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COMMONWEALTH OF KENTUCKY
BEFORE THE PUBLIC SERVICE COMMISSION

PUBLIC SERVICE
COMMISSION

In the Matter of:

THE APPLICATION OF)
NEW CINGULAR WIRELESS PCS, LLC,)
A DELAWARE LIMITED LIABILITY COMPANY,)
D/B/A AT&T MOBILITY)
FOR ISSUANCE OF A CERTIFICATE OF PUBLIC) CASE NO.: 2019-00376
CONVENIENCE AND NECESSITY TO CONSTRUCT)
A WIRELESS COMMUNICATIONS FACILITY)
IN THE COMMONWEALTH OF KENTUCKY)
IN THE COUNTY OF ADAIR)

SITE NAME: BREEDING FN

**APPLICATION FOR
CERTIFICATE OF PUBLIC CONVENIENCE AND NECESSITY
FOR CONSTRUCTION OF A WIRELESS COMMUNICATIONS FACILITY**

New Cingular Wireless PCS, LLC, a Delaware limited liability company, d/b/a AT&T Mobility ("Applicant"), by counsel, pursuant to (i) KRS §§ 278.020, 278.040, 278.650, 278.665, and other statutory authority, and the rules and regulations applicable thereto, and (ii) the Telecommunications Act of 1996, respectfully submits this Application requesting issuance of a Certificate of Public Convenience and Necessity ("CPCN") from the Kentucky Public Service Commission ("PSC") to construct, maintain, and operate a Wireless Communications Facility ("WCF") to serve the customers of the Applicant with wireless communications services.

In support of this Application, Applicant respectfully provides and states the following information:

1. The complete name and address of the Applicant: New Cingular Wireless

PCS, LLC, a Delaware limited liability company, d/b/a AT&T Mobility, having a local address of Meidinger Tower, 462 S. 4th Street, Suite 2400, Louisville, KY 40202.

2. Applicant proposes construction of an antenna tower for communications services, which is to be located in an area outside the jurisdiction of a planning commission, and Applicant submits this application to the PSC for a certificate of public convenience and necessity pursuant to KRS §§ 278.020(1), 278.040, 278.650, 278.665, and other statutory authority.

3. Applicant is a limited liability company organized in the State of Delaware on October 20, 1994.

4. Applicant attests that it is in good standing in the state in which it is organized and further states that it is authorized to transact business in Kentucky.

5. The Certificate of Authority filed with the Kentucky Secretary of State for the Applicant entity is attached as part of **Exhibit A** pursuant to 807 KAR 5:001: Section 14(3).

6. The Applicant operates on frequencies licensed by the Federal Communications Commission ("FCC") pursuant to applicable FCC requirements. A copy of the Applicant's FCC licenses to provide wireless services are attached to this Application or described as part of **Exhibit A**, and the facility will be constructed and operated in accordance with applicable FCC regulations.

7. The public convenience and necessity require the construction of the proposed WCF. The construction of the WCF will bring or improve the Applicant's services to an area currently not served or not adequately served by the Applicant by increasing coverage or capacity and thereby enhancing the public's access to innovative and

competitive wireless communications services. The WCF will provide a necessary link in the Applicant's communications network that is designed to meet the increasing demands for wireless services in Kentucky's wireless communications service area. The WCF is an integral link in the Applicant's network design that must be in place to provide adequate coverage to the service area.

8. To address the above-described service needs, Applicant proposes to construct a WCF at 527 Breeding Loop, Breeding, KY 42715 (36° 57' 56.09" North latitude, 85° 25' 52.54" West longitude), on a parcel of land located entirely within the county referenced in the caption of this application. The property on which the WCF will be located is owned by Brandon Harvey pursuant to a Deed recorded at Deed Book 300, Page 703 in the office of the County Clerk. The proposed WCF will consist of a 235-foot tall tower, with an approximately 5-foot tall lightning arrestor attached at the top, for a total height of 240-feet. The WCF will also include concrete foundations and a shelter or cabinets to accommodate the placement of the Applicant's radio electronics equipment and appurtenant equipment. The Applicant's equipment cabinet or shelter will be approved for use in the Commonwealth of Kentucky by the relevant building inspector. The WCF compound will be fenced and all access gate(s) will be secured. A description of the manner in which the proposed WCF will be constructed is attached as **Exhibit B** and **Exhibit C**.

9. A list of utilities, corporations, or persons with whom the proposed WCF is likely to compete is attached as **Exhibit D**.

10. The site development plan and a vertical profile sketch of the WCF signed

and sealed by a professional engineer registered in Kentucky depicting the tower height, as well as a proposed configuration for the antennas of the Applicant has also been included as part of **Exhibit B**.

11. Foundation design plans signed and sealed by a professional engineer registered in Kentucky and a description of the standards according to which the tower was designed are included as part of **Exhibit C**.

12. Applicant has considered the likely effects of the installation of the proposed WCF on nearby land uses and values and has concluded that there is no more suitable location reasonably available from which adequate services can be provided, and that there are no reasonably available opportunities to co-locate Applicant's antennas on an existing structure. When suitable towers or structures exist, Applicant attempts to co-locate on existing structures such as communications towers or other structures capable of supporting Applicant's facilities; however, no other suitable or available co-location site was found to be located in the vicinity of the site.

13. A copy of the Determination of No Hazard to Air Navigation issued by the Federal Aviation Administration ("FAA") is attached as **Exhibit E**.

14. A copy of the application for Kentucky Airport Zoning Commission ("KAZC") Approval to construct the tower is attached as **Exhibit F**.

15. A geotechnical engineering firm has performed soil boring(s) and subsequent geotechnical engineering studies at the WCF site. A copy of the geotechnical engineering report, signed and sealed by a professional engineer registered in the Commonwealth of Kentucky, is attached as **Exhibit G**. The name and address of the geotechnical

engineering firm and the professional engineer registered in the Commonwealth of Kentucky who supervised the examination of this WCF site are included as part of this exhibit.

16. Clear directions to the proposed WCF site from the County seat are attached as **Exhibit H**. The name and telephone number of the preparer of **Exhibit H** are included as part of this exhibit.

17. Applicant, pursuant to a written agreement, has acquired the right to use the WCF site and associated property rights. A copy of the agreement or an abbreviated agreement recorded with the County Clerk is attached as **Exhibit I**.

18. Personnel directly responsible for the design and construction of the proposed WCF are well qualified and experienced. The tower and foundation drawings for the proposed tower submitted as part of **Exhibit C** bear the signature and stamp of a professional engineer registered in the Commonwealth of Kentucky. All tower designs meet or exceed the minimum requirements of applicable laws and regulations.

19. The Construction Manager for the proposed facility is Don Murdock and the identity and qualifications of each person directly responsible for design and construction of the proposed tower are contained in **Exhibits B & C**.

20. As noted on the Survey attached as part of **Exhibit B**, the surveyor has determined that the site is not within any flood hazard area.

21. **Exhibit B** includes a map drawn to an appropriate scale that shows the location of the proposed tower and identifies every owner of real estate within 500 feet of the proposed tower (according to the records maintained by the County Property Valuation

Administrator). Every structure and every easement within 500 feet of the proposed tower or within 200 feet of the access road including intersection with the public street system is illustrated in **Exhibit B**.

22. Applicant has notified every person who, according to the records of the County Property Valuation Administrator, owns property which is within 500 feet of the proposed tower or contiguous to the site property, by certified mail, return receipt requested, of the proposed construction. Each notified property owner has been provided with a map of the location of the proposed construction, the PSC docket number for this application, the address of the PSC, and has been informed of his or her right to request intervention. A list of the notified property owners and a copy of the form of the notice sent by certified mail to each landowner are attached as **Exhibit J** and **Exhibit K**, respectively.

23. Applicant has notified the applicable County Judge/Executive by certified mail, return receipt requested, of the proposed construction. This notice included the PSC docket number under which the application will be processed and informed the County Judge/Executive of his/her right to request intervention. A copy of this notice is attached as **Exhibit L**.

24. Notice signs meeting the requirements prescribed by 807 KAR 5:063, Section 1(2) that measure at least 2 feet in height and 4 feet in width and that contain all required language in letters of required height, have been posted, one in a visible location on the proposed site and one on the nearest public road. Such signs shall remain posted for at least two weeks after filing of the Application, and a copy of the posted text is attached as **Exhibit M**. A legal notice advertisement regarding the location of the proposed facility has

been published in a newspaper of general circulation in the county in which the WCF is proposed to be located. A copy of the newspaper legal notice advertisement is attached as part of **Exhibit M**.

25. The general area where the proposed facility is to be located is rural and surrounded by dense wooded tracts. There are not existing residential structures within 500' of the tower's proposed location.

26. The process that was used by the Applicant's radio frequency engineers in selecting the site for the proposed WCF was consistent with the general process used for selecting all other existing and proposed WCF facilities within the proposed network design area. Applicant's radio frequency engineers have conducted studies and tests in order to develop a highly efficient network that is designed to handle voice and data traffic in the service area. The engineers determined an optimum area for the placement of the proposed facility in terms of elevation and location to provide the best quality service to customers in the service area. A radio frequency design search area prepared in reference to these radio frequency studies was considered by the Applicant when searching for sites for its antennas that would provide the coverage deemed necessary by the Applicant. A map of the area in which the tower is proposed to be located which is drawn to scale and clearly depicts the necessary search area within which the site should be located pursuant to radio frequency requirements is attached as **Exhibit N**.

27. The tower must be located at the proposed location and proposed height to provide necessary service to wireless communications users in the subject area.

28. All Exhibits to this Application are hereby incorporated by reference as if fully

set out as part of the Application.

29. All responses and requests associated with this Application may be directed to:

David A. Pike
Pike Legal Group, PLLC
1578 Highway 44 East, Suite 6
P. O. Box 369
Shepherdsville, KY 40165-0369
Telephone: (502) 955-4400
Telefax: (502) 543-4410
Email: dpike@pikelegal.com

WHEREFORE, Applicant respectfully request that the PSC accept the foregoing Application for filing, and having met the requirements of KRS §§ 278.020(1), 278.650, and 278.665 and all applicable rules and regulations of the PSC, grant a Certificate of Public Convenience and Necessity to construct and operate the WCF at the location set forth herein.

Respectfully submitted,



David A. Pike
Pike Legal Group, PLLC
1578 Highway 44 East, Suite 6
P. O. Box 369
Shepherdsville, KY 40165-0369
Telephone: (502) 955-4400
Telefax: (502) 543-4410
Email: dpike@pikelegal.com
Attorney for New Cingular Wireless PCS, LLC
d/b/a AT&T Mobility

LIST OF EXHIBITS

- A - Certificate of Authority & FCC License Documentation
- B - Site Development Plan:
 - 500' Vicinity Map
 - Legal Descriptions
 - Flood Plain Certification
 - Site Plan
 - Vertical Tower Profile
- C - Tower and Foundation Design
- D - Competing Utilities, Corporations, or Persons List
- E - FAA
- F - Kentucky Airport Zoning Commission
- G - Geotechnical Report
- H - Directions to WCF Site
- I - Copy of Real Estate Agreement
- J - Notification Listing
- K - Copy of Property Owner Notification
- L - Copy of County Judge/Executive Notice
- M - Copy of Posted Notices and Newspaper Notice Advertisement
- N - Copy of Radio Frequency Design Search Area

EXHIBIT A
CERTIFICATE OF AUTHORITY & FCC LICENSE
DOCUMENTATION

Commonwealth of Kentucky
Alison Lundergan Grimes, Secretary of State

Alison Lundergan Grimes
Secretary of State
P. O. Box 718
Frankfort, KY 40602-0718
(502) 564-3490
<http://www.sos.ky.gov>

Certificate of Authorization

Authentication number: 216299
Visit <https://app.sos.ky.gov/ftshow/certvalidate.aspx> to authenticate this certificate.

I, Alison Lundergan Grimes, Secretary of State of the Commonwealth of Kentucky, do hereby certify that according to the records in the Office of the Secretary of State,

NEW CINGULAR WIRELESS PCS, LLC

, a limited liability company authorized under the laws of the state of Delaware, is authorized to transact business in the Commonwealth of Kentucky, and received the authority to transact business in Kentucky on October 14, 1999.

I further certify that all fees and penalties owed to the Secretary of State have been paid; that an application for certificate of withdrawal has not been filed; and that the most recent annual report required by KRS 14A.6-010 has been delivered to the Secretary of State.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my Official Seal at Frankfort, Kentucky, this 28th day of May, 2019, in the 227th year of the Commonwealth.



Alison Lundergan Grimes
Alison Lundergan Grimes
Secretary of State
Commonwealth of Kentucky
216299/0481848

REFERENCE COPY

This is not an official FCC license. It is a record of public information contained in the FCC's licensing database on the date that this reference copy was generated. In cases where FCC rules require the presentation, posting, or display of an FCC license, this document may not be used in place of an official FCC license.



**Federal Communications Commission
Wireless Telecommunications Bureau**

RADIO STATION AUTHORIZATION

LICENSEE: NEW CINGULAR WIRELESS PCS, LLC

ATTN: CECIL J MATHEW
NEW CINGULAR WIRELESS PCS, LLC
208 S AKARD ST., RM 1015
DALLAS, TX 75202

Call Sign KNKN666	File Number
Radio Service CL - Cellular	
Market Numer CMA447	Channel Block A
Sub-Market Designator 0	

FCC Registration Number (FRN): 0003291192

Market Name Kentucky 5 - Barren

Grant Date	Effective Date	Expiration Date	Five Yr Build-Out Date	Print Date
08-30-2011	08-31-2018	10-01-2021		

Site Information:

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
7	37-10-00.0 N	085-18-37.0 W	282.5	291.4	1062332

Address: 1210 Cane Valley Road (94238)

City: Columbia County: ADAIR State: KY Construction Deadline:

Antenna: 1

Maximum Transmitting ERP in Watts:	140.820							
Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	180.300	151.200	132.800	140.500	155.800	172.800	186.200	183.500
Transmitting ERP (watts)	250.037	98.154	10.266	2.559	0.527	0.738	12.510	102.333

Antenna: 2								
Maximum Transmitting ERP in Watts:	140.820							
Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	180.300	151.200	132.800	140.500	155.800	172.800	186.200	183.500
Transmitting ERP (watts)	1.408	30.262	153.476	217.337	49.025	5.207	1.772	0.660

Antenna: 3								
Maximum Transmitting ERP in Watts:	140.820							
Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	180.300	151.200	132.800	140.500	155.800	172.800	186.200	183.500
Transmitting ERP (watts)	2.948	0.454	0.942	4.366	59.310	210.546	155.347	22.706

Conditions:

Pursuant to §309(h) of the Communications Act of 1934, as amended, 47 U.S.C. §309(h), this license is subject to the following conditions: This license shall not vest in the licensee any right to operate the station nor any right in the use of the frequencies designated in the license beyond the term thereof nor in any other manner than authorized herein. Neither the license nor the right granted thereunder shall be assigned or otherwise transferred in violation of the Communications Act of 1934, as amended. See 47 U.S.C. § 310(d). This license is subject in terms to the right of use or control conferred by §706 of the Communications Act of 1934, as amended. See 47 U.S.C. §606.

Licensee Name: NEW CINGULAR WIRELESS PCS, LLC

Call Sign: KNKN666

File Number:

Print Date:

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
8	36-43-12.0 N	084-28-13.0 W	409.3	91.1	1042231

Address: 100 Manor Circle (94260)

City: Whitley City/ County: MCCREARY State: KY Construction Deadline:

Antenna: 1

Maximum Transmitting ERP in Watts:	140.820							
Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	123.400	147.100	135.800	109.800	103.700	143.600	127.300	165.300
Transmitting ERP (watts)	244.175	220.925	36.790	4.400	1.072	1.113	3.637	56.485

Antenna: 2

Maximum Transmitting ERP in Watts:	140.820							
Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	123.400	147.100	135.800	109.800	103.700	143.600	127.300	165.300
Transmitting ERP (watts)	2.526	8.109	37.053	64.172	73.466	23.019	4.143	0.935

Antenna: 3

Maximum Transmitting ERP in Watts:	140.820							
Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	123.400	147.100	135.800	109.800	103.700	143.600	127.300	165.300
Transmitting ERP (watts)	13.438	3.125	0.649	0.912	15.291	122.113	297.793	117.856

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
17	36-56-36.9 N	086-00-52.2 W	218.8	91.1	1063506

Address: 638 GRAHAM ROAD (87368)

City: GLASGOW County: BARREN State: KY Construction Deadline:

Antenna: 1

Maximum Transmitting ERP in Watts:	140.820							
Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	76.900	78.700	69.100	74.800	91.600	116.000	101.800	89.500
Transmitting ERP (watts)	138.618	59.574	7.477	1.200	0.283	0.661	10.185	66.521

Antenna: 2

Maximum Transmitting ERP in Watts:	140.820							
Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	76.900	78.700	69.100	74.800	91.600	116.000	101.800	89.500
Transmitting ERP (watts)	2.142	19.146	94.547	124.562	33.322	3.559	0.817	0.257

Antenna: 3

Maximum Transmitting ERP in Watts:	140.820							
Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	76.900	78.700	69.100	74.800	91.600	116.000	101.800	89.500
Transmitting ERP (watts)	2.434	0.360	0.244	4.119	40.205	121.384	90.927	17.264

Licensee Name: NEW CINGULAR WIRELESS PCS, LLC

Call Sign: KNKN666

File Number:

Print Date:

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
18	36-48-31.1 N	084-50-43.5 W	466.6	61.0	1004214

Address: 6565 MORRIS HILL ROAD (87856)
City: MONTICELLO County: WAYNE State: KY Construction Deadline:

Antenna: 1
Maximum Transmitting ERP in Watts: 140.820
Azimuth(from true north) 0 45 90 135 180 225 270 315
Antenna Height AAT (meters) 216.900 160.100 180.400 174.000 158.000 164.800 204.700 214.300
Transmitting ERP (watts) 159.083 70.430 5.874 0.769 0.334 0.371 9.558 76.538

Antenna: 2
Maximum Transmitting ERP in Watts: 140.820
Azimuth(from true north) 0 45 90 135 180 225 270 315
Antenna Height AAT (meters) 216.900 160.100 180.400 174.000 158.000 164.800 204.700 214.300
Transmitting ERP (watts) 1.547 33.128 166.094 241.154 55.397 5.855 1.952 0.731

Antenna: 3
Maximum Transmitting ERP in Watts: 140.820
Azimuth(from true north) 0 45 90 135 180 225 270 315
Antenna Height AAT (meters) 216.900 160.100 180.400 174.000 158.000 164.800 204.700 214.300
Transmitting ERP (watts) 1.611 0.321 0.293 4.972 42.968 145.725 111.912 13.218

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
19	36-53-52.1 N	084-47-02.5 W	353.6	94.2	1238700

Address: ROUTE 5, BOX 9516 (87058)
City: Monticello County: WAYNE State: KY Construction Deadline:

Antenna: 1
Maximum Transmitting ERP in Watts: 140.820
Azimuth(from true north) 0 45 90 135 180 225 270 315
Antenna Height AAT (meters) 153.300 160.500 119.100 104.500 62.300 124.200 155.000 148.700
Transmitting ERP (watts) 151.264 65.591 5.815 0.740 0.328 0.344 9.075 72.988

Antenna: 2
Maximum Transmitting ERP in Watts: 140.820
Azimuth(from true north) 0 45 90 135 180 225 270 315
Antenna Height AAT (meters) 153.300 160.500 119.100 104.500 62.300 124.200 155.000 148.700
Transmitting ERP (watts) 2.029 20.018 108.704 142.806 33.266 2.825 0.395 0.478

Antenna: 3
Maximum Transmitting ERP in Watts: 140.820
Azimuth(from true north) 0 45 90 135 180 225 270 315
Antenna Height AAT (meters) 153.300 160.500 119.100 104.500 62.300 124.200 155.000 148.700
Transmitting ERP (watts) 1.536 0.299 0.287 4.752 41.633 135.419 106.546 12.709

Licensee Name: NEW CINGULAR WIRELESS PCS, LLC

Call Sign: KNKN666

File Number:

Print Date:

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
20	37-05-19.7 N	084-54-47.3 W	331.6	106.4	1232264

Address: 1101 PINE TOP ROAD (86918)

City: RUSSELL SPRINGS County: RUSSELL State: KY Construction Deadline:

Antenna: 1

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
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Antenna Height AAT (meters)	118.700	77.600	105.400	136.900	148.600	127.700	120.400	134.300
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Transmitting ERP (watts)	106.145	47.603	4.827	0.278	0.215	0.233	6.909	51.527
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Antenna: 2

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
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Antenna Height AAT (meters)	118.700	77.600	105.400	136.900	148.600	127.700	120.400	134.300
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Transmitting ERP (watts)	2.313	23.146	119.606	157.272	35.853	3.353	0.454	0.536
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Antenna: 3

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
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Antenna Height AAT (meters)	118.700	77.600	105.400	136.900	148.600	127.700	120.400	134.300
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Transmitting ERP (watts)	1.748	0.347	0.313	5.295	45.951	158.160	122.299	14.137
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Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
22	36-45-21.5 N	085-03-35.7 W	353.6	78.6	1258266

Address: RR BOX 200 STATE ROUTE 90 (97275)

City: Albany County: CLINTON State: KY Construction Deadline:

Antenna: 1

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
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Antenna Height AAT (meters)	159.200	140.400	108.000	36.100	88.900	81.600	132.000	170.300
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Transmitting ERP (watts)	61.485	218.225	164.915	26.293	2.922	0.471	0.954	4.500
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Antenna: 2

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
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Antenna Height AAT (meters)	159.200	140.400	108.000	36.100	88.900	81.600	132.000	170.300
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Transmitting ERP (watts)	1.000	4.591	60.220	229.906	159.544	23.590	2.912	0.466
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Antenna: 3

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
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Antenna Height AAT (meters)	159.200	140.400	108.000	36.100	88.900	81.600	132.000	170.300
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Transmitting ERP (watts)	7.041	2.307	0.511	1.072	23.419	142.307	232.641	64.969
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Licensee Name: NEW CINGULAR WIRELESS PCS, LLC

Call Sign: KNKN666

File Number:

Print Date:

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
23	36-44-36.2 N	085-08-34.1 W	350.5	78.0	1258265

Address: 127 North Cross (Route 6 Box 991) (94257)

City: Albany County: CLINTON State: KY Construction Deadline:

Antenna: 1

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	181.800	142.800	72.800	100.300	157.000	167.400	157.200	193.400
Transmitting ERP (watts)	31.597	145.107	168.768	30.884	3.418	1.072	0.669	1.670

Antenna: 2

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	181.800	142.800	72.800	100.300	157.000	167.400	157.200	193.400
Transmitting ERP (watts)	1.105	21.668	14.838	36.641	44.724	30.421	5.045	2.474

Antenna: 3

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	181.800	142.800	72.800	100.300	157.000	167.400	157.200	193.400
Transmitting ERP (watts)	40.424	43.84	1.518	0.529	1.123	24.617	125.244	176.237

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
26	37-18-17.2 N	085-55-38.3 W	285.3	99.1	1200030

Address: 824 I CHILDRESS ROAD (37618)

City: Munfordville County: HART State: KY Construction Deadline:

Antenna: 1

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	137.000	120.900	185.100	176.500	166.200	156.000	134.000	170.100
Transmitting ERP (watts)	87.882	116.157	30.423	3.076	0.288	0.394	1.136	15.107

Antenna: 2

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	137.000	120.900	185.100	176.500	166.200	156.000	134.000	170.100
Transmitting ERP (watts)	0.236	4.016	34.037	111.204	87.767	11.936	0.954	0.231

Antenna: 3

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	137.000	120.900	185.100	176.500	166.200	156.000	134.000	170.100
Transmitting ERP (watts)	0.893	0.228	0.217	2.143	29.130	110.300	94.526	17.072

Licensee Name: NEW CINGULAR WIRELESS PCS, LLC

Call Sign: KNKN666

File Number:

Print Date:

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
27	36-41-54.0 N	085-41-07.0 W	286.5	90.2	1065560

Address: 403 MARTIN SUBDIVISION (87881)
City: TOMPKINSVILLE County: MONROE State: KY Construction Deadline:

Antenna: 1
Maximum Transmitting ERP in Watts: 140.820
Azimuth(from true north) 0 45 90 135 180 225 270 315
Antenna Height AAT (meters) 69.700 75.300 146.800 80.100 75.200 103.200 86.800 75.200
Transmitting ERP (watts) 271.841 109.386 7.417 0.800 0.553 0.537 18.630 138.505

Antenna: 2
Maximum Transmitting ERP in Watts: 140.820
Azimuth(from true north) 0 45 90 135 180 225 270 315
Antenna Height AAT (meters) 69.700 75.300 146.800 80.100 75.200 103.200 86.800 75.200
Transmitting ERP (watts) 1.721 17.109 89.000 121.386 26.164 2.348 0.328 0.400

Antenna: 3
Maximum Transmitting ERP in Watts: 140.820
Azimuth(from true north) 0 45 90 135 180 225 270 315
Antenna Height AAT (meters) 69.700 75.300 146.800 80.100 75.200 103.200 86.800 75.200
Transmitting ERP (watts) 1.247 0.244 0.229 4.118 34.693 116.367 90.021 10.295

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
28	37-21-17.2 N	085-52-24.7 W	352.0	83.8	1220496

Address: 2830 Frenchman's Knob Road (94236)
City: Bonnieville County: HART State: KY Construction Deadline:

Antenna: 1
Maximum Transmitting ERP in Watts: 140.820
Azimuth(from true north) 0 45 90 135 180 225 270 315
Antenna Height AAT (meters) 193.700 191.000 195.200 238.600 217.000 184.800 226.800 216.700
Transmitting ERP (watts) 184.924 99.849 11.423 0.450 0.602 0.510 8.026 87.512

Antenna: 2
Maximum Transmitting ERP in Watts: 140.820
Azimuth(from true north) 0 45 90 135 180 225 270 315
Antenna Height AAT (meters) 193.700 191.000 195.200 238.600 217.000 184.800 226.800 216.700
Transmitting ERP (watts) 2.115 37.767 246.087 328.098 100.148 5.709 0.676 0.788

Antenna: 3
Maximum Transmitting ERP in Watts: 140.820
Azimuth(from true north) 0 45 90 135 180 225 270 315
Antenna Height AAT (meters) 193.700 191.000 195.200 238.600 217.000 184.800 226.800 216.700
Transmitting ERP (watts) 1.310 0.350 0.339 3.061 46.385 170.557 144.024 26.849

Licensee Name: NEW CINGULAR WIRELESS PCS, LLC

Call Sign: KNKN666

File Number:

Print Date:

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
32	37-04-19.5 N	084-59-59.4 W	317.0	78.0	1257488

Address: 227 Horn Rd (94247)

City: Russell Springs County: RUSSELL State: KY Construction Deadline:

Antenna: 1

Maximum Transmitting ERP in Watts:	140.820							
Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	149.200	77.200	79.700	105.800	146.300	99.500	80.900	89.500
Transmitting ERP (watts)	221.223	212.121	177.242	71.356	77.801	28.148	33.937	155.008

Antenna: 2

Maximum Transmitting ERP in Watts:	140.820							
Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	149.200	77.200	79.700	105.800	146.300	99.500	80.900	89.500
Transmitting ERP (watts)	18.208	241.435	173.839	236.936	272.788	110.954	36.898	14.156

Antenna: 3

Maximum Transmitting ERP in Watts:	140.820							
Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	149.200	77.200	79.700	105.800	146.300	99.500	80.900	89.500
Transmitting ERP (watts)	68.660	39.848	0.532	12.732	74.296	228.506	206.369	227.920

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
33	36-50-28.6 N	086-02-47.1 W	225.9	60.7	

Address: Austin Tracy Rd (115120)

City: Lucas County: BARREN State: KY Construction Deadline:

Antenna: 1

Maximum Transmitting ERP in Watts:	140.820							
Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	91.800	79.300	63.800	43.400	95.100	66.500	80.300	112.900
Transmitting ERP (watts)	79.481	128.527	48.267	34.537	0.275	16.613	58.629	118.330

Antenna: 2

Maximum Transmitting ERP in Watts:	140.820							
Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	91.800	79.300	63.800	43.400	95.100	66.500	80.300	112.900
Transmitting ERP (watts)	16.424	105.957	212.448	227.867	141.232	41.336	29.497	11.208

Antenna: 3

Maximum Transmitting ERP in Watts:	140.820							
Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	91.800	79.300	63.800	43.400	95.100	66.500	80.300	112.900
Transmitting ERP (watts)	3.736	0.847	2.276	7.728	35.347	59.316	65.492	20.964

Antenna: 4

Maximum Transmitting ERP in Watts:	140.820							
Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	91.800	79.300	63.700	43.400	95.100	66.500	80.300	112.900
Transmitting ERP (watts)	80.215	129.717	48.867	34.856	0.278	16.767	59.174	119.427

Antenna: 5

Maximum Transmitting ERP in Watts:	140.820							
Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	91.800	79.300	63.700	43.400	95.100	66.500	80.300	112.900
Transmitting ERP (watts)	16.576	106.934	215.086	229.984	142.541	41.717	29.770	11.312

Licensee Name: NEW CINGULAR WIRELESS PCS, LLC

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File Number:

Print Date:

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
33	36-50-28.6 N	086-02-47.1 W	225.9	60.7	

Address: Austin Tracy Rd.(115120)
 City: Lucas County: BARREN State: KY Construction Deadline:

Antenna: 6
 Maximum Transmitting ERP in Watts: 140.820
 Azimuth(from true north) 0

Antenna Height AAT (meters)	45	90	135	180	225	270	315
91.800	79.300	63.700	43.400	95.100	66.500	80.300	112.900
Transmitting ERP (watts)	3.770	0.854	2.304	7.800	35.674	59.863	66.098

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
34	36-46-44.5 N	084-56-33.7 W	396.2	78.0	1258267

Address: 9096 W. Hwy 90 (94262)
 City: Monticello County: WAYNE State: KY Construction Deadline:

Antenna: 1
 Maximum Transmitting ERP in Watts: 140.820
 Azimuth(from true north) 0

Antenna Height AAT (meters)	45	90	135	180	225	270	315
194.500	173.000	138.200	103.300	102.200	140.500	166.900	201.300
Transmitting ERP (watts)	147.841	143.877	130.052	39.637	24.482	1.946	8.038

Antenna: 2
 Maximum Transmitting ERP in Watts: 140.820
 Azimuth(from true north) 0

Antenna Height AAT (meters)	45	90	135	180	225	270	315
194.500	173.000	138.200	103.300	102.200	140.500	166.900	201.300
Transmitting ERP (watts)	0.742	5.202	57.406	186.618	115.460	13.939	2.131

Antenna: 3
 Maximum Transmitting ERP in Watts: 140.820
 Azimuth(from true north) 0

Antenna Height AAT (meters)	45	90	135	180	225	270	315
194.500	173.000	138.200	103.300	102.200	140.500	166.900	201.300
Transmitting ERP (watts)	27.223	19.327	10.778	15.109	86.367	155.385	168.892

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
35	36-39-45.3 N	084-26-36.2 W	428.2	79.9	1275397

Address: 6135 Hwy 1651 (115765)
 City: Pine Knot County: MCCREARY State: KY Construction Deadline:

Antenna: 1
 Maximum Transmitting ERP in Watts: 140.820
 Azimuth(from true north) 0

Antenna Height AAT (meters)	45	90	135	180	225	270	315
132.500	143.700	119.600	95.500	88.700	114.200	161.300	166.800
Transmitting ERP (watts)	69.450	261.545	232.470	44.008	2.017	0.559	0.530

Antenna: 2
 Maximum Transmitting ERP in Watts: 140.820
 Azimuth(from true north) 0

Antenna Height AAT (meters)	45	90	135	180	225	270	315
132.500	143.700	119.600	95.500	88.700	114.200	161.300	166.800
Transmitting ERP (watts)	0.210	0.184	2.662	25.143	50.189	30.009	3.791

Licensee Name: NEW CINGULAR WIRELESS PCS, LLC

Call Sign: KNKN666

File Number:

Print Date:

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
35	36-39-45.3 N	084-26-36.2 W	428.2	79.9	1275397

Address: 6135 Hwy 1651 (115765)

City: Pine Knot County: MCCREARY State: KY Construction Deadline:

Antenna: 3

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	132.500	143.700	119.600	95.500	88.700	114.200	161.300	166.800
Transmitting ERP (watts)	113.680	6.615	0.792	0.868	2.269	39.368	258.605	358.864

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
36	36-50-27.1 N	084-28-44.2 W	425.5	79.6	1233359

Address: 165 HWY 90 (114139)

City: Parkers Lake County: MCCREARY State: KY Construction Deadline:

Antenna: 1

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	185.500	163.600	170.800	152.900	106.200	178.000	165.700	183.000
Transmitting ERP (watts)	23.185	14.817	1.670	0.153	0.104	0.150	1.655	13.513

Antenna: 2

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	185.500	163.600	170.800	152.900	106.200	178.000	165.700	183.000
Transmitting ERP (watts)	2.683	26.605	140.903	189.301	44.170	3.813	0.542	0.629

Antenna: 3

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	185.500	163.600	170.800	152.900	106.200	178.000	165.700	183.000
Transmitting ERP (watts)	2.063	0.405	0.373	6.243	54.676	179.706	144.196	16.857

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
37	36-41-51.7 N	085-07-19.1 W	303.9	78.0	1273817

Address: 399 Daylton Road (112920)

City: Albany County: CLINTON State: KY Construction Deadline:

Antenna: 1

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	103.500	53.600	30.000	64.200	100.300	112.300	94.400	76.300
Transmitting ERP (watts)	255.895	112.531	6.303	1.065	0.524	0.886	15.778	134.111

Antenna: 2

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	103.500	53.600	30.000	64.200	100.300	112.300	94.400	76.300
Transmitting ERP (watts)	1.151	13.278	68.092	80.326	20.259	1.984	0.205	0.284

Licensee Name: NEW CINGULAR WIRELESS PCS, LLC

Call Sign: KNKN666

File Number:

Print Date:

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
37	36-41-51.7 N	085-07-19.1 W	303.9	78.0	1273817

Address: 399 Daylton Road (112920)

City: Albany County: CLINTON State: KY Construction Deadline:

Antenna: 3

Maximum Transmitting ERP in Watts:	140.820							
Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	103.500	53.600	30.000	64.200	100.300	112.300	94.400	76.300
Transmitting ERP (watts)	0.327	0.106	0.101	1.174	12.741	41.443	34.130	5.644

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
38	36-44-13.0 N	085-42-10.0 W	309.7	91.1	1042225

Address: 3151 EDMONTON ROAD (94259)

City: TOMPKINSVILLE County: MONROE State: KY Construction Deadline:

Antenna: 1

Maximum Transmitting ERP in Watts:	140.820							
Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	111.100	109.700	147.100	108.800	126.000	145.900	125.000	125.900
Transmitting ERP (watts)	189.524	72.806	7.444	1.950	0.393	0.557	9.583	77.626

Antenna: 2

Maximum Transmitting ERP in Watts:	140.820							
Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	111.100	109.700	147.100	108.800	126.000	145.900	125.000	125.900
Transmitting ERP (watts)	1.067	23.007	114.837	166.790	36.523	3.864	1.339	0.493

Antenna: 3

Maximum Transmitting ERP in Watts:	140.820							
Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	111.100	109.700	147.100	108.800	126.000	145.900	125.000	125.900
Transmitting ERP (watts)	2.199	0.335	0.702	3.359	45.136	159.373	117.688	16.866

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
39	36-38-51.6 N	085-17-33.1 W	317.0	60.7	

Address: 5163 State Park (117828)

City: Cumberland County: CUMBERLAND State: KY Construction Deadline:

Antenna: 1

Maximum Transmitting ERP in Watts:	140.820							
Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	100.500	86.500	93.600	115.600	123.000	167.100	133.100	121.800
Transmitting ERP (watts)	24.683	224.514	184.090	16.413	0.520	0.462	0.466	0.469

Antenna: 2

Maximum Transmitting ERP in Watts:	140.820							
Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	100.500	86.500	93.600	115.600	123.000	167.100	133.100	121.800
Transmitting ERP (watts)	46.321	0.611	0.527	0.529	0.541	7.711	140.237	265.546

Licensee Name: NEW CINGULAR WIRELESS PCS, LLC

Call Sign: KNKN666

File Number:

Print Date:

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
40	37-11-42.5 N	085-57-13.0 W	267.6	99.1	1224165

Address: 1515 FISHER RIDGE ROAD (37620)

City: Horse Cave County: HART State: KY Construction Deadline:

Antenna: 1

Maximum Transmitting ERP in Watts:	140.820							
Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	148.700	170.000	148.400	148.400	138.900	116.100	137.500	147.400
Transmitting ERP (watts)	96.574	101.465	19.855	1.861	0.214	0.322	2.056	21.126

Antenna: 2

Maximum Transmitting ERP in Watts:	140.820							
Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	148.700	170.000	148.400	148.400	138.900	116.100	137.500	147.400
Transmitting ERP (watts)	8.514	101.153	307.468	229.726	25.253	1.925	0.630	0.630

Antenna: 3

Maximum Transmitting ERP in Watts:	140.820							
Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	148.700	170.000	148.400	148.400	138.900	116.100	137.500	147.400
Transmitting ERP (watts)	0.226	0.222	3.795	33.295	109.116	83.424	11.320	0.928

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
41	37-01-03.9 N	085-54-42.3 W	254.8	68.6	1230168

Address: 170 Robert Bishop Lane (94244)

City: Glasgow County: BARREN State: KY Construction Deadline:

Antenna: 1

Maximum Transmitting ERP in Watts:	140.820							
Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	93.000	83.300	56.400	66.300	91.100	106.300	92.700	90.500
Transmitting ERP (watts)	104.518	139.218	43.033	2.862	0.290	0.325	1.008	15.797

Antenna: 2

Maximum Transmitting ERP in Watts:	140.820							
Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	93.000	83.300	56.400	66.300	91.100	106.300	92.700	90.500
Transmitting ERP (watts)	0.395	3.203	50.041	189.424	165.261	28.863	1.290	0.398

Antenna: 3

Maximum Transmitting ERP in Watts:	140.820							
Azimuth(from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	93.000	83.300	56.400	66.300	91.100	106.300	92.700	90.500
Transmitting ERP (watts)	11.785	0.490	0.619	0.543	8.652	98.226	207.121	111.304

Control Points:

Control Pt. No. 1

Address: 124 South Keeneland Drive (Suite 103)

City: RICHMOND County: MADISON State: KY Telephone Number: (859)544-4804

Licensee Name: NEW CINGULAR WIRELESS PCS, LLC

Call Sign: KNKN666

File Number:

Print Date:

Waivers/Conditions:

License renewal granted on a conditional basis, subject to the outcome of FCC proceeding WT Docket No. 10-112 (see FCC 10-86, paras. 113 and 126).

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**Federal Communications Commission
Wireless Telecommunications Bureau**

RADIO STATION AUTHORIZATION

LICENSEE: NEW CINGULAR WIRELESS PCS, LLC

ATTN: LESLIE WILSON
NEW CINGULAR WIRELESS PCS, LLC
208 S AKARD ST., RM 1016
DALLAS, TX 75202

Call Sign KNLG209	File Number
Radio Service CW - PCS Broadband	

FCC Registration Number (FRN): 0003291192

Grant Date 04-12-2017	Effective Date 08-31-2018	Expiration Date 04-28-2027	Print Date
Market Number BTA263	Channel Block D	Sub-Market Designator 0	
Market Name Louisville, KY			
1st Build-out Date 04-28-2002	2nd Build-out Date	3rd Build-out Date	4th Build-out Date

Waivers/Conditions:

License renewal granted on a conditional basis, subject to the outcome of FCC proceeding WT Docket No. 10-112 (see FCC 10-86, paras. 113 and 126).

Conditions:

Pursuant to §309(h) of the Communications Act of 1934, as amended, 47 U.S.C. §309(h), this license is subject to the following conditions: This license shall not vest in the licensee any right to operate the station nor any right in the use of the frequencies designated in the license beyond the term thereof nor in any other manner than authorized herein. Neither the license nor the right granted thereunder shall be assigned or otherwise transferred in violation of the Communications Act of 1934, as amended. See 47 U.S.C. § 310(d). This license is subject in terms to the right of use or control conferred by §706 of the Communications Act of 1934, as amended. See 47 U.S.C. §606.

This license may not authorize operation throughout the entire geographic area or spectrum identified on the hardcopy version. To view the specific geographic area and spectrum authorized by this license, refer to the Spectrum and Market Area information under the Market Tab of the license record in the Universal Licensing System (ULS). To view the license record, go to the ULS homepage at <http://wireless.fcc.gov/uls/index.htm?job=home> and select "License Search". Follow the instructions on how to search for license information.

Licensee Name: NEW CINGULAR WIRELESS PCS, LLC

Call Sign: KNLG209

File Number:

Print Date:

700 MHz Relicensed Area Information:

Market	Market Name	Buildout Deadline	Buildout Notification	Status
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**Federal Communications Commission
Wireless Telecommunications Bureau**

RADIO STATION AUTHORIZATION

LICENSEE: NEW CINGULAR WIRELESS PCS, LLC

ATTN: CECIL J MATHEW
NEW CINGULAR WIRELESS PCS, LLC
208 S AKARD ST., RM 1015
DALLAS, TX 75202

Call Sign WPOI255	File Number
Radio Service CW - PCS Broadband	

FCC Registration Number (FRN): 0003291192

Grant Date 05-27-2015	Effective Date 08-31-2018	Expiration Date 06-23-2025	Print Date
Market Number MTA026	Channel Block A	Sub-Market Designator 19	
Market Name Louisville-Lexington-Evansville			
1st Build-out Date 06-23-2000	2nd Build-out Date 06-23-2005	3rd Build-out Date	4th Build-out Date

Waivers/Conditions:

This authorization is subject to the condition that, in the event that systems using the same frequencies as granted herein are authorized in an adjacent foreign territory (Canada/United States), future coordination of any base station transmitters within 72 km (45 miles) of the United States/Canada border shall be required to eliminate any harmful-interference to operations in the adjacent foreign territory and to ensure continuance of equal access to the frequencies by both countries.

License renewal granted on a conditional basis, subject to the outcome of FCC proceeding WT Docket No. 10-112 (see FCC 10-86, paras. 113 and 126).

Conditions:

Pursuant to §309(h) of the Communications Act of 1934, as amended, 47 U.S.C. §309(h), this license is subject to the following conditions: This license shall not vest in the licensee any right to operate the station nor any right in the use of the frequencies designated in the license beyond the term thereof nor in any other manner than authorized herein. Neither the license nor the right granted thereunder shall be assigned or otherwise transferred in violation of the Communications Act of 1934, as amended. See 47 U.S.C. § 310(d). This license is subject in terms to the right of use or control conferred by §706 of the Communications Act of 1934, as amended. See 47 U.S.C. §606.

This license may not authorize operation throughout the entire geographic area or spectrum identified on the hardcopy version. To view the specific geographic area and spectrum authorized by this license, refer to the Spectrum and Market Area information under the Market Tab of the license record in the Universal Licensing System (ULS). To view the license record, go to the ULS homepage at <http://wireless.fcc.gov/uls/index.htm?job=home> and select "License Search". Follow the instructions on how to search for license information.

Licensee Name: NEW CINGULAR WIRELESS PCS, LLC

Call Sign: WPOI255

File Number:

Print Date:

This authorization is subject to the condition that the remaining balance of the winning bid amount will be paid in accordance with Part 1 of the Commission's rules, 47 C.F.R. Part 1.

This license is conditioned upon compliance with the provisions of Applications of AT&T Wireless Services, Inc. and Cingular Wireless Corporation For Consent to Transfer Control of Licenses and Authorizations, Memorandum Opinion and Order, FCC 04-255 (rel. Oct. 26, 2004).

Spectrum Lease Associated with this License. See Spectrum Leasing Arrangement Letter dated 12/06/2004 and File # 0001918558.

The Spectrum Leasing Arrangement, which became effective upon approval of application file number 0001918558, was terminated on 04/14/2005. See file number 0002135370.

Commission approval of this application and the licenses contained therein are subject to the conditions set forth in the Memorandum Opinion and Order, adopted on December 29, 2006 and released on March 26, 2007, and revised in the Order on Reconsideration, adopted and released on March 26, 2007. See AT&T Inc. and BellSouth Corporation Application for Transfer of Control, WC Docket No. 06-74, Memorandum Opinion and Order, FCC 06-189 (rel. Mar. 26, 2007); AT&T Inc. and BellSouth Corporation, WC Docket No. 06-74, Order on Reconsideration, FCC 07-44 (rel. Mar. 26, 2007).

Licensee Name: NEW CINGULAR WIRELESS PCS, LLC

Call Sign: WPOI255

File Number:

Print Date:

700 MHz Relicensed Area Information:

Market	Market Name	Buildout Deadline	Buildout Notification	Status
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Reference Copy

REFERENCE COPY

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Federal Communications Commission
Wireless Telecommunications Bureau

RADIO STATION AUTHORIZATION

LICENSEE: NEW CINGULAR WIRELESS PCS, LLC

ATTN: LESLIE WILSON
NEW CINGULAR WIRELESS PCS, LLC
208 S AKARD ST., RM 1016
DALLAS, TX 75202

Call Sign WQDI528	File Number
Radio Service CW - PCS Broadband	

FCC Registration Number (FRN): 0003291192

Grant Date 08-17-2015	Effective Date 08-31-2018	Expiration Date 09-06-2025	Print Date
Market Number BTA263	Channel Block C	Sub-Market Designator 7	
Market Name Louisville, KY			
1st Build-out Date 09-06-2010	2nd Build-out Date	3rd Build-out Date	4th Build-out Date

Waivers/Conditions:

License renewal granted on a conditional basis, subject to the outcome of FCC proceeding WT Docket No. 10-112 (see FCC 10-86, paras. 113 and 126).

Conditions:

Pursuant to §309(h) of the Communications Act of 1934, as amended, 47 U.S.C. §309(h), this license is subject to the following conditions: This license shall not vest in the licensee any right to operate the station nor any right in the use of the frequencies designated in the license beyond the term thereof nor in any other manner than authorized herein. Neither the license nor the right granted thereunder shall be assigned or otherwise transferred in violation of the Communications Act of 1934, as amended. See 47 U.S.C. § 310(d). This license is subject in terms to the right of use or control conferred by §706 of the Communications Act of 1934, as amended. See 47 U.S.C. §606.

This license may not authorize operation throughout the entire geographic area or spectrum identified on the hardcopy version. To view the specific geographic area and spectrum authorized by this license, refer to the Spectrum and Market Area information under the Market Tab of the license record in the Universal Licensing System (ULS). To view the license record, go to the ULS homepage at <http://wireless.fcc.gov/uls/index.htm?job=home> and select "License Search". Follow the instructions on how to search for license information.

Licensee Name: NEW CINGULAR WIRELESS PCS, LLC

Call Sign: WQDI528

File Number:

Print Date:

700 MHz Relicensed Area Information:

Market	Market Name	Buildout Deadline	Buildout Notification	Status
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Reference Copy

REFERENCE COPY

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Federal Communications Commission

Wireless Telecommunications Bureau

RADIO STATION AUTHORIZATION

LICENSEE: NEW CINGULAR WIRELESS PCS, LLC

ATTN: CECIL J MATHEW
 NEW CINGULAR WIRELESS PCS, LLC
 208 S AKARD ST., RM 1015
 DALLAS, TX 75202

Call Sign WQFA869	File Number
Radio Service CW - PCS Broadband	

FCC Registration Number (FRN): 0003291192

Grant Date 04-11-2017	Effective Date 08-31-2018	Expiration Date 04-28-2027	Print Date
Market Number BTA263	Channel Block E	Sub-Market Designator 4	
Market Name Louisville, KY			
1st Build-out Date	2nd Build-out Date	3rd Build-out Date	4th Build-out Date

Waivers/Conditions:

License renewal granted on a conditional basis, subject to the outcome of FCC proceeding WT Docket No. 10-112 (see FCC 10-86, paras. 113 and 126).

Conditions:

Pursuant to §309(h) of the Communications Act of 1934, as amended, 47 U.S.C. §309(h), this license is subject to the following conditions: This license shall not vest in the licensee any right to operate the station nor any right in the use of the frequencies designated in the license beyond the term thereof nor in any other manner than authorized herein. Neither the license nor the right granted thereunder shall be assigned or otherwise transferred in violation of the Communications Act of 1934, as amended. See 47 U.S.C. § 310(d). This license is subject in terms to the right of use or control conferred by §706 of the Communications Act of 1934, as amended. See 47 U.S.C. §606.

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Licensee Name: NEW CINGULAR WIRELESS PCS, LLC

Call Sign: WQFA869

File Number:

Print Date:

700 MHz Relicensed Area Information:

Market	Market Name	Buildout Deadline	Buildout Notification	Status
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Referred
Copyright

REFERENCE COPY

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Federal Communications Commission
Wireless Telecommunications Bureau

RADIO STATION AUTHORIZATION

LICENSEE: NEW CINGULAR WIRELESS PCS, LLC

ATTN: CECIL J MATHEW
NEW CINGULAR WIRELESS PCS, LLC
208 S AKARD ST., RM 1015
DALLAS, TX 75202

Call Sign WQGA818	File Number
Radio Service AW - AWS (1710-1755 MHz and 2110-2155 MHz)	

FCC Registration Number (FRN): 0003291492

Grant Date 11-29-2006	Effective Date 08-31-2018	Expiration Date 11-29-2021	Print Date
Market Number CMA447	Channel Block	Sub-Market Designator 0	
Market Name Kentucky 5 - Barren			
1st Build-out Date	2nd Build-out Date	3rd Build-out Date	4th Build-out Date

Waivers/Conditions:

This authorization is conditioned upon the licensee, prior to initiating operations from any base or fixed station, making reasonable efforts to coordinate frequency usage with known co-channel and adjacent channel incumbent federal users operating in the 1710-1755 MHz band whose facilities could be affected by the proposed operations. See, e.g., FCC and NTIA Coordination Procedures in the 1710-1755 MHz Band, Public Notice, FCC 06-50, WTB Docket No. 02-353, rel. April 20, 2006.

Conditions:

Pursuant to §309(h) of the Communications Act of 1934, as amended, 47 U.S.C. §309(h), this license is subject to the following conditions: This license shall not vest in the licensee any right to operate the station nor any right in the use of the frequencies designated in the license beyond the term thereof nor in any other manner than authorized herein. Neither the license nor the right granted thereunder shall be assigned or otherwise transferred in violation of the Communications Act of 1934, as amended. See 47 U.S.C. § 310(d). This license is subject in terms to the right of use or control conferred by §706 of the Communications Act of 1934, as amended. See 47 U.S.C. §606.

This license may not authorize operation throughout the entire geographic area or spectrum identified on the hardcopy version. To view the specific geographic area and spectrum authorized by this license, refer to the Spectrum and Market Area information under the Market Tab of the license record in the Universal Licensing System (ULS). To view the license record, go to the ULS homepage at <http://wireless.fcc.gov/uls/index.htm?job=home> and select "License Search". Follow the instructions on how to search for license information.

Licensee Name: NEW CINGULAR WIRELESS PCS, LLC

Call Sign: WQGA818

File Number:

Print Date:

700 MHz Relicensed Area Information:

Market	Market Name	Buildout Deadline	Buildout Notification	Status
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RECEIVED
FBI
COMMUNICATIONS SECTION
OCT 10 2017

REFERENCE COPY

This is not an official FCC license. It is a record of public information contained in the FCC's licensing database on the date that this reference copy was generated. In cases where FCC rules require the presentation, posting, or display of an FCC license, this document may not be used in place of an official FCC license.



**Federal Communications Commission
Wireless Telecommunications Bureau**

RADIO STATION AUTHORIZATION

LICENSEE: NEW CINGULAR WIRELESS PCS, LLC

ATTN: CECIL J MATHIEW
NEW CINGULAR WIRELESS PCS, LLC
208 S AKARD ST., RM 1015
DALLAS, TX 75202

Call Sign WQGD755	File Number
Radio Service AW - AWS (1710-1755 MHz and 2110-2155 MHz)	

FCC Registration Number (FRN): 0003291192

Grant Date 12-18-2006	Effective Date 08-31-2018	Expiration Date 12-18-2021	Print Date
Market Number BEA047	Channel Block C	Sub-Market Designator 9	
Market Name Lexington, KY-TN-VA-WV			
1st Build-out Date	2nd Build-out Date	3rd Build-out Date	4th Build-out Date

Waivers/Conditions:

This authorization is conditioned upon the licensee, prior to initiating operations from any base or fixed station, making reasonable efforts to coordinate frequency usage with known co-channel and adjacent channel incumbent federal users operating in the 1710-1755 MHz band whose facilities could be affected by the proposed operations. See, e.g., FCC and NTIA Coordination Procedures in the 1710-1755 MHz Band, Public Notice, FCC 06-50, WTB Docket No. 02-353, rel. April 20, 2006.

Grant of the request to update licensee name is conditioned on it not reflecting an assignment or transfer of control (see Rule 1.948); if an assignment or transfer occurred without proper notification or FCC approval, the grant is void and the station is licensed under the prior name.

Conditions:

Pursuant to §309(h) of the Communications Act of 1934, as amended, 47 U.S.C. §309(h), this license is subject to the following conditions: This license shall not vest in the licensee any right to operate the station nor any right in the use of the frequencies designated in the license beyond the term thereof nor in any other manner than authorized herein. Neither the license nor the right granted thereunder shall be assigned or otherwise transferred in violation of the Communications Act of 1934, as amended. See 47 U.S.C. § 310(d). This license is subject in terms to the right of use or control conferred by §706 of the Communications Act of 1934, as amended. See 47 U.S.C. §606.

This license may not authorize operation throughout the entire geographic area or spectrum identified on the hardcopy version. To view the specific geographic area and spectrum authorized by this license, refer to the Spectrum and Market Area information under the Market Tab of the license record in the Universal Licensing System (ULS). To view the license record, go to the ULS homepage at <http://wireless.fcc.gov/uls/index.htm?job=home> and select "License Search". Follow the instructions on how to search for license information.

Licensee Name: NEW CINGULAR WIRELESS PCS, LLC

Call Sign: WQGD755

File Number:

Print Date:

700 MHz Relicensed Area Information:

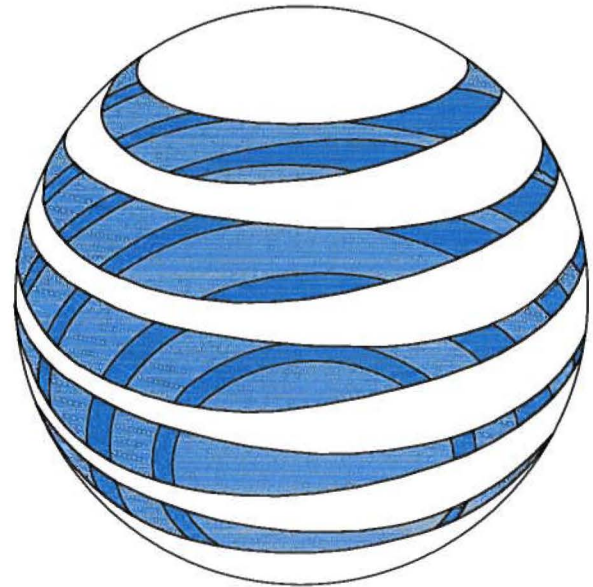
Market	Market Name	Buildout Deadline	Buildout Notification	Status
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Reference Copy

EXHIBIT B

SITE DEVELOPMENT PLAN:

**500' VICINITY MAP
LEGAL DESCRIPTIONS
FLOOD PLAIN CERTIFICATION
SITE PLAN
VERTICAL TOWER PROFILE**



at&t

SITE NAME:
BREEDING FN

FA NUMBER:
14365226

NEW RAW LAND SITE WITH 235' SELF-SUPPORT TOWER W/ 5' LIGHTNING ARRESTOR AND INSTALLATION OF A VERTIV 80" X 80" WALK-IN CABINET & GENERAC 20KW DIESEL GENERATOR ON A 10'-0" X 17'-0" CONCRETE PAD

SHEET INDEX	
T-1	TITLE SHEET & PROJECT INFORMATION
SURVEY:	
B-1	SITE SURVEY
B-1.1	SITE SURVEY
B-1.2	SITE SURVEY
B-2	500' RADIUS AND ABUTTERS MAP
CIVIL:	
C-1	OVERALL SITE LAYOUT
C-2	OVERALL SITE LAYOUT -CONT'D
C-3	ENLARGED COMPOUND LAYOUT
C-4	TOWER ELEVATION

CONTACT INFORMATION	
FIRE DEPARTMENT BREEDING AREA VOLUNTEER FIRE DEPARTMENT PHONE: (270) 378-5700	
POLICE DEPARTMENT EDMONTON POLICE DEPARTMENT PHONE: (270) 432-3271	
ELECTRIC COMPANY TAYLOR COUNTY R.E.C.C. PHONE: (800) 931-4551	
TELEPHONE COMPANY AT&T PHONE: (800) 288-2020	

PREPARED BY:

11490 BLUEGRASS PARKWAY
LOUISVILLE, KY 40299
502-437-5252

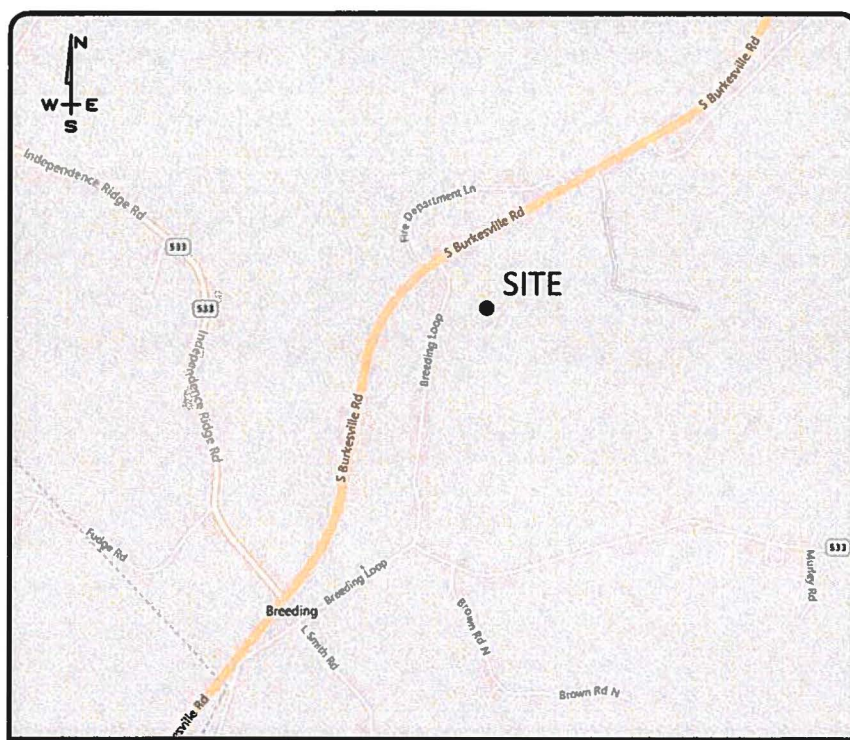
PREPARED FOR:

PREPARED FOR:

10/8/19
EN PERMIT: 3594

ZONING DRAWINGS

REV	DATE	DESCRIPTION
A	9.30.19	ISSUED FOR REVIEW
0	10.8.19	ISSUED AS FINAL



VICINITY MAP SCALE: NONE

DRIVE DIRECTIONS	
FROM ADAIR COUNTY CLERK, 424 PUBLIC SQUARE, SUITE 3, COLUMBIA, KY 42728:	
HEAD NORTHWEST TOWARD CAMPBELLSVILLE ST	240 FT
EXIT THE TRAFFIC CIRCLE ONTO BURKESVILLE ST	8.4 MI
CONTINUE ONTO KY-61	3.9 MI
TURN LEFT ONTO BREEDING LOOP RD/OLD HWY 61	0.2 MI
ARRIVE AT SITE ACCESS ROAD, ON THE LEFT	

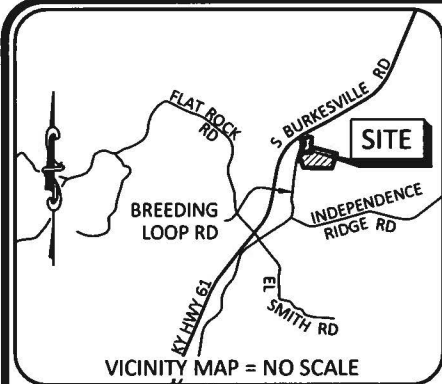
PROJECT INFORMATION	
COUNTY:	ADAIR
SITE ADDRESS:	527 BREEDING LOOP BREEDING, KY 42715
APPLICANT:	NEW CINGULAR WIRELESS PCS, LLC, A DELAWARE LIMITED LIABILITY COMPANY, D/B/A AT&T MOBILITY MEIDINGER TOWER 462 S. 4TH STREET, SUITE 2400 LOUISVILLE, KY 40202
LATITUDE:	36° 57' 56.09"
LONGITUDE:	-85° 25' 52.54"

BUILDING CODES AND STANDARDS	
CONTRACTOR'S WORK SHALL COMPLY WITH ALL APPLICABLE NATIONAL, STATE AND LOCAL CODES AS ADOPTED BY THE LOCAL AUTHORITY HAVING JURISDICTION FOR THE LOCATION.	
<ul style="list-style-type: none"> CONTRACTOR'S WORK SHALL COMPLY WITH THE LATEST EDITION OF THE FOLLOWING STANDARDS: AMERICAN CONCRETE INSTITUTE 318 AMERICAN INSTITUTE OF STEEL CONSTRUCTION MANUAL OF STEEL CONSTRUCTION TELECOMMUNICATIONS INDUSTRY ASSOCIATION TIA-222 STRUCTURAL STANDARDS FOR STEEL ANTENNA TOWER AND SUPPORTING STRUCTURES TIA-601 COMMERCIAL BUILDING GROUNDING AND BONDING REQUIREMENTS FOR TELECOMMUNICATIONS INSTITUTE FOR ELECTRICAL AND ELECTRONICS ENGINEERS IEEE-81, IEEE 1100, IEEE C62.41 ANSI T1.311, FOR TELECOM - DC POWER SYSTEMS - TELECOM, ENVIRONMENTAL PROTECTION 2018 KBC 2014 NEC 	
FOR ANY CONFLICTS BETWEEN SECTIONS OF LISTED CODES AND STANDARDS, THE MOST RESTRICTIVE REQUIREMENT SHALL GOVERN.	

SCOPE OF WORK:	
ZONING DRAWINGS FOR: CONSTRUCTION OF A NEW UNMANNED TELECOMMUNICATIONS FACILITY.	
SITE WORK: NEW TOWER, UNMANNED WALK-IN CABINET WITH GENERATOR ON CONCRETE PAD, AND UTILITY INSTALLATIONS.	

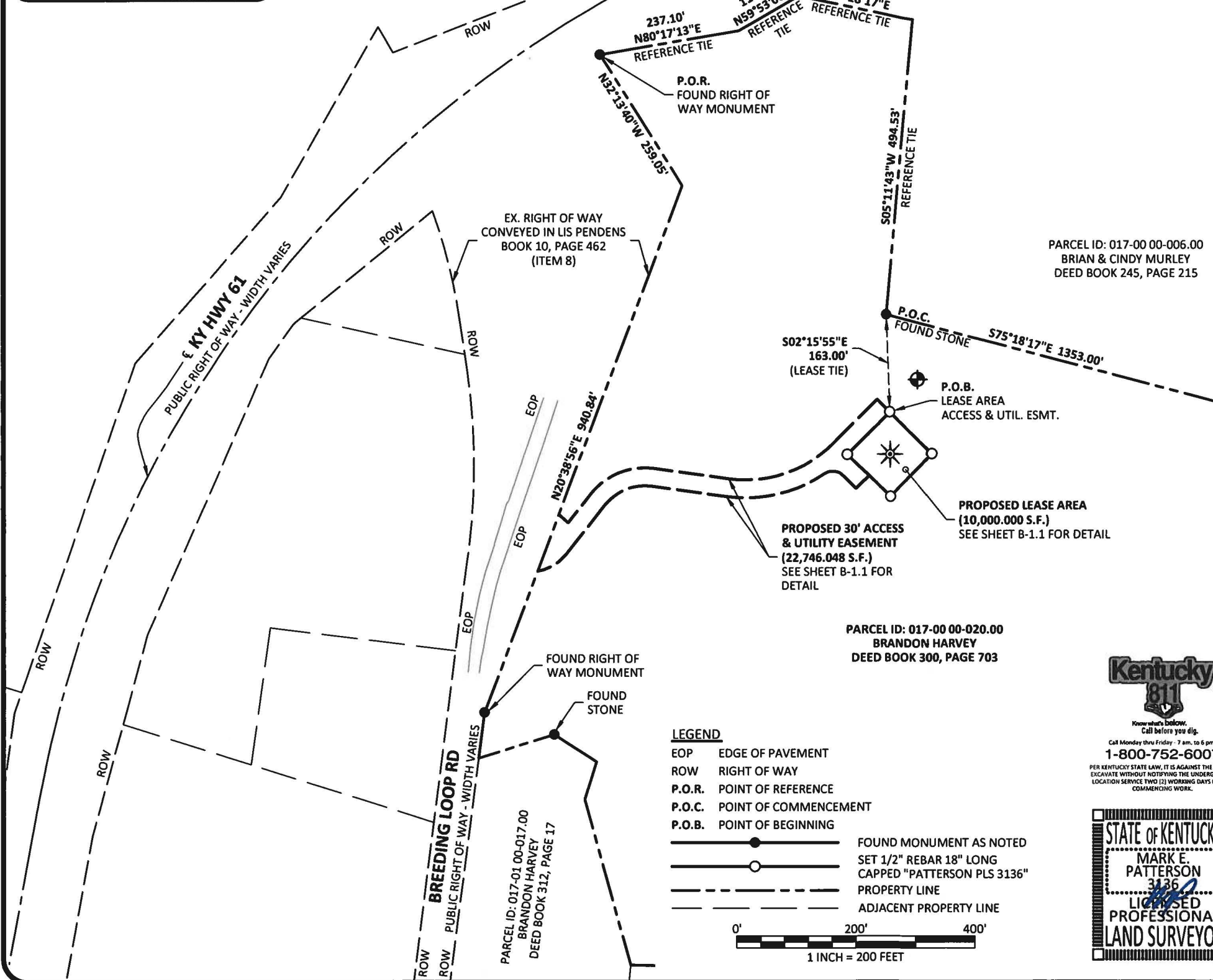
Know what's below.
Call before you dig.
Call Monday thru Friday - 7 am. to 6 pm.
1-800-752-6007
PER KENTUCKY STATE LAW, IT IS AGAINST THE LAW TO EXCAVATE WITHOUT NOTIFYING THE UNDERGROUND LOCATION SERVICE TWO (2) WORKING DAYS BEFORE COMMENCING WORK.

SITE INFORMATION:	
BREEDING FN	
527 BREEDING LOOP BREEDING, KY 42715	
ADAIR COUNTY	
FA NUMBER: 14365226	
POD NUMBER:	18-28289
DRAWN BY:	JER
CHECKED BY:	MEP
DATE:	9.16.19
SHEET TITLE:	
TITLE SHEET & PROJECT INFORMATION	
SHEET NUMBER: T-1	

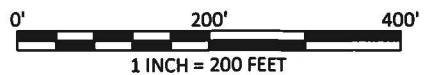


0° 11' 45" TRUENORTH
 GRID NORTH
 N
 BASED ON KENTUCKY STATE PLANE SINGLE ZONE AND DETERMINED BY GPS OBSERVATIONS COMPLETED ON SEPTEMBER 21, 2018

- GLOBAL POSITIONING SYSTEMS NOTE**
1. RANDOM TRAVERSE POINTS AND A PORTION OF THE TOPOGRAPHY WAS LOCATED USING GPS. THE TYPE OF GPS UTILIZED WAS NETWORK ADJUSTED REAL TIME KINEMATIC (KDOT VRS NETWORK), NAD 83 KENTUCKY SINGLE ZONE WITH THE ORTHOMETRIC HEIGHT COMPUTED USING GEOID12A. RELATIVE POSITIONAL ACCURACY VARIED FROM 0.04' TO 0.07' HORIZONTALLY.
 2. SPECTRA PRECISION EPOCH 50 DUAL FREQUENCY RECEIVERS WERE USED TO PERFORM THE SURVEY.



- LEGEND**
- EOP EDGE OF PAVEMENT
 - ROW RIGHT OF WAY
 - P.O.R. POINT OF REFERENCE
 - P.O.C. POINT OF COMMENCEMENT
 - P.O.B. POINT OF BEGINNING
 - FOUND MONUMENT AS NOTED
 - SET 1/2" REBAR 18" LONG CAPPED "PATTERSON PLS 3136"
 - PROPERTY LINE
 - - - ADJACENT PROPERTY LINE



✳ **FAA COORDINATE POINT**
 NAD 83
 LATITUDE: 36°57'56.09"
 LONGITUDE: 85°25'52.54"
 NAVD 88
 ELEVATION: 1079± AMSL
 NORTHING: 3511210.683
 EASTING: 5014376.647

⊕ **TEMPORARY BENCHMARK**
 NORTHING: 3511335.238
 EASTING: 5014423.017
 ELEVATION: 1079.70'
 LOCATION: SET 60D NAIL N41°11'W 71.5± FROM THE NORTHERNMOST CORNER OF THE PROPOSED LEASE AREA

GENERAL NOTES

NO SEARCH OF PUBLIC RECORDS HAS BEEN COMPLETED BY POD GROUP TO DETERMINE ANY DEFECTS AND/OR AMBIGUITIES IN THE TITLE OF THE SUBJECT PROPERTY.

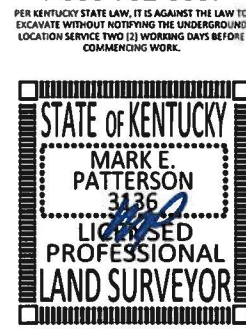
THIS SURVEY IS FOR THE PROPOSED LEASE AREA AND THE PROPOSED ACCESS & UTILITY EASEMENT ONLY, AND NO BOUNDARY SURVEY OF THE PARENT TRACT HAS BEEN PERFORMED.

A PORTION OF THIS SURVEY WAS CONDUCTED BY METHOD OF RANDOM TRAVERSE WITH SIDE SHOTS. UNADJUSTED CLOSURE EQUALS 0.05', FOR A PRECISION OF 1:31,490 AND HAS NOT BEEN ADJUSTED.

THIS PROPERTY IS SUBJECT TO ANY RECORDED EASEMENTS AND/OR RIGHTS OF WAY SHOWN HEREON OR NOT.

THIS PLAT IS NOT INTENDED FOR LAND TRANSFER.

THE PARENT PARCEL, THE PROPOSED LEASE AREA, AND THE PROPOSED ACCESS & UTILITY EASEMENT SHOWN HEREON ARE NOT LOCATED IN A 100-YEAR FLOOD PLAIN, ZONE X, PER FLOOD HAZARD BOUNDARY MAP, COMMUNITY-PANEL NUMBER 21001C0325A, DATED 12/17/2010.



LAND SURVEYOR'S CERTIFICATE

I, MARK E. PATTERSON, HEREBY CERTIFY THAT I AM A LICENSED PROFESSIONAL LAND SURVEYOR LICENSED IN COMPLIANCE WITH THE LAWS OF THE COMMONWEALTH OF KENTUCKY. I FURTHER CERTIFY THAT THIS PLAT AND THE SURVEY ON THE GROUND WERE PERFORMED BY PERSONS UNDER MY DIRECT SUPERVISION, AND THAT THE DIRECTIONAL AND LINEAR MEASUREMENTS BEING WITNESSED BY MONUMENTS SHOWN HEREON ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. THE "RURAL" SURVEY, AND THE PLAT ON WHICH IT IS BASED, MEETS ALL SPECIFICATIONS AS STATED IN KAR 201 18:150.

Mark Patterson
 MARK PATTERSON, PLS #3136
 10/8/2019
 DATE

PREPARED BY:
POD
 POWER OF DESIGN
 11490 BLUEGRASS PARKWAY
 LOUISVILLE, KY 40299
 502-437-5252

PREPARED FOR:
MasTec

PREPARED FOR:
at&t

SURVEY

REV.	DATE	DESCRIPTION
A	9.25.18	PRELIMINARY ISSUE
0	3.11.19	ISSUED AS FINAL

SITE INFORMATION:
BREEDING LN
 527 BREEDING LOOP
 BREEDING, KY 42715
 ADAIR COUNTY

TAX PARCEL NUMBER:
 017-00 00-020.00

PROPERTY OWNER:
 BRANDON HARVEY
 245 BREEDING LOOP
 BREEDING, KY 42715

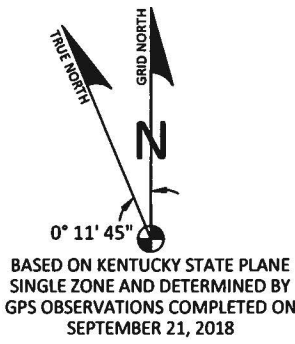
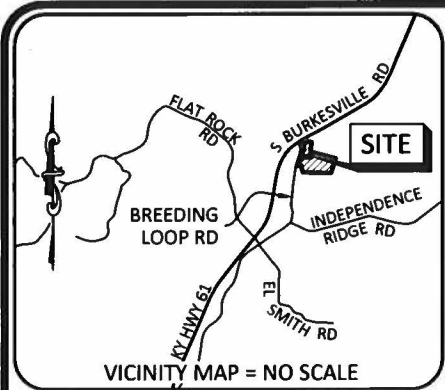
SOURCE OF TITLE:
 DB 300, PG 703

SITE NUMBER:
 BREEDING

POD NUMBER: 18-28291
 DRAWN BY: CPM
 CHECKED BY: MEP
 SURVEY DATE: 9.21.18
 PLAT DATE: 9.25.18

SHEET TITLE:
SITE SURVEY
 THIS DOES NOT REPRESENT A BOUNDARY SURVEY OF THE PARENT PARCEL

SHEET NUMBER: (3 pages)
B-1



GLOBAL POSITIONING SYSTEMS NOTE

1. RANDOM TRAVERSE POINTS AND A PORTION OF THE TOPOGRAPHY WAS LOCATED USING GPS.
2. THE TYPE OF GPS UTILIZED WAS NETWORK ADJUSTED REAL TIME KINEMATIC (KDOT VRS NETWORK), NAD 83 KENTUCKY SINGLE ZONE WITH THE ORTHOMETRIC HEIGHT COMPUTED USING GEOID12A. RELATIVE POSITIONAL ACCURACY VARIED FROM 0.04' TO 0.07' HORIZONTALLY.
3. SPECTRA PRECISION EPOCH 50 DUAL FREQUENCY RECEIVERS WERE USED TO PERFORM THE SURVEY.

CURVE	CHORD BEARING	CHORD LENGTH	RADIUS
C1	N84°37'00"W	31.48'	25.00'
C2	S59°12'28"W	57.07'	80.00'

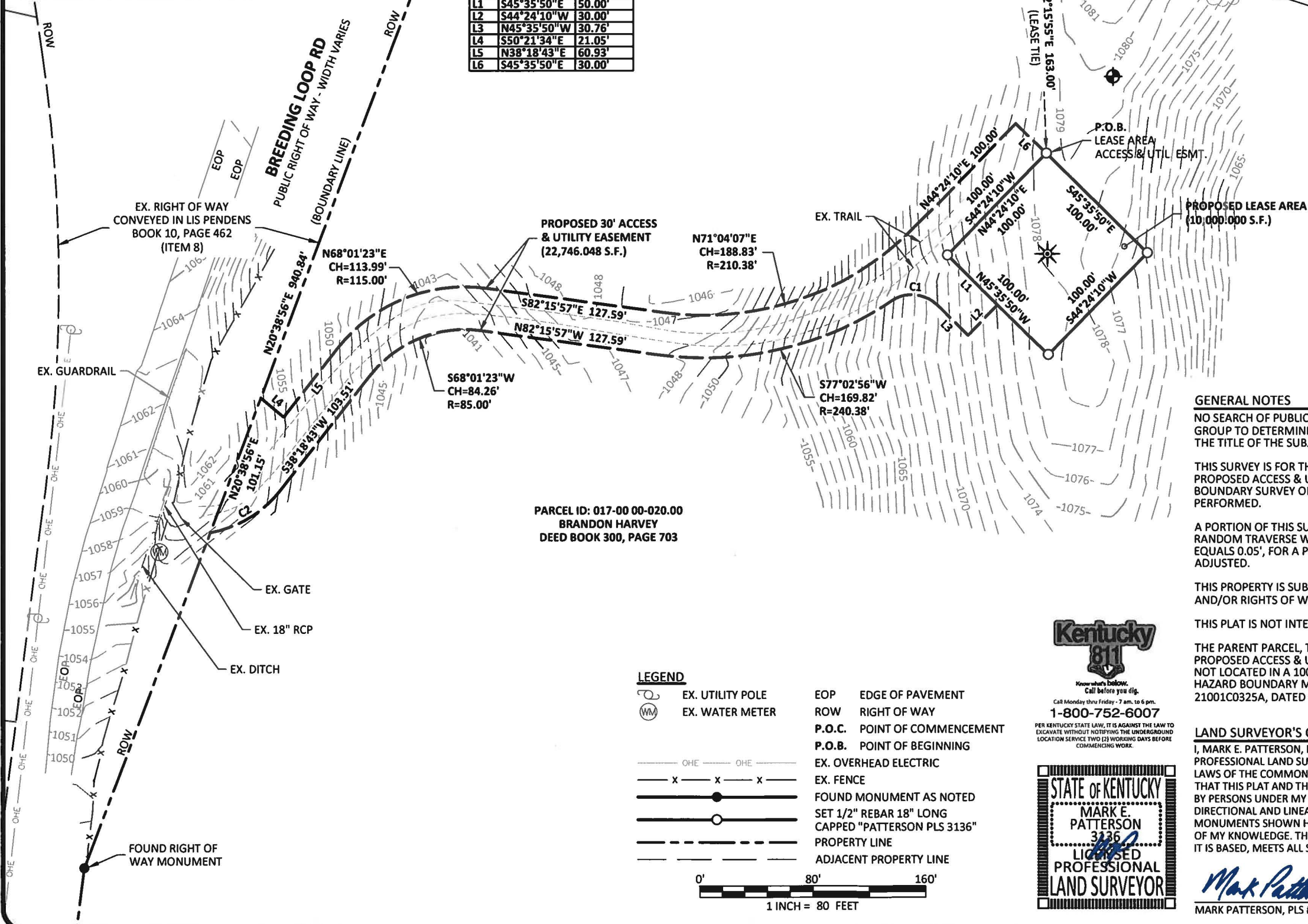
LINE	BEARING	DISTANCE
L1	S45°35'50"E	50.00'
L2	S44°24'10"W	30.00'
L3	N45°35'50"W	30.76'
L4	S50°21'34"E	21.05'
L5	N38°18'43"E	60.93'
L6	S45°35'50"E	30.00'

PARCEL ID: 017-00 00-006.00
BRIAN & CINDY MURLEY
DEED BOOK 245, PAGE 215

PREPARED BY:
POD
POWER OF DESIGN
11490 BLUEGRASS PARKWAY
LOUISVILLE, KY 40299
502-437-5252

PREPARED FOR:
MasTec

PREPARED FOR:
at&t



- ★ **FAA COORDINATE POINT**
NAD 83
LATITUDE: 36°57'56.09"
LONGITUDE: 85°25'52.54"
NAVD 88
ELEVATION: 1079± AMSL
NORTHING: 3511210.683
EASTING: 5014376.647
- ◆ **TEMPORARY BENCHMARK**
NORTHING: 3511335.238
EASTING: 5014423.017
ELEVATION: 1079.70'
LOCATION: SET 60D NAIL
N41°11'W 71.5'± FROM THE
NORTHERNMOST CORNER OF
THE PROPOSED LEASE AREA

GENERAL NOTES

NO SEARCH OF PUBLIC RECORDS HAS BEEN COMPLETED BY POD GROUP TO DETERMINE ANY DEFECTS AND/OR AMBIGUITIES IN THE TITLE OF THE SUBJECT PROPERTY.

THIS SURVEY IS FOR THE PROPOSED LEASE AREA AND THE PROPOSED ACCESS & UTILITY EASEMENT ONLY, AND NO BOUNDARY SURVEY OF THE PARENT TRACT HAS BEEN PERFORMED.

A PORTION OF THIS SURVEY WAS CONDUCTED BY METHOD OF RANDOM TRAVERSE WITH SIDE SHOTS. UNADJUSTED CLOSURE EQUALS 0.05', FOR A PRECISION OF 1:31,490 AND HAS NOT BEEN ADJUSTED.

THIS PROPERTY IS SUBJECT TO ANY RECORDED EASEMENTS AND/OR RIGHTS OF WAY SHOWN HEREON OR NOT.

THIS PLAT IS NOT INTENDED FOR LAND TRANSFER.

THE PARENT PARCEL, THE PROPOSED LEASE AREA, AND THE PROPOSED ACCESS & UTILITY EASEMENT SHOWN HEREON ARE NOT LOCATED IN A 100-YEAR FLOOD PLAIN, ZONE X, PER FLOOD HAZARD BOUNDARY MAP, COMMUNITY-PANEL NUMBER 21001C0325A, DATED 12/17/2010.

LEGEND

	EX. UTILITY POLE		EOP EDGE OF PAVEMENT
	EX. WATER METER		ROW RIGHT OF WAY
	P.O.C. POINT OF COMMENCEMENT		P.O.B. POINT OF BEGINNING
	EX. OVERHEAD ELECTRIC		EX. FENCE
	FOUND MONUMENT AS NOTED		SET 1/2" REBAR 18" LONG CAPPED "PATTERSON PLS 3136"
	PROPERTY LINE		ADJACENT PROPERTY LINE

Kentucky 811
Know what's below. Call before you dig.
Call Monday thru Friday - 7 am. to 6 pm.
1-800-752-6007

PER KENTUCKY STATE LAW, IT IS AGAINST THE LAW TO EXCAVATE WITHOUT NOTIFYING THE UNDERGROUND LOCATION SERVICE TWID (2) WORKING DAYS BEFORE COMMENCING WORK.

STATE OF KENTUCKY
MARK E. PATTERSON
3136
LICENSED PROFESSIONAL LAND SURVEYOR

LAND SURVEYOR'S CERTIFICATE

I, MARK E. PATTERSON, HEREBY CERTIFY THAT I AM A LICENSED PROFESSIONAL LAND SURVEYOR LICENSED IN COMPLIANCE WITH THE LAWS OF THE COMMONWEALTH OF KENTUCKY. I FURTHER CERTIFY THAT THIS PLAT AND THE SURVEY ON THE GROUND WERE PERFORMED BY PERSONS UNDER MY DIRECT SUPERVISION, AND THAT THE DIRECTIONAL AND LINEAR MEASUREMENTS BEING WITNESSED BY MONUMENTS SHOWN HEREON ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. THE "RURAL" SURVEY, AND THE PLAT ON WHICH IT IS BASED, MEETS ALL SPECIFICATIONS AS STATED IN KAR 201 18:150.

Mark Patterson
MARK PATTERSON, PLS #3136
10/8/2019
DATE

SURVEY

REV.	DATE	DESCRIPTION
A	9.25.18	PRELIMINARY ISSUE
D	3.11.19	ISSUED AS FINAL

SITE INFORMATION:
BREEDING FN
527 BREEDING LOOP
BREEDING, KY 42715
ADAIR COUNTY

TAX PARCEL NUMBER:
017-00 00-020.00

PROPERTY OWNER:
BRANDON HARVEY
245 BREEDING LOOP
BREEDING, KY 42715

SOURCE OF TITLE:
DB 300, PG 703

SITE NUMBER:
BREEDING

POD NUMBER: 18-28291
DRAWN BY: CPM
CHECKED BY: MEP
SURVEY DATE: 9.21.18
PLAT DATE: 9.25.18

SHEET TITLE:
SITE SURVEY
THIS DOES NOT REPRESENT A BOUNDARY SURVEY OF THE PARENT PARCEL

SHEET NUMBER: (3 pages)
B-1.1

LEGAL DESCRIPTIONS

PROPOSED LEASE AREA

THE FOLLOWING IS A DESCRIPTION OF THE PROPOSED 30' ACCESS & UTILITY EASEMENT TO BE GRANTED ON THE PROPERTY CONVEYED TO BRANDON HARVEY AS RECORDED IN DEED BOOK 300, PAGE 703, PARCEL ID: 017-00 00-020.00, IN THE OFFICE OF THE COUNTY CLERK OF ADAIR COUNTY, KENTUCKY, WHICH IS MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEARING DATUM USED HEREIN IS BASED UPON KENTUCKY STATE PLANE COORDINATE SYSTEM, SINGLE ZONE, NAD 83, FROM A REAL TIME KINEMATIC GLOBAL POSITIONING SYSTEM OBSERVATION USING THE KENTUCKY TRANSPORTATION CABINET REAL TIME GPS NETWORK COMPLETED ON SEPTEMBER 21, 2018.

COMMENCING AT A FOUND STONE IN THE NORTH LINE OF PROPERTY CONVEYED TO BRANDON HARVEY AS RECORDED IN DEED BOOK 300, PAGE 703, PARCEL ID: 017-00 00-020.00, SAID STONE FOR REFERENCE BEING N80°17'13"E 237.10', N59°53'06"E 115.61'; S78°18'17"E 195.91'; S05°11'43"W 494.53' FROM A FOUND KYTC RIGHT OF WAY MONUMENT IN THE SOUTH RIGHT OF WAY OF KENTUCKY HIGHWAY 61; THENCE TRAVERSING THE PROPERTY OF SAID HARVEY S02°15'55"E 163.00' TO A SET 1/2" REBAR 18" LONG CAPPED "PATTERSON PLS 3136", HEREAFTER REFERRED TO AS A "SET IPC", IN THE NORTHERNMOST CORNER OF THE PROPOSED LEASE AREA AND BEING THE TRUE POINT OF BEGINNING; THENCE S45°35'50"E 100.00' TO A "SET IPC"; THENCE S44°24'10"W 100.00' TO A "SET IPC"; THENCE N45°35'50"W 100.00' TO A "SET IPC"; THENCE N44°24'10"E 100.00' THE POINT OF BEGINNING CONTAINING 10,000.000 SQUARE FEET AS PER SURVEY BY MARK PATTERSON, PLS #3136 WITH POWER OF DESIGN GROUP, LLC DATED SEPTEMBER 21, 2018.

PROPOSED 30' ACCESS & UTILITY EASEMENT

THE FOLLOWING IS A DESCRIPTION OF THE PROPOSED LEASE AREA TO BE LEASED FROM THE PROPERTY CONVEYED TO BRANDON HARVEY AS RECORDED IN DEED BOOK 300, PAGE 703, PARCEL ID: 017-00 00-020.00, IN THE OFFICE OF THE COUNTY CLERK OF ADAIR COUNTY, KENTUCKY, WHICH IS MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEARING DATUM USED HEREIN IS BASED UPON KENTUCKY STATE PLANE COORDINATE SYSTEM, SINGLE ZONE, NAD 83, FROM A REAL TIME KINEMATIC GLOBAL POSITIONING SYSTEM OBSERVATION USING THE KENTUCKY TRANSPORTATION CABINET REAL TIME GPS NETWORK COMPLETED ON SEPTEMBER 21, 2018.

COMMENCING AT A FOUND STONE IN THE NORTH LINE OF PROPERTY CONVEYED TO BRANDON HARVEY AS RECORDED IN DEED BOOK 300, PAGE 703, PARCEL ID: 017-00 00-020.00, SAID STONE FOR REFERENCE BEING N80°17'13"E 237.10', N59°53'06"E 115.61'; S78°18'17"E 195.91'; S05°11'43"W 494.53' FROM A FOUND KYTC RIGHT OF WAY MONUMENT IN THE SOUTH RIGHT OF WAY OF KENTUCKY HIGHWAY 61; THENCE TRAVERSING THE PROPERTY OF SAID HARVEY S02°15'55"E 163.00' TO A SET 1/2" REBAR 18" LONG CAPPED "PATTERSON PLS 3136", HEREAFTER REFERRED TO AS A "SET IPC", IN THE NORTHERNMOST CORNER OF THE PROPOSED LEASE AREA AND BEING THE TRUE POINT OF BEGINNING; THENCE WITH SAID PROPOSED LEASE AREA S44°24'10"W 100.00' TO A "SET IPC"; THENCE CONTINUING WITH SAID PROPOSED LEASE AREA S45°35'50"E 50.00'; THENCE S44°24'10"W 30.00'; THENCE N45°35'50"W 30.76'; THENCE WITH THE CHORD OF A CURVE TO THE LEFT HAVING A RADIUS OF 25.00', N84°37'00"W 31.48'; THENCE WITH THE CHORD OF A REVERSE CURVE TO THE RIGHT HAVING A RADIUS OF 240.38', S77°02'56"W 169.82'; THENCE N82°15'57"W 127.59'; THENCE WITH THE CHORD OF A CURVE TO THE LEFT HAVING A RADIUS OF 85.00', S68°01'23"W 84.26'; THENCE S38°18'43"W 103.51'; THENCE WITH THE CHORD OF A CURVE TO THE RIGHT HAVING A RADIUS OF 80.00', S59°12'28"W 57.07' TO THE EAST RIGHT OF WAY LINE OF BREEDING LOOP RD AS PER LIS PENDENS BOOK 10, PAGE 462, ALSO BEING THE WEST LINE OF AFOREMENTIONED HARVEY PROPERTY; THENCE WITH SAID RIGHT OF WAY LINE AND WEST LINE OF HARVEY PROPERTY N20°38'56"E 101.15'; THENCE LEAVING SAID RIGHT OF WAY LINE AND WEST LINE OF HARVEY PROPERTY S50°21'34"E 21.05'; THENCE N38°18'43"E 60.93'; THENCE WITH THE CHORD OF A CURVE TO THE RIGHT HAVING A RADIUS OF 115.00', N68°01'23"E 113.99'; THENCE S82°15'57"E 127.59'; THENCE WITH THE CHORD OF A CURVE TO THE LEFT HAVING A RADIUS OF 210.38', N71°04'07"E 188.83'; THENCE N44°24'10"E 100.00'; THENCE S45°35'50"E 30.00' TO THE POINT OF BEGINNING CONTAINING 22,746.048 SQUARE FEET AS PER SURVEY BY MARK PATTERSON, PLS #3136 WITH POWER OF DESIGN GROUP, LLC DATED SEPTEMBER 21, 2018.

LAND SURVEYOR'S CERTIFICATE

I, MARK E. PATTERSON, HEREBY CERTIFY THAT I AM A LICENSED PROFESSIONAL LAND SURVEYOR LICENSED IN COMPLIANCE WITH THE LAWS OF THE COMMONWEALTH OF KENTUCKY. I FURTHER CERTIFY THAT THIS PLAT AND THE SURVEY ON THE GROUND WERE PERFORMED BY PERSONS UNDER MY DIRECT SUPERVISION, AND THAT THE DIRECTIONAL AND LINEAR MEASUREMENTS BEING WITNESSED BY MONUMENTS SHOWN HEREON ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. THE "RURAL" SURVEY, AND THE PLAT ON WHICH IT IS BASED, MEETS ALL SPECIFICATIONS AS STATED IN KAR 201 18:150.

Mark Patterson
MARK PATTERSON, PLS #3136

10/8/2019

DATE



TITLE OF COMMITMENT (PARCEL ID: 017-00 00-020.00)

THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY POD GROUP, LLC. AND AS SUCH WE ARE NOT RESPONSIBLE FOR THE INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, UNRECORDED EASEMENTS, AUGMENTING EASEMENTS, IMPLIED OR PRESCRIPTIVE EASEMENTS, OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE AND THIS SURVEY WAS COMPLETED WITH THE AID OF TITLE WORK PREPARED BY US TITLE SOLUTIONS, FOR THE BENEFIT OF AT&T MOBILITY, FILE NO. 60441-KY1805-5030, FA 14365226, EFFECTIVE DATE OF AUGUST 9, 2018. THE FOLLOWING COMMENTS ARE IN REGARD TO SAID REPORT.

SCHEDULE B

1. TAXES, TAX LIENS, TAX SALES, WATER RATES, SEWER AND ASSESSMENTS SET FORTH IN SCHEDULE HEREIN.

TAX ID: 017-00 00-020.00
LAND ASSESSMENT: \$73,000.00
TOTAL ASSESSED VALUE: \$73,000.00
PERIOD: 2017
PAYMENT STATUS: PAID
TAX AMOUNT: \$189.92
(NOT A LAND SURVEY MATTER, THEREFORE POD GROUP, LLC DID NOT EXAMINE OR ADDRESS THIS ITEM.)

2. MORTGAGES RETURNED HEREIN. (-3-). SEE SEPARATE MORTGAGE SCHEDULE.

3. ANY STATE OF FACTS WHICH AN ACCURATE SURVEY MIGHT SHOW OR SURVEY EXCEPTIONS SET FORTH HEREIN. (POD GROUP, LLC DID NOT PERFORM A BOUNDARY SURVEY OF THE PARENT PARCEL, AND THEREFORE CANNOT ADDRESS THIS ITEM.)

4. RIGHTS OF TENANTS OR PERSON IN POSSESSION. (RIGHTS ARE NOT A LAND SURVEY MATTER, THEREFORE POD GROUP, LLC DID NOT EXAMINE OR ADDRESS THIS ITEM.)

(JUDGMENTS, LIENS AND UCC)

5. (NONE WITHIN PERIOD SEARCHED.)

(COVENANTS/RESTRICTIONS)

6. NONE WITHIN PERIOD SEARCHED

(EASEMENTS AND RIGHTS OF WAY)

7. RIGHT OF WAY EASEMENT BY OTIS REECE AND GLADYS REECE TO ADAIR COUNTY WATER DISTRICT, DATED 7/8/1977 RECORDED 10/24/1977 IN BOOK 163 PAGE 295. NOTES: DISTRIBUTION PIPELINE. (RIGHT OF WAY EASEMENT AS RECORDED IN BOOK 163, PAGE 295 IS VAGUE AND NON-DESCRIPTIVE, AND THEREFORE COULD NOT BE PLOTTED.)

(OTHER FILED DOCUMENTS)

8. LIS PENDENS BETWEEN TONY HARVEY, ET AL AND COMMONWEALTH OF KENTUCKY DEPARTMENT OF HIGHWAYS DATED 12/11/1997 RECORDED 12/12/1997 IN BOOK 10 PAGE 462. NOTES: EXCLUSION OF OFF-CONVEYANCE REFERENCED IN DEED BOOK 300 PAGE 703. (LIS PENDENS AS RECORDED IN BOOK 10, PAGE 462 DESCRIBES PROPERTY CONVEYED FOR USE AS PERMANENT RIGHT OF WAY. SAID LIS PENDENS AFFECTS THE SUBJECT PARCEL AND THE PROPOSED ACCESS & UTILITY EASEMENT, BUT NOT THE PROPOSED LEASE AREA, AND IS SHOWN HEREON.)

MORTGAGE SCHEDULE

1. MORTGAGE FOR KENTUCKY MADE BY BRANDON N. HARVEY TO UNITED STATES OF AMERICA ACTING THROUGH THE FARM SERVICE AGENCY, UNITED STATES DEPARTMENT OF AGRICULTURE IN THE SUM OF \$52,000.00 DATED AS OF 7/16/2008 RECORDED 7/16/2008 IN BOOK 277 PAGE 488. (MORTGAGE AS RECORDED IN BOOK 277, PAGE 488 DOES AFFECT THE SUBJECT PARCEL, THE PROPOSED ACCESS & UTILITY EASEMENT, AND THE PROPOSED LEASE AREA.)
2. MORTGAGE FOR KENTUCKY MADE BY BRANDON NICHOLAS HARVEY AND LAURA ASHLEY HARVEY, HUSBAND AND WIFE TO UNITED STATES OF AMERICA ACTING THROUGH THE FARM SERVICE AGENCY, UNITED STATES DEPARTMENT OF AGRICULTURE IN THE SUM OF \$156,000.00 DATED AS OF 12/21/2017 RECORDED 12/21/2017 IN BOOK 357 PAGE 638. (MORTGAGE AS RECORDED IN BOOK 357, PAGE 638 DOES AFFECT THE SUBJECT PARCEL, THE PROPOSED ACCESS & UTILITY EASEMENT, AND THE PROPOSED LEASE AREA.)
3. MORTGAGE FOR KENTUCKY MADE BY BRANDON NICHOLAS HARVEY AND LAURA ASHLEY HARVEY, HUSBAND AND WIFE TO UNITED STATES OF AMERICA ACTING THROUGH THE FARM SERVICE AGENCY, UNITED STATES DEPARTMENT OF AGRICULTURE IN THE SUM OF \$133,000.00 DATED AS OF 12/21/2017 RECORDED 12/22/2017 IN BOOK 291 PAGE 379. (MORTGAGE AS RECORDED IN BOOK 291, PAGE 379 DOES AFFECT THE SUBJECT PARCEL, THE PROPOSED ACCESS & UTILITY EASEMENT, AND THE PROPOSED LEASE AREA.)



SURVEY

REV.	DATE	DESCRIPTION
A	9.25.18	PRELIMINARY ISSUE
0	3.11.19	ISSUED AS FINAL

SITE INFORMATION:
BREEDING FN
527 BREEDING LOOP
BREEDING, KY 42715
ADAIR COUNTY

TAX PARCEL NUMBER:
017-00 00-020.00

PROPERTY OWNER:
BRANDON HARVEY
245 BREEDING LOOP
BREEDING, KY 42715

SOURCE OF TITLE:
DB 300, PG 703

SITE NUMBER:
BREEDING

POD NUMBER: 18-28291
DRAWN BY: CPM
CHECKED BY: MEP
SURVEY DATE: 9.21.18
PLAT DATE: 9.25.18

SHEET TITLE:
SITE SURVEY
THIS DOES NOT REPRESENT A
BOUNDARY SURVEY OF THE
PARENT PARCEL

SHEET NUMBER: (3 pages)

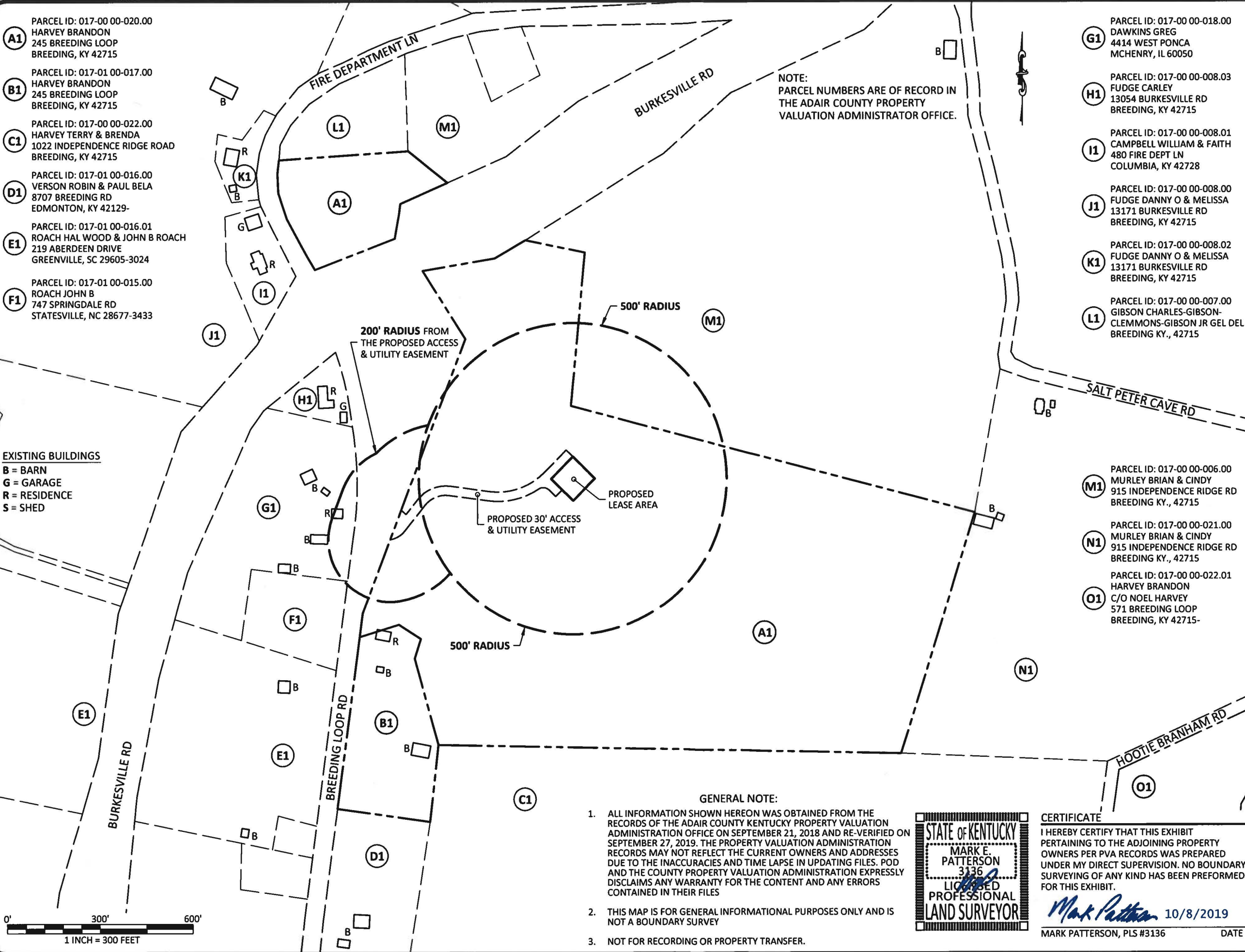
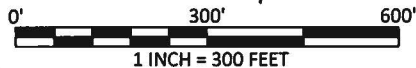
B-1.2

- (A1)** PARCEL ID: 017-00 00-020.00
HARVEY BRANDON
245 BREEDING LOOP
BREEDING, KY 42715
- (B1)** PARCEL ID: 017-01 00-017.00
HARVEY BRANDON
245 BREEDING LOOP
BREEDING, KY 42715
- (C1)** PARCEL ID: 017-00 00-022.00
HARVEY TERRY & BRENDA
1022 INDEPENDENCE RIDGE ROAD
BREEDING, KY 42715
- (D1)** PARCEL ID: 017-01 00-016.00
VERSON ROBIN & PAUL BELA
8707 BREEDING RD
EDMONTON, KY 42129-
- (E1)** PARCEL ID: 017-01 00-016.01
ROACH HAL WOOD & JOHN B ROACH
219 ABERDEEN DRIVE
GREENVILLE, SC 29605-3024
- (F1)** PARCEL ID: 017-01 00-015.00
ROACH JOHN B
747 SPRINGDALE RD
STATESVILLE, NC 28677-3433

- (G1)** PARCEL ID: 017-00 00-018.00
DAWKINS GREG
4414 WEST PONCA
MCHENRY, IL 60050
- (H1)** PARCEL ID: 017-00 00-008.03
FUDGE CARLEY
13054 BURKESVILLE RD
BREEDING, KY 42715
- (I1)** PARCEL ID: 017-00 00-008.01
CAMPBELL WILLIAM & FAITH
480 FIRE DEPT LN
COLUMBIA, KY 42728
- (J1)** PARCEL ID: 017-00 00-008.00
FUDGE DANNY O & MELISSA
13171 BURKESVILLE RD
BREEDING, KY 42715
- (K1)** PARCEL ID: 017-00 00-008.02
FUDGE DANNY O & MELISSA
13171 BURKESVILLE RD
BREEDING, KY 42715
- (L1)** PARCEL ID: 017-00 00-007.00
GIBSON CHARLES-GIBSON-
CLEMMONS-GIBSON JR GEL DEL
BREEDING KY., 42715

- (M1)** PARCEL ID: 017-00 00-006.00
MURLEY BRIAN & CINDY
915 INDEPENDENCE RIDGE RD
BREEDING KY., 42715
- (N1)** PARCEL ID: 017-00 00-021.00
MURLEY BRIAN & CINDY
915 INDEPENDENCE RIDGE RD
BREEDING KY., 42715
- (O1)** PARCEL ID: 017-00 00-022.01
HARVEY BRANDON
C/O NOEL HARVEY
571 BREEDING LOOP
BREEDING, KY 42715-

EXISTING BUILDINGS
B = BARN
G = GARAGE
R = RESIDENCE
S = SHED



NOTE:
 PARCEL NUMBERS ARE OF RECORD IN
 THE ADAIR COUNTY PROPERTY
 VALUATION ADMINISTRATOR OFFICE.

- GENERAL NOTE:**
1. ALL INFORMATION SHOWN HEREON WAS OBTAINED FROM THE RECORDS OF THE ADAIR COUNTY KENTUCKY PROPERTY VALUATION ADMINISTRATION OFFICE ON SEPTEMBER 21, 2018 AND RE-VERIFIED ON SEPTEMBER 27, 2019. THE PROPERTY VALUATION ADMINISTRATION RECORDS MAY NOT REFLECT THE CURRENT OWNERS AND ADDRESSES DUE TO THE INACCURACIES AND TIME LAPSE IN UPDATING FILES. POD AND THE COUNTY PROPERTY VALUATION ADMINISTRATION EXPRESSLY DISCLAIMS ANY WARRANTY FOR THE CONTENT AND ANY ERRORS CONTAINED IN THEIR FILES
 2. THIS MAP IS FOR GENERAL INFORMATIONAL PURPOSES ONLY AND IS NOT A BOUNDARY SURVEY
 3. NOT FOR RECORDING OR PROPERTY TRANSFER.



CERTIFICATE
 I HEREBY CERTIFY THAT THIS EXHIBIT PERTAINING TO THE ADJOINING PROPERTY OWNERS PER PVA RECORDS WAS PREPARED UNDER MY DIRECT SUPERVISION. NO BOUNDARY SURVEYING OF ANY KIND HAS BEEN PERFORMED FOR THIS EXHIBIT.
Mark Patterson 10/8/2019
 MARK PATTERSON, PLS #3136 DATE

PREPARED BY:
POD
 POWER OF DESIGN
 11490 BLUEGRASS PARKWAY
 LOUISVILLE, KY 40299
 502-437-5252

PREPARED FOR:

PREPARED FOR:

EXHIBIT

REV.	DATE	DESCRIPTION
A	9.27.19	ISSUED FOR REVIEW
0	10.8.19	ISSUED AS FINAL

SITE INFORMATION:
BREEDING FN
 527 BREEDING LOOP
 BREEDING, KY 42715
 ADAIR COUNTY

TAX PARCEL NUMBER:
 017-00 00-020.00

PROPERTY OWNER:
 BRANDON HARVEY
 245 BREEDING LOOP
 BREEDING, KY 42715

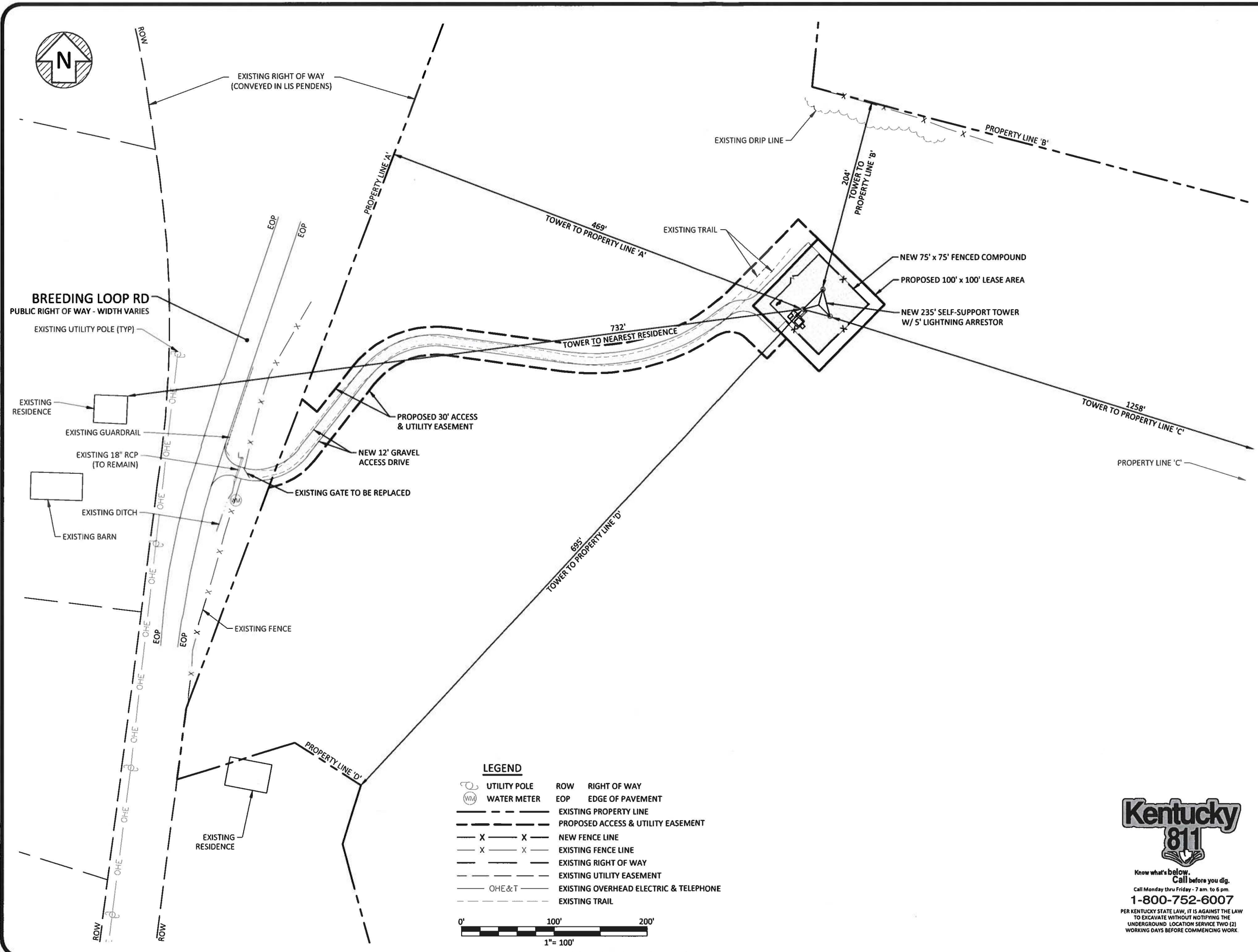
SOURCE OF TITLE:
 DB 300, PG 703

FA NUMBER:
 14365226

POD NUMBER: 18-28292
 DRAWN BY: DAP
 CHECKED BY: MEP
 SURVEY DATE: 9.21.18
 PLAT DATE: 9.27.19

SHEET TITLE:
**500' RADIUS AND
 ABUTTERS MAP**

SHEET NUMBER: (1 pages)
B-2



LEGEND

	UTILITY POLE	ROW	RIGHT OF WAY
	WATER METER	EOP	EDGE OF PAVEMENT
			EXISTING PROPERTY LINE
			PROPOSED ACCESS & UTILITY EASEMENT
			NEW FENCE LINE
			EXISTING FENCE LINE
			EXISTING RIGHT OF WAY
			EXISTING UTILITY EASEMENT
	OHE&T		EXISTING OVERHEAD ELECTRIC & TELEPHONE
			EXISTING TRAIL

0' 100' 200'
1" = 100'

PREPARED BY:

POD
 POWER OF DESIGN
 11490 BLUEGRASS PARKWAY
 LOUISVILLE, KY 40299
 502-437-5252

PREPARED FOR:

MasTec

PREPARED FOR:

at&t

STATE OF KENTUCKY

 MARK E. PATTERSON
 16,300
 PROFESSIONAL ENGINEER
 10/8/2019
 EN PERMIT: 3594

ZONING DRAWINGS

REV	DATE	DESCRIPTION
A	9.30.19	ISSUED FOR REVIEW
0	10.8.19	ISSUED AS FINAL

SITE INFORMATION:
BREEDING FN
 527 BREEDING LOOP
 BREEDING, KY 42715
 ADAIR COUNTY

FA NUMBER:
14365226

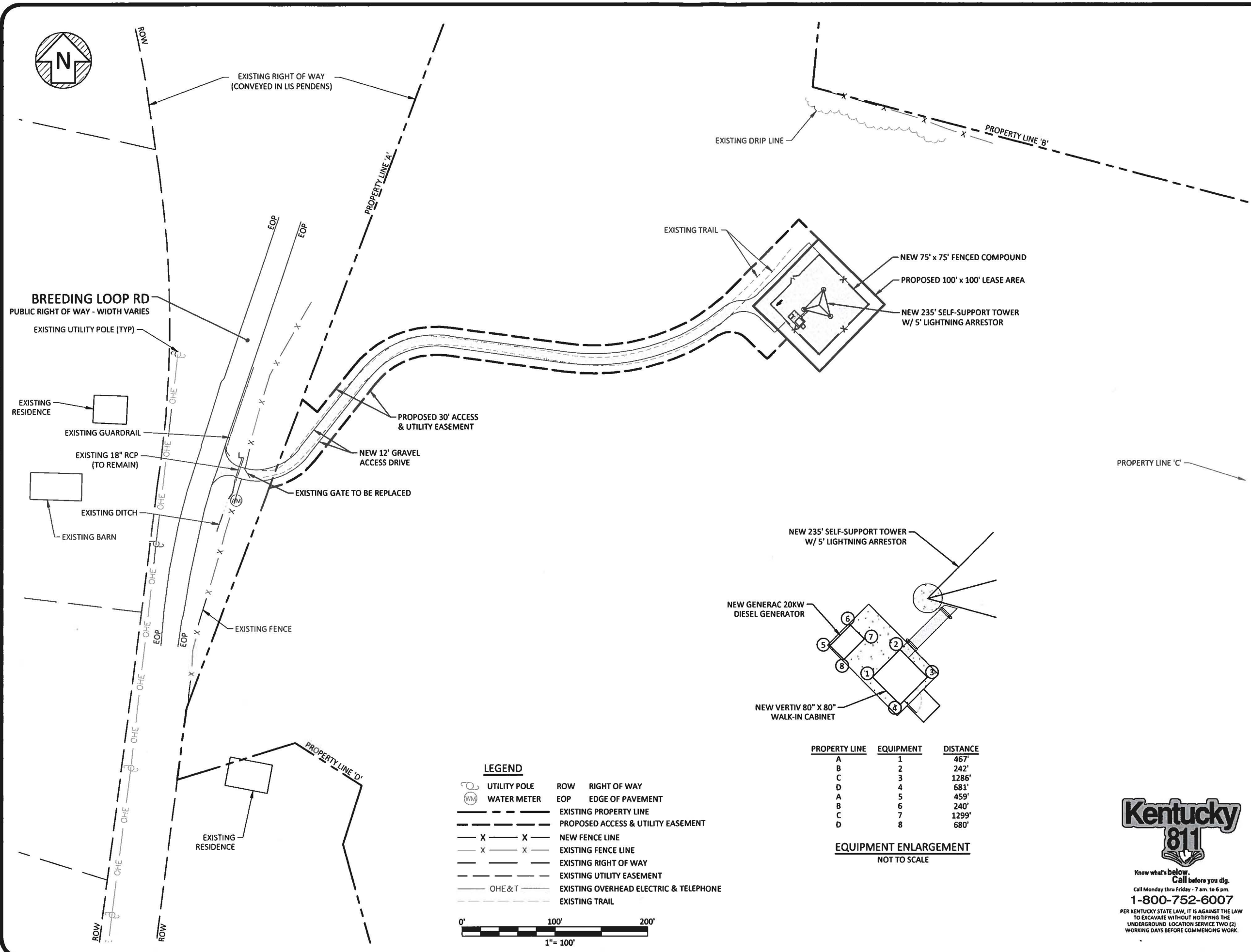
POD NUMBER: 18-28289

DRAWN BY: JER
 CHECKED BY: MEP
 DATE: 9.16.19

SHEET TITLE:
OVERALL SITE LAYOUT

SHEET NUMBER:
C-1

Know what's below. Call before you dig.
 Call Monday thru Friday - 7 am. to 6 pm.
1-800-752-6007
PER KENTUCKY STATE LAW, IT IS AGAINST THE LAW TO EXCAVATE WITHOUT NOTIFYING THE UNDERGROUND LOCATION SERVICE TWO (2) WORKING DAYS BEFORE COMMENCING WORK.



PREPARED BY:
POD
 POWER OF DESIGN
 11490 BLUEGRASS PARKWAY
 LOUISVILLE, KY 40299
 502-437-5252

PREPARED FOR:
MasTec

PREPARED FOR:
at&t

STATE OF KENTUCKY

 MARK E. PATTERSON
 16,300
 PROFESSIONAL ENGINEER

10/8/2019
 EN PERMIT: 3594

ZONING DRAWINGS

REV	DATE	DESCRIPTION
A	9.30.19	ISSUED FOR REVIEW
0	10.8.19	ISSUED AS FINAL

SITE INFORMATION:
BREEDING FN
 527 BREEDING LOOP
 BREEDING, KY 42715
 ADAIR COUNTY

FA NUMBER:
 14365226

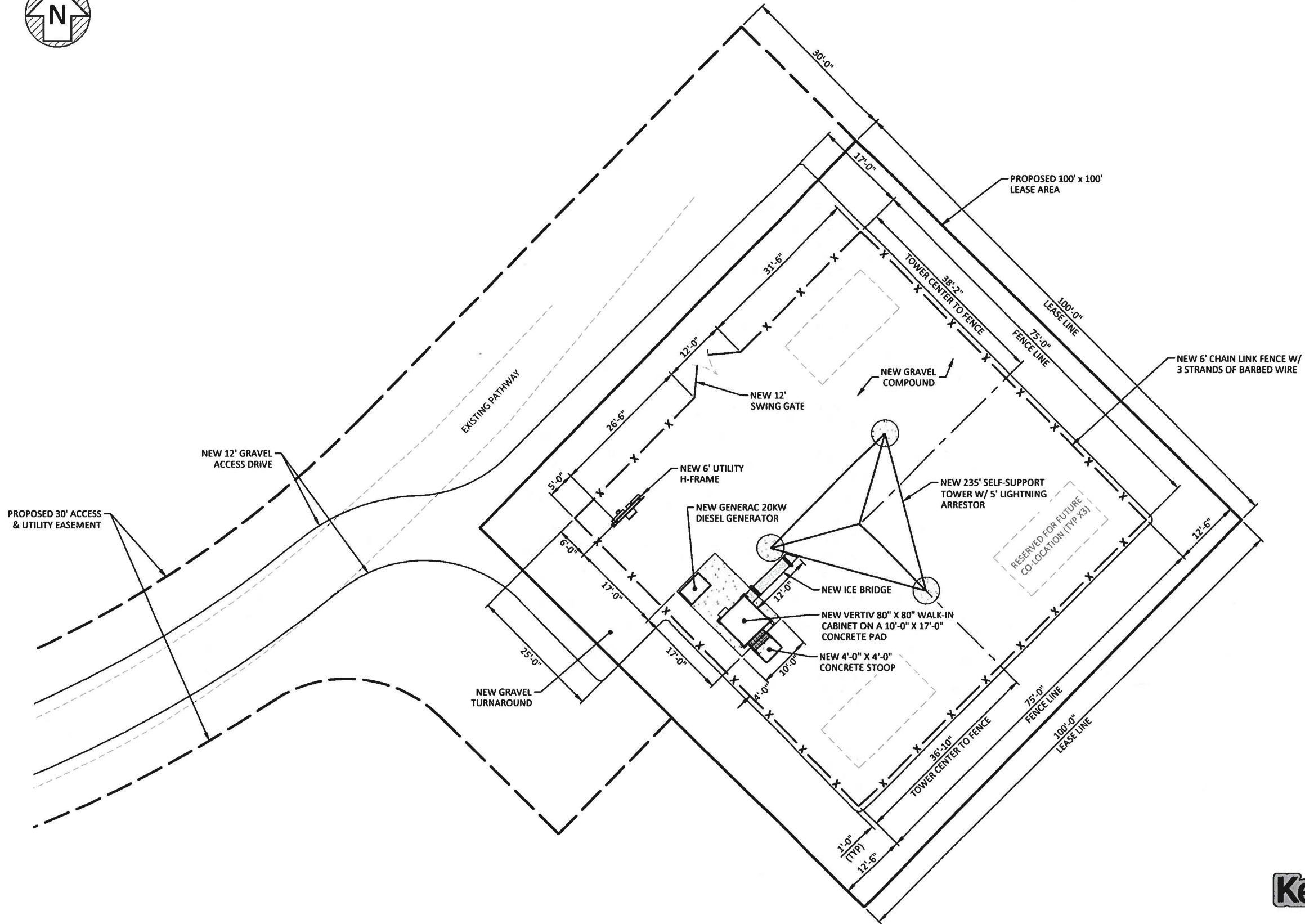
POD NUMBER: 18-28289

DRAWN BY: JER
 CHECKED BY: MEP
 DATE: 9.16.19

SHEET TITLE:
OVERALL SITE LAYOUT -CONT'D

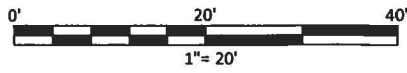
SHEET NUMBER:
C-2

Know what's below. Call before you dig.
 Call Monday thru Friday - 7 am. to 6 pm.
1-800-752-6007
PER KENTUCKY STATE LAW, IT IS AGAINST THE LAW TO EXCAVATE WITHOUT NOTIFYING THE UNDERGROUND LOCATION SERVICE TWO (2) WORKING DAYS BEFORE COMMENCING WORK.



LEGEND

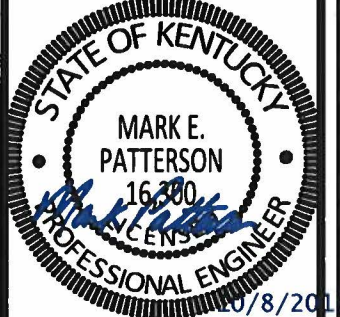
	PROPOSED ACCESS & UTILITY EASEMENT
	NEW FENCE LINE
	EXISTING PATHWAY



PREPARED BY:
POD
 POWER OF DESIGN
 11490 BLUEGRASS PARKWAY
 LOUISVILLE, KY 40299
 502-437-5252

PREPARED FOR:
MasTec

PREPARED FOR:
at&t



EN PERMIT: 3594

ZONING DRAWINGS

REV	DATE	DESCRIPTION
A	9.30.19	ISSUED FOR REVIEW
0	10.8.19	ISSUED AS FINAL

SITE INFORMATION:
BREEDING FN
 527 BREEDING LOOP
 BREEDING, KY 42715
 ADAIR COUNTY
 FA NUMBER:
 14365226

POD NUMBER: 18-28289
 DRAWN BY: JER
 CHECKED BY: MEP
 DATE: 9.16.19

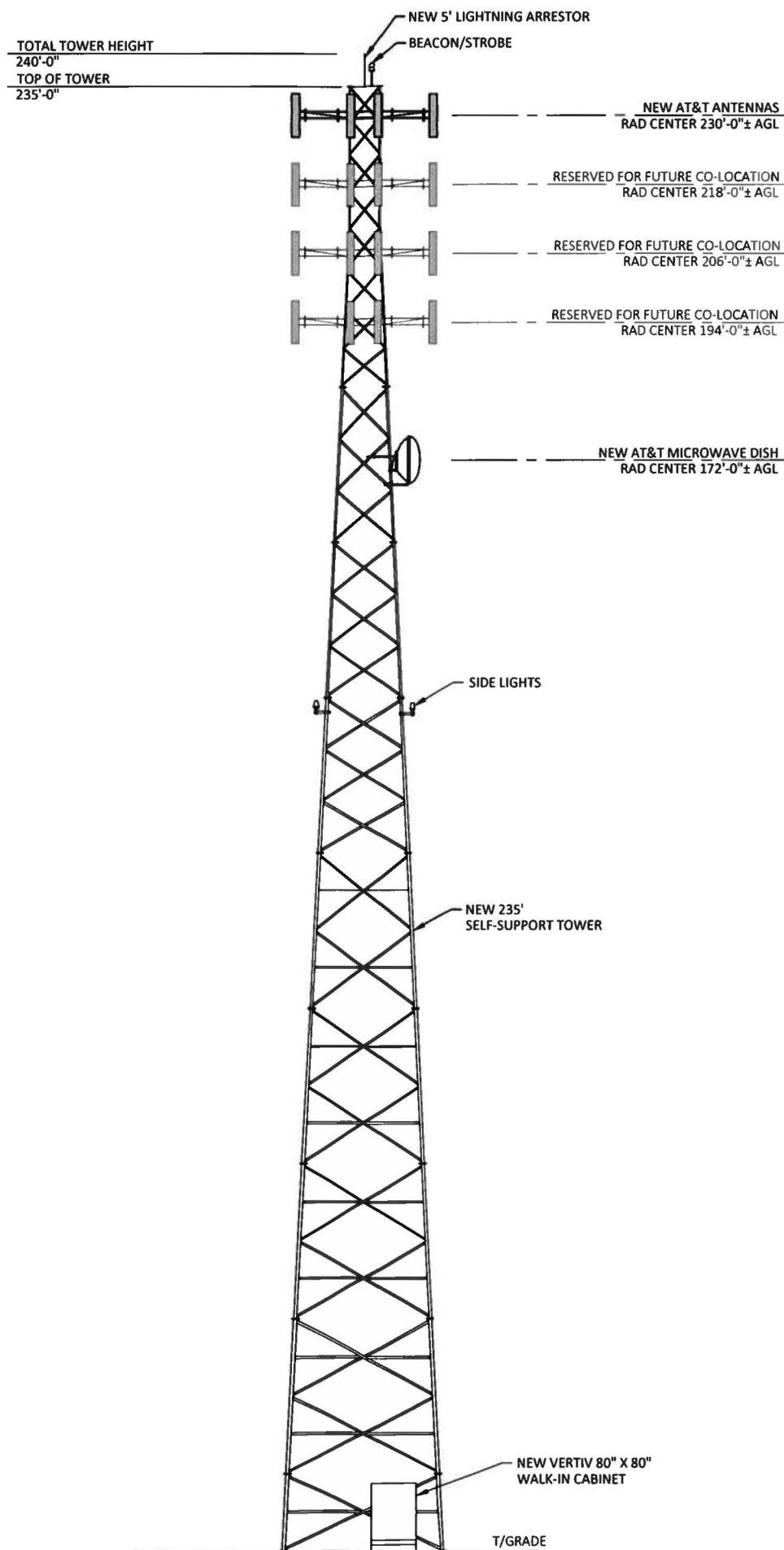
SHEET TITLE:
ENLARGED COMPOUND LAYOUT

SHEET NUMBER:
C-3

Kentucky 811
 Know what's below. Call before you dig.
 Call Monday thru Friday - 7 am. to 6 pm.
1-800-752-6007
PER KENTUCKY STATE LAW, IT IS AGAINST THE LAW TO EXCAVATE WITHOUT NOTIFYING THE UNDERGROUND LOCATION SERVICE TWO (2) WORKING DAYS BEFORE COMMENCING WORK.

TOWER NOTES:

1. THE NEW TOWER, FOUNDATION, ANTENNA MOUNTS, AND ANTENNAS WERE DESIGNED BY OTHERS.
2. THE TOWER ELEVATION SHOWN IS FOR REFERENCE ONLY.
3. SEE TOWER MANUFACTURER'S DRAWINGS FOR TOWER AND FOUNDATION DETAILS & SPECIFICATIONS.
4. MANUFACTURER'S DRAWINGS SUPERCEDE A&E DRAWINGS.

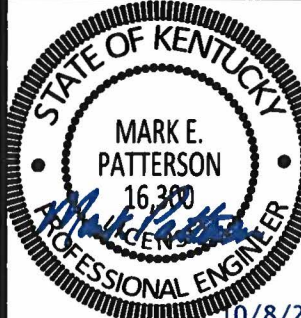


PREPARED BY:

 POWER OF DESIGN
 11490 BLUEGRASS PARKWAY
 LOUISVILLE, KY 40299
 502-437-5252

PREPARED FOR:


PREPARED FOR:

10/8/2019
 EN PERMIT: 3594

ZONING DRAWINGS

REV	DATE	DESCRIPTION
A	9.30.19	ISSUED FOR REVIEW
0	10.8.19	ISSUED AS FINAL

SITE INFORMATION:

BREEDING FN

527 BREEDING LOOP
 BREEDING, KY 42715

ADAIR COUNTY

FA NUMBER:
 14365226

POD NUMBER: 18-28289

DRAWN BY: JER
 CHECKED BY: MEP
 DATE: 9.16.19

SHEET TITLE:

TOWER ELEVATION

SHEET NUMBER:

C-4

EXHIBIT C
TOWER AND FOUNDATION DESIGN



October 21, 2019
Kentucky Public Service Commission
211 Sower Blvd.
P.O. Box 615
Frankfort, KY 40602-0615

RE: Site Name – Breeding FN
Proposed Cell Tower
36 57 56.09 North Latitude, -85 25 52.54 West Longitude

Dear Commissioners:

The Project / Construction Manager for the proposed new communications facility will be Don Murdock. His contact information is (615) 207-8280 or Don.Murdock@mastec.com

Don has been in the industry completing civil construction and constructing towers since 2009. He has worked at MasTec Network Solutions since 2009 completing project and construction management on new site build projects.

Thank you,

A handwritten signature in black ink, appearing to read "Don Murdock".

Don Murdock, Sr. Project Manager – Tennessee/Kentucky Market
MasTec Network Solutions
(615) 207-8280

Structural Design Report
235' S3TL Series HD1 Self-Supporting Tower
Site: Breeding FN, KY

Prepared for: AT&T
by: Sabre Towers & Poles TM

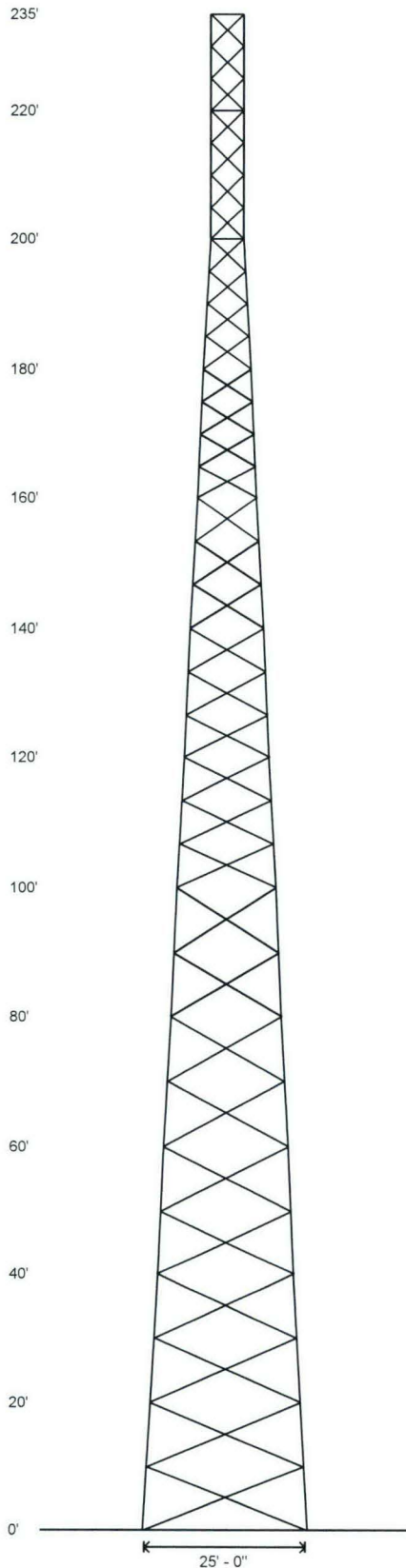
Job Number: 445653

October 18, 2019

Tower Profile.....	1
Foundation Design Summary (Option 1).....	2
Foundation Design Summary (Option 2).....	3
Maximum Leg Loads.....	4
Maximum Diagonal Loads.....	5
Maximum Foundation Loads.....	6
Calculations.....	7-21



Legs	8.625 OD X .500	8.625 OD X .322	5.563 OD X .500	5.563 OD X .375	3.500 OD X .300	A
Diagonals	L 4 X 4 X 1/4	L 3 1/2 X 3 1/2 X 1/4	L 3 X 3 X 3/16	L 2 1/2 X 2 1/2 X 3/16	L 2 X 2 X 1/4	B
Horizontals	(2) 5/8"	(1) 3/4"	NONE	NONE	NONE	B
Brace Bolts	23"	17"	15"	11"	7"	NONE
Top Face Width	21'	19'	10 @ 10'	9 @ 6.6667'	5'	D
Panel Count/Height	5313	4654	4195	2933	2026	C
Section Weight	5013	4518	3211	2769	2095	1447
						15 @ 5'
						565



Designed Appurtenance Loading

Elev	Description	Tx-Line
240	(1) Extendible Lightning Rod	
230	(1) 278 sq. ft. EPA 6000# (no ice)	(18) 1 5/8"
218	(1) 208 sq. ft. EPA 4000# (no ice)	(18) 1 5/8"
206	(1) 208 sq. ft. EPA 4000# (no ice)	(18) 1 5/8"
194	(1) 208 sq. ft. EPA 4000# (no ice)	(18) 1 5/8"

Design Criteria - ANSI/TIA-222-G

ASCE 7-16 Ultimate Wind Speed (No Ice)	105 mph
Wind Speed (Ice)	30 mph
Design Ice Thickness	1.50 in
Structure Class	II
Risk Category	II
Exposure Category	C
Topographic Category	1

Base Reactions

Total Foundation		Individual Footing	
Shear (kips)	69.29	Shear (kips)	43.32
Axial (kips)	209.2	Compression (kips)	510
Moment (ft-kips)	10422	Uplift (kips)	447
Torsion (ft-kips)	-24.38		

Material List

Display	Value
A	2.375 OD X .154
B	L 2 X 2 X 1/8
C	L 2 X 2 X 3/16
D	L 2 X 2 X 1/4

Notes

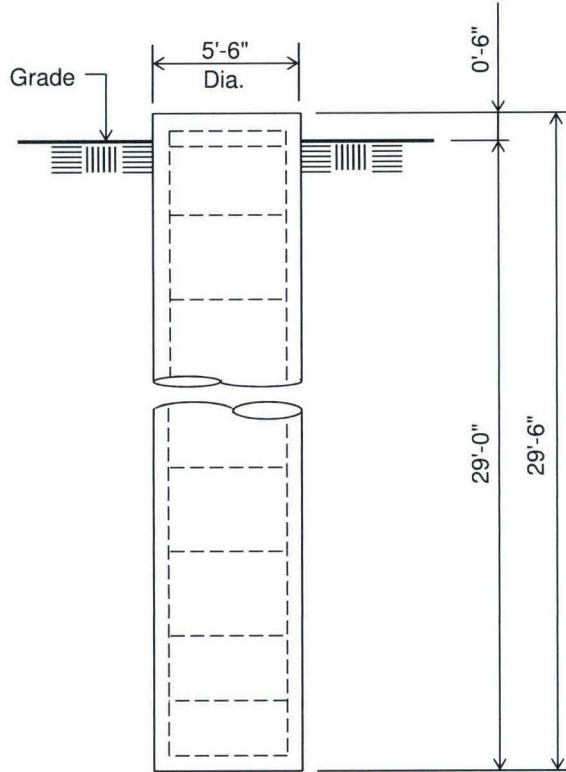
- 1) All legs are A500 (50 ksi Min. Yield).
- 2) All braces are A572 Grade 50.
- 3) All brace bolts are A325-X.
- 4) The tower model is S3TL Series HD1.
- 5) Transmission lines are to be attached to standard 12 hole waveguide ladders with stackable hangers.
- 6) Azimuths are relative (not based on true north).
- 7) Foundation loads shown are maximums.
- 8) All unequal angles are oriented with the short leg vertical.
- 9) Weights shown are estimates. Final weights may vary.
- 10) This tower design and, if applicable, the foundation design(s) shown on the following page(s) also meet or exceed the requirements of the 2018 Kentucky Building Code.
- 11) Tower Rating: 99.21%

	Sabre Communications Corporation 7101 Southbridge Drive P.O. Box 658 Sioux City, IA 51102-0658 Phone: (712) 258-6690 Fax: (712) 279-0814	Job: 445653
	Customer: AT&T Site Name: Breeding FN, KY Description: 235' S3TL Date: 10/18/2019	By: REB

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Customer: AT&T
Site: Breeding FN, KY

235 ft. Model S3TL Series HD1 Self Supporting Tower



Notes:

- 1) Concrete shall have a minimum 28-day compressive strength of 4,500 psi, in accordance with ACI 318-11.
- 2) Rebar to conform to ASTM specification A615 Grade 60.
- 3) All rebar to have a minimum of 3" concrete cover.
- 4) All exposed concrete corners to be chamfered 3/4".
- 5) The foundation design is based on the geotechnical report by POD project no. 18-28287, dated: 10/8/19.
- 6) See the geotechnical report for drilled pier installation requirements, if specified.
- 7) The foundation is based on the following factored loads:
Factored uplift (kips) = 447.00
Factored download (kips) = 510.00
Factored shear (kips) = 43.00
- 8) The bottom anchor bolt template shall be positioned as closely as possible to the bottom of the anchor bolts.

ELEVATION VIEW

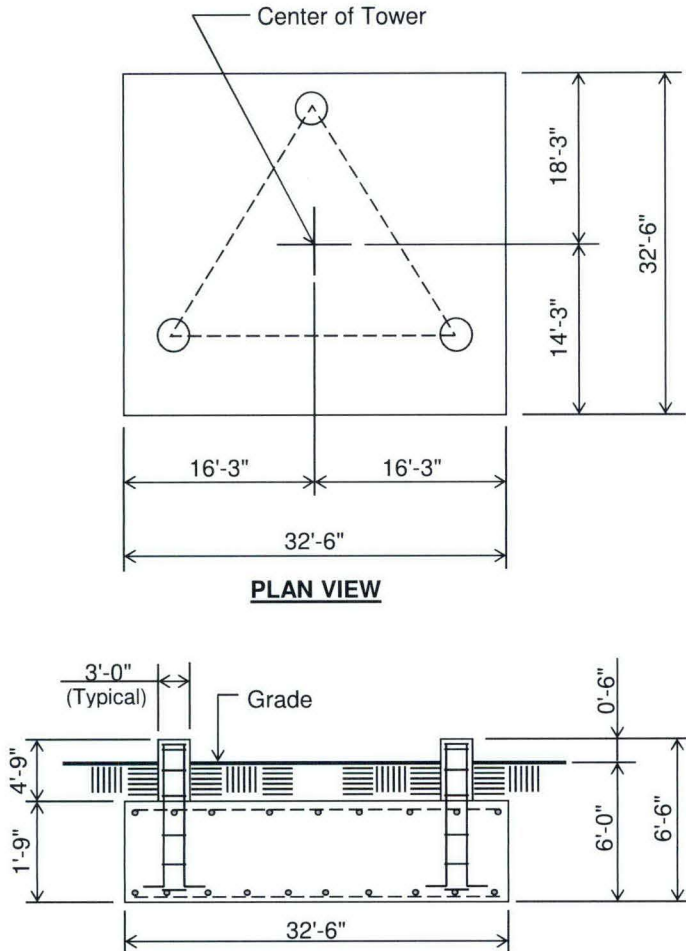
(26.0 cu. yds.)
(3 REQUIRED; NOT TO SCALE)

Rebar Schedule per Pier	
Pier	(16) #10 vertical rebar w/ #4 rebar ties, two (2) within top 5" of pier then 12" C/C
Anchor Bolts per Leg	
	(6) 1.5" dia. x 78" F1554-105 on a 13.25" B.C. w/ 9.5" max. projection above concrete.

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Customer: AT&T
Site: Breeding FN, KY

235 ft. Model S3TL Series HD1 Self Supporting Tower



PLAN VIEW

ELEVATION VIEW

(72.2 cu. yds.)
(1 REQD.; NOT TO SCALE)

CAUTION: Center of tower is not in center of slab.

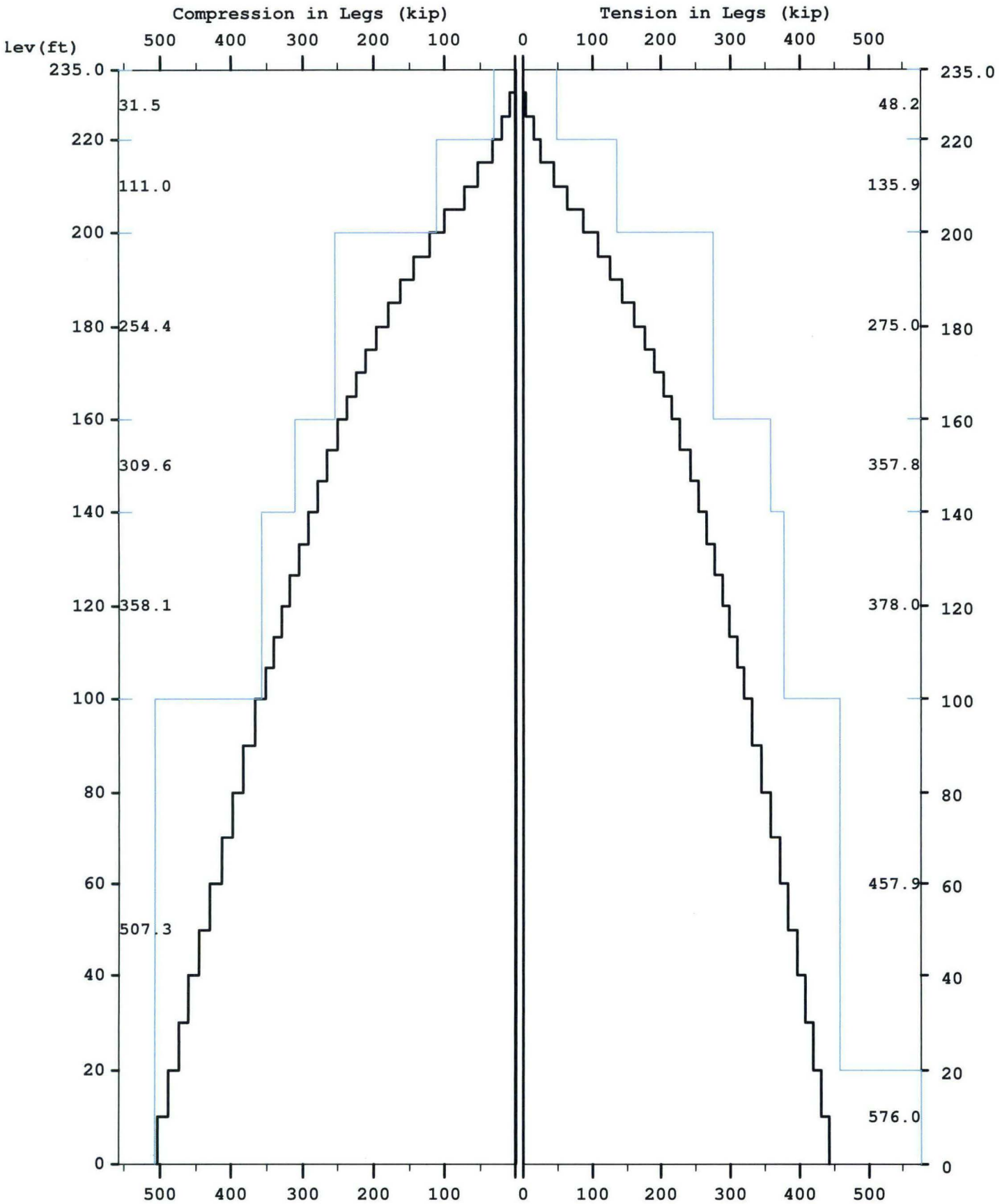
Notes:

- 1) Concrete shall have a minimum 28-day compressive strength of 4,500 psi, in accordance with ACI 318-11.
- 2) Rebar to conform to ASTM specification A615 Grade 60.
- 3) All rebar to have a minimum of 3" concrete cover.
- 4) All exposed concrete corners to be chamfered 3/4".
- 5) The foundation design is based on the geotechnical report by POD project no. 18-28287, dated: 10/8/19.
- 6) See the geotechnical report for compaction requirements, if specified.
- 7) The foundation is based on the following factored loads:
Factored download (kips) = 84.91
Factored overturn (kip-ft) = 10,422.08
Factored shear (kips) = 69.29
- 8) 4.25' of soil cover is required over the entire area of the foundation slab.
- 9) The bottom anchor bolt template shall be positioned as closely as possible to the bottom of the anchor bolts.

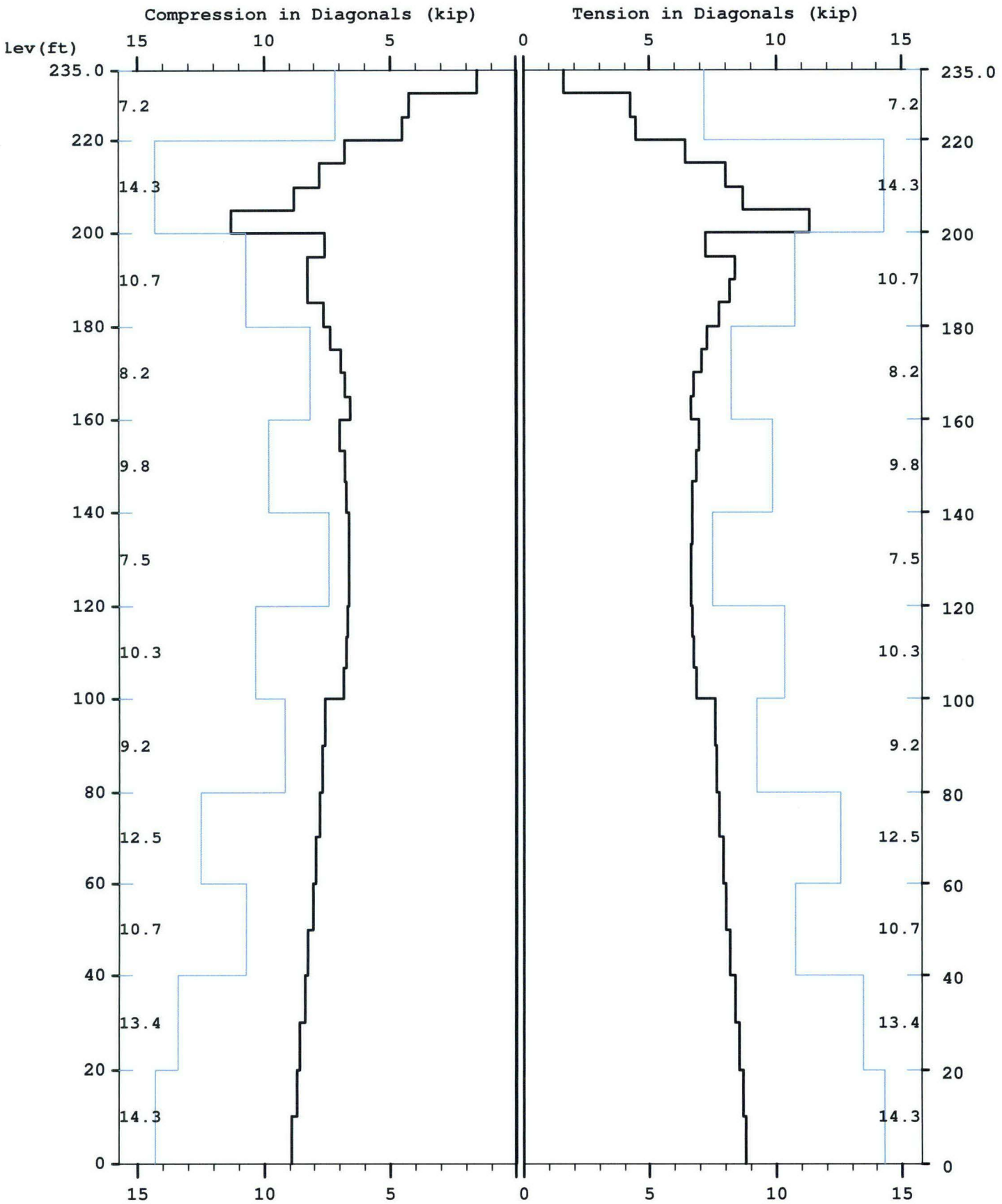
Rebar Schedule per Mat and per Pier	
Pier	(16) #9 vertical rebar w/ hooks at bottom w/ #4 rebar ties, two (2) within top 5" of pier then 12" C/C
Mat	(54) #10 horizontal rebar evenly spaced each way top and bottom. (216 total)
Anchor Bolts per Leg	
(6) 1.5" dia. x 78" F1554-105 on a 13.25" B.C. w/ 9.5" max. projection above concrete.	

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Maximum

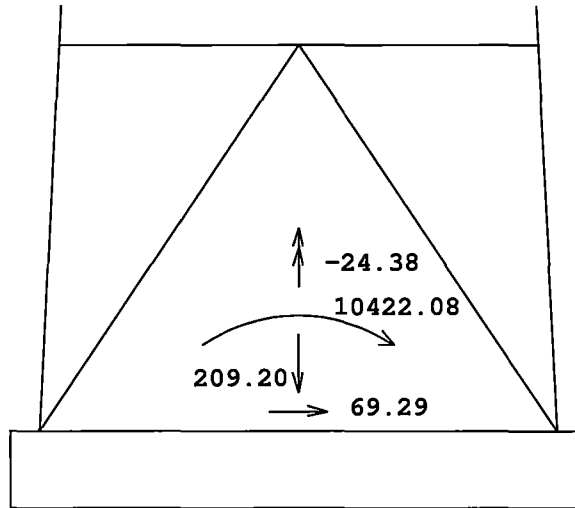


Maximum

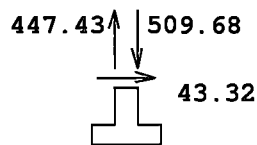
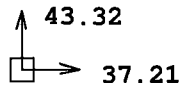


Maximum

TOTAL FOUNDATION LOADS (kip, ft-kip)



INDIVIDUAL FOOTING LOADS (kip)



Latticed Tower Analysis (Unguyed)
Processed under license at:

(c)2015 Guymast Inc. 416-736-7453

Sabre Towers and Poles

on: 18 oct 2019 at: 10:07:36

MAST GEOMETRY (ft)

PANEL TYPE	NO.OF LEGS	ELEV.AT BOTTOM	ELEV.AT TOP	F.W..AT BOTTOM	F.W..AT TOP	TYPICAL PANEL HEIGHT
X	3	230.00	235.00	5.00	5.00	5.00
X	3	220.00	230.00	5.00	5.00	5.00
X	3	215.00	220.00	5.00	5.00	5.00
X	3	200.00	215.00	5.00	5.00	5.00
X	3	195.00	200.00	5.50	5.00	5.00
X	3	180.00	195.00	7.00	5.50	5.00
X	3	160.00	180.00	9.00	7.00	5.00
X	3	140.00	160.00	11.00	9.00	6.67
X	3	120.00	140.00	13.00	11.00	6.67
X	3	100.00	120.00	15.00	13.00	6.67
X	3	80.00	100.00	17.00	15.00	10.00
X	3	60.00	80.00	19.00	17.00	10.00
X	3	40.00	60.00	21.00	19.00	10.00
X	3	20.00	40.00	23.00	21.00	10.00
X	3	0.00	20.00	25.00	23.00	10.00

MEMBER PROPERTIES

MEMBER TYPE	BOTTOM ELEV ft	TOP ELEV ft	X-SECTN AREA in.sq	RADIUS OF GYRAT in	ELASTIC MODULUS ksi	THERMAL EXPANSN /deg
LE	220.00	235.00	1.075	0.787	29000.	0.0000117
LE	200.00	220.00	3.016	0.787	29000.	0.0000117
LE	160.00	200.00	6.111	0.787	29000.	0.0000117
LE	140.00	160.00	7.952	0.787	29000.	0.0000117
LE	100.00	140.00	8.399	0.787	29000.	0.0000117
LE	0.00	100.00	12.763	0.787	29000.	0.0000117
DI	220.00	235.00	0.484	0.626	29000.	0.0000117
DI	200.00	220.00	0.938	0.626	29000.	0.0000117
DI	160.00	200.00	0.715	0.626	29000.	0.0000117
DI	120.00	160.00	0.902	0.626	29000.	0.0000117
DI	100.00	120.00	1.090	0.626	29000.	0.0000117
DI	80.00	100.00	1.438	0.626	29000.	0.0000117
DI	40.00	80.00	1.688	0.626	29000.	0.0000117
DI	0.00	40.00	1.938	0.626	29000.	0.0000117
HO	230.00	235.00	0.484	0.626	29000.	0.0000117
HO	215.00	220.00	0.938	0.626	29000.	0.0000117
HO	195.00	200.00	0.715	0.626	29000.	0.0000117

FACTORED MEMBER RESISTANCES

BOTTOM ELEV ft	TOP ELEV ft	LEGS		DIAGONALS		HORIZONTALS		INT BRACING	
		COMP kip	TENS kip	COMP kip	TENS kip	COMP kip	TENS kip	COMP kip	TENS kip
230.0	235.0	31.48	48.15	7.16	7.16	5.82	5.82	0.00	0.00
220.0	230.0	31.48	48.15	7.16	7.16	0.00	0.00	0.00	0.00
215.0	220.0	110.98	135.90	14.32	14.32	10.95	10.95	0.00	0.00
200.0	215.0	110.98	135.90	14.32	14.32	0.00	0.00	0.00	0.00
195.0	200.0	254.38	274.95	10.74	10.74	8.46	8.46	0.00	0.00
180.0	195.0	254.38	274.95	10.74	10.74	0.00	0.00	0.00	0.00
160.0	180.0	254.38	274.95	8.19	8.19	0.00	0.00	0.00	0.00
140.0	160.0	309.64	357.75	9.84	9.84	0.00	0.00	0.00	0.00
120.0	140.0	358.08	378.00	7.46	7.46	0.00	0.00	0.00	0.00
100.0	120.0	358.08	378.00	10.34	10.34	0.00	0.00	0.00	0.00
80.0	100.0	507.33	457.90	9.19	9.19	0.00	0.00	0.00	0.00
60.0	80.0	507.33	457.90	12.53	12.53	0.00	0.00	0.00	0.00
40.0	60.0	507.33	457.90	10.73	10.73	0.00	0.00	0.00	0.00
20.0	40.0	507.33	457.90	13.43	13.43	0.00	0.00	0.00	0.00

0.0 20.0 507.33 576.00 14.31 14.31 445653 0.00 0.00 0.00

=====
 * only 3 condition(s) shown in full
 * Some wind loads may have been derived from full-scale wind tunnel testing
 =====

LOADING CONDITION A

105 mph Ultimate wind with no ice. wind Azimuth: 0°

MAST LOADING

LOAD TYPE	ELEV ft	APPLY..RADIUS ft	LOAD..AT AZI	LOAD AZIFORCES.....	MOMENTS.....	
					HORIZ kip	DOWN kip	VERTICAL ft-kip	TORSNAL ft-kip
C	240.0	0.00	0.0	0.0	0.23	0.15	0.00	0.00
C	230.0	0.00	0.0	0.0	8.14	7.20	0.00	0.00
C	218.0	0.00	0.0	0.0	6.02	4.80	0.00	0.00
C	206.0	0.00	0.0	0.0	5.95	4.80	0.00	0.00
C	194.0	0.00	0.0	0.0	5.88	4.80	0.00	0.00
D	235.0	0.00	180.0	0.0	0.05	0.04	0.00	0.00
D	230.0	0.00	180.0	0.0	0.05	0.04	0.00	0.00
D	230.0	0.00	42.0	0.0	0.11	0.06	0.06	0.08
D	220.0	0.00	42.0	0.0	0.11	0.06	0.06	0.08
D	220.0	0.00	63.7	0.0	0.13	0.13	0.06	0.09
D	215.0	0.00	63.7	0.0	0.13	0.13	0.06	0.09
D	215.0	0.00	76.5	0.0	0.13	0.13	0.06	0.10
D	205.0	0.00	80.5	0.0	0.14	0.13	0.06	0.09
D	205.0	0.00	102.0	0.0	0.16	0.15	0.05	0.06
D	200.0	0.00	102.0	0.0	0.16	0.15	0.05	0.06
D	200.0	0.00	100.2	0.0	0.17	0.19	0.05	0.06
D	195.0	0.00	100.2	0.0	0.17	0.19	0.05	0.06
D	195.0	0.00	101.7	0.0	0.17	0.20	0.01	0.04
D	180.0	0.00	180.0	0.0	0.18	0.21	0.00	0.04
D	180.0	0.00	180.0	0.0	0.17	0.21	0.00	0.04
D	160.0	0.00	180.0	0.0	0.18	0.22	0.00	0.04
D	160.0	0.00	180.0	0.0	0.18	0.24	0.00	0.04
D	140.0	0.00	180.0	0.0	0.19	0.25	0.00	0.04
D	140.0	0.00	180.0	0.0	0.19	0.25	0.00	0.04
D	120.0	0.00	180.0	0.0	0.19	0.26	0.00	0.04
D	120.0	0.00	180.0	0.0	0.20	0.27	0.00	0.04
D	100.0	0.00	180.0	0.0	0.20	0.27	0.00	0.04
D	100.0	0.00	180.0	0.0	0.18	0.33	0.00	0.04
D	60.0	0.00	180.0	0.0	0.19	0.35	0.00	0.04
D	60.0	0.00	180.0	0.0	0.18	0.35	0.00	0.03
D	20.0	0.00	180.0	0.0	0.18	0.38	0.00	0.03
D	20.0	0.00	180.0	0.0	0.16	0.38	0.00	0.03
D	0.0	0.00	180.0	0.0	0.16	0.39	0.00	0.03

LOADING CONDITION M

105 mph Ultimate wind with no ice. wind Azimuth: 0°

MAST LOADING

LOAD TYPE	ELEV ft	APPLY..RADIUS ft	LOAD..AT AZI	LOAD AZIFORCES.....	MOMENTS.....	
					HORIZ kip	DOWN kip	VERTICAL ft-kip	TORSNAL ft-kip
C	240.0	0.00	0.0	0.0	0.23	0.12	0.00	0.00
C	230.0	0.00	0.0	0.0	8.14	5.40	0.00	0.00
C	218.0	0.00	0.0	0.0	6.02	3.60	0.00	0.00
C	206.0	0.00	0.0	0.0	5.95	3.60	0.00	0.00
C	194.0	0.00	0.0	0.0	5.88	3.60	0.00	0.00
D	235.0	0.00	180.0	0.0	0.05	0.03	0.00	0.00
D	230.0	0.00	180.0	0.0	0.05	0.03	0.00	0.00
D	230.0	0.00	42.0	0.0	0.11	0.04	0.04	0.08

445653

D	220.0	0.00	42.0	0.0	0.11	0.04	0.04	0.08
D	220.0	0.00	65.8	0.0	0.13	0.09	0.04	0.09
D	205.0	0.00	81.3	0.0	0.14	0.10	0.04	0.09
D	205.0	0.00	102.0	0.0	0.16	0.12	0.03	0.06
D	200.0	0.00	102.0	0.0	0.16	0.12	0.03	0.06
D	200.0	0.00	100.2	0.0	0.17	0.15	0.04	0.06
D	195.0	0.00	100.2	0.0	0.17	0.15	0.04	0.06
D	195.0	0.00	101.7	0.0	0.17	0.15	0.00	0.04
D	180.0	0.00	180.0	0.0	0.18	0.16	0.00	0.04
D	180.0	0.00	180.0	0.0	0.17	0.16	0.00	0.04
D	160.0	0.00	180.0	0.0	0.18	0.16	0.00	0.04
D	160.0	0.00	180.0	0.0	0.18	0.18	0.00	0.04
D	140.0	0.00	180.0	0.0	0.19	0.18	0.00	0.04
D	140.0	0.00	180.0	0.0	0.19	0.19	0.00	0.04
D	120.0	0.00	180.0	0.0	0.19	0.19	0.00	0.04
D	120.0	0.00	180.0	0.0	0.20	0.20	0.00	0.04
D	100.0	0.00	180.0	0.0	0.20	0.21	0.00	0.04
D	100.0	0.00	180.0	0.0	0.18	0.25	0.00	0.04
D	60.0	0.00	180.0	0.0	0.19	0.26	0.00	0.04
D	60.0	0.00	180.0	0.0	0.18	0.26	0.00	0.03
D	20.0	0.00	180.0	0.0	0.18	0.28	0.00	0.03
D	20.0	0.00	180.0	0.0	0.16	0.29	0.00	0.03
D	0.0	0.00	180.0	0.0	0.16	0.29	0.00	0.03

LOADING CONDITION Y

30 mph wind with 1.5 ice. Wind Azimuth: 0°

MAST LOADING

LOAD TYPE	ELEV ft	APPLY.. RADIUS ft	LOAD..AT AZI	LOAD AZIFORCES.....	MOMENTS.....	
					HORIZ kip	DOWN kip	VERTICAL ft-kip	TORSNAL ft-kip
C	240.0	0.00	0.0	0.0	0.05	0.30	0.00	0.00
C	230.0	0.00	0.0	0.0	1.21	18.13	0.00	0.00
C	218.0	0.00	0.0	0.0	1.45	12.05	0.00	0.00
C	206.0	0.00	0.0	0.0	1.43	12.01	0.00	0.00
C	194.0	0.00	0.0	0.0	1.41	11.96	0.00	0.00
D	235.0	0.00	180.0	0.0	0.01	0.18	0.00	0.00
D	230.0	0.00	180.0	0.0	0.01	0.18	0.00	0.00
D	230.0	0.00	42.0	0.0	0.01	0.25	0.22	0.01
D	220.0	0.00	42.0	0.0	0.01	0.25	0.22	0.01
D	220.0	0.00	68.7	0.0	0.02	0.39	0.20	0.01
D	215.0	0.00	68.7	0.0	0.02	0.39	0.20	0.01
D	215.0	0.00	85.9	0.0	0.02	0.39	0.22	0.01
D	210.0	0.00	85.9	0.0	0.02	0.39	0.22	0.01
D	210.0	0.00	88.0	0.0	0.02	0.41	0.20	0.01
D	205.0	0.00	88.0	0.0	0.02	0.41	0.20	0.01
D	205.0	0.00	102.0	0.0	0.02	0.48	0.13	0.00
D	200.0	0.00	102.0	0.0	0.02	0.48	0.13	0.00
D	200.0	0.00	100.2	0.0	0.02	0.56	0.14	0.00
D	195.0	0.00	100.2	0.0	0.02	0.56	0.14	0.00
D	195.0	0.00	101.7	0.0	0.02	0.58	0.03	0.00
D	190.0	0.00	101.7	0.0	0.02	0.58	0.03	0.00
D	190.0	0.00	180.0	0.0	0.02	0.60	0.00	0.00
D	160.0	0.00	180.0	0.0	0.02	0.62	0.00	0.00
D	160.0	0.00	207.9	0.0	0.02	0.64	0.00	0.00
D	140.0	0.00	180.0	0.0	0.02	0.66	0.00	0.00
D	140.0	0.00	201.4	0.0	0.02	0.68	0.00	0.00
D	120.0	0.00	201.8	0.0	0.02	0.70	0.00	0.00
D	120.0	0.00	201.2	0.0	0.02	0.73	0.00	0.00
D	100.0	0.00	195.1	0.0	0.02	0.74	0.00	0.00
D	100.0	0.00	191.1	0.0	0.02	0.75	0.00	0.00
D	60.0	0.00	194.6	0.0	0.02	0.80	0.00	0.00
D	60.0	0.00	199.8	0.0	0.02	0.79	0.00	0.00
D	20.0	0.00	179.9	0.0	0.02	0.83	0.00	0.00
D	20.0	0.00	180.0	0.0	0.02	0.66	0.00	0.00
D	10.0	0.00	180.0	0.0	0.02	0.66	0.00	0.00
D	10.0	0.00	188.7	0.0	0.02	0.75	0.00	0.00
D	0.0	0.00	188.7	0.0	0.02	0.75	0.00	0.00

MAXIMUM TENSION IN MAST MEMBERS (kip)

445653

ELEV ft	LEGS	DIAG	HORIZ	BRACE
235.0	-----	-----	0.98 A	0.00 A
	0.68 S	1.57 G		
230.0	-----	-----	0.16 G	0.00 A
	3.58 M	4.21 B		
225.0	-----	-----	0.22 I	0.00 A
	14.62 M	4.43 N		
220.0	-----	-----	0.44 Y	0.00 A
	26.10 M	6.40 M		
215.0	-----	-----	0.29 A	0.00 A
	44.11 M	7.99 B		
210.0	-----	-----	0.05 S	0.00 A
	63.51 M	8.68 N		
205.0	-----	-----	0.31 A	0.00 A
	86.76 M	11.32 B		
200.0	-----	-----	0.25 U	0.00 A
	108.52 M	7.22 M		
195.0	-----	-----	0.22 A	0.00 A
	126.30 M	8.37 B		
190.0	-----	-----	0.08 A	0.00 A
	143.99 M	8.13 N		
185.0	-----	-----	0.19 A	0.00 A
	161.21 M	7.73 B		
180.0	-----	-----	0.09 A	0.00 A
	176.02 M	7.26 N		
175.0	-----	-----	0.16 A	0.00 A
	190.07 M	7.03 B		
170.0	-----	-----	0.13 A	0.00 A
	202.57 M	6.74 N		
165.0	-----	-----	0.13 A	0.00 A
	214.57 M	6.62 B		
160.0	-----	-----	0.12 A	0.00 A
	227.11 M	6.96 N		
153.3	-----	-----	0.14 A	0.00 A
	240.94 M	6.82 N		
146.7	-----	-----	0.11 A	0.00 A
	253.55 M	6.68 N		
140.0	-----	-----	0.12 A	0.00 A
	265.72 M	6.65 N		
133.3	-----	-----	0.09 A	0.00 A
	277.07 M	6.60 T		
126.7	-----	-----	0.10 A	0.00 A
	288.12 M	6.64 N		
120.0	-----	-----	0.08 A	0.00 A
	298.61 M	6.66 T		
113.3	-----	-----	0.12 A	0.00 A
	308.87 M	6.75 N		
106.7	-----	-----	0.07 A	0.00 A
	318.79 M	6.83 N		
100.0	-----	-----	0.11 A	0.00 A
	330.72 M	7.58 N		
90.0	-----	-----	0.10 A	0.00 A
	344.57 M	7.64 T		
80.0	-----	-----	0.09 A	0.00 A
	357.96 M	7.75 N		
70.0	-----	-----	0.09 A	0.00 A
	370.94 M	7.87 N		
60.0	-----	-----	0.08 A	0.00 A
	383.60 M	8.02 N		
50.0	-----	-----	0.08 A	0.00 A
	395.92 M	8.17 T		
40.0	-----	-----	0.07 A	0.00 A
	407.97 M	8.34 N		
30.0	-----	-----	0.07 A	0.00 A
	419.74 M	8.52 N		
20.0	-----	-----	0.01 A	0.00 A
	431.30 M	8.68 N		
10.0	-----	-----	0.06 A	0.00 A
	442.53 M	8.81 N		
0.0	-----	-----	0.00 A	0.00 A

MAXIMUM COMPRESSION IN MAST MEMBERS (kip)

ELEV ft	LEGS	DIAG	HORIZ	BRACE
235.0	----- -0.85 A	-1.54 A	-0.99 G	0.00 A
230.0	----- -8.10 G	-4.24 B	-0.15 M	0.00 A
225.0	----- -19.35 G	-4.52 B	-0.14 O	0.00 A
220.0	----- -32.61 G	-6.78 G	-0.10 S	0.00 A
215.0	----- -53.01 G	-7.80 T	-0.21 S	0.00 A
210.0	----- -73.12 G	-8.83 B	-0.07 A	0.00 A
205.0	----- -99.55 G	-11.29 H	-0.23 S	0.00 A
200.0	----- -121.59 G	-7.62 G	-0.41 C	0.00 A
195.0	----- -142.99 G	-8.27 N	-0.18 S	0.00 A
190.0	----- -161.69 G	-8.28 B	-0.07 S	0.00 A
185.0	----- -180.00 G	-7.66 N	-0.15 S	0.00 A
180.0	----- -195.41 G	-7.36 B	-0.08 S	0.00 A
175.0	----- -210.45 G	-6.99 N	-0.13 S	0.00 A
170.0	----- -223.65 G	-6.82 B	-0.11 S	0.00 A
165.0	----- -236.61 G	-6.59 N	-0.11 S	0.00 A
160.0	----- -250.07 G	-7.04 B	-0.10 S	0.00 A
153.3	----- -265.25 G	-6.81 N	-0.12 S	0.00 A
146.7	----- -279.05 G	-6.74 B	-0.09 S	0.00 A
140.0	----- -292.58 G	-6.64 N	-0.10 S	0.00 A
133.3	----- -305.20 G	-6.65 B	-0.08 S	0.00 A
126.7	----- -317.64 G	-6.64 T	-0.09 S	0.00 A
120.0	----- -329.47 G	-6.71 B	-0.07 S	0.00 A
113.3	----- -341.20 G	-6.76 H	-0.10 S	0.00 A
106.7	----- -352.54 G	-6.87 B	-0.06 S	0.00 A
100.0	----- -366.45 G	-7.62 H	-0.09 S	0.00 A
90.0	----- -382.85 G	-7.72 G	-0.08 S	0.00 A
80.0	----- -398.87 G	-7.81 G	-0.08 S	0.00 A
70.0	----- -414.50 G	-7.97 G	-0.07 S	0.00 A
60.0	----- -429.89 G	-8.10 G	-0.07 S	0.00 A
50.0	----- -444.99 G	-8.26 G	-0.06 S	0.00 A
40.0	----- -459.89 G	-8.41 G	-0.06 S	0.00 A
30.0	----- -474.56 G	-8.60 G	-0.06 S	0.00 A
20.0	----- -489.10 G	-8.71 H	0.00 S	0.00 A
10.0	----- -503.31 G	-8.92 G	-0.05 S	0.00 A
0.0	-----		0.00 A	0.00 A

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FORCE/RESISTANCE RATIO IN LEGS

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-- LEG COMPRESSION - ---- LEG TENSION ---

MAST ELEV ft	MAX COMP	COMP RESIST	FORCE/ RESIST RATIO	MAX TENS	TENS RESIST	445653
						FORCE/ RESIST RATIO
235.00	0.85	31.48	0.03	0.68	48.15	0.01
230.00	8.10	31.48	0.26	3.58	48.15	0.07
225.00	19.35	31.48	0.61	14.62	48.15	0.30
220.00	32.61	110.98	0.29	26.10	135.90	0.19
215.00	53.01	110.98	0.48	44.11	135.90	0.32
210.00	73.12	110.98	0.66	63.51	135.90	0.47
205.00	99.55	110.98	0.90	86.76	135.90	0.64
200.00	121.59	254.38	0.48	108.52	274.95	0.39
195.00	142.99	254.38	0.56	126.30	274.95	0.46
190.00	161.69	254.38	0.64	143.99	274.95	0.52
185.00	180.00	254.38	0.71	161.21	274.95	0.59
180.00	195.41	254.38	0.77	176.02	274.95	0.64
175.00	210.45	254.38	0.83	190.07	274.95	0.69
170.00	223.65	254.38	0.88	202.57	274.95	0.74
165.00	236.61	254.38	0.93	214.57	274.95	0.78
160.00	250.07	309.64	0.81	227.11	357.75	0.63
153.33	265.25	309.64	0.86	240.94	357.75	0.67
146.67	279.05	309.64	0.90	253.55	357.75	0.71
140.00	292.58	358.08	0.82	265.72	378.00	0.70
133.33	305.20	358.08	0.85	277.07	378.00	0.73
126.67	317.64	358.08	0.89	288.12	378.00	0.76
120.00	329.47	358.08	0.92	298.61	378.00	0.79
113.33	341.20	358.08	0.95	308.87	378.00	0.82
106.67	352.54	358.08	0.98	318.79	378.00	0.84
100.00	366.45	507.33	0.72	330.72	457.90	0.72
90.00	382.85	507.33	0.75	344.57	457.90	0.75
80.00	398.87	507.33	0.79	357.96	457.90	0.78
70.00	414.50	507.33	0.82	370.94	457.90	0.81
60.00	429.89	507.33	0.85	383.60	457.90	0.84
50.00	444.99	507.33	0.88	395.92	457.90	0.86
40.00	459.89	507.33	0.91	407.97	457.90	0.89
30.00	474.56	507.33	0.94	419.74	457.90	0.92
20.00	489.10	507.33	0.96	431.30	576.00	0.75
10.00	503.31	507.33	0.99	442.53	576.00	0.77
0.00						

FORCE/RESISTANCE RATIO IN DIAGONALS
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MAST ELEV	- DIAG COMPRESSION -			--- DIAG TENSION ---		
	MAX	COMP	FORCE/ RESIST	MAX	TENS	FORCE/ RESIST

445653

ft	COMP	RESIST	RATIO	TENS	RESIST	RATIO
235.00	1.54	7.16	0.22	1.57	7.16	0.22
230.00	4.24	7.16	0.59	4.21	7.16	0.59
225.00	4.52	7.16	0.63	4.43	7.16	0.62
220.00	6.78	14.32	0.47	6.40	14.32	0.45
215.00	7.80	14.32	0.54	7.99	14.32	0.56
210.00	8.83	14.32	0.62	8.68	14.32	0.61
205.00	11.29	14.32	0.79	11.32	14.32	0.79
200.00	7.62	10.74	0.71	7.22	10.74	0.67
195.00	8.27	10.74	0.77	8.37	10.74	0.78
190.00	8.28	10.74	0.77	8.13	10.74	0.76
185.00	7.66	10.74	0.71	7.73	10.74	0.72
180.00	7.36	8.19	0.90	7.26	8.19	0.89
175.00	6.99	8.19	0.85	7.03	8.19	0.86
170.00	6.82	8.19	0.83	6.74	8.19	0.82
165.00	6.59	8.19	0.81	6.62	8.19	0.81
160.00	7.04	9.84	0.72	6.96	9.84	0.71
153.33	6.81	9.84	0.69	6.82	9.84	0.69
146.67	6.74	9.84	0.69	6.68	9.84	0.68
140.00	6.64	7.46	0.89	6.65	7.46	0.89
133.33	6.65	7.46	0.89	6.60	7.46	0.88
126.67	6.64	7.46	0.89	6.64	7.46	0.89
120.00	6.71	10.34	0.65	6.66	10.34	0.64
113.33	6.76	10.34	0.65	6.75	10.34	0.65
106.67	6.87	10.34	0.66	6.83	10.34	0.66
100.00	7.62	9.19	0.83	7.58	9.19	0.82
90.00	7.72	9.19	0.84	7.64	9.19	0.83
80.00	7.81	12.53	0.62	7.75	12.53	0.62
70.00	7.97	12.53	0.64	7.87	12.53	0.63
60.00	8.10	10.73	0.75	8.02	10.73	0.75
50.00	8.26	10.73	0.77	8.17	10.73	0.76
40.00	8.41	13.43	0.63	8.34	13.43	0.62
30.00	8.60	13.43	0.64	8.52	13.43	0.63
20.00	8.71	14.31	0.61	8.68	14.31	0.61
10.00	8.92	14.31	0.62	8.81	14.31	0.62
0.00						

MAXIMUM INDIVIDUAL FOUNDATION LOADS: (kip)

NORTH	LOAD EAST	COMPONENTS DOWN	UPLIFT	TOTAL SHEAR
43.32 G	37.21 K	509.68 G	-447.43 M	43.32 G

MAXIMUM TOTAL LOADS ON FOUNDATION : (kip & kip-ft)

-----HORIZONTAL-----			DOWN	-----OVERTURNING-----			TORSION
NORTH	EAST	TOTAL		NORTH	EAST	TOTAL	
		@				@	
		0.0				0.0	
69.3	-66.4	69.3	209.2	10422.1	10031.2	10422.1	-24.4
G	P	G	d	G	J	G	R

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 Latticed Tower Analysis (Unguyed) (c)2015 Guymast Inc. 416-736-7453
 Processed under license at:
 Sabre Towers and Poles on: 18 oct 2019 at: 10:08:16
 =====

 ***** Service Load Condition *****

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 * Only 1 condition(s) shown in full
 * Some wind loads may have been derived from full-scale wind tunnel testing
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LOADING CONDITION A

60 mph wind with no ice. wind Azimuth: 0°

MAST LOADING

LOAD TYPE	ELEV ft	APPLY..RADIUS ft	LOAD..AZI	LOAD AZIFORCES.....	MOMENTS.....	
					HORIZ kip	DOWN kip	VERTICAL ft-kip	TORSNAL ft-kip
C	240.0	0.00	0.0	0.0	0.08	0.13	0.00	0.00
C	230.0	0.00	0.0	0.0	2.79	6.00	0.00	0.00
C	218.0	0.00	0.0	0.0	2.07	4.00	0.00	0.00
C	206.0	0.00	0.0	0.0	2.04	4.00	0.00	0.00
C	194.0	0.00	0.0	0.0	2.02	4.00	0.00	0.00
D	235.0	0.00	180.0	0.0	0.02	0.03	0.00	0.00
D	230.0	0.00	180.0	0.0	0.02	0.03	0.00	0.00
D	230.0	0.00	42.0	0.0	0.04	0.05	0.05	0.03
D	220.0	0.00	42.0	0.0	0.04	0.05	0.05	0.03
D	220.0	0.00	65.8	0.0	0.05	0.11	0.05	0.03
D	205.0	0.00	81.3	0.0	0.05	0.11	0.05	0.03
D	205.0	0.00	102.0	0.0	0.05	0.13	0.04	0.02
D	200.0	0.00	102.0	0.0	0.05	0.13	0.04	0.02
D	200.0	0.00	100.2	0.0	0.06	0.16	0.04	0.02
D	195.0	0.00	100.2	0.0	0.06	0.16	0.04	0.02
D	195.0	0.00	101.7	0.0	0.06	0.17	0.01	0.02
D	180.0	0.00	180.0	0.0	0.06	0.18	0.00	0.01
D	180.0	0.00	180.0	0.0	0.06	0.18	0.00	0.01
D	160.0	0.00	180.0	0.0	0.06	0.18	0.00	0.01
D	160.0	0.00	180.0	0.0	0.06	0.20	0.00	0.01
D	140.0	0.00	180.0	0.0	0.06	0.20	0.00	0.01
D	140.0	0.00	180.0	0.0	0.07	0.21	0.00	0.01
D	120.0	0.00	180.0	0.0	0.07	0.21	0.00	0.01
D	120.0	0.00	180.0	0.0	0.07	0.22	0.00	0.01
D	100.0	0.00	180.0	0.0	0.07	0.23	0.00	0.01
D	100.0	0.00	180.0	0.0	0.06	0.27	0.00	0.01
D	60.0	0.00	180.0	0.0	0.07	0.29	0.00	0.01
D	60.0	0.00	180.0	0.0	0.06	0.29	0.00	0.01
D	20.0	0.00	180.0	0.0	0.06	0.32	0.00	0.01
D	20.0	0.00	180.0	0.0	0.06	0.32	0.00	0.01

D 0.0 0.00 180.0 0.0 0.06 445653 0.32 0.00 0.01

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MAXIMUM MAST DISPLACEMENTS:

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ELEV ft	-----DEFLECTIONS (ft)-----			--TILTS (DEG)---		TWIST DEG
	NORTH	EAST	DOWN	NORTH	EAST	
235.0	1.230 G	-1.186 D	0.015 G	0.688 G	-0.663 D	0.045 L
230.0	1.171 G	-1.129 D	0.015 G	0.689 G	-0.664 D	0.045 L
225.0	1.109 G	-1.069 D	0.014 G	0.682 G	-0.658 D	0.044 L
220.0	1.050 G	-1.012 D	0.014 G	0.664 G	-0.640 D	0.043 L
215.0	0.991 G	-0.956 D	0.013 G	0.653 G	-0.629 D	0.042 L
210.0	0.935 G	-0.901 D	0.013 G	0.634 G	-0.611 D	0.041 L
205.0	0.879 G	-0.848 D	0.012 G	0.607 G	-0.585 D	0.040 L
200.0	0.827 G	-0.797 D	0.012 G	0.571 G	-0.550 D	0.038 L
195.0	0.776 G	-0.749 D	0.011 G	0.551 G	-0.531 D	-0.035 F
190.0	0.728 G	-0.702 D	0.011 G	0.530 G	-0.511 D	-0.033 F
185.0	0.682 G	-0.657 D	0.010 G	0.508 G	-0.489 D	-0.031 F
180.0	0.637 G	-0.615 D	0.010 G	0.485 G	-0.467 D	-0.029 F
175.0	0.595 G	-0.574 D	0.010 G	0.461 G	-0.445 D	-0.027 F
170.0	0.555 G	-0.535 D	0.009 G	0.437 G	-0.422 D	-0.026 F
165.0	0.517 G	-0.498 D	0.009 G	0.414 G	-0.399 D	-0.024 F
160.0	0.481 G	-0.464 D	0.009 G	0.390 G	-0.376 D	-0.022 F
153.3	0.436 G	-0.420 D	0.008 G	0.365 G	-0.352 D	-0.021 F
146.7	0.394 G	-0.380 D	0.008 G	0.341 G	-0.329 D	-0.019 F
140.0	0.354 G	-0.342 D	0.007 G	0.317 G	-0.306 D	-0.018 F
133.3	0.318 G	-0.306 D	0.007 G	0.295 G	-0.285 D	-0.016 F
126.7	0.283 G	-0.273 D	0.007 G	0.273 G	-0.264 D	-0.015 F
120.0	0.252 G	-0.243 D	0.006 G	0.252 G	-0.243 D	-0.013 F
113.3	0.223 G	-0.215 D	0.006 G	0.230 G	-0.222 D	0.012 L
106.7	0.196 G	-0.189 D	0.005 G	0.209 G	-0.202 D	0.011 L
100.0	0.172 G	-0.166 D	0.005 G	0.188 G	-0.182 D	0.010 L
90.0	0.140 G	-0.135 D	0.005 G	0.168 G	-0.162 D	0.009 L
80.0	0.111 G	-0.107 D	0.004 G	0.148 G	-0.143 D	0.007 L
70.0	0.086 G	-0.083 D	0.004 G	0.129 G	-0.124 D	0.006 L
60.0	0.064 G	-0.062 D	0.003 G	0.109 G	-0.106 D	-0.005 F
50.0	0.046 G	-0.044 D	0.003 G	0.091 G	-0.087 D	-0.004 F
40.0	0.030 G	-0.029 D	0.002 G	0.072 G	-0.069 D	0.003 L
30.0	0.018 G	-0.018 D	0.002 E	0.054 G	-0.052 D	0.003 L
20.0	0.010 G	-0.009 D	0.001 D	0.036 G	-0.034 D	0.002 L
10.0	0.003 G	-0.003 D	0.001 E	0.018 G	-0.017 D	0.001 L
0.0	0.000 A	0.000 A	0.000 A	0.000 A	0.000 A	0.000 A

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MAXIMUM TENSION IN MAST MEMBERS (kip)

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ELEV ft	LEGS	DIAG	HORIZ	BRACE
235.0	-----	-----	0.34 A	0.00 A
	0.18 G	0.55 G		
230.0	-----	-----	0.06 G	0.00 A
	0.00 A	1.45 B		
225.0	-----	-----	0.10 I	0.00 A
	3.57 A	1.51 H		
220.0	-----	-----	0.20 A	0.00 A
	7.01 A	2.11 A		
215.0	-----	-----	0.13 A	0.00 A
	12.51 A	2.80 B		
210.0	-----	-----	0.01 G	0.00 A
	19.04 A	2.95 H		
205.0	-----	-----	0.13 A	0.00 A
	26.10 A	3.90 B		
200.0	-----	-----	0.02 I	0.00 A
	33.56 A	2.37 A		
195.0	-----	-----	0.09 A	0.00 A
	38.54 A	2.90 B		
190.0	-----	-----	0.03 A	0.00 A
	44.32 A	2.73 B		
185.0	-----	-----	0.08 A	0.00 A
	49.93 A	2.67 B		
180.0	-----	-----	0.04 A	0.00 A
	54.87 A	2.46 B		
175.0	-----	-----	0.06 A	0.00 A
	59.43 A	2.43 B		
170.0	-----	-----	0.05 A	0.00 A
	63.56 A	2.29 B		

ELEV	LEGS	DIAG	HORIZ	BRACE
165.0	67.45 A	2.29 B	0.05 A	0.00 A
160.0	71.54 A	2.37 B	0.05 A	0.00 A
153.3	75.96 A	2.36 H	0.05 A	0.00 A
146.7	80.03 A	2.28 H	0.04 A	0.00 A
140.0	83.88 A	2.30 H	0.05 A	0.00 A
133.3	87.50 A	2.27 H	0.03 A	0.00 A
126.7	90.99 A	2.30 B	0.04 A	0.00 A
120.0	94.30 A	2.30 H	0.03 A	0.00 A
113.3	97.51 A	2.34 B	0.05 A	0.00 A
106.7	100.62 A	2.37 H	0.03 A	0.00 A
100.0	104.29 A	2.63 B	0.04 A	0.00 A
90.0	108.49 A	2.65 H	0.04 A	0.00 A
80.0	112.53 A	2.70 B	0.04 A	0.00 A
70.0	116.42 A	2.75 H	0.03 A	0.00 A
60.0	120.19 A	2.81 B	0.03 A	0.00 A
50.0	123.84 A	2.86 H	0.03 A	0.00 A
40.0	127.37 A	2.92 B	0.03 A	0.00 A
30.0	130.80 A	2.98 H	0.03 A	0.00 A
20.0	134.14 A	3.04 B	0.00 A	0.00 A
10.0	137.36 A	3.08 H	0.03 A	0.00 A
0.0			0.00 A	0.00 A

445653

MAXIMUM COMPRESSION IN MAST MEMBERS (kip)

ELEV	LEGS	DIAG	HORIZ	BRACE
235.0	-0.34 A	-0.53 A	-0.35 G	0.00 A
230.0	-4.04 G	-1.48 H	-0.05 A	0.00 A
225.0	-7.96 G	-1.59 B	-0.02 C	0.00 A
220.0	-12.99 G	-2.42 G	0.00 A	0.00 A
215.0	-20.64 G	-2.63 H	-0.04 G	0.00 A
210.0	-27.70 G	-3.08 B	-0.03 A	0.00 A
205.0	-37.61 G	-3.88 H	-0.05 G	0.00 A
200.0	-45.19 G	-2.71 G	-0.19 C	0.00 A
195.0	-53.49 G	-2.80 B	-0.05 G	0.00 A
190.0	-60.13 G	-2.88 B	-0.02 G	0.00 A
185.0	-66.66 G	-2.60 B	-0.04 G	0.00 A
180.0	-72.06 G	-2.56 B	-0.02 G	0.00 A
175.0	-77.45 G	-2.39 B	-0.04 G	0.00 A
170.0			-0.03 G	0.00 A

445653

165.0	-82.13 G	-2.37 B	-0.03 G	0.00 A
160.0	-86.80 G	-2.26 B	-0.03 G	0.00 A
153.3	-91.61 G	-2.45 B	-0.03 G	0.00 A
146.7	-97.14 G	-2.35 H	-0.03 G	0.00 A
140.0	-102.14 G	-2.35 H	-0.03 G	0.00 A
133.3	-107.10 G	-2.30 H	-0.02 G	0.00 A
126.7	-111.72 G	-2.32 B	-0.02 G	0.00 A
120.0	-116.32 G	-2.30 H	-0.02 G	0.00 A
113.3	-120.70 G	-2.34 B	-0.03 G	0.00 A
106.7	-125.07 G	-2.36 H	-0.02 G	0.00 A
100.0	-129.30 G	-2.40 B	-0.03 G	0.00 A
90.0	-134.56 G	-2.67 H	-0.02 G	0.00 A
80.0	-140.81 G	-2.71 G	-0.02 G	0.00 A
70.0	-146.96 G	-2.74 H	-0.02 G	0.00 A
60.0	-152.98 G	-2.80 G	-0.02 G	0.00 A
50.0	-158.94 G	-2.85 H	-0.02 G	0.00 A
40.0	-164.81 G	-2.91 G	-0.02 G	0.00 A
30.0	-170.63 G	-2.97 H	-0.02 G	0.00 A
20.0	-176.38 G	-3.03 G	0.00 G	0.00 A
10.0	-182.11 G	-3.07 H	-0.01 G	0.00 A
0.0	-187.72 G	-3.15 G	0.00 A	0.00 A

MAXIMUM INDIVIDUAL FOUNDATION LOADS: (kip)

LOAD COMPONENTS				TOTAL
NORTH	EAST	DOWN	UPLIFT	SHEAR
15.87 G	13.64 K	190.26 G	-138.74 A	15.87 G

MAXIMUM TOTAL LOADS ON FOUNDATION : (kip & kip-ft)

HORIZONTAL			DOWN	OVERTURNING			TORSION
NORTH	EAST	TOTAL @ 0.0	DOWN	NORTH	EAST	TOTAL @ 0.0	TORSION
24.1 G	-23.1 D	24.1 G	70.8 E	3608.6 G	-3474.9 D	3608.6 G	8.4 L

DRILLED STRAIGHT PIER DESIGN BY SABRE TOWERS & POLES
 235' S3TL Series HD1 AT&T Breeding FN, KY (445653) 10/18/19 REB

Factored Uplift (kips)	447		
Factored Download (kips)	510		
Factored Shear (kips)	43		
Ultimate Bearing Pressure	160		
Bearing Φ_s	0.75		
Bearing Design Strength (ksf)	120		
Water Table Below Grade (ft)	999		
Bolt Circle Diameter (in)	13.25		
Top of Concrete to Top of Bottom Threads (in)	65.125		
Pier Diameter (ft)	5.5	Minimum Pier Diameter (ft)	2.44
Ht. Above Ground (ft)	0.5		
Pier Length Below Ground (ft)	29		
Rebar Quantity	16		
Rebar Diameter (in)	1.27		
Rebar Area (in ²)	20.27	Minimum Area of Steel (in ²)	17.11
Rebar Spacing (in)	11.26		
Tie Diameter (in)	0.5		
Tie Spacing (in)	12		
f'_c (ksi)	4.5		
f_y (ksi)	60		
Unit Wt. of Concrete (kcf)	0.15		
Volume of Concrete (yd ³)	25.96		

Depth at Bottom of Layer (ft)	Ult. Skin Friction (ksf)	Ult. Skin Friction (Uplift)	γ (kcf)
2	0.00	0.00	0.11
13	0.50	0.50	0.11
20	1.20	1.20	0.11
29	1.50	1.50	0.11

Length to Ignore Download (ft) 0

DRILLED STRAIGHT PIER DESIGN BY SABRE TOWERS & POLES (CONTINUED)

Download:

Φ_s , Download Friction	0.75		
Q_f , Skin Friction (kips)	473.4	W_s (kips)	75.8
Q_b , End Bearing Strength (kips)	3801.3	W_c (kips)	105.1
Download Design Strength (kips)	3206.1	Factored Net Download (kips)	545.2

Uplift (skin friction):

Φ_s , Uplift	0.75		
Q_f , Skin Friction (kips)	473.4		
W_c (kips)	105.1		
W_w (kips)	0.0		
Uplift Design Strength (kips)	449.7	Factored Uplift (kips)	447.0

Uplift (cone):

$W_{s,cone}$ (kips)	1397.9		
$W_{w,cone}$ (kips)	0.0		
W_c (kips)	105.1		
$W_{w,cyl}$ (kips)	0.0		
Uplift Design Strength (kips)	1352.7	Factored Uplift (kips)	447.0

Tension:

Design Tensile Strength (kips)	1094.5	T_u (kips)	447.0
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Shear:

ϕV_n (kips)	293.6	V_u (kips)	43.0
$\phi V_c = \phi 2(1 + N_u / (500 A_g)) f'_c{}^{1/2} b_w d$ (kips)	293.6		
V_s (kips)	0.0	*** $V_s \text{ max} = 4 f'_c{}^{1/2} b_w d$ (kips)	935.1
Maximum Spacing (in)	7.10	(Only if Shear Ties are Required)	
		*** Ref. ACI 11.5.5 & 11.5.6.3	

Anchor Bolt Pull-Out:

$\phi P_c = \phi \lambda (2/3) f'_c{}^{1/2} (2.8 A_{SLOPE} + 4 A_{FLAT})$	515.2	P_u (kips)	447.0
Rebar Development Length (in)	39.89	Required Development Length (in)	N/A

Condition	1 is OK, 0 Fails
Download	1
Uplift	1
Area of Steel	1
Shear	1
Anchor Bolt Pull-Out	1
Interaction Diagram	1

MAT FOUNDATION DESIGN BY SABRE TOWERS & POLES

235' S3TL Series HD1 AT&T Breeding FN, KY (445653) 10/18/19 REB

Overall Loads:

Factored Moment (ft-kips)	10422.08
Factored Axial (kips)	209.20
Factored Shear (kips)	69.29

Individual Leg Loads:

Factored Uplift (kips)	447.00
Factored Download (kips)	510.00
Factored Shear (kips)	43.00

Tower eccentric from mat (ft) = 2

Width of Tower (ft)	25
Ultimate Bearing Pressure	9.00
Bearing Φ_s	0.75

Allowable Bearing Pressure (ksf)	4.50
Safety Factor	2.00

Bearing Design Strength (ksf)	6.75
Water Table Below Grade (ft)	999
Width of Mat (ft)	32.5
Thickness of Mat (ft)	1.75
Depth to Bottom of Slab (ft)	6
Bolt Circle Diameter (in)	13.25

Max. Factored Net Bearing Pressure (ksf) 6.66

Top of Concrete to Top of Bottom Threads (in)	65.125
Diameter of Pier (ft)	3

Minimum Mat Width (ft) 31.01

Ht. of Pier Above Ground (ft)	0.5
Ht. of Pier Below Ground (ft)	4.25

Minimum Pier Diameter (ft)	2.44
Equivalent Square b (ft)	2.66

Quantity of Bars in Mat	54
Bar Diameter in Mat (in)	1.27
Area of Bars in Mat (in ²)	68.41
Spacing of Bars in Mat (in)	7.22

Recommended Spacing (in) 6 to 12

Quantity of Bars Pier	16
Bar Diameter in Pier (in)	1.128
Tie Bar Diameter in Pier (in)	0.5

Spacing of Ties (in)	12
Area of Bars in Pier (in ²)	15.99
Spacing of Bars in Pier (in)	5.44

Minimum Pier A_s (in ²)	5.09
Recommended Spacing (in)	5 to 12

f'c (ksi)	4.5
fy (ksi)	60
Unit Wt. of Soil (kcf)	0.11

Unit Wt. of Concrete (kcf)	0.15
Volume of Concrete (yd ³)	72.19

MAT FOUNDATION DESIGN BY SABRE TOWERS & POLES (CONTINUED)

Two-Way Shear:

Average d (in)	16.73
ϕv_c (ksi)	0.228
$\phi v_c = \phi(2 + 4/\beta_c)f'_c{}^{1/2}$	0.342
$\phi v_c = \phi(\alpha_s d/b_o + 2)f'_c{}^{1/2}$	0.344
$\phi v_c = \phi 4f'_c{}^{1/2}$	0.228
Shear perimeter, b_o (in)	165.66
β_c	1

v_u (ksi) 0.200

Stability:

Overturning Design Strength (ft-k) 12184.2 Factored Overturning Moment (ft-k) 10872.5

One-Way Shear:

ϕV_c (kips) 744.1

V_u (kips) 626.7

Pier Design:

Design Tensile Strength (kips) 863.4

T_u (kips) 447.0

ϕV_n (kips) 62.5

V_u (kips) 43.0

$\phi V_c = \phi 2(1 + N_u/(500A_g))f'_c{}^{1/2}b_w d$ 14.4

V_s (kips) 56.5

*** $V_s \text{ max} = 4 f'_c{}^{1/2}b_w d$ (kips) 278.2

Maximum Spacing (in) 13.01

(Only if Shear Ties are Required)

Actual Hook Development (in) 15.46

Req'd Hook Development l_{dh} (in) 14.12

*** Ref. ACI 11.5.5 & 11.5.6.3

Anchor Bolt Pull-Out:

$\phi P_c = \phi \lambda (2/3)f'_c{}^{1/2}(2.8A_{SLOPE} + 4A_{FLAT})$ 153.4

P_u (kips) 447.0

Pier Rebar Development Length (in) 54.81

Required Length of Development (in) 26.12

Flexure in Slab:

ϕM_n (ft-kips) 4726.4

M_u (ft-kips) 4726.2

a (in) 2.75

Steel Ratio 0.01048

β_1 0.825

Maximum Steel Ratio (ρ_t) 0.0197

Minimum Steel Ratio 0.0018

Rebar Development in Pad (in) 97.35

Required Development in Pad (in) 21.11

Condition	1 is OK, 0 Fails
Minimum Mat Width	1
Maximum Soil Bearing Pressure	1
Pier Area of Steel	1
Pier Shear	1
Two-Way Shear	1
Overturning	1
Anchor Bolt Pull-Out	1
Flexure	1
Steel Ratio	1
Length of Development in Pad	1
Interaction Diagram	1
One-Way Shear	1
Hook Development	1
Minimum Mat Depth	1

EXHIBIT D
COMPETING UTILITIES, CORPORATIONS, OR PERSONS LIST

KY Public Service Commission

Master Utility Search

- Search for the utility of interest by using any single or combination of criteria.
- Enter Partial names to return the closest match for Utility Name and Address/City/Contact entries.

Utility ID	Utility Name	Address/City/Contact	Utility Type	Status
<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	Active <input type="text"/>
<input type="button" value="Search"/>				

	Utility ID	Utility Name	Utility Type	Class	City	State
<input type="button" value="View"/>	4111300	2600Hz, Inc. dba ZSWITCH	Cellular	D	San Francisco	CA
<input type="button" value="View"/>	4108300	Air Voice Wireless, LLC	Cellular	B	Bloomfield Hill	MI
<input type="button" value="View"/>	4110650	Alliant Technologies of KY, L.L.C.	Cellular	D	Morristown	NJ
<input type="button" value="View"/>	44451184	Alltel Corporation d/b/a Verizon Wireless	Cellular	A	Lisle	IL
<input type="button" value="View"/>	4110850	AltaWorx, LLC	Cellular	D	Fairhope	AL
<input type="button" value="View"/>	4107800	American Broadband and Telecommunications Company	Cellular	D	Toledo	OH
<input type="button" value="View"/>	4108650	AmeriMex Communications Corp.	Cellular	D	Dunedin	FL
<input type="button" value="View"/>	4105100	AmeriVision Communications, Inc. d/b/a Affinity 4	Cellular	D	Virginia Beach	VA
<input type="button" value="View"/>	4110700	Andrew David Balholm dba Norcell	Cellular	D	Clayton	WA
<input type="button" value="View"/>	4108600	BCN Telecom, Inc.	Cellular	D	Morristown	NJ
<input type="button" value="View"/>	4110550	Blue Casa Mobile, LLC	Cellular	D	Santa Barbara	CA
<input type="button" value="View"/>	4111050	BlueBird Communications, LLC	Cellular	D	New York	NY
<input type="button" value="View"/>	4202300	Bluegrass Wireless, LLC	Cellular	A	Elizabethtown	KY
<input type="button" value="View"/>	4107600	Boomerang Wireless, LLC	Cellular	B	Hiawatha	IA
<input type="button" value="View"/>	4105500	BullsEye Telecom, Inc.	Cellular	D	Southfield	MI
<input type="button" value="View"/>	4100700	Cellco Partnership dba Verizon Wireless	Cellular	A	Basking Ridge	NJ

View	4106600	Cintex Wireless, LLC	Cellular	D	Rockville	MD
View	4111150	Comcast OTR1, LLC	Cellular	D	Philadelphia	PA
View	4101900	Consumer Cellular, Incorporated	Cellular	A	Portland	OR
View	4106400	Credo Mobile, Inc.	Cellular	A	San Francisco	CA
View	4108850	Cricket Wireless, LLC	Cellular	A	San Antonio	TX
View	4111500	CSC Wireless, LLC d/b/a Altice Wireless	Cellular	C	Long Island City	NY
View	10640	Cumberland Cellular Partnership	Cellular	A	Elizabethtown	KY
View	4111650	DataBytes, Inc.	Cellular	C	Rogers	AR
View	4111200	Dynalink Communications, Inc.	Cellular	C	Brooklyn	NY
View	4101000	East Kentucky Network, LLC dba Appalachian Wireless	Cellular	A	Ivel	KY
View	4002300	Easy Telephone Service Company dba Easy Wireless	Cellular	D	Ocala	FL
View	4109500	Enhanced Communications Group, LLC	Cellular	D	Bartlesville	OK
View	4110450	Excellus Communications, LLC	Cellular	D	Chattanooga	TN
View	4105900	Flash Wireless, LLC	Cellular	C	Concord	NC
View	4104800	France Telecom Corporate Solutions L.L.C.	Cellular	D	Oak Hill	VA
View	4109350	Global Connection Inc. of America	Cellular	D	Norcross	GA
View	4102200	Globalstar USA, LLC	Cellular	B	Covington	LA
View	4109600	Google North America Inc.	Cellular	A	Mountain View	CA
View	33350363	Granite Telecommunications, LLC	Cellular	D	Quincy	MA
View	4106000	GreatCall, Inc. d/b/a Jitterbug	Cellular	A	San Diego	CA
View	10630	GTE Wireless of the Midwest dba Verizon Wireless	Cellular	A	Basking Ridge	NJ
View	4111350	HELLO MOBILE TELECOM LLC	Cellular	D	Dania Beach	FL
View	4103100	i-Wireless, LLC	Cellular	B	Newport	KY
View	4109800	IM Telecom, LLC d/b/a Infiniti Mobile	Cellular	D	Tulsa	OK
View	22215360	KDDI America, Inc.	Cellular	D	New York	NY
View	10872	Kentucky RSA #1 Partnership	Cellular	A	Basking Ridge	NJ
View	10680	Kentucky RSA #3 Cellular General	Cellular	A	Elizabethtown	KY
View	10681	Kentucky RSA #4 Cellular General	Cellular	A	Elizabethtown	KY
View	4111250	Liberty Mobile Wireless, LLC	Cellular	D	Sunny Isles Beach	FL
View	4111550	Lingo Telecom of the South, LLC	Cellular	C	Atlanta	GA
View	4111400	Locus Telecommunications, LLC	Cellular	A	Fort Lee	NJ
View	4110900	Lunar Labs, Inc.	Cellular	D	Detroit	MI
View	4107300	Lycamobile USA, Inc.	Cellular	D	Newark	NJ

View	4108800	MetroPCS Michigan, LLC	Cellular	A	Bellevue	WA
View	4111700	Mint Mobile, LLC	Cellular	C	Costa Mesa	CA
View	4109650	Mitel Cloud Services, Inc.	Cellular	D	Mesa	AZ
View	4202400	New Cingular Wireless PCS, LLC dba AT&T Mobility, PCS	Cellular	A	San Antonio	TX
View	10900	New Par dba Verizon Wireless	Cellular	A	Basking Ridge	NJ
View	4000800	Nextel West Corporation	Cellular	D	Overland Park	KS
View	4001300	NPCR, Inc. dba Nextel Partners	Cellular	D	Overland Park	KS
View	4001800	OnStar, LLC	Cellular	A	Detroit	MI
View	4110750	Onvoy Spectrum, LLC	Cellular	D	Chicago	IL
View	4109050	Patriot Mobile LLC	Cellular	D	Irving	TX
View	4110250	Plintron Technologies USA LLC	Cellular	D	Bellevue	WA
View	33351182	PNG Telecommunications, Inc. dba PowerNet Global Communications	Cellular	D	Cincinnati	OH
View	4202100	Powertel/Memphis, Inc. dba T- Mobile	Cellular	A	Bellevue	WA
View	4107700	Puretalk Holdings, LLC	Cellular	A	Covington	GA
View	4106700	Q Link Wireless, LLC	Cellular	B	Dania	FL
View	4108700	Ready Wireless, LLC	Cellular	B	Hiawatha	IA
View	4110500	Republic Wireless, Inc.	Cellular	B	Raleigh	NC
View	4111100	ROK Mobile, Inc.	Cellular	D	Culver City	CA
View	4106200	Rural Cellular Corporation	Cellular	A	Basking Ridge	NJ
View	4108550	Sage Telecom Communications, LLC dba TruConnect	Cellular	D	Los Angeles	CA
View	4109150	SelecTel, Inc. d/b/a SelecTel Wireless	Cellular	D	Freemont	NE
View	4110150	Spectrotel, Inc. d/b/a Touch Base Communications	Cellular	D	Neptune	NJ
View	4111450	Spectrum Mobile, LLC	Cellular	C	St. Louis	MO
View	4200100	Sprint Spectrum, L.P.	Cellular	A	Atlanta	GA
View	4200500	SprintCom, Inc.	Cellular	A	Atlanta	GA
View	4109550	Stream Communications, LLC	Cellular	D	Dallas	TX
View	4111600	STX Group LLC dba Twigby	Cellular	C	Murfreesboro	TN
View	4110200	T C Telephone LLC d/b/a Horizon Cellular	Cellular	D	Red Bluff	CA
View	4202200	T-Mobile Central, LLC dba T- Mobile	Cellular	A	Bellevue	WA
View	4002500	TAG Mobile, LLC	Cellular	D	Carrollton	TX
View	4109700	Telecom Management, Inc. dba Pioneer Telephone	Cellular	D	Portland	ME
View	4107200	Telefonica USA, Inc.	Cellular	D	Miami	FL
View	4108900	Telrite Corporation	Cellular	D	Covington	GA
View	4108450	Tempo Telecom, LLC	Cellular	B	Atlanta	GA

View	4109000	Ting, Inc.	Cellular	A	Toronto	ON
View	4110400	Torch Wireless Corp.	Cellular	D	Jacksonville	FL
View	4103300	Touchtone Communications, Inc.	Cellular	D	Whippany	NJ
View	4104200	TracFone Wireless, Inc.	Cellular	D	Miami	FL
View	4002000	Truphone, Inc.	Cellular	D	Durham	NC
View	4110300	UVNV, Inc. d/b/a Mint Mobile	Cellular	D	Costa Mesa	CA
View	4105700	Virgin Mobile USA, L.P.	Cellular	A	Atlanta	GA
View	4110800	Visible Service LLC	Cellular	D	Basking Ridge	NJ
View	4106500	WiMacTel, Inc.	Cellular	D	Palo Alto	CA
View	4110950	Wing Tel Inc.	Cellular	D	New York	NY

EXHIBIT E
FAA



Mail Processing Center
 Federal Aviation Administration
 Southwest Regional Office
 Obstruction Evaluation Group
 10101 Hillwood Parkway
 Fort Worth, TX 76177

Aeronautical Study No.
 2019-ASO-13174-OE

Issued Date: 06/27/2019

Jeanette Oliver
 AT&T (JO)
 208 S Akard St.
 Dallas, TX 75202

**** DETERMINATION OF NO HAZARD TO AIR NAVIGATION ****

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure: Antenna Tower Breeding FN (278315)
 Location: Breeding, KY
 Latitude: 36-57-56.09N NAD 83
 Longitude: 85-25-52.54W
 Heights: 1079 feet site elevation (SE)
 240 feet above ground level (AGL)
 1319 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure does not exceed obstruction standards and would not be a hazard to air navigation provided the following condition(s), if any, is(are) met:

As a condition to this Determination, the structure is to be marked/lighted in accordance with FAA Advisory circular 70/7460-1 L Change 2, Obstruction Marking and Lighting, a med-dual system - Chapters 4,8(M-Dual),&12.

Any failure or malfunction that lasts more than thirty (30) minutes and affects a top light or flashing obstruction light, regardless of its position, should be reported immediately to (877) 487-6867 so a Notice to Airmen (NOTAM) can be issued. As soon as the normal operation is restored, notify the same number.

It is required that FAA Form 7460-2, Notice of Actual Construction or Alteration, be e-filed any time the project is abandoned or:

- At least 10 days prior to start of construction (7460-2, Part 1)
- Within 5 days after the construction reaches its greatest height (7460-2, Part 2)

This determination expires on 12/27/2020 unless:

- (a) the construction is started (not necessarily completed) and FAA Form 7460-2, Notice of Actual Construction or Alteration, is received by this office.
- (b) extended, revised, or terminated by the issuing office.

- (c) the construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the FCC, within 6 months of the date of this determination. In such case, the determination expires on the date prescribed by the FCC for completion of construction, or the date the FCC denies the application.

NOTE: REQUEST FOR EXTENSION OF THE EFFECTIVE PERIOD OF THIS DETERMINATION MUST BE E-FILED AT LEAST 15 DAYS PRIOR TO THE EXPIRATION DATE. AFTER RE-EVALUATION OF CURRENT OPERATIONS IN THE AREA OF THE STRUCTURE TO DETERMINE THAT NO SIGNIFICANT AERONAUTICAL CHANGES HAVE OCCURRED, YOUR DETERMINATION MAY BE ELIGIBLE FOR ONE EXTENSION OF THE EFFECTIVE PERIOD.

This determination is based, in part, on the foregoing description which includes specific coordinates, heights, frequency(ies) and power. Any changes in coordinates, heights, and frequencies or use of greater power, except those frequencies specified in the Colo Void Clause Coalition; Antenna System Co-Location; Voluntary Best Practices, effective 21 Nov 2007, will void this determination. Any future construction or alteration, including increase to heights, power, or the addition of other transmitters, requires separate notice to the FAA. This determination includes all previously filed frequencies and power for this structure.

If construction or alteration is dismantled or destroyed, you must submit notice to the FAA within 5 days after the construction or alteration is dismantled or destroyed.

This determination does include temporary construction equipment such as cranes, derricks, etc., which may be used during actual construction of the structure. However, this equipment shall not exceed the overall heights as indicated above. Equipment which has a height greater than the studied structure requires separate notice to the FAA.

This determination concerns the effect of this structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

A copy of this determination will be forwarded to the Federal Communications Commission (FCC) because the structure is subject to their licensing authority.

If we can be of further assistance, please contact our office at (718) 553-2611, or angelique.eersteling@faa.gov. On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2019-ASO-13174-OE.

Signature Control No: 401965346-409959243

(DNE)

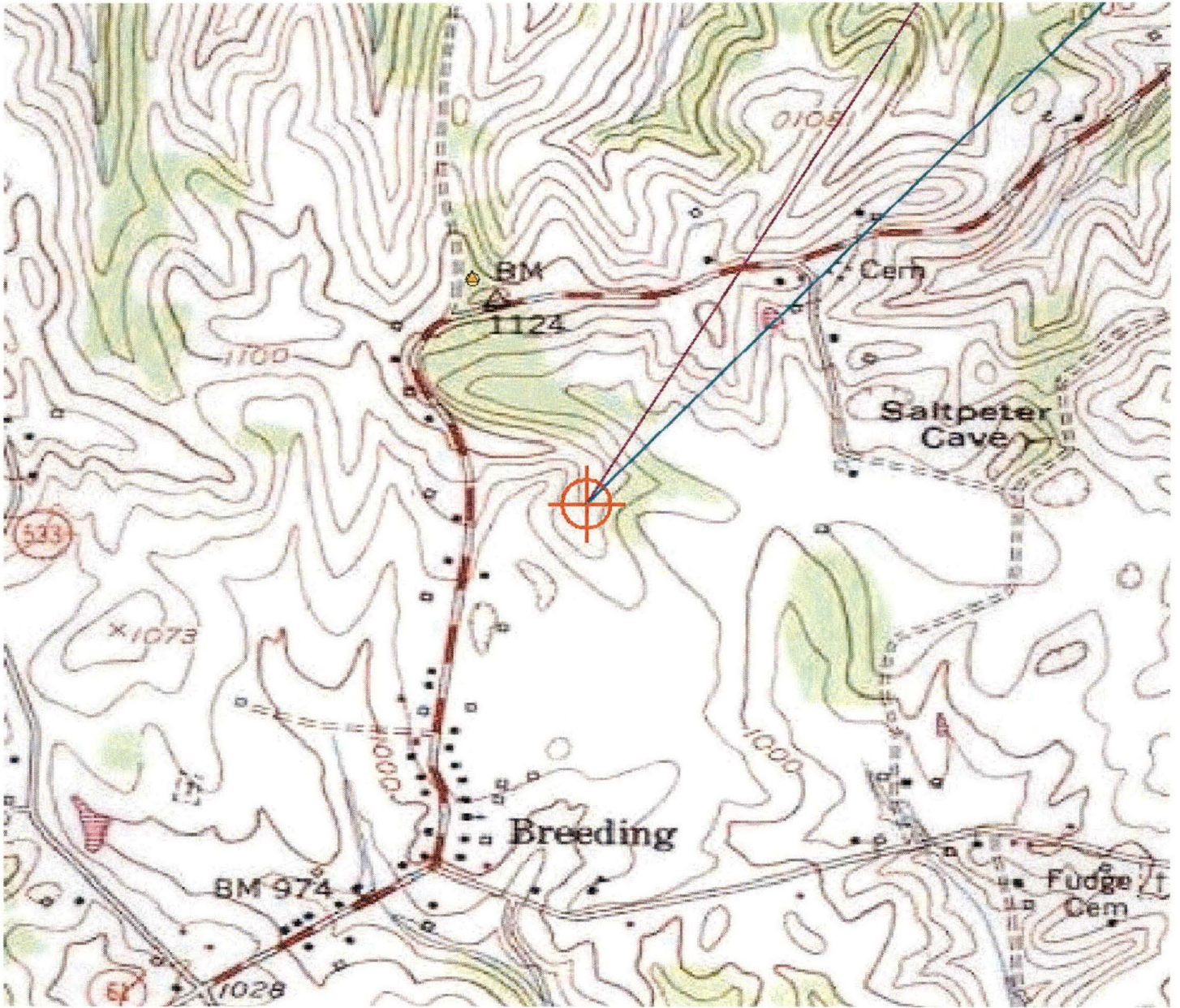
Angelique Eersteling
Technician

Attachment(s)
Frequency Data
Map(s)

cc: FCC

Frequency Data for ASN 2019-ASO-13174-OE

LOW FREQUENCY	HIGH FREQUENCY	FREQUENCY UNIT	ERP	ERP UNIT
6	7	GHz	55	dBW
6	7	GHz	42	dBW
10	11.7	GHz	55	dBW
10	11.7	GHz	42	dBW
17.7	19.7	GHz	55	dBW
17.7	19.7	GHz	42	dBW
21.2	23.6	GHz	55	dBW
21.2	23.6	GHz	42	dBW
614	698	MHz	1000	W
614	698	MHz	2000	W
698	806	MHz	1000	W
806	901	MHz	500	W
806	824	MHz	500	W
824	849	MHz	500	W
851	866	MHz	500	W
869	894	MHz	500	W
896	901	MHz	500	W
901	902	MHz	7	W
929	932	MHz	3500	W
930	931	MHz	3500	W
931	932	MHz	3500	W
932	932.5	MHz	17	dBW
935	940	MHz	1000	W
940	941	MHz	3500	W
1670	1675	MHz	500	W
1710	1755	MHz	500	W
1850	1910	MHz	1640	W
1850	1990	MHz	1640	W
1930	1990	MHz	1640	W
1990	2025	MHz	500	W
2110	2200	MHz	500	W
2305	2360	MHz	2000	W
2305	2310	MHz	2000	W
2345	2360	MHz	2000	W
2496	2690	MHz	500	W



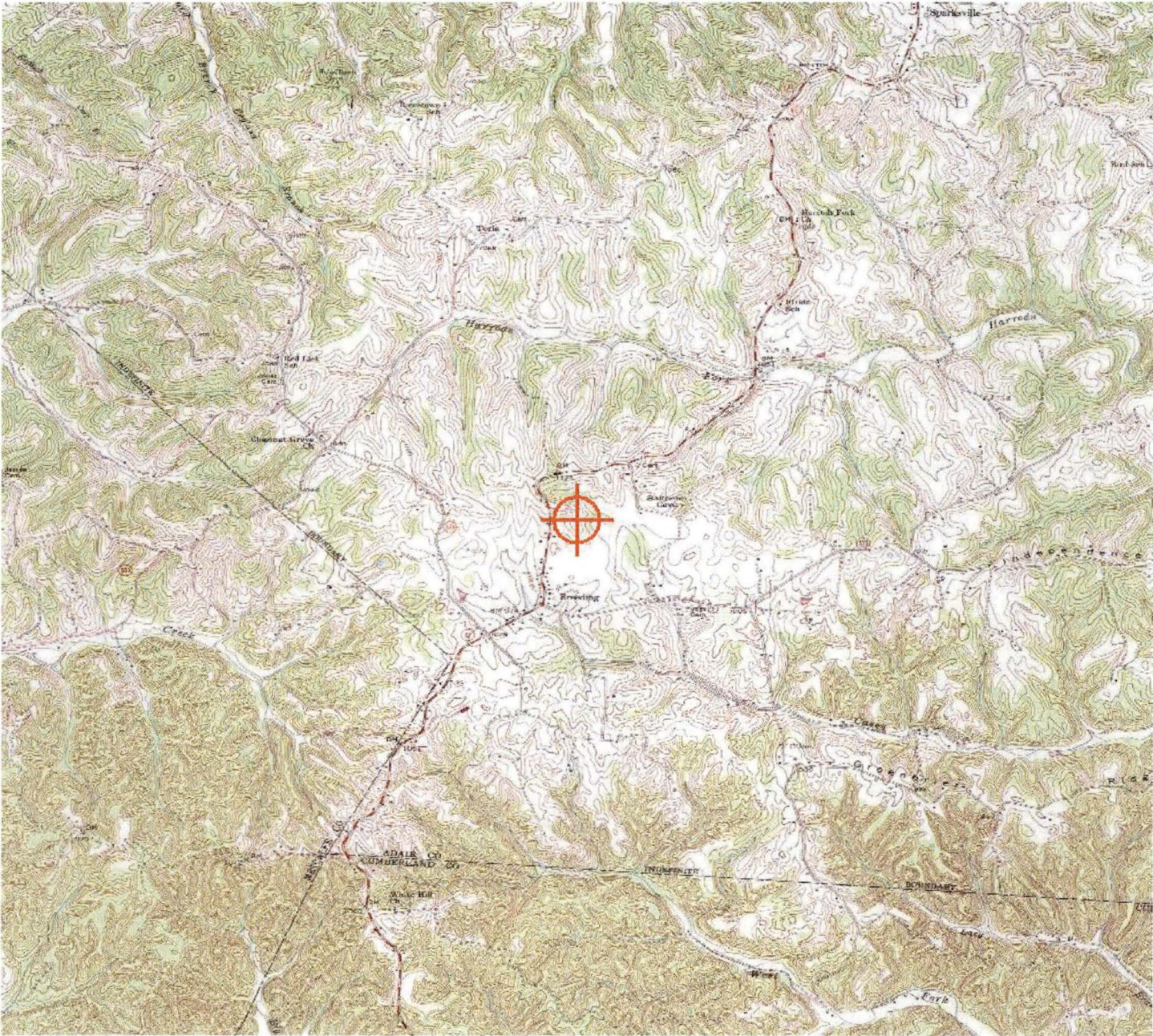


EXHIBIT F
KENTUCKY AIRPORT ZONING COMMISSION



KENTUCKY TRANSPORTATION CABINET
KENTUCKY AIRPORT ZONING COMMISSION

TC 55-2
Rev. 06/2016
Page 2 of 2

APPLICATION FOR PERMIT TO CONSTRUCT OR ALTER A STRUCTURE

APPLICANT (name) John Monday		PHONE 855-699-7073	FAX 972-907-1131	KY AERONAUTICAL STUDY #	
ADDRESS (street) 3300 E. Renner Road, B3132		CITY Richardson		STATE TX	ZIP 75082
APPLICANT'S REPRESENTATIVE (name) Matt Hill		PHONE 615-339-5218	FAX		
ADDRESS (street) 1975 Joe B. Jackson Parkway		CITY Murfreesboro		STATE TN	ZIP 37127
APPLICATION FOR <input checked="" type="checkbox"/> New Construction <input type="checkbox"/> Alteration <input type="checkbox"/> Existing				WORK SCHEDULE	
DURATION <input type="checkbox"/> Permanent <input type="checkbox"/> Temporary (months days)				Start	End TBD
TYPE <input type="checkbox"/> Crane <input type="checkbox"/> Building <input checked="" type="checkbox"/> Antenna Tower <input type="checkbox"/> Power Line <input type="checkbox"/> Water Tank <input type="checkbox"/> Landfill <input type="checkbox"/> Other		MARKING/PAINTING/LIGHTING PREFERRED <input type="checkbox"/> Red Lights & Paint <input type="checkbox"/> White- medium intensity <input type="checkbox"/> White- high intensity <input checked="" type="checkbox"/> Dual- red & medium intensity white <input type="checkbox"/> Dual- red & high intensity white <input type="checkbox"/> Other			
LATITUDE 36° 57' 56.09 "		LONGITUDE 85° 25' 52.54 "		DATUM <input checked="" type="checkbox"/> NAD83 <input type="checkbox"/> NAD27 <input type="checkbox"/> Other	
NEAREST KENTUCKY City ^{Breeding} County ^{Adair}		NEAREST KENTUCKY PUBLIC USE OR MILITARY AIRPORT 196 COLUMBIA-ADAIR CO			
SITE ELEVATION (AMSL, feet) 1079'		TOTAL STRUCTURE HEIGHT (AGL, feet) 240'		CURRENT (FAA aeronautical study #) 2019-ASO-13174-OE	
OVERALL HEIGHT (site elevation plus total structure height, feet) 1319'				PREVIOUS (FAA aeronautical study #)	
DISTANCE (from nearest Kentucky public use or Military airport to structure) 8.23 NM				PREVIOUS (KY aeronautical study #)	
DIRECTION (from nearest Kentucky public use or Military airport to structure) North-East					
DESCRIPTION OF LOCATION (Attach USGS 7.5 minute quadrangle map or an airport layout drawing with the precise site marked and any certified survey.) 1A and Quad attached					
DESCRIPTION OF PROPOSAL AT&T proposes to construct a 235' cell tower with a 5' lightning rod for an overall height of 240'.					
FAA Form 7460-1 (Has the "Notice of Construction or Alteration" been filed with the Federal Aviation Administration?) <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes, when? 6/27/2019					
CERTIFICATION (I hereby certify that all the above entries, made by me, are true, complete, and correct to the best of my knowledge and belief.)					
PENALTIES (Persons failing to comply with KRS 183.861 to 183.990 and 602 KAR 050 are liable for fines and/or imprisonment as set forth in KRS 183.990(3). Noncompliance with FAA regulations may result in further penalties.)					
NAME Michelle Ward	TITLE Sr. Real Estate Mgr.	SIGNATURE 		DATE 9/9/2019	
COMMISSION ACTION <input type="checkbox"/> Chairperson, KAZC <input type="checkbox"/> Administrator, KAZC					
<input type="checkbox"/> Approved <input type="checkbox"/> Disapproved	SIGNATURE		DATE		

EXHIBIT G
GEOTECHNICAL REPORT

Date: October 8, 2019

POD Job Number: 18-28287

GEOTECHNICAL REPORT

BREEDING FN

(14365226)

**36° 57' 56.09" N
85° 25' 52.54" W**

527 Breeding Loop Road,
Breeding, KY 42715

Prepared For:



Prepared By:





October 8, 2019

Ms. Michelle Ward
AT&T
534 Armory Place
4th Floor
Louisville, KY 40202

Re: Geotechnical Report – **PROPOSED 235' SELF-SUPPORT TOWER w/ 5' LIGHTNING ARRESTOR**
Site Name: **BREEDING FN (14365226)**
Site Address: 527 Breeding Loop Road, Breeding, Adair County, Kentucky
Coordinates: N36° 57' 56.09", W85° 25' 52.54"
POD Project No. 18-28287

Dear Ms. Ward:

Attached is our geotechnical engineering report for the referenced project. This report contains our findings, an engineering interpretation of these findings with respect to the available project characteristics, and recommendations to aid design and construction of the tower and equipment support foundations.

We appreciate the opportunity to be of service to you on this project. If you have any questions regarding this report, please contact our office.

Cordially,

A handwritten signature in blue ink that reads "Mark Patterson".

Mark Patterson, P.E.
Project Engineer
License No.: KY 16300



Copies submitted: (3) Ms. Michelle Ward

LETTER OF TRANSMITTAL

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APPENDIX

BORING LOCATION PLAN
BORING LOGS
SOIL SAMPLE CLASSIFICATION

Geotechnical Report

BREEDING FN
October 8, 2019

Geotechnical Report
PROPOSED 235' SELF-SUPPORT TOWER w/ 5' LIGHTNING ARRESTOR

Site Name: **BREEDING FN (14365226)**
527 Breeding Loop Road, Breeding, Adair County, Kentucky
N36° 57' 56.09", W85° 25' 52.54"

1. PURPOSE AND SCOPE

The purpose of this study was to determine the general subsurface conditions at the site of the proposed tower by drilling three borings and to evaluate this data with respect to foundation concept and design for the proposed tower and shelter. Also included is an evaluation of the site with respect to potential construction problems and recommendations dealing with quality control during construction.

2. PROJECT CHARACTERISTICS

AT&T is proposing to construct a self-support tower and either an equipment shelter, slab or platform at N36° 57' 56.09", W85° 25' 52.54", 527 Breeding Loop Road, Breeding, Adair County, Kentucky. The site is located in an open farm field just north of the small town of Breeding. The proposed lease area will be 10,000 square feet and will be accessed along a new access road running east from Breeding Loop Road to the proposed lease area. The elevation at the proposed tower location is about EL 1079 and there about 6-feet of change in elevation across the proposed lease area. The development will also include a small equipment shelter near the base of the tower. The proposed tower location is shown on the Boring Location Plan in the Appendix.

3. SUBSURFACE CONDITIONS

The subsurface conditions were explored by drilling three test borings near the base of the proposed tower. The Geotechnical Soil Test Boring Logs, which are included in the Appendix, describes the materials and conditions encountered. A sheet defining the terms and symbols used on the boring logs is also included in the Appendix. The general subsurface conditions disclosed by the test borings are discussed in the following paragraphs.

According to the Kentucky Geological Survey, Kentucky Geologic Map Information Services, the site is underlain by the Mississippian age Salem and Warsaw Limestone. This formation consists of limestone with siltstone and sandstone and has a medium karst potential. There are several large sinkholes mapped within about one-half mile of the site. The Adair County area is karst and it is an inherited risk in building in the area.

The borings encountered about 6 inches of topsoil at the existing ground surface. Below the topsoil, the borings encountered silty clay (CL-CH) of medium to high plasticity. The SPT N-values in the clay soil were between 17 to 32 blows per foot (bpf) generally indicating a very stiff consistency. The borings met with auger refusal at depths ranging

Geotechnical Report

BREEDING FN
October 8, 2019

from 12.4 to 13.9 feet. Auger refusal is defined as the depth at which the boring can no longer be advanced using the current drilling method.

The refusal material was cored in Boring B-1 from 13.9 to 28.9 feet below the ground surface. Limestone that was moderately hard, weathered and bluish gray that became hard and only slightly weathered at about 20 feet was encountered. The recoveries of the cores were 53, 93 and 100 percent with RQD values of 25, 76 and 83 percent. These values generally represent fair to good quality rock from a foundation support viewpoint.

Observations made at the completion of soil drilling operations indicated the borings to be dry. It must be noted, however, that short-term water readings in test borings are not necessarily a reliable indication of the actual groundwater level. Furthermore, it must be emphasized that the groundwater level is not stationary but will fluctuate seasonally.

Based on the limited subsurface conditions encountered at the site and using Table 1615.1.1 of the 2018 Kentucky Building Code, the site class is considered "C". Seismic design requirements for telecommunication towers are given in section 1622 of the code. A detailed seismic study was beyond the scope of this report.

4. FOUNDATION DESIGN RECOMMENDATIONS

The following design recommendations are based on the previously described project information, the subsurface conditions encountered in our borings, the results of our laboratory testing, empirical correlations for the soil types encountered, our analyses, and our experience. If there is any change in the project criteria or structure location, you should retain us to review our recommendations so that we can determine if any modifications are required. The findings of such a review can then be presented in a supplemental report or addendum.

We recommend that the geotechnical engineer be retained to review the near-final project plans and specifications, pertaining to the geotechnical aspects of the project, prior to bidding and construction. We recommend this review to check that our assumptions and evaluations are appropriate based on the current project information provided to us, and to check that our foundation and earthwork recommendations were properly interpreted and implemented.

4.1. Proposed Tower

Our findings indicate that the proposed self-support tower can be supported on drilled piers or on a common mat foundation.

4.1.1. Drilled Piers

The following table summarizes the recommended values for use in analyzing lateral and frictional resistance for the various strata encountered at the test boring. It is important to note that these values are estimated based on the standard penetration test results and soil types and were not directly measured. The all values provided are ultimate values and appropriate factors of safety should be used in conjunction with these values. If the piers will bear deeper than about 29 feet, a deeper boring should be drilled to determine the nature of the deeper material.

Depth Below Ground Surface, feet	0 - 2	2 - 13	13 - 20	20 - 29
Ultimate Bearing Pressure (psf)		11,050	83,000	160,000
C Undrained Shear Strength, psf	500	2,000	15,000	30,000
ϕ Angle of Internal Friction degrees	0	0	0	0
Total Unit Weight, pcf	120	120	135	135
Soil Modulus Parameter k, pci	30	1000	2000	2000
Passive Soil Pressure, psf/one foot of depth		1,250 + 40(D-2)	10,000 + 45(D-13)	20,000 + 45(D-20)
Side Friction, psf		500	1200	1500

Note: D = Depth below ground surface (in feet) to point at which the passive pressure is calculated.

It is important that the drilled piers be installed by an experienced, competent drilled pier contractor who will be responsible for properly installing the piers in accordance with industry standards and generally accepted methods, without causing deterioration of the subgrade. The recommendations contained herein relate only to the soil-pier interaction and do not account for the structural design of the piers.

4.1.2. Mat Foundation

The tower could be supported on a common mat foundation bearing on the clay at a minimum of 4 feet can be designed using an allowable soil pressure of 4,500 pounds per square foot may be used. This value may be increased by 30 percent for the maximum edge pressure under transient loads. A friction value of 0.30 may be used between the concrete and the clay soil. The passive pressures given for the drilled pier foundation may be used to resist lateral forces.

It is important that the mat be designed with an adequate factor of safety with regard to overturning under the maximum design wind load.

4.2. Equipment Platform

An equipment platform may be supported on shallow piers bearing in the natural clay and designed for a net allowable soil pressure of 3,000 pounds per square foot. The piers should bear at a depth of at least 24 inches to minimize the effects of frost action. All existing topsoil or soft natural soil should be removed beneath footings.

4.3. Equipment Slab

A concrete slab supporting the equipment must be supported on at least 6-inch layer of relatively clean granular material such as gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve. This is to help distribute concentrated loads and equalize moisture conditions beneath the slab. Provided that a minimum of 6 in. of granular material is placed below the slab, a modulus of subgrade reaction (k_{30}) of 120 lbs/cu.in. can be used for design of the slab. All existing topsoil or soft natural soil should be removed beneath crushed stone layer.

4.4. Equipment Building

If an equipment building support on a slab is chosen in place of the equipment platform, it may be supported on shallow spread footings bearing in the natural clay soil and designed for a net allowable soil pressure of 3,000 pounds per square foot.

Geotechnical Report

BREEDING FN
October 8, 2019

The footings should be at least ten inches wide. If the footings bear on soil, they should bear at a depth of at least 24 inches to minimize the effects of frost action. All existing topsoil or soft natural soil should be removed beneath footings.

The floor slab for the new equipment building can be supported on firm natural soils or on new compacted structural fill. Floor slabs must be supported on at least 4-inch layer of relatively clean granular material such as gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve. This is to help distribute concentrated loads and equalize moisture conditions beneath the slab. Provided that a minimum of 4 in. of granular material is placed below the slab, a modulus of subgrade reaction (k_{30}) of 120 lbs/cu.in. can be used for design of the floor slabs.

4.5. Drainage and Groundwater Considerations

Good site drainage must be provided. Surface run-off water should be drained away from the tower and platform and not allowed to pond. It is recommended that all foundation concrete be placed the same day the excavation is made.

At the time of this investigation, groundwater was not encountered. Therefore, no special provisions regarding groundwater control are considered necessary for shallow foundations. Any seepage should be able to be pumped with sumps.

5. GENERAL CONSTRUCTION PROCEDURES AND RECOMMENDATIONS

It is possible that variations in subsurface conditions will be encountered during construction. Although only minor variations that can be readily evaluated and adjusted for during construction are anticipated, it is recommended the geotechnical engineer, or a qualified representative be retained to perform continuous inspection and review during construction of the soils-related phases of the work. This will permit correlation between the test boring data and the actual soil conditions encountered during construction.

5.1 Drilled Piers

The following recommendations are recommended for drilled pier construction:

- ▲ All piers must be poured the same day drilling is completed so that any shale is not allowed to swell. Clean the foundation bearing area so it is nearly level or suitably benched and is free of ponded water or loose material.

- ▲ Make provisions for ground water removal from the drilled shaft excavation. While the borings were dry prior to rock coring and significant seepage is not anticipated, the drilled pier contractor should have pumps on hand to remove water in the event seepage into the drilled pier is encountered.
- ▲ Specify concrete slumps ranging from 4 to 7 inches for the drilled shaft construction. These slumps are recommended to fill irregularities along the sides and bottom of the drilled hole, displace water as it is placed, and permit placement of reinforcing cages into the fluid concrete.
- ▲ Retain the geotechnical engineer to observe foundation excavations after the bottom of the hole is leveled, cleaned of any mud or extraneous material, and dewatered.
- ▲ Install a temporary protective steel casing to prevent side wall collapse, prevent excessive mud and water intrusion in the drilled shaft.
- ▲ The protective steel casing may be extracted as the concrete is placed provided a sufficient head of concrete is maintained inside the steel casing to prevent soil or water intrusion into the newly placed concrete.
- ▲ Direct the concrete placement into the drilled hole through a centering chute to reduce side flow or segregation.

5.2 Fill Compaction

All engineered fill placed adjacent to and above the tower foundation should be compacted to a dry density of at least 95 percent of the standard Proctor maximum dry density (ASTM D-698). This minimum compaction requirement should be increased to 98 percent for any fill placed below the tower foundation bearing elevation. Any fill placed beneath the tower foundation should be limited to well-graded sand and gravel or crushed stone. The compaction should be accomplished by placing the fill in about 8 inch (or less) loose lifts and mechanically compacting each lift to at least the specified minimum dry density. Field density tests should be performed on each lift as necessary to ensure that adequate moisture conditioning and compaction is being achieved.

Compaction by flooding is not considered acceptable. This method will generally not achieve the desired compaction and the large quantities of water will tend to soften the foundation soils.

5.3 Construction Dewatering

If groundwater is encountered in the shallow foundations, it should be minor and can be handled by conventional

Geotechnical Report

BREEDING FN
October 8, 2019

dewatering methods such as pumping from sumps.

If groundwater is encountered in the drilled pier excavations, it may be more difficult since pumping directly from the excavations could cause a deterioration of the bottom of the excavation. If the pier excavations are not dewatered, concrete should be placed by the termie method. If groundwater sits on the bottom of the foundation for longer than an hour, the bottom should be cleaned again before the pier is poured.

6. FIELD INVESTIGATION

Three soil test borings were drilled near the base of the proposed tower. Split-spoon samples were obtained by the Standard Penetration Test (SPT) procedure (ASTM D1586) in all test borings. The borings encountered auger refusal between about 12.4 and 13.9 feet. A sample of the refusal material was cored in Boring B-1 from 13.9 to 28.1 feet below the ground surface. The split-spoon samples were inspected and visually classified by a geotechnical engineer. Representative portions of the soil samples were sealed in glass jars and returned to our laboratory.

The boring logs are included in the Appendix along with a sheet defining the terms and symbols used on the logs and an explanation of the Standard Penetration Test (SPT) procedure. The logs present visual descriptions of the soil strata encountered, Unified System soil classifications, groundwater observations, sampling information, laboratory test results, and other pertinent field data and observations.

7. WARRANTY AND LIMITATIONS OF STUDY

Our professional services have been performed, our findings obtained, and our recommendations prepared in accordance with generally accepted geotechnical engineering principles and practices. This warranty is in lieu of all other warranties, either express or implied. POD Group is not responsible for the independent conclusions, opinions or recommendations made by others based on the field exploration and laboratory test data presented in this report.

A geotechnical study is inherently limited since the engineering recommendations are developed from information obtained from test borings, which depict subsurface conditions only at the specific locations, times and depths shown on the log. Soil conditions at other locations may differ from those encountered in the test borings, and the passage of time may cause the soil conditions to change from those described in this report.

The nature and extent of variation and change in the subsurface conditions at the site may not become evident until the course of construction. Construction monitoring by the geotechnical engineer or a representative is therefore considered necessary to verify the subsurface conditions and to check that the soils connected construction phases are properly completed. If significant variations or changes are in evidence, it may then be necessary to reevaluate the

Geotechnical Report

BREEDING FN
October 8, 2019

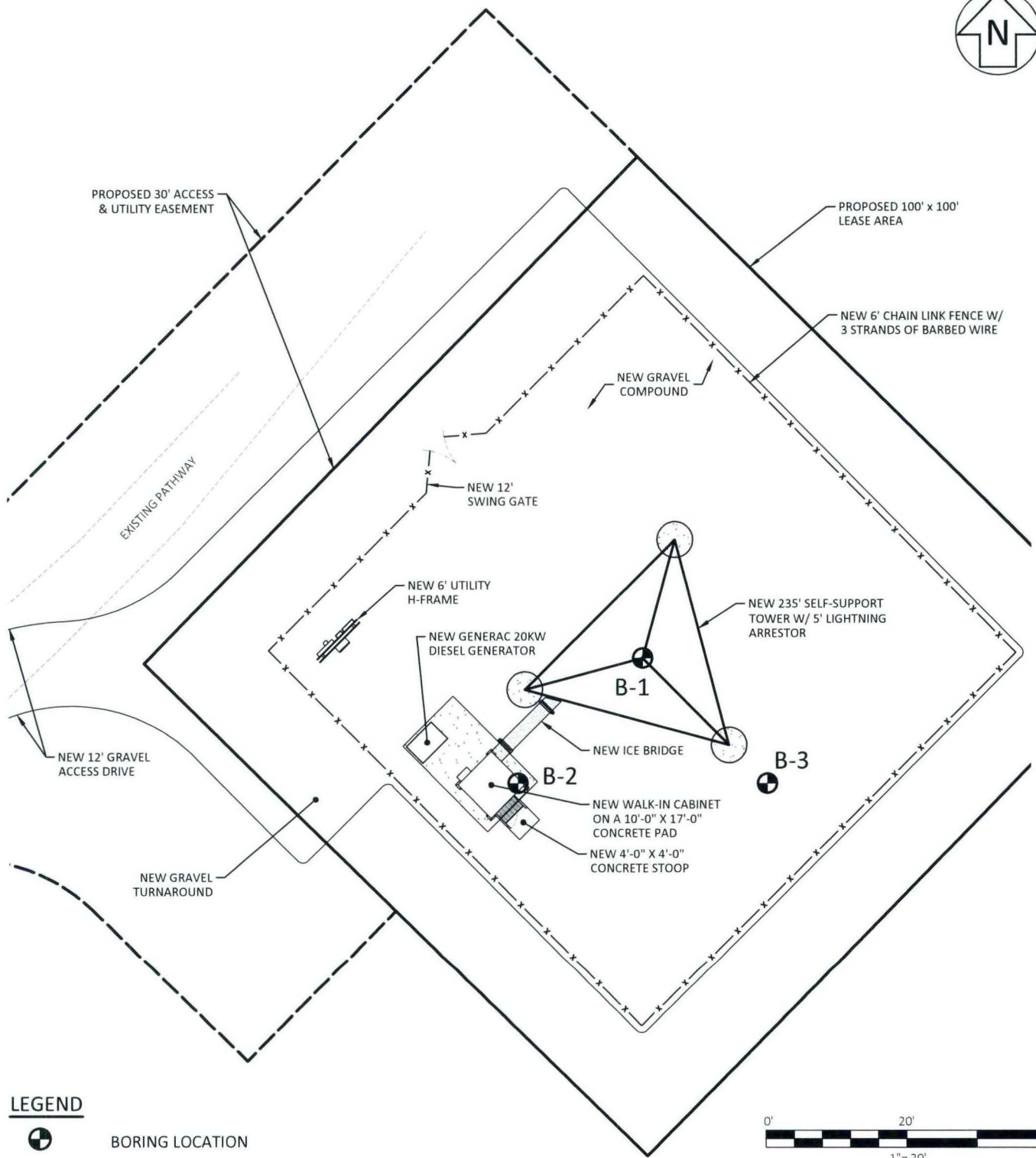
recommendations of this report. Furthermore, if the project characteristics are altered significantly from those discussed in this report, if the project information contained in this report is incorrect, or if additional information becomes available, a review must be made by this office to determine if any modification in the recommendations will be required.

APPENDIX

BORING LOCATION PLAN

BORING LOGS

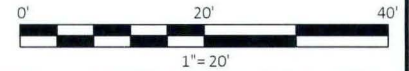
SOIL SAMPLE CLASSIFICATION



LEGEND



BORING LOCATION



SHEET TITLE: BORING LOCATION PLAN	FA NUMBER: 14365226	SITE INFORMATION: BREEDING FN 527 BREEDING LOOP BREEDING, KY 42715 ADAIR COUNTY	PREPARED BY:  POWER OF DESIGN 11490 BLUEGRASS PKWY LOUISVILLE, KY 40299 502-437-5252
	LATITUDE: 36° 57' 56.09" LONGITUDE: -85° 25' 52.54"		PREPARED FOR: 
SHEET NUMBER: 1	POD NUMBER: 18-28287 DRAWN BY: KDP CHECKED BY: MEP DATE: 10.8.2019		



Boring Log

Boring: B-1

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Project: Breeding FN

City, State

Breeding, KY

Method: S.F. A.	Boring Date: 4-Oct-19	Location: Tower Center
Inside Diameter: 4"	Drill Rig Type: D - 50	Hammer Type: Auto
Groundwater: DRY		Weather:
Driller: Strata Group, LLC		
Note: About 6 inches of topsoil was encountered at the existing ground surface		

From (ft)	To (ft)	Material Description	Sample Depth (ft)	Sample Type	Blows per 6-inch increment	Recovery (in)	SPT-N value	Rock Quality (RQD, %)	Atterberg Limits	Moisture Content (%)	% Fines (clay & silt)	Unconfined Compressive Strength, (ksf)
0.5	13.9	SILTY CLAY (CL-CH) - very stiff, dry, tan-brown mottled - slightly moist, orange tan-light gray mottled	0-1.5	SS	8, 10, 10	3	20,			17%		-
			1- 2.5	SS	6, 10, 9	2	19,			18%		6.0
	4.0		4 - 5.5	SS	8, 10, 12	6	22,			26%		4.1
			6.5 - 8	SS	13, 17, 19	14	36,			21%		4.3
			9 - 10.5	SS	9, 12, 12	2	24,			24%		4.4
13.9	28.9	LIMESTONE - moderately hard, weathered, bluish gray - hard slightly weathered	13.9-18.9	RC		32		25%				
	20.0		18.9-23.9	RC		56		76%				
			23.9-28.9	RC		60		83%				
		Boring Terminated at 28.9										



Boring Log

Boring: B-2

Page 1 of 1

Project: Breeding FN

City, State

Breeding, KY

Method: S.F. A.

Boring Date: 4-Oct-19

Location: Tower Center

Inside Diameter: 4"

Drill Rig Type: D - 50

Hammer Type: Auto

Groundwater: DRY

Weather:

Driller: Strata Group, LLC

Note: About 6 inches of topsoil was encountered at the existing ground surface

From (ft)	To (ft)	Material Description	Sample Depth (ft)	Sample Type	Blows per 6-inch increment	Recovery (in)	SPT-N value	Rock Quality (RQD, %)	Atterberg Limits	Moisture Content (%)	% Fines (clay & silt)	Unconfined Compressive Strength, (ksf)
0.5	12.4	SILTY CLAY (CL-CH) - very stiff, dry, tan-brown mottled - slightly moist, orange tan-light gray mottled	0-1.5	SS	8, 9, 10	2	19,			15%		--
			1- 2.5	SS	9, 9, 9	3	18,			16%		6.0
			4 - 5.5	SS	10, 11, 11	8	22,			22%		6.0
			6.5 - 8	SS	12, 15, 17	10	32,			26%		5.4
			9 - 10.5	SS	10, 12, 9	15	21,			18%		6.0
		Auger Refusal at 12.4										



Boring Log

Boring: B-3

Page 1 of 1

Project: Breeding FN

City, State

Breeding, KY

Method: S.F. A.	Boring Date: 4-Oct-19	Location: Tower Center
Inside Diameter: 4"	Drill Rig Type: D - 50	Hammer Type: Auto
Groundwater: DRY	Weather:	
Driller: Strata Group, LLC		Note: About 6 inches of topsoil was encountered at the existing ground surface

From (ft)	To (ft)	Material Description	Sample Depth (ft)	Sample Type	Blows per 6-inch increment	Recovery (in)	SPT-N value	Rock Quality (RQD, %)	Atterberg Limits	Moisture Content (%)	% Fines (clay & silt)	Unconfined Compressive Strength, (ksf)
0.5	13.1	SILTY CLAY (CL-CH) - very stiff, dry, tan-brown mottled - slightly moist - orange tan -olive gray mottled	0-1.5	SS	9, 9, 11	3	20,			8%		-
			1- 2.5	SS	8, 10, 7	5	17,			21%		6.0
			4 - 5.5	SS	11, 10, 12	10	22,			28%		6.0
6.5			6.5 - 8	SS	14, 16, 16	12	32,			32%		4.6
9.0			9 - 10.5	SS	11, 9, 9	18	18,			18%		
Auger Refusal at 13.1												

SOIL SAMPLE CLASSIFICATION

FINE AND COARSE GRAINED SOIL INFORMATION

COARSE GRAINED SOILS (SANDS & GRAVELS)		FINE GRAINED SOILS (SILTS & CLAYS)			PARTICLE SIZE	
<u>N</u>	<u>Relative Density</u>	<u>N</u>	<u>Consistency</u>	<u>Qu, KSF</u> <u>Estimated</u>		
0-4	Very Loose	0-1	Very Soft	0-0.5	Boulders	Greater than 300 mm (12 in)
5-10	Loose	2-4	Soft	0.5-1	Cobbles	75 mm to 300 mm (3 to 12 in)
11-20	Firm	5-8	Firm	1-2	Gravel	4.74 mm to 75 mm (3/16 to 3 in)
21-30	Very Firm	9-15	Stiff	2-4	Coarse Sand	2 mm to 4.75 mm
31-50	Dense	16-30	Very Stiff	4-8	Medium Sand	0.425 mm to 2 mm
Over 50	Very Dense	Over 31	Hard	8+	Fine Sand	0.075 mm to 0.425 mm
					Silts & Clays	Less than 0.075 mm

The **STANDARD PENETRATION TEST** as defined by ASTM D 1586 is a method to obtain a disturbed soil sample for examination and testing and to obtain relative density and consistency information. A standard 1.4-inch I.D./2-inch O.D. split-barrel sampler is driven three 6-inch increments with a 140 lb. hammer falling 30 inches. The hammer can either be of a trip, free-fall design, or actuated by a rope and cathead. The blow counts required to drive the sampler the final two increments are added together and designate the N-value defined in the above tables.

ROCK PROPERTIES

ROCK QUALITY DESIGNATION (RQD)		ROCK HARDNESS	
<u>Percent RQD</u>	<u>Quality</u>		
0-25	Very Poor	Very Hard:	Rock can be broken by heavy hammer blows.
25-50	Poor	Hard:	Rock cannot be broken by thumb pressure, but can be broken by moderate hammer blows.
50-75	Fair	Moderately Hard:	Small pieces can be broken off along sharp edges by considerable hard thumb pressure; can be broken with light hammer blows.
75-90	Good	Soft:	Rock is coherent but breaks very easily with thumb pressure at sharp edges and crumbles with firm hand pressure.
90-100	Excellent	Very Soft:	Rock disintegrates or easily compresses when touched; can be hard to very hard soil.

Recovery =	$\frac{\text{Length of Rock Core Recovered}}{\text{Length of Core Run}} \times 100$	63 REC	<u>Core Diameter</u>	<u>Inches</u>
		NQ	BQ	1-7/16
		43 RQD	NQ	1-7/8
			HQ	2-1/2
RQD =	$\frac{\text{Sum of 4 in. and longer Rock Pieces Recovered}}{\text{Length of Core Run}} \times 100$			

SYMBOLS

KEY TO MATERIAL TYPES

SOILS	
Group Symbols	Typical Names
GW	Well graded gravel - sand mixture, little or no fines
GP	Poorly graded gravels or gravel - sand mixture, little or no fines
GM	Silty gravels, gravel - sand silt mixtures
GC	Clayey gravels, gravel - sand - clay mixtures
SW	Well graded sands, gravelly sands, little or no fines
SP	Poorly graded sands or gravelly sands, little or no fines
SM	Silty sands, sand - silt mixtures
SC	Clayey sands, sand - clay mixtures
ML	Inorganic silts and very fine sands, rock flour, silty or clayey fine sands, or clayey silts
OL	Organic silts and organic silty clays of low plasticity
CL	Inorganic clays of low range plasticity, gravelly clays, sandy clays, silty clays, lean clays
MH	Inorganic silts, micaceous or diatomaceous fine sandy or silty soils, elastic silts
CH	Inorganic clays of high range plasticity, fat clays

ROCKS	
Symbols	Typical Names
	Limestone or Dolomite
	Shale
	Sandstone

SOIL PROPERTY SYMBOLS

- N: Standard Penetration, BPF
- M: Moisture Content, %
- LL: Liquid Limit, %
- PI: Plasticity Index, %
- Qp: Pocket Penetrometer Value, TSF
- Qu: Unconfined Compressive Strength Estimated Qu, TSF
- γ_D : Dry Unit Weight, PCF
- F: Fines Content

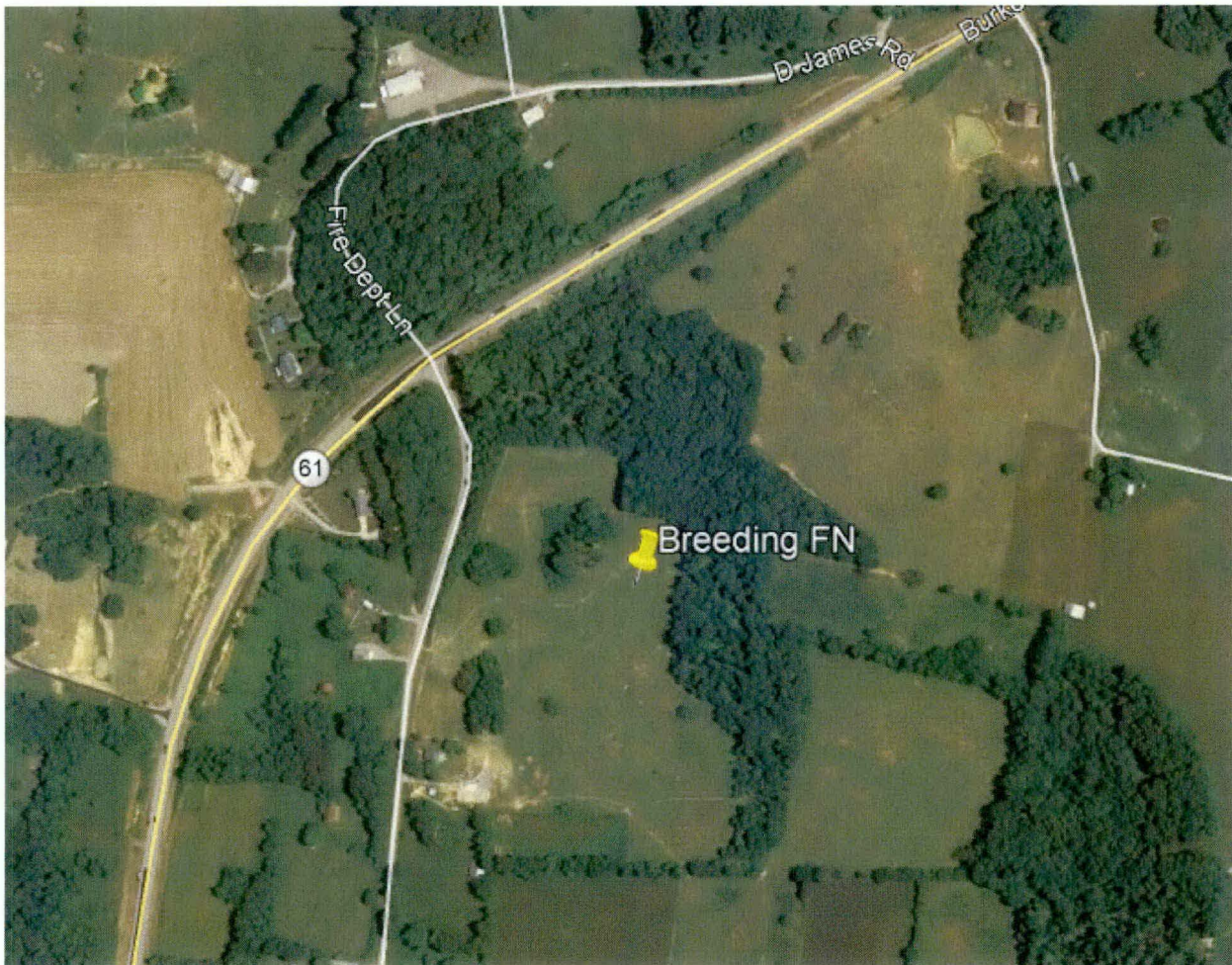
SAMPLING SYMBOLS

- SS Split Spoon Sample
- Relatively Undisturbed Sample
- Rock Core Sample

EXHIBIT H
DIRECTIONS TO WCF SITE

Driving Directions to Proposed Tower Site

1. Beginning at 424 Public Square #1, Columbia, KY, head northwest toward Campbellsville St. and travel approximately 240 feet.
2. Exit the traffic circle onto Burkesville Street and travel for approximately 8.4 miles.
3. Continue onto KY-61 and travel approximately 3.9 miles.
4. Turn left onto Breeding Loop / Old Hwy 61 and travel approximately 0.2 miles.
5. The site is on the left at 527 Breeding Loop, Breeding, KY 42715
6. The site coordinates are:
 - a. North 36 deg 57 min 56.09 sec
 - b. West 85° deg 25 min 52.54 sec



Prepared by:
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EXHIBIT I
COPY OF REAL ESTATE AGREEMENT

Market: Louisville
Cell Site Name: Breeding FN
Search Ring Name: Breeding
Fixed Asset Number: 14365226

OPTION AND LAND LEASE AGREEMENT

THIS OPTION AND LAND LEASE AGREEMENT (“**Agreement**”), dated as of the latter of the signature dates below (the “**Effective Date**”), is entered into by Brandon Harvey and Laura Ashley Harvey, Husband and Wife, having a mailing address of 245 Breeding Loop, Breeding, KY 42715 (“**Landlord**”) and New Cingular Wireless PCS, LLC, a Delaware limited liability company, having a mailing address of 575 Morosgo Drive, Atlanta, GA 30324 (“**Tenant**”).

BACKGROUND

Landlord owns or controls that certain plot, parcel or tract of land, as described on **Exhibit 1**, together with all rights and privileges arising in connection therewith, located at 527 Breeding Loop, in the County of Adair, State of Kentucky (collectively, the “**Property**”). Landlord desires to grant to Tenant the right to use a portion of the Property in accordance with this Agreement.

The parties agree as follows:

1. OPTION TO LEASE.

(a) Landlord grants to Tenant an exclusive option (the “**Option**”) to lease a certain portion of the Property containing approximately 10,000 square feet including the air space above such ground space, as described on attached **Exhibit 1**, (the “**Premises**”), for the placement of a Communication Facility in accordance with the terms of this Agreement.

(b) During the Option Term, and during the Term, Tenant and its agents, engineers, surveyors and other representatives will have the right to enter upon the Property to inspect, examine, conduct soil borings, drainage testing, material sampling, radio frequency testing and other geological or engineering tests or studies of the Property (collectively, the “**Tests**”), to apply for and obtain licenses, permits, approvals, or other relief required of or deemed necessary or appropriate at Tenant’s sole discretion for its use of the Premises and include, without limitation, applications for zoning variances, zoning ordinances, amendments, special use permits, and construction permits (collectively, the “**Government Approvals**”), initiate the ordering and/or scheduling of necessary utilities, and otherwise to do those things on or off the Property that, in the opinion of Tenant, are necessary in Tenant’s sole discretion to determine the physical condition of the Property, the environmental history of the Property, Landlord’s title to the Property and the feasibility or suitability of the Property for Tenant’s Permitted Use, all at Tenant’s expense. Tenant will not be liable to Landlord or any third party on account of any pre-existing defect or condition on or with respect to the Property, whether or not such defect or condition is disclosed by Tenant’s inspection. Tenant will restore the Property to its condition as it existed at the commencement of the Option Term, reasonable wear and tear and loss by casualty or other causes beyond Tenant’s control excepted.

(c) In consideration of Landlord granting Tenant the Option, Tenant agrees to pay Landlord the sum of [REDACTED] within sixty (60) business days after the Effective Date. The Option may be exercised during an initial term of one (1) year commencing on the Effective Date (the “**Initial Option Term**”) which term may be renewed by Tenant for an additional one (1) year (the “**Renewal Option Term**”) upon written notification to Landlord and the payment of an additional one thousand and [REDACTED] no later than five (5) days prior to the expiration date of the Initial Option Term. The Initial Option Term and any Renewal Option Term are collectively referred to as the “**Option Term**.”

(d) The Option may be sold, assigned or transferred at any time by Tenant without the written consent of Landlord. Upon notification to Landlord of such sale, assignment or transfer, Tenant shall immediately be released from any and all liability under this Agreement, including the payment of any rental or other sums due, without any further action.

(e) During the Option Term, Tenant may exercise the Option by notifying Landlord in writing. If Tenant exercises the Option, then Landlord leases the Premises to Tenant subject to the terms and conditions of this Agreement. If Tenant does not exercise the Option during the Initial Option Term or any extension thereof, then this Agreement will terminate and the parties will have no further liability to each other.

(f) If during the Option Term, or during the Term if the Option is exercised, Landlord decides to subdivide, sell, or change the status of the zoning of the Premises or the Property or any of Landlord's contiguous, adjoining or surrounding property (the "Surrounding Property"), or in the event of a threatened foreclosure on any of the foregoing, Landlord shall immediately notify Tenant in writing. Landlord agrees that during the Option Term, or during the Term if the Option is exercised, Landlord shall not initiate or consent to any change in the zoning of the Premises or the Property or impose or consent to any other use or restriction that would prevent or limit Tenant from using the Premises for the Permitted Use. Any and all terms and conditions of this Agreement that by their sense and context are intended to be applicable during the Option Term shall be so applicable.

2. **PERMITTED USE.** Tenant may use the Premises for the transmission and reception of communications signals and the installation, construction, maintenance, operation, repair, replacement and upgrade of communications fixtures and related equipment, cables, accessories and improvements, which may include a suitable support structure ("Structure"), associated antennas, equipment shelters or cabinets and fencing and any other items necessary to the successful and secure use of the Premises (the "Communication Facility"), as well as the right to test, survey and review title on the Property; Tenant further has the right but not the obligation to add, modify and/or replace equipment in order to be in compliance with any current or future federal, state or local mandated application, including, but not limited to, emergency 911 communication services, at no additional cost to Tenant or Landlord (collectively, the "Permitted Use"). Landlord and Tenant agree that any portion of the Communication Facility that may be conceptually described on **Exhibit 1** will not be deemed to limit Tenant's Permitted Use. If **Exhibit 1** includes drawings of the initial installation of the Communication Facility, Landlord's execution of this Agreement will signify Landlord's approval of **Exhibit 1**. For a period of ninety (90) days following the start of construction, Landlord grants Tenant, its subtenants, licensees and sublicensees, the right to use such portions of the Property as may reasonably be required during construction and installation of the Communication Facility. Tenant has the right to install and operate transmission cables from the equipment shelter or cabinet to the antennas, electric lines from the main feed to the equipment shelter or cabinet and communication lines from the Property's main entry point to the equipment shelter or cabinet, install a generator and to make other improvements, alterations, upgrades or additions appropriate for Tenant's Permitted Use, including the right to construct a fence around the Premises or equipment, install warning signs to make individuals aware of risks, install protective barriers, install any other control measures reasonably required by Tenant's safety procedures or applicable law, and undertake any other appropriate means to secure the Premises or equipment at Tenant's expense. Tenant has the right to modify, supplement, replace, upgrade, expand the Communication Facility (including, for example, increasing the number of antennas or adding microwave dishes) or relocate the Communication Facility within the Premises at any time during the Term, at Tenant's sole cost, but with no additional rent payable. Tenant will be allowed to make such alterations to the Property in order to ensure that the Communication Facility complies with all applicable federal, state or local laws, rules or regulations.

3. **TERM.**

(a) The initial lease term will be five (5) years (the "Initial Term"), commencing on the effective date of written notification by Tenant to Landlord of Tenant's exercise of the Option (the "Term Commencement Date"). The Initial Term will terminate on the fifth (5th) anniversary of the Term Commencement Date.

(b) This Agreement will automatically renew for seventeen (17) additional five (5) year term(s) (each additional five (5) year term shall be defined as an "Extension Term"), upon the same terms and conditions set

forth herein unless Tenant notifies Landlord in writing of Tenant's intention not to renew this Agreement at least sixty (60) days prior to the expiration of the Initial Term or the then-existing Extension Term.

(c) Unless (i) Landlord or Tenant notifies the other in writing of its intention to terminate this Agreement at least six (6) months prior to the expiration of the final Extension Term, or (ii) the Agreement is terminated as otherwise permitted by this Agreement prior to the end of the final Extension Term, this Agreement shall continue in force upon the same covenants, terms and conditions for a further term of one (1) year, and for annual terms thereafter ("**Annual Term**") until terminated by either party hereto by giving to the other party hereto written notice of its intention to so terminate at least six (6) months prior to the end of any such Annual Term. Monthly rent during such Annual Terms shall be equal to the Rent paid for the last month of the final Extension Term. If Tenant remains in possession of the Premises after the termination of this Agreement, then Tenant will be deemed to be occupying the Premises on a month-to-month basis (the "**Holdover Term**"), subject to the terms and conditions of this Agreement.

(d) The Initial Term, any Extension Terms, any Annual Terms and any Holdover Term are collectively referred to as the "**Term**."

4. RENT.

(a) Commencing on the first day of the month following the date that Tenant commences construction (the "**Rent Commencement Date**"), Tenant will pay Landlord on or before the fifth (5th) day of each calendar month in advance, [REDACTED] (the "**Rent**"), at the address set forth above. In any partial month occurring after the Rent Commencement Date, the Rent will be prorated. The initial Rent payment will be forwarded by Tenant to Landlord within forty-five (45) days after the Rent Commencement Date.

(b) Upon the commencement of each Extension Term, the monthly Rent will increase by [REDACTED] over the Rent paid during the previous five (5) year term.

(c) All charges payable under this Agreement such as utilities and taxes shall be billed by Landlord within one (1) year from the end of the calendar year in which the charges were incurred; any charges beyond such period shall not be billed by Landlord, and shall not be payable by Tenant. The foregoing shall not apply to monthly Rent which is due and payable without a requirement that it be billed by Landlord. The provisions of this subsection shall survive the termination or expiration of this Agreement.

5. APPROVALS.

(a) Landlord agrees that Tenant's ability to use the Premises is contingent upon the suitability of the Premises and Property for the Permitted Use and Tenant's ability to obtain and maintain all Government Approvals. Landlord authorizes Tenant to prepare, execute and file all required applications to obtain Government Approvals for the Permitted Use and agrees to reasonably assist Tenant with such applications and with obtaining and maintaining the Government Approvals.

(b) Tenant has the right to obtain a title report or commitment for a leasehold title policy from a title insurance company of its choice and to have the Property surveyed by a surveyor of its choice.

(c) Tenant may also perform and obtain, at Tenant's sole cost and expense, soil borings, percolation tests, engineering procedures, environmental investigation or other tests or reports on, over, and under the Property, necessary to determine if Tenant's use of the Premises will be compatible with Tenant's engineering specifications, system, design, operations or Government Approvals.

6. TERMINATION. This Agreement may be terminated, without penalty or further liability, as follows:

(a) by either party on thirty (30) days prior written notice, if the other party remains in default under Section 15 of this Agreement after the applicable cure periods;

(b) by Tenant upon written notice to Landlord, if Tenant is unable to obtain, or maintain, any required approval(s) or the issuance of a license or permit by any agency, board, court or other governmental authority necessary for the construction or operation of the Communication Facility as now or hereafter intended by Tenant; or if Tenant determines, in its sole discretion that the cost of or delay in obtaining or retaining the same is commercially unreasonable;

(c) by Tenant, upon written notice to Landlord, if Tenant determines, in its sole discretion, due to the title report results or survey results, that the condition of the Premises is unsatisfactory for its intended uses;

(d) by Tenant upon written notice to Landlord for any reason or no reason, at any time prior to commencement of construction by Tenant; or

(e) by Tenant upon sixty (60) days' prior written notice to Landlord for any reason or no reason, so long as Tenant pays Landlord a termination fee equal to three (3) months' Rent, at the then-current rate, provided, however, that no such termination fee will be payable on account of the termination of this Agreement by Tenant under any termination provision contained in any other Section of this Agreement, including the following: Section 5 Approvals, Section 6(a) Termination, Section 6(b) Termination, Section 6(c) Termination, Section 6(d) Termination, Section 11(d) Environmental, Section 18 Condemnation or Section 19 Casualty.

7. **INSURANCE.** During the Option Term and throughout the Term, Tenant will purchase and maintain in full force and effect such general liability policy as Tenant may deem necessary. Said policy of general liability insurance will at a minimum provide a combined single limit of [REDACTED]. Notwithstanding the foregoing, Tenant shall have the right to self-insure such general liability coverage.

8. **INTERFERENCE.**

(a) Prior to or concurrent with the execution of this Agreement, Landlord has provided or will provide Tenant with a list of radio frequency user(s) and frequencies used on the Property as of the Effective Date. Tenant warrants that its use of the Premises will not interfere with those existing radio frequency uses on the Property, as long as the existing radio frequency user(s) operate and continue to operate within their respective frequencies and in accordance with all applicable laws and regulations.

(b) Landlord will not grant, after the Effective Date, a lease, license or any other right to any third party, if the exercise of such grant may in any way adversely affect or interfere with the Communication Facility, the operations of Tenant or the rights of Tenant under this Agreement. Landlord will notify Tenant in writing prior to granting any third party the right to install and operate communications equipment on the Property.

(c) Landlord will not, nor will Landlord permit its employees, tenants, licensees, invitees, agents or independent contractors to interfere in any way with the Communication Facility, the operations of Tenant or the rights of Tenant under this Agreement. Landlord will cause such interference to cease within twenty-four (24) hours after receipt of notice of interference from Tenant. In the event any such interference does not cease within the aforementioned cure period, Landlord shall cease all operations which are suspected of causing interference (except for intermittent testing to determine the cause of such interference) until the interference has been corrected.

(d) For the purposes of this Agreement, "interference" may include, but is not limited to, any use on the Property or Surrounding Property that causes electronic or physical obstruction with, or degradation of, the communications signals from the Communication Facility.

9. **INDEMNIFICATION.**

(a) Tenant agrees to indemnify, defend and hold Landlord harmless from and against any and all injury, loss, damage or liability, costs or expenses in connection with a third party claim (including reasonable attorneys' fees and court costs) arising directly from the installation, use, maintenance, repair or removal of the Communication Facility or Tenant's breach of any provision of this Agreement, except to the extent attributable to the negligent or intentional act or omission of Landlord, its employees, invitees, agents or independent contractors.

(b) Landlord agrees to indemnify, defend and hold Tenant harmless from and against any and all injury, loss, damage or liability, costs or expenses in connection with a third party claim (including reasonable attorneys' fees and court costs) arising directly from the actions or failure to act of Landlord, its employees, invitees, agents or independent contractors, or Landlord's breach of any provision of this Agreement, except to the extent attributable to the negligent or intentional act or omission of Tenant, its employees, agents or independent contractors.

(c) The indemnified party: (i) shall promptly provide the indemnifying party with written notice of any claim, demand, lawsuit, or the like for which it seeks indemnification pursuant to this Section 9 and provide the indemnifying party with copies of any demands, notices, summonses, or legal papers received in connection with such claim, demand, lawsuit, or the like; (ii) shall not settle any such claim, demand, lawsuit, or the like

without the prior written consent of the indemnifying party; and (iii) shall fully cooperate with the indemnifying party in the defense of the claim, demand, lawsuit, or the like. A delay in notice shall not relieve the indemnifying party of its indemnity obligation, except (1) to the extent the indemnifying party can show it was prejudiced by the delay; and (2) the indemnifying party shall not be liable for any settlement or litigation expenses incurred before the time when notice is given.

10. WARRANTIES.

(a) Each of Tenant and Landlord (to the extent not a natural person) each acknowledge and represent that it is duly organized, validly existing and in good standing and has the right, power, and authority or capacity, as applicable, to enter into this Agreement and bind itself hereto through the party or individual set forth as signatory for the party below.

(b) Landlord represents, warrants and agrees that: (i) Landlord solely owns the Property as a legal lot in fee simple, or controls the Property by lease or license; (ii) the Property is not and will not be encumbered by any liens, restrictions, mortgages, covenants, conditions, easements, leases, or any other agreements of record or not of record, which would adversely affect Tenant's Permitted Use and enjoyment of the Premises under this Agreement; (iii) Landlord grants to Tenant sole, actual, quiet and peaceful use, enjoyment and possession of the Premises in accordance with the terms of this Agreement without hindrance or ejection by any persons lawfully claiming under Landlord; (iv) Landlord's execution and performance of this Agreement will not violate any laws, ordinances, covenants or the provisions of any mortgage, lease or other agreement binding on Landlord; and (v) if the Property is or becomes encumbered by a deed to secure a debt, mortgage or other security interest, then Landlord will provide promptly to Tenant a mutually agreeable subordination, non-disturbance and attornment agreement executed by Landlord and the holder of such security interest in the form attached hereto as **Exhibit 10(b)**.

11. ENVIRONMENTAL.

(a) Landlord represents and warrants, except as may be identified in **Exhibit 11** attached to this Agreement, (i) the Property, as of the Effective Date, is free of hazardous substances, including asbestos-containing materials and lead paint, and (ii) the Property has never been subject to any contamination or hazardous conditions resulting in any environmental investigation, inquiry or remediation. Landlord and Tenant agree that each will be responsible for compliance with any and all applicable governmental laws, rules, statutes, regulations, codes, ordinances, or principles of common law regulating or imposing standards of liability or standards of conduct with regard to protection of the environment or worker health and safety, as may now or at any time hereafter be in effect, to the extent such apply to that party's activity conducted in or on the Property.

(b) Landlord and Tenant agree to hold harmless and indemnify the other from, and to assume all duties, responsibilities and liabilities at the sole cost and expense of the indemnifying party for, payment of penalties, sanctions, forfeitures, losses, costs or damages, and for responding to any action, notice, claim, order, summons, citation, directive, litigation, investigation or proceeding ("**Claims**"), to the extent arising from that party's breach of its obligations or representations under Section 11(a). Landlord agrees to hold harmless and indemnify Tenant from, and to assume all duties, responsibilities and liabilities at the sole cost and expense of Landlord for, payment of penalties, sanctions, forfeitures, losses, costs or damages, and for responding to any Claims, to the extent arising from subsurface or other contamination of the Property with hazardous substances prior to the Effective Date or from such contamination caused by the acts or omissions of Landlord during the Term. Tenant agrees to hold harmless and indemnify Landlord from, and to assume all duties, responsibilities and liabilities at the sole cost and expense of Tenant for, payment of penalties, sanctions, forfeitures, losses, costs or damages, and for responding to any Claims, to the extent arising from hazardous substances brought onto the Property by Tenant.

(c) The indemnification provisions contained in this Section 11 specifically include reasonable costs, expenses and fees incurred in connection with any investigation of Property conditions or any clean-up, remediation, removal or restoration work required by any governmental authority. The provisions of this Section 11 will survive the expiration or termination of this Agreement.

(d) In the event Tenant becomes aware of any hazardous materials on the Property, or any environmental, health or safety condition or matter relating to the Property, that, in Tenant's sole determination, renders the condition of the Premises or Property unsuitable for Tenant's use, or if Tenant believes that the leasing or continued leasing of the Premises would expose Tenant to undue risks of liability to a government agency or other third party, then Tenant will have the right, in addition to any other rights it may have at law or in equity, to terminate this Agreement upon written notice to Landlord.

12. ACCESS. At all times throughout the Term of this Agreement, and at no additional charge to Tenant, Tenant and its employees, agents, and subcontractors, will have twenty-four (24) hour per day, seven (7) day per week pedestrian and vehicular access ("Access") to and over the Property, from an open and improved public road to the Premises, for the installation, maintenance and operation of the Communication Facility and any utilities serving the Premises. As may be described more fully in **Exhibit 1**, Landlord grants to Tenant an easement for such Access and Landlord agrees to provide to Tenant such codes, keys and other instruments necessary for such Access at no additional cost to Tenant. Upon Tenant's request, Landlord will execute a separate recordable easement evidencing this right. Landlord shall execute a letter granting Tenant Access to the Property substantially in the form attached as **Exhibit 12**; upon Tenant's request, Landlord shall execute additional letters during the Term. If Tenant elects to utilize an Unmanned Aircraft System ("UAS") in connection with its installation, construction, monitoring, site audits, inspections, maintenance, repair, modification, or alteration activities at the Property, Landlord hereby grants Tenant, or any UAS operator acting on Tenant's behalf, express permission to fly over the applicable Property and Premises, and consents to the use of audio and video navigation and recording in connection with the use of the UAS. Landlord acknowledges that in the event Tenant cannot obtain Access to the Premises, Tenant shall incur significant damage. If Landlord fails to provide the Access granted by this Section 12, such failure shall be a default under this Agreement. In connection with such default, in addition to any other rights or remedies available to Tenant under this Agreement or at law or equity, Landlord shall pay Tenant, as liquidated damages and not as a penalty, [REDACTED] per day in consideration of Tenant's damages until Landlord cures such default. Landlord and Tenant agree that Tenant's damages in the event of a denial of Access are difficult, if not impossible, to ascertain, and the liquidated damages set forth above are a reasonable approximation of such damages.

13. REMOVAL/RESTORATION. All portions of the Communication Facility brought onto the Property by Tenant will be and remain Tenant's personal property and, at Tenant's option, may be removed by Tenant at any time during or after the Term. Landlord covenants and agrees that no part of the Communication Facility constructed, erected or placed on the Premises by Tenant will become, or be considered as being affixed to or a part of, the Property, it being the specific intention of Landlord that all improvements of every kind and nature constructed, erected or placed by Tenant on the Premises will be and remain the property of Tenant and may be removed by Tenant at any time during or after the Term. Tenant will repair any damage to the Property resulting from Tenant's removal activities. Any portions of the Communication Facility that Tenant does not remove within one hundred twenty (120) days after the later of the end of the Term and cessation of Tenant's operations at the Premises shall be deemed abandoned and owned by Landlord. Notwithstanding the foregoing, Tenant will not be responsible for the replacement of any trees, shrubs or other vegetation.

14. MAINTENANCE/UTILITIES.

(a) Tenant will keep and maintain the Premises in good condition, reasonable wear and tear and damage from the elements excepted. Landlord will maintain and repair the Property and access thereto and all areas of the Premises where Tenant does not have exclusive control, in good and tenantable condition, subject to reasonable wear and tear and damage from the elements. Landlord will be responsible for maintenance of landscaping on the Property, including any landscaping installed by Tenant as a condition of this Agreement or any required permit.

(b) Tenant will be responsible for paying on a monthly or quarterly basis all utilities charges for electricity, telephone service or any other utility used or consumed by Tenant on the Premises. In the event Tenant cannot secure its own metered electrical supply, Tenant will have the right, at its own cost and expense, to sub-meter from Landlord. When sub-metering is required under this Agreement, Landlord will read the meter and

provide Tenant with an invoice and usage data on a monthly basis. Tenant shall reimburse Landlord for such utility usage at the same rate charged to Landlord by the utility service provider. Landlord further agrees to provide the usage data and invoice on forms provided by Tenant and to send such forms to such address and/or agent designated by Tenant. Tenant will remit payment within sixty (60) days of receipt of the usage data and required forms. Landlord shall maintain accurate and detailed records of all utility expenses, invoices and payments applicable to Tenant's reimbursement obligations hereunder. Within fifteen (15) days after a request from Tenant, Landlord shall provide copies of such utility billing records to the Tenant in the form of copies of invoices, contracts and cancelled checks. If the utility billing records reflect an overpayment by Tenant, Tenant shall have the right to deduct the amount of such overpayment from any monies due to Landlord from Tenant.

(c) As noted in Section 4(c) above, any utility fee recovery by Landlord is limited to a twelve (12) month period. If Tenant submeters electricity from Landlord, Landlord agrees to give Tenant at least twenty-four (24) hours advance notice of any planned interruptions of said electricity. Landlord acknowledges that Tenant provides a communication service which requires electrical power to operate and must operate twenty-four (24) hours per day, seven (7) days per week. If the interruption is for an extended period of time, in Tenant's reasonable determination, Landlord agrees to allow Tenant the right to bring in a temporary source of power for the duration of the interruption. Landlord will not be responsible for interference with, interruption of or failure, beyond the reasonable control of Landlord, of such services to be furnished or supplied by Landlord.

(d) Tenant will have the right to install utilities, at Tenant's expense, and to improve present utilities on the Property and the Premises. Landlord hereby grants to any service company providing utility or similar services, including electric power and telecommunications, to Tenant an easement over the Property, from an open and improved public road to the Premises, and upon the Premises, for the purpose of constructing, operating and maintaining such lines, wires, circuits, and conduits, associated equipment cabinets and such appurtenances thereto, as such service companies may from time to time require in order to provide such services to the Premises. Upon Tenant's or service company's request, Landlord will execute a separate recordable easement evidencing this grant, at no cost to Tenant or the service company.

15. DEFAULT AND RIGHT TO CURE.

(a) The following will be deemed a default by Tenant and a breach of this Agreement: (i) non-payment of Rent if such Rent remains unpaid for more than thirty (30) days after written notice from Landlord of such failure to pay; or (ii) Tenant's failure to perform any other term or condition under this Agreement within forty-five (45) days after written notice from Landlord specifying the failure. No such failure, however, will be deemed to exist if Tenant has commenced to cure such default within such period and provided that such efforts are prosecuted to completion with reasonable diligence. Delay in curing a default will be excused if due to causes beyond the reasonable control of Tenant. If Tenant remains in default beyond any applicable cure period, then Landlord will have the right to exercise any and all rights and remedies available to it under law and equity.

(b) The following will be deemed a default by Landlord and a breach of this Agreement: (i) Landlord's failure to provide Access to the Premises as required by Section 12 within twenty-four (24) hours after written notice of such failure; (ii) Landlord's failure to cure an interference problem as required by Section 8 within twenty-four (24) hours after written notice of such failure; or (iii) Landlord's failure to perform any term, condition or breach of any warranty or covenant under this Agreement within forty-five (45) days after written notice from Tenant specifying the failure. No such failure, however, will be deemed to exist if Landlord has commenced to cure the default within such period and provided such efforts are prosecuted to completion with reasonable diligence. Delay in curing a default will be excused if due to causes beyond the reasonable control of Landlord. If Landlord remains in default beyond any applicable cure period, Tenant will have: (i) the right to cure Landlord's default and to deduct the costs of such cure from any monies due to Landlord from Tenant, and (ii) any and all other rights available to it under law and equity.

16. ASSIGNMENT/SUBLEASE. Tenant will have the right to assign this Agreement or sublease the Premises and its rights herein, in whole or in part, without Landlord's consent. Upon notification to Landlord of such assignment, Tenant will be relieved of all future performance, liabilities and obligations under this Agreement to the extent of such assignment.

17. **NOTICES.** All notices, requests and demands hereunder will be given by first class certified or registered mail, return receipt requested, or by a nationally recognized overnight courier, postage prepaid, to be effective when properly sent and received, refused or returned undelivered. Notices will be addressed to the parties hereto as follows:

If to Tenant: New Cingular Wireless PCS, LLC
Attn: Network Real Estate Administration
Re: Cell Site Name: Breeding FN (KY)
Fixed Asset #: 14365226
575 Morosgo Drive
Atlanta, Georgia 30324

With a copy to: New Cingular Wireless PCS, LLC
Attn.: Legal Dept – Network Operations
Re: Cell Site Name: Breeding FN (KY)
Fixed Asset #: 14365226
208 S. Akard Street
Dallas, TX 75202-4206

If to Landlord: Brandon and Laura Harvey
245 Breeding Loop
Breeding, KY 42715

Either party hereto may change the place for the giving of notice to it by thirty (30) days' prior written notice to the other party hereto as provided herein.

18. **CONDEMNATION.** In the event Landlord receives notification of any condemnation proceedings affecting the Property, Landlord will provide notice of the proceeding to Tenant within twenty-four (24) hours. If a condemning authority takes all of the Property, or a portion sufficient, in Tenant's sole determination, to render the Premises unsuitable for Tenant, this Agreement will terminate as of the date the title vests in the condemning authority. The parties will each be entitled to pursue their own separate awards in the condemnation proceeds, which for Tenant will include, where applicable, the value of its Communication Facility, moving expenses, prepaid Rent, and business dislocation expenses. Tenant will be entitled to reimbursement for any prepaid Rent on a *pro rata* basis.

19. **CASUALTY.** Landlord will provide notice to Tenant of any casualty or other harm affecting the Property within twenty-four (24) hours of the casualty or other harm. If any part of the Communication Facility or the Property is damaged by casualty or other harm as to render the Premises unsuitable, in Tenant's sole determination, then Tenant may terminate this Agreement by providing written notice to Landlord, which termination will be effective as of the date of such casualty or other harm. Upon such termination, Tenant will be entitled to collect all insurance proceeds payable to Tenant on account thereof and to be reimbursed for any prepaid Rent on a *pro rata* basis. Landlord agrees to permit Tenant to place temporary transmission and reception facilities on the Property, but only until such time as Tenant is able to activate a replacement transmission facility at another location; notwithstanding the termination of this Agreement, such temporary facilities will be governed by all of the terms and conditions of this Agreement, including Rent. If Landlord or Tenant undertakes to rebuild or restore the Premises and/or the Communication Facility, as applicable, Landlord agrees to permit Tenant to place temporary transmission and reception facilities on the Property at no additional Rent until the reconstruction of the Premises and/or the Communication Facility is completed. If Landlord determines not to rebuild or restore the Property, Landlord will notify Tenant of such determination within thirty (30) days after the casualty or other harm. If Landlord does not so notify Tenant and Tenant decides not to terminate under this Section 19, then

Landlord will promptly rebuild or restore any portion of the Property interfering with or required for Tenant's Permitted Use of the Premises to substantially the same condition as existed before the casualty or other harm. Landlord agrees that the Rent shall be abated until the Property and/or the Premises are rebuilt or restored, unless Tenant places temporary transmission and reception facilities on the Property.

20. WAIVER OF LANDLORD'S LIENS. Landlord waives any and all lien rights it may have, statutory or otherwise, concerning the Communication Facility or any portion thereof. The Communication Facility shall be deemed personal property for purposes of this Agreement, regardless of whether any portion is deemed real or personal property under applicable law; Landlord consents to Tenant's right to remove all or any portion of the Communication Facility from time to time in Tenant's sole discretion and without Landlord's consent.

21. TAXES.

(a) Landlord shall be responsible for (i) all taxes and assessments levied upon the lands, improvements and other property of Landlord including any such taxes that may be calculated by a taxing authority using any method, including the income method, (ii) all sales, use, license, value added, documentary, stamp, gross receipts, registration, real estate transfer, conveyance, excise, recording, and other similar taxes and fees imposed in connection with this Agreement, and (iii) all sales, use, license, value added, documentary, stamp, gross receipts, registration, real estate transfer, conveyance, excise, recording, and other similar taxes and fees imposed in connection with a sale of the Property or assignment of Rent payments by Landlord. Tenant shall be responsible for (y) any taxes and assessments attributable to and levied upon Tenant's leasehold improvements on the Premises if and as set forth in this Section 21 and (z) all sales, use, license, value added, documentary, stamp, gross receipts, registration, real estate transfer, conveyance, excise, recording, and other similar taxes and fees imposed in connection with an assignment of this Agreement or sublease by Tenant. Nothing herein shall require Tenant to pay any inheritance, franchise, income, payroll, excise, privilege, rent, capital stock, stamp, documentary, estate or profit tax, or any tax of similar nature, that is or may be imposed upon Landlord.

(b) In the event Landlord receives a notice of assessment with respect to which taxes or assessments are imposed on Tenant's leasehold improvements on the Premises, Landlord shall provide Tenant with copies of each such notice immediately upon receipt, but in no event later than thirty (30) days after the date of such notice of assessment. If Landlord does not provide such notice or notices to Tenant in a timely manner and Tenant's rights with respect to such taxes are prejudiced by the delay, Landlord shall reimburse Tenant for any increased costs directly resulting from the delay and Landlord shall be responsible for payment of the tax or assessment set forth in the notice, and Landlord shall not have the right to reimbursement of such amount from Tenant. If Landlord provides a notice of assessment to Tenant within such time period and requests reimbursement from Tenant as set forth below, then Tenant shall reimburse Landlord for the tax or assessments identified on the notice of assessment on Tenant's leasehold improvements, which has been paid by Landlord. If Landlord seeks reimbursement from Tenant, Landlord shall, no later than thirty (30) days after Landlord's payment of the taxes or assessments for the assessed tax year, provide Tenant with written notice including evidence that Landlord has timely paid same, and Landlord shall provide to Tenant any other documentation reasonably requested by Tenant to allow Tenant to evaluate the payment and to reimburse Landlord.

(c) For any tax amount for which Tenant is responsible under this Agreement, Tenant shall have the right to contest, in good faith, the validity or the amount thereof using such administrative, appellate or other proceedings as may be appropriate in the jurisdiction, and may defer payment of such obligations, pay same under protest, or take such other steps as permitted by law. This right shall include the ability to institute any legal, regulatory or informal action in the name of Landlord, Tenant, or both, with respect to the valuation of the Premises. Landlord shall cooperate with respect to the commencement and prosecution of any such proceedings and will execute any documents required therefor. The expense of any such proceedings shall be borne by Tenant and any refunds or rebates secured as a result of Tenant's action shall belong to Tenant, to the extent the amounts were originally paid by Tenant. In the event Tenant notifies Landlord by the due date for assessment of Tenant's intent to contest the assessment, Landlord shall not pay the assessment pending conclusion of the contest, unless required by applicable law.

(d) Landlord shall not split or cause the tax parcel on which the Premises are located to be split, bifurcated, separated or divided without the prior written consent of Tenant.

(e) Tenant shall have the right but not the obligation to pay any taxes due by Landlord hereunder if Landlord fails to timely do so, in addition to any other rights or remedies of Tenant. In the event that Tenant exercises its rights under this Section 21(e) due to such Landlord default, Tenant shall have the right to deduct such tax amounts paid from any monies due to Landlord from Tenant as provided in Section 15(b), provided that Tenant may exercise such right without having provided to Landlord notice and the opportunity to cure per Section 15(b).

(f) Any tax-related notices shall be sent to Tenant in the manner set forth in Section 17. Promptly after the Effective Date, Landlord shall provide Tenant's address to the taxing authority for the authority's use in the event the authority needs to communicate with Tenant. In the event that Tenant's address changes by notice to Landlord, Landlord shall be required to provide Tenant's new address to the taxing authority or authorities.

(g) Notwithstanding anything to the contrary contained in this Section 21, Tenant shall have no obligation to reimburse any tax or assessment for which the Landlord is reimbursed or rebated by a third party.

22. SALE OF PROPERTY.

(a) Landlord may sell the Property or a portion thereof to a third party, provided: (i) the sale is made subject to the terms of this Agreement; and (ii) if the sale does not include the assignment of Landlord's full interest in this Agreement, the purchaser must agree to perform, without requiring compensation from Tenant or any subtenant, any obligation of Landlord under this Agreement, including Landlord's obligation to cooperate with Tenant as provided hereunder.

(b) If Landlord, at any time during the Term of this Agreement, decides to rezone or sell, subdivide or otherwise transfer all or any part of the Premises, or all or any part of the Property or Surrounding Property, to a purchaser other than Tenant, Landlord shall promptly notify Tenant in writing, and such rezoning, sale, subdivision or transfer shall be subject to this Agreement and Tenant's rights hereunder. In the event of a change in ownership, transfer or sale of the Property, within ten (10) days of such transfer, Landlord or its successor shall send the documents listed below in this Section 22(b) to Tenant. Until Tenant receives all such documents, Tenant's failure to make payments under this Agreement shall not be an event of default and Tenant reserves the right to hold payments due under this Agreement.

- i. Old deed to Property
- ii. New deed to Property
- iii. Bill of Sale or Transfer
- iv. Copy of current Tax Bill
- v. New IRS Form W-9
- vi. Completed and Signed Tenant Payment Direction Form
- vii. Full contact information for new Landlord including phone number(s)

(c) Landlord agrees not to sell, lease or use any areas of the Property or Surrounding Property for the installation, operation or maintenance of other wireless communication facilities if such installation, operation or maintenance would interfere with Tenant's Permitted Use or communications equipment as determined by radio propagation tests performed by Tenant in its sole discretion. Landlord or Landlord's prospective purchaser shall reimburse Tenant for any costs and expenses of such testing. If the radio frequency propagation tests demonstrate levels of interference unacceptable to Tenant, Landlord shall be prohibited from selling, leasing or using any areas of the Property or Surrounding Property for purposes of any installation, operation or maintenance of any other wireless communication facility or equipment.

(d) The provisions of this Section 22 shall in no way limit or impair the obligations of Landlord under this Agreement, including interference and access obligations.

23. RIGHT OF FIRST REFUSAL. Notwithstanding the provisions contained in Section 22, if at any time after the Effective Date, Landlord receives a bona fide written offer from a third party seeking any sale, conveyance, assignment or transfer, whether in whole or in part, of any property interest in or related to the Premises, including without limitation any offer seeking an assignment or transfer of the Rent payments associated with this Agreement or an offer to purchase an easement with respect to the Premises ("**Offer**"), Landlord shall

immediately furnish Tenant with a copy of the Offer. Tenant shall have the right within ninety (90) days after it receives such copy to match the financial terms of the Offer and agree in writing to match such terms of the Offer. Such writing shall be in the form of a contract substantially similar to the Offer but Tenant may assign its rights to a third party. If Tenant chooses not to exercise this right or fails to provide written notice to Landlord within the ninety (90) day period, Landlord may sell, convey, assign or transfer such property interest in or related to the Premises pursuant to the Offer, subject to the terms of this Agreement. If Landlord attempts to sell, convey, assign or transfer such property interest in or related to the Premises without complying with this Section 23, the sale, conveyance, assignment or transfer shall be void. Tenant shall not be responsible for any failure to make payments under this Agreement and reserves the right to hold payments due under this Agreement until Landlord complies with this Section 23. Tenant's failure to exercise the right of first refusal shall not be deemed a waiver of the rights contained in this Section 23 with respect to any future proposed conveyances as described herein.

24. MISCELLANEOUS.

(a) **Amendment/Waiver.** This Agreement cannot be amended, modified or revised unless done in writing and signed by Landlord and Tenant. No provision may be waived except in a writing signed by both parties. The failure by a party to enforce any provision of this Agreement or to require performance by the other party will not be construed to be a waiver, or in any way affect the right of either party to enforce such provision thereafter.

(b) **Memorandum/Short Form Lease.** Contemporaneously with the execution of this Agreement, the parties will execute a recordable Memorandum of Lease substantially in the form attached as **Exhibit 24(b)**. Either party may record this Memorandum of Lease at any time during the Term, in its absolute discretion. Thereafter during the Term, either party will, at any time upon fifteen (15) business days' prior written notice from the other, execute, acknowledge and deliver to the other a recordable Memorandum of Lease.

(c) **Limitation of Liability.** Except for the indemnity obligations set forth in this Agreement, and otherwise notwithstanding anything to the contrary in this Agreement, Tenant and Landlord each waives any claims that each may have against the other with respect to consequential, incidental or special damages, however caused, based on any theory of liability.

(d) **Compliance with Law.** Tenant agrees to comply with all federal, state and local laws, orders, rules and regulations ("Laws") applicable to Tenant's use of the Communication Facility on the Property. Landlord agrees to comply with all Laws relating to Landlord's ownership and use of the Property and any improvements on the Property.

(e) **Bind and Benefit.** The terms and conditions contained in this Agreement will run with the Property and bind and inure to the benefit of the parties, their respective heirs, executors, administrators, successors and assigns.

(f) **Entire Agreement.** This Agreement and the exhibits attached hereto, all being a part hereof, constitute the entire agreement of the parties hereto and will supersede all prior offers, negotiations and agreements with respect to the subject matter of this Agreement. Exhibits are numbered to correspond to the section wherein they are first referenced. Except as otherwise stated in this Agreement, each party shall bear its own fees and expenses (including the fees and expenses of its agents, brokers, representatives, attorneys, and accountants) incurred in connection with the negotiation, drafting, execution and performance of this Agreement and the transactions it contemplates.

(g) **Governing Law.** This Agreement will be governed by the laws of the state in which the Premises are located, without regard to conflicts of law.

(h) **Interpretation.** Unless otherwise specified, the following rules of construction and interpretation apply: (i) captions are for convenience and reference only and in no way define or limit the construction of the terms and conditions hereof; (ii) use of the term "including" will be interpreted to mean "including but not limited to"; (iii) whenever a party's consent is required under this Agreement, except as otherwise stated in the Agreement or as same may be duplicative, such consent will not be unreasonably withheld, conditioned or delayed; (iv) exhibits are an integral part of this Agreement and are incorporated by reference into this Agreement; (v) use of the terms "termination" or "expiration" are interchangeable; (vi) reference to a default will take into consideration any applicable notice, grace and cure periods; (vii) to the extent there is any issue with respect to any alleged, perceived or actual ambiguity in this Agreement, the ambiguity shall not be resolved on the basis of who drafted

the Agreement; (viii) the singular use of words includes the plural where appropriate; and (ix) if any provision of this Agreement is held invalid, illegal or unenforceable, the remaining provisions of this Agreement shall remain in full force if the overall purpose of the Agreement is not rendered impossible and the original purpose, intent or consideration is not materially impaired.

(i) **Affiliates.** All references to "Tenant" shall be deemed to include any Affiliate of New Cingular Wireless PCS, LLC using the Premises for any Permitted Use or otherwise exercising the rights of Tenant pursuant to this Agreement. "Affiliate" means with respect to a party to this Agreement, any person or entity that (directly or indirectly) controls, is controlled by, or under common control with, that party. "Control" of a person or entity means the power (directly or indirectly) to direct the management or policies of that person or entity, whether through the ownership of voting securities, by contract, by agency or otherwise.

(j) **Survival.** Any provisions of this Agreement relating to indemnification shall survive the termination or expiration hereof. In addition, any terms and conditions contained in this Agreement that by their sense and context are intended to survive the termination or expiration of this Agreement shall so survive.

(k) **W-9.** As a condition precedent to payment, Landlord agrees to provide Tenant with a completed IRS Form W-9, or its equivalent, upon execution of this Agreement and at such other times as may be reasonably requested by Tenant, including any change in Landlord's name or address.

(l) **Execution/No Option.** The submission of this Agreement to any party for examination or consideration does not constitute an offer, reservation of or option for the Premises based on the terms set forth herein. This Agreement will become effective as a binding Agreement only upon the handwritten legal execution, acknowledgment and delivery hereof by Landlord and Tenant. This Agreement may be executed in two (2) or more counterparts, all of which shall be considered one and the same agreement and shall become effective when one or more counterparts have been signed by each of the parties. All parties need not sign the same counterpart.

(m) **Attorneys' Fees.** In the event that any dispute between the parties related to this Agreement should result in litigation, the prevailing party in such litigation shall be entitled to recover from the other party all reasonable fees and expenses of enforcing any right of the prevailing party, including reasonable attorneys' fees and expenses. Prevailing party means the party determined by the court to have most nearly prevailed even if such party did not prevail in all matters. This provision will not be construed to entitle any party other than Landlord, Tenant and their respective Affiliates to recover their fees and expenses.

(n) **WAIVER OF JURY TRIAL.** EACH PARTY, TO THE EXTENT PERMITTED BY LAW, KNOWINGLY, VOLUNTARILY AND INTENTIONALLY WAIVES ITS RIGHT TO A TRIAL BY JURY IN ANY ACTION OR PROCEEDING UNDER ANY THEORY OF LIABILITY ARISING OUT OF OR IN ANY WAY CONNECTED WITH THIS AGREEMENT OR THE TRANSACTIONS IT CONTEMPLATES.

(o) **Incidental Fees.** Unless specified in this Agreement, no unilateral fees or additional costs or expenses are to be applied by either party to the other party, including review of plans, structural analyses, consents, provision of documents or other communications between the parties.

(p) **Further Acts.** Upon request, Landlord will cause to be promptly and duly taken, executed, acknowledged and delivered all such further acts, documents, and assurances as Tenant may request from time to time in order to effectuate, carry out and perform all of the terms, provisions and conditions of this Agreement and all transactions and permitted use contemplated by this Agreement.

[SIGNATURES APPEAR ON NEXT PAGE]

IN WITNESS WHEREOF, the parties have caused this Agreement to be effective as of the Effective Date.

“LANDLORD”

Brandon Harvey

By: Brandon Harvey
Print Name: Brandon Harvey

Date: 3-21-19

“LANDLORD”

Laura Ashley Harvey

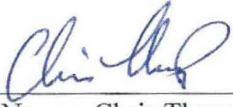
By: Laura Ashley Harvey
Print Name: Laura Ashley Harvey

Date: 3-21-19

“TENANT”

New Cingular Wireless PCS, LLC,
a Delaware limited liability company

By: AT&T Mobility Corporation
Its: Manager

By: 

Print Name: Chris Tharp

Its: Area Manager Network Engineering

TN KY Site Acquisition

Date: 4-11-2019

[ACKNOWLEDGMENTS APPEAR ON NEXT PAGE]

TENANT ACKNOWLEDGMENT

STATE OF Kentucky

COUNTY OF Jefferson) ss:

On the April day of April, 2019, before me personally appeared Chris Tharp, and acknowledged under oath that he is the Area Manager Network Engineering TNKY Site Acquisition of AT&T Mobility Corporation, the Manager of New Cingular Wireless PCS, LLC, the Tenant named in the attached instrument, and as such was authorized to execute this instrument on behalf of the Tenant.



Notary Public: 595940
My Commission Expires: 2/28/22

EXHIBIT 1

DESCRIPTION OF PROPERTY AND PREMISES

Page 1 of 2

to the Option and Land Lease Agreement dated April 11, 2019, by and between Brandon Harvey and Laura Ashley Harvey, Husband and Wife, as Landlord, and New Cingular Wireless PCS, LLC, a Delaware limited liability company, as Tenant.

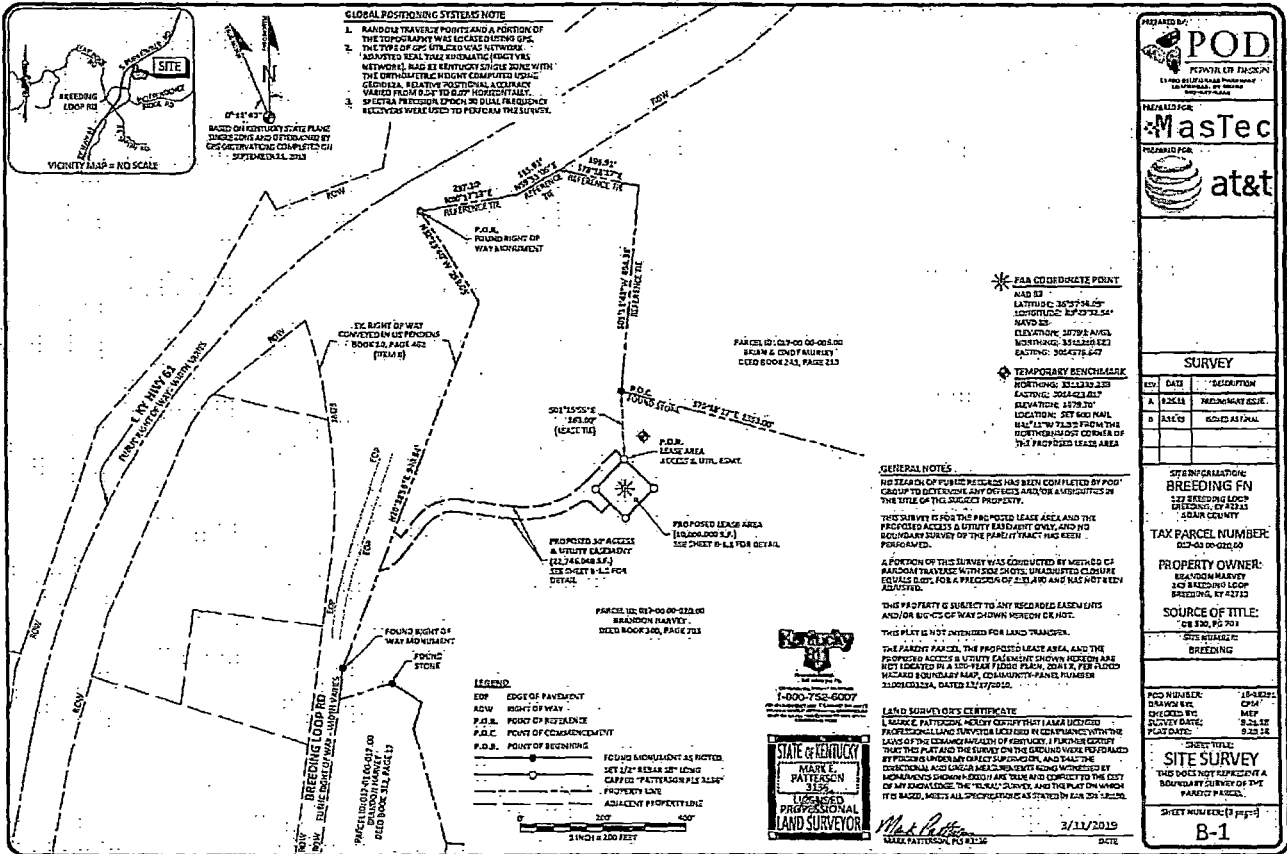
The Property is legally described as follows:

BEGINNING at a stone, corner to Roach; thence N 7 E 1155 feet to a stake or stone; thence N 8-3/4 W 297 feet to a stake; thence N 32 1/2 W 718 feet to a stone on Highway #61; thence N 78 W 1050 feet to a stone in F M Coomer line; thence S 5 1/2 W 491 feet to a stone; thence with said Coomer line S 75 E 1353 feet to a stone; thence S 16 W 812 feet to a stone in Madis Harvey line near a Beech Spring; thence N 88 W 1451 feet to a stone corner; thence S 7 W 249 feet to a stone corner to Roach; thence N 82 W 297 feet to the beginning, containing 51 1/4 Acres more or less, but excluding therefrom and not hereby conveyed a 3-3/4 Acre tract described as follows: Beginning at a stone in the Right of Way of Highway #61, and corner to A H Roach; thence with said Highway N 7 E 610 1/2 feet to a stone; thence a new line N 73 E 134 feet to a stone; thence S 57 E 85 feet to a stone; thence S 18 W 66 feet to a stone; thence S 15 1/4 E 288 feet to a stone, corner to Madis Harvey; thence with said Harvey line S 7 W 249 feet to a stone corner to A H Roach; thence with said Roach line N 82 W 297 feet to the beginning, said excepted 3-3/4 Acre Tract described in a Deed from Otis Reece and wife Gladys Reece to Titus Fudge and wife Viola Fudge dated 5 August 1937 and recorded in Deed Book Number 55 at Page 43.

Beginning at a stone in the right of way of Highway #61 and corner to A. H. Roach thence with said Highway N. 7 E. 610 1/2 feet to a stone thence new line N 73 E 134 feet to a stone thence S 57 E 85 feet to a stone thence S 18 W 66 feet to a stone thence S 15 1/4 E 288 feet to a stone corner to Hadis Harvey thence with his line S. 7 W. 249 feet to a stone corner to A. H. Roach; thence with his line N 82 W 297 feet to the beginning and containing 3 3/4 acres more or less.

Being the same property conveyed to Brandon Harvey, single, by Deed from James Brown and Angela Brown, husband and wife, dated January 10, 2010, and recorded in Deed Book 312, Page 17, in the Office of the Adair County Court Clerk.

The Premises are described and/or depicted as follows:



BU
LAH

PREPARED BY: **POD**
POWER OF DESIGN
1100 WILSON ROAD
SHELBYVILLE, KY 40381
502-476-6627

PREPARED FOR: **MasTec**

PREPARED FOR: **at&t**

SURVEY

NO.	DATE	DESCRIPTION
A	8/25/18	RECONSTRUCTION
B	8/15/18	RIGHT OF WAY

278 BY CALLATION
BREEDING FN
122 BREEDING LOOP
SHELBYVILLE, KY 40381
JONES COUNTY

TAX PARCEL NUMBER:
027-03-00-020-00

PROPERTY OWNER:
854-008 HARVEY
343 BREEDING LOOP
SHELBYVILLE, KY 40381

SOURCE OF TITLE:
CR 130, PG 701

SITE SURVEY
BREEDING

POD NUMBER:	18-0422
DATE: 03/11/2019	03/11/2019
PROJECT: BREEDING FN	027-03-00-020-00
PLAT DATE:	03/11/2019

SITE SURVEY
THIS DOCUMENT REPRESENTS A
BOUNDARY SURVEY OF THE
PROPERTY DESCRIBED.

SHEET NUMBER: (1 of 1)
B-1

**EXHIBIT J
NOTIFICATION LISTING**

Breeding FN – Notice List

HARVEY BRANDON
245 BREEDING LOOP
BREEDING, KY 42715

HARVEY TERRY & BRENDA
1022 INDEPENDENCE RIDGE ROAD
BREEDING, KY 42715

VERSON ROBIN & PAUL BELA
8707 BREEDING RD
EDMONTON, KY 42129

ROACH HAL WOOD & JOHN B ROACH
219 ABERDEEN DRIVE
GREENVILLE, SC 29605-3024

ROACH JOHN B
747 SPRINGDALE RD
STATESVILLE, NC 28677-3433

DAWKINS GREG
4414 WEST PONCA
MCHENRY, IL 60050

FUDGE CARLEY
13054 BURKESVILLE RD
BREEDING, KY 42715

CAMPBELL WILLIAM & FAITH
480 FIRE DEPT LN
COLUMBIA, KY 42728

FUDGE DANNY O & MELISSA
13171 BURKESVILLE RD
BREEDING, KY 42715

GIBSON CHARLES-GIBSON-
CLEMMONS-GIBSON JR
GEL DEL
BREEDING KY, 42715

MURLEY BRIAN & CINDY
915 INDEPENDENCE RIDGE RD
BREEDING KY, 42715

MURLEY BRIAN & CINDY
915 INDEPENDENCE RIDGE RD
BREEDING KY., 42715

HARVEY BRANDON
C/O NOEL HARVEY
571 BREEDING LOOP
BREEDING, KY 42715-

EXHIBIT K
COPY OF PROPERTY OWNER NOTIFICATION



1578 Highway 44 East, Suite 6
P.O. Box 369
Shepherdsville, KY 40165-0369
Phone (502) 955-4400 or (800) 516-4293
Fax (502) 543-4410 or (800) 541-4410

**Notice of Proposed Construction of
Wireless Communications Facility
Site Name: Breeding FN**

Dear Landowner:

New Cingular Wireless PCS, a Delaware limited liability company, d/b/a AT&T Mobility has filed an application with the Kentucky Public Service Commission ("PSC") to construct a new wireless communications facility on a site located at 527 Breeding Loop, Breeding, KY 42715 (36° 57' 56.09" North latitude, 85° 25' 52.54" West longitude). The proposed facility will include a 235-foot tall antenna tower, plus a 5-foot lightning arrestor and related ground facilities. This facility is needed to provide improved coverage for wireless communications in the area.

This notice is being sent to you because the County Property Valuation Administrator's records indicate that you may own property that is within a 500' radius of the proposed tower site or contiguous to the property on which the tower is to be constructed. You have a right to submit testimony to the Kentucky Public Service Commission ("PSC"), either in writing or to request intervention in the PSC's proceedings on the application. You may contact the PSC for additional information concerning this matter at: Kentucky Public Service Commission, Executive Director, 211 Sower Boulevard, P.O. Box 615, Frankfort, Kentucky 40602. Please refer to docket number 2019-00376 in any correspondence sent in connection with this matter.

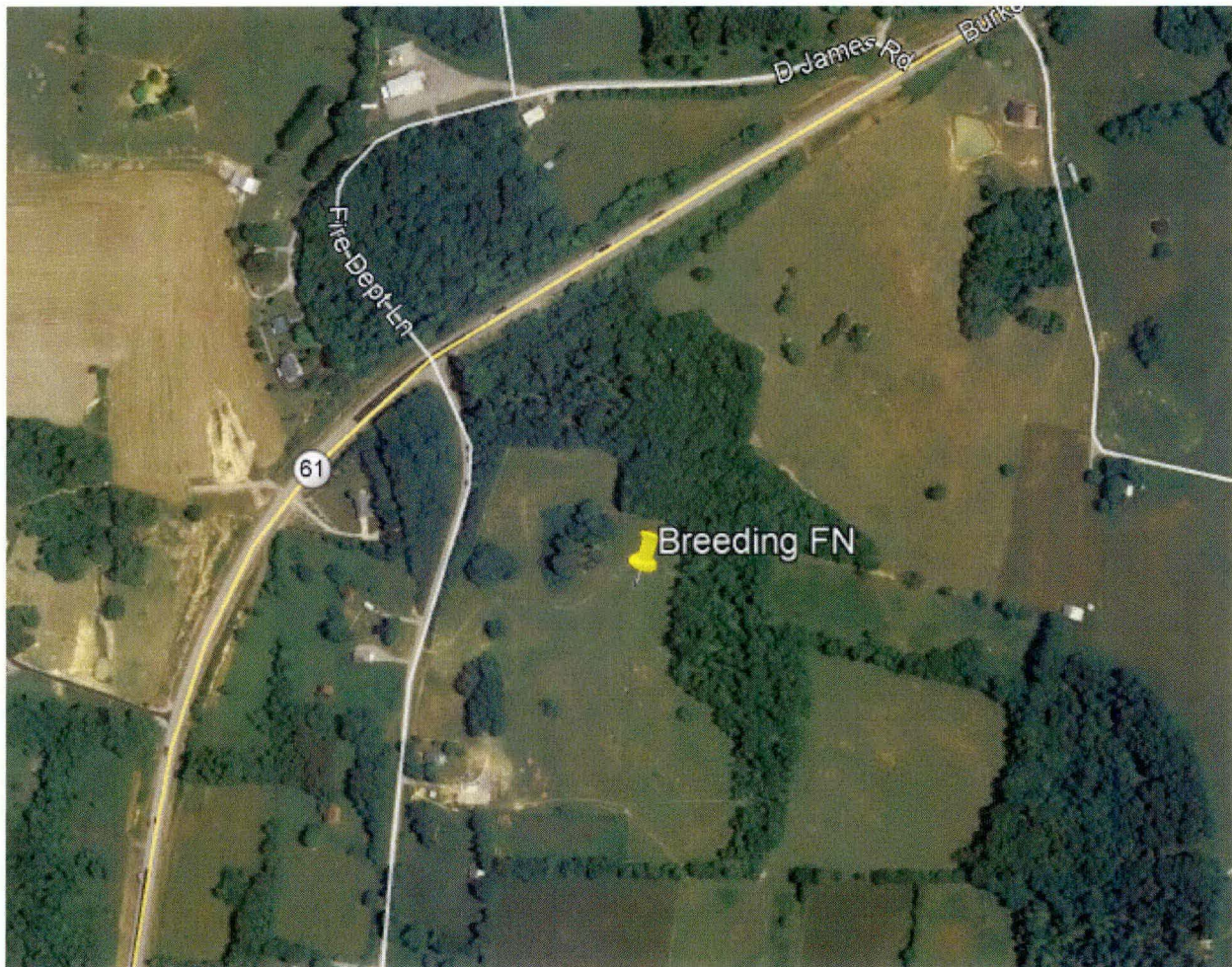
We have attached a map showing the site location for the proposed tower. Applicant's radio frequency engineers assisted in selecting the proposed site for the facility, and they have determined it is the proper location and elevation needed to provide quality service to wireless customers in the area. Please feel free to contact us toll free at (800) 516-4293 if you have any comments or questions about this proposal.

Sincerely,
David A. Pike
Attorney for Applicant

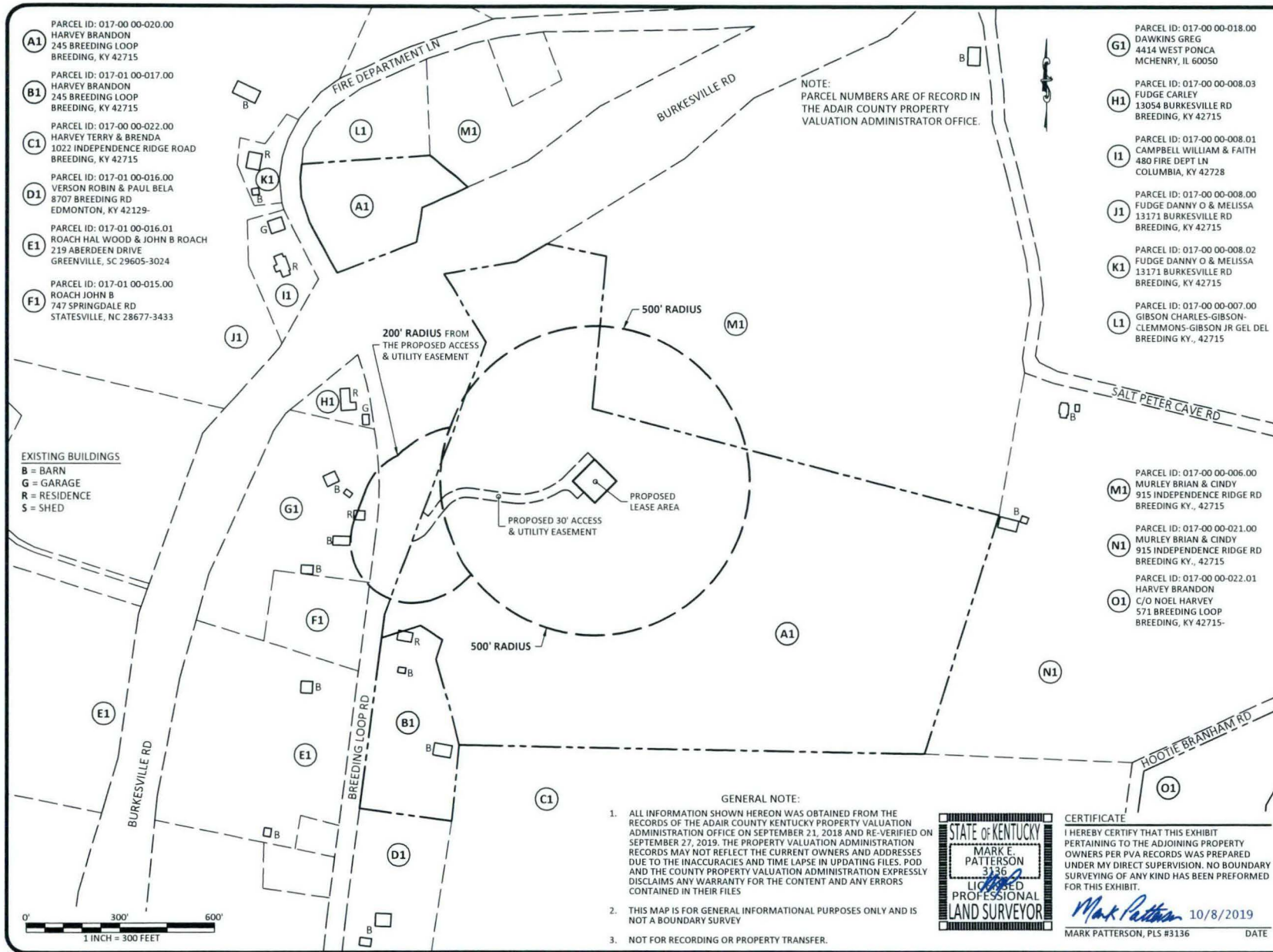
Enclosures

Driving Directions to Proposed Tower Site

1. Beginning at 424 Public Square #1, Columbia, KY, head northwest toward Campbellsville St. and travel approximately 240 feet.
2. Exit the traffic circle onto Burkesville Street and travel for approximately 8.4 miles.
3. Continue onto KY-61 and travel approximately 3.9 miles.
4. Turn left onto Breeding Loop / Old Hwy 61 and travel approximately 0.2 miles.
5. The site is on the left at 527 Breeding Loop, Breeding, KY 42715
6. The site coordinates are:
 - a. North 36 deg 57 min 56.09 sec
 - b. West 85° deg 25 min 52.54 sec



Prepared by:
Chris Shouse
Pike Legal Group
1578 Highway 44 East, Suite 6
P.O. Box 396
Shepherdsville, KY 40165-3069
Telephone: 502-955-4400 or 800-516-4293



- (A1) PARCEL ID: 017-00 00-020.00
HARVEY BRANDON
245 BREEDING LOOP
BREEDING, KY 42715
- (B1) PARCEL ID: 017-01 00-017.00
HARVEY BRANDON
245 BREEDING LOOP
BREEDING, KY 42715
- (C1) PARCEL ID: 017-00 00-022.00
HARVEY TERRY & BRENDA
1022 INDEPENDENCE RIDGE ROAD
BREEDING, KY 42715
- (D1) PARCEL ID: 017-01 00-016.00
VERSON ROBIN & PAUL BELA
8707 BREEDING RD
EDMONTON, KY 42129-
- (E1) PARCEL ID: 017-01 00-016.01
ROACH HAL WOOD & JOHN B ROACH
219 ABERDEEN DRIVE
GREENVILLE, SC 29605-3024
- (F1) PARCEL ID: 017-01 00-015.00
ROACH JOHN B
747 SPRINGDALE RD
STATESVILLE, NC 28677-3433

EXISTING BUILDINGS
 B = BARN
 G = GARAGE
 R = RESIDENCE
 S = SHED

NOTE:
 PARCEL NUMBERS ARE OF RECORD IN
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 VALUATION ADMINISTRATOR OFFICE.

- (G1) PARCEL ID: 017-00 00-018.00
DAWKINS GREG
4414 WEST PONCA
MCHENRY, IL 60050
- (H1) PARCEL ID: 017-00 00-008.03
FUDGE CARLEY
13054 BURKESVILLE RD
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GIBSON CHARLES-GIBSON-
CLEMMONS-GIBSON JR GEL DEL
BREEDING KY., 42715

- (M1) PARCEL ID: 017-00 00-006.00
MURLEY BRIAN & CINDY
915 INDEPENDENCE RIDGE RD
BREEDING KY., 42715
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HARVEY BRANDON
C/O NOEL HARVEY
571 BREEDING LOOP
BREEDING, KY 42715-

- GENERAL NOTE:**
- ALL INFORMATION SHOWN HEREON WAS OBTAINED FROM THE RECORDS OF THE ADAIR COUNTY KENTUCKY PROPERTY VALUATION ADMINISTRATION OFFICE ON SEPTEMBER 21, 2018 AND RE-VERIFIED ON SEPTEMBER 27, 2019. THE PROPERTY VALUATION ADMINISTRATION RECORDS MAY NOT REFLECT THE CURRENT OWNERS AND ADDRESSES DUE TO THE INACCURACIES AND TIME LAPSE IN UPDATING FILES. POD AND THE COUNTY PROPERTY VALUATION ADMINISTRATION EXPRESSLY DISCLAIMS ANY WARRANTY FOR THE CONTENT AND ANY ERRORS CONTAINED IN THEIR FILES
 - THIS MAP IS FOR GENERAL INFORMATIONAL PURPOSES ONLY AND IS NOT A BOUNDARY SURVEY
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CERTIFICATE
 I HEREBY CERTIFY THAT THIS EXHIBIT
 PERTAINING TO THE ADJOINING PROPERTY
 OWNERS PER PVA RECORDS WAS PREPARED
 UNDER MY DIRECT SUPERVISION. NO BOUNDARY
 SURVEYING OF ANY KIND HAS BEEN PERFORMED
 FOR THIS EXHIBIT.
Mark Patterson 10/8/2019
 MARK PATTERSON, PLS #3136 DATE

PREPARED BY:

 13490 BLUEGRASS PARKWAY
 LOUISVILLE, KY 40299
 502-487-5252

PREPARED FOR:

 PREPARED FOR:

EXHIBIT		
REV	DATE	DESCRIPTION
A	9.27.19	ISSUED FOR REVIEW
O	10.8.19	ISSUED AS FINAL

SITE INFORMATION:
BREEDING FN
 527 BREEDING LOOP
 BREEDING, KY 42715
 ADAIR COUNTY

TAX PARCEL NUMBER:
 017-00 00-020.00

PROPERTY OWNER:
 BRANDON HARVEY
 245 BREEDING LOOP
 BREEDING, KY 42715

SOURCE OF TITLE:
 DB 300, PG 703

FA NUMBER:
 14365226

POD NUMBER: 18-28292
 DRAWN BY: DAP
 CHECKED BY: MEP
 SURVEY DATE: 9.21.18
 PLAT DATE: 9.27.19

SHEET TITLE:
**500' RADIUS AND
 ABUTTERS MAP**

SHEET NUMBER: (1 pages)
B-2

EXHIBIT L
COPY OF COUNTY JUDGE/EXECUTIVE NOTICE



1578 Highway 44 East, Suite 6
P.O. Box 369
Shepherdsville, KY 40165-0369
Phone (502) 955-4400 or (800) 516-4293
Fax (502) 543-4410 or (800) 541-4410

VIA CERTIFIED MAIL

Gale B. Cowan
County Judge Executive
424 Public Square, Suite 1
Columbia, KY 42728

RE: Notice of Proposal to Construct Wireless Communications Facility
Kentucky Public Service Commission Docket No. 2019-00376
Site Name: Breeding FN

Dear Judge/Executive:

New Cingular Wireless PCS, a Delaware limited liability company, d/b/a AT&T Mobility has filed an application with the Kentucky Public Service Commission ("PSC") to construct a new wireless communications facility on a site located at 527 Breeding Loop, Breeding, KY 42715 (36° 57' 56.09" North latitude, 85° 25' 52.54" West longitude). The proposed facility will include a 235-foot tall antenna tower, plus a 5-foot lightning arrestor and related ground facilities. This facility is needed to provide improved coverage for wireless communications in the area.

You have a right to submit comments to the PSC or to request intervention in the PSC's proceedings on the application. You may contact the PSC at: Executive Director, Public Service Commission, 211 Sower Boulevard, P.O. Box 615, Frankfort, Kentucky 40602. Please refer to docket number 2019-00376 in any correspondence sent in connection with this matter.

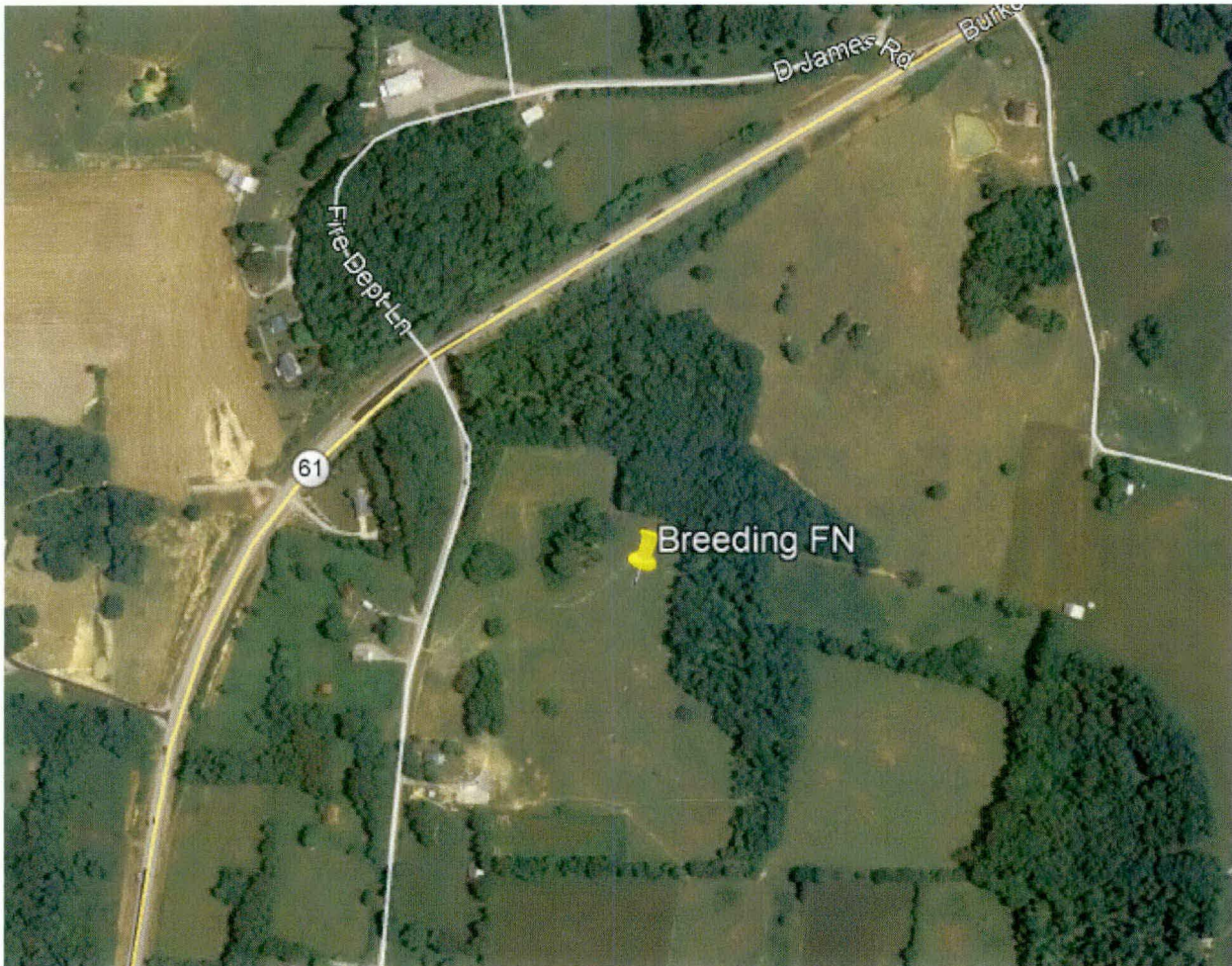
We have attached a map showing the site location for the proposed tower. AT&T Mobility's radio frequency engineers assisted in selecting the proposed site for the facility, and they have determined it is the proper location and elevation needed to provide quality service to wireless customers in the area. Please feel free to contact us with any comments or questions you may have.

Sincerely,
David A. Pike
Attorney for Applicant

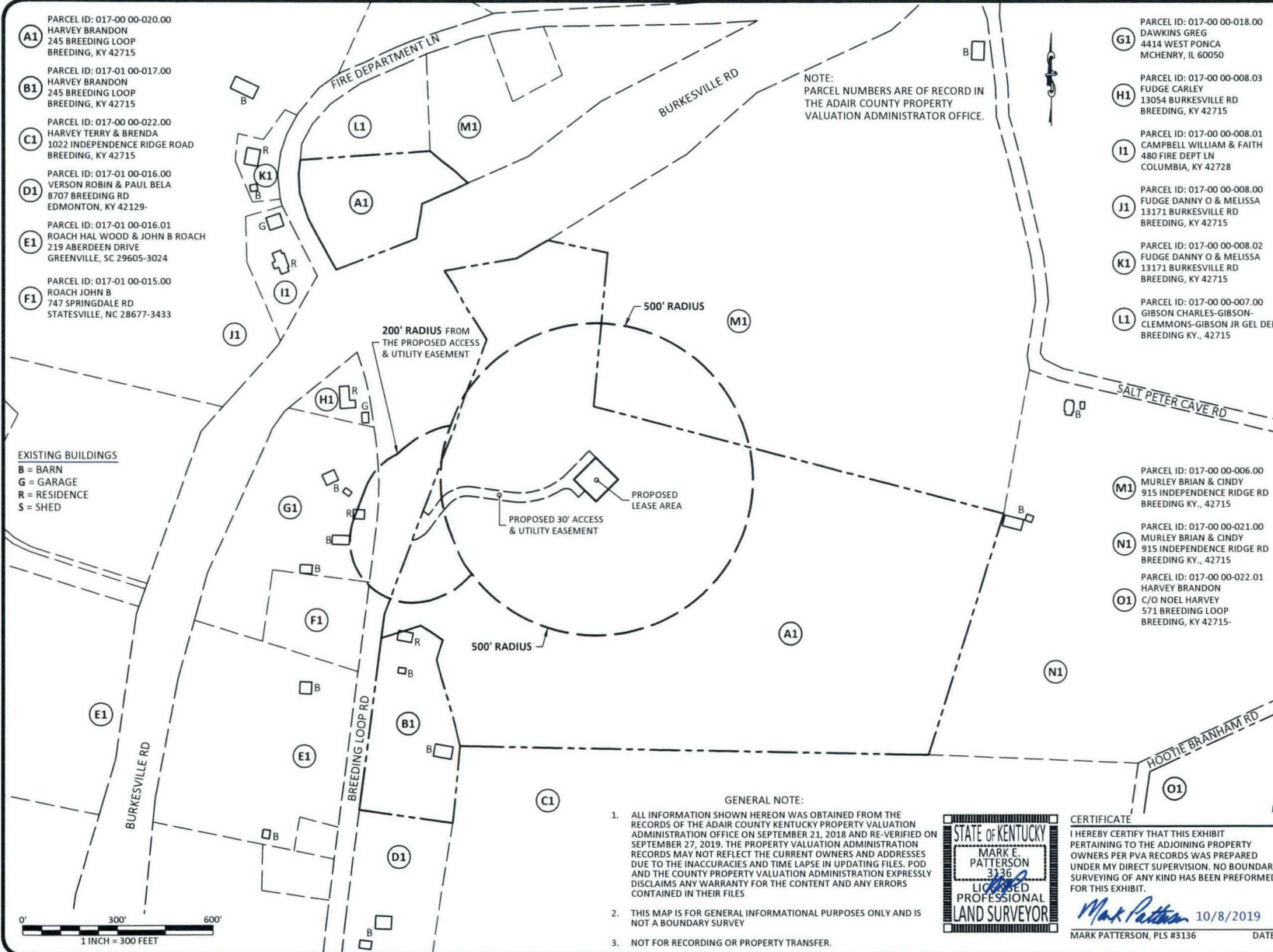
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Mark Patterson 10/8/2019
 MARK PATTERSON, PLS #3136 DATE

PREPARED BY:
POD
 POWER OF DESIGN
 13490 BLUEGRASS PARKWAY
 LOUISVILLE, KY 40299
 502-487-5252

PREPARED FOR:
MasTec

PREPARED FOR:
at&t

EXHIBIT

REV.	DATE	DESCRIPTION
A	9.27.19	ISSUED FOR REVIEW
D	10.8.19	ISSUED AS FINAL

SITE INFORMATION:
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 527 BREEDING LOOP
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 ADAIR COUNTY

TAX PARCEL NUMBER:
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PROPERTY OWNER:
 BRANDON HARVEY
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SHEET TITLE:
**500' RADIUS AND
 ABUTTERS MAP**

SHEET NUMBER: (1 pages)
B-2

**EXHIBIT M
COPY OF POSTED NOTICES
AND NEWSPAPER NOTICE ADVERTISEMENT**

SITE NAME: BREEDING FN
NOTICE SIGNS

The signs are at least (2) feet by four (4) feet in size, of durable material, with the text printed in black letters at least one (1) inch in height against a white background, except for the word "**tower**," which is at least four (4) inches in height.

New Cingular Wireless PCS, LLC, a Delaware limited liability company, d/b/a AT&T Mobility proposes to construct a telecommunications **tower** on this site. If you have questions, please contact Pike Legal Group, PLLC, P.O. Box 369, Shepherdsville, KY 40165; telephone: (800) 516-4293, or the Executive Director, Public Service Commission, 211 Sower Boulevard, PO Box 615, Frankfort, Kentucky 40602. Please refer to docket number 2019-00376 in your correspondence.

New Cingular Wireless PCS, LLC, a Delaware limited liability company, d/b/a AT&T Mobility proposes to construct a telecommunications **tower** near this site. If you have questions, please contact Pike Legal Group, PLLC, P.O. Box 369, Shepherdsville, KY 40165; telephone: (800) 516-4293, or the Executive Director, Public Service Commission, 211 Sower Boulevard, PO Box 615, Frankfort, Kentucky 40602. Please refer to docket number 2019-00376 in your correspondence.



1578 Highway 44 East, Suite 6
P.O. Box 369
Shepherdsville, KY 40165-0369
Phone (502) 955-4400 or (800) 516-4293
Fax (502) 543-4410 or (800) 541-4410

VIA TELEPHONE: 270-384-6471

The Adair Progress, Inc.
Attn: Public Notice Ad Placement
98 Grant Lane
Columbia, KY 42728

RE: Legal Notice Advertisement
Site Name: Breeding FN

Dear Adair Progress:

Please publish the following legal notice advertisement in the next edition of *The Adair Progress*:

NOTICE

New Cingular Wireless PCS, LLC, a Delaware limited liability company, d/b/a AT&T Mobility has filed an application with the Kentucky Public Service Commission ("PSC") to construct a new wireless communications facility on a site located on 527 Breeding Loop, Breeding, KY 42715 (36° 57' 56.09" North latitude, 85° 25' 52.54" West longitude). You may contact the PSC for additional information concerning this matter at: Kentucky Public Service Commission, Executive Director, 211 Sower Boulevard, P.O. Box 615, Frankfort, Kentucky 40602. Please refer to docket number 2019-00376 in any correspondence sent in connection with this matter.

After this advertisement has been published, please forward a tearsheet copy, affidavit of publication, and invoice to Pike Legal Group, PLLC, P. O. Box 369, Shepherdsville, KY 40165. Please call me at (800) 516-4293 if you have any questions. Thank you for your assistance.

Sincerely,
Chris Shouse
Pike Legal Group, PLLC

EXHIBIT N
COPY OF RADIO FREQUENCY DESIGN SEARCH AREA



Lat: 36.969944
Lon: -85.4335
Radius: .35 miles

Breeding Search Area