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SEP 24 2009

Public Service Commission

Writers Direct: Phone: (859) 426-2151 Fax: (859) 341-4879 E-mail: phughes@dbllaw.com

September 23, 2009

FEDERAL EXPRESS

Public Service Commission Attn: Thomas M. Dorman 211 Sower Boulevard P.O. Box 615 Frankfort, Kentucky 40601

> Re: <u>South Barbourville - Site 1331</u> Docket No. 2009-**Q**(L)

Dear Mr. Dorman:

Please find enclosed for filing an original and five (5) copies of the Application of New Cingular Wireless PCS, LLC and Hemphill Corporation for Issuance of a Certificate of Public Convenience and Necessity to Construct a Wireless Communication Facility.

Thank you for your assistance in this matter. If you have any questions or require further information, please do not hesitate to contact me.

Very truly yours, Patrick R. Hughes

PRH/rmc Enclosures

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Dressman Benzinger LaVelle psc Attorneys at Law

KENTUCKY OFFICE: Thomas More Park • 207 Thomas More Parkway • Crestview Hills, Kentucky 41017-2596 • Phone (859) 341-1881 • Fax (859) 341-1469 OHIO OFFICE: 3500 Carew Tower • 441 Vine Street • Cincinnati, Ohio 45202-3007 • Phone (513) 241-4110 • Fax (513) 241-4551

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COMMONWEALTH OF KENTUCKY BEFORE THE PUBLIC SERVICE COMMISSION

RECEIVED SEP 24 2009 PUBLIC SERVICE COMMISSION

In the Matter of:

APPLICATION OF NEW CINGULAR)WIRELESS PCS, LLC)AND HEMPHILL CORPORATION FOR ISSUANCE)OF A CERTIFICATE OF PUBLIC CONVENIENCE)AND NECESSITY TO CONSTRUCT A WIRELESS)COMMUNICATIONS FACILITY AT JUNCTION 25)EAST AND 1304, BIMBLE,)KNOX COUNTY, KENTUCKY 40915

Docket No. 2009.261

SITE NAME: SOUTH BARBOURVILLE (#1331)

APPLICATION:

New Cingular Wireless, PCS, LLC ("New Cingular") and Hemphill Corporation ("Hemphill"), collectively "Applicant," by counsel, pursuant to (i) KRS §§ 278.020, 278.040, 278 665 and the rules and regulations applicable thereto, and (ii) the Telecommunications Act of 1996 respectfully submits this Application requesting the issuance of a Certificate of Public Convenience and Necessity ("CPCN") from the Kentucky Public Service Commission ("PSC")to construct, maintain and operate a Wireless Communications Facility ("WCF") to serve the customers of the Applicant with wireless telecommunication services. In support of this Application, Applicant respectfully provides and states the following:

1. The complete name and address of the applicant is: New Cingular Wireless PCS, LLC, 602 West Chestnut Street, Louisville, Kentucky 40203 and Hemphill Corporation, 1350 N. Louisville Ave., Tulsa, OK 74115.

2. New Cingular is a Delaware limited liability company licensed to do business in Kentucky. Hemphill is an Oklahoma corporation licensed to do business in

Kentucky. A copy of New Cingular and Hemphill's Articles of Incorporation are on file with the Public Service Commission.

3. The public convenience and necessity require the construction of the proposed WCF. The construction of the WCF will bring or improve the Applicant's services to an area currently not served or not adequately served by the Applicant by enhancing coverage and/or capacity and thereby increasing the public's access to wireless telecommunication services. The WCF is an integral link in the Applicant's network design that must be in place to provide adequate coverage to the service area.

4. To address the above need, Applicant proposes to construct a guyed tower near South Barbourville, Knox County, Kentucky, an area located entirely within the Louisville-Lexington-Evansville MTA. Applicant refers to the site of such tower, for short hand purposes, as the "South Barbourville" site.

5. The proposed WCF facility will consist of a 340 foot guyed tower, with attached antennae extending upward for a maximum total height of 340 feet. The entire proposed WCF facility will be fenced with a secured access gate. Tower design information, including the vertical tower profile and the foundation design, signed and sealed by a professional engineer registered in Kentucky is attached hereto as Exhibit A.

6. The site development plan, signed and sealed by a professional engineer registered in Kentucky is included in Exhibit A. A site survey and a location plan, signed and sealed by a professional engineer registered in Kentucky, that shows the proposed location of the tower and all easements and existing structures within 500 feet of the proposed site and all of the easements and structures within 200 feet of the access drive (including the intersection with the public street system) is included in Exhibit A. Please note:

(a) There are no existing structures within the 500 foot radius around the proposed tower compound; and

(b) There are no existing structure(s) within the 200-foot radius around the proposed access road to the tower compound.

The site development plan was prepared by Hemphill Corporation. The site survey and location plans were prepared by Hemphill Corporation. Certification, by a professional engineer licensed in Kentucky, that the proposed facility is not within the limits of a designated flood hazard area per FEMA/FIRM Map #21121C0165E, Knox County, Kentucky, effective date of August 16, 2006, is attached as **Exhibit B**. Thus, a detailed description of the manner in which the proposed facility will be constructed may be found in **Exhibits A and B**.

7. A list of the public utilities corporations or persons the proposed new construction is likely to compete with is attached as **Exhibit C**.

8. The process that was used in selecting the site for the proposed WCF facility by Applicant was consistent with the process used for selecting all other existing and proposed facilities within the Louisville-Lexington-Evansville MTA. With respect to the precise selection procedures and co-location efforts please refer to **Exhibit D** attached hereto. A map of the area and further information regarding Applicant's search ring/area is attached hereto as **Exhibit D**.

9. The proposed WCF facility will serve Kentucky customers in an area totally within Applicant's proposed service area in Louisville-Lexington-Evansville MTA.

10. A geotechnical analysis was performed by Hemphill Corporation. Said analysis shows normal soil conditions. Hemphill Corporation's address is 1350 N.

Louisville Ave., Tulsa, OK 74115. A copy of the geotechnical site investigation report dated December 22, 2001 is attached hereto as **Exhibit E**.

11. The foundation design for this proposed tower and WCF facility has been developed with the information provided by Hemphill Corporation. The final design for the foundation is included as Exhibit A.

12. Personnel directly responsible for the design and construction of the proposed facility are qualified and experienced. The initial designs of the tower and foundations were performed by Hemphill Corporation. The engineer is John W. McCann, Ph.D., P.E.. The construction Manager for the proposed WCF facility is Mr. Gary M. Connelly of Hemphill Corporation. Frank Neeley is the consulting surveyor. Applicant certifies that all individuals involved in the construction of the proposed WCF facility will be experienced and qualified.

In the event the initial design of the tower and/or foundation is subsequently revised, Applicant will amend this Application accordingly and will file with the Commission original and final drawings pursuant to applicable laws and regulations.

13. Copies of Applicant's Application For a Permit to Construct an Antenna Tower from the Kentucky Airport Zoning Commission and request for a Determination of No Hazard to Air Navigation from the Federal Aviation Administration are attached hereto as **Exhibit F**. Please note, preliminary review indicates that the proposed antenna application does not exceed the standards for determining obstructions to navigable airspace as set forth in Subpart C of Part 77.

14. Applicant's FCC Form 463a is attached hereto as Exhibit G

15. The site for the proposed WCF facility is leased from Alva Patterson and Beverly Patterson by Hemphill Corporation. Hemphill Corporation has entered into a

site lease agreement with Applicant whereby Hemphill will lease to Applicant a certain portion of the WCF facility. The lease documents are attached hereto as **Exhibit H**.

16. The proposed WCF facility will be located near South Barbourville, Knox County, Kentucky. The appropriate notices (in compliance with 807 K.A.R. 5:063 Section 1(2)), 2' x 4', with the word "TOWER" in letters at least 4" high, have been posted in a visible location on the proposed site and on the nearest public road and shall remain posted for at least two (2) weeks after the Application is filed. The location of the proposed facility has been published in The Advocate Publishing Co., a newspaper of general circulation in Knox County, Kentucky. A copy of the legal notice is attached as **Exhibit I**.

17. Clear directions to the proposed site, as well as the name, address and telephone number of the person who prepared said directions are set forth in **Exhibit J**.

18. Applicant has notified every person who owns property within 500 feet of the proposed tower by certified mail, return receipt requested, of the proposed construction. Each such person has been given the docket number under which the proposed application will be processed and has been informed of his or her right to request intervention.

19. A list of property owners so notified is attached as **Exhibit K**, together with copies of the certified letters sent to listed property owners. Also included in Exhibit L is a copy of a certified letter to the Knox County Judge Executive.

20. The area, as depicted in Exhibit A, in which the proposed facility is to be constructed is not zoned. Attached as **Exhibit L** is a copy of a letter from the Knox County Judge Executive.

21. There are no existing cellular antennas at the site.

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22. In the event that the WCF facility is abandoned for a period in excess of 180 days, Hemphill Corporation will dismantle the facility within a reasonable time period. See **Exhibit M**.

23. Any response to this Application may be directed to Patrick R. Hughes of Dressman Benzinger LaVelle psc at 207 Thomas More Parkway, Crestview Hills, KY 41017 or by calling (859) 341-1881.

Respectfully submitted,

Patrick R. Hughes Dressman Benzinger LaVelle psc 207 Thomas More Parkway Crestview Hills, Kentucky 41017 (859) 341-1881

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VICINITY MAF

DIRECTIONS

From Tennessee state line, go north on

175 to Corbin Exit 25E, Exit # 29. At exit take right. Go approximately 22.4 miles to Bimble, KY. See state road

1304 on left, Goodin Branch Road. Site is approximately 500 yards on the right, Frontage 25E, access entrance on right after highway guard rail is old abandoned

dirt road with curb cut.



SITE: 1331

340' GUY TOWER FOR MULTIPLE WIRELESS CARRIERS

PROJECT STAFF

John W. McCann, Ph.D., P.E. Hemphill, LLC 1350 North Louisville Tulsa, OK 74115

ENGINEER:





HEMPHILL, LLC TOWER SITE DEVELOPMENT SPECIFICATIONS SUPPLEMENT THE CONSTRUCTION DRAWINGS. FACILITY IS NOT STAFFED AND NORMALLY NOT OCCUPIED.

CONTRACTOR SHALL VERIFY ALL PLANS AND EXISTING DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL IMMEDIATELY NOTIFY THE CONSTRUCTION MANAGER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME

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South Barbourville, KY			CATE	ŻŻ	ENGI
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COMPANY: Verizon			AX 918		34-2200 6-6918
AME: * 800.483.5000				00	0-0310
L NUMBER:					
OWNER: Alva Patterson 606.546.8182	•				
CONTACT: JOHN R. HEMPHILL 918-834-2200					
CONTACT: FRANK NEELEY 615-292-0435					
Клох					
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unvey Notes: Contact proper Authorities before building near Sity lines, for essernent width and restrictions; Withes are opproximate and sheuld be writted for to any construction. Building estbacks are to be determined by the sommers. Kentucky Building Commission. We have by certify that this survey has been ade using the recorded hormation shows, and at this survey is correct to the method to any invisible end ballst. This has been of my cortes this sport, We hereby certify that a class "A survey ind their the indices. This a class "A survey has been prepared for the endusive re of the person or entities normed hereone to press or implies encorted hore three endusive is of the person or entities ofter the standed to ony rooms or entities ofter then those shown hereone it hereby certify that this plot depicts is survey, ade by me, or under my drastionated to the stances shown hereon, how been unudustied for person of rondom rowers. The hearing and stances shown hereon, how been unudustied for the original indices of governing authorities.



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Climit Jeffrint Engineers & Surnywes, L.L.C. 928 South Hull Street fontgomery, Alabama 36106 (336) 365-1246

Alva Patterson Property Retended in Band Book 233, Mar 366

Parcel Ouser: Alve Patterson P.O. Box 25 Blable, KY 40915

Field Surveyed an: 12-22-01

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CONSTRUCTION

GENERAL

General construction, electrical, tower and foundation drawings are interrelated. In performance of the work each contractor must refer to all drawings. Coordination is the responsibility of the general contractor.

SITE WORK

PART 1 - GENERAL

1. Work included: See Site Plan

2. Access road, turnaround areas and sites are constructed to provide a well-drained, easily maintained, even surface for material and equipment deliveries and maintenance personnel access.

3. SEOUENCING

- A. Confirm survey stakes and set elevation stakes prior to any construction.
- B. Grub the complete road (if applicable) and site area prior to foundation construction or placement of backfill or subbase materials.
- C. Construct temporary construction zone along access drive.
- D. Bring the site area to subbase course elevation and bring the access road to base course elevation prior to forming foundation.
- E. Soil stabilizer shall be Mirafi 500X or equal.
- F. Grade, seed, fertilize and mulch disturbed areas immediately after bringing site and access road to base course elevation.
- G. Remove gravel from temporary construction zone to an authorized area or as directed by the owner's representative.

4. SUBMITTALS

- A. Before construction:
- i. If landscaping is applicable to contract, submit two copies of the landscape plan under nursery letterhead. If a landscape allowance was included in the contract, provide an itemized listing of proposed costs on nursery letterhead (refer to plans for landscaping requirements).

5. WARRANTY

- A. In addition to the warranty on all construction covered in the contract documents, the contractor shall repair all damage and restore area as close to original condition as possible at site and surroundings.
- B. Disburbed area will reflect growth of new grass cover prior to final inspection.

PART 2 - PRODUCTS

1. MATERIALS

- A. Road and site materials shall conform to DOT specifications fill material acceptable select fill shall be in accordance with State Department of Highway and Transportation standard specifications and approved by the owner's representative.
- B. Soil stabilizer shall be Mirafi 500X or equal.

PART 3 - EXECUTION

1. INSPECTIONS

Local building inspectors shall be notified no less than 24 hours in advance of concrete pours, unless otherwise specified by jurisdiction.

2. PREPARATION

- A. Clear trees, brush and debris from site area and access road right-of-way.
- B. Prior to other excavation and construction, grub organic material to a minimum of six (6) inches below grade.
- C. Prior to placement of fill or base materials, roll the soil.
- D. Where unstable soil conditions are encountered, line the areas with stabilizer mat prior to placement of fill or base material.

3. INSTALLATION

- A. The site and turnaround areas shall be at the subbase course elevation prior to forming foundation. Grade or fill the site and access road as required in order that upon distrubution of spoils resulting from foundation excavations, the resulting grade will correspond with said subbase course, elevations are to be calculated from finished grades or slopes indicated.
- B. Clear excess spoils, if any, from job site and do not spread beyond the limits of project area unless authorized by the owner's representative and agreed to by landowner.
- C. Bring the access road to base course elevations prior to use to permit construction and observation during construction of the site.
- D. Avoid creating depressions where water may pond.
- E. The contract shall include grading, banking and ditching, unless otherwise indicated.
- F. When improving an existing access road, grade the existing road to remove any organic matter and smooth the surface before placing fill or stone.
- G. Place fill or stone in six inch maximum lifts and compact before placing next lift.
- H. The top surface course shall extend a minimum of six inches beyond the site fence and shall cover the area as indicated.
- I. Apply riprap gravel to the slopes of all fenced areas and parking areas and all other slopes greater than 2:1.
- J. Apply seed, fertilizer and straw cover to all other disturbed areas, ditches, drainage and swales not otherwise riprapped.
- K. Apply seed and fertilizer to surface conditions which will encourage rooting. Rake areas to be seeded to even the surface and loosen the soil

- of erosion control mesh or mulch net will be an acceptable alternate.
- swale to prevent contamination of the rail ballast.

- fill, whichever is greater.
- per square foot minimum.

FENCING AND GATE(S)

2. QUALITY ASSURANCE

4. PROTECTION A. Protect seeded areas from erosion by spreading straw to a uniform loose depth of 1 - 2 inches, stake and tie down as required. Use B. Protect all exposed areas against washouts and soil erosion, place straw bales at the inlet approaches to all new or existing culverts. Where the site or road areas have been elevated immediately adjacent to the rail line, stake erosion control fabric full length in the CONSTRUCTION 5. The required structural fill operation to the grades indicated for PCS equipment shelters shall be performed as follows: A. The structural fill material shall be placed in lifts not exceeding six inches in loose thickness. B. Each layer of structural fill material placed shall be compacted to a minimum of 95° of maximum density obtainable by ASTM 1350 NORTH LOUISVILLE compaction test designation D-337-66T for cohesive fill or 75% relative as determined by ASTM D-2049-64T for cohesionless TULSA, OK. 74115 OFFICE 918-834-2200 C. The final grade of structural fill for all footings shall be capable of supporting the design soil bearing pressure load of 3,000 lbs. FAX 918-836-6918 OF KEN PART 1 - GENERAL 1. Work included: See plan for location of fence and gate(s). JOHN W McCANN All steel materials utilized in conjunction with this specification will be galvanized or stainless steel. Weight of zinc coating of the PRO 17239 fabric shall not be less than 12 ounces per square foot of material covered. Posts shall be hot-dipped in grade E zubcm 16 ounces per square foot. If the site has been brought up to surface course elevation prior to the fence construction, fence post excavation spoils must be controlled to preclude contamination of said surface course. 4. SUBMITTALS REV. A REVIEW 8/11 B. Certificate or statement of compliance with the specifications. 1. FENCE MATERIAL A. All fabric wire, rails, hardware and other steel materials shall be hot-dipped galvanized. B. Fabric shall be six-foot height two-inch chain link mesh of No. 9 gauge wire. The fabric shall have a knuckled finish for the top selvages. Fabric shall conform to the specifications of ASTM A-392 Class 1. C. Barbed wire shall be double-strand, 12 gauge twisted wire with 14-gauge, 4-point round barbs spaced on five-inch centers. D. All posts shall be mechanical service pipe and shall be Type 1 ASTM A-128 and of the following diameter (OD. per fence industry standards). Line 2 inches # 1331 Corner 3 inches Gate 4 inches S. Barbourville, KY E. Gate posts shall be extended 12 inches, including dome cap, to provide for attachment of barbed wire. F. All top and brace rails shall be 1-1/2" diameter mechanical service pipe. Frames shall have welded corners. G. Gate frame and braces shall be 1-5/8" diameter Schedule 40 mechanical service pipe. Frames shall have welded corners. H. Gate frame shall have a full height vertical brace and a full width horizontal brace, secured in place by use of gate brace clamps. I. Gate hinges shall be Merchants Metal Model 6-4386-hinge adapter with Model 6-409, 188 degree attachment. GENERAL NOTES J. The quide (latch assembly) shall be heavy industrial gate latch. Master Halco #17221. L. All stops shall have keepers capable of holding the gate leaf in the open position. M. A No. 7 gauge zinc coated tension wire shall be used at the bottom of the fabric terminated with bank clips at corner and Aug. 11. 2009 DATE: gateposts. N. A six-inch by 1/2-inch diameter eyebolt to hold tension wire shall be placed at the line posts. SCALE: N.T.S. P. All corner gate and panels shall have a 3/8-inch truss rod with turnbuckles. DRAWN: JEN Q. All posts except gateposts shall have a combination cap and barbed wire supporting arm. Gateposts shall have a dome cap. R. Other hardware includes but may not be limited to the clips, band clips and tension band clips. ENG. #: S. Barbed wire gate guards shall be fitted with dome caps. T. Barbed wire support arms shall be cast iron with set bolt and lock wire in the arm. SHEET V. Where the use of concertina has been specified, 24-inch diameter coil barbed tape, stainless stcel, cyclone fence model gap to Type III shall be furnished. It shall be supported above the top rail by use of six wire barbed wire arms positioned atop each G_{1-1} line/corner post.

3. SEQUENCING

- A. Manufacturer's descriptive literature.

PART 2 - PRODUCTS

- K. Latches and stops shall be provided for all gates.

- O. Stretcher bars shall be 3/16-inch by 3/4-inch or have equivalent cross-sectional area.

- U. All caps shall be cast steel.

L. Sow seed in two directions to twice the quantity recommended by the seed producer.

PART 3 - EXECUTION

1. INSPECTION

To confirm proper depth and diameter of post hole excavations, all post holes will be excavated as per construction documents.

2. INSTALLATION

- A. Foundations shall have a minimum six-inch concrete cover under post.
- B. All fence posts shall be vertically plumb plus/minus one-quarter inch.
- C. At corner posts, gateposts and sides of gate frame, fabric shall be attached with stretcher and tension band-clips at fifteen inch intervals
- D. At line posts, fabric shall be attached with band-clips at fifteen inch intervals.
- E. Fabric shall be attached to brace rails, tension wire and truss rods with tie clips at two foot intervals.
- F. A maximum gap of two inches will be permitted between the chain link fabric and the final grade.
- G. Gate shall be installed so locks are accessible from both sides.
- H. Gate hinge bolts shall have their threads peened or welded to prevent unauthorized removal.
- I. Concrete to be a minimum of 3,000 psi.

3. PROTECTION

Upon completion of erection, inspect fence material and paint field cuts or galvanizing breaks with zinc-based paint, color to match the galvanized metal.

Applicable Standards:

ASTM-A120 Specification for pipe, steel black and hot-dipped, zinc coated (galvanized) welded and seamless.

ASTM-A123 Zinc (hot-dipped galvanized) coated steel chain link fence fabric.

ASTM-A153 Specification for zinc coating (hot-dip) on iron and steel hardware.

ASTM-A392 Specification for zinc-coated steel chain link fence fabric.

ASTM-A431 Specification for aluminum-coated steel chain link fence fabric.

ASTM-A525 Standard specification for steel sheet zinc coated (galvanized) by the hot-dipped process.

ASTM-A535 Specification for aluminum coated steel barbed wire.

ASTM-A570 Specification for hot-rolled carbon steel sheet and strip, structural quality.

Federal Specification RR-F-191 Fencing Wire and Post Metal (and Gates, Chain Link Fence Fabric and Accessories)

ELECTRICAL

1. Contractor shall review the contract documents prior to the ordering of the electrical equipment and starting the actual construction. Contractor shall issue a written notice of all findings to the architect listing any discrepancies or conflicting information.

2. Verify exact locations and mounting heights of electrical equipment with owner prior to installation.

3. All materials and equipment shall be new and in good working condition when installed and shall be of the best grade and of the same manufacturer throughout for each class or group of equipment. Materials shall be listed "J" where applicable. Materials shall meet with approval of all governing bodies having jurisdiction. Materials shall be manufactured in accordance with applicable standards established by ANSI, NEMA, NSFU and "UL" listed.

4. All conduit shall have a pull string.

5. Provide Project Manager with one set of complete electrical "As Installed" drawings at the completion of the job showing actual dimensions, routing and circuits.

6. The entire electrical installation shall be grounded as required by UBC, NEC and all applicable codes.

7. Patch, repair and paint any area that has been damaged in the course of the electrical work.

8. Wire and cable conductors shall be copper 600 amp, type THHN or THWN with a minimum size of #2 AWG color-coded. All rectifier drops shall be stranded to accept crimp connectors.

9. All chemical ground rods shall be "UL" approved.

10. Meter socket amperes, voltage, number of phases shall be as noted on the drawings, manufactured by Milbank or approved equal and shall be utility company approved.

11. CONDUIT

- A. Electrical metallic tubing shall have UL label; fitting shall be gland ring compression type.
- B. Flexible metallic conduit shall have UL listed label and may be used where permitted by code. Fittings shall be "Jake" or "Squeeze" type. All flexible conduits shall have full length ground wire.
- C. All underground conduit shall be PVC Schedule 40 with UV protection (unless noted otherwise) at a minimum depth of 24" below grade.

12. Contractor to coordinate with utility company for connection of temporary and permanent power to the site. The temporary power and all hookup costs are to be paid by the contractor.

13. All electrical equipment shall be labeled with permanent engraved plastic labels with white on blue background lettering (minimum letter height shall be 1/4"). Nameplates shall be fastened with stainless steel screws, not adhesive.

14. GROUNDING ELECTRODE SYSTEM

A. PREPARATION

i. Surface Preparation:

All connections shall be made to bare metal. All painted surfaces shall be field inspected and modified to ensure proper contact. No washers are allowed between the items being grounded. All connections are to have a non-oxidizing agent applied prior to installation.

- ii. Ground Bar Preparation:
- All copper ground bars shall be cleaned, polished and a non-oxidizing agent applied. No fingerprints or discolored copper will be permitted.
- iii. All grounding conductors shall run through seal tight wherever conductors run through walls, floors or ceilings. If conductors must run through EMT, both ends of conduit shall be grounded. Seal both ends of conduit with silicone caulk.

B. GROUND BARS

- i. All ground bars shall be 1/4" thick copper and of size indicated on drawings.
- C. EXTERNAL CONNECTIONS
 - i. All grounding connections shall be made by the exothermic weld process. Connections shall include all cable, splices, tee's, x's, etc. All cable to ground rods, ground rod splices and lightning protection systems are to be as indicated. All materials
- used (molds, welding metal, tools, etc.) shall be cadweld and installed per manufacturer's recommended procedures. **D. GROUND RODS**
 - i. All ground rods shall be 5/8" diameter by 10'-0" long "copperweld" or approved equal of the number and locations indicated. Ground rods shall be driven full length vertically in undisturbed earth.

E. GROUND CONDUCTORS

- i. All ground conductors shall be standard tinned, solid bare copper, annealed and size indicated on drawings. F. GROUND RING
 - i. The external ground ring encircling the tower (if applicable) and future carrier shall be minimum size of No. 2 AWG solid tinned, bare copper conductor in direct contact with the earth at a depth specified on plan sheets and details. Conductor bends shall have a minimum bending radius of eight inches.
 - ii. All external ground rings are to be joined together and all connections must be cadwelded. No lugs or clamps will be accepted.

G. FENCE / GATE

i. Ground each gatepost, corner post and gate as indicated on drawing. Ground connections to fence posts and all other connections for the ground grid system shall be made by exothermic weld process and installed per manufacturer's recommendations and procedures and sprayed and cold-galvanized paint.





ENG. #:

SHFFT

 G_{1-2}



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COMPETING ENTITIES

Affinity Mobile, LLC Alltel Communications, Inc Alltel Newco, LLC American Cellular Corporation dba AT&T Mobility Atrium Wireless Partners, LLC Azteca Mobile, LLC Bluegrass Wireless, LLC CBW Of Kentucky Cellco Partnership dba Verizon Wireless Cincinnati SMSA, Limited Partnership Coast to Coast Cellular, Inc. Conexions, LLC Consumer Cellular, Incorporated Cordia Communications Corp. Cricket Communications, Inc. Crossroads Wireless Holding, LLC dba Crossroads Wireless & Windstream Cumberland Cellular Partnership Dobson Cellular Systems, Inc. East Kentucky Network, LLC dba Appalachian Wireless Globalstar USA, LLC Granite Telecommunications, LLC GTE Wireless Of The Midwest Helio, LLC; i-Wireless, LLC KDDI America, Inc. Kentucky RSA #1 Partnership Kentucky RSA #3 Cellular General Kentucky RSA #4 Cellular General Lightyear Network Solutions, LLC New Par Nextel Boost West, LLC Nextel West Corporation Nextel WIP Lease Corp. Nexus Communications, Inc. NPCR, Inc. Dba Nextel Partners PNG Telecommunications, Inc Powertel/Memphis, Inc. Ram Communications Group, LLC Southeast Telephone, Inc. Sprint Spectrum, L.P. Sprintcom, Inc.

T-Mobile Central, LLC Telecorp Communications, Inc. TON Services, Inc. Total Call Mobile, Inc. Touchstone Communications, Inc. Tracfone Wireless, Inc. Tritel Communications, Inc. WDT Wireless Telecommunications, Inc. WDT World Discount Telecommunications Co. West Virginia PCS Alliance, L.C. Ztar mobile, Inc.

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AT&T Mobility 601 W Chestnut Street Louisville, KY 40203

Pursuant to 807 KAR 5:063 §1(1)(s), AT&T Mobility has considered the likely effects of the installation on nearby land uses and values and has concluded that there are no more suitable locations reasonably available from which adequate service to the area can be provided, and that there is no reasonably available opportunity to co-locate. AT&T Mobility has attempted to co-locate on towers designed to host multiple wireless service providers' facilities or existing structures, such as a telecommunications tower, or another suitable structure capable of supporting the utility's facilities.

NORTHSTAR TECHNOLOGY

1331

SEARCH RING SHEET

3333 E. Cumberland Gap Pkwy	Tel: 606-528-3333
Corbin, KY 40701	Fax: 606-528-9200

To:	Site Acquisition Group			
Issued By:	RF Design			
Date:	September 1	September 14, 2001		
BTA:	098	098		
Site Name:	South Barbo	South Barbourville / Rte. 25		
Client Job #:	N/A	N/A		
Site #:	027	027		
County:	Кпох			
State:	KY			
Proposed Tower Height:		300ft		
Proposed Tower	Туре:			
Ground Elevation:		1412ft		
AMSL (Total Height):		16120ft (plus / minus 10ft)		
7.5 Minute Quad Name:		Artemus Map		
Coverage Objectives:		To provide an easterly coverage on State Rte. 25E. by extending the coverage provided by the Barbourville site.		
Targeted Exist. S	tructure (if a	ppl.): N/A		

Targeted Exist. Structure (if appl.):

Please attach appropriate 7.5' map & map info. with search area designated. Draw search area in ink. Note backup/secondary search areas (if appl). *

A preliminary FAA study was done by the engineering group, and no height restrictions exist for this search area.

A preliminary FAA study was done by the engineering group, and there are some height restrictions/FAA concerns in this search area. A copy of the preliminary FAA information is attached.

Attachments:

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Office Use Only			
<i>Job</i> #:			
Agent / Engineer Name:			
Agent / Eng. Assigned Date:			
QA SOR Due to M.C.:			
SOR Due Date:			
Leases Due Date:			

SITE OPTION REPORT

Hemphill Corporation 3515 Dawson Road Tulsa, OK 74115 Off: 918-834-2200 Fax: 918-836-9619

Site Name: South Barbourville Site No: JN-1331 Candidate: Patterson

> Vicinity Map (With Site identified)



FREPHDED CLOOPEr PAGE ND. JATE 2-13-03

PROJECT Planning Notes Project ACTION NOTES Job#1331 BArBour ville Hole B-1 0-30.0 wt Dry 0-5.5 CIAY Brown SANDY W/ SAMOSTONE Rocks 5.5-18.2 Shale TAME Gray WEATHORD 18.2-19.0 Lignite Black. 7 19.0-22.5 Shale Gray & Tran 8 22.5-250 SANDSTONE TRAN FIRM 9 25-30 Shale Gray Dry 0 3,495 0-5 5-10 10-20 50-25 25=30 12 Hole 3-2 0-40 wt 26.0 0-60 CLAY Bround SANDY W/ SANDStone Rock 6.0-190 SHALE THANG GRAY WEATHOREd 19,0-20.0 Lignite Black 020.0-23.0 Shale TAN Soft. 123.0-26.0 SAMOSTONE TAM 18 26.0-29.0 Shale gray & TAU 19 29.0 - 40.0 Shald Gray Dry 20 BAYS 2 0-5 5-10 10-15 15=20 20-25-25=30 30-40 12 32 B) ۵ an A Faipty





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Federal Aviation Administration Air Traffic Airspace Branch, ASW-520 2601 Meacham Blvd. Fort Worth, TX 76137-0520 Aeronautical Study No. 2009-ASO-3552-OE

Issued Date: 08/20/2009

Jen Dreyer Hemphill, LLC 1350 North Louisville Tulsa, OK 74115-5137

**** DETERMINATION OF NO HAZARD TO AIR NAVIGATION ****

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure:	Antenna Tower Barbourville, KY-1331
Location:	Barbourville, KY
Latitude:	36-52-21.66N NAD 83
Longitude:	83-49-19.30W
Heights:	349 feet above ground level (AGL)
-	1775 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure does not exceed obstruction standards and would not be a hazard to air navigation provided the following condition(s), if any, is(are) met:

As a condition to this Determination, the structure is marked and/or lighted in accordance with FAA Advisory circular 70/7460-1 K Change 2, Obstruction Marking and Lighting, a med-dual system - Chapters 4,8(M-Dual),&12.

It is required that FAA Form 7460-2, Notice of Actual Construction or Alteration, be completed and returned to this office any time the project is abandoned or:

At least 10 days prior to start of construction (7460-2, Part I)

X Within 5 days after the construction reaches its greatest height (7460-2, Part II)

This determination expires on 02/20/2011 unless:

- (a) extended, revised or terminated by the issuing office.
- (b) the construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the FCC, within 6 months of the date of this determination. In such case, the determination expires on the date prescribed by the FCC for completion of construction, or the date the FCC denies the application.

NOTE: REQUEST FOR EXTENSION OF THE EFFECTIVE PERIOD OF THIS DETERMINATION MUST BE POSTMARKED OR DELIVERED TO THIS OFFICE AT LEAST 15 DAYS PRIOR TO THE EXPIRATION DATE.

This determination is based, in part, on the foregoing description which includes specific coordinates , heights, frequency(ies) and power . Any changes in coordinates , heights, and frequencies or use of greater power will void this determination. Any future construction or alteration , including increase to heights, power, or the addition of other transmitters, requires separate notice to the FAA.

This determination does include temporary construction equipment such as cranes, derricks, etc., which may be used during actual construction of the structure. However, this equipment shall not exceed the overall heights as indicated above. Equipment which has a height greater than the studied structure requires separate notice to the FAA.

This determination concerns the effect of this structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

A copy of this determination will be forwarded to the Federal Communications Commission if the structure is subject to their licensing authority.

If we can be of further assistance, please contact our office at (847) 294-7458. On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2009-ASO-3552-OE.

Signature Control No: 638257-117911432 Fred Souchet Specialist

Attachment(s) Frequency Data Map(s) (DNE)
Frequency Data for ASN 2009-ASO-3552-OE

LOW FREQUENCY	HIGH FREQUENCY	FREQUENCY UNIT	ERP	ERP UNIT
		•	ERP	
1850	1910	MHz	1640	W



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UNITED STATES OF AMERICA FEDERAL COMMUNICATIONS COMMISSION ANTENNA STRUCTURE REGISTRATION



1331

Owner: HEMPHILL CORPORATION

ц.	Registration Number:
HEMPHILL CORPORATION 3515 DAWSON ROAD TULSA, OK 74115	1232713
	Issue Date:
	02-28-2002
Location of Antenna Structure: 4458 SOUTH US HWY. 25E	Ground Elevation (AMSL): 434.6 meters
BIMBLE, KY	Overall Height Above Ground (AGL):
· · · · · · · · · · · · · · · · · · ·	106.4 meters Overall Height Above Mean Sea
Latitude Longitude	Level (AMSL):
36-52-21.6N 83-49-19.3W NAD83	541.0 meters
Painting and Lighting Requirements: FAA Chapters 4, 8, 12 Paint and Light in Accordance with FAA Circular Numb Special Conditions:	ber 70/7460-1K
	-

This registration is effective upon completion of the described antenna structure and notification to the Commission. YOU MUST NOTIFY THE COMMISSION WITHIN 24 HOURS OF COMPLETION OF CONSTRUCTION OR CANCELLATION OF YOUR PROJECT. Use FCC Form 854. To file electronically, connect to the antenna structure registration system by pointing your web browser to http://www.fcc.gov/wtb/antenna. Electronic filing is recommended. You may also file manually by submitting a paper copy of FCC Form 854. Use purpose code "NT" for notification of construction; use purpose code "CA" to cancel your registration.

The Antenna Structure Registration is not an authorization to construct radio facilities or transmit radio signals. It is necessary that all radio equipment on this structure be covered by a valid FCC license or construction permit.

You must immediately provide a copy of this Registration to all tenant licensees and permittees sited on the structure described on this Registration (although not required, you may want to use Certified Mail to obtain proof of receipt), and *display* your Registration Number at the site. See reverse for important information about the Commission's Antenna Structure Registration rules.

Site No. JN-1331

GROUND LEASE

This Lease is made and entered into the _____ day of ______, ____, by and between <u>Alva Patterson and Beverly Patterson , P.O.Box 25, Bimble, Kentucky,40915</u>, hereinafter referred to as "Lessor", and Hemphill Corporation, an Oklahoma corporation, doing business as *Hemphill Corporation*, Attention: John R. Hemphill, 3515 Dawson Road, Tulsa, OK 74115-4954, ("Lessee").

In consideration of the mutual promises, conditions, and other good and valuable consideration of the parties hereto, it is covenanted and agreed as follows:

1. <u>Demise of Leasehold Parcel</u>. Lessor hereby lets and demises unto Lessee, and Lessee hereby receives and accepts from Lessor, the following described Leasehold Parcel:

Approximate dimensions:	100' X 100' plus (3) secured guy wires		
Approximate acreage:	.25 acres plus (3) secured guy wires		
Location:Junction of 25E and State Road 1304			
in <u>Knox</u> Coun	ty, State of Kentucky.		

2. <u>Grant of Easement Parcel(s)</u>. Unless the Leasehold Parcel is immediately adjacent to public rights-of-way for ingress, egress, and utilities, Lessor hereby grants to Lessee the following described Easement Parcel(s) appurtenant to the Leasehold Parcel:

Use: Access. Width: 20 Feet; Approximate length: 1300 Feet

between the Leasehold Parcel and the public road known as 25E over existing traveled ways where practical, and establishing a new route as necessary.

Use: Utilities. Width: 20 feet ; Approximate length: 800 feet

between the Leasehold Parcel and suitable utility company service connection points. Lessor agrees to make such direct grants of easement as the utility companies may require.

A complete legal description shall supersede the foregoing and be attached hereto and incorporated herein by reference as Exhibit "A".

Grant of Easement Rights. To effect the purposes of this Lease, Lessor hereby grants to Lessee the following Easement Rights: (a) the right to clear vegetation, cut timber, and move earthen materials upon the Easement Parcels; (b) the right to improve an access road within the Access Easement Parcel;

(c) the right to place utility lines and related infrastructure within the Utilities Easement Parcel;

(d) the right to enter and temporarily rest upon Lessor's adjacent lands for the purposes of installing, repairing, replacing, and removing the Leasehold Improvements (the "Improvements") and any other personal property of Lessee upon the Leasehold Parcel and improving the Easement Parcels, including the right to bring in and use all necessary tools and machinery; and (e) the right of pedestrian and vehicular ingress and egress to and from the Leasehold Parcel at any time over and upon the Access Easement Parcel. The Leasehold Parcel and Easement Parcels are collectively referred to herein as the "Premises".

4. <u>Survey / Site Plan</u>. Lessee may, at Lessee's expense, cause a survey, site plan, and/or legal description of the Premises to be prepared, to further delineate and identify the land underlying the Premises which shall be attached hereto and incorporated herein by reference as Exhibit A.

5. <u>Use of the Premises / Adjacent Lands</u>. Lessee shall be exclusively entitled to use the Premises to construct, operate, modify as necessary, and maintain thereon a communications antenna tower (including aviation hazard lights when required), an access road, one or more equipment buildings, and a security fence, together with all necessary lines, anchors, connections, devices, and equipment for the transmission, reception, encryption, and translation of voice and data signals by means of radio frequency energy and land line carriage. Lessor shall not, during the term of this Lease, enter into any other agreement causing construction of a communication antenna tower upon Lessor's adjacent lands.

6. <u>Initial Term</u>. The initial term of this lease is five years, commencing on the date both Lessor and Lessee have executed this Lease.

7. <u>Option to Renew</u>. Lessee shall have the option to renew this Lease for up to nine additional terms of five years each, upon a continuation of all the same provisions hereof, by giving written notice to Lessor of Lessee's exercise of this option at least sixty (60) days before the expiration of the term then present at the time of such notice.

8. <u>Option to Terminate</u>. Lessee shall have the unilateral right to terminate this Lease at any time by giving written notice to Lessor of Lessee's exercise of this option and paying Lessor the amount of \$1,000.00 as liquidated damages.

9. <u>Rent</u>. Lessee shall pay Rent to Lessor in the amount of Five hundred dollars, (\$500.00) per month, which shall be due when construction begins and then regularly thereafter on the first day of each calendar month. Lessee agrees to a one time payment of Two thousand dollars, (\$2000.00) to be due upon commencement of construction. In the event that Lessee elects to renew this Lease as provided in Paragraph 7, Rent during each Renewal Term shall increase by ten percent (10%) over the Rent payable during the immediately preceding term. Lessor shall specify the name, address, and taxpayer identification number of a sole payee (or maximum two joint payees) who shall receive rent on behalf of the Lessor.

10. <u>Possession of Premises</u>. Lessee shall not be entitled to take possession of the Premises and commence Work to construct the Improvements until Lessee makes the first payment of rent. Lessee shall, however, be permitted to enter upon the Premises to cause engineering studies to be made with respect thereto, including surveys, soil tests, radio wave propagation and field strength tests, and such other analyses and studies of the Premises as Lessee determines to be necessary or desirable without being deemed to have taken possession.

11. <u>Utilities</u>. Lessee shall solely and independently be responsible for all costs of providing utilities to the Premises, including the separate metering, billing, and payment of utility services consumed by Lessee's operations.

12. Property Taxes. Lessee shall be responsible for making any necessary returns for and paying any and all property taxes separately levied or assessed against the improvements constructed by Lessee on the Leased Premises. Lessee shall reimburse Lessor for any increase in ad valorem real estate taxes levied against the Leased Premises which are directly attributable to the improvements constructed by Lessee on the Leased Premises and are not separately levied or assessed by the taxing authorities against Lessee or the improvements of Lessee; provided, however, as a condition precedent to payment of such taxes by Lessee, Lessor shall provide documentation to Lessee of such tax increase. Lessor shall pay all other ad valorem real property taxes levied against the Leased Premises on or before the date such taxes become delinquent. Lessee may, at Lessee's sole option, pay any delinquent taxes levied against Lessor's property and then (i) deduct any amount paid from future rents due, or (ii) collect said taxes from Lessor by any lawful means.

13. <u>Repairs</u>. Lessee shall be responsible for all repairs of the Improvements, and may at its own expense alter or modify the Improvements to suit its needs consistent with the intended use of the Premises.

14. <u>Mutual Indemnification</u>. Lessee shall indemnify and hold Lessor harmless from and against any loss, damage, or injury caused by, or on behalf of, or through the fault of the Lessee, or in any way resulting from Lessee's presence upon Lessor's lands. Lessor shall indemnify and hold Lessee harmless from and against any loss, damage, or injury caused by, or on behalf of, or through the fault of the Lessor. Nothing in this Article shall require a party to indemnify the other party against such other party's own willful or negligent misconduct.

15. <u>Insurance</u>. Lessee shall continuously maintain in full force and effect a policy of commercial general liability insurance with limits of not less than One Million Dollars, (\$1,000,000.00) covering Lessee's Work and operations upon Lessor's lands.

16. <u>Monetary Default</u>. Lessee shall be in default of this Lease if Lessee fails to make a payment of rent when due and such failure continues for fifteen (15) days after Lessor notifies Lessee in writing of such failure.

17. <u>Opportunity to Cure Non-Monetary Defaults</u>. If Lessor or Lessee fails to comply with any non-monetary provision of this Lease which the other party claims to be a default hereof, the party making such claim shall serve written notice of such default upon the defaulting party, whereupon a grace period of 30 days shall commence to run during which the defaulting party shall undertake and diligently pursue a cure of the default. Such grace period shall automatically be extended for an additional 30 days, provided the defaulting party makes a good faith showing that efforts toward a cure are continuing.

18. <u>Assignment of Lease by Lessee</u>. This Lease and the Premises hereunder shall be freely assignable by the Lessee to any other party without the necessity of obtaining Lessor's consent. Lessee's right to effect an outright transfer of the Premises, and the right of any collateral assignee to seize the Premises as defaulted security, is subject only to the limitation that the Premises shall be used for the purposes permitted herein. Lessee shall notify Lessor in writing of the name and address of any assignee or collateral assignee.

19. <u>Subleasing</u>. Lessee shall have the unreserved and unqualified right to sublet tower, building, and ground space upon the Premises to subtenants without the necessity of obtaining Lessor's consent.

20. <u>Execution of Other Instruments</u>. Lessor agrees to execute, acknowledge, and deliver to Lessee other instruments respecting the Premises, as Lessee or Lessee's lender may reasonably request from time to time; provided that any such instruments are in furtherance of, and do not substantially expand, Lessee's rights and privileges herein established. Lessor also agrees to reasonably cooperate with Lessee's efforts to obtain all private and public consents related to Lessee's use of the Premises, as long as Lessor is not expected to bear the financial burden of any such efforts.

21. <u>Removal of Improvements</u>. The Improvements are agreed to be Lessee's personal property and shall never be considered fixtures to the real estate. Lessee shall at all times be authorized to remove the Improvements from the Premises. Upon the expiration or earlier termination of this Lease, Lessee shall, if requested by Lessor and at Lessee's expense, remove any above ground Improvements from the Premises. If Lessor does not notify Lessee that Lessee must remove such Improvements, then Lessee shall have the option of either removing or abandoning such Improvements, and in any event Lessee shall be entitled to abandon all footings, foundations, and other below-ground Improvements in place.

22. <u>Conditions Precedent</u>. This Lease and Lessee's obligations hereunder, including the obligations to pay rent or liquidated damages, are expressly conditioned upon and subject to the following:

a. Lessee must receive all necessary local, state, and federal governmental approvals relating to Lessee's intended use of the Premises;

b. Lessee's technical reports must establish to Lessee's exclusive satisfaction that the Premises are capable of being suitably engineered to accomplish Lessee's intended use of the Premises;

c. Lessee's title insurer must determine that Lessor owns good and clear marketable title to the land underlying the Premises, and that such title is free from encumbrances and restrictions which would interfere with Lessee's intended use of the Premises or would impair Lessee's ability to pledge the leasehold estate as collateral to secure debt financing; and

d. Written objections, if any, by local community residents must be resolved to the exclusive satisfaction of Lessee to ensure popular support of Lessee's operations.

23. <u>Abatement of Rent Pending Conditions</u>. Lessee shall have no obligation to pay rent until all the Conditions Precedent have been satisfied or waived, and rent which would otherwise be due for the intervening time pending satisfaction of the Conditions Precedent is hereby excused and forgiven.

24. <u>Quiet Enjoyment</u>. Lessor covenants that Lessee shall have quiet and peaceable possession of the Premises throughout the Lease term as the same may be extended, and that Lessor will not intentionally disturb Lessee's enjoyment thereof as long as Lessee is not in default under this Lease.

25. <u>Environmental Warranty</u>. Lessor hereby represents and warrants to Lessee that Lessor has never generated, stored, handled, or disposed of any hazardous waste or hazardous substance upon the Leasehold Parcel, and that Lessor has no knowledge of such uses historically having been made of the Leasehold Parcel or such substances historically having been introduced thereon.

26. <u>Binding Effect</u>. All of the covenants, conditions, and provisions of this Lease shall inure to the benefit of and be binding upon the parties hereto and their respective successors and assigns.

27. <u>Entire Agreement</u>. This Lease constitutes the entire agreement between the parties and supersedes any prior understandings or oral or written agreements between the parties respecting the within subject matter.

28. <u>Modifications</u>. This Lease may not be modified, except in writing signed by the party against whom such modification is sought to be enforced.

29. <u>Attorney's fees</u>. In any action on this Lease, at law or in equity, the prevailing party shall be entitled to recover the reasonable costs of its successful case, including reasonable attorney's fees and costs of appeal.

30. <u>Subordination</u>. Lessee agrees to subordinate this Lease to any mortgage or trust deed which may hereafter be placed on the Premises, provided such mortgagee or trustee thereunder shall ensure to Lessee the right to possession

of the Premises and other rights granted to Lessee herein so long as Lessee is not in default beyond any applicable grace or cure period, such assurance to be in form reasonably satisfactory to Lessee.

If requested by Lessee, Lessor agrees to use Lessor's best efforts to assist Lessee in obtaining from any holder of a security interest in the land underlying the Premises a non-disturbance agreement in form reasonably satisfactory to Lessee.

IN WITNESS WHEREOF, the parties hereto bind themselves to this Ground Lease as of the day and year first above written.

LESSOR: Alva Patterson and Beverly Patterson

By: Chia fatter (Husband)

Date: 10-5-01

Social Security No.:

By: Berere Pulliam (Wife)

Social Security No.: <u>403-44-439</u>

LESSEE: Hemphill Corporation An Oklahoma corporation By: (John R. Hemphill President Hemphill Corporation

Date: 10 - 19 - 01

(Joint Tenant)

STATE OF Kentur COUNTY OF KAPEX

I, the undersigned, a notary public in and for the State and County aforesaid, do hereby certify that <u>Alva</u> a <u>Tersew</u> and <u>Beverly</u> attersew, known to me to be the same persons whose name are subscribed to the foregoing Ground Lease, appeared before me this day in person and acknowledged that they signed the said Lease as their free and voluntary act for the uses and purposes therein stated.

Given under my hand and seal this 5^{\pm} day of 0ctober, 2ccl.

Times E. Du Notary Public

STATE OF OKLAHOMA COUNTY OF TULSA

I, the undersigned, a notary public in and for the State and County aforesaid, do hereby certify that John R. Hemphill, President for Hemphill Corporation, known to me to be the same person whose name is subscribed to the foregoing Ground Lease, appeared before me this day in person and acknowledged that, pursuant to his authority, he signed the said Lease as his free and voluntary act on behalf of the named Lessee corporation, for the uses and purposes therein stated.

Given under my hand and seal this ______ day of ______ 2001. Notary Public

My commission expires 12/00 HILL CREEK COUNT

(Joint Tenant)

EXHIBIT A

TRACT 1

BEGINNING at a sycamore tree standing near John Black's house; thence a straight line to a rock at the foot of the hill on the Fighting Creek road; thence a straight line to a black oak; thence a straight line to a chestnut oak on the top of the ridge between Rasnik's and Ezekiel Goodins (sic); thence a straight line to a chestnut oak; thence a straight line to a dogwood and two black locusts; thence a straight line to two poplars on a line of Lawson Grindstaff's; thence with said line to the old State road to a rock; thence with the road to the beginning.

Being part of the same property conveyed to JERRY W. GARLAND and KATHY GARLAND by deed dated August 21, 1992 and recorded in Deed Book 262 Page 485.

TRACT 2

Lying and being on the East side of the John T. Goodin Road and the South side of U. S. 25-E intersections and more particularly bounded and described as follows:

BEGINNING on an iron pin at the intersections and right-of-ways south of U. S. 25-E and east of the John T. Goodin Road; thence with the right-of-way of the John T. Goodin Road in a South direction to an iron pin at the corner of the property of George Goodin; thence running with the Goodin line in a East direction to an iron pin located at the corner of the property of Jerry Garland; thence with the line of Jerry Garland in a North direction to an iron pin at the right of way of U. S. 25-E; thence with the right-of-way of U. S. 25-E in a West direction to the iron pin at the John T. Goodin Road, the **Place** of Beginning.

There is **EXCEPTED** therefrom and retained by the Grantors the following described property:

BEGINNING at a concrete right-of-way marker, near the intersection of KY 1304 and US 25E, 150' south of the centerline of US 25E and above the highwall, being a corner of Jerry Garland; thence leaving the right-of-way and with the line and fence of the tract conveyed from Curt Corey to Beckham Garland, S 34'19'33" E, 188.29' to a maple, corner of Jerry Garland; thence leaving the fence and Garland line and continuing the same course, S 34'19'33" E, 101.11' to an iron pin; thence down the hill, S 44'21'16" W, 788.05' to an iron pin at a utility pole on the east side right-of-way of Goodin Hollow Road, being 20' from the centerline, also in the line of Jerry Garland; thence with the right-of-way and Garland line, N 15'14'19" W, 131.15' to an iron pin; thence, N 12'34'47" W, 65.99' to an iron pin; thence, N 10'11'30" W, 101.53' to an iron pin; thence, N 17'56'41" W, 51.85' to an iron pin; thence N 36'58'32" W, 66.70' to an iron pin on the right-of-way of US 25E, beign 80' from the centerline; thence leaving Goodin Hollow Road and with the right-of-way of US 25E, N 51'18'22" E, 654.24' to the beginning. Containing 5.35 acres more or less. The bearings are based on magnetic north meridian observed on February 9, 1998.

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Southeastern Kentucky's A Joll-Free

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Service Commission, tive Director, Public -NOTTO OL UG EXECU-AO , testar , ouns -VA SIIVEN LE UISVIILE AV Hemphill. Corporation, tions please contact -saup vare any que Die, Kentucky 40915. -mi8 ,408 bns tss3 tower at Junction 25 a telecomminications propose to construct Hemphill Ostporation bus Dil (SOA sea New Cingular Wire-**ZITE 1331** - BARBOURVILLE -

> be in effect from July PUBLIC NOTICE

Villiamsbug, KY South Highway 25W, **7697** Mountainside Coal SCHEDULE **OF BLASTING**

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pertinent issues. natives to the project or any other ronmental impacts, service area, alter--ivna bne simonosa se saussi nous no public is invited to attend and comment Former Knox County Hospital project. The regarding the proposed Clean up of the viding general information to the public ecutive's Office for the purpose of pro-10:00am on July 27th, 2009 at Judge Ex-A Public meeting will take place at

IN JUDGE EXECUTIVE'S OFFICE

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KNOX COUNTY FISCAL COURT

NOTICE OF PUBLIC MEETING

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22, 2009 to July 27,

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4712C BY: Knox County Fiscal Court

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Box 615, Frankfort,

211 Sower Blvd., P.O.

JULY 16, 2009 • BARBOURVILLE MOUNTAIN ADVOCATE

DNIZIROHTUA GNA Declaración Condado de Knox la THE ISSUANCE OF Técnica de Area de CALLY DIRECTING KY la Tecnologia TUCKY; SPECIFI-OF KNOX, KEN-ITY OF THE COUNTY -ROHTUA GETUTITE KK' 606-546-5310. AND AS THE CON-Street, Barbourville, INSTRUMENTALITY (liabinet, 210 Wall THE AGENCY AND ment, Education MAL ACTIONS AS Workforce Invest-TAKE CERTAIN FORtion, Department for **OT NOITAROGROD** and Technical Educa-LIC PROPERTIES ter, Office of Career (KENTUCKY) PUB--neo vgolondost sena KNOX COUNTY KY Tech Knox County DIBECTING THE or Diana Musgrave at KNOX' KENTUCKY tors, Monty Bingham OF THE COUNTY OF the EEO, coordina-THE FISCAL COURT tion contact one of A RESOLUTION OF For more informafucky. 'Bui Barbourville, Ken--bleW bns vgolonnoeT tucky) Courthouse, 1/130100 Knox County (Kention Systems Techeal Courtroom of the Sciences, spectively, in the Fistricity, June 23, 2009, repentry, Drafting, Elecno bian gruban reid on Auto Technology, Cartion below at a regudents in grades 9-12: -nloseA the Resolu--uts tot smergorg teading to and following technical fion ("Board"), gave Sounty ATC offers the Properties Corpora-KY Tech-Knox (Kentucky) Public to participate. the knox County Ajunjuoddo jenba ue Board of Directors of vilidesib e diw sleu "County"), and the -bivibri brotte of visa Kentucky aur) and service necesthe County of Knox, cluding auxiliary aids The Fiscal Court of -ni accommodations in-BOND RESOLUTION aldenozean , elasonable SUMMARY OF 🔬 **'**u -bivibri beldesib beiti **DIA NOITGODA** -leup vduest by qual-**NOTICE OF** of 1990, and provide, with Disabilities Act and the Americans 1973 (revised 1992), dT124 .eteb s'yebot to aveb Rehabilitation Act of ant to 402 noit (GI) neetin nintiw must be received ments of 1972, Secments or objections -bnemA noiteoub3 40601. All com-1964, Title IX of the the Civil Rights Act of South, Frankfort, Ky. Hollow, US 127 to IIV shift, table to Permits, #2 Hudson of the Civil Rights Act IV eltiT ntiw economication Director, Division of ment practices in acand thiw balit ad trum activities or employ-3 ments or objections 40965. Written com- technical programs,

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South Barbourville - Site #1331 Directions from County Seat - Barbourville

South on County Square to Main Street. Right onto Main Street Left onto Daniel Boone Dr/ KY-11 Right onto US -25E Go approximately 22.4 miles to Bimble, KY See State Road 1304 on Left, Goodin Branch Road Site is approximately 500 yards on the right Frontage 25E, access entrance on right After highway guard rail is old abandoned dirt road with curb cut.

Prepared by:

Rhonda McCormick Dressman Benzinger & LaVelle psc 207 Thomas More Parkway Crestview Hills, KY 41017 (859) 341-1881

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DBL Law The Practice of Exce	3230 0002 0553 9047	U.S. Postal Service IM CERTIFIED MA (Domestic Mail Only; No For delivery information visit our website OF FOUR OF FOUR OF A L Postage Certified Fee Return Receipt Fee (Endorsement Required) Restricted Delivery Fee (Endorsement Required) Total Postage & Fees	overage Provided)	/riter's Direct: 859) 426-2151 359) 341-4879 ;@dbllaw.com
George W. Goodin	2008	Sent To George W. Goodin Street, Apt. No; or PO Box No. P.O. Box 68 City, State, ZIP+4 Bimble, KY 4091 PS Form 3800, August 2006	5 See Reverse for Instructions	

P.O. Box 68 Bimble, KY 40915

> Re: Kentucky Public Service Commission South Barbourville, Kentucky Docket No. 2009-621

Dear Mr. Goodin:

New Cingular Wireless and Hemphill Corporation have applied to the Kentucky Public Service Commission for a Certificate of Public Convenience and Necessity to construct and operate communications telecommunications services. The facility will include a 340 foot guyed tower for multiple wireless carriers to be located at Bimble, Knox County. A map showing the location of the proposed new facility is enclosed.

The Kentucky Public Service Commission invites your comments regarding the proposed construction. You also have the right to intervene in this matter.

Your comments or request for intervention, if any, should be addressed to: Executive Director, Kentucky Public Service Commission, 211 Sower Blvd., P.O. Box 615, Frankfort, Kentucky 40602-0615. Please refer to Docket No. 2009-621 in your correspondence.

Very truly yours,

Patrick R. Hughes Counsel for Hemphill Corporation 207 Thomas More Parkway Crestview Hills, KY 41017 (859) 341-1881

Dressman Benzinger LaVelle psc Attorneys at Law

KENTUCKY OFFI፩፪፮፻ከpmas More Park • 207 Thomas More Parkway • Crestview Hills, Kentucky 41017-2596 • Phone (859) 341-1881 • Fax (859) 341-1469 OHIO OFFICE: 3500 Carew Tower • 441 Vine Street • Cincinnati, Ohio 45202-3007 • Phone (513) 241-4110 • Fax (513) 241-4551



John & Ollie Smith P.O. Box 54 Bimble, KY 40915

> Re: Kentucky Public Service Commission South Barbourville, Kentucky Docket No. 2009-621

Dear Mr. and Mrs. Smith

New Cingular Wireless and Hemphill Corporation have applied to the Kentucky Public Service Commission for a Certificate of Public Convenience and Necessity to construct and operate communications telecommunications services. The facility will include a 340 foot guyed tower for multiple wireless carriers to be located at Bimble, Knox County. A map showing the location of the proposed new facility is enclosed.

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Patrick R. Hughes Counsel for Hemphill Corporation 207 Thomas More Parkway Crestview Hills, KY 41017 (859) 341-1881

Dressman Benzinger LaVelle psc Attorneys at Law

KENTUCKY OFFIgg3Thomas More Park • 207 Thomas More Parkway • Crestview Hills, Kentucky 41017-2596 • Phone (859) 341-1881 • Fax (859) 341-1469 OHIO OFFICE: 3500 Carew Tower • 441 Vine Street • Cincinnati, Ohio 45202-3007 • Phone (513) 241-4110 • Fax (513) 241-4551

www.dbllaw.com



Re: Kentucky Public Service Commission South Barbourville, Kentucky Docket No. 2009-621

Dear Mr. and Mrs. Gambrel

New Cingular Wireless and Hemphill Corporation have applied to the Kentucky Public Service Commission for a Certificate of Public Convenience and Necessity to construct and operate communications telecommunications services. The facility will include a 340 foot guyed tower for multiple wireless carriers to be located at Bimble, Knox County. A map showing the location of the proposed new facility is enclosed.

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Very truly your atrick R. Hughes

Counsel for Hemphill Corporation 207 Thomas More Parkway Crestview Hills, KY 41017 (859) 341-1881

Dressman Benzinger LaVelle psc Attorneys at Law

KENTUCKY OFFIច្អចុះគ្រតុគ្មាas More Park • 207 Thomas More Parkway • Crestview Hills, Kentucky 41017-2596 • Phone (859) 341-1881 • Fax (859) 341-1469 OHIO OFFICE: 3500 Carew Tower • 441 Vine Street • Cincinnati, Ohio 45202-3007 • Phone (513) 241-4110 • Fax (513) 241-4551

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	2	or PO Box No. P.O City, State, ZIP+4	. Box 607		
Larry and Linda Mills P.O. Box 607		Barb PS Form 3800, August 2	ourville, KY 006	40906 See Reverse for Instructions	

Re: Kentucky Public Service Commission South Barbourville, Kentucky Docket No. 2009-621

Dear Mr. and Mrs. Mills:

Barbourville, KY 40906

New Cingular Wireless and Hemphill Corporation have applied to the Kentucky Public Service Commission for a Certificate of Public Convenience and Necessity to construct and operate communications telecommunications services. The facility will include a 340 foot guyed tower for multiple wireless carriers to be located at Bimble, Knox County. A map showing the location of the proposed new facility is enclosed.

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Very truly yours, Patrick R. Hughes

Counsel for Hemphill Corporation 207 Thomas More Parkway Crestview Hills, KY 41017 (859) 341-1881

Dressman Benzinger LaVelle psc Attorneys at Law

KENTUCKY OFFIG535homas More Park • 207 Thomas More Parkway • Crestview Hills, Kentucky 41017-2596 • Phone (859) 341-1881 • Fax (859) 341-1469 OHIO OFFICE: 3500 Carew Tower • 441 Vine Street • Cincinnati, Ohio 45202-3007 • Phone (513) 241-4110 • Fax (513) 241-4551



South Barbourville - Site #1331 List of Property Owners

- 1. George W. Goodin
- 2. John & Ollie Smith
- 3. John & Edith Mae Gambrel
- 4. Larry and Linda Mills

203666v1



J.M. HALL Knox County Judge Executive 401 Court Square, Suite 6 • P.O. Box 173



Barbourville, KY 40906

KNOXCOFC@BARBOURVILLE.COM

Magistrates:

District 1Carson GilbertJuly 8, 2009District 2Hemphill Corporation

Terry Brown 1350 N. Louisville Ave. Tulsa, OK 74115

District 3 Jerry Hamilton To Whom It May Concern:

District 4Knox County does not have building code and zoning regulations regarding
cell tower construction. If you are constructing within the city limits of
Barbourville or Corbin, you should consult with each city on building and
zoning regulations.District 5If you have any questions or need additional information, please let us know.

Sincerely,

J.m. Hall

J.M. Hall Knox County Judge Executive



KentuckyUnbridledSpirit.com



Site No.: 1331 Site Name: South Barbourville, KY

WRITTEN STATEMENT

If for any reason, the telecommunication facility is abandoned for a period of associated with the telecommunication facility.

President R. Hemp