

COMMONWEALTH OF KENTUCKY
BEFORE THE PUBLIC SERVICE COMMISSION

RECEIVED

MAR 16 2007

PUBLIC SERVICE
COMMISSION

In the Matter of:

APPLICATION OF KENTUCKY RSA #3
CELLULAR GENERAL PARTNERSHIP FOR
ISSUANCE OF A CERTIFICATE OF PUBLIC
CONVENIENCE AND NECESSITY TO CONSTRUCT
A CELL SITE (TODD SOUTH) IN RURAL
SERVICE AREA #3 (TODD) OF THE
COMMONWEALTH OF KENTUCKY

7
CASE NO. 2006-00040

APPLICATION FOR A CERTIFICATE
OF PUBLIC CONVENIENCE AND NECESSITY (TODD SOUTH)

Kentucky RSA #3 Cellular General Partnership ("Kentucky RSA #3"), through counsel, pursuant to KRS 278.020 and 278.040, hereby submits this application for a certificate of public convenience and necessity to construct a cell site to be known as the Todd South cell site in and for rural service area ("RSA") #3 of the Commonwealth of Kentucky, namely the counties of Allen, Breckinridge, Butler, Edmonson, Grayson, Hancock, Logan, McLean, Meade, Muhlenberg, Ohio, Simpson, Todd and Warren, Kentucky.

1. As required by 807 KAR 5:001 Sections 8(1) and (3), and 807 KAR 5:063, Kentucky RSA #3 states that it is a Kentucky general partnership whose full name and post office address are: Kentucky RSA #3 Cellular General Partnership, 2902 Ring Road, Elizabethtown, Kentucky, 42701.

2. Pursuant to 807 KAR § 1 (1)(b), a copy of the applicant's applications to the Federal Aviation Administration and Kentucky Airport Zoning Commission are attached as Exhibit "A". Written authorizations from these agencies will be supplied to the Commission upon their approval.

3. Pursuant to 807 KAR 5:063 §1(1)(d), applicant is attaching as Exhibit "B" a geotechnical investigation report, signed and sealed by a professional engineer registered in Kentucky, that includes boring logs, foundation design recommendations, and a finding as to the susceptibility of the area surrounding the proposed site to flood hazard.

4. Pursuant to 807 KAR 5:063 §1(1)(e), clear directions from the county seat to the proposed site, including highway numbers and street names, if applicable, with the telephone number of the person who prepared the directions are attached as Exhibit "C".

5. Pursuant to 807 KAR 5:063 §1(1)(f), a copy of the lease for the property on which the tower is proposed to be located is attached as Exhibit "D".

6. Pursuant to 807 KAR §1(1)(g), experienced personnel will manage and operate the Todd South cell site. The President of Bluegrass Cellular Inc., Mr. Ron Smith, is ultimately responsible for all construction and operations of the cellular system of Kentucky RSA # 3 , of which system the Todd South cell site will be a part. Bluegrass Cellular Inc. provides management services to Kentucky RSA #3 under a management contract, just as it does with three (3) other wireless carriers in the Commonwealth. And, Bluegrass Cellular Inc. has been providing these management services to these other wireless carriers for well over a decade. This extensive management experience with Bluegrass Cellular demonstrates that Bluegrass Cellular Inc.'s management and technical ability to supervise the operations of a wireless carrier.

7. Pursuant to 807 KAR §1(1)(g), Eastpointe Engineering Group, LLC is responsible for the design specifications of the proposed tower (identified in Exhibit "B").

8. Pursuant to 807 KAR 5:063 §1(1)(h), a site development plan or survey, signed and sealed by a professional engineer registered in Kentucky, that shows the proposed location of the tower and all easements and existing structures within 500 feet of the proposed site on the property on which the tower will be located, and all easements and existing structures within 200 feet of the access drive, including the intersection with the public street system is attached as Exhibit "B".

9. Pursuant to 807 KAR 5:063 §1(1)(i), a vertical profile sketch of the tower, signed and sealed by a professional engineer registered in Kentucky, indicating the height of the tower and the placement of all antennas is attached as Exhibit "B".

10. Pursuant to 807 KAR 5:063 §1(1)(j), the tower and foundation design plans and a description of the standard according to which the tower was designed, signed and sealed by a professional engineer registered in Kentucky is attached as Exhibit "B".

11. Pursuant to 807 KAR 5:063 § 1 (1)(k), a map, drawn to a scale no less than one (1) inch equals 200 feet, that identifies every structure and every owner of real estate within 500 feet of the proposed tower is attached as Exhibit "E".

12. Pursuant to 807 KAR 5:063 § 1 (1)(l), applicant's legal counsel hereby affirms that every person who owns property within 500 feet of the proposed tower has been: (i) notified by certified mail, return receipt requested, of the proposed construction; (ii) given the commission docket number under which the application will be processed; and (iii) informed of his or her right to request intervention.

13. Pursuant to KRS 278.665(2), applicant's legal counsel hereby affirms that every person who, according to the records of the property valuation administrator, owns property contiguous to the property where the proposed cellular antenna tower will be located has been: (i) notified by certified mail, return receipt requested, of the proposed construction; (ii) given the commission docket number under which the application will be processed; and (iii) informed of his or her right to request intervention.

14. Pursuant to 807 KAR 5:063 §1(1)(m), a list of the property owners who received the notice together with copies of the certified letters sent to listed property owners is attached as Exhibit "F".

15. Pursuant to 807 KAR 5:063 § 1 (1)(n), applicant's legal counsel hereby affirms that the office of the Todd County Judge Executive has been: (i) notified by certified mail, return receipt requested, of the proposed construction; (ii) given the commission docket number under which the application will be processed; and (iii) informed of its right to request intervention.

16. Pursuant to 807 KAR 5:063 §1(1)(o), a copy of the notice sent to the office of the Todd County Judge Executive is Exhibit "G".

17. Pursuant to 807 KAR 5:063 § 1 (1)(p), applicant's legal counsel hereby affirms that (i) two written notices meeting subsection two (2) of this section have been posted, one in a visible location

on the proposed site and one on the nearest public road; and (ii) the notices shall remain posted for at least two weeks after the application has been filed.

18. Pursuant to 807 KAR 5:063 § 1 (2)(a), applicant's legal counsel affirms that:

(a) A written notice, of durable material at least two (2) feet by four (4) feet in size, stating that "***Kentucky RSA #3 Cellular General Partnership proposes to construct a telecommunications tower on this site,***" including the addresses and telephone numbers of the applicant and the Kentucky Public Service Commission, has been posted and shall remain in a visible location on the proposed site until final disposition of the application; and

(b) A written notice, of durable material at least two (2) feet by four (4) feet in size, stating that "***Kentucky RSA #3 Cellular General Partnership proposes to construct a telecommunications tower near this site,***" including the addresses and telephone numbers of the applicant and the Kentucky Public Service Commission, has been posted on the public road nearest the site.

A copy of each sign is attached as Exhibit "H"

19. Pursuant to 807 KAR 5:063 § 1 (1)(q), a statement that notice of the location of the proposed construction has been published in a newspaper of general circulation in the county in which the construction is proposed is attached as Exhibit "I".

20. Pursuant to 807 KAR 5:063 § 1(1)(r), the cell site, which has been selected, is in a relatively undeveloped area in Allensville, Kentucky.

21. Pursuant to 807 KAR 5:063 §1(1)(s), Kentucky RSA #3 has considered the likely effects of the installation on nearby land uses and values and has concluded that there is no more suitable location reasonably available from which adequate service to the area can be provided, and that there is no reasonably available opportunity to co-locate. Kentucky RSA #3 has attempted to co-locate on towers designed to host multiple wireless service providers' facilities or existing structures, such as a telecommunications tower, or another suitable structure capable of supporting the utility's facilities.

22. Pursuant to 807 KAR 5:063 § 1(1)(t), a map of the area in which the tower is proposed to be located, that is drawn to scale and that clearly depicts the search area in which a site should, pursuant to radio frequency requirements, be located is attached as Exhibit "J".

23. Pursuant to KRS 100.987(2)(a), a grid map, that is drawn to scale, that shows the location of all existing cellular antenna towers and that indicates the general position of proposed construction sites for new cellular antenna towers is attached as Exhibit "K".

24. No reasonably available telecommunications tower, or other suitable structure capable of supporting the cellular facilities of Kentucky RSA #3 and which would provide adequate service to the area exists.

25. Correspondence and communication with regard to this application should be addressed to:

John E. Selent
Jane W. Prizant
DINSMORE & SHOHL LLP
1400 PNC Plaza
500 West Jefferson Street
Louisville, KY 40202
(502) 540-2300
(502) 585-2207 (facsimile)
john.selent@dinslaw.com
jane.prizant@dinslaw.com

WHEREFORE, Kentucky RSA #3 Cellular General Partnership requests the Commission to enter an order:

1. Granting a certificate of public convenience and necessity to construct the Todd South cell site; and
2. Granting all other relief as appropriate.

Respectfully submitted,



John E. Selent
Jane W. Prizant
DINSMORE & SHOHL LLP
1400 PNC Plaza
500 West Jefferson Street
Louisville, KY 40202
(502) 540-2300
(502) 585-2207 (facsimile)
john.selent@dinslaw.com
jane.prizant@dinslaw.com

LUKAS, NACE, GUTIERREZ & SACHS

CHARTERED

1650 TYSONS BOULEVARD, SUITE 1500
MCLEAN, VIRGINIA 22102
703 584 8678 • 703 584 8696 FAX

WWW.FCCLAW.COM

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ELIZABETH R. SACHS*
GEORGE L. LYON, JR.
PAMELA L. GIST
DAVID A. LAFURIA
B. LYNN F. RATNAVALE*
TODD SLAMOWITZ*
STEVEN M. CHERNOFF*

CONSULTING ENGINEERS
ALI KUZEHKANANI
LEILA REZANAVAZ
OF COUNSEL
JOHN J. MCAVOY*
J.K. HAGE III*
LEONARD S. KOLSKY*
HON. GERALD S. MCGOWAN*
TAMARA DAVIS-BROWN*

*NOT ADMITTED IN VA

January 26, 2007

Via Federal Express

Mr. John Houlihan
Kentucky Airport Zoning Commission
200 Mero Street
Frankfort, Kentucky 40622


Dear Mr. Houlihan:

Enclosed please find two completed TC 56-50 forms, Application for Permit to Construct or Alter a Structure, for a new tower (Todd South) near Allensville, Kentucky. The Structure, including top-mounted antennas will have an overall height of 199 feet Above Ground Level.

Enclosed Form TC 56-50 and the attached exhibit include all the pertinent information for this existing tower structure. Also enclosed are copies of the completed FAA Form 7460-1 for the proposed site and a non-reduced 7-1/2' U.S. Geological Survey map indicating the exact location of the site.

Please do not hesitate to contact the undersigned if there are questions regarding this matter.

Sincerely,


Leila Rezanavaz
Consulting Engineer

Enclosures

CC: Doug Updegraff

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MAR 16 2007

PUBLIC SERVICE
COMMISSION

Telephone
(703) 584-8668

Kentucky Transportation Cabinet, Kentucky Airport Zoning Commission, 125 Holmes Street, Frankfort KY 40622

Kentucky Aeronautical Study Number

APPLICATION FOR PERMIT TO CONSTRUCT OR ALTER A STRUCTURE

1. APPLICANT - Name, Address, Telephone, Fax, etc.

Scott McCloud
Bluegrass Cellular
2902 Ring Road
Elizabethtown, KY 42702
Tel: 270-769-0339
Fax: 270-737-0580

2. Representative of Applicant - Name, Address, Telephone, Fax

Leila Rezanavaz
Lukas, Nace, Gutierrez & Sachs, Chartered
1650 Tysons Blvd., Suite 1500
McLean, VA 22102
T: 703-584-8668

3. Application for: [X] New Construction [] Alteration [] Existing

4. Duration: [X] Permanent [] Temporary (Months _____ Days _____)

5. Work Schedule: Start 3/20/07 End 3/25/07

6. Type: [X] Antenna Tower [] Crane [] Building [] Power Line
[] Landfill [] Water Tank [] Other _____

7. Marking/Painting and/or Lighting Preferred:

- [] Red Lights and Paint [] Dual - Red & Medium Intensity White
[] White - Medium Intensity [] Dual - Red & High Intensity White
[] White - High Intensity [X] Other None

8. FAA Aeronautical Study Number 2007-ASO-354-OE

9. Latitude: 36 ° 41 ' 48 . 44 "

10. Longitude: 87 ° 7 ' 44 . 23 "

11. Datum: [X] NAD 83 [] NAD 27 [] Other _____

12. Nearest Kentucky City Allensville County: Todd

13. Nearest Kentucky public use or Military airport:
Russellville-Logan County Airport

14. Distance from #13 to Structure: 19.0 miles

15. Direction from #13 to Structure: SW

16. Site Elevation (AMSL): 579 Feet

17. Total Structure Height (AGL): 199 Feet

18. Overall Height (#16 + #17) (AMSL): 778 Feet

19. Previous FAA and/or Kentucky Aeronautical Study Number(s):
N/A

20. Description of Location: (Attach a USGS 7.5 minute Quadrangle Map or an Airport Layout Drawing with the precise site marked and any certified survey)

Site is located at:

4799 Russellville Road
Allensville, KY 42204

21. Description of Proposal:

Structure: Tower with top-mounted antennas for overall height of 199' AGL.
Max. ERP: 250 Watts
Frequencies: Cellular Band B

22. Has a "NOTICE OF CONSTRUCTION OR ALTERATION" (FAA Form 7460-1) been filed with the Federal Aviation Administration?

[] No
[X] Yes, When 01/24/2007

CERTIFICATION: I hereby certify that all the above statements made by me are true, complete and correct to the best of my knowledge and belief.

Leila Rezanavaz / Consulting Engineer

Leila Rezanavaz

1/26/07

Printed Name

Signature

Date

PENALTIES: Persons failing to comply with Kentucky Revised Statutes (KRS 183.861 through 183.990) and Kentucky Administrative Regulations (602 KAR 050: Series) are liable for fines and/or imprisonment as set forth in KRS 183.990(3). Non-compliance with Federal Aviation Administration Regulations may result in further penalties.

Commission Action:

[] Chairman, KAZC

[] Administrator, KAZC

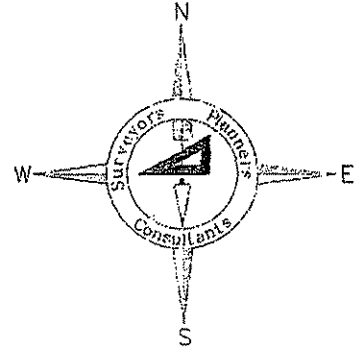
[] Approved

[] Disapproved

Date _____

Landmark Surveying Co., Inc.

Darren L. Helms, R.L.S., PRESIDENT
Dennis N. Helms, R.L.S., VICE PRESIDENT



15 N.E. 3rd Street
Washington, Indiana 47501
Phone: 812-257-0950
Fax: 812-257-0953
E-mail: landmark@dmrtc.net

1A Certification

January 10, 2007

Designation: Todd South
Site ID No.: Not Available
Tower Type: Proposed Self-Support Tower
Location: 4799 Russellville Road, Allensville, KY 42204

I certify that the latitude, longitude, ground elevation and height of the proposed self-support tower are as follows:

Latitude:	36 degrees 41 minutes 48.44 seconds North	(NAD 1983)
Longitude:	87 degrees 07 minutes 44.23 seconds West	(NAD 1983)
Ground Elevation:	578.7 feet or 176.4 meters	(NAVD 1988)
Proposed Structure Height:	195 feet or 59.4 meters	(above ground level)
Proposed Overall Structure Height:	not available	(above ground level)

The accuracy of the latitude and longitude of the proposed self-support tower is ± 15 feet or ± 5 meters. The ground elevation and structure height are accurate to within ± 3 feet or ± 1 meter.

The information shown above is based upon field observations made on January 2, 2007 using the National Geodetic Survey monument "P 348" and the Kentucky State Plane Coordinate System, South Zone, NAD 1983 (1993). The field observations were completed using Sokkia GPS receivers and a Topcon GPT-8005A robotic total station. Geodetic computations were completed using Sokkia's Locus software and Autodesk Land Desktop 2007 software.

Landmark Surveying Co., Inc.



Darren L. Helms, Kentucky Professional Land Surveyor No. 3386



Notice of Proposed Construction or Alteration (7460-1)

Project Name: BLUEG-000058234-07

Sponsor: Bluegrass Cellular, Inc.

Details for Case : Todd South

Show Project Summary

Case Status

ASN: 2007-ASO-354-OE

Date Accepted: 01/24/2007

Status: Accepted

Date Determined:

Letters: None

Construction / Alteration Information

Notice Of: Construction

Duration: Permanent

if Temporary : Months: Days:

Work Schedule - Start: 03/20/2007

Work Schedule - End: 03/25/2007

State Filing: Filed with State

Structure Summary

Structure Name: Todd South

Structure Type: Antenna Tower

Other :

FCC Number:

Prior ASN:

Structure Details

Latitude: 36° 41' 48.44" N

Longitude: 87° 7' 44.23" W

Horizontal Datum: NAD83

Site Elevation (SE): 579 (nearest foot)

Structure Height (AGL): 199 (nearest foot)

Marking/Lighting: None

Other :

Nearest City: Allensville

Nearest State: Kentucky

Traverseway: No Traverseway

Description of Location: Site is located at:
4799 Russellville Road
Allensville, KY 42204

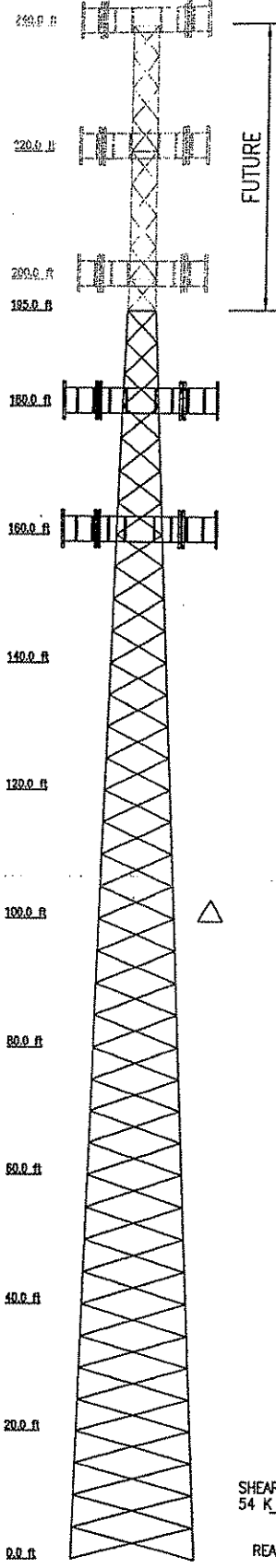
Description of Proposal: Tower with top-mounted
antennas for overall height
of 199' AGL.

Common Frequency Bands

Low Freq	High Freq	Freq Unit	ERP	ERP Unit
824	849	MHz	500	W
851	866	MHz	500	W
869	894	MHz	500	W

Specific Frequencies

Section	T12	T11	T10	T9	T8	T7	T6	T5	T4	T3	T2	T1
Legs	SR 4	SR 4	SR 3 3/4	SR 3 3/4	SR 3 1/4	SR 3 1/2	SR 3 1/4	SR 2 3/4	SR 2 3/4	SR 2 3/4	SR 2 1/2	SR 1 3/4
Leg Grade	L3 1/2x3 1/2x1/4	L3x1/4	L3x3/16	L3x3/16	L3x3/16	L2 1/2x2 1/2x3/16	L2x3/16	L1 3/4x1 3/4x3/16	L1 3/4x1 3/4x3/16	L1 3/4x1 3/4x3/16	L1 3/4x1 3/4x3/16	L1 3/4x1 3/4x3/16
Diagonal												
Diagonal Grade												
Top Size			N/A	N/A	N/A	N/A	N/A	L1 3/4x1 3/4x3/16	L1 3/4x1 3/4x3/16	L1 3/4x1 3/4x3/16	L1 3/4x1 3/4x3/16	L1 3/4x1 3/4x3/16
Face Width (ft)	19	16	14.5	13	11.5	10	8.5	7	5.5	4.0	4.0	4.0
# Panels @ (ft)			39 @ 5									
Weight (K)	32.5	4.6	5.2	3.7	3.6	3.0	2.5	2.0	1.6	1.2	1.2	0.2



DESIGNED APPURTENANCE LOADING

TYPE	ELEVATION	TYPE	ELEVATION
(6) D100-0042-0041	240	(6) RWB 80014/120 (Future)	180
Lightning Rod 1"x10" (initial)	240	(3) T frame sector Mount (Future Carrier 3)	180
Flash Beacon Lighting (initial)	240	(6) RWB 80014/120 (Future)	180
(3) T frame sector Mount (initial)	240	(3) T frame sector Mount (Future Carrier 4)	180
(6) RWB 80014/120 (Future)	220	HP6-122	140
(3) T frame sector Mount (Future Carrier 1)	220		
(6) RWB 80014/120 (Future)	200		
(3) T frame sector Mount (Future Carrier 2)	200		

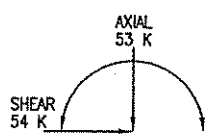
MATERIAL STRENGTH

GRADE	Fy	Fu	GRADE	Fy	Fu
A572-50	50 ksi	65 ksi	A36	36 ksi	58 ksi

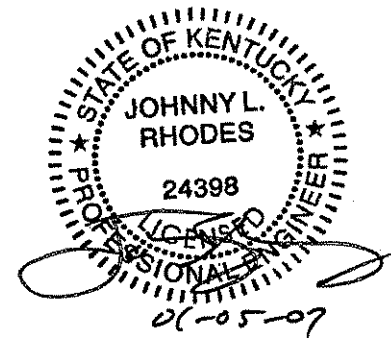
TOWER DESIGN NOTES

1. Tower is located in Todd County, Kentucky.
2. Tower designed for Exposure B to the TIA-222-G standard.
3. Tower designed for a 90 mph basic wind in accordance with the TIA-222-G standard.
4. Deflections are based upon a 60 mph wind.
5. Tower designed as Structure Class 1.
6. Tower designed as Topo Category 3 w/ Crest Height of 100 ft.
7. In no case shall more than (6) lines be exposed to wind. Feedlines may be stacked in up to (2) rows on the inside and outside face of the tower.
8. Final design 01/05/07. JLR

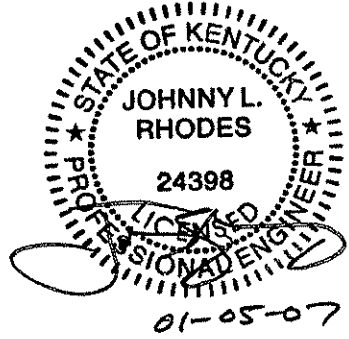
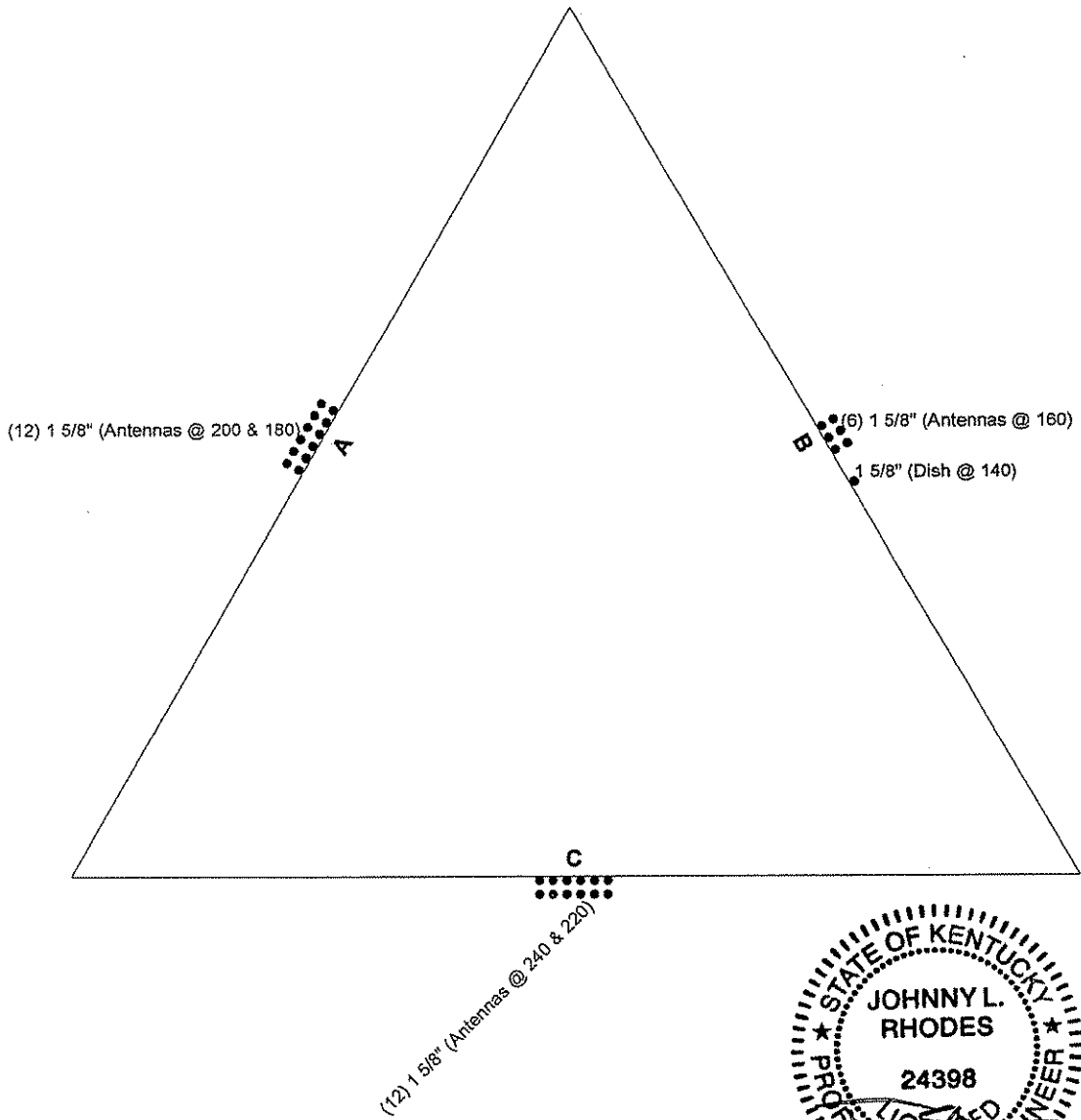
MAX. CORNER REACTIONS AT BASE:
 DOWN: 424 K
 UPLIFT: -377 K
 SHEAR: 31 K



TORQUE 7 kip-ft
 REACTIONS - 90 mph WIND



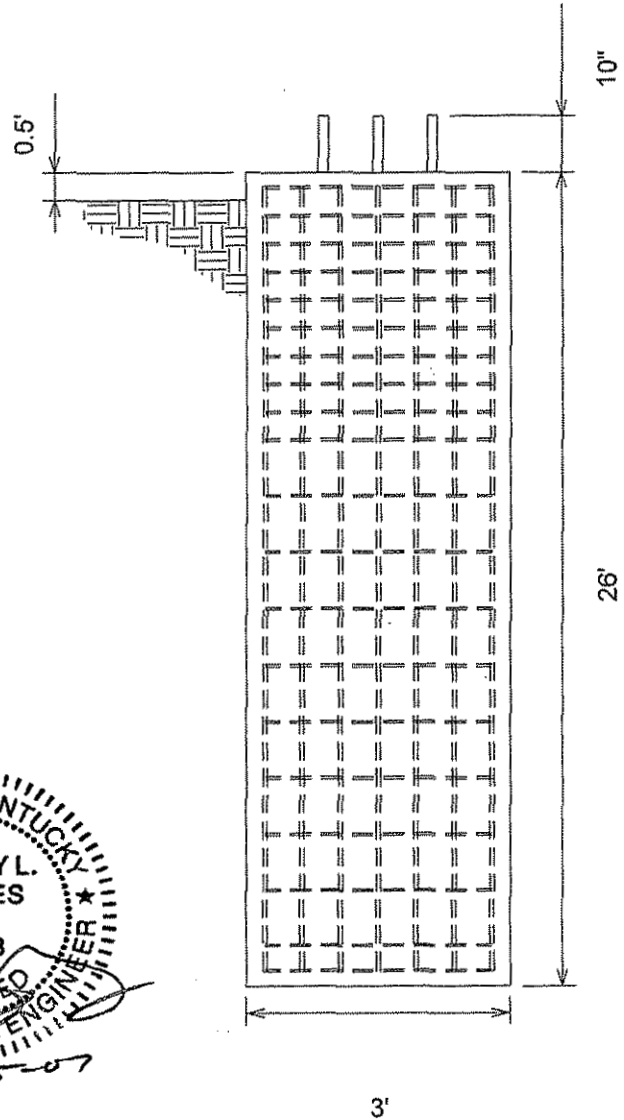
Eastpointe Engineering Group, LLC		Job: EH Job #2472--Todd South	
4020 Tull Ave. Muskogee, OK 74403		Project: 195' SST Extendable to 240'/Todd County, KY	
Phone: 918.683.2169		Client:	Drawn by: Johnny L. Rhodes, P.E. App'd:
Fax: 918.683.7618		Code: TIA-222-G	Date:
		Path:	Scale: NTS
			Dwg. No. E-1



Eastpointe Engineering Group, LLC 4020 Tull Ave. Muskogee, OK 74403 Phone: 918.683.2169 FAX: 918.682.7618	Job: EII Job #2472-Todd South
	Project: 195'-240' SST/Todd County, KY
	Client: Bluegrass Cellular Drawn by: Johnny L. Rhodes, P.E. App'd:
	Code: TIA-222-G Date: 01/05/07 Scale: NT
	Path: <small>Z:\Drafting\Drawings\Jobs\2400-2499\2472\Final Tower Design\2400.dwg</small> Dwg No. E-

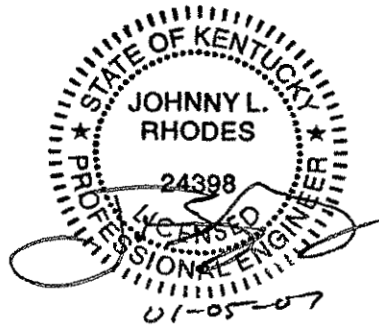
CAISSON DESIGN

Vertical Bars	(12) #9 bars, 25.5' long
Ties	#5 bars @ 6" c/c for the first 6.5' then 12" c/c thereafter



General Notes

1. Concrete shall be placed in accordance with ACI318-02, latest revision.
2. Concrete shall have a minimum 28 day compressive strength of 4000 PSI.
3. Rebar to conform to ASTM A615 grade 60.
4. Rebar used for ties may be A615 grade 40.
5. All rebar to have a minimum of 3" clear cover.
6. All exposed concrete corners to have 3/4" chamfer.
7. Bottom and side surfaces to rest on undisturbed soil.
8. Contractor shall be responsible to review and follow all recommendations of the geotechnical report.



Supplemental Notes

Soil values obtained from Terracon soils report #57067561 dated 12/28/06.
Use (6) 1 1/2" Grade 50 Anchor bolts with 60" embedment.

EASTPOINTE ENGINEERING GROUP, LLC

4020 Tull Ave. Muskogee, OK 74403--Phone 918.683.2169--Fax:918.682.7618

Client: **Bluegrass Cellular**

Site: **Todd South**

Job: 2472 Drawn by: JLR

Scale: NTS Date: 01/05/07

GEOTECHNICAL ENGINEERING REPORT
TODD SOUTH TELECOMMUNICATION TOWER
4799 RUSSELLVILLE ROAD
ALLENSVILLE, KENTUCKY

TERRACON PROJECT NO. 57067561
December 28, 2006

Prepared For:

BLUEGRASS CELLULAR
Elizabethtown, Kentucky

Prepared by:

Terracon
Louisville, Kentucky

Terracon

December 28, 2006

Bluegrass Cellular
2902 Ring Road
Elizabethtown, Kentucky 42702

Attention: Mr. Doug Updegraff

Re: **Geotechnical Engineering Report**
Proposed Todd South Telecommunication Tower
4799 Russellville, Road
Allensville, Kentucky
Terracon Project No. 57067561

Terracon
Consulting Engineers & Scientists

4545 Bishop Lane, Suite 101
Louisville, Kentucky 40218
Phone 502.456.1256
Fax 502.456.1278
www.terracon.com


Dear Mr. Updegraff:

The results of our subsurface exploration are attached. The purpose of this exploration was to obtain information on subsurface conditions at the proposed project site and, based on this information, to provide recommendations regarding the design and construction of the foundations for the proposed tower.

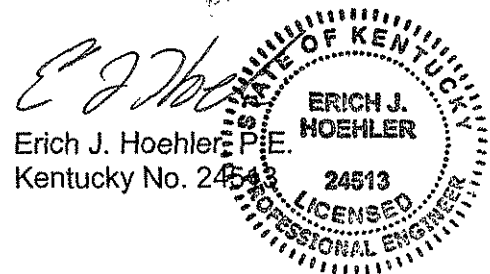
Terracon's geotechnical design parameters and recommendations within this report apply to the existing planned tower height and would apply to adjustments in the tower height, up to a 20% increase or decrease in height, as long as the type of tower does not change. If changes in the height of the tower dictate a change in tower type (ie - monopole to a self-support, self-support to a guyed tower), Terracon should be contacted to evaluate our recommendations with respect to these changes.

We appreciate the opportunity to be of service to you on this project. If you have any questions concerning this report, or if we may be of further service to you in any way, please feel free to contact us.

Sincerely,
Terracon


Jason L. Thompson, EIT
Staff Engineer


Timothy G. LaGrow, P.E.
Regional Manager



Attachments: Geotechnical Engineering Report

Copies: (4) Addressee

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GEOTECHNICAL ENGINEERING REPORT

**PROPOSED TODD SOUTH TELECOMMUNICATION TOWER
4799 RUSSELLVILLE ROAD
ALLENSVILLE, KENTUCKY
TERRACON PROJECT NO. 57067561
December 28, 2006**

1.0 INTRODUCTION

The purpose of this report is to describe the subsurface conditions encountered in the boring, analyze and evaluate the test data, and provide recommendations regarding the design and construction of the foundations and earthwork for the proposed tower. One boring extending to a depth of about 32 feet below the existing ground surface was drilled at the site. An individual boring log and a boring location plan are included with this report.

2.0 PROJECT DESCRIPTION

Terracon understands the proposed project will consist of the construction of a 240-foot self supporting tower. Exact tower loads are not available, but based on our past experience are anticipated to be as follows:

Vertical Load:	600 kips
Horizontal Shear:	80 kips
Uplift:	500 kips

A small, lightly loaded equipment building will also be constructed. Wall and floor loads for this building are not anticipated to exceed 1 kip per linear foot and 100 pounds per square foot, respectively. Based on the client provided information, the proposed center of the tower is at an elevation of approximately 570 feet. Based on the proposed tower construction and a review of the topographic map for the area, less than 5 feet of cut and/or fill are anticipated.

3.0 EXPLORATION PROCEDURES

3.1 Field Exploration

The subsurface exploration consisted of drilling and sampling one boring at the site to a depth of about 32 feet below existing grade. The boring was advanced at the center of the tower, staked by the project surveyor. A ground surface elevation at the center of the tower was included in the client provided information and is noted on the boring log.

The boring was drilled with an ATV-mounted rotary drill rig using hollow stem augers to advance the borehole. Representative soil samples were obtained by the split-barrel sampling procedure in general accordance with the appropriate standard. In the split-barrel sampling procedure, the number of blows required to advance a standard 2-inch O.D.

split-barrel sampler the last 12 inches of the typical total 18-inch penetration by means of a 140-pound hammer with a free fall of 30 inches, is the standard penetration resistance (SPT) value (N-Value). This value is used to estimate the in-situ relative density of cohesionless soils and the consistency of cohesive soils. The sampling depths, penetration distance, and SPT N-Values are shown on the boring log. The samples were sealed and delivered to the laboratory for testing and classification.

Auger refusal was encountered at a depth of about 22 feet below the existing ground surface. The boring was extended into the refusal materials using a diamond bit attached to the outer barrel of a double core barrel. The inner barrel collected the cored material as the outer barrel was rotated at high speeds to cut the rock. The barrel was retrieved to the surface upon completion of each drill run. Once the core samples were retrieved, they were placed in a box and logged. The rock was later classified by an engineer and the "percent recovery" and rock quality designation (RQD) were determined.

The "percent recovery" is the ratio of the sample length retrieved to the drilled length, expressed as a percent. An indication of the actual in-situ rock quality is provided by calculating the sample's RQD. The RQD is the percentage of the length of broken cores retrieved which have core segments at least 4 inches in length compared to each drilled length. The RQD is related to rock soundness and quality as illustrated below:

Table 1 – Rock Quality Designation (RQD)

Relation of RQD and In-situ Rock Quality	
RQD (%)	Rock Quality
90 - 100	Excellent
75 - 90	Good
50 - 75	Fair
25 - 50	Poor
0 -25	Very Poor

A field log of the boring was prepared by a subcontract driller. This log included visual classifications of the materials encountered during drilling as well as the driller's interpretation of the subsurface conditions between samples. The final boring log included with this report represents an interpretation of the driller's field log and a visual classification of the soil samples made by the Geotechnical Engineer.

3.2 Laboratory Testing

The samples were classified in the laboratory based on visual observation, texture and plasticity. The descriptions of the soils indicated on the boring log are in accordance with

the enclosed General Notes and the Unified Soil Classification System. Estimated group symbols according to the Unified Soil Classification System are given on the boring log. A brief description of this classification system is attached to this report.

The laboratory testing program consisted of performing water content tests and an Atterberg Limits test on representative soil samples. An unconfined compressive strength test was performed on a sample of the refusal material. Information from these tests was used in conjunction with field penetration test data to evaluate soil/rock strength in-situ, volume change potential, and soil classification. Results of these tests are provided on the boring log.

Classification and descriptions of rock core samples are in accordance with the enclosed General Notes, and are based on visual and tactile observations. Petrographic analysis of thin sections may indicate other rock types. Percent recovery and rock quality designation (RQD) were calculated for these samples and are noted at their depths of occurrence on the boring log.

4.0 EXPLORATORY FINDINGS

4.1 Subsurface Conditions

Conditions encountered at the boring location are indicated on the boring log. Stratification boundaries on the boring log represent the approximate location of changes in soil types and the transition between materials may be gradual. Water levels shown on the boring log represent the conditions only at the time of our exploration. Based on the results of the boring, subsurface conditions on the project site can be generalized as follows.

Underlying approximately 4 inches of topsoil our boring encountered lean and sandy clay (CL) to an auger refusal depth of 22 feet. The clay exhibited a stiff to hard consistency based on SPT N-Values ranging from 8 to over 50 blows per foot. The higher SPT N-Values were likely due to rock fragments suspended within the soil matrix.

Below a depth of about 22 feet, rock coring techniques were used to advance the borehole. The core samples recovered consisted of closely jointed, slightly weathered, light gray, hard, limestone. The limestone at the site appears to be relatively continuous based on a core recovery of 96 percent. The quality of the rock is rated at good based on an RQD value of 78 percent. Considering the height of the tower and the quality of the bedrock, coring operations were terminated at a depth of 32 feet below grade.

4.2 Site Geology

A review of the Geologic Map of the Allensville, Kentucky Quadrangle published by the United States Geological Survey, indicates that the site is underlain by Saint Genevieve Limestone. The limestone is very light to medium gray and brownish-gray, dense and very fine grained to coarsely fragmental, thin to thick bedded and cherty. Saint Genevieve limestone can be over 220 feet thick.

It should be noted that the site is underlain by a limestone formation that is susceptible to dissolution along joints and bedding planes in the rock mass. This results in voids and solution channels within the rock strata and a highly irregular bedrock surface. The weathering of the bedrock and subsequent collapse or erosion of the overburden into these openings results in what is referred to as a karst topography. Any construction in karst topography is accompanied by some degree of risk for future internal soil erosion and ground subsidence that could affect the stability of the proposed structures. Our review of the available topographic and geologic mapping noted several sinkholes within a 1 mile radius of the site. However, the boring drilled at the site did not disclose any obvious signs of impending overburden collapse.

4.3 Groundwater Conditions

No groundwater was encountered during the auger drilling portion of the borehole. Water was used to advance the borehole during rock coring operations. The introduction of water into the borehole precluded obtaining accurate groundwater level readings at the time of drilling operations. Long term observation of the groundwater level in monitoring wells, sealed from the influence of surface water, would be required to obtain accurate groundwater levels on the site.

It should be recognized that fluctuations of the groundwater table may occur due to seasonal variations in the amount of rainfall, runoff and other factors not evident at the time the boring was performed. Therefore, groundwater levels during construction or at other times in the life of the structure may be higher or lower than the levels indicated on the boring log. The possibility of groundwater level fluctuations should be considered when developing the design and construction plans for the project.

5.0 ENGINEERING RECOMMENDATIONS

Based on the encountered subsurface conditions, the tower can be constructed on drilled piers or a mat foundation. The lightly loaded equipment building can be supported on shallow spread footings. Shallow foundation and drilled pier recommendations are presented in the following paragraphs.

5.1 Tower Foundation

Drilled Pier Alternative: Based on the results of the boring, the following drilled pier design parameters have been developed:

Table 2 – Drilled Pier Foundation Design Parameters

Depth * (feet)	Description **	Allowable Skin Friction (psf)	Allowable End Bearing Pressure (psf)	Allowable Passive Pressure (psf)	Internal Angle of Friction (Degree)	Cohesion (psf)	Lateral Subgrade Modulus (pci)	Strain, ϵ_{50} (in/in)
0 – 3	Topsoil and Lean Clay	Ignore	Ignore	Ignore	-	-	Ignore	Ignore
3 – 22	Lean and Sandy Clay	450	3,000	1,750	0	1,750	140	0.006
22 – 32	Limestone	5,000***	50,000	10,000***	0	100,000***	3,000	0.00001

* Pier inspection is recommended to adjust pier length if variable soil/rock conditions are encountered.

** A total unit weight of 120 and 150 pcf can be estimated for the lean and sandy clay and limestone, respectively.

*** The pier should be embedded a minimum of 3 feet into the limestone to mobilize these higher rock strength parameters. Furthermore, it is assumed the rock socket will be extended using coring techniques rather than blasting/shooting.

The above indicated cohesion, friction angle, lateral subgrade modulus and strain values have no factors of safety, and the allowable skin friction and the passive resistances have factors of safety of 2. The cohesion, internal friction angle, lateral subgrade modulus and strain values given in the above table are based on the boring, published correlation values and Terracon's past experience with similar soil/rock types. These values should, therefore, be considered approximate. To mobilize the higher rock strength parameters, the pier should be socketed at least 3 feet into bedrock. Furthermore, it is assumed that the rock socket is developed using coring rather than blasting techniques. The allowable end bearing pressure provided in the table has an approximate factor of safety of at least 3. Total settlement of drilled piers founded on limestone and designed using the above parameters is not anticipated to exceed ½ inch.

The upper 3 feet of topsoil and lean clay should be ignored due to the potential affects of frost action and construction disturbance. To avoid a reduction in uplift and lateral resistance caused by variable bedrock depths and bedrock quality, it is recommended that a minimum pier length and minimum rock socket length be stated on the design drawings. Bedrock was encountered in our boring below a depth of about 22 feet, but could vary between tower legs, or if the tower is moved from the location of our boring. If the tower center is moved from the planned location, Terracon should be notified to review the recommendations and determine whether an additional boring is required. To facilitate pier length adjustments that may be necessary because of variable rock conditions, it is recommended that a Terracon representative observe the drilled pier excavation.

A drilled pier foundation should be designed with a minimum shaft diameter of 30 inches to facilitate clean out and possible dewatering of the pier excavation. Temporary casing may be

required during the pier excavation in order to control possible groundwater seepage and support the sides of the excavation in weak soil zones. Care should be taken so that the sides and bottom of the excavations are not disturbed during construction. The bottom of the shaft should be free of loose soil or debris prior to reinforcing steel and concrete placement.

A concrete slump of at least 6 inches is recommended to facilitate temporary casing removal. It should be possible to remove the casing from a pier excavation during concrete placement provided that the concrete inside the casing is maintained at a sufficient level to resist any earth and hydrostatic pressures outside the casing during the entire casing removal procedure.

Mat Foundation Alternative: The mat foundation can be designed using the following natural soil/engineered fill parameters. These parameters are based on the findings of the boring, a review of published correlation values and Terracon's experience with similar soil conditions. These design parameters also assume that the base of the mat foundation will rest on natural soils or well-graded crushed stone that is compacted and tested on a full time basis.

Table 3 – Mat Foundation Design Parameters

Depth (feet)	Description	Allowable Contact Bearing Pressure (psf)	Allowable Passive Pressure (psf)	Coefficient of Friction, Tan δ	Vertical Modulus of Subgrade Reaction (pci)
0 - 3	Topsoil and Lean Clays	Ignore	Ignore	-	
≥ 3	Lean Clay or Crushed Stone Fill	3,000	Ignore	0.35	125

To assure that soft soils are not left under the mat foundation, it is recommended that a geotechnical engineer observe the foundation subgrade prior to concrete placement. Provided the above recommendations are followed, total mat foundation settlements are not anticipated to exceed about 1 inch. Differential settlement should not exceed 50 percent of the total settlement.

5.2 Equipment Building Foundations

The proposed equipment shed may be supported on shallow footings bearing on stiff natural soils. The equipment building foundations should be dimensioned using a net allowable soil bearing pressure of 2,000 pounds per square foot (psf). In using net allowable soil pressures for footing dimensioning, the weight of the footings and backfill over the footings need not be considered. Furthermore, the footings should be at least 12 inches wide and a minimum of 2 feet square.

The geotechnical engineer or a qualified representative should observe the foundation excavations to verify that the bearing materials are suitable for support of the proposed loads.

If, at the time of such observation, any soft soils are encountered at the design foundation elevation, the excavations should be extended downward so that the footings rest on stiff soils. If it is inconvenient to lower the footings, the proposed footing elevations may be re-established by backfilling after the undesirable material has been removed.

The recommended soil bearing value should be considered an upper limit, and any value less than that listed above would be acceptable for the foundation system. Using the value given, total settlement would be about 1 inch or less with differential settlements being less than 75 percent of total settlement. Footings should be placed at a depth of 2 feet, or greater, below finished exterior grade for protection against frost damage.

5.3 Parking and Drive Areas

The drive that accesses the site will be surfaced with crushed stone. Parking and drive areas that are surfaced with crushed stone should have a minimum thickness of 6 inches and be properly placed and compacted as outlined herein. The crushed stone should meet Kentucky Transportation Cabinet specifications and applicable local codes.

A paved section consisting only of crushed graded aggregate base course should be considered a high maintenance section. Regular care and maintenance is considered essential to the longevity and use of the section. Site grades should be maintained in such a manner as to allow for adequate surface runoff. Any potholes, depressions or excessive rutting that may develop should be repaired as soon as possible to reduce the possibility of degrading the soil subgrade.

5.4 Site Preparation

Site preparation should begin with the removal of any topsoil, loose, soft or otherwise unsuitable materials from the construction area. The geotechnical engineer should evaluate the actual stripping depth, along with any soft soils that require undercutting at the time of construction.

Any fill and backfill placed on the site should consist of approved materials that are free of organic matter and debris. Suitable fill materials should consist of well graded crushed stone below the tower foundation and well graded crushed stone or low plasticity cohesive soil elsewhere. Low-plasticity cohesive soil should have a liquid limit of less than 45 percent and a plasticity index of less than 25 percent. Based on our limited testing to date, the on site soils are considered suitable for re-use as fill. It is recommended that during construction these soils should be further tested and evaluated prior to use as fill. Fill should not contain frozen material and it should not be placed on a frozen subgrade.

The fill should be placed and compacted in lifts of 9 inches or less in loose thickness. Fill placed below structures or used to provide lateral resistance should be compacted to at least

98 percent of the material's maximum standard Proctor dry density (ASTM D-698). Fill should be placed, compacted, and maintained at moisture contents within minus 1 to plus 3 percent of the optimum value determined by the standard Proctor test.

The geotechnical engineer should be retained to monitor fill placement on the project and to perform field density tests as each lift of fill is placed in order to evaluate compliance with the design requirements. Standard Proctor and Atterberg limits tests should be performed on the representative samples of fill materials before their use on the site.

5.5 Resistivity Analysis

Resistivity analysis of the on-site soils has not been completed as of the issuance of this report. The resistivity results will be sent under separate cover after completion.

6.0 GENERAL COMMENTS

Terracon should be retained to review the final design plans and specifications so comments can be made regarding interpretation and implementation of our geotechnical recommendations in the design and specifications. Terracon also should be retained to provide testing and observation during excavation, grading, foundation and construction phases of the project.

The analysis and recommendations presented in this report are based upon the data obtained from the boring performed at the indicated location and from other information discussed in this report. This report does not reflect variations that may occur across the site, between tower legs or due to the modifying effects of weather. The nature and extent of such variations may not become evident until during or after construction. If variations appear, we should be immediately notified so that further evaluation and supplemental recommendations can be provided.

The scope of services for this project does not include either specifically or by implication any environmental or biological (e.g., mold, fungi, bacteria) assessment of the site or identification or prevention of pollutants, hazardous materials or conditions. If the owner is concerned about the potential for such contamination or pollution, other studies should be undertaken.

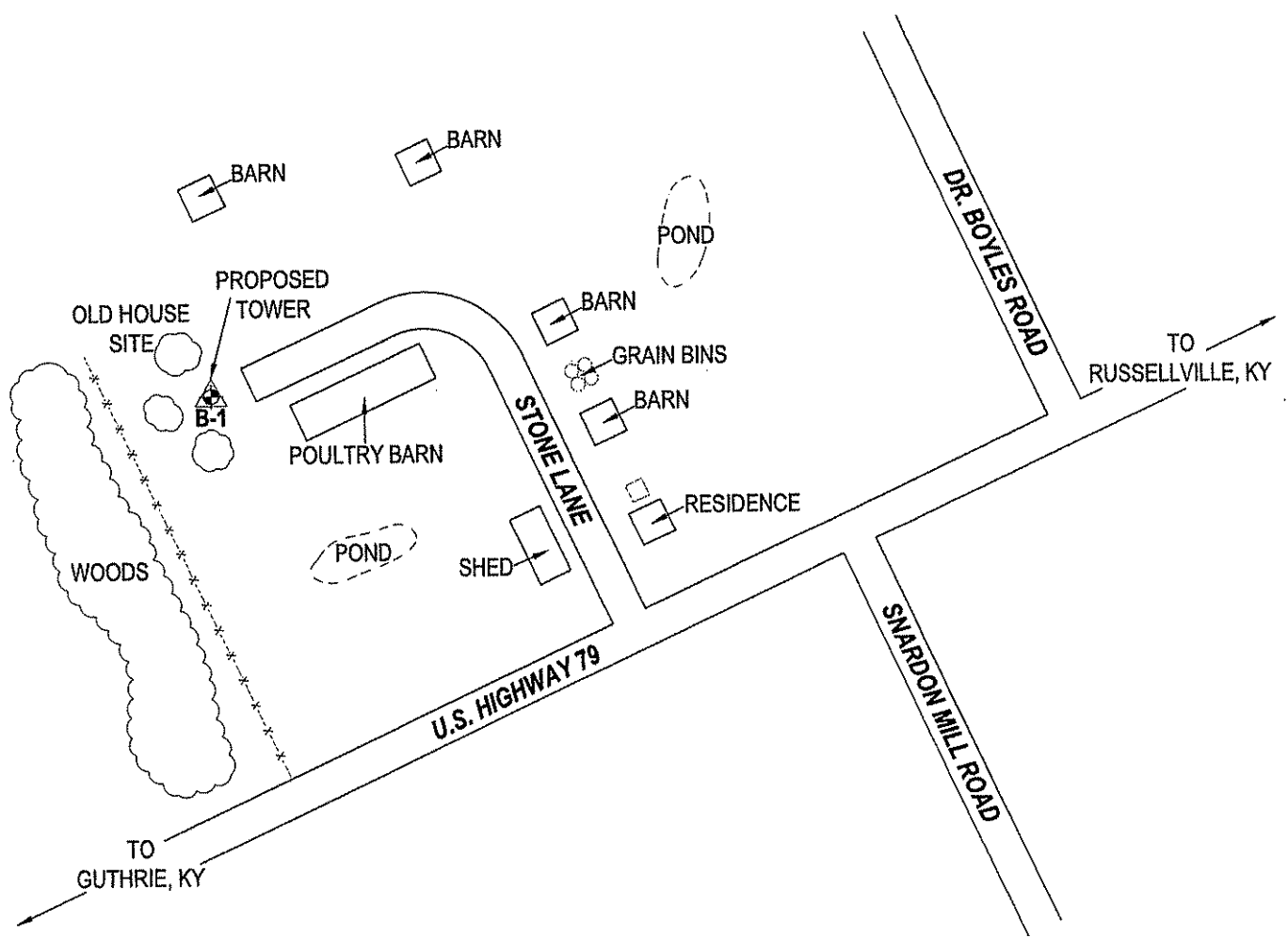
This report has been prepared for the exclusive use of our client for specific application to the project discussed and has been prepared in accordance with generally accepted geotechnical engineering practices. No warranties, either express or implied, are intended or made. Site safety, excavation support, and dewatering requirements are the responsibility of others. In the event that changes in the nature, design, or location of the project as outlined in this report are planned, the conclusions and recommendations

**Proposed Todd South Telecommunication Tower
Allensville, Kentucky
Terracon Project No.: 57067561
December 28, 2006**

Terracon

contained in this report shall not be considered valid unless Terracon reviews the changes and either verifies or modifies the conclusions of this report in writing.

APPENDIX


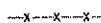


NOTE
DRAWN PER SITE SURVEYORS SKETCH



NOT TO SCALE

LEGEND

-  APPROXIMATE BORING LOCATION
-  FENCE

THIS DIAGRAM IS FOR GENERAL LOCATION ONLY, AND IS NOT INTENDED FOR CONSTRUCTION PURPOSES

Project Mgr: JLT	Project No. 57067561	Terracon Consulting Engineers and Scientists	BORING LOCATION DIAGRAM GEOTECHNICAL ENGINEERING REPORT TODD SOUTH 4799 RUSSELLVILLE ROAD ALLENSVILLE, KY 42204	FIG. No.	
Drawn By: DWD	Scale: AS SHOWN			2	
Checked By: JLT/MRF	File No. GEO57067561-2				
Approved By: EH	Date: DECEMBER 2006				
		4545 Bishop Lane, Suite 101 (502) 456-1286	Louisville, KY 40218 (502) 456-1278		

LOG OF BORING NO. B-1

CLIENT Bluegrass Cellular Partnership											
SITE 4799 Russellville Road Allensville, Kentucky		PROJECT Proposed Todd South Telecommunication Tower									
GRAPHIC LOG	DESCRIPTION	DEPTH, ft.	USCS SYMBOL	SAMPLES				TESTS			ATTERBERG LIMITS
				NUMBER	TYPE	RECOVERY, in.	SPT - N BLOWS / ft.	WATER CONTENT, %	DRY UNIT WT pcf	UNCONFINED STRENGTH, psf	
Approx. Surface Elev.: 570 ft											
0.3	TOPSOIL	569.5									
	LEAN CLAY , orangish brown, stiff to very stiff		CL	1	SS	18	8	20		6000*	LL = 29 PL = 14 PI = 15
			CL	2	SS	18	12	17		5500*	
			CL	3	SS	18	16	18			
	-with chert fragments below 8.5 feet		CL	4	SS	18	25	20		2000*	
13.5	SANDY CLAY , orangish brown, hard	556.5	CL	5	SS	18	76	21		1500*	
18.5	LEAN CLAY , gray, very stiff	551.5	CL	6	SS	8	18	23			
22	Auger Refusal at 22 feet, Began Coring	548									
	LIMESTONE closely jointed, slightly weathered, light gray, hard			7	DB	96%	RQD 78%				7700 psi
32	Boring Terminated at 32 feet	538									

The stratification lines represent the approximate boundary lines between soil and rock types: in-situ, the transition may be gradual.

*Calibrated Hand Penetrometer

WATER LEVEL OBSERVATIONS, ft

WL	▽	▽	
WL	▽	▽	
WL	Dry Upon Auger Completion		



BORING STARTED		11-30-06	
BORING COMPLETED		11-30-06	
RIG	CME-550	FOREMAN	MW
APPROVED	JLT	JOB #	57067561

BOREHOLE 99-57067561 LOGS.GPJ TERRACON.GDT 12/28/06

GENERAL NOTES

DRILLING & SAMPLING SYMBOLS:

SS:	Split Spoon - 1-3/8" I.D., 2" O.D., unless otherwise noted	HS:	Hollow Stem Auger
ST:	Thin-Walled Tube - 2" O.D., unless otherwise noted	PA:	Power Auger
RS:	Ring Sampler - 2.42" I.D., 3" O.D., unless otherwise noted	HA:	Hand Auger
DB:	Diamond Bit Coring - 4", N, B	RB:	Rock Bit
BS:	Bulk Sample or Auger Sample	WB:	Wash Boring or Mud Rotary

The number of blows required to advance a standard 2-inch O.D. split-spoon sampler (SS) the last 12 inches of the total 18-inch penetration with a 140-pound hammer falling 30 inches is considered the "Standard Penetration" or "N-value".

WATER LEVEL MEASUREMENT SYMBOLS:

WL:	Water Level	WS:	While Sampling	N/E:	Not Encountered
WCI:	Wet Cave in	WD:	While Drilling		
DCI:	Dry Cave in	BCR:	Before Casing Removal		
AB:	After Boring	ACR:	After Casing Removal		

Water levels indicated on the boring logs are the levels measured in the borings at the times indicated. Groundwater levels at other times and other locations across the site could vary. In pervious soils, the indicated levels may reflect the location of groundwater. In low permeability soils, the accurate determination of groundwater levels may not be possible with only short-term observations.

DESCRIPTIVE SOIL CLASSIFICATION: Soil classification is based on the Unified Classification System. Coarse Grained Soils have more than 50% of their dry weight retained on a #200 sieve; their principal descriptors are: boulders, cobbles, gravel or sand. Fine Grained Soils have less than 50% of their dry weight retained on a #200 sieve; they are principally described as clays if they are plastic, and silts if they are slightly plastic or non-plastic. Major constituents may be added as modifiers and minor constituents may be added according to the relative proportions based on grain size. In addition to gradation, coarse-grained soils are defined on the basis of their in-place relative density and fine-grained soils on the basis of their consistency.

CONSISTENCY OF FINE-GRAINED SOILS

<u>Unconfined Compressive Strength, Qu, psf</u>	<u>Standard Penetration or N-value (SS) Blows/Ft.</u>	<u>Consistency</u>
< 500	<2	Very Soft
500 - 1,000	2-4	Soft
1,001 - 2,000	5-7	Medium Stiff
2,001 - 4,000	8-15	Stiff
4,001 - 8,000	16-30	Very Stiff
8,000+	30+	Hard

RELATIVE DENSITY OF COARSE-GRAINED SOILS

<u>Standard Penetration or N-value (SS) Blows/Ft.</u>	<u>Relative Density</u>
0 - 3	Very Loose
4 - 9	Loose
10 - 29	Medium Dense
30 - 49	Dense
50+	Very Dense

RELATIVE PROPORTIONS OF SAND AND GRAVEL

<u>Descriptive Term(s) of other constituents</u>	<u>Percent of Dry Weight</u>
Trace	< 15
With	15 - 29
Modifier	> 30

GRAIN SIZE TERMINOLOGY

<u>Major Component of Sample</u>	<u>Particle Size</u>
Boulders	Over 12 in. (300mm)
Cobbles	12 in. to 3 in. (300mm to 75 mm)
Gravel	3 in. to #4 sieve (75mm to 4.75 mm)
Sand	#4 to #200 sieve (4.75mm to 0.075mm)
Silt or Clay	Passing #200 Sieve (0.075mm)

RELATIVE PROPORTIONS OF FINES

<u>Descriptive Term(s) of other constituents</u>	<u>Percent of Dry Weight</u>
Trace	< 5
With	5 - 12
Modifiers	> 12

PLASTICITY DESCRIPTION

<u>Term</u>	<u>Plasticity Index</u>
Non-plastic	0
Low	1-10
Medium	11-30
High	30+

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GENERAL NOTES

Description of Rock Properties

WEATHERING

Fresh	Rock fresh, crystals bright, few joints may show slight staining. Rock rings under hammer if crystalline.
Very slight	Rock generally fresh, joints stained, some joints may show thin clay coatings, crystals in broken face show bright. Rock rings under hammer if crystalline.
Slight	Rock generally fresh, joints stained, and discoloration extends into rock up to 1 in. Joints may contain clay. In granitoid rocks some occasional feldspar crystals are dull and discolored. Crystalline rocks ring under hammer.
Moderate	Significant portions of rock show discoloration and weathering effects. In granitoid rocks, most feldspars are dull and discolored; some show clayey. Rock has dull sound under hammer and shows significant loss of strength as compared with fresh rock.
Moderately severe	All rock except quartz discolored or stained. In granitoid rocks, all feldspars dull and discolored and majority show kaolinization. Rock shows severe loss of strength and can be excavated with geologist's pick.
Severe	All rock except quartz discolored or stained. Rock "fabric" clear and evident, but reduced in strength to strong soil. In granitoid rocks, all feldspars kaolinized to some extent. Some fragments of strong rock usually left.
Very severe	All rock except quartz discolored or stained. Rock "fabric" discernible, but mass effectively reduced to "soil" with only fragments of strong rock remaining.
Complete	Rock reduced to "soil". Rock "fabric" not discernible or discernible only in small, scattered locations. Quartz may be present as dikes or stringers.

HARDNESS (for engineering description of rock – not to be confused with Moh's scale for minerals)

Very hard	Cannot be scratched with knife or sharp pick. Breaking of hand specimens requires several hard blows of geologist's pick.
Hard	Can be scratched with knife or pick only with difficulty. Hard blow of hammer required to detach hand specimen.
Moderately hard	Can be scratched with knife or pick. Gouges or grooves to ¼ in. deep can be excavated by hard blow of point of a geologist's pick. Hand specimens can be detached by moderate blow.
Medium	Can be grooved or gouged 1/16 in. deep by firm pressure on knife or pick point. Can be excavated in small chips to pieces about 1-in. maximum size by hard blows of the point of a geologist's pick.
Soft	Can be gouged or grooved readily with knife or pick point. Can be excavated in chips to pieces several inches in size by moderate blows of a pick point. Small thin pieces can be broken by finger pressure.
Very soft	Can be carved with knife. Can be excavated readily with point of pick. Pieces 1-in. or more in thickness can be broken with finger pressure. Can be scratched readily by fingernail.

Joint, Bedding and Foliation Spacing in Rock^a

Spacing	Joints	Bedding/Foliation
Less than 2 in.	Very close	Very thin
2 in. – 1 ft.	Close	Thin
1 ft. – 3 ft.	Moderately close	Medium
3 ft. – 10 ft.	Wide	Thick
More than 10 ft.	Very wide	Very thick

Rock Quality Designator (RQD) ^b		Joint Openness Descriptors	
RQD, as a percentage	Diagnostic description	Openness	Descriptor
Exceeding 90	Excellent	No Visible Separation	Tight
90 – 75	Good	Less than 1/32 in.	Slightly Open
75 – 50	Fair	1/32 to 1/8 in.	Moderately Open
50 – 25	Poor	1/8 to 3/8 in.	Open
Less than 25	Very poor	3/8 in. to 0.1 ft.	Moderately Wide
		Greater than 0.1 ft.	Wide

- a. Spacing refers to the distance normal to the planes, of the described feature, which are parallel to each other or nearly so.
 b. RQD (given as a percentage) = length of core in pieces 4 in. and longer/length of run.

References: American Society of Civil Engineers. Manuals and Reports on Engineering Practice - No. 56. Subsurface Investigation for Design and Construction of Foundations of Buildings. New York: American Society of Civil Engineers, 1976.
 U.S. Department of the Interior, Bureau of Reclamation, Engineering Geology Field Manual.

UNIFIED SOIL CLASSIFICATION SYSTEM

Criteria for Assigning Group Symbols and Group Names Using Laboratory Tests^A

				Soil Classification	
				Group Symbol	Group Name ^B
Coarse Grained Soils More than 50% retained on No. 200 sieve	Gravels More than 50% of coarse fraction retained on No. 4 sieve	Clean Gravels Less than 5% fines ^C	$Cu \geq 4$ and $1 \leq Cc \leq 3^E$	GW	Well-graded gravel ^F
			$Cu < 4$ and/or $1 > Cc > 3^E$	GP	Poorly graded gravel ^F
		Gravels with Fines More than 12% fines ^C	Fines classify as ML or MH	GM	Silty gravel ^{F,G,H}
		Fines classify as CL or CH	GC	Clayey gravel ^{F,G,H}	
	Sands 50% or more of coarse fraction passes No. 4 sieve	Clean Sands Less than 5% fines ^D	$Cu \geq 6$ and $1 \leq Cc \leq 3^E$	SW	Well-graded sand ^I
			$Cu < 6$ and/or $1 > Cc > 3^E$	SP	Poorly graded sand ^I
Sands with Fines More than 12% fines ^D		Fines classify as ML or MH	SM	Silty sand ^{G,H,I}	
		Fines Classify as CL or CH	SC	Clayey sand ^{G,H,I}	
Fine-Grained Soils 50% or more passes the No. 200 sieve	Silt and Clays Liquid limit less than 50	inorganic	$PI > 7$ and plots on or above "A" line ^J	CL	Lean clay ^{K,L,M}
			$PI < 4$ or plots below "A" line ^J	ML	Silt ^{K,L,M}
		organic	Liquid limit - oven dried < 0.75	OL	Organic clay ^{K,L,M,N}
			Liquid limit - not dried	OL	Organic silt ^{K,L,M,O}
	Silt and Clays Liquid limit 50 or more	inorganic	PI plots on or above "A" line	CH	Fat clay ^{K,L,M}
			PI plots below "A" line	MH	Elastic Silt ^{K,L,M}
		organic	Liquid limit - oven dried < 0.75	OH	Organic clay ^{K,L,M,P}
			Liquid limit - not dried	OH	Organic silt ^{K,L,M,O}
Highly organic soils	Primarily organic matter, dark in color, and organic odor			PT	Peat

^ABased on the material passing the 3-in. (75-mm) sieve

^BIf field sample contained cobbles or boulders, or both, add "with cobbles or boulders, or both" to group name.

^CGravels with 5 to 12% fines require dual symbols: GW-GM well-graded gravel with silt, GW-GC well-graded gravel with clay, GP-GM poorly graded gravel with silt, GP-GC poorly graded gravel with clay.

^DSands with 5 to 12% fines require dual symbols: SW-SM well-graded sand with silt, SW-SC well-graded sand with clay, SP-SM poorly graded sand with silt, SP-SC poorly graded sand with clay

$$^E Cu = D_{60}/D_{10} \quad Cc = \frac{(D_{30})^2}{D_{10} \times D_{60}}$$

^FIf soil contains $\geq 15\%$ sand, add "with sand" to group name.

^GIf fines classify as CL-ML, use dual symbol GC-GM, or SC-SM.

^HIf fines are organic, add "with organic fines" to group name.

^IIf soil contains $\geq 15\%$ gravel, add "with gravel" to group name.

^JIf Atterberg limits plot in shaded area, soil is a CL-ML, silty clay.

^KIf soil contains 15 to 29% plus No. 200, add "with sand" or "with gravel," whichever is predominant.

^LIf soil contains $\geq 30\%$ plus No. 200 predominantly sand, add "sandy" to group name.

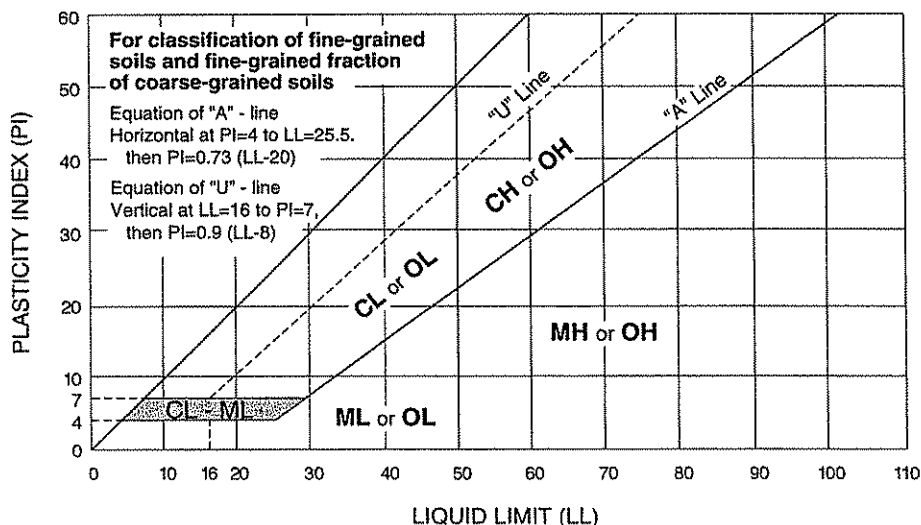
^MIf soil contains $\geq 30\%$ plus No. 200, predominantly gravel, add "gravelly" to group name.

^N $PI \geq 4$ and plots on or above "A" line.

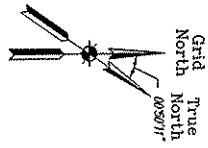
^O $PI < 4$ or plots below "A" line.

^P PI plots on or above "A" line.

^Q PI plots below "A" line.



Terracon



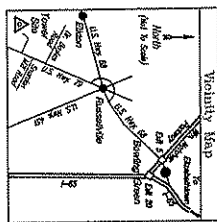
Basics of Bearings
This bearing system is based upon the 2025 adjustment made on January 2, 2007 by the Kentucky Department of Transportation, State Plane, North American 83 datum, and the Kentucky State Plane Coordinate System, South Zone, NAD 1983 (1983). This system is per note.

Tower Location Information
Approximate East Zone
Township: 36S
Range: 10E
Section: 10
Location: 36°10'43.4\"/>

Owner Information
Name: Thomas Crest Oak
Address: 4791 Russellville Road
Allensville, Kentucky 42004
Phone: (202) 462-3449
Fax: (202) 462-3449
P.O. Box No. 074-04

Project Branch Mark
Location: 1234567890
Elevation: 1234.5678
Date: 1/10/2007
Notes: This mark is a 1/2\"/>

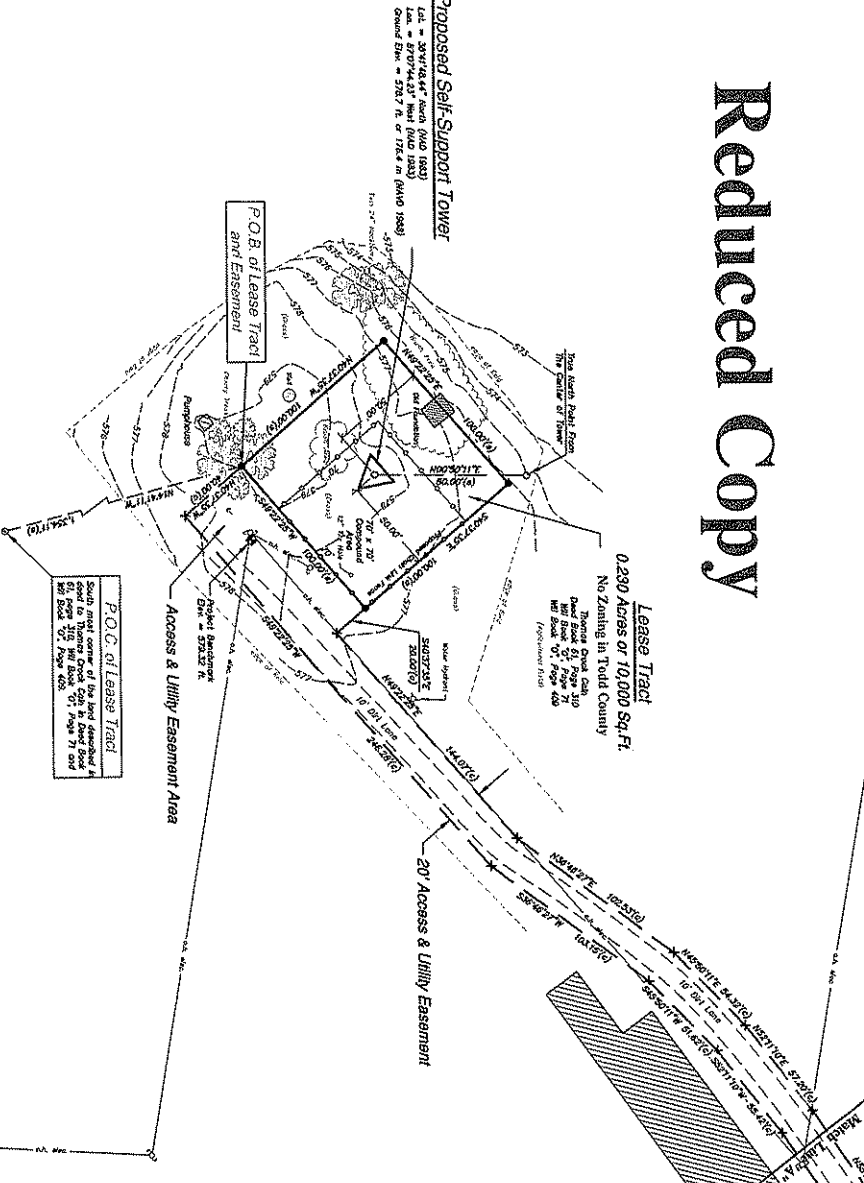
Block Chain Statement
The boundary lines of this tract are as shown on the attached plan. The bearings and distances are as shown on the attached plan. The area of this tract is as shown on the attached plan. The area of this tract is as shown on the attached plan.



Directions to Site
From Russellville, KY, travel east on US 42 for 1.5 miles to the intersection of US 42 and US 44. Turn right on US 44 and travel east for 0.5 miles to the project location.

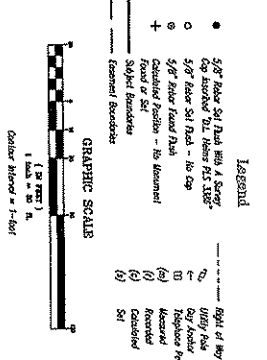
Reduced Copy

Site: Todd South Lease Boundary and Topographic Survey Todd County, Kentucky



Proposed Self-Support Tower
Lot = 330'x144' (47,616 sq. ft.)
Lot = 330'x144' (47,616 sq. ft.)
Lot = 330'x144' (47,616 sq. ft.)
Lot = 330'x144' (47,616 sq. ft.)

Surveyor's Notes
1. This survey is subject to a preliminary plat...
2. No portion of public records has been perused...
3. The utility shown on this plat may or may not represent the actual location of the utility...
4. The topographic information contained on this plat was obtained from the 2007 aerial photograph...
5. According to the field notes, the boundary lines of the lease tract are as shown on the attached plan.



Surveyor's Certification
I, the undersigned, being a duly licensed and sworn surveyor in the State of Kentucky, do hereby certify that the foregoing is a true and correct copy of the original survey as shown on the attached plan.

Signature: [Name]
Date: JAN 10, 2007

Lease Boundary and Easement Description
A tract of land that is bounded and more or less as follows: Beginning at the southeast corner of the Todd South Lease Tract, 0.280 Acres or 10,000 Sq. Ft., and running North 89° 59' 51\"/>

Lease Boundary and Easement Description
A tract of land that is bounded and more or less as follows: Beginning at the southeast corner of the Todd South Lease Tract, 0.280 Acres or 10,000 Sq. Ft., and running North 89° 59' 51\"/>

Professional Seal
LAND SURVEYOR
DARRIN SHERWOOD
LICENSED PROFESSIONAL
38365
DARRIN L. SHERWOOD

DATE: 1-10-07
DRAWN BY: A. Weiler
CHECKED BY: D.L. Helms
SHEET NO. 1
OF 3 SHEETS
FILE NO. 2007-001

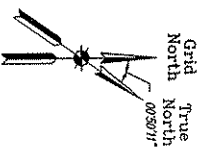
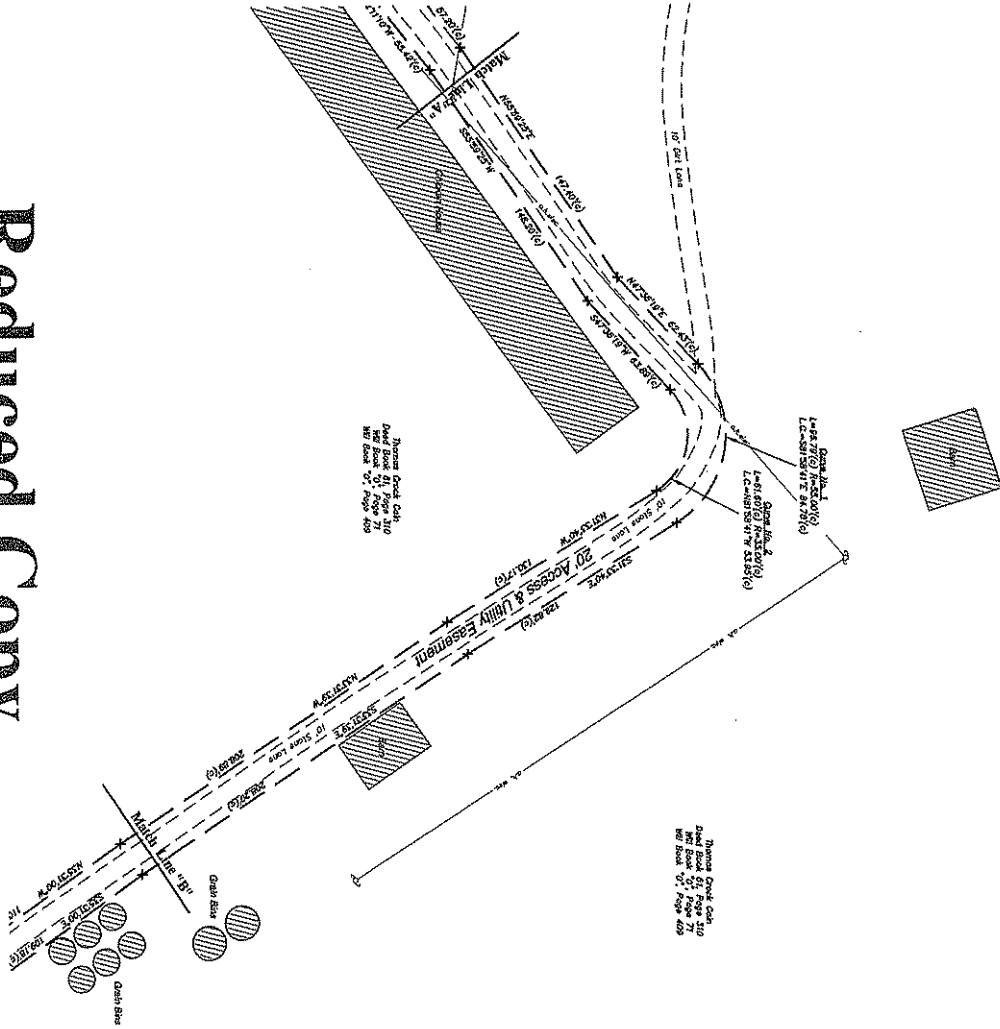
Bluegrass Cellular
2902 Ring Road
Elizabethtown, Kentucky 42702

Lease Boundary Survey
4799 Russellville Road
Allensville, Kentucky 42204

Landmark Surveying Co., Inc.
15 NE 3rd Street
Washington, Indiana 47071
(317) 257-0550
Email: info@landmarksurveying.com
Project No. 05-10-017

**Site: Todd South
Lease Boundary and Topographic Survey
Todd County, Kentucky**

Reduced Copy



Legend

- 3/8" River Set Iron Nail & Stamp, Exp. stamped "DL Helms 7/3 1385"
- 3/8" River Set Iron - No Cap
- 3/8" River Set Iron Nail
- + Enclosed Pile-in - No Ironwork
- River Set Stake
- Subject Boundary
- Easement Boundary
- Right of Way
- Easement
- Easement
- Easement
- (a) Measured
- (b) Calculated
- SAT

Surveyor's Certification

I, the undersigned, being a duly qualified and licensed surveyor in the State of Kentucky, do hereby certify that this plan has been prepared from a survey actually made upon the ground under the direct supervision and under my personal direction and control, and that the boundary lines, easements, and other lines shown hereon are the true and correct boundaries and easements of the premises as the same are shown and defined by the plat of record of the said survey.

Signature: D. Helms
D. Helms
Surveyor

JAN 10 2007

STATE OF KENTUCKY
LANCESTON L. HELMS
3396
PROFESSIONAL
LAND SURVEYOR



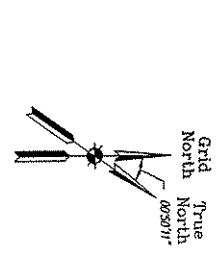
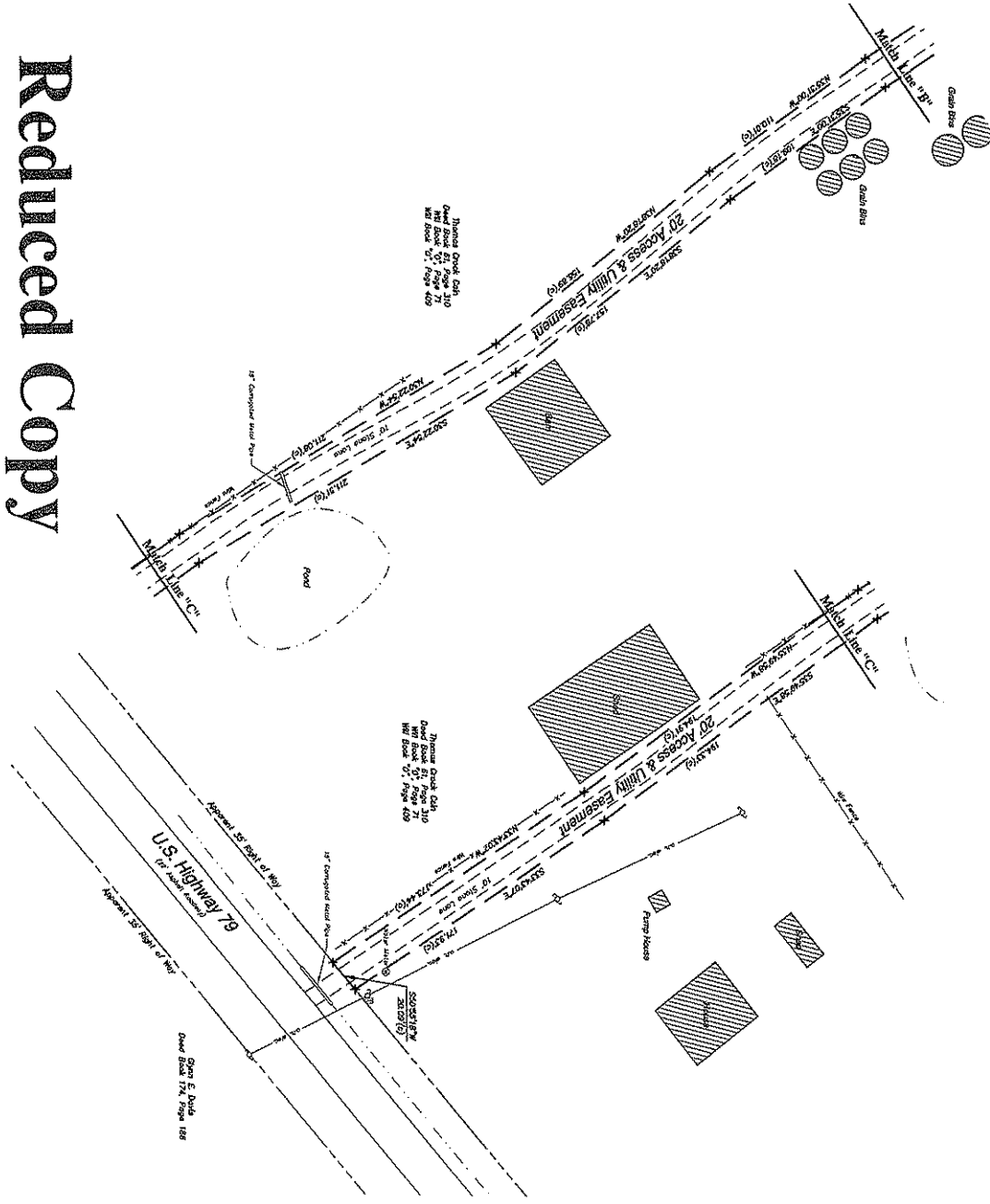
Landmark Surveying Co., Inc.
15 NE 3rd Street
Washington, Indiana 47291
(812) 257-2550
Email: landmsrv@att.net
Project No. 02-15-027

Bluegrass Cellular
Lease Boundary Survey
4799 Russellville Road
Allensville, Kentucky 42204

DATE: 1-10-07
DRAWN BY: A. Helms
CHECKED BY: D.L. Helms
SHEET NO. 2
OF 3 SHEETS
FILE NO. [blank]

Site: Todd South
Lease Boundary and Topographic Survey
Todd County, Kentucky

Reduced Copy




- Legend**
- 5/8" River Set Pins with A Survey, Log Recorder B/L, Range RS 336
 - 5/8" River Set Pins - No Cap
 - ⊕ 5/8" River Found Nails
 - + Canceled Position - No Account
 - ⊕ Found or Set
 - Subject boundaries
 - Former boundaries
 - Right of Way
 - 1/2" Pin
 - 3/4" Pin
 - 1" Pin
 - 2" Pin
 - 3" Pin
 - 4" Pin
 - 5" Pin
 - 6" Pin
 - 8" Pin
 - 10" Pin
 - 12" Pin
 - 14" Pin
 - 16" Pin
 - 18" Pin
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 - 28" Pin
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 - 188" Pin
 - 192" Pin
 - 196" Pin
 - 200" Pin

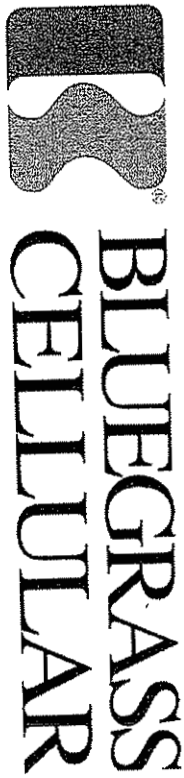
Surveyor's Certification
 I hereby certify that this plan has been compiled from a true and correct copy of the original field notes and has been prepared in accordance with the provisions of the Kentucky Statutes relating to the Surveying Profession. The unadvised profession with of the Surveyor was better than 1:100,000 and if any not adjusted. This survey is a Class B Survey and its accuracy and precision is as follows: (See Appendix A for details of this class.)

Robert P. Helms
 Robert P. Helms
 Surveyor

JAN 10, 2007

STATE OF KENTUCKY
PROFESSIONAL
LAND SURVEYOR
 HARRIS L. HELMS
 3386

Bluegrass Cellular 2902 Ring Road Elizabethtown, Kentucky 42702	Lease Boundary Survey		 Landmark Surviving Co., Inc. 15 NE 3rd Street Washington, Indiana 47501 (812) 257-8950 Doc: landmrs7/midnight.dwg Project No: 05-10-017
	4799 Russellville Road		
	Allensville, Kentucky 42204		
DATE 1-10-07 DRAWN BY A. Hinder CHECKED BY DL Helms	SHEET NO. 3 OF 3 SHEETS FILE NO. Not Available	Bluegrass Cellular	



APPROVAL SIGNATURES

BLUEGRASS CELLULAR
PROJECT SUPERVISOR:

DATE: _____

CITY REPRESENTATIVE:

TITLE: _____
DATE: _____

PROPERTY OWNER/OWNERS:

DATE: _____

TOWER OWNER/OWNERS:

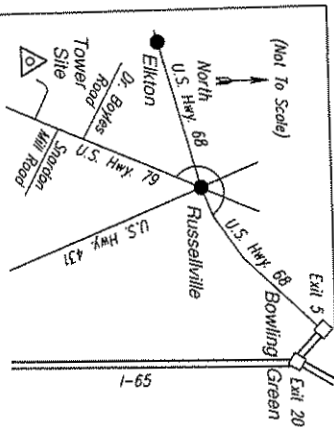
DATE: _____

SITE NAME: TODD SOUTH

**911 ADDRESS: 4799 RUSSELLVILLE RD.
ALLENSVILLE, KY. 42204**

COUNTY: TODD

**TOWER LATITUDE & LONGITUDE
N 36° 41' 48.44" W 87° 07' 44.23"**



**VICINITY MAP
NOT TO SCALE**

DIRECTIONS TO SITE
From Elizabethton, Tenn., travel south on I-75 to exit 28 on the south side of Bowling Green and the Wilson Motor Parkway. Turn onto the roadway and travel north to Exit 2 and U.S. Highway 68. Turn left onto U.S. Highway 68 and travel east. Highway 68 and U.S. Highway 75. Turn left at the intersection of U.S. Highway 68 and U.S. Highway 75. Turn right at the intersection of U.S. Highway 68 and U.S. Highway 431. Turn right onto the right or west side of the highway about 600 feet south of the intersection. Turn right onto the road and travel westward along the line for 0.15 miles to the tower site on the left side of a double-shoulder road.

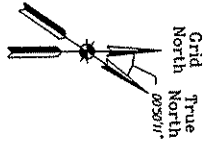
SHEET INDEX

SHEET NO.	DESCRIPTION	REVISION
TITLE SHEET	TITLE SHEET	
SUBMIT	SUBMIT	
A-1	SITE PLAN	
A-2	FENCE DETAILS	
A-3	ANTENNA DETAILS 1	
A-4	ANTENNA DETAILS 2	
A-5	ANTENNA DETAILS 3	
E-1	ELECTRICAL DETAILS	
E-2	SITE PLAN - ELECTRICAL	
E-3	LYNCHOLE GROUNDING	
E-4	ELECT PLAN - GROUNDING	
E-5	GROUNDING DETAILS	
E-6	GENERATOR DETAILS	
E-7	GENERATOR DETAILS	
E-8	GENERAL NOTES	

SITE DATA

PROPERTY OWNER:	INDAS CRICK CAN 4393 RUSSELLVILLE, KY (770) 483-2419	HARGO WATERS (770) 202-7020
TOWER OWNER:	BLUEGRASS CELLULAR (770) 769-0139	ROBIN BECKER (606) 231-3636 OFFICE FAX
POWER COMPANY:	RESURGENT & BECC (770) 762-2429	
TELEPHONE COMPANY:	SOUTH CENTRAL BELL (800) 752-6680	
BLUEGRASS PROJECT SUPERVISOR:		





Basis of Bearings
The bearing system of this survey is based upon the National Geodetic Survey datum established on January 2, 2007 by the National Geodetic Survey, datum known as the North American Datum of 1983 (NAD 1983). The datum is defined as follows:
The datum is defined as follows:
The datum is defined as follows:

Tower Location Information

Proposed Self-Support Tower
Site #2: Near Hwy 100 (198)
Latitude: 37°14'42" N
Longitude: 87°14'42" W
Vertical Datum: Mean Sea Level (1984 datum)
Site Area: 0.230 Acres
Easting: 1,235,528.71 feet (NAD 1983 datum)
Northing: 1,235,528.71 feet (NAD 1983 datum)

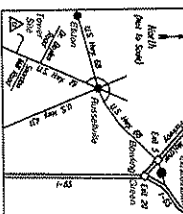
Owner Information

Project Branch Mark
The project branch mark is located at the intersection of the proposed tower site and the existing easement. The mark is a 1/2" diameter iron pipe with a 1/4" diameter hole in the center of the pipe.

Flood Plain Statement

According to the FEMA map, the tower site is not in a flood plain. The tower site is located on a high ground area and is not subject to flooding.

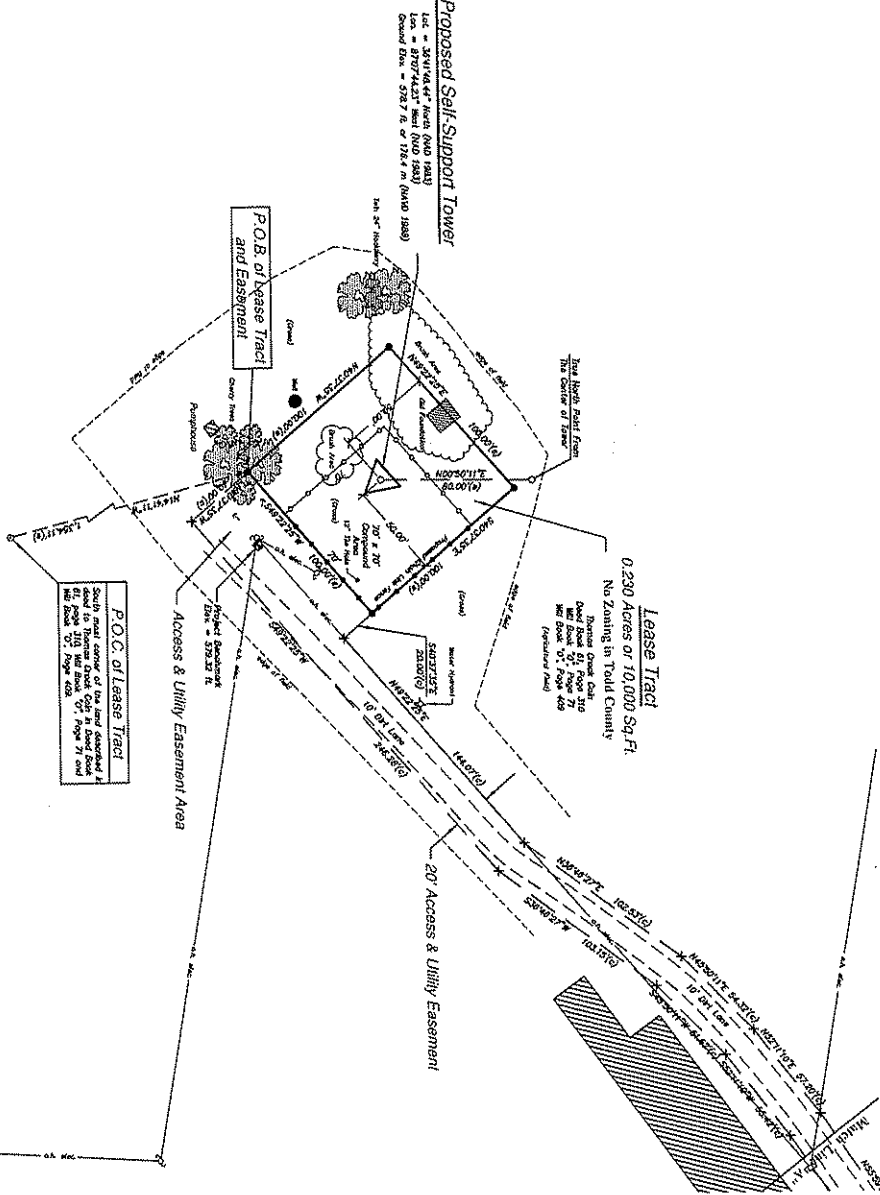
Neighboring Property



Directions to Site

From Elizabethtown, Kentucky, travel south on US-100 for 2.0 miles to the intersection of US-100 and US-100B. Turn right onto US-100B and travel south for 0.5 miles to the intersection of US-100B and the proposed tower site. The tower site is located on the east side of US-100B, approximately 0.5 miles from the intersection of US-100B and US-100.

Site: Todd South Lease Boundary and Topographic Survey Todd County, Kentucky



Surveyor's Notes

- The survey is subject to a statement of work and a disclaimer of liability. The surveyor is not responsible for any errors or omissions in the survey.
- No amount of public records has been perused by the firm to determine any effect on the survey. The surveyor is not responsible for any errors or omissions in the survey.
- The utility shown on this plan may not be accurate. The surveyor is not responsible for any errors or omissions in the survey.
- The topographic information included in this survey is based on aerial photography and may not represent all of the topographic features on the ground.
- According to the local official, Todd County, Kentucky, there is no open commission in Todd County. In addition, there is no survey in progress in Todd County.

Legend

- 5/8" Red 5/8" Line with 1/8" Spacing: Right of Way
- 5/8" Red 5/8" Line: Easement
- 5/8" Red 5/8" Line with 1/8" Spacing: Utility Pole
- 5/8" Red 5/8" Line with 1/8" Spacing: Easement
- 5/8" Red 5/8" Line with 1/8" Spacing: Easement
- 5/8" Red 5/8" Line with 1/8" Spacing: Easement
- 5/8" Red 5/8" Line with 1/8" Spacing: Easement
- 5/8" Red 5/8" Line with 1/8" Spacing: Easement
- 5/8" Red 5/8" Line with 1/8" Spacing: Easement
- 5/8" Red 5/8" Line with 1/8" Spacing: Easement

Surveyor's Certification

I, the undersigned, being a duly licensed and sworn surveyor in the State of Kentucky, do hereby certify that the foregoing is a true and correct copy of the original survey as shown to me by the client, and that the same is a true and correct copy of the original survey as shown to me by the client, and that the same is a true and correct copy of the original survey as shown to me by the client.

Lease Boundary and Easement Description

A tract of land (the "Lease Tract") is located in Todd County, Kentucky, and is bounded as follows: On the north by the Todd South Lease Tract, on the east by the Todd South Lease Tract, on the south by the Todd South Lease Tract, and on the west by the Todd South Lease Tract. The Lease Tract is bounded as follows: On the north by the Todd South Lease Tract, on the east by the Todd South Lease Tract, on the south by the Todd South Lease Tract, and on the west by the Todd South Lease Tract. The Lease Tract is bounded as follows: On the north by the Todd South Lease Tract, on the east by the Todd South Lease Tract, on the south by the Todd South Lease Tract, and on the west by the Todd South Lease Tract.

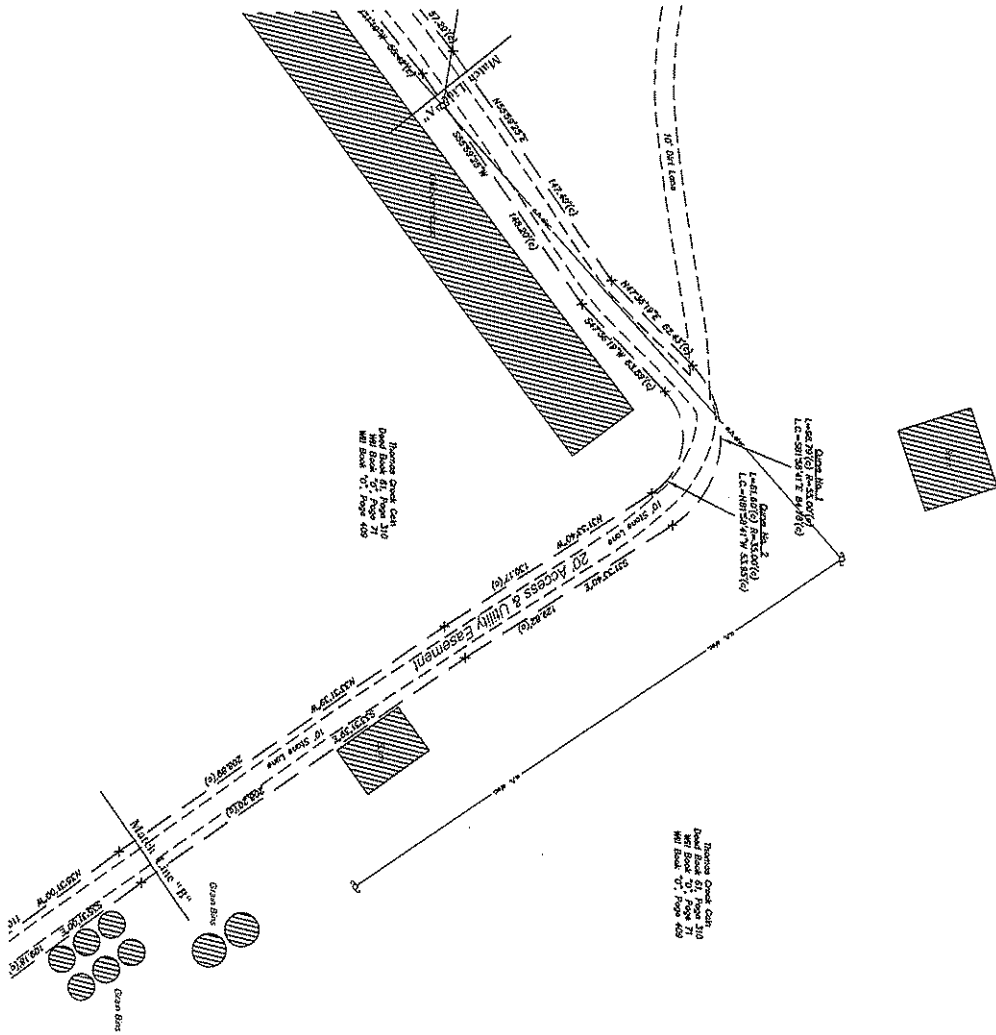
DATE: 1-10-07
DRAWN BY: A. Whittier
CHECKED BY: O.L. Means
SHEET NO.: 1
OF 3 SHEETS
FILE NO.: 100-100-100

Bluegrass Cellular
2902 Ring Road
Elizabethtown, Kentucky 42702

Lease Boundary Survey
4799 Russellville Road
Allensville, Kentucky 42204

Landmark Surveying Co., Inc.
15 N.E. 3rd Street
Allensville, Kentucky 42204
(612) 257-0950
Email: jason@landmarksurveying.com
Project No. 06-10-011

Site: Todd South
Lease Boundary and Topographic Survey
Todd County, Kentucky

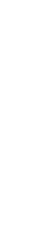
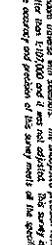
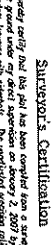
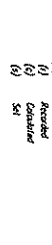
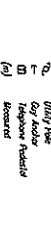
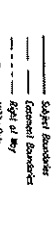
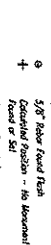
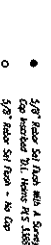
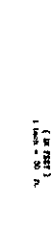
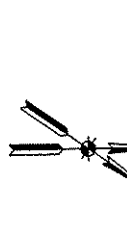


1. I hereby certify that this plat has been compiled from a survey actually made upon the ground under my direct supervision on January 2, 2007 by the method of random traverse with stadia. The undisturbed positions of all corners, monuments and other permanent markers are shown as they exist. I have not made any change in the location and position of any survey marks at the discretion of this office.

Surveyor's Certification

From T. HARRIS, FELS 7188

DATE



DATE 1-10-07
 DRAWN BY A. Weber
 CHECKED BY D.L. Harris

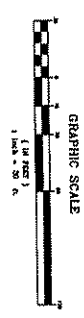
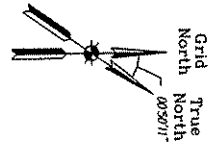
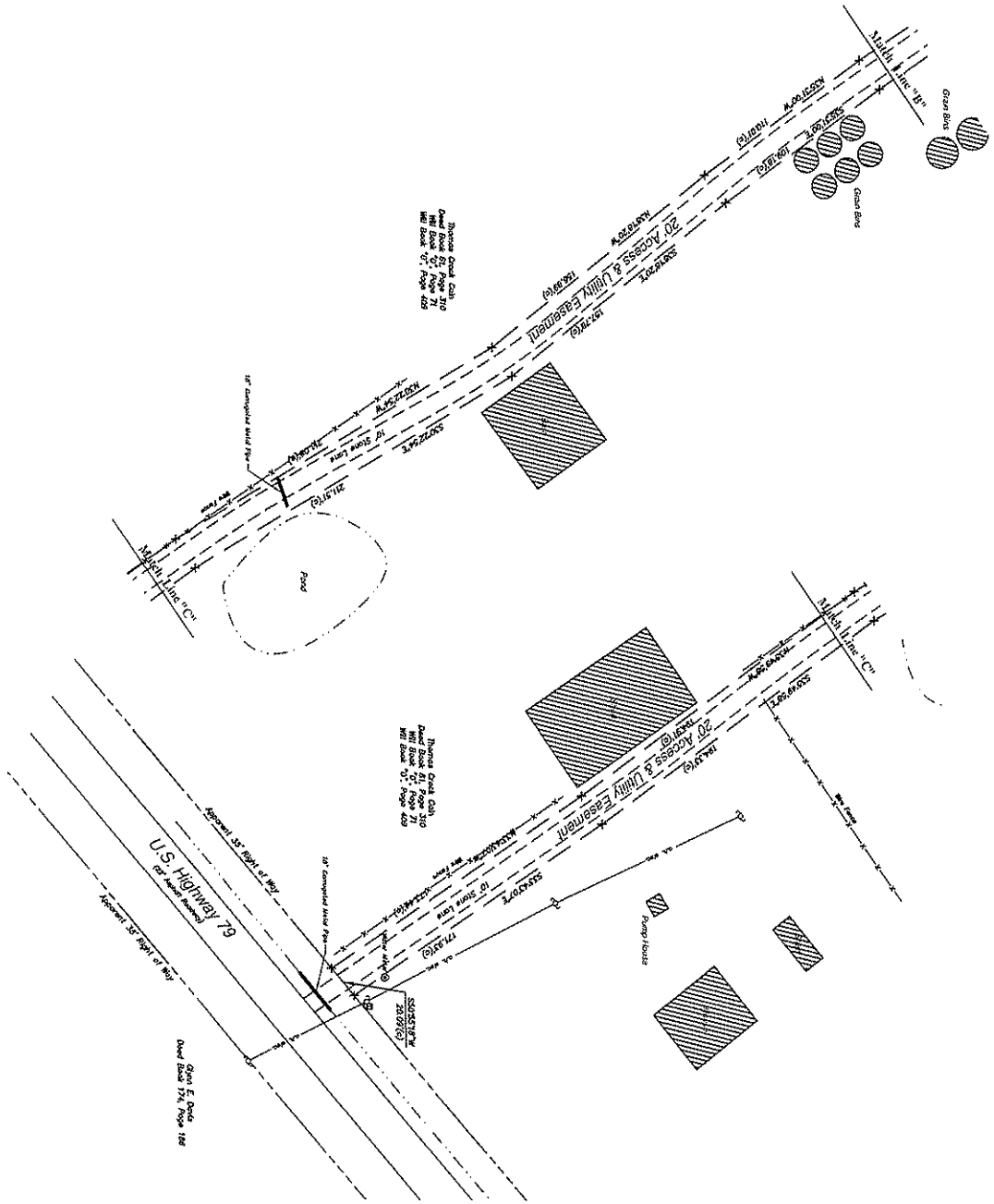
REVISIONS
 SHEET NO. 2
 OF 3 SHEETS
 FILE NO. Todd South Ky

Bluegrass Cellular
 2902 Ring Road
 Elizabethtown, Kentucky 42702

Lease Boundary Survey
 4799 Russellville Road
 Allensville, Kentucky 42204

Landmark Surveying Co., Inc.
 15 N.E. 3rd Street
 Washington, Indiana 47501
 (812) 257-0950
 Email: landmors7@comcast.net
 Project No. 05-10-0017

Site: Todd South
Lease Boundary and Topographic Survey
Todd County, Kentucky




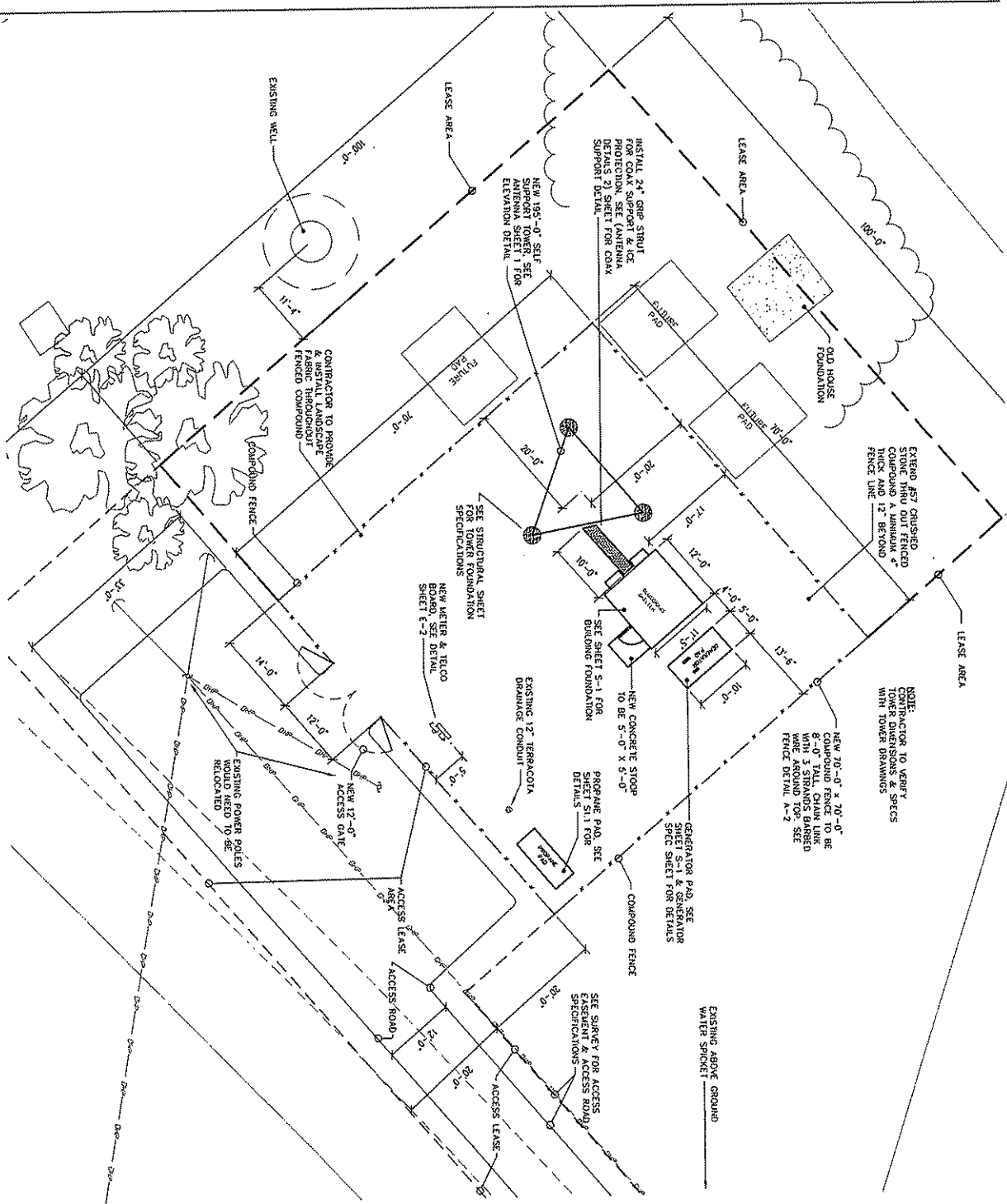
- Legend**
- 5/8" Fiber S/L Flag with a Survey Cap (includes TL, Sides, RS, 200)
 - 5/8" Fiber S/L Flag - No Cap
 - 5/8" Fiber Round Flag
 - + Observed Point - No Instrument
 - Flag or S/L
 - Subject Boundary
 - Easement Boundary
 - Right of Way
 - Utility Pole
 - Response Point
 - (n) Proposed
 - (r) Reoccupied
 - (f) Calculated
 - S/L S/L

Surveyor's Certification

I hereby certify that I and my assistants have personally conducted this survey and that the data were obtained by direct measurements. The magnitude of the error in the survey is 1:100,000 and it was not adjusted. This survey is a Class B survey and the accuracy and precision of this survey meets or exceeds the specifications of the class.

Surveyor: **DAVID L. HAHNS, P.L.L.C.**

<p>DATE: 1-10-07 DRAWN BY: A. Hixler CHECKED BY: D.L. Hahns</p>	<p>Bluegrass Cellular 2902 Ring Road Elizabethtown, Kentucky 42702</p>	<p>Lease Boundary Survey 4799 Russellville Road Allensville, Kentucky 42204</p>	 <p>Landmark Surveying Co., Inc. 15 N.E. 3rd Street Washington, Indiana 47501 (812) 257-0250 Email: hahns@lmsurvey.com Project No. 06-10-071</p>
<p>OF 3 SHEETS SHEET NO. 3</p>			



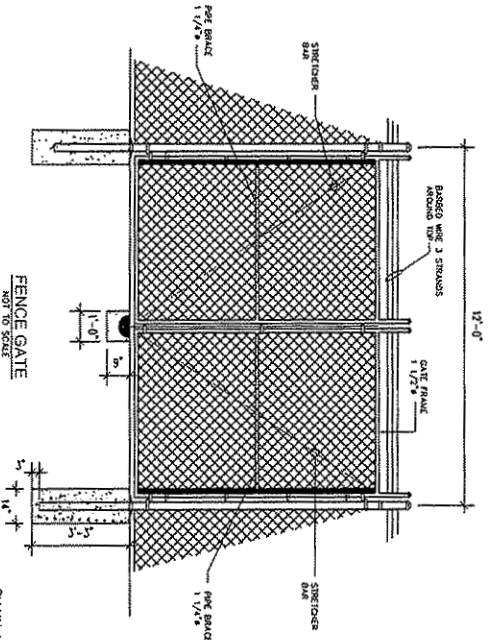
GENERAL NOTES:

- 1) EQUIPMENT PICK-UP AND DELIVERY TO SITE FROM BLUEGRASS CELLULAR STAGING FACILITY TO BE THE CONTRACTOR'S RESPONSIBILITY, INCLUDING CRANE SET, AND ALL COST INCURRED.
- 2) FOR BUILDING AND ALL CONCRETE PAD DETAILS REFER TO STRUCTURALS AND SHEET S11.
- 3) ALL CONCRETE TO HAVE SPECIFIED COATED SEALANT PER STRUCTURALS RECOMMENDATIONS.
- 4) ANY DAMAGE DUE TO CONSTRUCTION, TO BE REPAIRED OR REPLACED TO ORIGINAL CONDITION. (SUBJECT TO BLUEGRASS CELLULAR'S APPROVAL).
- 5) ANY DAMAGE OF NATURAL SURROUNDINGS, INCLUDING BUT NOT LIMITED TO, GRASS TREES, LANDSCAPING, ETC. TO BE REPAIRED OR REPLACED TO ORIGINAL CONDITION AT BLUEGRASS CELLULAR'S APPROVAL.
- 6) ROADWAYS TO BE GRADED SMOOTH AND EVEN, REMOVING ALL POTHOLES. ROADS TO HAVE PROPER DRAINAGE AND RUNOFF PER BLUEGRASS CELLULAR'S APPROVAL.
- 7) ANY RELOCATION OF EXISTING UTILITIES TO BE DONE IN ACCORDANCE WITH LOCAL CODES AND RECOMMENDATIONS FOR ALL UTILITY COMPANIES AND REQUIRED FOR APPROVAL AND SPECIFICATIONS REQUIRED.
- 8) FOR GRADING DETAILS, SEE GENERAL NOTESHEET
- 9) CONTRACTOR TO FIELD VERIFY ALL TOWER DIMENSIONS WITH TOWER MANUFACTURER PRIOR TO JOB BIDDING OR START OF ANY CONSTRUCTION
- 10) CONTRACTOR RESPONSIBLE FOR APPLYING FOR SERVICE TO SITE AND PAYING ANY FEES REQUIRED FOR PERMITS, HOOKUP, ETC..

SITE PLAN

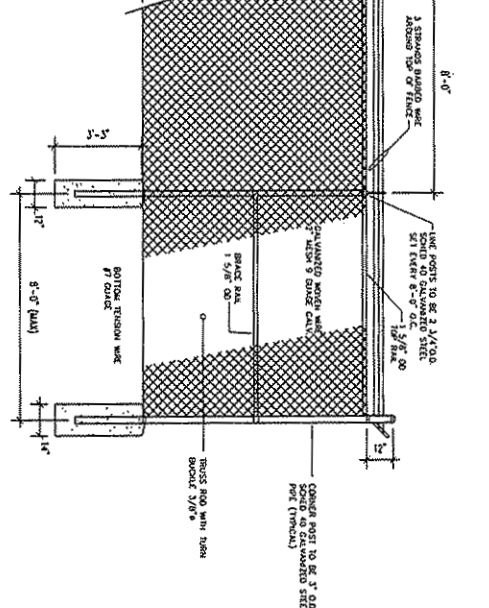
SCALE: 1/8" = 1'-0"

	NO. DATE REVISION _____ _____ _____
	DRAWN BY: R. BECKER ISSUE DATE: 2-07-07 SCALE: LISTED
BLUEGRASS CELLULAR, INC. STANDARD CELLULAR SITE TODD SOUTH 4799 RUSSELLVILLE RD. ALLENSVILLE, KY. 42204	
6405 MERCURY DRIVE LOUISVILLE, KY 40261 (601) 589-1027 F (502) 231-5242	

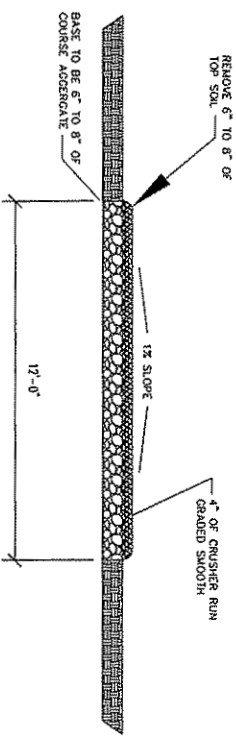


FENCE GATE
NOT TO SCALE

- CHAIN LINK FENCING NOTES:**
1. FABRIC: THE FABRIC SHALL BE COMPOSED OF INDIVIDUAL, HOT DIP GALVANIZED WIRE FIBRETS HELICALLY WOUND AND INTERLOCKED FROM 1/2" TO 1/4" GAUGE. THE FABRIC SHALL BE HELICALLY WOUND AND INTERLOCKED FROM 1/2" TO 1/4" GAUGE. HAVING A 2" MESH TOP. FIBRES SHALL HAVE A TWISTED AND BARBED.
 2. POSTS: SHALL BE 2 1/4" O.D. SS 40 PIPE HOT GALVANIZED. THESE POSTS SHALL BE SPACED APPROXIMATELY 6'-0" ON CENTERS AND SET FULL 3"-3" IN BELL - SHALL BE 1 3/8" O.C. STANDARD PIPE HOT GALVANIZED AND SHALL BE FURNISHED IN RANDOM LENGTHS AVERAGE NOT LESS THAN 20'.
 3. TOP RAIL: SHALL BE 1 3/8" O.C. STANDARD PIPE HOT GALVANIZED AND SHALL BE FURNISHED IN RANDOM LENGTHS AVERAGE NOT LESS THAN 20'.
 4. FABRIC JETS: FOR ATTACHING FABRIC TO LINE POST, TOP RAIL OR TOP WIRE, SHALL BE ALUMINUM STRIP OF WIRE OF APPROVED GAUGE AND DESIGN. USED ON TOP OF RAIL EVERY 24" AND ONE POST EVERY 12'.
 5. EXTENSION FABRIC: CAST STEEL GALVANIZED TO ACCOMMODATE 3 STRANDS OF BARB WIRE. SINGLE END SLOPED TO 45°, AND VERTICAL ON TOP OF SWING GATES.
 6. BARBED WIRE (STEEL): ASTM A192 GALVANIZED STEEL, 12 GAUGE THICK WIRE, 3 STRANDS 4 POINTS AT 3" O.C.
 7. SWING GATE POSTS: SHALL BE 3" O.C. STANDARD HOT GALVANIZED, INCLUDING 5/79 LBS. PER FOOT.
 8. GATES: (A) SWING GATES: 3" O.C. STANDARD PIPE WITH INTERNAL BRACING OF 3/8" O.D. STANDARD PIPE, WELDED AT ALL JOINTS TO PROVIDE RIGID WATER-TIGHT CONSTRUCTION. FABRIC SAME AS FENCE.
 9. FENCE TO BE LOCKER ERECTED WITHIN TENTED DAYS OF COMPLETION OF CONSTRUCTION. IF THE FRAME CANNOT BE MET, PLEASE NOTIFY PROJECT MANAGER.

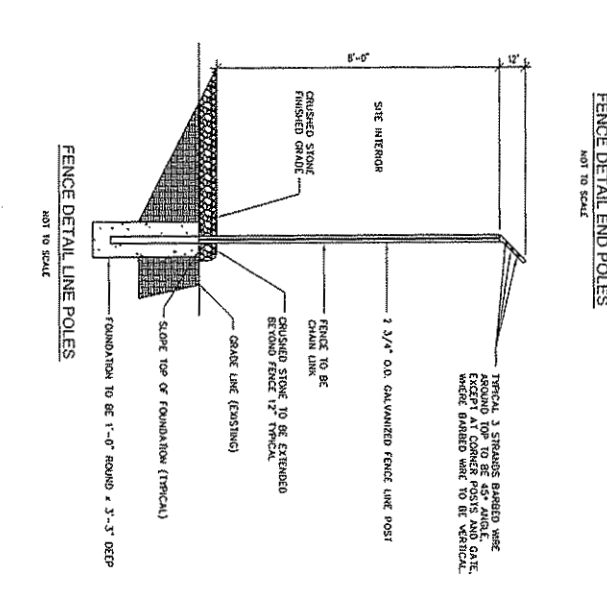


FENCE DETAIL END POLES
NOT TO SCALE



ROAD DETAIL
NOT TO SCALE

- CHAIN LINK FENCING NOTES:**
1. FABRIC: THE FABRIC SHALL BE COMPOSED OF INDIVIDUAL, HOT DIP GALVANIZED WIRE FIBRETS HELICALLY WOUND AND INTERLOCKED FROM 1/2" TO 1/4" GAUGE. THE FABRIC SHALL BE HELICALLY WOUND AND INTERLOCKED FROM 1/2" TO 1/4" GAUGE. HAVING A 2" MESH TOP. FIBRES SHALL HAVE A TWISTED AND BARBED.
 2. POSTS: SHALL BE 2 1/4" O.D. SS 40 PIPE HOT GALVANIZED. THESE POSTS SHALL BE SPACED APPROXIMATELY 6'-0" ON CENTERS AND SET FULL 3"-3" IN BELL - SHALL BE 1 3/8" O.C. STANDARD PIPE HOT GALVANIZED AND SHALL BE FURNISHED IN RANDOM LENGTHS AVERAGE NOT LESS THAN 20'.
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 9. FENCE TO BE LOCKER ERECTED WITHIN TENTED DAYS OF COMPLETION OF CONSTRUCTION. IF THE FRAME CANNOT BE MET, PLEASE NOTIFY PROJECT MANAGER.



FENCE DETAIL LINE POLES
NOT TO SCALE

DRAWN BY: R. BECKER
 ISSUE DATE: 2-07-07
 SCALE: LISTED
 SHEET NUMBER: A-2

BLUEGRASS CELLULAR, INC.
STANDARD CELLULAR SITE
TODD SOUTH
 4799 RUSSELLVILLE RD. ALLENSVILLE, KY. 42204



BLUEGRASS CELLULAR GENERAL NOTES & ANTENNA SPECS

ALL LINES AND ANTENNAS TO BE PROPERLY MOUNTED TO TOWER OR STRUCTURE PER BLUEGRASS CELLULAR SPECIFICATIONS.

ALL GROUND BARS TO BE INSTALLED AND CAD WELDED TO GROUND FIELD (WHERE REQUIRED)

ALL LINES TO BE GROUNDED AT THE TOP AND BASE OF STRUCTURE OR TOWER.

ALL LINES TO BE GROUNDED AT ENTRANCE OF SHELTER BEFORE WAVE GUIDE PORTS. (EXTERIOR OF BUILDING)

LINES ARE TO BE SECURED TO ICE BRIDGE

WAVE-GUIDE BOOTS ARE TO BE INSTALLED ON ALL LINES (BOTH INSIDE AND OUTSIDE)

ALL COAX CONNECTIONS ARE TO BE WEATHER PROOFED. INVENTORY OF ALL MATERIAL IS TO BE DONE PRIOR TO INSTALLATION BY CONTRACTOR. (LIST WILL BE PROVIDED)

ALL TRASH AND REFUSE IS TO BE PROPERLY DISPOSED OF.

CONTRACTOR TO EXTEND HARDLINES INTO BUILDING 12" & INSTALL POLYPHASES, PER INSTRUCTION OF PROJECT SUPERVISOR.

CONTRACTORS TO SUPPLY POLYPHASES OR LIKE UNITS TO BE INSTALLED AND GROUNDED TO GROUND BAR INSIDE BUILDING AT WAVE GUIDE ENTRANCE. GO TO SUPPLY GROUND CABLE & LUGS.

GENERAL CONTRACTOR TO MOUNT ANTENNA MOUNTS AT TOP OF STRUCTURE OR TOWER BY BLUEGRASS CELLULAR SPECIFICATIONS.

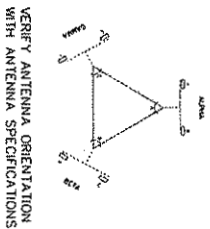
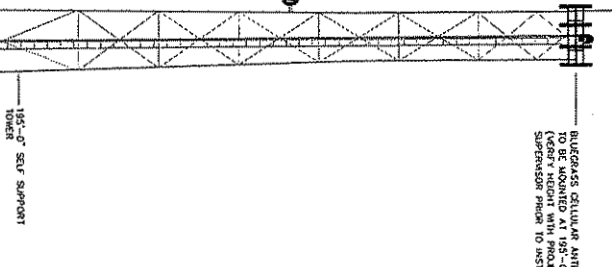
ICE BRIDGE TO BE SUPPLIED AND INSTALLED BY GENERAL CONTRACTOR. (Additional Ice Bridge if needed)

TRAPEZE KIT TO BE SUPPLIED AND INSTALLED BY GENERAL CONTRACTOR.

CONTRACTOR TO INSTALL GPS BRACKET

BLUEGRASS CELLULAR MICROWAVE DISH MOUNTS TO BE INSTALLED WITH PROJECT SUPERVISOR PRIOR TO INSTALLATION

BLUEGRASS CELLULAR ANTENNAS (6) TO BE MOUNTED AT 195'-0" C/L TO BE MOUNTED WITH PROJECT SUPERVISOR PRIOR TO INSTALLATION



VERIFY ANTENNA ORIENTATION WITH ANTENNA SPECIFICATIONS

SELF SUPPORT TOWER ELEVATION (TYPICAL)

TOWER HEIGHT & TYPE

195'-0" SELF SUPPORT TOWER

ANTENNA SPECS

TYPE	SIZE	NUMBER	AZIMUTH	ELEVATION	MOUNTING HEIGHT
ANTENNA (PRIMARY)	AP13-880-8500 AD1-XP D=4.6	5	70°, 210°, 330°		195'-0" C/L CONSTRUCTION EXTENSION
ANTENNA (SECONDARY)					

ANTENNA MOUNTING HARDWARE SPECS

TYPE	SIZE	NUMBER
MOUNT (PRIMARY)	TRI-SECTOR MOUNT	3
MOUNT (SECONDARY)		

ANTENNA TRANSMISSION LINES SPECS

TYPE	SIZE	NUMBER
TRANSMISSION LINE (PRIMARY)	ANDREW 1-5/8"	6
TRANSMISSION LINE (SECONDARY)		

DISH SPECS

DISH #1	DESCRIPTION	SIZE	NUMBER	AZIMUTH	ELEVATION	MOUNTING HEIGHT
DISH #1	MICROWAVE DISH		1	331.4°		140'-0"
DISH #2						

DISH MOUNT SPECS

MOUNT #1	TYPE	SIZE	NUMBER
MOUNT #1			
MOUNT #2			

DISH TRANSMISSION LINES

TRANSMISSION LINE #1	TYPE	SIZE	NUMBER
TRANSMISSION LINE #1	EW 90 Elliptical		1
TRANSMISSION LINE #2			

ANTENNA SYNOPSIS

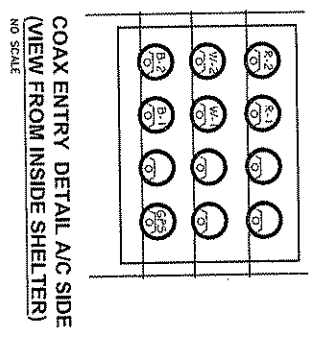
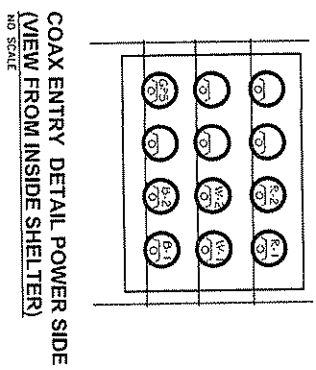
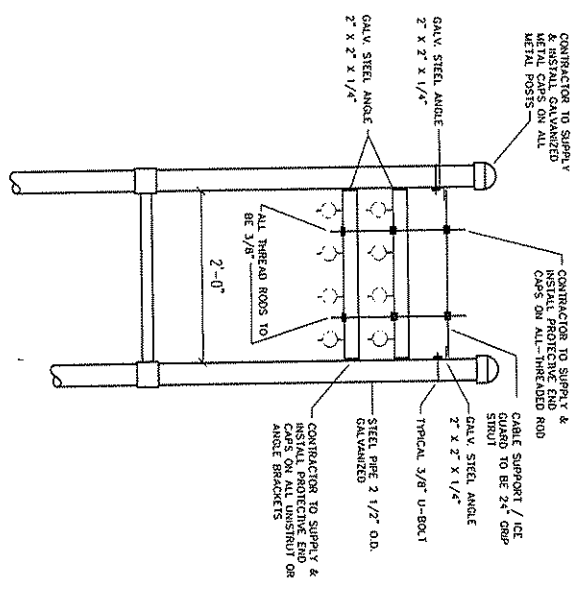
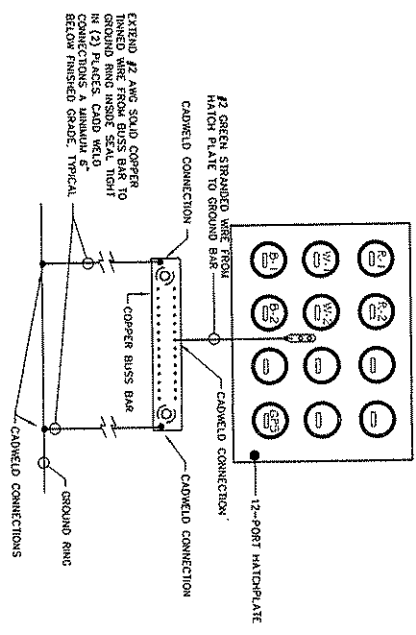
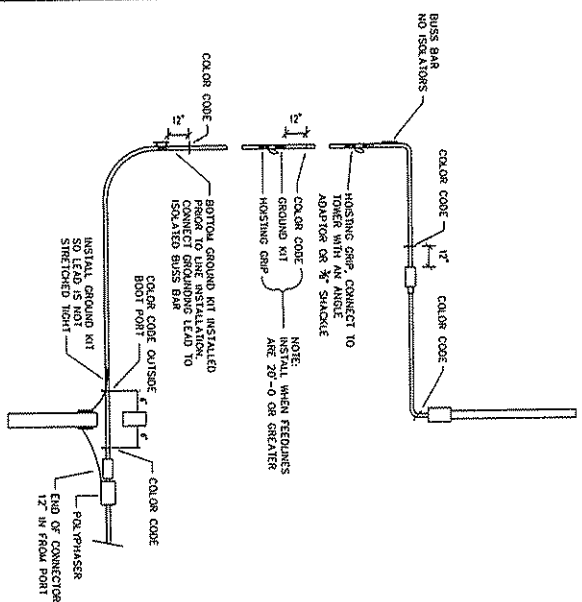
- ANTENNAS TO HAVE A 2°E X.Y.Z
- ANTENNA FREQUENCY 890.00 - 890.00
- MICROWAVE DISH AZIMUTHS TOWARDS ELKTOWN. VERIFY HEIGHT AND AZIMUTHS WITH PROJECT SUPERVISOR




NO.	DATE	REVISION

BLUEGRASS CELLULAR, INC.
STANDARD CELLULAR SITE
TODD SOUTH
4799 RUSSELLVILLE RD, ALLENSVILLE, KY, 42204

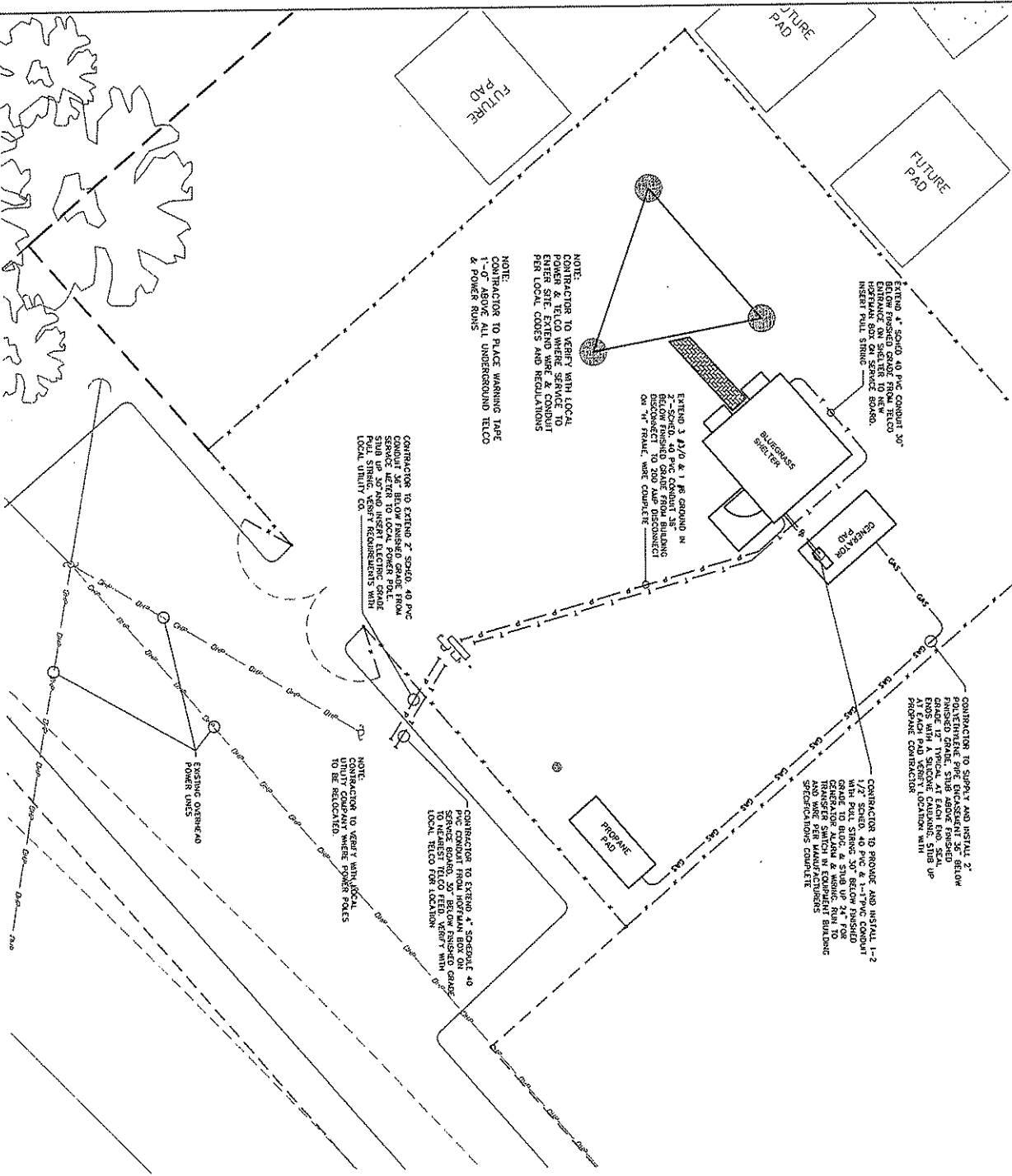
DRAWN BY: **R. BECKER**
ISSUE DATE: 2-07-07
SCALE: LISTED
SHEET NUMBER: 1
ANTENNA DETAILS



DRAWN BY: R. BECKER ISSUE DATE: 2-07-07 SCALE: LISTED	BLUEGRASS CELLULAR, INC. STANDARD CELLULAR SITE TODD SOUTH 4799 RUSSELLVILLE RD. ALLENSVILLE, KY. 42204	NO.	DATE	REVISION



6425 MERCELKY DRIVE LOUISVILLE, KY 40299
 (502) 359-9949 Fax: (502) 353-2295



NOTE:
CONTRACTOR TO VERIFY WITH LOCAL UTILITY COMPANY WHERE POWER POLES TO BE RELOCATED.

NOTE:
CONTRACTOR TO PLACE WARNING TAPE 1'-0" ABOVE ALL UNDERGROUND TIELO & POWER RUNS

CONTRACTOR TO EXTEND 2" SCHED. 40 PVC CONDUIT 30' BELOW FINISHED GRADE FROM TIELO TO SERVICE BOX ON SERVICE BOARD. 30' BELOW FINISHED GRADE FROM TIELO TO SERVICE BOX ON SERVICE BOARD. 30' BELOW FINISHED GRADE FROM TIELO TO SERVICE BOX ON SERVICE BOARD.

NOTE:
CONTRACTOR TO VERIFY WITH LOCAL UTILITY COMPANY WHERE POWER POLES TO BE RELOCATED.

CONTRACTOR TO EXTEND 4" SCHEDULE 40 PVC CONDUIT FROM HOVSTAIN BOX ON SERVICE BOARD, 30' BELOW FINISHED GRADE TO TIELO FOR LOCATION.

CONTRACTOR TO SUPPLY AND INSTALL 2" POLYETHYLENE PIPE BACKSUPPORT 30' BELOW FINISHED GRADE, STUB ABOVE FINISHED GRADE TO TIELO. STUB ABOVE FINISHED GRADE WITH A SLOTTED CHANNEL STUB UP AT EACH PAD VERIFY LOCATION WITH PROPANE CONTRACTOR.

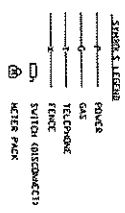
CONTRACTOR TO REMOVE AND INSTALL 1-2" SCHEDULE 40 PVC 1-1/2" CONDUIT WITH PULL STRING 30' BELOW FINISHED GRADE TO TIELO. STUB UP 24" FOR TRANSFER SWITCH IN EQUIPMENT BUILDING AND WIRE PER MANUFACTURERS SPECIFICATIONS COMPLETE.

CONTRACTOR TO REMOVE AND INSTALL 1-2" SCHEDULE 40 PVC 1-1/2" CONDUIT WITH PULL STRING 30' BELOW FINISHED GRADE TO TIELO. STUB UP 24" FOR TRANSFER SWITCH IN EQUIPMENT BUILDING AND WIRE PER MANUFACTURERS SPECIFICATIONS COMPLETE.

GENERAL ELECTRICAL NOTES:

- 1) CONTRACTOR RESPONSIBLE FOR MAKING ALL ARRANGEMENTS WITH THE LOCAL UTILITIES FOR SERVICE AND FEE PAYMENTS REQUIRED TO OBTAIN SERVICE.
- 2) CONTRACTOR RESPONSIBLE FOR MAKING ALL ARRANGEMENTS WITH THE LOCAL UTILITY COMPANY FOR SERVICE AND FEE PAYMENTS REQUIRED TO OBTAIN SERVICE.
- 3) GROUND RING TO BE CONTAINED WITH IN THE COMPOUND'S FENCED AREA.
- 4) FENCE TO BE GROUNDED FROM GROUND RING TO ALL CORNER POSTS & GATES. SPACE FENCE GROUNDS APPROXIMATELY 20'-0" O/C. (GOLD WELD ALL CONNECTIONS)
- 5) ALL GROUND RING CONNECTIONS TO BE AS CLOSE AS POSSIBLE. SHARP BENDS WILL NOT BE PERMITTED AS WELL AS T CONNECTIONS. ALL CONNECTIONS TO HAVE A SWEEPING RADIUS OF 8" MINIMUM. GROUNDING CONFIGURATION TO BE IN PARALLEL.
- 6) CONTACT POINTS FOR GROUNDING TO BE CLEANED OF ALL RUSTY PAINT, DIRT, ETC. TO CREATE A GOOD BOND FOR CONDUCTOR AREA THAT HAS BEEN CLEANED TO BE RESEALED TO PREVENT RUSTING.
- 7) PROPERLY GROUND ANY EXPOSED METAL THAT MAY EXIST ON EXTERIOR OF EQUIPMENT SHELTER OR CABINET.
- 8) WHERE GROUND CONDUCTORS REQUIRE MECHANICAL BONDING, STAINLESS STEEL CONNECTORS ARE REQUIRED AT EACH CONNECTING POINT USING LOCK WASHERS.
- 9) CONTRACTOR RESPONSIBLE FOR SENSING THAT UTILITY PERSONNEL MAKE FINAL CONNECTIONS AND MAKE SURE THE POWER ALARM IS CONNECTED AND MARKING A TELEPHONE NUMBER FOR THE ALARM MUST BE SUPPLIED.
- 10) CONTRACTOR RESPONSIBLE FOR MEG TESTING THE SITE AND SUPPLYING OWNER WITH FINAL READINGS IN OWNERS SPECIFICATIONS.

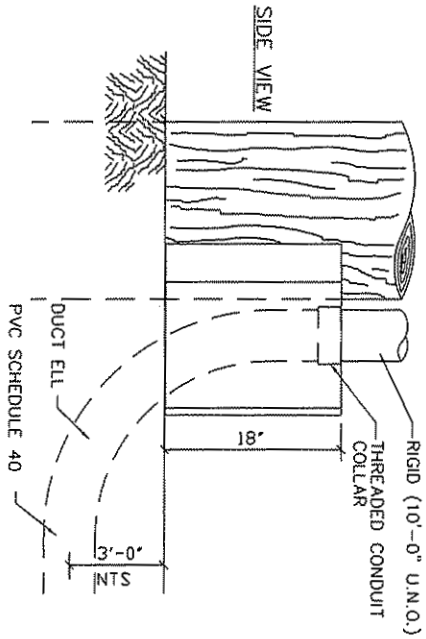
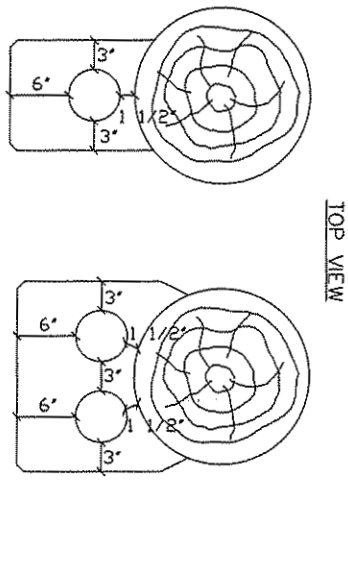
NOTE:
CONTRACTOR TO PROVIDE WARNING TAPE IN TRENCHES FOR ALL POWER AND TIELO RUNS UNDER GROUND. TAPE TO BE INSTALLED 1'-0" ABOVE CONDUIT RUNS.



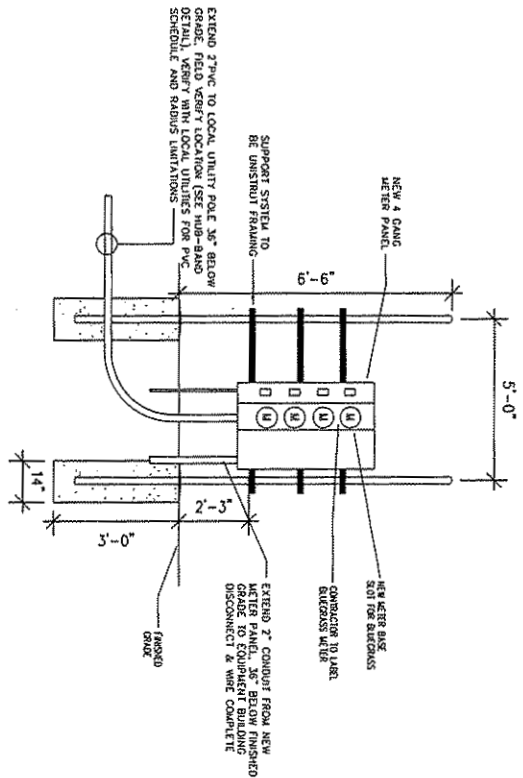
SITE PLAN - ELECTRICAL

SCALE: 3/32" = 1'-0"

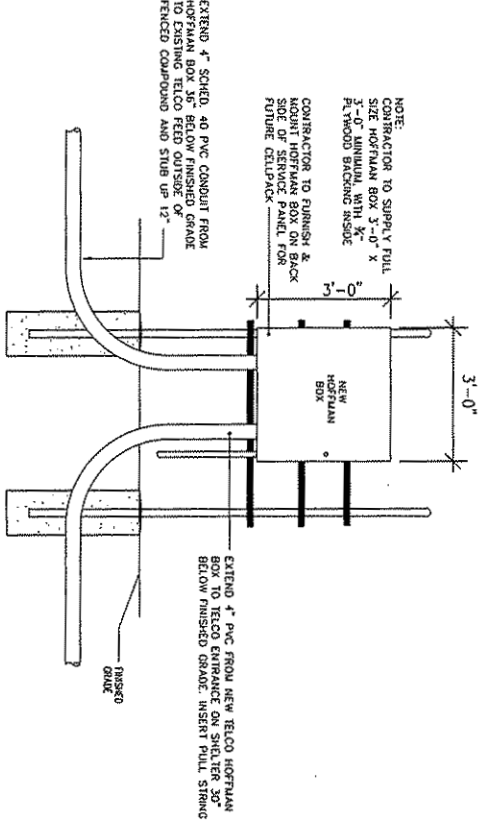
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NO.	DATE	REVISION										



HUB-BAND DETAIL
NO SCALE



SERVICE BOARD DETAIL
NO SCALE



BACKBOARD DETAIL
NO SCALE

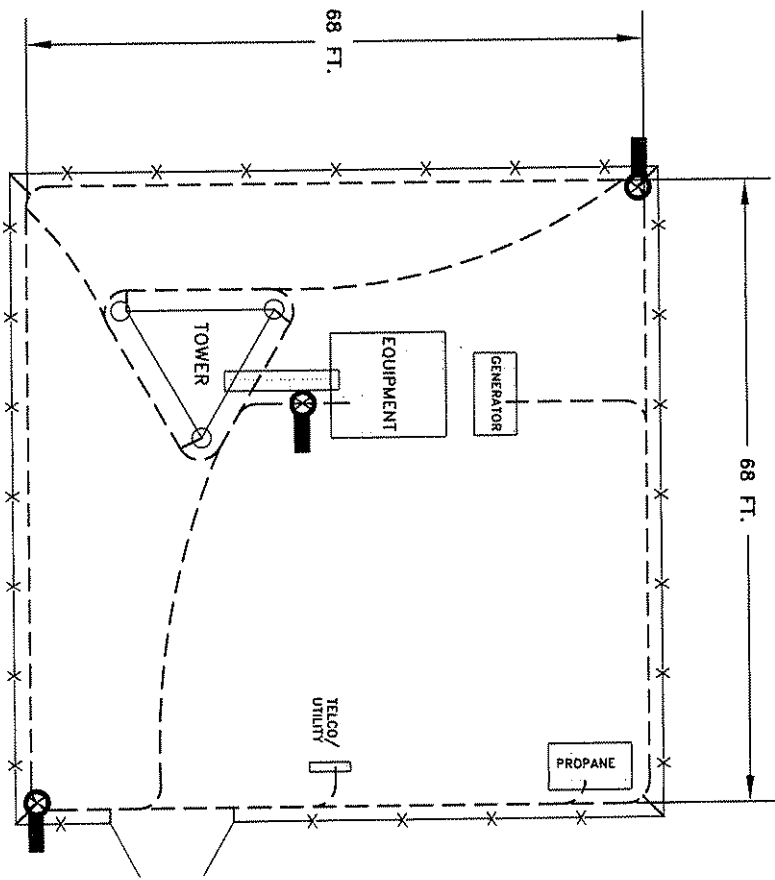
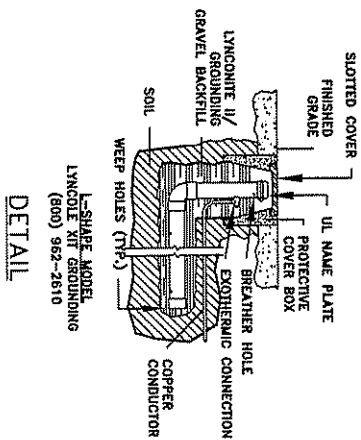
NO.	DATE	REVISION

BLUEGRASS CELLULAR, INC.
STANDARD CELLULAR SITE
TODD SOUTH
4799 RUSSELLVILLE RD. ALLENSVILLE, KY. 42204

DRAWN BY: R. BECKER
ISSUE DATE: 2-07-07
SCALE: LISTED



E-2

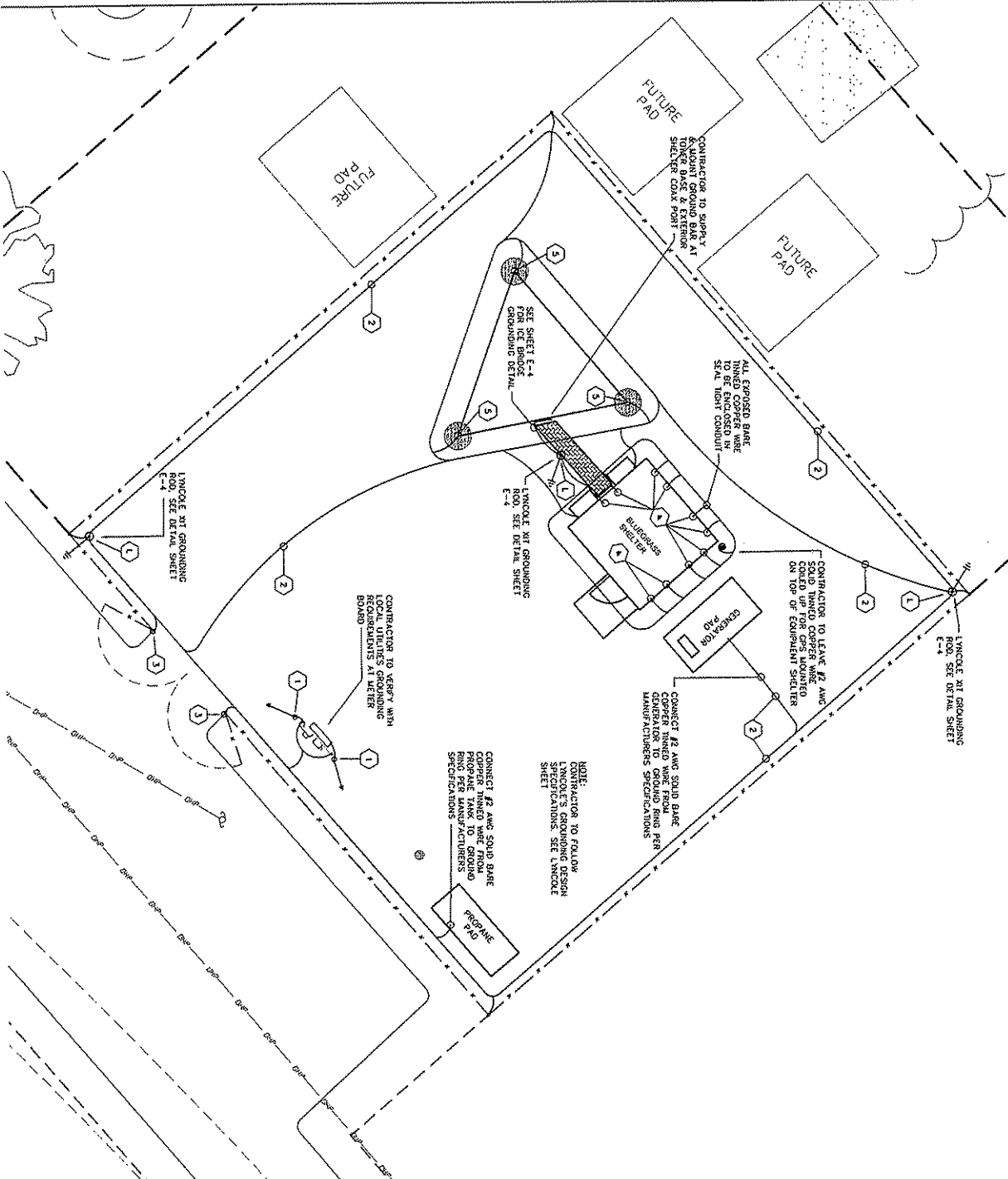


NOTES:

- X --- FENCE LINE
- BARE #2 SOLID TINNED COPPER CONDUCTOR BURIED 30 IN. BELOW GRADE OR 6 IN. BELOW FROST LINE
- ALL BENDS IN GROUND CONDUCTORS TO BE MADE WITH 12 IN. RADIUS OR LARGER

KAL-10CS (SEE DETAIL)

LYNCOLE		CLIENT / END USER RSB DESIGN / BLUEGRASS	
TECHNICAL SERVICES		DRAWING PROJECT NAME TODD SOUTH	
3547 VOYAGER STREET, SUITE 204 TORRANCE, CA 90503 (800)962-2610 FAX (310)214-1114 ENGINEERING@LYNCOLE.COM		LOCATION: CITY, STATE ALLENSVILLE, KY	
DRAWN BY PD		APPROVED BY DATE 02/22/2007	
TITLE GROUNDING RECOMMENDATION		CALCULATED RESISTANCE < 5 OHM	
SOIL DATA PROVIDED BY TERRACON		SCALE NONE	
REFERENCE NUMBER NA		LTS NUMBER 070040	



GENERAL ELECTRICAL NOTES:

- 1) CONTRACTOR RESPONSIBLE FOR MAKING ALL CONNECTIONS TO ALL UTILITIES PER LOCAL CODES AND OBTAIN SERVICE AND FEE PAYMENTS REQUIRED TO OBTAIN SERVICE.
- 2) CONTRACTOR RESPONSIBLE FOR MAKING ALL ARRANGEMENTS WITH THE LOCAL TELEPHONE COMPANY TO OBTAIN SERVICE AND FEE PAYMENTS REQUIRED TO OBTAIN SERVICE.
- 3) GROUND RING TO BE CONTAINED WITH IN THE COMPOUNDS FENCED AREA.
- 4) FENCE TO BE GROUNDED FROM GROUND RING TO ALL CORNER POST & GATES. (SPACE FENCE GROUNDED APPROXIMATELY 20'-0" O/C. (GALD WELD ALL CONNECTIONS))
- 5) ALL GROUND RING CONNECTIONS TO BE AS CLOSE AS POSSIBLE. SHARP BENDS WILL NOT BE PERMITTED AS WELL AS CONNECTIONS AT CORNER CONNECTIONS. ALL CORNER CONNECTIONS TO BE IN PARALLEL.
- 6) CONTACT POINTS FOR GROUNDED TO BE CLEANED OR PAINTED. PANELS THAT HAVE BEEN CLEANED TO BE RESEALED TO PREVENT RUSTING.
- 7) PROPERLY GROUND ANY EXPOSED WIRE THAT MAY EXIST ON EXTENSION OF EQUIPMENT SHELTER OR CABINET.
- 8) WHERE GROUND CONDUCTORS REQUIRE MECHANICAL BONDING, STAINLESS STEEL CONNECTORS ARE REQUIRED AT EACH CONNECTING POINT USING LOCK WASHERS.
- 9) CONTRACTOR RESPONSIBLE FOR SEEING THAT UTILITY PERSONNEL MAKE FINAL CONNECTIONS, MAKING SURE THE TOWER ALARM IS CONNECTED AND WORKING, A TELEPHONE NUMBER FOR THE ALARM MUST BE SUPPLIED.
- 10) CONTRACTOR RESPONSIBLE FOR LET TESTING THE SITE AND SUPPLYING OWNER WITH FINAL READINGS IN OWNERS SPECIFICATIONS.

NOTE:
CONTRACTOR TO PROVIDE WARNING TAPE IN TRENCHES FOR ALL POWER AND TELCO RUNS UNDER GROUND. TAPE TO BE INSTALLED AT 9" BELOW GRADE.

NOTE:
CONTRACTOR TO FOLLOW LYNCOLE'S GROUNDING SPECIFICATIONS WHEN USING THEIR XIT GROUNDING RODS. SEE DETAIL SHEET E-4.

REMARKS:

- 1) LYNCOLE XIT GROUNDING ROD TO BE INSTALLED WHERE SHOWN AND TO MANUFACTURER'S SPECIFICATIONS. (SEE LYNCOLE SPECIFICATIONS)
- 2) GROUNDING RODS 1/2" x 3/4" LONG x 2 1/2" COPPER
- 3) TYPICAL SPACING OF RODS INDICATED ON PLANS.
- 4) ALL WIRE TO BE PROTECTED BY 1/2" THICK PVC CONDUIT. CONDUIT TO BE INSTALLED AT LEAST 18" BELOW GRADE. 3/4" USE #2 AWG SOLID BARE Tinned COPPER WIRE FOR ALL CONDUIT CONNECTIONS. (CONNECTIONS FOR ALL THE CONDUITS TO BE INSTALLED PER SET TO PROVIDE A GROUND RING THROUGHOUT THE ENTIRE SITE.)
- 5) TRENCH DEPTH SHALL BE 18" TO PROVIDE A GROUND RING THROUGHOUT THE ENTIRE SITE. ALL WIRE TO BE PROTECTED BY 1/2" THICK PVC CONDUIT. CONDUIT TO BE INSTALLED AT LEAST 18" BELOW GRADE. 3/4" USE #2 AWG SOLID BARE Tinned COPPER WIRE FOR ALL CONDUIT CONNECTIONS. (CONNECTIONS FOR ALL THE CONDUITS TO BE INSTALLED PER SET TO PROVIDE A GROUND RING THROUGHOUT THE ENTIRE SITE.)
- 6) GROUNDING TO BE PROVIDED TO GROUND RING FOR EACH OF THE DUE STRUCTURES. THESE SHOULD INCLUDE SHEDS, STORAGE BINS, ETC.
- 7) FOR TOWER TOWER, ALL WIRE TO BE PROTECTED BY 1/2" THICK PVC CONDUIT. CONDUIT TO BE INSTALLED AT LEAST 18" BELOW GRADE. 3/4" USE #2 AWG SOLID BARE Tinned COPPER WIRE FOR ALL CONDUIT CONNECTIONS. (CONNECTIONS FOR ALL THE CONDUITS TO BE INSTALLED PER SET TO PROVIDE A GROUND RING THROUGHOUT THE ENTIRE SITE.)
- 8) ALL WIRE TO BE PROTECTED BY 1/2" THICK PVC CONDUIT. CONDUIT TO BE INSTALLED AT LEAST 18" BELOW GRADE. 3/4" USE #2 AWG SOLID BARE Tinned COPPER WIRE FOR ALL CONDUIT CONNECTIONS. (CONNECTIONS FOR ALL THE CONDUITS TO BE INSTALLED PER SET TO PROVIDE A GROUND RING THROUGHOUT THE ENTIRE SITE.)

NOTE:
CONTRACTOR TO VERIFY WITH LOCAL UTILITIES GROUNDING REQUIREMENTS AT VARIOUS POINTS.

NOTE:
CONTRACTOR TO FOLLOW LYNCOLE'S GROUNDING DESIGN SPECIFICATIONS SEE LYNCOLE SHEET.

NOTE:
CONNECT #2 AWG SOLID BARE COPPER WIRE FROM GENERATOR TO GROUND RING PER MANUFACTURER'S SPECIFICATIONS.

NOTE:
CONTRACTOR TO LEAVE #2 AWG SOLID Tinned COPPER WIRE COILED UP FOR USE MOUNTED ON TOP OF EQUIPMENT SHELTER.

NOTE:
ALL EXPOSED BARE Tinned COPPER WIRE TO BE ENCASED IN 3/4" THICK PVC CONDUIT.

NOTE:
CONTRACTOR TO VERIFY WITH LOCAL UTILITIES GROUNDING REQUIREMENTS AT VARIOUS POINTS.

NOTE:
CONTRACTOR TO LEAVE #2 AWG SOLID Tinned COPPER WIRE COILED UP FOR USE MOUNTED ON TOP OF EQUIPMENT SHELTER.

NOTE:
ALL EXPOSED BARE Tinned COPPER WIRE TO BE ENCASED IN 3/4" THICK PVC CONDUIT.

SITE PLAN-GROUNDING

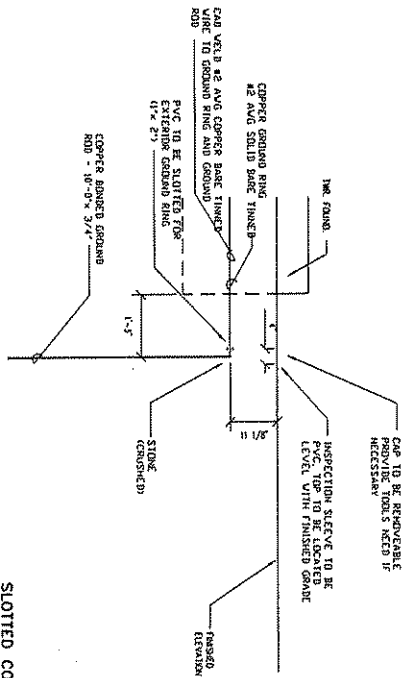
SCALE: 3/32" = 1'-0"

DRAWN BY: R. BECKER	ISSUE DATE: 2-07-07
SCALE: LISTED	
SHEET NUMBER E-3	

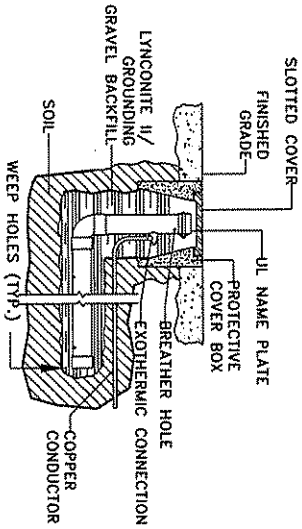
BLUEGRASS CELLULAR, INC.
STANDARD CELLULAR SITE
TODD SOUTH
4799 RUSSELLVILLE RD. ALLENSVILLE, KY. 42204

NO	DATE	REVISION

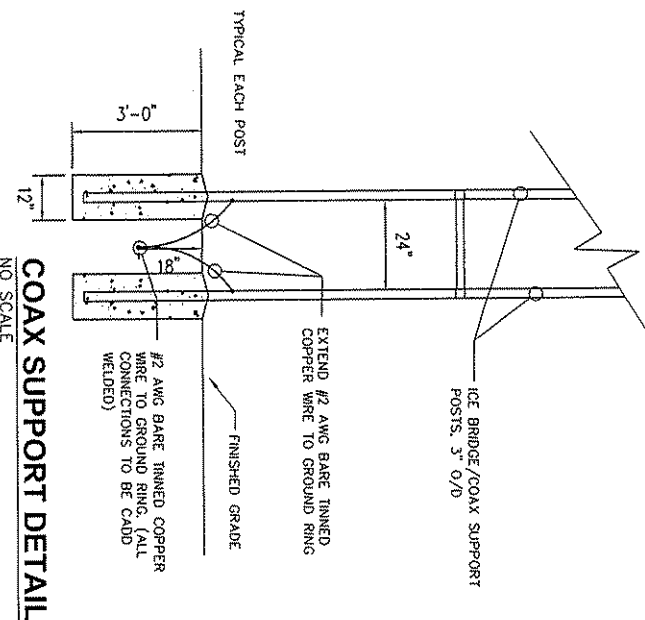




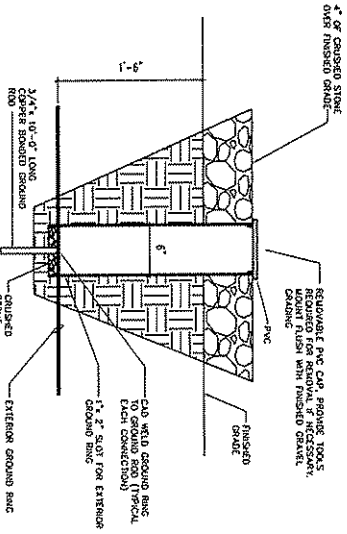
GROUND ROD DETAIL
NO SCALE



LYNCOLE XIT ROD DETAIL
NO SCALE

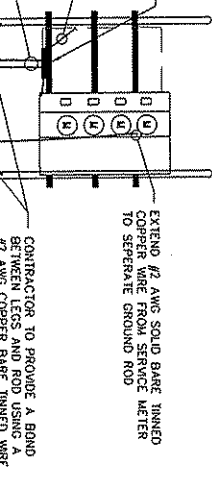


COAX SUPPORT DETAIL
NO SCALE



GROUND SLEEVE DETAIL
NO SCALE

CONTRACTOR TO PROVIDE AND MOUNT A 9\"/>



SERVICE BOARD DETAIL
NO SCALE

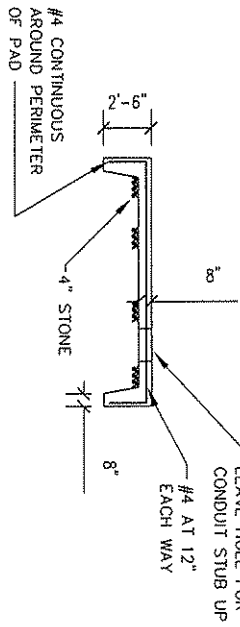
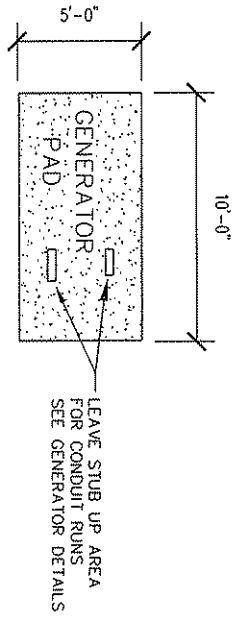


NO.	DATE	REVISION

BLUEGRASS CELLULAR, INC.
STANDARD CELLULAR SITE
TODD SOUTH
4799 RUSSELLVILLE RD, ALLENSVILLE, KY, 42204

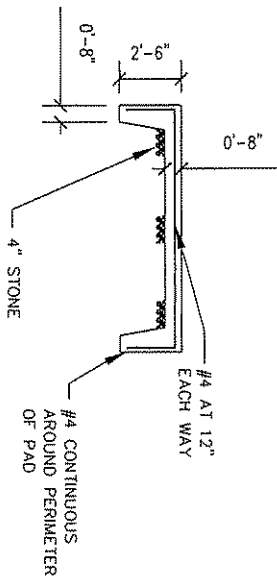
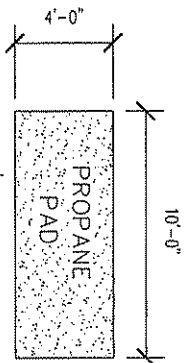
DRAWN BY: **R. BECKER**
ISSUE DATE: **2-07-07**
SCALE: **LISTED**

SHEET NUMBER: **E-4**



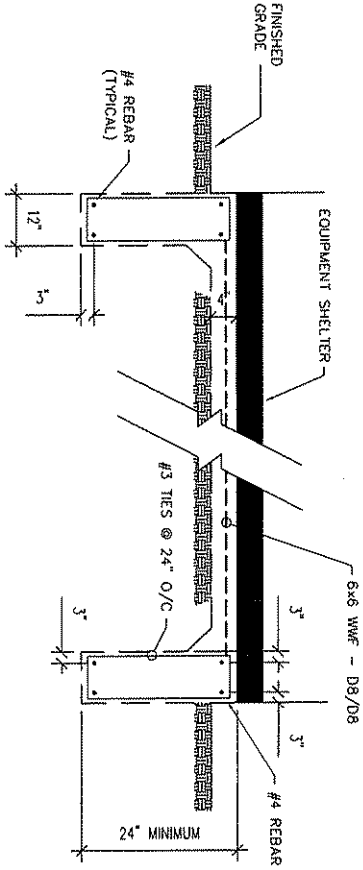
FOUNDATION DETAIL

NO SCALE



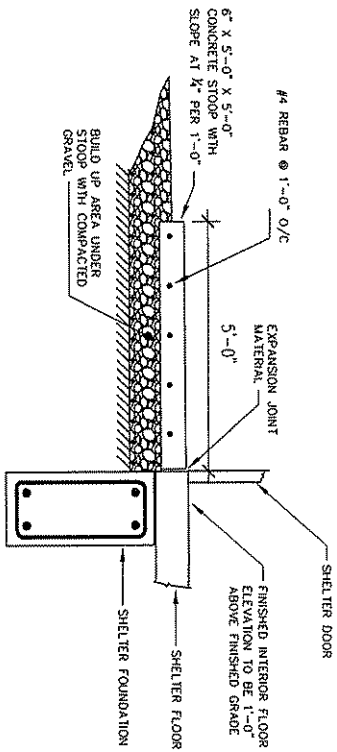
FOUNDATION DETAIL

NO SCALE



SHELTER FOUNDATION PLAN

NO SCALE



CONCRETE STOOP DETAIL

NO SCALE

DRAWN BY: R. BECKER ISSUE DATE: 2-07-07 SCALE: LISTED	BLUEGRASS CELLULAR, INC. STANDARD CELLULAR SITE TODD SOUTH 4799 RUSSELLVILLE RD. ALLENSVILLE, KY 42204		RD. DATE REVISION	
	SHEET NUMBER: S-1		8455 MERCURY DRIVE LOUISVILLE, KY 40291 (502) 251-2888 FAX (502) 251-2889	

0G1407

REMOVE COVER FOR ACCESS TO RADIATOR FILL CAP

1) MINIMUM RECOMMENDED CONCRETE PAD SIZE: 1945 (60.8') WIDE X 3061 (120.5') LONG.

2) GENERATOR MUST BE LOCATED A MINIMUM DISTANCE OF 5 FEET FROM A WALL OR FENCE. ALLOW A 5 FOOT MINIMUM PERIMETER OF OPEN SPACE AROUND THE ENTIRE GENERATOR.

3) CIRCUIT BREAKER INFORMATION: SEE SPECIFICATION SHEET WITHIN OWNERS MANUAL.

4) INSIDE STUB-UP AREA FOR AC LOAD LEAD CONDUIT CONNECTION, NEUTRAL CONNECTION, AUXILIARY OUTPUT RELAYS AND ACCESS TO TRANSFER SWITCH CONTROL WIRES. REMOVE COVER FOR ACCESS.

4A) FIELD CUT HOLE IS ONLY REQUIRED FOR MOUNTING OF GENERATOR ON AN EXISTING PAD.

5) REFERENCE OWNERS MANUAL FOR LIFTING WARNINGS.

6) REMOVE EITHER LEFT OR RIGHT HAND SIDE PANEL TO ACCESS EXHAUST MUFFLERS.

7) INSIDE ACCESS TO 120VAC, 20A GFCI OUTLET PREPARED TO SUPPLY POWER TO BATTERY CHARGER.

5, 4L ONLY: 15A, 240VAC OUTLET FOR ENGINE BLOCK HEATER.

6, 8L ONLY: USE 20A GFCI OUTLET FOR ENGINE BLOCK HEATER.

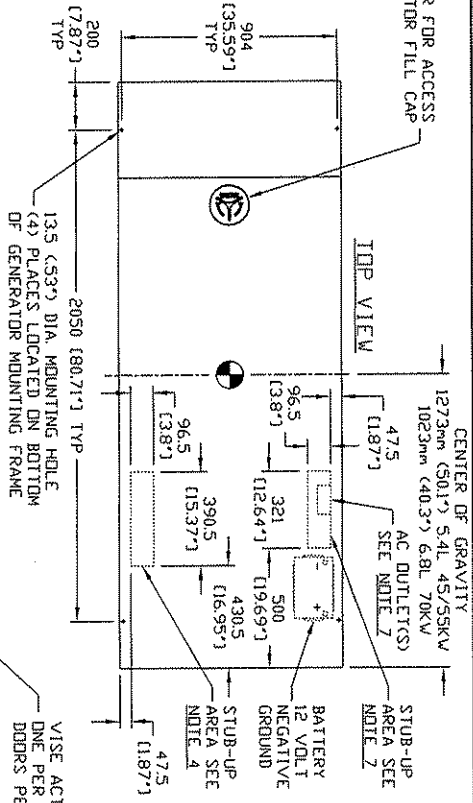
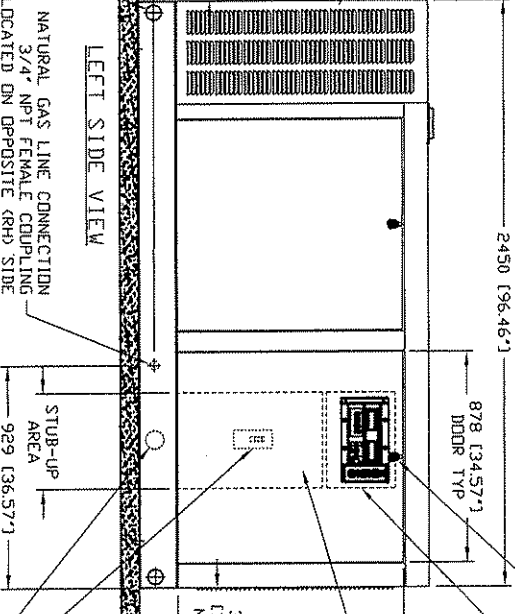
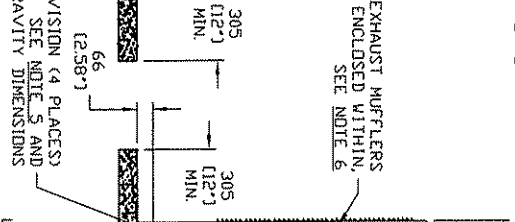
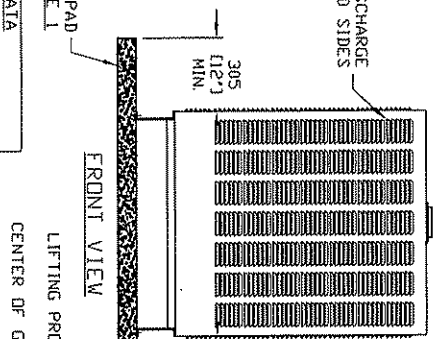
EXHAUST AND AIR DISCHARGE LOUVERS - FRONT AND SIDES

EXHAUST MUFFLERS ENCLOSED WITHIN. SEE NOTE 6

FRONT VIEW
LIFTING PROVISION (4 PLACES) SEE NOTE 5 AND CENTER OF GRAVITY DIMENSIONS

LEFT SIDE VIEW
NATURAL GAS LINE CONNECTION 3/4" NPT FEMALE COUPLING LOCATED ON OPPOSITE (RHD) SIDE

REAR VIEW
FRONT COVER SEE NOTE 4
AIR INLET AIR LOUVERS



SERVICE ITEM ACCESSIBILITY CHART		
SERVICE ITEM	5, 4L 45/55KW	6, 8L 70KW
OIL FILL CAP	THRU RIGHT FRONT DOOR	THRU RIGHT FRONT DOOR
OIL DIP STICK	THRU LEFT FRONT DOOR	THRU LEFT FRONT DOOR
OIL FILTER	THRU LEFT FRONT DOOR	THRU LEFT FRONT DOOR
OIL BRAIN HOSE	THRU RIGHT FRONT DOOR	THRU RIGHT FRONT DOOR
RADIATOR BRAIN HOSE	THRU LEFT FRONT DOOR	THRU LEFT FRONT DOOR
AIR CLEANER ELEMENT	EITHER FRONT DOOR	EITHER FRONT DOOR
SPARK PLUGS	BOTH FRONT DOORS	BOTH FRONT DOORS
MUFFLERS	SEE NOTE 6	SEE NOTE 6
FAN BELT	EITHER FRONT DOOR	EITHER FRONT DOOR
BATTERY	THRU RIGHT REAR DOOR	THRU RIGHT REAR DOOR
AC OUTLET(S)	THRU RIGHT REAR DOOR	THRU RIGHT REAR DOOR

REFERENCE OWNERS MANUAL FOR PERIODIC REPLACEMENT PART LISTINGS

WEIGHT DATA

5, 4L 45/55KW - 895KG (1973 LB)
6, 8L 70KW - 991KG (2186 LB)
WOODEN SHIPPING SKIDS INCREASE OVERALL WEIGHT 79KG (175LB)

GENERATOR SERIAL NUMBER, THE CENTER OF GRAVITY LOCATION, THE CENTER OF GRAVITY DIMENSIONS AND THE CENTER OF GRAVITY DIMENSIONS LOCATED ON OPPOSITE (RHD) SIDE

INSTALL DRAWING
5.4L/6.8L IND C3

GENERAC POWER SYSTEMS
Waukesha
VALKESHA, WI 53187

INSTALLATION DRAWING

SCALE 1 = 20	REV
FILE NAME 0G1407.DWG	SIZE B
DWG NO. 0G1407	REV *

GENERAL NOTES:

- 1) THE CONTRACTOR IS RESPONSIBLE FOR EQUIPMENT PICK UP DELIVERY TO SITE, ERECTION OF TOWER, AND GRADE SET. ALL COSTS REQUIRED.
- 2) THE CONTRACTOR IS RESPONSIBLE FOR VISITING THE SITE PRIOR TO BIDDING AND REVIEWING EXISTING STRUCTURES OR UTILITIES THAT MAY BE LOCATED ON OR AROUND THE COMPOUND THAT COULD INTERFERE.
- 3) THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING LOCAL AUTHORITIES NECESSARY FOR INSPECTIONS IF REQUIRED. PLEASE PROVIDE AHEAD NOTICE.
- 4) THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING PERSONS RESPONSIBLE FOR ANY MATERIALS TESTING. PLEASE PROVIDE AHEAD NOTICE.
- 5) THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE OWNER WITH FINAL TEST RESULTS ON ALL MATERIALS TESTING. IF ANY PROBLEMS ARE FOUND PRIOR TO FINAL RESULTS PLEASE NOTIFY AHEAD OR OWNER IMMEDIATELY.
- 6) THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO ADJOINING PROPERTY AND REPAIRING OR REPLACING WHAT IS NECESSARY TO OWNERS APPROVAL.
- 7) THE CONTRACTOR IS TO VERIFY DIMENSIONS ON SITE PRIOR TO CONSTRUCTION STARTING, ANY PROBLEMS OR CHANGE FOUND CONTACT AHEAD OR OWNER TO VERIFY.
- 8) THE CONTRACTOR IS RESPONSIBLE FOR ANY TEMPORARY LIGHTING ON THE TOWER AND CONTACTING PROPER AUTHORITIES IF ANY LIGHTING PROBLEMS OCCUR. ALL FINAL LIGHTING TO BE INSTALLED ON REACHED FINAL HEIGHT.
- 9) THE CONTRACTOR IS RESPONSIBLE FOR ALL ON SITE WORK METHODS AND METHODS.
- 10) CONTRACTOR, ANY CONTRACTOR EMPLOYEES OR REPRESENTATIVES, OR SUB-CONTRACTOR, ANY SUB-CONTRACTOR EMPLOYEES OR REPRESENTATIVES WILL COMPLY TO ALL LAWS AND REGULATIONS PERTAINING TO THE PROJECT BEING THE SAFETY AND HEALTH ACT (OSHA), STATUTES AND REGULATIONS AS WELL AS ALL OTHER FEDERAL, STATE AND/OR LOCAL LAWS OR REGULATIONS APPLICABLE TO THE WORK BEING PERFORMED BY CONTRACTOR.
- 11) THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL SITE ERECTION AND CONSTRUCTION TO MAINTAIN ALL RUN OFF, EROSION AND EMISSION CONTROL NECESSARY TO MAINTAIN ANY RUN OFF.
- 12) THE CONTRACTOR IS RESPONSIBLE FOR ALL SEED AND STRAW WORK, NECESSARY TO REPAIR DAMAGED AREAS.
- 13) CONTRACTOR TO GRADE SMOOTH OR REPAIR ANY POT HOLES OR DITCHES ON PROPERTY OR ROAD THAT HAS OCCURRED DURING CONSTRUCTION AT CONTRACTORS EXPENSE.

"BEFORE YOU DIG"

THE CONTRACTOR'S ATTENTION IS DIRECTED TO THE UTILITY PROTECTION CENTER, PHONE 1-800-752-6000, WHICH WAS ESTABLISHED TO PROVIDE ACCURATE LOCATIONS OF UTILITIES. THE UTILITY PROTECTION CENTER IS OPEN 24 HOURS A DAY. 48 HOURS IN ADVANCE OF ANY CONSTRUCTION ON THIS PROJECT. ALL NEW SERVICE AND GROUNDING REMOVES PROVIDE A WARNING TAPE @ 12 INCHES BELOW GRADE.

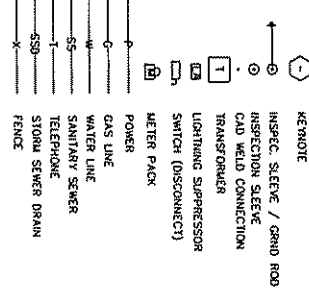
GRADING & EXCAVATING NOTES:

- 1) ANY DAMAGE TO EXISTING UTILITIES, STRUCTURES, FENCES AND PAVING AREAS TO BE REPAIRED OR REPLACED TO OWNERS SATISFACTION.
- 2) PREPARATION FOR FILL:
REMOVAL OF ALL DEBRIS, WET AND UNSATURATED SOIL MATERIALS, TOP-SOIL, VEGETATION, AND HARMFUL MATERIALS FROM SURFACE OF GROUND PRIOR TO FILLING, STRIPPING, OR REMOVAL OF EXISTING PAVING, ASPHALT, OR CONCRETE. GREATER THAN 1 VERTICAL TO 4 HORIZONTAL. SO MATERIAL FOR FILL WILL BE BOUND TO EXISTING SURFACE. WHEN AREA TO RECEIVE FILL HAS A DENSITY LESS THAN REQUIRED, BREAK UP GROUND SURFACE TO 10% PULVERIZE SOIL AND RECOMPACT TO REQUIRED DENSITY.
- 3) BACK FILLING:
EXCAVATED AREA SHALL BE CLEARED FROM STONES OR CLAY. SHALL BE PLACED IN LAYERS OF 6" AND COMPACTED TO A 95% STANDARD PROCTOR. USE A 90% PROCTOR IN GRASSED / LANDSCAPED AREAS WHERE REQUIRED. BE APPROVED MATERIALS CONSISTING OF SANDY CLAY, SILT, AND SAND. MUST BE FREE FROM FORTH OR LOAM. CONSULT WITH OWNER PRIOR TO FILL BEING ADDED.
- 4) ALL MATERIAL FOR FILL TO BE APPROVED BY OWNER AND ALL COMPACTING TESTS TO BE TURNED OVER TO OWNER.
- 5) AFTER COMPLETION OF BELOW GRADE EXCAVATING, AREA TO BE CLEARED AND CLEARED OF ANY UNSUITABLE MATERIALS, SUCH AS TRASH, DEBRIS, VEGETATION AND SO FORTH.
- 6) ANY EXCAVATING IN WHICH CONCRETE IS TO BE PLACED SHALL BE SUBSTANTIALLY HORIZONTAL, ON UNDISTURBED AND UNBROKEN SOIL AND BE FREE OF ANY LOOSE MATERIAL AND EXCESS GROUND WATER.
- 7) IF SOUND SOIL IS NOT REACHED AT DESIGNATED EXCAVATION DEPTH, THE POOR SOIL IS TO BE EXCAVATED TO ITS FULL DEPTH AND EITHER REPLACED WITH RECOMMENDED OR FILL OR GRANULAR MATERIAL OR CONCRETE SPECIFIED FOR THE FOUNDATION. PLEASE NOTIFY THE PROJECT SUPERVISOR AND THEY WILL HAVE A SOIL PARTY ENGINEERING FIRM CONTACT YOU WITH RECOMMENDATIONS.
- 8) MECHANICALLY COMPACTED GRANULAR MATERIAL OR CONCRETE OF THE SAME QUALITY SPECIFIED FOR THE FOUNDATIONS TO BE USED IF EXCAVATION EXCEEDED THE OVERALL REQUIRED DEPTH FOR STABILIZATION OF THE BOTTOM OF THE EXCAVATION. COVERED WITH 4" OF 1/2" DUSTY SAND OR 2" OF 1/4" SAND. COMPACT TO 95% OF REQUIRED CONCRETE THICKNESS. PLEASE NOTIFY THE PROJECT SUPERVISOR AND THEY WILL HAVE A SOIL PARTY ENGINEERING FIRM CONTACT YOU WITH RECOMMENDATIONS.

INSTALL CONCRETE PADS FOR BUILDING, PROPANE TANK, GENERATOR PAD.

- INSTALL ELECTRICAL AND GROUND FIELD FOR COMPOUND.
- EXCAVATION TO COMPOUND TO INCLUDE WEED CONTROL MAT.
- SITE TO HAVE PROPER DRAINAGE & EROSION CONTROL.
- (CROWNED FOUNDATION)
- GC WILL BE RESPONSIBLE FOR ALL CRANE OPERATIONS IN ORDER TO SET FERRETT BUILDING, COORDINATE BUILDING DELIVERY DATE THROUGH BLUEGRASS CELLULAR.
- GC WILL BE RESPONSIBLE FOR REPAIR OF ALL AREAS DISTURBED DURING CONSTRUCTION. (EXCAVATING ISSUES)
- GC WILL BE RESPONSIBLE FOR OFF LOADING AND STACKING OF TOWER WHEN APPLICABLE.
- GC WILL BE RESPONSIBLE FOR MOORING ALL LINES AND ANTENNAS.
- GC WILL BE RESPONSIBLE FOR SUPPLYING AND INSTALLING ICE BRIDGE AND HOOK-UP.
- GC WILL BE RESPONSIBLE FOR COORDINATING THE CLEANING OF THE INSIDE OF THE BUILDING WITH THE PROJECT SUPERVISOR AFTER THE SITE HAS BEEN TURNED OVER TO THE OPERATIONS DEPARTMENT AND ALL TURN-UP PROCEDURES HAVE BEEN COMPLETED. THIS WILL INCLUDE SUPPLYING A 30 GALLON TRASH CAN, 30 GALLON TRASH BAGS, BROOM, DUST PAN AND DUSTPAN FOR BUILDING.
- GC TO VERIFY ALL BLUEGRASS CELLULAR EQUIPMENT DIMENSIONS & SPECIFICATIONS WITH MANUFACTURER'S DRAWINGS. (FERRETT, BOND, GENERAC, FASTPOINT ETC.) PRIOR TO CONSTRUCTION. ADDRESS ANY ISSUES WITH PROJECT SUPERVISOR BEFORE WORK BEGINS.
- ALL WAREHOUSE MATERIAL (LINES, ANTENNAS, MOUNTING HARDWARE, GENERATOR, TOWER FOUNDATION KIT, ETC.) WILL NEED TO BE PICKED UP BY GC.
- ALL ALARMS TO BE HOOKED UP TO BLUEGRASS CELLULAR INC. ALARM BLOCK BY GC. THIS IS TO INCLUDE: GENERATOR ALARM, A/C POWER FAIL ALARM AND TOWER LIGHT ALARM. PER OWNERS SPECIFICATIONS.
- GC WILL BE RESPONSIBLE FOR SCHEDULING GENERATORS START-UP WITH CONTACT SCOTT ANDERSON (502-267-6315)
- 1" CONDUIT WILL NEED TO BE PLACED FROM POLE TO BUILDING (IF A HURONWAY DASH IS USED, THE 1" CONDUIT WILL STILL BE INSTALLED FOR FUTURE USE.)
- GC WILL BE RESPONSIBLE FOR INSTALLATION OF ALL FENCING.
- ALL TRASH AND DEBRIS TO BE REMOVED BY GC.
- GC WILL BE RESPONSIBLE FOR APPLYING FOR ELECTRICAL SERVICE AND PAYING NECESSARY FEES REQUIRED.
- GC WILL BE RESPONSIBLE FOR SUPPLYING & INSTALLING PROTECTIVE END CAPS ON ANY EXPOSED THEADED ROD OR UNBROKEN USED ON SITE. VERIFY TYPE WITH PROJECT SUPERVISOR PRIOR TO INSTALLATION.

SYMBOLS LEGEND



NO.	DATE	REVISION

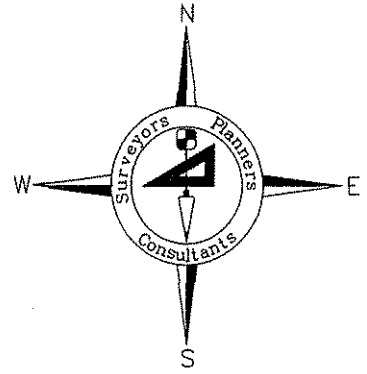
BLUEGRASS CELLULAR, INC.
STANDARD CELLULAR SITE
TODD SOUTH
 4799 RUSSELLVILLE RD. ALLENSVILLE, KY, 40204

DRAWN BY: **R. BECKER**
 ISSUE DATE: **2-07-07**
 SCALE: **LISTED**

General Notes

Landmark Surveying Co., Inc.

Darren L. Helms, R.L.S., PRESIDENT
Dennis N. Helms, R.L.S., VICE PRESIDENT



15 N.E. 3rd Street
Washington, Indiana 47501
Phone: 812-257-0950
Fax: 812-257-0953
E-mail: landmark@dmrtc.net

Directions to the Site From the County Seat of Todd County, Kentucky

Todd South Site
Todd County, Kentucky

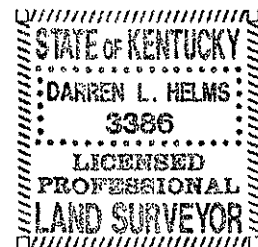
From the square in downtown Elkton, Kentucky; travel south on Kentucky Highway 181 for 8.0 miles to Kentucky Highway 848 at Pinchem; turn left onto Kentucky Highway 848 and travel southeasterly for 3.4 miles to U.S. Highway 79; turn left onto U.S. Highway 79 and travel northeasterly 1.7 miles to a lane/drive on the left or west side of the highway about 800 feet south of Snardon Mill Road; turn left onto the lane and travel northwesterly along the lane for 0.35 miles to the tower site at an old house site near an abandon chicken barn. The address of the site is 4799 Russellville Road, Allensville, KY 42204.

Darren L. Helms

Darren L. Helms, Kentucky Professional Land Surveyor No. 3386

JANUARY 10, 2007

Date



Site Name: Todd South

OPTION TO LEASE AND LEASE AGREEMENT

I.

OPTION TO LEASE REAL PROPERTY

THIS OPTION TO LEASE REAL PROPERTY (the "Option Agreement") is made and entered into this 23 day of October, 2006, by and between Thomas Crock Cain and Gladys M. Cain, husband and wife whose address is 4793 Russellville Road, Allensville, KY 42204 (the "Optionor (s)") and Kentucky RSA #3 Cellular General Partnership, d/b/a Bluegrass Cellular, a Kentucky general partnership with principal office and place of business at 2902 Ring Road, Elizabethtown, KY 42701 (the "Optionee").

WITNESSETH:

WHEREAS, the Optionor(s) is the owner of certain real property located in Todd County, Kentucky as more particularly described on Exhibit A attached hereto and incorporated herein by reference (the "Property"); and

WHEREAS, the Optionor(s) wishes to grant to the Optionee, and the Optionee wishes to obtain from the Optionor(s), an option to lease the Property upon the terms and conditions set forth herein;

NOW, THEREFORE, in consideration of the foregoing premises and for other good and valuable consideration, the mutuality, receipt and sufficiency of which are hereby acknowledged, the parties hereto do agree as follows.

Site Name: Todd South

1. In consideration of **One Thousand Eight Hundred Dollars and Zero Cents (\$1,800.00)** paid by the Optionee to the Optionor(s) (the "Option Consideration"), the receipt of which is hereby acknowledged by the Optionor(s), the Optionor(s) hereby grants to the Optionee an exclusive and irrevocable option to lease the Property (the "Option"), upon the terms and conditions hereinafter set forth, upon the exercise of the Option at any time before 4:00 p.m. prevailing time on 23 April 2008 (the "Option Period") as set forth in Paragraph 5 thereof.
2. The parties hereto anticipate that the Property comprises approximately a **One Hundred Foot by One Hundred Foot** area, and that a right of way will be given by the Optionor(s) for the purposes of ingress and egress throughout the term of the lease. The Optionee shall obtain an accurate survey of the Property by a registered land surveyor licensed in the Commonwealth of Kentucky at the sole expense of the Optionee. A copy of the survey shall be provided to the Optionor(s). The description of the Property shall include the number of acres determined by the surveyor. The Optionee shall obtain said survey within a reasonable time following the date of the Option Agreement.
3. During the term of the Option, the Optionee may enter onto the Property at its own risk to obtain soil samples and to bore soil for the purposes of determining the suitability of the Property for a communications tower.
4. Upon the Optionee's proper exercise of the Option in accordance with Paragraph 5 hereof, the Optionor(s) shall be deemed to have immediately executed, acknowledged and delivered to the Optionee the Lease Agreement contained in Section II hereof. The description of the Property shall be that determined by the registered land surveyor in accordance with Paragraph 2 hereof.

Site Name: Todd South

5. If the Optionee elects to exercise the Option in accordance with the terms hereof, notice of such election shall be deemed sufficient if personally delivered or sent by registered or certified mail, return receipt requested, to the address of the Optionor(s) set forth in Paragraph 14 hereof.
6. The Optionor(s) agrees not to sell, lease or offer for sale or lease the Property during the term of this Option or any renewal or extension of the Option.
7. In the event the Optionee fails to exercise the Option as set forth herein (unless such failure is due to the discovery of a defect in the Property or other matter unsatisfactory to the Optionee), the Optionor(s) shall have the right to retain the Option Consideration.
8. The Optionee may assign this Option with written consent of the Optionor(s), which consent shall not be unreasonably withheld, and upon any assignment such assignee shall have all the rights, remedies and obligations as if it were the original Optionee hereunder. From and after any such assignment, the term "Optionee" shall refer to such assignee.
9. Each party hereto shall bear any and all of its own expenses in connection with the negotiation, execution or settlement of this Option.
10. Risk of loss with respect to the Property during the term of this Option and during the term of the lease shall be upon the Optionor(s). If, during the term of the Option, any portion of the Property shall be acquired by public authority under the right or threat of eminent domain, the Optionee may, at its sole option, either (i) exercise the

Site Name: Todd South

Option, and in such event, all sums received from the public authority by the Optionor(s) by reason of the taking of a portion of the Property shall reduce the rent due under the lease, or (ii) terminate this Option and thereupon the Optionor(s) shall be obligated to return to the Optionee the full amount of the Option Consideration previously paid to the Optionor(s) in "good and collected funds."

11. The parties hereto represent to each other that neither has engaged any broker to represent their interests in connection with the transactions contemplated hereby, and each agrees to indemnify the other against any and all claims made by any brokers engaged or purported to be engaged by the other for brokerage commissions or fees in connection with the transactions contemplated hereby.
12. The Optionor(s) represents, warrants and covenants to the Optionee that the Optionor(s) has not caused or permitted, and shall not cause or permit, and to the best of Optionor(s)' knowledge no other person has caused or permitted any hazardous material (as defined by any applicable federal, state or local law, rule or regulation) to be brought upon, placed, held, located or disposed of at the Property. In the event any such contamination occurs for which the Optionee becomes legally liable, the Optionor(s) shall indemnify the Optionee against all claims, damages, judgments, penalties and costs and expenses, including reasonable attorneys' fees, which Optionee may incur.
13. This Option Agreement and the rights and obligations of the parties hereto shall be construed in accordance with the laws of the Commonwealth of Kentucky.

Site Name: Todd South

14. For the purposes of giving notice as permitted or required herein, the address of the Optionor(s) shall be: 4793 Russellville Rd., Allensville, KY 42204; the Optionee's address shall be: **2902 Ring Road, Elizabethtown, KY 42701.**
15. The Optionee shall have the right, in its sole discretion, to record this Option in the Office of the Clerk of the County Court of Todd County, **Kentucky.**

II.

LEASE AGREEMENT

16. In the event the Optionee elects to exercise the Option to lease the Property, the terms of the Lease Agreement ("Lease Agreement" or "Lease") shall become immediately effective upon such exercise and shall be as follows.
 1. The term of the Lease shall commence on the date that the Optionor(s) receives proper notice that the Optionee has exercised the Option, pursuant to Paragraph 5 therein. The initial term shall expire **five (5) year(s)** from the commencement date of the Lease Agreement and shall include **three (3) additional five (5)-year terms** per the Lease Agreement. Optionee may, by providing written notice at least sixty (60) days prior to the expiration of the original or any renewal Lease term, elect to unilaterally terminate this Lease at the end of any original or renewal Lease term. Such notice must be personally delivered or sent via registered or certified mail, return receipt requested, to the address of the Optioner(s) set forth in Paragraph 14 hereof. The Lease amount shall be adjusted at the end of each term by an increase of 12%.

Site Name: Todd South

2. The Optionee shall pay to the Optionor(s) rent for the Property in the sum of **Five Thousand Four Hundred Dollars and Zero Cents (\$5,400.00)** yearly, to be paid in advance. All rent payments shall be personally delivered or mailed to the Optionor(s) at the address set forth in Paragraph 14 hereof. Any check payment of the rent due under the Lease shall be payable to the order of Optionor(s).
3. The Optionee shall be entitled to use and occupy the Property for the purpose of erecting, maintaining and operating a communications tower and communications facilities thereon and for all such other uses as Optionee may, in its sole discretion, deem necessary in connection therewith.
4. The Optionor(s) shall be responsible for the payment of all real estate taxes which shall be assessed against the Property during the term of the lease. The Optionee shall pay all charges for heat, water, gas, electricity, sewer use charges and any other utility used or consumed on the Property. The Optionee shall, at its own cost and expense, maintain and keep in full force and effect during the term of the lease public liability insurance with coverage in the amount of at least one million dollars (\$1,000,000.00) per person for bodily injury, disease, or death and shall maintain property insurance on any property the Optionee located on the Property.
5. The Optionee may assign the lease. The Optionee may sublet all or part of the space on the tower or ground space.

Site Name: Todd South

6. The Optionor(s) covenants that upon the Optionee's payment of the rent agreed upon herein, as well as Optionee's observing and performing all of the covenants and conditions contained in the Lease, the Optionee may peacefully and quietly enjoy the Property subject to the terms and conditions set forth in the Lease.
7. The Optionee agrees to maintain an access road in a passable manner for the term of the lease.
8. Licensee's Payment of Taxes, Fees and Assessments. Optionee shall pay directly to the applicable federal, state or local governmental unit or agency ("Governmental Entity") or to Optionor if Optionor is invoiced by such Governmental Entity, all taxes, fees, assessments or other charges assessed by any Governmental Entity directly against Optionee's Equipment and/or Optionee's use of the Facility. Optionee shall also pay to Optionor Optionee's Pro Rata Share of all taxes, fees, assessments or charges including, but not limited to, personal property taxes attributable to Optionee's equipment and antenna(s), municipal franchise fees, use fees, municipal application fees, installation fees and increases thereof. "Pro Rata Share" shall mean the fraction of decimal equivalent of dividing one (1) by the total number of then existing users occupying a tower on the last day of the applicable calendar year.
17. This Option and Lease Agreement contains the entire agreement between the parties hereto and no modification or amendment shall be binding upon any party unless made in writing and signed by each of the parties hereto.

Site Name: Todd South

18. Upon the termination or other end of this Lease Agreement, Optionee shall have the right to remove any and all of its property (real or personal) from the Property regardless of whether or not such property may be considered a fixture thereto.

19. Upon abandonment of the property, Optionee shall have thirty (30) days to dismantle and remove the cellular antenna tower and any/all equipment located on Optionor's property.

[Remainder of Page Intentionally Left Blank]

EXECUTION OF AGREEMENT(S)

IN WITNESS WHEREOF, the parties hereto have set their hands and affixed their respective seals.

Thomas Crock Cain

Date: 10/19/06

Gladys M. Cain

Date: 10-19-06

("Optionor(s)")

By: Thomas Crock Cain and
Gladys M. Cain
Property Owner(s)

Ron Smith

Date: 10/23/06

("Optionee")

By: Ron Smith
Authorized Representative

STATE OF KENTUCKY
 COUNTY OF Todd

The foregoing instrument was acknowledged before me this 19th day of October, 2006,
 by Thomas Crock Cain to be his/her free act and deed.

Cheryl S. Dosssett
 NOTARY PUBLIC STATE AT LARGE
 My commission expires: 22 November 2008

Site Name: Todd South

STATE OF KENTUCKY

COUNTY OF Todd

The foregoing instrument was acknowledged before me this 9th day of October, 2006, by Gladys M. Cain to be his/her free act and deed.

Cheryl S. Dossett

NOTARY PUBLIC STATE AT LARGE

My commission expires: 22 November 2008

STATE OF KENTUCKY

COUNTY OF HARDIN

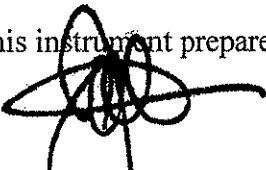
The foregoing instrument was acknowledged before me this 23 day of October, 2006, by **Ron Smith**, to be his free act and deed.

Jim Vili

NOTARY PUBLIC STATE AT LARGE

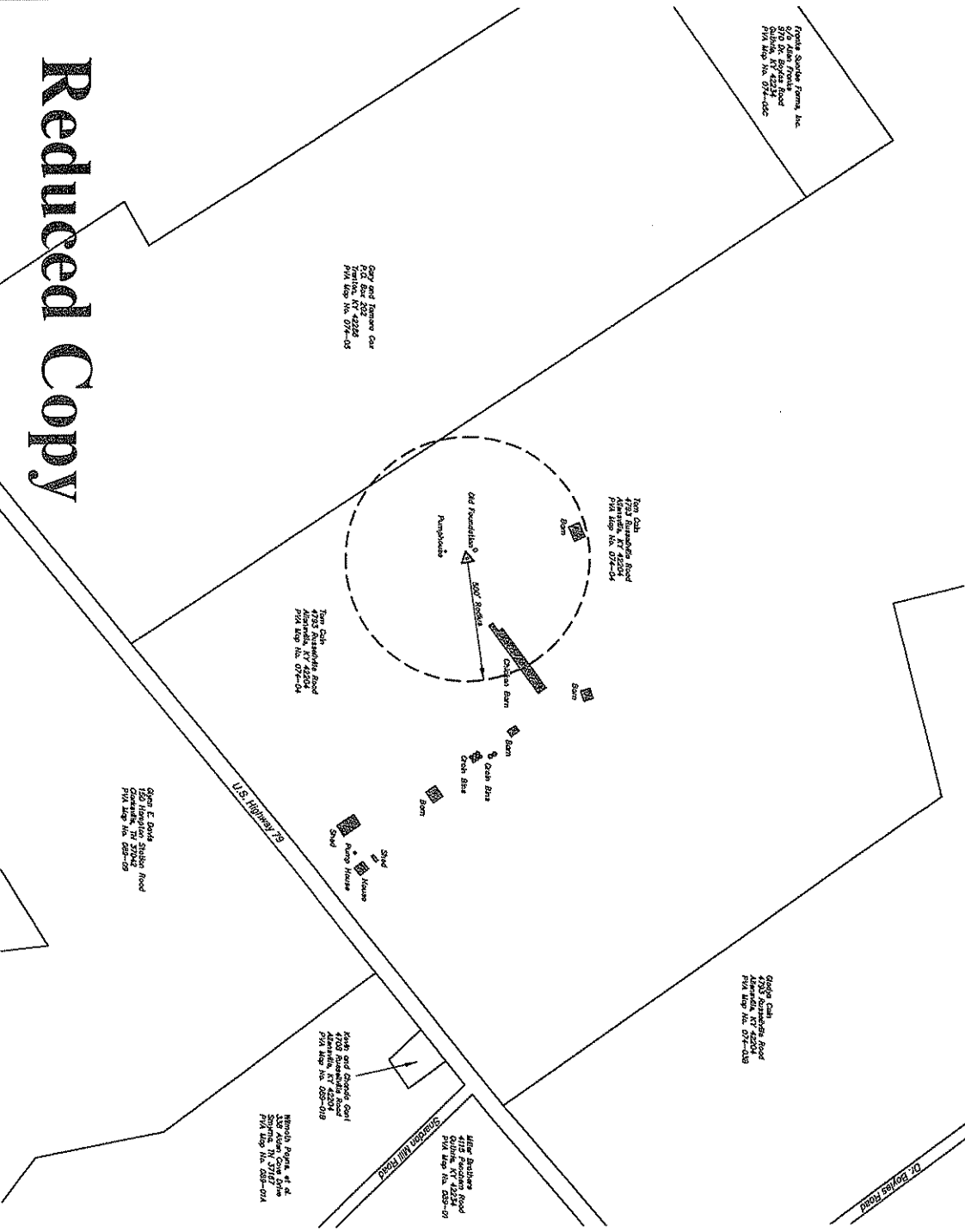
My commission expires: 1-21-09

This instrument prepared by:



John E. Selent
DINSMORE & SHOHL LLP
1400 PNC Plaza
500 West Jefferson Street
Louisville, KY 40202
(502) 540-2300

Site: Todd South
Todd County, Kentucky
500-Foot Radius Map for Structures and Landowners



Frome Squire Farms, Inc.
 500 Allen Farms
 Todd County, KY 42024
 P.M. Map No. 07-0-02

Gary and Rosemary Cox
 2901 Todd South Road
 Todd County, KY 42024
 P.M. Map No. 07-0-03

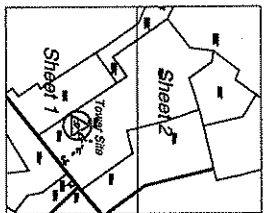
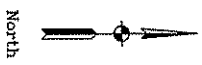
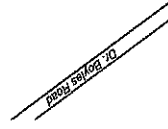
Tom and Lisa
 4700 Russellville Road
 Allensville, KY 42024
 P.M. Map No. 07-0-04

The Club
 4700 Russellville Road
 Allensville, KY 42024
 P.M. Map No. 07-0-04

Gary E. Davis
 2901 Todd South Road
 Todd County, KY 42024
 P.M. Map No. 07-0-03

Greg and Charles Carl
 4700 Russellville Road
 Allensville, KY 42024
 P.M. Map No. 07-0-04

Mike and Barbara
 4700 Russellville Road
 Allensville, KY 42024
 P.M. Map No. 07-0-04



Key Map

Notes

The radius of the boundary shown on this map was determined by using the method of least squares. The radius of the boundary shown on this map is 500 feet.

SURVEYOR'S CERTIFICATION
 I hereby certify that the information shown is correct to the best of my knowledge and that I am a duly licensed and registered Professional Surveyor in the State of Kentucky. My license number is 3395, issued on 07/01/2007.

Darren L. Helms
 Darren L. Helms, Surveyor

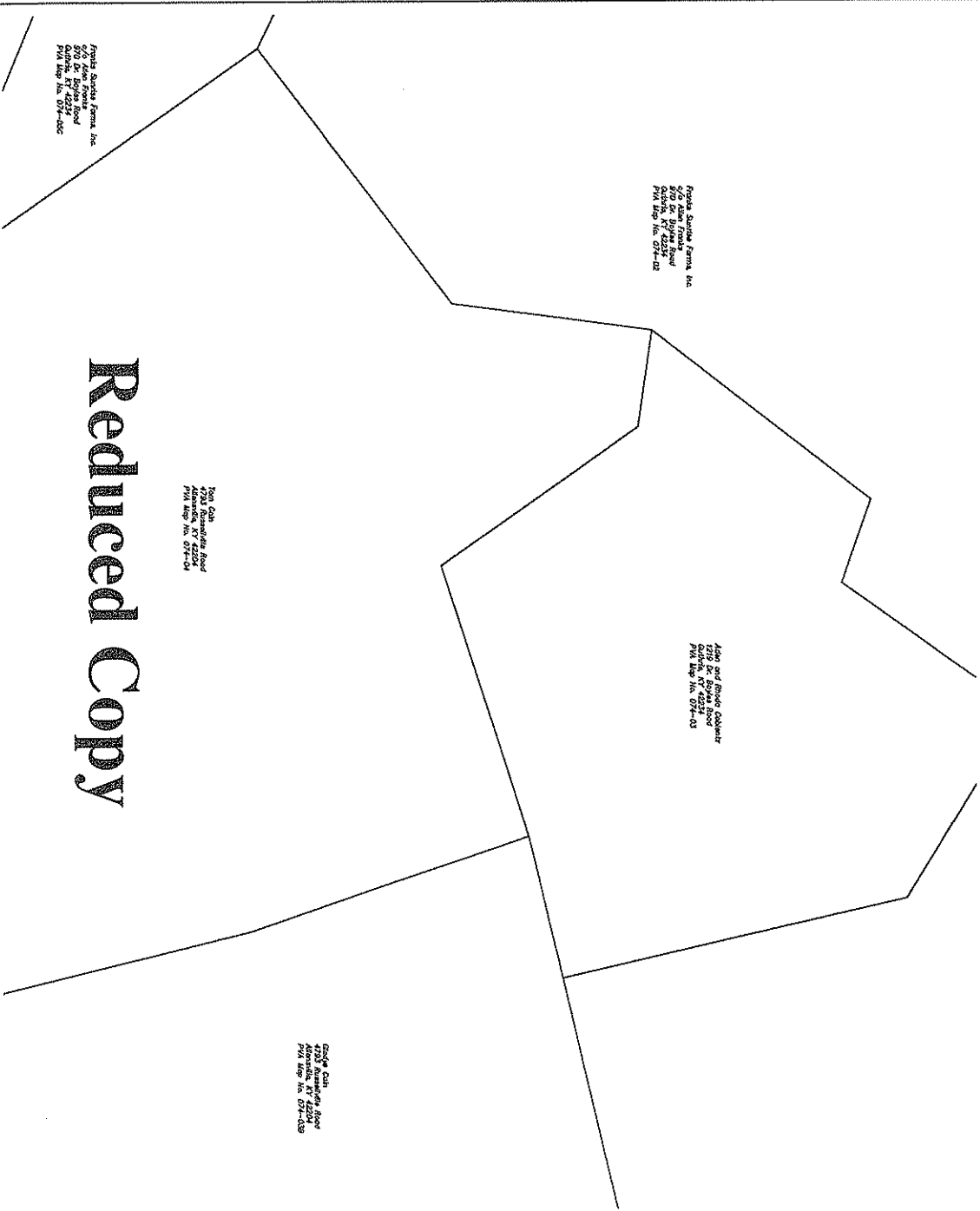
FALL 10, 2007

LAND SURVEYOR
 PROFESSIONAL
 LICENSED
 3395
 DARRIN L. HELMS
 STATE OF KENTUCKY
 FALL 10, 2007

Reduced Copy

DATE 1-10-07	DRAWN BY A. Walker	CHECKED BY D.L. Helms	REVISIONS	DATE	Bluegrass Cellular 2902 Ring Road Elizabethtown, Kentucky 42702	500-Foot Radius Map 4799 Russellville Road Allensville, Kentucky 42204		Landmark Surveying Co., Inc. 15 NE 3rd Street Washington, Indiana 47501 (812) 257-0820 Email: landmark@webop.net Project No. 05-10-017

Site: Todd South
Todd County, Kentucky
500-Foot Radius Map for Structures and Landowners



Point A, Double Frame, Sta
 570' of Survey Road
 PVA Map No. 074-02

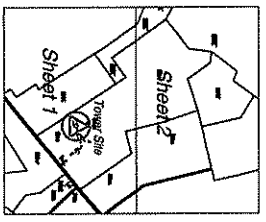
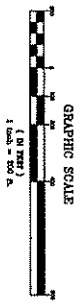
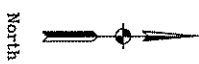
Point B, Double Column
 570' of Survey Road
 PVA Map No. 074-02

Point C, Double Column
 570' of Survey Road
 PVA Map No. 074-02

Point D, Double Frame, Sta
 570' of Survey Road
 PVA Map No. 074-02

Point E, Double Column
 570' of Survey Road
 PVA Map No. 074-02

Reduced Copy



Note
 The location of the boundaries shown on this map is based on the best available information and is not a guarantee of accuracy. The Kentucky Department of Land Surveying is not responsible for any errors or omissions on this map.

Surveyor's Certification
 I hereby certify that the information shown is correct to the best of my knowledge and it is in accordance with the records found in the office of the Property Taxation Administrator of Todd County, Kentucky on January 10, 2007.

James L. Helms
 James L. Helms
 Surveyor

JAN 10 2007
 STATE OF KENTUCKY
 PROFESSIONAL
 LAND SURVEYOR
 DANIEL L. HELMS
 3380

Landmark Surveying Co., Inc.
 15 N.E. 3rd Street
 Washington, Indiana 47501
 (812) 257-0850
 Email: landmark@landmarksurvey.com
 Project No. 05-10-007

500-Foot Radius Map
 4799 Russellville Road
 Elizabethtown, Kentucky 42702

Bluegrass Cellular
 2902 Ring Road
 Elizabethtown, Kentucky 42702

DATE: 1-10-07
 DRAWN BY: A. Walker
 CHECKED BY: D.L. Helms
 SHEET NO.: 2
 OF 2 SHEETS
 FILE NO.:
 Add each sheet individually

COMMONWEALTH OF KENTUCKY
BEFORE THE PUBLIC SERVICE COMMISSION

In the Matter of:

**APPLICATION OF KENTUCKY RSA #3
CELLULAR GENERAL PARTNERSHIP FOR
ISSUANCE OF A CERTIFICATE OF PUBLIC
CONVENIENCE AND NECESSITY TO CONSTRUCT
A CELL SITE (TODD SOUTH) IN RURAL
SERVICE AREA #3 (TODD) OF THE
COMMONWEALTH OF KENTUCKY**

CASE NO. 2006-00040

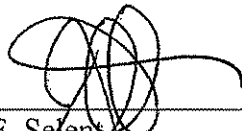
AFFIDAVIT OF JOHN E. SELENT

I, John E. Selent, being duly sworn, depose and state as follows:

1. My name is John E. Selent and I am a member of the Kentucky Bar Association. I am legal counsel to Kentucky RSA #3 Cellular General Partnership and am submitting this affidavit in conjunction with the above referenced matter.
2. In order to demonstrate compliance with 807 KAR 5:063 §1(1)(l), Exhibit 1 identifies, with the exception of the individual identified in paragraph 4, the names of the residents/tenants and property owners within 500 feet of the proposed tower who have been: (i) notified by written notice of the proposed construction, sufficient postage prepaid, by United States Certified Mail, return receipt requested; (ii) given the Commission docket number under which the application will be processed; and (iii) informed of the right to request intervention.
3. Attached as Exhibit 2 is a copy of the United States Certified Mail return receipts that demonstrate proof of service of the written notice of the proposed construction upon (all of whom have street addresses): (1) Franks Sunrise Farms, Inc. c/o Allen Franks; (2) Glynn Davis; (3) Wilmoth Payne, et al.; (4) Kevin and Chanda Gant; (5) Miller Brothers; (6) Gladys Cain; (7) Aden and Rhoda Coblentz; and (8) Tom Cain. (See Exhibit 1.)

4. Attached as Exhibit 3 is a copy of the United States Express Mail return receipt that demonstrates proof of service of the written notice of the proposed construction upon (who have a P.O. Box address, and not a street address): (1) Gary and Tamara Cox. (See Exhibit 1.) The address for Gary and Tamara Cox is a P.O. Box and therefore cannot be served by United States Certified Mail in compliance with 807 KAR 5:063 § 1(l) and (m).

Further Affiant saith not.

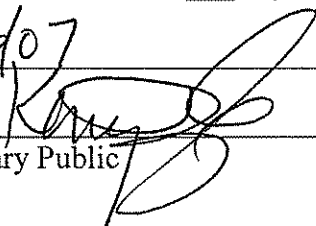


John E. Seibert
)
)SS:
)

COMMONWEALTH OF KENTUCKY)
COUNTY OF JEFFERSON)

SUBSCRIBED AND SWORN to before me this 16th day of March, 2007.

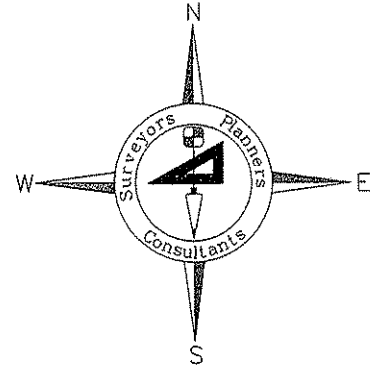
My commission expires: 3/16/07



Notary Public

Landmark Surveying Co., Inc.

Darren L. Helms, R.L.S., PRESIDENT
Dennis N. Helms, R.L.S., VICE PRESIDENT



15 N.E. 3rd Street
Washington, Indiana 47501
Phone: 812-257-0950
Fax: 812-257-0953
E-mail: landmark@dmrtc.net

Landowner and Adjacent Landowner List

Bluegrass Cellular
Todd South Site
Todd County, Kentucky

Franks Sunrise Farms, Inc.
c/o Allen Franks
970 Dr. Boyles Road
Guthrie, KY 42234

Gary and Tamara Cox
P.O. Box 202
Trenton, KY 42286

Glynn E. Davis
150 Hampton Station Road
Clarksville, TN 37042

Wilmoth Payne, et al.
338 Alden Cove Drive
Smyrna, TN 37167

Kevin and Chanda Gant
4708 Russellville Road
Allensville, KY 42204

Miller Brothers
4115 Penchem Road
Guthrie, KY 42234

Gladys Cain
4793 Russellville Road
Allensville, KY 42204

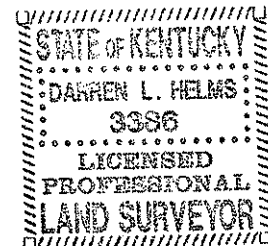
Aden and Rhoda Coblentz
1219 Dr. Boyles Road
Guthrie, KY 42234

Tom Cain
4793 Russellville Road
Allensville Road 42204

Darren L. Helms

Darren L. Helms, Kentucky Professional Land Surveyor No. 3386

JANUARY 10, 2007
Date



February 2, 2007

Wilmoth Payne, et al.
338 Alden Cove Drive
Smyrna, TN 37167

Public Notice

Kentucky RSA #3 Cellular General Partnership is a Kentucky general partnership that markets its services as Bluegrass Cellular. Bluegrass Cellular has been serving Central Kentucky with wireless communications services for over 15 years.

Bluegrass Cellular is applying to the Public Service Commission of the Commonwealth of Kentucky (the "Commission") for a Certificate of Public Convenience and Necessity to construct and a new cell facility to provide cellular telephone service. This facility will include a 240-foot tower to be located at 4799 Russellville Road, Allensville, Todd County, Kentucky, 42204. A map showing the location is attached.

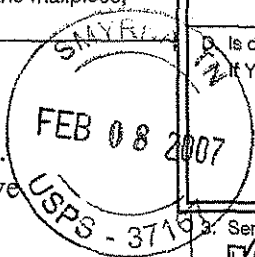
The Commission invites your comments regarding this proposed construction. Also, the Commission wants you to be aware of your right to intervene in this matter. Your comments and request for intervention should be addressed to:

**Executive Director's Office
Public Service Commission of Kentucky
P.O. Box 615
Frankfort, Kentucky, 40602.**

Please refer to case number 2007-00040 in your correspondence.

Bluegrass Cellular welcomes the opportunity to serve and provide wireless service in your community! (For more information, please check us out online at www.myblueworks.com)

SENDER: COMPLETE THIS SECTION	COMPLETE THIS SECTION ON DELIVERY	
<ul style="list-style-type: none"> ☑ Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired. ☑ Print your name and address on the reverse so that we can return the card to you. ☑ Attach this card to the back of the mailpiece, or on the front if space permits. 	A. Signature <i>Wilmoth Payne</i> <input type="checkbox"/> Agent <input type="checkbox"/> Addressee B. Received by (Printed Name) _____ C. Date of Delivery _____	
1. Article Addressed to: Wilmoth Payne, et al. 338 Alden Cove Drive Smyrna, TN 37167	D. Is delivery address different from item 1? <input type="checkbox"/> Yes If YES, enter delivery address below: <input type="checkbox"/> No	
	3. Service Type <input checked="" type="checkbox"/> Certified Mail <input type="checkbox"/> Express Mail <input type="checkbox"/> Registered <input type="checkbox"/> Return Receipt for Merchandise <input type="checkbox"/> Insured Mail <input type="checkbox"/> C.O.D.	
2. Article Number (Transfer from service label)	4. Restricted Delivery? (Extra Fee) <input type="checkbox"/> Yes 7006 2150 0005 6274 8748	



February 2, 2007

Kevin and Chanda Gant
4708 Russellville Road
Allensville, KY 42204

Public Notice

Kentucky RSA #3 Cellular General Partnership is a Kentucky general partnership that markets its services as Bluegrass Cellular. Bluegrass Cellular has been serving Central Kentucky with wireless communications services for over 15 years.

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1. Article Addressed to: Kevin and Chanda Gant 4708 Russellville Road Allensville, KY 42204	3. Service Type <input checked="" type="checkbox"/> Certified Mail <input type="checkbox"/> Express Mail <input type="checkbox"/> Registered <input type="checkbox"/> Return Receipt for Merchandise <input type="checkbox"/> Insured Mail <input type="checkbox"/> C.O.D.
2. Article Number (Transfer from service label)	4. Restricted Delivery? (Extra Fee) <input type="checkbox"/> Yes 7006 2150 0005 6274 8755

February 2, 2007

Tom Cain
4793 Russellville Road
Allensville, KY 42204

Public Notice

Kentucky RSA #3 Cellular General Partnership is a Kentucky general partnership that markets its services as Bluegrass Cellular. Bluegrass Cellular has been serving Central Kentucky with wireless communications services for over 15 years.

Bluegrass Cellular is applying to the Public Service Commission of the Commonwealth of Kentucky (the "Commission") for a Certificate of Public Convenience and Necessity to construct and a new cell facility to provide cellular telephone service. This facility will include a 240-foot tower to be located at 4799 Russellville Road, Allensville, Todd County, Kentucky, 42204. A map showing the location is attached.

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Executive Director's Office
Public Service Commission of Kentucky
P.O. Box 615
Frankfort, Kentucky, 40602.

Please refer to case number 2007-00040 in your correspondence.

Bluegrass Cellular welcomes the opportunity to serve and provide wireless service in your community! (For more information, please check us out online at www.myblueworks.com)

SENDER: COMPLETE THIS SECTION	COMPLETE THIS SECTION ON DELIVERY	
<ul style="list-style-type: none"> ■ Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired. ■ Print your name and address on the reverse so that we can return the card to you. ■ Attach this card to the back of the mailpiece, or on the front if space permits. 	A. Signature <input checked="" type="checkbox"/> <i>Tom Cain</i> <input type="checkbox"/> Agent <input type="checkbox"/> Addressee	
1. Article Addressed to:	B. Received by (Printed Name) <i>Tom Cain</i>	C. Date of Delivery <i>25.07.07</i>
Tom Cain 4793 Russellville Road Allensville, KY 42204	D. Is delivery address different from item 1? <input type="checkbox"/> Yes If YES, enter delivery address below: <input type="checkbox"/> No	
2. Article Number (Transfer from service label)	3. Service Type <input checked="" type="checkbox"/> Certified Mail <input type="checkbox"/> Express Mail <input type="checkbox"/> Registered <input type="checkbox"/> Return Receipt for Merchandise <input type="checkbox"/> Insured Mail <input type="checkbox"/> C.O.D.	
PS Form 3811, February 2004	4. Restricted Delivery? (Extra Fee) <input type="checkbox"/> Yes 7006 2150 0005 1756 9312	

Domestic Return Receipt

102595-02-M-1540

February 2, 2007

Gladys Cain
4793 Russellville Road
Allensville, KY 42204

Public Notice

Kentucky RSA #3 Cellular General Partnership is a Kentucky general partnership that markets its services as Bluegrass Cellular. Bluegrass Cellular has been serving Central Kentucky with wireless communications services for over 15 years.

Bluegrass Cellular is applying to the Public Service Commission of the Commonwealth of Kentucky (the "Commission") for a Certificate of Public Convenience and Necessity to construct and a new cell facility to provide cellular telephone service. This facility will include a 240-foot tower to be located at 4799 Russellville Road, Allensville, Todd County, Kentucky, 42204. A map showing the location is attached.

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**Executive Director's Office
Public Service Commission of Kentucky
P.O. Box 615
Frankfort, Kentucky, 40602.**

Please refer to case number 2007-00040 in your correspondence.

Bluegrass Cellular welcomes the opportunity to serve and provide wireless service in your community! (For more information, please check us out online at www.myblueworks.com)

SENDER: COMPLETE THIS SECTION	COMPLETE THIS SECTION ON DELIVERY
<ul style="list-style-type: none">■ Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.■ Print your name and address on the reverse so that we can return the card to you.■ Attach this card to the back of the mailpiece, or on the front if space permits.	<p>A. Signature <input type="checkbox"/> Agent <i>X - Gladys Cain</i> <input type="checkbox"/> Addressee</p> <p>B. Received by (Printed Name) <input type="checkbox"/> Agent <i>Tom Cain</i> <input type="checkbox"/> Addressee</p> <p>C. Date of Delivery <i>2-5-07</i></p> <p>D. Is delivery address different from item 1? <input type="checkbox"/> Yes If YES, enter delivery address below: <input type="checkbox"/> No</p>
1. Article Addressed to: <p>Gladys Cain 4793 Russellville Road Allensville, KY 42204</p>	3. Service Type <input checked="" type="checkbox"/> Certified Mail <input type="checkbox"/> Express Mail <input type="checkbox"/> Registered <input type="checkbox"/> Return Receipt for Merchandise <input type="checkbox"/> Insured Mail <input type="checkbox"/> C.O.D. <p>4. Restricted Delivery? (Extra Fee) <input type="checkbox"/> Yes</p>
2. Article Number (Transfer from service label)	7006 2150 0005 6274 8779

February 2, 2007

Aden and Rhoda Coblentz
1219 Dr. Boyles Road
Guthrie, KY 42234

Public Notice

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Executive Director's Office
Public Service Commission of Kentucky
P.O. Box 615
Frankfort, Kentucky, 40602.

Please refer to case number 2007-00040 in your correspondence.

Bluegrass Cellular welcomes the opportunity to serve and provide wireless service in your community! (For more information, please check us out online at www.myblueworks.com)

SENDER: COMPLETE THIS SECTION	COMPLETE THIS SECTION ON DELIVERY
<ul style="list-style-type: none">■ Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.■ Print your name and address on the reverse so that we can return the card to you.■ Attach this card to the back of the mailpiece, or on the front if space permits.	<p>A. Signature X <i>Aden Coblentz</i> <input type="checkbox"/> Agent <input checked="" type="checkbox"/> Addressee</p> <p>B. Received by (Printed Name) C. Date of Delivery <i>Aden Coblentz</i> <i>2/5/07</i></p> <p>D. Is delivery address different from item 1? <input checked="" type="checkbox"/> Yes If YES, enter delivery address below: <input type="checkbox"/> No</p>
1. Article Addressed to: Aden and Rhoda Coblentz 1219 Dr. Boyles Road Guthrie, KY 42234	3. Service Type <input checked="" type="checkbox"/> Certified Mail <input type="checkbox"/> Express Mail <input type="checkbox"/> Registered <input type="checkbox"/> Return Receipt for Merchandise <input type="checkbox"/> Insured Mail <input type="checkbox"/> C.O.D.
2. Article Number (Transfer from service label)	4. Restricted Delivery? (Extra Fee) <input type="checkbox"/> Yes 7006 2150 0005 1756 9329

February 2, 2007

Miller Brothers
4115 Penchem road
Guthrie, KY 42234

Public Notice

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Executive Director's Office
Public Service Commission of Kentucky
P.O. Box 615
Frankfort, Kentucky, 40602.

Please refer to case number 2007-00040 in your correspondence.

Bluegrass Cellular welcomes the opportunity to serve and provide wireless service in your community! (For more information, please check us out online at www.myblueworks.com)

SENDER: COMPLETE THIS SECTION	COMPLETE THIS SECTION ON DELIVERY
<ul style="list-style-type: none">■ Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.■ Print your name and address on the reverse so that we can return the card to you.■ Attach this card to the back of the mailpiece, or on the front if space permits.	<p>A. Signature x <i>Abel Miller</i> <input type="checkbox"/> Agent <input checked="" type="checkbox"/> Addressee</p> <p>B. Received by (Printed Name) C. Date of Delivery <i>ABE Miller</i> <i>2/5/07</i></p> <p>D. Is delivery address different from item 1? <input type="checkbox"/> Yes If YES, enter delivery address below: <input type="checkbox"/> No</p>
1. Article Addressed to: Miller Brothers 4115 Penchem road Guthrie, KY 42234	3. Service Type <input checked="" type="checkbox"/> Certified Mail <input type="checkbox"/> Express Mail <input type="checkbox"/> Registered <input type="checkbox"/> Return Receipt for Merchandise <input type="checkbox"/> Insured Mail <input type="checkbox"/> C.O.D.
2. Article Number (Transfer from service label)	4. Restricted Delivery? (Extra Fee) <input type="checkbox"/> Yes 7006 2150 0005 6274 8762

February 2, 2007

Glynn E. Davis
150 Hampton Station Road
Clarksville, TN 37402

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Kentucky RSA #3 Cellular General Partnership is a Kentucky general partnership that markets its services as Bluegrass Cellular. Bluegrass Cellular has been serving Central Kentucky with wireless communications services for over 15 years.

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The Commission invites your comments regarding this proposed construction. Also, the Commission wants you to be aware of your right to intervene in this matter. Your comments and request for intervention should be addressed to:

**Executive Director's Office
Public Service Commission of Kentucky
P.O. Box 615
Frankfort, Kentucky, 40602.**

Please refer to case number 2007-00040 in your correspondence.

Bluegrass Cellular welcomes the opportunity to serve and provide wireless service in your community! (For more information, please check us out online at www.myblueworks.com)

SENDER: COMPLETE THIS SECTION	COMPLETE THIS SECTION ON DELIVERY
<ul style="list-style-type: none">■ Complete items 1, 2, and 3. Also complete Item 4 if Restricted Delivery is desired.■ Print your name and address on the reverse so that we can return the card to you.■ Attach this card to the back of the mailpiece, or on the front if space permits.	<p>A. Signature <input type="checkbox"/> Agent <i>Glynn E. Davis</i> <input type="checkbox"/> Addressee</p> <p>B. Received by (Printed Name) C. Date of Delivery <i>Glynn E. Davis</i> <i>2-6-07</i></p>
1. Article Addressed to: <p style="text-align: center;">Glynn E. Davis 150 Hampton Station Road Clarksville, TN 37402</p>	D. Is delivery address different from item 1? <input type="checkbox"/> Yes If YES, enter delivery address below: <input type="checkbox"/> No
2. Article Number (Transfer from service label)	3. Service Type <input type="checkbox"/> Certified Mail <input type="checkbox"/> Express Mail <input type="checkbox"/> Registered <input type="checkbox"/> Return Receipt for Merchandise <input type="checkbox"/> Insured Mail <input type="checkbox"/> C.O.D. 4. Restricted Delivery? (Extra Fee) <input type="checkbox"/> Yes
	7006 2150 0005 6274 8731

February 2, 2007

Franks Sunrise Farms, Inc.
c/o Allen Franks
970 Dr. Boyles Road
Guthrie, KY 42234

Public Notice

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<ul style="list-style-type: none">■ Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.■ Print your name and address on the reverse so that we can return the card to you.■ Attach this card to the back of the mailpiece, or on the front if space permits.	<p>A. Signature X <i>Allen Franks</i> <input type="checkbox"/> Agent <input checked="" type="checkbox"/> Addressee</p> <p>B. Received by (Printed Name) C. Date of Delivery <i>Allen Franks</i></p> <p>D. Is delivery address different from item 1? <input type="checkbox"/> Yes If YES, enter delivery address below: <input type="checkbox"/> No</p>
1. Article Addressed to: Franks Sunrise Farms, Inc. c/o Allen Franks 970 Dr. Boyles Road Guthrie, KY 42234	3. Service Type <input checked="" type="checkbox"/> Certified Mail <input type="checkbox"/> Express Mail <input type="checkbox"/> Registered <input type="checkbox"/> Return Receipt for Merchandise <input type="checkbox"/> Insured Mail <input type="checkbox"/> C.O.D. <p>4. Restricted Delivery? (Extra Fee) <input type="checkbox"/> Yes</p>
2. Article Number (Transfer from service label)	7006 2150 0005 6274 8724

DRAFT

Confidential Settlement Agreement
Disputed CMRS Credits Between Brandenburg Telephone Company and BellSouth

BellSouth accepts the offer of \$256,569 from Brandenburg Telephone in settlement of the disputed CMRS minutes of use credits for the period June 2004 through the date of this agreement, with the following stipulation. From the date of this settlement agreement Brandenburg Telephone agrees to use BellSouth provided EMI records to calculate CMRS credits, as agreed upon in the Kentucky agreement regarding Third Party Transit Traffic, without adjustment based on Brandenburg's AMA records. Any significant differences between BellSouth's EMI records and any AMA analysis Brandenburg performs are to be jointly explored outside the routine of monthly settlements, and reconciled. BellSouth will actively support such analysis and reconciliation.

As background, effective with the October 2004 usage period, Brandenburg Telephone began calculating CMRS usage based on their AMA records, and crediting BellSouth with only those minutes derived from their calculations. BellSouth asserts that the CMRS credits should be as indicated by our industry standard EMI records. The Kentucky agreement regarding Third Party Transit Traffic states unequivocally in paragraph 2.07 that, subject to audit, "the Signatory CMRS Providers and the Rural LECs agree to accept BellSouth's measurement of minutes of use and standard call detail records as the basis for billing from and compensation to the Rural LECs for Covered CMRS Provider Traffic as set forth in this section". Pursuant to that agreement, beginning with the July 2005 bill BellSouth began disputing the differences between the EMI records and the BTC calculations, adjusting the settlements and not paying the difference.

For the billing statements dated June 2004 through June 2005, the difference between BellSouth's EMI records and Brandenburg's CABS billing credits for CMRS minutes is 5,379,698 minutes of use, resulting in a net monetary claim of \$523,910. In the course of the ongoing dispute, Brandenburg has already credited BellSouth \$160,043. This leaves a disputed difference of \$363,867. With the above stipulation, BellSouth accepts Brandenburg's offer of \$265,569 in settlement of this dispute.

This is a confidential settlement agreement. The parties agree to hold the terms of this agreement in the strictest confidence.

William Schneider 01/18/2006

February 2, 2007

Gary and Tamara Cox
P.O. Box 202
Trenton, KY 42286

Public Notice

Kentucky RSA #3 Cellular General Partnership is a Kentucky general partnership that markets its services as Bluegrass Cellular. Bluegrass Cellular has been serving Central Kentucky with wireless communications services for over 15 years.

Bluegrass Cellular is applying to the Public Service Commission of the Commonwealth of Kentucky (the "Commission") for a Certificate of Public Convenience and Necessity to construct and a new cell facility to provide cellular telephone service. This facility will include a 240-foot tower to be located at 4799 Russellville Road, Allensville, Todd County, Kentucky, 42204. A map showing the location is attached.

The Commission invites your comments regarding this proposed construction. Also, the Commission wants you to be aware of your right to intervene in this matter. Your comments and request for intervention should be addressed to:

**Executive Director's Office
Public Service Commission of Kentucky
P.O. Box 615
Frankfort, Kentucky, 40602.**

Please refer to case number 2007-00040 in your correspondence.

Bluegrass Cellular welcomes the opportunity to serve and provide wireless service in your community! (For more information, please check us out online at www.myblueworks.com)

[Track & Confirm](#)

Track & Confirm

Search Results

Label/Receipt Number: **EV82 2884 384U S**
Status: **Delivered**

Your item was delivered at 1:06 PM on February 5, 2007 in TRENTON,
KY 42286. The item was signed for by G COX.

[Track & Confirm](#)

Enter Label/Receipt Number.

[Additional Details >](#)[Return to USPS.com Home >](#)

Notification Options

Track & Confirm by email

Get current event information or updates for your item sent to you or others by email. [Go >](#)

Proof of Delivery

Verify who signed for your item by email, fax, or mail. [Go >](#)



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Dinsmore & Shohl LLP
ATTORNEYS

Carrie Justice
(513)977-8457 (Direct Dial)
carrie.justice@dinslaw.com

February 2, 2007

Via Certified Mail
7006 2150 0005 6274 8229
Todd County Judge Executive
Courthouse
200 Washington Street
Elkton, KY 42220-0746

RE: Public Notice - Public Service Commission of Kentucky
Case No. 2007-00040


Kentucky RSA #3 Cellular General Partnership is applying to the Public Service Commission of Kentucky (the Commission") for a Certificate of Public Convenience and Necessity to propose construction and operation for a new facility to provide cellular radio telecommunications service in rural service area (RSA) #3 in Todd County. The facility will include a 240 ft. tower and an equipment shelter to be located at 4799 Russellville Road, Allensville, Todd County, Kentucky, 42204. A map showing the location of the proposed new facility is enclosed.

The Commission invites your comments regarding the proposed construction. You also have the right to intervene in this matter.

Your comments and request for intervention should be addressed to: Executive Director's Office, Public Service Commission, P.O. Box 615, Frankfort, Kentucky 40602. Please refer to case number 2007-00040 in your correspondence.

Very truly yours,

DINSMORE & SHOHL LLP


Carrie Justice
Paralegal

enclosure

cdj
1347752v2
21963-16

255 East Fifth Street, Suite 1900 Cincinnati, OH 45202
513.977.8200 513.977.8141 fax www.dinslaw.com

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, (). Also complete item 4 if Restricted Delivery is desired.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

Todd County Judge Executive
Courthouse
200 Washington Street
Elkton, KY 42220-0746

COMPLETE THIS SECTION ON DELIVERY

A. Signature Agent
T. Robertson Addressee

B. Received by (Printed Name) C. Date of Delivery
T. Robertson *2-5-07*

D. Is delivery address different from item 1? Yes
If YES, enter delivery address below: No
*P.O. BOX 355
ELKTON KY 42220*

3. Service Type

Certified Mail Express Mail
 Registered Return Receipt for Merchandise
 Insured Mail C.O.D.

4. Restricted Delivery? (Extra Fee) Yes

2. Article Number (Transfer from service label) **7006 2150 0005 6274 8229**

PUBLIC NOTICE

Kentucky RSA #3 Cellular
General Partnership proposes
to construct a cellular
communications

TOWER

on this site. If you have any
questions please contact:

Kimberly C. W. Foster Hamilton County
General Partnership The Tower General Partnership
P.O. Box 1001 2114 Tower Road
2114 Tower Road P.O. Box 1001
Hamilton, KY 40131 Hamilton, KY 40131

Please refer to P.S.C.

Case #2007-00040

in your correspondence.

PUBLIC NOTICE

**Kentucky RSA #3 Cellular
General Partnership proposes
to construct a cellular
communications**

TOWER

**near this site. If you have any
questions please contact:**

**Kentucky RSA #3 Cellular Executive Director,
General Partnership The Public Service Commission
P. O. Box 5012 211 Sumner Boulevard
2902 Ring Road P.O. Box 615
Eastabrook, KY 40261 Frankfort, KY 40602**

Please refer to P.S.C.

Case #2007-00040

in your correspondence.

Craig's Flooring Installation

WE INSTALL CERAMIC TILE, INDUSTRIAL TILE, HARDWOOD AND CARPET AND IN HOME SAMPLES ARE AVAILABLE

CALL LYLE AT 277-6148 OR 847-7413

MOST REPAIRS

*****FREE Estimates*****

Home Repairs • Carpentry • Honey-Do Jobs • Camper & RV Repairs • Recondition Utility Trailers & Tractors

- New Paint
- New Wood Flooring
- Welding & Wiring Services

Jim Jackson 270-265-3165 cell: 931-241-1949

toddcountynews.blogspot.com

NOTICE

Kentucky RSA #3 Cellular General Partnership is applying to the Public Service Commission of Kentucky for a Certificate of Public Convenience and Necessity to construct and operate a new facility to provide cellular radio telecommunications service in rural service area #3 of the Commonwealth of Kentucky (Todd South Cell Site). The facility is a 240 foot tower and an equipment shelter to be located at 4799 Russellville Road, Allensville, Todd County, Kentucky, 42204. Your comments and requests for intervention should be addressed to: Executive Director's Office, Public Service Commission, Post Office Box 615, 211 Sower Boulevard, Frankfort, Kentucky 40602. Please refer to Case No. 2007-00040 in your correspondence.

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in West Jeff leased and ware- currently from. Davis Hwy by Young

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Craig's Flooring Installation

WE INSTALL CERAMIC TILE, INDUSTRIAL TILE, HARDWOOD AND CARPET AND IN HOME SAMPLES ARE AVAILABLE

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Class

CLASSIFIED ADS PLACED PR A.M. MONDAY WILL APPEAR IN RENT WEEK'S PUBLICATION.

CLASSIFIED ADS PRINTED GRAPH STYLE ARE \$3.50 AND WORDS AND 15 CENTS PER WORD UPON ADVERTISER'S REQUESTS. FEES MAY BE SET AS LINE ADS OF \$1 PER LINE, WITH A MINIMUM OF 4 LINES (\$4).

THE TODD COUNTY STANDARD EVERY ATTEMPT TO CORRECT CLASSIFIED ADS; HOWEVER, IN THE EVENT WE MAKE AN ERROR, OUR LIABILITY BE RESTRICTED TO REPRINTING THE AD IN THE NEXT ISSUE.

THE STANDARD ATTEMPTS TO ENSURE THAT ALL ADVERTISING IS IN KEEP WITH THE FEDERAL FAIR HOUSING ACT. CLASSIFIED ADS MUST BE PREPARED UNLESS THE ADVERTISER HAS A LISTED ACCOUNT WITH THE TODD COUNTY STANDARD.

For Sale/Rent

Office for Rent - on Public Square in Elkton, 2192.

3-Bedroom house for rent near Elkton; references required; call 265-2048 (after 5 p.m.)

Elkton Green Apts. \$99 Move in Rent Special; \$200 security deposit. — Now accepting applications for 1 and 3 bedrooms. Includes water, sewer and garbage; call 265-2048 Wed., and Fri., 3 to 5; and Tues. and Thurs., 10 to 12. For the hearing impaired only, 1-800-648-6488. Housing Opportunity, wheelchair accessible.

For Sale: House on South Main Street in Elkton to the Square; 2 bedrooms, one bath, large uncovered carport; asking \$55,000; call 888-1148

12 new and used singlewides to choose from program available. Payments as low as \$250 Clayton Homes of Bowling Green, 1-888-762-5



NURSING

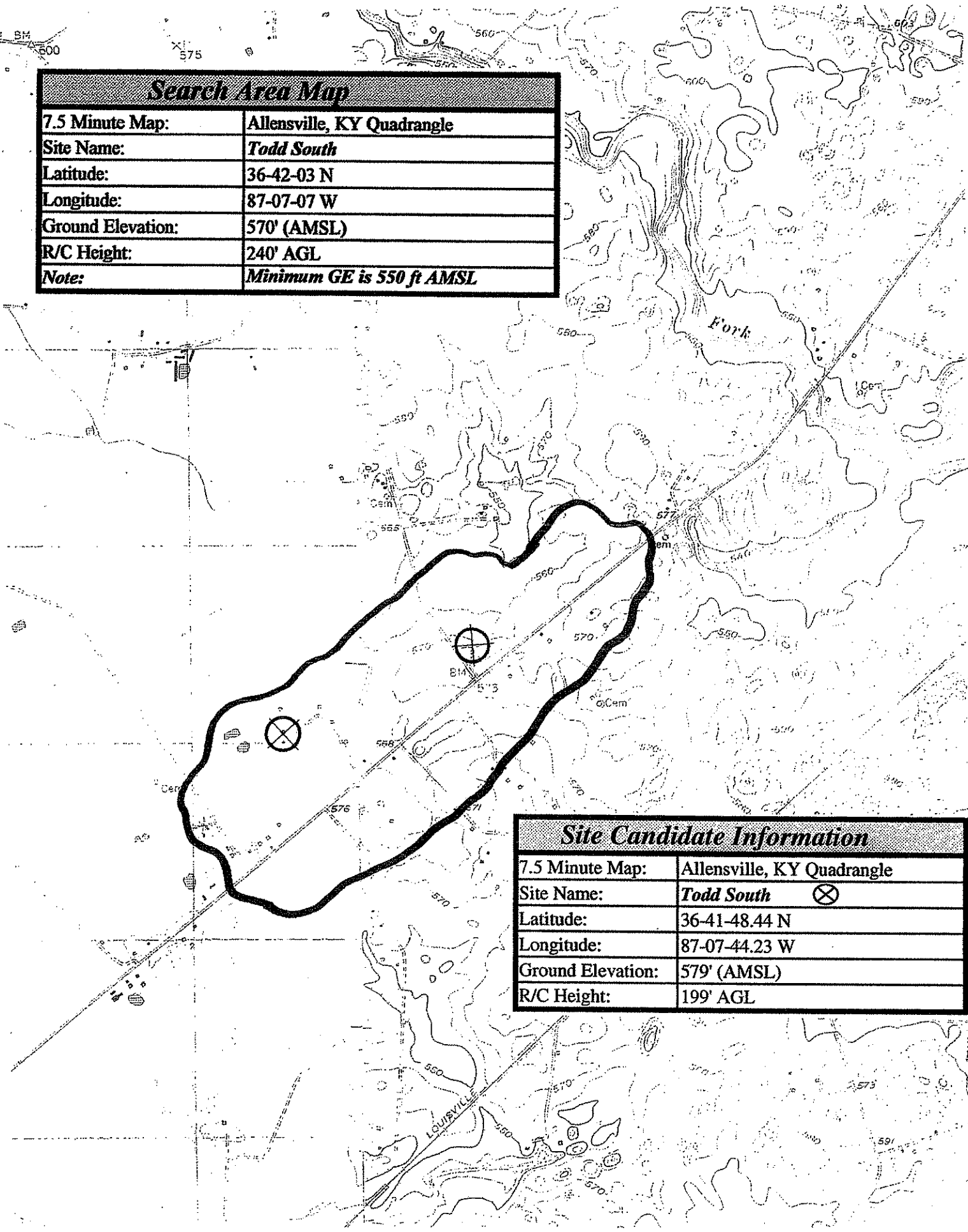
(Formerly F)

Has

• RN/LPN Nurse Ma





Current Long Term Care Experiences, Excellent Organization. Candidate will enjoy working with us. Contact

Search Area Map	
7.5 Minute Map:	Allensville, KY Quadrangle
Site Name:	Todd South
Latitude:	36-42-03 N
Longitude:	87-07-07 W
Ground Elevation:	570' (AMSL)
R/C Height:	240' AGL
Note:	Minimum GE is 550 ft AMSL

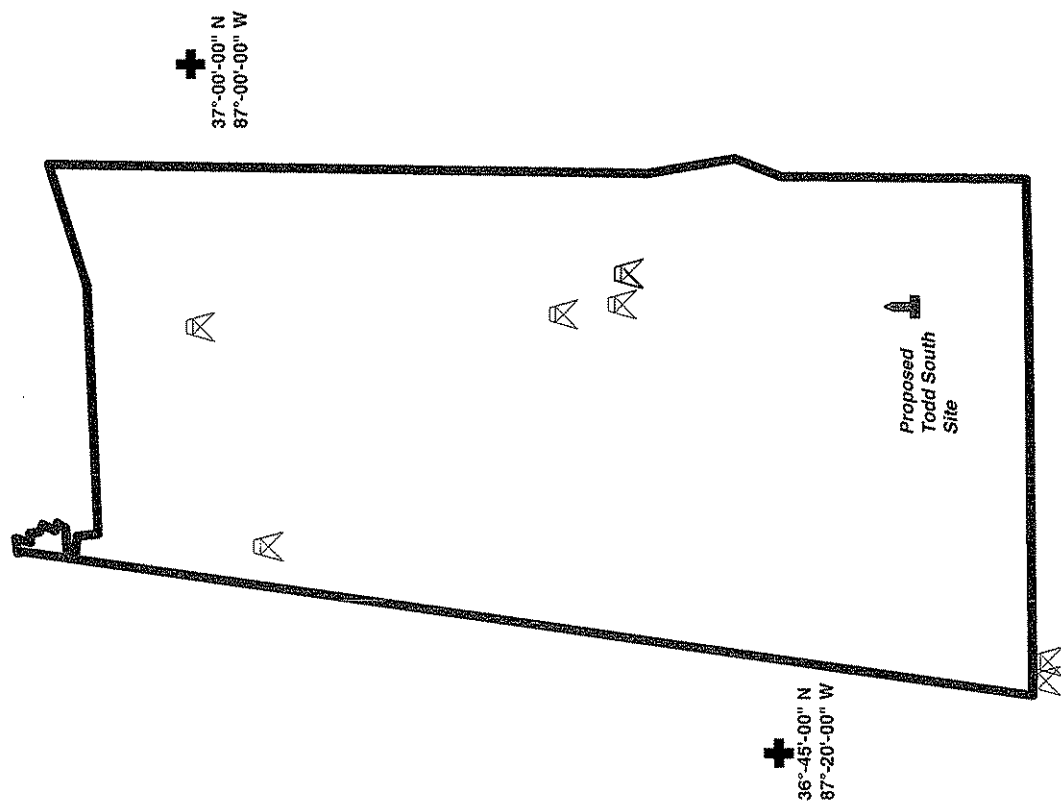


Site Candidate Information	
7.5 Minute Map:	Allensville, KY Quadrangle
Site Name:	Todd South ⊗
Latitude:	36-41-48.44 N
Longitude:	87-07-44.23 W
Ground Elevation:	579' (AMSL)
R/C Height:	199' AGL



	Todd County Boundary
	Wireless Tower Locations Registered with the FCC
	Proposed Tower Location
	Tick Marks

Prepared By: LNGS Engineering 2/7/2007



*Information on Towers Registered with the FCC
in Todd County and 1/2 Mile Area Outside of the County Boundary*

FCC Tower Reg. No.	North Latitude	West Longitude	City, State	Tower Owner
1043533	36-48-48	87-06-42	EIkton, KY	PENNYRILE RECC
1044827	36-58-03	87-15-24	Allegre, KY	KENTUCKY COMMONWEALTH OF DBA = KENTUCKY EMERGENCY WARNING SYSTEM KEWS
1052933	36-59-46	87-08-23	Clifty, KY	Estate of J. David Fridley
1065292	36-50-29	87-07-59	EIkton, KY	WILSON, PAUL D
1206469	36-48-57.2	87-07-40	EIkton, KY	Ezell's Communications
1218387	36-38-8.7	87-19-41	Clarksville, TN	Optastie Towers LLC
1231219	36-38-5.6	87-19-3.9	Clarksville, TN	American Towers, Inc.
1240659	36-48-48.6	87-06-40	EIkton, KY	Global Tower, LLC