RECEIVED

#### COMMONWEALTH OF KENTUCKY

#### **BEFORE THE PUBLIC SERVICE COMMISSION**

PUBLIC SERVICE COMMISSION

APR 17 2009

#### In the Matter of:

#### APPLICATION OF BLUEGRASS WIRELESS LLC FOR ISSUANCE OF A CERTIFICATE OF PUBLIC CONVENIENCE AND NECESSITY TO CONSTRUCT A CELL SITE (DABNEY) IN RURAL SERVICE AREA #6 (PULASKI) OF THE COMMONWEALTH OF KENTUCKY

CASE NO. 2009-00112

#### APPLICATION FOR A CERTIFICATE OF PUBLIC CONVENIENCE AND NECESSITY (DABNEY)

Bluegrass Wireless LLC ("Bluegrass Wireless"), through counsel, pursuant to KRS 278.020 and 278.040, hereby submits this application for a certificate of public convenience and necessity to construct a cell site to be known as the Dabney cell site in and for rural service area ("RSA") #6 of the Commonwealth of Kentucky, namely the counties of Boyle, Casey, Garrard, Laurel, Lincoln, Madison, Pulaski, and Rockcastle, Kentucky.

1. As required by 807 KAR 5:001 Sections 8(1) and (3), and 807 KAR 5:063,

Bluegrass Wireless states that it is a Kentucky limited liability company whose full name and post office address are: Bluegrass Wireless LLC, 2902 Ring Road, Elizabethtown, Kentucky, 42701. A certified copy of the articles of organization of Bluegrass Wireless was previously filed in Kentucky PSC Case No. 2007-00501 (Application of Bluegrass Wireless LLC for issuance of a certificate of public convenience and necessity to construct a cell site (Pricetown) in rural service area #11 (Casey County) of the Commonwealth of Kentucky).

2. Pursuant to 807 KAR § 1 (1)(b), a copy of the applicant's applications to the Federal Aviation Administration and Kentucky Airport Zoning Commission are Exhibit "A".

Written authorizations from these agencies will be supplied to the Commission upon their approval.

3. Pursuant to 807 KAR 5:063 §1(1)(d), a geotechnical investigation report, signed and sealed by a professional engineer registered in Kentucky, that includes boring logs, foundation design recommendations, and a finding as to the proximity of the proposed site to flood hazard areas is attached as Exhibit "B".

4. Pursuant to 807 KAR 5:063 §1(1)(e), clear directions from the county seat to the proposed site, including highway numbers and street names, if applicable, with the telephone number of the person who prepared the directions are attached as Exhibit "C".

5. Pursuant to 807 KAR 5:063 §1(1)(f), a copy of the lease (or sale agreement) for the property on which the tower is proposed to be located is attached as Exhibit "D".

6. Pursuant to 807 KAR §1(1)(g), experienced personnel will manage and operate the Dabney cell site. The President of Bluegrass Cellular Inc., Mr. Ron Smith, is ultimately responsible for all construction and operations of the cellular system of Bluegrass Wireless, of which system the Dabney cell site will be a part. Bluegrass Cellular Inc. provides management services to Bluegrass Wireless under a management contract, just as it does with three (3) other wireless carriers in the Commonwealth. And, Bluegrass Cellular Inc. has been providing these management services to these other wireless carriers for well over a decade. This extensive management experience with Bluegrass Cellular demonstrates that Bluegrass Cellular Inc.'s management and technical ability to supervise the operations of a wireless carrier.

7. Pursuant to 807 KAR §1(1)(g), World Tower Company, Inc. is responsible for the design specifications of the proposed tower (identified in Exhibit "B").

8. Pursuant to 807 KAR 5:063 §1(1)(h), a site development plan or survey, signed and sealed by a professional engineer registered in Kentucky, that shows the proposed location of the tower and all easements and existing structures within 500 feet of the proposed site on the property on which the tower will be located, and all easements and existing structures within 200 feet of the access drive, including the intersection with the public street system, is attached as Exhibit "B".

9. Pursuant to 807 KAR 5:063 §1(1)(i), a vertical profile sketch of the tower, signed and sealed by a professional engineer registered in Kentucky, indicating the height of the tower and the placement of all antennas is attached as Exhibit "B".

10. Pursuant to 807 KAR 5:063 §1(1)(j), the tower and foundation design plans and a description of the standard according to which the tower was designed, signed and sealed by a professional engineer registered in Kentucky is attached as Exhibit "B".

11. Pursuant to 807 KAR 5:063 § 1 (1)(k), a map, drawn to a scale no less than one
(1) inch equals 200 feet, that identifies every structure and every owner of real estate within 500 feet of the proposed tower is attached as Exhibit "E".

12. Pursuant to 807 KAR 5:063 § 1 (1)(l), applicant's legal counsel hereby affirms that every person who owns property within 500 feet of the proposed tower has been: (i) notified by certified mail, return receipt requested, of the proposed construction; (ii) given the commission docket number under which the application will be processed; and (iii) informed of his or her right to request intervention.

13. Pursuant to KRS 278.665(2), applicant's legal counsel hereby affirms that every person who, according to the records of the property valuation administrator, owns property contiguous to the property where the proposed cellular antenna tower will be located has been:

(i) notified by certified mail, return receipt requested, of the proposed construction; (ii) given the commission docket number under which the application will be processed; and (iii) informed of his or her right to request intervention.

14. Pursuant to 807 KAR 5:063 §1(1)(m), a list of the property owners who received the notice together with copies of the certified letters sent to listed property owners is attached as Exhibit "F".

15. Pursuant to 807 KAR 5:063 § 1 (1)(n), applicant's legal counsel hereby affirms that the office of the Pulaski County Judge Executive has been: (i) notified by certified mail, return receipt requested, of the proposed construction; (ii) given the commission docket number under which the application will be processed; and (iii) informed of its right to request intervention.

Pursuant to 807 KAR 5:063 §1(1)(o), a copy of the notice sent to the office of thePulaski County Judge Executive is attached as Exhibit "G".

17. Pursuant to 807 KAR 5:063 § 1 (1)(p), applicant's legal counsel hereby affirms that (i) two written notices meeting subsection two (2) of this section have been posted, one in a visible location on the proposed site and one on the nearest public road; and (ii) the notices shall remain posted for at least two weeks after the application has been filed.

18. Pursuant to 807 KAR 5:063 § 1 (2)(a), applicant's legal counsel affirms that:

(a) A written notice, of durable material at least two (2) feet by four (4) feet in size, stating that "*Bluegrass Wireless LLC proposes to construct a telecommunications tower on this site,*" including the addresses and telephone numbers of the applicant and the Kentucky Public Service Commission, has been posted and shall remain in a visible location on the proposed site until final disposition of the application; and

(b) A written notice, of durable material at least two (2) feet by four (4) feet in size, stating that "*Bluegrass Wireless LLC proposes to construct a telecommunications tower near this site,*" including the addresses and telephone

numbers of the applicant and the Kentucky Public Service Commission, has been posted on the public road nearest the site.

A copy of each sign is attached as Exhibit "H".

19. Pursuant to 807 KAR 5:063 § 1 (1)(q), a statement that notice of the location of the proposed construction has been published in a newspaper of general circulation in the county in which the construction is proposed is attached as Exhibit "I".

20. Pursuant to 807 KAR 5:063 § 1(1)(r), the cell site which has been selected is in a relatively undeveloped area in Somerset, Kentucky.

21. Pursuant to 807 KAR 5:063 §1(1)(s), Bluegrass Wireless has considered the likely effects of the installation on nearby land uses and values and has concluded that there is no more suitable location reasonably available from which adequate service to the area can be provided, and that there is no reasonably available opportunity to co-locate. Bluegrass Wireless has attempted to co-locate on towers designed to host multiple wireless service providers' facilities or existing structures, such as a telecommunications tower, or another suitable structure capable of supporting the utility's facilities.

22. Pursuant to 807 KAR 5:063 § 1(1)(t), attached as Exhibit "J" is a map of the area in which the tower is proposed to be located, that is drawn to scale and that clearly depicts the search area in which a site should, pursuant to radio frequency requirements, be located

23. Pursuant to KAR 100.987(2)(a), a grid map, that is drawn to scale, that shows the location of all existing cellular antenna towers and that indicates the general position of proposed construction sites for new cellular antenna towers is attached as Exhibit "K".

24. No reasonably available telecommunications tower, or other suitable structure capable of supporting the cellular facilities of Bluegrass Wireless and which would provide adequate service to the area exists.

25. Correspondence and communication with regard to this application should be

addressed to:

John E. Selent Holly C. Wallace **DINSMORE & SHOHL LLP** 1400 PNC Plaza 500 West Jefferson Street Louisville, KY 40202 (502) 540-2300 (502) 585-2207 (facsimile) *john.selent@dinslaw.com holly.wallace@dinslaw.com* 

WHEREFORE, Bluegrass Wireless requests the Commission to enter an order:

1. Granting a certificate of public convenience and necessity to construct the Dabney

cell site; and

2. Granting all other relief as appropriate.

Respectfully submitted,

John E. Selent Holly C. Wallace **DINSMORE & SHOHL LLP** 1400 PNC Plaza 500 West Jefferson Street Louisville, KY 40202 (502) 540-2300 (502) 585-2207 (facsimile) *john.selent@dinslaw.com holly.wallace@dinslaw.com* 

## LUKAS, NACE, GUTIERREZ & SACHS, LLP

1650 Tysons Boulevard, Suite 1500 McLean, Virginia 22102 703 584 8678 • 703 584 8696 Fax

WWW.FCCLAW.COM

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RUSSELL D. LUKAS DAVID L. NACE THOMAS GUTIERREZ\* ELIZABETH R. SACHS\* DAVID A. LAFURIA PAMELA L. GIST TODD SLAMOWITZ\* TODD SLAMOWITZ\* TODD B. LANTOR\* STEVEN M. CHERNOFF\* KATHERINE PATSAS\* CONSULTING ENGINEERS ALI KUZEHKANANI LEILA REZANAVAZ OF COUNSEL GEORGE L. LYON, JR. LEONARD S. KOLSKY\* JOHN CIMKO\* J. K. HAGE III\* JOHN J. MCAVOY\* HON. GERALD S. MCGOWAN\* TAMARA DAVIS BROWN\*

\*NOT ADMITTED IN VA

March 10, 2009

#### **Via Federal Express**

Mr. John Houlihan Kentucky Airport Zoning Commission 90 Airport Road Building 400 Frankfort, Kentucky 40601

Dear Mr. Houlihan:

Enclosed please find two completed TC 56-50 forms, Application for Permit to Construct or Alter a Structure, for a new tower (Dabney) near Somerset, Kentucky. The Structure, including top-mounted antennas will have an overall height of 255 feet Above Ground Level.

Enclosed Form TC 56-50 and the attached exhibit include all the pertinent information for this existing tower structure. Also enclosed are copies of the completed FAA Form 7460-1 for the proposed site, a non-reduced 7-1/2' U.S. Geological Survey map indicating the exact location of the site, and a 2-C survey.

Please do not hesitate to contact the undersigned if there are questions regarding this matter.

eila Rezanavaz

Consulting Engineer

Enclosures

CC: Doug Updegraff

TC 56-50 (Rev. 08/00) PAGE 1 OF 2

Kentucky Transportation Cabinet, Kentucky Airport Zoning Commission, 125 H	olmes Street, Frankfort KY 40622 Kentucky Aeronautical Study Number
APPLICATION FOR PERMIT TO CONSTRUCT OR	ALTER A STRUCTURE
1. APPLICANT - Name, Address, Telephone, Fax, etc. Scott McCloud Bluegrass Wireless 2902 Ring Road Elizabethtown, KY 42702 Tel: 270-769-0339 Fax: 270-737-0580 2 Representative of Applicant - Name, Address, Telephone, Fax Leila Rezanavaz Lukas, Nace, Gutierrez & Sachs, Chartered 1650 Tysons Blvd., Suite 1500 McLean, VA 22102 T: 703-584-8668 3. Application for: X New Construction Alteration Existing 4. Duration: Permanent Permanent Deports (Months) 5. Work Schedule: Start 6/10/09 End6/15/09 6. Type: Antenna Tower Crane Building Power Line 1. Landfill Water Tank Other 7. Marking/Painting and/or Lighting Preferred: Red Lights and Paint Dual - Red & Medium Intensity White White - High Intensity Other	<ul> <li>9. Latitude: <u>37</u> <u>10</u> <u>4</u> <u>38</u></li> <li>10. Longitude: <u>84</u> <u>33</u> <u>36</u> <u>36</u> <u>38</u></li> <li>10. Longitude: <u>84</u> <u>33</u> <u>36</u> <u>36</u> <u>60</u></li> <li>11. Datum: <u>NAD 83</u> <u>NAD 27</u> <u>Other</u></li> <li>12. Nearest Kentucky City <u>Somerset</u> <u>County Pulaski</u></li> <li>13. Nearest Kentucky public use or Military airport: <u>Lake Cumberland Regional Airport</u></li> <li>14. Distance from #13 to Structure: <u>8.5 Miles</u></li> <li>15. Direction from #13 to Structure: <u>NNE</u></li> <li>16. Site Elevation (<i>AMSL</i>): <u>1157</u> Feet</li> <li>17. Total Structure Height (<i>AGL</i>): <u>255</u> Feet</li> <li>18. Overall Height (#16 + #17) (<i>AMSL</i>): <u>1412</u> Feet</li> <li>19. Previous FAA and/or Kentucky Aeronautical Study Number(s): <u>N/A</u></li> <li>20. Description of Location: (Attach a USGS 7.5 minute Quadrangle Map or an Airport Layout Drawing with the precise site marked and any certified survey)</li> <li>Site is located at: 265 Garrison Road Somerset, KY 42503</li> </ul>
8. FAA Aeronautical Study Number	
21. Description of Proposal: Structure: Self-supporting tower woverall height of 255' Max ERP: 250 Watts Frequencies: PCS Block C	with top-mounted antennas for AGL.
22. Has a "NOTICE OF CONSTRUCTION OR ALTERATION" (FAA Form 746) been filed with the Federal Aviation Administration?	$\frac{1}{10000000000000000000000000000000000$
CERTIFICATION: I hereby certify that all the above statements made by me are the Leila Rezanavaz/ Consulting Engineer Printed Name PENALTIES: Persons failing to comply with Kentucky Revised Statutes (KRS 183.8 Series) are liable for fines and/or imprisonment as set forth in KRS 183.990(3). Non- further penalties.	nue, complete and correct to the best of my knowledge and belief. <u>Leilas Rozanewers</u> 3/10/09 <u>Date</u> 61 through 183.990) and Kentucky Administrative Regulations (602 KAR 050: -compliance with Federal Aviation Administration Regulations may result in
Commission Action:	C Administrator, KAZC
Approved     Disapproved	Date

### Landmark Surveying Co., Inc.

Darren L. Helms, P.L.S., PRESIDENT Dennis N. Helms, P.L.S., VICE PRESIDENT



15 N.E. 3rd Street Washington, Indiana 47501 Phone: 812-257-0950 Fax: 812-257-0953 Email: landmark97@sbcglobal.net

#### **2C Certification**

March 2, 2009

Designation:DabneySite ID No.:Not AvailableTower Type:Proposed Self-Support TowerLocation:265 Garrison Road, Somerset, Kentucky 42503

I certify that the latitude, longitude, ground elevation and height of the proposed self-support tower are as follows:

Latitude:	37 degrees 10 minutes 04.38 seconds North	(NAD 1983)
Longitude:	84 degrees 33 minutes 36.60 seconds West	(NAD 1983)
Ground Elevation:	1,157.0 feet or 352.65 meters	(NAVD 1988)
Proposed Structure Height:	240 feet or 73.2 meters	(above ground level)
Proposed Overall Structure Height:	not available	(above ground level)

The accuracy of the latitude and longitude of the proposed self-support tower is  $\pm 50$  feet or  $\pm 15$  meters. The ground elevation and structure height are accurate to within  $\pm 20$  feet or  $\pm 6$  meters.

The information shown above is based upon field observations made on February 24, 2009 using the National Geodetic Survey monument "FBN PIKE" and the Kentucky State Plane Coordinate System, South Zone, NAD 1983 (2007). The field observations were completed using Sokkia GPS receivers and a Topcon GPT-8005A robotic total station. Geodetic computations were completed using Sokkia's Locus software and Autodesk Land Desktop Companion 2008 software.

Landmark Surveying Co., Inc.

Darren L. Helms, Kentucky Professional Land Surveyor No. 3386



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#### Notice of Proposed Construction or Alteration - Off Airport

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Project Names RIVEC 000114017 00	Enoncori Blucaross Miroloss IIC	
Project Name: DLUEG-000114917-09	sponsor: Didegrass Wireless, LLC.	
THE REPORT OF A DESCRIPTION OF A DESCRIP	and and a second s	un anna an tha an t-airtean tha ann an tha an t

#### Details for Case : Dabney

Show Project Summary

Case Status	na na mandada a Marindan Johan Indua, da akarana ya inaya ta kata di Cirkakata ini ini karaya maganga ponta kaka	ann a chun ann an an 1996 Annaidh a Gullaichte à 1998 fha d'f an cu mair ann an Annaichte bhaile a bhaile	an an an a maintean an anna an an an an	han yang persembah di kelar di kelar di dalam di	<ul> <li>Personalities for an annual</li> </ul>	* *** **** * *************************				
ASN: 2009-ASO-1287	«OE	Date Accepted:	03/10/2009	and the second second second						
Status: Accepted		Date Determined:								
		Letters:	None							
		Documents:	03/10/2009	2C Survey.pc	If					
Construction / Alteration	on Information	Structure Sumn	nary							
Notice Of: C	construction	Structure Type:	Antenna Tower							
Duration: P	ermanent	Structure Name:	Dabney							
if Temporary : M	lonths: Days:	FCC Number:								
Work Schedule - Start: 0	6/10/2009	Prior ASN:				1				
Work Schedule - End: 0	6/15/2009									
State Filing: Fi	iled with State					to verv , share , and the				
Structure Details		Common Freque	ency Bands							
Latitude:	37° 10' 4.38" N	Low Freq	High Freq	Freq Unit	ERP	ERP Unit				
Longitude:	84° 33' 36.60'' W	824	849	MHz	500	Ŵ				
Horizontal Datum:	NAD83	869	894	MHZ	500	W				
Site Elevation (SE):	1157 (nearest foot)	896 901	901 902	MHz MHz	500 7	W				
Structure Height (AGL):	255 (nearest foot)	930 931	931 932	MHz MHz	3500 3500	W				
Requested Marking/Lighti	ng: Dual-red and medium intensity	932	932.5	MHz	17	dBW				
	Other :	940	941	MHz	3500	Ŵ				
Recommended Marking/Li	ahtina:	1850 1930	1910 1990	MHZ MHZ	1640 1640	W				
Nearest City:	Somerset	2305 2345	2310 2360	MHz MHz	2000 2000	W W				
Nearest State:	Kentucky									
Description of Location:	Site is located at: 265 Garrison Road Somerset, KY 42503	Specific Freque	ncies		pri sel					
Description of Proposal:	Proposed self supporting tower with top-mounted antennas for overall height of 255'.	مېنىنى بۇلغانلىقى تىرىنى بىرىنى بىرىنى بىرىنى يېرىنى يېرىنى بىرىنى بىرىنى بىرىنى بىرىنى بىرىنى بىرىنى بىرىنى بى يېرىنى بىرىنى	an Marine and Marine Comparison Managa	n y gang té magén a sa sa mang kangkan té kagu	un 16 1 16 10 10 10 10 10					



World Tower

1213 Compressor Drive P O Box 508 Mayfield, KY 42066 270-247-3642 F-MAX: 270-247-0909 F-mail: <u>worldtower@worldtower.com</u> Web: <u>www.worldtower.com</u>

## 240' MODEL WSST TOWER FOR: BLUEGRASS CELLULAR SITE: DABNEY PULASKI COUNTY, KY DESIGN PACKAGE



Fabrication, Installation, and Maintenance of TV, AM, FM, & Wireless Communications Towers









220

200

200

200

#### MATERIAL STRENGTH

#### GRADE Fu GRADE Fy Fu FV 58 ksi 50 ksi 65 ksi A36 36 1:51

6' Grid Dish

(2) Antal RWB 80014/120 w/ mnt pipe(Panel 96 5"x11 2"x5 9")\*

(2) Antel RWB 60014/120 w/ mnt

(2) Antel RWB 80014/120 w/ mnt pipe(Panel 90.5"x11.2"x5.9")\*

pipe(Pnnal 96 5"x11 2"x5 9 )"

#### TOWER DESIGN NOTES

1 Tower is located in Pulaski County, Kentucky 2 Tower designed for Exposure C to the TIA-222-G Standard 3

Tower designed for a 90.00 mph basic wind in accordance with the TIA-222-G Standard. Tower is also designed for a 30 00 mph basic wind with 0.75 in ice. Ice is considered to 4

increase in thickness with height

5 Deflections are based upon a 60 00 mph wind

Tower is designed for feedlines distributed on 3 tower faces with a maximum of 6 lines 6

exposed to the wind on any one face 7 TOWER RATING: 99.6%

(2) Antel RWB 80014/120 w/ mnt pipe(Panel 96 5"x11 2"x5 9")\*

WD13X53 Antenna Mounting Frame (w/ 75)\*

WD13X53 Antenna Mounting Frame

WD13X53 Antenna Mounting Frame

(w/ .75)\*

(w/ .75)\*

A572-50

 $\triangle$ 

MAX CORNER REACTIONS AT BASE DOWN: 394 K UPLIFT: -330 K SHEAR: 32 K





TORQUE 3 kip-ft REACTIONS - 90 00 mph WIND



World Tower Company	<sup>lab:</sup> Q09-222 / 240' Model WSST	Tower
1213 Compressor Drive	Project: Somerset, Pulaski County, Kent	ucky
Mayfield, Kentucky 42066	Client: Bluegrass Cellular Drawn by: Kirk Hall	App'd:
Phone: (270) 247-3642	Code: TIA-222-G Date: 03/23/09	Scale: NTS
FAX: (270) 247-0909	Path: CATowerPE Runs/2000/009-222 Oatmey/000-222 nn	Dwg No E-1

ELEVATION

260

200

200

180

180

180

180

180

180

160

160

160

160

160

160

March 16, 2009



Bluegrass Cellular Partnership 2902 Ring Road Elizabethtown, Kentucky 42702

Attention: Mr. Doug Updegraff

Re: Geotechnical Engineering Report Proposed 240' Self Supporting Tower Dabney Site 265 Garrison Road Somerset, Pulaski Co., Kentucky Terracon Project No. 57087369

Dear Mr. Updegraff:

The results of our subsurface exploration are attached. The purpose of this exploration was to obtain information on subsurface conditions at the proposed project site and, based on this information, to provide recommendations regarding the design and construction of foundations for the proposed tower.

The design parameters and recommendations provided in this report apply to the planned tower height and adjustments up to 20% increase or decrease in tower height, as long as the type of tower does not change. If changes in the height of the tower dictate a change in tower type (i.e. – monopole to a self-support, self-support to a guyed tower), Terracon should be contacted to evaluate our recommendations with respect to these changes.

We appreciate the opportunity to be of service to you on this project. If you have any questions concerning this report, or if we may be of further service to you in any way, please feel free to contact us.

Sincerely,

Matthew R. Haines, E.I. Field Materials Engineer

n:\projects\2008\57087369\g57087369.doc

Attachments: Geotechnical Engineering Report

Copies: Addressee (3 hard copies, 1 pdf)

Pallon & PAO n N. A.Y. TIMOTHY G LaGROW EN.12 17758 Timothy G. LaGrow, P.E. Kentucky No. 17758 000099

Terracon Consultants, Inc. 4545 Bishop Lane, Suite 101 Louisville, Kentucky 40218 Phone 502.456.1256 Fax 502.456.1278 www.terracon.com

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#### APPENDIX

Boring Location Plan Boring Log Soil Resistivity Test Results Sheet General Notes General Notes – Sedimentary Rock Classification Unified Soil Classification System

#### **GEOTECHNICAL ENGINEERING REPORT**

#### PROPOSED DABNEY TOWER 265 GARRISON ROAD SOMERSET, PULASKI CO., KENTUCKY TERRACON PROJECT NO. 57087369 March 16, 2009

#### **1.0 INTRODUCTION**

The purpose of this report is to describe the subsurface conditions encountered in the boring, analyze and evaluate the test data, and provide recommendations regarding the design and construction of foundations and earthwork for the proposed tower. One (1) boring extending to a depth of about 15 feet below the existing ground surface was drilled at the site. An individual boring log and a boring location plan are included with this report.

#### 2.0 PROJECT DESCRIPTION

Terracon understands the proposed project will consist of the construction of a 240-foot self supporting tower. Exact tower loads are not available, but based on our experience are anticipated to be as follows:

Vertical Load:	600 kips
Horizontal Shear:	80 kips
Uplift:	500 kips

A small, lightly loaded equipment building will also be constructed. Wall and floor loads for this building are not anticipated to exceed 1 kip per linear foot and 100 pounds per square foot, respectively. At the time of our site visit the property consisted of gently sloping grass covered pasture. Existing grades within the 100-foot by 100-foot lease area were not available as of this writing. Based on the site sketch provided by Landmark Surveying, Inc., the tower will be constructed at about El. 1150. Based on observed topography, less than 3 feet of cut/fill is anticipated to level the site for construction.

#### 3.0 EXPLORATION PROCEDURES

#### 3.1 Field Exploration

The subsurface exploration consisted of drilling and sampling one (1) boring at the site to a depth of about 15 feet below existing grade. The boring was drilled at the center of the lease area, staked by the project surveyor. The surface elevation shown on the boring log was obtained from the site sketch provided by Landmark Surveying, Inc. The location and elevation of the boring should be considered accurate only to the degree implied by the means and methods used to define them.

#### Tlerracon

#### Proposed Dabney Tower Somerset, Pulaski Co., Kentucky Terracon Project No.: 57087369

The boring was drilled with a truck-mounted rotary drill rig using hollow stem augers to advance the borehole. Representative soil samples were obtained by the split-barrel sampling procedure in general accordance with the appropriate ASTM standard. In the split-barrel sampling procedure, the number of blows required to advance a standard 2-inch O.D. split-barrel sampler the last 12 inches of the typical total 18-inch penetration by means of a 140-pound hammer with a free fall of 30 inches, is the standard penetration resistance (SPT) value (N-Value). This value is used to estimate the in-situ relative density of cohesionless soils and the consistency of cohesive soils. The sampling depths, penetration distance, and SPT N-Values are shown on the boring log. The samples were sealed and delivered to the laboratory for testing and classification.

A CME automatic SPT hammer was used to advance the split-barrel sampler in the boring drilled at this site. A significantly greater efficiency is achieved with the automatic hammer compared to the conventional safety hammer operated with a cathead and rope. This higher efficiency has an appreciable effect on the standard penetration resistance blow count (N) values. The effect of the automatic hammer's efficiency has been considered in the interpretation and analysis of the subsurface information for this report.

Auger refusal was encountered at a depth of about 5 feet below the existing ground surface. The boring was extended into the refusal materials using a diamond bit attached to the outer barrel of a double core barrel. The inner barrel collected the cored material as the outer barrel was rotated at high speeds to cut the rock. The barrel was retrieved to the surface upon completion of each drill run. Once the core samples were retrieved, they were placed in a box and logged. The rock was later classified by an engineer and the "percent recovery" and rock quality designation (RQD) were determined.

The "percent recovery" is the ratio of the sample length retrieved to the drilled length, expressed as a percent. An indication of the actual in-situ rock quality is provided by calculating the sample's RQD. The RQD is the percentage of the length of broken cores retrieved which have core segments at least 4 inches in length compared to each drilled length. The RQD is related to rock soundness and quality as illustrated below:

Relation of RQD and In-situ Rock Quality						
RQD (%)	Rock Quality					
90 - 100	Excellent					
75 - 90	Good					
50 - 75	Fair					
25 - 50	Poor					
0 -25	Very Poor					

#### Table 1 – Rock Quality Designation (RQD)

#### Terracon

#### Proposed Dabney Tower Somerset, Pulaski Co., Kentucky Terracon Project No.: 57087369

A field log of the boring was prepared by a subcontract driller. This log included visual classifications of the materials encountered during drilling as well as the driller's interpretation of the subsurface conditions between samples. The final boring log included with this report represents an interpretation of the driller's field log and a visual classification of the soil samples made by the Geotechnical Engineer.

#### 3.2 Laboratory Testing

The samples were classified in the laboratory based on visual observation, texture and plasticity. The descriptions of the soils indicated on the boring log are in accordance with the enclosed General Notes and the Unified Soil Classification System. Estimated group symbols according to the Unified Soil Classification System are given on the boring log. A brief description of this classification system is attached to this report.

The laboratory testing program consisted of performing water content tests and an Atterberg Limits tests on representative soil samples. A calibrated hand penetrometer was used to estimate the approximate unconfined compressive strength of the samples. The calibrated hand penetrometer has been correlated with unconfined compression tests and provides a better estimate of soil consistency than visual examination alone. Information from these tests was used in conjunction with field penetration test data to evaluate soil strength in-situ, volume change potential, and soil classification. Results of these tests are provided on the boring log.

A representative sample of rock core was tested for unconfined compressive strength and density. Result of these laboratory tests are noted on the boring log at the appropriate horizon.

Classification and descriptions of rock core samples are in accordance with the enclosed General Notes, and are based on visual and tactile observations. Petrographic analysis of thin sections may indicate other rock types. Percent recovery and rock quality designation (RQD) were calculated for these samples and are noted at their depths of occurrence on the boring log.

#### 4.0 EXPLORATORY FINDINGS

#### 4.1 Subsurface Conditions

Conditions encountered at the boring location are indicated on the boring log. Stratification boundaries on the boring log represent the approximate location of changes in soil types and the transition between materials may be gradual. Water levels shown on the boring log represent the conditions only at the time of our exploration. Based on the results of the boring, subsurface conditions on the project site can be generalized as follows.

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Beneath about ½ foot of topsoil, the boring encountered lean clay (CL) with trace of sand and black nodules extending to auger refusal at a depth of about 5 feet below grade. Weathered limestone fragments were encountered at the soil/rock interface. The clay exhibited a stiff consistency based on standard penetration test (N) values in the range of about 8 to 15 blows per foot (bpf). Although the N-value below 3.5 feet was over 50 bpf, the presence of weathered limestone fragments within the soil matrix most likely inflated the higher blow count.

Rock coring techniques were employed to sample the refusal materials. The core sample consisted of slightly weathered, hard, thin to medium bedded limestone. Core recovery was 100% for both runs. Bedrock quality is considered good to excellent as defined by RQD values of 78 and 100 percent. Coring operations were terminated at a depth of approximately 15 feet below existing grade.

#### 4.2 Site Geology

The Geologic Map of the Bobtown Quadrangle, Kentucky (1977), published by the United States Geological Survey (USGS) indicates that the site is underlain by the Kidder limestone member and the Ste. Genevieve limestone member. The Kidder limestone member consists of limestone with minor siltstone and shale. The limestone in this member is yellowish to bluish gray, micro to medium grained, thin to thick bedded and massive. The Kidder limestone member ranges from 100 feet to 120 feet thick.

The Ste. Genevieve limestone member consists of limestone and chert. The limestone is light gray to bluish gray, micro to medium grained, thin to thick bedded with crossbedded shale. The chert is found near the base and is 1 to 3 feet thick with a yellowish gray to yellowish orange color. This formation ranges from 45 feet to 70 feet thick.

It should be noted that the site is underlain by a limestone formation that is highly susceptible to dissolution along joints and bedding planes in the rock mass. This results in voids and solution channels within the rock strata and a highly irregular bedrock surface. The weathering of the bedrock and subsequent collapse or erosion of the overburden into these openings results in what is referred to as karst topography. Any construction in karst topography is accompanied by some degree of risk for future internal soil erosion and ground subsidence that could affect the stability of the proposed structures. Our review of the available topographic and geologic mapping did not note any sinkholes on the site, however numerous sinkholes were noted immediately around the site and within a 1 mile radius of the property. Although sinkholes are shown in the area, the boring drilled at the site did not disclose any obvious signs of impending overburden collapse.

#### 4.3 Groundwater Conditions

No groundwater was encountered during the auger drilling portion of the borehole. Water was used to advance the borehole during rock coring operations. The introduction of water into the

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borehole precluded obtaining accurate groundwater level readings at the time of drilling operations. Long term observation of the groundwater level in monitoring wells, sealed from the influence of surface water, would be required to obtain accurate groundwater levels on the site.

Fluctuations of the groundwater level can occur due to seasonal variations in the amount of rainfall, runoff, and other factors not evident at the time the boring was performed. Perched water could develop at higher levels within more permeable layers following periods of heavy or prolonged precipitation. The possibility of groundwater level fluctuations should be considered when developing the design and construction plans for the project.

#### 5.0 ENGINEERING RECOMMENDATIONS

Based on the encountered subsurface conditions, the tower can be constructed on drilled piers or on a mat foundation. The lightly loaded equipment building can be supported on shallow spread footings. Drilled pier and shallow foundation recommendations are presented in the following paragraphs.

#### 5.1 Tower Foundation

**Drilled Pier Alternative:** Based on the results of the boring, the following tower foundation design parameters have been developed:

Depth * (feet)	Description **	Allowable Skin Friction (psf)	Allowable End Bearing Pressure (psf)	Allowable Passive Pressure (psf)	Internal Angle of Friction (Degree)	f Cohesion Latera (psf) Subgr ) Modu (pci)		Strain, & <sub>50</sub> (in/in)
0-3	Topsoil and Lean Clay	Ignore	lgnore	Ignore		-	Ignore	Ignore
3-5	Lean Clay	450	3,500	1,750	0	1,750	140	0.006
5 – 15	Limestone	5,000***	20,000	10,000***	0	100,000***	3,000	0.00001

\* Pier inspection is recommended to adjust pier length if variable soil conditions are encountered.

\* A total unit weight of 120 and 170 pcf can be estimated for the lean clay and limestone, respectively.

\*\*\* The pier should be embedded a minimum of 3 feet into competent limestone to mobilize these higher rock strength parameters. Furthermore, it is assumed the rock socket will be extended using coring techniques rather than blasting/shooting.

The above indicated cohesion, friction angle, lateral subgrade modulus and strain values have no factors of safety, and the allowable skin friction and the passive resistances have factors of safety of 2. The cohesion, internal friction angle, lateral subgrade modulus and strain values given in the above table are based on the boring, published correlation values and Terracon's past experience with similar soil/rock types. These values should, therefore, be considered approximate. To mobilize the higher rock strength parameters, the pier should be socketed at least 3 feet into bedrock. Furthermore, it is assumed that the rock socket is developed using

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coring rather than blasting techniques. The allowable end bearing pressure provided in the table has an approximate factor of safety of at least 3. Total settlement of drilled piers designed using the above parameters is not anticipated to exceed ½ inch.

The upper 3 feet of topsoil and lean clay should be ignored due to the potential affects of frost action and construction disturbance. To avoid a reduction in uplift and lateral resistance caused by variable bedrock depths and bedrock quality, it is recommended that a minimum pier length and minimum rock socket length be stated on the design drawings. Bedrock was encountered in our boring below a depth of about 5 feet, but could vary between tower legs, or if the tower is moved from the location of our boring. Considering the site geology, variable rock depths should be anticipated if the tower location is moved from the location of the boring. If the tower center is moved from the planned location, Terracon should be notified to review the recommendations and determine whether an additional boring is required. To facilitate pier length adjustments that may be necessary because of variable rock conditions, it is recommended that a Terracon representative observe the drilled pier excavation.

A drilled pier foundation should be designed with a minimum shaft diameter of 30 inches to facilitate clean out and possible dewatering of the pier excavation. Temporary casing may be required during the pier excavation in order to control possible groundwater seepage and support the sides of the excavation in weak soil zones. Care should be taken so that the sides and bottom of the excavations are not disturbed during construction. The bottom of the shaft should be free of loose soil or debris prior to reinforcing steel and concrete placement.

A concrete slump of at least 6 inches is recommended to facilitate temporary casing removal. It should be possible to remove the casing from a pier excavation during concrete placement provided that the concrete inside the casing is maintained at a sufficient level to resist any earth and hydrostatic pressures outside the casing during the entire casing removal procedure.

**Mat Foundation Alternative**: The mat foundation can be designed using the following natural soil/engineered fill parameters. Higher bearing pressures are available if the mat rests entirely on bedrock, however the proposed loading usually does not warrant higher values. These parameters are based on the findings of the boring, a review of published correlation values and Terracon's experience with similar soil conditions. These design parameters also assume that the base of the mat foundation will rest on natural soils or well-graded crushed stone that is compacted and tested on a full time basis.

Depth (feet)	Description	Allowable Contact Bearing Pressure (psf)	Allowable Passive Pressure (psf)	Coefficient of Friction, Tan $\delta$
0-2	Topsoil and Lean Clay	Ignore	Ignore	-
>2	Lean Clay with Limestone Fragments	3,500	Ignore	0.35

#### Mat Foundation Design Parameters

To assure that soft soils are not left under the mat foundation, it is recommended that a geotechnical engineer observe the foundation subgrade prior to concrete placement. Provided the above recommendations are followed, total mat foundation settlements are not anticipated to exceed about 1 inch. Differential settlement should not exceed 50 percent of the total settlement.

#### 5.2 Equipment Building Foundations

The proposed equipment shed may be supported on shallow footings bearing on stiff natural soils. The equipment building foundations should be dimensioned using a net allowable soil bearing pressure of 2,000 pounds per square foot (psf). In using net allowable soil pressures for footing dimensioning, the weight of the footings and backfill over the footings need not be considered. Furthermore, the footings should be at least 12 inches wide and a minimum of 2.0 feet square.

The geotechnical engineer or a qualified representative should observe the foundation excavations to verify that the bearing materials are suitable for support of the proposed loads. If, at the time of such observation, any soft soils are encountered at the design foundation elevation, the excavations should be extended downward so that the footings rest on stiff soils. If it is inconvenient to lower the footings, the proposed footing elevations may be re-established by backfilling after the undesirable material has been removed.

The recommended soil bearing value should be considered an upper limit, and any value less than that listed above would be acceptable for the foundation system. Using the value given, total settlement would be about 1 inch or less with differential settlements being less than 75 percent of total settlement. Footings should be placed at a depth of 2.0 feet, or greater, below finished exterior grade for protection against frost damage.

#### 5.3 Parking and Drive Areas

We understand the drive that accesses the site will be surfaced with crushed stone. Parking and drive areas that are surfaced with crushed stone should have a minimum thickness of 6 inches and be properly placed and compacted as outlined herein. The

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crushed stone should meet Kentucky Transportation Cabinet specifications and applicable local codes.

A paved section consisting only of crushed graded aggregate base course should be considered a high maintenance section. Regular care and maintenance is considered essential to the longevity and use of the section. Site grades should be maintained in such a manner as to allow for adequate surface runoff. Any potholes, depressions or excessive rutting that may develop should be repaired as soon as possible to reduce the possibility of degrading the soil subgrade.

#### 5.4 Site Preparation

Site preparation should begin with the removal of any topsoil, loose, soft or otherwise unsuitable materials from the construction area. The geotechnical engineer should evaluate the actual stripping depth, along with any soft soils that require undercutting at the time of construction.

Any fill and backfill placed on the site should consist of approved materials that are free of organic matter and debris. Suitable fill materials should consist of well graded crushed stone below the tower foundation and well graded crushed stone or low plasticity cohesive soil elsewhere. Low-plasticity cohesive soil should have a liquid limit of less than 45 percent and a plasticity index of less than 25 percent. The on-site soils may be reused as fill. It is recommended that during construction these soils should be further tested and evaluated prior to use as fill. Fill should not contain frozen material and it should not be placed on a frozen subgrade.

The fill should be placed and compacted in lifts of 9 inches or less in loose thickness. Fill placed below structures or used to provide lateral resistance should be compacted to at least 98 percent of the material's maximum standard Proctor dry density (ASTM D-698). Fill should be placed, compacted, and maintained at moisture contents within minus 1 to plus 3 percent of the optimum value determined by the standard Proctor test.

The geotechnical engineer should be retained to monitor fill placement on the project and to perform field density tests as each lift of fill is placed in order to evaluate compliance with the design requirements. Standard Proctor and Atterberg limits tests should be performed on the representative samples of fill materials before their use on the site.

#### 5.5 Resistivity Analysis

Resistivity of the subsurface soils was measured at the site using a Nilsson Model 400 soil resistivity meter. The Wenner Vertical Profiling Method was used. With this array, potential electrodes are centered on a traverse line between the current electrodes and an equal "A" spacing between electrodes is maintained. Resistivity measurements were taken along 2

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traverses located along the perimeter of the staked tower compound. Individual resistivity values at 5, 10, 15, 20, 30 and 40 foot spacings are presented on the soil resistivity test sheet in the Appendix.

#### 6.0 GENERAL COMMENTS

Terracon should be retained to review the final design plans and specifications so comments can be made regarding interpretation and implementation of our geotechnical recommendations in the design and specifications. Terracon also should be retained to provide testing and observation during excavation, grading, foundation and construction phases of the project.

The analysis and recommendations presented in this report are based upon the data obtained from the boring performed at the indicated location and from other information discussed in this report. This report does not reflect variations that may occur across the site, or due to the modifying effects of weather. The nature and extent of such variations may not become evident until during or after construction. If variations appear, we should be immediately notified so that further evaluation and supplemental recommendations can be provided.

The scope of services for this project does not include either specifically or by implication any environmental or biological (e.g., mold, fungi, bacteria) assessment of the site or identification or prevention of pollutants, hazardous materials or conditions. If the owner is concerned about the potential for such contamination or pollution, other studies should be undertaken.

This report has been prepared for the exclusive use of our client for specific application to the project discussed and has been prepared in accordance with generally accepted geotechnical engineering practices. No warranties, either express or implied, are intended or made. Site safety, excavation support, and dewatering requirements are the responsibility of others. In the event that changes in the nature, design, or location of the project as outlined in this report are planned, the conclusions and recommendations contained in this report shall not be considered valid unless Terracon reviews the changes and either verifies or modifies the conclusions of this report in writing.

APPENDIX



$\bigcap$	LOG OF BOF	RING	NC	). E	3-1					Pa	age 1 of 1	
CLI	ENT Bluegrass Cellular											
SIT	SITE 265 Garrison Road				PROJECT 240' Self Supporting Tower							
	Somerset, Kentucky					Dabney Site						
GRAPHIC LOG	DESCRIPTION Approx. Surface Elev.: 1150 ft	DEPTH, ft.	USCS SYMBOL	NUMBER	ТҮРЕ	RECOVERY, in.	SPT - N ** BLOWS / ft.	WATER CONTENT, %	DRY UNIT WT pcf	UNCONFINED STRENGTH, psf	ATTERBERG LIMITS	
<u>x 1/2 - x</u> t	0.5 <b>TOPSOIL</b> 1149.5											
	LEAN CLAY trace sand, black nodules, reddish brown, stiff, moist		CL	1	SS	18	9	18		4000*		
	e with limestone fragments at 4.5 feet		CL	2	SS	10	5- 50/3"	34		5000*	LL:47 PL:21 PI:26	
	5       with limestone fragments at 4.5 feet       1145         Auger refusal at 5 feet       LIMESTONE, gray, slightly weathered, hard, thin to medium bedded       1145	5		R-1	DB	100%	RQD 78%		170	10695 psi	P1.20	
	15 1135 Coring terminated at 15 feet	15—										
The	stratification lines represent the approximate boundary lines een soil and rock types: in-situ, the transition may be gradual.							**CMF	*Calibra E 140H	ated Hand SPT autor	Penetrometer matic hammer	
WA	TER LEVEL OBSERVATIONS, ft					BOR	ING ST	ARTE	D		3-5-09	
WL	¥ <b>172</b>					BOR	ING CO	OMPLE	ETED		3-5-09	
WL				Jľ	1	RIG	(	CME 5	5 DF	RILLER	MW	
WL	N/E				ſ	GEO	LOGIS	т в	K JO	B #	57087369	



Project: Project No.: Perfomed By: Dabney 57087369 Jenny Guest-Cogar

#### At-Grade Measurements (equal rod spacing)

	Depth of	Electrode Spacing from		Resistance (ohms)		
	Interest	Center (feet)		Dial	Range	Resistivity
Location	(feet)	Inner	Outer	Reading	Switch	(ohm-cm)
	5	2.5	7.5	4.1	1.0	3926
	10	5	15	3.9	1.0	7469
۰. ۸	15	7.5	22.5	3.5	1.0	10054
A- A	20	10	30	3.1	1.0	11873
	30	15	45	2.8	1.0	16086
	40	20	60	2.2	1.0	16852
	5	2.5	7.5	4.4	1.0	4213
	10	5	15	3.8	1.0	7277
ים ם	15	7.5	22.5	3.3	1.0	9479
D-D	20	10	30	2.9	1.0	11107
	30	15	45	2.6	1.0	14937
	40	20	60	1.9	1.0	14554

Resisitivity (ohm-cm) =  $2*\pi*a*R*30.48$ 

R = resistivity (dial reading\*range switch)

a = electrode spacing

Equipent Usage: Nilsson Soil Resistance Meter - Model 400

Additional Notes:

#### **GENERAL NOTES**

#### **DRILLING & SAMPLING SYMBOLS:**

SS:	Split Spoon - 1- <sup>3</sup> /8" I.D., 2" O.D., unless otherwise noted	HS:	Hollow Stem Auger
ST:	Thin-Walled Tube - 2" O.D., unless otherwise noted	PA:	Power Auger
RS:	Ring Sampler - 2.42" I.D., 3" O.D., unless otherwise noted	HA:	Hand Auger
DB:	Diamond Bit Coring - 4", N, B	RB:	Rock Bit
BS:	Bulk Sample or Auger Sample	WB:	Wash Boring or Mud Rotary

The number of blows required to advance a standard 2-inch O.D. split-spoon sampler (SS) the last 12 inches of the total 18-inch penetration with a 140-pound hammer falling 30 inches is considered the "Standard Penetration" or "N-value".

#### WATER LEVEL MEASUREMENT SYMBOLS:

WL:	Water Level	WS:	While Sampling	N/E:	Not Encountered
WCI:	Wet Cave in	WD:	While Drilling		
DCI:	Dry Cave in	BCR:	Before Casing Removal		
AB:	After Boring	ACR:	After Casing Removal		

Water levels indicated on the boring logs are the levels measured in the borings at the times indicated. Groundwater levels at other times and other locations across the site could vary. In pervious soils, the indicated levels may reflect the location of groundwater. In low permeability soils, the accurate determination of groundwater levels may not be possible with only short-term observations.

**DESCRIPTIVE SOIL CLASSIFICATION:** Soil classification is based on the Unified Classification System. Coarse Grained Soils have more than 50% of their dry weight retained on a #200 sieve; their principal descriptors are: boulders, cobbles, gravel or sand. Fine Grained Soils have less than 50% of their dry weight retained on a #200 sieve; they are principally described as clays if they are plastic, and silts if they are slightly plastic or non-plastic. Major constituents may be added as modifiers and minor constituents may be added according to the relative proportions based on grain size. In addition to gradation, coarse-grained soils are defined on the basis of their in-place relative density and fine-grained soils on the basis of their consistency.

#### CONSISTENCY OF FINE-GRAINED SOILS

	<u>Standard</u>	
<u>Unconfined</u>	Penetration or	
<u>Compressive</u>	<u>N-value (SS)</u>	
Strength, Qu, psf	Blows/Ft.	<u>Consistency</u>
< 500	<2	Very Soft
500 - 1,000	2-3	Soft
1,001 - 2,000	4-7	Medium Stiff
2,001 - 4,000	8-15	Stiff
4,001 - 8,000	16-30	Very Stiff
8,000+	30+	Hard

**RELATIVE PROPORTIONS OF SAND AND GRAVEL** 

#### **RELATIVE DENSITY OF COARSE-GRAINED SOILS**

Standard Penetration					
or N-value (SS)					
Blows/Ft.					
0-3					
4 – 9					
10 – 29					
30 – 49					
50+					

**Relative Density** 

Very Loose Loose Medium Dense Dense Very Dense

#### **GRAIN SIZE TERMINOLOGY**

<u>Descriptive Term(s) of other</u> <u>constituents</u>	<u>Percent of</u> Dry Weight	<u>Major Component</u> <u>of Sample</u>	Particle Size		
Trace With Modifier	< 15 15 – 29 > 30	Boulders Cobbles Gravel Sand	Over 12 in. (300mm) 12 in. to 3 in. (300mm to 75 mm) 3 in. to #4 sieve (75mm to 4.75 mm) #4 to #200 sieve (4 75mm to 0.075mm)		
RELATIVE PROPORTIONS OF FINES		Silt or Clay	Passing #200 Sieve (0.075mm)		
Descriptive Term(s) of other Percent of		PLASTICITY DESCRIPTION			
<u>constituents</u>	Dry Weight	Term	Plasticity Index		
Trace	< 5	Non-plast	tic 0		
With	5-12	Low	1-10		
Modifiers	> 12	Mediun High	n 11-30 30+		

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#### **GENERAL NOTES**

**Description of Rock Properties** 

WEATHERING					
Fresh	Rock fresh, crystals bright, few joints may show slight staining. Rock rings under hammer if crystalline.				
Very slight	Rock generally fresh, joints stained, some joints may show thin clay coatings, crystals in broken face show bright. Rock rings under hammer if crystalline.				
Slight	Rock generally fresh, j In granitoid rocks som hammer.	oints stained, and discoloration extends ir e occasional feldspar crystals are dull and	nto rock up to 1 in. Joints may contain clay. I discolored. Crystalline rocks ring under		
Moderate	Significant portions of dull and discolored; so strength as compared	rock show discoloration and weathering e me show clayey. Rock has dull sound un with fresh rock.	ffects. In granitoid rocks, most feldspars are der hammer and shows significant loss of		
Moderately severe	All rock except quartz show kaolinization. Ro	discolored or stained. In granitoid rocks, a ck shows severe loss of strength and can	all feldspars dull and discolored and majority be excavated with geologist's pick.		
Severe	All rock except quartz strong soil. In granitoid usually left.	discolored or stained. Rock "fabric" clear a d rocks, all feldspars kaolinized to some e	and evident, but reduced in strength to extent. Some fragments of strong rock		
Very severe	All rock except quartz with only fragments of	discolored or stained. Rock "fabric" discer strong rock remaining.	nible, but mass effectively reduced to "soil"		
Complete	nplete Rock reduced to "soil". Rock "fabric" not discernible or discernible only in small, scattered locations. Quartz may be present as dikes or stringers.				
HARDNESS (for engi	neering description o	f rock – not to be confused with Moh's	scale for minerals)		
Very hard	Cannot be scratched with knife or sharp pick. Breaking of hand specimens requires several hard blows of geologist's pick.				
Hard	Can be scratched with specimen.	knife or pick only with difficulty. Hard blow	w of hammer required to detach hand		
Moderately hard	tely hard Can be scratched with knife or pick. Gouges or grooves to ¼ in. deep can be excavated by hard blow of point of a geologist's pick. Hand specimens can be detached by moderate blow.				
Medium	Can be grooved or gouged 1/16 in. deep by firm pressure on knife or pick point. Can be excavated in small chips to pieces about 1-in. maximum size by hard blows of the point of a geologist's pick.				
Soft	Can be gouged or grooved readily with knife or pick point. Can be excavated in chips to pieces several inches in size by moderate blows of a pick point. Small thin pieces can be broken by finger pressure.				
Very soft Can be carved with knife. Can be excavated readily with point of pick. Pieces 1-in. or more in thickness can be broken with finger pressure. Can be scratched readily by fingernail.					
Joint, Bedding and Foliation Spacing in Rock <sup>a</sup>					
S	pacing	Joints	Bedding/Foliation		
Less that	an 2 in.	Very close	Very thin		
2 in. – 1	ft.	Close	Thin		
1 ft 3	tt.	Moderately close	Medium		
3 ft. – 10 ft.		Wide	Thick		

More than 10 ft. Very wi Rock Quality Designator (RQD) <sup>b</sup>		ery wide	Very thick		
		Joint Openr	less Descriptors		
RQD, as a percentage	Diagnostic description	n Openness	Descriptor		
Exceeding 90	Excellent	No Visible Separation	Tight		
90 – 75	Good	Less than 1/32 in.	Slightly Open		
75 – 50	Fair	1/32 to 1/8 in.	Moderately Open		
50 – 25	Poor	1/8 to 3/8 in.	Open		
Less than 25	Very poor	3/8 in. to 0.1 ft.	Moderately Wide		
		Greater than 0.1 ft	Wide		

a. Spacing refers to the distance normal to the planes, of the described feature, which are parallel to each other or nearly so.

b. RQD (given as a percentage) = length of core in pieces 4 in. and longer/length of run.

References: American Society of Civil Engineers. Manuals and Reports on Engineering Practice - No. 56. <u>Subsurface Investigation for Design</u> and Construction of Foundations of Buildings. New York: American Society of Civil Engineers, 1976. U.S. Department of the Interior, Bureau of Reclamation, <u>Engineering Geology Field Manual</u>.

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### UNIFIED SOIL CLASSIFICATION SYSTEM

Criteria for Assigning Group Symbols and Group Names Using Laboratory Tests <sup>▲</sup>				Soil Classification	
				Group Symbol	Group Name <sup>B</sup>
Coarse Grained Soils	Gravels	Clean Gravels	$Cu \ge 4$ and $1 \le Cc \le 3^{E}$	GW	Well-graded gravel <sup>F</sup>
More than 50% retained	More than 50% of coarse fraction retained on No. 4 sieve	Less than 5% fines <sup>c</sup>	Cu < 4 and/or 1 > Cc > 3 <sup>E</sup>	GP	Poorly graded gravel <sup>F</sup>
on No. 200 sieve		Gravels with Fines	Fines classify as ML or MH	GM	Silty gravel <sup>F.g. H</sup>
		More than 12% fines <sup>c</sup>	Fines classify as CL or CH	GC	Clayey gravel <sup>F.G.H</sup>
	Sands	Clean Sands	$Cu \ge 6$ and $1 \le Cc \le 3^{E}$	SW	Well-graded sand
50% fracti No. 4	50% or more of coarse	Less than 5% fines <sup>D</sup>	Cu < 6 and/or 1 > Cc > 3 <sup>E</sup>	SP	Poorly graded sand
	No. 4 sieve	Sands with Fines More than 12% fines <sup>□</sup>	Fines classify as ML or MH	SM	Silty sand <sup>GH1</sup>
			Fines Classify as CL or CH	SC	Clayey sand <sup>GHI</sup>
Fine-Grained Soils Sil 50% or more passes the Lic No. 200 sieve	Silts and Clays Liquid limit less than 50	inorganic	PI > 7 and plots on or above "A" line <sup>J</sup>	CL	Lean clay <sup>KLM</sup>
			PI < 4 or plots below "A" line	ML	Silt <sup>klm</sup>
		organic	Liquid limit - oven dried		Organic clay
			Liquid limit - not dried		Organic silt <sup>K</sup> ⊾мо
	Silts and Clays	inorganic	PI plots on or above "A" line	СН	Fat clay <sup>KLM</sup>
Liqui	Liquid limit 50 or more		PI plots below "A" line	МН	Elastic Silt
		organic	Liquid limit - oven dried	0H	Organic clay
			Liquid limit - not dried	On	Organic silt <sup>KLMQ</sup>
Highly organic soils	Primar	ily organic matter, dark in	color, and organic odor	PT	Peat

<sup>A</sup>Based on the material passing the 3-in. (75-mm) sieve

- <sup>B</sup> If field sample contained cobbles or boulders, or both, add "with cobbles or boulders, or both" to group name.
- <sup>C</sup>Gravels with 5 to 12% fines require dual symbols: GW-GM well-graded gravel with silt, GW-GC well-graded gravel with clay, GP-GM poorly graded gravel with silt, GP-GC poorly graded gravel with clay.

<sup>D</sup>Sands with 5 to 12% fines require dual symbols: SW-SM well-graded sand with silt, SW-SC well-graded sand with clay, SP-SM poorly graded sand with silt, SP-SC poorly graded sand with clay

<sup>E</sup>Cu = 
$$D_{60}/D_{10}$$
 Cc =  $\frac{(D_{30})^2}{D_{10} \times D_{60}}$ 

<sup>F</sup> If soil contains  $\geq$  15% sand, add "with sand" to group name. <sup>G</sup> If fines classify as CL-ML, use dual symbol GC-GM, or SC-SM.

- <sup>H</sup>If fines are organic, add "with organic fines" to group name.
- <sup>1</sup> If soil contains  $\geq$  15% gravel, add "with gravel" to group name.
- <sup>J</sup> If Atterberg limits plot in shaded area, soil is a CL-ML, silty clay.
- <sup>K</sup> If soil contains 15 to 29% plus No. 200, add "with sand" or "with gravel," whichever is predominant.
- $^{\text{L}}$  If soil contains  $\geq$  30% plus No. 200 predominantly sand, add "sandy" to group name.
- <sup>M</sup> If soil contains  $\geq$  30% plus No. 200, predominantly gravel, add "gravelly" to group name.
- <sup>N</sup>PI  $\geq$  4 and plots on or above "A" line.
- <sup>O</sup> PI < 4 or plots below "A" line.
- <sup>P</sup>PI plots on or above "A" line.

Q

PI plots below "A" line.





![](_page_35_Figure_0.jpeg)

Lease Boundary and Easement Description

A tract of land that is located about 1,100 feet easterly of the intersection of Kentucky Highway 39 and Garrison Road in the Dabney Community of Pulaski County, Kentucky, said tract being described as fallows:

COMMENCING AT a ½-inch rebar found flush with a survey cap inscribed "LPLS 1253" at the northeast corner of the Timothy L. Hamilton 8.6144-acre tract as described in Deed Book 634, page 455 in the office of the County Clerk of Pulaski County, Kentucky, thence North 80 degrees 40 minutes 10 seconds West 63.76 feet to a 5/8-inch rebar set flush with a survey cap inscribed "D.L. Heims PLS 3386" (referred to as a rebor in the templander of this description) at the POINT OF BEGINNING of this description: thence North 67 degrees 03 minutes 19 seconds West 100.00 feet to a rebar set flush; thence North 67 degrees 03 minutes 49 seconds West 100.00 feet to a rebar set flush; thence South 67 degrees 03 minutes 49 seconds East 100.00 feet to a rebar set flush; thence South 67 degrees 03 minutes 49 seconds East 100.00 feet to the point of beginning and containing 0.230 acres (10,000 square feet), more or less.

or less. TOGETHER WITH an access and utility easement from the above-described 0.230-acre lease tract to Garrison Road; said easement being described as follows: BEGINNING AT a 5/8-inch rebar set flush with a survey cap inscribed 'D.L Heims PLS 3386' at the northeast corner of the above-described 0.230-acre lease tract; thence South 67 degrees 03 minutes 49 seconds East 20.00 feet; thence South 22 degrees 56 minutes 11 seconds West 40.00 feet; thence South 67 degrees 03 minutes 49 seconds East 27.42 feet; thence Southeasteriy 90.46 feet along an arc to the right and hoving a radius of 90.00 feet and subtended by a long chord hoving a bearing of South 38 degrees 16 minutes 07 seconds East and a length of 86.70 feet to the eastern boundary of the Timothy L. Hamilton 8.6144-acre tract as described in Deed Book 634, page 455 in the office of the County Clerk of Pulaski County, Kentucky; thence, along said eastern boundary, South 09 degrees 28 minutes 25 seconds East 253.63 feet; thence Southeasteriy 94.88 feet along an arc to the right ard radius of 50.00 feet and subtended by a long chord having a bearing of degrees 52 minutes 27 seconds West 46.02 feet; thence South 27 degrees 42 minutes 01 second West and a length of 60.42 leet; thence South 27 degrees 52 minutes 27 seconds West 46.02 feet; thence South 27 degrees 42 minutes 01 second West 46.02 feet; thence South 72 degrees 44 minutes 43 seconds West 11.15 feet to the northern boundary of Garlison C4ad (15 feet from the centerline); thence, along said northern boundary, of arlison 74 degrees 20 minutes 43 seconds West 11.15 feet to the northern boundary of Garison Road (15 feet from the centerline); thence, along said northern boundary, North 78 degrees 20 minutes 23 seconds West 41.36 feet; thence North 72 degrees 44 minutes 43 seconds East 45.96 feet; thence North 64 degrees 52 minutes 27 seconds East 44.64 feet; thence Northeasteriy 38.93 feet along an arc to the left and having a radius of 30.00 feet and subtended by a long chord having a bearing of North 27 degrees 42 minutes 01 second East and a length of 36.25 feet; thence North 09 degrees 28 minutes 01 second East and a length of 36.25 feet; thence North 09 degrees 28 minutes 01 second East and a length of 70.00 feet and subtended by a long chord having a bearing of North 38 degrees 16 minutes 07 seconds West and a length of 67.43 feet; thence North 67 degrees 03 minutes 49 seconds West 27.42 feet; thence South 22 degrees 56 minutes 11 seconds West 40.00 feet; thence North 67 degrees 03 minutes 04 second Events 11 seconds West 40.00 feet; thence of 0.230-arc lease fract; thence North 22 degrees 56 minutes 11 seconds East 100.00 feet to the point of beginning.

The bearing system of these descriptions is based upon the Kentucky State Plane Coordinate System, South Zone, NAD 1983 (2007), as determined by G.P.S. observations made on February 24, 2009 using the National Geodetic Survey monument "FBN PIKE". These descriptions are based upon a survey completed by Landmark Surveying Co., Inc. and certified by Darren L. Heims, P.L.S. 3386, on March 2, 2009. This survey is hereby referenced and made a part of these descriptions.

SOURCE OF TITLE: Being a portion of and lying entirely within the land described in deed to Timothy L. Hamilton on April 9, 1999 in Deed Book 634, page 455 in the office of the County Clerk of Pulaski County, Kentucky.

#### Surveyor's Certification

I hereby certify that this plat has been compiled from a survey actually made upon the ground under my direct supervision on February 24, 2009 by the method of random traverse with sideshots. The unadjusted precision ratio of the traverse was 1,33,000 and it was not adjusted. This survey is a Class B survey and the accuracy and precision of this survey meets all the specifications of this class.

Darren L. Helms)

**ESTATE OF KENTUCKY** ................ DARREN L. HELMS 3386....] 3386 LICENSED PROFESSIONAL LAND SURVEYOR

![](_page_35_Figure_11.jpeg)
# BLUEGRASS CELLULAR

APPROVAL SIGNATURES	
BLUEGRASS CELLULAR PROJECT SUPERVISOR:	
<u>DATE:</u>	
CITY REPRESENTATIVE:	
<u>TITLE:</u>	
<u>DATE:</u>	
PROPERTY_OWNER/OWNERS:	
<u>DATE:</u>	
TOWER OWNER/OWNERS:	-
<u>DATE:</u>	]

SITE NAME: DABNEY

911 ADDRESS: 265 GARRISON DR. SOMERSET, KY. 42503

**COUNTY: PULASKI** 

# **TOWER LATITUDE & LONGITUDE**

N 37\* 10' 04.38" W 84\* 33' 36.60"

SHEET INDEX					
DESCRIPTION	REVISION				
TITLE SHEET					
SITE PLAN					
ANT.SPECS/TOWER ELEV.					
SITE PLAN - ELECTRICAL					
ELECTRICAL DETAILS					
ELEC. PLAN - GROUNDING					
FOUNDATION DETAILS					
GENERATOR DETAIL					
	EET INDE DESCRIPTION IITLE SHEET SURVEY SITE PLAN FENCE DETAILS ANT.SPECS/TOWER ELEV. ANTENNA DETAILS 2 SITE PLAN - ELECTRICAL ELECTRICAL DETAILS LYNCOLE GROUNDING ELEC. PLAN - GROUNDING GROUNDING DETAILS FOUNDATION DETAILS GENERATOR DETAIL GENERATOR DETAIL				



r



#### Lease Boundary and Easement Description

A tract of land that is located about 1,100 feet easterly of the intersection of Kentucky Highway 39 and Garrison Road in the Dabney Community of Pulaski County, Kentucky, sold tract being described as follows:

COMMENCING AT a 4-inch rebar found flush with a survey cap inscribed 1PLS 1253<sup>-</sup> at the northeast corner of the Timothy L. Hamilton 8.6144-acre tract as described in Deed Book 634, page 455 in the office of the County Clark of Pulaski County, Kentucky, thence North 80 degrees 40 minutes 10 seconds West 63.76 feet to a 5/8-inch rebor set flush with a survey cap inscribed 'D.L. Heims PLS 3386' (referred to as a rebar in the remainder of this description) at the PONT OF BEGINNING of this description: thence South 22 degrees 50 minutes 11 seconds West 100.00 feet to a rebor set flush; thence North 67 degrees 03 minutes 49 seconds West 100.00 feet to a rebor set flush; thence South 67 degrees 03 minutes 49 seconds Kast 100.00 feet to a rebor set flush; thence South 67 degrees 03 minutes 49 seconds East 100.00 feet to a rebor set flush; thence South 67 degrees 03 minutes 49 seconds East 100.00 feet to the point of beginning and containing 0.230 acres (10,000 square feet), more or less.

or less. TOCETHER WITH an access and utility easement from the above-described 0.230-acre lease tract to Garrison Road; sold easement being described as follows: BEGINNING AT a 5/8-inch rebar set flush with a survey cap inscribed D.L. Heims PLS 3386<sup>-</sup> at the northeast comer of the above-described 0.230-acre lease tract; thence South 67 degrees 03 minutes 49 seconds East 20.00 feet; thence South 22 degrees 56 minutes 11 seconds West 40.00 feet; thence South 67 degrees 03 minutes 49 seconds East 27.42 feet; thence Southeastry 90.46 feet along an arc to the right and having a radius of 90.00 feet and subtended by a long chard having a bearing of South 33 degrees 16 minutes 07 seconds East and a length of 86.70 feet to the eastern boundary of the Timothy L. Hamilton 8.6144-acre tract as described in Deed Book 634, page 455 in the office of the County Clerk of Puloski County, Kentucky; thence, along sold eastern boundary, South 09 degrees 28 minutes 25 seconds East 253.63 feet; thence Southeastery 64.88 feet along an arc to the right having a radius of 50.00 feet and subtended by a long chard having a bearing of degrees 52 minutes 27 seconds West 46.02 feet; thence South 64 degrees 52 minutes 27 seconds West 46.02 feet; thence South 72 degrees 42 minutes 43 seconds West 1.115 feet to the northern boundary of Gardson Road (15 feet from the centerline); thence, along aid on them boundary of Gardson Road (15 feet from the centerline); minutes 43 seconds West 11.15 feet to the northern boundary of Gartison Road (15 feet from the centerline); thence, along sold northern boundary, North 78 degrees 20 minutes 23 seconds West 41.36 feet; thence North 72 degrees 44 minutes 45 seconds East 45.98 feet; thence North 64 degrees 52 minutes 27 seconds East 44.64 feet; thence Northeasterly 38.35 feet along an arc to the left and having a radius of 30.00 feet and subtended by a long chord having a bearing of North 27 degrees 42 minutes 01 second East and a length of 36.25 feet; thence North 93 degrees 28 minutes 01 second East and a length of 36.25 feet; thence North 90 degrees 28 minutes 01 second East and a length of 36.25 feet; thence North 90 degrees 28 minutes 01 second East and a length of 37.45 feet and having a radius of to the left and having a radius of 70.00 feet and subtended by a long chord having a bearing of North 38 degrees 16 minutes 07 seconds West and a length of 67.43 feet; thence North 67 degrees 03 minutes 49 seconds West 27.42 feet; thence South 22 degrees 56 minutes 11 seconds West 40.00 feet; thence North 67 degrees 03 minutes 49 seconds West 20.00 feet to a 5/8-inch rebor set flush with sold Helms survey cap at the southeast carner of the abve-described 0.230-acre lease fract; thence North 22 degrees 56 minutes 11 seconds East 100.00 feet to the point of beginning.

The bearing system of these descriptions is based upon the Kentucky State Plane Coordinate System, South Zone, NAD 1983 (2007), as determined by G.P.S. observations made on February 24, 2009 using the National Goodelic Survey monument "FBN PIKE". These descriptions are based upon a survey completed by Landmark Surveying Co., Inc. and certified by Darren L Heims, PLS. 3386, on March 2, 2009. This survey is hereby referenced and made a part of these descriptions.

SOURCE OF TITLE: Being a portion of and lying entirely within the land described in deed to Timothy L. Hamilton on April 9, 1999 in Deed Book 634, page 455 in the office of the County Clerk of Pulaski County, Kentucky.

#### Surveyor's Certification

I hereby certify that this plat has been compiled from a survey actually made upon the ground under my direct supervision on February 24, 2009 by the method of random traverse with sideshots. The unadjusted precision ratio of the traverse was 1:33,000 and it was not adjusted. This survey is a Class B survey and the accuracy and precision of this survey meets all the specifications of this class.





#### GENERAL NOTES:

1) EQUIPMENT PICK-UP AND DELIVERY TO SITE FROM BLUEGRASS CELLULAR STAGING FACILITY TO BE THE CONTRACTORS RESPONSIBILITY, INCLUDING CRANE SET, AND ALL COST INCURRED.

2) FOR, BUILDING AND ALL CONCRETE PAD DETAILS REFER TO STRUCTURALS AND SHEET S1.1

3) ALL CONCRETE TO HAVE SPECIFIED COATED SEALANT PER STRUCTURAL RECOMMENDATIONS.

4) ANY DAMAGE DUE TO CONSTRUCTION, TO BE REPAIRED OR REPLACED TO ORIGINAL CONDITION. (SUBJECT TO BLUEGRASS CELLULAR'S APPROVAL).

5) ANY DAMAGE OF NATURAL SURROUNDINGS , INCLUDING BUT NOT LIMITED TO, GRASS, TREES, LANDSCAPING, ETC.. TO BE REPAIRED OR REPLACED TO ORIGINAL CONDITION AT BLUEGRASS CELLULAR'S APPROVAL.

6) ROADWAYS TO BE GRADED SMOOTH AND EVEN, REMOVING ALL POTHOLES. ROADS TO HAVE PROPER DRAINAGE AND RUNOFF PER BLUEGRASS CELLULAR'S APPROVAL.

7) ANY RELOCATION OF EXISTING UTILITIES TO BE DONE IN ACCORDANCE WITH LOCAL CODES AND RECOMMENDATIONS, CONSULTING ALL UTILITY COMPANIES INVOLVED FOR APPROVAL AND SPECIFICATIONS REQUIRED.

8) FOR GRADING DETAILS, SEE GENERAL NOTESHEET

9) CONTRACTOR TO FIELD VERIFY ALL TOWER DIMENSIONS WITH TOWER MANUFACTURER PRIOR TO JOB BIDDING OR START OF ANY CONSTRUCTION

10) CONTRACTOR RESPONSIBLE FOR APPLYING FOR SERVICE TO SITE AND PAYING ANY FEES REQUIRED FOR PERMITS, HOOKUP, ETC..







NOT TO SCALE





## COAX ENTRY DETAIL POWER SIDE (VIEW FROM INSIDE SHELTER)



### COAX ENTRY DETAIL A/C SIDE (VIEW FROM INSIDE SHELTER)

NO SCALE

				6403 MERCURY DRIVE LOUISVILLE, KY, 40291 (302) 399-9427 Fax (502) 231-3655
REVISION				
NO. DATE				03
BUTECDASS CELLUI AD INC		STANDARD CELLULAR SITE	DARNEY	265 GARRISON DR. SOMERSET, KY. 425
	IN BECKER			





ALL LINES AND ANTENNAS TO BE PROPERLY MOUNTED TO TOWER OR STRUCTURE PER BLUEGRASS CELLULAR SPECIFICATIONS.

ALL GROUND BARS TO BE INSTALLED AND CAD WELDED TO GROUND FIELD (WHERE REQUIRED)

ALL LINES TO BE GROUNDED AT THE TOP AND BASE OF STRUCTURE OR TOWER.

ALL LINES TO BE GROUNDED AT ENTRANCE OF SHELTER BEFORE WAVE GUIDE PORTS. (EXTERIOR OF BUILDING)

LINES ARE TO BE SECURED TO ICE BRIDGE

WAVE-GUIDE BOOTS ARE TO BE INSTALLED ON ALL LINES (BOTH INSIDE AND OUTSIDE)

ALL COAX CONNECTIONS ARE TO BE WEATHER PROOFED.

INVENTORY OF ALL MATERIAL IS TO BE DONE PRIOR TO INSTALLATION BY CONTRACTOR. (LIST WILL BE PROVIDED)

ALL TRASH AND REFUGE IS TO BE PROPERLY DISPOSED OF.

CONTRACTOR TO EXTEND HARDLINES INTO BUILDING 12" & INSTALL POLYPHASERS, PER INSTRUCTION OF PROJECT SUPERVISOR.

CONTRACTORS TO SUPPLY POLYPHASERS OR LIKE UNITS TO BE INSTALLED AND GROUNDED TO GROUND BAR INSIDE BUILDING AT WAVE GUIDE ENTRANCE. GO TO SUPPLY GROUND CABLE & LUGS.

GENERAL CONTRACTOR TO MOUNT ANTENNA MOUNTS AT TOP OF STRUCTURE OR TOWER BY BLUEGRASS CELLULAR SPECIFICATIONS.

ICE BRIDGE TO BE SUPPLIED AND INSTALLED BY GENERAL CONTRACTOR. (Additional Ice Bridge if needed)

TRAPEZE KIT TO BE SUPPLIED AND INSTALLED BY GENERAL CONTRACTOR.

CONTRACTOR TO INSTALL GPS BRACKET

# BLUEGRASS CELLULAR GENERAL NOTES & ANTENNA SPECS



#### TOWER HEIGHT & TYPE

240'-0" SELF SUPPORT TOWER

### ANTENNA SPECS

	TYPE	SIZE L x W x D	NUMBER	AZIMUTH	MOUNTING HEIGHT
ANTENNA (PRIMARY)	59200 X,Y 49200 Z	L=78.6 W=10.3 D=4.6	6	25*, 210*, 300*	240'-0" C/L VERIFY WITH CONSTRUCTION SUPERVISOR
ANTENNA (SECONDARY)					

### ANTENNA MOUNTING HARDWARE SPECS

	TYPE	SIZE	
MOUNT (PRIMARY)	TRI-SECTOR MOUNT		
MOUNT (SECONDARY)			

### ANTENNA TRANSMISSION LINES SPECS

	TYPE	SIZE
TRANSMISSION LINE (PRIMARY)	ANDREW	1-5/8"
TRANSMISSION LINE (SECONDARY)		

#### DISH SPECS

	MICROWAVE/DONOR	SIZE	NUMBER	AZIMUTH	MOUNTING HEIGHT
DISH #1					
DISH #2					

#### DISH MOUNT SPECS

	TYPE	SIZE	NUMBER
MOUNT #1			
MOUNT #2			

#### DISH TRANSMISSION LINES

	TYPE	SIZE
TRANSMISSION LINE #1		
TRANSMISSION LINE #2		

#### ANTENNA SYNOPSIS

\* ANTENNAS TO HAVE A 2\*E

\* ANTENNA FREQUENCY 1977.50 - 1982.50

SELF SUPPORT TOWER ELEVATION (TYPICAL)



NUMBER		
6		

NUMBER



				1903 MEHOLIYI JANYA LUOL 2100 1919 1919 1919 1919 1919 1919 1919
REVISION				
NO. DATE				
		STANDARD CELLULAR SILE	DARNEY	265 GARRISON DR. SOMERSET, KY. 42503
DRAWN BY:	R. BECKER	ISSUE DATE:		SCALE: LISTED
A	SHE N DE	TE TE T/	UME NI AIL	NA S





			N	
	BLUEGR	RASS CELLUI	_AR	
DRAVING PROJECT NAME  1 DABNEY  TITLE  GROUNDING OPTION				
			OPTION	
ŀ		CITY, STATE	CAL	CULATED RESISTANCE
	DRAWN BY	APPROVED BY	DATE 03	/18/09
_	REFERENCE	NUMBER	SCALE	LTS NUMBER
	l	NA	NONE	090037

TERRACON



GENERAL ELECTRICAL NOTES: 1) CONTRACTOR RESPONSIBLE FOR MAKING ALL ARRANGEMENTS WITH THE LOCAL UTILITIES FOR SERVICE AND FEE PAYMENTS REQUIRED TO OBTAIN SERVICE. 2) CONTRACTOR RESPONSIBLE FOR MAKING ALL ARRANGEMENTS WITH THE LOCAL TELEPHONE COMPANY FOR SERVICE AND FEE PAYMENTS REQUIRED TO OBTAIN SERVICE.

3) GROUND RING TO BE CONTAINED WITH IN THE COMPOUNDS FENCED AREA.

4) FENCE TO BE GROUNDED FROM GROUND RING TO ALL CORNER POST & GATES. SPACE FENCE GROUNDING APPROXIMATELY 20'-0" O/C. (CAD WELD ALL CONNECTIONS)

5) ALL GROUND RING CONNECTIONS TO BE AS CLOSE AS POSSIBLE, SHARP BENDS WILL NOT BE PERMITTED AS WELL AS "T" CONNECTIONS. ALL CONNECTIONS TO HAVE A SWEEPING RADIUS OF 8" MINIMUM. GROUNDING CONFIGURATION TO BE IN PARALLEL.

6) CONTACT POINTS FOR GROUNDING TO BE CLEANED OF ANY RUST, PAINT, DIRT, ETC. TO CREATE A GOOD BOND FOR CONDUCTOR. AREA THAT HAS BEEN CLEANED TO BE RESEALED TO PREVENT RUSTING.

7) PROPERLY GROUND ANY EXPOSED METAL THAT MAY EXIST ON EXTERIOR OF EQUIPMENT SHELTER OR CABINET.

8) WHERE GROUND CONDUCTORS REQUIRE MECHANICAL BONDING, STAINLESS STEEL CONNECTORS ARE REQUIRED AT EACH CONNECTING POINT USING LOCK WASHERS.

9) CONTRACTOR RESPONSIBLE FOR SEEING THAT UTILITY PERSONNEL MAKE FINAL CONNECTIONS, MAKING SURE THE TOWER ALARM IS CONNECTED AND WORKING. A TELEPHONE NUMBER FOR THE ALARM MUST BE SUPPLIED.

10) CONTRACTOR RESPONSIBLE FOR MEG TESTING THE SITE AND SUPPLYING OWNER WITH FINAL READINGS IN OWNERS SPECIFICATIONS.

NOTE: CONTRACTOR TO PROVIDE WARNING TAPE IN TRENCHES FOR ALL POWER AND TELCO RUNS UNDER GROUND. TAPE TO BE INSTALLED AT 9" BELOW GRADE.

NOTE: CONTRACTOR TO FOLLOW LYNCOLES GROUNDING SPECIFICATIONS WHEN USING THEIR XIT GROUNDING RODS. SEE DETAIL SHEET E-4.

 $\textcircled{\sc b}$  lyncole XIT grounding rod to be installed where shown and to manufacturers specifications. (See lyncole specifications)

(1) GROUNDING RODS 10'-0" LONG x 3/4" COPPER BONDED GROUND RODS

(2) INSTALL AND PROVIDE SOLID BARE TINNED COPPER WIRE #2 AWG, GROUND RING BELOW GRADE 30". USE #2 AWG SOLID BARE TINNED COPPER GROUND "TAP" CONNECTING CONDUCTORS. (CONNECTIONS FOR ALL TAP CONDUCTORS TO BE PARALLEL AND "CAD WELD" CONNECTIONS)

(3) FLEXIBLE GROUNDING STRAP TO BE USED TO PROVIDE A COMMON BOND BETWEEN GATE AND CHAIN LINK FENCE, #2 AWG SOLID COPPER BARE TINNED CONDUCTOR FROM GROUND RING TO FENCE USING CAD WELD CONNECTIONS. GROUND TAP TO BE PROVIDED ON EACH 4 SIDES TO DEPENDENT LIDENT DOLLARS AND ADDRESS TO STRATE AND ADDRESS AN GROUND RING AS DESCRIBED ABOVE.

Sound to be provided to ground ring for each of the following: Building Steel, hatch plate, emergency receptacle, wave guide structure, frame work, building disconnect.

FOR TOWER FRAME GROUNDING, REMOVE GALVANIZED COATING COMPLETELY AT SPOT TO "CAD WELD" TO AND CLEAN. #2 AWG SOLID BARE TINNED COPPER CONDUCTOR TO BE CAD WELDED APPROXIMATELY 1'-O" ABOVE FOUNDATION OR AT FLANCE IF PROVIDED BY TOWER MANUFACTURER. EXTEND CONDUCTOR TO GROUND RING. RIGHT ANGLES NOT ACCEPTED ALL BENDS TO BE SWEEPING.

# SITE PLAN-GROUNDING

SCALE: 3/32'' = 1'-0''









#### GENERAL NOTES:

THE CONTRACTOR IS RESPONSIBLE FOR EQUIPMENT PICK UP DELIVERY TO SITE, ERECTION OF TOWER, AND CRANE SET, ALL COSTS INCURRED.

THE CONTRACTOR IS RESPONSIBLE FOR VISITING THE SITE PRIOR TO BIDDING AND REVIEWING EXISTING STRUCTURES OR UTILITIES THAT MIGHT BE LOCATED ON OR AROUND THE COMPOUND THAT COULD INTERFERE.

3) THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING LOCAL AUTHORITIES NECESSARY FOR INSPECTIONS IF REQUIRED, PLEASE PROVIDE AMPLE NOTICE.

4) THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING PERSONS RESPONSIBLE FOR ANY MATERIALS TESTING, PLEASE PROVIDE AMPLE NOTICE

5) THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE OWNER WITH FINAL TEST RESULTS ON ALL MATERIALS TESTING. IF ANY PROBLEMS ARE FOUND PRIOR TO FINAL RESULTS PLEASE NOTIFY A&E OR OWNER IMMEDIATELY.

6) THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO ADJOINING PROPERTY, AND REPAIRING OR REPLACING WHAT IS NECESSARY TO OWNERS APPROVAL.

7) THE CONTRACTOR IS TO VERIFY DIMENSIONS ON SITE PRIOR TO CONSTRUCTION STARTING, ANY PROBLEMS OR CHANGE FOUND CONTACT A&E OR OWNER TO VERIFY.

THE CONTRACTOR IS RESPONSIBLE FOR ANY TEMPORARY LIGHTING 8) THE CONTRACTOR IS RESPONSIBLE FOR AUTHORITIES IF ANY ON THE TOWER AND CONTACTING PROPER AUTHORITIES IF ANY LIGHTING PROBLEMS OCCUR, ALL FINAL LIGHTING TO BE MOUNTED ON TOWER DURING CONSTRUCTION, NOTIFY OWNER WHEN TOWER HAS REACHED FINAL HEIGHT.

9) THE CONTRACTOR IS RESPONSIBLE FOR ALL ON SITE WORK MEANS AND METHODS.

10) CONTRACTOR, ANY CONTRACTOR EMPLOYEES OR REPRESENTATIVES, OR SUB-CONTRACTOR, ANY SUB-CONTRACTOR EMPLOYEES OR REPRESENTATIVES, WILL CONFORM TO ALL LAWS AND REGULATIONS APPLICABLE TO THE WORK BEING PERFORMED, INCLUDING BUT NOT LIMITED TO, ALL OCCUPATIONAL SAFETY AND HEALTH ACT ("OSHA") STATUTES AND REGULATIONS AS WELL AS ALL OTHER FEDERAL, STATE AND/OR LOCAL LAWS OR REGULATIONS APPLICABLE TO THE WORK BEING PERFORMED BY CONTRACTOR.

11) THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL SITE DRAINAGE, AND PROVIDING SILT AND EROSION CONTROL NECESSARY TO MAINTAIN ANY RUN OFF.

12) THE CONTRACTOR IS RESPONSIBLE FOR ALL SEED AND STRAW WORK NECESSARY TO REPAIR DAMAGED AREAS.

13) CONTRACTOR TO GRADE SMOOTH OR REPAIR ANY POT HOLES OR DITCHING ON PROPERTY OR ROAD THAT HAS OCCURRED DURING CONSTRUCTION AT CONTRACTORS EXPENSE.

14) CONTRACTOR'S RESPONSIBILITIES REGARDING BUILD OUT ON FIBREBOND EQUIPMENT SHELTERS TO INCLUDE:

\* INSTALLING THE DOOR CANOPY

\* INSTALLING EXTERIOR LIGHT ON WALL DETERMINED BY PROJECT SUPERVISOR AND PHOTOCELL REQUIREMENTS

\* INSTALLING INTRUDER ALARMS

• CHECK OPERATIONS OF DOOR AND DOOR HARDWARE

\* ADJUST WEATHERSTRIPPING ON DOORS AS NEEDED

\* INSPECT ROOF FOR DAMAGE AND POSSIBLE LEAKS

- \* INSPECT INTERIOR FINISH FOR IMPERFECTIONS AND REPAIR AS NEEDED
- \* CHECK OPERATION OF LIGHTS AND ELECTRICAL OUTLETS

\* CHECK OPERATION OF INTAKE AND EXHAUST LOUVERS AND ADJUST AS NEEDED

\* CHECK OPERATION OF ENVIRONMENTAL CONTROLS AND HVAC UNITS

\* INSTALL AND PAINT SHELTER TIE-DOWNS TO MATCH

15) INSTALL CONCRETE PADS FOR BUILDING, PROPANE TANK, GENERATOR PAD.

16) INSTALL ELECTRIC AND GROUND FIELD FOR COMPOUND.

17) GC WILL BE RESPONSIBLE FOR ALL CRANE OPERATIONS IN ORDER TO SET FIBREBOND BUILDING. COORDINATE BUILDING DELIVERY DATE THROUGH BLUEGRASS CELLULAR.

18) GC WILL BE RESPONSIBLE FOR OFF LOADING AND STACKING OF TOWER WHEN APPLICABLE.

19) GC WILL BE RESPONSIBLE FOR MOUNTING ALL LINES AND ANTENNAS.

20) GC WILL BE RESPONSIBLE FOR SUPPLYING AND INSTALLING ICE BRÍDGE.

21) GC WILL BE RESPONSIBLE FOR SCHEDULING PROPANE TANK DELIVERY AND HOOK-UP. PREFERRED SUPPLIERS ARE EMPIRE & AMERIGAS

22) GC WILL BE RESPONSIBLE FOR COORDINATING THE CLEANING OF THE INSIDE OF THE BUILDING WITH THE PROJECT SUPERVISOR AFTER THE SITE HAS BEEN TURNED OVER TO THE OPERATIONS DEPARTMENT AND ALL TURN-UP PROCEDURES HAVE BEEN COMPLETED. THIS WILL INCLUDE SUPPLYING A 30 GALLON TRASHCAN, 30 GALLON TRASH BAGS, BROOM, DUST PAN AND DOORMAT FOR BUILDING.

23) GC TO VERIFY ALL BLUEGRASS CELLULAR EQUIPMENT DIMENSIONS & SPECIFICATIONS WITH MANUFACTURER'S DRAWINGS, (FIBREBOND, GENERAC, EASTPOINTE ETC.) PRIOR TO CONSTRUCTION. ADDRESS ANY ISSUES WITH PROJECT SUPERVISOR BEFORE WORK BEGINS.

24) ALL WAREHOUSE MATERIAL (LINES, ANTENNAS, MOUNTING HARDWARE, GENERATOR, TOWER FOUNDATION KIT, ETC.) WILL NEED TO BE PICKED UP BY GC.

25) GC WILL BE RESPONSIBLE FOR SCHEDULING GENERATOR START-UP WITH CONTACT SCOTT ANDERSON (EVAPAR) 502-267-6315

26) TI CONDUIT WILL NEED TO BE PLACED FROM POLE TO BUILDING. (IF A MICROWAVE DISH IS USED, THE TI CONDUIT WILL STILL BE INSTALLED FOR FUTURE USE.)

27) GC WILL BE RESPONSIBLE FOR INSTALLATION OF ALL FENCING.

28) ALL TRASH AND DEBRIS TO BE REMOVED BY GC

29) GC WILL BE RESPONSIBLE FOR APPLYING FOR ELECTRICAL SERVICE AND PAYING NECESSARY FEES REQUIRED.

30) GC WILL BE RESPONSIBLE FOR SUPPLYING & INSTALLING PROTECTIVE END CAPS ON ANY EXPOSED THREADED ROD OR UNISTRUT USED ON SITE. VERIFY TYPE WITH PROJECT SUPERVISOR PRIOR TO INSTALLATION.

31) GC WILL BE RESPONSIBLE FOR HAVING A CERTIFIED ELECTRICIAN HOOK UP THE BATTERIES (IMMEDIATELY) AFTER POWER HAS BEEN TURNED UP AT THE SITE. PREVENTING THE DELAY OF ANY WORK FOR OPERATIONS. THE GENERAL CONTRACTOR MUST NOTIFY THE PROJECT SUPERVISOR IMMEDIATELY AT THIS TIME SO HE CAN COORDINATE A CELL TECH TO BE ONSITE WHEN THIS OCCURS.

32) GC WILL BE RESPONSIBLE FOR RUNNING (CAT5) FROM THE GENERATOR ALARM PANEL MOUNTED ON THE SIDE OF THE TRANSFER SWITCH (BY THE CONTRACTOR), THROUGH THE TRANSFER SWITCH AND UP TO THE EXISTING CONDUIT BESIDE THE A/C POWER FAIL RELAY. THE (CAT5) WILL BE PULLED THROUGH EXISTING CONDUIT AROUND THE SHELTER AND EXTENDED TO THE ALARM BLOCK. THERE SHOULD BE A MINIMUM 3'-0" of (CAT5) LEFT HANGING ON EACH END FOR THE CELL TECH TO HOOK UP THE GENERATOR ALARMS.

33) GC MUST SUBMIT A COPY OF THE BUILDING PERMIT AND CONSTRUCTION SCHEDULE TO THE PROJECT SUPERVISOR PRIOR TO RECEIVING (NTP) TO BEGIN CONSTRUCTION (NO EXCEPTIONS).

34) GC MUST DISPLAY FCC TOWER REGISTRATION NUMBER AND EMERGENCY PHONE NUMBERS ON 3'-0 X 4'-0" MINIMUM WOODEN BACKBOARD SOMEWHERE ON SITE LOCATION PRIOR TO BREAKING GROUND.

#### GRADING & EXCAVATING NOTES:

1) ANY DAMAGE TO EXISTING UTILITIES, STRUCTURES, ROADS AND PARKING AREAS TO BE REPAIRED OR REPLACED TO OWNERS SATISFACTION.

PREPARATION FOR FILL:

REMOVAL OF ALL DEBRIS, WET AND UNSATISFACTORY SOIL MATERIALS, TOPSOIL, VEGETATION, AND HARMFUL MATERIALS FROM SURFACE OF GROUND PRIOR TO PLOWING, STRIPPING, PLACING FILLS OR BREAKING UP OF SLOPED SURFACES GREATER THAN 1 VERTICAL TO 4 HORIZONTAL SO MATERIAL FOR FILL WILL BOND TO EXISTING SURFACE. WHEN AREA TO RECEIVE FILL HAS A DENSITY LESS THAN REQUIRED, BREAK UP GROUND SURFACE TO DEPTH REQUIRED, AERATE, MOISTURE - CONDITION, OR PULVERIZE SOIL AND RECOMPACT TO REQUIRED DENSITY.

3) BACK FILLING:

- EXCAVATED AREA SHALL BE CLEARED FROM STONES OR CLODS OVER 2 1/2" MAXIMUM DIAMETER - SHALL BE PLACED IN LAYERS OF 6" AND COMPACTED TO

A 95% STANDARD PROCTOR, USE A 90% PROCTOR IN GRASSED / LANDSCAPED AREAS WHERE REQUIRED

- SHALL BE APPROVED MATERIALS CONSISTING OF SANDY CLAY, GRAVEL AND SAND, SOFT SHALE, EARTH OR LOAM. CONSULT WITH OWNER PRIOR TO FILL BEING ADDED.

4) ALL MATERIAL FOR FILL TO BE APPROVED BY OWNER AND ALL COMPACTING TEST TO BE COMPLETED TO SPEC'S ALL COMPACTING RESULTS TO BE TURNED OVER TO OWNER.

5) AFTER COMPLETION OF BELOW GRADE EXCAVATING, AREA TO BE CLEANED AND CLEARED OF ANY UNSUITABLE MATERIALS, SUCH AS TRASH, DEBRIS, VEGETATION AND SO

ANY EXCAVATING IN WHICH CONCRETE IS TO BE PLACED SHALL BE SUBSTANTIALLY HORIZONTAL ON UNDISTURBED AND UNFROZEN SOIL AND BE FREE OF ANY LOOSE MATERIAL AND EXCESS GROUND WATER.

7) IF SOUND SOIL IS NOT REACHED AT DESIGNATED EXCAVATION DEPTH, THE POOR SOIL IS TO BE EXCAVATED TO ITS FULL DEPTH AND EITHER REPLACED WITH MECHANICALLY COMPACTED GRANULAR MATERIAL OR THE EXCAVATION TO BE FILLED WITH THE SAME QUALITY CONCRETE SPECIFIED FOR THE FOUNDATION. PLEASE NOTIFY THE PROJECT SUPERVISOR AND THEY WILL HAVE A 3RD PARTY ENGINEERING FIRM CONTACT YOU WITH RECOMMENDATIONS.

8) MECHANICALLY COMPACTED GRANULAR MATERIAL OR CONCRETE OF THE SAME QUALITY SPECIFIED FOR THE FOUNDATIONS TO BE USED IF EXCAVATION EXCEEDED THE OVERALL REQUIRED DEPTH. FOR STABILIZATION OF THE BOTTOM OF THE EXCAVATION, CRUSHED STONE MAY BE USED. STONE, IF USED, SHALL NOT BE USED AS COMPILING CONCRETE THICKNESS. PLEASE NOTIFY THE PROJECT SUPERVISOR AND THEY WILL HAVE A 3RD PARTY ENGINEERING FIRM CONTACT YOU WITH RECOMMENDATIONS.

9) EXCAVATION TO COMPOUND TO INCLUDE WEED CONTROL MAT.

10) SITE TO HAVE PROPER DRAINAGE & EROSION CONTROL (CROWNED FORMATION)

11) GC WILL BE RESPONSIBLE FOR REPAIR OF ALL AREAS DISTURBED DURING CONSTRUCTION. (EXCAVATING ISSUES)

#### CALL BEFORE YOU DIG"

THE CONTRACTOR'S ATTENTION IS DIRECTED TO THE UTILITY PROTECTION CENTER, PHONE 811 IN KENTUCKY, WHICH WAS ESTABLISHED TO PROVIDE ACCURATE LOCATIONS OF UNDERGROUND UTILITIES. THE CONTRACTOR SHALL NOTIFY THE UTILITY PROTECTION CENTER 48 HOURS IN ADVANCE OF ANY CONSTRUCTION ON THIS PROJECT. ALL NEW SERVICE AND GROUNDING TRENCHES PROVIDE A WARNING TAPE ● 12 INCHES BELOW GRADE.



KEYNOTE

INSPEC. SLEEVE / GRND ROD INSPECTION SLEEVE CAD WELD CONNECTION TRANSFORMER

LIGHTNING SUPPRESSOR SWITCH (DISCONNECT)

METER PACK

POWER GAS LINE WATER LINE SANITARY SEWER TELEPHONE

STORM SEWER DRAIN FENCE



Notes

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# Landmark Surveying Co., Inc.

Darren L. Helms, P.L.S., PRESIDENT Dennis N. Helms, P.L.S., VICE PRESIDENT



15 N.E. 3rd Street Washington, Indiana 47501 Phone: 812-257-0950 Fax: 812-257-0953 Email: landmark97@sbcglobal.net

#### **Directions to the Site** From the County Seat of Pulaski County, Kentucky

#### Bluegrass Cellular, Inc. **Dabney Site** Pulaski County, Kentucky

From the intersection of Kentucky Highway 80 By-Pass and Kentucky Highway 39 on the north side of Somerset, Kentucky: travel north on Kentucky Highway 39 for 5.25 miles to Garrison Road near the Dabney Fire Department; turn right onto Garrison Road and travel east for 0.25 miles to a stone and dirt lane on the left; turn left onto the lane and travel north for about 400 feet to the tower site in a pasture on a ridge. The address of the site is 265 Garrison Road, Somerset, Kentucky 42503.

Darren L. Helms, Kentucky Professional Land Surveyor No. 3386

STATE OF KENTU DARREN L. HEL 3386 LICENSED PROFESSIONA AND SURVE ້ຳມື້ນມື້ນມື້ນມື້ນມື້ນມື້ນມື້ນ

DRCH 2. 200

Date

### **OPTION TO LEASE AND LEASE AGREEMENT**

I.

#### **OPTION TO LEASE REAL PROPERTY**

THIS OPTION TO LEASE REAL PROPERTY (the "Option Agreement") is made and entered into this 2 day of *Edition* 2009, by and between <u>Timothy L. Hamilton, a single man</u>, whose address is <u>5572 Highway 39</u>, <u>Somerset, KY 42503</u> (the "Optionor (s)" and <u>Bluegrass Wireless</u> <u>LLC, a Kentucky limited liability company</u> with principal office and place of business at <u>2902 Ring</u> <u>Road, Elizabethtown, KY 42701</u> (the "Optionee").

### $\underline{WITNESSETH}:$

<u>ب</u> د

**WHEREAS,** the Optionor(s) is the owner of certain real property located in <u>Pulaski</u> County, **Kentucky** as more particularly described on Exhibit A attached hereto and incorporated herein by reference (the "Property"); and

**WHEREAS**, the Optionor(s) wishes to grant to the Optionee, and the Optionee wishes to obtain from the Optionor(s), an option to lease the Property upon the terms and conditions set forth herein;

**NOW, THEREFORE,** in consideration of the foregoing premises and for other good and valuable consideration, the mutuality, receipt and sufficiency of which are hereby acknowledged, the parties hereto do agree as follows.

1. In consideration of **One Thousand Eight Hundred Dollars and Zero Cents** (\$1,800.00) paid by the Optionee to the Optionor(s) (the "Option Consideration"), the receipt of which is hereby acknowledged by the Optionor(s), the Optionor(s) hereby grants to the Optionee an exclusive and irrevocable option to lease the Property (the "Option"), upon the terms and conditions hereinafter set forth, upon the exercise of the Option at any time before 4:00 p.m. prevailing time on 2Aug.20/0, (the "Option Period") as set forth in Paragraph 5 thereof.

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- 2. The parties hereto anticipate that the Property comprises approximately a **One Hundred Foot by One Hundred Foot** area, and that a right of way will be given by the Optionor(s) for the purposes of ingress and egress throughout the term of the lease. The Optionee shall obtain an accurate survey of the Property by a registered land surveyor licensed in the Commonwealth of Kentucky at the sole expense of the Optionee. A copy of the survey shall be provided to the Optionor(s). The description of the Property shall include the number of acres determined by the surveyor. The Optionee shall obtain said survey within a reasonable time following the date of the Option Agreement.
- 3. During the term of the Option, the Optionee may enter onto the Property at its own risk to obtain soil samples and to bore soil for the purposes of determining the suitability of the Property for a communications tower.
- 4. Upon the Optionee's proper exercise of the Option in accordance with Paragraph 5 hereof, the Optionor(s) shall be deemed to have immediately executed, acknowledged and delivered to the Optionee the Lease Agreement contained in Section II hereof. The description of the Property shall be that determined by the registered land surveyor in accordance with Paragraph 2 hereof.

5. If the Optionee elects to exercise the Option in accordance with the terms hereof, notice of such election shall be deemed sufficient if personally delivered or sent by registered or certified mail, return receipt requested, to the address of the Optionor(s) set forth in Paragraph 14 hereof.

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- 6. The Optionor(s) agrees not to sell, lease or offer for sale or lease the Property during the term of this Option or any renewal or extension of the Option.
- 7. In the event the Optionee fails to exercise the Option as set forth herein (unless such failure is due to the discovery of a defect in the Property or other matter unsatisfactory to the Optionee), the Optionor(s) shall have the right to retain the Option Consideration.
- 8. The Optionee may assign this Option with written consent of the Optionor(s), which consent shall not be unreasonably withheld, and upon any assignment such assignee shall have all the rights, remedies and obligations as if it were the original Optionee hereunder. From and after any such assignment, the term "Optionee" shall refer to such assignee.
- 9. Each party hereto shall bear any and all of its own expenses in connection with the negotiation, execution or settlement of this Option.
- 10. Risk of loss with respect to the Property during the term of this Option and during the term of the lease shall be upon the Optionor(s). If, during the term of the Option, any portion of the Property shall be acquired by public authority under the right or threat of eminent domain, the Optionee may, at its sole option, either (i) exercise the

Option, and in such event, all sums received from the public authority by the Optionor(s) by reason of the taking of a portion of the Property shall reduce the rent due under the lease, or (ii) terminate this Option and thereupon the Optionor(s) shall be obligated to return to the Optionee the full amount of the Option Consideration previously paid to the Optionor(s) in "good and collected funds."

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- 11. The parties hereto represent to each other that neither has engaged any broker to represent their interests in connection with the transactions contemplated hereby, and each agrees to indemnify the other against any and all claims made by any brokers engaged or purported to be engaged by the other for brokerage commissions or fees in connection with the transactions contemplated hereby.
- 12. The Optionor(s) represents, warrants and covenants to the Optionee that the Optionor(s) has not caused or permitted, and shall not cause or permit, and to the best of Optionor(s)' knowledge no other person has caused or permitted any hazardous material (as defined by any applicable federal, state or local law, rule or regulation) to be brought upon, placed, held, located or disposed of at the Property. In the event any such contamination occurs for which the Optionee becomes legally liable, the Optionor(s) shall indemnify the Optionee against all claims, damages, judgments, penalties and costs and expenses, including reasonable attorneys' fees, which Optionee may incur.
- 13. This Option Agreement and the rights and obligations of the parties hereto shall be construed in accordance with the laws of the Commonwealth of Kentucky.

14. For the purposes of giving notice as permitted or required herein, the address of the Optionor(s)shall be: 5572 Highway 39, Somerset, KY 42503; the Optionee's address shall be: 2902 Ring Road, Elizabethtown, KY 42701. Any inquiry by the Optionor to the Optionee regarding the terms and conditions of the Option Agreement or Lease Agreement, or otherwise related to the Option Agreement or Lease Agreement, shall be made in writing and submitted to the attention of the Optionee's Lease Administrator at the above address.

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 The Optionee shall have the right, in its sole discretion, to record this Option in the Office of the Clerk of the County Court of <u>Pulaski</u> County, Kentucky.

# II. <u>LEASE AGREEMENT</u>

- 16. In the event the Optionee elects to exercise the Option to lease the Property, the terms of the Lease Agreement ("Lease Agreement" or "Lease") shall become immediately effective upon such exercise and shall be as follows.
  - 1. The term of the Lease shall commence on the date that the Optionor(s) receives proper notice that the Optionee has exercised the Option, pursuant to Paragraph 5 therein. The initial term shall expire five (5) year(s) from the commencement date of the Lease Agreement and shall include six (6) additional five (5)-year terms per the Lease Agreement. Optionee may, by providing written notice at least sixty (60) days prior to the expiration of the original or any renewal Lease term, elect to unilaterally terminate this Lease at the end of any original or renewal Lease term. Such notice must be

personally delivered or sent via registered or certified mail, return receipt requested, to the address of the Optioner(s) set forth in Paragraph 14 hereof. The Lease amount shall be adjusted at the end of each term by an increase of 12%.

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- 2. The Optionee shall pay to the Optionor(s) rent for the Property in the sum of Four Thousand Eight Hundred Dollars and Zero Cents (\$4,800.00) yearly, to be paid in advance. All rent payments shall be personally delivered or mailed to the Optionor(s) at the address set forth in Paragraph 14 hereof. Any check payment of the rent due under the Lease shall be payable to the order of Optionor(s).
- 3. The Optionee shall be entitled to use and occupy the Property for the purpose of erecting, maintaining and operating a communications tower and communications facilities thereon and for all such other uses as Optionee may, in its sole discretion, deem necessary in connection therewith.
- 4. The Optionor(s) shall be responsible for the payment of all real estate taxes which shall be assessed against the Property during the term of the lease. The Optionee shall pay all charges for heat, water, gas, electricity, sewer use charges and any other utility used or consumed on the Property. The Optionee shall, at its own cost and expense, maintain and keep in full force and effect during the term of the lease public liability insurance with coverage in the amount of at least one million dollars (\$1,000,000.00) per person for bodily injury, disease, or death and shall maintain property insurance on any property the Optionee located on the Property.

- 5. The Optionee may assign the lease. The Optionee may sublet all or part of the space on the tower or ground space.
- 6. The Optionor(s) covenants that upon the Optionee's payment of the rent agreed upon herein, as well as Optionee's observing and performing all of the covenants and conditions contained in the Lease, the Optionee may peacefully and quietly enjoy the Property subject to the terms and conditions set forth in the Lease.
- 7. The Optionee agrees to maintain an access road in a passable manner for the term of the lease.
- 8. Optionee's Payment of Taxes, Fees and Assessments. Optionee shall pay directly to the applicable federal, state or local governmental unit or agency ("Governmental Entity") or to Optionor if Optionor is invoiced by such Governmental Entity, all taxes, fees, assessments or other charges assessed by any Governmental Entity directly against Optionee's Equipment and/or Optionee's use of the Facility. Optionee shall also pay to Optionor Optionee's Pro Rata Share of all taxes, fees, assessments or charges including, but not limited to, personal property taxes attributable to Optionee's equipment and antenna(s), municipal franchise fees, use fees, municipal application fees, installation fees and increases thereof. "Pro Rata Share" shall mean the fraction of decimal equivalent of dividing one (1) by the total number of then existing users occupying a tower on the last day of the applicable calendar year.

17. This Option and Lease Agreement contains the entire agreement between the parties hereto and no modification or amendment shall be binding upon any party unless made in writing and signed by each of the parties hereto.

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- 18. Upon the termination or other end of this Lease Agreement, Optionee shall have the right to remove any and all of its property (real or personal) from the Property regardless of whether or not such property may be considered a fixture thereto.
- 19. Upon abandonment of the property, Optionee shall have thirty (30) days to dismantle and remove the cellular antenna tower and any/all equipment located on Optionor's property.

[Remainder of Page Intentionally Left Blank]

#### **EXECUTION OF AGREEMENT(S)**

IN WITNESS WHEREOF, the parties hereto have set their hands and affixed their

respective seals mul on Date: \_ Ø ("Optionor(s)")

By: Timothy L. Hamilton Property Owner(s)

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2-2-9 Date: \_\_\_\_\_

("Optionee")

By: Ron Smith Authorized Representative Bluegrass Wireless LLC

Site Name: Dabney

STATE OF \_ KU COUNTY OF <u>Hulaski</u> The foregoing instrument was acknowledged before me this כן day of \_\_\_\_\_ \_, 2009, by Cathering traff \_\_\_\_\_ to be his/her free act and deed. nenno NOTARY PUBLIC STATE AT LARGE My commission expires:  $9 - 9 - 30 \delta$ 

STATE OF KENTUCKY
COUNTY OF HARDIN
The foregoing instrument was acknowledged before me this $2$ day of $\frac{f_{ebnuary}}{f_{ebnuary}}$ ,
200 <u>9</u> , by Ron Smith, to be his free act and deed.
NOTARY PUBLIC STATE AT LARGE
My commission expires: $1 - 2 / - \sqrt{3}$

This instrument prepared by:

John E Sele

**DINSMORE & SHOHL LLP** 1400 PNC Plaza 500 West Jefferson Street Louisville, KY 40202 (502) 540-2300

# Landmark Surveying Co., Inc.

Darren L. Helms, P.L.S., PRESIDENT Dennis N. Helms, P.L.S., VICE PRESIDENT



15 N.E. 3rd Street Washington, Indiana 47501 Phone: 812-257-0950 Fax: 812-257-0953 Email: landmark97@sbcglobal.net

### Landowner and Adjacent Landowner List

Bluegrass Cellular, Inc. Dabney Site Pulaski County, Kentucky

Rodney and Priscilla Ledbetter 5478 Highway 39 Somerset, KY 42503

David H. and Linda LaFavers 5520 Highway 39 Somerset, KY 42503-5095

Bobby Joe and Merrlyn Crow 209 E. Coleman Road Somerset, KY 42503

Larry and Shirley M. Hamilton 6936 Highway 39 Somerset, KY 42503-5181 Pulaski County Fiscal Court Fire Division (Dabney Fire Department) P.O. Box 712 Somerset, KY 42502

Gary E. and Barbara Cromer 5697 Highway 39 Somerset, KY 42503

Timothy L. Hamilton 5572 Highway 39 Somerset, KY 42503

Sauen R. Helme

Darren L. Helms, Kentucky Professional Land Surveyor No. 3386

<u>March 2, 2009</u> Date STATE of KENTUCKY DARREN L. HELMS 3386 LICENSED PROFESSIONAL LAND SURVEYOR

Rodney and Priscilla Ledbetter 5478 Highway 39 Somerset, Kentucky 42503

# **Public Notice**

Bluegrass Wireless LLC is a Kentucky limited liability company that markets its services as Bluegrass Cellular. Bluegrass Cellular has been serving Central Kentucky with wireless communications services for over 15 years.

Bluegrass Wireless LLC is applying to the Public Service Commission of the Commonwealth of Kentucky (the "Commission") for a Certificate of Public Convenience and Necessity to construct and a new cell facility to provide cellular telephone service. This facility will include a 240-foot tower to be located at 265 Garrison Road, Somerset, Kentucky 42503. A map showing the location is attached.

The Commission invites your comments regarding this proposed construction. Also, the Commission wants you to be aware of your right to intervene in this matter. Your comments and request for intervention should be addressed to:

Executive Director's Office Public Service Commission of Kentucky P.O. Box 615 Frankfort, Kentucky, 40602.

#### Please refer to case number 2009-00112 in your correspondence.

SENDER: COMPLETE THIS SECTION	COMPLETE THIS SECTION ON DELIVERY
<ul> <li>Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.</li> <li>Print your name and address on the reverse so that we can return the card to you.</li> <li>Attach this card to the back of the mailpiece, or on the front if space permits.</li> <li>Article Addressed to:</li> <li>Manuel And Pri Scilla Cedbetter 5478 Hishway 39</li> </ul>	A. Signature XROMUL Leadwelle Agent B. Received by (Printed Name) Rodney Leadbetter D. Is delivery address different from item 1? Yes If YES, enter delivery address below: No
Somerset, KY 42503	3. Service Type         ID Certified Mall       □ Express Mali         □ Registered       □ Return Receipt for Merchandise         □ Insured Mail       □ C.O.D.         4. Restricted Delivery? (Extra Fee)       □ Yes
2. Article Number (Transfer from service label) 7008 32	30 0002 6932 3095
PS Form 3811, February 2004 Domestic Retu	urn Receipt 102595-02-M-1540

David H. and Linda LaFavers 5520 highway 39 Somerset, Kentucky 42503-5095

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Down I when the total and	If YES, enter delivery address below:	
Vavida Ghara Catavers		
5520 Highway 39		
Somerset, Ky 42503-5095	Service Type     Certified Mail     Express Mail     Registered     Receipt for Merchandise     Insured Mail     C.O.D.	
	4. Restricted Delivery? (Extra Fee)	
(Transfer from service label) 7008 32	30 0002 6932 3088	
PS Form 3811, February 2004 Domestic Retu	rn Receipt 102595-02-M-1540	

Obby Joe and Merrlyn Crow
O9 E. Coleman Road
Omerset, Kentucky 42503

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Somerset, KY42503	3. Service Type         Certified Mail       Express Mail         Registered       Return Receipt for Merchandise         Insured Mail       C.O.D.         4. Restricted Delivery? (Extra Fee)       Yes
2. Article Number (Transfer from service label) 7008 35	230 0002 6932 3071
PS Form 3811, February 2004 Domestic Re	turn Receipt 102595-02-M-1540

Larry and Shirley M. Hamilton 6936 Highway 39 Somerset, Kentucky 42503-5181

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Somer set, KY 42503-5181	3. Service Type     Greating Mail     Registered     Return Receipt for Merchandise     Insured Mail     C.O.D.     Serviced Delivery? (Extra Fee)	
2. Article Number (Transfer from service label) 7008 323	0 0002 6932 3064	
PS Form 3811, February 2004 Domestic Ret	urn Receipt 102595-02-M-1540	

Ulaski County Fiscal Court Fire Division
abney Fire Department
-0. Box 712
Omerset, Kentucky 42502

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P.O. BOX 712- Somerset, KY-42502	3. Service Type     Gettified Mail     Gettified Mail     Registered     Return Receipt for Merchandise     Insured Mail     C.O.D.	
	4. Restricted Delivery? (Extra Fee)  Yes	
2. Article Number (Transfer from service label) 7008	3230 0002 6932 3057	
PS Form 3811, February 2004 Domestic Ret	urn Receipt 102595-02-M-1540	

Gary E. and Barbara Cromer 5697 Highway 39 Somerset, Kentucky 42503

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#### Please refer to case number 2009-00112 in your correspondence.

SENDER: COMPLETE THIS SECTION	COMPLETE THIS SECTION ON DELIVERY
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Somenset, KY 42503	3. Service-Type         Image: Certified Mail       Image: Express Mail         Image: Certified Mail       Image: Certified Mail         Image: Certifi
2. Article Number (Transfer from service label) 7008 323	0 0002 6932 3040
PS Form 3811, February 2004 Domestic Ret	urn Receipt 102595-02-M-1540

Tinnothy L. Hamilton 557 2 Highway 39 Sonnerset, Kentucky 42503

# **Public Notice**

Bluegrass Wireless LLC is a Kentucky limited liability company that markets its services as Blu egrass Cellular. Bluegrass Cellular has been serving Central Kentucky with wireless conmunications services for over 15 years.

Bluegrass Wireless LLC is applying to the Public Service Commission of the Commonwealth of Kentucky (the "Commission") for a Certificate of Public Convenience and Necessity to construct and a new cell facility to provide cellular telephone service. This facility will include a 240-foot tower to be located at 265 Garrison Road, Somerset, Kentucky 42503. A map sho wing the location is attached.

The Commission invites your comments regarding this proposed construction. Also, the Commission wants you to be aware of your right to intervene in this matter. Your comments and request for intervention should be addressed to:

Executive Director's Office Public Service Commission of Kentucky P.O. Box 615 Frankfort, Kentucky, 40602.

#### Please refer to case number 2009-00112 in your correspondence.

SENDER: COMPLETE THIS SE	CTION	COMPLETE THIS SECTION ON DEL	IVERY
<ul> <li>Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.</li> <li>Print your name and address on the reverse</li> </ul>		A. Signature	Agent
so that we can return the card Attach this card to the back of or on the front if space permits	to you. the mailpiece,	B. Received by (Printed Name)	C. Date of Delivery 3 - 72 1-2 - 9
1. Article Addressed to:		D. Is delivery address different from item 1? Yes If YES, enter delivery address below: I No.	
Timothy Hami	lton	Tim HAM	v/Jou
5072 Highu	)ay 39 "	3. Service Type	
Somuset, KY 42503		Certified Mail     Express Ma     Registered     Insured Mail     C.O.D.	il eipt for Merchandise
		4. Restricted Delivery? (Extra Fee)	☐ Yes
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PS Form 3811, February 2004	Domestic Ret	urn Receipt	102595-02-M-1540 ;
### Dinsmore Shohl

Kerry W. Ingle (502) 540-2354 (Direct Dial) kerry.ingle@dinslaw.com

March 19, 2009

*Via Certified Mail* Honorable Barty Bullock Pulaski County Judge Executive Courthouse 100 North Main Street P.O. Box 712 Somerset, Kentucky 42502

#### Re: Application of Bluegrass Wireless LLC d/b/a Bluegrass Cellular for a Certificate of Public Convenience and Necessity to construct a cellular tower to be located at 265 Garrison Road, Somerset, Kentucky, 42503, before the Public Service Commission of the Commonwealth of Kentucky, Case No. 2009-00112

Dear Judge Bullock:

Bluegrass Wireless LLC ("Bluegrass Wireless") is a Kentucky limited liability company that markets its services as Bluegrass Cellular. Bluegrass Wireless is applying to the Public Service Commission of Kentucky (the "Commission") for a Certificate of Public Convenience and Necessity to propose construction and operation for a new facility to provide cellular radio telecommunications service in rural service area ("RSA") #6 in Pulaski County. The facility will include a 240 ft. tower and an equipment shelter to be located at 265 Garrison Road, Somerset, Kentucky, 42503. A map showing the location of the proposed new facility is enclosed.

The Commission invites your comments regarding the proposed construction. You also have the right to intervene in this matter.

Your comments and request for intervention should be addressed to: Executive Director's Office, Public Service Commission, P.O. Box 615, Frankfort, Kentucky 40602. Please refer to case number 2009-00112 in your correspondence.

Very truly yours,

DINSMORE & SHOHL LX Paralegal

Enclosure

Sub-States Contractions and the set of the state of t

143673\_1 33597-21

SENDER: COMPLETE THIS SECTION	COUPLETE THIS SECTION ON DELIVERY
<ul> <li>Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.</li> <li>Print your name and address on the reverse so that we can return the card to you.</li> <li>Attach this card to the back of the mailpiece, or on the front if space permits.</li> </ul>	A Signature A Signature B. Regelived ( Printed Name) C. Date of Deliver
1. Article Addressed to: HON, Barty Bullock Pulaski Comby Judge	D 1s delivery address different from item 1? ☐ Yes If YES, enter delivery address below: No
P.O.BOX 712 Somerset, KY42502	3. Service Type Generatified Mail  Express Mail Registered  Return Receipt for Merchandise Insured Mail  C.O.D.
	4. Restricted Delivery? (Extra Fee) □ Yes
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Please refer to P.S.C. Case #2009-00112 in your correspondence.





## **PUBLIC NOTICE**

Bluegrass Wireless LLC proposes to construct a cellular communications

# TOWER

near this site. If you have any questions please contact:

į₽.

Bloegrass Wireless LLC P. O. Box 5012 2002 Ring Road Elizabetblown, NY 42701

Executive Director, Public Service Commission 211 Sower Boulevord P. O. Box 815 Franktort, KY 40802

Please refer to P.S.C. Case #2009-00112 in your correspondence.







### **PUBLIC NOTICE**

Bluegrass Wireless LLC proposes to construct a cellular communications

## TOWER

on this site. If you have any questions please contact:

Bluegrass Wireless LLC P. D. Box 5012 2902 Ring Road Elizabothtowo, KY 42706

Executive Director, Public Service Commission 211 Sower Boolevard P. O. Bon 615 Franklort, KY 40602

Please refer to P.S.C. Case #2009-00112 in your correspondence.



Commonwealth Journal Thursday, March 26, 2009 Somerset, Kentucky 13

910 Legals

#### Legals

RTH, Anglin Acres Oakland Rd. Nancy No Trespassing, Hunting, No Fish-No 4 Wheeling. t Responsible for y accidents or Injus.01/10

HITAKER, Carl G. & ina. No trespassing, i hunting, no 4-wheelg.Not liable for any cidents or injuries curring on any and properties. 11/09

#### ILLUMSEN, Skip &

arrie- No hunting, espassing, or ATV ding on property. Not esponsible for any acidents or injuries on roperty located at 519 Jasper Lake rive, Burnside, KY. 0/09 WILSON, BILLY L. & SHIRLEY- No hunting. No fishing. No trespassing on any properties including leased properties. Not responsible for any accidents or injuries occurring on any properties. All violators will be prosecuted. 11/09

910 Legals

Wilson, Crystal/ Murray, Chris 151 Roberts Bend Road in Burnside, 8+ acres. No tresspassing, no fourwheeling, or fishing. Not Responsible for accidents. 06/09

ZUMBIEL, Bill & Rose No trespassing or hunting allowed on any and all property located in Pulaski Co. Not responsible for accidents. 4/09

WILSON, Roderick. No hunting, no trespassing, no fishing, no four wheeling. Not responsible for any accidents or injuries occurring on any or all properties. 11/09

WOODS, Lyndon & Beverly. No trespassing, No hunting, No Fishing, No 4 wheeling. Not responsible for accidents or injuries that may occur on any and all properties in Pulaski County. 01/10

WOOTEN- HAMP & BEU-NA, ARZONA, NAOMIA-NO TRESSPASSING, NO FISHING, NO HUNTING. NOT LIABLE FOR ANY ACCIDENTS OR INJU-RIES ON ANY & ALL PROPERTIES. 12/09



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#### NOTICE OF PUBLIC MEETING Mt. Victory Fire Department

Fire Department 1:00 p.m.

A public meeting will take place at 1:00 p.m. April 6, 2009, at Mt. Victory Volunteer Fire Department for the purpose of providing general information to the public regarding the proposed Tanker Truck Purchase project. The public is invited to attend and comment on such issues as economic and environmental impacts, service area, alternatives to the project or any other pertinent issues. Mt. Victory Fire Department

By: Chief Steven Dykes

**NOTTICE** Bluegrass Wireless LLC is applying to the Public Service Commission of Kentucky for a Certificate of Public Convenience and Necessity to construct and operate a new facility to provide cellular radio telecommunications service in rural service area #6 of the Commonwealth of Kentucky (Dabney Cell Site). The facility is a 240-foot tower and an equipment shelter to be located at 265 Garrison Road. Somerset, Kentucky 42503. Your comments and requests for intervention should be addressed to: Executive Director's Office. Public Service Commission, Post Office Box 615, 211 Sower Boulevard, Frankfort, Kentucky 40602. Please refer to Case No. 2009;00112 in your correspondence.



tion Other than Navation System. (Opted 6 Disc In-dash Playinstead) DVD Enterainment System w/2 Wireless Headsets. Never Used and Renote. Sunroof, Power lunning Boards, Powr Lift Gate, (SERIOUS INQUIRIES ONLY). Asking \$25,000.

606-679-0174. Leave Message.

2006 Black Jeep Rubicon 14,000 miles, automatic, hard top. soft top, bikini top Call 606-416-4469

2003 Toyota Rave 4 84, 000 miles, Nice clean car. \$9500.00 Call 606-676-0662

2000 Jeep Wrangler, **Red W/Spice Color** Top. New Tires, New Top, And New Interior. 3 inch, Lift Kit, Excellent Condition. \$7500. 606-451-2099

White Eddie Bauer Ford Expedition 2000. Leather, Loaded, 3rd Row Seat, \$6,500. Call 606-678-0866

1999 Dodge Durango 4x4 V8, 150K, New Tires, Runs Excellent. \$3500. Call 606-423-1947



2002 Saturn Vue AWD SUV. Grev. V-6. Loaded, Excellent Condition. \$5950. Call 305-4690 or 379-2795

2000 Escalade White, 140K, Non-Smoker, Leather Interior, Runs Great, Best Offer. Call 859-272-8181.

2006 Hummer H3. **Red Power Windows**, **Power Heated Black** Leather Seats, Built in XM Onstar Off Road Package, 17 mpg, 20K, Firm 70,000 Miles. 423-539-8773

**BEEN RECENTLY** SERVICED AND READY FOR THE WA-TER. IN GREAT CON-**DITION, HAS BEEN** GARAGED, NICE TRAILER \$4900.00 606-679-2550

2003 Cougar

2003 Model, 31 feet. Kevstone Cougar 301 BHS camper in Colonial Blue. Well taken care of. Slide out for Kitchen & Living Room area, Microwave, Refrigerator, gas stove. Bathroom with combination bath/shower. Vinvl and carpeted flooring with Sofa & Dinette sleepers. double rear Bunk beds plus Queen Bed. Sleeps 10 Comfortable. Outside show-

er, Cassette & CD sound system. 2 TV & 1 VCR. Awning and Heat & Air Conditioning. Lots of storage. Fully equipped and priced to sell. Hitch receiver, load leveling with sway bars included, (ready for the road) Call 606-872-4035 or 606-679-7596

1979 Somerset 18ft. Runabout 140HP Mercury motor, aluminum trailor, good shape \$1600. Nights 871-0019, Days 305-6799

2004 Presidential Black Club Car. Will run approx. 19 mph. Great Shape \$3500. Call 416-2867 or 677-2834.

1995 Pro 18 Basstracker Bassboat, 60 HP. Mercury 24 Volt Trowling Motor. 2 LCR's, Excellent Condition. \$4450.00 606-875-3678

Bluegrass Wireless LLC is applying to the Public Service Commission of Kentucky for a Certificate of Public Convenience and Necessity to construct and operate a new facility to provide cellular radio telecommunications service in rural service area #6 of the Commonwealth of Kentucky (Dabney Cell Site). The facility is a 240-foot tower and an equipment shelter to be located at 265 Garrison Road, Somerset, Kentucky 42503. Your comments and requests for intervention should be addressed to: Executive Director's Office. Public Service Commission, Post Office Box 615, 211 Sower Boulevard, Frankfort, Kentucky 40602, Please refer to Case No. 2009-00112 in your correspondence.

Houseboat 115 HP Mercury Motor, 12 X 50 Excellent Condition, Furnished and Many Extras. \$8000 OBO 606-862-6059

2005 Stratos Pro XL 171/2 long, wide boat, 115 Yamaha engine, garage kept, like new, many extras. Purchased new, save !!! Reduced \$11,750

676-9558

2000 Sea Doo XP. 951 cc's, rotax. Comes w/ Trailer, \$4000 obo. Call 606-224-3567 ask for Roger.

1987 Rockwood Pop Up Camper. Very Good Condition. 10 Foot Box with stove and sink \$1000.00. Call after 5pm 606-274-0224

28 foot Aluminum Pontoon with deck and skiriting, top only No Motor Or Trailer. \$1200.00 Call 606-271-2742

Get them before they are gone! Two (2) 2004 Seadoo GTX 4-TEC Ltd. Edition Jetskis. Matching pair. Like new, 3-seaters, beautiful blue, garage kept, never put in salt water, 185 hp, less than 75 hrs. on each, removable integrated GPS, depth gauge. covers. Masteryde dual trailer with spare tire. MUST SEE! \$18,000 firm. Extended warranties. Call 606-425-5845.

1996 Sea Nymph Bass Boat 15FT, Aluminum, 50HP Evenrud, Power trim tilt, Drive on Trailer, Deluxe Outfit, Must see. \$4995. 382-5942, Please leave message

#### NOTICE

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ducted air - gas turnace - sway bars lots of storage - 1992 Chevy Pick-up with fiberglass shell -

79.000 miles - V8 - 4 wheel drive, electric brakes for camper extended mirrors -Both for \$15,500 679-6224 anytime

2000 Lowe Tahiti 22'4"Deck Boat Fishing Package New 150 Honda. Call 606-872-0006 or 606-379-6543

1995 Yahama Banshee newly rebuilt .Ca 606-271-3811 740 Auto Parts & Accessories

Car trailer 16x6'10" with ramps, \$850, 608 451-1781 or 606-219 0802





#### Information on Towers Registered with the FCC in Pulaski County and 1/2 mile Area Outside of the County Boundary

FCC Tower Reg. No.	North Latitude	West Longitude	City, State	Tower Owner
1044043	37-10-03 N	84-49-30 W	Mintonville, KY	KENTUCKY AUTHORITY FOR EDUCATIONAL TELEVISION DBA = WKSO TV
1018905	37-14-47.9 N	84-26-28.5 W	Somerset, KY	Global Tower, LLC
1035924	37-05-00 N	84-37-52 W	Somerset, KY	NORFOLK SOUTHERN CORPORATION
1042206	37-08-17 N	84-32-08 W	Somerset, KY	Global Tower, LLC
1043118	37-04-41 N	84-40-39 W	Somerset, KY	First Radio Inc
1043456	37-04-03 N	84-22-37 W	Somerset, KY	DukeNet Communication Services, LLC
1043625	37-06-10 N	84-35-45 W	Somerset, KY	CELLULAR PHONE OF KENTUCKY DBA = RAMCELL
1043628	36-58-25 N	84-39-09 W	Burnside, KY	CELLULAR PHONE OF KENTUCKY, INC. DBA = RAMCELL
1043674	37-07-03 N	84-36-42 W	Somerset, KY	Capstar Radio Operating Company
1043675	37-09-16 N	84-27-35 W	Shopville/Stab, KY	Capstar Radio Operating Company
1043677	36-57-38 N	84-34-07 W	Tateville, KY	Capstar Radio Operating Company
1043977	37-01-05 N	84-34-54 W	Burnside, KY	SBA Infrastructure, LLC
1043979	37-06-12 N	84-35-43 W	Somerset, KY	Telecommunications Management LLC dba NewWave Communications
1044514	37-00-30 N	84-34-40 W	Burnside, KY	EAST KENTUCKY POWER COOPERATIVE, INC
1044797	37-01-13 N	84-23-41 W	Mt Victory, KY	KENTUCKY, COMMONWEALTH OF DBA = KY EMERGENCY WARNING SYSTEM
1047763	37-17-09.6 N	84-39-48.6 W	Eubanks, KY	Global Tower, LLC
1047989	37-06-10 N	84-35-45 W	Somerset, KY	DEAL, DOUG
1051877	37-07-52 N	84-33-15 W	Somerset, KY	Somerset Educational Broadcasting Foundation
1203424	37-04-42.3 N	84-48-36.8 W	Nancy, KY	Global Tower, LLC
1204492	37-06-22.2 N	84-37-02.7 W	Somerset, KY	Epperson Air Conditioning & Heating
1208691	37-04-40.4 N	84-36-30.8 W	Somerset, KY	Norfolk Southern Railway Company
1219832	37-05-35.3 N	84-35-47.8 W	Somerset, KY	KENTUCKY, COMMONWEALTH OF DBA = KY EMERGENCY WARNING SYSTEM
1229865	37-09-08.3 N	84-18-58.5 W	Somerset, KY	Global Tower LLC
1229869	37-11-39.7 N	84-38-18.2 W	Science Hill, KY	Global Tower LLC
1230266	37-09-26.4 N	84-23-34.2 W	Somerset, KY	Global Tower LLC
1230432	37-09-33.8 N	84-30-27.8 W	Somerset, KY	SBA Infrastructure, LLC
1230577	37-04-26.3 N	84-37-31.2 W	Somerset, KY	SBA infrastructure, LLC
1231891	37-05-59.8 N	84-39-58.6 W	Somerset, KY	SBA Infrastructure, LLC
1232264	37-05-19.7 N	84-54-47.3 W	Russell Springs, KY	SBA Infrastructure, LLC
1232715	36-56-43.9 N	84-34-04.5 W	Burnside, KY	SBA Infrastructure, LLC
1234158	37-00-16.3 N	84-35-30.8 W	Burnside, KY	East Kentucky Power Cooperative, Inc.
1234225	37-01-12.7 N	84-34-43.7 W	Somerset, KY	SBA Infrastructure, LLC
1235212	37-06-12 N	84-35-46 W	Somerset, KY	Global Tower, LLC
1237226	37-11-19.3 N	84-37-36.3 W	Science Hill, KY	East Kentucky Power Cooperative, Inc.
1247464	37-06-03.7 N	84-46-43.5 W	Nancy, KY	SBA Infrastructure, LLC
1247918	37-07-24.6 N	84-33-06.1 W	Somerset, KY	SBA Infrastructure, LLC
1250175	37-01-54 N	84-37-23 W	Somerset, KY	Bluegrass Wireless LLC

#### Information on Towers Registered with the FCC in Pulaski County and 1/2 mile Area Outside of the County Boundary

FCC Tower Reg. No.	North Latitude	West Longitude	City, State	Tower Owner
1250182	37-15-04.9 N	84-38-58.4 W	Eubank, KY	Bluegrass Wireless LLC
1250183	37-13-03.8 N	84-27-29 W	Somerset, KY	Bluegrass Wireless LLC
1250184	37-05-46.4 N	84-50-33.9 W	Nancy, KY	Bluegrass Wireless LLC
1251434	36-58-40.4 N	84-35-27.5 W	Burnside, KY	Bluegrass Wireless LLC
1251910	37-3-4.7 N	84-42-4.5 W	Somerset, KY	Bluegrass Wireless LLC
1253989	37-8-48.9 N	84-3725.1 W	Somerset, KY	Bluegrass Wireless LLC
1260416	37-4-6.5 N	84-34-6.2 W	Somerset, KY	Shared Towers, LLC
1260689	36-53-58.6 N	84-30-50.1 W	Burnside, KY	Hemphill Corporation
1260939	36-56-10.5 N	84-31-24.1 W	Burnside, KY	Shared Towers, LLC
1260942	36-58-39.8 N	84-35-24.9 W	Burnside, KY	Shared Towers, LLC
1263386	37-4-25.9 N	84-30-38.1 W	Somerset, KY	Bluegrass Wireless LLC
1264631	37-4-50.6 N	84-39-38.5 W	Somerset, KY	F.T.G. Broadcasting, Inc.