

Monday, August 20, 2007

Beth O'Donnell Director Public service Commission 211 Sower Boulevard Frankfort, KY 40602-0615 RECEIVED

AUG 2 2 2007

PUBLIC SERVICE COMMISSION

Dear Ms. O'Donnell,

Case No. 2007-00323

Enclosed, please find one original and five copies of Shared Sites, LLC's application to construct a new Wireless Communications Facility at McCormick Rd, Camargo, Kentucky 40353.

Please contact me if anything is not in order.

Regards,

David B. Jantzi

#### FOR THE PUBLIC RECORD

### COMMONWEALTH OF KENTUCKY BEFORE THE PUBLIC SERVICE COMMISSION

IN THE MATTER OF:	nesellen
APPLICATION OF SHARED SITES, LLC. AND AMERICAN CELLULAR CORPORATION FOR ISSUANCE OF A CERTIFICATE OF PUBLIC CONVIENENCE AND NECESSITY TO CONSTRUCT A WIRELESS COMMUNICATIONS FACILITY AT MCCORMICK ROAD CAMARGO, KENTUCKY 40353 IN THE WIRELESS COMMUNICATIONS LICENSE AREA IN THE COMMONWEALTH OF KENTUCKY IN THE COUNTY OF MONTGOMERY	PECEIVED  AUG 2 2 2007  PUBLIC SERVICE COMMISSION  )

CASE NUMBER: 2007-00323

**CAMARGO** 

SITE NAME:

Shared Sites, LLC. As ultimate owner, and American Cellular Corporation, as a licensed public utility in the commonwealth of Kentucky, make this application.

The property on which the Wireless Communications Facility ("WCF") will be built is located at McCormick Road, Camargo, Kentucky 40353. The WCF site is geographically positioned at 38° 00' 01.1" North latitude, 83° 53' 10.6" West longitude.

### COMMONWEALTH OF KENTUCKY BEFORE THE PUBLIC SERVICE COMMISSION

IN THE MATTER OF:

APPLICATION OF SHARED SITES, LLC.	)
AND AMERICAN CELLULAR CORPORATION	) AECEIVED
FOR ISSUANCE OF A CERTIFICATE OF PUBLIC	) "IVED
CONVIENENCE AND NECESSITY TO CONSTRUCT	)
A WIRELESS COMMUNICATIONS FACILITY AT	) AUG 2 2 2007
MCCORMICK ROAD	) PUBLIC SERVICE
CAMARGO, KENTUCKY 40353	) COMMISSION
IN THE WIRELESS COMMUNICATIONS LICENSE AREA	)
IN THE COMMONWEALTH OF KENTUCKY	)
IN THE COUNTY OF MONTGOMERY	)

SITE NAME:

CAMARGO

CASE NUMBER:

2007-00323

UNIFORM APPLICATION: CONFIDENTIAL AND PROPRIETARY

Shared Sites, LLC. ("Shared Sites"), as ultimate owner, and American Cellular Corporation ("Provider") as a licensed public utility in the Commonwealth of Kentucky, hereinafter jointly referred to as "Applicants", respectfully submit their Application for a Certificate of Public Convenience and Necessity from the Public Service Commission to construct, maintain, and operate a Wireless Communications Facility ("WCF") to serve the customers of the Provider with wireless and telecommunications services, and other wireless service provider collocations in the area described herein.

In support of this Application, the Applicants respectfully provide and state the following information:

1. The complete names and addresses of the Applicants are:

Shared Sites, LLC., a Kentucky Limited Liability Company, having a mailing address of 1390 Chain Bridge Road #40, McLean, Virginia 22101 (703) 893-0806.

American Cellular Corporation, a Delaware Corporation, 3910 South Ave. Youngstown, OH 44512, 73134 having a local address of 124 South Keeneland Drive, Suite 1, Richmond, KY 40475, (606) 544-2355.

- 2. Shared Sites constructs, owns, manages, maintains, and operates independent communications networks. Shared Sites owns and manages safe, clean and well maintained facilities. Shared Sites facilities do not generate smoke, odors, noise, noxious gases, vibrations, or traffic increase. Shared Sites facilities will not pollute air, soil, or water, nor will they adversely affect radio or television reception or transmission. A certified copy of the Certificate of a Limited Liability Company issued by the Secretary of State of the State of West Virginia and a copy of the Certificate of Authorization which was issued by the Secretary of State of the Commonwealth of Kentucky for Shared Sites, LLC. are attached or described as part of Exhibit A. A copy of the Certificate of Authorization issued by the Secretary of State of the Commonwealth of Kentucky and a copy of the Certificate of Merger issued by the Secretary of State of the State of the State of Delaware for the Provider are attached or described as part of Exhibit B.
- 3. After completion of the proposed WCF, Shared Sites will lease or license space on said tower and the surrounding site so the Provider may locate and operate its facility including all required antennas and appurtenances. The proposed WCF will serve an area completely within the Provider's Federal Communications Commission ("FCC")

licensed service area in the Commonwealth of Kentucky. The Provider is authorized to provide wireless service by the FCC and the PSC. A copy of the Provider's FCC license to provide wireless service is attached to this Application or described as part of **Exhibit C**. Shared Sites has located the proposed site in a manner such that other wireless communications service providers will desire to collocate on said tower, and will endeavor to provide all necessary facilities to make collocation attractive to them.

- 4. The public convenience and necessity require the construction of the proposed WCF. The construction of the WCF will bring the Provider's services to an area currently not served or not adequately served by the Provider and will thereby enhance the public's access to innovative and competitive wireless telecommunications services. The WCF will provide a necessary link in the Provider's telecommunications network that is designed to meet the increasing demands for wireless services in Kentucky's wireless communications licensed area. The WCF is an integral link in the Provider's network design that must be in place to cover the proposed service area.
- 5. Shared Sites' construction of the described WCF is desirable because it allows for the collocation of additional wireless service providers within this portion of the Kentucky wireless communications licensed area. These services may include telecommunications, wireless data transfer and internet services, wireless cable, paging systems, 911 service, and other new products currently being developed in the wireless industry. In addition, the WCF will be available for use by governmental agencies and providers of emergency services. The WCF will provide a necessary link in Shared Sites' and the Provider's wireless infrastructure networks, and Shared Sites, as part of it's business structure, will diligently pursue and encourage other wireless providers to collocate on the WCF. These services will provide increased competition in the in the local

Kentucky telecommunications market, which will, in turn, promote competitive pricing, quality, and coverage options to users of telecommunications services in this area. Shared Sites' vested interest in the collocation of wireless service providers promotes the same goals for the local consumers.

- 6. The Applicants propose to construct a WCF at McCormick Road, Camargo, Kentucky 40353 (38° 00' 01.1" North latitude, 83° 53' 10.6" West longitude). In an area located entirely within the county referenced in the caption of this application. The property on which the WCF will be located is owned by Henry and Jeanetta Barnett. The proposed WCF will consist of a 250 foot guyed tower with an approximately 6-foot lightning arrester attached to the top, for a total height of 256 feet. The WCF will also include concrete foundations to accommodate the placement of the Provider's proprietary radio electronics equipment. The equipment will be housed in a prefabricated cabinet or shelter that will contain: (i) the transmitting and receiving equipment required to connect the WCF with the Provider's users in Kentucky, (ii) telephone lines that will link the WCF with the Provider's other facilities, (iii) battery back-up that will allow the Provider to operate even after a loss of outside power, and (iv) all other necessary appurtenances. The Provider's equipment cabinet or shelter will be approved for use in the commonwealth of Kentucky by the relevant building inspector. The WCF compound will be fenced and all access gate(s) will be secured. A description of the manner in which the proposed WCF will be constructed is attached as Exhibit D and Exhibit E. Periodic inspections will be performed on the WCF in accordance with the applicable regulations or requirements of the PSC. The list of competing utilities, corporations, or persons is attached as Exhibit F.
- 7. Reduced copies of the site development plan have been included as **Exhibit**D and **Exhibit** E of this application. A vertical profile sketch of the WCF signed and sealed

by a professional engineer registered in Kentucky depicting the tower height, as well as a proposed configuration for the antennas of the provider and future antenna mounts, has also been included as part of **Exhibit E**. Foundation design plans and a description of the standards according to which the tower was designed signed and sealed by a professional engineer registered in Kentucky is included as part of **Exhibit D**.

- 8. The Applicants have considered the likely effects of the installation of the proposed WCF on nearby land uses and values and have concluded there is no more suitable location reasonably available from which adequate services can be provided, and that there are no reasonably available opportunities to collocate. The Applicants have attempted to collocate on suitable existing structures such as telecommunications towers or other suitable structures capable of supporting the Provider's facilities. No other suitable and available collocation site was found to be located in the vicinity of the site. Information regarding the Applicants' efforts to achieve collocation in the vicinity are presented as **Exhibit G**.
- 9. The Applicants have conducted a preliminary aeronautical evaluation for the proposed WCF. The evaluation determined that the proposed structure height at this site meets Federal Aviation Administration ("FAA") Regulation requirements. Furthermore, FAA notice is required for the proposed construction, and lighting or marking requirements may be applicable to this facility. A copy of the FAA Application is attached as **Exhibit H**. Upon receiving a "Determination" from the FAA, the Applicants will forward a copy as a supplement to this Application Proceeding
- 10. A copy of the Kentucky Airport Zoning Commission ("KAZC") Application for the proposed WCF is attached as **Exhibit I**. Upon receiving authorization from the KAZC,

the Applicants will forward a copy of the determination as a supplement to this Application Proceeding

- 11. The WCF will be registered with the FCC pursuant to applicable federal requirements. Appropriate required signage will be posted on this site upon receipt of the tower registration number.
- 12. A geotechnical-engineering firm has performed soil boring(s) and subsequent geotechnical-engineering studies at the WCF site under the supervision of a professional engineer registered in the Commonwealth of Kentucky who specializes in geotechnical engineering, including subsurface exploration. The geotechnical-engineering firm has performed many such studies for the communications industry. A copy of the geotechnical-engineering report and evaluation signed and sealed by a professional engineer registered in the Commonwealth of Kentucky who specializes in geotechnical engineering, including subsurface exploration, is attached as **Exhibit J**. The name and address of the geotechnical-engineering firm and the professional engineer registered in the Commonwealth of Kentucky who supervised the examination of this WCF site are included in **Exhibit J**.
- 13. Clear directions to the proposed WCF site from the County seat are attached as **Exhibit K**. The name and address of the preparer of **Exhibit K** is included in **Exhibit K**.
- 14. Shared Sites, pursuant to a written agreement, has acquired the right to use the WCF site and associated property rights. A copy of the agreement or an abbreviated agreement recorded with the County Clerk is attached as **Exhibit L**. Also included as part of **Exhibit L** is the portion of the full agreement demonstrating that in the case of abandonment a method is provided to dismantle and remove the cellular antenna tower.

- 15. Personnel directly responsible for the design and construction of the proposed WCF are well-qualified and experienced. Nello Corporation (the Tower Manufacturer) performed the tower and foundation design. The Tower Manufacturer is a nationally recognized manufacturer and designer of communication towers. The Tower Manufacturer has designed and installed communications towers throughout North America. The Tower Manufacturer has assigned Dan lanello and/or Dennis Abel, both professional engineers registered in the commonwealth of Kentucky, to design the Tower for the WCF. Both engineers specialize in the design and engineering of guyed, self support and monopole structures, and have extensive experience in the design and construction of projects similar to the Applicants'. These projects include the design of towers and the required foundations of many other wireless facilities. All of the designs have been/will be signed and sealed by Dan lanello and/or Dennis Abel. The construction of the proposed WCF will be performed by Shared Sites or their agents who are insured and experienced tower erection specialists. The Project Manager, David Jantzi, will manage the construction of the WCF and the tower erection. David has been erecting towers for the telecommunications industry for over 15 years. All tower designs will meet or exceed applicable laws and regulations.
- 16. Based on a review of Federal Emergency Management Agency Flood Insurance Rate Maps, the registered land surveyor has certified in **Exhibit M** that the proposed WCF is not located within any flood hazard area.
- 17. The possibility of high winds has been considered in the design of this tower. The tower has been designed and engineered by professional engineers using computer assistance and the same accepted codes and standards as are typically used for high-rise building construction. The tower has been designed to withstand a wind loading of 70

m.p.h. with ½ inch of radial ice. This tower has been designed in accordance with the Electronic Industries Association ("EIA") 222-F 1996 Standards, which have been accepted and approved by ANSI and is a nationally recognized tower design standard. Similarly, the proposed WCF design has been developed with consideration of potential ground shaking based on a negligible seismic zone of 1. Seismic loading is regarded as secondary to the wind loading.

- 18. The site development plan signed and sealed by a professional engineer registered in Kentucky was prepared by David B. Sharp, and was designed from a survey performed by J. D. Williams Jr.. This site development plan is drawn to a scale of no less than one (1) inch equals 200 feet, and identifies every owner of real estate within 500 feet of the proposed tower (according to the Property Valuation Administrator) and is incorporated in the survey as part of **Exhibit E**. Every structure and every easement within 500 feet of the proposed tower or within 200 feet of the access road including intersection with the public street system is incorporated in the survey as part of **Exhibit E**.
- 19. Shared Sites, on behalf of itself and the Provider, has notified every person who owns property within 500 feet of the proposed tower by certified mail, return receipt requested, of the proposed construction. Each property owner has been informed of their right to request intervention. A list of the nearby property owners who received the notices, together with copies of the certified letters, are attached as **Exhibit N** and **Exhibit O**, respectively.
- 20. Shared Sites, on behalf of itself and the Provider, has notified the Montgomery County Judge Executive by certified mail, return receipt requested, of the proposed construction. This notice informed the Montgomery County Judge Executive of his/her right to request intervention. A copy of this notice is attached as **Exhibit P**.

- 21. Two appropriate notice signs measuring at least two (2) feet in height and four (4) feet in width with all required language in letters of required height have been posted in a visible location on the proposed site and on the nearest public road and shall remain posted for at least two (2) weeks after filing of the Application. Copies of the postings are attached as **Exhibit Q**. The location of the proposed facility has been published in a newspaper of general circulation in the county where the WCF is located.
  - 22. The property where WCF is proposed to be constructed is not zoned.
- 23. The process that was used in selecting the site for the proposed WCF by the Applicants' radio frequency engineers was consistent with the process used for selecting generally all other existing and proposed WCF facilities within the proposed network design Before beginning the acquisition process, the Applicants carefully evaluated the location of the required WCF for possible collocation opportunities on existing structures. Radio Frequency Engineers used computer programs to evaluate the most effective coverage design for facilitating collocation potential on the proposed tower. Shared Sites and the Provider's radio frequency engineers have combined their efforts in order to develop a highly efficient network that is designed to serve the Federal Communications Commission licensed territory without extending beyond the Provider's approved boundary. The engineers selected the optimum vicinity in terms of elevation and location to provide the best quality service to customers in the service area. A proposed coverage area was considered by the Applicants when searching for sites that would provide both (i) the coverage deemed necessary by the Provider, and (ii) the coverage deemed necessary by Shared Sites to permit the integration of the proposed WCF into Shared Sites' overall network design. No suitable towers or existing structures were found in the immediate area

which would meet the technical requirements for this element of the telecommunications network. A map of the area in which the tower is proposed to be located which is drawn to scale and clearly depicts the necessary search area within which the site, pursuant to radio frequency requirements, be located is attached as **Exhibit R**.

- 24. A grid map showing the location of all existing cellular antenna towers that includes the general position of proposed construction sites for new cellular antenna towers within the Commission's jurisdiction and one-half mile outside the boundary of the planning unit's jurisdiction if that area contains either existing or proposed construction sites for cellular antenna towers is attached as **Exhibit S**.
- 25. All Exhibits to this application are hereby incorporated by reference as if fully set out as part of the Application.

26. All responses and requests associated with this Application may be directed

to:

David Jantzi Boulevard Properties, LLC 7383 Utica Blvd. Lowville, NY 13367 Telephone: (315) 523-6258

And

Kamal Doshi Shared Sites, LLC 1390 Chain Bridge Road #40 McLean, VA 22101 Wherefore, the applicants respectfully request that the PSC accept the foregoing Application for filing and having met the requirements of KRS 278.020 and all applicable rules and regulations of the PSC, grant a Certificate of Public Convenience and Necessity to construct and operate the WCF at the location set forth herein for the respective networks in the commonwealth of Kentucky.

Respectfully submitted,

Kamal Doshi

Shared Sites, LLC

1390 Chain Bridge Road #40 McLean, Virginia 22101

Telephone: (703) 893-0806

And

Timothy J. Duffy

Chief Technical Officer / Senior Vice President

Network Operations & Engineering

American Cellular Corporation

14201 Wireless Way

Oklahoma City, OK 73134

(405) 529-8660

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#### LIST OF EXHIBITS

- A. Certificate of LLC from the State of West Virginia and copy of application for Certificate of Authority to the State of Kentucky for Shared Sites, LLC.
- B. Certificate of Authorization from the State of Kentucky and Certificate of Merger for American Cellular Corporation
- C. Copy of FCC license for American Cellular Corporation
- D. Tower and Foundation Plan
- E. Site Development Plan:

Vicinity Map
Property Owner Listing
500' Vicinity Map
Legal Descriptions
Site Plan
Vertical Tower Profile

- F. Competing Utilities, Corporations, or Persons List
- G. Collocation Report
- H. Application to FAA
- I. Application to Kentucky Airport Zoning Commission
- J. Geotechnical report
- K. Directions to WCF Site
- L. Copy of Real Estate Agreement
- M. Flood Plain Certification
- N. Certification of Notification
- O. Copy of Property Owner Notification
- P. Copy of County Judge Executive Notice
- Q. Copy of Posting Notices
- R. Copy of Radio Frequency Design Search Area
- S. Tower Map for Subject County

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#### **EXHIBIT A**

CERTIFICATE OF LLC FROM THE STATE OF WEST VIRGINIA

AND

CERTIFICATE OF AUTHORITY FROM THE COMMONWEALTH OF KENTUCKY

FOR SHARED SITES WV, LLC





### I, Betty Ireland, Secretary of State of the State of West Virginia, hereby certify that

#### SHARED SITES WV, LLC

Control Number: 90252

has filed its "Articles of Organization" in my office according to the provisions of West Virginia Code §§31B-2-203 and 206. I hereby declare the organization to be registered as a limited liability company from its effective date of December 20, 2006 until the expiration of the term or termination of the company.

Therefore, I hereby issue this

#### CERTIFICATE OF A LIMITED LIABILITY COMPANY



Given under my hand and the Great Seal of the State of West Virginia on this day of December 20, 2006

Detty Teland
Secretary of State

# Commonwealth of Kentucky Trey Grayson Secretary of State

#### **Certificate of Authorization**

I, Trey Grayson, Secretary of State of the Commonwealth of Kentucky, do hereby certify that according to the records in the Office of the Secretary of State,

#### SHARED SITES WV, LLC

, a limited liability company organized under the laws of the state of West Virginia, is authorized to transact business in the Commonwealth of Kentucky and received the authority to transact business in Kentucky on December 20, 2006.

I further certify that all fees and penalties owed to the Secretary of State have been paid; that an application for certificate of withdrawal has not been filed; and that the most recent annual report required by KRS 275.190 has been delivered to the Secretary of State.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my Official Seal at Frankfort, Kentucky, this 7th day of February, 2007.

Certificate Number: 43278

Jurisdiction: Boulevard Properties, LLC

Visit http://apps.sos.ky.gov/business/obdb/certvalidate.aspx\_to validate the authenticity of this

certificate.



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Trey Grayson Secretary of State Commonwealth of Kentucky 43278/0653332

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#### **EXHIBIT B**

## CERTIFICATE OF AUTHORIZATION FROM THE COMMONWEALTH OF KENTUCKY

AND

CERTIFICATE OF MERGER FROM THE STATE OF DELAWARE

FOR AMERICAN CELLULAR CORPORATION

# Commonwealth of Kentucky Trey Grayson Secretary of State

#### **Certificate of Authorization**

I, Trey Grayson, Secretary of State of the Commonwealth of Kentucky, do hereby certify that according to the records in the Office of the Secretary of State,

#### AMERICAN CELLULAR CORPORATION

, a corporation organized under the laws of the state of Delaware, is authorized to transact business in the Commonwealth of Kentucky, and received the authority to transact business in Kentucky on January 20, 2004.

I further certify that all fees and penalties owed to the Secretary of State have been paid; that an application for certificate of withdrawal has not been filed; and that the most recent annual report required by KRS 271B.16-220 has been delivered to the Secretary of State.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my Official Seal at Frankfort, Kentucky, this 13th day of February, 2006.

Certificate Number: 26879 Jurisdiction: Shared Sites, LLC

Visit <a href="http://apps.sos.ky.gov/business/obdb/certvalidate.aspx">http://apps.sos.ky.gov/business/obdb/certvalidate.aspx</a> to validate the authenticity of this

certificate.



Tabz

Trey Grayson Secretary of State Commonwealth of Kentucky 26879/0576718

# Delaware

### The First State

I, HARRIET SMITH WINDSOR, SECRETARY OF STATE OF THE STATE OF DELAWARE, DO HEREBY CERTIFY THE ATTACHED IS A TRUE AND CORRECT COPY OF THE CERTIFICATE OF MERGER, WHICH MERGES:

"ACC OF KENTUCKY LLC", A DELAWARE LIMITED LIABILITY COMPANY, WITH AND INTO "AMERICAN CELLULAR CORPORATION" UNDER THE NAME OF "AMERICAN CELLULAR CORPORATION", A CORPORATION ORGANIZED AND EXISTING UNDER THE LAWS OF THE STATE OF DELAWARE, AS RECEIVED AND FILED IN THIS OFFICE THE THIRTY-FIRST DAY OF DECEMBER, A.D. 2003, AT 10:30 O'CLOCK A.M.

AND I DO HEREBY FURTHER CERTIFY THAT THE EFFECTIVE DATE OF THE AFORESAID CERTIFICATE OF MERGER IS THE THIRTY-FIRST DAY OF DECEMBER, A.D. 2003, AT 11:30 O'CLOCK A.M.

A FILED COPY OF THIS CERTIFICATE HAS BEEN FORWARDED TO THE NEW CASTLE COUNTY RECORDER OF DEEDS.



Varriet Smith Hindson

AUTHENTICATION: 2856461

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# EXHIBIT C COPY OF FCC LICENSE FOR AMERICAN CELLULAR

#### Federal Communications Commission

#### Wireless Telecommunications Bureau

#### Page 1 of 4

#### Radio Station Authorization

LICENSEE NAME: American Cellular Corporation

RONALD L. RIPLEY

AMERICAN CELLULAR CORPORATION

Azimuth (from true north) O

14201 WIRELESS WAY OKLAHOMA CITY OK 73134

FCC Registration	* *
Call Sign	File Number
KNKN838	0001571120
Radio CL - Ce1	Service lular
Market Number	Channel Block
CMA450	A
Sub-Market	Designator
0	•

**Market Name** 

Kentucky 8 - Mason

· Grant Date	Effective Date	Expiration Date	Five Yr Build-Out Date	Print Date
10-30-2001	01-07-2004	10-01-2011		01-14-2004

#### SITE INFORMATION

Location Latt 2 038- Address City MOREHEAD	14-43.0	Longitude N 083-25-18.0 W Forestry Ridge Ro County ROWAN	Ground Eler (meters) 405.5 ad State KY		Structure (meters) 109.8 struction	_	, F	Antenna Sti Registratio 1042211	
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180

225

270

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#### Conditions:

Antenna: 1

Pursuant to Section 309(h) of the Communications Act of 1934, as amended, 47 U.S.C. Section 309(h), this license is subject to the following conditions: This license shall not vest in the licensee any right to operate the station nor any right in the use of the frequencies designated in the license beyond the term thereof nor in any other manner than authorized herein. Neither the license nor the right granted thereunder shall be assigned or otherwise transferred in violation of the Communications Act of 1934, as amended. See 47 U.S.C. Section 310(d). This license is subject in terms to the right of use or control conferred by Section 706 of the Communications Act of 1934, as amended. See 47 U.S.C. Section 606.

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# EXHIBIT D TOWER AND FOUNDATION DESIGN



1301 Stahly Drive P. O. Box 376 Nappanee, IN 46550

Phone: 574-773-4827 Fax: 574-773-5840 www.nelloinc.com

August 9, 2007

Mr, Matthew Wallack Boulevard Properties 7383 Utica Blvd. Lowville, NY 13367 mwallack@blvdlle.com

Re: Nello Tower and Foundation Designs for Kentucky

Dear Mr. Wallack:

This is in response to your inquiry about the design of your towers and foundations being located in Kentucky.

- The tower and foundation designs are reviewed and sealed by a Professional Engineer actively licensed in the State of Kentucky. More specifically, they will be sealed by me (KY PE #22516) or by Dan lanello (KY PE #21958).
- We use a soil report to design the foundation. The soil report is then referenced in the foundation notes on the tower and foundation drawing.
- The full tower loading and reactions are used for the foundation design. The foundation design reactions are listed on the tower and foundation drawing.

This design criteria will be applied to all of the following sites:

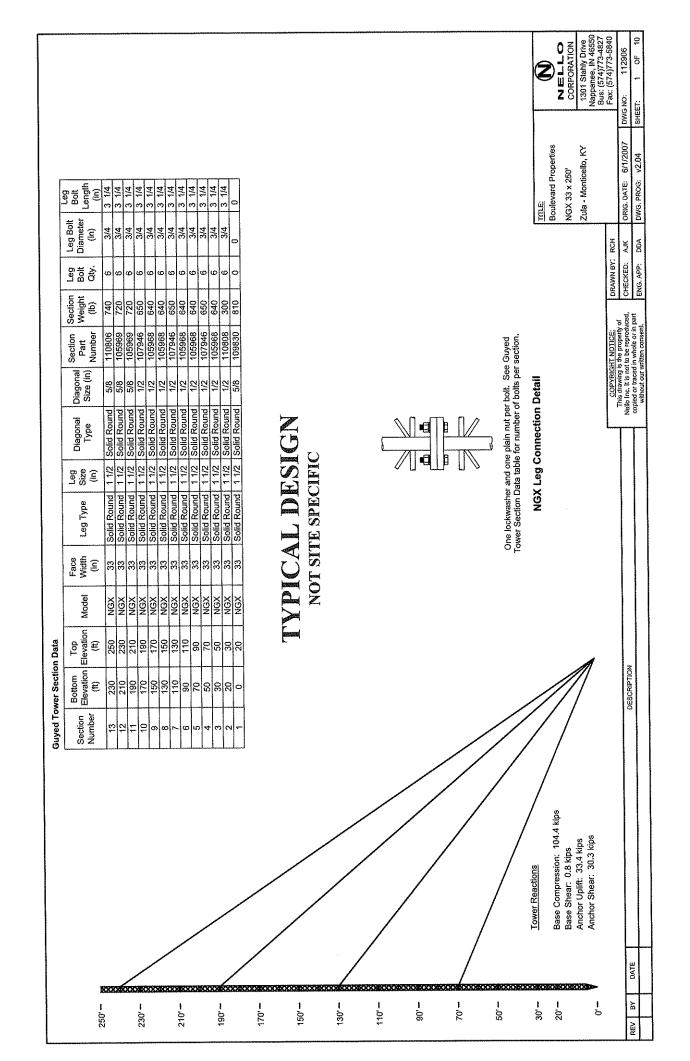
- Camargo Mount Sterling, Kentucky
- Rineltown Springfield, Kentucky
- Cartwright Creek Springfield, Kentucky
- Level Green Mount Vernon, Kentucky
- Needmore Danville, Kentucky
- Wolf Creek Dam Jamestown, Kentucky
- Alpine Burnside, Kentucky
- Elihu Somerset, Kentucky
- Burdick Campbellsville, Kentucky

If you have any other questions or concerns regarding these projects, please contact my by phone at 574-773-4827 ext. 222 or by e-mail at dabel@nelloinc.com.

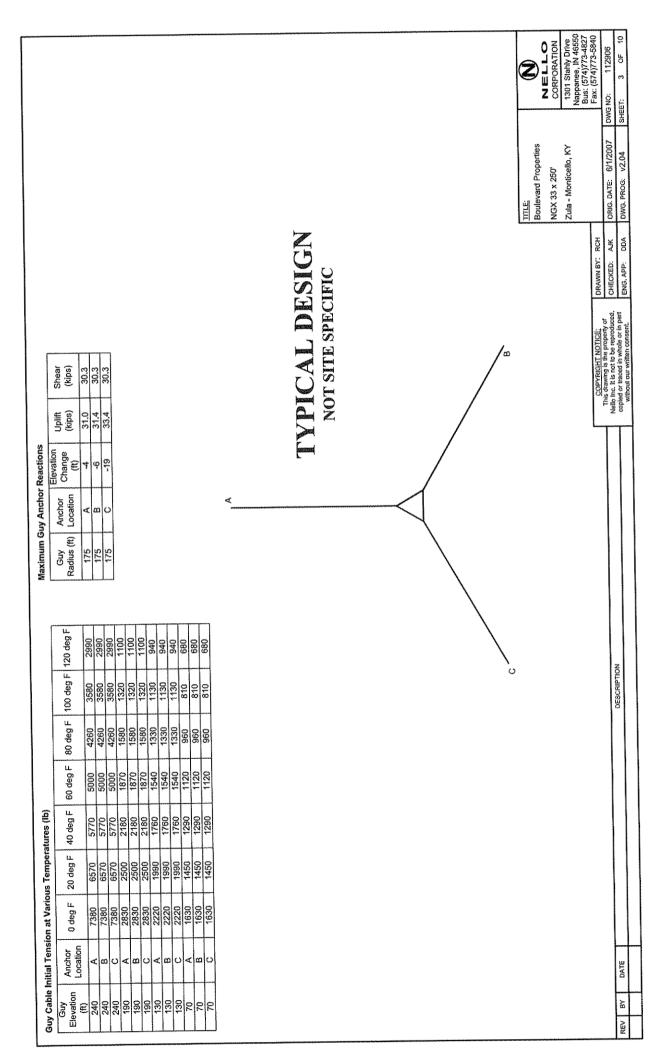
Sincerely,

Dennis D. Abel, P.E. Chief Engineer

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				COPPRIGHT NOTICE: This drawing is the property of This drawing is the property of Nello Inc. It is not to be reproduced, copied or traced in whole or in part whoul our written consent.
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Height Qty. Description 125' 2 3' Solid Dish Dish Loading Height Qiy, Description

0'-250' 1 1" Conduit

0'-250' 12 LDF7-50A (1-5/8 FOAM)

0'-240' 12 LDF7-50A (1-5/8 FOAM)

220'-220' 12 LDF7-50A (1-5/8 FOAM)

0'-220' 24 LDF7-50A (1-5/8 FOAM)

0'-220' 24 LDF7-50A (1-5/8 FOAM)

0'-126' 2 LDF7-50A (1-5/8 FOAM) Feedline Loading 
 Qly.
 Description

 1
 Beacon (12" x 36")

 1
 4\* Lighthing Rod

 12
 8\* X 1\* X\* Pamel Antenna on 96" Pipe

 12
 4\* X 1\* X\* Panel Antenna on 98" Pipe

 12
 4\* X 1\* X\* Panel Antenna on 98" Pipe

 3
 12" KD Sector Frames, No Pipes

 12
 8\* X 1\* X\* Panel Antenna on 96" Pipe

 12
 8\* X 1\* X\* Panel Antenna on 96" Pipe

 12
 8\* X 1\* X\* Panel Antenna on 48" Pipes

 12
 4\* X 1\* X\* Panel Antenna on 48" Pipes

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 4\* X 1\* X\* Panel Antenna on 48" Pipes

 12
 4\* X 1\* X\* S\* Panel Antenna on 48" Pipes

 12
 4\* X 1\* X\* S\* Panel Antenna on 48" Pipes
 Antenna Loading 

TYPICAL DESIGN NOT SITE SPECIFIC

NELLO CORPORATION 1301 Stahly Drive Nappanee, IN 46550 Bus; (574)773-4827 Fax: (574)773-5840

Zula - Monticello, KY

**Boulevard Properties** 

NGX 33 x 250°

DWG NO:

ORIG, DATE: 6/1/2007

DRAWN BY: RCH
CHECKED: AJK
ENG. APP: DDA

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DESCRIPTION

DATE

REV BY

DWG. PROG: v2.04

# Tower Notes

1. Tower is designed per TIA/EIA-222-F, "Structural Standards for Steel Antenna Towers and Antenna Supporting Structures," for the following loading conditions:

70 mph fastest-mile basic wind speed with no ice

70 mph fastest-mile basic wind speed with 1/2 inch radial ice with a 25% reduction in wind loading

Tower design loading is assumed to be based on site-specific data and must be verified by others prior to installation. Tower design loading is assumed to be based on site-specific data and must be verified by ourses prior to make
 Tower design includes the antennas, dishes, and/or lines listed in the appurtenance loading tables on sheet 4.

Anterna mounting pipes may need to be field cut to match the lengths listed in the appurtenance loading tables on sheel 4.

5. Tower member design does not include stresses due to erection since erection equipment and procedures are unknown. Tower installation shall be performed by competent and qualified erectors in

accordance with TIA/EIA-222-F and OSHA standards and all applicable building codes.

6. Field connections shall be bolted. No field welds shall be allowed unless otherwise noted.

Structural bolts shall conform to ASTM A325, except for 1/2 inch diameter and smaller bolts, which shall conform to ASTM A449 or SAE J429 Grade 5.

8. Structural steel and connection bolts shall be galvanized after fabrication in accordance with TIA/EIA-222-F.

9. All high strength bolts shall be tightened to a "snug tight" condition as defined in the November 13, 1985, AISC "Specification for Structural Joints Using ASTM A325 or A490 Bolts."

Tower shall be marked and lighted in conformance with local building codes, FAA regulations, and TIA/EIA-222-F.

11. Tower shall be grounded in conformance with local building codes and TIA/EIA-222-F, 6

Allowable tolerance on as-built tower steel height is plus 1% or minus 1/2%

Maintenance and inspection shall be performed over the life of the structure in accordance with TIA/EIA-222-F.

NGX Solid Rod Legs - ASTM A572 Grade 50

NGX Solid Rod Bracing - ASTM A36

NGX Footpads - ASTM A572 Grade 50

Guy cable segments should be cut 8% longer than theoretical chord lengths.

Guy anchor location and elevations are based on the site plan provided by McKinney Land Surveying, Inc., dated 04/17/2007.

Fill any gap between base plate and top of concrete with non-shrink grout before erecting tower. 15. 17.

Concrete contractor shall be responsible for properly aligning anchor bolts and materials before and after placing concrete, regardless of whether an anchor bolt template is provided. ξ<u>.</u>

19. Transmission lines shall be stacked so that each carrier has no more than 6 lines exposed to the wind. The first three carriers shall be installed on alternate faces so that the lines are equally distributed

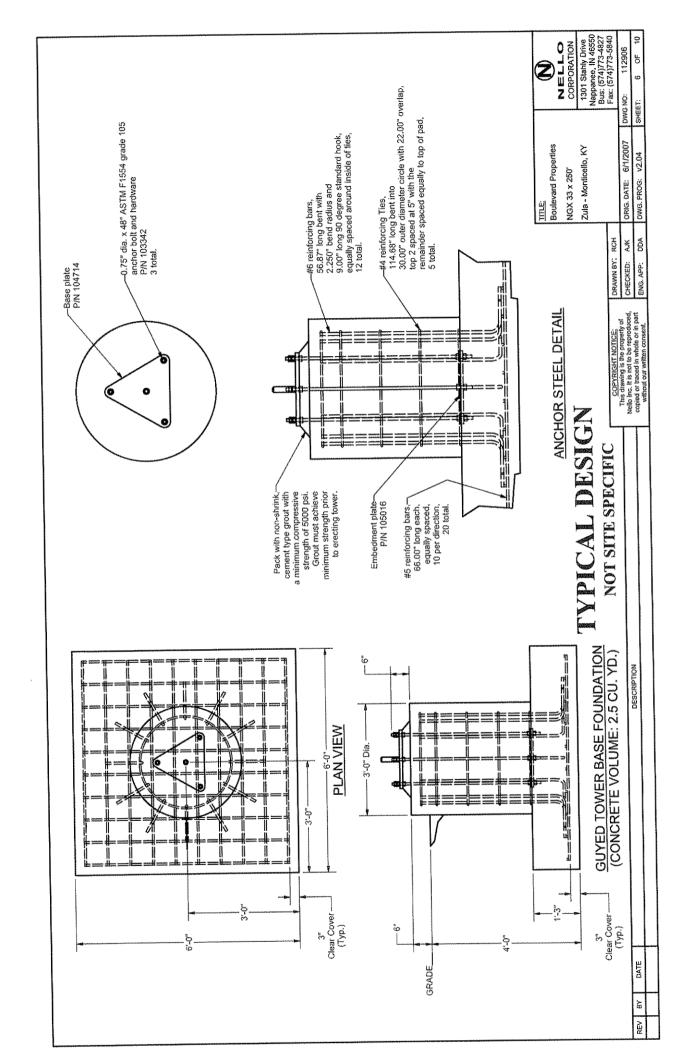
20, Transmission lines shall be stacked so that each tower face has no more than 6 lines exposed to the wind.

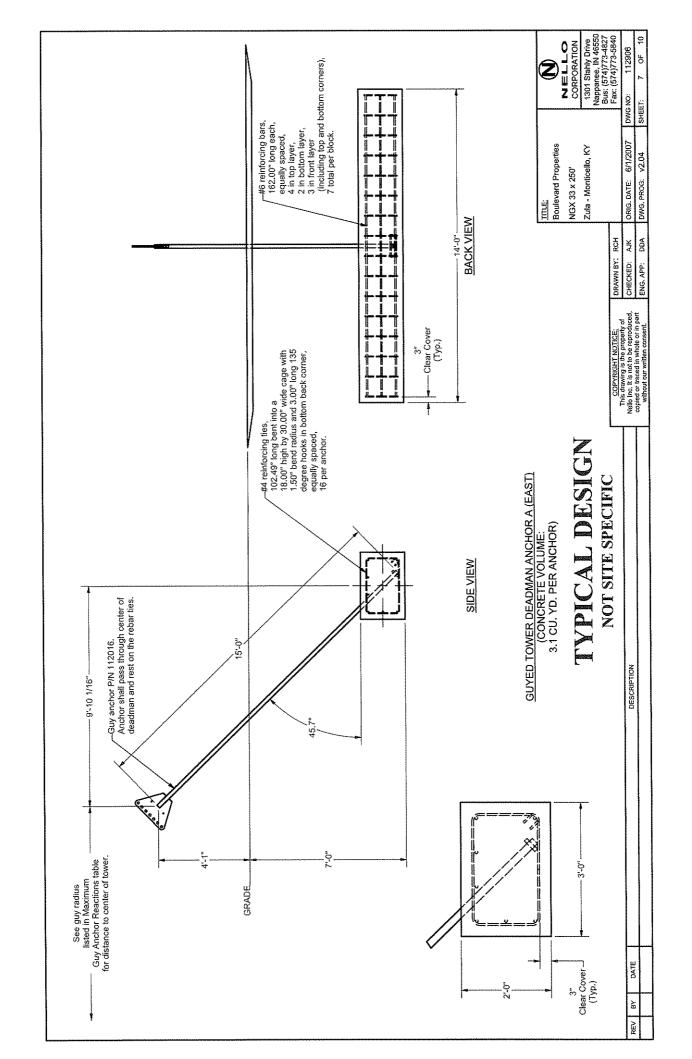
# TYPICAL DESIGN NOT SITE SPECIFIC

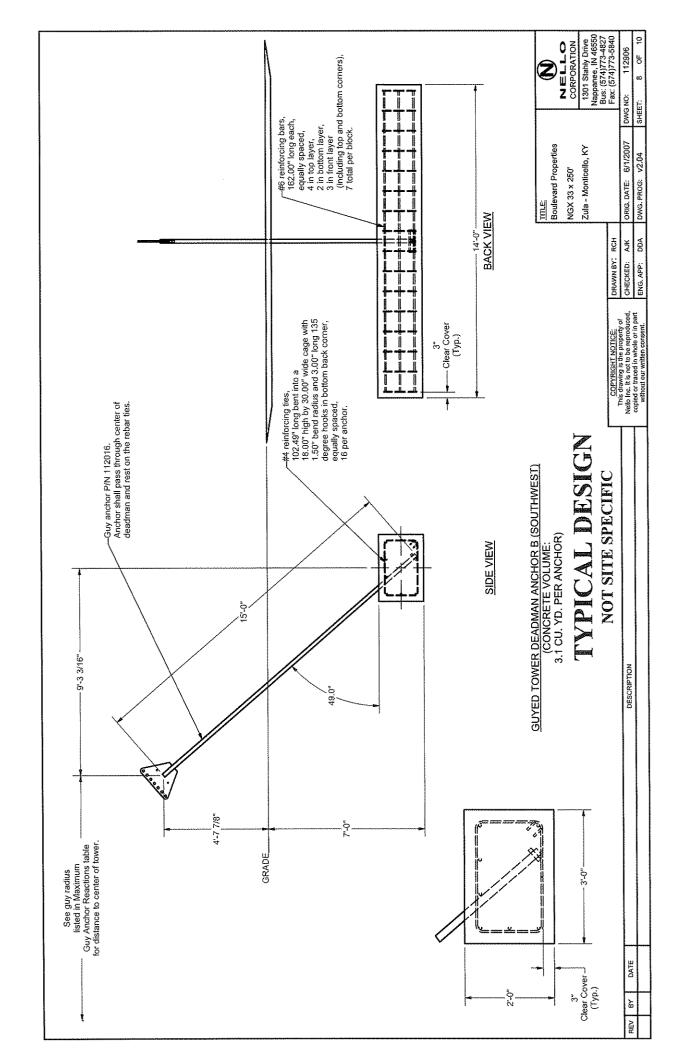
TITLE Boulevard Properties

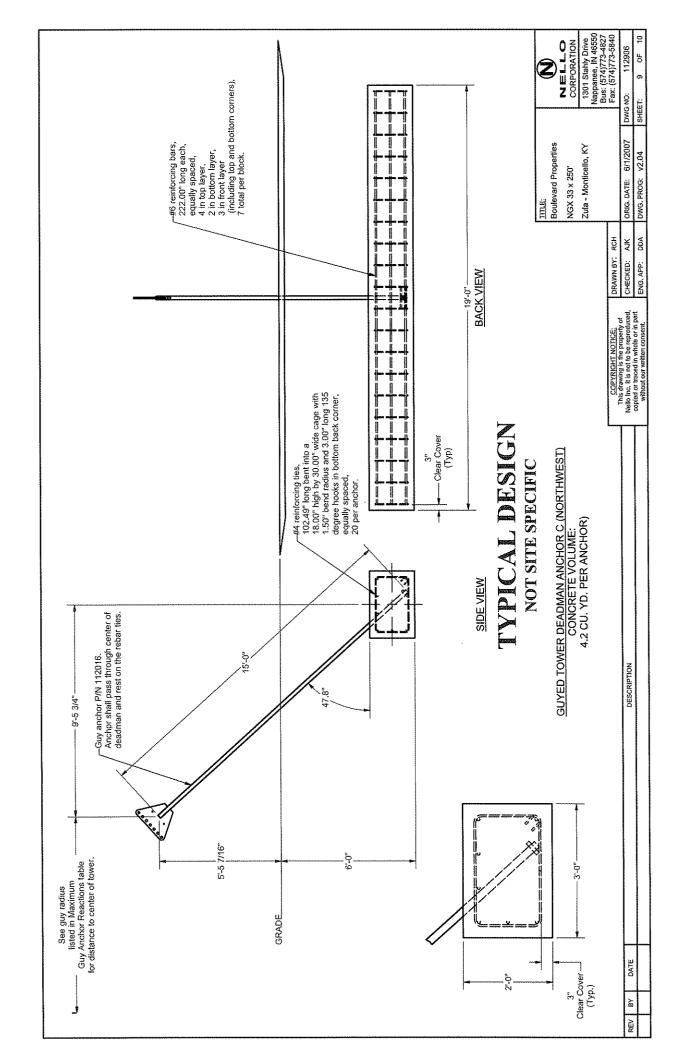
CORPORATION 1301 Stathy Drive Nappanee, IN 46550 Bus: (574)773-4827	Fax: (574)773-5840	112906	SHEET: 5 OF 10	
COR 1301 Nappa Bus: (	Fax: (	DWG NO:	SHEET:	
NGX 33 x 250' Zula - Monticello, KY		6/1/2007	ENG. APP: DDA DWG. PROG: V2.04	
	DRAWN BY: RCH	CHECKED: AJK	ENG. APP: DDA	
	COPYRIGHT NOTICE			
			DESCRIPTION	
			/ BY DATE	

REV









# Foundation Notes

1. This foundation has been designed for the following tower reactions.							
been designed	104.4 kips	1.0 kips	31.0 kips	30.3 kips	31.4 kips	30.3 kips	33.4 kips
1. This foundation has	Base Down Load:	Base Shear Load:	Anchor A Uplift:	Anchor A Shear:	Anchor B Uplift:	Anchor B Shear:	Anchor C Uplift:

2. Foundation design based on soil report dated 04/16/2007 by Alt & Witzig Engineering, Inc., of West Chester, Ohio, project number 07CN0054.

30,3 kips

Anchor C Shear:

- 3. A field inspection shall be performed in order to verify that the actual site soil parameters meet or exceed the assumed soil parameters and that the depth of standard foundations are adequate based on the frost penetration and groundwater depth. Local frost depth must be no deeper than the bottom of the base foundation.
- 4. Reinforcement shall be deformed and conform to the requirements of ASTM A615 Grade 60 unless otherwise noted. Splices in reinforcement shall not be allowed unless otherwise indicated.
- 5. Welding is prohibited on reinforcing steel and anchorage.
- 6. Structual backfill must be compacted in 12" loose lifts to a 97% of maximum dry density at optimum moisture content in accordance with ASTM D698. Backfill must be clean and free of organic and frozen soils and foreign materials. Fill should be compacted at water content within 2 percent of
- Foundation designs assume level ground at tower site.
- Loose material shall be removed from bottom of excavation prior to concrete placement.
- Concrete cover from exposed surface of concrete to surface of reinforcement shall not be less than 3".
- 10. Concrete and reinforcement installation must conform to ACI 318, "Building Code Requirements for Structual Concrete."
- 11. Concrete shall develop a minimum compressive strength of 3000 psi in 28 days.
- 12. Concrete shall be placed as soon as practical after excavating to avoid disturbance of bearing and side wall surfaces.
- 13. Concrete contractor shall be responsible for property aligning anchor bolls and materials before and after placing concrete, regardless of wether an anchor bolt template is provided.

  - 14. Positive drainage shall be maintained during construction and throughout the life of the facility to minimize the potential for surface water infiltration.
- 15. Due to shallow bedrock difficult excavating should be expected and heavy excavating equipment may be required.
  - 16. Water may be encountered at the soil/rock interface. Water shall be removed by sump pump or other methods prior to placing concrete.
- Base foundation shall bear on shale or sandstone.
- 18. Anchors A (east) B (southwest) shall be placed entirely with the sandstone layer. Anchor C (northwest) shall be placed entirely within the shale layer.
- Anchors may be buried deeper to reduce the length of anchor rod protruding from the ground.

# TYPICAL DESIGN NOT SITE SPEC

			TITLE	
			Boulevard Properties	ropertie
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			Zula - Monticello, KN	≫®, K
COPYRIGHT NOTICE	DRAWN BY: RCH	RCH		
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copied or traced in whole or in part	ENG. APP: DDA		DWG, PROG: v2.04	v2.04

NELLO CORPORATION 1301 Stahly Drive Nappanee, IN 46550 Bus: (574)773-4827 Fax: (574)773-5840

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# EXHIBIT E SITE DEVELOPMENT PLAN

VICINITY MAP
PROPERTY OWNER LISTING
500' VICINITY MAP
LEGAL DESCRIPTIONS
SITE PLAN
VERTICAL TOWER PROFILE

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# EXHIBIT F COMPETING UTILITIES, CORPORATIONS, OR PERSONS LIST

### **COMPETING UTILITIES, CORPORATIONS, OR PERSONS LIST:**

- American Towers
- Crown Communications
- SBA
- Verizon
- Cingular/AT&T
- Nextel
- T-Mobil
- Sprint
- Bluegrass Cellular
- Ramcell Cellular

.

# EXHIBIT G COLLOCATION REPORT

### **CellularONE**

124 S. Keeneland Drive Richmond, KY 40475

859-544-4802 859-544-5858 FAX ACC Regional Rightmoring Office ECALS,6,8 / 989-2,3,7/ VAZ / 29-8

March 2, 2007

To Whom It May Concern:

in regard to the proposed cellular communications site known as Camargo, this letter will seek to explain co-location issues.

To be able to serve the area, structures in the range of 250 ft above ground level will be required as explained in our "statement of need" document. According to a survey by our site acquisition team and contractor Shared Tower Sites, there are simply no tall structures in the area. Therefore, while it is the policy of Dobson Communications to pursue co-location opportunities wherever possible, there are no opportunities in this area. Thus, the construction of new facilities is the only alternative available.

Sincerely,

W. Eric Broviak

Regional Rf Engineering Manager



124 S. Keeneland Drive Richmond, KY 40475

859-544-4802 859-544-5858 FAX ACCI Regiment Regimentaly Office SCV-4,5,6,7 VV-17,3,77 VAR / PA-S

#### Camargo

#### Discussion of site need and configuration

Currently coverage along US-460 falls off rapidly southeast of Mt Sterling not reaching the town of Camargo. Calls cannot be placed from that point until approaching Frenchburg well into Menifee County.

The proposed site will extend coverage from the Mt Sterling area, through the town of Camargo and almost to the Menifee County line providing nearly 8 miles of additional service along the US-460 corridor and including Camargo and Jeffersonville. Due to surrounding terrain and the watershed of the area, a site on the order of 250 ft will be needed.

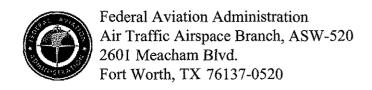
Sincerely,

W. Eric Broviak

Regional Rf Engineering Manager

•

# EXHIBIT H APPLICATION TO FAA



Issued Date: 08/08/2007

Kamal Doshi Shared Sites, L.L.C. 1390 Chain Bridge Rd #40 McLean, VA 22101

#### \*\* DETERMINATION OF NO HAZARD TO AIR NAVIGATION \*\*

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure:

Antenna Tower Camargo

Location:

Mount Sterling, KY

Latitude:

38-0-1.10 N NAD 83

Longitude:

83-53-10.60 W

Heights:

260 feet above ground level (AGL)

1156 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure does not exceed obstruction standards and would not be a hazard to air navigation provided the following condition(s), if any, is(are) met:

As a condition to this Determination, the structure is marked and/or lighted in accordance with FAA Advisory circular 70/7460-1 K Change 2, Obstruction Marking and Lighting, 24-hr med-strobes - Chapters 4,6(MIWOL),&12.

It is required that the enclosed FAA Form 7460-2, Notice of Actual Construction or Alteration, be completed and returned to this office any time the project is abandoned or:

	At least 10 days prior to start of construction (7460-2, Part I)
$\mathbf{X}$	Within 5 days after the construction reaches its greatest height (7460-2, Part II

This determination expires on 02/08/2009 unless:

- (a) extended, revised or terminated by the issuing office.
- (b) the construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the FCC, within 6 months of the date of this determination. In such case, the determination expires on the date prescribed by the FCC for completion of construction, or the date the FCC denies the application.

NOTE: REQUEST FOR EXTENSION OF THE EFFECTIVE PERIOD OF THIS DETERMINATION MUST BE POSTMARKED OR DELIVERED TO THIS OFFICE AT LEAST 15 DAYS PRIOR TO THE EXPIRATION DATE.

This determination is based, in part, on the foregoing description which includes specific coordinates, heights, frequency(ies) and power. Any changes in coordinates, heights, and frequencies or use of greater power will void this determination. Any future construction or alteration, including increase to heights, power, or the addition of other transmitters, requires separate notice to the FAA.

This determination does include temporary construction equipment such as cranes, derricks, etc., which may be used during actual construction of the structure. However, this equipment shall not exceed the overall heights as indicated above. Equipment which has a height greater than the studied structure requires separate notice to the FAA.

This determination concerns the effect of this structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

A copy of this determination will be forwarded to the Federal Communications Commission if the structure is subject to their licensing authority.

If we can be of further assistance, please contact our office at (817) 838-1995. On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2007-ASO-3961-OE.

Signature Control No: 529039-100599796

(DNE)

Alice Yett Technician

Attachment(s)
Frequency Data

7460-2 Attached

### Frequency Data for ASN 2007-ASO-3961-OE

LOW FREQUENCY	HIGH FREQUENCY	FREQUENCY UNIT	ERP	ERP UNIT
806	824	MHz	500	W
824	849	MHz	500	W
851	866	MHz	500	W
869	894	MHz	500	W
896	901	MHz	500	W
901	902	MHz	7	W
930	931	MHz	3500	W
931	932	MHz	3500	W
932	932.5	MHz	17	dBW
935	940	MHz	1000	W
940	941	MHz	3500	W
1850	1910	MHz	1640	W
1930	1990	MHz	1640	W
2305	2310	MHz	2000	W
2345	2360	MHz	2000	W

# EXHIBIT I APPLICATION TO KENTUCKY AIRPORT ZONING COMMISSION



Kentucky Transportation Cabinet, Kentucky Airport Zoning Commission, 200 Mero APPLICATION FOR PERMIT TO CONSTRUCT OR ALTERINSTRUCTIONS INCLUDED	
1. APPLICANT Name, Address, Telephone, Fax, etc. Shared Sites, LLC- Kamal Doshi 1390 Chain Bridge Rd #40 Mclean, VA 22101 703-893-0806 (phone) 703-852-7289 (fax)  2. Representative of Applicant Name, Address, Telephone, Fax Boulevard Properties, LLC- Matt Wallack 7383 Utica Blvd	9. Latitude: 38 ° 00 ' 01 10 "  10. Longitude: 83 ° 53 ' 10 60 "  11. Datum: NAD83 NAD27 Other  12. Nearest Kentucky City: Mount Streling County Montgomery  13. Nearest Kentucky public use or Military airport:  10B- Mount Sterling
Lowville, NY 13367 315-376-3333 (phone) 315-376-8139 (fax)	14. Distance from #13 to Structure: 5.64 NM  15. Direction from #13 to Structure: SE
3. Application for: ☒ New Construction ☐ Alteration ☐ Existing  4. Duration: ☒ Permanent ☐ Temporary (Months	16. Site Elevation (AMSL):  17. Total Structure Height (AGL):  18. Overall Height (#16 + #17) (AMSL):  896.00 Feet  17. Total Structure Height (AGL):  18. Overall Height (#16 + #17) (AMSL):  19. Total Structure Height (#16 + #17) (AMSL):
5. Work Schedule: Start 9/1/2007 End 12/31/2007  6. Type: ☑ Antenna Tower ☐ Crane ☐ Building ☐ Power Line	18. Overall Height (#16 + #17) (AMSL):Feet  19. Previous FAA and/or Kentucky Aeronautical Study Number(s):
☐ Landfill       ☐ Water Tank       ☐ Other         7. Marking/Painting and/or Lighting Preferred:       ☐ Dual - Red & Medium Intensity White         ☑ White - Medium Intensity       ☐ Dual - Red & High Intensity White         ☐ White - High Intensity       ☐ Other	Description of Location: (Attach USGS 7.5 minute Quadrangle Map or an Airport layout Drawing with the precise site marked and any certified survey)  McCormick Rd  Mount Sterling, KY 40353
FAA Aeronautical Study Number	
21. Description of Proposal: 250' wirteless communications tower with 10' lightning rod located within PLEASE APPROVE GREATEST POSSIBLE HEIGHT.	a fenced compound. IF DESIRED HEIGHT IS NOT AVAILABLE
22. Has a "NOTICE OF CONSTRUCTION OR ALTERATION" (FAA Form 7460-1	) been filed with the Federal Aviation Administration?
Matthew J. Wallack  Printed Name and Title  CERTIFICATION: I hereby certify that all the above statements made by me are  Matthew J. Wallack  Signature	true, complete and correct to the best of my knowledge and belief.  7/25/2007  Date
PENALTIES: Persons failing to comply with Kentucky Revised Statutes (KRS 1: 050:Series) are liable for fines and/or imprisonment as set forth in KRS 183.990(3 in further penalties.	83.861 through 183.990) and Kentucky Administrative Regulations (602 KAR
	irman, KAZC
Approved  Disapproved	Date

# EXHIBIT J GEOTECHNICAL REPORT

## SUBSURFACE INVESTIGATION & FOUNDATION RECOMMENDATIONS

# PROPOSED TOWER CAMARGO CAMARGO, KENTUCKY

Prepared for:

SHARED SITES, LLC LOWVILLE, NEW YORK

Prepared by:

ALT & WITZIG ENGINEERING, INC. WEST CHESTER, OHIO



### Alt & Witzig Engineering, Inc.

6205 Schumacher Park Drive • West Chester, Ohio 45069 (513) 777-9890 • Fax (513) 777-9070

August 2, 2007

Shared Sites, L.L.C. 7383 Utica Blvd Lowville, NY 13367

ATTN: Mr. Matthew J. Wallack

RE:

Subsurface Investigation &

Foundation Recommendations

Tower Site: Carnargo McCormick Road Camargo, Kentucky

Alt & Witzig File: 07CN0207

#### Gentlemen:

In compliance with your request, we have completed a foundation investigation and evaluation for the above referenced project. It is our pleasure to transmit herewith four (4) copies of our report.

#### SITE LOCATION:

The site is located in Camargo, Kentucky. Specifically, this site is located on McCormick Road near the intersection with Cooper Lane. The general vicinity of the site is shown on the enclosed site location map in the appendix of this report.

The purpose of this subsurface investigation was to determine the various soils profile components, determine the engineering characteristics of the materials encountered, and provide information to be used in preparing foundation designs for the proposed communication tower.

#### Field Services

The field investigation included reconnaissance of the project site, drilling four (4) soil borings for the tower. Additionally, or investigation included performing standard penetration tests, and obtaining soil samples retained in the standard split-spoon sampler. The apparent groundwater level at the boring location was also determined.

The soil boring was performed with a conventional drilling rig equipped with a rotary head. Conventional hollow-stem augers were used to advance the holes. Representative samples were obtained employing split-spoon sampling procedures in accordance with ASTM Procedure D-1586.

Offices:

Cincinnati, Ohio • Dayton, Ohio Indianapolis • Evansville • Fort Wayne • Lafayette • South Bend • Terre Haute, Indiana Shared Sites, LLC

Alt & Witzig File No.: 07CN0071

April 16, 2007

Page 2

During the sampling procedure, standard penetration tests were performed at regular intervals to obtain the standard penetration value of the soil. The standard penetration value is defined as the number of blows of a 140-pound hammer, falling thirty (30) inches, required to advance the split-spoon sampler one (1) foot into the soil. The results of the standard penetration tests indicate the relative density and comparative consistency of the soils, and thereby provide a basis for estimating the relative strength and compressibility of the soil profile components.

#### **Laboratory Testing**

The types of soils encountered in the borings were visually classified and are described in detail on the boring logs. Representative samples of the soils encountered in the field were placed in sample jars and are now stored in our laboratory. Unless notified to the contrary, all samples will be disposed of after three (3) months.

#### Recommendations for Tower

Information provided by Shared Site, LLC indicates that a guyed cellular tower will be constructed at this site. It is anticipated that the tower will not exceed 250 feet in height. It is anticipated that the structural loads of the tower will be supported by conventional spread footings.

Our borings encountered medium stiff and stiff clay and silty clay across the site. Auger refusal occurred at a depth of six and one-half (6½) to nine (9) feet below grade across the site. Rock cores were performed at boring B-4 from 8½ to 13½ and from 13½ to 18½ feet below grade. The cores encountered limestone with some to very thin shale seams. A RQD (rock quality designation) for the cores ranged from 47% to 58%. This qualifies the rock as good quality rock.

The following soil parameters can be used to design a shallow foundation. Due to the seasonal variations in moisture content and freeze thaw cycles, no skin friction or resistance to passive pressure should be considered above three (3) feet.

Soil Description	Depth Below Existing Grade	Bearing Pressure (psf) SF=3	Dry Density (pcf)	ф.	Kp	Coefficient of Friction Against Sliding	Cohesion (psf)
Silty Clay and Clay	4' – 9'	3,000	110	15°	1.7	.0.5	500
Limestone	9'+	. 30,000	130	38°	4.2	0.7	1000

Shared Sites, LLC Alt & Witzig File No.: 07CN0071 April 16, 2007 Page 3

KNOLL

The weight of the backfill above the footings will be used to resist uplift forces; therefore, it is recommended that proper compaction techniques be maintained. It is recommended that a density of 100% maximum dry density in accordance with ASTM D-698 be achieved above the footings to finished grade for all fill. If on-site soils are used, the excavation should be ramped so that a drive or walk-behind sheepfoot can be used to compact the clayey soils.

The groundwater should be anticipated at the soil/rock interface. All borings indicated dry conditions during and upon completion of operations However, depending upon the weather conditions while excavations are open, seepage from surface runoff may occur into shallow excavations. Since these foundation materials tend to soften when exposed to free water, every effort should be made to keep the excavations dry should water be encountered.

Often, because of design and construction details that occur on a project, questions rise concerning the soil conditions. If we can give further service in these matters, please contact us at your convenience.

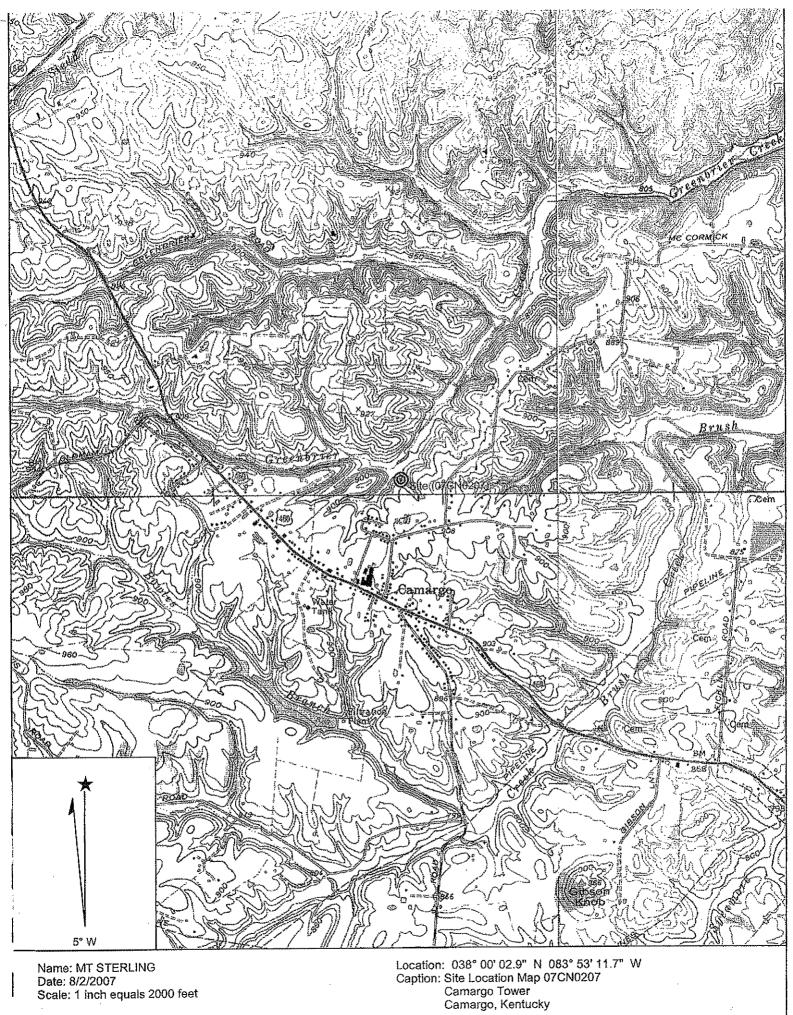
Respectfully Submitted,

ALT & WITZIG ENGINEERING, INC.

Robert Smith Project Engineer

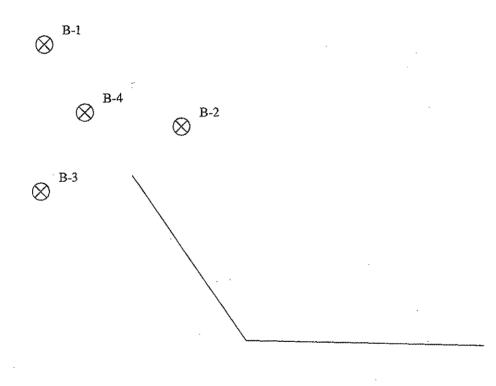
Patrick A. Knoll, P.E.

APPENDIX



# Boring Location Plan

Proposed Tower: Camargo Camargo, Kentucky Shared Sites, LLC



Not To Scale

07CN0207



Alt & Witzig Engineering, Inc.

PI	ROJECT NAME Camargo Tower Camargo, Kentucky												Boring Alt & V		ile No.	B-1 07CN0207
					_											
ne	ite Started		ILLING and SAMPLING INFORMATION /2007 Hammer Wt. 140 lbs.	П	Τ	T				П						
	ite Completed												e,			
		HSA										n Test, N -	Compressi	strometer		
	STRATA ELEV.		SOIL CLASSIFICATION			ale	upda	Ç	ype	Graphics	Vater	Standard Penetration Test, N Blows/foot	Qu - tsf Unconfined Compressive Strength	Pp - tsf Pocket Penetrometer	Moisture Content %	9)
			SURFACE ELEVATION			Depth Scale	Strata Depth	Sample No.	Sample Type	Sampler Grap	Ground Water	Standard Blows/foc	Qu - tsf U Strength	Pp - tsf P	Moisture	Remarks
Ħ		"	0.0-0.4 Topsoil	7	Ī		,									
			0.4-6.5 Reddish Brown Clay	-		-		1	SS	X		10	3.3	4.5	25.7	
						5		2	SS	M		13	3.1	3.5	38.4	
			Auger Refusal at 6.5 feet				6.5		-							-
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Alt & Witzig Engineering, Inc.

CLIENT PROJECT NAM LOCATION	νE ]	Shared Sites, LLC Camargo Tower Camargo, Kentucky							Boring Alt & \		file No.	B-2 07CN0207
Date Started Date Completed Boring Method	7/31/ 7/31/					AHIMMPLALE		Test, N -	Compressive	rometer		
STRATA ELEV.		SOIL CLASSIFICATION SURFACE ELEVATION	Depth Scale	Strata Depth	Sample No.	Sample Type	Sampler Graphics Ground Water	Standard Penetration Test, N Blowsfoot	Qu - tsf Unconfined Compressive Strength	Pp - tsf Pocket Penetrometer	Moisture Content %	Remarks
		0.0-0.5 Topsoil  0.5-5.0 Brown Clay  5.0-7.0 Light Brown clay with Silt Seams and Silt Stone  7.0-8.0 Light Brown Shaley Clay and Limestone Auger Refusal at 8.0 feet	C 5	5.0 7.0 8.0	3	8 SS SS SS	X	111 16 50/4		4.5+	22.3 25.4	
Boring Met HSA - Hollow Stel CFA - Continuous DC - Driving Casl MD - Mud Drilling	m Aug Fligh ng	t Auger	At C	DUND Compli	etion hou	<u>Dry</u> Irs		ft. ft.		And the second s	S C R	Samble Type S - Driven Split Spoon T - Pressed Shelby Tube A - Continuous Flight Auger C - Rock Core U - Cuttings

C - Boring Caved Depth



Alt & Witzig Engineering, Inc.

PR	IENT OJECT NA	ME	Shared Sites, LLC Camargo Tower Camargo, Kentucky									Boring Alt & W	# /Itzig F	ile No.	B-3 07CN0207
			LLING and SAMPLING INFORMATION  (2007 Hammer Wt. 140 lbs.	П	Ī			Т	<del>-</del>	T					
	le Started te Completed							]				.			
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Boi	ing Method	нол	Spoon Sample OD Z III.								ion Test,	d Compr	netromet	%	,
	STRATA ELEV.		SOIL CLASSIFICATION		ale	thợc	do.	lype	Graphics	Nater	Standard Penetration Test, N Blows/foot	Qu - tsf Unconfined Compressive Strength	Pp - tsf Pocket Penetrometer	Moisture Content %	\$ <del>\times</del>
	L. C. V -		SURFACE ELEVATION		Depth Scale	Strata Depth	Sample No.	Sample Type	Sampler Grap	Ground Water	Standard Blows/fox	Qu - tsf ( Strength	Pp.tsfF	Moisture	Remarks
H		7777	0.0-0.4 Topsoil	士	T		-			1					
			0.4-4.0 Brown Clay	-		4.0	1	ss	X		10	2.5	3.0	26.3	
	<del></del>		4.0-7.0 Light Brown and Gray Silty Clay		5		2	ss	X		8	2.8	3.5	21.1	-
			7.0-9.0 Gray Shaley Clay	+		9.0	3	SS	X		26		4.0	24.0	
			Auger Refusal at 9.0 feet												
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Alt & Witzig Engineering, Inc.

	Shared Sites, LLC ROJECT NAME Camargo Tower Camargo, Kentucky											Boring Alt & V		file No.	B-4 07CN0207
L(	NOITAC		Camargo, Kentucky												
		DRI	LLING and SAMPLING INFORMATION	П	1	1			П					(-(	
			/2007 Hammer Wt. <u>140</u> lbs.												
Da	ate Completed	7/31	/2007 Hammer Drop <u>30</u> in.						П		,	sive			
Bo	oring Method	HSA	Spoon Sampler OD 2_ in.								Standard Penetration Test, N Blows/foot	Qu - tsf Unconfined Compressive Strength	Pp - tsf Pocket Penetrometer	٠	
	STRATA ELEV.		SOIL CLASSIFICATION		ale	thoe	No.	Type	Graphics	Water	d Penetrati ot	Unconfine	Pocket Per	Moisture Content %	\$
			SURFACE ELEVATION		Depth Scale	Strata Depth	Sample No.	Sample Type	Sampler Graph	Ground Water	Standard Blows/fo	Qu - tsf I Strength	Pp - tsf P	Moisture	Remarks
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			- 0.4-4.0 Brown Silty Clay			4.0	1	ss	X		19		2.5	16.4	TO A A 2 TO
	n.a		4.0-6.0 Reddish Brown Clay with Limestone	_	5	6.0	2	SS	X		8		0.5	41.3	
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	,	开	8.5-13.5 Rock Core 1	Ţ		8.5			Α						
H		靐	Limestone with Some Gray Shale Layers	-			'								
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Ħ		靐	. RQD = 47%	-	1										
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			Vuggy Limestone with Few Thin Gray Shale Layers	<b>+</b>	1										
Ħ		莊	Some Oil Bearing	1											1
H			REC = 100%			18.5									
			RQD = 58%  Terminated at 18.5 feet	_		16.5									1
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н	<u>Boring Me</u> SA - Hollow Ste		pers			DUND		ΈR							S - Driven Spiit Spoon
C	FA - Continuou	s Flig!		Z.		Comple	etion				ft.				T - Pressed Shelby Tube A - Continuous Filght Auger
DC - Driving Casing MD - Mud Drilling					Afte		hou			ft.				R	C - Rock Core
*48	- www.minit	•		0		ter on Borin					t.			C	U - Cuttings

#### **GENERAL NOTES**

#### SAMPLE IDENTIFICATION

The Unified Soil Classification System is used to identify the soil unless otherwise noted.

#### SOIL PROPERTY SYMBOLS

N: Standard "N" penetration: Blows per foot of a 140 pound hammer falling 30 inches on a 2 inch O.D. split-spoon.

Qu: Unconfined compressive strength, TSF

Qp: Penetrometer value, unconfined compressive strength, TSF

Mc: Water content, %

LL: Liquid limit, %

PL: Plastic limit, %

Dd: Natural dry density, PCF

Y: Apparent groundwater level at time noted after completion

#### DRILLING AND SAMPLING SYMBOLS

SS: Split-spoon - 1 3/8" I.D., 2" O.D., except where noted

ST: Shelby tube - 3" O.D., except where noted

AU: Auger sample DB: Diamond bit CB: Carbide bit

WS: Washed sample

Stiff

Hard

Very Stiff

#### RELATIVE DENSITY AND CONSISTENCY CLASSIFICATION

TERM (NON-COHESIVE SOILS)	BLOWS PER FOOT
Very loose	0 - 4
Loose	5 - 10
Firm	11 - 30
Dense	31 - 50
Very Dense	Over 50
TERM (COHESIVE SOILS)	Qu (TSF)
Very soft	0 -0.25
Soft	0.25 - 0.50
Medium	0.50 - 1.00

#### PARTICLE SIZE

Boulders	8 in.(+)	Coarse Sand	5 mm-0.6 mm	Silt	0.075 mm - 0.005 mm
Cobbles	8 in 3 in.	Medium Sand	0.6mm-0.2 mm	Clay	0.005mm(-)
Gravel	3 in _ 5 mm	Fine Sand	0.2mm-0.075 mm	-	

1.00 - 2.00

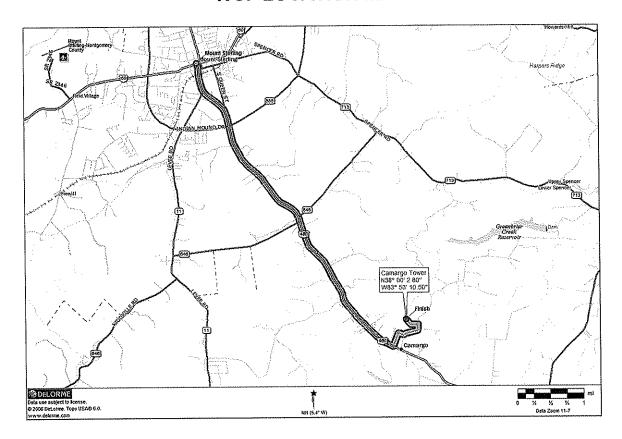
2.00 - 4.00

4.00 +



# EXHIBIT K DIRECTIONS TO WCF SITE

### WCF LOCATION MAP



### **DIRECTIONS TO WCF FROM COUNTY SEAT**

From the Montgomery County Court House proceed south out of town on US 460 approx. 5.3 miles. Turn left on Murphy St. and proceed approx. .2 miles. Turn right on Rose St. and proceed approx. .1 miles. Bear left on McCormick Rd. and proceed approx. .25 miles. Turn left on McCormick Rd. and proceed approx. .1 miles. Site access drive is on the left.

These directions were prepared by:

David B. Jantzi Boulevard Properties 7383 Utica Boulevard Lowville, NY 13367 (315) 523-6258

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## **EXHIBIT L**

## **COPY OF**

**MEMORANDUM OF REAL ESTATE AGREEMENT** 

### SITE LEASE AGREEMENT

Site I. D.: Camargo, County: Montgomery

Site Address: McCormick Road, Carmargo, KY, 40353

Premises and tise. In consideration of the expenditures and
efforts of lessee to develop and use the premises described
below, the undersigned (jointly and severally, the "Owner")
hereby leases to Shared Sites WV, LLC, a West Virginia
limited liability company ("Lessee"), or its permitted assignee,
the site described below:

#### Camargo

The exclusive right to use and occupy real property. approximately 10,000 square feet of land, as approximately described and shown on Exhibit A, together with non-exclusive easements (a) to a public right of way, for reasonable access, (b) to the appropriate sources of electric and telephone facilities as determined by Lessee. (c) for placement of any supporting guyed wires as reasonably determined by Lessee per good engineering practices (d) to meet fall-zone or set back requirements and (e) temporary staging area for equipment and assembly during construction (collectively, the "Site"). The Site will be used for installing, maintaining and/or operating, a wireless communications and broadcast facility. including, without limitation, antenna towers or poles, guyed wires (if applicable), foundations, utility lines, equipment shelters, ice bridges, radio equipment, antennas, security alarms, cameras, lights, and supporting equipment thereto (collectively, the "Facility"), or for any other use permitted by applicable law. Title to the Facility shall be held by Lessee and the Facility shall remain Lessee's personal property and in no event shall be construed as fixtures.

- 2. Term. The term of this Agreement (the "Initial Term") is five (5) years, starting on the date Lessee signs this Agreement. This Agreement will be automatically renewed for ten (10) additional terms (each a "Renewal Term") of five years each with a 15% increase in rent at each renewal, unless Lessee provides Owner notice of intention not to renew 90 days prior to the expiration of any term.
- 3. Rent. Beginning with the date upon which delivery of the tower is completed; rent will be paid quarterly, on the first day of each calendar quarter, at the rate of \$1,500 per quarter, partial months to be prorated.
- 4. Title, Quiet Possession, and Access. Owner represents and agrees (a) that it is the owner of the Site pursuant to the instrument set forth on Exhibit A; (b) that the Site is free from all encumbrances except as set forth on Exhibit A, (c) that it has the right to enter into this Agreement; (d) that the person signing this Agreement has the authority to sign; (e) that Lessee, its employees, agents, subcontractors, clients, and invitees are entitled to access to the Site at all times and to the quiet possession of the Site so long as Lessee is not in default beyond the expiration of any cure period; and (f) that Owner will not have unsupervised access to the Site or to the related Facility. Owner further represents, agrees and covenants that during the Initial Term and Renewal Terms of

this Agreement Owner will not use, or permit others to use, any part of any real property currently owned, or hereafter acquired, by Owner within two (2) miles of the Site for any type of communication or broadcast tower or otherwise provide advice, services for development of competing properties or release any information about Lessee's business. Owner shall obtain non-disturbance, subordination and attornment agreement from prior lien holders as required by Lessee's title insurance company.

- 5. Assignment/Subjecting. Either party may assign or transfer this Agreement with notice to the other party. Upon delivery of such notice the transferor will have no further liability under the Agreement. Lessee shall be allowed to subjet, or otherwise grant use rights to all or any portion of the Site and/or the Facility without the prior written consent of Owner, it being the express intention of Lessee to lease or license antenna, towers, shallers, and related space of the Facility to separate wireless communication carriers and other clients.
- 6. Improvements. Lessee may make such future improvements on or to the Site and Facility as it deems necessary. Owner agrees to cooperate with Lessee with respect to obtaining any required building/zoning approvals for the Site and improvements. Upon termination or expiration of this Agreement, Lessee shall remove the Facility and its other property located upon the Site, excepting the foundation, and will restore the Site to substantially the condition existing at inception of this lease, except for ordinary wear and tear and casualty loss. Lessee shall reimburse Owner any property tax increases directly attributable to Lessee's improvements. Owner shall fully cooperate with Lessee in any available administrative or court appeals of such tax increases.
- 7. Compliance with Laws. Owner represents that Owner's property (including the Site), and all improvements located thereon, are in substantial compliance with building, life/safety, disability and other laws, codes and regulations of applicable governmental authorities. Lessee will substantially comply with all applicable laws relating to its possession and use of the Site.
- Utilities. Lessee will pay for all utility connections to the Site.
   Owner will cooperate with Lessee in Lessee's efforts to obtain utilities from the most economical source.
- 9. Termination. Lessee may terminate this Agreement at any time by notice to Owner without further liability, if Lessee does not obtain all permits or other approvals (collectively, "approval") required from any municipal and/or governmental authority or any easements required from any third party to construct/operate the Facility for its Intended use, or if any such approval is canceled, expires or is withdrawn or terminated, or if Owner fails to have proper ownership of the

7918 26.CB

Site or authority to enter into this Agreement, or if Lessee, for any other reason, in its sole discretion, determines that it will be unable to use the Site for its intended purpose.

- 10. Default. If either party is in default under this Agreement for a period thirty (30) days following receipt of notice from the non-defaulting party shall have the right to pursue all legal remedies including termination of this Agreement. If a non-monetary default may not reasonably be cured within a thirty (30) day period, this Agreement may not be terminated if the defaulting party commences action to cure the default within such 30 day period and said default is substantially cured within ninety (90) days of the initial notice of default.
- 11. Indemnity. Owner and Lessee each indemnity the other against and hold the other harmless from any and all costs (including reasonable attorneys' fees) and claims of liability or loss which arise out of the use and/or occupancy of the Site or Facility by the direct actions or culpable omissions of the Indemnifying party, its employees, agents or independent contractors. This indemnity does not apply to any claims arising from the sole negligence or intentional misconduct or omission of the party seeking indemnification.
- 12. Hazardous Substances. Owner represents that it has no knowledge of any substance, ground contamination, chemical or waste (collectively, "substance") on the Site that is identified as hazardous, toxic or dangerous in any applicable federal, state or local law or regulation. Lessee will not introduce or use any such substance on the Site in violation of any applicable law. Owner shall indemnify Lessee against and hold it harmless from any and all costs (including reasonable attorneys fees) and claims of liability or loss which arise out of any occurrence or condition causing the presence of any such substance on the Site that occurred prior to the date of this Agreement or is directly attributable to the Owner's use of adjoining premises during the term of this agreement.
- 13. Waiver of Owner's Lien. (a) Owner waives any lien rights it may have concerning the Facility, which is deemed Lessee's personal property and not fixtures, and Lessee has the right to remove the same at any time without Owner's consent. Owner (i) disclaims any interest, now or in the future, in and to

the Facility, as fixtures or otherwise; (ii) agrees that the Facility and the leasehold or other use interest of Lessee or its authorized sub lessees or users, shall be exempt from execution, foreclosure, sale, levy, attachment, or distress for any rent due or to become due and (iii) agrees to provide any such lender with an estoppel statement regarding the above facts, such as the lack of a default hereunder, and any other information or document reasonably requested, such as a non-disturbance, subordination and attornment agreement, within five (5) days of request.

- 14. Insurance. Lessee, at its sole cost and expense, shall upon commencement of construction (upon use of mechanical equipment to disturb the land, but not for taking of soil samples or surveys and measurements) procure and maintain bodily injury and property insurance on the Facility with a combined single limit of at least One Million Dollars (\$1,000,000) per occurrence. A copy of such policy shall be furnished to Owner within 30 days of written request.
- 15. Miscellaneous. (a) This Agreement applies to and binds the heirs, successors, executors, administrators and assigns of the parties to this Agreement; (b) This Agreement is governed by the laws of the State in which the Site is located: (c) This Agreement (including the Exhibits) constitutes the entire agreement between the parties and supersedes all prior agreements; any amendments to this Agreement must be executed by both parties; (e) If any provision of this Agreement is invalid or unenforceable with respect to any party, the remainder of this Agreement, will not be affected and shall remain valid and enforceable to the extent permitted by law; (f) The prevailing party in any action or proceeding in court is entitled to receive its reasonable attorneys' fees and other reasonable enforcement (or, as applicable, defense) costs and expenses; (g) Owner agrees promptly to execute and deliver to Lessee, simultaneously herewith or forthwith hereafter, a recordable Memorandum of this Agreement in the form of Exhibit B; and (h) All notices are effective, on the third business day after their deposit via certified and postage prepaid mail, or, on the next business day after deposit via overnight delivery, to the address below.

	"Owner"	*Owner*	Shared Situs WV, LLC ("Lessee")
By: 5	Floor Bornet	Survert Al	ment to
Name:	Henry C Barnett	Jeanetta F. Barnett	Name: Thomas Roe
Tille:	Owner /	Owner	Site Developer (Subject to Approval)
Date:	July 14, 2007	July 14, 2007	Date:July 14, 2007
Address:	2104 Murphy Street	Same	
	Camargo, KY 40353	406-36-2945	
Tax ID:	+05-28-9820		Kamal Doshi, Manager (Final Approval)
Phone:	304-859-2985		Date:
			1390 Chain Bridge Road #40
			Mclean, VA 22101 Phone:
			(703)-893-0806

## EXHIBIT A Site Agreement - Site Description - Permitted Exceptions

egal Description: A portion of the premises lo	cated at address: McCormid	k Road	
more particularly described in Deed to: <u>Hearry C (</u> Registry of Deeds at Book, Page, T	& Jeanetta F Barnett dated Fax Map, Plot	and recorded in Mont	gomery County
Sketch of Site:	i AAAA		
	The state of the s	GO CINEDON	# 100 To
POLOTANE Delotane difect lo Royae 6.2006 Delotant. Tope USAN C.C. Anne Michaelota	Man (S et vo)		9 140 286 420 550 700 Data Zoron 15-0

Permitted Exceptions: Only one access road (A or B) will be built. To be determined before construction start.

**Note:** Owner and Lessee may, at Lessee's option, replace this Exhibit with an exhibit setting forth the legal description of the property on which the Site is located and/or a more detailed survey or drawing depicting the Site.

HB THER CY

## EXHIBIT M FLOOD PLAIN CERTIFICATION

### J. D. WILLIAMS ENGINEERS - SURVEYORS INC.

600 BROOKVIEW DRIVE • MT. STERLING, KENTUCKY 40353 (859) 498-1929 • FAX: (859) 498-1868

August 8, 2007

**Shared Sites, LLC.** 1390 Chain Bridge Road No. 40 McLean, VA 22101

Re: Cell Tower "Camargo" Site Montgomery County, Kentucky

To Whom It May Concern:

I hereby certify that the above named site is located on a high ridge approximately 700-feet from a small stream (tributary of Greenbrier Creek) with an elevation of 850+/- feet that said site is 50+/- feet higher in elevation than the stream. I further certify that the site does not lie within a Special Flood Hazard Area ("SFHA") as defined by the Federal Emergency Management Agency.

LICENSED 4312

LICENSED 4312

PROFESSIONAL CONSESSIONAL C

J. D. Williams, Jr., LPE 4312; LPLS 316

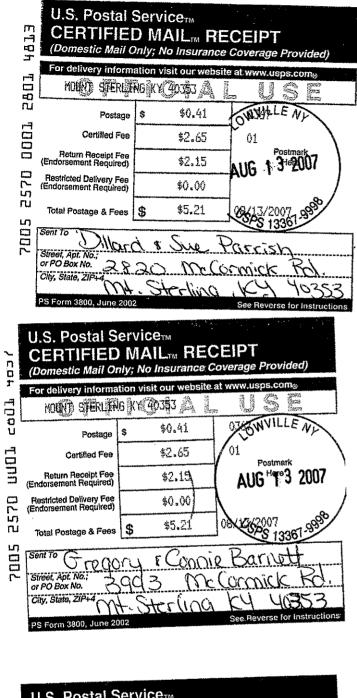


# EXHIBIT N NOTIFICATION LISTING

### **CAMARGO CERTIFICATION OF NOTIFICATION**

- Nelda Pelfrey
   5627 Camargo Levee Rd.
   Jeffersonville, KY 40337
- Daniel Freeman
   2103 Maysville Rd
   Mt Sterling, KY 40353
- Joshua Hart
   Tonya Conkright
   4013 McCormick Rd
   Mt Sterling, KY 40353
- Clifton Ray Beam 3998 McCormick Rd Mt Sterling, KY 40353
- 5. Terry and Vicky Huff 2737 McCormick Rd Mt Sterling, KY 40353
- Combs Dock Estate & Wilma Dock c/o Dareen Caudill 203 Antwerp Ave. Mt Sterling, KY 40353
- George Botts Jr. Est & Ruth Botts
   3990 McCormick Rd Mt Sterling, KY 40353
- Joe and Joanna Botts 3992 McCormick Rd Mt Sterling, KY 40353
- Lisa B. And Teddy Hughes 2777 McCormick Rd Mt Sterling, KY 40353
- 10. Henry and Jeanetta Barnett 2104 Murphy St. Camargo, KY 40353

- 11. Matthew Gulett 4005 McCormick Rd. Mt. Sterling, KY 40353
- 12. TSK Partners, LLC 1426 Greenleaf Court Mt. Sterling, KY 40353
- 13. William and Judith Keath 4000 McCormick Rd. Mt. Sterling, KY 40353
- 14. Dillard and Sue Parrish 2820 McCormick Rd. Mt. Sterling, KY 40353
- 15. Charles and Shella Fugat Box 602 Mt. Sterling, KY 40353
- 16. Gregory and Connie Barnett 3993 McCormick Rd. Mt. Sterling, KY 40353
- 17. The Honorable Banford D. Wilson 44 West Main St. Mt Sterling, KY 40353
- 18. Mayor Greg Beam 4406 Camargo Rd. Mt. Sterling, KY 40353





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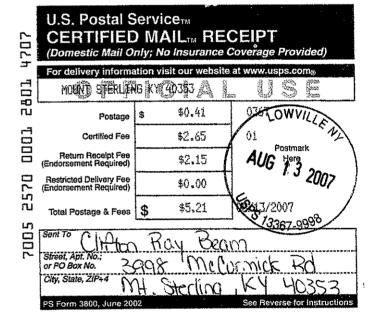




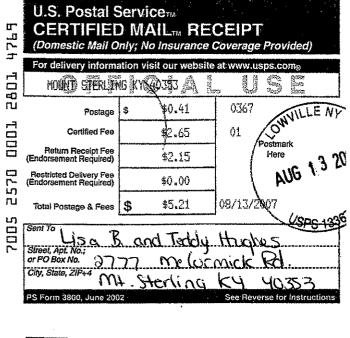








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## EXHIBIT O COPY OF PROPERTY OWNER NOTIFICATION

Nelda Pelfrey 5627 Camargo Levee Rd. Jeffersonville, KY 40337

RE:

Public Notice - Kentucky Public Service Commission

Docket No.: 2007-00323

Dear Sir or Madam:

Shared Sites, LLC and American Cellular Corporation are making application to the Kentucky Public Service Commission (PSC) for a Certificate of Public Convienence and Necessity to construct and operate a new facility to provide wireless communication services. The facility will include a 250-foot tower with appurtenances attached to a maximum height of 260- feet, and a ground level equipment shelter(s) to be located at McCormick Rd., Camargo, KY 40353. This notice is being sent to you because you own property within a 500' radius of the proposed tower or own property which adjoins the property on which the tower is proposed.

The Kentucky Public Service Commission invites your comments regarding the proposed construction. You also have the right to intervene in this matter. Your initial communication to the PSC must be received by the PSC within 20 days of the date of the Postal cancellation on the envelope this letter was received in. Your comments and request for intervention should be addressed to: Executive Director's Office, Public Service Commission of Kentucky, 211 Sower Boulevard, Post Office Box 615, Frankfort, KY 40602-0615. Please refer to Docket No.: 2007-00323 in your correspondence.

Please feel free to contact David Jantzi at 315-376-3333, if you have any questions.

Sincerely,

David B. Jantzi

**Boulevard Properties, LLC** 

Representing:

Daniel Freeman 2103 Maysville Rd Mt. Sterling, KY 40353

RE:

Public Notice - Kentucky Public Service Commission

Docket No.: 2007-00323

Dear Sir or Madam:

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Sincerely,

David B. Jantzi

Boulevard Properties, LLC

Representing:

Joshua Hart and Tonya Conkright 4013 McCormick Rd Mt. Sterling, KY 40353

RE:

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Docket No.: 2007-00323

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Sincerely,

David B. Jantzi

Boulevard Properties, LLC

Representing:

Clifton Ray Beam 3998 McCormick Rd Mt Sterling, KY 40353

RE:

Public Notice - Kentucky Public Service Commission

Docket No.: 2007-00323

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Please feel free to contact David Jantzi at 315-376-3333, if you have any questions.

Sincerely,

David B. Jantzi

Boulevard Properties, LLC

Representing:

Terry and Vicky Huff 2737 McCormick Rd Mt Sterling, KY 40353

RE:

Public Notice - Kentucky Public Service Commission

Docket No.: 2007-00323

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Sincerely,

David B. Jantzi

Boulevard Properties, LLC

Representing:

Combs Dock Estate and Wilma Dock c/o Dareen Caudill 203 Antwerp Ave.
Mt. Sterling, KY 40353

RE:

Public Notice – Kentucky Public Service Commission

Docket No.: 2007-00323

Dear Sir or Madam:

Shared Sites, LLC and American Cellular Corporation are making application to the Kentucky Public Service Commission (PSC) for a Certificate of Public Convienence and Necessity to construct and operate a new facility to provide wireless communication services. The facility will include a 250-foot tower with appurtenances attached to a maximum height of 260- feet, and a ground level equipment shelter(s) to be located at McCormick Rd., Camargo, KY 40353. This notice is being sent to you because you own property within a 500' radius of the proposed tower or own property which adjoins the property on which the tower is proposed.

The Kentucky Public Service Commission invites your comments regarding the proposed construction. You also have the right to intervene in this matter. Your initial communication to the PSC must be received by the PSC within 20 days of the date of the Postal cancellation on the envelope this letter was received in. Your comments and request for intervention should be addressed to: Executive Director's Office, Public Service Commission of Kentucky, 211 Sower Boulevard, Post Office Box 615, Frankfort, KY 40602-0615. Please refer to Docket No.: 2007-00323 in your correspondence.

Please feel free to contact David Jantzi at 315-376-3333, if you have any questions.

Sincerely,

David B. Jantzi

Boulevard Properties, LLC

Representing:

George Botts Jr. Est. and Ruth Botts 3990 McCormick Rd Mt Sterling, KY 40353

RE.

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Docket No.: 2007-00323

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Sincerely,

David B. Jantzi

Boulevard Properties, LLC

Representing:

Joe and Joanna Botts 3992 McCormick Rd Mt Sterling, KY 40353

RE: Public Notice - Kentucky Public Service Commission

Docket No.: 2007-00323

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Sincerely,

David B. Jantzi

Boulevard Properties, LLC

Representing:

Lisa B and Teddy Hughes 2777 McCormick Rd Mt Sterling, KY 40353

RE:

Public Notice - Kentucky Public Service Commission

Docket No.: 2007-00323

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Sincerely,

David B. Jantzi

Boulevard Properties, LLC

Representing:

Henery and Jeanetta Barnett 2104 Murphy St. Camargo, KY 40353

RE:

Public Notice - Kentucky Public Service Commission

Docket No.: 2007-00323

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Sincerely,

David B. Jantzi

**Boulevard Properties, LLC** 

Representing:

Matthew Gulett 4005 McCormick Rd Mt Sterling, KY 40353

RE:

Public Notice - Kentucky Public Service Commission

Docket No.: 2007-00323

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Sincerely,

David B. Jantzi

Boulevard Properties, LLC

Representing:

TSK PArtners, LLC 1426 Greenleaf Court Mt Sterling, KY 40353

RE:

Public Notice - Kentucky Public Service Commission

Docket No.: 2007-00323

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Sincerely,

David B. Jantzi

Boulevard Properties, LLC

Representing:

William and Judith Keath 4000 McCormick Rd. Mt Sterling, KY 40353

RE:

Public Notice - Kentucky Public Service Commission

Docket No.: 2007-00323

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Sincerely,

David B. Jantzi

Boulevard Properties, LLC

Representing:

Dillard and Sue Parish 2820 McCormick Rd Mt. Sterling, KY 40353

RE:

Public Notice - Kentucky Public Service Commission

Docket No.: 2007-00323

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Sincerely,

David B. Jantzi

Boulevard Properties, LLC

Representing:

Charles and Shella Fugat Box 602 Mt. Sterling, KY 40353

RE:

Public Notice - Kentucky Public Service Commission

Docket No.: 2007-00323

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Sincerely,

David B. Jantzi

Boulevard Properties, LLC

Representing:

Gregory and Connie Barnett 3993 McCormick Rd. Mt. Sterling, KY 40353

RE:

Public Notice - Kentucky Public Service Commission

Docket No.: 2007-00323

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Please feel free to contact David Jantzi at 315-376-3333, if you have any questions.

Sincerely,

David B. Jantzi

**Boulevard Properties, LLC** 

Representing:



# EXHIBIT P COPY OF JUDGE EXECUTIVE NOTICE

August 15, 2007

The Honorable Banford D. Wilson 44 West Main St. Mt. Sterling, KY 40353

RE:

Public Notice - Kentucky Public Service Commission

Docket No.: 2007-00323

Dear Sir or Madam:

Shared Sites, LLC and American Cellular Corporation are making application to the Kentucky Public Service Commission (PSC) for a Certificate of Public Convienence and Necessity to construct and operate a new facility to provide wireless communication services. The facility will include a 250-foot tower with appurtenances attached to a maximum height of 260- feet, and a ground level equipment shelter(s) to be located at McCormick Rd., Camargo, KY 40353. This notice is being sent to you because you are the Judge Executive in Montgomery County where the facility is proposed to be built.

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Please feel free to contact David Jantzi at 315-376-3333, if you have any questions.

Sincerely,

David B. Jantzi

Boulevard Properties, LLC

Representing:

Shared Sites, LLC

August 15, 2007

Mayor Greg Beam 4406 Camargo Rd Mt. Sterling, KY 40353

RE:

Public Notice - Kentucky Public Service Commission

Docket No.: 2007-00323

Dear Sir or Madam:

Shared Sites, LLC and American Cellular Corporation are making application to the Kentucky Public Service Commission (PSC) for a Certificate of Public Convienence and Necessity to construct and operate a new facility to provide wireless communication services. The facility will include a 250-foot tower with appurtenances attached to a maximum height of 260- feet, and a ground level equipment shelter(s) to be located at McCormick Rd., Camargo, KY 40353. This notice is being sent to you because you are the Mayor of Camargo where the facility is proposed to be built.

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Sincerely,

David B. Jantzi

**Boulevard Properties, LLC** 

Representing:

Shared Sites, LLC

Economics.		
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## EXHIBIT Q COPY OF POSTING NOTICES

# SHARED SITES WV, LLC PROPOSES TO CONSTRUCT A TELECOMMUNICATIONS TOWER NEAR THIS SITE

#### IF YOU HAVE QUESTIONS PLEASE CONTACT

David Jantzi (Shared Sites Representative) Executive Director, Pt 1390 Chain Bridge Rd. #40, McLean, VA 22101 OR 211 Sower Boulevard 315-523-6258 PO Box 615, Frankfor

Executive Director, Public Service Commission 211 Sower Boulevard PO Box 615, Frankfort, KY 40602 Docket# 2007-00059

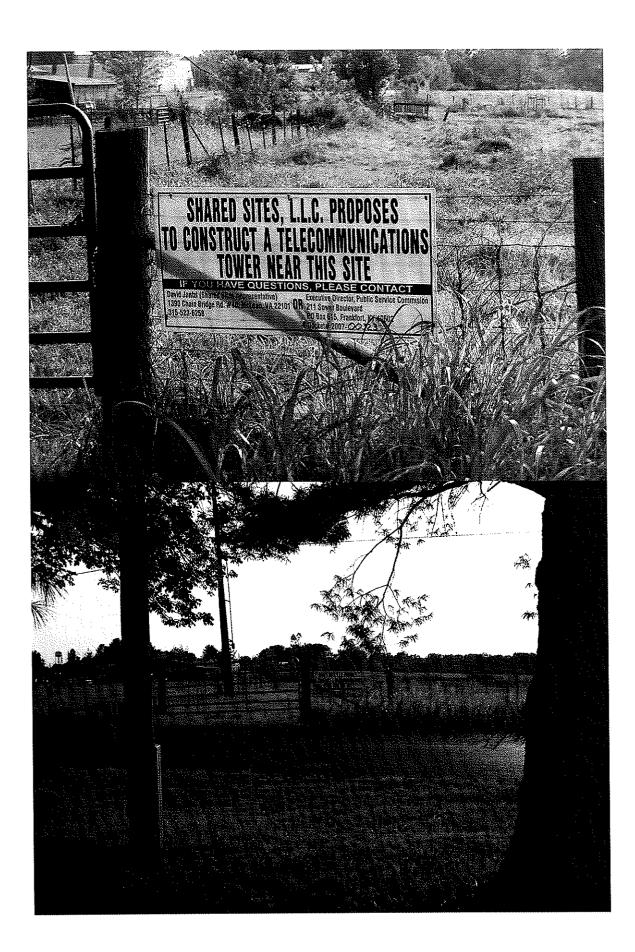
# SHARED SITES WV, LLC PROPOSES TO CONSTRUCT A TELECOMMUNICATIONS TOWER ON THIS SITE

#### IF YOU HAVE QUESTIONS PLEASE CONTACT

David Jantzi (Shared Sites Representative) 1390 Chain Bridge Rd. #40, McLean, VA 22101 315-523-6258

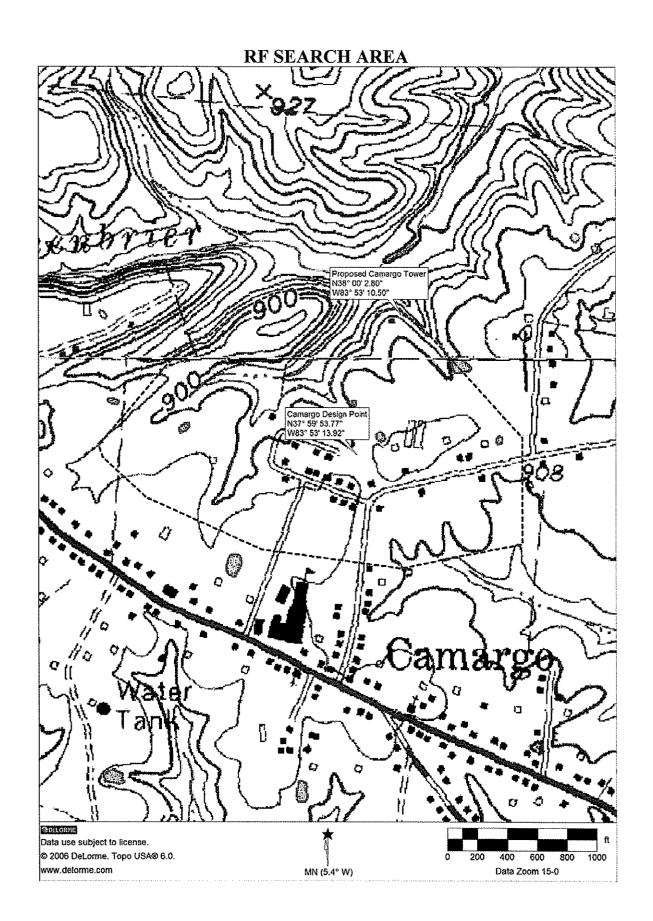
Executive Director, Public Service Commission
OR 211 Sower Boulevard
PO Box 615, Frankfort, KY 40602
Docket# 2007-00059





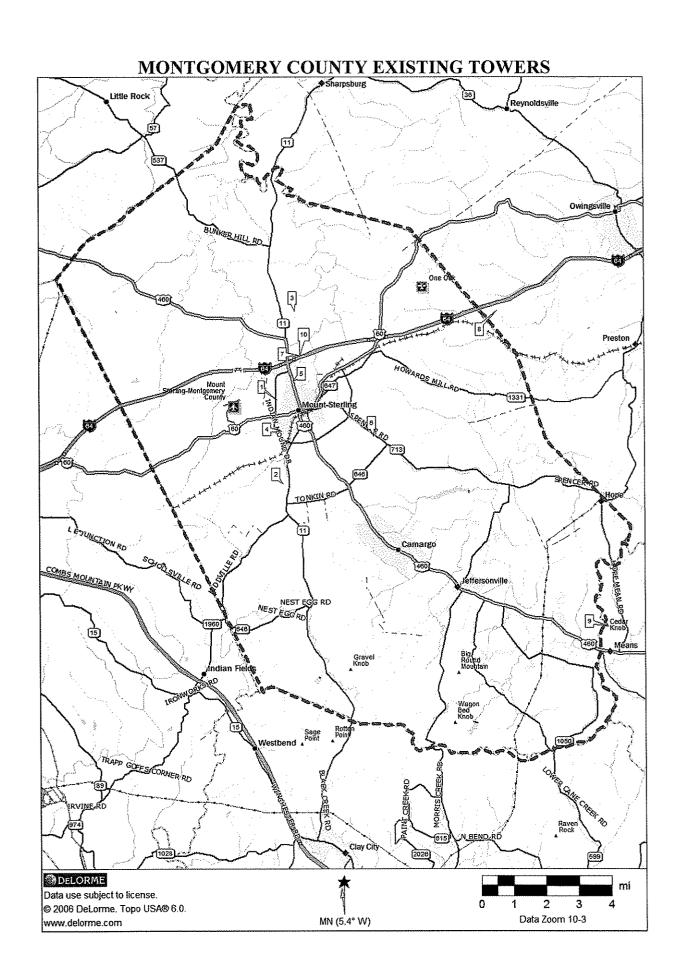
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### EXHIBIT R RADIO FREQUENCY DESIGN SEARCH AREA



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### EXHIBIT S TOWER MAP FOR SUBJECT COUNTY



Height ite AGL KY 140	225	415	138	138	206	255	275	254	222	
Heig Structure City/State AGL MOUNT STERLING, KY 140	MT, STERLING, KY	MT. STERLING, KY	MT, STERLING, KY	MT. STERLING, KY	Mount Sterling, KY	Mount Sterling, KY	Owingsville, KY	MEANS, KY	Mt. Sterling, KY	
Latitude/Longitude 38-03-39.0N 083-57-20.0W	38-01-26.0N 0083-57-08.0W	38-06-01.6N 083-56-44.2W	38-02-50.2N 083-57-10.7W	38-04-10.2N 083-56-46.7W	38-02-41.0N 083-54-05.0W	38-04-51.2N 083-56-35.4W	38-06-02.8N 083-49-52.9W	37-57-38.2N 083-46-12.6W	38-04-50.6N 083-56-33.2W	
Number Owner Name Latitude/Lor 333387 MONTGOMERY COUNTY FIRE 38-03-39.0N DEPARTMENT 083-57-20.0V	Global Tower, LLC	NEW CINGULAR WIRELESS PCS, LLC	CITY OF MT. STERLING POLICE DEPT.	GARRETT COMMUNICATIONS INC.	Gateway Radio Works Inc	Crown Communication Inc.	CROWN CASTLE PT, INC.	NEW CINGULAR WIRELESS, LLC	Cellco Partnership	
Number ( 33387	A0455321 C	A0470481 P	A0096240 C	A0116774 G	A0270966 C	A0294766 C	A0290972 C	A0514916 N	A0531550 C	
<b>Status</b> Constructed	Constructed	Constructed	Constructed	Constructed	Constructed	Constructed	Constructed	Constructed	Constructed	
Registration Number 1028149	<u>1042213</u>	1059771	1203262	1207538	<u> </u>	1220054	1228060	1252133	1205637	
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