7383 Utica Blvd ~ Lowville, New York 13367 ~ 315-376-3333 ~ FAX 315-376-8139



Tuesday, June 27, 2006

Beth O'Donnell Executive Director Public service Commission 211 Sower Boulevard Frankfort, KY 40602-0615

## REGEIVED

JUN 3 0 2006

PUBLIC SERVICE COMMISSION

Dear Ms. O'Donnell,

Enclosed, please find one original and five copies of Shared Sites, LLC's application to construct a new Wireless Communications Facility at 1080 Old Highway 90, Monticello, Kentucky 42633. PSC Case #2006-00110.

Please contact me if anything is not in order.

Regards,

David B. Jantzi

#### FOR THE PUBLIC RECORD

#### COMMONWEALTH OF KENTUCKY BEFORE THE PUBLIC SERVICE COMMISSION

IN THE MATTER OF:

APPLICATION OF SHARED SITES, LLC. AND AMERICAN CELLULAR CORPORATION FOR ISSUANCE OF A CERTIFICATE OF PUBLIC CONVIENENCE AND NECESSITY TO CONSTRUCT A WIRELESS COMMUNICATIONS FACILITY AT 1080 OLD HIGHWAY 90 MONTICELLO, KENTUCKY 42633 IN THE WIRELESS COMMUNICATIONS LICENSE AREA IN THE COMMONWEALTH OF KENTUCKY IN THE COUNTY OF WAYNE RECEIVED

JUN 3 0 2006

PUBLIC SERVICE COMMISSION

SITE NAME: MONTICELLO NORTH SITE NUMBER:

\* \* \* \* \* \* \*

Shared Sites, LLC. As ultimate owner, and American Cellular Corporation, as a licensed

public utility in the commonwealth of Kentucky, make this application.

The property on which the Wireless Communications Facility ("WCF") will be built is located

at 1080 Old Highway 90, Monticello, Kentucky 42633. The WCF site is geographically

positioned at 36-51-41.28 North latitude, 84-49-32.88 West longitude.

#### COMMONWEALTH OF KENTUCKY BEFORE THE PUBLIC SERVICE COMMISSION

IN THE MATTER OF:

REGEIVED

JUN 3 0 2006

PUBLIC SERVICE

APPLICATION OF SHARED SITES, LLC. AND AMERICAN CELLULAR CORPORATION FOR ISSUANCE OF A CERTIFICATE OF PUBLIC CONVIENENCE AND NECESSITY TO CONSTRUCT A WIRELESS COMMUNICATIONS FACILITY AT 1080 OLD HIGHWAY 90 MONTICELLO, KENTUCKY 42633 IN THE WIRELESS COMMUNICATIONS LICENSE AREA IN THE COMMONWEALTH OF KENTUCKY IN THE COUNTY OF WAYNE

SITE NAME: MONTICELLO NORTH SITE NUMBER:

#### \* \* \* \* \* \* \*

)

#### UNIFORM APPLICATION: CONFIDENTIAL AND PROPRIETARY

Shared Sites, LLC. ("Shared Sites"), as ultimate owner, and American Cellular Corporation ("Provider") as a licensed public utility in the Commonwealth of Kentucky, hereinafter jointly referred to as "Applicants", respectfully submit their Application for a Certificate of Public Convienence and Necessity from the Public Service Commission to construct, maintain, and operate a Wireless Communications Facility ("WCF") to serve the customers of the Provider with wireless and telecommunications services, and other wireless service provider collocations in the area described herein.

In support of this Application, the Applicants respectfully provide and state the following information:

 The complete names and addresses of the Applicants are: Shared Sites, LLC., a Kentucky Limited Liability Company, having a mailing address of 1390 Chain Bridge Road #40, McLean, Virginia 22101 (703) 893-0806.

American Cellular Corporation, a Delaware Corporation, 3910 South Ave. Youngstown, OH 44512, 73134 having a local address of 124 South Keeneland Drive, Suite 1, Richmond, KY 40475, (606) 544-2355.

2. Shared Sites constructs, owns, manages, maintains, and operates independent communications networks. Shared Sites owns and manages safe, clean and well maintained facilities. Shared Sites facilities do not generate smoke, odors, noise, noxious gases, vibrations, or traffic increase. Shared Sites facilities will not pollute air, soil, or water, nor will they adversely affect radio or television reception or transmission. A certified copy of the Certificate of a Limited Liability Company issued by the Secretary of State of the State of West Virginia and a copy of the application for a Certificate of Authorization which was sent to the Secretary of State of the Commonwealth of Kentucky for Shared Sites, LLC. are attached or described as part of **Exhibit A.** A copy of the Certificate of Authorization issued by the Secretary of State of the Commonwealth of Kentucky and a copy of the Certificate of Merger issued by the Secretary of State of the State of the Provider are attached or described as part of **Exhibit B.** 

3. After completion of the proposed WCF, Shared Sites will lease or license space on said tower and the surrounding site so the Provider may locate and operate its facility including all required antennas and appurtenances. The proposed WCF will serve an area completely within the Provider's Federal Communications Commission ("FCC")

licensed service area in the Commonwealth of Kentucky. The Provider is authorized to provide wireless service by the FCC and the PSC. A copy of the Provider's FCC license to provide wireless service is attached to this Application or described as part of **Exhibit C**. Shared Sites has located the proposed site in a manner such that other wireless communications service providers will desire to collocate on said tower, and will endeavor to provide all necessary facilities to make collocation attractive to them.

4. The public convenience and necessity require the construction of the proposed WCF. The construction of the WCF will bring the Provider's services to an area currently not served or not adequately served by the Provider and will thereby enhance the public's access to innovative and competitive wireless telecommunications services. The WCF will provide a necessary link in the Provider's telecommunications network that is designed to meet the increasing demands for wireless services in Kentucky's wireless communications licensed area. The WCF is an integral link in the Provider's network design that must be in place to cover the proposed service area.

5. Shared Sites' construction of the described WCF is desirable because it allows for the collocation of additional wireless service providers within this portion of the Kentucky wireless communications licensed area. These services may include telecommunications, wireless data transfer and internet services, wireless cable, paging systems, 911 service, and other new products currently being developed in the wireless industry. In addition, the WCF will be available for use by governmental agencies and providers of emergency services. The WCF will provide a necessary link in Shared Sites' and the Provider's wireless infrastructure networks, and Shared Sites, as part of it's business structure, will diligently pursue and encourage other wireless providers to collocate on the WCF. These services will provide increased competition in the in the local

Kentucky telecommunications market, which will, in turn, promote competitive pricing, quality, and coverage options to users of telecommunications services in this area. Shared Sites' vested interest in the collocation of wireless service providers promotes the same goals for the local consumers.

6. The Applicants propose to construct a WCF at 1080 Old Highway 90, Monticello, Kentucky 42633 (38-51-41.28 North latitude, 84-49-32.88 West longitude). In an area located entirely within the county referenced in the caption of this application. The property on which the WCF will be located is owned by Ronnie and JeniceTurner. The proposed WCF will consist of a 195 foot guved tower with an approximately 4-foot lightning arrester attached to the top, for a total height of 199 feet. The WCF will also include concrete foundations to accommodate the placement of the Provider's proprietary radio electronics equipment. The equipment will be housed in a prefabricated cabinet or shelter that will contain: (i) the transmitting and receiving equipment required to connect the WCF with the Provider's users in Kentucky, (ii) telephone lines that will link the WCF with the Provider's other facilities, (iii) battery back-up that will allow the Provider to operate even after a loss of outside power, and (iv) all other necessary appurtenances. The Provider's equipment cabinet or shelter will be approved for use in the commonwealth of Kentucky by the relevant building inspector. The WCF compound will be fenced and all access gate(s) will be secured. A description of the manner in which the proposed WCF will be constructed is attached as Exhibit D and Exhibit E. Periodic inspections will be performed on the WCF in accordance with the applicable regulations or requirements of the PSC. The list of competing utilities, corporations, or persons is attached as Exhibit F.

7. Reduced copies of the site development plan have been included as ExhibitD and Exhibit E of this application. A vertical profile sketch of the WCF signed and sealed

by a professional engineer registered in Kentucky depicting the tower height, as well as a proposed configuration for the antennas of the provider and future antenna mounts, has also been included as part of **Exhibit E**. Foundation design plans and a description of the standards according to which the tower was designed signed and sealed by a professional engineer registered in Kentucky is included as part of **Exhibit D**.

8. The Applicants have considered the likely effects of the installation of the proposed WCF on nearby land uses and values and have concluded there is no more suitable location reasonably available from which adequate services can be provided, and that there are no reasonably available opportunities to collocate. The Applicants have attempted to collocate on suitable existing structures such as telecommunications towers or other suitable structures capable of supporting the Provider's facilities. No other suitable and available collocation site was found to be located in the vicinity of the site. Information regarding the Applicants' efforts to achieve collocation in the vicinity are presented as **Exhibit G**.

9. The Applicants have conducted a preliminary aeronautical evaluation for the proposed WCF. The evaluation determined that the proposed structure height at this site meets Federal Aviation Administration ("FAA") Regulation requirements. Furthermore, FAA notice is required for the proposed construction, and lighting or marking requirements may be applicable to this facility. A copy of the FAA Application is attached as **Exhibit H**. Upon receiving a "Determination" from the FAA, the Applicants will forward a copy as a supplement to this Application Proceeding

10. A copy of the Kentucky Airport Zoning Commission ("KAZC") Application for the proposed WCF is attached as **Exhibit I**. Upon receiving authorization from the KAZC,

the Applicants will forward a copy of the determination as a supplement to this Application Proceeding

11. The WCF will be registered with the FCC pursuant to applicable federal requirements. Appropriate required signage will be posted on this site upon receipt of the tower registration number.

12. A geotechnical-engineering firm has performed soil boring(s) and subsequent geotechnical-engineering studies at the WCF site under the supervision of a professional engineer registered in the Commonwealth of Kentucky who specializes in geotechnical engineering, including subsurface exploration. The geotechnical-engineering firm has performed many such studies for the communications industry. A copy of the geotechnical-engineer registered in the Commonwealth of sealed by a professional engineer registered in the Commonwealth of Kentucky who specializes in geotechnical engineering, including subsurface exploration signed and sealed by a professional engineer registered in the Commonwealth of Kentucky who specializes in geotechnical engineering, including subsurface exploration, is attached as **Exhibit J**. The name and address of the geotechnical-engineering firm and the professional engineer registered in the Commonwealth of Kentucky who supervised the examination of this WCF site are included in **Exhibit J**.

13. Clear directions to the proposed WCF site from the County seat are attached as **Exhibit K**. The name and address of the preparer of **Exhibit K** is included in **Exhibit K**.

14. Shared Sites, pursuant to a written agreement, has acquired the right to use the WCF site and associated property rights. A copy of the agreement or an abbreviated agreement recorded with the County Clerk is attached as **Exhibit L**. Also included as part of **Exhibit L** is the portion of the full agreement demonstrating that in the case of abandonment a method is provided to dismantle and remove the cellular antenna tower.

Personnel directly responsible for the design and construction of the 15. proposed WCF are well-qualified and experienced. World Tower Company, Inc. (the Tower Manufacturer) performed the tower and foundation design. The Tower Manufacturer is a nationally recognized manufacturer and designer of communication towers. The Tower Manufacturer has designed and installed communications towers throughout North America. The Tower Manufacturer has assigned S. M. Naeem Akhter, a professional engineer registered in the commonwealth of Kentucky to design the Tower for the WCF. This engineer specializes in the design and engineering of guyed, self support and monopole structures, and has extensive experience in the design and construction of projects similar to the Applicants'. These projects include the design of towers and the requires foundations of many other wireless facilities. All of the designs have been signed and sealed by S. M. Naeem Akhter. The construction of the proposed WCF will be performed by Shared Sites or their agents who are insured and experienced tower erection specialists. The Project Manager, David Jantzi, will manage the construction of the WCF and the tower erection. David has been erecting towers for the telecommunications industry for over 15 years. All tower designs will meet or exceed applicable laws and regulations.

16. Based on a review of Federal Emergency Management Agency Flood Insurance Rate Maps, the registered land surveyor has certified in **Exhibit M** that the proposed WCF is not located within any flood hazard area.

17. The possibility of high winds has been considered in the design of this tower. The tower has been designed and engineered by professional engineers using computer assistance and the same accepted codes and standards as are typically used for high-rise building construction. The tower has been designed to withstand a wind loading of 70

m.p.h. with ½ inch of radial ice. This tower has been designed in accordance with the Electronic Industries Association ("EIA") 222-F 1996 Standards, which have been accepted and approved by ANSI and is a nationally recognized tower design standard. Similarly, the proposed WCF design has been developed with consideration of potential ground shaking based on a negligible seismic zone of 1. Seismic loading is regarded as secondary to the wind loading.

18. The site development plan signed and sealed by a professional engineer registered in Kentucky was prepared by David B. Sharp, and was designed from a survey performed by Mike McKinney. This site development plan is drawn to a scale of no less than one (1) inch equals 200 feet, and identifies every owner of real estate within 500 feet of the proposed tower (according to the Property Valuation Administrator) and is incorporated in the survey as part of **Exhibit E**. Every structure and every easement within 500 feet of the proposed tower or within 200 feet of the access road including intersection with the public street system is incorporated in the survey as part of **Exhibit E**.

19. Shared Sites, on behalf of itself and the Provider, has notified every person who owns property within 500 feet of the proposed tower by certified mail, return receipt requested, of the proposed construction. Each property owner has been informed of their right to request intervention. A list of the nearby property owners who received the notices, together with copies of the certified letters, are attached as **Exhibit N** and **Exhibit O**, respectively.

20. Shared Sites, on behalf of itself and the Provider, has notified the Wayne County Judge Executive and the City of Monticello Mayor by certified mail, return receipt requested, of the proposed construction. This notice informed the Wayne County Judge

Executive and the City of Monticello Mayor of his/her right to request intervention. A copy of this notice is attached as **Exhibit P**.

21. Two appropriate notice signs measuring at least two (2) feet in height and four (4) feet in width with all required language in letters of required height have been posted in a visible location on the proposed site and on the nearest public road and shall remain posted for at least two (2) weeks after filing of the Application. Copies of the postings are attached as **Exhibit Q**. The location of the proposed facility has been published in a newspaper of general circulation in the county where the WCF is located.

22. The property where WCF is proposed to be constructed is not zoned

23. The process that was used in selecting the site for the proposed WCF by the Applicants' radio frequency engineers was consistent with the process used for selecting generally all other existing and proposed WCF facilities within the proposed network design area. Before beginning the acquisition process, the Applicants carefully evaluated the location of the required WCF for possible collocation opportunities on existing structures. Radio Frequency Engineers used computer programs to evaluate the most effective coverage design for facilitating collocation potential on the proposed tower. Shared Sites and the Provider's radio frequency engineers have combined their efforts in order to develop a highly efficient network that is designed to serve the Federal Communications Commission licensed territory without extending beyond the Provider's approved boundary. The engineers selected the optimum vicinity in terms of elevation and location to provide the best quality service to customers in the service area. A proposed coverage area was considered by the Applicants when searching for sites that would provide both (i) the coverage deemed necessary by the Provider, and (ii) the coverage deemed necessary by Shared Sites to permit the integration of the proposed WCF into Shared Sites' overall

network design. No suitable towers or existing structures were found in the immediate area which would meet the technical requirements for this element of the telecommunications network. A map of the area in which the tower is proposed to be located which is drawn to scale and clearly depicts the necessary search area within which the site, pursuant to radio frequency requirements, be located is attached as **Exhibit R**.

24. A grid map showing the location of all existing cellular antenna towers that includes the general position of proposed construction sites for new cellular antenna towers within the Commission's jurisdiction and one-half mile outside the boundary of the planning unit's jurisdiction if that area contains either existing or proposed construction sites for cellular antenna towers is attached as **Exhibit S**.

25. All Exhibits to this application are hereby incorporated by reference as if fully set out as part of the Application.

26. All responses and requests associated with this Application may be directed

to:

David Jantzi Boulevard Properties, LLC 7383 Utica Blvd. Lowville, NY 13367 Telephone: (315) 523-6258

And

Kamal Doshi Shared Sites, LLC 1390 Chain Bridge Road #40 McLean, VA 22101 Wherefore, the applicants respectfully request that the PSC accept the foregoing Application for filing and having met the requirements of KRS 278.020 and all applicable rules and regulations of the PSC, grant a Certificate of Public Convienence and Necessity to construct and operate the WCF at the location set forth herein for the respective networks in the commonwealth of Kentucky.

Respectfully submitted,

Kamal Doshi Shared Sites, LLC 1390 Chain Bridge Road #40 McLean, Virginia 22101 Telephone: (703) 893-0806

And

Timothy J. Duffy Chief Technical Officer / Senior Vice President Network Operations & Engineering American Cellular Corporation 14201 Wireless Way Oklahoma City, OK 73134 (405) 529-8660

#### LIST OF EXHIBITS

- A. Certificate of LLC from the State of West Virginia and copy of application for Certificate of Authority to the State of Kentucky for Shared Sites, LLC.
- B. Certificate of Authorization from the State of Kentucky and Certificate of Merger for American Cellular Corporation
- C. Copy of FCC license for American Cellular Corporation
- D. Tower and Foundation Plan
- E. Site Development Plan:

Vicinity Map Property Owner Listing 500' Vicinity Map Legal Descriptions Site Plan Vertical Tower Profile

- F. Competing Utilities, Corporations, or Persons List
- G. Collocation Report
- H. Application to FAA
- I. Application to Kentucky Airport Zoning Commission
- J. Geotechnical report
- K. Directions to WCF Site
- L. Copy of Real Estate Agreement
- M. Flood Plain Certification
- N. Notification Listing and Attorney Certification of Mailing
- O. Copy of Property Owner Notification
- P. Copy of County Judge Executive Notice
- Q. Copy of Posting Notices
- R. Copy of Radio Frequency Design Search Area
- S. Tower Map for Subject County

## EXHIBIT A

## CERTIFICATE OF LLC FROM THE STATE OF WEST VIRGINIA

AND

## CERTIFICATE OF AUTHORITY FROM THE COMMONWEALTH OF KENTUCKY

FOR SHARED SITES, LLC



## I, Betty Ireland, Secretary of State of the State of West Virginia, hereby certify that

#### SHARED SITES, LLC

**Control Number: 82134** 

has filed its "Articles of Organization" in my office according to the provisions of West Virginia Code §§31B-2-203 and 206. I hereby declare the organization to be registered as a limited liability company from its effective date of January 13, 2006 until the expiration of the term or termination of the company.

Therefore, I hereby issue this

## CERTIFICATE OF A LIMITED LIABILITY COMPANY



Given under my hand and the Great Seal of the State of West Virginia on this day of January 13, 2006

Detty Seland

Secretary of State

# Commonwealth of Kentucky Trey Grayson Secretary of State

## **Certificate of Authorization**

I, Trey Grayson, Secretary of State of the Commonwealth of Kentucky, do hereby certify that according to the records in the Office of the Secretary of State,

#### SHARED SITES, LLC

, a limited liability company organized under the laws of the state of West Virginia, is authorized to transact business in the Commonwealth of Kentucky and received the authority to transact business in Kentucky on February 24, 2006.

I further certify that all fees and penalties owed to the Secretary of State have been paid; that an application for certificate of withdrawal has not been filed; and that the most recent annual report required by KRS 275.190 has been delivered to the Secretary of State.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my Official Seal at Frankfort, Kentucky, this 19th day of March, 2006.

Certificate Number: 28229 Jurisdiction: Shared Sites, ILC (Boulevard Properties) Visit <u>http://apps.sos.ky.gov/business/obdb/certvalidate.aspx\_to</u> validate the authenticity of this certificate.



Trey Grayson Secretary of State Commonwealth of Kentucky 28229/0633042

## EXHIBIT B

## CERTIFICATE OF AUTHORIZATION FROM THE COMMONWEALTH OF KENTUCKY

## AND

## CERTIFICATE OF MERGER FROM THE STATE OF DELAWARE

## FOR AMERICAN CELLULAR CORPORATION

# Commonwealth of Kentucky Trey Grayson Secretary of State

## **Certificate of Authorization**

I, Trey Grayson, Secretary of State of the Commonwealth of Kentucky, do hereby certify that according to the records in the Office of the Secretary of State,

AMERICAN CELLULAR CORPORATION

, a corporation organized under the laws of the state of Delaware, is authorized to transact business in the Commonwealth of Kentucky, and received the authority to transact business in Kentucky on January 20, 2004.

I further certify that all fees and penalties owed to the Secretary of State have been paid; that an application for certificate of withdrawal has not been filed; and that the most recent annual report required by KRS 271B.16-220 has been delivered to the Secretary of State.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my Official Seal at Frankfort, Kentucky, this 13th day of February, 2006.

Certificate Number: 26879 Jurisdiction: Shared Sites, LLC Visit <u>http://apps.sos.ky.gov/business/obdb/certvalidate.aspx\_to</u>validate the authenticity of this certificate.



Tmbr

Trey Grayson Secretary of State Commonwealth of Kentucky 26879/0576718 . .

Ξ.



PAGE 1

## The First State

I, HARRIET SMITH WINDSOR, SECRETARY OF STATE OF THE STATE OF DELAWARE, DO HEREBY CERTIFY THE ATTACHED IS A TRUE AND CORRECT COPY OF THE CERTIFICATE OF MERGER, WHICH MERGES:

"ACC OF KENTUCKY LLC", A DELAWARE LIMITED LIABILITY COMPANY,

WITH AND INTO "AMERICAN CELLULAR CORPORATION" UNDER THE NAME OF "AMERICAN CELLULAR CORPORATION", A CORPORATION ORGANIZED AND EXISTING UNDER THE LAWS OF THE STATE OF DELAWARE, AS RECEIVED AND FILED IN THIS OFFICE THE THIRTY-FIRST DAY OF DECEMBER, A.D. 2003, AT 10:30 O'CLOCK A.M.

AND I DO HEREBY FURTHER CERTIFY THAT THE EFFECTIVE DATE OF THE AFORESAID CERTIFICATE OF MERGER IS THE THIRTY-FIRST DAY OF DECEMBER, A.D. 2003, AT 11:30 O'CLOCK A.M.

A FILED COPY OF THIS CERTIFICATE HAS BEEN FORWARDED TO THE NEW CASTLE COUNTY RECORDER OF DEEDS.



2222565 8100M

030845574

i

Harriet Smith Windson

Harriet Smith Windsor, Secretary of State

AUTHENTICATION: 2856461

DATE: 01-07-04

EXHIBIT C

COPY OF FCC LICENSE FOR AMERICAN CELLULAR

#### Federal Communications Commission

#### Wireless Telecommunications Bureau

#### Radio Station Authorization

LICENSEE NAME: American Cellular Corporation

RONALD L. RIPLEY AMERICAN CELLULAR CORPORATION 14201 WIRELESS WAY OKLAHOMA CITY DK 73134 
 O003767324

 Call Sign
 File Number

 KNKN566
 O001571120

 Radio Service
 CL - Cellular

 Market Number
 Channel Block

 CMA447
 A

 Sub-Market Designator

0

FCC Registration Number (FRN)

Market Name Kentucky 5 - Barren

Grant Date	Effective Date	Expiration Date	Five Yr Build-Out Date	Print Date
10-30-2001	01-07-2004	10-01-2011		01-14-2004

	SITE INFO	RMATION							
Location Lattitude	Longitude	Ground Ele (meters)	vation	Structure (meters)			Antenna St Registrati		
	085-55-41.0 W /ILLE SITE: 1 MI	285.1 W		78.9			1042214		
City LEITCHFIELD	County HART		Con	struction	Deadlin	e			
Antenna: 1 Azimuth Antenna Height AAT(mete Transmitting ERP(watts)	ers)								315 159,500 31,600
***************************************								~~~~~~~~~~	
Location Lattitude	Longitude	Ground Ele (meters)		Structure (meters)	-		Antenna St Registrati		
	085-42-10.0 W NSVILLE SITE: 315	309.7		88.1			1042225		
City TOMPKINSVILLE	County MONROE	State KY		struction	Deadlin	e			
Antenna: 1 Azimuth	(from true north	n) 0	45	90	135	180	225	270	315

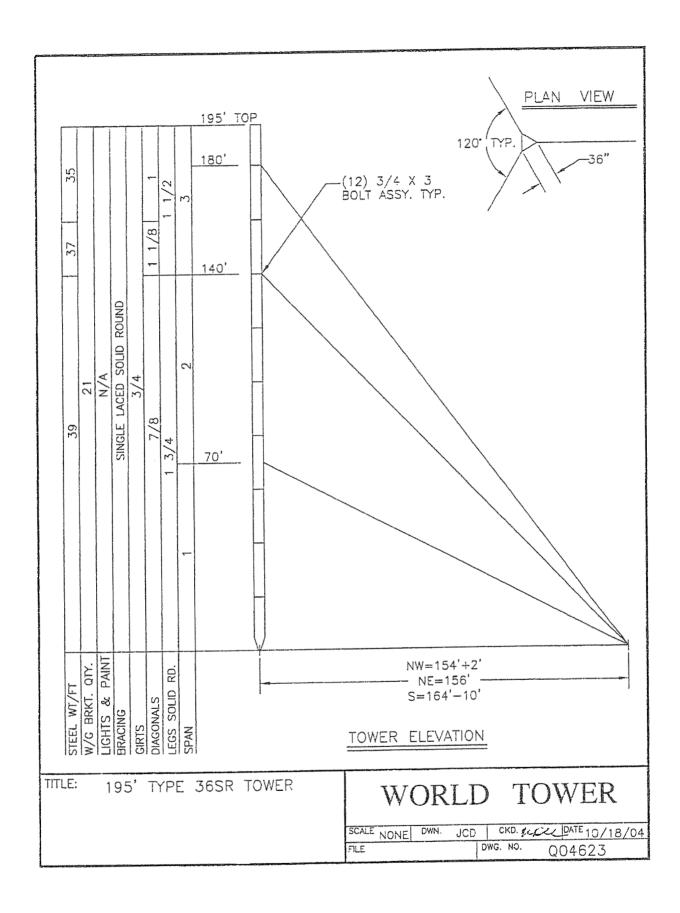
Conditions:

Pursuant to Section 309(h) of the Communications Act of 1934, as amended, 47 U.S.C. Section 309(h), this license is subject to the following conditions: This license shall not vest in the licensee any right to operate the station nor any right in the use of the frequencies designated in the license beyond the term thereof nor in any other manner than authorized herein. Neither the license nor the right granted thereunder shall be assigned or otherwise transferred in violation of the Communications Act of 1934, as amended. See 47 U.S.C. Section 310(d). This license is subject in terms to the right of use or control conferred by Section 706 of the Communications Act of 1934, as amended. See 47 U.S.C. Section 606.

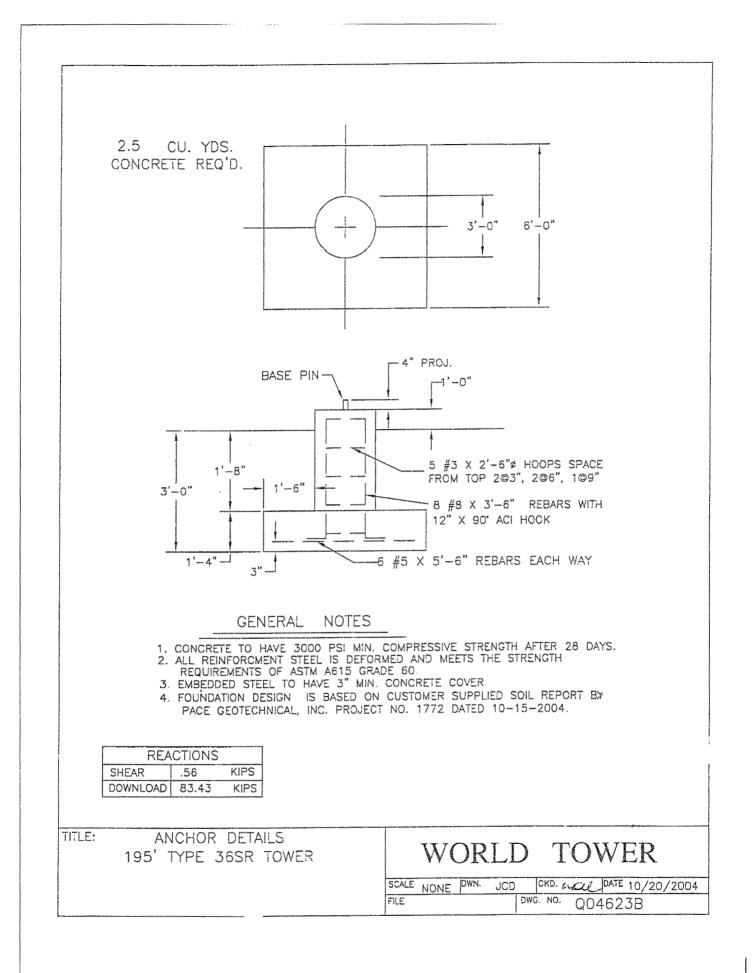
FCC 601 - C January 2004

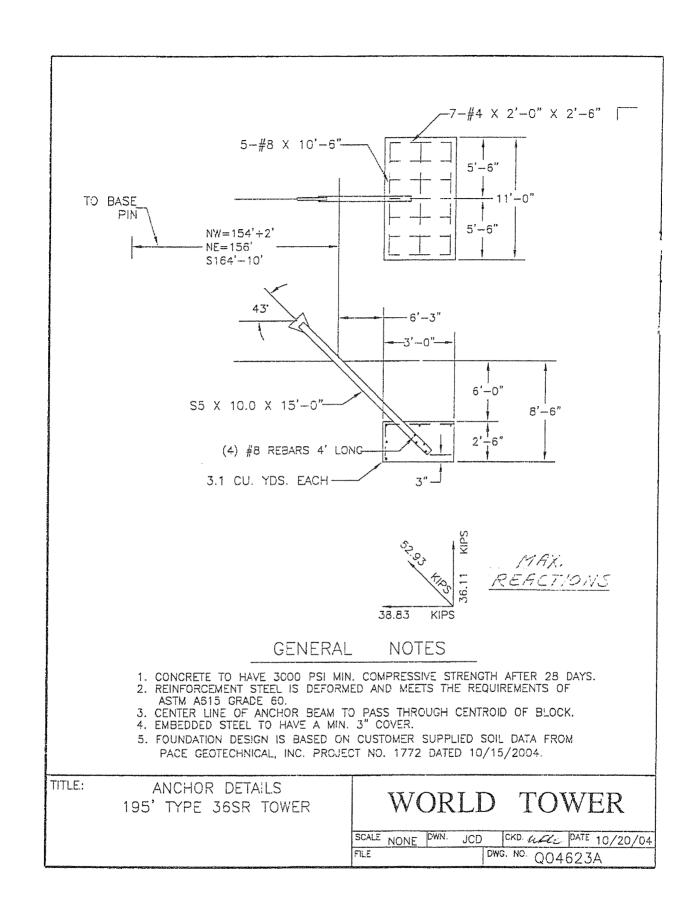
Page 1 of 6 6 EXHIBIT D

TOWER AND FOUNDATION DESIGN



				ANTE	NNAS				
ELEV.								LINE	AZIMUTH
195'	(12) - CSS/SA 14-105 ON WD13X53							2)- 1 5/8"	
180'	(12) - CSS/SA 14-105 ON WD13X53 (12) - CSS/SA 14-105 ON WD13X53							2)- 1 5/8"	1
165'	(12) - CSS/SA 14-105 ON WD13X53							2)- 1 5/8"	
150'	(12) -	CSS/SA	14-1	105 ON WD	I 3X53		(12	2)- 1 5/8"	
120'	(2) 4'	SOLID DI	SHES			·	(2)	<u> </u>	
	SHEAR COMPRE	BAS SSION		KIPS	RESULTANT HORIZONTAL		CHOR 52.93 38.83 36.11	KIPS KIPS KIPS	
ELEV.	SIZE	BREA		INITIAL FENSION	CUT LENGTH	SF	HACKLE	THIMBLE	TURN BUCKLE
180' 3	5/4 EHS	58300		5800	281'		1	3/4	1 1/4 X 24
140' 9	1/16 EHS	35000	and the state of t	3500	253'		3/4	3/4	1 X 18
70' 7	/16 EHS	20800		2100	213'	L		1/2	3/4 X 12
GENERAL       NOTES         1. TOWER IS DESIGNED TO SUPPORT THE GIVEN LOADS AND MEET THE PROVISIONS OF TIA/EIA-222-F FOR AN 85 MPH BASIC WIND SPEED WITH NO ICE AND IBC 2000.         2. ALL LINES MUST BE EVENLY DISTRIBUTED ON 3 TOWER FACES WITH A MAXIMUM OF 6 LINES EXPOSED TO THE WIND PER FACE.         3. WELDED CONNECTIONS SHALL CONFORM TO THE LATEST REVISION OF THE AMERICAN WELDING SOCIETY AWS.D 1.1.         4. TOWER AND ALL FABRICATED ACCESSORIES ARE HOT-DIP GALVANIZED IN ACCORDANCE WITH ASTM A123.         5. ALL BOLTS SHALL BE GALVANIZED ACCORDING TO THE STANDARD SPECIFICATION FOR ZINC COATING OF IRON AND STEEL HARDWARE ASTM A153.         6. LEG STEEL IS 50 KSI MIN. YIELD SOLID ROUND AND BRACING STEEL IS 36 KSI MIN. YIELD SOLID ROUND.         7. ALL STRUCTURAL BOLTS ARE ASTM A323.         8. GUY LENGTHS SHOWN ARE CHORD LENGTHS PLUS 30'.         9. TOWER SECTIONS ARE NUMBERED CONSECUTIVELY FROM BASE TO TOP.         10. TOWER SHOULD BE INSPECTED IN ACCORDANCE WITH TIA/EIA-222-F EVERY 3 YEARS         11. TOWER INSPECTION SHOULD DALL BE PERFORMED BY EXPERIENCED QUALIFIED PERSONNEL. FOR ASSISTANCE IN PROPER MAINTENANCE OF YOUR TOWER, CALL WORLD									
TITLE: 19	95' TYPE	E 365F	R TO	WER	SCALE NONE	101	N. JCD		VER



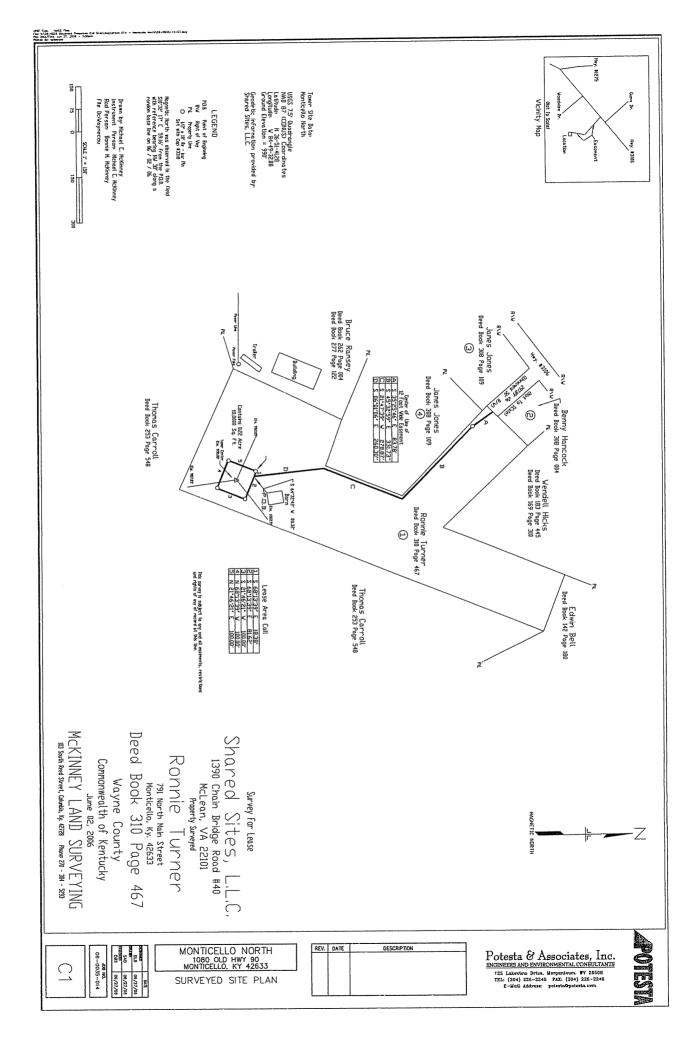


## EXHIBIT E

#### SITE DEVELOPMENT PLAN

VICINITY MAP PROPERTY OWNER LISTING 500' VICINITY MAP LEGAL DESCRIPTIONS SITE PLAN VERTICAL TOWER PROFILE

WIRELESS CO	DATE DESCRIPTION DRAWING INDEX TITLE SHEET C1 SURVEYED SITE PLAN C2 OKEAUL SITE PLAN C3 OKEAUL SITE PLAN C4 SECTIONS C5 TOWER LEDVATION, ANTENNA PLAN 4 ANTERNA SCHEDULE F1 GENERAL FREICHS DETALS AND GENERAL NOTES 51 ICE BRIDGE AND FOUNDATION DETALS 4 STRUCTURAL FOLDES 52 STRUCTURAL FOLDES 52 STRUCTURAL FOLDES		
	DEFALS           E1         SINCLE LINE DUACRAM           AND ELECTRICAL NOTES         E2           E2         GROUNDING SITE PLAN AND           CROUNDING SITE PLAN AND         CROUNDING SITE PLAN AND           E3         ELECTRICAL DETAILS           AMERICAN CELLUAR CORPORATION         CONTACT: RICHARD PENNINGTON           1245 KEERELAND DENVE         RICHARDIN, KY 40475           OFFICE: (859) 544-5850         FAX: (859) 544-5858           ANTENNA / TOWER		
MONT 1390 CHAIN BR	ENGINEERS / ARCHITECTS POOTESTA Potesta & Associates, Inc. ENGINEERS AND ENVIRONMENTAL CONSULTANTS 125 Lakweue Drive. Amogandow, TV 28500 TEL: (304) 225-2245 P-Mail Address: potesta@potesta.com LOCATION MAP		
UTILITY INFORMATION: TELEPHONE SERVICE: ALLTEL 1-800-843-9214 ELECTRIC SERVICE: SOUTH KENTUCKY RECC 1-800-264-5112	EXISTING PROJECT SITE SUMMARY COUNTY: WAYNE SITE COORDINATES: N 36' 51' 41.28' LAT. W 84' 49' 32.88'' LONG. ELEVATION: 990' AMSL	SHARED SITES, LLC	
HANDICAPPED REQUIREMENTS FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. HANDICAPPED ACCESS NOT REQUIRED PLUMBING REQUIREMENTS FACILITY HAS NO PLUMBING	SITE ADDRESS     1080 OLD HWY. 90 MONTCELLO, KY 42633       PROPERTY OWNER:     RONNIE & JENICE TURNER 701 N. MAIN STREET MONTCELLO, KY 42633 <u>CONTACT NAME:</u> DAVE JANTZI 7383 UTICA BOULEVARD LOWVILLE, NY 13367 <u>CONTACT TEL NO.:</u> 315–523–6258 <u>SITE NAME:</u> MONTCELLO NORTH	DATE REPRESENTATIVE SIGNATURE OWNER APPROVAL DATE REPRESENTATIVE SIGNATURE	LINE 21, 17 1000 1000 1000 1000 1000 1000 1000

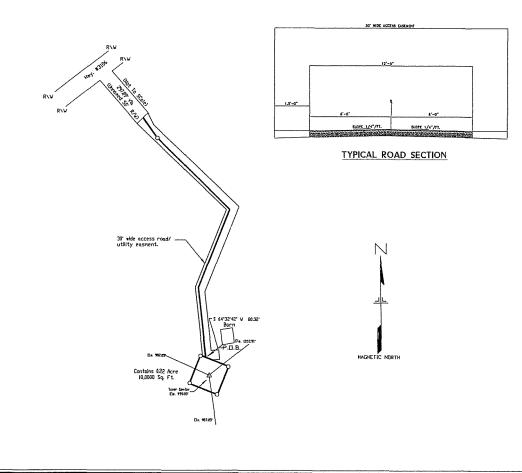


#### CLOSE OUT DOCUMENTATION

L. THE CONTRACTOR SHALL MAINTAIN TWO (2) COMPLETE AS-BUILT SET OF PLANS AND CONDITIONS, AND SUBJILT SAME TO THE ENGINEER WITHIN 7 DAYS OF COMPLETION OF CONSTRUCTION. THE AS-BUILT PLANS SUBJILTED TO THE FRACE(T MANAGER SHALL ACUUGE A DRAWING WITH DUR-SIGNES SHOWIC THE LOCATION OF THE UNDERGROUND UTILIES, GROUNDING GRD, BUILDING, EXISTING TOWER, ANTENNA GRIENTATION, AND FENCE WITHIN THE LEASE AREA.

THE CONTRACTOR SHALL OBTAIN AMERICAN CELLULAR GROUND FIELD RESISTANCE TEST FORM AND PERFORM ALL SITE GROUND TESTING PER AMERICAN CELLULAR RECOMPENDENTS, THE CONTRACTOR SHALL PROVIDE COMPLETED TEST FORM TO AMERICAN CELLULAR AT CLOSE OUT.

2. THE CONTRACTOR SHALL PROVIDE DIGITAL PHOTOS ON CD TO SHARED SITES AT CLOSE OUT, PHOTOS SHALL INCLUDE, BUT NOT LIMITED TO ANTENNAS, ANTENNA MONITS, GROUNDING, WEATHERPROGPING, ICE BRIDGE, CON-CABLES AND ALL OTHER PICTURES DESCRIBED IN AMERICAN CELLULAR AND SHARED SITES STANDARDS.



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#### GENERAL NOTES

#### 1. CONTRACTOR SHALL NOTIFY THE FOLLOWING AT LEAST TWO (2) WORKING DAYS PRIOR TO ANY CONSTRUCTION OPERATIONS ON THE SITE AND ANY OTHER UTILITY COMPANY THAT IS A NON-MEMBER OF THESE SERVICES:

KENTUCKY UNDERGROUND PROTECTION, INC. 1-800-752-6007

AMERICAN CELLULAR DAVID GINTER: 859-544-5605; F. 859-544-5858; N. 859-544-5000; EMAL: david.ginter@dobson.net MR. RICHIE PENNINGTON: 859-544-5820 EMAL: richis.pennington@dobson.net

SHARED SITES DAVE JANTZI: 315-376-3333; F. 315-376-8139; M. 315-523-6258 EWAL: dowe@birdle.com

EMALL GOWEDWAILS.COM 2. CONTRACTOR SHALL VERTY ALL EXISTING SIE CONDITIONS, INCLUDING SUBSURFACE CONDITIONS. THE CONTRACTOR IS HERE'S UADE AWARE THAT NO GEOTECHICAL REPORT HAS BEEN PRODUCED OR USED IN REPRAATATION OF THESE DOCUMENTS, I SHALL BE THE RESPONSEMENT OF THE CONSTRACTOR ON TO CONTRACTOR TO SUBSURFACE CONDITIONS AND DUBANKUIST STABLITY, OF INVENTIABLE SOLS SUCC NICLUDINGT THE SUBSURFACE CONDITIONS AND DUBANKUIST STABLITY, OF UNIVERTIABLE SOLS SUCC SOL, GRAVILLAR TALL OR RUBBLE FLL ARE PRESENT, THE CONTRACTOR SHALL NOTY THE ENDERSE CONCERETE ALL RECOMMENDATIONS FOR THIS SILE FORM ANY GEOTENHOL. REPORT OR ENALTER FOR THAT AND ENALL BE CONCERETE ALL RECOMMENDATIONS FOR INSTRUMENT FORM AND DUBANKUIST OF SUBSURFACE SOLS SHALL BE FOR THE PURPOSE OF VERIFICATION OF EXISTING SITE CONTINUES.

1. ALL DIMENSIONS ARE BASED ON TAPE MEASUREMENTS AND NOT BASED ON A FORMAL SURVEY. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS PRIOR TO PURCHASE OF MATERIAL AND PRIOR TO ESTIMATING JOB COSTS. IF CONFLICTS ARE OBSERVED NOTIFY ENGINEER MANUALATELY.

4. CONTRACTOR SHALL PROVIDE CERTIFIED COPIES OF ALL LABORATORY TESTS TO SHARED SITES AT THE COMPLETION OF THE TESTS. SPECIFICALLY CONCRETE COMPRESSIVE STRENGTH AND GEOTECHNICAL RESULTS.

5. EXISTING UTULTES ARE SHOWN FROM EXISTING PLANS AND ARE NOT NECESSARLY COMPLETE OR ACCURATE. THE CONTRACTOR SHALL BE RESPONSELE TO LOCATE, EXPOSE, MO DETERMINE & CONFLICTS EXIST WIT THE FROMESSED MARROWENTS. THE CONTRACTOR SHALL NOTIFY THE FROLECT WANAGER IN ORDER TO RESOLVE ANY CONFLICTS. EXISTING UTULTES OWAAGED SHALL BE REPARED OR REPLACED, AS NEEDED, IN LIKE KIND AND CHARACTER, MAD AT THE EXISTING GAUGE FROM TO CONSTRUCTION.

5. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UNDERCROUND UTILITY UNES AND GROUNDING PRIOR TO ANY EXCAVATION, AND CONTRACTOR SHALLMAND DIG IN THE VICINITY OF ALL EXISTING LINES.

Z. CONTRACTOR SHALL CONCRETE ENCASE ANY EXISTING CONDUITS PASSING UNDER NEW SHELTERS. (3" NIN. COVER ALL SUCE, 4000 PSI CONC.)

8. CONTRACTOR SHALL MAINTAIN THE DISTANCE OF 12" BETWEEN EXISTING/NEW TELCO & ELECTRIC CONDUITS UNLESS NOTED OTHERWISE.

2. ALL WORK SHALL BE CONFIRED TO THE LASE AND/OR ACCESS AREAS (IDCOT) GRADINU) UNLESS AGRELIENT AND CONSISTI OF THE PROPERTY COMBER IS GETARATE IN WEITING CARELINTS AG LEASE JUITS SHALL BE VERIFIED IN WITHING PRIOR TO STARTING CONSTRUCTION. AGREEMENTS TO WORK IN THESE AREAS IS BY OTHERS NOT POTESTA & ME AC ASSOCIATES.

CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFICATION OF ALL GOVERNING AGENCIES THAT REQUIRE SITE 10. CONTRACTOR SHALL BE RESPONSIBLE FOR NOTHIGATION, INSPECTION OF THE WORK AND/OR SIMPLY NOTIFICATION,

11. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DANAGE TO EXISTING PROPERTY RESULTING FROM THE CONSTRUCTION ACTIVITIES, INCLUDING BUT NOT LIMITED TO PAVEMENT, FINISHED GRADES, LANDSCAPING, BUILDINGS, SUMYEY MARKERS, ETC.

12. CONTRACTOR SHALL FURNISH, INSTALL AND MAINTAIN ALL REQUIRED TRAFFIC CONTROL DEVICES IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES OR GOVERNING LOCAL AGENCY AS REQUIRED.

13. CONTRACTOR SHALL PERFORM GRADING AND FINISH GRADE THE SITE IN SMOOTH AND CONTINUOUS SLOPES, REMOVE EXCESS EXCAVATION FROM THE SITE, AND PROVIDE CLEAN ENGINEERED BACKFILL WHERE INSEEDE FROM OFF SITE.

14. CONTRACTOR SHALL AT THE COMPLETION OF WORK REMOVE ALL DEBRIS FROM THE SITE AND AREAS DISTURGED, PERFORM FINAL GRADING, AND SEED AND MULCH ALL AREAS DISTURGED (WHERE APPLICABLE).

15. CONTRACTOR SHALL RETURN ALL DISTURBED AREAS WITHIN EXISTING GRAVEL COMPOUND BACK TO ITS ORIGINAL CONDITION UTILIZING MATERIALS OF LIKE KIND AND CHARACTER AS REMOVED.

15. F THE SITE INCLUDES AN EXISTING COMPOUND, THE CONTRACTOR SHALL MAINTAIN THE INTEGRITY AND ID, F WE SIE WICLIDES AN EXBING COMPUND, HE CONTACTOR SHALL MANTAN THE INTEGRITY AND SECURITY OF THE OSTING GRAVEL COMPOUND AND SHALL RESTORE THE COMPONED TO IT'S GRIGHNEL CONDITION UPONE COMPETION OF CONSTRUCTION ACTIVITES. F THERE IS A SCOTEXTILE FABRIC PRESENT BELO ME EXISTING GRAVEL COMPOUND IN THE CONTRACTOR SHALL PROVADE A PATCH TO THE FABRIC IN ANY LOCATION WEEKEI IS GROXPL, CUT OF TORM. THE PATCH SHALL FOR OUTS OF MATCHING OR APPROVED EQUAL FABRIC TO THAT MINET IS DANAGED AND SHALL EXTEND ONE (1) FOOT BETWINE OR APPROVED EQUAL FABRIC TO THAT MINET IS DANAGED AND SHALL EXTEND ONE (1) FOOT BETWIND THE BREAK IN ALL DRECTORIS.

12. CONTRACTOR SHALL BE RESPONSIBLE FOR ATTACHING OR SECURING ANY ACCESSORY OR LOOSE ITEMS THAT ARE SHIPPED WITH THE RADIO EQUIPMENT, LE. THE DOWN PLATES, ETC., AND SHALL INCLUDE THIS WORK IN THE INSTALLATION PORTRON OF THE BIN

#### 18. RADIO EQUIPMENT:

CONTRACTOR SHALL PRONDE ALL USOR. EQUIPART, AND MATERIAL FOR THE PROPER LETING AND SETTING OF THE RADIO COMPLEMENT FROM THE TRANSFORT TRUCK EDID TO THE FORAL POSTING OF THE CONCERT FOUNDATION. THE EQUIPAENT SHALL BE LIFTED INTO PLACE BY USING A MINIMUM OF FOUR (4) NYLON LIFTING STRADE. EACH STRAP SHALL BE RATED AT 8.0000 EACH.

#### 19. TOWER ANALYSIS

EXISTING TOWER AND FOUNDATION ANALYSS ARE BY OTHERS NOT POTESTA & ASSOCIATES, INC. THE CONTRACTOR SYALL OBTAIN AND BECOME FAMILIAR WITH THIS DOCUMENT AND VERIFY COAX ROUTING AND ALL MOUNT ELEVATIONS.

20. AMERICAN CELLULAR SHALL FURNISH ANTENNAS FRAMES, ANTENNAS AND COAX CABLES. CONTRACTOR SHALL INSTALL.

21. CONTRACTOR MATERIAL DELIVERIES:

CONTRACTOR SHALL COORDINATE WITH OWNER (SHARED SITES) ON DELIVERES OF ALL EQUIPMENT & MATERIAL Furmised by owner, contractor Shall be responsible for pickup of equipment & Material, From Univers Faculties and Deliver to Site. Multiple visits and be required for analysis of Badid Equipment - coordinate with owner. Contractor Shall Schedule with Owner Not Less Than 24 Hours II, Acutories.



DATE

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MONTICELLO NORTH 1080 OLD HWY 90 MONTICELLO, KY 42633

DAIT BLD 06/27/06 DRUNH SAB 06/27/06 DBS 06/27/06 DATE

JOH NO.

06-0035-014

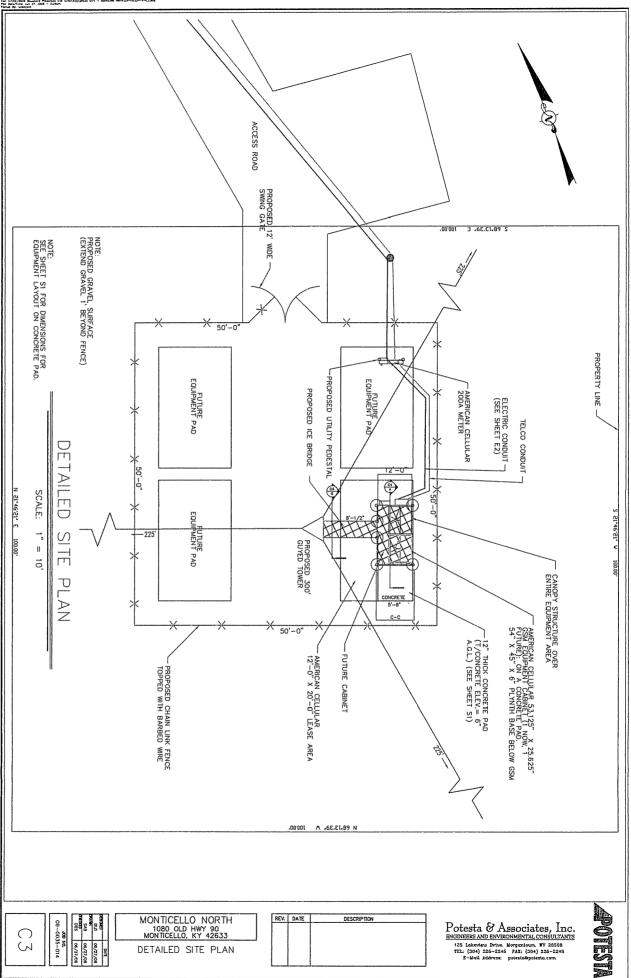
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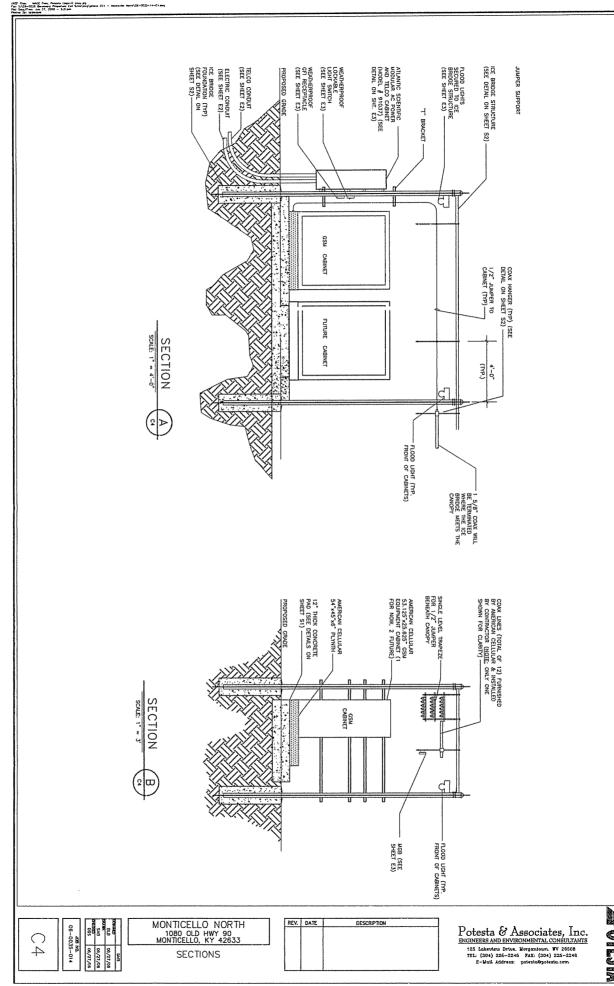
PLAN NOTES

OVERALL SITE AND GENERAL N

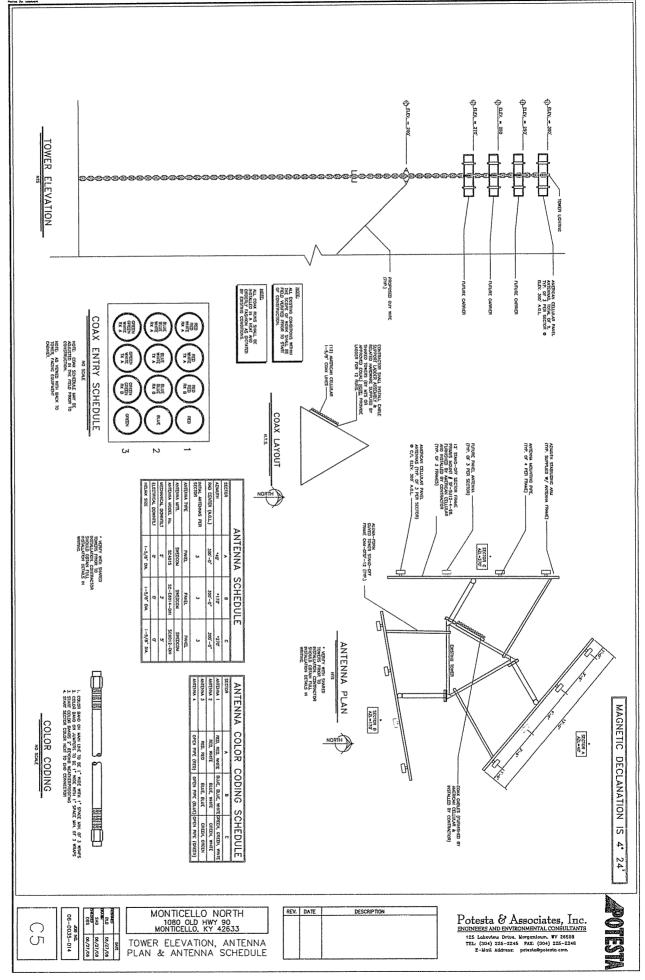
**APOTESTA** 

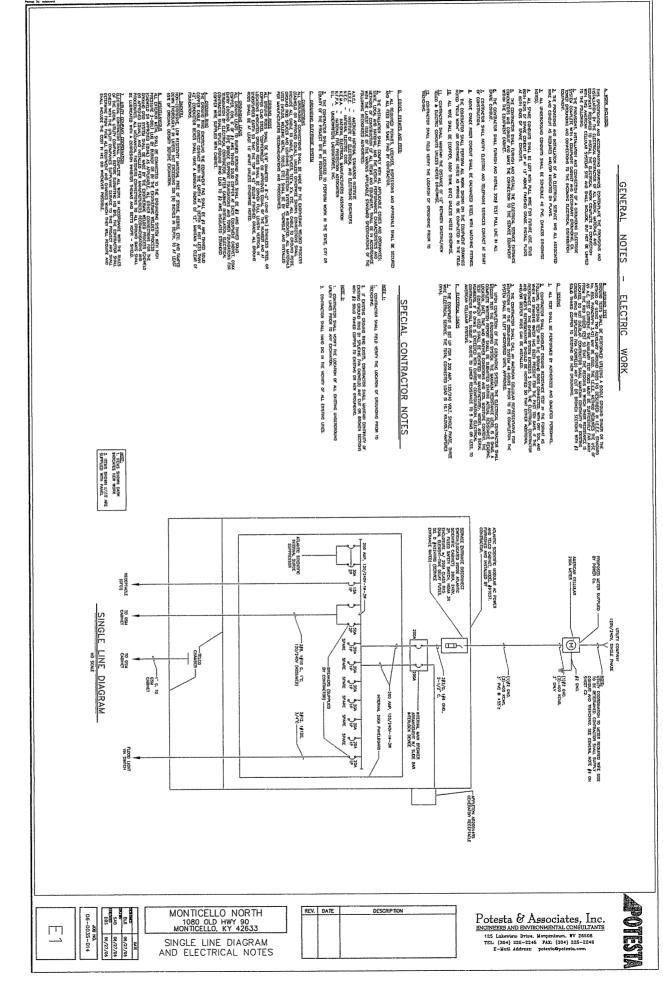


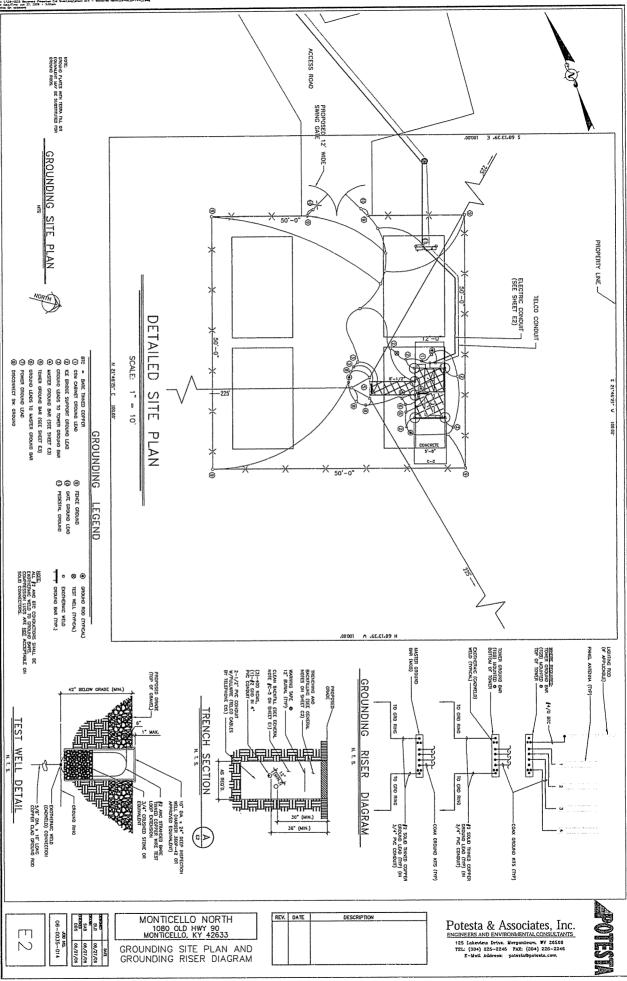


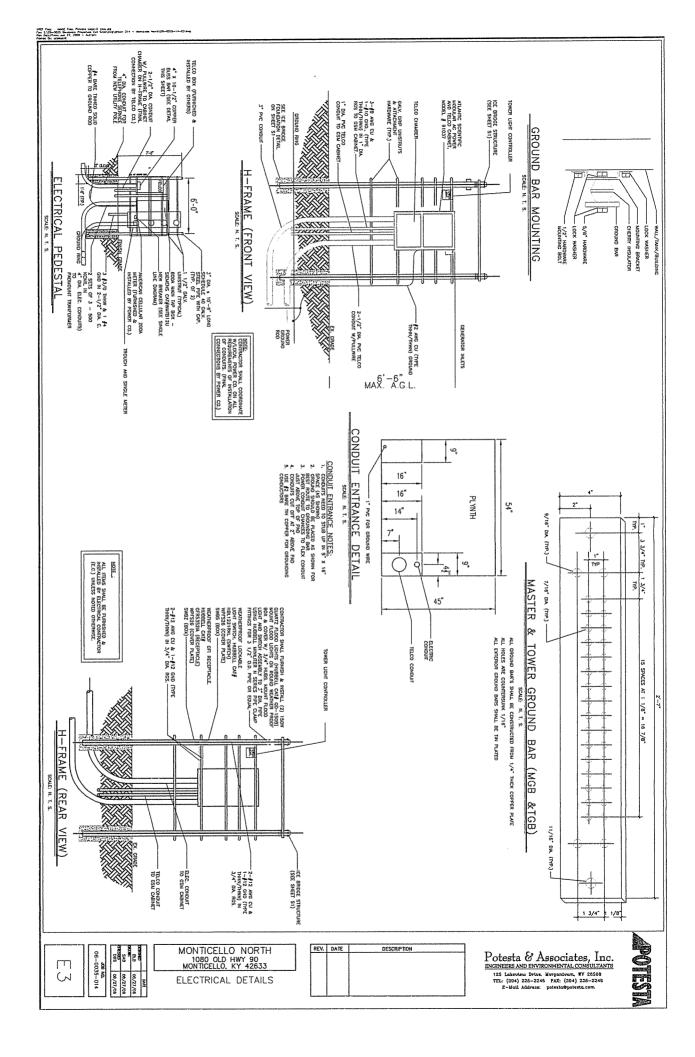


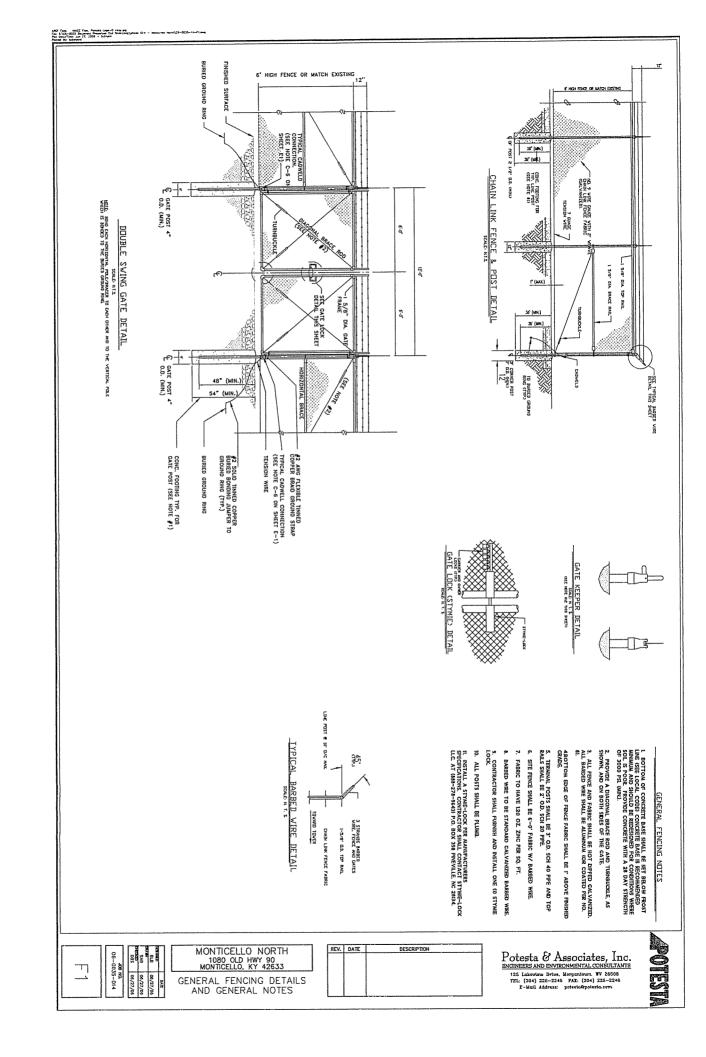
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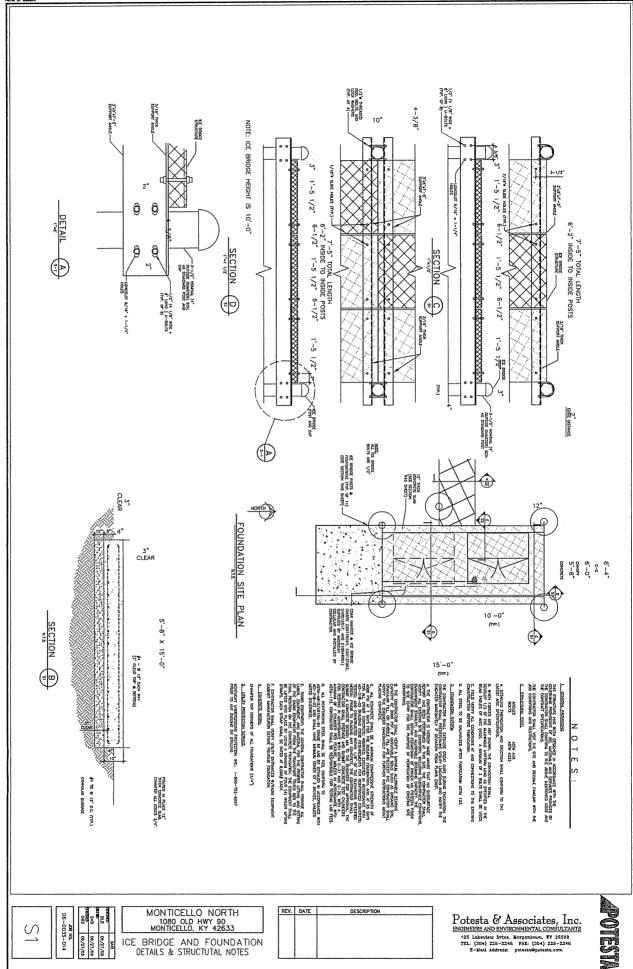












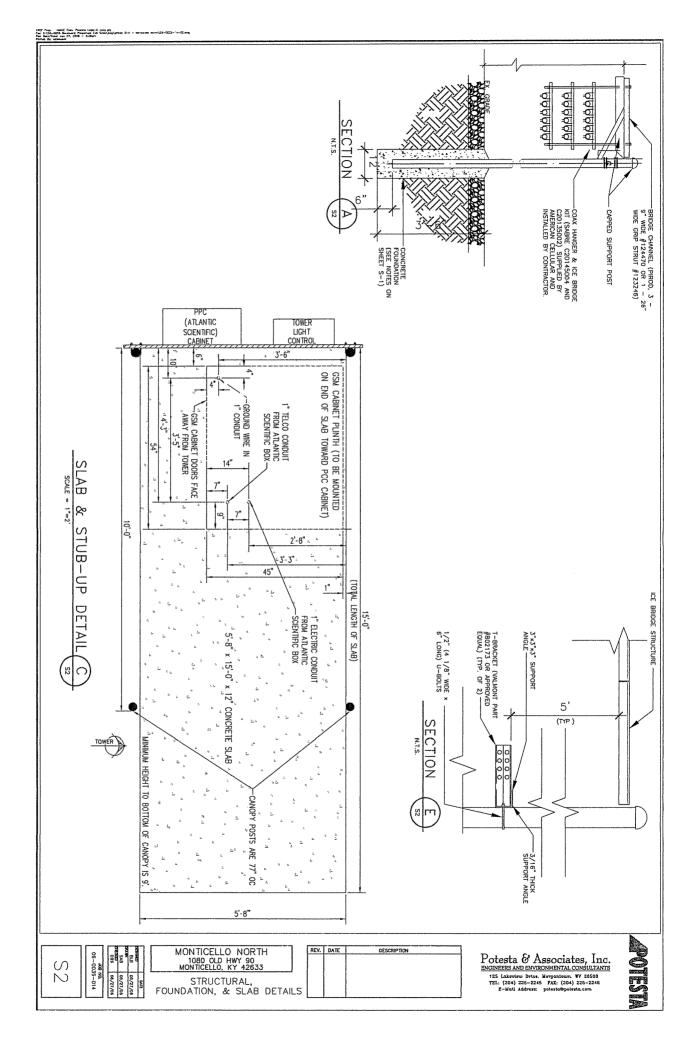


EXHIBIT F

COMPETING UTILITIES, CORPORATIONS, OR PERSONS LIST

# COMPETING UTILITIES, CORPORATIONS, OR PERSONS LIST:

- American Towers
- Crown Communications
- SBA
- Verizon
- Cingular/AT&T
- Nextel
- T-Mobil
- Sprint
- Bluegrass Cellular
- Ramcell Cellular

4

EXHIBIT G

**COLLOCATION REPORT** 

CellularONE

# 124 S. Keeneland Drive Richmond, KY 40475

859-544-4802 859-544-5858 FAX

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# **MONTICELLO NORTH**

Discussion of site need and configuration

Currently, Cellularone's coverage along KY-90 and the business district growing west of KY-1275 along that route is not sufficient to provide solid service, especially in the commercial buildings there. The closest site south of Monticello is blocked by terrain known as Buster Hill. The distance, coupled with local terrain, blocks any meaningful signal from reaching the area.

The proposed site fills in the coverage problems noted above providing continuous service along KY-90 from west of our existing site near Frazer to near where KY-90 meets West Main Street from Monticello. The height is limited by FAA regulation in this area due to the Wayne County Airport.

Sincerely,

W. Eric Broviak Regional Rf Engineering Manager

# Cellular One

# 124 S. Keeneland Drive Richmond, KY 40475

859-544-4802 859-544-5858 FAX

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April 11, 2006

To Whom it may Concern:

In regard to the proposed cellular communications site known as Monticello North, KY, this letter will seek to explain co-location issues.

To be able to serve the area, a structure in the realm of 250 ft. above ground level will be required. According to a survey by our site acquisition team, there simply are no tall structures in the area. Therefore, while it is the policy of American Cellular to pursue co-location opportunities wherever possible, there are no opportunities in this area. Thus, the construction of a new tower is the only alternative open to American Cellular.

Sincerely,

W. Eric Broviak Regional Rf Engineering Manager EXHIBIT H

APPLICATION TO FAA

# Notice of Proposed Construction or Alteration (7460-1)

Project Name: SHA	RE-000042177-06	Sponsor:	Shared Si	tes, L.L.C.
	Details for Cas	e : Monticello	N. 2C	
	Show Pro	oject Summary		
Case Status		Data		06/07/2006
ASN: 2006-ASO-	3447-OE		Accepted: Determined:	06/07/2006
Status: Accepted		Letter		None
Construction / Alterat Notice Of:	tion Information Construction		ture Summa ture Name:	-
Duration:	Permanent	Struct	ure Type:	Antenna Tower
if Temporary	:Months: Days:		Other	ри в 1
Work Schedule - Start:	08/01/2006	FCC N	umber:	
Work Schedule - End:	12/31/2006	Prior	ASN:	2006-ASO-764-OE
State Filing:				
Structure Details Latitude:	36° 51' 41.28" N			q Freq Unit ERP ERP Unit
Longitude:	84° 49' 32.88'' W		806 82 824 84	9 MHz 500 W
Horizontal Datum:	NAD83		851 86 869 89	94 MHz 500 W
Site Elevation (SE):	990 (nearest foot)		8969090190	
Structure Height (AGL):	199 (nearest foot)		930 93 931 93	
Marking/Lighting:	White-medium intensity		932 932. 935 94	.5 MHz 17 dBW
Othe	r:		940 94 1850 191	1 MHz 3500 W
Nearest City:	Monticello		1930 199	00 MHz 1640 W
Nearest State:	Kentucky		2305 231 2345 236	
Traverseway:	No Traverseway	Snec	fic Frequen	cies
Description of Location: Description of Proposal:	Old Highway 90 Monticello, KY 42633 195' wireless communications tower w/ 4' lightning rod facility located in fenced compound.	-		

Close

EXHIBIT I

APPLICATION TO KENTUCKY AIRPORT ZONING COMMISSION

Kentudig	TC 56-50E (Rev. 02/05
Kentucky Transportation Cabinet, Kentucky Airport Zoning Commission, 200 Mero <b>APPLICATION FOR PERMIT TO CONSTRUCT OR ALTER</b> INSTRUCTIONS INCLUDED	
<ol> <li>APPLICANT Name, Address, Telephone, Fax, etc. Shared Sites, LLC- Kamai Doshi 1390 Chain Bridge Rd #40 Mclean, VA 22101 703-893-0806 (phone) 703-852-7289 (fax)</li> <li>Representative of Applicant Name, Address, Telephone, Fax Boulevard Properties, LLC- Matt Wallack 7383 Utica Blvd Lowville, NY 13367 315-376-3333 (phone)</li> </ol>	9. Latitude:       36       °       51       41       28       °         10. Longitude:       84       °       49       32       88       °         11. Datum:       Image: NAD83       Image: NAD27       Image: Other       Other         12. Nearest Kentucky City:       Monticello       County       Wayne         13. Nearest Kentucky public use or Military airport:
315-376-8139 (fax)	15. Direction from #13 to Structure: <u>WSW</u> 16. Site Elevation (AMSL): 990.00 Feet
3. Application for: 尼 New Construction 尼 Alteration	17. Total Structure Height (AGL):Feet
<ol> <li>4. Duration: Permanent Temporary (Months Days)</li> <li>5. Work Schedule: Start <u>01 Aug 2006</u> End <u>31 Dec 2006</u></li> </ol>	18. Overall Height (#16 + #17) (AMSL):       1,189.00       Feet         19. Previous FAA and/or Kentucky Aeronautical Study Number(s):
6. Type: 편 Antenna Tower 티 Crane 티 Building 티 Power Line 티 Landfill 티 Water Tank 티 Other	19. Previous FAA and/or Kentucky Aeronautical Study Number(s):
7. Marking/Painting and/or Lighting Preferred:	or an Airport layout Drawing with the precise site marked and any certified survey)
ଟ White - Medium Intensity  다 Dual - Red & High Intensity White 디 White - High Intensity  다 Other	Old Highway 90 Monticello, KY 42633
8. FAA Aeronautical Study Number	
21. Description of Proposal: 195' Wireless Communications Tower w/ 4' lightning rod facility located	d within fenced compound.
22. Has a "NOTICE OF CONSTRUCTION OR ALTERATION" (FAA Form 7460- 디No 可Yes, When June 07, 2006	1) been filed with the Federal Aviation Administration?
CERTIFICATION: I hereby certify that all the above statements made by me are true, cr	ompleter and correct to the best of my knowledge and belief.
Matthew J, Wallack Printed Name and Title PENALTIES: Persons failing to comply with Kentucky Revised Statutes (KRS 16 050: Series) are liable for fines and/or imprisonment as set forth in KRS 183.990(3	07 Jun 2006 Date 83.861 through 183.990) and Kentucky Administrative Regulations (602 KAR 3). Non-compliance with Federal Aviation Administration Regulations may result
in further penalties.	
	irman, KAZC 🕅 Administrator, KAZC
디 Approved 디 Disapproved	DaleDale

tc5650

EXHIBIT J

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**GEOTECHNICAL REPORT** 

# SUBSURFACE INVESTIGATION & FOUNDATION RECOMMENDATIONS

# PROPOSED MONTICELLO NORTH 2 CELL TOWER MONTICELLO, KENTUCKY

**Prepared** for:

# SHARED SITES, L.L.C. C/O BOULEVARD PROPERTIES LOWVILLE, NEW YORK

Prepared by:

ALT & WITZIG ENGINEERING, INC. WEST CHESTER, OHIO

**MARCH 23, 2006** 

PROJECT NO. 06CN0072



Alt & Witzig Engineering, Inc. 6205 Schumacher Park Drive - Cincinnati, Ohio 45069 (513) 777-9890 - Fax (513) 777-9070

March 23, 2006

Shared Sites, L.L.C. c/o Boulevard Properties 7383 Utica Blvd. Lowville, New York 13367 ATTN: Mr. Matthew J. Wallack

> RE: Subsurface Investigation & Foundation Recommendations Proposed Monticello North 2 Tower Monticello, Kentucky Alt & Witzig File: 06CN0072

Gentlemen:

In compliance with your request, we have completed a foundation investigation and evaluation for the above referenced project. It is our pleasure to transmit herewith three (3) copies of our report.

# SITE LOCATION:

The site is located in Monticello, Kentucky. Specifically, this site is located at on Old S.R. 90. The general vicinity of the site is shown on the enclosed site location map in the appendix of this report.

The purpose of this subsurface investigation was to determine the various soils profile components, determine the engineering characteristics of the materials encountered, and provide information to be used in preparing foundation designs for the proposed communication tower.

# **Field Services**

The field investigation included reconnaissance of the project site, drilling four (4) soil borings for the tower, performing standard penetration tests, and obtaining soil samples retained in the standard split-spoon sampler. The apparent groundwater level at the boring location was also determined.

The soil borings were performed with a conventional drilling rig equipped with a rotary head. Conventional hollow-stem augers were used to advance the holes. Representative samples were obtained employing split-spoon sampling procedures in accordance with ASTM Procedure D-1586.

During the sampling procedure, standard penetration tests were performed at regular intervals to obtain the standard penetration value of the soil. The standard penetration value is defined as the number of blows of a 140-pound hammer, falling thirty (30) inches, required to advance the split-spoon sampler one (1) foot into the soil. The results of the standard penetration tests indicate the relative density and comparative consistency of the soils, and thereby provide a basis for estimating the relative strength and compressibility of the soil profile components.

#### Laboratory Testing

The types of soils encountered in the borings were visually classified according to the Unified Soil Classification System and are described in detail on the boring logs. Representative samples of the soils encountered in the field were placed in sample jars and are now stored in our laboratory. Unless notified to the contrary, all samples will be disposed of after three (3) months.

### Recommendations for Tower

Information provided by Boulevard Properties indicates that a 240 feet guyed cellular tower will be constructed at this site. It is anticipated that the structural loads of the tower will be supported by a conventional spread footings or drilled pier foundation.

Our borings encountered medium stiff and soft clay and silty clay to a depth of eight (8) to twenty-six (26) feet in the area of the tower. At this depth the borings encountered auger refusal on limestone and dolomite bedrock. A rock core was performed at boring location B-1 in the center of the tower from eleven (11) to twenty-one (21) feet below grade. The rock core indicated limestone to fissured dolomite. Recovery for the core was 47% for the first 5 feet and 22% for the bottom 5 feet. A Rock Quality Designation (RQD) of 0% was noted for both cores. This qualifies as poor quality bedrock.

The following soil parameters can be used to design a shallow foundation. Due to the seasonal variations in moisture content and freeze thaw cycles, no skin friction or resistance to passive pressure should be considered above four (4) feet.

		B-1 and	B-4			
Soil Description	Depth Below Existing Grade	Bearing Pressure (psf) SF=3	Dry Density (pcf)	ф	Kp	Coefficient of Friction Against Sliding
Clay	4' – 10'	3,000	110	10°	1.4	0.50
Limestone/Dolomite	10' +	6,000	125	35°	3.7	0.55

		B-2		-		
Soil Description	Depth Below Existing Grade	Bearing Pressure (psf) SF=3	Dry Density (pcf)	ф	Kp	Coefficient of Friction Against Sliding
Clay	4'-26'	2,000	115	20°	2.0	0.50
Limestone/Dolomite	26+'	6,000	125	35°	3.7	0.55

		B-3				
Soil Description	Depth Below Existing Grade	Bearing Pressure (psf) SF=3	Dry Density (pcf)	ф	Kp	Coefficient of Friction Against Sliding
Clay	4'-18'	3,000	115	20°	2.0	0.50
Limestone/Dolomite	18+'	6,000	125	35°	3.7	0.55

The weight of the backfill above the footings will be used to resist uplift forces; therefore, it is recommended that proper compaction techniques be maintained. Using approved granular material, it is recommended that a density of 100% maximum dry density in accordance with ASTM D-698 be achieved above the footings to finished grade.

# Caissons/Drilled Piers

A caisson type foundation system can be used to support this structure. A caisson type foundation is advantageous to use when it is necessary to resist large overturning moments such as those caused by wind loads against the proposed structure. If caissons or drilled piers are used to support the structure, the following design parameters are recommended:

B-1 and B-4											
Depth Below Grade (Feet)	Allowable Skin Friction (psf) SF=2	Design End Bearing Pressure SF=3	Cohesion (Psf)								
From ground surface to a depth of 4 feet below grade.	Negligible		Negligible								
From 4 feet to 10 feet below grade.	500	3,000	500								
At 9 feet below grade	1,000	6,000	1,000								

Caissons should be no less than 30 inches in diameter.

	B-2							
Depth Below Grade (Feet)	Friction (DSL)							
From ground surface to a depth of 4 feet below grade.	Negligible		Negligible					
From 4 feet to 26 feet below grade.	300	2,000	250					
At 26 feet below grade.	1,000	6,000	1,000					

	B-3		
Depth Below Grade (Feet)	Allowable Skin Friction (psf) SF=2	Design End Bearing Pressure SF=3	Cohesion (Psf)
From ground surface to a depth of 4 feet below grade.	Negligible		Negligible
From 4 feet to 18 feet below grade.	500	3,000	500
At 18 feet below grade.	1,000	6,000	1,000

All borings indicated dry conditions during and upon completion of operations. Concrete should not be dropped greater than five (5) feet through reinforcement steel. If caisson diameters do not allow for adequate fall distance from the reinforcement cage, a tremmie pipe would be required.

Our knowledge of this area indicates that rock shelves may be present at this site. Also, limestone floaters may be interbedded within the overburden clays above the sound rock layer. Therefore, prior to placement of concrete, all foundations placed on sound rock must be inspected by a representative of the soil engineer. This inspection is necessary to assure that each drilled pier designed to bear on sound rock, has extended below all floaters and into the sound limestone layer.

To substantiate the soundness of limestone, it is recommended that probe holes be drilled by the contractor in the base of each caisson. It is suggested that these holes be drilled to a minimum depth of five (5) feet below the base of each foundation. A representative of the soils engineer should use an L-shaped feeler probe to inspect these holes for clay seams, solution cavities, or other voids.

If any soft clay seams or voids are encountered, the caissons should be extended below these unsuitable materials. If clay filled vertical joints or other solution features are encountered, a soils engineer should inspect the rock conditions to determine what measure be required.

Often, because of design and construction details that occur on a project, questions rise concerning the soil conditions. If we can give further service in these matters, please contact us at your convenience.

Respectfully Submitted,

ALT & WITZIG ENGINEERING, INC.

Rhuf Smith

Robert Smith, P.E. Project Engineer

BL

Patrick A. Knoll, P.E.

APPENDIX

# Boring Location Plan **Monticello North 2 Tower** Monticello, Kentucky 00/11/ Proposed Access Drive approx 830' 100' x 100' Lease Area Tower Center B.4 N36° 51' 41.28" hea W84° 49' 32.88" (8300 Guy Anchor (typ of three) Not To Scale 06CN0072



Alt & Witzig Engineering, Inc.

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CLIENT     Boulevard Properties       PROJECT NAME     Monticello North 2 Cell Tower       LOCATION     Monticello, Kentucky												Boring Alt & V		ile No.	B-4 06CN0072
D	ate Completed	3/17									n Test, N -	Compressive	strometer		
	STRATA ELEV.		SOIL CLASSIFICATION		Depth Scale	Strata Depth	Sample No.	Sample Type	Sampler Graphics	Ground Water	Standard Penetration Test, N Blows/foot	Qu - tsf Unconfined Compressive Strength	Pp - tsf Pocket Penetrometer	Moisture Content %	arks
			<b>-</b>		Depth	Strata	Samp	Samp	Samp	Groun	Stand Blows	Qu - ti Streng	Pp - ts	Moist	Remarks
Ē			0.0-7" Topsoil					SS	H		5		2.3	34.5	
			7"-8.0 Red Clay Trace Roots and Dolomitized	F	5		1								
			Limestone Fragments	E			2	SS	X		14		2.5	33.8	
			8.0-9 8 Limestone	-		8.0 9.8	3	SS	М		49				
			Auger Refusal at 9.8 feet	-	10		4	SS	Ø		50/3"				
				F											
				F											
				-											
				E											
Ħ				-											
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				-	1										
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				-											
E	Boring Me	thod													Sample Type
C D	SA - Hollow Ste FA - Continuou C - Driving Cas D - Mud Drilling		At 0 Afte	OUNE Comple er iter on	etion hou	<u>Dry</u> rs	2	ft. ft.	ft.			S C R	S - Driven Spilt Spoon T - Pressed Shelby Tube A - Continuous Flight Auger C - Rock Core U - Cuttings		

Water on Rods Dry C - Boring Caved Depth

Page 1 of 1



Alt & Witzig Engineering, Inc.

CLIENT		-							Boring			B-3		
PROJECT NAI	the second se	icello North 2 Cell Tower icello, Kentucky		-							Alt & V	Vitzig F	ile No.	06CN0072
LOCATION	Monta	iceno, reindoxy		-										
	DRILLING a	and SAMPLING INFORMATION	гт	<del></del>			·				r			
Date Started	3/16/2006	Hammer Wt. 140 lbs.												
Date Completed	3/16/2006	Hammer Drop 30 in.									sive			
Boring Method	HSA	Spoon Sampler OD 2_ in.								Standard Penetration Test, N Blows/foot	Qu - tsf Unconfined Compressive Strength	Pp - tsf Pocket Penetrometer	ም	
STRATA ELEV.		SOIL CLASSIFICATION		cale	epth	No.	Type	Graphics	Water	d Penetrati ot	Unconfine	Pocket Per	Moisture Content %	ş
		SURFACE ELEVATION		Depth Scale	Strata Depth	Sample No.	Sample Type	Sampler Graph	Ground Water	Standar Blows/fo	Qu - tsf Strength	Pp - tsf I	Moisture	Remarks
		0.0-6" Topsoil	1											
			F			1	SS	M		9		3.5	33.1	
		6"-9.5 Red Clay with Brown Silt Pocket	E	5		-	ss	A		44		4.3	32.0	
			-			2	55	А		11		4.3	52.0	
-			F			3	SS	Ø		12	3.9	3.0	30.7	
		9.5-10.5 Dolomitized Limestone		10	9.5 10.5	4	SS	Н		26		0.8	37.3	
					10.0	-	33	Щ		20		0.0	07.0	
			F			5	SS	M		12			55.6	
	10.5	-17.5 Red Moist Silty Clay with Dolomitized Limestone Fragments	E	15		6	ss	Н		5			46.4	
			F					А		Ŭ			10.1	
		17.5-18.0 Dolomitized Limestone	7		18.0	7	SS	Ø		50/4"			20.2	
		Auger Refusal at 18.0 feet	Ē											
			E											
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<b>-</b>			Ē											
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Boring Mel HSA - Hollow Ste CFA - Continuous DC - Driving Casi MD - Mud Drilling	m Augers s Flight Auger ng		V V 0	At C Afte Wa	DUNE Comple er ter on Borin	hou Rods	<u>Dry</u> rs <u>Dry</u>		ft. ft	ft.	Ave	ingenerge vige annead	S C R	<u>Sample Type</u> S - Driven Split Spoon T - Pressed Shelby Tube A - Continuous Flight Auger C - Rock Core U - Cuttings



# Alt & Witzig Engineering, Inc.

CLIENT PROJECT NAI LOCATION	Boulevard Properties ME Monticello North 2 Cell Tower Monticello, Kentucky									Boring Alt & V		ile No.	B-2 06CN0072
Date Completed	DRILLING and SAMPLING INFORMATION 3/16/2006 Hammer Wt. 140 lbs. 3/16/2006 Hammer Drop 30 in. HSA Spoon Sampler OD 2 in. SOIL CLASSIFICATION SURFACE ELEVATION		Depth Scale	Strata Depth	Sample No.	Sample Type	Sampler Graphics	Ground Water	Standard Penetration Test, N - Blow <i>si</i> foot	Qu - tsf Unconfined Compressive Strength	Pp - tsf Pocket Penetrometer	Moisture Content %	Remarks
		$\downarrow$	Depth	Strats	Samp	Samp	Sam	Grou	Stand Blows	Qu - I Stren	Pp - t	Moist	Ren
	0.0-11" Topsoil 11"-4.5 Brown Clay			4.5	1	SS	X		4		1.0	23.9	
	4.5-7.5 Red Moist Clay		5	4.5 7.5	2	SS			4		0.3	21.7	
	7.5-14.5 Red Clay		10		3	SS	Ê		12	6.5	4.5 4.5+	33.6 28.8	
	14.5-26.0 Moist Red Silty Clay and Dolomitized Limestone Fragments and Brown Sand Seam		20	14-5	5 6 7 8 9	ss ss ss ss			3 4 4 5 6		0.3	<ul> <li>31.2</li> <li>35.3</li> <li>32.6</li> <li>32.1</li> <li>51.1</li> </ul>	
	Terminated at 26 feet			26.0									
Boring Me HSA - Hollow Ste CFA - Continuou DC - Driving Cas MD - Mud Drilling	em Augers Is Flight Auger Jing			Compl	WA1 etion hou	Dry		ft.	ft.			5	Sample Type SS - Driven Split Spoon ST - Pressed Shelby Tube CA - Continuous Flight Auger CC - Rock Core

CU - Cuttings

O Water on Rods <u>Dry</u> ft. C - Boring Caved Depth



# Alt & Witzig Engineering, Inc.

CLIENT         Boulevard Properties           PROJECT NAME         Monticello North 2 Cell Tower           LOCATION         Monticello, Kentucky													Boring Alt & V		ile No.	B-1 06CN0072
			ILLING and SAMPLING INFORMATION	1	1	·		T						]		
	ate Started			bs.												
	ate Completed			n.								ż	ssive	5		
BC	oring Method	<u> </u>	ASpoon Sampler OD 2 in	l.								Standard Penetration Test, N Blows/foot	Qu - tsf Unconfined Compressive Strength	Pp - tsf Pocket Penetrometer	%	
	STRATA ELEV.		SOIL CLASSIFICATION			cale	epth	No.	Type	Graphics	Water	d Penetral of	Unconfine	<sup>3</sup> ocket Pe	Moisture Content %	ŝ
			SURFACE ELEVATION			Depth Scale	Strata Depth	Sample No.	Sample Type	Sampler Graph	Ground Water	Standard Blows/fo	Qu - tsf I Strength	Pp - tsf F	Moisture	Remarks
			0.0-6" Topsoil		$\vdash$											
E					E			1	ss	X		10	4.8	3.5	24.8	
					F	5				Ľ						
E			6"-10.0 Red Clay		_	ľ		2	SS	Д		13	6.3	4.5+	25.9	
Η					$\vdash$			3	ss	H		12		4.5	25.2	
H					E					Δ		12		4.5	20.2	
			10.0-11.0 Red Clay with Dolomitized Limes	tone	┝	10	10.0 11.0	4	ss	X		20		1.0	40.0	
					Ē					Π						
Ħ			11.0-16.0 Rock Core #1 Fissured Dolmite and Limestone		$\vdash$											
E			REC = 47%		<b>—</b>											
Ħ			RQD = 0%		+		16.0									
Ħ			16.0-21.0 Rock Core #2		È											
			Fissured Dolmite REC = 22%		-											
Ħ			RQD = 0%		E	1	21.0									
Ħ			Terminated at 21.0 feet		F											
F					$\vdash$											
E					Ľ											
E					$\vdash$											
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					-											
Boring Method HSA - Hollow Stem Augers						At C	DUND Comple r	hou	<u>Dry</u> rs	Y	ft. f		Janu		ST C/ R(	Sample Type 5 - Driven Split Spoon 7 - Pressed Shelby Tube A - Continuous Flight Auger C - Rock Core J - Cuttings
								g Cav								-

# **GENERAL NOTES**

#### SAMPLE IDENTIFICATION

The Unified Soil Classification System is used to identify the soil unless otherwise noted.

# SOIL PROPERTY SYMBOLS

- N: Standard "N" penetration: Blows per foot of a 140 pound hammer falling 30 inches on a 2 inch O.D. split-spoon.
- Qu: Unconfined compressive strength, TSF
- Penetrometer value, unconfined compressive strength, TSF Qp:
- Mc: Water content, %
- LL: Liquid limit, %
- PL: Plastic limit, %
- Dd: Natural dry density, PCF
- : Apparent groundwater level at time noted after completion

### DRILLING AND SAMPLING SYMBOLS

- SS: Split-spoon - 1 3/8" I.D., 2" O.D., except where noted
- ST: Shelby tube - 3" O.D., except where noted
- AU: Auger sample
- Diamond bit DB:
- CB: Carbide bit
- WS: Washed sample

# RELATIVE DENSITY AND CONSISTENCY CLASSIFICATION

### TERM (NON-COHESIVE SOILS)

### **BLOWS PER FOOT**

Very loose	0 - 4
Loose	5 - 10
Firm	11 - 30
Dense	31 - 50
Very Dense	Over 50

### **TERM (COHESIVE SOILS)**

Soft

Stiff

Qu (TSF)

Very soft Medium Very Stiff Hard

0 - 0.25 0.25 - 0.50 0.50 - 1.00 1.00 ~ 2.00 2.00 - 4.00 4.00+

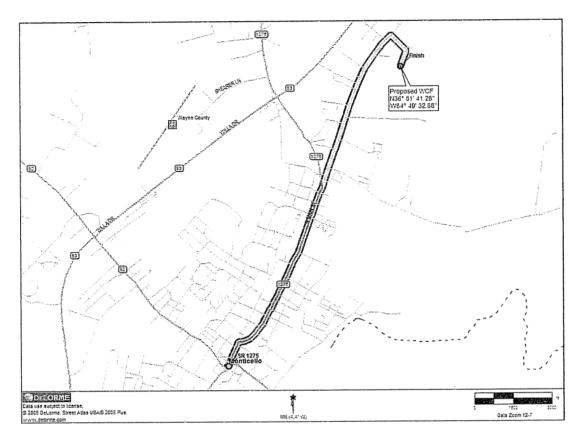
#### PARTICLE SIZE

Boulders	8 in.(+)	Coarse Sand	5 mm-0.6 mm	Silt	0.075 mm - 0.005 mm
Cobbles	8 in 3 in.	Medium Sand	0.6mm-0.2 mm	Clay	0.005mm(-)
Gravel	3 in 5 mm	Fine Sand	0.2mm-0.075 mm		

EXHIBIT K

DIRECTIONS TO WCF SITE

# WCF LOCATION MAP



# DIRECTIONS TO WCF FROM COUNTY SEAT

From the Wayne County Court House proceed north on Rt. 1275 approximately 1.3 miles. Turn right on Rt. 3106 (Old Highway 90) and proceed approximately 1.2 miles. Site access drive is on the right.

These directions were prepared by:

David B. Jantzi Boulevard Properties 7383 Utica Boulevard Lowville, NY 13367 (315) 523-6258 EXHIBIT L

COPY OF REAL ESTATE AGREEMENT

# SITE LEASE AGREEMENT

County: <u>Wayne</u> City: <u>Monticello</u> Site Name: <u>Monticello North</u> Site I. D.: \_\_\_\_\_ Latitude: <u>36° 51' 41.28"</u> Longitude: <u>84° 49' 32.88"</u> Site Address: <u>Old Highway 90, Monticello, KY 42633</u>

1. **Premises and Use.** In consideration of the expenditures and efforts of Tenant to develop and use the premises described below, the undersigned (jointly and severally, the "Owner") hereby leases to Shared Sites, LLC, a West Virginia limited liability company ("Tenant"), or its permitted assignee, the site described below:

The exclusive right to use and occupy real property, approximately 10,000 square feet of land, as approximately described and shown on Exhibit A, together with non-exclusive easements (a) to a public right of way, for reasonable access, (b) to the appropriate sources of electric and telephone facilities as determined by Tenant, (c) for placement of any supporting guy wires as reasonably determined by Tenant per good engineering practices and (d) to meet fall-zone or set back requirements (collectively, the "Site"). The Site will be used for installing, maintaining and/or operating, a wireless communications and broadcast facility, including, without limitation, antenna towers or poles, guy wires, foundations, utility lines, equipment shelters, ice bridges, radio equipment, antennas, security alarms, cameras, lights, and supporting equipment thereto (collectively, the "Facility"), or for any other use permitted by applicable law. Title to the Facility shall be held by Tenant and the Facility shall remain Tenant's personal property and in no event shall be construed as fixtures.

- 2. Term. The term of this Agreement (the "Initial Term") is five (5) years, starting on the date Tenant signs this Agreement. This Agreement will be automatically renewed for ten (10) additional terms (each a "Renewal Term") of five years each with a \$\frac{10}{2}\$% increase in rent at each renewal, unless Tenant provides Owner notice of intention not to renew 90 days prior to the expiration of any term.
- 3. Rent. Beginning with the date upon which the construction of the Facility is completed, rent will be paid quarterly, on the first day of each calendar quarter, at the rate of **\$** per quarter, partial months to be prorated.
- 4. Title, Quiet Possession, and Access. Owner represents and agrees (a) that it is the owner of the Site pursuant to the instrument set forth on Exhibit A; (b) that the Site is free from all encumbrances except as set forth on Exhibit A. (c) that it has the right to enter into this Agreement; (d) that the person signing this Agreement has the authority to sign; (e) that Tenant, its employees, agents, subcontractors, clients, and invitees are entitled to access to the Site at all times and to the quiet possession of the so long as Tenant is not in default beyond the expiration of any cure period; and (f) that Owner will not have unsupervised access to the Site or to the related Facility. Owner further represents, agrees and covenants that during the Initial Term and Renewal Terms of this Agreement Owner will not use, or permit others to use, any part of any real property currently owned, or hereafter acquired, by Owner within two (2) miles of the Site for any type of communication or broadcast tower or otherwise provide advice, services for

development of competing properties or release any information about Tenant's business. Owner shall obtain nondisturbance, subordination and attornment agreement from prior lien holders as required by Tenant's title insurance company.

- 5. Assignment/Subletting. Either party may assign or transfer this Agreement with notice to the other party. Upon delivery of such notice the transferor will have no further liability under the Agreement. Tenant shall be allowed to sublet, or otherwise grant use rights to all or any portion of the Site and/or the Facility without the prior written consent of Owner, it being the express intention of Tenant to lease or license antenna, towers, shelters, and related space of the Facility to separate wireless communication carriers and other clients.
- 6. Improvements. Tenant may make such future improvements on or to the Site and Facility as it deems necessary. Owner agrees to cooperate with Tenant with respect to obtaining any required building/zoning approvals for the Site and improvements. Upon termination or expiration of this Agreement, Tenant shall remove the Facility and its other property located upon the Site, excepting the foundation, and will restore the Site to substantially the condition existing at inception of this lease within 365 days of said termination, except for ordinary wear and tear and casualty loss. Tenant shall reimburse Owner any property tax increases directly attributable to Tenant's improvements. Owner shall fully cooperate Tenant in any available administrative or court appeals of such tax increases.
- 7. Compliance with Laws. Owner represents that Owner's property (including the Site), and all improvements located thereon, are in substantial compliance with building, life/safety, disability and other laws, codes and regulations of applicable governmental authorities. Tenant will substantially comply with all applicable laws relating to its possession and use.
- 8. Utilities. Tenant will pay for all utility connections to the Site. Owner will cooperate with Tenant in Tenant's efforts to obtain utilities from the most economical source.
- 9. Termination. Tenant may terminate this Agreement at any time by notice to Owner without further liability, if Tenant does not obtain all permits or other approvals (collectively, "approval") required from any municipal and/or governmental authority or any easements required from any third party to construct/operate the Facility for its intended use, or if any such approval is canceled, expires or is withdrawn or terminated, or if Owner fails to have proper ownership of the Site or authority to enter into this Agreement, or if Tenant, for any other reason, in its sole discretion, determines that it will be unable to use the Site for its intended purpose.
- 10. **Default**. If either party is in default under this Agreement for a period thirty (30) days following receipt of notice from the non-

defaulting party shall have the right to pursue all legal remedies including termination of this Agreement. If a nonmonetary default may not reasonably be cured within a thirty (30) day period, this Agreement may not be terminated if the defaulting party commences action to cure the default within such 30 day period and said default is substantially cured within ninety (90) days of the initial notice of default.

- 11. Indemnity. Owner and Tenant each indemnify the other against and hold the other harmless from any and all costs (including reasonable attorneys' fees) and claims of liability or loss which arise out of the use and/or occupancy of the Site or Facility by the direct actions or culpable omissions of the indemnifying party, its employees, agents or independent contractors. This indemnity does not apply to any claims arising from the sole negligence or intentional misconduct or omission of the party seeking indemnification.
- 12. Hazardous Substances. Owner represents that it has no knowledge of any substance, ground contamination, chemical or waste (collectively, "substance") on the Site that is identified as hazardous, toxic or dangerous in any applicable federal, state or local law or regulation. Tenant will not introduce or use any such substance on the Site in violation of any applicable law. Owner shall indemnify Tenant against and hold it harmless from any and all costs (including reasonable attorneys' fees) and claims of liability or loss which arise out of any occurrence or condition causing the presence of any such substance on the Site that occurred prior to the date of this Agreement or is directly attributable to the Owner's use of adjoining premises during the term of this agreement.
- 13. Waiver of Owner's Lien. (a) Owner waives any lien rights it may have concerning the Facility, which is deemed Tenant's personal property and not fixtures, and Tenant has the right to remove the same at any time without Owner's consent. Owner (i) disclaims any interest, now or in the future, in and to the Facility, as fixtures or otherwise; (ii) agrees that the Facility and the leasehold or other use interest of Tenant or its authorized subTenants or users, shall be exempt from execution, foreclosure, sale, levy, attachment, or distress for

any rent due or to become due. and (iii) agrees to provide any lender of the Tenant with an estoppel statement regarding the above facts, such as the lack of a default hereunder, and any other information or document reasonably requested, such as a non-disturbance, subordination and attornment agreement, within five (5) days of request, and shall upon notice by such lender recognize lender as Tenant or execute a new lease on substantially similar terms with such lender.

- 14. Insurance. Tenant, at its sole cost and expense, shall upon commencement of construction (upon use of mechanical equipment to disturb the land, but not for taking of soil samples or surveys and measurements) procure and maintain bodily injury and property insurance on the Facility with a combined single limit of at least One Million Dollars (\$1,000,000). A certificate of such insurance shall be furnished to Owner within 30 days of written request.
- 15. Miscellaneous. (a) This Agreement applies to and binds the heirs, successors, executors, administrators and assigns of the parties to this Agreement; (b) This Agreement is governed by the laws of the State in which the Site is located; (c) This Agreement (including the Exhibits) constitutes the entire agreement between the parties and supersedes all prior agreements; any amendments to this Agreement must be executed by both parties; (e) If any provision of this Agreement is invalid or unenforceable with respect to any party, the remainder of this Agreement, will not be affected and shall remain valid and enforceable to the extent permitted by law: (f) The prevailing party in any action or proceeding in court is entitled to receive its reasonable attorneys' fees and other reasonable enforcement (or, as applicable, defense) costs and expenses; (g) Owner agrees promptly to execute and deliver to Tenant, simultaneously herewith or forthwith hereafter, a recordable Memorandum of this Agreement in the form of Exhibit B; and (h) All notices are effective, on the third business day after their deposit via certified and postage prepaid mail, or, on the next business day after deposit via overnight delivery, to the address below.

"Owner"

"Owner"

By:	
Name:	Ronnie Turner
Title:	Owner
Date:	02-21-2006
Address:	701 North Main St.
	Monticello, KY 42633
Tax ID:	405-88-7798
Phone:	606-348-6830

Shared Sites, LLC ("Tenant")

Name:<u>David B. Jantzi</u> Site Developer (Subject to Approval) Date:<u>02-21-2006</u>

Kamal Doshi, Manager (Final Approval)

1390 Chain Bridge Road #40 Mclean, VA 22101 Phone: (703)-893-0806

Date:

# EXHIBIT A Site Agreement - Site Description – Permitted Exceptions

Site I.D.:

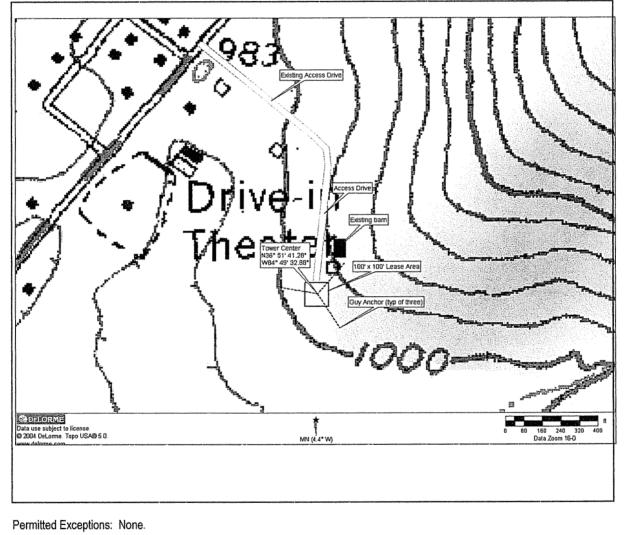
#### Site Name: Monticello North

Site situated in the City/Town of Monticello, County of Wayne, State of Kentucky commonly described as follows:

Legal Description: A portion of the premises located at address: Old highway 90, Monticello, Kentucky 42633

more particularly described in Deed to: Ronnie Turner and Jenice Turner dated May 18th, 2005 and recorded in Wayne County Registry of Deeds at Book 253, Page548. Tax Map 65, Plot 133.01

Sketch of Site:



Owner Initials

Owner Initials

Tenant Initials

**Note:** Owner and Tenant may, at Tenant's option, replace this Exhibit with an exhibit setting forth the legal description of the property on which the Site is located and/or a more detailed survey or drawing depicting the Site.

Prepared by and after recording please return to: Shared Sites, LLC, 1390 Chain Bridge Road #40, McLean, VA 22101

# Tax Map No. <u>65</u>, Plot No. <u>133.01</u> Notice to Clerk: Both Owner and Tenant are to be indexed in the Grantors and Grantees Indices.

### **Memorandum of Site Lease Agreement**

(Exhibit B of the Lease Agreement)

Site Name: Monticello North

Site I.D.:\_\_\_\_

This memorandum evidences that a lease was made and entered into by written Site Lease Agreement dated <u>02-21-2006</u>, between <u>Ronnie Turner and Jenice Turner</u> ("Owner") and Shared Sites, LLC, a West Virginia limited liability company ("Tenant"), the terms and conditions of which are incorporated herein by reference.

Such Agreement provides in part that Owner leases to Tenant a portion of a certain site ("Site") located at <u>Old Highway 90</u>, City of <u>Monticello</u>, County of <u>Wayne</u>, State of <u>Kentucky</u> owned by Owner, as described in Exhibit A attached hereto, with grant of easement for unrestricted rights of access thereto and to electric, telephone and guy wire facilities for an initial term of five (5) years, which term is subject to ten (10) additional five (5) year extension periods by Tenant. IN WITNESS WHEREOF, the parties have executed the Memorandum as of the day and year first above written.

"Owner"

"Owner"

"Tenant" Shared Sites, LLC

By:	
Name:	Ronnie Turner
Title:	Owner
Date:	
Address	:701 North Main Street
	Monticello, KY 42633

Jenice Turner Owner

701 North Main Street Monticello, KY 42633 David B. Jantzi Consultant

1390 Chain Bridge Road #40 McLean, VA 22101

STATE OF		
CITY/COUNTY	OF	,SS

The foregoing instrument was acknowledged before me this \_\_\_\_\_\_ day of \_\_\_\_\_\_\_, 2006, by \_\_\_\_\_\_\_ (Name), \_\_\_\_\_\_ (Title) <u>of Shared</u> \_\_\_\_\_\_\_ Sites, LLC, a West Virginia limited liability company (Tenant) on behalf of the <u>limited liability</u> company.

(AFFIX NOTARIAL SEAL)

NOTARY PUBLIC

My commission expires:\_\_\_\_\_

STATE OF \_\_\_\_\_, ss

(Owner Notary Block for Individuals)

The foregoing instrument was acknowledged before me this \_\_\_\_\_\_ day of \_\_\_\_\_\_, 2006, by \_\_\_\_\_\_ and \_\_\_\_\_ (Name(s) as applicable), each an Owner.

(AFFIX NOTARIAL SEAL)

NOTARY PUBLIC

My commission expires:\_\_\_\_\_

STATE OF \_\_\_\_\_,ss

(Owner Notary Block for Companies)

The foregoing instrument was acknowledged befor	e me this day of
, 2006, by	(Name),
(Title) of	(Owner – Name of Business,
N/A if not applicable) a	(e.g. A West Virginia Corporation, N/A
if not applicable) on behalf of the	(Type of Entity- e.g. Corporation, N/A if
not applicable).	

(AFFIX NOTARIAL SEAL)

NOTARY PUBLIC

My commission expires:

(Tenant Notary Block)

EXHIBIT M

**FLOOD PLAIN CERTIFICATION** 

**McKinney Land Surveying 103 South Reed Street** Columbia KY, 42728

## McKinney Land Surveying

June 7, 2006

To Whom It May Concern:

The "Monticello North" site located in Wayne County, Kentucky {Proposed for lease by Shared Sites L.L.C., for the purpose of erecting a telecommunications tower) is classified as Zone D. This classification is zoning for a nonparticipating community. For more information on this zoning description, please refer to The United States Department of Housing and Urban Authority-Federal Insurance Administration.

Respectfully,

Michael E. McKinney

P.L.S. #3318

STATE OF KENTUCK	Y
MICHAEL E McKINNEY 3318	
LICENSED PROFESSIONAL	0) 

EXHIBIT N

**NOTIFICATION LISTING** 

### **CERTIFICATION OF NOTIFICATION**

- Thomas E. and Bruce Carroll 51 Court St. Monticello, KY 42633
- Bruce and Winna Ramsey
   64 Sloan Drive Monticello, KY 42633
- James Lynn and Sue Jones 1080 Old Highway 90 Monticello, KY 42633
- 4) Ronnie and Jenice Turner 701 North Main Street Monticello, KY 42633
- 5) The Honorable Bruce Ramsey Wayne County Judge Executive PO Box 257 Monticello KY 42633
- 6) Thurston Frye
   City of Monticello Mayor
   Post Office Box 566
   157 S Main St
   Monticello, KY 42633

EXHIBIT O

COPY OF PROPERTY OWNER NOTIFICATION

Tuesday, April 11, 2006

Thomas E. and Bruce Carroll 51 Court Street Monticello, KY 42633

RE: Public Notice – Kentucky Public Service Commission Docket # 2006-00110

Dear Sir or Madam:

Shared Sites, LLC and American Cellular Corporation are making application to the Kentucky Public Service Commission (PSC) for a Certificate of Public Convienence and Necessity to construct and operate a new facility to provide wireless communication services. The facility will include a 195-foot tower with appurtenances attached to a maximum height of 199 feet, and a ground level equipment shelter(s) to be located at 1080 Old Highway 90, Monticello, KY 42633. This notice is being sent to you because you own property within a 500' radius of the proposed tower or have property adjoining the property where the tower is proposed.

The Kentucky Public Service Commission invites your comments regarding the proposed construction. You also have the right to intervene in this matter. Your initial communication to the PSC must be received by the PSC within 20 days of the date of the Postal cancellation on the envelope this letter was received in. Your comments and request for intervention should be addressed to: Executive Director's Office, Public Service Commission of Kentucky, 211 Sower Boulevard, Post Office Box 615, Frankfort, KY 40602-0615. Please refer to Docket No.: 2006-00110 in your correspondence.

Please feel free to contact David Jantzi at 315-376-3333, if you have any questions.

Sincerely, Shared Towers KY, LLC

David B. Jantzi Consultant

Tuesday, April 11, 2006

Bruce and Winna Ramsey 64 Sloan Drive Monticello, KY 42633

RE: Public Notice – Kentucky Public Service Commission Docket # 2006-00110

Dear Sir or Madam:

Shared Sites, LLC and American Cellular Corporation are making application to the Kentucky Public Service Commission (PSC) for a Certificate of Public Convienence and Necessity to construct and operate a new facility to provide wireless communication services. The facility will include a 195-foot tower with appurtenances attached to a maximum height of 199 feet, and a ground level equipment shelter(s) to be located at 1080 Old Highway 90, Monticello, KY 42633. This notice is being sent to you because you own property within a 500' radius of the proposed tower or have property adjoining the property where the tower is proposed.

The Kentucky Public Service Commission invites your comments regarding the proposed construction. You also have the right to intervene in this matter. Your initial communication to the PSC must be received by the PSC within 20 days of the date of the Postal cancellation on the envelope this letter was received in. Your comments and request for intervention should be addressed to: Executive Director's Office, Public Service Commission of Kentucky, 211 Sower Boulevard, Post Office Box 615, Frankfort, KY 40602-0615. Please refer to Docket No.: 2006-00110 in your correspondence.

Please feel free to contact David Jantzi at 315-376-3333, if you have any questions.

Sincerely, Shared Towers KY, LLC

David B. Jantzi Consultant

Tuesday, April 11, 2006

James Lynn and Sue Jones 1080 Old Highway 90 Monticello, KY 42633

RE: Public Notice – Kentucky Public Service Commission Docket # 2006-00110

Dear Sir or Madam:

Shared Sites, LLC and American Cellular Corporation are making application to the Kentucky Public Service Commission (PSC) for a Certificate of Public Convienence and Necessity to construct and operate a new facility to provide wireless communication services. The facility will include a 195-foot tower with appurtenances attached to a maximum height of 199 feet, and a ground level equipment shelter(s) to be located at 1080 Old Highway 90, Monticello, KY 42633. This notice is being sent to you because you own property within a 500' radius of the proposed tower or have property adjoining the property where the tower is proposed.

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Please feel free to contact David Jantzi at 315-376-3333, if you have any questions.

Sincerely, Shared Towers KY, LLC

David B. Jantzi Consultant

Tuesday, April 11, 2006

Ronnie and Jenice Turner 701 North Main Street Monticello, KY 42633

RE: Public Notice – Kentucky Public Service Commission Docket # 2006-00110

Dear Sir or Madam:

Shared Sites, LLC and American Cellular Corporation are making application to the Kentucky Public Service Commission (PSC) for a Certificate of Public Convienence and Necessity to construct and operate a new facility to provide wireless communication services. The facility will include a 195-foot tower with appurtenances attached to a maximum height of 199 feet, and a ground level equipment shelter(s) to be located at 1080 Old Highway 90, Monticello, KY 42633. This notice is being sent to you because you own property within a 500' radius of the proposed tower or have property adjoining the property where the tower is proposed.

The Kentucky Public Service Commission invites your comments regarding the proposed construction. You also have the right to intervene in this matter. Your initial communication to the PSC must be received by the PSC within 20 days of the date of the Postal cancellation on the envelope this letter was received in. Your comments and request for intervention should be addressed to: Executive Director's Office, Public Service Commission of Kentucky, 211 Sower Boulevard, Post Office Box 615, Frankfort, KY 40602-0615. Please refer to Docket No.: 2006-00110 in your correspondence.

Please feel free to contact David Jantzi at 315-376-3333, if you have any questions.

Sincerely, Shared Towers KY, LLC

David B. Jantzi Consultant

EXHIBIT P

COPY OF JUDGE EXECUTIVE NOTICE

Tuesday, April 11, 2006

The Honorable Bruce Ramsey Wayne County Judge Executive PO Box 257 Monticello, KY 42633

#### RE: Public Notice – Kentucky Public Service Commission Docket # 2006-00110

Dear Sir or Madam:

Shared Sites, LLC and American Cellular Corporation are making application to the Kentucky Public Service Commission (PSC) for a Certificate of Public Convienence and Necessity to construct and operate a new facility to provide wireless communication services. The facility will include a 195-foot tower with appurtenances attached to a maximum height of 199 feet, and a ground level equipment shelter(s) to be located at 1080 Old Highway 90, Monticello, KY 42633. This notice is being sent to you because you are the Wayne County Judge Executive

The Kentucky Public Service Commission invites your comments regarding the proposed construction. You also have the right to intervene in this matter. Your initial communication to the PSC must be received by the PSC within 20 days of the date of the Postal cancellation on the envelope this letter was received in. Your comments and request for intervention should be addressed to: Executive Director's Office, Public Service Commission of Kentucky, 211 Sower Boulevard, Post Office Box 615, Frankfort, KY 40602-0615. Please refer to Docket No.: 2006-00110 in your correspondence.

Please feel free to contact David Jantzi at 315-376-3333, if you have any questions.

Sincerely, Shared Towers KY, LLC

David B. Jantzi Consultant

Tuesday, April 11, 2006

Thurston Frye City of Monticello Mayor PO Box 566 Monticello, KY 42633

#### RE: Public Notice – Kentucky Public Service Commission Docket # 2006-00110

Dear Sir or Madam:

Shared Sites, LLC and American Cellular Corporation are making application to the Kentucky Public Service Commission (PSC) for a Certificate of Public Convienence and Necessity to construct and operate a new facility to provide wireless communication services. The facility will include a 195-foot tower with appurtenances attached to a maximum height of 199 feet, and a ground level equipment shelter(s) to be located at 1080 Old Highway 90, Monticello, KY 42633. This notice is being sent to you because you are the Mayor of the City of Monticello.

The Kentucky Public Service Commission invites your comments regarding the proposed construction. You also have the right to intervene in this matter. Your initial communication to the PSC must be received by the PSC within 20 days of the date of the Postal cancellation on the envelope this letter was received in. Your comments and request for intervention should be addressed to: Executive Director's Office, Public Service Commission of Kentucky, 211 Sower Boulevard, Post Office Box 615, Frankfort, KY 40602-0615. Please refer to Docket No.: 2006-00110 in your correspondence.

Please feel free to contact David Jantzi at 315-376-3333, if you have any questions.

Sincerely, Shared Towers KY, LLC

David B. Jantzi Consultant EXHIBIT Q

COPY OF POSTING NOTICES

# SHARED SITES, L.L.C PROPOSES TO CONSTRUCT A TELECOMMUNICATIONS TOWER NEAR THIS SITE

### IF YOU HAVE QUESTIONS PLEASE CONTACT

David Jantzi (Shared Sites Representative)Executive Director, Pu1390 Chain Bridge Rd. #40, McLean, VA 22101OR315-523-6258PO Box 615, Frankfor

Executive Director, Public Service Commission 211 Sower Boulevard PO Box 615, Frankfort, KY 40602 Docket# 2006-00110

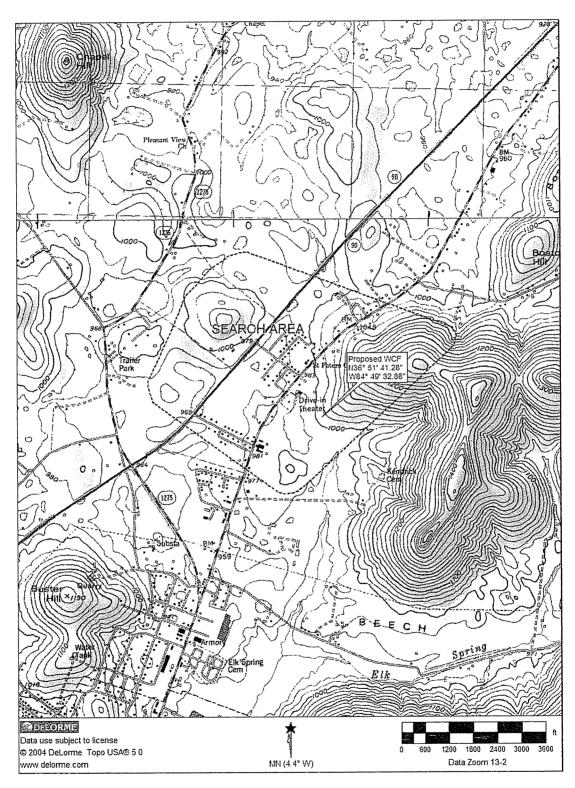
# SHARED SITES, L.L.C PROPOSES TO CONSTRUCT A TELECOMMUNICATIONS TOWER ON THIS SITE

### IF YOU HAVE QUESTIONS PLEASE CONTACT

David Jantzi (Shared Towers Representative)Executive Director, Pu1390 Chain Bridge Rd. #40, McLean, VA 22101OR211 Sower Boulevard315-523-6258PO Box 615, Frankfor

Executive Director, Public Service Commission 211 Sower Boulevard PO Box 615, Frankfort, KY 40602 Docket# 2006-00110 EXHIBIT R

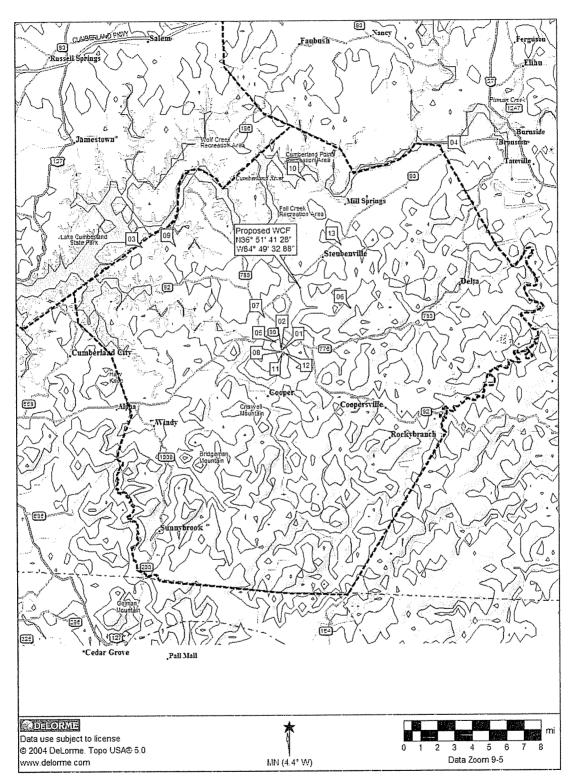
RADIO FREQUENCY DESIGN SEARCH AREA



### RADIO FREQUENCY DESIGN SEARCH AREA

EXHIBIT S

TOWER MAP FOR SUBJECT COUNTY



MAP OF EXISTING TOWERS FOR WAYNE COUNTY

1	1004214	Constructed	A0103300	Cumberland Cellular Partnership	36-48-34.0N 084-50-46.0W	MONTICELLO, KY	200.00
2	1008398	Constructed	A0009993	STAPLES JR, STEPHEN W DBA = WKYM FM	36-48-36.0N 084-50-49.0W	MONTICELLO, KY	200.00
3	1042205	Constructed	A0455314	Global Tower, LLC	36-53-48.0N 084-59-32,0W	PARNELL, KY	420.00
4	1043628	Constructed	A0051337	CELLULAR PHONE OF KENTUCKY, INC. DBA = RAMCELL	36-58-25.0N 084-39-09.0W	BURNSIDE, KY	195.00
5	1043974	Constructed	A0318927	Monticello Wayne County Telecommunications Board	36-48-58.0N 084-51-07.0W	MONTICELLO, KY	200.00
6	1044810	Constructed	A0052862	KY EMERGENCY WARNING SYSTEM KEWS	36-50-40.0N 084-46-27.0W	PARKERS LAKE, KY	275.00
7	1059114	Constructed	A0361877	STAPLES JR, STEPHEN W DBA = WFLW AM	36-50-14.3N 084-51-49.8W	MONTICELLO, KY	185.00
8	1065830	Constructed	A0151378	MONTICELLO WAYNE COUNTY MEDIA INC DBA = WMKZ FM	36-48-29.0N 084-50-46.0W	MONTICELLO, KY	18.00
9	1200492	Constructed	A0134682	Cumberland Cellular Partnership	36-53-50.0N 084-57-27.0W	Monticello, KY	420.00
10	1203422	Constructed	A0455388	Global Tower, LLC	36-57-06.3N 084-49-13.8W	Monticello, KY	300.00
11	1204639	Granted	A0099865	Commercial Communications Co	36-48-25.2N 084-50-44.8W	Monticello, KY	112.00
12	1235686	Granted	A0280520	MONTICELLO, CITY OF	36-48-25.5N 084-50-38.1W	MONTICELLO, KY	178.00
13	1238700	Constructed	A0327782	Hemphill Corporation - 1366	36-53-52.1N 084-47-02.5W	Monticello, KY	320.00