

**COMMONWEALTH OF KENTUCKY**  
**BEFORE THE PUBLIC SERVICE COMMISSION**

RECEIVED

OCT 07 2005

PUBLIC SERVICE  
COMMISSION

**In the Matter of:**

**APPLICATION OF BLUEGRASS WIRELESS LLC  
FOR ISSUANCE OF A CERTIFICATE OF PUBLIC  
CONVENIENCE AND NECESSITY TO CONSTRUCT  
A CELL SITE (SPURLINGTON) IN RURAL SERVICE  
AREA #4 (TAYLOR) OF THE COMMONWEALTH OF  
KENTUCKY**

**CASE NO. 2005-00386**

**APPLICATION FOR A CERTIFICATE  
OF PUBLIC CONVENIENCE AND NECESSITY (SPURLING)**

Bluegrass Wireless LLC (“Bluegrass Wireless”), through counsel, pursuant to KRS 278.020 and 278.040, hereby submits this application for a certificate of public convenience and necessity to construct a cell site to be known as the Spurlington cell site in and for rural service area (“RSA”) #4 of the Commonwealth of Kentucky, namely the counties of Anderson, Green, Hardin, Larue, Marion, Mercer, Nelson, Spencer, Taylor and Washington, Kentucky, Kentucky.

1. As required by 807 KAR 5:001 Sections 8(1) and (3), and 807 KAR 5:063, Bluegrass Wireless states that it is a Kentucky limited liability company whose full name and post office address are: Bluegrass Wireless LLC, 2902 Ring Road, Elizabethtown, Kentucky, 42701.

2. Pursuant to 807 KAR § 1(1)(b), a copy of the applicant’s applications to the Federal Aviation Administration and Kentucky Airport Zoning Commission are Exhibit “A”. Written authorizations from these agencies will be supplied to the Commission upon their approval.

3. Pursuant to 807 KRS 5:063 §1(1)(d), a geotechnical investigation report, signed and sealed by a professional engineer registered in Kentucky, that includes boring logs, foundation design recommendations, and a finding as to the proximity of the proposed site to flood hazard areas, except that the utility may file findings prepared by a land surveyor as to the proximity of the proposed site to flood hazard areas, is Exhibit “B”.

4. Pursuant to 807 KRS 5:063 §1(1)(e), clear directions from the county seat to the proposed site, including highway numbers and street names, if applicable, with the telephone number of the person who prepared the directions are Exhibit “C”.

5. Pursuant to 807 KRS 5:063 §1(1)(f), a copy of the lease (or sale agreement) for the property on which the tower is proposed to be located, is Exhibit “D”.

6. Pursuant to 807 KAR §1(1)(g), experienced personnel will manage and operate the Spurlington cell site. The President of Bluegrass Cellular Inc., Mr. Ron Smith, is ultimately responsible for all construction and operations of the cellular system of Bluegrass Wireless, of which system the Spurlington cell site will be a part. Bluegrass Cellular Inc. provides management services to Bluegrass Wireless under a management contract, just as it does with three (3) other wireless carriers in the Commonwealth. And, Bluegrass Cellular Inc. has been providing these management services to these other wireless carriers for well over a decade. This extensive management experience with Bluegrass Cellular demonstrates that Bluegrass Cellular Inc.'s management and technical ability to supervise the operations of a wireless carrier.

7. Pursuant to 807 KAR §1(1)(g), East Pointe Manufacturing is responsible for the design specifications of the proposed tower (identified in Exhibit “B”).

8. Pursuant to 807 KRS 5:063 §1(1)(h), a site development plan or survey, signed and sealed by a professional engineer registered in Kentucky, that shows the proposed location of the tower and all easements and existing structures within 500 feet of the proposed site on the property on which the tower will be located, and all easements and existing structures within 200 feet of the access drive, including the intersection with the public street system, is Exhibit “B”.

9. Pursuant to 807 KRS 5:063 §1(1)(i), a vertical profile sketch of the tower, signed and sealed by a professional engineer registered in Kentucky, indicating the height of the tower and the placement of all antennas, is Exhibit “B”.

10. Pursuant to 807 KRS 5:063 §1(1)(j), the tower and foundation design plans and a description of the standard according to which the tower was designed, signed and sealed by a professional engineer registered in Kentucky, is Exhibit “B”.

11. Pursuant to 807 KRS 5:063 § 1(1)(k), a map, drawn to a scale no less than one (1) inch equals 200 feet, that identifies every structure and every owner of real estate within 500 feet of the proposed tower, is Exhibit “E”.

12. Pursuant to 807 KRS 5:063 § 1(1)(l), applicant’s legal counsel hereby affirms that every person who owns property within 500 feet of the proposed tower has been: (i) notified by certified mail, return receipt

requested, of the proposed construction; (ii) given the commission docket number under which the application will be processed; and (iii) informed of his right to request intervention.

13. Pursuant to KRS 278.665(2), applicant's legal counsel hereby affirms that every person who, according to the records of the property valuation administrator, owns property contiguous to the property where the proposed cellular antenna tower will be located has been: (i) notified by certified mail, return receipt requested, of the proposed construction; (ii) given the commission docket number under which the application will be processed; and (iii) informed of his right to request intervention.

14. Pursuant to 807 KRS 5:063 §1(1)(m), a list of the property owners who received the notice together with copies of the certified letters sent to listed property owners, is Exhibit "F".

15. Pursuant to 807 KRS 5:063 § 1 (1)(n), applicant's legal counsel hereby affirms that the Taylor County Judge Executive has been: (i) notified by certified mail, return receipt requested, of the proposed construction; (ii) given the commission docket number under which the application will be processed; and (iii) informed of its right to request intervention.

16. Pursuant to 807 KRS 5:063 §1(1)(o), a copy of the notice sent to the Taylor County Judge Executive is Exhibit "G".

17. Pursuant to 807 KRS 5:063 § 1 (1)(p), applicant's legal counsel hereby affirms that (i) two written notices meeting subsection two (2) of this section have been posted, one in a visible location on the proposed site and one on the nearest public road; and (ii) the notices shall remain posted for at least two weeks after the application has been filed.

18. Pursuant to 807 KAR 5:063 § 1 (2)(a), applicant's legal counsel affirms that:

(a) A written notice, of durable material at least two (2) feet by four (4) feet in size, stating that ***"Bluegrass Wireless, LLC proposes to construct a telecommunications tower on this site"***, including the addresses and telephone numbers of the applicant and the Kentucky Public Service Commission, has been posted and shall remain in a visible location on the proposed site until final disposition of the application; and

(b) A written notice, of durable material at least two (2) feet by four (4) feet in size, stating that ***"Bluegrass Wireless, LLC proposes to construct a telecommunications tower near this site"***, including the addresses and telephone numbers of the applicant and the Kentucky Public Service Commission, has been posted on the public road nearest the site.

A copy of each sign is attached as Exhibit "H"

19. Pursuant to 807 KRS 5:063 § 1 (1)(q), applicant's legal counsel hereby affirms that notice of the location of the proposed construction has been published in the Central Kentucky News, which is the newspaper of general circulation in Taylor County, where the construction is proposed.

20. Pursuant to 807 KRS 5:063 § 1(1)(r), the cell site which has been selected is in a relatively undeveloped area in Campbellsville, Kentucky.

21. Pursuant to 807 ICRS 5:063 §1(1)(s), Bluegrass Wireless has considered the likely effects of the installation on nearby land uses and values and has concluded that there is no more suitable location reasonably available from which adequate service to the area can be provided, and that there is no reasonably available opportunity to co-locate, including documentation of attempts to co-locate, if any, with supporting radio frequency analysis, where applicable, and a statement indicating that the utility attempted to co-locate on towers designed to host multiple wireless service providers' facilities or existing structures, such as a telecoinunications tower, or another suitable structure capable of supporting the utility's facilities.

22. Pursuant to 807 KRS 5:063 § 1(1)(t), a map of the area in which the tower is proposed to be located, that is drawn to scale and that clearly depicts the search area in which a site should, pursuant to radio frequency requirements, be located is Exhibit "I".

23. Pursuant to ICRS 100.987(2)(a), a grid map, that is drawn to scale, that shows the location of all existing cellular antenna towers and that indicates the general position of proposed construction sites for new cellular antenna towers is Exhibit "J".

24. No reasonably available telecoinunications tower, or other suitable structure capable of supporting the cellular facilities of Bluegrass Wireless and which would provide adequate service to the area exists.

25. Correspondence and coinunication with regard to this application should be addressed to:

John E. Selent  
1400 PNC Plaza  
500 West Jefferson Street  
Louisville, KY 40202  
(502) 540-2300  
*selent@dinslaw.com*

WHEREFORE, Bluegrass Wireless Partnership requests the Commission to enter an order:

1. Granting a certificate of public convenience and necessity to construct the Spurlington cell site;

and

2<sup>1</sup> Granting all other relief as appropriate.

Respectfully submitted,



---

John E. Selent  
**DINSMORE & SHOHL, LLP**  
1400 PNC Plaza  
500 West Jefferson Street  
Louisville, KY 40202  
(502) 540-2300  
(502) 540-2207  
*john.selent@dinslaw.co*

103462v1  
33597-5



*Spurlington*

**LUKAS, NACE  
GUTIERREZ & SACHS**

CHARTERED

1650 TYSONS BOULEVARD, SUITE 1500  
MCLEAN, VIRGINIA 22102  
703 504 0670 • 703 504 0696 FAX

WWW.FCCLAW.COM

RUSSELL D. LUKAS\*  
DAVID L. NACE\*  
THOMAS GUTIERREZ\*  
ELIZABETH R. SACHS\*  
GEORGE L. LYON, JR.  
PAMELA L. GIST\*  
DAVID A. LAFURIA  
B. LYNN F. RATNAVALE\*\*  
TODD SLAMOWITZ\*  
STEVEN M. CHERNOFF\*

CONSULTING ENGINEERS  
ALI KUZEHKANANI  
LEROY A. ADAM  
LEILA REZANAVAZ  
SUMEET K. BHALOTIA  
-----  
OF COUNSEL  
JOHN J. MCAVOY\*  
J.K. HACE III\*  
LEONARD S. KOLSKY\*  
HON. GERALD S. MCGOWAN\*

\*NOT ADMIRER IN VA

September 9, 2005

**Via Federal Express**

Mr. John Houlihan  
Kentucky Airport Zoning Commission  
200 Mero Street  
Frankfort, Kentucky 40622

Dear Mr. Houlihan:

Enclosed please find two completed TC 56-50 forms, Application for Permit to Construct or Alter a Structure, for a new tower (Spurlington) near Campbellsville, Kentucky. The Structure, including top-mounted cellular antennas will have an overall height of 255 Feet Above Ground Level.

Enclosed Form TC 56-50 and the attached exhibit include all the pertinent information for this existing tower structure. Also enclosed are copies of the completed FAA Form 7460-1 for the proposed site and a non-reduced 7-1/2' U.S. Geological Survey map indicating the exact location of the site.

Please do not hesitate to contact the undersigned if there are questions regarding this matter.

Sincerely,

*Leila Rezanavaz*  
Leila Rezanavaz  
Consulting Engineer

Enclosures

CC: Scott McCloud

(703)584-8668  
FACSIMILE  
(703) 584-8692

Kentucky Transportation Cabinet, Kentucky Airport Zoning Commission, 125 Holmes Street, Frankfort KY 40622

Kentucky Aeronautical Study Number

APPLICATION FOR PERMIT TO CONSTRUCT OR ALTER A STRUCTURE

1. APPLICANT - Name, Address, Telephone, Fax, etc.

Scott McCloud
Bluegrass Cellular
2902 Ring Road
Elizabethtown, KY 42702
Tel: 270-769-0339
Fax: 270-737-0580

2. Representative of Applicant - Name, Address, Telephone, Fax

Leila Rezanavaz
Lukas, Nace, Gutierrez & Sachs, Chartered
1650 Tysons Blvd., Suite 1509
McLean, VA 22102
T: 703-584-8668

3. Application for: [X] New Construction [ ] Alteration [ ] Existing

4. Duration: [X] Permanent [ ] Temporary (Months \_\_\_\_\_ Days \_\_\_\_\_)

5. Work Schedule: Start 9/25/05 End 9/30/05

6. Type: [X] Antenna Tower [ ] Crane [ ] Building [ ] Power Line
[ ] Landfill [ ] Water Tank [ ] Other \_\_\_\_\_

7. Marking/Painting and/or Lighting Preferred:

- [ ] Red Lights and Paint [X] Dual - Red & Medium Intensity White
[ ] White - Medium Intensity [ ] Dual - Red & High Intensity White
[ ] White - High Intensity [ ] Other \_\_\_\_\_

8. FAA Aeronautical Study Number N/A

9. Latitude: 37 ° 25 ' 20 . 06 "

10. Longitude: 85 ° 16 ' 59 . 47 "

11. Datum: [X] NAD 83 [ ] NAD 27 [ ] Other \_\_\_\_\_

12. Nearest Kentucky City Campbellsville County, Taylor

13. Nearest Kentucky public use or Military airport

Taylor County Airport

14. Distance from #13 to Structure: 4.6 miles

15. Direction from #13 to Structure: north

16. Site Elevation (AMSL):

17. Total Structure Height (AGL): 255 Feet

18. Overall Height (#16 + #17) (AMSL): 1349 Feet

19. Previous FAA and/or Kentucky Aeronautical Study Number(s):

N/A

20. Description of Location: (Attach a USGS 75 minute Quadrangle Map or an Airport Layout Drawing with the precise site marked and any certified survey)

Site is located 7.0 miles northeast of Campbellsville, Kentucky,

21. Description of Proposal:

Structure: The tower including top-mounted cellular antennas has an overall height of 255' AGL.

Frequency: Cellular Band B (824-870 MHz)

Max. ERP: 200 Watts

22. Has a "NOTICE OF CONSTRUCTION OR ALTERATION" (FAA Form 7460-1) been filed with the Federal Aviation Administration?

[ ] No

[X] Yes, When 9/9/05

CERTIFICATION: I hereby certify that all the above statements made by me are true, complete and correct to the best of my knowledge and belief

Leila Rezanavaz / Consulting Engineer

Signature: Leila Rezanavaz

Date: 9/2005

Printed Name

PENALTIES: Persons failing to comply with Kentucky Revised Statutes (KRS 183.861 through 183.990) and Kentucky Administrative Regulations (602 KAR 050: Series) are liable for fines and/or imprisonment as set forth in KRS 183.990(3). Non-compliance with Federal Aviation Administration Regulations may result in further penalties.

Commission Action

[ ] Chairman, KAZC

[ ] Administrator, KAZC

[ ] Approved

[ ] Disapproved

Date \_\_\_\_\_



**BLUEGRASS CELLULAR  
2902 Ring Road  
Elizabethtown, KY 42702**

1A Letter

Date: August 28, 2005  
Revision Date: September 6, 2005  
FSTAN Project No: 05-3392

Site Name: **SPURLINGTON**

For Aeronautical Study No.

Location: City **Campbellsville, KY**  
County **Taylor**

U.S.G.S. Quadrangle: **Spurlington, KY**

(NAD 27) LATITUDE **37° 25' 19.82"**  
LONGITUDE **85° 16' 59.61"**

(NAD 83) LATITUDE **37° 25' 20.06"**  
LONGITUDE **85° 16' 59.47"**

SITE ELEVATION (NAVD 88) **1094' ± AMSL**  
PROPOSED TOWER HEIGHT **240' ± FAA AGL**  
TOWER HEIGHT WITH ANTENNA **265' ± FAA AGL**  
OVERALL HEIGHT ELEVATION **1359' ± AMSL**

I Certify, to the best of my knowledge and belief, that the horizontal and vertical datum as established from the referenced U.S.G.S. Quadrangle, is accurate to 1A Reporting requirements of ± 20 feet horizontally and ± 3 vertically.

The horizontal datum (coordinates) are in terms of the North American Datum of 1927 (NAD 27) and 1983 (NAD 83) and expressed as degrees, minutes and seconds.

The vertical datum (heights) are in terms of the National Geodetic Vertical Datum of 1988 and are determined to the nearest foot.

Kentucky State Plane Coordinates (South Zone) were established with Trimble Global Positioning Systems (GPS) receivers. This site has ties to the National Geodetic Reference System established by the National Geodetic Survey, formerly the U.S. Coast & Geodetic Survey by measurements to PID Station "GZ3027", designated as "CAMPPORT".

CONSULTANT



Frank L. Sellinger II, P.L.S. No. 3282  
FSTAN Land Surveyors and Consulting Engineers  
2313/2315 Crittenden Drive, Louisville, Ky. 40217  
Phone: 502-635-5866 Fax: 502-636-5263



# LUKAS, NACE GUTIERREZ & SACHS

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1650 TYSONS BOULEVARD, SUITE 1500

MCLEAN, VIRGINIA 22102

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CONSULTING ENGINEERS  
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OF COUNSEL  
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J.K. HAGE III\*  
LEONARD S. KOLSKY\*  
HON. GERALD S. MCGOWAN\*

\*NOT ADMITTED IN VA

September 9, 2005

(703) 584-8668

**Via Federal Express**

EXPRESS PROCESSING CENTER

Federal Aviation Administration

Southwest Regional Office

Air Traffic Airspace Branch, ASW-520

2601 Meacham Blvd.

Fort Worth, TX 76137-4298

TELECOPIER

(703)584-8692

Dear FAA Evaluator:

Enclosed please find a completed FAA Form 7460-1, Notice of Proposed Construction/Alteration, for a new tower structure (Spurlington) near Campbellsville, Kentucky. The height of the structure, including top-mounted cellular antennas, will be 255 feet Above Ground Level ("AGL").

The enclosed FAA Form 7460-1 and the attached Exhibit include all the pertinent information for the new structure at this site. Geographic coordinates are based on 1A Certification Survey in NAD83. Also enclosed is a non-reduced copy of a portion of the 7-1/2' US Geological Survey map illustrating the location of the proposed cell site. Additionally, the copy of the 1A Certification is enclosed. Please do not hesitate to contact the undersigned if there are questions regarding this matter.

Sincerely,



Leila Rezanavaz

Consulting Engineer

Enclosures

cc: Scott McCloud



Failure To Provide All Requested Information May Delay Processing of Your Notice

FOR FAA USE ONLY  
Aeronautical Study Number

Notice of Proposed Construction or Alteration

1. Sponsor (person, company, etc proposing this action):  
Attn. of Scott McCloud  
Name: Bluegrass Cellular  
Address: 2902 Ring Road  
City: Elizabethtown State: KY Zip: 42702  
Telephone: (270) 769-0339 Fax: (270) 737-0580

9. Latitude: 37<sup>o</sup> 25' 20. 06"  
10. Longitude: 85<sup>o</sup> 16' 59. 47"  
11. Datum:  NAD 83  NAD 27  Other-  
12. Nearest: City Campbellsville State: KY

2. Sponsor's Representative (if other than #1)  
Attn. of: Leila Rezanavaz  
Name: Lukas, Nace, Gutierrez & Sachs, Chartered  
Address: 1650 Tysons BLVD  
Suite 1500  
City: McLean State: VA Zip: 22102  
Telephone: (703) 854-8668 Fax: (703) 584-8692

13. Nearest Public-use (not private-use) or Military Airport or Heliport:  
Taylor County Airport  
14. Distance from #13. to Structure: 4.6 miles  
15. Direction from #13. to Structure: North  
16. Site Elevation (AMSL): 1094 ft.  
17. Total Structure Height (AGL): 255 ft.

3. Notice of:  New Construction  Alteration  Existing  
4. Duration:  Permanent  Temporary ( months, days)  
Work Schedule: Beginning 09/25/2005 End 09/30/2005

18. Overall height (#16. + #17.) (AMSL): 1349 ft.  
19. Previous FAA Aeronautical Study Number (if applicable):  
N/A - OE

6. Type:  Antenna Tower  Crane  Building  Power Line  
 Landfill  Water Tank  Other  
7. Marking/Painting and/or Lighting Preferred:  
 Red Lights and Paint  Dual - Red and Medium Intensity White  
 White - Medium Intensity  Dual - Red and High Intensity White  
 White - High Intensity  Other

20. Description of Location: (Attach a USGS 7.5 minute  
Quadrangle Map with the precise site marked and any certified survey )  
Site is located 7.0 mile northeast of Campbellsville, KY

8. FCC Antenna Structure Registration Number (if applicable):  
N/A

21. Complete Description of Proposal:  
  
The structure including top-mounted Cellular antennas has an overall height of **255'** AGL

Frequency/Power (kW)	
824-870 MHz	0.2

Notice is required by 14 Code of Federal Regulations, part 77 pursuant to 49 U.S.C., Section 44718. Persons who knowingly and willingly violate the notice requirements of part 77 are subject to a civil penalty of \$1,000 per day until the notice is received, pursuant to 49 U.S.C., section 46301 (a).  
I hereby certify that all of the above statements made by me are true, complete, and correct to the best of my knowledge. In addition, I agree to mark and/or light the structure in accordance with established marking and lighting standards as necessary.

Date  
9/09/2005

Typed or Printed name and Title of Person Filing Notice  
Leila Rezanavaz / Consulting Engineer

Signature Leila Rezanavaz

**BLUEGRASS CELLULAR  
2902 Ring Road  
Elizabethtown, KY 42702**

**1A Letter**

**Date: August 28, 2005  
Revision Date: September 6, 2005  
FSTAN Project No: 05-3392**

**Site Name: SPURLINGTON**

**For Aeronautical Study No.**

**Location: City Campbellsville, KY  
County Taylor**

**U.S.G.S. Quadrangle: Spurlington, KY**

**(NAD 27) LATITUDE 37° 25' 19.82"  
LONGITUDE 85° 16' 59.61"**

**(NAD 83) LATITUDE 37° 25' 20.06"  
LONGITUDE 85° 16' 59.47"**

**SITE ELEVATION (NAVD 88) 1094' ± AMSL  
PROPOSED TOWER HEIGHT 240' ± FAA AGL  
TOWER HEIGHT WITH ANTENNA 265' ± FAA AGL  
OVERALL HEIGHT ELEVATION 1359' ± AMSL**

I Certify, to the best of my knowledge and belief, that the horizontal and vertical datum as established from the referenced U.S.G.S. Quadrangle, is accurate to 1A Reporting requirements of ± 20 feet horizontally and ± 3 vertically.

The horizontal datum (coordinates) are in terms of the North American Datum of 1927 (NAD 27) and 1983 (NAD 83) and expressed as degrees, minutes and seconds.

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Kentucky State Plans Coordinates (South Zone) were established with Trimble Global Positioning Systems (GPS) receivers. This site has ties to the National Geodetic Reference System established by the National Geodetic Survey, formerly the U.S. Coast & Geodetic Survey by measurements to PID Station "GZ3027", designated as "CAMPPORT".

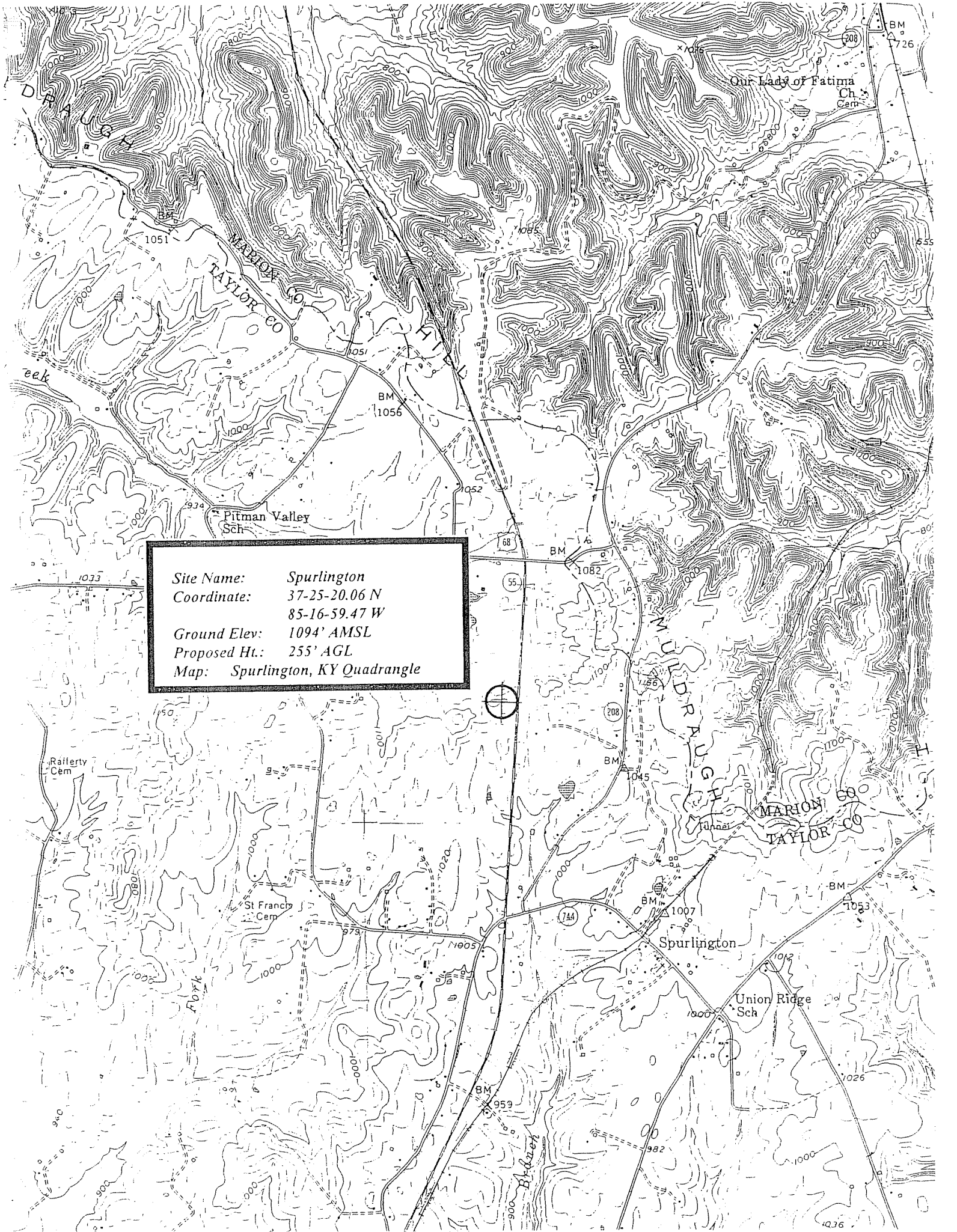
**CONSULTANT**



**Frank L. Sellinger II, P.L.S. No. 3282  
FSTAN Land Surveyors and Consulting Engineers  
2313/2315 Crittenden Drive, Louisville, Ky. 40217  
Phone: 502-635-5866 Fax: 502-636-5263**



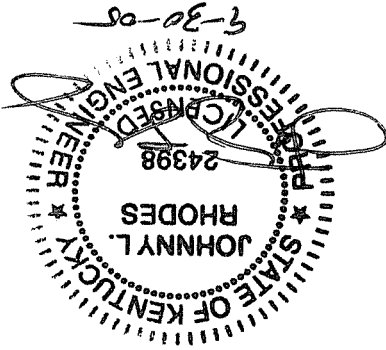
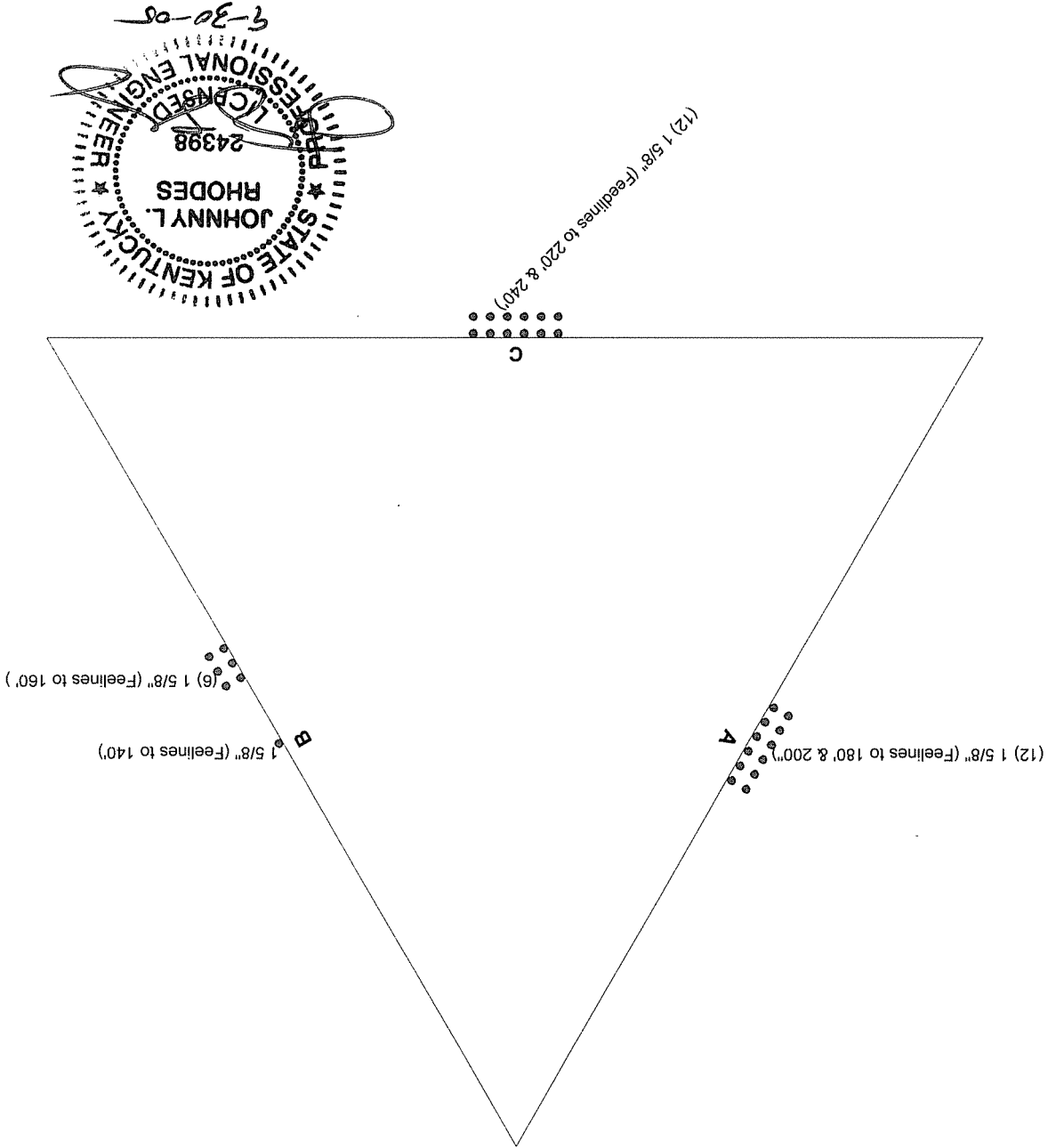
Site Name: Spurlington  
Coordinate: 37-25-20.06 N  
85-16-59.47 W  
Ground Elev: 1094' AMSL  
Proposed Ht.: 255' AGL  
Map: Spurlington, KY Quadrangle







Feedline Plan

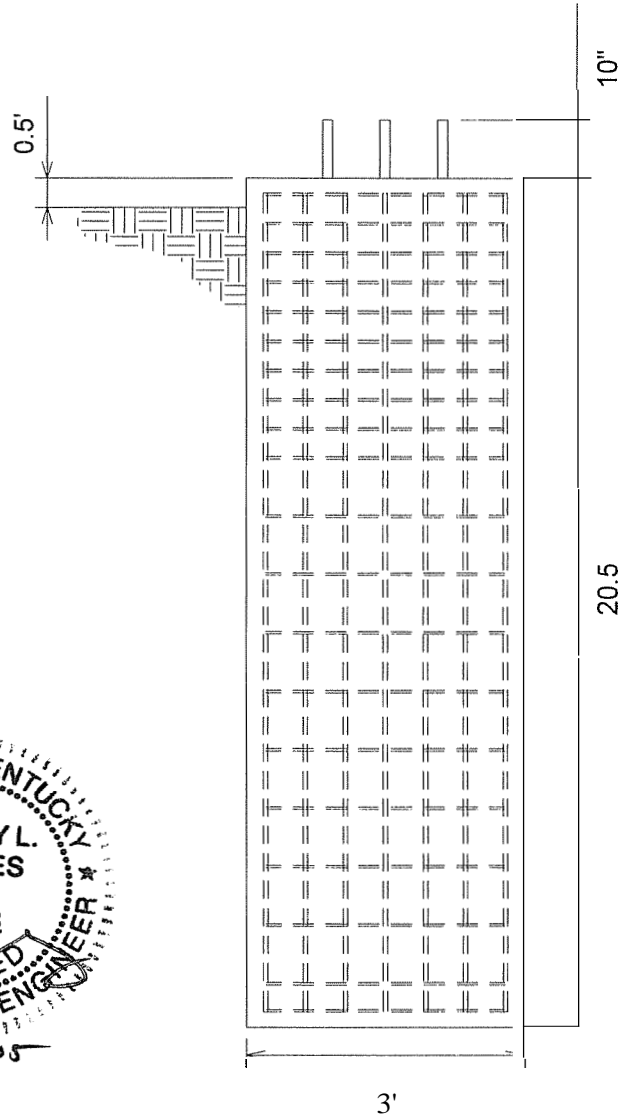


Eastpointe Engineering Group, LLC		4020 Tull Ave. Muskegee, OK Phone: 918.682.2169 FAX: 918.682.7618	
Project: 240' SST/Taylor County, KY		EII Job # 2078--Spurlington	
Client: Bluegrass Cellular	Drawn by: JLR	Appd:	
Code: TIA/EIA-222-F	Date: 09/30/05	Scale: NTS	Dwg No E-7
Path: Z:\Working\Drawings\Jobs\2000-2099\2078\Final Tower Design\240.sst			



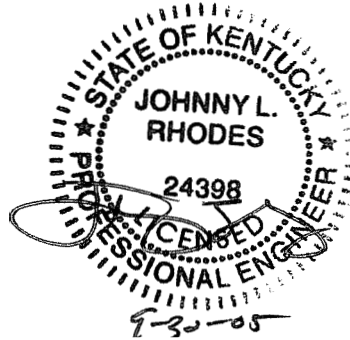
# DRILLED PIER FOUNDATION DESIGN

<b>Vertical Bars</b>	(12) #8 bars. 20' lona
<b>Ties</b>	#5 bars @ 6" c/c for the first 6.5' then 16" c/c thereafter



### General Notes

1. Concrete shall be placed in accordance with ACI318-02, latest revision.
2. Concrete shall have a minimum 28 day compressive strength of 3000 PSI.
3. Rebar to conform to ASTM A615 grade 60.
4. Rebar used for ties may be A615 grade 40.
5. All rebar to have a minimum of 3" clear cover.
6. All exposed concrete corners to have 3/4" chamfer.
7. Bottom and side surfaces to rest on undisturbed soil.
8. Contractor shall be responsible to review and follow all recommendations of the geotechnical report.



### Supplemental Notes

Soil values obtained from Terracon soils report #57057344G Dated 8/26/05

**EASTPOINTE ENGINEERING GROUP, LLC**

4020 Tull Ave. Muskogee, OK 74403--Phone 918.683.2169--Fax:918.682.7618

<b>Client: Blueurass Cellular</b>	
<b>Site: Spurlington</b>	
<b>Job: 2078</b>	<b>Drawn by: JLR</b>
<b>Scale: NTS</b>	<b>Date: 09/30/05</b>

**GEOTECHNICAL ENGINEERING REPORT**  
**PROPOSED SPURLINGTON COMMUNICATION TOWER**  
**US HWY 68 AND MINNIE BROWN ROAD**  
**SPURLINGTON, TAYLOR COUNTY, KENTUCKY**

**TERRACON PROJECT NO.: 570573446**  
**August 26, 2005**

*Prepared For:*

**RSB DESIGN/BLUEGRASS CELLULAR**  
**Louisville, Kentucky**

*Prepared by:*

**Terracon**  
**Louisville, Kentucky**

**Terracon**

August 26, 2005

**Terracon**  
Consulting Engineers & Scientists

Bluegrass Cellular  
c/o RSB Design  
6403 Mercury Drive  
Louisville, Kentucky 40291

Terracon Consultants, Inc  
5217 Linbar Drive, #309  
Nashville, Tennessee 37211  
Phone 615 333 6444  
Fax 615 333 6443  
www.terracon.com

Attention: Mr. Robin Becker

**Re: Geotechnical Engineering Report  
Proposed Spurlington Communication Tower  
US Hwy 68 and Minnie Brown Road  
Spurlington, Taylor County, Kentucky  
Terracon Project No. 57057344G**

Dear Mr. Becker:

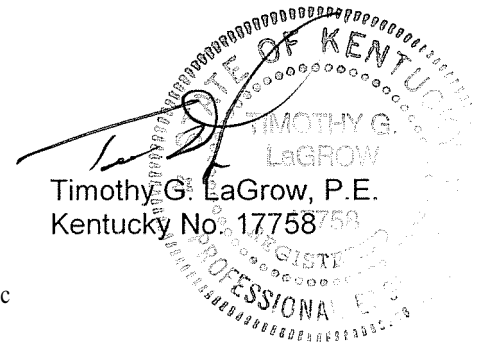
We are submitting, herewith, the results of our subsurface exploration for the referenced project. The purpose of this exploration was to obtain information on subsurface conditions at the proposed project site and, based on this information, to provide recommendations regarding the design and construction of foundations for the proposed tower.

We appreciate the opportunity to be of service to you on this project. If you have any questions concerning this report, or if we may be of further service to you in any way, please feel free to contact us.

Sincerely,  
**Terracon**



Shaikh Z. Rahman, EIT  
Staff Engineer



Timothy G. LaGrow, P.E.  
Kentucky No. 17758758

n:\projects\2005\towers\57057344GSpurlington\geo57057344G.doc

Attachments Geotechnical Engineering Report

*Copies. (4) RSB Design*

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# GEOTECHNICAL ENGINEERING REPORT

## PROPOSED SPURLINGTON COMMUNICATION TOWER US HWY 68 AND MINNIE BROWN ROAD SPURLINGTON, TAYLOR COUNTY, KENTUCKY TERRACON PROJECT NO.: 570573446 August 26,2005

### 1.0 INTRODUCTION

The purpose of this report is to describe the subsurface conditions encountered in the boring, analyze and evaluate the test data, and provide recommendations regarding the design and construction of foundations and earthwork for the proposed tower. One boring extending to a depth of about 27 ½ feet below the existing ground surface was drilled at the site. An individual boring log and a boring location plan are included with this report.

### 2.0 PROJECT DESCRIPTION

Terracon understands the proposed project will consist of the construction of a 240-foot self supporting lattice. Exact tower loads are not available, but based on our past experience are anticipated to be as follows:

Vertical Load:	600 kips
Horizontal Shear:	80 kips
Uplift:	500 kips

A small, lightly loaded equipment building will also be constructed. Wall and floor loads for this building are not anticipated to exceed 1 kip per linear foot and 100 pounds per square foot, respectively. At the time of the site visit, the property was a gently sloping, wooded parcel of land, located on the west side of US Hwy 68. Existing grades within the 100-foot by 100-foot tower leasehold area were not available as of this writing. Based on visual observation and the proposed construction, minimal grading operations are anticipated.

### 3.0 EXPLORATION PROCEDURES

#### 3.1 Field Exploration

The subsurface exploration consisted of drilling and sampling one boring at the site to a depth of about 27 ½ feet below existing grade. The boring was advanced at the center of the proposed tower, as staked by the project surveyor. Ground surface elevations were not available at the time of this report and have been omitted from the boring log. The location of the boring should be considered accurate only to the degree implied by the means and methods used to define them.

The boring was drilled with a truck-mounted rotary drill rig using hollow stem augers to advance the borehole. Representative soil samples were obtained by the split-barrel sampling procedure in general accordance with the appropriate ASTM standard. In the split-barrel sampling procedure, the number of blows required to advance a standard 2-inch O.D. split-barrel sampler the last 12 inches of the typical total 18-inch penetration by means of a 140-pound hammer with a free fall of 30 inches, is the standard penetration resistance (SPT) value (N-Value). This value is used to estimate the in-situ relative density of cohesionless soils and the consistency of cohesive soils. The sampling depths, penetration distance, and standard penetration resistance values are shown on the boring log. The samples were sealed and delivered to the laboratory for testing and classification.

Auger refusal was encountered at a depth of about 17 ½ feet below the existing ground surface. The boring was extended into the refusal materials using a diamond bit attached to the outer barrel of a double core barrel. The inner barrel collected the cored material as the outer barrel was rotated at high speeds to cut the rock. The barrel was retrieved to the surface upon completion of each drill run. Once the core samples were retrieved, they were placed in a box and logged. The rock was later classified by an engineer and the “percent recovery” and rock quality designation (RQD) was determined.

The “percent recovery” is the ratio of the sample length retrieved to the drilled length, expressed as a percent. An indication of the actual in-situ rock quality is provided by calculating the sample’s RQD. The RQD is the percentage of the length of broken cores retrieved which have core segments at least 4 inches in length compared to each drilled length. The RQD is related to rock soundness and quality as illustrated below:

**Table 1 – Rock Quality Designation (RQD)**

RQD (%)	Rock Quality
90 - 100	Excellent
75 - 90	Good
50 - 75	Fair
25 - 50	Poor
0 -25	Very Poor

A field log of the boring was prepared by a subcontract driller. This log included visual classifications of the materials encountered during drilling as well as the driller’s interpretation of the subsurface conditions between samples. The final boring log included with this report represents an interpretation of the driller’s field log and a visual classification of the soil samples made by the Geotechnical Engineer.

### **3.2 Laboratory Testing**

The samples were classified in the laboratory based on visual observation, texture and plasticity. The descriptions of the soils indicated on the boring log are in accordance with the enclosed General Notes and the Unified Soil Classification System. Estimated group symbols according to the Unified Soil Classification System are given on the boring log. A brief description of this classification system is attached to this report.

The laboratory testing program consisted of performing water content tests and an Atterberg Limits test on representative soil samples. A calibrated hand penetrometer was used to estimate the approximate unconfined compressive strength of the samples. The calibrated hand penetrometer has been correlated with unconfined compression tests and provides a better estimate of soil consistency than visual examination alone. Information from these tests was used in conjunction with field penetration test data to evaluate soil strength in-situ, volume change potential, and soil classification. An unconfined compressive strength test was also performed on a sample of the refusal material. Results of these tests are provided on the boring log.

Classification and descriptions of rock core samples are in accordance with the enclosed General Notes, and are based on visual and tactile observations. Petrographic analysis of thin sections may indicate other rock types. Percent recovery and rock quality designation (RQD) were calculated for these samples and are noted at their depths of occurrence on the boring log.

## **4.0 EXPLORATORY FINDINGS**

### **4.1 Subsurface Conditions**

Conditions encountered at the boring location are indicated on the boring log. Stratification boundaries on the boring log represent the approximate location of changes in soil types and the transition between materials may be gradual. Water levels shown on the boring log represent the conditions only at the time of our exploration. Based on the results of the boring, subsurface conditions on the project site can be generalized as follows.

The boring encountered about 6 inches of topsoil overlying natural lean clays (CL) and sandy clays (CL) that extended to bedrock at about 17 ½ feet below existing ground surface. The clays exhibited a stiff to very stiff consistency based on standard penetration test (N) values in the range of about 14 to 22 blows per foot (bpf).

Below a depth of about 17 ½ feet, rock coring techniques were employed to sample the refusal materials. The bedrock was found to consist of slight to moderately weathered, very thin to medium bedded limestone with a few thin weathered seams. The bedrock at the site appears to be relatively continuous as evidenced by a core recovery (REC) of 100 percent.

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August 26, 2005**

**Terracon**

The quality of the rock is rated as fair with an RQD value of 69 percent. Considering the height of the tower and competent nature of the bedrock, coring operations were terminated at a depth of approximately 27 ½ feet below existing grade.

#### **4.2 Site Geology**

Based on a review of the Spurlington Geologic Quadrangle map (published 1974, base map 1953), the site is underlain by the Salem Limestone. The Salem Limestone consists of limestone, siltstone, and shale. The limestone is medium dark gray to medium olive gray, fine to coarse grained, and thin to medium bedded. The siltstone is dolomite, medium light gray to medium yellowish gray, and occurs as parting and beds as much as 10 feet thick. The shale is calcareous and medium dark gray. The Salem Limestone is approximately 65 feet thick and underlain by the Harrodsburg Limestone.

#### **4.3 Groundwater Conditions**

Groundwater was not observed in the boring during or immediately after completion of the soil drilling operations. At the time the boring was drilled, the groundwater table at the boring location was apparently below the maximum soil drilling depth. However, fluctuations in the groundwater table can occur and perched water can develop over low permeability soil or rock strata following periods of heavy or prolonged precipitation. This possibility should be considered when developing plans and specifications for the project. Long term monitoring in cased holes or piezometers would be necessary to accurately evaluate the potential range of groundwater conditions on the site.

### **5.0 ENGINEERING RECOMMENDATIONS**

Based on the encountered subsurface conditions, the proposed tower can be either founded on drilled piers or on a mat foundation. The equipment building may be supported on shallow spread footings. Design recommendations for the tower drilled pier and mat foundations as well as shallow footings for the equipment building are presented in the following paragraphs.



**5.1 Tower Foundation**

**Tower Foundations - Drilled Pier Alternative:** The proposed tower can be supported on drilled pier foundations. Based on the results of the boring, the following tower foundation design parameters have been developed:

**Drilled Pier Foundation Design Parameters**

Depth * (feet)	Description **	Allowable Skin Friction (psf)	Allowable End Bearing Pressure (psf)	Allowable Passive Pressure (psf)	Internal Angle of Friction (Degree)	Cohesion (psf)	Lateral Subgrade Modulus (pci)	Strain, &sub50 (in/in)
0 - 3	Topsoil and Lean Clay	Ignore	Ignore	Ignore		-	Ignore	Ignore
3 - 17	Lean and Sandy Clay	475	4,000	2,000	0	2,000	160	0.006
17-27	Competent Limestone	5,000	20,000	10,000	0	100,000	3,000	0.00001

\* Pier inspection is recommended to adjust pier length if variable soil/rock conditions are encountered.  
 \*\* A total unit weight of 115 and 150 pcf can be estimated for the lean clay and competent limestone, respectively.  
 \*\*\* The pier should be embedded a minimum of 3 feet into competent limestone to mobilize these higher rock strength parameters. Furthermore, it is assumed the rock socket will be extended using coring techniques rather than blasting/shooting

The above indicated cohesion, friction angle, lateral subgrade modulus and strain values have no factors of safety, and the allowable skin friction and the passive resistances have factors of safety of 2. The cohesion, internal friction angle, lateral subgrade modulus and strain values given in the above table are based on the boring, published correlation values and Terracon's past experience with similar soil/rock types. These values should, therefore, be considered approximate. To mobilize the higher rock strength parameters, the pier should be socketed at least 3 feet into bedrock. Furthermore, it is assumed that the rock socket is developed using coring rather than blasting techniques. The allowable end bearing pressure provided in the table has an approximate factor of safety of at least 3. Total settlement of drilled piers designed using the above parameters is not anticipated to exceed 1/2 inch.

The upper 3 feet of topsoil and lean clay should be ignored due to the potential effects of frost action and construction disturbance. To avoid a reduction in lateral and uplift resistance caused by variable subsurface conditions and or bedrock depths, the drawings should instruct the contractor to notify the engineer if subsurface conditions significantly different than encountered in the boring are disclosed during drilled pier installation. Under these circumstances, it may be necessary to adjust the overall length of the pier. To facilitate these adjustments and assure that the pier is embedded in suitable materials, it is recommended that a Terracon representative observe the drilled pier excavation.

If a bedrock socket is required, it is recommended that a minimum pier length and minimum competent rock socket length be stated on the design drawings. Competent rock was

encountered in the boring below a depth of about 17 ½ feet, but could vary between tower legs or if the tower is moved from the location of the boring. If the tower center is moved from the planned location, Terracon should be notified to review the recommendations and determine whether an additional boring is required. To facilitate pier length adjustments that may be necessary because of variable rock conditions, it is recommended that a Terracon representative observe the drilled pier excavation.

A drilled pier foundation should be designed with a minimum shaft diameter of 30 inches to facilitate clean out and possible dewatering of the pier excavation. Temporary casing may be required during the pier excavation in order to support the sides of the excavation in weak soil zones. Care should be taken so that the sides and bottom of the excavations are not disturbed during construction. The bottom of the shaft should be free of loose soil or debris prior to reinforcing steel and concrete placement.

A concrete slump of at least 6 inches is recommended to facilitate temporary casing removal. It should be possible to remove the casing from a pier excavation during concrete placement provided that the concrete inside the casing is maintained at a sufficient level to resist any earth and hydrostatic pressures outside the casing during the entire casing removal procedure.

**Tower Foundations - Mat Foundation Alternative:** If desired, a mat foundation can be used to support the proposed tower. The mat foundation can be designed using the following natural soil/engineered fill parameters. These parameters are based on the findings of the boring, a review of published correlation values and Terracon's experience with similar soil conditions. These design parameters also assume that the base of the mat foundation will rest on natural soils or well-graded crushed stone that is compacted and tested on a full time basis.

**Mat Foundation Design Parameters**

Depth (feet)	Description	Allowable Contact Bearing Pressure (psf)	Allowable Passive Pressure (psf)	Coefficient of Friction, Tan δ	Vertical Modulus of Subgrade Reaction (pci)
0 - 2	Topsoil and Lean Clays	Ignore	Ignore		
	Crushed Stone Fill				150

To assure that soft soils are not left under the mat foundation, it is recommended that a geotechnical engineer observe the foundation subgrade prior to concrete placement. Provided the above recommendations are followed, total mat foundation settlements are not anticipated to exceed about 1 inch. Differential settlement should not exceed 50 percent of the total settlement.

## 5.2 Equipment Building Foundations

The proposed equipment shed may be supported on shallow footings bearing on stiff natural soils. The equipment building foundations should be dimensioned using a net allowable soil bearing pressure of 3,000 pounds per square foot (psf). In using net allowable soil pressures for footing dimensioning, the weight of the footings and backfill over the footings need not be considered. Furthermore, the footings should be at least 12 inches wide and a minimum of 2.0 feet square.

The geotechnical engineer or a qualified representative should observe the foundation excavations to verify that the bearing materials are suitable for support of the proposed loads. If, at the time of such observation, any soft soils are encountered at the design foundation elevation, the excavations should be extended downward so that the footings rest on stiff soils. If it is inconvenient to lower the footings, the proposed footing elevations may be re-established by backfilling after the undesirable material has been removed.

The recommended soil bearing value should be considered an upper limit, and any value less than that listed above would be acceptable for the foundation system. Using the value given, total settlement would be about 1 inch or less with differential settlements being less than 75 percent of total settlement. Footings should be placed at a depth of 20 feet, or greater, below finished exterior grade for protection against frost damage.

## 5.3 Parking and Drive Areas

The drive that accesses the site will be surfaced with crushed stone. Parking and drive areas that are surfaced with crushed stone should have a minimum thickness of 6 inches and be properly placed and compacted as outlined herein. The crushed stone should meet Kentucky Transportation Cabinet specifications and applicable local codes.

A paved section consisting only of crushed graded aggregate base course should be considered a high maintenance section. Regular care and maintenance is considered essential to the longevity and use of the section. Site grades should be maintained in such a manner as to allow for adequate surface runoff. Any potholes, depressions or excessive rutting that may develop should be repaired as soon as possible to reduce the possibility of degrading the soil subgrade.

## 5.4 Site Preparation

Site preparation should begin with the removal of any topsoil, loose, soft or otherwise unsuitable materials from the construction area. The geotechnical engineer should evaluate the actual stripping depth, along with any soft soils that require undercutting at the time of construction.

Any fill and backfill placed on the site should consist of approved materials that are free of organic matter and debris. Fill placed beneath the tower mat foundation should be limited to granular soils and well graded limestone rock. Suitable fill materials beneath the equipment building and roads can consist of either granular material or low-plasticity cohesive soil. Low-plasticity cohesive soil should have a liquid limit of less than 45 percent and a plasticity index of less than 25 percent. The on site soils are considered marginal for re-use as fill due to their moderately high plasticity. It is recommended that during construction these soils should be further tested and evaluated prior to use as fill. Fill should not contain frozen material and it should not be placed on a frozen subgrade.

The fill should be placed and compacted in lifts of 9 inches or less in loose thickness. Fill placed below structures or used to provide lateral resistance should be compacted to at least 98 percent of the material's maximum standard Proctor dry density (ASTM D-698). Fill should be placed, compacted, and maintained at moisture contents within minus 1 to plus 3 percent of the optimum value determined by the standard Proctor test.

The geotechnical engineer should be retained to monitor fill placement on the project and to perform field density tests as each lift of fill is placed in order to evaluate compliance with the design requirements. Standard Proctor and Atterberg limits tests should be performed on the representative samples of fill materials before their use on the site.

## **5.5 Resistivity Analysis**

Resistivity of the subsurface soils was measured at the site using a Nilsson Model 400 soil resistivity meter. The Wenner Vertical Profiling Method was used. With this array, potential electrodes are centered on a traverse line between the current electrodes and an equal "A" spacing between electrodes is maintained. Resistivity measurements were taken along 2 traverses located along the perimeter of the staked tower compound. Individual resistivity values at 5, 10, 15, 20, 30 and 40 foot spacings are presented on the soil resistivity test sheet in the Appendix.

## **6.0 GENERAL COMMENTS**

Terracon should be retained to review the final design plans and specifications so comments can be made regarding interpretation and implementation of our geotechnical recommendations in the design and specifications. Terracon also should be retained to provide testing and observation during excavation, grading, foundation and construction phases of the project.

The analysis and recommendations presented in this report are based upon the data obtained from the boring performed at the indicated location and from other information discussed in this report. This report does not reflect variations that may occur across the site, or due to the modifying effects of weather. The nature and extent of such variations

**Spurlington Communication Tower  
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August 26,2005**

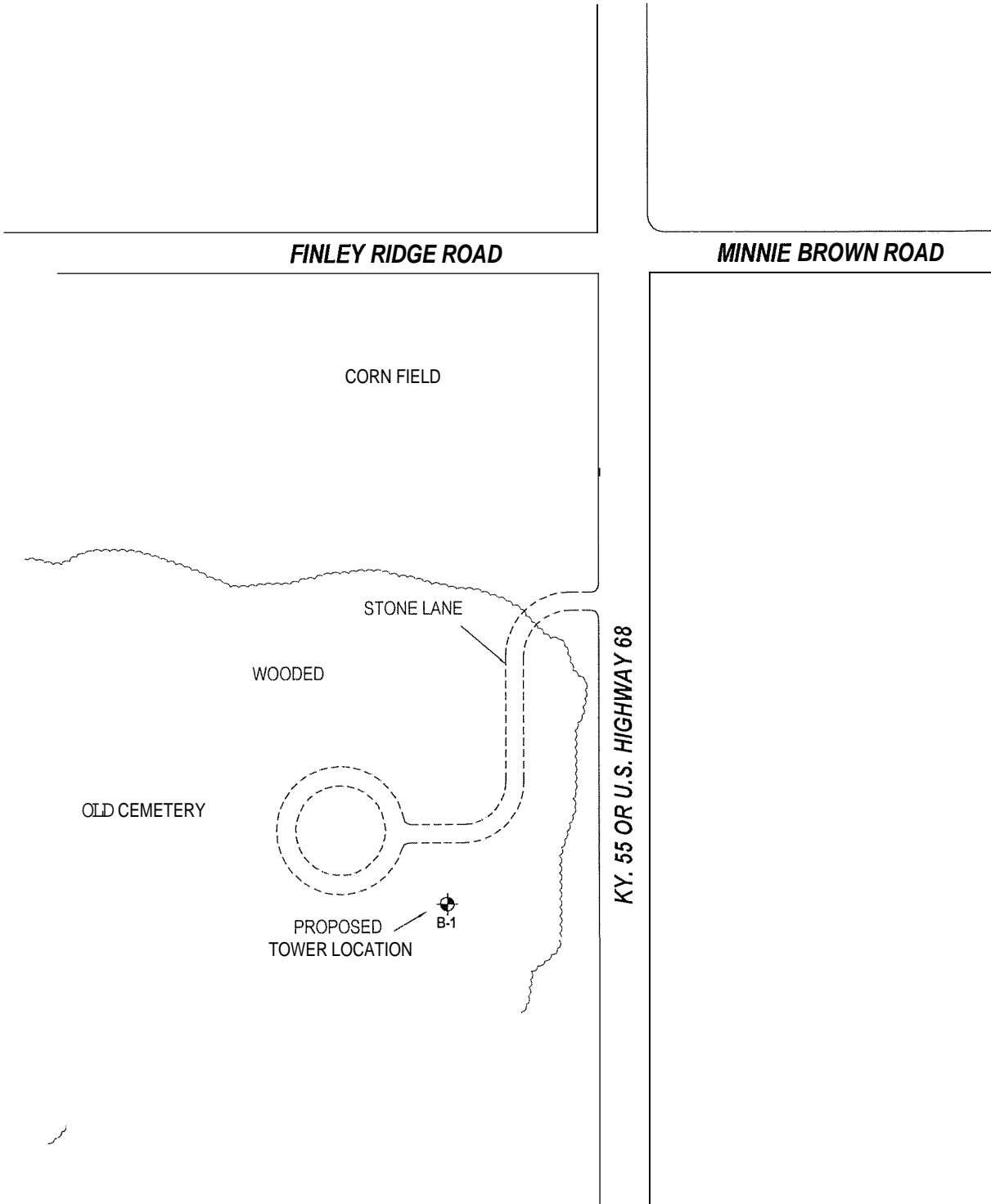
**Terracon**

may not become evident until during or after construction. If variations appear, we should be immediately notified so that further evaluation and supplemental recommendations can be provided.

The scope of services for this project does not include either specifically or by implication any environmental or biological (e.g., mold, fungi, bacteria) assessment of the site or identification or prevention of pollutants, hazardous materials or conditions. If the owner is concerned about the potential for such contamination or pollution, other studies should be undertaken.

This report has been prepared for the exclusive use of our client for specific application to the project discussed and has been prepared in accordance with generally accepted geotechnical engineering practices. No warranties, either expressed or implied, are intended or made. Site safety, excavation support, and dewatering requirements are the responsibility of others. In the event that changes in the nature, design, or location of the project as outlined in this report are planned, the conclusions and recommendations contained in this report shall not be considered valid unless Terracon reviews the changes and either verifies or modifies the conclusions of this report in writing.

# Appendix



**LEGEND**



APPROXIMATE BORING LOCATION

NOT TO SCALE

FIGURE 1  
 SOIL BORING LOCATION DIAGRAM  
 SPURLINGTON CANDIDATE "C"  
 U S HIGHWAY68  
 SPURLINGTON, KY  
 PROJECT NO 57057344G

# LOG OF BORING NO. B-1

CLIENT <b>RSB Design/Bluegrass Cellular</b>										
SITE <b>Spurlington, Kentucky</b>		PROJECT <b>240' Self-supporting Tower Spurlington Site</b>								
GRAPHIC LOG	DEPTH, ft.	USCS SYMBOL	SAMPLES				TESTS			
			NUMBER	TYPE	RECOVERY, in.	SPT - N BLOWS / ft.	WATER CONTENT, %	DRY UNIT WT pcf	UNCONFINED STRENGTH, psf	ATTERBERG LIMITS
0.5	TOPSOIL									
3	<b>LEAN CLAY</b> , silty, orange brown, stiff, moist	CL	1	SS		14	28		9000*	LL=44 PL=24 PI=20
8	<b>LEAN CLAY</b> , reddish brown, very stiff, moist	CL	2	SS		20	21		9000*	
17.5	<b>SANDY CLAY</b> , reddish brown, very stiff, moist	CL	3	SS		22	23		9000*	
27.5	<b>AUGER REFUSAL LIMESTONE</b> , slightly to moderately weathered, dark gray, hard, very thin to medium bedded. solid	R-1	DB	100%	RQD 69%				6251 psi	
27.5	CORING TERMINATED									

The stratification lines represent the approximate boundary lines between soil and rock types in-situ, the transition may be gradual.

\*Calibrated Hand Penetrometer

**WATER LEVEL OBSERVATIONS, ft**

WL	▼
WL	▼
WL	▼
WL	DRY



BORING STARTED		8-16-05	
BORING COMPLETED		8-16-05	
RIG	TST&D	FOREMAN	JS
LOGGED	SR	JOB # 57057344G	

BOREHOLE 99 57057344G.GPJ TERRACON.GDT 8/26/05





Project: Spurlington  
 Project No.: 570573446  
 Performed By: JLF  
 Checked By: JLT

# Soil Resistivity

ASTM G57 Test Method for Field Measurement of Soil Resistivity Using Wenner Four - Electrode Method

## At-Grade Measurements (equal rod spacing)

Location	Depth of Interest (feet)	Electrode Spacing from Center (feet)		Resistance (ohms)		Resistivity (ohm-cm)
		Inner	Outer	Dial Reading	Range Switch	
A-A	5	2.5	7.5	3.6	10.0	34470
	10	5	15	1.5	10.0	28725
	15	7.5	22.5	0.3	10.0	8618
	20	10	30	4.9	1.0	18767
	30	15	45	2.9	1.0	16661
	40	20	60	1.7	1.0	13022
	60	30	90			
	80	40	120			
B-B'	5	2.5	7.5	3.4	10.0	32555
	10	5	15	1.5	10.0	28725
	15	7.5	22.5			
	20	10	30			
	30	15	45			
	40	20	60			
	60	30	90			
	80	40	120			
	100	50	150			

Resistivity (ohm-cm) =  $2 \cdot \pi \cdot a \cdot R \cdot 30.48$

R = resistivity (dial reading \* range switch)

a = electrode spacing

Equipment Usage: Nilsson Soil Resistance Meter - Model 400

Additional Notes: Limited traverses and spacings performed due to site access restrictions A-A East West B-B' North South

# GENERAL NOTES

## Sedimentary Rock Classification

### DESCRIPTIVE ROCK CLASSIFICATION:

Sedimentary rocks are composed of cemented clay, silt and sand sized particles. The most common minerals are clay, quartz and calcite. Rock composed primarily of calcite is called limestone; rock of sand size grains is called sandstone, and rock of clay and silt size grains is called mudstone or claystone, siltstone, or shale. Modifiers such as shaly, sandy, dolomitic, calcareous, carbonaceous, etc. are used to describe various constituents. Examples: sandy shale; calcareous sandstone.

LIMESTONE	Light to dark colored, crystalline to fine-grained texture, composed of CaCO <sub>3</sub> , reacts readily with HCl.
DOLOMITE	Light to dark colored, crystalline to fine-grained texture, composed of CaMg(CO <sub>3</sub> ) <sub>2</sub> , harder than limestone, reacts with HCl when powdered.
CHERT	Light to dark colored, very fine-grained texture, composed of micro-crystalline quartz (SiO <sub>2</sub> ), brittle, breaks into angular fragments, will scratch glass.
SHALE	Very fine-grained texture, composed of consolidated silt or clay, bedded in thin layers. The unlaminated equivalent is frequently referred to as siltstone, claystone or mudstone.
SANDSTONE	Usually light colored, coarse to fine texture, composed of cemented sand size grains of quartz, feldspar, etc. Cement usually is silica but may be such minerals as calcite, iron-oxide, or some other carbonate.
CONGLOMERATE	Rounded rock fragments of variable mineralogy varying in size from near sand to boulder size but usually pebble to cobble size (1/2 inch to 6 inches). Cemented together with various cementing agents. Breccia is similar but composed of angular, fractured rock particles cemented together.

### PHYSICAL PROPERTIES:

#### DEGREE OF WEATHERING

Slight	Slight decomposition of parent material on joints. May be color change.
Moderate	Some decomposition and color change throughout.
High	Rock highly decomposed, may be extremely broken.

#### HARDNESS AND DEGREE OF CEMENTATION

##### Limestone and Dolomite:

Hard	Difficult to scratch with knife.
Moderately Hard	Can be scratched easily with knife, cannot be scratched with fingernail.
Soft	Can be scratched with fingernail.

##### Shale, Siltstone and Claystone

Hard	Can be scratched easily with knife, cannot be scratched with fingernail.
Moderately Hard	Can be scratched with fingernail.
Soft	Can be easily dented but not molded with fingers.

##### Sandstone and Conglomerate

Well Cemented	Capable of scratching a knife blade.
Cemented	Can be scratched with knife.
Poorly Cemented	Can be broken apart easily with fingers.

#### BEDDING AND JOINT CHARACTERISTICS

Bed Thickness	Joint Spacing	Dimensions
Very Thick	Very Wide	> 10'
Thick	Wide	3' - 10'
Medium	Moderately Close	1' - 3'
Thin	Close	2" - 1'
Very Thin	Very Close	.4" - 2"
Laminated	—	1" - .4"

**Bedding Plane** A plane dividing sedimentary rocks of the same or different lithology.

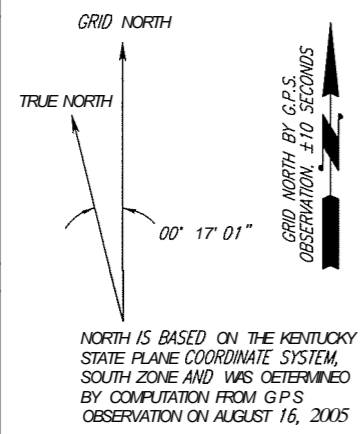
**Joint** Fracture in rock, generally more or less vertical or transverse to bedding, along which no appreciable movement has occurred.

**Seam** Generally applies to bedding plane with an unspecified degree of weathering.

#### SOLUTION AND VOID CONDITIONS

Solid	Contains no voids.
Vuggy (Pitted)	Rock having small solution pits or cavities up to 1/2 inch diameter, frequently with a mineral lining.
Porous	Containing numerous voids, pores, or other openings, which may or may not interconnect.
Cavernous	Containing cavities or caverns, sometimes quite large.

SHEET 1	
	- VICINITY AND 500' STRUCTURAL MAP
	- ABUTTING PROPERTY OWNERS
	- USGS QUAD MAP
SHEET 2	
	- PROPOSED LEASE AREA
	- LEGAL DESCRIPTIONS
	- FLOOD ZONE DATA



**PROJECT BENCHMARK**  
 NORTH 1775886.4312  
 EAST 2037276.9265  
 ELEVATION 11036119  
 LOCATION BEING A SET IPC LOCATED OUTSIDE THE EAST FENCE OF THE OLD BROWN CEMETARY

**LOCATION DATA**  
 VIC 1963  
 LATITUDE: 37° 25' 20.06"  
 LONGITUDE: 85° 16' 59.47"  
 NAVD 1988  
 ELEVATION: 1094'  
 KENTUCKY STATE PLANE COORDINATE SOUTH ZONE (BLUE MARBLE GEOGRAPHIC CALCULATOR VERSION 3.0)  
 NORTHING 20372142590  
 EASTING 17759798692

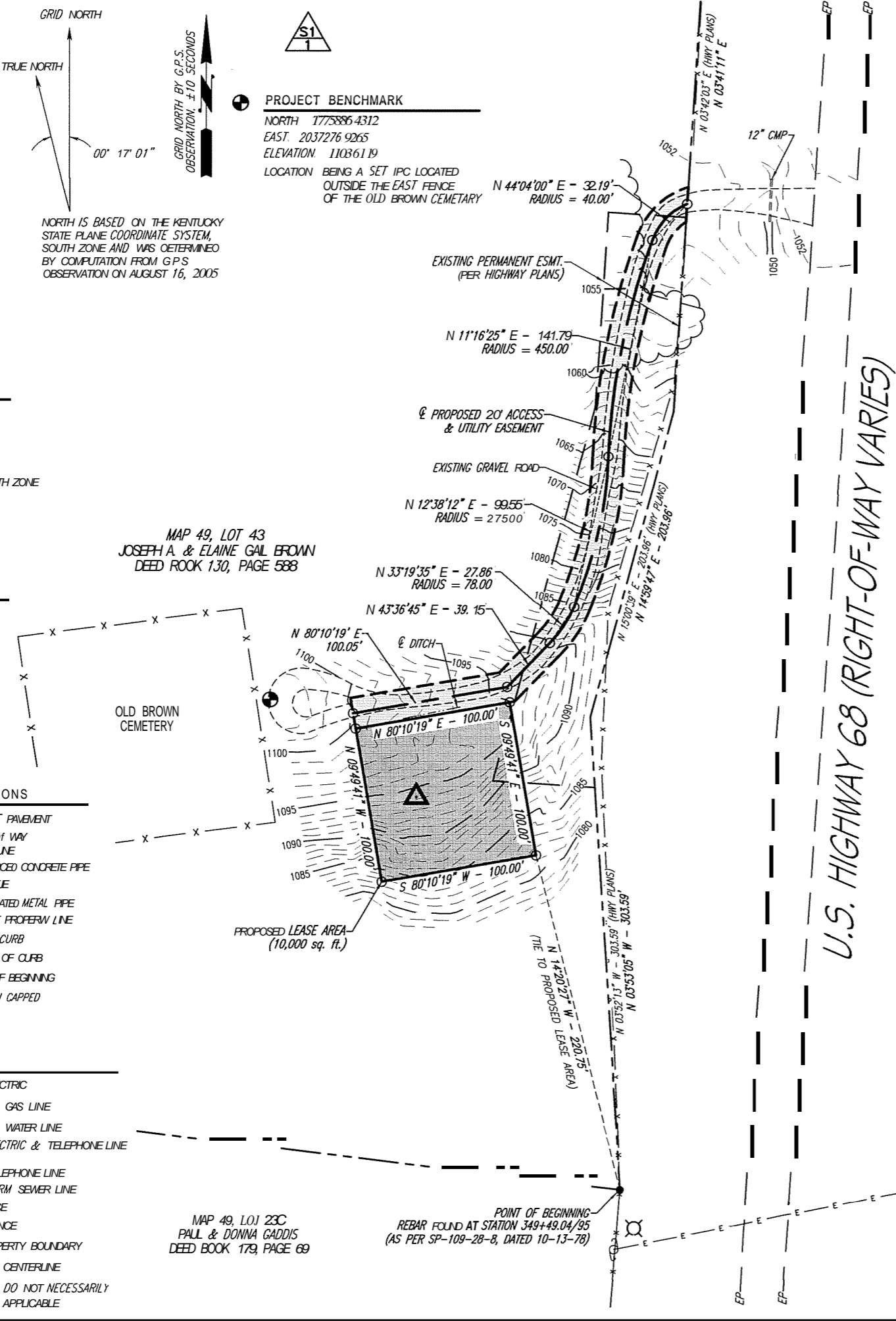
**POWER POLE**  
 UTILITY COMPANY UNKNOWN  
 IDENTIFICATION # N/A

SYMBOL LEGEND	
	WOOD POWER POLE
	CONCRETE POWER POLE
	METAL TRAFFIC POLE
	LIGHT POLE
	GUY POLE
	TELEPHONE PEDESTAL
	GUY ANCHOR
	SANITARY SEWER MANHOLE
	DRAIN SEWER MANHOLE
	WATER VALVE
	WATER METER
	FIRE HYDRANT
	ELECTRIC BOX
	FENCE POST
	SET #5 REHR (UNLESS OTHERWISE NOTED)
	EXISTING #5 REHR (UNLESS OTHERWISE NOTED)

ABBREVIATIONS	
EP	EDGE OF PAVEMENT
ROW	RIGHT OF WAY
CL	CENTERLINE
RCP	REINFORCED CONCRETE PIPE
CONC	CONCRETE
CMP	CORRUGATED METAL PIPE
R	SUBJECT PROPERTY LINE
TC	TOP OF CURB
BC	BOTTOM OF CURB
POB	POINT OF BEGINNING
IPC	IRON PIN CAPPED

LINE LEGEND	
	OVERHEAD ELECTRIC
	UNDERGROUND GAS LINE
	UNDERGROUND WATER LINE
	OVERHEAD ELECTRIC & TELEPHONE LINE
	OVERHEAD TELEPHONE LINE
	DRAINAGE/STORM SEWER LINE
	EXISTING FENCE
	PROPOSED FENCE
	SUBJECT PROPERTY BOUNDARY
	RIGHT OF WAY CENTERLINE

NOTE: SYMBOLS, ABBREVIATIONS, OR LINESYLES DO NOT NECESSARILY APPEAR ON DRAWING(S) USE ONLY AS APPLICABLE



**S1 2**

**LEGAL DESCRIPTIONS:**

This is a description for Bluegrass Cellular, of an area to be leased from the property of Joseph A & Elaine Gail Brown, which is further described as follows.

**PROPOSED LEASE AREA**

Beginning at a found Rebar on the West right-of-way of U.S. Highway 68 at station 349+49.04/95 as shown on "Construction Revision #1" SP-109-28-8, doled 10-13-78, thence leaving said right-of-way and traversing the property conveyed to Joseph & Elaine Brown as recorded in Deed Book 130, Page 588 in said Recorder's office N 14°20'27" W - 220.75' to a set #5 rebar with a cap stamped "FSTAN #8229" and the TRUE POINT OF BEGINNING of the Proposed Celco Partnership Lease Area, thence traversing said Brown property S 80°10'19" W - 100.00' to a set #5 rebar with a cap stamped "FSTAN #8229"; thence N 09°49'41" W - 100.00' to a set #5 rebar with a cap stamped "FSTAN #8229"; thence N 80°10'19" E - 100.00' to a set #5 rebar with a cap stamped "FSTAN #8229"; thence S 09°10'19" E - 100.00' to the true point of beginning containing 10,000 sq. ft. as per survey by Frank L. Sellinger, II, PLS No. 3282 with FSTAN Land Surveyors and Consulting Engineers dated October 3, 2005

**CENTERLINE OF PROPOSED 20' ACCESS & UTILITY EASEMENT**

Beginning of a found Rebar on the West right-of-way of U.S. Highway 68 at station 349+49.04/95 as shown on "Construction Revision #1" SP-109-28-8, doled 10-13-78, thence leaving said right-of-way and traversing the property conveyed to Joseph & Elaine Brown as recorded in Deed Book 130, Page 588 in said Recorder's office N 14°20'27" W - 220.75' to a set #5 rebar with a cap stamped "FSTAN #8229"; thence N 09°49'41" W - 110.00' to a set #5 rebar with a cap stamped "FSTAN #8229" and the TRUE POINT OF BEGINNING of the Proposed 20' Access Easement, thence traversing said Brown property N 80°10'19" E - 100.05' to a set #5 rebar with a cap stamped "FSTAN #8229"; thence N 43°36'45" E - 39.15' to a set #5 rebar with a cap stamped "FSTAN #8229"; thence following a curve to the left having a radius of 78.00', chord being N 33°19'35" E - 27.86' to a set #5 rebar with a cap stamped "FSTAN #8229"; thence following a curve to the left having a radius of 275.00', chord being N 12°38'12" E - 99.55' to a set #5 rebar with a cap stamped "FSTAN #8229"; thence following a curve to the right having a radius of 450.00', chord being N 11°16'25" E - 141.79' to a set #5 rebar with a cap stamped "FSTAN #8229"; thence following a curve to the right having a radius of 40.00', chord being N 44°04'00" E - 32.19' to a set #5 rebar with a cap stamped "FSTAN #8229" and the end of said easement as per survey by Frank L. Sellinger, II, PLS No. 3282 with FSTAN Land Surveyors and Consulting Engineers dated October 3, 2005

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**BEFORE YOU DIG**  
 INDIANA 1-800-382-5544  
 KENTUCKY 1-800-752-6007  
 UTILITIES PROTECTION SERVICE  
 NON-MEMBERS MUST CALL DIRECTLY

The utility information shown on this plat, prepared by FSTAN was obtained from existing records and or by field locations. It is the contractor's responsibility to verify their existence and location, and to contact the appropriate utility company for field locations.

SOURCE OF BEARING IS A G.P.S. OBSERVATION ON AUGUST 16, 2005

SITE SHOWN SUBJECT TO RIGHT OF WAY AND EASEMENTS SHOWN HEREON OR NOT

NO SEARCH OF PUBLIC RECORDS HAS BEEN PERFORMED BY THIS FIRM TO DETERMINE ANY DEFECTS AND/OR AMBIGUITIES IN THE TITLE OF THE PARENT TRACT

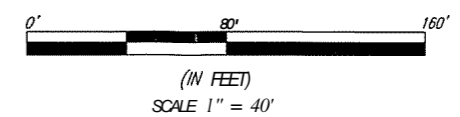
THIS DRAWING DOES NOT REPRESENT A BOUNDARY SURVEY.

EXISTING CONTOURS ARE AT ONE FOOT INTERVALS

**LAND SURVEYOR'S CERTIFICATE**

TYPE "A" SURVEY. UNADJUSTED TRAVERSE CLOSURE BETTER THAN 1 IN 10,000.  
 TO ALL PARTIES INTERESTED IN TITLE TO PREMISES SURVEYED I hereby certify that this plat and survey were made under my supervision, and that the angular and linear measurements, as witnessed by monuments shown hereon, are true and correct to the best of my knowledge and belief.  
 This survey and plat meets or exceeds the minimum standards of the governing authorities.  
 This property is subject to any recorded easements or right of ways not shown hereon

Frank L. Sellinger, II Ky. Reg. No.



STATE OF KENTUCKY  
**FRANK L. SELLINGER**  
 #3282  
 LICENSED PROFESSIONAL LAND SURVEYOR

**"CELLULAR COMMUNICATION TOWER SITE SURVEY"**  
 REFERENCED AS "EXHIBIT B"

OWNER APPROVAL \_\_\_\_\_ DATE \_\_\_\_\_  
 BLUEGRASS CELLULAR APPROVAL \_\_\_\_\_ DATE \_\_\_\_\_

I HAVE REVIEWED THE FLOOD INSURANCE RATE MAPS (FIRM) MAP NO. 210212 0050B DATED 02-06-91 AND THE PROPOSED LEASE AREA DOES NOT APPEAR TO BE IN A FLOOD PRONE AREA. THE PROPOSED LEASE AREA IS LOCATED IN ZONE X

**BLUEGRASS CELLULAR**  
 2902 RING ROAD  
 ELIZABETHTOWN, KY 42702

**FSTAN**  
 F.S. Land Company  
 T. Alan Neal Company  
 Land Surveyors and Consulting Engineers  
 PO Box 17546 2313/2315 Chittenden Drive  
 Louisville, KY 40217  
 Phone: (502) 635-5866 (502) 636-9111  
 Fax: (502) 636-5263

SITE NUMBER  
 SITE NUMBER

SITE NAME  
 SPURLINGTON

SITE ADDRESS  
 FINLEY RIDGE RD. & U.S HWY 68  
 CAMPBELLSVILLE, KY 42718

PROPOSED LEASE AREA  
 AREA = 10,000 sq. ft.

PROPERTY OWNER  
 JOSEPH A & ELAINE GAIL BROWN  
 10715 CALVARY ROAD  
 CAMPBELLSVILLE, KY 42718

MAP NUMBER  
 49

PARCEL NUMBER  
 43

SOURCE OF TITLE  
 DEED BOOK 130, PAGE 588

DWG BY:	CHKD BY:	DATE
DJG	FSII	09.10.05

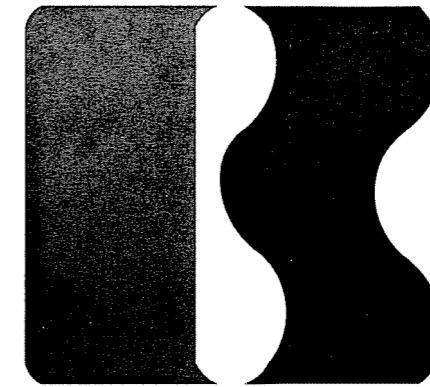
FSTAN PROJECT NO  
 05-3392

SHEET 2 OF 2

**REVISIONS:**

c2

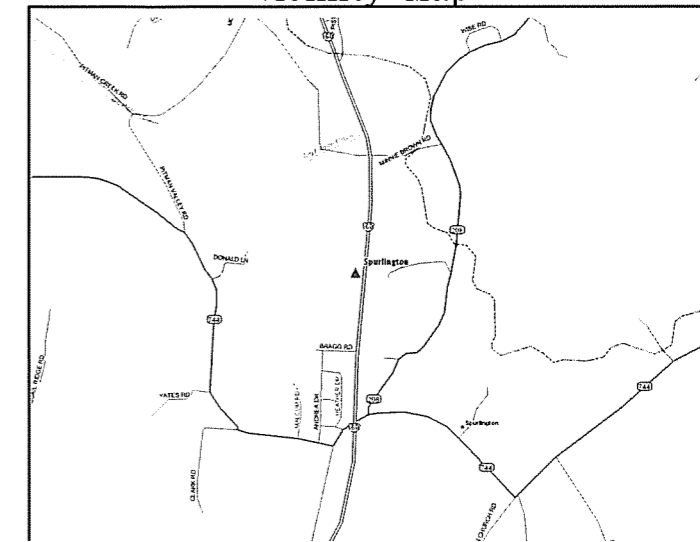
# BLUEGRASS CELLULAR



**PROJECT NAME: SPURLINGTON**  
**PROJECT NUMBER: BG-030**  
**SITE ADDRESS: 6945 NEW LEBANON RD.**  
**CAMPBELLSVILLE, KY.**  
**42718**  
**COUNTY: TAYLOR**

**TOWER LATITUDE & LONGITUDE**  
 N 37° 13' 03.83" W 84° 27' 29.02"

Vicinity Map



**VICINITY MAP**  
**NOT TO SCALE**

**DIRECTIONS TO SITE**

*From Elizabethtown, Kentucky travel east on Bluegrass Parkway to exit 8. Take SR. 583 east towards New Haw, Ky. At the SR. 583 & Hwy 52 junction, take Hwy. 52 south into New Haw, Ky. Take Hwy 52 east all the way to St. Francis and turn right on SR. 527 and travel south to Raywick. Take Hwy. 84 east out of Raywick to junction 84 & 412. Take a right on S.R. 412 and travel south. Take SR. 412 to Hwy. 68. Turn right on Hwy 68 and travel south to site on the right. Watch for Minnie Brawn Rd. and the tower site will be the next wooded tree ridge on the right after Minnie Brawn Rd. Watch for gravel road right past farm field.*

<b>APPROVAL SIGNATURES</b>	
BLUEGRASS CELLULAR CONSTRUCTION SUPERVISOR: _____	DATE: _____
CITY REPRESENTATIVE: _____	TITLE: _____
PROPERTY OWNER/OWNERS: _____	DATE: _____
TOWER OWNER/OWNERS: _____	DATE: _____

## SHEET INDEX

SHEET NO.	DESCRIPTION	REVISION
TITLE SHEET	TITLE SHEET	
SITE SURVEY	SITE SURVEY	
GENERAL NOTES	GENERAL NOTES	
ANTENNA NOTES	ANTENNA NOTES	
ANTENNA DETAILS	ANTENNA DETAILS	
GENERATOR DTLS.	GENERATOR DTLS.	
S1.1	FOUNDATION DETAILS	
A1.0	OVERALL SITE PLAN	
A1.1	SITE PLAN	
A1.2	SITE ELEVATION	
A1.3	BUILDING ELEVATIONS	
A2.1	FENCE DETAILS	
E1.1	SITE PLAN - ELECTRICAL	
E1.2	ELECTRICAL DETAILS	
LYNCOLE	GROUNDING DESIGN	
E2.1	ELEC. PLAN - GROUNDING	
E2.2	GROUNDING DETAILS	

DESIGNED BY



**BLUEGRASS CELLULAR**  
 2902 RING ROAD. ELIZABETHTOWN, KY. 42702  
 PHONE: (270) 769-0339

## SITE DATA

PROPERTY OWNER: ~~PHIL & GAIL BROWN~~ **PHIL & GAIL BROWN**

TOWER OWNER: **BLUEGRASS CELLULAR**  
 (270) 769-0339

POWER COMPANY: **SOUTH KY. RECC**  
 (606) 678-4121

TELEPHONE COMPANY: **ALLTEL**  
 (800) 843-9214

BLUEGRASS CONSTRUCTION SUPERVISOR: **LEE HILL**  
 (270) 734-1028

- VICINITY AND 500' STRUCTURAL MAP
- ABUTTING PROPERTY OWNERS
- U.S.G.S. QUAD MAP

- PROPOSED LEASE AREA
- LEGAL DESCRIPTIONS
- FLOOD ZONE DATA

**COORDINATE POINT LOCATION**  
 NAD 1983  
 LATITUDE: 37° 25' 20.06"  
 LONGITUDE: 85° 16' 59.47"  
 NAD 1988  
 ELEVATION: 1094'  
 KENTUCKY STATE PLANE COORDINATE SOUTH ZONE  
 (BLUE MARBLE GEOGRAPHIC CALCULATOR VERSION 3.0)  
 NORTHING: 2037214.2590  
 EASTING: 1775979.8692

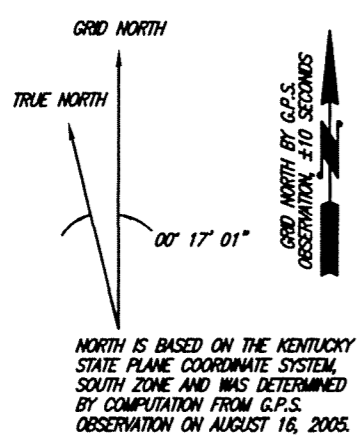
**POWER POLE**  
 UTILITY COMPANY: UNKNOWN  
 IDENTIFICATION #: N/A

- SYMBOL LEGEND**
- WOOD POWER POLE
  - CONCRETE POWER POLE
  - METAL TRAFFIC POLE
  - LIGHT POLE
  - GUY POLE
  - TELEPHONE PEDESTAL
  - GUY ANCHOR
  - SANITARY SEWER MANHOLE
  - DRAIN SEWER MANHOLE
  - MANHOLE
  - WATER VALVE
  - WATER METER
  - FIRE HYDRANT
  - ELECTRIC BOX
  - FENCE POST
  - SET #5 REBAR (UNLESS OTHERWISE NOTED)
  - EXISTING #5 REBAR (UNLESS OTHERWISE NOTED)

- ABBREVIATIONS**
- EP EDGE OF PAVEMENT
  - ROW RIGHT OF WAY
  - CL CENTERLINE
  - RCP REINFORCED CONCRETE PIPE
  - CONC CONCRETE
  - CMP CORRUGATED METAL PIPE
  - R SUBJECT PROPERTY LINE
  - TC TOP OF CURB
  - BC BOTTOM OF CURB
  - POB POINT OF BEGINNING
  - IPC IRON PIN CAPPED

- UNE LEGEND**
- E—E—E— OVERHEAD ELECTRIC
  - G—G—G— UNDERGROUND GAS LINE
  - W—W—W— UNDERGROUND WATER LINE
  - E/T—E/T—E/T— OVERHEAD ELECTRIC & TELEPHONE LINE
  - T—T—T— OVERHEAD TELEPHONE LINE
  - D—D—D— DRAINAGE/STORM SEWER LINE
  - X—X—X— EXISTING FENCE
  - XX—XX—XX— PROPOSED FENCE
  - SUBJECT PROPERTY BOUNDARY
  - RIGHT OF WAY CENTERLINE

NOTE: SYMBOLS, ABBREVIATIONS, OR LIFESTYLES DO NOT NECESSARILY APPEAR ON DRAWING(S). USE ONLY AS APPLICABLE



**PROJECT BENCHMARK**  
 NORTH: 1775886.4312  
 EAST: 2037276.9265  
 ELEVATION: 1103.6119  
 LOCATION: BEING A SET IPC LOCATED OUTSIDE THE EAST FENCE OF THE OLD BROWN CEMETARY

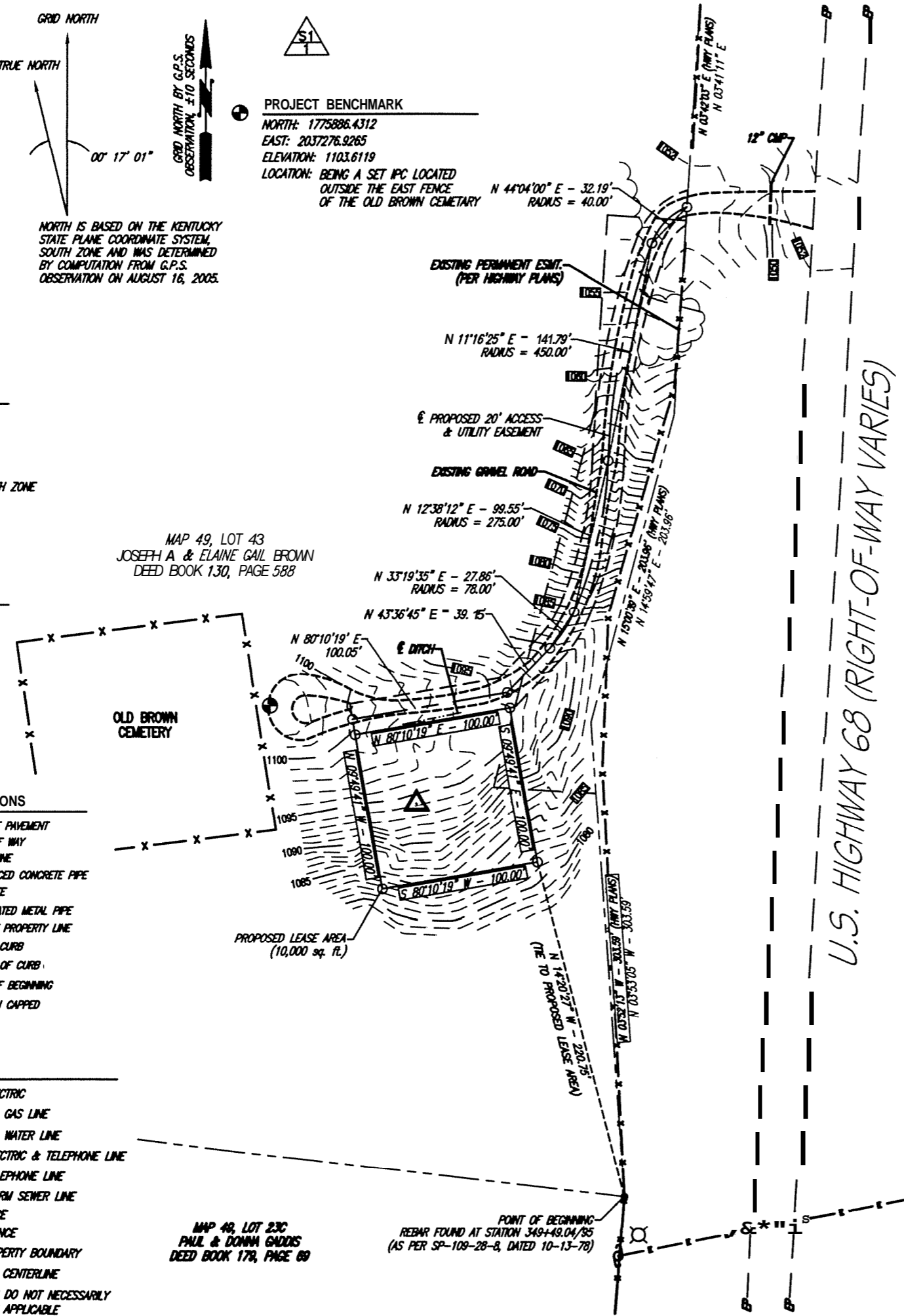
MAP 49, LOT 43  
 JOSEPH A & ELAINE GAIL BROWN  
 DEED BOOK 130, PAGE 588

OLD BROWN CEMETARY

PROPOSED LEASE AREA  
 (10,000 sq. ft.)

MAP 49, LOT 23C  
 PAUL & DONNA GADDIS  
 DEED BOOK 179, PAGE 69

POINT OF BEGINNING  
 REBAR FOUND AT STATION 349+49.04/95  
 (AS PER SP-109-28-8, DATED 10-13-78)



S1 2

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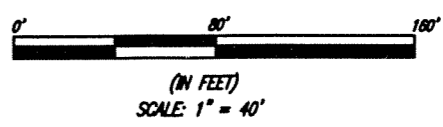
**SURVEYORS NOTES**

SOURCE OF BEARING IS A G.P.S. OBSERVATION ON AUGUST 16, 2005.  
 SITE SHOWN SUBJECT TO RIGHT OF WAYS AND EASEMENTS SHOWN HEREON OR NOT.  
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Frank L. Sellinger, II Ky. Reg. No.



**"CELLULAR COMMUNICATION TOWER SITE SURVEY"**  
 REFERENCED AS "EXHIBIT B"

OWNER APPROVAL: \_\_\_\_\_ M E \_\_\_\_\_  
 BLUEGRASS CELLULAR APPROVAL: \_\_\_\_\_ DATE: \_\_\_\_\_

I HAVE REVIEWED THE FLOOD INSURANCE RATE MAPS (FIRM) MAP NO. 210212 OUS08 DATED 02-06-91 AND THE PROPOSED LEASE AREA DOES NOT APPEAR TO BE IN A FLOOD PRONE AREA. THE PROPOSED LEASE AREA IS LOCATED IN ZONE X.

BLUEGRASS CELLULAR

2902 RING ROAD  
 ELIZABETHTOWN, KY 42702

**FSTAN**

F.S. Land Company  
 T. Alan Neal Company  
 Land Surveyors and Consulting Engineers  
 PO Box 17546 Louisville, KY 40217  
 Phone: (502) 635-5666 (502) 635-6111  
 Fax: (502) 635-5683

SITE NUMBER:

SITE NUMBER

SITE NAME:

SPURLINGTON

SITE ADDRESS:

FINLEY RIDGE RD. & U.S. HWY 68  
 CAMPBELLVILLE, KY 42718

PROPOSED LEASE AREA:

AREA = 10,000 sq. ft.

PROPERTY OWNER:

JOSEPH A. & ELAINE GAIL BROWN  
 CAMPBELLVILLE, KY 42718

MAP NUMBER:

49

PARCEL N U . . .

43

SOURCE OF TITLE:

DEED BOOK 130, PAGE 588

DWG BY:

DWG

CHKD BY:

FSM

DATE:

09.30.05

FSTAN PROJECT NO.:

05-3392

SHEET 2 OF 2

REVISIONS:

C2

**CONCRETE GENERAL NOTES:**

- ALL CONCRETE SHALL CONFORM TO THE SPECIFICATION FOR STRUCTURAL CONCRETE FOR BUILDINGS, ACI-301.
- CAST-IN-PLACE CONCRETE: THE PROPORTIONING OF MATERIAL SHALL BE BASED ON THE REQUIREMENTS FOR A PLASTIC AND WORKABLE MIX WITH THE USE OF NOT LESS THAN SIX (6) SACKS OF CEMENT PER CUBIC YARD PRODUCING CONCRETE WITH A 28-DAY DEVELOPED COMPRESSIVE STRENGTH OF NOT LESS THAN 4,000 POUNDS PER SQUARE INCH.
- CONCRETE PROTECTION:
  - CONCRETE POURED AGAINST EARTH. . . . . 3 INCHES
  - ALL CONCRETE PLACED IN FORMS . . . . . 1-1/2 INCHES
- DETAILS, FABRICATION, AND PLACING OF REINFORCING SHALL CONFORM TO APPLICABLE PROVISIONS OF ACI 315 AND ACI 318.
- REINFORCING STEEL:
  - STIRRUPS AND TIES . . . . . ASTM A 615 GRADE 40
  - ALL OTHER REINFORCING . . . . . ASTM A 615 GRADE 60
  - WELDED WIRE FABRIC. . . . . ASTM A 185
- FILL SHALL BE 90% OF MAXIMUM DENSITY AS DETERMINED IN ACCORDANCE WITH ASTM-D-698 (STANDARD PROCTOR)(U.N.O.).
- SOILS REPORT BY TERRACON AND TESTING, INC.; GEOTECHNICAL REPORT, BORE HOLE LOCATIONS, AND FINDINGS OF SUBSURFACE MATERIALS. COPIES OF THE REPORT MAY BE OBTAINED FROM ARCHITECT.
  - SWITCHGEAR BUILDING FOUNDATION:
    - SOIL BEARING PRESSURE. . . . . 1,500 PSF
  - TOWER FOUNDATION:
    - ROCK SOCKET DESIGN PARAMETERS:
      - END BEARING PRESSURE . . . . . 24,000 PSF
      - SIDE FRICTION. . . . . 8,000 PSF
- STRUCTURAL STEEL: ALL ROLLED STEEL PLATES, SHAPES, BARS, AND MISCELLANEOUS ITEMS SHALL BE STRUCTURAL QUALITY CARBON STEEL COMPLYING WITH ASTM A36 (MINIMUM YIELD 36,000 PSI).
- CONCRETE SEALER:
  - EUCO-GUARD 100 BY "THE EUCLID CHEMICAL CO."
  - MASTERSEAL SL BY "MASTER BUILDERS."
- CONFIRM ANCHOR BOLT LOCATIONS WITH TOWER MANUFACTURER.

**GENERAL NOTES:**

- THE CONTRACTOR IS RESPONSIBLE FOR EQUIPMENT PICK UP, DELIVERY TO SITE, ERECTION OF TOWER, AND CRANE SET, ALL COSTS ENCURRED.
- THE CONTRACTOR IS RESPONSIBLE FOR VISITING THE SITE PRIOR TO BIDDING AND REVIEWING EXISTING STRUCTORS OR UTILITIES THAT MIGHT BE LOCATED ON OR AROUND THE COMPOUND THAT COULD INTERFERE.
- THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING LOCAL AUTHORITIES NECESSARY FOR INSPECTIONS IF REQUIRED, PLEASE PROVIDE AMPLE NOTICE.
- THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING PERSONS RESPONSIBLE FOR ANY MATERIALS TESTING. PLEASE PROWDE AMPLE NOTICE.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVMDING THE OWNER WITH FINAL TEST RESULTS ON ALL MATERIALS TESTING. IF ANY PROBLEMS ARE FOUND PRIOR TO FINAL RESULTS PLEASE NOTIFY A&E OR OWNER IMMEDIATELY.
- THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO ADJOINING PROPERTY, AND REPAIRING OR REPLACING WHAT IS NECESSARY TO OWNERS APPROVAL.
- THE CONTRACTOR IS TO VERIFY DIMENSIONS ON SITE PRIOR TO CONSTRUCTION STARTING, ANY PROBLEMS OR CHANGE FOUND CONTACT A&E OR OWNER TO VERIFY.
- THE CONTRACTOR TO VERIFY WITH OWNER THAT FAA APPROVAL HAS BEEN RECEIVED BEFORE STACKING OF TOWER.
- THE CONTRACTOR IS RESPONSIBLE FOR ANY TEMPORARY LIGHTING ON THE TOWER AND CONTACTING PROPER AUTHORITY IF ANY LIGHTING PROBLEMS OCCUR. ALL FINAL LIGHTING TO BE MOUNTED ON TOWER DURING CONSTRUCTION, NOTIFY OWNER WHEN TOWER HAS REACHED FINAL HEIGHT.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL ON SITE WORK MEANS AND METHODS, WORK TO BE DONE IN COMPLIANCE WITH OSHA RULES AND REGULATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL SITE DRAINAGE, AND PROVIDING SILT AND EROSION CONTROL NECESSARY TO MAINTAIN ANY RUN OFF.
- THE CONTRACTOR RESPONSIBLE FOR ANY SEED AND STRAW NECESSARY TO DAMAGED AREAS.
- CONTRACTOR TO GRADE SMOOTH OR REPAIR ANY POT HOLES OR DITCHING ON PROPERTY OR ROAD THAT HAS OCCURRED DURING CONSTRUCTION AT CONTRACTORS EXPIENCE.

**GRADING & EXCAVATING NOTES:**

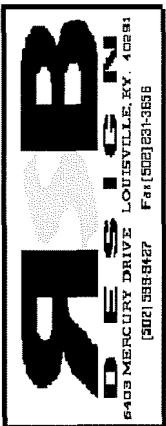
- CONTRACTOR TO COORDINATE WITH PROPERTY OWNER CONSTRUCTION SCHEDULE TO AVOID ANY INTERRUPTIONS TO PROPERTY OWNERS OPERATIONS.
- CONTRACTOR TO ENSURE POSITIVE DRAINAGE DURING AND AFTER CONSTRUCTION IS COMPLETE.
- ANY DAMAGE TO EXISTING UTILITIES, STRUCTURES, ROADS AND PARKING AREAS TO BE REPAIRED OR REPLACED TO OWNERS SATISFACTION.
- PREPARATION FOR FILL: REMOVAL OF ALL DEBRIS, WET AND UNSATISFACTORY SOIL MATERIALS, TOPSOIL, VEGETATION, AND HARMFUL MATERIALS FROM SURFACE OF GROUND PRIOR TO FLOWING, STRIPPING, PLACING FILLS OR BREAKING UP OF SLOPED SURFACES GREATER THAN 1 VERTICAL TO 4 HORIZONTAL SO MATERIAL FOR FILL WILL BOND WILL BOND TO EXISTING SURFACE. WHEN AREA TO RECEIVE FILL HAS A DENSITY LESS THAN REQUIRED, BREAK UP GROUND SURFACE TO DEPTH REQUIRED, AERATE, MOISTURE - CONDITION, OR PULVERIZE SOIL AND RECOMPACT TO REQUIRED DENSITY.
- BACK FILLING
  - EXCAVATED AREA SHALL BE CLEARED FROM STONES OR CLODS OVER 2 1/2" MAXIMUM SIZE.
  - SHALL BE PLACED IN LAYERS OF 6" AND COMPACTED TO A 95% STANDARD PROCTOR, USE A 90% STANDARD PROCTOR IN GRASSED / LANDSCAPED AREAS WHERE REQUIRED.
  - SHALL BE APPROVED MATERIALS CONSISTING OF SANDY CLAY, GRAM. AND SAND, SOFT SHALE, EARTH OR LOAM. CONSULT WITH ENGINEER PRIOR TO FILL BEING ADDED.
- ALL MATERIAL FOR FILL TO BE APPROVED BY ENGINEER AND ALL COMPACTING TEST TO BE COMPLETED TO SPEC'S ALL COMPACTING RESULTS TO BE TURNED OVER TO OWNER.
- AFTER COMPLETION OF BELOW GRADE EXCAVATING, AREA TO BE CLEANED AND CLEARED OF ANY UNSUITABLE MATERIAL SUCH AS, TRASH, DEBRIS, VEGETATION AND SO FORTH COMPLETE.
- ANY EXCAVATING IN WHICH CONCRETE IS TO BE PLACED SHALL BE SUBSTANTIALLY HORIZONTAL ON UNDISTURBED AND UNFROZEN SOIL AND BE FREE OF ANY LOOSE MATERIAL AND EXCESS GROUND WATER.
- IF SOUND SOIL IS NOT REACHED AT DESIGNATED EXCAVATION DEPTH, THE POOR SOIL IS TO BE EXCAVATED TO ITS FULL DEPTH AND EITHER REPLACED WITH MECHANICALLY COMPACTED GRANULAR MATERIAL OR THE EXCAVATION TO BE FILLED WITH THE SAME QUALITY CONCRETE SPECIFIED FOR THE FOUNDATION. PLEASE CONTACT OWNER & ENGINEER FOR RECOMMENDATIONS.
- MECHANICALLY COMPACTED GRANULAR MATERIAL OR CONCRETE OF THE SAME QUALITY SPECIFIED FOR THE FOUNDATIONS TO BE USED IF EXCAVATION EXCEEDED M.E OVERALL REQUIRED DEPTH. FOR STABILIZATION OF THE BOTTOM OF THE EXCAVATION, CRUSHED STONE MAY BE USED. STONE, IF USED, SHALL NOT BE USED AS COMPILING CONCRETE THICKNESS. PLEASE CONTACT ENGINEER FOR RECOMMENDATIONS.

**SYMBOLS LEGEND**

	KEYNOTE
	INSP. SLEEVE / GRND ROD
	INSPECTION SLEEVE
	CAD WELD CONNECTION
	TRANSFORMER
	LIGHTNING SUPPRESSOR
	SWITCH (DISCONNECT)
	METER PACK
	POWER
	GAS LINE
	WATER LINE
	SANITARY SEWER
	TELEPHONE
	STORM SEWER DRAIN
	FENCE

- INSTALL CONCRETE PADS FOR BUILDING, PROPANE TANK, GENERATOR PAD.
- INSTALL ELECTRIC AND GROUND FIELD FOR COMPOUND.
- EXCAVATION TO COMPOUND TO INCLUDE WEED CONTROL MAT.
- SITE TO HAVE PROPER DRAINAGE & EROSION CONTROL (CROWNED FORMATION)
- GC WILL BE RESPONSIBLE FOR ALL CRANE OPERATIONS IN ORDER TO SET FIBREBOND BUILDING. COORDINATE BUILDING DEUMRY DATE THROUGH BLUEGRASS CELLULAR.
- GC WILL BE RESPONSIBLE FOR REPAIR OF ALL AREAS DISTURBED DURING CONSTRUCTION. (EXCAVATING ISSUES)
- GC WILL BE RESPONSIBLE FOR OFF LOADING AND STACKING OF TOWER
- GC WILL BE RESPONSIBLE FOR MOUNTING ALL LINES AND ANTENNAS.
- GC WILL BE RESPONSIBLE FOR SUPPLING AND INSTALLING ICE BRIDGE.
- GC WILL BE RESPONSIBLE FOR SCHEDULING PROPANE TANK DEUMRY AND HOOK-UP.
- GC WILL BE RESPONSIBLE FOR CLEANING THE INSIDE OF BUILDING BEFORE I HAND SITE OVER TO OPERATIONS DEPARTMENT. THIS WILL INCLUDE SUPPLMNG TRASHCAN, TRASH BAGS, BROOM, AND DOORMAT FOR BUILDING.
- GC WILL BE RESPONSIBLE FOR APPLMNG FOR ELECTRICAL SERWCE AND PAYING NECESSARY FEES REQUIRED.
- ALL WAREHOUSE MATERIAL (LINES, ANTENNAS, MOUNTING HARDWARE, GENERATOR, TOWER FOUNDATION KIT, ETC.) WILL NEED TO BE PICKED UP BY GC.
- ALL ALARMS WILL NEED TO BE HOOKED UP BY GC, THIS IS TO INCLUDE GENERATOR ALARM AND TOWER LIGHT ALARM. (TO BLUEGRASS CELLULAR INC. ALARM BLOCK)
- GC WILL BE RESPONSIBLE FOR SCHEDULING GENERATOR START-UP WITH CONTACT SCOTT ANDERSON (EVAPAR) 502-267-6315
- T1 CONDUIT WILL NEED TO BE PLACED FROM POLE TO BUILDING. (IF A MICROWAVE DISH IS USED, THE T1 CONDUIT WILL STILL BE INSTALLED FOR FUTURE USE.)
- GC WILL BE RESPONSIBLE FOR INSTALLATION OF ALL FENCING.
- ALL TRASH AND DEBRIS TO BE REMOVED BY GC
- ALL BIDS ARE TO BE BROKE DOWN AS FOLLOWS.
  - EXCAVATING, ROAD, SITE WORK ETC.
  - TOWER FOUNDATION
  - TOWER ERECTION
  - LINES AND ANTENNAS
  - ALL FOUNDATION SLABS
  - ELECTRICAL AND GROUNDING
  - FENCING
  - ICE BRIDGE
- GC TO SEFERATE ALL MATERIALS & LABOR IN BID.

NOTE: THIS SCOPE OF WORK IS A BASIC OUTLINE FOR THE GENERAL CONTRACTOR TO FOLLOW AND DOES NOT EXCLUDE OTHER DUTIES ASSOCIATED WITH THE GENERAL CONTRACTORS RESPONSIBILITIES TO COMPLETE THE CELLULAR SITE. IT IS RECOMMENDED THAT THE SPECIFICATIONS MANUAL BE READ PRIOR TO CONSTRUCTION.



REVISION		NO.		DATE	

**BLUEGRASS CELLULAR, INC.**  
**STANDARD CELLULAR SITE**  
**SPURLINGTON**  
 6945 NEW LEBANON RD. CAMPBELLVILLE, KY. 42718

DRAWN BY: R. BECKER  
 ISSUE DATE: 09-06-05  
 SCALE: LISTED

SHEET NUMBER  
**General Notes**

## BLUEGRASS CELLULAR GENERAL NOTES ■ ANTENNA SPECS

ALL LINES AND ANTENNAS TO BE PROPERLY MOUNTED TO TOWER OR STRUCTURE PER BLUEGRASS CELLULAR SPECIFICATIONS.

ALL GROUND BARS TO BE INSTALLED AND CAD WELDED TO GROUND FIELD (WHERE REQUIRED)

ALL LINES TO BE GROUNDED AT THE TOP AND BASE OF STRUCTURE OR TOWER.

ALL LINES TO BE GROUNDED AT ENTRANCE OF SHELTER BEFORE WAVE GUIDE PORTS. (EXTERIOR OF BUILDING)

LINES ARE TO BE SECURED TO ICE BRIDGE

WAVE-GUIDE BOOTS ARE TO BE INSTALLED ON ALL LINES (BOTH INSIDE AND OUTSIDE)

ALL COAX CONNECTIONS ARE TO BE WEATHER PROOFED.

INVENTORY OF ALL MATERIAL IS TO BE DONE PRIOR TO INSTALLATION BY CONTRACTOR. (LIST WILL BE PROVIDED)

ALL TRASH AND REFUGE IS TO BE PROPERLY DISPOSED OF.

CONTRACTOR TO EXTEND HARDLINES INTO BUILDING 12" & INSTALL POLYPHASERS, PER INSTRUCTION OF PROJECT MANAGER.

POLYPHASERS OR LIKE UNITS TO BE INSTALLED AND GROUNDED TO GROUND BAR INSIDE BUILDING AT WAVE GUIDE ENTRANCE. GO TO SUPPLY GROUNDED CABLE & LUGS.

GENERAL CONTRACTOR TO MOUNT ANTENNA MOUNTS AT TOP OF STRUCTURE OR TOWER BY BLUEGRASS CELLULAR SPECIFICATIONS.

ICE BRIDGE TO BE SUPPLIED AND INSTALLED BY GENERAL CONTRACTOR. (Additional Ice Bridge if needed)

TRAPEZE KIT TO BE SUPPLIED AND INSTALLED BY GENERAL CONTRACTOR.

CONTRACTOR TO SUPPLY & INSTALL GPS BRACKET & CABLING

	TYPE	SIZE L x W x D	NUMBER	AZIMUTH	MOUNTING HEIGHT
ANTENNA (PRIMARY)	D100-0042-0061 ANDREW	L=70.3" W=6.3" D=2.7"	6	0*, 120*, 240*	180'-0" C/L
ANTENNA (SECONDARY)					

### ANTENNA MOUNTING HARDWARE SPECS

	TYPE	SP	NUMBER	MOUNTING HEIGHT
MOUNT (PRIMARY)	TRI-SECTOR MOUNT		3	PER PROJECT MANAGER
MOUNT (SECONDARY)				

### ANTENNA TRANSMISSION LINES SPECS

	TYPE	SIZE	NUMBER	LENGTH
TRANSMISSION LINE (PRIMARY)	ANDREW	1-5/8"	6	FIELD VERIFY
TRANSMISSION LINE (SECONDARY)				

	MICROWAVE/DONOR	SIZE	NUMBER	AZIMUTH	MOUNTING HEIGHT
x DISH #1	TPG-P-24A48GN-U		1	251.20	140'-0"
DISH #2	TPG-P-24A48GN-U CAMPBELLSVILLE		1	71.20	150'-0"

	TYPE	SIZE	NUMBER	MOUNTING HEIGHT
MOUNT #1				
MOUNT #2				

### DISH TRANSMISSION LINES

	TYPE	SP	NUMBER	LENGTH
TRANSMISSION LINE #1				
TRANSMISSION LINE #2				

### ANTENNA SYNOPSIS

- \* ANTENNAS TO HAVE A 2\* ELECTRICAL DOWNTILT
- \* ANTENNA FREQUENCY 880.00 - 890.00



REVISION

DATE

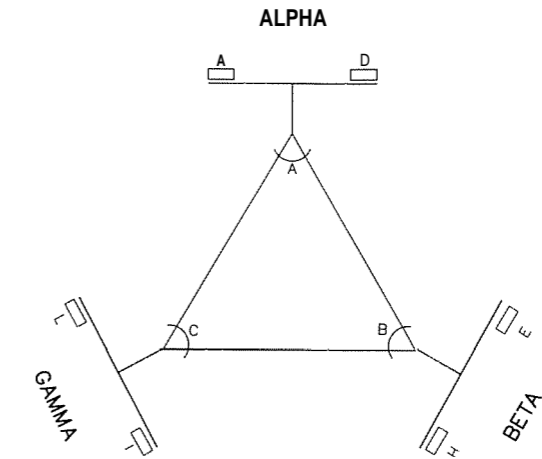
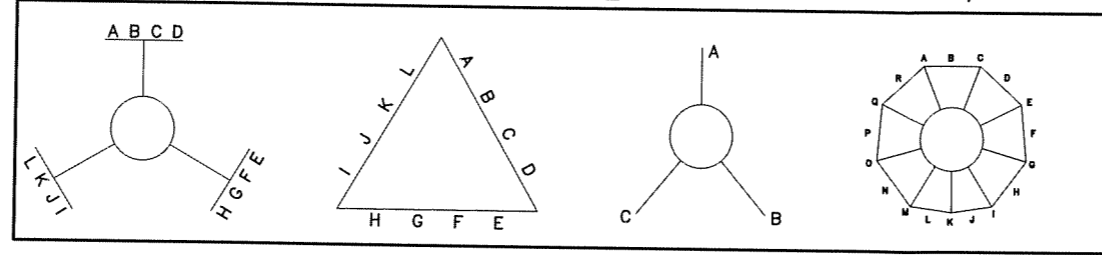
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**BLUEGRASS CELLULAR, INC.**  
**STANDARD CELLULAR SITE**  
**SPURLINGTON**  
 6945 NEW LEBANON RD. CAMPBELLSVILLE, KY. 42718

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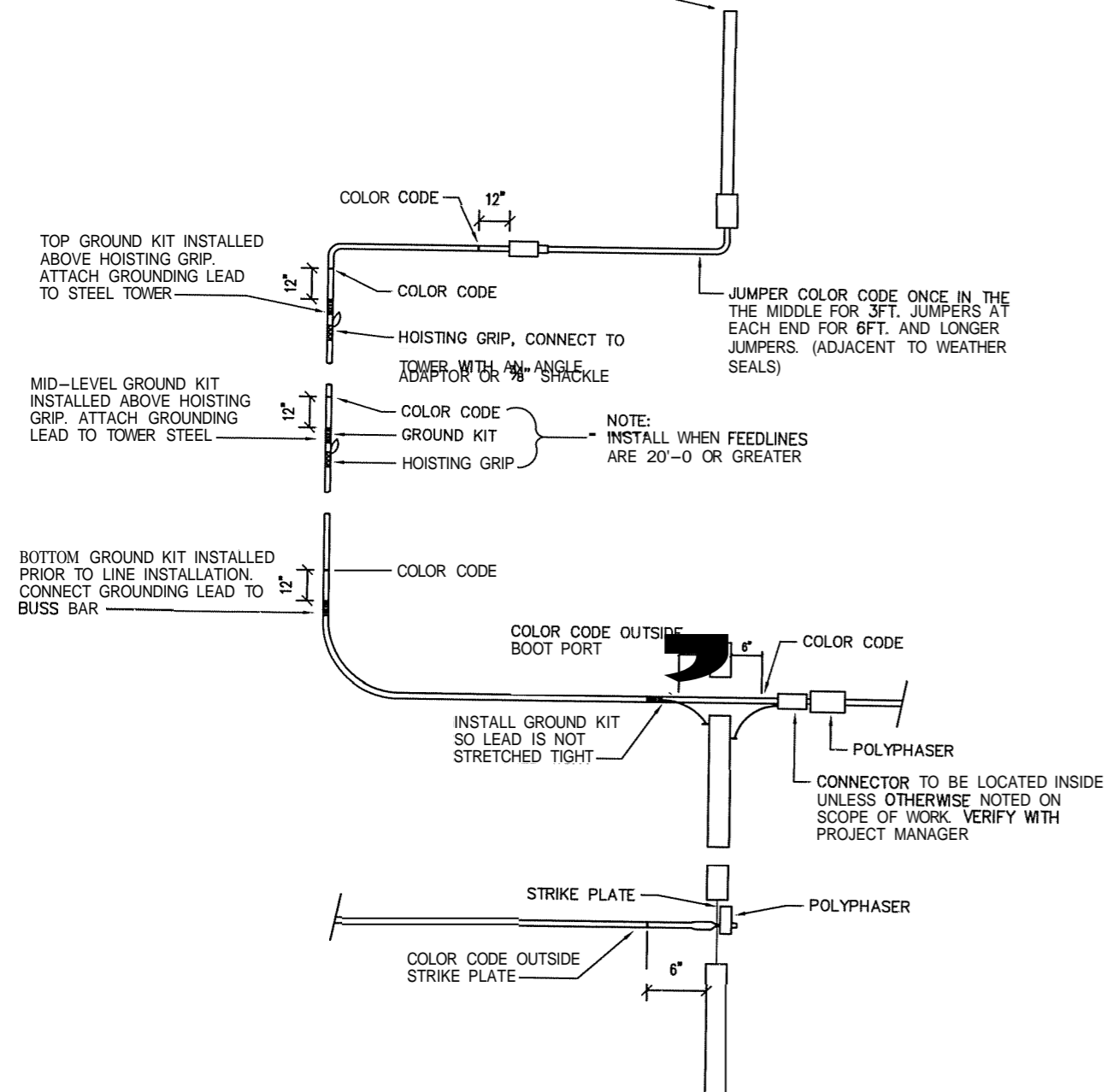
**ANT.**  
**NOTES**

ANTENNA CONFIGURATION DETAIL (LETTER DENOTES ANTENNA LOCATION)

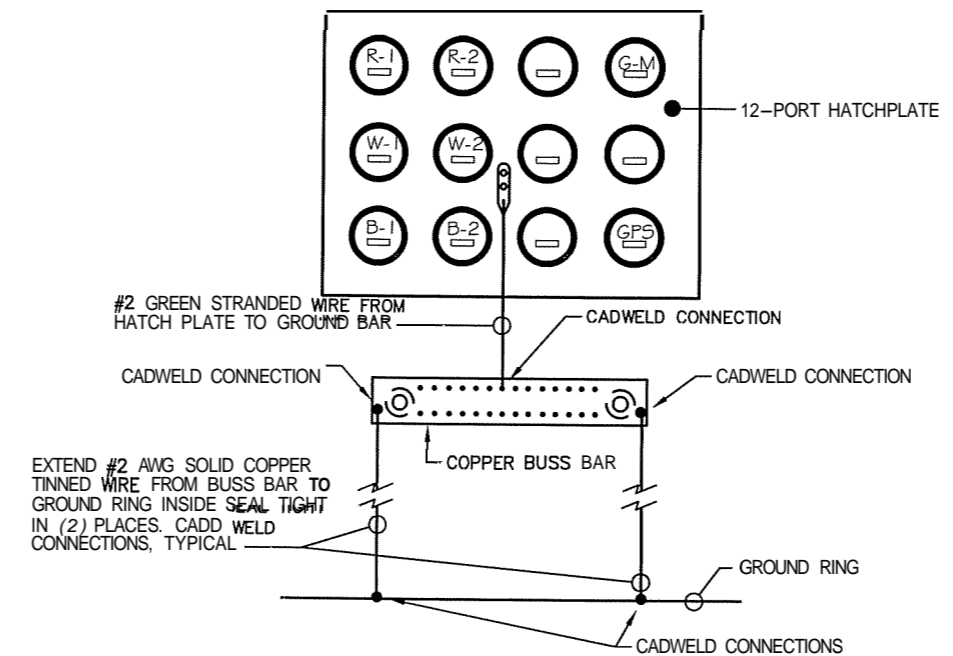


**TRI-SECTOR ANTENNA DIAGRAM**  
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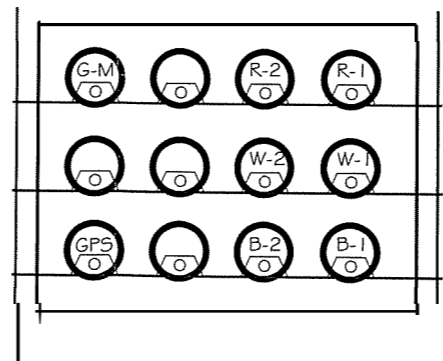
ANTENNA COLOR CODING  
 -OMNI DIRECTIONAL ANTENNA, 6" ABOVE THE MOUNT PORTION ON THE RADOME.  
 -DIPOLE ANTENNAS, BETWEEN THE TIP OF THE BOTTOM ELEMENT AND THE TOP MOUNTING BRACKET.  
 -PANEL & DISH ANTENNAS, AT THE MOST VISIBLE POINT ON THE REAR OF THE ANTENNAS.



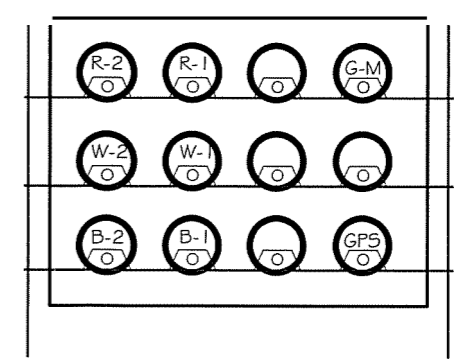
**COLOR CODING DETAIL**  
NO SCALE



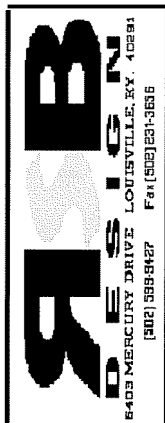
**BOOT PORT GROUNDING DETAIL**  
NO SCALE



**COAX ENTRY DETAIL POWER SIDE (VIEW FROM INSIDE SHELTER)**  
NO SCALE



**COAX ENTRY DETAIL A/C SIDE (VIEW FROM INSIDE SHELTER)**  
NO SCALE



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BLUEGRASS CELLULAR, INC.  
 STANDARD CELLULAR SITE  
**SPURLINGTON**  
 6945 NEW LEBANON RD. CAMPBELLVILLE, KY. 42718

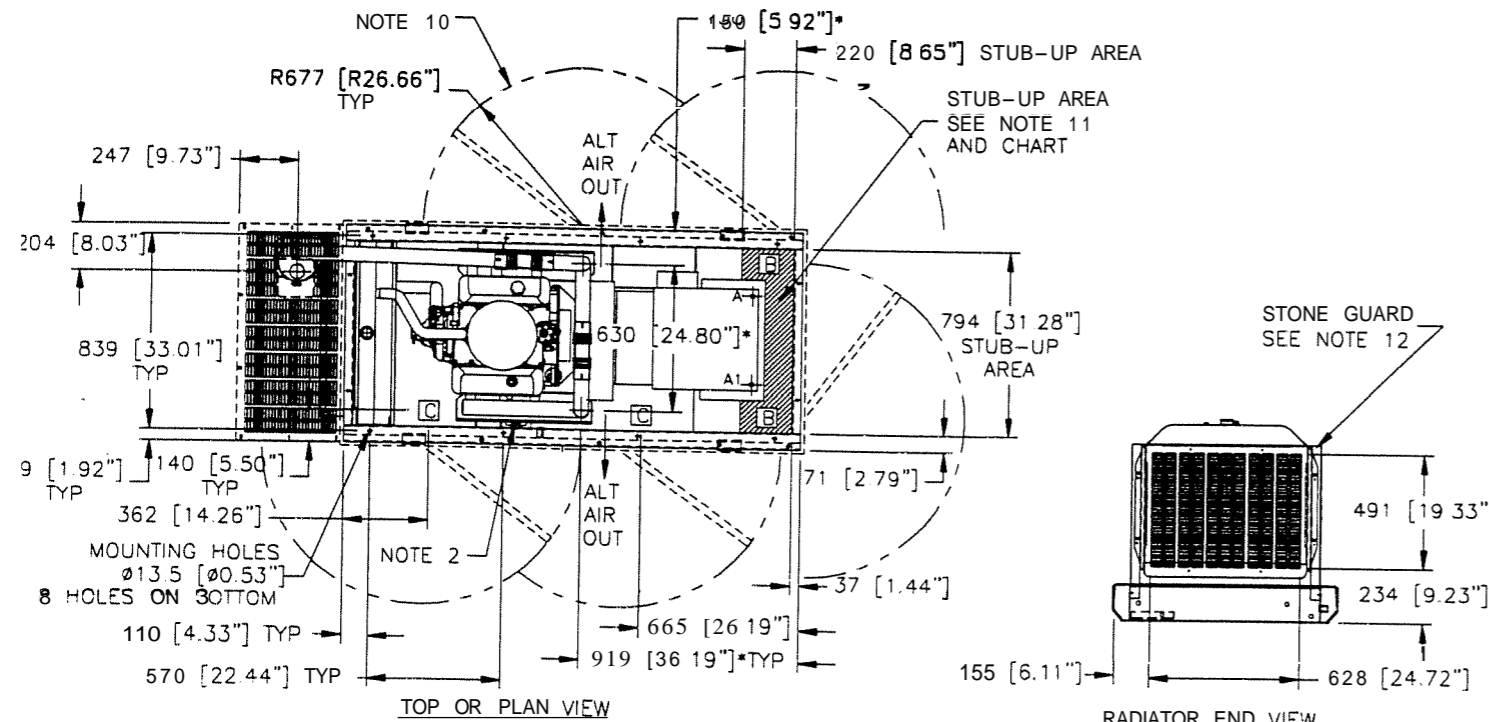
DRAWN BY: R. BECKER  
 ISSUE DATE: 09-06-05  
 SCALE: LISTED

SHEET NUMBER  
 ANTENNA/LINES DETAILS



ENGINE SERVICE CONNECTIONS

INLET LP GAS = 3/4" NPT COUPLING  
 INLET NATURAL GAS = 3/4" NPT COUPLING  
 OIL DRAIN = 1/2" NPT COUPLING  
 EXHAUST OUTLET - EXHAUST MANIFOLDS AS SHOWN  
 ON OPEN SET, 2.5" OD MUFFLER  
 OUTLET WITH ENCLOSURE



**RECOMMENDED FUEL/ELECTRICAL STUB-UPS  
 (SEE TOP VIEW)**

DESCRIPTION	INSIDE BASE
AC LOAD LEAD CONDUIT (RIGHT) (LEFT)	A A1
120/240V AC FOR OPT. BATTERY CHARGER, OPT. BATTERY HEATER, AND BLOCK HEATER	B
INSIDE STUB-UP FOR FUEL CONNECTIONS	C

NOTE:  
 FUEL SYSTEM SET UP WITH OUTSIDE STUB UPS (SEE LEFT SIDE VIEW) SMALL FUEL SYSTEM MODIFICATIONS REQUIRED FOR INSIDE STUB-UPS

WEIGHT DATA  
 UNIT: 729.7 kg [1609 lbs]  
 STEEL COMPARTMENT: 208.6 kg [460 lbs]

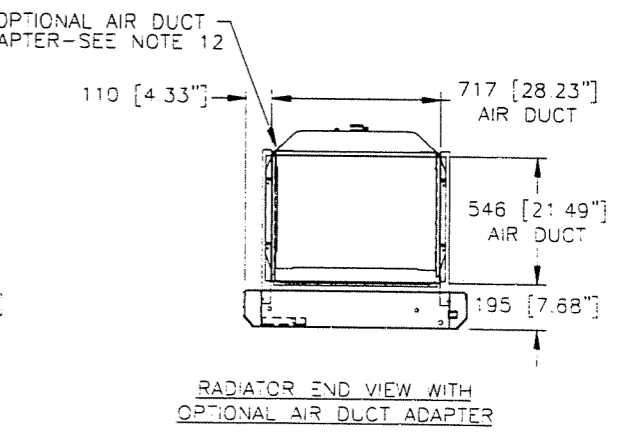
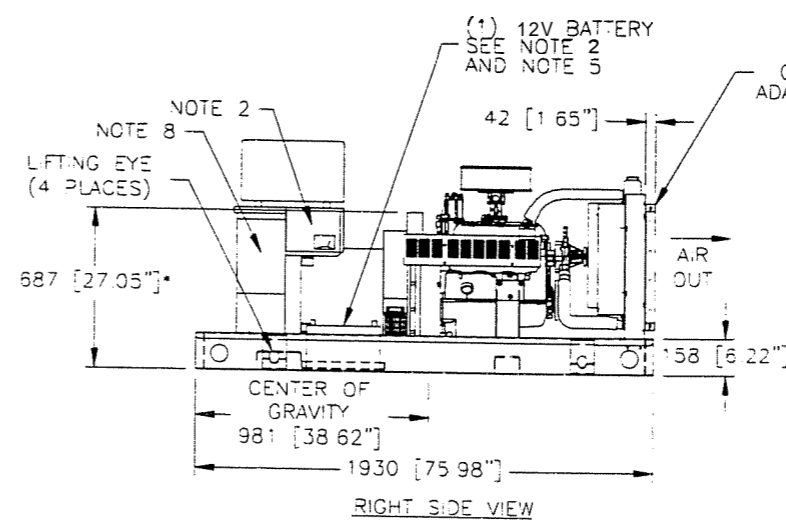
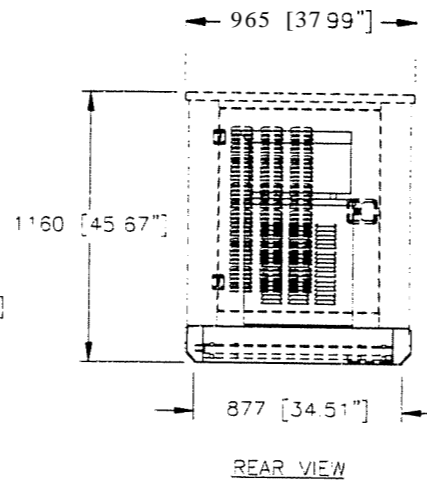
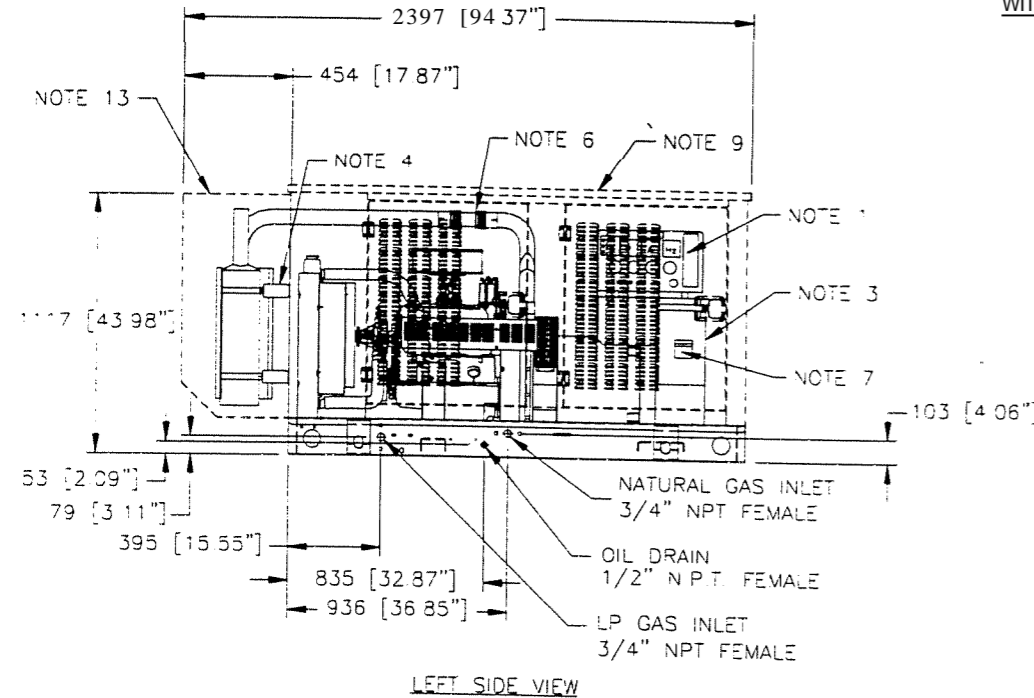
UNITS: mm [INCHES]

NOTES:

- CONTROL PANEL MAY BE ROTATED 180° IN EITHER DIRECTION.
- STANDARD BLOCK HEATER REQUIRES 120V AC CONNECTION (ALSO OPTIONAL BATTERY CHARGER, & BATTERY HEATER)
- CONNECTION POINTS FOR AC LOAD LEADS AND ENGINE AUTOMATIC START/STOP CONTROL WIRES PROVIDED IN AC CONNECTION PANEL
- EXHAUST MUFFLER SUPPORT BRACKETS SUPPLIED WITH OPTIONAL COMPARTMENT
- 12 VOLT NEGATIVE GROUND SYSTEM BATTERY TRAY INSIDE DIMENSIONS: 178 X 342.5 [7" X 13.5"]
- 2.5" 1.0 FLEX EXHAUST, STANDARD WITH COMPARTMENT UNITS. OPTIONAL WITHOUT
- MAIN LINE CIRCUIT BREAKER
- REMOVABLE BLANK PANEL FOR OPTIONAL 2nd MAIN LINE CIRCUIT BREAKER
- OPTIONAL COMPARTMENT
- DOORS MUST BE OPENED 90 DEG TO 3E REMOVED
- A OR A1 MAY BE USED DEPENDING ON CIRCUIT BREAKER LOCATION
- STONE GUARDS AND AIR DUCT ADAPTER ARE OPTIONS AND CAN BE ORDERED FOR UNITS WITHOUT ENCLOSURES ONLY.
- SEE DRAWING C3850 FOR DUCT REMOVAL. REMOVAL OF FRONT DUCT WILL PROVIDE ACCESS TO MUFFLER FOR SERVICING

\*DIMENSIONS ARE TO THE CENTER OF OUTLETS ON EXHAUST MANIFOLDS DIMENSIONS SHOULD BE USED AS A REFERENCE WHEN EXHAUST SYSTEM IS NOT ORDERED APPLIES TO OPEN SET ONLY

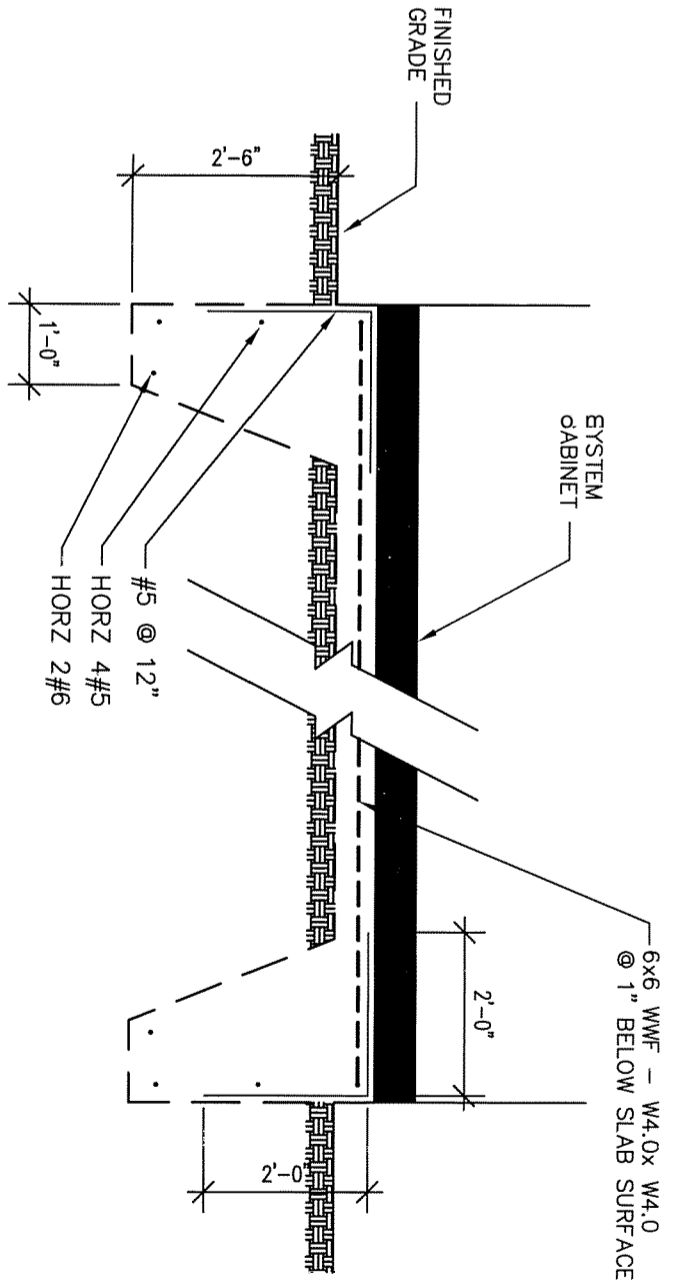
RADIATOR END VIEW WITH OPTIONAL STONE GUARD



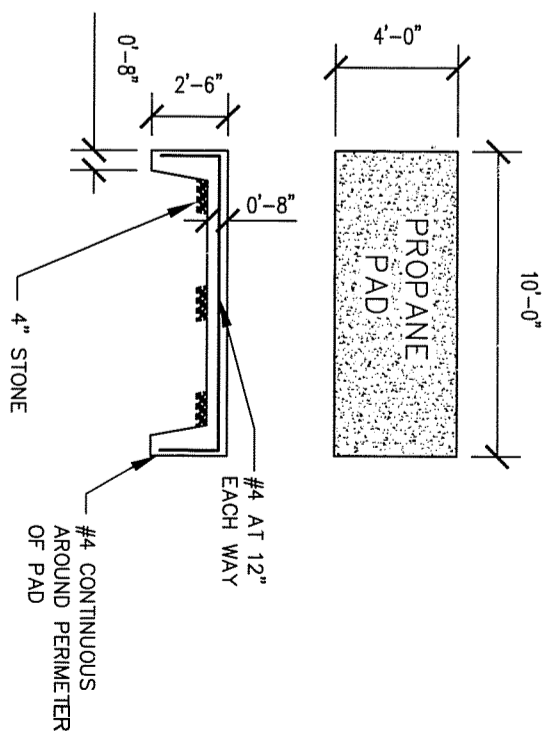
# GENERAC® INSTALLATION DRAWING

INSTALLATION DRAWING # C4505 REV -  
 SG035 & SG045  
 4.3 LITER SPARK-IGNITED ENGINE  
 NATURALLY ASPIRATED  
 ISSUE DATE 10/11/99

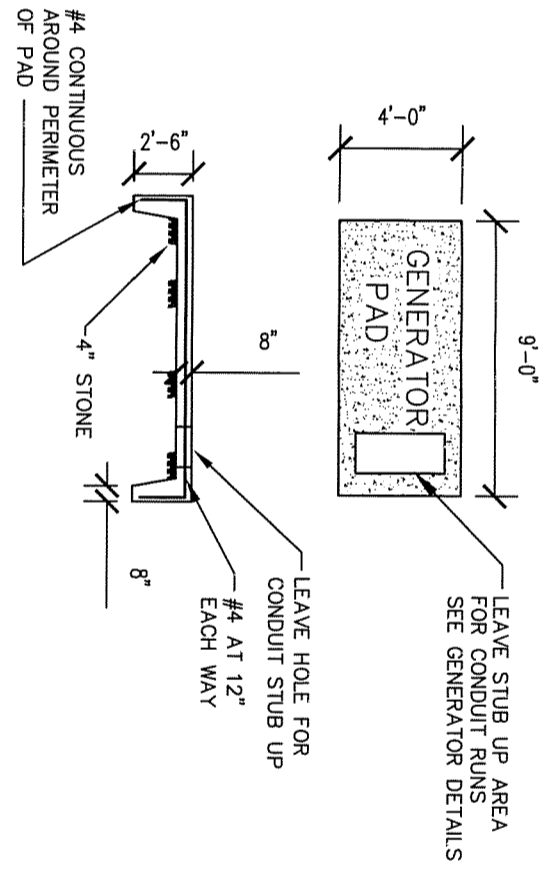
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FOUNDATION PLAN  
NO SCALE



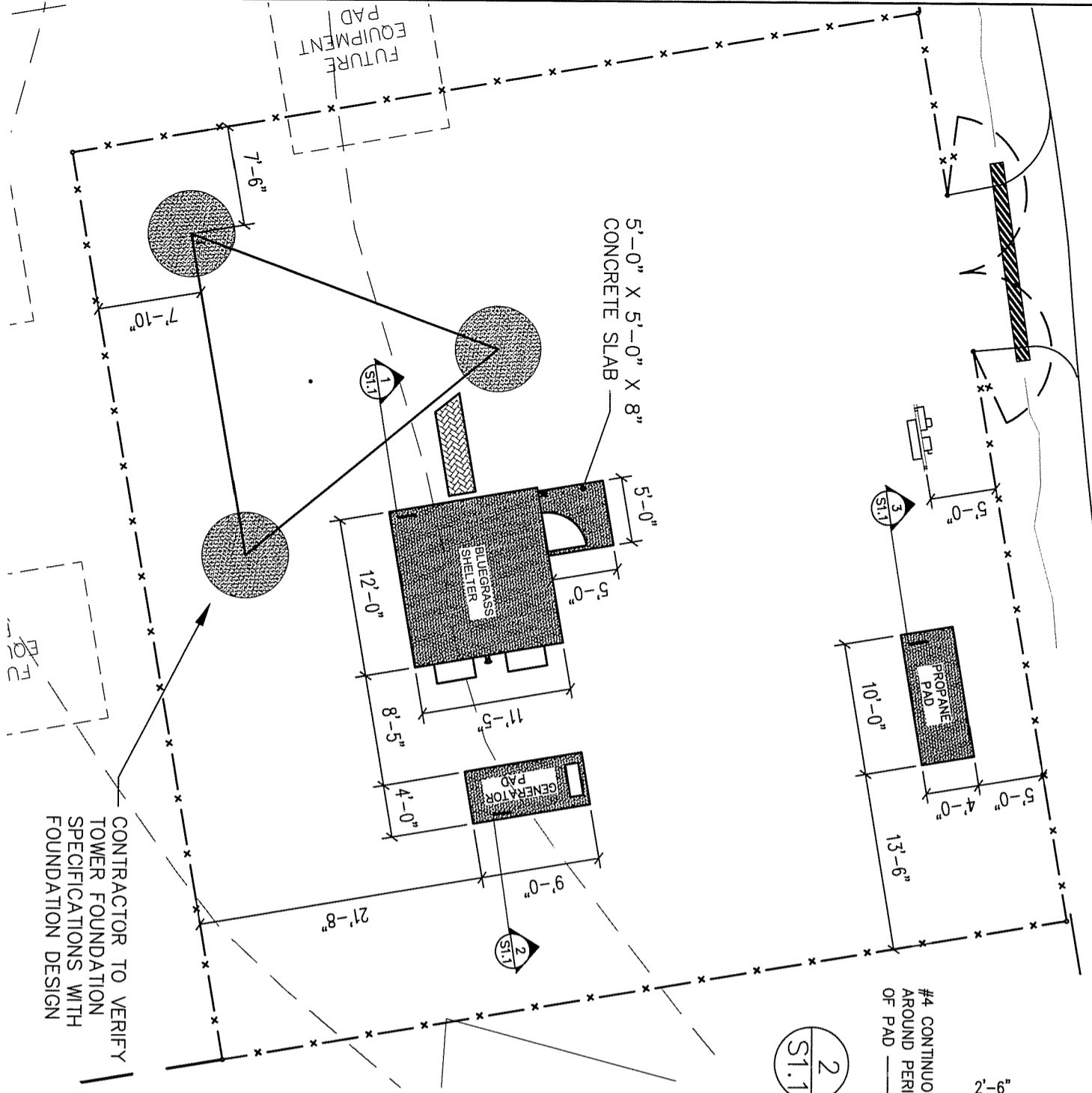
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FOUNDATION PLAN  
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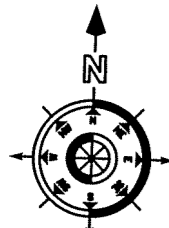
**2**  
FOUNDATION PLAN  
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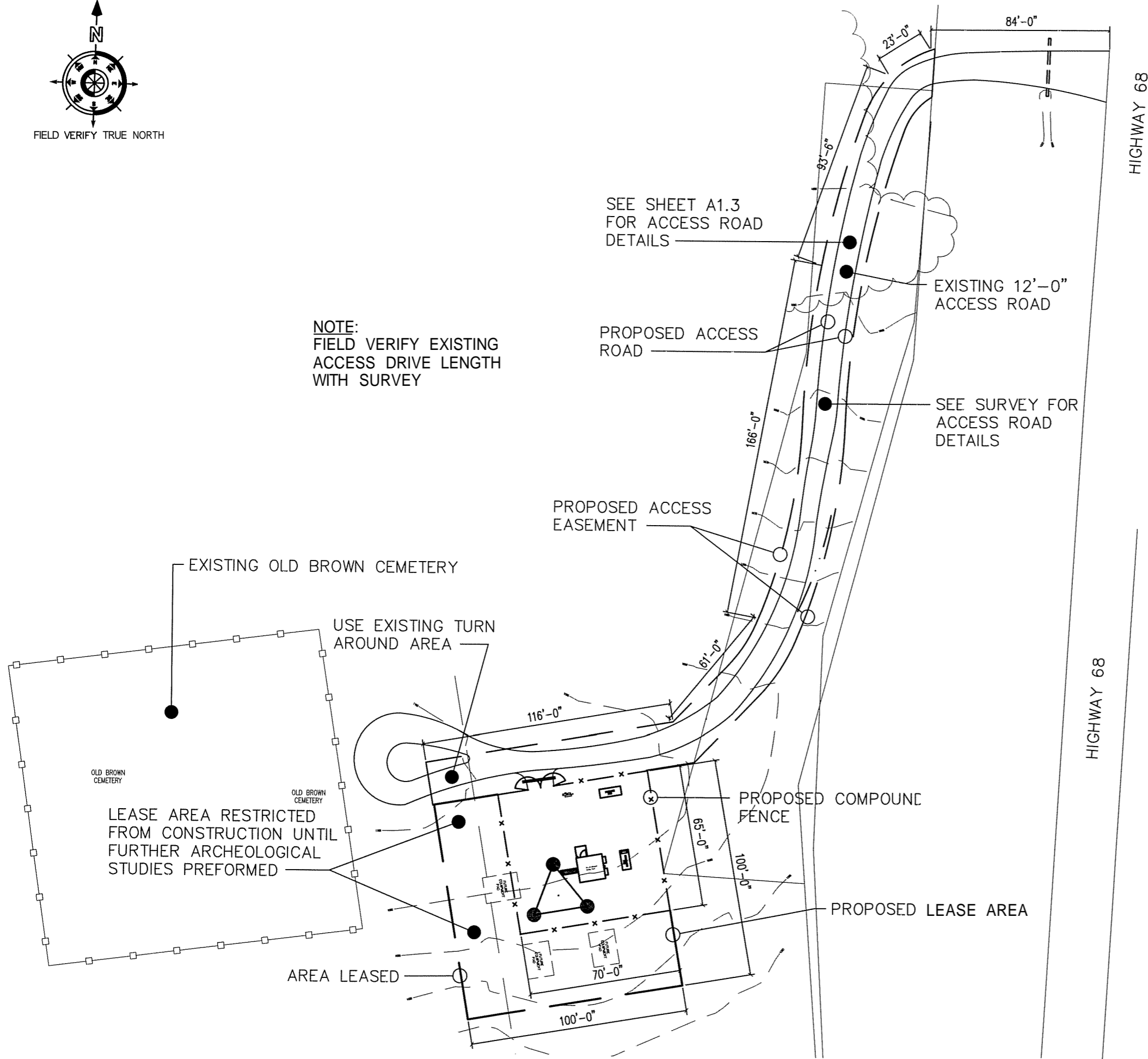
**FOUNDATION PLAN**  
SCALE: 3/32"=1'-0"



CONTRACTOR TO VERIFY  
TOWER FOUNDATION  
SPECIFICATIONS WITH  
FOUNDATION DESIGN



FIELD VERIFY TRUE NORTH



HIGHWAY 68

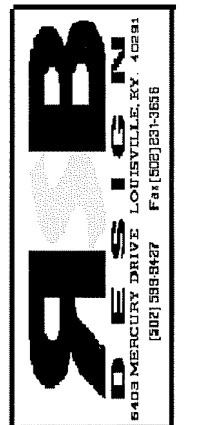
HIGHWAY 68

**GENERAL NOTES:**

- 1) EQUIPMENT PICK-UP AND DELIVERY TO SITE FROM BLUEGRASS CELLULAR STAGING FACILITY TO BE THE CONTRACTORS RESPONSIBILITY, INCLUDING CRANE SET, AND ALL COST INCURRED.
- 2) FOR, BUILDING AND ALL CONCRETE PAD DETAILS REFER TO STRUCTURALS AND SHEET S1.I
- 3) ALL CONCRETE TO HAVE SPECIFIED COATED SEALANT PER STRUCTURAL RECOMMENDATIONS.
- 4) ANY DAMAGE DUE TO CONSTRUCTION, TO BE REPAIRED OR REPLACED TO ORIGINAL CONDITION. (SUBJECT TO BLUEGRASS CELLULAR'S APPROVAL).
- 5) ANY DAMAGE OF NATURAL SURROUNDINGS, INCLUDING BUT NOT LIMITED TO, GRASS, TREES, LANDSCAPING, ETC.. TO BE REPAIRED OR REPLACED TO ORIGINAL CONDITION AT BLUEGRASS CELLULAR'S APPROVAL.
- 6) ROADWAYS TO BE GRADED SMOOTH AND EVEN, REMOVING ALL POTHOLES. ROADS TO HAVE PROPER DRAINAGE AND RUNOFF PER BLUEGRASS CELLULAR'S APPROVAL.
- 7) ANY RELOCATION OF EXISTING UTILITIES TO BE DONE IN ACCORDANCE WITH LOCAL CODES AND RECOMMENDATIONS, CONSULTING ALL UTILITY COMPANIES INVOLVED FOR APPROVAL AND SPECIFICATIONS REQUIRED.
- 8) FOR GRADING DETAILS, SEE GENERAL NOTESHEET
- 9) CONTRACTOR TO FIELD VERIFY ALL TOWER DIMENSIONS WITH TOWER MANUFACTURER PRIOR TO JOB BIDDING OR START OF ANY CONSTRUCTION
- 10) CONTRACTOR RESPONSIBLE FOR APPLYING FOR SERVICE TO SITE AND PAYING ANY FEES REQUIRED FOR PERMITS, HOOKUP, ETC..

**OVERALL SITE PLAN**

SCALE: NONE



NO.	DATE	REVISION

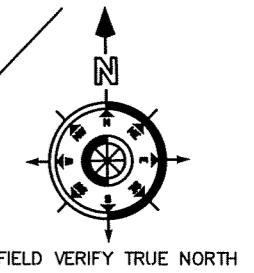
**BLUEGRASS CELLULAR, INC.**  
**STANDARD CELLULAR SITE**  
**SPURLINGTON**  
 6945 NEW LEBANON RD. CAMPBELLVILLE, KY. 42718

DRAWN BY: R. BECKER	ISSUE DATE: 09-06-05	SCALE: LISTED
SHEET NUMBER A1.0 OF 4		

EXISTING GRAVEL ACCESS DRIVE

CONTRACTOR TO SPREAD NEW GRAVEL ON EXISTING ACCESS DRIVE AND TURN AROUND AREA AS NEEDED

SEE SURVEY FOR ACCESS ROAD LENGTH & DETAILS



PROPOSED 20'-0" ACCESS EASEMENT

EXISTING GRAVEL ACCESS DRIVE

NOTE:  
NO CONSTRUCTION BEYOND ARCHEOLOGICAL BOUNDARY LINE, UNTIL ADDITIONAL STUDIES HAVE BEEN COMPLETED BY ARCHEOLOGIST.

NOTE:  
CONTRACTOR TO VERIFY TOWER DIMENSIONS & SPECS WITH TOWER DRAWINGS

NOTE:  
TOWER LATITUDE & LONGITUDE  
N37° 13' 03.83" W84° 27' 29.02"  
GROUND ELEVATION 1032'-8"

NOTE:  
CONTRACTOR TO SPREAD #57 CRUSHED STONE EVENLY THRU-OUT COMPOUND A MINIMUM 4" THICK. SPREAD 12" BEYOND FENCE LINE

EXISTING GRAVEL ACCESS DRIVE

NEW 12'-0" ACCESS GATE

EXISTING 12'-0" ACCESS ROAD, SEE DETAIL SHEET A3.1

12'-0"

20'-0"

PROPANE PAD

PROPANE PAD, SEE SHEET S1.1 FOR DETAILS

CONTRACTOR TO EXTEND ACCESS ENTRANCE OUT TO EXISTING GRAVEL DRIVE. SUPPLY & INSTALL DRAINAGE CULVERT WHERE NECESSARY

NEW METER & TELCO BOARD, SEE DETAIL SHEET E1.1

AREA LEASED

EXISTING HIGHWAY RIGHT OF WAY

INSTALL 24" GRIP STRUT FOR COAX SUPPORT & ICE PROTECTION, SEE SHEET A1.3 FOR COAX SUPPORT DETAIL

SEE SHEET S1.1 FOR BUILDING FOUNDATION, AND A1.3 FOR ELEVATIONS

GENERATOR PAD, SEE SHEET S1.1 & GENERATOR SPEC SHEET FOR DETAILS

CONTRACTOR TO PROVIDE & INSTALL LANDSCAPE FABRIC THROUGHOUT FENCED COMPOUND

EXTEND #57 CRUSHED STONE THRU OUT FENCED COMPOUND A MINIMUM 4" THICK AND 12" BEYOND FENCE LINE

BLUEGRASS SHELTER

GENERATOR PAD

PROPOSED 240'-0" SELF SUPPORT TOWER, SEE DETAIL SHEET A1.2

SEE STRUCTURAL SHEET/ FOR TOWER FOUNDATION SPECIFICATIONS

AREA LEASED

NEW COMPOUND FENCE TO BE 8'-0" TALL, CHAIN LINK WITH 3 STRANDS BARBED WIRE AROUND TOP. SEE FENCE DETAIL A2.1

ARCHEOLOGICAL BOUNDARY LINE

ARCHEOLOGICAL BOUNDARY LINE

FUTURE EQUIPMENT PAD

FUTURE EQUIPMENT PAD

FUTURE EQUIPMENT PAD

FUTURE EQUIPMENT PAD

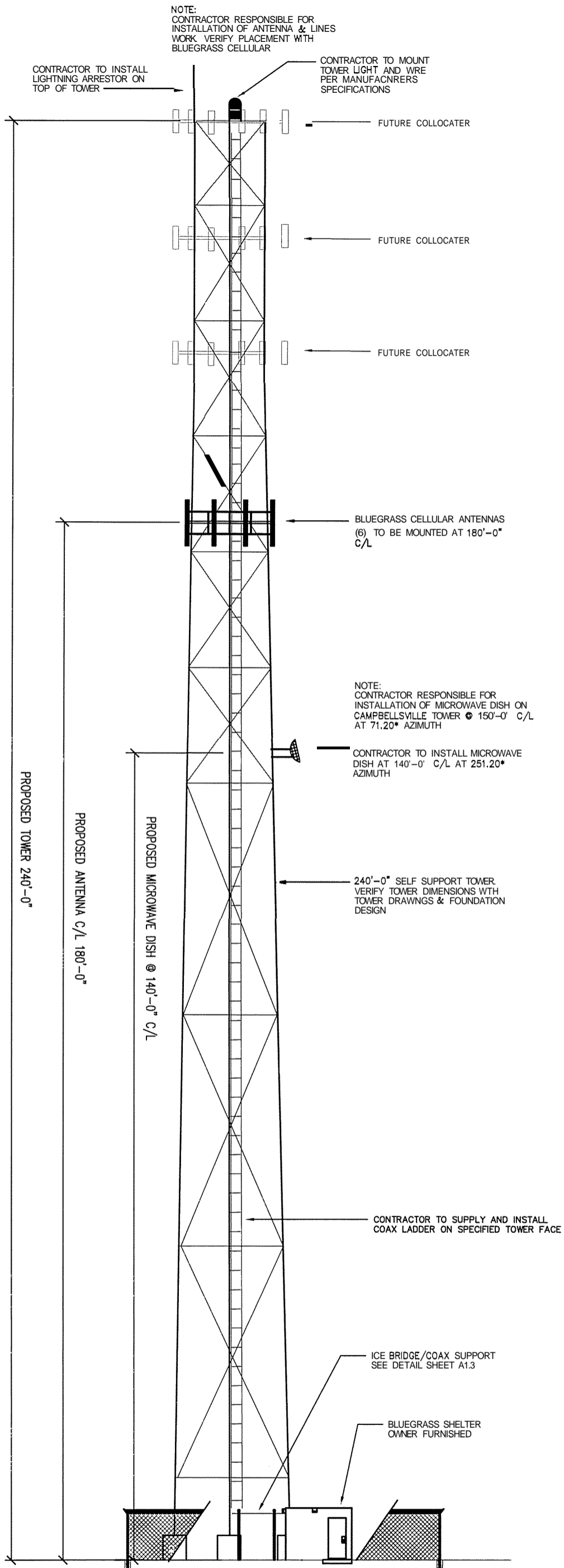


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**SPURLINGTON**  
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ISSUE DATE: 09-06-05  
SCALE: LISTED

SHEET NUMBER  
A1.1  
OF  
4

**SITE PLAN**  
SCALE: 3/32"=1'-0"



**SITE ELEVATION**  
NO SCALE

DRAWN BY:  
**R. BECKER**  
ISSUE DATE: 09-06-05  
09-06-05  
SCALE:  
LISTED

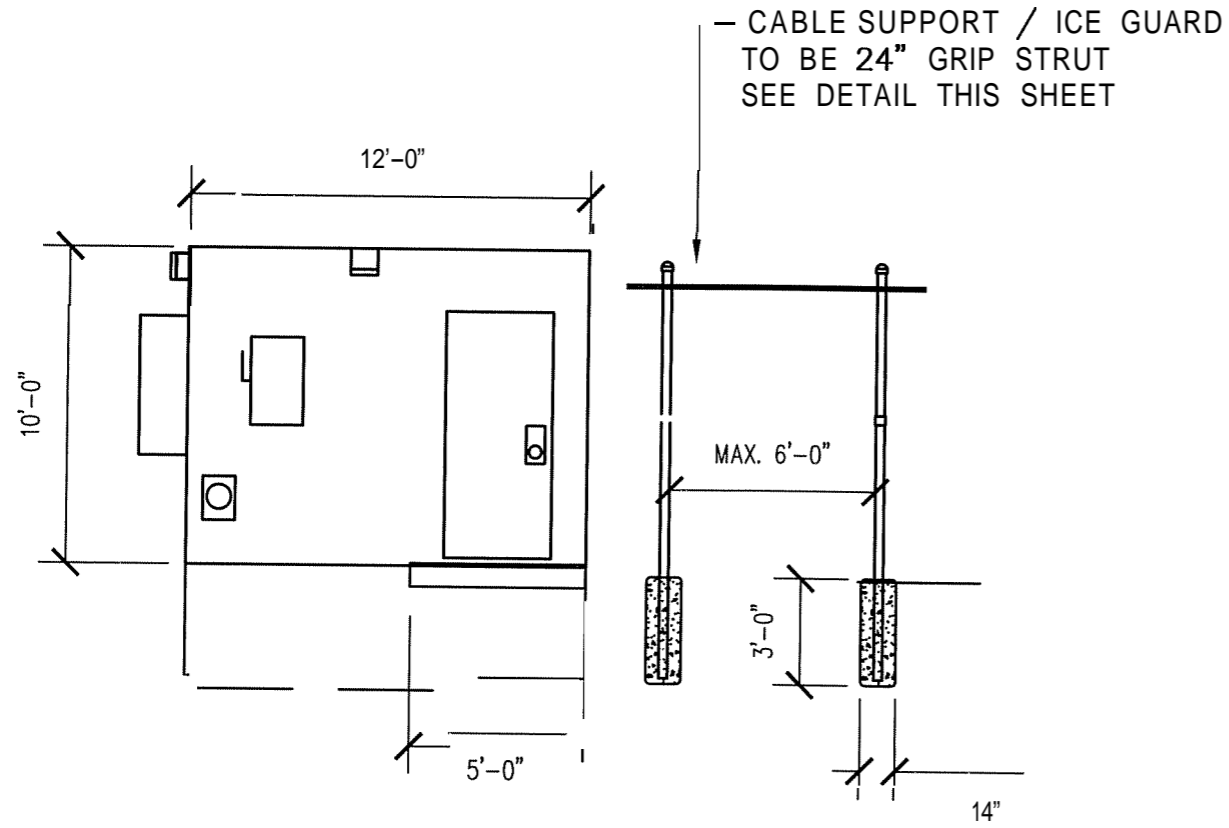
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A1.2  
OF  
4

**BLUEGRASS CELLULAR, INC.**  
**STANDARD CELLULAR SITE**  
**SPURLINGTON**

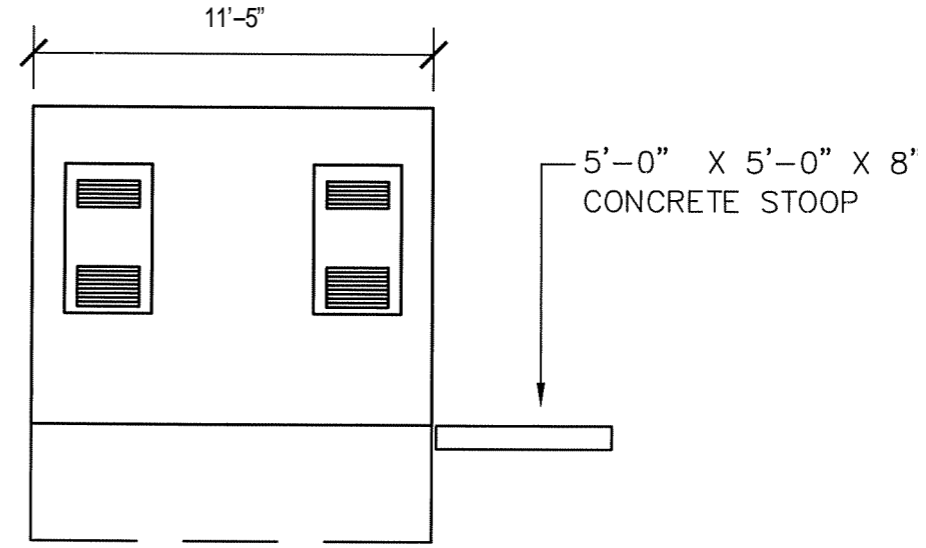
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NO.	DATE	REVISION

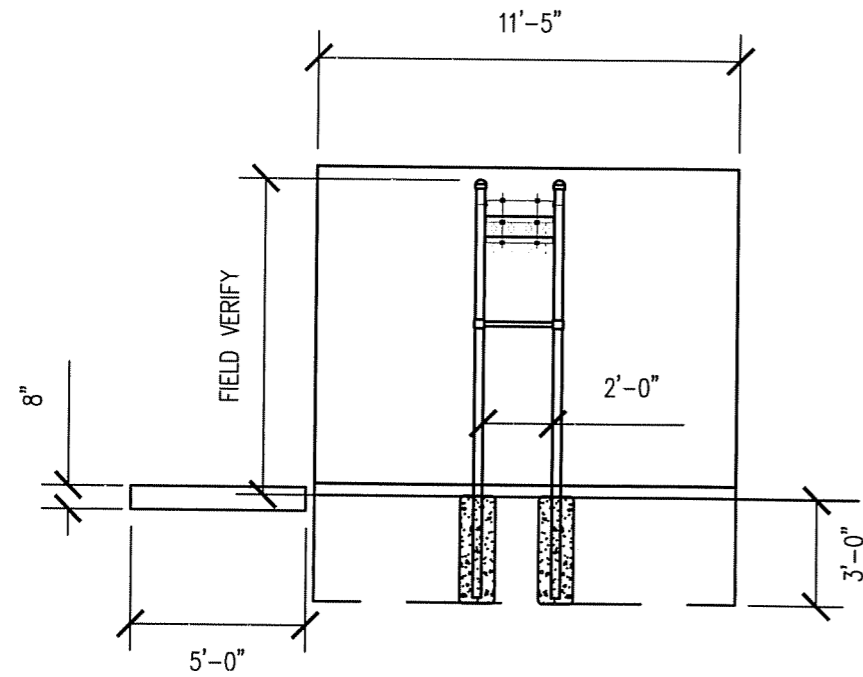
**R&B**  
**DESIGN**  
6403 MERCURY DRIVE LOUISVILLE, KY. 40291  
[502] 538-8427 Fax [502] 231-3556



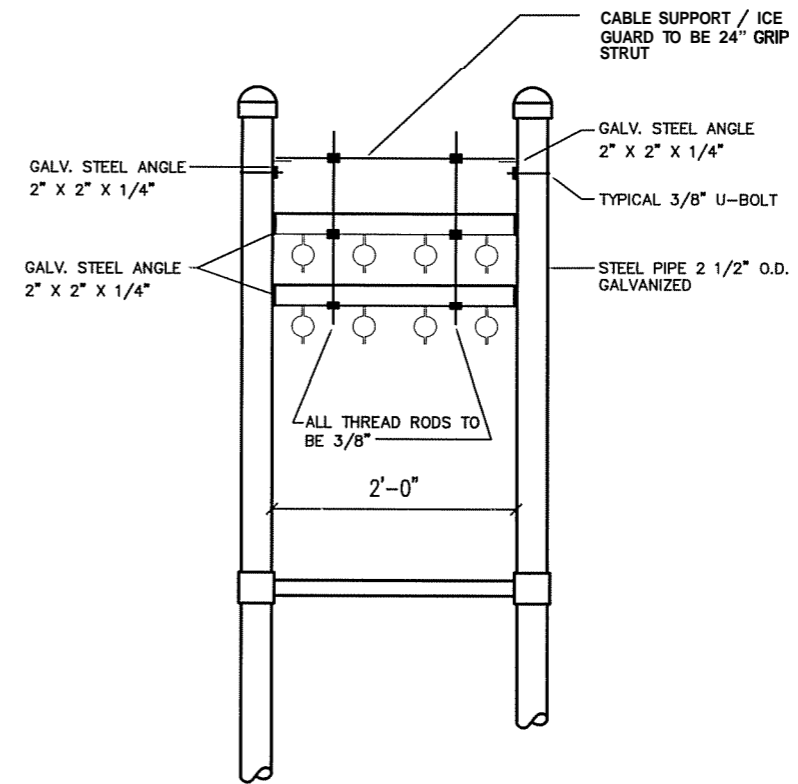
**BLDG. FRONT**  
NO SCALE



**BLDG. SIDE**  
NO SCALE



**BLDG. REAR**  
NO SCALE



**ICE BRIDGE DETAIL**  
NO SCALE

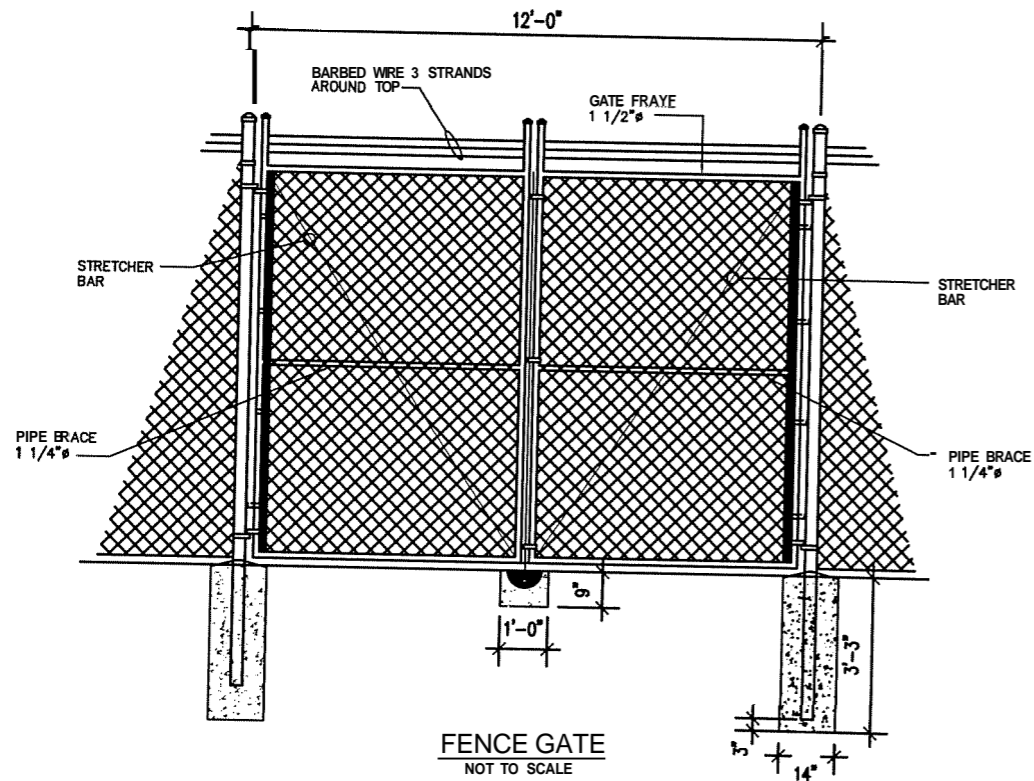


NO.	DATE	REVISION

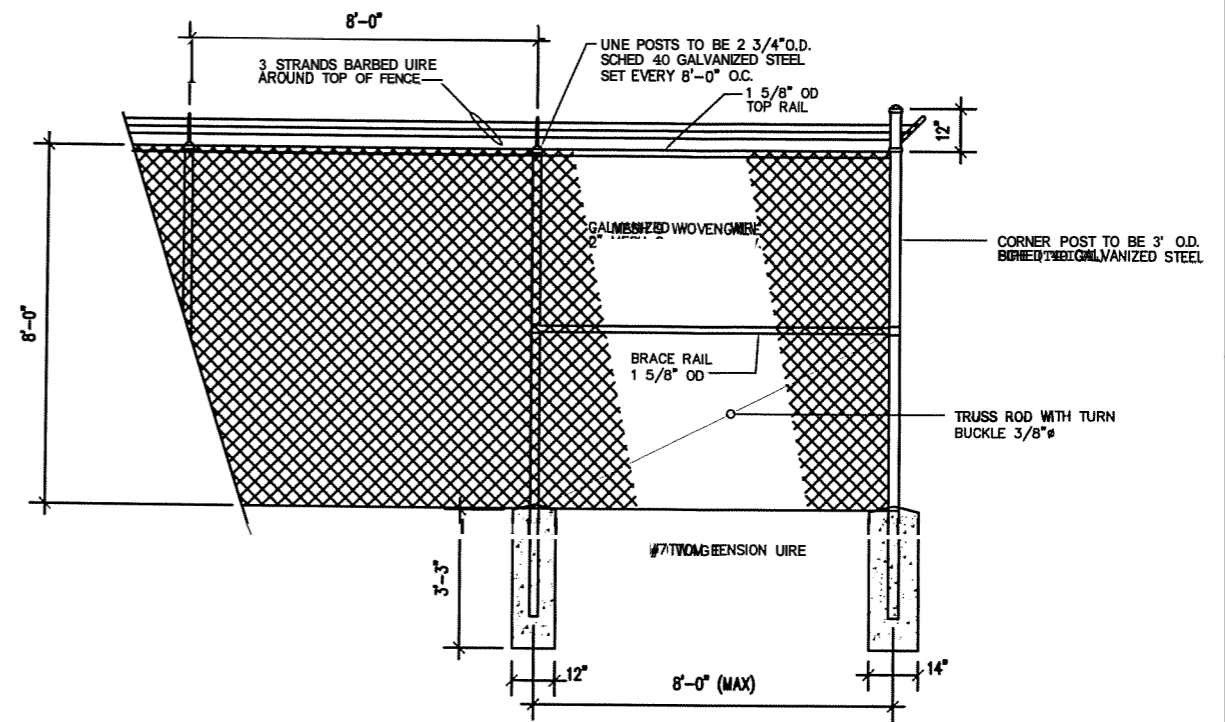
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SCALE: LISTED

SHEET NUMBER  
A1.3  
OF  
4



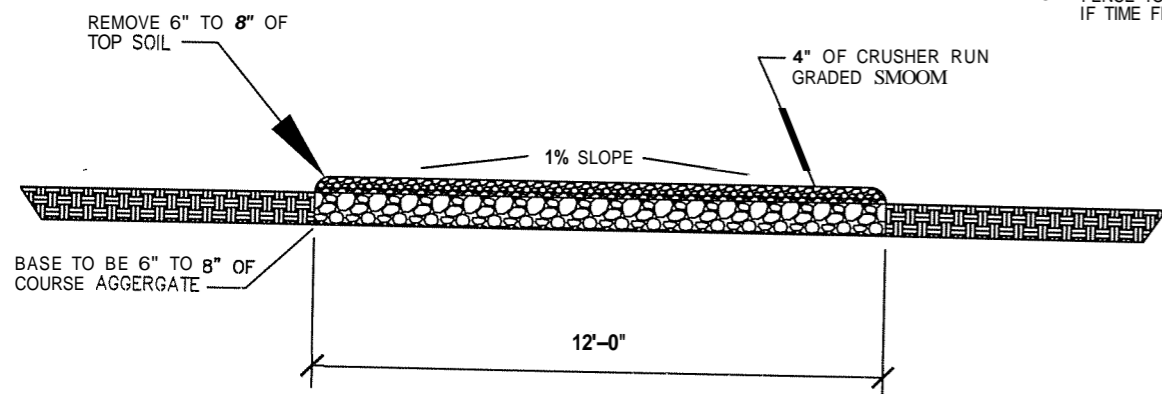
FENCE GATE  
NOT TO SCALE



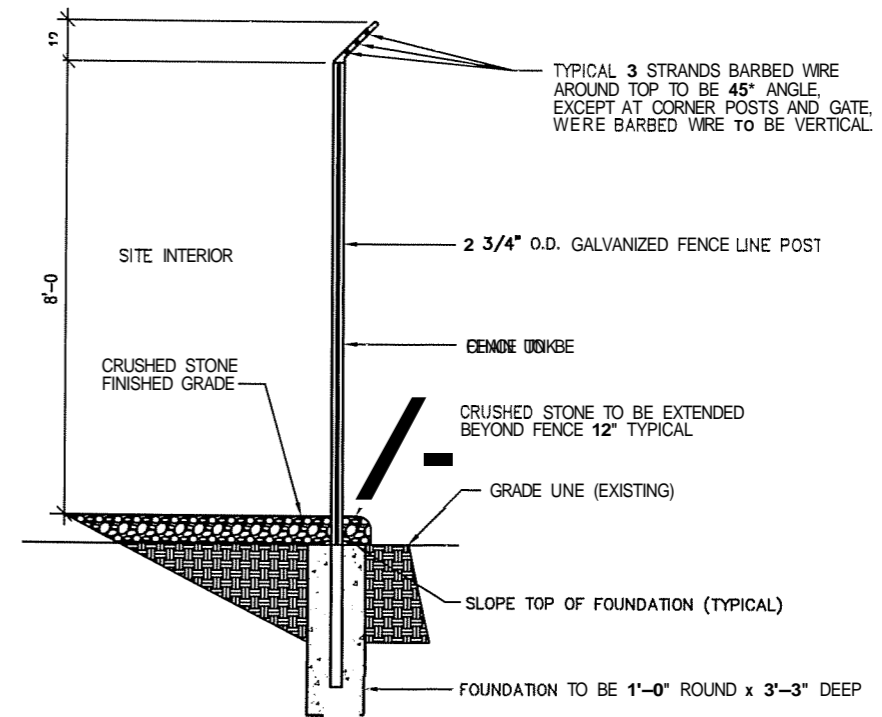
FENCE DETAIL END POLES  
NOT TO SCALE

CHAIN LINK FENCING NOTES:

- FABRIC:** THE FABRIC SHALL BE COMPOSED OF INDIVIDUAL HOT DIP GALVANIZED WIRE PICKETS HELICALLY WOUND AND INTERWOVEN FROM NO.9 W & M GAUGE COPPER BEARING STEEL WIRE TO FORM A CONTINUOUS CHAIN LINK FABRIC HAVING A 2" MESH. TOP EDGES SHALL HAVE A TWISTED AND BARBED
- POSTS:** SHALL BE 2 3/4" OD. SS 40 PIPE HOT GALVANIZED, THESE POSTS SHALL BE SPACED APPROXIMATELY 8'-0" ON CENTERS AND SET FULL 3'-3" IN BELL - SHAPED CONCRETE FOOTING, CROWNED AT TOP TO SHED WATER.
- TOP RAIL:** SHALL BE 1 5/8" O.C. STANDARD PIPE HOT GALVANIZED AND SHALL BE FURNISHED IN RANDOM LENGTHS AVERAGING NOT LESS THAN 20'.
- BE ALUMINUM FOR ATTACHING APPROVED LINE POSTS AND PERAIL. ON TOP WIRE, SHALL ON TOP OF RAIL EVERY 24" AND ONE POST EVERY 12".
- EXTENSION ARMS:** SHALL BE 1/2" GALVANIZED STEEL AND MADE OF 3 STRANDS OF BARB WIRE SINGLE END.
- BARBED WIRE (STEEL):** ASTM A121 GALVANIZED STEEL, 12 GAUGE THICK WIRE, 3 STRANDS 4 POINTS AT 3" O.C.
- SWING GATE POSTS:** SHALL BE 3" O.C. STANDARD HOT GALVANIZED, WEIGHING 5.79 LBS PER POST.
- GATES (or) SWING GATES:** PIPE OVER STANDARD PIPE WITH TOP RAIL BRACING WATERTIGHT CONSTRUCTION. FABRIC SAME AS FENCE.
- FENCE TO BE 100% ERECTED WITHIN TEN(10) DAYS OF COMPLETION OF CONSTRUCTION, IF TIME FRAME CANNOT BE MET, PLEASE NOTIFY PROJECT MANAGER.



ROAD DETAIL  
NOT TO SCALE



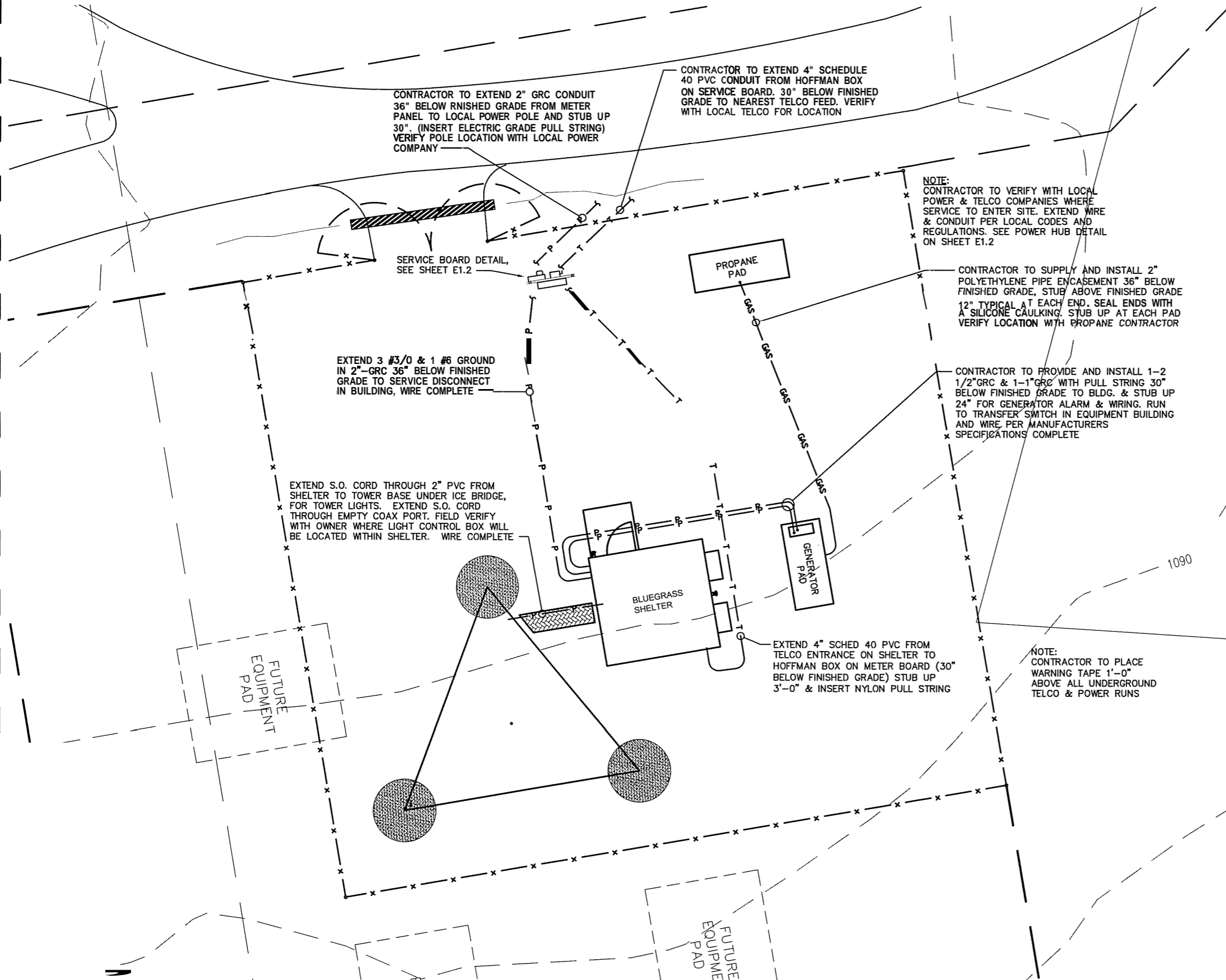
FENCE DETAIL LINE POLES  
NOT TO SCALE



NO.	DATE	REVISION

BLUEGRASS CELLULAR, INC  
STANDARD CELLULAR SITE  
**SPURLINGTON**  
6945 NEW FRANKLIN RD CAMPBELL KY

R. BECKER  
ISSUE DATE: 09-06-05  
SCALE: LISTED  
SHEET NUMBER  
**A2.1**  
OF  
1



CONTRACTOR TO EXTEND 2" GRC CONDUIT 36" BELOW FINISHED GRADE FROM METER PANEL TO LOCAL POWER POLE AND STUB UP 30". (INSERT ELECTRIC GRADE PULL STRING) VERIFY POLE LOCATION WITH LOCAL POWER COMPANY

CONTRACTOR TO EXTEND 4" SCHEDULE 40 PVC CONDUIT FROM HOFFMAN BOX ON SERVICE BOARD. 30" BELOW FINISHED GRADE TO NEAREST TELCO FEED. VERIFY WITH LOCAL TELCO FOR LOCATION

NOTE: CONTRACTOR TO VERIFY WITH LOCAL POWER & TELCO COMPANIES WHERE SERVICE TO ENTER SITE. EXTEND WIRE & CONDUIT PER LOCAL CODES AND REGULATIONS. SEE POWER HUB DETAIL ON SHEET E1.2

SERVICE BOARD DETAIL, SEE SHEET E1.2

PROPANE PAD

CONTRACTOR TO SUPPLY AND INSTALL 2" POLYETHYLENE PIPE ENCASEMENT 36" BELOW FINISHED GRADE, STUB ABOVE FINISHED GRADE 12" TYPICAL AT EACH END. SEAL ENDS WITH A SILICONE CAULKING. STUB UP AT EACH PAD VERIFY LOCATION WITH PROPANE CONTRACTOR

EXTEND 3 #3/0 & 1 #6 GROUND IN 2" GRC 36" BELOW FINISHED GRADE TO SERVICE DISCONNECT IN BUILDING, WIRE COMPLETE

CONTRACTOR TO PROVIDE AND INSTALL 1-2 1/2" GRC & 1-1" GRC WITH PULL STRING 30" BELOW FINISHED GRADE TO BLDG. & STUB UP 24" FOR GENERATOR ALARM & WIRING. RUN TO TRANSFER SWITCH IN EQUIPMENT BUILDING AND WIRE PER MANUFACTURERS SPECIFICATIONS COMPLETE

EXTEND S.O. CORD THROUGH 2" PVC FROM SHELTER TO TOWER BASE UNDER ICE BRIDGE, FOR TOWER LIGHTS. EXTEND S.O. CORD THROUGH EMPTY COAX PORT. FIELD VERIFY WITH OWNER WHERE LIGHT CONTROL BOX WILL BE LOCATED WITHIN SHELTER. WIRE COMPLETE

EXTEND 4" SCHED 40 PVC FROM TELCO ENTRANCE ON SHELTER TO HOFFMAN BOX ON METER BOARD (30" BELOW FINISHED GRADE) STUB UP 3'-0" & INSERT NYLON PULL STRING

NOTE: CONTRACTOR TO PLACE WARNING TAPE 1'-0" ABOVE ALL UNDERGROUND TELCO & POWER RUNS

**GENERAL ELECTRICAL NOTES:**

- 1) CONTRACTOR RESPONSIBLE FOR MAKING ALL ARRANGEMENTS WITH THE LOCAL UTILITIES FOR SERVICE AND FEE PAYMENTS REQUIRED TO OBTAIN SERVICE.
- 2) CONTRACTOR RESPONSIBLE FOR MAKING ALL ARRANGEMENTS WITH THE LOCAL TELEPHONE COMPANY FOR SERVICE AND FEE PAYMENTS REQUIRED TO OBTAIN SERVICE.
- 3) GROUND RING TO BE CONTAINED WITH IN THE COMPOUNDS FENCED AREA.
- 4) FENCE TO BE GROUNDED FROM GROUND RING TO ALL CORNER POST & GATES. SPACE FENCE GROUNDING APPROXIMATELY 20'-0" O/C. (CADD WELD ALL CONNECTIONS)
- 5) ALL GROUND RING CONNECTIONS TO BE AS CLOSE AS POSSIBLE, SHARP BENDS WILL NOT BE PERMITTED AS WELL AS "T" CONNECTIONS. ALL CONNECTIONS TO HAVE A SWEEPING RADIUS OF 8" MINIMUM. GROUNDING CONFIGURATION TO BE IN PARALLEL.
- 6) CONTACT POINTS FOR GROUNDING TO BE CLEANED OF ANY RUST, PAINT, DIRT, ETC. TO CREATE A GOOD BOND FOR CONDUCTOR. AREA THAT HAS BEEN CLEANED TO BE RESEALED TO PREVENT RUSTING.
- 7) PROPERLY GROUND ANY EXPOSED METAL THAT MAY EXIST ON EXTERIOR OF EQUIPMENT SHELTER OR CABINET.
- 8) WHERE GROUND CONDUCTORS REQUIRE MECHANICAL BONDING, STAINLESS STEEL CONNECTORS ARE REQUIRED AT EACH CONNECTING POINT USING LOCK WASHERS.
- 9) CONTRACTOR RESPONSIBLE FOR SEEING THAT UTILITY PERSONNEL MAKE FINAL CONNECTIONS, MAKING SURE THE TOWER ALARM IS CONNECTED AND WORKING. A TELEPHONE NUMBER FOR THE ALARM MUST BE SUPPLIED.
- 10) CONTRACTOR RESPONSIBLE FOR MEG TESTING THE SITE AND SUPPLYING OWNER WITH FINAL READINGS IN OWNERS SPECIFICATIONS.

**SYMBOLS LEGEND**

- KEYNOTE
- INSP. SLEEVE / GRND ROD
- INSPECTION SLEEVE CAD WELD CONNECTION
- TRANSFORMER
- LIGHTNING SUPPRESSOR
- SWITCH (DISCONNECT)
- METER PACK
- POWER
- GAS LINE
- WATER LINE
- SANITARY SEWER
- TELEPHONE
- STORM SEWER DRAIN
- FENCE

**SITE PLAN- ELECTRICAL**

SCALE: 3/32"=1'-0"



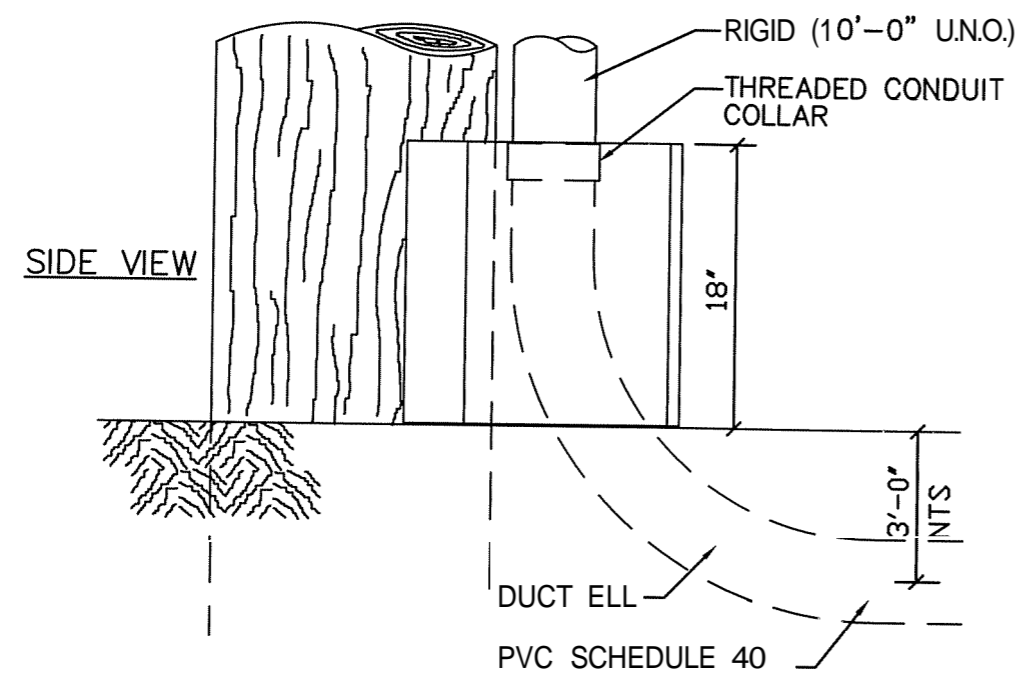
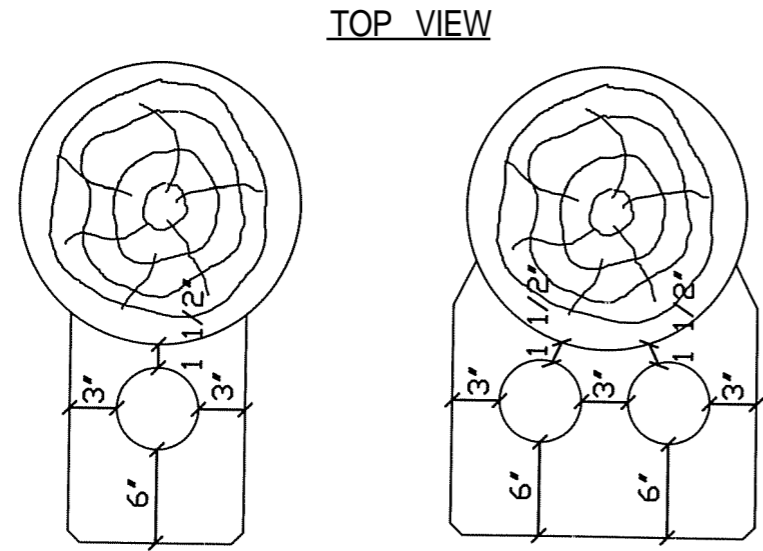
NO.	DATE	REVISION

**BLUEGRASS CELLULAR, INC.**  
STANDARD CELLULAR SITE  
**SPURLINGTON**

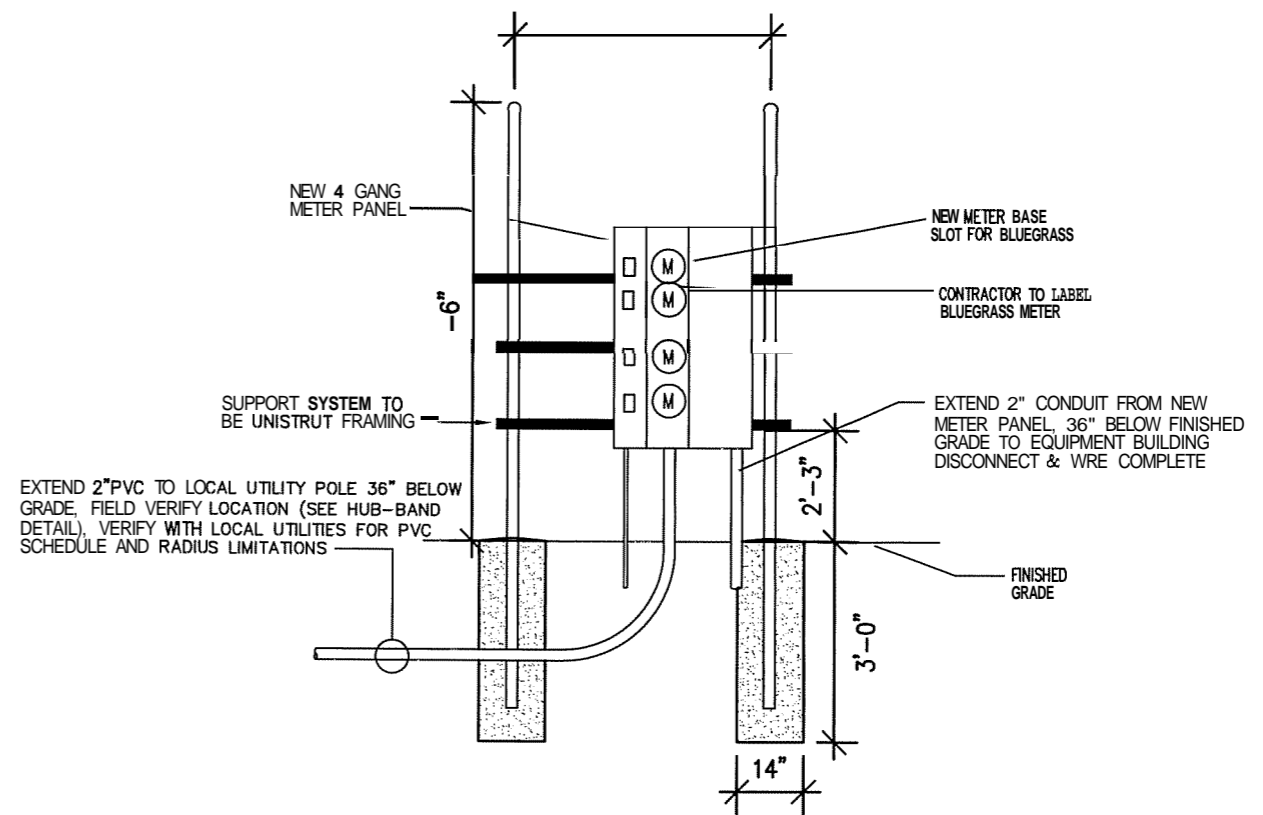
2945 NEW LEBANON RD. CAMPBELLVILLE, KY. 42718

DRAWN BY: R. BECKER	ISSUE DATE: 09-06-05	SCALE: LISTED
SHEET NUMBER		
E1.1		
OF		
2		

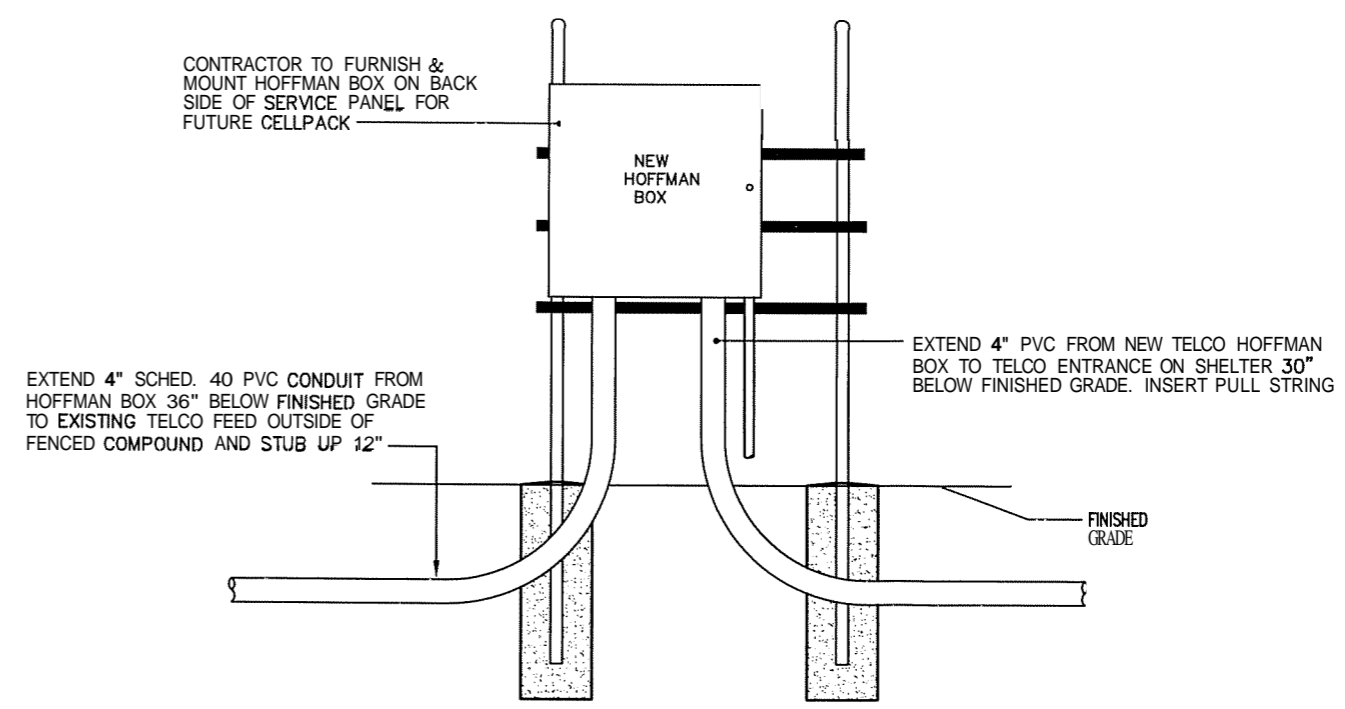




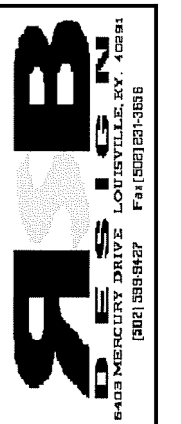
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**SERVICE BOARD DETAIL**  
NO SCALE



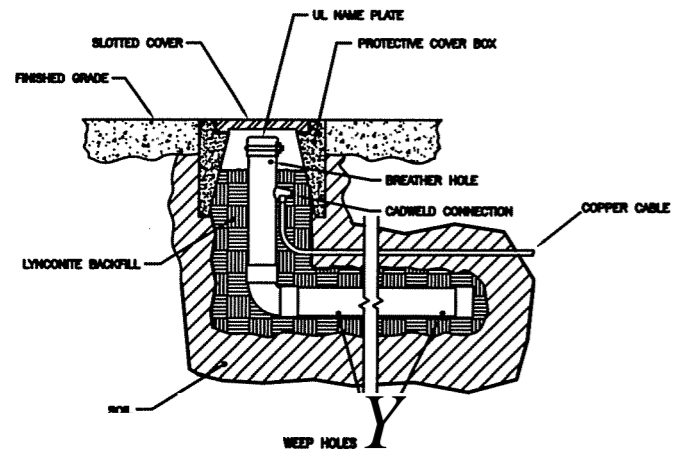
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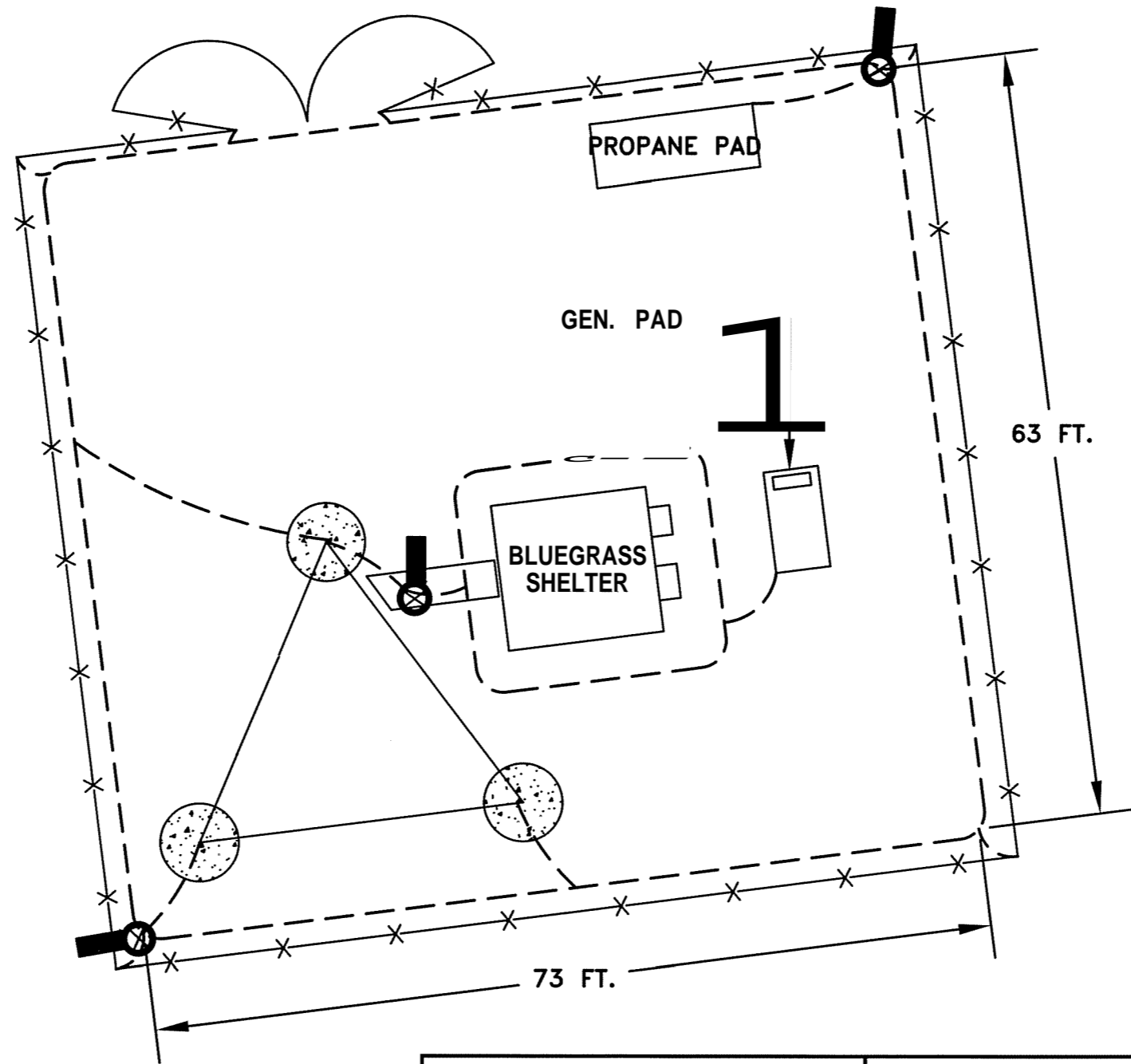
NO.	DATE	REVISION

BLUEGRASS CELLULAR, INC.  
STANDARD CELLULAR SITE  
**SPURLINGTON**  
5945 NEW LEBANON RD. CAMPBELLSVILLE, KY. 42718

DRAWN BY: R. BECKER  
ISSUE DATE: 09-06-05  
SCALE: LISTED  
SHEET NUMBER  
F1.2  
OF  
2



**L-SHAPED MODEL**  
 Lyncole XIT Grounding  
 (800) 962-2610  
**DETAIL A**



**NOTES:**

- FENCE LINE
- BARE #2 TINNED SOLID COPPER CONDUCTOR BURIED 30 IN, BELOW GRADE OR 6 IN, BELOW FROST LINE ALL BENDS IN GROUND CONDUCTOR TO BE MADE WITH MIN, 12 IN, RADIUS
- K2L-20CS INSTALLED IN A 12 IN, WIDE TRENCH (SEE DETAIL) ADDITIONAL 10 BAGS OF LNC II ARE REQUIRED

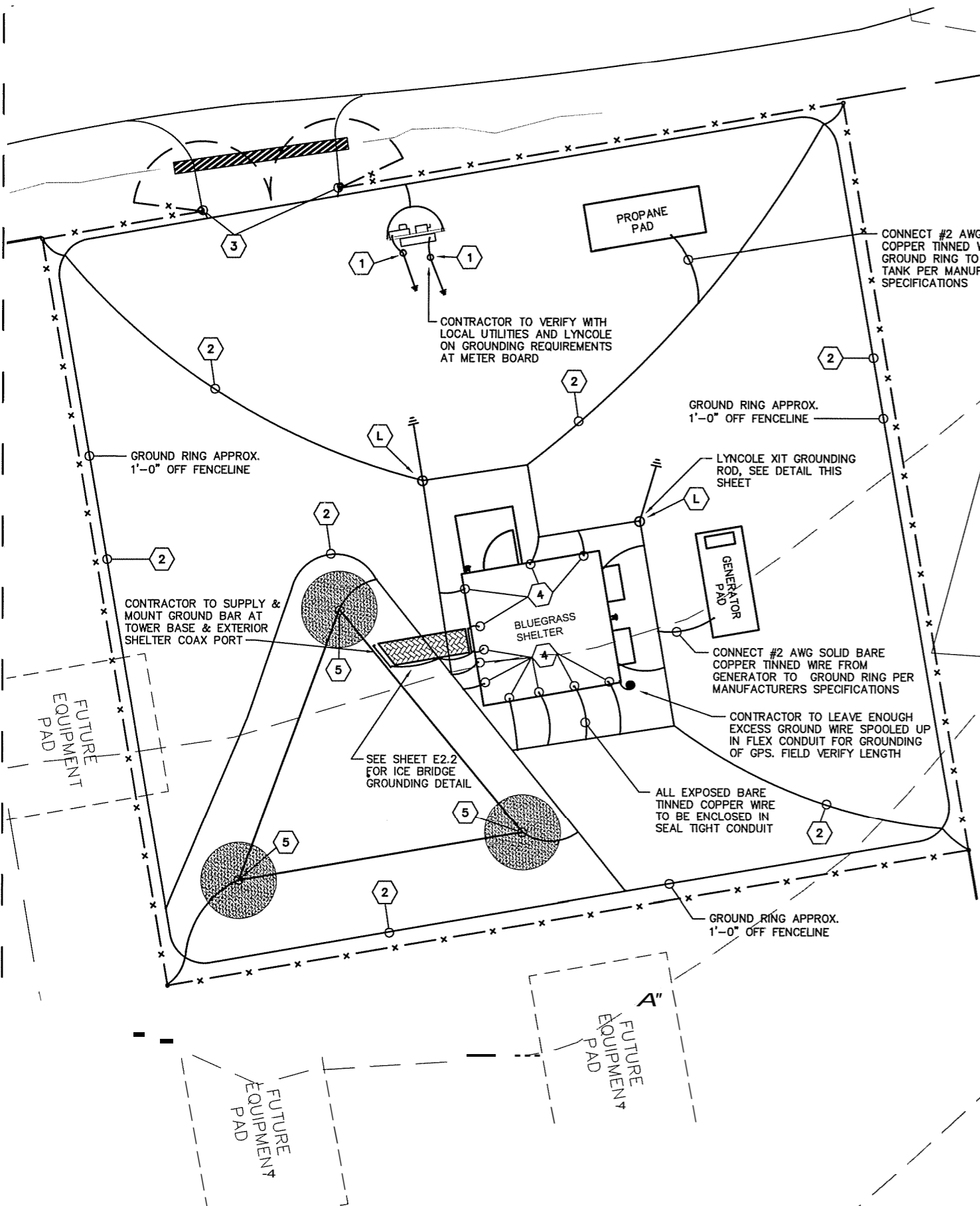
**LYNCOLE**

**TECHNICAL SERVICES**

3547 VOYAGER STREET, SUITE 204  
 TORRANCE, CA. 90503  
 (800)962-2610 FAX (310)214-1114  
 ENGINEERING@LYNCOLE.COM

SOIL DATA PROVIDED BY  
**TERRACON**

LOCATION: CITY, STATE		CALCULATED RESISTANCE	
TAYLOR COUNTY, KY		< 5 OHMS	
DRAWN BY	APPROVED BY	DATE	
MRA		9/12/2005	
REFERENCE NUMBER	SCALE	LTS NUMBER	
N/A	NONE	050466	



**SYMBOLS LEGEND**

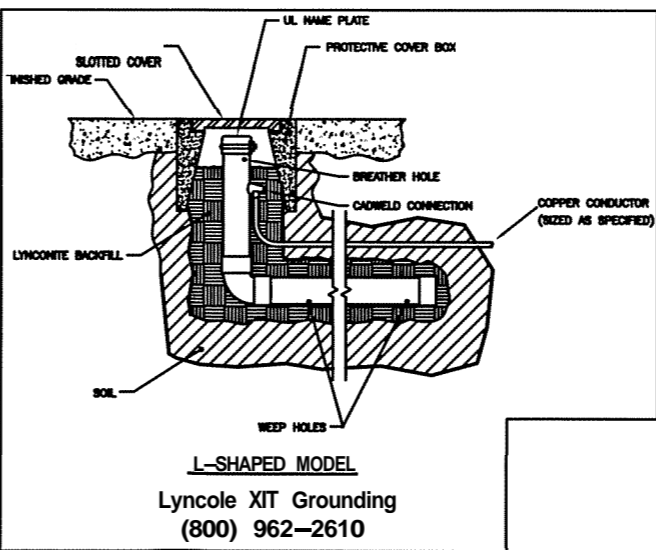
- LYNCOLE XIT ROD
- INSPEC. SLEEVE / GRND ROD
- INSPECTION SLEEVE
- CAD WELD CONNECTION
- TRANSFORMER
- LIGHTNING SUPPRESSOR
- SWITCH (DISCONNECT)
- METER PACK
- POWER
- GAS LINE
- WATER LINE
- SANITARY SEWER
- TELEPHONE
- STORM SEWER DRAIN
- FENCE

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- 9) CONTRACTOR RESPONSIBLE FOR SEEING THAT UTILITY PERSONNEL MAKE FINAL CONNECTIONS, MAKING SURE M E TOWER ALARM IS CONNECTED AND WORKING. A TELEPHONE NUMBER FOR THE ALARM MUST BE SUPPLIED.
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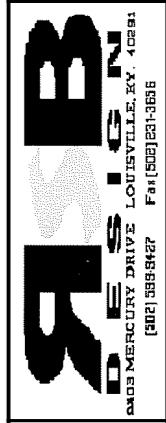
**KEYNOTES:**

- LYNCOLE XIT GROUNDING ROD TO BE INSTALLED WHERE SHOWN AND TO MANUFACTURERS SPECIFICATIONS. (SEE LYNCOLE SPECIFICATIONS)
- GROUNDING RODS 10'-0" LONG x 3/4" COPPER BONDED GROUND RODS (TYPICAL) SPACING OF RODS INDICATED ON PLANS. INSPECTION SLEEVE TO
- 2 INSTALL AND PROVIDE SOLID BARE TINNED COPPER WIRE #2 AWG, GROUND RING BELOW GRADE 30". USE #2 AWG SOLID BARE TINNED COPPER GROUND "TAP" CONNECTING CONDUCTORS. (CONNECTIONS FOR ALL TAP CONDUCTORS TO BE PARALLEL AND "CAD WELD" CONNECTIONS)
  - 3 FLEXIBLE GROUNDING STRAP TO BE USED TO PROVIDE A COMMON BOND BETWEEN GATE AND CHAIN LINK FENCE, #2 AWG SOLID COPPER BARE TINNED CONDUCTOR FROM GROUND RING TO FENCE USING CAD WELD CONNECTIONS. GROUND TAP TO BE PROVIDED ON EACH 4 SIDES TO GROUND RING AS DESCRIBED ABOVE.
  - 4 BONDED GROUND TO BE PROVIDED TO GROUND RING FOR EACH OF THE FOLLOWING BUILDING STEEL, HATCH PLATE, EMERGENCY RECEPTACLE, WAVE GUIDE STRUCTURE, FRAME WORK, BUILDING DISCONNECT.
  - 5 FOR TOWER FRAME GROUNDED. REMOVE GALVANIZED COATING COMPLETELY AT SPOT TO "CAD WELD" TO AND CLEAN. #2 AWG SOLID BARE TINNED COPPER CONDUCTOR TO BE CAD WELDED APPROXIMATELY 1'-0" ABOVE FOUNDATION OR AT FLANGE IF PROVIDED BY TOWER MANUFACTURER. EXTEND CONDUCTOR TO GROUND RING. RIGHT ANGLES NOT ACCEPTED ALL BENDS TO BE SWEEPING.



**SITE PLAN-GROUNDING**

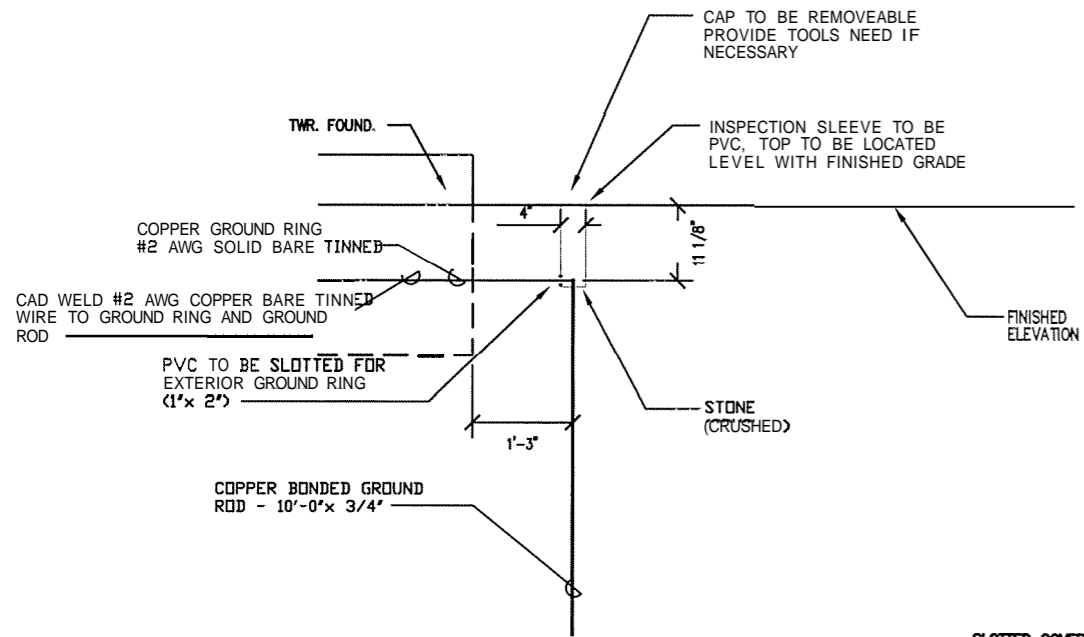
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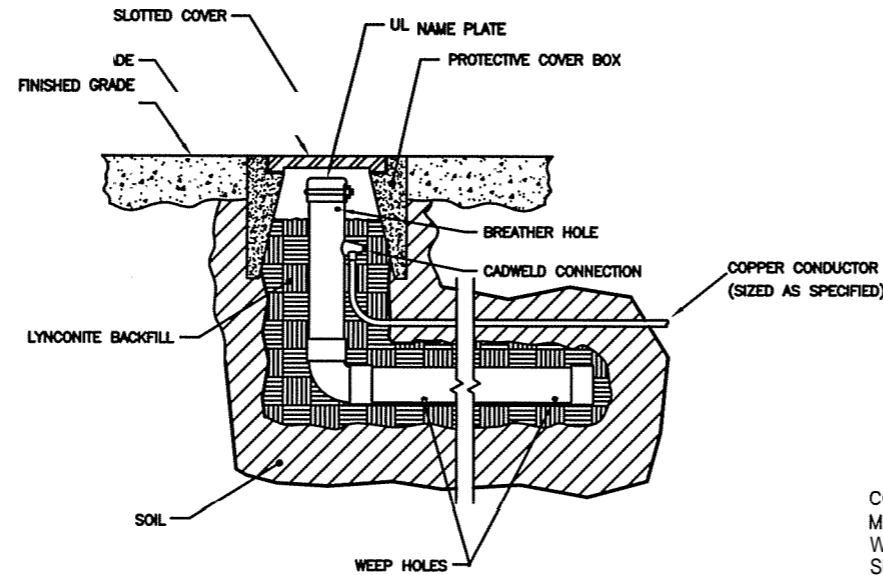
DATE	REV	BY	APP

**BLUEGRASS CELLULAR, INC.**  
**STANDARD CELLULAR SITE**  
**SPURLINGTON**  
 2945 NEW LEBANON RD. CAMPBELLVILLE, KY. 42718

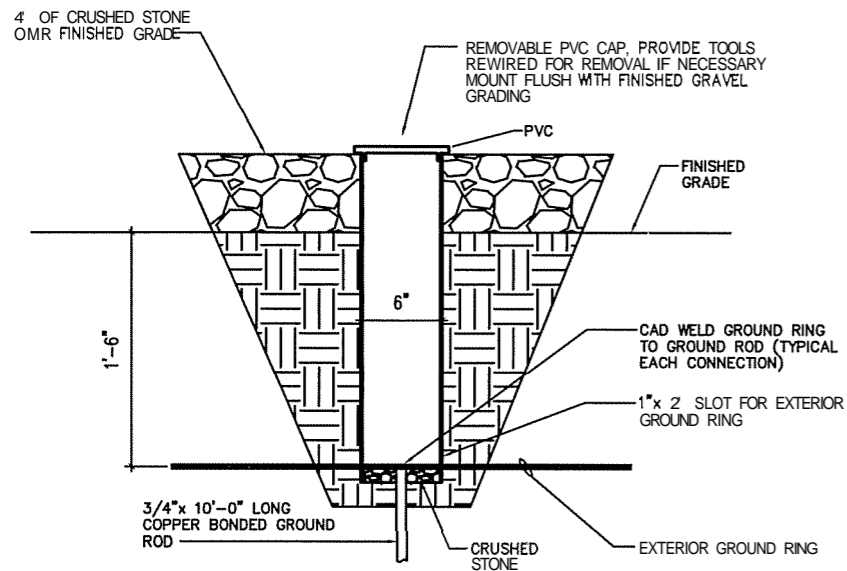
R. BECKER  
 ISSUE DATE: 09-06-05  
 SCALE: LISTED  
 SHEET NUMBER  
**E2.1**  
 OF  
 2



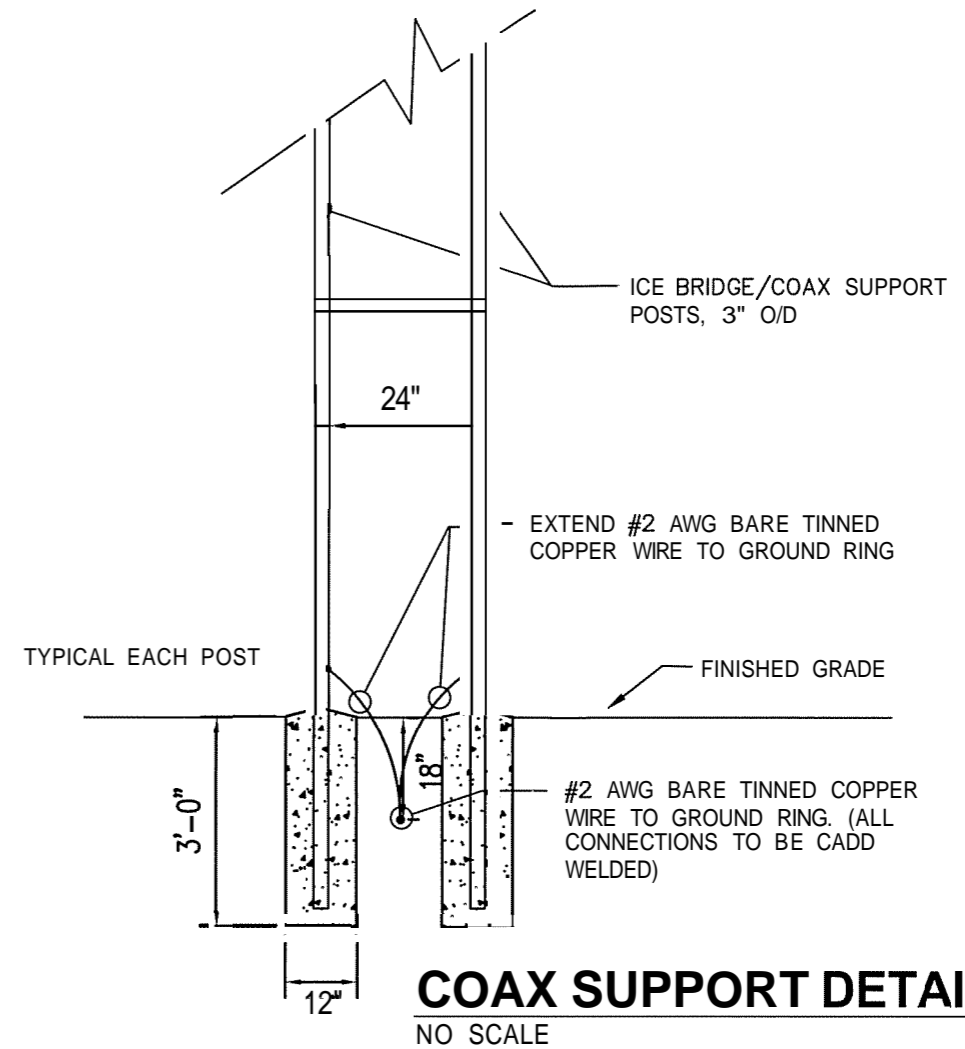
**GROUND ROD DETAIL**



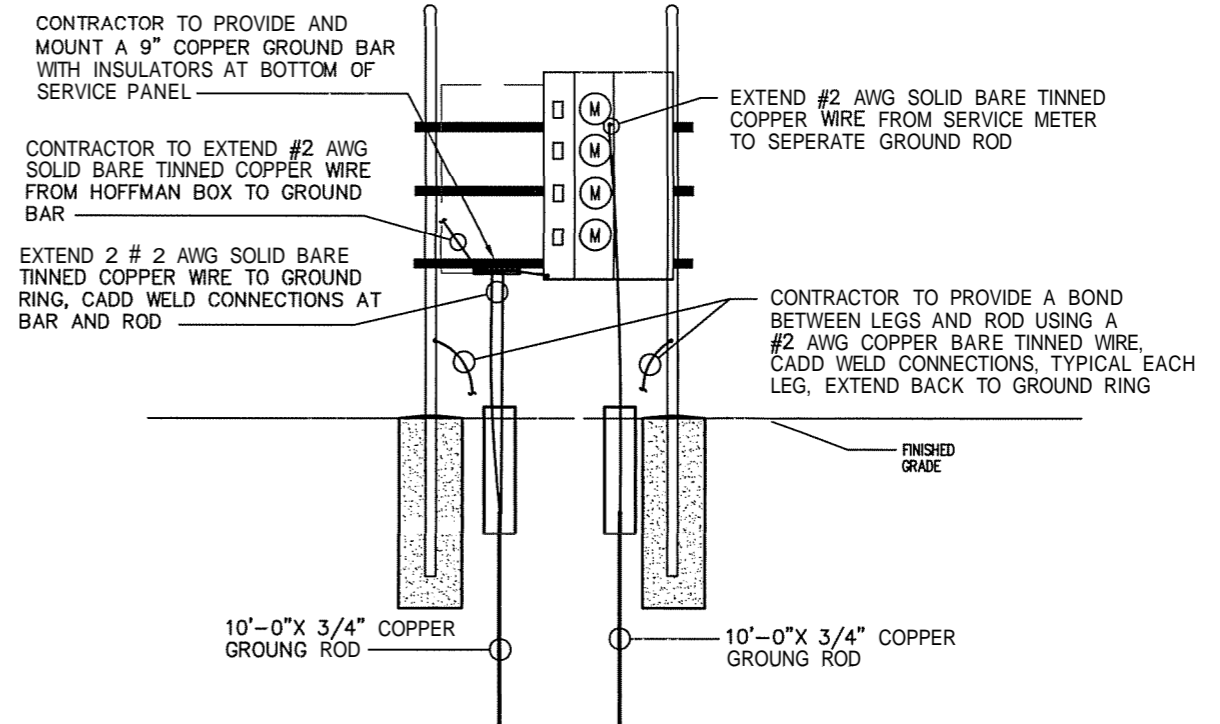
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NO SCALE



**GROUND SLEEVE DETAIL**  
NO SCALE



**COAX SUPPORT DETAIL**  
NO SCALE



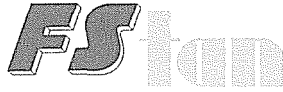
**SERVICE BOARD DETAIL**  
NO SCALE




BLUEGRASS CELLULAR, INC.  
STANDARD CELLULAR SITE  
**SPURLINGTON**  
6945 NEW LEBANON RD. CAMPBELLVILLE, KY. 42718

DESIGNED BY: R. BECKER  
ISSUE DATE: 09-06-05  
SCALE: LISTED  
SHEET NUMBER: E2.2 OF 2





**Land Surveyors and Consulting Engineers**

Formerly F.S. Land & Planning Consultants

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**Site Name: Spurlington**

**DRIVE DIRECTIONS**

FROM THE COUNTY SEAT IN CAMPBELLSVILLE, KENTUCKY TAKE U.S. HIGHWAY **68** (EAST BROADWAY ST.) 7.5 MILES EAST TO AN EXISTING GRAVEL ENTRANCE ON THE WEST (LEFT) SIDE OF U.S. HIGHWAY **68**. THE GRAVEL ACCESS ROAD IS 0.7 MILES NORTH OF THE INTERSECTION OF U.S. HIGHWAY **68** AND STATE ROUTE 774. TURN LEFT ONTO THE GRAVEL ROAD AND PROCEED SOUTH-SOUTHWEST APPROXIMATELY 500' TO THE PROPOSED TELECOMMUNICATIONS SITE. THE SITE IS LOCATED 75' EAST OF A CEMETERY.



**OPTION TO LEASE AND LEASE AGREEMENT**

**I.**

**OPTION TO LEASE REAL PROPERTY**

**THIS OPTION TO LEASE REAL PROPERTY** (the “Option Agreement”) is made and entered into this 14<sup>th</sup> day of June, 2005, by and between **Joseph A. Brown and Nettie F. Brown** whose address is 10715 **Calvary Road, Campbellsville, Kentucky 42718** (the “Optionor (s)”) and **Kentucky RSA #4 Cellular General Partnership, d/b/a Bluegrass Cellular, a Kentucky general partnership** with principal office and place of business at **2902 Ring Road, Elizabethtown, KY 42701** (the “Optionee”).

**WITNESSETH:**

**WHEREAS**, the Optionor(s) is the owner of certain real property located in **Taylor** County, **Kentucky** as more particularly described on Exhibit A attached hereto and incorporated herein by reference (the “Property”); and

**WHEREAS**, the Optionor(s) wishes to grant to the Optionee, and the Optionee wishes to obtain from the Optionor(s), an option to lease the Property upon the terms and conditions set forth herein;

**NOW, THEREFORE**, in consideration of the foregoing premises and for other good and valuable Consideration, the mutuality, receipt and sufficiency of which are hereby acknowledged, the parties hereto do agree as follows.



Site Name: Spurlington

1. In consideration of **One Thousand Two Hundred Dollars and Zero Cents (\$1,200.00)** paid by the Optionee to the Optionor(s) (the "Option Consideration"), the receipt of which is hereby acknowledged by the Optionor(s), the Optionor(s) hereby grants to the Optionee an exclusive and irrevocable option to lease the Property (the "Option"), upon the terms and conditions hereinafter set forth, upon the exercise of the Option at any time before 4:00 p.m. prevailing time on June 13, 2016 as set forth in Paragraph 5 thereof.
  
2. The parties hereto anticipate that the Property comprises approximately a **One Hundred Foot by One Hundred Foot** area, and that a right of way will be given by the Optionor(s) for the purposes of ingress and egress throughout the term of the lease. The Optionee shall obtain an accurate survey of the Property by a registered land surveyor licensed in the Commonwealth of Kentucky at the sole expense of the Optionee. A copy of the survey shall be provided to the Optionor(s). The description of the Property shall include the number of acres determined by the surveyor. The Optionee shall obtain said survey within a reasonable time following the date of the Option Agreement.
  
3. During the term of the Option, the Optionee may enter onto the Property at its own risk to obtain soil samples and to bore soil for the purposes of determining the suitability of the Property for a communications tower.
  
4. Upon the Optionee's proper exercise of the Option in accordance with Paragraph **5** hereof, the Optionor(s) shall be deemed to have immediately executed, acknowledged and delivered to the Optionee the Lease Agreement contained in Section II hereof. The description of the Property shall be that determined by the registered land surveyor in accordance with Paragraph 2 hereof.

Site Name: Spurlington

5. If the Optionee elects to exercise the Option in accordance with the terms hereof, notice of such election shall be deemed sufficient if personally delivered or sent by registered or certified mail, return receipt requested, to the address of the Optionor(s) set forth in Paragraph 14 hereof.
6. The Optionor(s) agrees not to sell, lease or offer for sale or lease the Property during the term of this Option or any renewal or extension of the Option.
7. In the event the Optionee fails to exercise the Option as set forth herein (unless such failure is due to the discovery of a defect in the Property or other matter unsatisfactory to the Optionee), the Optionor(s) shall have the right to retain the Option Consideration.
8. The Optionee may assign this Option with written consent of the Optionor(s), which consent shall not be unreasonably withheld, and upon any assignment such assignee shall have all the rights, remedies and obligations as if it were the original Optionee hereunder. From and after any such assignment, the term "Optionee" shall refer to such assignee.
9. Each party hereto shall bear any and all of its own expenses in connection with the negotiation, execution or settlement of this Option.
10. Risk of loss with respect to the Property during the term of this Option and during the term of the lease shall be upon the Optionor(s). If, during the term of the Option, any portion of the Property shall be acquired by public authority under the right or threat of eminent domain, the Optionee may, at its sole option, either (i) exercise the



Site Name: Spurlington

Option, and in such event, all sums received from the public authority by the Optionor(s) by

reason of the taking of a portion of the Property shall reduce the rent due under the lease, or (ii) terminate this Option and thereupon the Optionor(s) shall be obligated to return to the Optionee the full amount of the Option Consideration previously paid to the Optionor(s) in “good and collected funds.”

11. The parties hereto represent to each other that neither has engaged any broker to represent their interests in connection with the transactions contemplated hereby, and each agrees to indemnify the other against any and all claims made by any brokers engaged or purported to be engaged by the other for brokerage commissions or fees in connection with the transactions contemplated hereby.
12. The Optionor(s) represents, warrants and covenants to the Optionee that the Optionor(s) has not caused or permitted, and shall not cause or permit, and to the best of Optionor(s)' knowledge no other person has caused or permitted any hazardous material (as defined by any applicable federal, state or local law, rule or regulation) to be brought upon, placed, held, located or disposed of at the Property. In the event any such contamination occurs for which the Optionee becomes legally liable, the Optionor(s) shall indemnify the Optionee against all claims, damages, judgments, penalties and costs and expenses, including reasonable attorneys' fees, which Optionee may incur.
13. This Option Agreement and the rights and obligations of the parties hereto shall be construed in accordance with the laws of the Commonwealth of Kentucky.

Site Name: Spurlington

14. For the purposes of giving notice as permitted or required herein, the address of the Optionor(s) shall be: **10715 Calvery Rd., Campbellsville, KY 472718**; the Optionee's address shall be: **2902 Ring Road, Elizabethtown, KY 42701**.
15. The Optionee shall have the right, in its sole discretion, to record this Option in the Office of the Clerk of the County Court of **Taylor** County, **Kentucky**.

## 11.

### **LEASE AGREEMENT**

16. In the event the Optionee elects to exercise the Option to lease the Property, the terms of the lease shall become immediately effective upon such exercise and shall be as follows.
  1. The term of the lease shall commence on the date that the Optionor(s) receives proper notice that the Optionee has exercised the Option, pursuant to Paragraph **5** therein. The initial term shall expire **five (5) year(s)** from the commencement date of the lease agreement and shall include **three (3) additional five (5)-year terms** per the lease agreement. Optionee may, by providing written notice at least sixty (60) days prior to the expiration of the original or any renewal lease term, elect to unilaterally terminate this lease at the end of any original or renewal lease term. Such notice must be personally delivered or sent via registered or certified mail, return receipt requested, to the address of the Optioner(s) set forth in Paragraph 14 hereof. The lease amount shall be adjusted at the end of each term by an increase of **12%**.

Site Name: Spurlington

2. The Optionee shall pay to the Optionor(s) rent for the Property in the sum of **Four Thousand Eight Hundred Dollars and Zero Cents (\$4,800.00)** yearly, to be paid in advance. All rent payments shall be personally delivered or mailed to the Optionor(s) at the address set forth in Paragraph 14 hereof. Any check payment of the rent due under the lease shall be payable to the order of Optionor(s).
3. The Optionee shall be entitled to use and occupy the Property for the purpose of erecting and maintaining a communications tower thereon and for such other uses as Optionee may deem necessary in connection therewith.
4. The Optionor(s) shall be responsible for the payment of all real estate taxes which shall be assessed against the Property during the term of the lease. The Optionee shall pay all charges for heat, water, gas, electricity, sewer use charges and any other utility used or consumed on the Property. The Optionee shall, at its own cost and expense, maintain and keep in full force and effect during the term of the lease public liability insurance with coverage in the amount of at least one million dollars (\$1,000,000.00) per person for bodily injury, disease, or death and shall maintain property insurance on any property the Optionee located on the Property.
5. The Optionee may assign the lease. The Optionee may sublet all or **part** of the space on the tower or ground space.
6. The Optionor(s) covenants that upon the Optionee's payment of the rent agreed upon herein, as well as Optionee's observing and performing all of the covenants and conditions contained in the lease, the Optionee may peacefully

Site Name: Spurlington


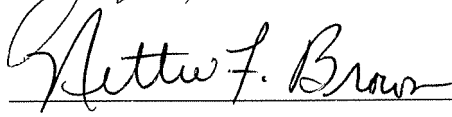
and quietly enjoy the Property subject to the terms and conditions set forth in the lease.

7. The Optionee agrees to maintain an access road in a passable manner for the term of the lease.
  
- 17.** This Option and Lease Agreement contains the entire agreement between the parties hereto and no modification or amendment shall be binding upon any party unless made in writing and signed by each of the parties hereto.
  
- 18.** Upon the termination or other end of this lease agreement, Optionee shall have the right to remove any and all of its property (real or personal) from the Property regardless of whether or not such property may be considered a fixture thereto.
  
- 19.** Upon abandonment of the property, Optionee shall have thirty (**30**) days to dismantle and remove the cellular antenna tower and any/all equipment located on Optionor's property.

[Remainder of Page Intentionally Left Blank]

**EXECUTION OF AGREEMENT(S)**

**IN TESTIMONY WHEREOF**, witness the signatures of the Optionor(s) and the Optionee as of the date first above written, as proof that the parties enter into the **Option to Lease Real Property and the Lease Agreement** set out in **Sections I and II** hereof.

  
\_\_\_\_\_  
  
\_\_\_\_\_

("Optionor(s)")

**By:**  
**Property Owner**  
Joseph A. Brown  
F. Brown

  
\_\_\_\_\_

("Optionee")

**By: Ron Smith**  
**Authorized Representative**  
~~Bluegrass Wireless LLC, a Kentucky limited liability company~~ ~~Nettie~~  
*Kentucky RSA #4 Cellular*  
*General Partnership*

Site Name: Spurlington

STATE OF Kentucky  
COUNTY OF Marion

The foregoing instrument was acknowledged before me this 14<sup>th</sup> day of June, 2005,  
by Joseph A. Brown and Nettie F. Brown to be his/her free act and deed.

Larry V. Caldwell  
NOTARY PUBLIC STATE AT LARGE  
My commission expires: March 11, 2006

STATE OF Kentucky  
COUNTY OF Hardin

The foregoing instrument was acknowledged before me this 29 day of June,  
2005  
, by Ron Smith, to be his/her free act and deed.

Jim Vice  
NOTARY PUBLIC STATE OF LARGE  
My commission expires: 1-21-09

This instrument prepared by:

John Selent  
John E. Selent

**DINSMORE & SHOHL LLP**

2000 Meidinger Tower

Louisville, KY 40202



# EXHIBIT 'A'

D.B. 130, Pg. 588

MAP No. 49-43

588

DOLLARS, cash in hand paid, the receipt of all of which is hereby acknowledged, First Parties have bargained and sold and by these

A certain tract or parcel of land situated in Taylor County, Kentucky on the proposed new highway and bounded and described as follows:

BEGINNING at a stake and dead poplar in old Lambert Brown line 215 feet from black oak corner; then same course S. 84 E. 342.5 feet to stake edge of proposed new highway; then same course S. 3 deg. 30 min. W. 950 feet to stake; then S. 9 W. 300 feet to a stake near old Brown Cemetery; then S. 1 deg. 30 min. E. 310 feet to stake in Rogers line; then with same N. 84 W. 1,324 feet to old cedar post, corner Rafferty; then N. 7 deg. 15 min. E. with Rafferty line 862 feet to stake 14 feet south of double dogwood corner to Daugherty and O'Sullivan 30.1 acre tract; then with same due East 913.5 feet to post and stake, corner to 30.1 acre tract; then with same N. 7 deg. 30 min. E. 627 feet to beginning; containing 31.82 acres as surveyed by C. M. Probus, Registered Surveyor No. 727 on May 16, 1977, a copy of said survey being attached hereto and this conveyance being subject to the reservation of .75 acre for a cemetery, with the net amount of land herein conveyed being 31.07 acres, and with the property herein conveyed,

BEING A PART OF the same property conveyed to First Parties by Ivo Caldwell, Jr. and Elizabeth Caldwell,

588

589

his wife by Deed dated January 4, 1971, by Deed of record in Deed Book 105 at pages 121-124, records of the Taylor' County Court; Clerk.

TO HAVE AND TO HOLD THE SAME, together with the appurtenances thereunto appertaining unto the Second Parties, jointly and equally, for and during their joint natural lives and at the death of either, remainder to the survivor and his or her heirs and assigns forever with Covenant of General Warranty.

Second Parties are to receive possession on delivery of Deed and the taxes for 1977 are to be pro-rated as of date of delivery of Deed,

IN TESTIMONY WHEREOF, witness the hands of First Parties this the day and year first hereinbefore written,

*C. B. O'Sullivan*  
C. B. O'SULLIVAN

*Nora O'Sullivan*  
NORA O'SULLIVAN, his wife

STATE OF KENTUCKY)

) SCT.

COUNTY OF MARION )

The foregoing Deed was OR May 25, 1977, acknowledged before me by C. B. O'Sullivan and Nora O'Sullivan, his wife,

*Jessie E. Raley*  
Notary Public, Marion County Ky.  
My comm. expires: ~~10-8-77~~  
10-8-77

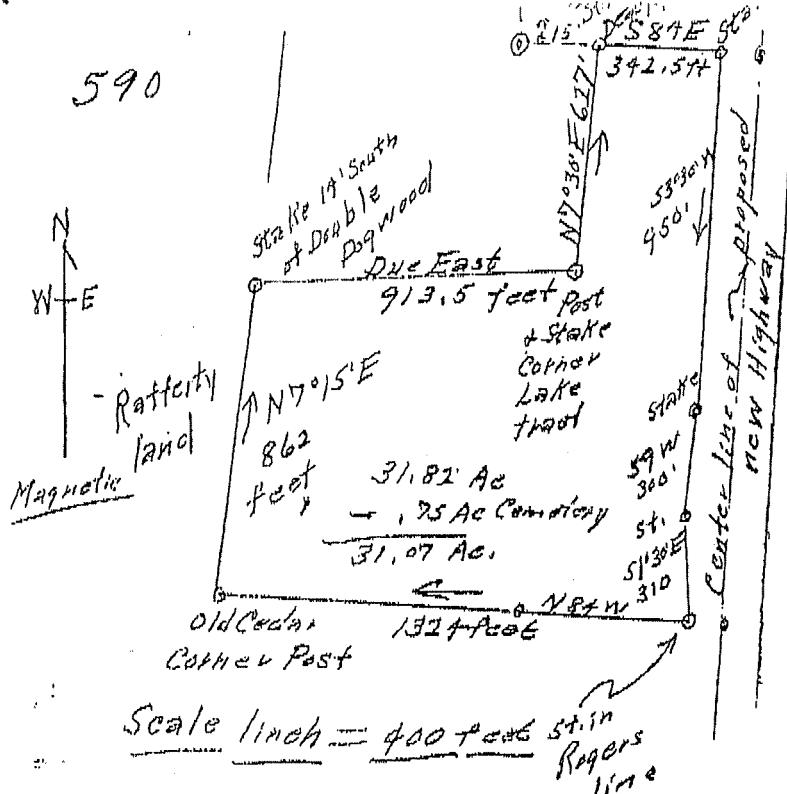
I hereby certify that this instrument has been drafted by:

LESTER HELM SPALDING  
Court Square  
Kentucky

*Lester Helm Spalding*

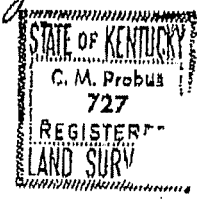
OFFICES OF  
LESTER HELM SPALDING  
COURT SQUARE  
MORGAN KENTUCKY  
40033

589



C. B. O'Sullivan  
 +  
 Nora O'Sullivan  
 to  
 Joe Brown

C. M. Probus  
 Surveyor  
 May 16, 1977



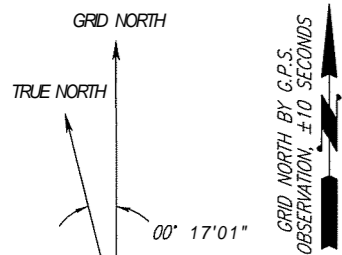
Begin at stake + dead Poplar in old Lambert Brown  
 Duc 215 feet from Black Oak corner then same  
 course S 84° E 342.5 feet to stake edge of proposed  
 new Highway; then with same S 3° 30' W 250  
 feet to stake; then S 9° W 300 feet to stake near  
 old Brown Cemetery; then S 1° 30' E 310 feet to  
 stake in Rogers line; then with same N 8° 4' W  
 1324 feet to Old Cedar Post corner Ratterty;  
 then N 7° 15' E with Ratterty line 862 feet to  
 stake 14 feet South of Double Dogwood corner  
 in Daugherty O'Sullivan 30.1 Acre tract; then  
 with same Duc East 913.5 feet to post +  
 stake corner to 30.1 Acre tract; then with same  
 N 7° 30' E 617 feet to beginning remaining 31.82  
 Acres; and being a part of same 1/3 interest purchased  
 from John Angel 10/23/62 as shown in DB 95 P 562  
 and remaining 2/3 from John Angel 10/31/68  
 as shown in Deed Book 99 Page 227 Taylor Co Ky  
 Clerk's Office. Subject to 3/4 Ac Cemetery  
 exception as shown in old Deed.

State of Kentucky  
 County of Taylor  
 I, Randall G. Phillips, Clerk of Taylor County Court, do  
 certify that the foregoing instrument was on the 17  
 day of May 1977 at 11:22 O'clock P.M lodged for  
 record in my office, whereupon the same with this and  
 the foregoing certificate have been duly recorded in  
 my office.  
 Given under my hand this 17 day of May 1977  
 By Randall G. Phillips Clerk  
 By Nora O'Sullivan DC

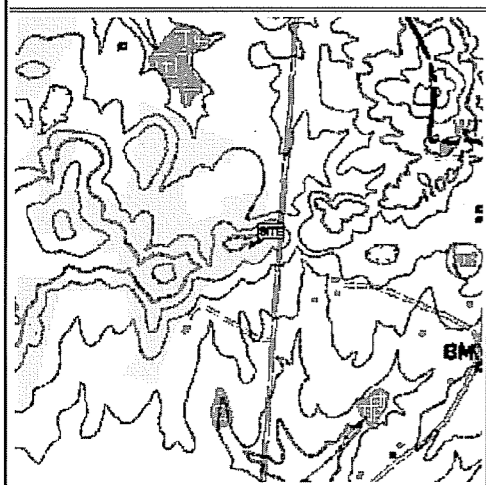
590



SHEET 1	
	- VICINITY AND 500' STRUCTURAL MAP
	- ABUTTING PROPERTY OWNERS
	- U.S.G.S QUAD MAP
SHEET 2	
	- PROPOSED LEASE AREA
	- LEGAL DESCRIPTIONS
	- FLOOD ZONE DATA



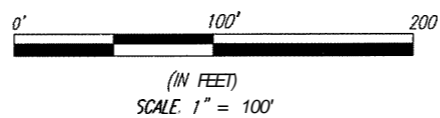
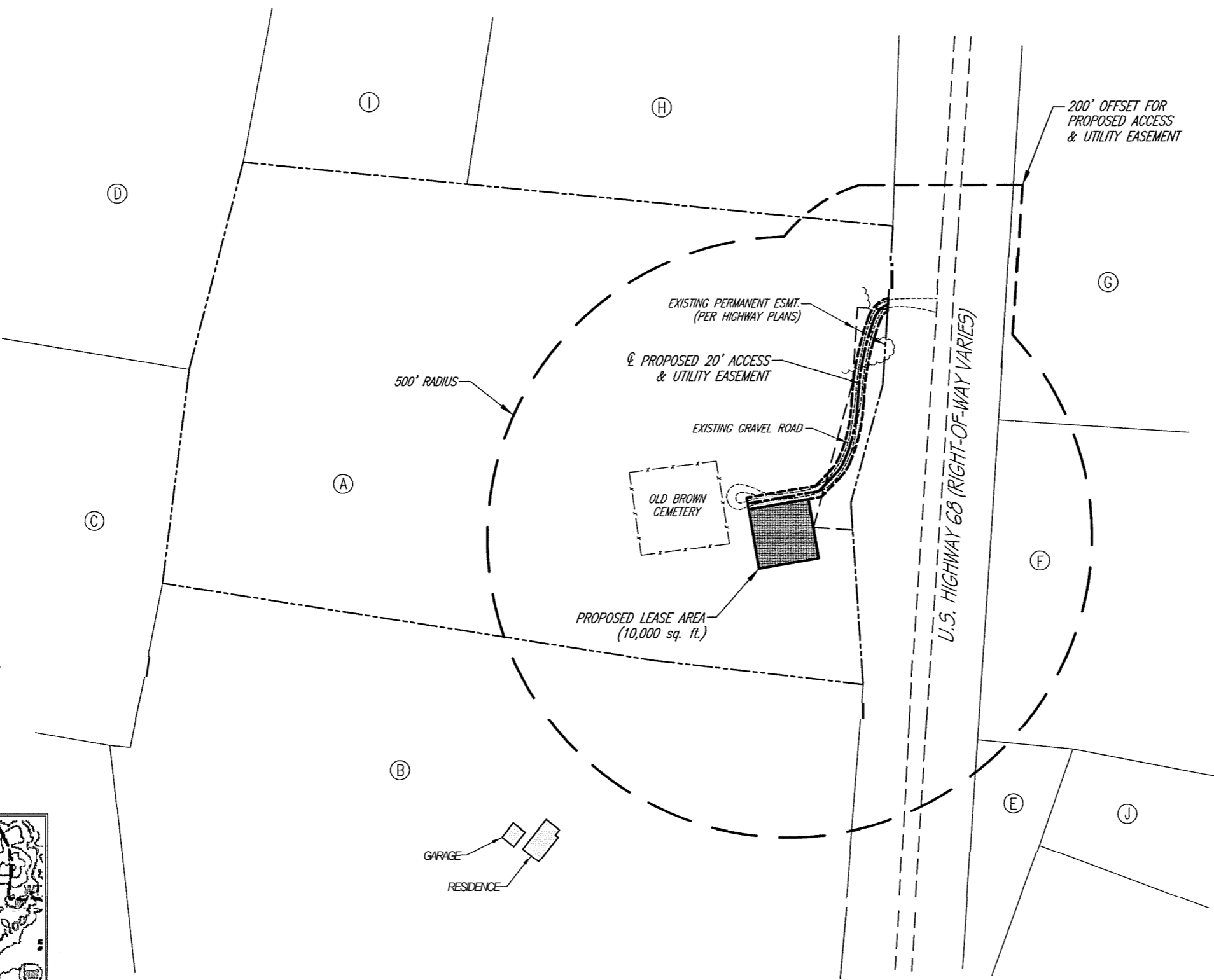
NORTH IS BASED ON THE KENTUCKY STATE PLANE COORDINATE SYSTEM SOUTH ZONE AND WAS DETERMINED BY COMPUTATION FROM G.P.S OBSERVATION ON AUGUST 16, 2005



QUAD MAP  
SCALE: 1"=2000'



U.S.G.S 7 1/2 MINUTE QUAD MAP OF SPURLINGTON KY



\* ADJOINING LAND OWNERS LISTED ARE BASED ON PROPERTY VALUATION ADMINISTRATION ("PVA") RECORDS ISSUED BY A REPRESENTATIVE FROM MARION COUNTY, TO BE IN COMPLIANCE WITH ALL STATUTORY AND REGULATORY REQUIREMENTS BEFORE THE KENTUCKY PUBLIC SERVICE COMMISSION AND FOR TELECOMMUNICATION USE ONLY.



- (A) MAP 49, LOT 43  
BROWN JOSEPH A & ELAINE GAL  
10715 CALVARY RD.  
CAMPBELLVILLE, KY 42718  
DEED BOOK 130, PAGE 586  
NO ZONING
- (B) MAP 49, LOT 23C  
GADDIS, PAUL & DONNA  
6675 NEW LEBANON RD.  
CAMPBELLVILLE, KY 42718  
DEED BOOK 168, PAGE 113  
NO ZONING
- (C) MAP 49, LOT 21  
BENNINGFIELD, DONALD & MARTHA  
RT. 6  
CAMPBELLVILLE, KY 42718  
DEED BOOK 105, PAGE 168  
NO ZONING
- (D) MAP 49, LOT 12  
RAFFERTY, EARL  
RT2  
FINLEY, KY 42736  
NO DEED OF RECORD FOUND  
NO ZONING
- (E) MAP 49, LOT 22.8  
RODGERS, CHAS MICHAEL & ONDY  
675 N. CALVARY RD.  
CAMPBELLVILLE, KY 42718  
DEED BOOK 240, PAGE 553  
NO ZONING
- (F) MAP 49, LOT 40.02  
SAPP, MICHAEL & SHIRLIN  
412 LEBANON AVE  
CAMPBELLVILLE, KY 42718  
DEED BOOK 191, PAGE 181  
NO ZONING
- (G) MAP 49, LOT 40  
SAPP, MICHAEL & SHIRLEY  
412 LEBANON AVE  
CAMPBELLVILLE, KY 42718  
DEED BOOK 183, PAGE 595  
NO ZONING
- (H) MAP 49, LOT 42-A  
THOMPSON ROGER & CONNE  
4380 NINLN RIDGE RD.  
FINLEY, KY 42736  
DEED BOOK 178, PAGE 674  
NO ZONING
- (I) MAP 49, LOT 42  
THOMPSON WAYNE & NELDA  
RT. 6  
CAMPBELLVILLE, KY 42718  
DEED BOOK 144, PAGE 65  
NO ZONING
- (J) MAP 49, LOT 22.4  
GABEHART, JOHN K & PAULA K  
667 N CALVARY RD  
CAMPBELLVILLE, KY 42718  
DEED BOOK 27% PAGE 685  
NO ZONING

**BLUEGRASS CELLULAR**  
2902 RING ROAD  
ELIZABETHTOWN, KY 42702

**FSTAN**  
F.S. Land Company  
T. Alan Neal Company  
Land Surveyors and Consulting Engineers  
PO Box 17546 2313/2315 Crittenden Drive  
Louisville, KY 40217  
Phone: (502) 635-5866 (502) 636-5111  
Fax: (502) 636-5263

SITE NUMBER

SITE NAME:  
SPURLINGTON

SITE ADDRESS  
FINLEY RIDGE RD & U.S HWY 65  
CAMPBELLVILLE KY 42718

PROPOSED LEASE AREA  
AREA = 10,000 sq ft

PROPERTY OWNER  
JOSEPH A & ELAINE GAL BROWN  
10715 CALVARY ROAD  
CAMPBELLVILLE, KY 42718

TAX BLOCK/MAP NUMBER  
49

PARCEL NUMBER  
43

SOURCE OF TITLE  
DEED BOOK 130, PAGE 588

DWG BY:	CHKD BY:	DATE:
REL	FSII	09/15/05

FSTAN PROJECT NO  
05-3392

SHEET 1 OF 2

REVISIONS:

C1



# PUBLIC NOTICE

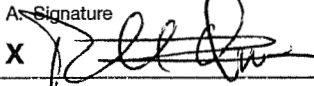

TO: Wayne and Nelda Thompson  
7615 Liberty Road  
Route 6  
Campbellsville, Kentucky 42718

Bluegrass Wireless LLC, is applying to the Public Service Commission of Kentucky for a Certificate of Public Convenience and Necessity for construction and operation as a new cell facility to provide cellular radio service. The facility would include a 240 foot tower to be located at 6945 New Lebanon Road, Campbellsville, Kentucky, 42718. A map showing the location is attached. This notice is being sent to you because you either own property and/or reside on property that is located within a 500 ft. radius of the proposed tower or you own property contiguous to the property where the proposed tower will be located.

The Commission invites your comments regarding the utility's proposed construction. Also, the Commission wants you to be aware of your right to intervene in this matter. Your comments and request for intervention should be addressed to:

**Executive Director's Office  
Public Service Commission of Kentucky  
P.O. Box 615  
Frankfort, Kentucky 40602**

Please refer to case number 2005-00386 in your correspondence.

SENDER: COMPLETE THIS SECTION	COMPLETE THIS SECTION ON DELIVERY
<ul style="list-style-type: none"><li>■ Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.</li><li>■ Print your name and address on the reverse so that we can return the card to you.</li><li>■ Attach this card to the back of the mailpiece, or on the front if space permits.</li></ul>	<p>A. Signature <input checked="" type="checkbox"/> Agent  <input type="checkbox"/> Addressee</p> <p>B. Received by (Printed Name) <input type="checkbox"/> C. Date of Delivery </p>
<p>1. Article Addressed to:</p> <p>Wayne &amp; Nelda Thompson 7615 Liberty Rd. Route 6 Campbellsville, KY 42718</p>	<p>D. Is delivery address different from item 1? <input type="checkbox"/> Yes If YES, enter delivery address below: <input type="checkbox"/> No</p> <p>3. Service Type <input checked="" type="checkbox"/> Certified Mail <input type="checkbox"/> Express Mail <input type="checkbox"/> Registered <input type="checkbox"/> Return Receipt for Merchandise <input type="checkbox"/> Insured Mail <input type="checkbox"/> C.O.D.</p> <p>4. Restricted Delivery?(Extra Fee) <input type="checkbox"/> Yes</p>
<p>2. Article Number (Transfer from service label)</p>	<p>7005 1160 0005 4137 5423</p>



# PUBLIC NOTICE

TO: Earl Rafferty  
38 Pittman Valley Road  
Campbellsville, Kentucky 42718

Bluegrass Wireless LLC, is applying to the Public Service Commission of Kentucky for a Certificate of Public Convenience and Necessity for construction and operation as a new cell facility to provide cellular radio service. The facility would include a 240 foot tower to be located at 6945 New Lebanon Road, Campbellsville, Kentucky, 42718. A map showing the location is attached. This notice is being sent to you because you either own property and/or reside on property that is located within a 500 ft. radius of the proposed tower or you own property contiguous to the property where the proposed tower will be located.

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1. Article Addressed to: Earl Rafferty 38 Pittman Valley Rd. Campbellsville, KY 42718	B. Received by (Printed Name) Earl Rafferty C. Date of Delivery 10-5-05
2. Article Number (Transfer from service label)	D. Is delivery address different from item 1? <input type="checkbox"/> Yes If YES, enter delivery address below: <input type="checkbox"/> No
	3. Service Type <input checked="" type="checkbox"/> Certified Mail <input type="checkbox"/> Express Mail <input type="checkbox"/> Registered <input type="checkbox"/> Return Receipt for Merchandise <input type="checkbox"/> Insured Mail <input type="checkbox"/> C.O.D.
	4. Restricted Delivery? (Extra Fee) <input type="checkbox"/> Yes
	7005 1160 0005 4237 5591

# PUBLIC NOTICE

TO: Charles Michael and Cindy Rodgers  
 675 North Calvary Road  
 Campbellsville, Kentucky 42718

Bluegrass Wireless LLC, is applying to the Public Service Commission of Kentucky for a Certificate of Public Convenience and Necessity for construction and operation as a new cell facility to provide cellular radio service. The facility would include a 240 foot tower to be located at 6945 New Lebanon Road, Campbellsville, Kentucky, 42718. A map showing the location is attached. This notice is being sent to you because you either own property and/or reside on property that is located within a 500 ft. radius of the proposed tower or you own property contiguous to the property where the proposed tower will be located.

The Commission invites your comments regarding the utility's proposed construction. Also, the Commission wants you to be aware of your right to intervene in this matter. Your comments and request for intervention should be addressed to:

**Executive Director's Office  
 Public Service Commission of Kentucky  
 P.O. Box 615  
 Frankfort, Kentucky 40602**

Please refer to case number 2005-00386 in your correspondence.

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<ul style="list-style-type: none"> <li>■ Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.</li> <li>■ Print your name and address on the reverse so that we can return the card to you.</li> <li>■ Attach this card to the back of the mailpiece, or on the front if space permits.</li> </ul>	<p>A. Signature  <input checked="" type="checkbox"/> <i>Cindy Rodgers</i>      <input type="checkbox"/> Agent  <input type="checkbox"/> Addressee</p> <p>B. Received by (<i>Printed Name</i>)  <i>Cindy Rodgers</i></p> <p>C. Date of Delivery  <i>9-28-05</i></p> <p>D. Is delivery address different from item 1? <input type="checkbox"/> Yes          If YES, enter delivery address below: <input type="checkbox"/> No</p>
<p>1. Article Addressed to:</p> <p style="font-size: 1.2em; margin-left: 20px;"><i>Charles M. &amp; Cindy Rodgers</i>  <i>675 N. Calvary Road</i>  <i>Campbellsville, KY 42718</i></p>	<p>3. Service Type</p> <p><input checked="" type="checkbox"/> Certified Mail      <input type="checkbox"/> Express Mail  <input type="checkbox"/> Registered      <input type="checkbox"/> Return Receipt for Merchandise  <input type="checkbox"/> Insured Mail      <input type="checkbox"/> C.O.D.</p>
<p>2. Article Number          (Transfer from service label)</p>	<p>4. Restricted Delivery? (Extra Fee) <input type="checkbox"/> Yes</p>
<p>7005 1160 0005 4137 5249</p>	

# PUBLIC NOTICE

TO: Joseph A. and Elaine Gail Brown  
 10715 Calvary Road  
 Campbellsville, Kentucky 42718

Bluegrass Wireless LLC, is applying to the Public Service Commission of Kentucky for a Certificate of Public Convenience and Necessity for construction and operation as a new cell facility to provide cellular radio service. The facility would include a 240 foot tower to be located at 694.5 New Lebanon Road, Campbellsville, Kentucky, 42718. A map showing the location is attached. This notice is being sent to you because you either own property and/or reside on property that is located within a 500 ft. radius of the proposed tower or you own property contiguous to the property where the proposed tower will be located.

The Commission invites your comments regarding the utility's proposed construction. Also, the Commission wants you to be aware of your right to intervene in this matter. Your comments and request for intervention should be addressed to:

**Executive Director's Office  
 Public Service Commission of Kentucky  
 P.O. Box 615  
 Frankfort, Kentucky 40602**

Please refer to case number 2005-00386 in your correspondence.

SENDER: COMPLETE THIS SECTION	COMPLETE THIS SECTION ON DELIVERY
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<p>1. Article Addressed to:</p> <p><i>Joseph A. and Elaine G. Brown          10715 Calvary Rd.          Campbellsville, KY <del>40717</del>          42718</i></p>	<p>3. Service Type</p> <p><input checked="" type="checkbox"/> Certified Mail <input type="checkbox"/> Express Mail  <input type="checkbox"/> Registered <input type="checkbox"/> Return Receipt for Merchandise  <input type="checkbox"/> Insured Mail <input type="checkbox"/> C.O.D.</p>
<p>2. Article Number          (Transfer from service label)</p>	<p>4. Restricted Delivery? (Extra Fee) <input type="checkbox"/> Yes</p> <p style="text-align: center; font-size: 1.2em; font-weight: bold;">7005 1160 0005 4137 5201</p>

# PUBLIC NOTICE

TO: Paul and Donna Caddis  
6675 New Lebanon Road  
Campbellsville, Kentucky 42718

Bluegrass Wireless LLC, is applying to the Public Service Commission of Kentucky for a Certificate of Public Convenience and Necessity for construction and operation as a new cell facility to provide cellular radio service. The facility would include a 240 foot tower to be located at 6945 New Lebanon Road, Campbellsville, Kentucky, 42718. A map showing the location is attached. This notice is being sent to you because you either own property and/or reside on property that is located within a 500 ft. radius of the proposed tower or you own property coitiguous to the property where the proposed tower will be located.

The Commission invites your comments regarding the utility's proposed construction. Also, the Commission wants you to be aware of your right to intervene in this matter. Your comments and request for intervention should be addressed to:

**Executive Director's Office  
Public Service Commission of Kentucky  
P.O. Box 615  
Frankfort, Kentucky 40602**

Please refer to case number 2005-00386 in your correspondence.

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<p>1. Article Addressed to:</p> <p><i>Paul and Donna Caddis 6675 New Lebanon Road Campbellsville, KY 42718</i></p>	<p>3. Service Type <input checked="" type="checkbox"/> Certified Mail <input type="checkbox"/> Express Mail <input type="checkbox"/> Registered <input type="checkbox"/> Return Receipt for Merchandise <input type="checkbox"/> Insured Mail <input type="checkbox"/> C.O.D.</p> <p>4. Restricted Delivery? (Extra Fee) <input type="checkbox"/> Yes</p>
<p>2. Article Number (Transfer from service label)</p>	<p><u>7005 1160 0005 4137 5218</u></p>

# PUBLIC NOTICE

TO: Michael & Shirley Sapp  
412 Lebanon Avenue  
Campbellsville, Kentucky 42718

Bluegrass Wireless LLC, is applying to the Public Service Commission of Kentucky for a Certificate of Public Convenience and Necessity for construction and operation as a new cell facility to provide cellular radio service. The facility would include a 240 foot tower to be located at 6945 New Lebanon Road, Campbellsville, Kentucky, 42718. A map showing the location is attached. This notice is being sent to you because you either own property and/or reside on property that is located within a 500 ft. radius of the proposed tower or you own property contiguous to the property where the proposed tower will be located.

The Commission invites your comments regarding the utility's proposed construction. Also, the Commission wants you to be aware of your right to intervene in this matter. Your comments and request for intervention should be addressed to:

**Executive Director's Office  
Public Service Commission of Kentucky  
P.O. Box 615  
Frankfort, Kentucky 40602**

Please refer to case number 2005-00386 in your correspondence.

SENDER: COMPLETE THIS SECTION	COMPLETE THIS SECTION ON DELIVERY
<input type="checkbox"/> Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired. <input checked="" type="checkbox"/> Print your name and address on the reverse so that we can return the card to you. <input type="checkbox"/> Attach this card to the back of the mailpiece, or on the front if space permits.	A. Signature <input checked="" type="checkbox"/> Agent <input checked="" type="checkbox"/> Addressee <i>Michael Sapp</i>
I. Article Addressed to: <i>Michael &amp; Shirley Sapp 412 Lebanon Avenue Campbellsville, KY 42718</i>	B. Received by (Printed Name) <i>Michael SAPP</i> C. Date of Delivery <i>9/29/05</i>
	D. Is delivery address different from item 1? <input type="checkbox"/> Yes If YES, enter delivery address below: <input checked="" type="checkbox"/> No
	3. Service Type <input checked="" type="checkbox"/> Certified Mail <input type="checkbox"/> Express Mail <input type="checkbox"/> Registered <input type="checkbox"/> Return Receipt for Merchandise <input type="checkbox"/> Insured Mail <input type="checkbox"/> C.O.D.
	4. Restricted Delivery? (Extra Fee) <input checked="" type="checkbox"/> Yes
2. Article Number (Transfer from service label)	<i>7005 1160 0005 4137 5256</i>

# PUBLIC NOTICE

TO: Donald and Martha Benningfield  
 76 Donald Lane  
 Route 6  
 Campbellsville, Kentucky 42718

Bluegrass Wireless LLC, is applying to the Public Service Commission of Kentucky for a Certificate of Public Convenience and Necessity for construction and operation as a new cell facility to provide cellular radio service. The facility would include a 240 foot tower to be located at 6945 New Lebanon Road, Campbellsville, Kentucky, 42718. A map showing the location is attached. This notice is being sent to you because you either own property and/or reside on property that is located within a 500 ft. radius of the proposed tower or you own property contiguous to the property where the proposed tower will be located.

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 Public Service Commission of Kentucky  
 P.O. Box 615  
 Frankfort, Kentucky 40602**

Please refer to case number 2005-00386 in your correspondence.

SENDER: COMPLETE THIS SECTION	COMPLETE THIS SECTION ON DELIVERY
<ul style="list-style-type: none"> <li>■ Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.</li> <li>■ Print your name and address on the reverse so that we can return the card to you.</li> <li>■ Attach this card to the back of the mailpiece, or on the front if space permits.</li> </ul> <p>1. Article Addressed to:</p> <p style="font-family: cursive; font-size: 1.2em;">Donald &amp; Martha Benningfield            76 Donald Lane            Route 6            Campbellsville, KY 42718</p> <p>2. Article Number            (Transfer from service label)</p>	<p>A. Signature</p> <p><input checked="" type="checkbox"/> <i>Donald Benningfield</i> <span style="float: right;"><input type="checkbox"/> Agent</span>  <input checked="" type="checkbox"/> Addressee</p> <p>B. Received by (Printed Name) <span style="float: right;">C. Date of Delivery</span></p> <p><i>DONALD BENNINGFIELD</i> <span style="float: right;"><i>10/3/05</i></span></p> <p>D. Is delivery address different from item 1? <input type="checkbox"/> Yes            If YES, enter delivery address below: <input type="checkbox"/> No</p> <p>3. Service Type</p> <p><input checked="" type="checkbox"/> Certified Mail <input type="checkbox"/> Express Mail  <input checked="" type="checkbox"/> Registered <input type="checkbox"/> Return Receipt for Merchandise  <input type="checkbox"/> Insured Mail <input type="checkbox"/> C.O.D.</p> <p>4. Restricted Delivery? (Extra Fee) <input type="checkbox"/> Yes</p>
<p>7005 1160 0005 4137 5416</p>	

# PUBLIC NOTICE

TO: Roger and Connie Thompson  
4380 Finley Ridge Road  
Finley, Kentucky 42736

Bluegrass Wireless LLC, is applying to the Public Service Commission of Kentucky for a Certificate of Public Convenience and Necessity for construction and operation as a new cell facility to provide cellular radio service. The facility would include a 240 foot tower to be located at 6945 New Lebanon Road, Campbellsville, Kentucky, 42718. A map showing the location is attached. This notice is being sent to you because you either own property and/or reside on property that is located within a 500 ft. radius of the proposed tower or you own property contiguous to the property where the proposed tower will be located.

The Commission invites your comments regarding the utility's proposed construction. Also, the Commission wants you to be aware of your right to intervene in this matter. Your comments and request for intervention should be addressed to:

**Executive Director's Office  
Public Service Commission of Kentucky  
P.O. Box 615  
Frankfort, Kentucky 40602**

Please refer to case number 2005-00386 in your correspondence.

SENDER: COMPLETE THIS SECTION	COMPLETE THIS SECTION ON DELIVERY
<ul style="list-style-type: none"><li>■ Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.</li><li>■ Print your name and address on the reverse so that we can return the card to you.</li><li>■ Attach this card to the back of the mailpiece, or on the front if space permits.</li></ul>	A. Signature <input checked="" type="checkbox"/> <i>Roger Thompson</i> <input type="checkbox"/> Agent <input type="checkbox"/> Addressee
	B. Received by (Printed Name) C. Date of Delivery <i>Roger Thompson</i> <i>9-27-06</i>
1. Article Addressed to: <i>Roger &amp; Connie Thompson 4380 Finley Ridge Rd. Finley, KY 42736</i>	D. Is delivery address different from item 1? <input type="checkbox"/> Yes If YES, enter delivery address below: <input type="checkbox"/> No
2. Article Number (Transfer from service label)	3. Service Type <input checked="" type="checkbox"/> Certified Mail <input type="checkbox"/> Express Mail <input type="checkbox"/> Registered <input type="checkbox"/> Return Receipt for Merchandise <input type="checkbox"/> Insured Mail <input type="checkbox"/> C.O.R.
	4. Restricted Delivery? (Extra Fee) <input type="checkbox"/> Yes
	7005 1160 0005 4137 5263

# PUBLIC NOTICE

TO: John K. and Paula K. Gabehart  
687 North Calvary Road  
Campbellsville, Kentucky 42718

Bluegrass Wireless LLC, is applying to the Public Service Commission of Kentucky for a Certificate of Public Convenience and Necessity for construction and operation as a new cell facility to provide cellular radio service. The facility would include a 240 foot tower to be located at 694.5 New Lebanon Road, Campbellsville, Kentucky, 42718. A map showing the location is attached. This notice is being sent to you because you either own property and/or reside on property that is located within a 500 ft. radius of the proposed tower or you own property contiguous to the property where the proposed tower will be located.

The Commission invites your comments regarding the utility's proposed construction. Also, the Commission wants you to be aware of your right to intervene in this matter. Your comments and request for intervention should be addressed to:

**Executive Director's Office  
Public Service Commission of Kentucky  
P.O. Box 615  
Frankfort, Kentucky 40602**

Please refer to case number 2005-00386 in your correspondence.

SENDER: COMPLETE THIS SECTION	COMPLETE THIS SECTION ON DELIVERY
<ul style="list-style-type: none"><li>■ Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.</li><li>■ Print your name and address on the reverse so that we can return the card to you.</li><li>■ Attach this card to the back of the mailpiece, or on the front if space permits.</li></ul>	<p>A. Signature <input checked="" type="checkbox"/> Paula Gabehart <input type="checkbox"/> Agent <input checked="" type="checkbox"/> Addressee</p> <p>B. Received by (Printed Name) C. Date of Delivery Paula Gabehart 9/28/05</p>
1. Article Addressed to:  John K. & Paula K. Gabehart  Campbellsville, KY 42718	D. Is delivery address different from item 1? <input checked="" type="checkbox"/> Yes If YES, enter delivery address below: <input type="checkbox"/> No
2. Article Number (Transfer from service label)	3. Service Type <input checked="" type="checkbox"/> Certified Mail <input type="checkbox"/> Express Mail <input type="checkbox"/> Registered <input type="checkbox"/> Return Receipt for Merchandise <input type="checkbox"/> Insured Mail <input type="checkbox"/> C.O.D.
PS Form 3811, February 2004	4. Restricted Delivery? (Extra Fee) <input type="checkbox"/> Yes

7005 1160 0005 4137 5287





**Din smore & Shohl** LLP  
ATTORNEYS

Kerry W Ingle  
(502) 540-2354 (Direct Dial)  
kerry.ingle@dinslaw.com

September 26, 2005

***Via Certified Mail***

Honorable Paul Patton  
Taylor County Judge Executive  
Courthouse  
203 North Court Street  
Campbellsville, Kentucky 42718

RE: Public Notice - Public Service Commission of Kentucky  
Case No. 2005-00386

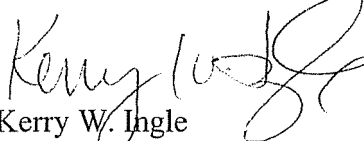
Bluegrass Wireless LLC is applying to the Public Service Commission of Kentucky (the Commission) for a Certificate of Public Convenience and Necessity to propose construction and operation for a new facility to provide cellular radio telecommunications service in rural service area (RSA) #4 in Taylor County. The facility will include a 240 ft. tower and an equipment shelter to be located at 6945 New Lebanon Road, Campbellsville, 42718. A map showing the location of the proposed new facility is enclosed.

The Commission invites your comments regarding the proposed construction. You also have the right to intervene in this matter.

Your comments and request for intervention should be addressed to: Executive Director's Office, Public Service Commission, P.O. Box 61.5, Frankfort, Kentucky 40602. Please refer to case number 2005-00386 in your correspondence.

Very truly yours,

DINSMORE & SHOHL LLP

  
Kerry W. Ingle  
Paralegal

enclosure

KWI

**SENDER: COMPLETE THIS SECTION**

- Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

**I. Article Addressed to:**

Hon. Paul Patton  
Taylor County Judge Executive  
Court House  
203 N. Court Street  
Campbellsville, KY 42718

**2. Article Number**

(Transfer from service label)

7005 1160 0005 4137 5294

**COMPLETE THIS SECTION ON DELIVERY**

**A. Signature**

X April Bramel

Agent

Addressee

**B. Received by (Printed Name)**

April Bramel

**C. Date of Delivery**

9/27/5

If YES, enter delivery address below:  Yes  No

**3. Service Type**

Certified Mail

Express Mail

Registered

Return Receipt for Merchandise

Insured Mail

C.O.D.

**4. Restricted Delivery? (Extra Fee)**

Yes



**PUBLIC NOTICE**

Bluegrass Wireless LLC  
proposes to  
construct a cellular  
communications

**TOWER**

near this site. If you have any  
questions please contact:

Bluegrass Wireless LLC P.O. Box 5217 2507 Ring Road Elizabethtown, NY 42701	Executive Director The Public Service Commission 210 New York State P.O. Box 615 Frankfort, NY 14607
--	--

Please refer to P.S.C.  
**Case #2005-00386**  
in your

**PUBLIC NOTICE**

Bluegrass Wireless LLC  
proposes to  
construct a cellular  
communications

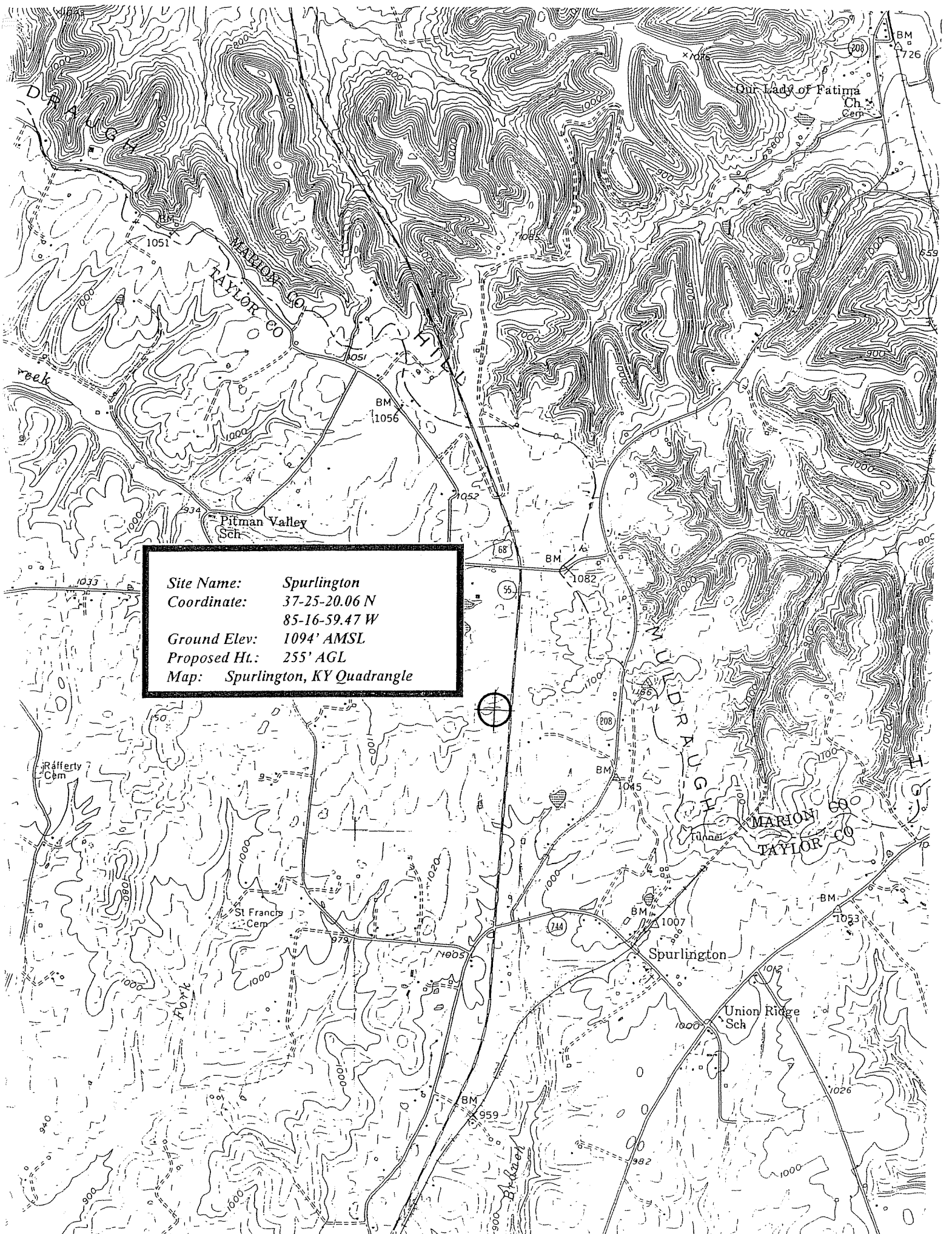
**TOWER**

on this site. If you have any  
questions please contact:

Bluegrass Wireless LLC P.O. Box 5217 2507 Ring Road Elizabethtown, NY 42701	Executive Director The Public Service Commission 210 New York State P.O. Box 615 Frankfort, NY 14607
--	--

Please refer to P.S.C.  
**Case #2005-00386**  
in your correspondence





**Site Name:** Spurlington  
**Coordinate:** 37-25-20.06 N  
85-16-59.47 W  
**Ground Elev:** 1094' AMSL  
**Proposed Ht.:** 255' AGL  
**Map:** Spurlington, KY Quadrangle





**Information on Towers registered with the FCC  
in Taylor County and 1/2 Mile Area Outside of the County Boundary**

FCC Tower Reg. No.	North Latitude	West Longitude	City, State	Tower Owner
1042222	37-19-24 N	85-19-29 W	CAMPBELLSVILLE, KY	Global Tower, LLC
1043056	37-23-00 N	85-25-42 W	CAMPBELLSVILLE, KY	KENTUCKY RSA 4 CELLULAR GENERAL PARTNERSHIP DBA = BLUEGRASS CELLULAR
1043159	37-28-03 N	85-20-25 W	FINLEY, KY	GTE SOUTH INCORPORATED
1043442	37-19-38 N	85-21-35 W	CAMPBELLSVILLE, KY	AT&T CORP.
1044280	37-24-48 N	85-23-33 W	CAMPBELLSVILLE, KY	TENNESSEE GAS PIPELINE COMPANY
1044516	37-28-32.2 N	85-30-23.9 W	HODGENVILLE, KY	EAST KENTUCKY POWER COOPERATIVE, INC
1044801	37-25-25 N	85-16-28 W	SPURLINGTON, KY	KENTUCKY, COMMONWEALTH OF DBA = KY EMERGENCY WARNING SYSTEM KEWS
1046182	37-20-07 N	85-22-33 W	CAMPBELLSVILLE, KY	COMMONWEALTH BROADCASTING CORPORATION
1052450	37-28-03 N	85-20-25 W	FINLEY, KY	P & B TOWERS, LLC
1214265	37-19-34.2 N	85-19-52.8 W	Campbellsville, KY	Kentucky RSA 4 Cellular General Partnership d/b/a Bluegrass Cellular
1218250	37-19-59.2 N	85-19-52.8 W	Campbellsville, KY	American Family Association
1227279	37-27-43.2 N	85-34-27.8 W	Gotton, KY	Kentucky RSA 4 Cellular General Partnership d/b/a Bluegrass Cellular
1241661	37-14-59 N	85-21-27.8 W	Campbellsville, KY	Kentucky RSA 4 Cellular General Partnership
1242907	37-20-53 N	85-20-42 W	Campbellsville, KY	Hemphill Corporation
1243210	37-12-42.6 N	85-20-58.8 W	COLUMBIA, KY	C&C TOWER RENTAL,LLC

**+**  
37°30'00"  
85°15'00"

Proposed  
Spurlington Site

**+**  
37°15'00"  
85°30'00"



**Taylor County Boundary**

Wireless Tower Locations Registered with the FCC

Proposed Tower

Tick Marks

Prepared By: LINGS Engineering    September 7, 2005

