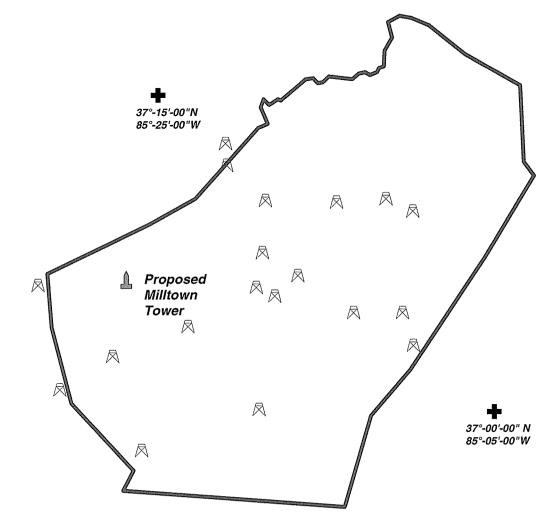
HUD ap. 2034 or :











Information on Towers Registered with the FCC in Adair County and 1/2 Mile Area Outside of the County Boundary

FCC Tower Reg. No.	North Latitude	West Longitude	City, State	Tower Owner
1041289 1042800	37-00-07 N 37-09-55 N	85-19-01 W 85-14-23 W	Fairplay, KY Columbia, KY	TEXAS EASTERN COMMUNICATIONS, INC. GTE SOUTH INCORPORATED CUMBERLAND CELLULAR PARTNERSHIP DBA BLUEGRASS CELLULAR
1043061 1043197	37-07-32 N 37-10-4.2 N	85-18-48 W 85-11-25.8 W 85-19-10 W	Columbia, KY Columbia, KY Columbia, KY	Shoreline Communications, Inc. Cumberland Cellular, Inc.
1043978 1044249 1044821	37-05-53 N 37-09-29 N 37-06-00 N	85-09-50 W 85-32-10.1 W	Purdy, KY Edmonton, KY	WESTERN KENTUCKY UNIVERSITY KENTUCKY COMMONWEALTH OF DBA = KY EMERGENCY WARNING SYSTEM KEWS
1044964 1048811	37-06-26.2 N 37-04-40.6 N	85-16-41.9 W 85-10-27.6 W	Columbia, KY Russell Springs, KY	TRI COUNTY BROADCASTING CORPORATION DBA = WAIN RADIO SHORELINE COMMUNICATIONS INC. AMERICAN CHESTNUT TELEVISION, INC.
1062332 1228813	37-10-00 N 37-05-28.2 N	85-18-37 W 85-18-3.9 W	Adair, KY Columbia, KY Edmonton, KY	SBA Properties, Inc. Cumberland Cellular Partnership d/b/a Bluegrass Cellular
1242039 1243210 1252869	37-02-38.7 N 37-12-42.6 N 37-01-4.2 N	85-27-43.8 W 85-20-58.8 W 85-30-53.2 W	Columbia, KY Edmonton, KY	SBA Infrastructures, LLC Shared Sites Acquisition LLC
1252869 1254374 1257173	37-4-2.8 N 37-4-40.7 N	85-23-14.3 W 85-13-22.6 W	Columbia, KY Columbia, KY	Shared Sites Acquisition LLC Shared Sites Acquisition LLC
1257489 1261657	37-3-7.6 N 36-58-11.8 N	85-9-49.2 W 85-26-0.6 W	Russell Springs, KY Breeding, KY	Shared Sites Acquisition LLC Cumberland Cellular Partnership
1268209	37-11-40.7 N	85-20-55.2 W	Columbia, KY	Cumberland Cellular Partnership