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PUBLIC SERVICE  
COMMISSION

**COMMONWEALTH OF KENTUCKY  
BEFORE THE PUBLIC SERVICE COMMISSION**

In the Matter of:

THE APPLICATION OF )  
 NEW CINGULAR WIRELESS PCS, LLC, )  
 A DELAWARE LIMITED LIABILITY COMPANY, )  
 D/B/A AT&T MOBILITY )  
 FOR ISSUANCE OF A CERTIFICATE OF PUBLIC ) CASE NO.: 2019-00148  
 CONVENIENCE AND NECESSITY TO CONSTRUCT )  
 A WIRELESS COMMUNICATIONS FACILITY )  
 IN THE COMMONWEALTH OF KENTUCKY )  
 IN THE COUNTY OF ADAIR )

SITE NAME: ELKHORN ROAD FN

\*\*\*\*\*

**APPLICATION FOR  
CERTIFICATE OF PUBLIC CONVENIENCE AND NECESSITY  
FOR CONSTRUCTION OF A WIRELESS COMMUNICATIONS FACILITY**

New Cingular Wireless PCS, LLC, a Delaware limited liability company, d/b/a AA&T Mobility ("Applicant"), by counsel, pursuant to (i) KRS §§ 278.020, 278.040, 278.650, 278.665, and other statutory authority, and the rules and regulations applicable thereto, and (ii) the Telecommunications Act of 1996, respectfully submits this Application requesting issuance of a Certificate of Public Convenience and Necessity ("CPCN") from the Kentucky Public Service Commission ("PSC") to construct, maintain, and operate a Wireless Communications Facility ("WCF") to serve the customers of the Applicant with wireless communications services.

In support of this Application, Applicant respectfully provides and states the following information:

1. The complete name and address of the Applicant: New Cingular Wireless PCS, LLC, a Delaware limited liability company, d/b/a AT&T Mobility, having a local address of Meidinger Tower, 462 S. 4<sup>th</sup> Street, Suite 2400, Louisville, Kentucky 40202.

2. Applicant proposes construction of an antenna tower for communications services, which is to be located in an area outside the jurisdiction of a planning commission, and Applicant submits this application to the PSC for a certificate of public convenience and necessity pursuant to KRS §§ 278.020(1), 278.040, 278.650, 278.665, and other statutory authority.

3. The Certificate of Authority filed with the Kentucky Secretary of State for the Applicant entity was attached to a prior application and is part of the case record for PSC case number 2011-00473 and is hereby incorporated by reference.

4. The Applicant operates on frequencies licensed by the Federal Communications Commission ("FCC") pursuant to applicable FCC requirements. A copy of the Applicant's FCC licenses to provide wireless services are attached to this Application or described as part of **Exhibit A**, and the facility will be constructed and operated in accordance with applicable FCC regulations.

5. The public convenience and necessity require the construction of the proposed WCF. The construction of the WCF will bring or improve the Applicant's services to an area currently not served or not adequately served by the Applicant by increasing coverage or capacity and thereby enhancing the public's access to innovative and competitive wireless communications services. The WCF will provide a necessary link in the Applicant's communications network that is designed to meet the increasing demands



for wireless services in Kentucky's wireless communications service area. The WCF is an integral link in the Applicant's network design that must be in place to provide adequate coverage to the service area.

6. To address the above-described service needs, Applicant proposes to construct a WCF at 3575 Elkhorn Road, Knifley, KY 42753 (37° 12' 35.49" North latitude, 85° 10' 49.52" West longitude), on a parcel of land located entirely within the county referenced in the caption of this Application. The property on which the WCF will be located is owned by Johnny and Melinda Beard pursuant to a Deed recorded at Deed Book 251, Page 574 in the office of the County Clerk. The proposed WCF will consist of a 255-foot tall tower, with an approximately 15-foot tall lightning arrestor attached at the top, for a total height of 270-feet. The WCF will also include concrete foundations and a shelter or cabinets to accommodate the placement of the Applicant's radio electronics equipment and appurtenant equipment. The Applicant's equipment cabinet or shelter will be approved for use in the Commonwealth of Kentucky by the relevant building inspector. The WCF compound will be fenced and all access gate(s) will be secured. A description of the manner in which the proposed WCF will be constructed is attached as **Exhibit B** and **Exhibit C**.

7. A list of utilities, corporations, or persons with whom the proposed WCF is likely to compete is attached as **Exhibit D**.

8. The site development plan and a vertical profile sketch of the WCF signed and sealed by a professional engineer registered in Kentucky depicting the tower height, as well as a proposed configuration for the antennas of the Applicant has also been included

as part of **Exhibit B**.

9. Foundation design plans signed and sealed by a professional engineer registered in Kentucky and a description of the standards according to which the tower was designed are included as part of **Exhibit C**.

10. Applicant has considered the likely effects of the installation of the proposed WCF on nearby land uses and values and has concluded that there is no more suitable location reasonably available from which adequate services can be provided, and that there are no reasonably available opportunities to co-locate Applicant's antennas on an existing structure. When suitable towers or structures exist, Applicant attempts to co-locate on existing structures such as communications towers or other structures capable of supporting Applicant's facilities; however, no other suitable or available co-location site was found to be located in the vicinity of the site.

11. A copy of the Determination of No Hazard to Air Navigation issued by the Federal Aviation Administration ("FAA") is attached as **Exhibit E**.

12. A copy of the application for Kentucky Airport Zoning Commission ("KAZC") Approval to construct the tower is attached as **Exhibit F**.

13. A copy of the geotechnical engineering report, signed and sealed by a professional engineer registered in the Commonwealth of Kentucky, is attached as **Exhibit G**. The name and address of the geotechnical engineering firm and the professional engineer registered in the Commonwealth of Kentucky who supervised the examination of this WCF site are included as part of this exhibit.

14. Clear directions to the proposed WCF site from the County seat are attached

as **Exhibit H**. The name and telephone number of the preparer of **Exhibit H** are included as part of this exhibit.

15. Applicant, pursuant to a written agreement, has acquired the right to use the WCF site and associated property rights. A copy of the agreement or an abbreviated agreement recorded with the County Clerk is attached as **Exhibit I**.

16. Personnel directly responsible for the design and construction of the proposed WCF are well qualified and experienced. The tower and foundation drawings for the proposed tower submitted as part of **Exhibit C** bear the signature and stamp of a professional engineer registered in the Commonwealth of Kentucky. All tower designs meet or exceed the minimum requirements of applicable laws and regulations.

17. The Construction Manager for the proposed facility is Don Murdock and the identity and qualifications of each person directly responsible for design and construction of the proposed tower are contained in **Exhibits B & C**.

18. As noted on the Survey attached as part of **Exhibit B**, the surveyor has determined that the site is not within any flood hazard area.

19. **Exhibit B** includes a map drawn to an appropriate scale that shows the location of the proposed tower and identifies every owner of real estate within 500 feet of the proposed tower (according to the records maintained by the County Property Valuation Administrator). Every structure and every easement within 500 feet of the proposed tower or within 200 feet of the access road including intersection with the public street system is illustrated in **Exhibit B**.

20. Applicant has notified every person who, according to the records of the

County Property Valuation Administrator, owns property which is within 500 feet of the proposed tower or contiguous to the site property, by certified mail, return receipt requested, of the proposed construction. Each notified property owner has been provided with a map of the location of the proposed construction, the PSC docket number for this application, the address of the PSC, and has been informed of his or her right to request intervention. A list of the notified property owners and a copy of the form of the notice sent by certified mail to each landowner are attached as **Exhibit J** and **Exhibit K**, respectively.

21. Applicant has notified the applicable County Judge/Executive by certified mail, return receipt requested, of the proposed construction. This notice included the PSC docket number under which the application will be processed and informed the County Judge/Executive of his/her right to request intervention. A copy of this notice is attached as **Exhibit L**.

22. Notice signs meeting the requirements prescribed by 807 KAR 5:063, Section 1(2) that measure at least 2 feet in height and 4 feet in width and that contain all required language in letters of required height, have been posted, one in a visible location on the proposed site and one on the nearest public road. Such signs shall remain posted for at least two weeks after filing of the Application, and a copy of the posted text is attached as **Exhibit M**. A legal notice advertisement regarding the location of the proposed facility has been published in a newspaper of general circulation in the county in which the WCF is proposed to be located. A copy of the newspaper legal notice advertisement is attached as part of **Exhibit M**.

23. The general area where the proposed facility is to be located is rural and

heavily wooded. There are no residential structures within 500-feet of the proposed site location.

24. The process that was used by the Applicant's radio frequency engineers in selecting the site for the proposed WCF was consistent with the general process used for selecting all other existing and proposed WCF facilities within the proposed network design area. Applicant's radio frequency engineers have conducted studies and tests in order to develop a highly efficient network that is designed to handle voice and data traffic in the service area. The engineers determined an optimum area for the placement of the proposed facility in terms of elevation and location to provide the best quality service to customers in the service area. A radio frequency design search area prepared in reference to these radio frequency studies was considered by the Applicant when searching for sites for its antennas that would provide the coverage deemed necessary by the Applicant. A map of the area in which the tower is proposed to be located which is drawn to scale and clearly depicts the necessary search area within which the site should be located pursuant to radio frequency requirements is attached as **Exhibit N**.

25. The tower must be located at the proposed location and proposed height to provide necessary service to wireless communications users in the subject area.

26. All Exhibits to this Application are hereby incorporated by reference as if fully set out as part of the Application.

27. All responses and requests associated with this Application may be directed to:

David A. Pike  
Pike Legal Group, PLLC  
1578 Highway 44 East, Suite 6  
P. O. Box 369  
Shepherdsville, KY 40165-0369  
Telephone: (502) 955-4400  
Telefax: (502) 543-4410  
Email: [dpike@pikelegal.com](mailto:dpike@pikelegal.com)

**WHEREFORE**, Applicant respectfully request that the PSC accept the foregoing Application for filing, and having met the requirements of KRS §§ 278.020(1), 278.650, and 278.665 and all applicable rules and regulations of the PSC, grant a Certificate of Public Convenience and Necessity to construct and operate the WCF at the location set forth herein.

Respectfully submitted,



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David A. Pike  
Pike Legal Group, PLLC  
1578 Highway 44 East, Suite 6  
P. O. Box 369  
Shepherdsville, KY 40165-0369  
Telephone: (502) 955-4400  
Telefax: (502) 543-4410  
Email: [dpike@pikelegal.com](mailto:dpike@pikelegal.com)  
Attorney for New Cingular Wireless PCS, LLC  
d/b/a AT&T Mobility

## LIST OF EXHIBITS

- A - FCC License Documentation
- B - Site Development Plan:
  - 500' Vicinity Map
  - Legal Descriptions
  - Flood Plain Certification
  - Site Plan
  - Vertical Tower Profile
- C - Tower and Foundation Design
- D - Competing Utilities, Corporations, or Persons List
- E - FAA
- F - Kentucky Airport Zoning Commission
- G - Geotechnical Report
- H - Directions to WCF Site
- I - Copy of Real Estate Agreement
- J - Notification Listing
- K - Copy of Property Owner Notification
- L - Copy of County Judge/Executive Notice
- M - Copy of Posted Notices and Newspaper Notice Advertisement
- N - Copy of Radio Frequency Design Search Area

**EXHIBIT A**  
**FCC LICENSE DOCUMENTATION**



**REFERENCE COPY**

This is not an official FCC license. It is a record of public information contained in the FCC's licensing database on the date that this reference copy was generated. In cases where FCC rules require the presentation, posting, or display of an FCC license, this document may not be used in place of an official FCC license.



**Federal Communications Commission  
Wireless Telecommunications Bureau**

**RADIO STATION AUTHORIZATION**

LICENSEE: NEW CINGULAR WIRELESS PCS, LLC

ATTN: CECIL J MATHEW  
NEW CINGULAR WIRELESS PCS, LLC  
208 S AKARD ST., RM 1015  
DALLAS, TX 75202

|                                       |                           |
|---------------------------------------|---------------------------|
| <b>Call Sign</b><br>KNKN666           | <b>File Number</b>        |
| <b>Radio Service</b><br>CL - Cellular |                           |
| <b>Market Numer</b><br>CMA447         | <b>Channel Block</b><br>A |
| <b>Sub-Market Designator</b><br>0     |                           |

FCC Registration Number (FRN): 0003291192

|   |
|---|
| <b>Market Name</b><br>Kentucky 5 - Barren |
|---|

|                                 |                                     |                                      |                               |                   |
|---------------------------------|-------------------------------------|--------------------------------------|-------------------------------|-------------------|
| <b>Grant Date</b><br>08-30-2011 | <b>Effective Date</b><br>08-31-2018 | <b>Expiration Date</b><br>10-01-2021 | <b>Five Yr Build-Out Date</b> | <b>Print Date</b> |
|---------------------------------|-------------------------------------|--------------------------------------|-------------------------------|-------------------|

**Site Information:**

| Location | Latitude     | Longitude     | Ground Elevation (meters) | Structure Hgt to Tip (meters) | Antenna Structure Registration No. |
|----------|--------------|---------------|---------------------------|-------------------------------|------------------------------------|
| 7        | 37-10-00.0 N | 085-18-37.0 W | 282.5                     | 291.4                         | 1062332                            |

Address: 1210 Cane Valley Road (94238)

City: Columbia County: ADAIR State: KY Construction Deadline:

**Antenna: 1**

|                                    |         |         |         |         |         |         |         |         |
|------------------------------------|---------|---------|---------|---------|---------|---------|---------|---------|
| Maximum Transmitting ERP in Watts: | 140.820 |         |         |         |         |         |         |         |
| Azimuth(from true north)           | 0       | 45      | 90      | 135     | 180     | 225     | 270     | 315     |
| Antenna Height AAT (meters)        | 180.300 | 151.200 | 132.800 | 140.500 | 155.800 | 172.800 | 186.200 | 183.500 |
| Transmitting ERP (watts)           | 250.037 | 98.154  | 10.266  | 2.559   | 0.527   | 0.738   | 12.510  | 102.333 |

**Antenna: 2**

|                                    |         |         |         |         |         |         |         |         |
|------------------------------------|---------|---------|---------|---------|---------|---------|---------|---------|
| Maximum Transmitting ERP in Watts: | 140.820 |         |         |         |         |         |         |         |
| Azimuth(from true north)           | 0       | 45      | 90      | 135     | 180     | 225     | 270     | 315     |
| Antenna Height AAT (meters)        | 180.300 | 151.200 | 132.800 | 140.500 | 155.800 | 172.800 | 186.200 | 183.500 |
| Transmitting ERP (watts)           | 1.408   | 30.262  | 153.476 | 217.337 | 49.025  | 5.207   | 1.772   | 0.660   |

**Antenna: 3**

|                                    |         |         |         |         |         |         |         |         |
|------------------------------------|---------|---------|---------|---------|---------|---------|---------|---------|
| Maximum Transmitting ERP in Watts: | 140.820 |         |         |         |         |         |         |         |
| Azimuth(from true north)           | 0       | 45      | 90      | 135     | 180     | 225     | 270     | 315     |
| Antenna Height AAT (meters)        | 180.300 | 151.200 | 132.800 | 140.500 | 155.800 | 172.800 | 186.200 | 183.500 |
| Transmitting ERP (watts)           | 2.948   | 0.454   | 0.942   | 4.366   | 59.310  | 210.546 | 155.347 | 22.706  |

**Conditions:**

Pursuant to §309(h) of the Communications Act of 1934, as amended, 47 U.S.C. §309(h), this license is subject to the following conditions: This license shall not vest in the licensee any right to operate the station nor any right in the use of the frequencies designated in the license beyond the term thereof nor in any other manner than authorized herein. Neither the license nor the right granted thereunder shall be assigned or otherwise transferred in violation of the Communications Act of 1934, as amended. See 47 U.S.C. § 310(d). This license is subject in terms to the right of use or control conferred by §706 of the Communications Act of 1934, as amended. See 47 U.S.C. §606.

Licensee Name: NEW CINGULAR WIRELESS PCS, LLC

Call Sign: KNKN666

File Number:

Print Date:

| Location | Latitude     | Longitude     | Ground Elevation (meters) | Structure Hgt to Tip (meters) | Antenna Structure Registration No. |
|----------|--------------|---------------|---------------------------|-------------------------------|------------------------------------|
| 8        | 36-43-12.0 N | 084-28-13.0 W | 409.3                     | 91.1                          | 1042231                            |

Address: 100 Manor Circle (94260)

City: Whitley City County: MCCREARY State: KY Construction Deadline:

Antenna: 1

|                                    |         |         |         |         |         |         |         |         |
|------------------------------------|---------|---------|---------|---------|---------|---------|---------|---------|
| Maximum Transmitting ERP in Watts: | 140.820 |         |         |         |         |         |         |         |
| Azimuth(from true north)           | 0       | 45      | 90      | 135     | 180     | 225     | 270     | 315     |
| Antenna Height AAT (meters)        | 123.400 | 147.100 | 135.800 | 109.800 | 103.700 | 143.600 | 127.300 | 165.300 |
| Transmitting ERP (watts)           | 244.175 | 220.925 | 36.790  | 4.400   | 1.072   | 1.113   | 3.637   | 56.485  |

Antenna: 2

|                                    |         |         |         |         |         |         |         |         |
|------------------------------------|---------|---------|---------|---------|---------|---------|---------|---------|
| Maximum Transmitting ERP in Watts: | 140.820 |         |         |         |         |         |         |         |
| Azimuth(from true north)           | 0       | 45      | 90      | 135     | 180     | 225     | 270     | 315     |
| Antenna Height AAT (meters)        | 123.400 | 147.100 | 135.800 | 109.800 | 103.700 | 143.600 | 127.300 | 165.300 |
| Transmitting ERP (watts)           | 2.526   | 8.109   | 37.053  | 64.172  | 73.466  | 23.019  | 4.143   | 0.935   |

Antenna: 3

|                                    |         |         |         |         |         |         |         |         |
|------------------------------------|---------|---------|---------|---------|---------|---------|---------|---------|
| Maximum Transmitting ERP in Watts: | 140.820 |         |         |         |         |         |         |         |
| Azimuth(from true north)           | 0       | 45      | 90      | 135     | 180     | 225     | 270     | 315     |
| Antenna Height AAT (meters)        | 123.400 | 147.100 | 135.800 | 109.800 | 103.700 | 143.600 | 127.300 | 165.300 |
| Transmitting ERP (watts)           | 13.438  | 3.125   | 0.649   | 0.912   | 15.291  | 122.113 | 297.793 | 117.856 |

| Location | Latitude     | Longitude     | Ground Elevation (meters) | Structure Hgt to Tip (meters) | Antenna Structure Registration No. |
|----------|--------------|---------------|---------------------------|-------------------------------|------------------------------------|
| 17       | 36-56-36.9 N | 086-00-52.2 W | 218.8                     | 91.1                          | 1063506                            |

Address: 638 GRAHAM ROAD (87368)

City: GLASGOW County: BARREN State: KY Construction Deadline:

Antenna: 1

|                                    |         |        |        |        |        |         |         |        |
|------------------------------------|---------|--------|--------|--------|--------|---------|---------|--------|
| Maximum Transmitting ERP in Watts: | 140.820 |        |        |        |        |         |         |        |
| Azimuth(from true north)           | 0       | 45     | 90     | 135    | 180    | 225     | 270     | 315    |
| Antenna Height AAT (meters)        | 76.900  | 78.700 | 69.100 | 74.800 | 91.600 | 116.000 | 101.800 | 89.500 |
| Transmitting ERP (watts)           | 138.618 | 59.574 | 7.477  | 1.200  | 0.283  | 0.661   | 10.185  | 66.521 |

Antenna: 2

|                                    |         |        |        |         |        |         |         |        |
|------------------------------------|---------|--------|--------|---------|--------|---------|---------|--------|
| Maximum Transmitting ERP in Watts: | 140.820 |        |        |         |        |         |         |        |
| Azimuth(from true north)           | 0       | 45     | 90     | 135     | 180    | 225     | 270     | 315    |
| Antenna Height AAT (meters)        | 76.900  | 78.700 | 69.100 | 74.800  | 91.600 | 116.000 | 101.800 | 89.500 |
| Transmitting ERP (watts)           | 2.142   | 19.146 | 94.547 | 124.562 | 33.322 | 3.559   | 0.817   | 0.257  |

Antenna: 3

|                                    |         |        |        |        |        |         |         |        |
|------------------------------------|---------|--------|--------|--------|--------|---------|---------|--------|
| Maximum Transmitting ERP in Watts: | 140.820 |        |        |        |        |         |         |        |
| Azimuth(from true north)           | 0       | 45     | 90     | 135    | 180    | 225     | 270     | 315    |
| Antenna Height AAT (meters)        | 76.900  | 78.700 | 69.100 | 74.800 | 91.600 | 116.000 | 101.800 | 89.500 |
| Transmitting ERP (watts)           | 2.434   | 0.360  | 0.244  | 4.119  | 40.205 | 121.384 | 90.927  | 17.264 |

Licensee Name: NEW CINGULAR WIRELESS PCS, LLC

Call Sign: KNKN666

File Number:

Print Date:

| Location | Latitude     | Longitude     | Ground Elevation (meters) | Structure Hgt to Tip (meters) | Antenna Structure Registration No. |
|----------|--------------|---------------|---------------------------|-------------------------------|------------------------------------|
| 18       | 36-48-31.1 N | 084-50-43.5 W | 466.6                     | 61.0                          | 1004214                            |

Address: 6565 MORRIS HILL ROAD (87856)

City: MONTICELLO County: WAYNE State: KY Construction Deadline:

Antenna: 1

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north) 0 45 90 135 180 225 270 315

Antenna Height AAT (meters) 216.900 160.100 180.400 174.000 158.000 164.800 204.700 214.300

Transmitting ERP (watts) 159.083 70.430 5.874 0.769 0.334 0.371 9.558 76.538

Antenna: 2

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north) 0 45 90 135 180 225 270 315

Antenna Height AAT (meters) 216.900 160.100 180.400 174.000 158.000 164.800 204.700 214.300

Transmitting ERP (watts) 1.547 33.128 166.094 241.154 55.397 5.855 1.952 0.731

Antenna: 3

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north) 0 45 90 135 180 225 270 315

Antenna Height AAT (meters) 216.900 160.100 180.400 174.000 158.000 164.800 204.700 214.300

Transmitting ERP (watts) 1.611 0.321 0.293 4.972 42.968 145.725 111.912 13.218

| Location | Latitude     | Longitude     | Ground Elevation (meters) | Structure Hgt to Tip (meters) | Antenna Structure Registration No. |
|----------|--------------|---------------|---------------------------|-------------------------------|------------------------------------|
| 19       | 36-53-52.1 N | 084-47-02.5 W | 353.6                     | 94.2                          | 1238700                            |

Address: ROUTE 5, BOX 9516 (87058)

City: Monticello County: WAYNE State: KY Construction Deadline:

Antenna: 1

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north) 0 45 90 135 180 225 270 315

Antenna Height AAT (meters) 153.300 160.500 119.100 104.500 62.300 124.200 155.000 148.700

Transmitting ERP (watts) 151.264 65.591 5.815 0.740 0.328 0.344 9.075 72.988

Antenna: 2

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north) 0 45 90 135 180 225 270 315

Antenna Height AAT (meters) 153.300 160.500 119.100 104.500 62.300 124.200 155.000 148.700

Transmitting ERP (watts) 2.029 20.018 108.704 142.806 33.266 2.825 0.395 0.478

Antenna: 3

Maximum Transmitting ERP in Watts: 140.820

Azimuth(from true north) 0 45 90 135 180 225 270 315

Antenna Height AAT (meters) 153.300 160.500 119.100 104.500 62.300 124.200 155.000 148.700

Transmitting ERP (watts) 1.536 0.299 0.287 4.752 41.633 135.419 106.546 12.709

Licensee Name: NEW CINGULAR WIRELESS PCS, LLC

Call Sign: KNKN666

File Number:

Print Date:

| Location | Latitude     | Longitude     | Ground Elevation (meters) | Structure Hgt to Tip (meters) | Antenna Structure Registration No. |
|----------|--------------|---------------|---------------------------|-------------------------------|------------------------------------|
| 20       | 37-05-19.7 N | 084-54-47.3 W | 331.6                     | 106.4                         | 1232264                            |

Address: 1101 PINE TOP ROAD (86918)

City: RUSSELL SPRINGS County: RUSSELL State: KY Construction Deadline:

Antenna: 1

|                                    |         |        |         |         |         |         |         |         |
|------------------------------------|---------|--------|---------|---------|---------|---------|---------|---------|
| Maximum Transmitting ERP in Watts: | 140.820 |        |         |         |         |         |         |         |
| Azimuth(from true north)           | 0       | 45     | 90      | 135     | 180     | 225     | 270     | 315     |
| Antenna Height AAT (meters)        | 118.700 | 77.600 | 105.400 | 136.900 | 148.600 | 127.700 | 120.400 | 134.300 |
| Transmitting ERP (watts)           | 106.145 | 47.603 | 4.827   | 0.278   | 0.215   | 0.233   | 6.909   | 51.527  |

Antenna: 2

|                                    |         |        |         |         |         |         |         |         |
|------------------------------------|---------|--------|---------|---------|---------|---------|---------|---------|
| Maximum Transmitting ERP in Watts: | 140.820 |        |         |         |         |         |         |         |
| Azimuth(from true north)           | 0       | 45     | 90      | 135     | 180     | 225     | 270     | 315     |
| Antenna Height AAT (meters)        | 118.700 | 77.600 | 105.400 | 136.900 | 148.600 | 127.700 | 120.400 | 134.300 |
| Transmitting ERP (watts)           | 2.313   | 23.146 | 119.606 | 157.272 | 35.853  | 3.353   | 0.454   | 0.536   |

Antenna: 3

|                                    |         |        |         |         |         |         |         |         |
|------------------------------------|---------|--------|---------|---------|---------|---------|---------|---------|
| Maximum Transmitting ERP in Watts: | 140.820 |        |         |         |         |         |         |         |
| Azimuth(from true north)           | 0       | 45     | 90      | 135     | 180     | 225     | 270     | 315     |
| Antenna Height AAT (meters)        | 118.700 | 77.600 | 105.400 | 136.900 | 148.600 | 127.700 | 120.400 | 134.300 |
| Transmitting ERP (watts)           | 1.748   | 0.347  | 0.313   | 5.295   | 45.951  | 158.160 | 122.299 | 14.137  |

| Location | Latitude     | Longitude     | Ground Elevation (meters) | Structure Hgt to Tip (meters) | Antenna Structure Registration No. |
|----------|--------------|---------------|---------------------------|-------------------------------|------------------------------------|
| 22       | 36-45-21.5 N | 085-03-35.7 W | 353.6                     | 78.6                          | 1258266                            |

Address: RR BOX 200 STATE ROUTE 90 (97275)

City: Albany County: CLINTON State: KY Construction Deadline:

Antenna: 1

|                                    |         |         |         |        |        |        |         |         |
|------------------------------------|---------|---------|---------|--------|--------|--------|---------|---------|
| Maximum Transmitting ERP in Watts: | 140.820 |         |         |        |        |        |         |         |
| Azimuth(from true north)           | 0       | 45      | 90      | 135    | 180    | 225    | 270     | 315     |
| Antenna Height AAT (meters)        | 159.200 | 140.400 | 108.000 | 36.100 | 88.900 | 81.600 | 132.000 | 170.300 |
| Transmitting ERP (watts)           | 61.485  | 218.225 | 164.915 | 26.293 | 2.922  | 0.471  | 0.954   | 4.500   |

Antenna: 2

|                                    |         |         |         |         |         |        |         |         |
|------------------------------------|---------|---------|---------|---------|---------|--------|---------|---------|
| Maximum Transmitting ERP in Watts: | 140.820 |         |         |         |         |        |         |         |
| Azimuth(from true north)           | 0       | 45      | 90      | 135     | 180     | 225    | 270     | 315     |
| Antenna Height AAT (meters)        | 159.200 | 140.400 | 108.000 | 36.100  | 88.900  | 81.600 | 132.000 | 170.300 |
| Transmitting ERP (watts)           | 1.000   | 4.591   | 60.220  | 229.906 | 159.544 | 23.590 | 2.912   | 0.466   |

Antenna: 3

|                                    |         |         |         |        |        |         |         |         |
|------------------------------------|---------|---------|---------|--------|--------|---------|---------|---------|
| Maximum Transmitting ERP in Watts: | 140.820 |         |         |        |        |         |         |         |
| Azimuth(from true north)           | 0       | 45      | 90      | 135    | 180    | 225     | 270     | 315     |
| Antenna Height AAT (meters)        | 159.200 | 140.400 | 108.000 | 36.100 | 88.900 | 81.600  | 132.000 | 170.300 |
| Transmitting ERP (watts)           | 7.041   | 2.307   | 0.511   | 1.072  | 23.419 | 142.307 | 232.641 | 64.969  |

Licensee Name: NEW CINGULAR WIRELESS PCS, LLC

Call Sign: KNKN666

File Number:

Print Date:

| Location | Latitude     | Longitude     | Ground Elevation (meters) | Structure Hgt to Tip (meters) | Antenna Structure Registration No. |
|----------|--------------|---------------|---------------------------|-------------------------------|------------------------------------|
| 23       | 36-44-36.2 N | 085-08-34.1 W | 350.5                     | 78.0                          | 1258265                            |

Address: 127 North Cross (Route 6 Box 991) (94257)

City: Albany County: CLINTON State: KY Construction Deadline:

Antenna: 1

|                                    |         |         |         |         |         |         |         |         |
|------------------------------------|---------|---------|---------|---------|---------|---------|---------|---------|
| Maximum Transmitting ERP in Watts: | 140.820 |         |         |         |         |         |         |         |
| Azimuth(from true north)           | 0       | 45      | 90      | 135     | 180     | 225     | 270     | 315     |
| Antenna Height AAT (meters)        | 181.800 | 142.800 | 72.800  | 100.300 | 157.000 | 167.400 | 157.200 | 193.400 |
| Transmitting ERP (watts)           | 31.597  | 145.107 | 168.768 | 30.884  | 3.418   | 1.072   | 0.669   | 1.670   |

Antenna: 2

|                                    |         |         |        |         |         |         |         |         |
|------------------------------------|---------|---------|--------|---------|---------|---------|---------|---------|
| Maximum Transmitting ERP in Watts: | 140.820 |         |        |         |         |         |         |         |
| Azimuth(from true north)           | 0       | 45      | 90     | 135     | 180     | 225     | 270     | 315     |
| Antenna Height AAT (meters)        | 181.800 | 142.800 | 72.800 | 100.300 | 157.000 | 167.400 | 157.200 | 193.400 |
| Transmitting ERP (watts)           | 1.105   | 1.668   | 14.838 | 36.641  | 44.724  | 30.421  | 5.045   | 2.474   |

Antenna: 3

|                                    |         |         |        |         |         |         |         |         |
|------------------------------------|---------|---------|--------|---------|---------|---------|---------|---------|
| Maximum Transmitting ERP in Watts: | 140.820 |         |        |         |         |         |         |         |
| Azimuth(from true north)           | 0       | 45      | 90     | 135     | 180     | 225     | 270     | 315     |
| Antenna Height AAT (meters)        | 181.800 | 142.800 | 72.800 | 100.300 | 157.000 | 167.400 | 157.200 | 193.400 |
| Transmitting ERP (watts)           | 40.424  | 4.384   | 1.518  | 0.529   | 1.123   | 24.617  | 125.244 | 176.237 |

| Location | Latitude     | Longitude     | Ground Elevation (meters) | Structure Hgt to Tip (meters) | Antenna Structure Registration No. |
|----------|--------------|---------------|---------------------------|-------------------------------|------------------------------------|
| 26       | 37-18-17.2 N | 085-55-38.3 W | 285.3                     | 99.1                          | 1200030                            |

Address: 824 I CHILDRESS ROAD (37618)

City: Munfordville County: HART State: KY Construction Deadline:

Antenna: 1

|                                    |         |         |         |         |         |         |         |         |
|------------------------------------|---------|---------|---------|---------|---------|---------|---------|---------|
| Maximum Transmitting ERP in Watts: | 140.820 |         |         |         |         |         |         |         |
| Azimuth(from true north)           | 0       | 45      | 90      | 135     | 180     | 225     | 270     | 315     |
| Antenna Height AAT (meters)        | 137.000 | 120.900 | 185.100 | 176.500 | 166.200 | 156.000 | 134.000 | 170.100 |
| Transmitting ERP (watts)           | 87.882  | 116.157 | 30.423  | 3.076   | 0.288   | 0.394   | 1.136   | 15.107  |

Antenna: 2

|                                    |         |         |         |         |         |         |         |         |
|------------------------------------|---------|---------|---------|---------|---------|---------|---------|---------|
| Maximum Transmitting ERP in Watts: | 140.820 |         |         |         |         |         |         |         |
| Azimuth(from true north)           | 0       | 45      | 90      | 135     | 180     | 225     | 270     | 315     |
| Antenna Height AAT (meters)        | 137.000 | 120.900 | 185.100 | 176.500 | 166.200 | 156.000 | 134.000 | 170.100 |
| Transmitting ERP (watts)           | 0.236   | 4.016   | 34.037  | 111.204 | 87.767  | 11.936  | 0.954   | 0.231   |

Antenna: 3

|                                    |         |         |         |         |         |         |         |         |
|------------------------------------|---------|---------|---------|---------|---------|---------|---------|---------|
| Maximum Transmitting ERP in Watts: | 140.820 |         |         |         |         |         |         |         |
| Azimuth(from true north)           | 0       | 45      | 90      | 135     | 180     | 225     | 270     | 315     |
| Antenna Height AAT (meters)        | 137.000 | 120.900 | 185.100 | 176.500 | 166.200 | 156.000 | 134.000 | 170.100 |
| Transmitting ERP (watts)           | 0.893   | 0.228   | 0.217   | 2.143   | 29.130  | 110.300 | 94.526  | 17.072  |

Licensee Name: NEW CINGULAR WIRELESS PCS, LLC

Call Sign: KNKN666

File Number:

Print Date:

| Location | Latitude     | Longitude     | Ground Elevation (meters) | Structure Hgt to Tip (meters) | Antenna Structure Registration No. |
|----------|--------------|---------------|---------------------------|-------------------------------|------------------------------------|
| 27       | 36-41-54.0 N | 085-41-07.0 W | 286.5                     | 90.2                          | 1065560                            |

Address: 403 MARTIN SUBDIVISION (87881)

City: TOMPKINSVILLE County: MONROE State: KY Construction Deadline:

Antenna: 1

|                                    |         |         |         |        |        |         |        |         |
|------------------------------------|---------|---------|---------|--------|--------|---------|--------|---------|
| Maximum Transmitting ERP in Watts: | 140.820 |         |         |        |        |         |        |         |
| Azimuth(from true north)           | 0       | 45      | 90      | 135    | 180    | 225     | 270    | 315     |
| Antenna Height AAT (meters)        | 69.700  | 75.300  | 146.800 | 80.100 | 75.200 | 103.200 | 86.800 | 75.200  |
| Transmitting ERP (watts)           | 271.841 | 109.386 | 7.417   | 0.800  | 0.553  | 0.537   | 18.630 | 138.505 |

Antenna: 2

|                                    |         |        |         |         |        |         |        |        |
|------------------------------------|---------|--------|---------|---------|--------|---------|--------|--------|
| Maximum Transmitting ERP in Watts: | 140.820 |        |         |         |        |         |        |        |
| Azimuth(from true north)           | 0       | 45     | 90      | 135     | 180    | 225     | 270    | 315    |
| Antenna Height AAT (meters)        | 69.700  | 75.300 | 146.800 | 80.100  | 75.200 | 103.200 | 86.800 | 75.200 |
| Transmitting ERP (watts)           | 1.721   | 17.109 | 89.000  | 121.386 | 26.164 | 2.348   | 0.328  | 0.400  |

Antenna: 3

|                                    |         |        |         |        |        |         |        |        |
|------------------------------------|---------|--------|---------|--------|--------|---------|--------|--------|
| Maximum Transmitting ERP in Watts: | 140.820 |        |         |        |        |         |        |        |
| Azimuth(from true north)           | 0       | 45     | 90      | 135    | 180    | 225     | 270    | 315    |
| Antenna Height AAT (meters)        | 69.700  | 75.300 | 146.800 | 80.100 | 75.200 | 103.200 | 86.800 | 75.200 |
| Transmitting ERP (watts)           | 1.247   | 0.244  | 0.229   | 4.118  | 34.693 | 116.367 | 90.021 | 10.295 |

| Location | Latitude     | Longitude     | Ground Elevation (meters) | Structure Hgt to Tip (meters) | Antenna Structure Registration No. |
|----------|--------------|---------------|---------------------------|-------------------------------|------------------------------------|
| 28       | 37-21-17.2 N | 085-52-24.7 W | 352.0                     | 83.8                          | 1220496                            |

Address: 2830 Frenchman's Knob Road (94236)

City: Bonnieville County: HART State: KY Construction Deadline:

Antenna: 1

|                                    |         |         |         |         |         |         |         |         |
|------------------------------------|---------|---------|---------|---------|---------|---------|---------|---------|
| Maximum Transmitting ERP in Watts: | 140.820 |         |         |         |         |         |         |         |
| Azimuth(from true north)           | 0       | 45      | 90      | 135     | 180     | 225     | 270     | 315     |
| Antenna Height AAT (meters)        | 193.700 | 191.000 | 195.200 | 238.600 | 217.000 | 184.800 | 226.800 | 216.700 |
| Transmitting ERP (watts)           | 184.924 | 99.849  | 11.423  | 0.450   | 0.602   | 0.510   | 8.026   | 87.512  |

Antenna: 2

|                                    |         |         |         |         |         |         |         |         |
|------------------------------------|---------|---------|---------|---------|---------|---------|---------|---------|
| Maximum Transmitting ERP in Watts: | 140.820 |         |         |         |         |         |         |         |
| Azimuth(from true north)           | 0       | 45      | 90      | 135     | 180     | 225     | 270     | 315     |
| Antenna Height AAT (meters)        | 193.700 | 191.000 | 195.200 | 238.600 | 217.000 | 184.800 | 226.800 | 216.700 |
| Transmitting ERP (watts)           | 2.115   | 37.767  | 246.087 | 328.098 | 100.148 | 5.709   | 0.676   | 0.788   |

Antenna: 3

|                                    |         |         |         |         |         |         |         |         |
|------------------------------------|---------|---------|---------|---------|---------|---------|---------|---------|
| Maximum Transmitting ERP in Watts: | 140.820 |         |         |         |         |         |         |         |
| Azimuth(from true north)           | 0       | 45      | 90      | 135     | 180     | 225     | 270     | 315     |
| Antenna Height AAT (meters)        | 193.700 | 191.000 | 195.200 | 238.600 | 217.000 | 184.800 | 226.800 | 216.700 |
| Transmitting ERP (watts)           | 1.310   | 0.350   | 0.339   | 3.061   | 46.385  | 170.557 | 144.024 | 26.849  |



Licensee Name: NEW CINGULAR WIRELESS PCS, LLC

Call Sign: KNKN666

File Number:

Print Date:

| Location | Latitude     | Longitude     | Ground Elevation (meters) | Structure Hgt to Tip (meters) | Antenna Structure Registration No. |
|----------|--------------|---------------|---------------------------|-------------------------------|------------------------------------|
| 32       | 37-04-19.5 N | 084-59-59.4 W | 317.0                     | 78.0                          | 1257488                            |

Address: 227 Horn Rd (94247)

City: Russell Springs County: RUSSELL State: KY Construction Deadline:

Antenna: 1

|                                    |         |         |         |         |         |        |        |         |
|------------------------------------|---------|---------|---------|---------|---------|--------|--------|---------|
| Maximum Transmitting ERP in Watts: | 140.820 |         |         |         |         |        |        |         |
| Azimuth(from true north)           | 0       | 45      | 90      | 135     | 180     | 225    | 270    | 315     |
| Antenna Height AAT (meters)        | 149.200 | 77.200  | 79.700  | 105.800 | 146.300 | 99.500 | 80.900 | 89.500  |
| Transmitting ERP (watts)           | 221.223 | 212.121 | 177.242 | 71.356  | 77.801  | 28.148 | 33.937 | 155.008 |

Antenna: 2

|                                    |         |        |         |         |         |         |        |        |
|------------------------------------|---------|--------|---------|---------|---------|---------|--------|--------|
| Maximum Transmitting ERP in Watts: | 140.820 |        |         |         |         |         |        |        |
| Azimuth(from true north)           | 0       | 45     | 90      | 135     | 180     | 225     | 270    | 315    |
| Antenna Height AAT (meters)        | 149.200 | 77.200 | 79.700  | 105.800 | 146.300 | 99.500  | 80.900 | 89.500 |
| Transmitting ERP (watts)           | 18.208  | 41.435 | 173.839 | 236.936 | 272.788 | 110.954 | 36.898 | 14.156 |

Antenna: 3

|                                    |         |        |        |         |         |         |         |         |
|------------------------------------|---------|--------|--------|---------|---------|---------|---------|---------|
| Maximum Transmitting ERP in Watts: | 140.820 |        |        |         |         |         |         |         |
| Azimuth(from true north)           | 0       | 45     | 90     | 135     | 180     | 225     | 270     | 315     |
| Antenna Height AAT (meters)        | 149.200 | 77.200 | 79.700 | 105.800 | 146.300 | 99.500  | 80.900  | 89.500  |
| Transmitting ERP (watts)           | 68.660  | 39.848 | 0.532  | 12.732  | 74.296  | 228.506 | 206.369 | 227.920 |

| Location | Latitude     | Longitude     | Ground Elevation (meters) | Structure Hgt to Tip (meters) | Antenna Structure Registration No. |
|----------|--------------|---------------|---------------------------|-------------------------------|------------------------------------|
| 33       | 36-50-28.6 N | 086-02-47.1 W | 225.9                     | 60.7                          |                                    |

Address: Austin Tracy Rd (115120)

City: Lucas County: BARREN State: KY Construction Deadline:

Antenna: 1

|                                    |         |         |        |        |        |        |        |         |
|------------------------------------|---------|---------|--------|--------|--------|--------|--------|---------|
| Maximum Transmitting ERP in Watts: | 140.820 |         |        |        |        |        |        |         |
| Azimuth(from true north)           | 0       | 45      | 90     | 135    | 180    | 225    | 270    | 315     |
| Antenna Height AAT (meters)        | 91.800  | 79.300  | 63.800 | 43.400 | 95.100 | 66.500 | 80.300 | 112.900 |
| Transmitting ERP (watts)           | 79.481  | 128.527 | 48.267 | 34.537 | 0.275  | 16.613 | 58.629 | 118.330 |

Antenna: 2

|                                    |         |         |         |         |         |        |        |         |
|------------------------------------|---------|---------|---------|---------|---------|--------|--------|---------|
| Maximum Transmitting ERP in Watts: | 140.820 |         |         |         |         |        |        |         |
| Azimuth(from true north)           | 0       | 45      | 90      | 135     | 180     | 225    | 270    | 315     |
| Antenna Height AAT (meters)        | 91.800  | 79.300  | 63.800  | 43.400  | 95.100  | 66.500 | 80.300 | 112.900 |
| Transmitting ERP (watts)           | 16.424  | 105.957 | 212.448 | 227.867 | 141.232 | 41.336 | 29.497 | 11.208  |

Antenna: 3

|                                    |         |        |        |        |        |        |        |         |
|------------------------------------|---------|--------|--------|--------|--------|--------|--------|---------|
| Maximum Transmitting ERP in Watts: | 140.820 |        |        |        |        |        |        |         |
| Azimuth(from true north)           | 0       | 45     | 90     | 135    | 180    | 225    | 270    | 315     |
| Antenna Height AAT (meters)        | 91.800  | 79.300 | 63.800 | 43.400 | 95.100 | 66.500 | 80.300 | 112.900 |
| Transmitting ERP (watts)           | 3.736   | 0.847  | 2.276  | 7.728  | 35.347 | 59.316 | 65.492 | 20.964  |

Antenna: 4

|                                    |         |         |        |        |        |        |        |         |
|------------------------------------|---------|---------|--------|--------|--------|--------|--------|---------|
| Maximum Transmitting ERP in Watts: | 140.820 |         |        |        |        |        |        |         |
| Azimuth(from true north)           | 0       | 45      | 90     | 135    | 180    | 225    | 270    | 315     |
| Antenna Height AAT (meters)        | 91.800  | 79.300  | 63.700 | 43.400 | 95.100 | 66.500 | 80.300 | 112.900 |
| Transmitting ERP (watts)           | 80.215  | 129.717 | 48.867 | 34.856 | 0.278  | 16.767 | 59.174 | 119.427 |

Antenna: 5

|                                    |         |         |         |         |         |        |        |         |
|------------------------------------|---------|---------|---------|---------|---------|--------|--------|---------|
| Maximum Transmitting ERP in Watts: | 140.820 |         |         |         |         |        |        |         |
| Azimuth(from true north)           | 0       | 45      | 90      | 135     | 180     | 225    | 270    | 315     |
| Antenna Height AAT (meters)        | 91.800  | 79.300  | 63.700  | 43.400  | 95.100  | 66.500 | 80.300 | 112.900 |
| Transmitting ERP (watts)           | 16.576  | 106.934 | 215.086 | 229.984 | 142.541 | 41.717 | 29.770 | 11.312  |

Licensee Name: NEW CINGULAR WIRELESS PCS, LLC

Call Sign: KNKN666

File Number:

Print Date:

| Location | Latitude     | Longitude     | Ground Elevation (meters) | Structure Hgt to Tip (meters) | Antenna Structure Registration No. |
|----------|--------------|---------------|---------------------------|-------------------------------|------------------------------------|
| 33       | 36-50-28.6 N | 086-02-47.1 W | 225.9                     | 60.7                          |                                    |

Address: Austin Tracy Rd (115120)  
City: Lucas County: BARREN State: KY Construction Deadline:

Antenna: 6  
Maximum Transmitting ERP in Watts: 140.820  
Azimuth(from true north) 0 45 90 135 180 225 270 315  
Antenna Height AAT (meters) 91.800 79.300 63.700 43.400 95.100 66.500 80.300 112.900  
Transmitting ERP (watts) 3.770 0.854 2.304 7.800 35.674 59.863 66.098 21.158

| Location | Latitude     | Longitude     | Ground Elevation (meters) | Structure Hgt to Tip (meters) | Antenna Structure Registration No. |
|----------|--------------|---------------|---------------------------|-------------------------------|------------------------------------|
| 34       | 36-46-44.5 N | 084-56-33.7 W | 396.2                     | 78.0                          | 1258267                            |

Address: 9096 W. Hwy 90 (94262)  
City: Monticello County: WAYNE State: KY Construction Deadline:

Antenna: 1  
Maximum Transmitting ERP in Watts: 140.820  
Azimuth(from true north) 0 45 90 135 180 225 270 315  
Antenna Height AAT (meters) 194.500 173.000 138.200 103.300 102.200 140.500 166.900 201.300  
Transmitting ERP (watts) 147.841 143.877 130.052 39.637 24.482 1.946 8.038 54.683

Antenna: 2  
Maximum Transmitting ERP in Watts: 140.820  
Azimuth(from true north) 0 45 90 135 180 225 270 315  
Antenna Height AAT (meters) 194.500 173.000 138.200 103.300 102.200 140.500 166.900 201.300  
Transmitting ERP (watts) 0.742 5.202 57.406 186.618 115.460 13.939 2.131 0.396

Antenna: 3  
Maximum Transmitting ERP in Watts: 140.820  
Azimuth(from true north) 0 45 90 135 180 225 270 315  
Antenna Height AAT (meters) 194.500 173.000 138.200 103.300 102.200 140.500 166.900 201.300  
Transmitting ERP (watts) 27.223 19.327 10.778 15.109 86.367 155.385 168.892 88.819

| Location | Latitude     | Longitude     | Ground Elevation (meters) | Structure Hgt to Tip (meters) | Antenna Structure Registration No. |
|----------|--------------|---------------|---------------------------|-------------------------------|------------------------------------|
| 35       | 36-39-45.3 N | 084-26-36.2 W | 428.2                     | 79.9                          | 1275397                            |

Address: 6135 Hwy 1651 (115765)  
City: Pine Knot County: MCCREARY State: KY Construction Deadline:

Antenna: 1  
Maximum Transmitting ERP in Watts: 140.820  
Azimuth(from true north) 0 45 90 135 180 225 270 315  
Antenna Height AAT (meters) 132.500 143.700 119.600 95.500 88.700 114.200 161.300 166.800  
Transmitting ERP (watts) 69.450 261.545 232.470 44.008 2.017 0.559 0.530 4.304

Antenna: 2  
Maximum Transmitting ERP in Watts: 140.820  
Azimuth(from true north) 0 45 90 135 180 225 270 315  
Antenna Height AAT (meters) 132.500 143.700 119.600 95.500 88.700 114.200 161.300 166.800  
Transmitting ERP (watts) 0.210 0.184 2.662 25.143 50.189 30.009 3.791 0.206



Call Sign: KNKN666

File Number:

Print Date:

| Location | Latitude     | Longitude     | Ground Elevation (meters) | Structure Hgt to Tip (meters) | Antenna Structure Registration No. |
|----------|--------------|---------------|---------------------------|-------------------------------|------------------------------------|
| 35       | 36-39-45.3 N | 084-26-36.2 W | 428.2                     | 79.9                          | 1275397                            |

Address: 6135 Hwy 1651 (115765)

City: Pine Knot County: MCCREARY State: KY Construction Deadline:

Antenna: 3

| Maximum Transmitting ERP in Watts: | 140.820 |         |         |        |        |         |         |         |
|------------------------------------|---------|---------|---------|--------|--------|---------|---------|---------|
| Azimuth(from true north)           | 0       | 45      | 90      | 135    | 180    | 225     | 270     | 315     |
| Antenna Height AAT (meters)        | 132.500 | 143.700 | 119.600 | 95.500 | 88.700 | 114.200 | 161.300 | 166.800 |
| Transmitting ERP (watts)           | 113.680 | 6.615   | 0.792   | 0.868  | 2.269  | 39.368  | 258.605 | 358.864 |

| Location | Latitude     | Longitude     | Ground Elevation (meters) | Structure Hgt to Tip (meters) | Antenna Structure Registration No. |
|----------|--------------|---------------|---------------------------|-------------------------------|------------------------------------|
| 36       | 36-50-27.1 N | 084-28-44.2 W | 425.5                     | 79.6                          | 1233359                            |

Address: 165 HWY 90 (114139)

City: Parkers Lake County: MCCREARY State: KY Construction Deadline:

Antenna: 1

| Maximum Transmitting ERP in Watts: | 140.820 |         |         |         |         |         |         |         |
|------------------------------------|---------|---------|---------|---------|---------|---------|---------|---------|
| Azimuth(from true north)           | 0       | 45      | 90      | 135     | 180     | 225     | 270     | 315     |
| Antenna Height AAT (meters)        | 185.500 | 163.600 | 170.800 | 152.900 | 106.200 | 178.000 | 165.700 | 183.000 |
| Transmitting ERP (watts)           | 23.185  | 14.817  | 1.670   | 0.153   | 0.104   | 0.150   | 1.655   | 13.513  |

Antenna: 2

| Maximum Transmitting ERP in Watts: | 140.820 |         |         |         |         |         |         |         |
|------------------------------------|---------|---------|---------|---------|---------|---------|---------|---------|
| Azimuth(from true north)           | 0       | 45      | 90      | 135     | 180     | 225     | 270     | 315     |
| Antenna Height AAT (meters)        | 185.500 | 163.600 | 170.800 | 152.900 | 106.200 | 178.000 | 165.700 | 183.000 |
| Transmitting ERP (watts)           | 2.683   | 26.605  | 140.903 | 189.301 | 44.170  | 3.813   | 0.542   | 0.629   |

Antenna: 3

| Maximum Transmitting ERP in Watts: | 140.820 |         |         |         |         |         |         |         |
|------------------------------------|---------|---------|---------|---------|---------|---------|---------|---------|
| Azimuth(from true north)           | 0       | 45      | 90      | 135     | 180     | 225     | 270     | 315     |
| Antenna Height AAT (meters)        | 185.500 | 163.600 | 170.800 | 152.900 | 106.200 | 178.000 | 165.700 | 183.000 |
| Transmitting ERP (watts)           | 2.063   | 0.405   | 0.373   | 6.243   | 54.676  | 179.706 | 144.196 | 16.857  |

| Location | Latitude     | Longitude     | Ground Elevation (meters) | Structure Hgt to Tip (meters) | Antenna Structure Registration No. |
|----------|--------------|---------------|---------------------------|-------------------------------|------------------------------------|
| 37       | 36-41-51.7 N | 085-07-19.1 W | 303.9                     | 78.0                          | 1273817                            |

Address: 399 Daylton Road (112920)

City: Albany County: CLINTON State: KY Construction Deadline:

Antenna: 1

| Maximum Transmitting ERP in Watts: | 140.820 |         |        |        |         |         |        |         |
|------------------------------------|---------|---------|--------|--------|---------|---------|--------|---------|
| Azimuth(from true north)           | 0       | 45      | 90     | 135    | 180     | 225     | 270    | 315     |
| Antenna Height AAT (meters)        | 103.500 | 53.600  | 30.000 | 64.200 | 100.300 | 112.300 | 94.400 | 76.300  |
| Transmitting ERP (watts)           | 255.895 | 112.531 | 6.303  | 1.065  | 0.524   | 0.886   | 15.778 | 134.111 |

Antenna: 2

| Maximum Transmitting ERP in Watts: | 140.820 |        |        |        |         |         |        |        |
|------------------------------------|---------|--------|--------|--------|---------|---------|--------|--------|
| Azimuth(from true north)           | 0       | 45     | 90     | 135    | 180     | 225     | 270    | 315    |
| Antenna Height AAT (meters)        | 103.500 | 53.600 | 30.000 | 64.200 | 100.300 | 112.300 | 94.400 | 76.300 |
| Transmitting ERP (watts)           | 1.151   | 13.278 | 68.092 | 80.326 | 20.259  | 1.984   | 0.205  | 0.284  |

Call Sign: KNKN666

File Number:

Print Date:

| Location | Latitude     | Longitude     | Ground Elevation (meters) | Structure Hgt to Tip (meters) | Antenna Structure Registration No. |
|----------|--------------|---------------|---------------------------|-------------------------------|------------------------------------|
| 37       | 36-41-51.7 N | 085-07-19.1 W | 303.9                     | 78.0                          | 1273817                            |

Address: 399 Daylton Road (112920)  
 City: Albany County: CLINTON State: KY Construction Deadline:

Antenna: 3  
 Maximum Transmitting ERP in Watts: 140.820  
 Azimuth(from true north) 0 45 90 135 180 225 270 315  
 Antenna Height AAT (meters) 103.500 53.600 30.000 64.200 100.300 112.300 94.400 76.300  
 Transmitting ERP (watts) 0.327 0.106 0.101 1.174 12.741 41.443 34.130 5.644

| Location | Latitude     | Longitude     | Ground Elevation (meters) | Structure Hgt to Tip (meters) | Antenna Structure Registration No. |
|----------|--------------|---------------|---------------------------|-------------------------------|------------------------------------|
| 38       | 36-44-13.0 N | 085-42-10.0 W | 309.7                     | 91.1                          | 1042225                            |

Address: 3151 EDMONTON ROAD (94259)  
 City: TOMPKINSVILLE County: MONROE State: KY Construction Deadline:

Antenna: 1  
 Maximum Transmitting ERP in Watts: 140.820  
 Azimuth(from true north) 0 45 90 135 180 225 270 315  
 Antenna Height AAT (meters) 111.100 109.700 147.100 108.800 126.000 145.900 125.000 125.900  
 Transmitting ERP (watts) 189.524 72.806 7.444 1.950 0.393 0.557 9.583 77.626

Antenna: 2  
 Maximum Transmitting ERP in Watts: 140.820  
 Azimuth(from true north) 0 45 90 135 180 225 270 315  
 Antenna Height AAT (meters) 111.100 109.700 147.100 108.800 126.000 145.900 125.000 125.900  
 Transmitting ERP (watts) 1.067 23.007 114.837 166.790 36.523 3.864 1.339 0.493

Antenna: 3  
 Maximum Transmitting ERP in Watts: 140.820  
 Azimuth(from true north) 0 45 90 135 180 225 270 315  
 Antenna Height AAT (meters) 111.100 109.700 147.100 108.800 126.000 145.900 125.000 125.900  
 Transmitting ERP (watts) 2.199 0.335 0.702 3.359 45.136 159.373 117.688 16.866

| Location | Latitude     | Longitude     | Ground Elevation (meters) | Structure Hgt to Tip (meters) | Antenna Structure Registration No. |
|----------|--------------|---------------|---------------------------|-------------------------------|------------------------------------|
| 39       | 36-38-51.6 N | 085-17-33.1 W | 317.0                     | 60.7                          |                                    |

Address: 5163 State Park (117828)  
 City: Cumberland County: CUMBERLAND State: KY Construction Deadline:

Antenna: 1  
 Maximum Transmitting ERP in Watts: 140.820  
 Azimuth(from true north) 0 45 90 135 180 225 270 315  
 Antenna Height AAT (meters) 100.500 86.500 93.600 115.600 123.000 167.100 133.100 121.800  
 Transmitting ERP (watts) 24.683 224.514 184.090 16.413 0.520 0.462 0.466 0.469

Antenna: 2  
 Maximum Transmitting ERP in Watts: 140.820  
 Azimuth(from true north) 0 45 90 135 180 225 270 315  
 Antenna Height AAT (meters) 100.500 86.500 93.600 115.600 123.000 167.100 133.100 121.800  
 Transmitting ERP (watts) 46.321 0.611 0.527 0.529 0.541 7.711 140.237 265.546

Licensee Name: NEW CINGULAR WIRELESS PCS, LLC

Call Sign: KNKN666

File Number:

Print Date:

| Location | Latitude     | Longitude     | Ground Elevation (meters) | Structure Hgt to Tip (meters) | Antenna Structure Registration No. |
|----------|--------------|---------------|---------------------------|-------------------------------|------------------------------------|
| 40       | 37-11-42.5 N | 085-57-13.0 W | 267.6                     | 99.1                          | 1224165                            |

Address: 1515 FISHER RIDGE ROAD (37620)  
City: Horse Cave County: HART State: KY Construction Deadline:

Antenna: 1  
Maximum Transmitting ERP in Watts: 140.820  
Azimuth(from true north) 0 45 90 135 180 225 270 315  
Antenna Height AAT (meters) 148.700 170.000 148.400 148.400 138.900 116.100 137.500 147.400  
Transmitting ERP (watts) 96.574 101.465 19.855 1.861 0.214 0.322 2.056 21.126

Antenna: 2  
Maximum Transmitting ERP in Watts: 140.820  
Azimuth(from true north) 0 45 90 135 180 225 270 315  
Antenna Height AAT (meters) 148.700 170.000 148.400 148.400 138.900 116.100 137.500 147.400  
Transmitting ERP (watts) 8.514 101.153 307.468 229.726 25.253 1.925 0.630 0.630

Antenna: 3  
Maximum Transmitting ERP in Watts: 140.820  
Azimuth(from true north) 0 45 90 135 180 225 270 315  
Antenna Height AAT (meters) 148.700 170.000 148.400 148.400 138.900 116.100 137.500 147.400  
Transmitting ERP (watts) 0.226 0.222 3.795 33.295 109.116 83.424 11.320 0.928

| Location | Latitude     | Longitude     | Ground Elevation (meters) | Structure Hgt to Tip (meters) | Antenna Structure Registration No. |
|----------|--------------|---------------|---------------------------|-------------------------------|------------------------------------|
| 41       | 37-01-03.9 N | 085-54-42.3 W | 254.8                     | 68.6                          | 1230168                            |

Address: 170 Robert Bishop Lane (94244)  
City: Glasgow County: BARREN State: KY Construction Deadline:

Antenna: 1  
Maximum Transmitting ERP in Watts: 140.820  
Azimuth(from true north) 0 45 90 135 180 225 270 315  
Antenna Height AAT (meters) 93.000 83.300 56.400 66.300 91.100 106.300 92.700 90.500  
Transmitting ERP (watts) 104.518 139.218 43.033 2.862 0.290 0.325 1.008 15.797

Antenna: 2  
Maximum Transmitting ERP in Watts: 140.820  
Azimuth(from true north) 0 45 90 135 180 225 270 315  
Antenna Height AAT (meters) 93.000 83.300 56.400 66.300 91.100 106.300 92.700 90.500  
Transmitting ERP (watts) 0.395 3.203 50.041 189.424 165.261 28.863 1.290 0.398

Antenna: 3  
Maximum Transmitting ERP in Watts: 140.820  
Azimuth(from true north) 0 45 90 135 180 225 270 315  
Antenna Height AAT (meters) 93.000 83.300 56.400 66.300 91.100 106.300 92.700 90.500  
Transmitting ERP (watts) 11.785 0.490 0.619 0.543 8.652 98.226 207.121 111.304

Control Points:

Control Pt. No. 1

Address: 124 South Keeneland Drive (Suite 103)  
City: RICHMOND County: MADISON State: KY Telephone Number: (859)544-4804

**Licensee Name:** NEW CINGULAR WIRELESS PCS, LLC

**Call Sign:** KNKN666

**File Number:**

**Print Date:**

**Waivers/Conditions:**

License renewal granted on a conditional basis, subject to the outcome of FCC proceeding WT Docket No. 10-112 (see FCC 10-86, paras. 113 and 126).

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Federal Communications Commission  
Wireless Telecommunications Bureau

RADIO STATION AUTHORIZATION

LICENSEE: NEW CINGULAR WIRELESS PCS, LLC

ATTN: LESLIE WILSON  
NEW CINGULAR WIRELESS PCS, LLC  
208 S AKARD ST., RM 1016  
DALLAS, TX 75202

|  |                    |
|--|--------------------|
| <b>Call Sign</b><br>KNLG209                | <b>File Number</b> |
| <b>Radio Service</b><br>CW - PCS Broadband |                    |

FCC Registration Number (FRN): 0003291192

|   |                                     |                                      |                           |
|---|-------------------------------------|--------------------------------------|---------------------------|
| <b>Grant Date</b><br>04-12-2017         | <b>Effective Date</b><br>08-31-2018 | <b>Expiration Date</b><br>04-28-2027 | <b>Print Date</b>         |
| <b>Market Number</b><br>BTA263          | <b>Channel Block</b><br>D           | <b>Sub-Market Designator</b><br>0    |                           |
| <b>Market Name</b><br>Louisville, KY    |                                     |                                      |                           |
| <b>1st Build-out Date</b><br>04-28-2002 | <b>2nd Build-out Date</b>           | <b>3rd Build-out Date</b>            | <b>4th Build-out Date</b> |

Waivers/Conditions:

License renewal granted on a conditional basis, subject to the outcome of FCC proceeding WT Docket No. 10-112 (see FCC 10-86, paras. 113 and 126).

Conditions:

Pursuant to §309(h) of the Communications Act of 1934, as amended, 47 U.S.C. §309(h), this license is subject to the following conditions: This license shall not vest in the licensee any right to operate the station nor any right in the use of the frequencies designated in the license beyond the term thereof nor in any other manner than authorized herein. Neither the license nor the right granted thereunder shall be assigned or otherwise transferred in violation of the Communications Act of 1934, as amended. See 47 U.S.C. § 310(d). This license is subject in terms to the right of use or control conferred by §706 of the Communications Act of 1934, as amended. See 47 U.S.C. §606.

This license may not authorize operation throughout the entire geographic area or spectrum identified on the hardcopy version. To view the specific geographic area and spectrum authorized by this license, refer to the Spectrum and Market Area information under the Market Tab of the license record in the Universal Licensing System (ULS). To view the license record, go to the ULS homepage at <http://wireless.fcc.gov/uls/index.htm?job=home> and select "License Search". Follow the instructions on how to search for license information.

**Licensee Name:** NEW CINGULAR WIRELESS PCS, LLC

**Call Sign:** KNLG209

**File Number:**

**Print Date:**

**700 MHz Relicensed Area Information:**

| <b>Market</b> | <b>Market Name</b> | <b>Buildout Deadline</b> | <b>Buildout Notification</b> | <b>Status</b> |
|---------------|--------------------|--------------------------|------------------------------|---------------|
|---------------|--------------------|--------------------------|------------------------------|---------------|

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**Federal Communications Commission  
Wireless Telecommunications Bureau**

**RADIO STATION AUTHORIZATION**

LICENSEE: NEW CINGULAR WIRELESS PCS, LLC

ATTN: CECIL J MATHEW  
NEW CINGULAR WIRELESS PCS, LLC  
208 S AKARD ST., RM 1015  
DALLAS, TX 75202

|  |                    |
|--|--------------------|
| <b>Call Sign</b><br>WPOI255                | <b>File Number</b> |
| <b>Radio Service</b><br>CW - PCS Broadband |                    |

FCC Registration Number (FRN): 0003291192

|  |   |                                      |                           |
|--|---|--------------------------------------|---------------------------|
| <b>Grant Date</b><br>05-27-2015                      | <b>Effective Date</b><br>08-31-2018     | <b>Expiration Date</b><br>06-23-2025 | <b>Print Date</b>         |
| <b>Market Number</b><br>MTA026                       | <b>Channel Block</b><br>A               | <b>Sub-Market Designator</b><br>19   |                           |
| <b>Market Name</b><br>Louisville-Lexington-Evansvill |   |                                      |                           |
| <b>1st Build-out Date</b><br>06-23-2000              | <b>2nd Build-out Date</b><br>06-23-2005 | <b>3rd Build-out Date</b>            | <b>4th Build-out Date</b> |

**Waivers/Conditions:**

This authorization is subject to the condition that, in the event that systems using the same frequencies as granted herein are authorized in an adjacent foreign territory (Canada/United States), future coordination of any base station transmitters within 72 km (45 miles) of the United States/Canada border shall be required to eliminate any harmful interference to operations in the adjacent foreign territory and to ensure continuance of equal access to the frequencies by both countries.

License renewal granted on a conditional basis, subject to the outcome of FCC proceeding WT Docket No. 10-112 (see FCC 10-86, paras. 113 and 126).

**Conditions:**

Pursuant to §309(h) of the Communications Act of 1934, as amended, 47 U.S.C. §309(h), this license is subject to the following conditions: This license shall not vest in the licensee any right to operate the station nor any right in the use of the frequencies designated in the license beyond the term thereof nor in any other manner than authorized herein. Neither the license nor the right granted thereunder shall be assigned or otherwise transferred in violation of the Communications Act of 1934, as amended. See 47 U.S.C. § 310(d). This license is subject in terms to the right of use or control conferred by §706 of the Communications Act of 1934, as amended. See 47 U.S.C. §606.

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**Licensee Name:** NEW CINGULAR WIRELESS PCS, LLC

**Call Sign:** WPOI255

**File Number:**

**Print Date:**

This authorization is subject to the condition that the remaining balance of the winning bid amount will be paid in accordance with Part 1 of the Commission's rules, 47 C.F.R. Part 1.

This license is conditioned upon compliance with the provisions of Applications of AT&T Wireless Services, Inc. and Cingular Wireless Corporation For Consent to Transfer Control of Licenses and Authorizations, Memorandum Opinion and Order, FCC 04-255 (rel. Oct. 26, 2004).

Spectrum Lease Associated with this License. See Spectrum Leasing Arrangement Letter dated 12/06/2004 and File # 0001918558.

The Spectrum Leasing Arrangement, which became effective upon approval of application file number 0001918558, was terminated on 04/14/2005. See file number 0002135370.

Commission approval of this application and the licenses contained therein are subject to the conditions set forth in the Memorandum Opinion and Order, adopted on December 29, 2006 and released on March 26, 2007, and revised in the Order on Reconsideration, adopted and released on March 26, 2007. See AT&T Inc. and BellSouth Corporation Application for Transfer of Control, WC Docket No. 06-74, Memorandum Opinion and Order, FCC 06-189 (rel. Mar. 26, 2007); AT&T Inc. and BellSouth Corporation, WC Docket No. 06-74, Order on Reconsideration, FCC 07-44 (rel. Mar. 26, 2007).



**Licensee Name:** NEW CINGULAR WIRELESS PCS, LLC

**Call Sign:** WPOI255

**File Number:**

**Print Date:**

**700 MHz Relicensed Area Information:**

| <b>Market</b> | <b>Market Name</b> | <b>Buildout Deadline</b> | <b>Buildout Notification</b> | <b>Status</b> |
|---------------|--------------------|--------------------------|------------------------------|---------------|
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**Federal Communications Commission  
Wireless Telecommunications Bureau**

**RADIO STATION AUTHORIZATION**

LICENSEE: NEW CINGULAR WIRELESS PCS, LLC

ATTN: LESLIE WILSON  
NEW CINGULAR WIRELESS PCS, LLC  
208 S AKARD ST., RM 1016  
DALLAS, TX 75202

|  |                    |
|--|--------------------|
| <b>Call Sign</b><br>WQDI528                | <b>File Number</b> |
| <b>Radio Service</b><br>CW - PCS Broadband |                    |

FCC Registration Number (FRN): 0003291192

|   |                                     |                                      |                           |
|---|-------------------------------------|--------------------------------------|---------------------------|
| <b>Grant Date</b><br>08-17-2015         | <b>Effective Date</b><br>08-31-2018 | <b>Expiration Date</b><br>09-06-2025 | <b>Print Date</b>         |
| <b>Market Number</b><br>BTA263          | <b>Channel Block</b><br>C           | <b>Sub-Market Designator</b><br>7    |                           |
| <b>Market Name</b><br>Louisville, KY    |                                     |                                      |                           |
| <b>1st Build-out Date</b><br>09-06-2010 | <b>2nd Build-out Date</b>           | <b>3rd Build-out Date</b>            | <b>4th Build-out Date</b> |

**Waivers/Conditions:**

License renewal granted on a conditional basis, subject to the outcome of FCC proceeding WT Docket No. 10-112 (see FCC 10-86, paras. 113 and 126).

**Conditions:**

Pursuant to §309(h) of the Communications Act of 1934, as amended, 47 U.S.C. §309(h), this license is subject to the following conditions: This license shall not vest in the licensee any right to operate the station nor any right in the use of the frequencies designated in the license beyond the term thereof nor in any other manner than authorized herein. Neither the license nor the right granted thereunder shall be assigned or otherwise transferred in violation of the Communications Act of 1934, as amended. See 47 U.S.C. § 310(d). This license is subject in terms to the right of use or control conferred by §706 of the Communications Act of 1934, as amended. See 47 U.S.C. §606.

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**Licensee Name:** NEW CINGULAR WIRELESS PCS, LLC

**Call Sign:** WQDI528

**File Number:**

**Print Date:**

**700 MHz Relicensed Area Information:**

| <b>Market</b> | <b>Market Name</b> | <b>Buildout Deadline</b> | <b>Buildout Notification</b> | <b>Status</b> |
|---------------|--------------------|--------------------------|------------------------------|---------------|
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RADIO STATION AUTHORIZATION

LICENSEE: NEW GINGULAR WIRELESS PCS, LLC

ATTN: CECIL J MATHEW  
NEW GINGULAR WIRELESS PCS, LLC  
208 S AKARD ST., RM 1015  
DALLAS, TX 75202

|  |                    |
|--|--------------------|
| <b>Call Sign</b><br>WQFA869                | <b>File Number</b> |
| <b>Radio Service</b><br>CW - PCS Broadband |                    |

FCC Registration Number (FRN): 0003291192

|                                      |                                     |                                      |                           |
|--------------------------------------|-------------------------------------|--------------------------------------|---------------------------|
| <b>Grant Date</b><br>04-11-2017      | <b>Effective Date</b><br>08-31-2018 | <b>Expiration Date</b><br>04-28-2027 | <b>Print Date</b>         |
| <b>Market Number</b><br>BTA263       | <b>Channel Block</b><br>E           | <b>Sub-Market Designator</b><br>4    |                           |
| <b>Market Name</b><br>Louisville, KY |                                     |                                      |                           |
| <b>1st Build-out Date</b>            | <b>2nd Build-out Date</b>           | <b>3rd Build-out Date</b>            | <b>4th Build-out Date</b> |

Waivers/Conditions:

License renewal granted on a conditional basis, subject to the outcome of FCC proceeding WT Docket No. 10-112 (see FCC 10-86, paras. 113 and 126).

Conditions:

Pursuant to §309(h) of the Communications Act of 1934, as amended, 47 U.S.C. §309(h), this license is subject to the following conditions: This license shall not vest in the licensee any right to operate the station nor any right in the use of the frequencies designated in the license beyond the term thereof nor in any other manner than authorized herein. Neither the license nor the right granted thereunder shall be assigned or otherwise transferred in violation of the Communications Act of 1934, as amended. See 47 U.S.C. § 310(d). This license is subject in terms to the right of use or control conferred by §706 of the Communications Act of 1934, as amended. See 47 U.S.C. §606.

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**Licensee Name:** NEW CINGULAR WIRELESS PCS, LLC

**Call Sign:** WQFA869

**File Number:**

**Print Date:**

**700 MHz Relicensed Area Information:**

| <b>Market</b> | <b>Market Name</b> | <b>Buildout Deadline</b> | <b>Buildout Notification</b> | <b>Status</b> |
|---------------|--------------------|--------------------------|------------------------------|---------------|
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Wireless Telecommunications Bureau**

**RADIO STATION AUTHORIZATION**

LICENSEE: NEW CINGULAR WIRELESS PCS, LLC

ATTN: CECIL J MATHEW  
NEW CINGULAR WIRELESS PCS, LLC  
208 S AKARD ST., RM 1015  
DALLAS, TX 75202

|   |                    |
|---|--------------------|
| <b>Call Sign</b><br>WQGA818   | <b>File Number</b> |
| <b>Radio Service</b><br>AW - AWS (1710-1755 MHz and<br>2110-2155 MHz) |                    |

FCC Registration Number (FRN): 0003291192

|   |                                     |                                      |                           |
|---|-------------------------------------|--------------------------------------|---------------------------|
| <b>Grant Date</b><br>11-29-2006           | <b>Effective Date</b><br>08-31-2018 | <b>Expiration Date</b><br>11-29-2021 | <b>Print Date</b>         |
| <b>Market Number</b><br>CMA447            | <b>Channel Block</b><br>A           | <b>Sub-Market Designator</b><br>0    |                           |
| <b>Market Name</b><br>Kentucky 5 - Barren |                                     |                                      |                           |
| <b>1st Build-out Date</b>                 | <b>2nd Build-out Date</b>           | <b>3rd Build-out Date</b>            | <b>4th Build-out Date</b> |

**Waivers/Conditions:**

This authorization is conditioned upon the licensee, prior to initiating operations from any base or fixed station, making reasonable efforts to coordinate frequency usage with known co-channel and adjacent channel incumbent federal users operating in the 1710-1755 MHz band whose facilities could be affected by the proposed operations. See, e.g., FCC and NTIA Coordination Procedures in the 1710-1755 MHz Band, Public Notice, FCC 06-50, WTB Docket No. 02-353, rel. April 20, 2006.

**Conditions:**

Pursuant to §309(h) of the Communications Act of 1934, as amended, 47 U.S.C. §309(h), this license is subject to the following conditions: This license shall not vest in the licensee any right to operate the station nor any right in the use of the frequencies designated in the license beyond the term thereof nor in any other manner than authorized herein. Neither the license nor the right granted thereunder shall be assigned or otherwise transferred in violation of the Communications Act of 1934, as amended. See 47 U.S.C. § 310(d). This license is subject in terms to the right of use or control conferred by §706 of the Communications Act of 1934, as amended. See 47 U.S.C. §606.

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**Licensee Name:** NEW CINGULAR WIRELESS PCS, LLC

**Call Sign:** WQGA818

**File Number:**

**Print Date:**

**700 MHz Relicensed Area Information:**

| <b>Market</b> | <b>Market Name</b> | <b>Buildout Deadline</b> | <b>Buildout Notification</b> | <b>Status</b> |
|---------------|--------------------|--------------------------|------------------------------|---------------|
|---------------|--------------------|--------------------------|------------------------------|---------------|

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Wireless Telecommunications Bureau**

**RADIO STATION AUTHORIZATION**

LICENSEE: NEW CINGULAR WIRELESS PCS, LLC

ATTN: CECIL J MATHEW  
NEW CINGULAR WIRELESS PCS, LLC  
208 S AKARD ST., RM 1015  
DALLAS, TX 75202

|   |                    |
|---|--------------------|
| <b>Call Sign</b><br>WQGD755   | <b>File Number</b> |
| <b>Radio Service</b><br>AW - AWS (1710-1755 MHz and<br>2110-2155 MHz) |                    |

FCC Registration Number (FRN): 0003291192

|  |                                     |                                      |                           |
|--|-------------------------------------|--------------------------------------|---------------------------|
| <b>Grant Date</b><br>12-18-2006              | <b>Effective Date</b><br>08-31-2018 | <b>Expiration Date</b><br>12-18-2021 | <b>Print Date</b>         |
| <b>Market Number</b><br>BEA047               | <b>Channel Block</b><br>C           | <b>Sub-Market Designator</b><br>9    |                           |
| <b>Market Name</b><br>Lexington, KY-TN-VA-WV |                                     |                                      |                           |
| <b>1st Build-out Date</b>                    | <b>2nd Build-out Date</b>           | <b>3rd Build-out Date</b>            | <b>4th Build-out Date</b> |

**Waivers/Conditions:**

This authorization is conditioned upon the licensee, prior to initiating operations from any base or fixed station, making reasonable efforts to coordinate frequency usage with known co-channel and adjacent channel incumbent federal users operating in the 1710-1755 MHz band whose facilities could be affected by the proposed operations. See, e.g., FCC and NTIA Coordination Procedures in the 1710-1755 MHz Band, Public Notice, FCC 06-50, WTB Docket No. 02-353, rel. April 20, 2006.

Grant of the request to update licensee name is conditioned on it not reflecting an assignment or transfer of control (see Rule 1.948); if an assignment or transfer occurred without proper notification or FCC approval, the grant is void and the station is licensed under the prior name.

**Conditions:**  
Pursuant to §309(h) of the Communications Act of 1934, as amended, 47 U.S.C. §309(h), this license is subject to the following conditions: This license shall not vest in the licensee any right to operate the station nor any right in the use of the frequencies designated in the license beyond the term thereof nor in any other manner than authorized herein. Neither the license nor the right granted thereunder shall be assigned or otherwise transferred in violation of the Communications Act of 1934, as amended. See 47 U.S.C. § 310(d). This license is subject in terms to the right of use or control-conferred by §706 of the Communications Act of 1934, as amended. See 47 U.S.C. §606.

This license may not authorize operation throughout the entire geographic area or spectrum identified on the hardcopy version. To view the specific geographic area and spectrum authorized by this license, refer to the Spectrum and Market Area information under the Market Tab of the license record in the Universal Licensing System (ULS). To view the license record, go to the ULS homepage at <http://wireless.fcc.gov/uls/index.htm?job=home> and select "License Search". Follow the instructions on how to search for license information.



**Licensee Name:** NEW CINGULAR WIRELESS PCS, LLC

**Call Sign:** WQGD755

**File Number:**

**Print Date:**

**700 MHz Relicensed Area Information:**

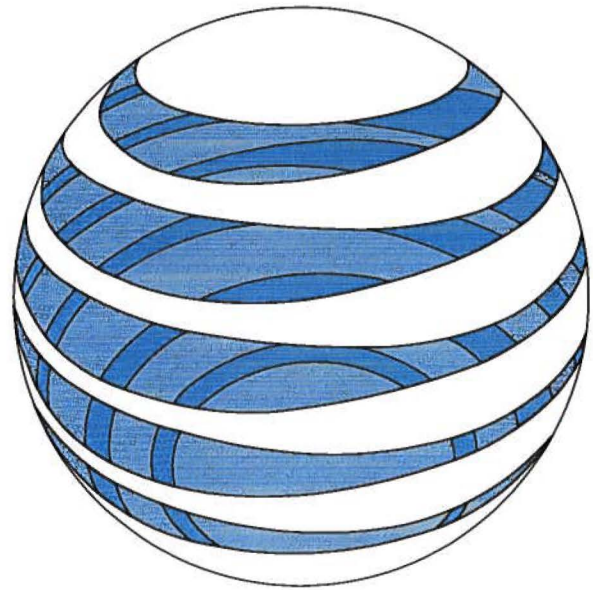
| <b>Market</b> | <b>Market Name</b> | <b>Buildout Deadline</b> | <b>Buildout Notification</b> | <b>Status</b> |
|---------------|--------------------|--------------------------|------------------------------|---------------|
|---------------|--------------------|--------------------------|------------------------------|---------------|

Reference Copy

**EXHIBIT B**

**SITE DEVELOPMENT PLAN:**

**500' VICINITY MAP  
LEGAL DESCRIPTIONS  
FLOOD PLAIN CERTIFICATION  
SITE PLAN  
VERTICAL TOWER PROFILE**



# at&t

SITE NAME:

SITE NUMBER:

## ELKHORN ROAD FN

## KYL01233

PROPOSED RAW LAND SITE WITH PROPOSED 255' SELF-SUPPORT TOWER W/  
15' LIGHTNING ARRESTOR AND INSTALLATION OF A CELLXION 8'-0" X 8'-0"  
SHELTER WITH DIESEL GENERATOR ON A CONCRETE FOUNDATION

| SHEET INDEX    |                                   |
|----------------|-----------------------------------|
| T-1            | TITLE SHEET & PROJECT INFORMATION |
| <b>SURVEY:</b> |                                   |
| B-1            | SITE SURVEY                       |
| B-1.1          | SITE SURVEY                       |
| <b>CIVIL:</b>  |                                   |
| C-1            | OVERALL SITE LAYOUT               |
| C-2            | OVERALL SITE LAYOUT -CONT'D       |
| C-3            | ENLARGED COMPOUND LAYOUT          |
| C-4            | TOWER ELEVATION                   |

| CONTACT INFORMATION   |  |
|---|--|
| <b>FIRE DEPARTMENT</b><br>KNIFLEY AREA VFD<br>PHONE: (270) 789-1713       |  |
| <b>POLICE DEPARTMENT</b><br>ADAIR COUNTY SHERIFF<br>PHONE: (270) 384-2776 |  |
| <b>ELECTRIC COMPANY</b><br>TAYLOR COUNTY RECC<br>PHONE: (800) 931-4551    |  |
| <b>TELEPHONE COMPANY</b><br>BLUEGRASS<br>PHONE: (877) 934-9451            |  |

PREPARED BY:

**POD**  
POWER OF DESIGN  
11490 BLUEGRASS PARKWAY  
LOUISVILLE, KY 40299  
502-437-5252

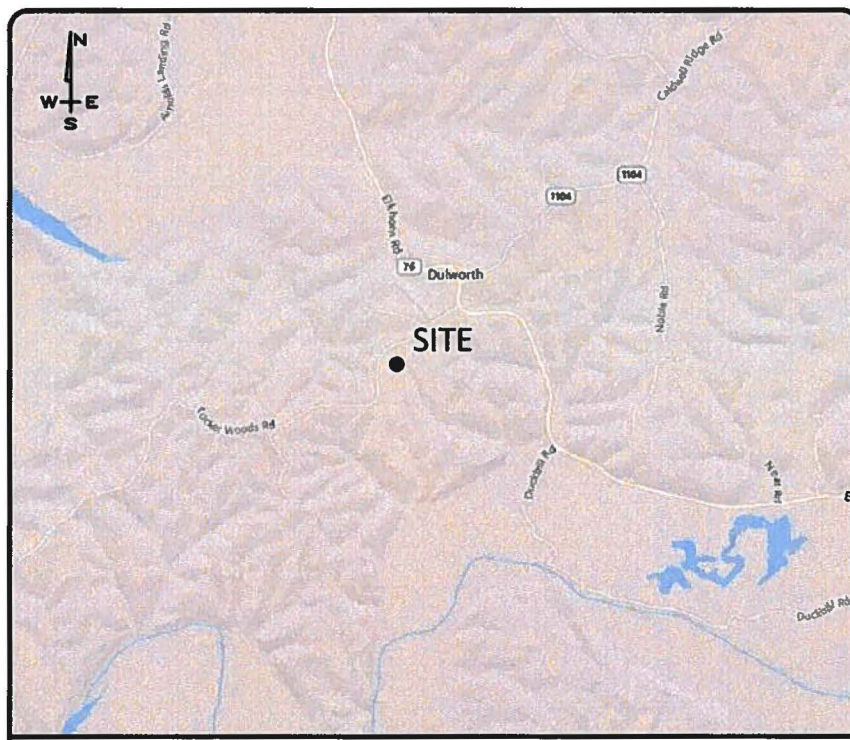
PREPARED FOR:

PREPARED FOR:

MARK E. PATTERSON  
16308  
PROFESSIONAL ENGINEER  
1/25/2019  
EN PERMIT: 3594

### ZONING DRAWINGS

| REV | DATE    | DESCRIPTION       |
|-----|---------|-------------------|
| A   | 1.4.19  | ISSUED FOR REVIEW |
| 0   | 1.25.19 | ISSUED AS FINAL   |
|     |         |                   |
|     |         |                   |
|     |         |                   |
|     |         |                   |
|     |         |                   |



| DRIVE DIRECTIONS  |            |
|---|------------|
| FROM ADAIR COUNTY CLERK, 424 PUBLIC SQUARE, SUITE 3, COLUMBIA, KY, 42728: |            |
| HEAD NORTHWEST TOWARD CAMPBELLSVILLE ST                                   | 472 FEET   |
| EXIT THE TRAFFIC CIRCLE ONTO CAMPBELLSVILLE ST                            | 1.6 MILES  |
| TURN RIGHT ONTO STATE HWY 551   | 11.9 MILES |
| TURN RIGHT ONTO KY-76 E   | 2.2 MILES  |
| TURN RIGHT ONTO DUNBAR HILL RD/TUCKER WOODS RD                            | 0.4 MILES  |
| ARRIVE AT SITE, ON THE LEFT   |            |

| PROJECT INFORMATION |   |
|---------------------|---|
| COUNTY:             | ADAIR   |
| SITE ADDRESS:       | 3575 ELKHORN ROAD<br>KNIFLEY, KY 42753  |
| APPLICANT:          | NEW CINGULAR WIRELESS PCS, LLC,<br>A DELAWARE LIMITED LIABILITY<br>COMPANY, D/B/A AT&T MOBILITY<br>MEIDINGER TOWER<br>462 S. 4TH STREET, SUITE 2400<br>LOUISVILLE, KY 40202 |
| LATITUDE:           | 37° 12' 35.49"  |
| LONGITUDE:          | 85° 10' 49.52"  |

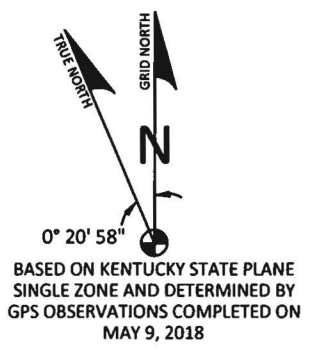
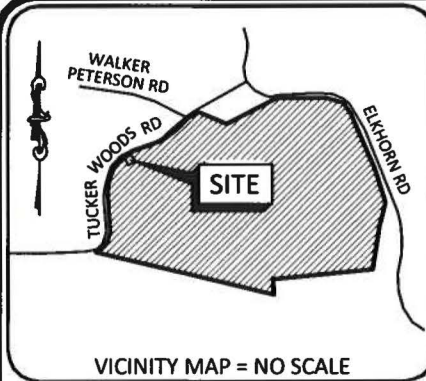
| BUILDING CODES AND STANDARDS  |  |
|---|--|
| CONTRACTOR'S WORK SHALL COMPLY WITH ALL APPLICABLE NATIONAL, STATE AND LOCAL CODES AS ADOPTED BY THE LOCAL AUTHORITY HAVING JURISDICTION FOR THE LOCATION.  |  |
| <ul style="list-style-type: none"> <li>CONTRACTOR'S WORK SHALL COMPLY WITH THE LATEST EDITION OF THE FOLLOWING STANDARDS:</li> <li>AMERICAN CONCRETE INSTITUTE 318</li> <li>AMERICAN INSTITUTE OF STEEL CONSTRUCTION MANUAL OF STEEL CONSTRUCTION</li> <li>TELECOMMUNICATIONS INDUSTRY ASSOCIATION TIA-222</li> <li>STRUCTURAL STANDARDS FOR STEEL ANTENNA TOWER AND SUPPORTING STRUCTURES TIA-601</li> <li>COMMERCIAL BUILDING GROUNDING AND BONDING REQUIREMENTS FOR TELECOMMUNICATIONS</li> <li>INSTITUTE FOR ELECTRICAL AND ELECTRONICS ENGINEERS IEEE-81, IEEE 1100, IEEE C62.41</li> <li>ANSI T1.311, FOR TELECOM - DC POWER SYSTEMS - TELECOM, ENVIRONMENTAL PROTECTION</li> <li>2014 KBC</li> <li>2014 NEC</li> </ul> |  |
| FOR ANY CONFLICTS BETWEEN SECTIONS OF LISTED CODES AND STANDARDS, THE MOST RESTRICTIVE REQUIREMENT SHALL GOVERN.  |  |

| SCOPE OF WORK:   |
|--|
| ZONING DRAWINGS FOR:<br>CONSTRUCTION OF A NEW UNMANNED TELECOMMUNICATIONS FACILITY.                        |
| SITE WORK: NEW TOWER, UNMANNED SHELTER WITH GENERATOR ON A CONCRETE FOUNDATION, AND UTILITY INSTALLATIONS. |

Know what's below.  
Call before you dig.  
Call Monday thru Friday - 7 am to 6 pm.  
**1-800-752-6007**  
PER KENTUCKY STATE LAW, IT IS AGAINST THE LAW TO EXCAVATE WITHOUT NOTIFYING THE UNDERGROUND LOCATION SERVICE TWO (2) WORKING DAYS BEFORE COMMENCING WORK.

| SITE INFORMATION:                            |          |
|--|----------|
| <b>ELKHORN ROAD FN</b>                       |          |
| 3575 ELKHORN ROAD<br>KNIFLEY, KY 42753       |          |
| ADAIR COUNTY                                 |          |
| SITE NUMBER:<br>KYL01233                     |          |
| POD NUMBER:                                  | 18-23984 |
| DRAWN BY:                                    | JER      |
| CHECKED BY:                                  | MEP      |
| DATE:  | 1.4.19   |
| SHEET TITLE:                                 |          |
| <b>TITLE SHEET &amp; PROJECT INFORMATION</b> |          |
| SHEET NUMBER:<br><b>T-1</b>                  |          |





**GENERAL NOTES**

NO SEARCH OF PUBLIC RECORDS HAS BEEN COMPLETED BY POD GROUP TO DETERMINE ANY DEFECTS AND/OR AMBIGUITIES IN THE TITLE OF THE SUBJECT PROPERTY.

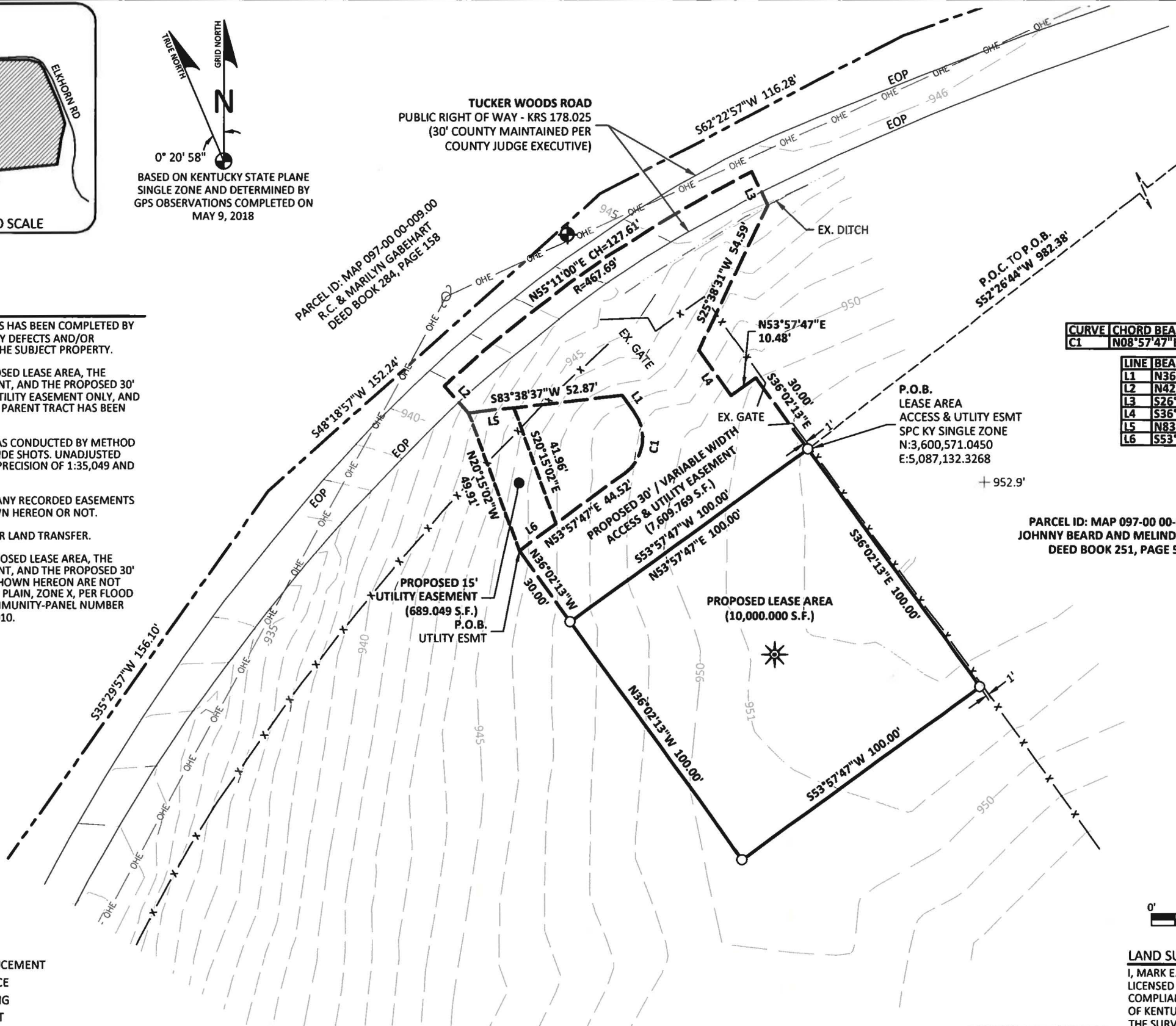
THIS SURVEY IS FOR THE PROPOSED LEASE AREA, THE PROPOSED 15' UTILITY EASEMENT, AND THE PROPOSED 30' / VARIABLE WIDTH ACCESS & UTILITY EASEMENT ONLY, AND NO BOUNDARY SURVEY OF THE PARENT TRACT HAS BEEN PERFORMED.

A PORTION OF THIS SURVEY WAS CONDUCTED BY METHOD OF RANDOM TRAVERSE WITH SIDE SHOTS. UNADJUSTED CLOSURE EQUALS 0.03', FOR A PRECISION OF 1:35,049 AND HAS NOT BEEN ADJUSTED.

THIS PROPERTY IS SUBJECT TO ANY RECORDED EASEMENTS AND/OR RIGHTS OF WAY SHOWN HEREON OR NOT.

THIS PLAT IS NOT INTENDED FOR LAND TRANSFER.

THE PARENT PARCEL, THE PROPOSED LEASE AREA, THE PROPOSED 15' UTILITY EASEMENT, AND THE PROPOSED 30' ACCESS & UTILITY EASEMENT SHOWN HEREON ARE NOT LOCATED IN A 100-YEAR FLOOD PLAIN, ZONE X, PER FLOOD HAZARD BOUNDARY MAP, COMMUNITY-PANEL NUMBER 21001C0185A, DATED 12/17/2010.



P.O.C.  
FOUND IRON PIPE  
(POINT OF BEGINNING AS  
DESCRIBED IN DEED BOOK 250,  
PAGE 566)  
SPC KY SINGLE ZONE  
N:3,601,169.8240  
E:5,087,911.1340

| CURVE | CHORD BEARING | CHORD LENGTH | RADIUS |
|-------|---------------|--------------|--------|
| C1    | N08°57'47"E   | 21.21'       | 15.00' |

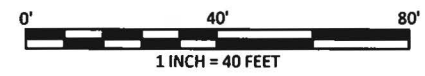
| LINE | BEARING     | DISTANCE |
|------|-------------|----------|
| L1   | N36°02'13"W | 6.85'    |
| L2   | N42°35'52"W | 12.38'   |
| L3   | S26°12'33"E | 12.78'   |
| L4   | S36°02'13"E | 19.13'   |
| L5   | N83°38'37"E | 15.45'   |
| L6   | S53°57'47"W | 15.59'   |

P.O.B.  
LEASE AREA  
ACCESS & UTILITY ESMT  
SPC KY SINGLE ZONE  
N:3,600,571.0450  
E:5,087,132.3268

PARCEL ID: MAP 097-00 00-022.00  
JOHNNY BEARD AND MELINDA BEARD  
DEED BOOK 251, PAGE 574

FAA COORDINATE POINT  
NAD 83  
LATITUDE: 37°12'35.49"  
LONGITUDE: 85°10'49.52"  
NAVD 88  
ELEVATION: 951± AMSL  
NORTHING: 3,600,501.1978  
EASTING: 5,087,121.3102

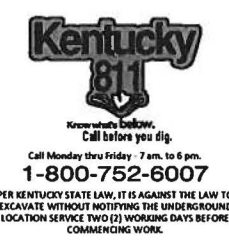
TEMPORARY BENCHMARK  
NORTHING: 3,600,643.824  
EASTING: 5,087,050.260  
ELEVATION: 944.51'  
LOCATION: SET 1/2" REBAR  
W/RED CAP STAMPED "POD TRAV"  
N48°26'W 109.7' ± FROM THE  
NORTHEAST CORNER OF THE  
PROPOSED LEASE AREA.



- LEGEND**
- UTILITY POLE
  - P.O.C. POINT OF COMMENCEMENT
  - P.O.R. POINT OF REFERENCE
  - P.O.B. POINT OF BEGINNING
  - EOP EDGE OF PAVEMENT
  - SPC STATE PLANE COORDINATE
  - + 952.9' EXISTING GROUND SPOT ELEVATION
  - OHE EX. OVERHEAD ELECTRIC
  - EX. FENCE
  - FOUND MONUMENT AS NOTED
  - SET 1/2" REBAR 18" LONG CAPPED "PATTERSON PLS 3136"
  - PROPERTY LINE
  - ADJACENT PROPERTY LINE

**GLOBAL POSITIONING SYSTEMS NOTE**

- RANDOM TRAVERSE POINTS AND A PORTION OF THE TOPOGRAPHY WAS LOCATED USING GPS.
- THE TYPE OF GPS UTILIZED WAS NETWORK ADJUSTED REAL TIME KINEMATIC (KDOT VRS NETWORK), NAD 83 KENTUCKY SINGLE ZONE WITH THE ORTHOMETRIC HEIGHT COMPUTED USING GEOID12A. RELATIVE POSITIONAL ACCURACY VARIED FROM 0.05' TO 0.07' HORIZONTALLY.
- SPECTRA PRECISION EPOCH 50 DUAL FREQUENCY RECEIVERS WERE USED TO PERFORM THE SURVEY.



*Mark Patterson*  
MARK PATTERSON, PLS #3136  
DATE 1/25/2019

PREPARED BY:  
**POD**  
POWER OF DESIGN  
11490 BLUEGRASS PARKWAY  
LOUISVILLE, KY 40299  
502-437-5252

PREPARED FOR:  
**MasTec**

PREPARED FOR:

**SURVEY**

| REV. | DATE    | DESCRIPTION           |
|------|---------|-----------------------|
| A    | 5.21.18 | PRELIM ISSUE w/ TITLE |
| 0    | 5.31.18 | ISSUED AS FINAL       |

SITE INFORMATION:  
**ELKHORN ROAD FN**  
3575 ELKHORN ROAD  
KNIFLEY, KY 42753  
ADAIR COUNTY

TAX PARCEL NUMBER:  
097-00 00-022.00

PROPERTY OWNERS:  
JOHNNY BEARD AND  
MELINDA BEARD  
919 CALDWELL RIDGE ROAD  
KNIFLEY, KY 42753

SOURCE OF TITLE:  
DEED BOOK 251, PAGE 574

SITE NUMBER:  
14365235

POD NUMBER: 18-23982

DRAWN BY: TMD  
CHECKED BY: MEP  
SURVEY DATE: 5.9.18  
PLAT DATE: 0.0.18

SHEET TITLE:  
**SITE SURVEY**  
THIS DOES NOT REPRESENT A  
BOUNDARY SURVEY OF THE  
PARENT PARCEL

SHEET NUMBER: (2 pages)  
**B-1**



**LEGAL DESCRIPTIONS**

**PROPOSED LEASE AREA**

THE FOLLOWING IS A DESCRIPTION OF THE PROPOSED LEASE AREA TO BE LEASED FROM THE PROPERTY CONVEYED TO JOHNNY BEARD AND MELINDA BEARD AS DESCRIBED IN DEED BOOK 251, PAGE 574 OF RECORD IN THE ADAIR COUNTY, KY CLERKS OFFICE, PARCEL ID: MAP 097-00 00-022.00, WHICH IS MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEARING DATUM USED HEREIN IS BASED UPON KENTUCKY STATE PLANE COORDINATE SYSTEM, SINGLE ZONE, NAD 83, FROM A REAL TIME KINEMATIC GLOBAL POSITIONING SYSTEM OBSERVATION USING THE KENTUCKY TRANSPORTATION CABINET REAL TIME GPS NETWORK COMPLETED ON MAY 19, 2018.

COMMENCING AT A FOUND IRON PIPE IAT A COMMON CORNER OF THE PROPERTY CONVEYED TO JOHNNY BEARD AND MELINDA BEARD AS ESTABLISHED BY THE EXCLUSION OF 41.94 ACRES DESCRIBED DEED BOOK 251, PAGE 574, SAID COMMENCEMENT POINT BEING THE TRUE POINT OF BEGINNING AS DESCRIBED IN DEED BOOK 250, PAGE 566, SAID COMMENCEMENT POINT ALSO HAVING A KENTUCKY SINGLE ZONE STATE PLANE COORDINATE VALUE OF N:3,601,169.8240, AND E:5,087,911.1340; THENCE LEAVING SAID IRON PIPE, S52°26'44"W 982.38' A SET 1/2" REBAR WITH CAP STAMPED "PATTERSON PLS 3136", HEREAFTER REFERRED TO AS A "SET IPC, IN THE NORTHEAST CORNER OF THE PROPOSED LEASE AREA AND BEING THE TRUE POINT OF BEGINNING ALSO HAVING A KENTUCKY SINGLE ZONE STATE PLANE COORDINATE VALUE OF N:3,600,571.0450, AND E:5,087,132.3268; THENCE S36°02'13"E 100.00' TO A SET IPC; THENCE S53°57'47"W 100.00' TO A SET IPC; THENCE N36°02'13"W 100.00' TO A SET IPC; THENCE N53°57'47"E 100.00' TO THE POINT OF BEGINNING CONTAINING 10,000.000 SQUARE FEET AS PER SURVEY BY MARK PATTERSON, PLS #3136 WITH POWER OF DESIGN GROUP, LLC DATED MAY 9, 2018.

**PROPOSED 30' / VARIABLE WIDTH ACCESS & UTILITY EASEMENT**

THE FOLLOWING IS A DESCRIPTION OF THE PROPOSED 30' / VARIABLE WIDTH ACCESS & UTILITY EASEMENT TO BE GRANTED FROM THE PROPERTY CONVEYED TO JOHNNY BEARD AND MELINDA BEARD AS DESCRIBED IN DEED BOOK 251, PAGE 574 OF RECORD IN THE ADAIR COUNTY, KY CLERKS OFFICE, PARCEL ID: MAP 097-00 00-022.00, WHICH IS MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEARING DATUM USED HEREIN IS BASED UPON KENTUCKY STATE PLANE COORDINATE SYSTEM, SINGLE ZONE, NAD 83, FROM A REAL TIME KINEMATIC GLOBAL POSITIONING SYSTEM OBSERVATION USING THE KENTUCKY TRANSPORTATION CABINET REAL TIME GPS NETWORK COMPLETED ON MARCH 12, 2018.

COMMENCING AT A FOUND IRON PIPE IAT A COMMON CORNER OF THE PROPERTY CONVEYED TO JOHNNY BEARD AND MELINDA BEARD AS ESTABLISHED BY THE EXCLUSION OF 41.94 ACRES DESCRIBED DEED BOOK 251, PAGE 574, SAID COMMENCEMENT POINT BEING THE TRUE POINT OF BEGINNING AS DESCRIBED IN DEED BOOK 250, PAGE 566, SAID COMMENCEMENT POINT ALSO HAVING A KENTUCKY SINGLE ZONE STATE PLANE COORDINATE VALUE OF N:3,601,169.8240, AND E:5,087,911.1340; THENCE LEAVING SAID IRON PIPE, S52°26'44"W 982.38' A SET 1/2" REBAR WITH CAP STAMPED "PATTERSON PLS 3136", HEREAFTER REFERRED TO AS A "SET IPC, IN THE NORTHEAST CORNER OF THE PROPOSED LEASE AREA AND BEING THE TRUE POINT OF BEGINNING ALSO HAVING A KENTUCKY SINGLE ZONE STATE PLANE COORDINATE VALUE OF N:3,600,571.0450, AND E:5,087,132.3268; THENCE ALONG THE NORTH LINE OF THE PROPOSED LEASE AREA, S53°57'47"W 100.00' TO A SET IPC; THENCE LEAVING SAID NORTH LINE, N36°02'13"W 30.00'; THENCE N53°57'47"E 44.52'; THENCE WITH THE CHORD OF A CURVE TO THE LEFT HAVING A RADIUS OF 15.00', N08°57'47"E 21.21'; THENCE N36°02'13"W 6.85'; THENCE S83°38'37"W 52.87'; THENCE N42°35'52"W 12.38' TO THE CENTER OF TUCKER WOODS ROAD; THENCE ALONG THE CENTER OF TUCKER WOODS ROAD, WITH THE CHORD OF A NON-TANGENT CURVE TO THE RIGHT HAVING A RADIUS OF 467.69', N55°11'00"E 127.61'; THENCE LEAVING SAID ROAD CENTER, S26°12'33"E 12.78'; THENCE S25°38'31"W 54.59'; THENCE S36°02'13"E 19.13'; THENCE N53°57'47"E 10.48'; THENCE S36°02'13"E 30.00' TO THE POINT OF BEGINNING CONTAINING 7,609.769 SQUARE FEET AS PER SURVEY BY MARK PATTERSON, PLS #3136 WITH POWER OF DESIGN GROUP, LLC DATED MAY 9, 2018.

**PROPOSED 15' UTILITY EASEMENT**

THE FOLLOWING IS A DESCRIPTION OF THE PROPOSED 15' UTILITY EASEMENT TO BE GRANTED FROM THE PROPERTY CONVEYED TO JOHNNY BEARD AND MELINDA BEARD AS DESCRIBED IN DEED BOOK 251, PAGE 574 OF RECORD IN THE ADAIR COUNTY, KY CLERKS OFFICE, PARCEL ID: MAP 097-00 00-022.00, WHICH IS MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEARING DATUM USED HEREIN IS BASED UPON KENTUCKY STATE PLANE COORDINATE SYSTEM, SINGLE ZONE, NAD 83, FROM A REAL TIME KINEMATIC GLOBAL POSITIONING SYSTEM OBSERVATION USING THE KENTUCKY TRANSPORTATION CABINET REAL TIME GPS NETWORK COMPLETED ON MARCH 12, 2018.

COMMENCING AT A FOUND IRON PIPE IAT A COMMON CORNER OF THE PROPERTY CONVEYED TO JOHNNY BEARD AND MELINDA BEARD AS ESTABLISHED BY THE EXCLUSION OF 41.94 ACRES DESCRIBED DEED BOOK 251, PAGE 574, SAID COMMENCEMENT POINT BEING THE TRUE POINT OF BEGINNING AS DESCRIBED IN DEED BOOK 250, PAGE 566, SAID COMMENCEMENT POINT ALSO HAVING A KENTUCKY SINGLE ZONE STATE PLANE COORDINATE VALUE OF N:3,601,169.8240, AND E:5,087,911.1340; THENCE LEAVING SAID IRON PIPE, S52°26'44"W 982.38' A SET 1/2" REBAR WITH CAP STAMPED "PATTERSON PLS 3136", HEREAFTER REFERRED TO AS A "SET IPC, IN THE NORTHEAST CORNER OF THE PROPOSED LEASE AREA ALSO HAVING A KENTUCKY SINGLE ZONE STATE PLANE COORDINATE VALUE OF N:3,600,571.0450, AND E:5,087,132.3268; THENCE ALONG THE NORTH LINE OF THE PROPOSED LEASE AREA, S53°57'47"W 100.00' TO A SET IPC; THENCE LEAVING SAID NORTH LINE, N36°02'13"W 30.00' TO THE TRUE POINT OF BEGINNING; THENCE N20°15'02"W 49.91'; THENCE N83°38'37"E 15.45'; THENCE S20°15'02"E 41.96'; THENCE S53°57'47"W 15.59' THE POINT OF BEGINNING CONTAINING 689.049 SQUARE FEET AS PER SURVEY BY MARK PATTERSON, PLS #3136 WITH POWER OF DESIGN GROUP, LLC DATED MAY 9, 2018.

**PARENT PARCEL LEGAL DESCRIPTION - DEED BOOK 251, PAGE 574 (NOT FIELD SURVEYED)**

BEGINNING AT A LARGE WHITE OAK TREE, ORIGINAL CORNER TO THE W.P. DUNBAR SURVEY; THENCE S 82 E 48.84 POLES TO A WHITE OAK AND BEECH, CALLED FOR, NOW A HICKORY; THENCE S 70 E 53.93 POLES TO A STONE JUST NORTH OF THE COUNTY ROAD; THENCE N 60-3/4 E 98.9 POLES TO A STAKE ON THE WEST SIDE OF THE OLD NEATSVILLE AND KNIFLEY PIKE; THENCE WITH THE MEANDERS OF SAID OLD ROAD BED AS FOLLOWS:

S 77-1/4 E 12.4 POLES; S L-L/L W 3 POLES; S 50-3/4 W 14 POLES; S 87-3/4 W 18.25 POLES; S 28-3/4 W 4 POLES; S 24-3/4 POLES; S 81 E 18.2 POLES; N 14- 1/4 E 23.32 POLES, S 80-3/4 E 14 POLES; S 39-1/2 E 32 POLES; S 14-1/4 E 18.16 POLES; S 19-1/4 E 14.12 POLES; S 12 E 32.44 POLES; S 16 E 13.4 POLES TO THE CENTER OF KENTUCKY HIGHWAY NO. 76, CORNER OF THE U. S. GOVERNMENT SURVEY; THENCE WITH SAID U. S. GOVERNMENT SURVEY AS FOLLOWS: S 17 DEGREES 33' W 181.9 FT.; S 7-1/4 W 74.8 FT.; S 7 DEGREES - 32' W 204.3 FEET; S 7 DEGREES - 13' W 413.8 FT.; S 82 DEGREES W 344.2 FT.; S 82 DEGREES - 13' W 149.6 FT.; S 83 DEGREES 18' W 172.2 FT.; S 83 DEGREES 27' W 505.0 FT.; S84 DEGREES -21' W 175.2 FT.; THENCE S 12-3/4 POLES TO A POINT WHERE A SUGAR TREE AND HORN BEAM ARE CALLED FOR FROM THE ORIGINAL DUNBAR SURVEY; THENCE WITH SAID DUNBAR SURVEY AS FOLLOWS: N 75 W 182.35 POLES TO A STAKE CALLED FOR; N 3-3/4 E 125.13 POLES TO THE BEGINNING, CONTAINING 235.45 ACRES, MORE OR LESS.

**EXCLUSION:**

THERE IS EXCLUDED FROM THE ABOVE DESCRIBED PROPERTY AND NOT CONVEYED HEREIN A TRACT OF LAND SOLD BY SIDNEY DUNBAR TO BRIAN WALKER AND BARBARA PETERSON, HUSBAND AND WIFE, BY DEED DATED DECEMBER 22, 1992, AND RECORDED IN DEED BOOK 250, PAGE 566, WHICH CONTAINS 41.94 ACRES, MORE OR LESS.

**TITLE OF COMMITMENT**

THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY POD GROUP, LLC. AND AS SUCH WE ARE NOT RESPONSIBLE FOR THE INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, UNRECORDED EASEMENTS, AUGMENTING EASEMENTS, IMPLIED OR PRESCRIPTIVE EASEMENTS, OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE AND THIS SURVEY WAS COMPLETED WITH THE AID OF TITLE WORK PREPARED BY US TITLE SOLUTIONS, FOR THE BENEFIT OF AT&T MOBILITY, FILE NO. 59215-KY1801-5030, FA 14365235, EFFECTIVE DATE OF FEBRUARY 7, 2018. THE FOLLOWING COMMENTS ARE IN REGARD TO SAID REPORT.

**SCHEDULE B**

- 1. TAXES, TAX LIENS, TAX SALES, WATER RATES, SEWER AND ASSESSMENTS SET FORTH IN SCHEDULE HEREIN.

TAX ID: 097-00 00-022.00  
 PERIOD: 2017 PAYMENT STATUS: PAID  
 TAX AMOUNT: \$1,113.67  
 (NOT A LAND SURVEY MATTER, THEREFORE POD GROUP, LLC DID NOT EXAMINE OR ADDRESS THIS ITEM.)

- 2. MORTGAGES RETURNED HEREIN. (NONE WITHIN PERIOD SEARCHED.)

- 3. ANY STATE OF FACTS WHICH AN ACCURATE SURVEY MIGHT SHOW OR SURVEY EXCEPTIONS SET FORTH HEREIN. (POD GROUP, LLC DID NOT PERFORM A BOUNDARY SURVEY OF THE PARENT PARCEL, AND THEREFORE CANNOT ADDRESS THIS ITEM.)

- 4. RIGHTS OF TENANTS OR PERSON IN POSSESSION. (RIGHTS ARE NOT A LAND SURVEY MATTER, THEREFORE POD GROUP, LLC DID NOT EXAMINE OR ADDRESS THIS ITEM.)

(JUDGMENTS, LIENS AND UCC)

- 5. (NONE WITHIN PERIOD SEARCHED.)

(COVENANTS/RESTRICTIONS)

- 6. NONE WITHIN PERIOD SEARCHED

(EASEMENTS AND RIGHTS OF WAY)

- 7. NONE WITHIN PERIOD SEARCHED

PREPARED BY:  
  
 11490 BLUEGRASS PARKWAY  
 LOUISVILLE, KY 40299  
 502-437-5252

PREPARED FOR:

PREPARED FOR:

**SURVEY**

| REV. | DATE    | DESCRIPTION           |
|------|---------|-----------------------|
| A    | 5.21.18 | PRELIM ISSUE w/ TITLE |
| 0    | 5.31.18 | ISSUED AS FINAL       |
|      |         |                       |
|      |         |                       |
|      |         |                       |

**SURVEY**

| REV. | DATE    | DESCRIPTION           |
|------|---------|-----------------------|
| A    | 5.21.18 | PRELIM ISSUE w/ TITLE |
| 0    | 5.31.18 | ISSUED AS FINAL       |
|      |         |                       |
|      |         |                       |
|      |         |                       |

SITE INFORMATION:  
**ELKHORN ROAD FN**  
 3575 ELKHORN ROAD  
 KNIFLEY, KY 42753  
 ADAIR COUNTY  
**TAX PARCEL NUMBER:**  
 097-00 00-022.00  
**PROPERTY OWNERS:**  
 JOHNNY BEARD AND  
 MELINDA BEARD  
 919 CALDWELL RIDGE ROAD  
 KNIFLEY, KY 42753  
**SOURCE OF TITLE:**  
 DEED BOOK 251, PAGE 574

**SITE NUMBER:**  
 14365235

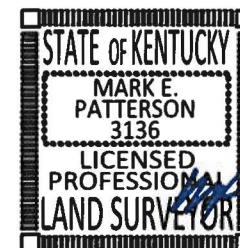
**POD NUMBER:** 18-23982

**DRAWN BY:** TMD  
**CHECKED BY:** MEP  
**SURVEY DATE:** 5.9.18  
**PLAT DATE:** 0.0.18

**SHEET TITLE:**  
**SITE SURVEY**  
 THIS DOES NOT REPRESENT A  
 BOUNDARY SURVEY OF THE  
 PARENT PARCEL

**SHEET NUMBER:** (2 pages)

**B-1.1**

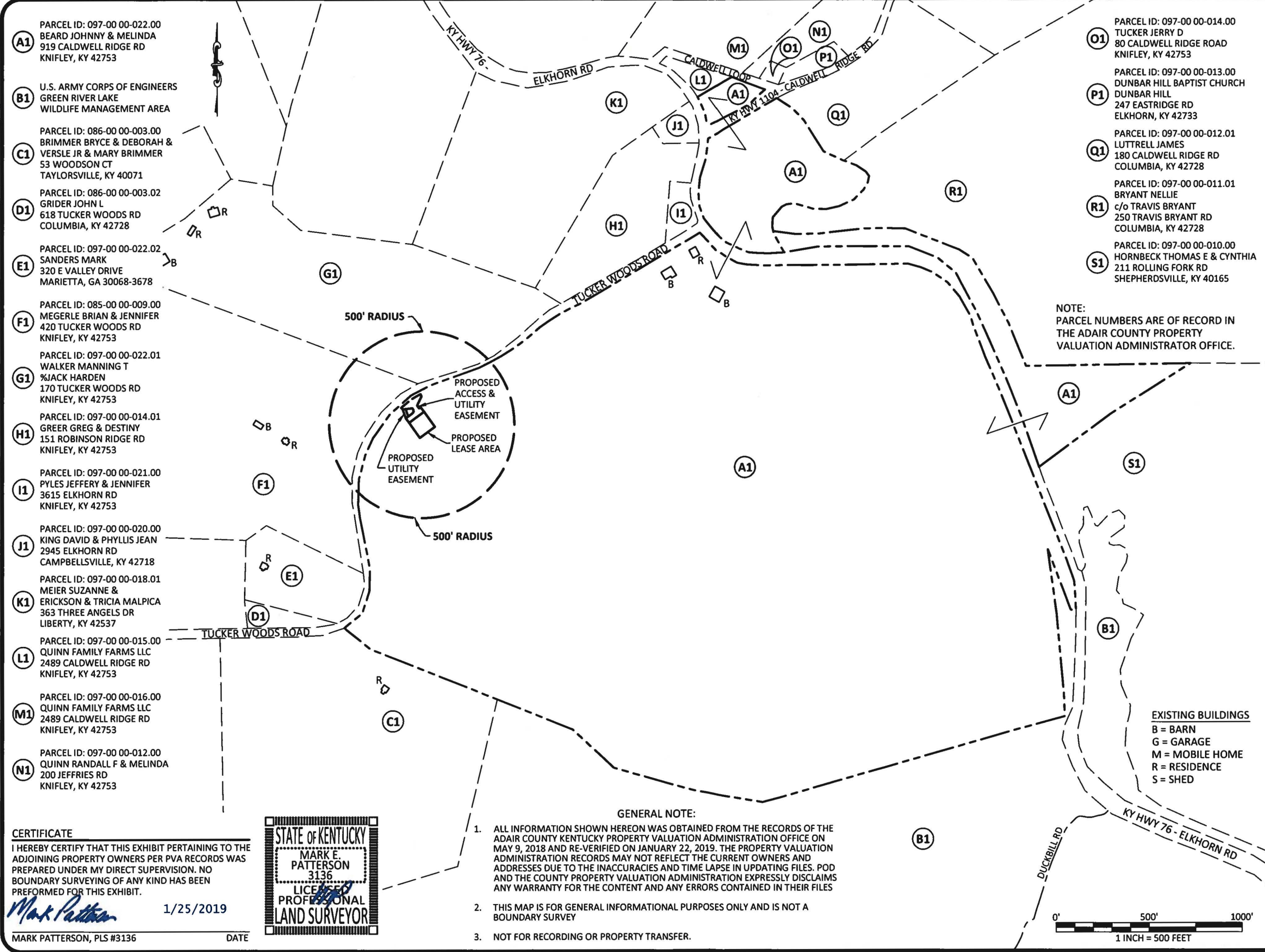


**LAND SURVEYOR'S CERTIFICATE**

I, MARK E. PATTERSON, HEREBY CERTIFY THAT I AM A LICENSED PROFESSIONAL LAND SURVEYOR LICENSED IN COMPLIANCE WITH THE LAWS OF THE COMMONWEALTH OF KENTUCKY. I FURTHER CERTIFY THAT THIS PLAT AND THE SURVEY ON THE GROUND WERE PERFORMED BY PERSONS UNDER MY DIRECT SUPERVISION, AND THAT THE DIRECTIONAL AND LINEAR MEASUREMENTS BEING WITNESSED BY MONUMENTS SHOWN HEREON ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. THE "RURAL" SURVEY, AND THE PLAT ON WHICH IT IS BASED, MEETS ALL SPECIFICATIONS AS STATED IN KAR 201 18:150.

1/25/2019  
 MARK PATTERSON, PLS #3136 DATE





**(A1)** PARCEL ID: 097-00 00-022.00  
BEARD JOHNNY & MELINDA  
919 CALDWELL RIDGE RD  
KNIFLEY, KY 42753

**(B1)** U.S. ARMY CORPS OF ENGINEERS  
GREEN RIVER LAKE  
WILDLIFE MANAGEMENT AREA

**(C1)** PARCEL ID: 086-00 00-003.00  
BRIMMER BRYCE & DEBORAH &  
VERSLE JR & MARY BRIMMER  
53 WOODSON CT  
TAYLORSVILLE, KY 40071

**(D1)** PARCEL ID: 086-00 00-003.02  
GRIDER JOHN L  
618 TUCKER WOODS RD  
COLUMBIA, KY 42728

**(E1)** PARCEL ID: 097-00 00-022.02  
SANDERS MARK  
320 E VALLEY DRIVE  
MARIETTA, GA 30068-3678

**(F1)** PARCEL ID: 085-00 00-009.00  
MEGERLE BRIAN & JENNIFER  
420 TUCKER WOODS RD  
KNIFLEY, KY 42753

**(G1)** PARCEL ID: 097-00 00-022.01  
WALKER MANNING T  
%JACK HARDEN  
170 TUCKER WOODS RD  
KNIFLEY, KY 42753

**(H1)** PARCEL ID: 097-00 00-014.01  
GREER GREG & DESTINY  
151 ROBINSON RIDGE RD  
KNIFLEY, KY 42753

**(I1)** PARCEL ID: 097-00 00-021.00  
PYLES JEFFERY & JENNIFER  
3615 ELKHORN RD  
KNIFLEY, KY 42753

**(J1)** PARCEL ID: 097-00 00-020.00  
KING DAVID & PHYLLIS JEAN  
2945 ELKHORN RD  
CAMPBELLSVILLE, KY 42718

**(K1)** PARCEL ID: 097-00 00-018.01  
MEIER SUZANNE &  
ERICKSON & TRICIA MALPICA  
363 THREE ANGELS DR  
LIBERTY, KY 42537

**(L1)** PARCEL ID: 097-00 00-015.00  
QUINN FAMILY FARMS LLC  
2489 CALDWELL RIDGE RD  
KNIFLEY, KY 42753

**(M1)** PARCEL ID: 097-00 00-016.00  
QUINN FAMILY FARMS LLC  
2489 CALDWELL RIDGE RD  
KNIFLEY, KY 42753

**(N1)** PARCEL ID: 097-00 00-012.00  
QUINN RANDALL F & MELINDA  
200 JEFFRIES RD  
KNIFLEY, KY 42753

**(O1)** PARCEL ID: 097-00 00-014.00  
TUCKER JERRY D  
80 CALDWELL RIDGE ROAD  
KNIFLEY, KY 42753

**(P1)** PARCEL ID: 097-00 00-013.00  
DUNBAR HILL BAPTIST CHURCH  
DUNBAR HILL  
247 EASTRIDGE RD  
ELKHORN, KY 42733

**(Q1)** PARCEL ID: 097-00 00-012.01  
LUTTRELL JAMES  
180 CALDWELL RIDGE RD  
COLUMBIA, KY 42728

**(R1)** PARCEL ID: 097-00 00-011.01  
BRYANT NELLIE  
c/o TRAVIS BRYANT  
250 TRAVIS BRYANT RD  
COLUMBIA, KY 42728

**(S1)** PARCEL ID: 097-00 00-010.00  
HORNBECK THOMAS E & CYNTHIA  
211 ROLLING FORK RD  
SHEPHERDSVILLE, KY 40165

NOTE:  
PARCEL NUMBERS ARE OF RECORD IN  
THE ADAIR COUNTY PROPERTY  
VALUATION ADMINISTRATOR OFFICE.

PREPARED BY:  
  
 POWER OF DESIGN  
 11490 BLUEGRASS PARKWAY  
 LOUISVILLE, KY 40299  
 502-437-5252

PREPARED FOR:  


PREPARED FOR:  


| EXHIBIT |         |                   |
|---------|---------|-------------------|
| REV.    | DATE    | DESCRIPTION       |
| A       | 1.22.19 | ISSUED FOR REVIEW |
| 0       | 1.25.19 | ISSUED AS FINAL   |
|         |         |                   |
|         |         |                   |


SITE INFORMATION:  
**ELKHORN ROAD FN**  
 3575 ELKHORN ROAD  
 KNIFLEY, KY 42753  
 ADAIR COUNTY  
**TAX PARCEL NUMBER:**  
 097-00 00-022.00  
**PROPERTY OWNERS:**  
 JOHNNY BEARD AND  
 MELINDA BEARD  
 919 CALDWELL RIDGE ROAD  
 KNIFLEY, KY 42753  
**SOURCE OF TITLE:**  
 DEED BOOK 251, PAGE 574

**SITE NUMBER:**  
 KYL01233

**POD NUMBER:** 18-23983  
**DRAWN BY:** DAP  
**CHECKED BY:** MEP  
**SURVEY DATE:** 5.9.18  
**PLAT DATE:** 1.22.19

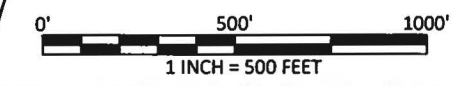
**SHEET TITLE:**  
 500' RADIUS AND  
 ABUTTERS MAP

**SHEET NUMBER:** (1 pages)  
**B-2**

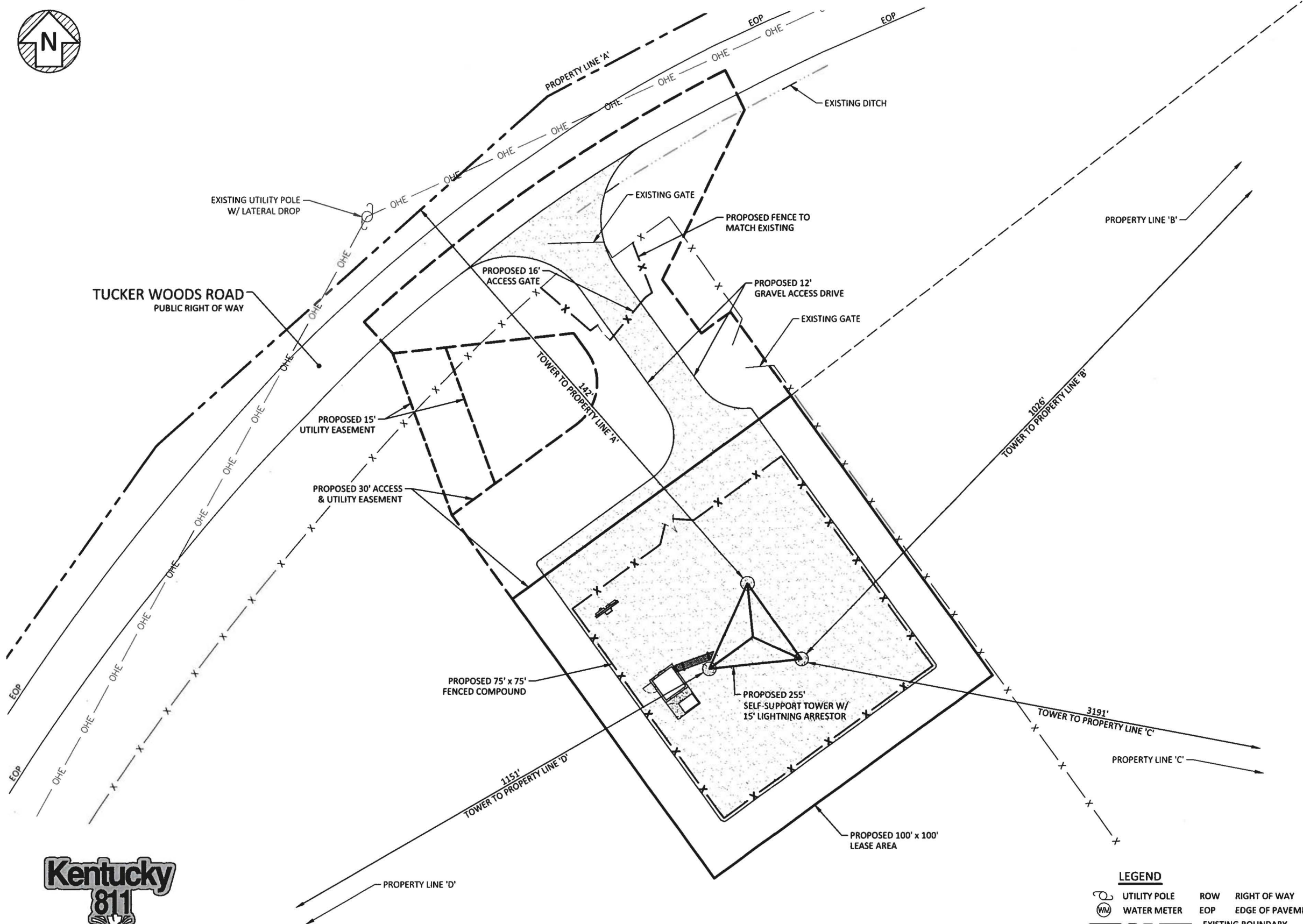
**CERTIFICATE**  
 I HEREBY CERTIFY THAT THIS EXHIBIT PERTAINING TO THE  
 ADJOINING PROPERTY OWNERS PER PVA RECORDS WAS  
 PREPARED UNDER MY DIRECT SUPERVISION. NO  
 BOUNDARY SURVEYING OF ANY KIND HAS BEEN  
 PERFORMED FOR THIS EXHIBIT.  
  
 1/25/2019  
 MARK PATTERSON, PLS #3136 DATE



- GENERAL NOTE:**
- ALL INFORMATION SHOWN HEREON WAS OBTAINED FROM THE RECORDS OF THE ADAIR COUNTY KENTUCKY PROPERTY VALUATION ADMINISTRATION OFFICE ON MAY 9, 2018 AND RE-VERIFIED ON JANUARY 22, 2019. THE PROPERTY VALUATION ADMINISTRATION RECORDS MAY NOT REFLECT THE CURRENT OWNERS AND ADDRESSES DUE TO THE INACCURACIES AND TIME LAPSE IN UPDATING FILES. POD AND THE COUNTY PROPERTY VALUATION ADMINISTRATION EXPRESSLY DISCLAIMS ANY WARRANTY FOR THE CONTENT AND ANY ERRORS CONTAINED IN THEIR FILES
  - THIS MAP IS FOR GENERAL INFORMATIONAL PURPOSES ONLY AND IS NOT A BOUNDARY SURVEY
  - NOT FOR RECORDING OR PROPERTY TRANSFER.







PREPARED BY:  
**POD**  
 POWER OF DESIGN  
 11490 BLUEGRASS PARKWAY  
 LOUISVILLE, KY 40299  
 502-437-5252

PREPARED FOR:  
**MasTec**

PREPARED FOR:  
**at&t**

STATE OF KENTUCKY  
**MARK E. PATTERSON**  
 16308  
 PROFESSIONAL ENGINEER

1/25/2019  
 EN PERMIT: 3594

**ZONING DRAWINGS**

| REV | DATE    | DESCRIPTION       |
|-----|---------|-------------------|
| A   | 1.4.19  | ISSUED FOR REVIEW |
| 0   | 1.25.19 | ISSUED AS FINAL   |
|     |         |                   |
|     |         |                   |
|     |         |                   |
|     |         |                   |
|     |         |                   |
|     |         |                   |

SITE INFORMATION:  
**ELKHORN ROAD FN**  
 3575 ELKHORN ROAD  
 KNIFLEY, KY 42753  
 ADAIR COUNTY

SITE NUMBER:  
**KYL01233**

POD NUMBER: 18-23984  
 DRAWN BY: JER  
 CHECKED BY: MEP  
 DATE: 1.4.19

SHEET TITLE:

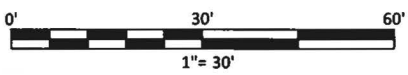
**OVERALL SITE LAYOUT**

SHEET NUMBER:  
**C-1**



Know what's below.  
 Call before you dig.  
 Call Monday thru Friday - 7 am. to 6 pm.  
**1-800-752-6007**

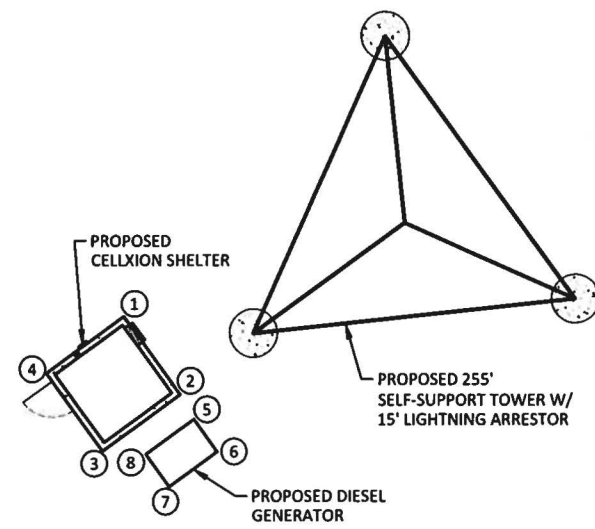
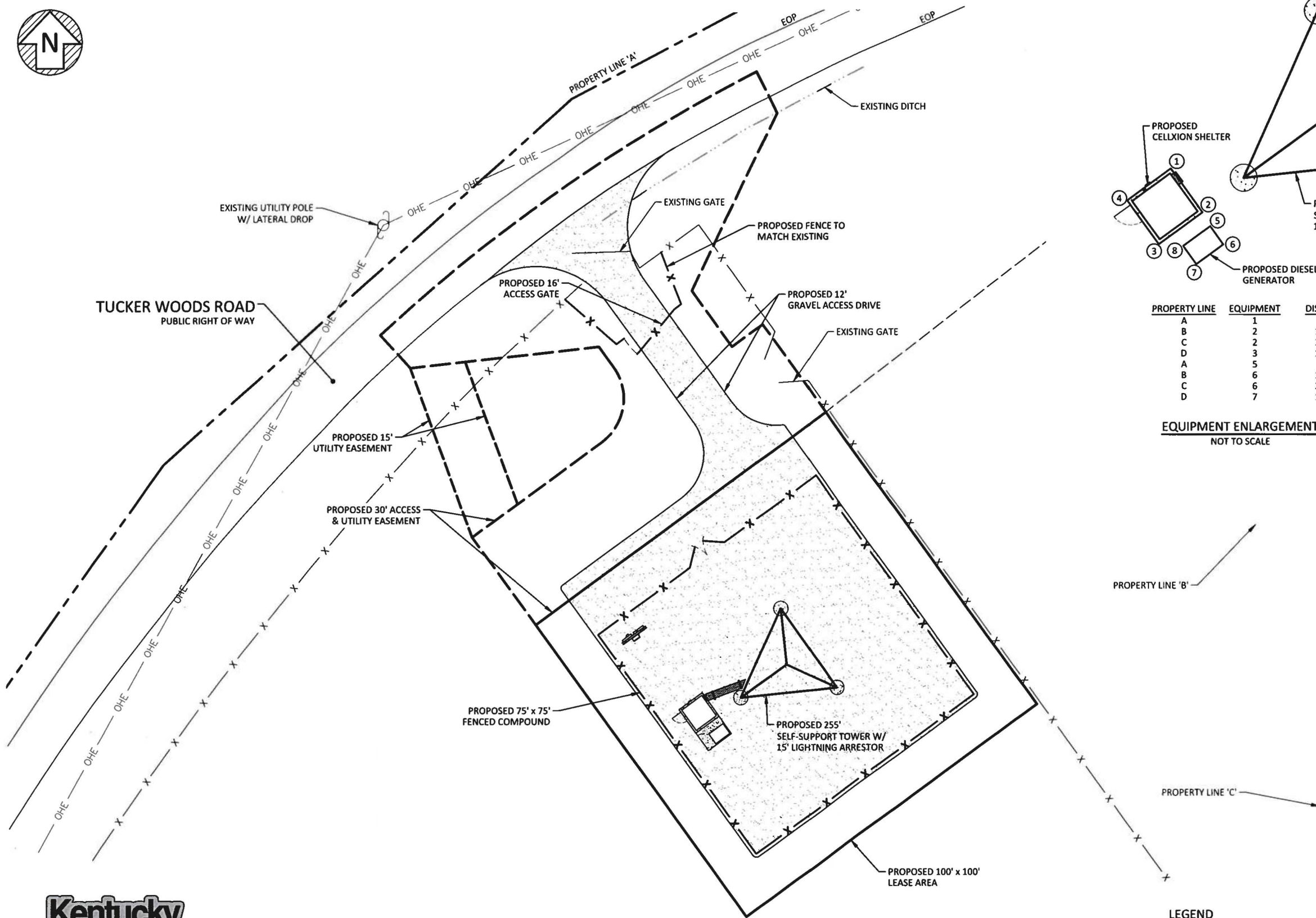
PER KENTUCKY STATE LAW, IT IS AGAINST THE LAW TO EXCAVATE WITHOUT NOTIFYING THE UNDERGROUND LOCATION SERVICE TWO (2) WORKING DAYS BEFORE COMMENCING WORK.



**LEGEND**

|  |                                    |     |                            |
|--|------------------------------------|-----|----------------------------|
|  | UTILITY POLE                       | ROW | RIGHT OF WAY               |
|  | WATER METER                        | EOP | EDGE OF PAVEMENT           |
|  | EXISTING BOUNDARY                  |     |                            |
|  | PROPOSED ACCESS & UTILITY EASEMENT |     |                            |
|  | PROPOSED FENCE LINE                |     |                            |
|  | EXISTING FENCE LINE                |     |                            |
|  | EXISTING RIGHT OF WAY              |     |                            |
|  | EXISTING UTILITY EASEMENT          |     |                            |
|  | OHE                                |     | EXISTING OVERHEAD ELECTRIC |
|  |                                    |     | EXISTING GRAVEL            |





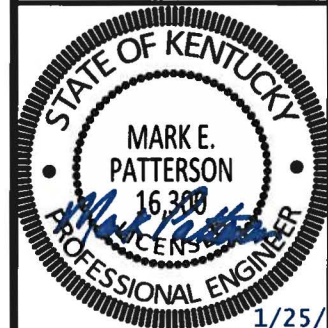
| PROPERTY LINE | EQUIPMENT | DISTANCE |
|---------------|-----------|----------|
| A             | 1         | 147'     |
| B             | 2         | 1058'    |
| C             | 2         | 3226'    |
| D             | 3         | 1140'    |
| A             | 5         | 157'     |
| B             | 6         | 1059'    |
| C             | 6         | 3224'    |
| D             | 7         | 1138'    |

**EQUIPMENT ENLARGEMENT**  
NOT TO SCALE

PREPARED BY:  
**POD**  
POWER OF DESIGN  
11490 BLUEGRASS PARKWAY  
LOUISVILLE, KY 40299  
502-437-5252

PREPARED FOR:  
**MasTec**

PREPARED FOR:  
**at&t**



1/25/2019

EN PERMIT: 3594

**ZONING DRAWINGS**

| REV | DATE    | DESCRIPTION       |
|-----|---------|-------------------|
| A   | 1.4.19  | ISSUED FOR REVIEW |
| 0   | 1.25.19 | ISSUED AS FINAL   |
|     |         |                   |
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|     |         |                   |
|     |         |                   |

SITE INFORMATION:  
**ELKHORN ROAD FN**  
3575 ELKHORN ROAD  
KNIFLEY, KY 42753  
ADAIR COUNTY

SITE NUMBER:  
KYLO1233

POD NUMBER: 18-23984

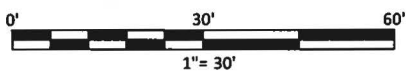
DRAWN BY: JER  
CHECKED BY: MEP  
DATE: 1.4.19

SHEET TITLE:  
**OVERALL SITE LAYOUT -CONT'D**

SHEET NUMBER:  
**C-2**



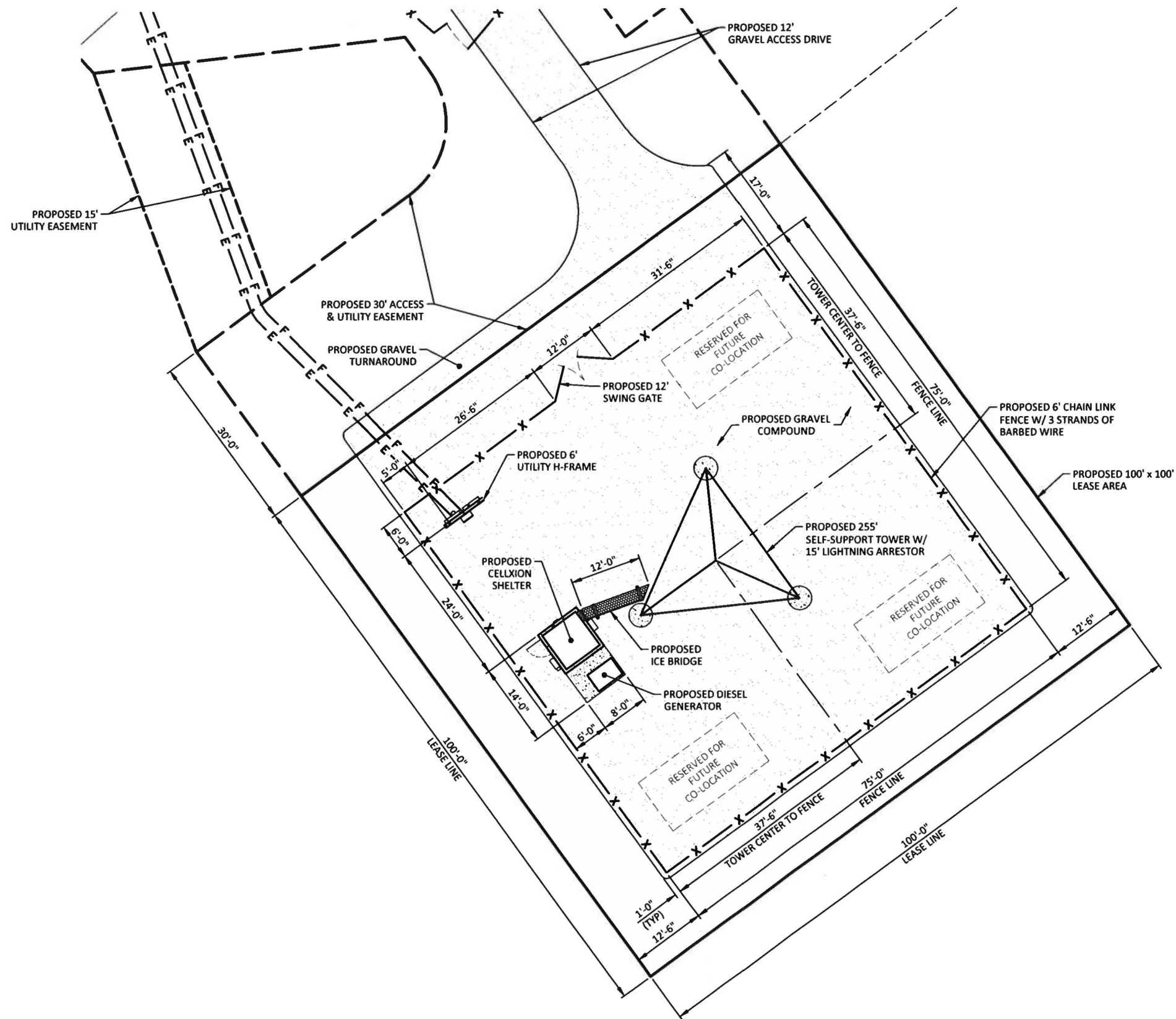
Know what's below.  
Call before you dig.  
Call Monday thru Friday - 7 am. to 6 pm.  
**1-800-752-6007**  
PER KENTUCKY STATE LAW, IT IS AGAINST THE LAW TO EXCAVATE WITHOUT NOTIFYING THE UNDERGROUND LOCATION SERVICE TWO (2) WORKING DAYS BEFORE COMMENCING WORK.



**LEGEND**

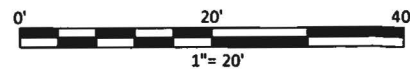
|  |                                    |     |                  |
|--|------------------------------------|-----|------------------|
|  | UTILITY POLE                       | ROW | RIGHT OF WAY     |
|  | WATER METER                        | EOP | EDGE OF PAVEMENT |
|  | EXISTING BOUNDARY                  |     |                  |
|  | PROPOSED ACCESS & UTILITY EASEMENT |     |                  |
|  | PROPOSED FENCE LINE                |     |                  |
|  | EXISTING FENCE LINE                |     |                  |
|  | EXISTING RIGHT OF WAY              |     |                  |
|  | EXISTING UTILITY EASEMENT          |     |                  |
|  | EXISTING OVERHEAD ELECTRIC         |     |                  |
|  | EXISTING GRAVEL                    |     |                  |





**LEGEND**

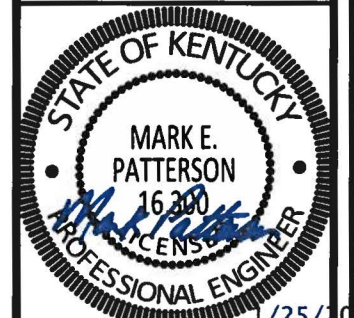
|       |       |                                    |
|-------|-------|------------------------------------|
| ---   | ---   | PROPOSED ACCESS & UTILITY EASEMENT |
| -X-X- | -X-X- | PROPOSED FENCE LINE                |
| -E-E- | -E-E- | PROPOSED ELECTRIC CONDUIT          |
| -F-F- | -F-F- | PROPOSED FIBER CONDUIT             |



PREPARED BY:  
  
**POD**  
 POWER OF DESIGN  
 11490 BLUEGRASS PARKWAY  
 LOUISVILLE, KY 40299  
 502-437-5252

PREPARED FOR:  


PREPARED FOR:  

EN PERMIT: 3594

**ZONING DRAWINGS**

| REV | DATE    | DESCRIPTION       |
|-----|---------|-------------------|
| A   | 1.4.19  | ISSUED FOR REVIEW |
| 0   | 1.25.19 | ISSUED AS FINAL   |
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|     |         |                   |
|     |         |                   |

SITE INFORMATION:  
**ELKHORN ROAD FN**  
 3575 ELKHORN ROAD  
 KNIFLEY, KY 42753  
 ADAIR COUNTY  
 SITE NUMBER:  
**KYL01233**

POD NUMBER: 18-23984  
 DRAWN BY: JER  
 CHECKED BY: MEP  
 DATE: 1.4.19

SHEET TITLE:  
**ENLARGED COMPOUND LAYOUT**

SHEET NUMBER:  
**C-3**

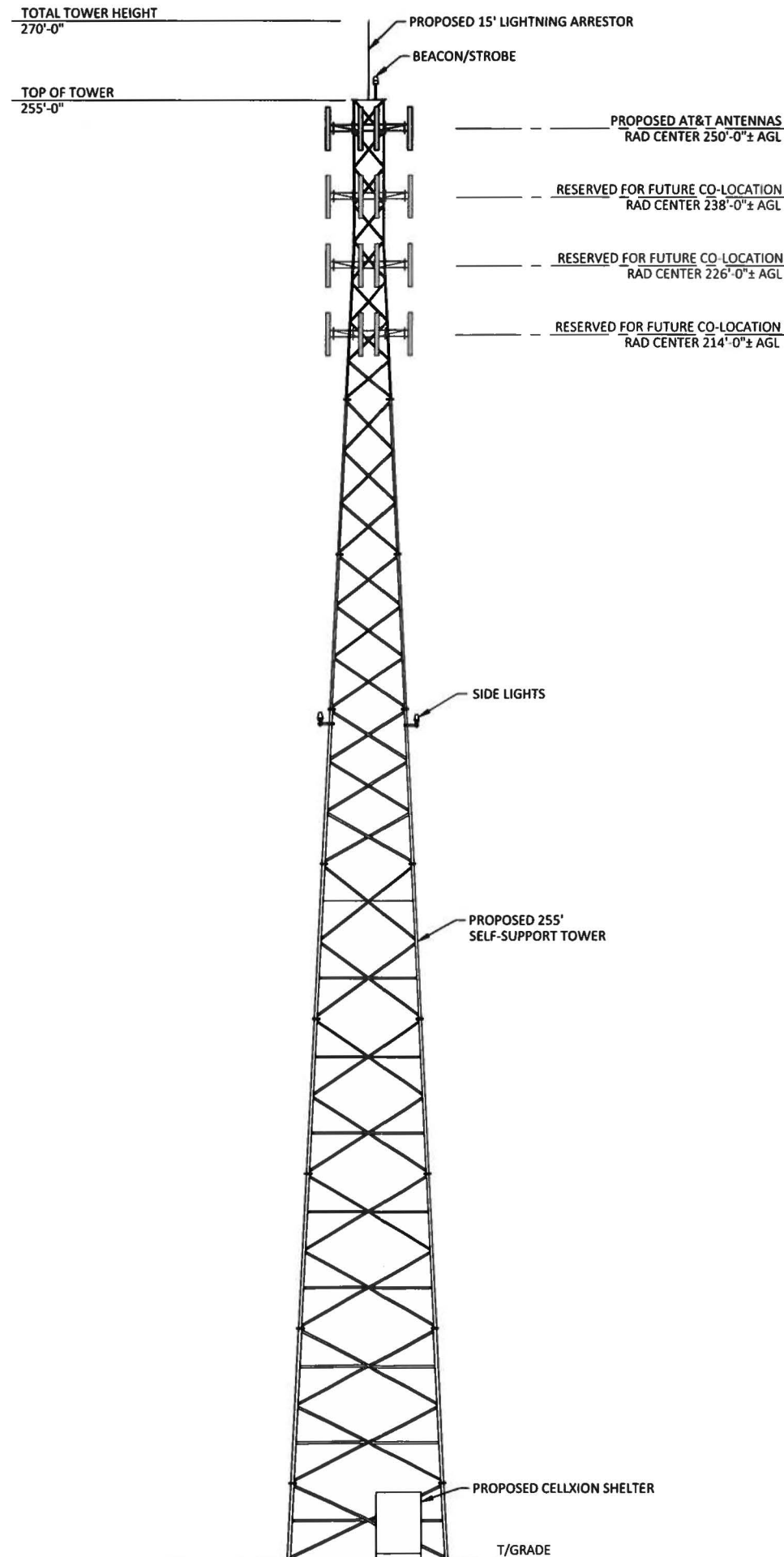


Know what's below.  
 Call before you dig.  
 Call Monday thru Friday - 7 am. to 6 pm.  
**1-800-752-6007**

PER KENTUCKY STATE LAW, IT IS AGAINST THE LAW TO EXCAVATE WITHOUT NOTIFYING THE UNDERGROUND LOCATION SERVICE TWO (2) WORKING DAYS BEFORE COMMENCING WORK.

**TOWER NOTES:**

1. THE PROPOSED TOWER, FOUNDATION, ANTENNA MOUNTS, AND ANTENNAS WERE DESIGNED BY OTHERS.
2. THE TOWER ELEVATION SHOWN IS FOR REFERENCE ONLY.
3. SEE TOWER MANUFACTURER'S DRAWINGS FOR TOWER AND FOUNDATION DETAILS & SPECIFICATIONS.
4. MANUFACTURER'S DRAWINGS SUPERCEDE A&E DRAWINGS.



PREPARED BY:  
  
 POWER OF DESIGN  
 11490 BLUEGRASS PARKWAY  
 LOUISVILLE, KY 40289  
 502-437-5252

PREPARED FOR:  


PREPARED FOR:  


STATE OF KENTUCKY  
 MARK E. PATTERSON  
 16,308  
 PROFESSIONAL ENGINEER  
 1/25/2019

EN PERMIT: 3594

**ZONING DRAWINGS**

| REV | DATE    | DESCRIPTION       |
|-----|---------|-------------------|
| A   | 1.4.19  | ISSUED FOR REVIEW |
| 0   | 1.25.19 | ISSUED AS FINAL   |
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|     |         |                   |
|     |         |                   |

SITE INFORMATION:  
**ELKHORN ROAD FN**  
 3575 ELKHORN ROAD  
 KNIFLEY, KY 42753  
 ADAIR COUNTY

SITE NUMBER:  
**KYL01233**

POD NUMBER: 18-23984

DRAWN BY: JER  
 CHECKED BY: MEP  
 DATE: 1.4.19

SHEET TITLE:  
**TOWER ELEVATION**

SHEET NUMBER:  
**C-4**

**EXHIBIT C**  
**TOWER AND FOUNDATION DESIGN**



December 20<sup>th</sup>, 2018

Kentucky Public Service Commission  
211 Sower Blvd.  
P.O. Box 615  
Frankfort, KY 40602-0615

RE: Site Name – Elkhorn Road FN  
Proposed Cell Tower  
37 12 35.49 North Latitude, 85 10 49.52 West Longitude

Dear Commissioners:

The Project / Construction Manager for the proposed new communications facility will be Don Murdock. His contact information is (615) 207-8280 or [Don.Murdock@mastec.com](mailto:Don.Murdock@mastec.com)

Don has been in the industry completing civil construction and constructing towers since 2009. He has worked at Mastec Network Solutions since 2009 completing project and construction management on new site build projects.

Thank you,

A handwritten signature in black ink, appearing to read "Don Murdock".

Don Murdock, Sr. Project Manager – Tennessee/Kentucky Market  
MasTec Network Solutions  
(615) 207-8280



February 6, 2019

Michelle Ward  
AT&T  
534 Armory Place, 4th Floor  
Louisville, KY 40202

RE: Proposed 255' Self-Supporting Tower for Elkhorn Road, KY

Dear Ms. Ward,

Upon receipt of order, we propose to design and supply the above referenced tower for a Basic Wind Speed of 105 mph with no ice and 30 mph with 1.5" radial ice, Structure Class II, Exposure Category C, and Topographic Category 2 with a Crest Height of 190', in accordance with the Telecommunications Industry Association Standard ANSI/TIA-222-G, "Structural Standard for Antenna Supporting Structures and Antennas".

When designed according to this standard, the wind pressures and steel strength capacities include several safety factors, resulting in an overall minimum safety factor of 25%. Therefore, it is highly unlikely that the tower will fail structurally in a wind event where the design wind speed is exceeded within the range of the built-in safety factors.

Should the wind speed increase beyond the capacity of the built-in safety factors, to the point of failure of one or more structural elements, the most likely location of the failure would be within one or more of the tower members in the upper portion. This would result in a buckling failure mode, where the loaded member would bend beyond its elastic limit (beyond the point where the member would return to its original shape upon removal of the wind load).

Therefore, it is likely that the overall effect of such an extreme wind event would be localized buckling of a tower section. Assuming that the wind pressure profile is similar to that used to design the tower, the tower is most likely to buckle at the location of the highest combined stress ratio in the upper portion of the tower. This would result in the portion of the tower above the failure location "folding over" onto the portion of the tower below the failure location. This would effectively result in a "zero radius fall zone" at ground level. ***Please note that this letter only applies to the above referenced tower designed and manufactured by Sabre Towers & Poles.***

Sincerely,

Robert E. Beacom, P.E., S.E.  
Engineering Supervisor





**Structural Design Report**  
255' S3TL Series HD1 Self-Supporting Tower  
Site: Elkhorn Road, KY

Prepared for: AT&T  
by: Sabre Towers & Poles™

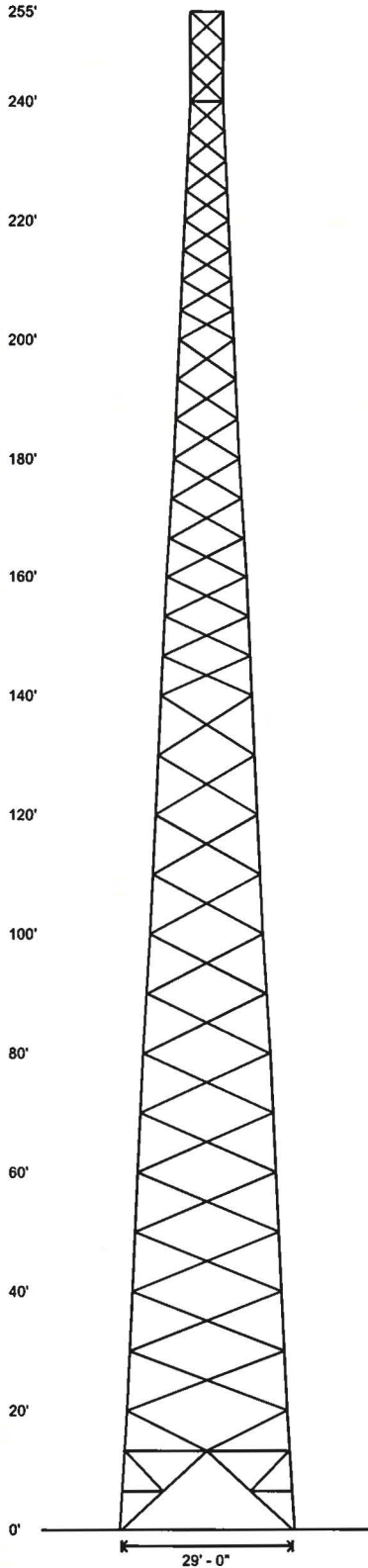
Job Number: 426310

February 6, 2019

|   |      |
|---|------|
| Tower Profile.....                                      | 1-2  |
| Foundation Design Summary (Preliminary) (Option 1)..... | 3    |
| Foundation Design Summary (Preliminary) (Option 2)..... | 4    |
| Maximum Leg Loads.....                                  | 5    |
| Maximum Diagonal Loads.....                             | 6    |
| Maximum Foundation Loads.....                           | 7    |
| Calculations.....                                       | 8-23 |



|                    |          |               |               |                |                       |                |                |      |                |        |
|--------------------|----------|---------------|---------------|----------------|-----------------------|----------------|----------------|------|----------------|--------|
| Legs               | I        | J             | A             | B              | C                     | D              | E              | F    | G              | H      |
| Diagonals          |          | L 4 X 4 X 3/8 | L 4 X 4 X 1/4 | L 4 X 4 X 5/16 | L 3 1/2 X 3 1/2 X 1/4 | L 3 X 3 X 3/16 | L 3 X 3 X 3/16 | L    | L 2 X 2 X 3/16 | M      |
| Horizontals        | N        |               |               |                | NONE                  |                |                |      |                | O NONE |
| Internals          | P        |               |               |                | NONE                  |                |                |      |                |        |
| Sub-Diagonals      | P        |               |               |                | NONE                  |                |                |      |                |        |
| Sub-Horizontals    | K        |               |               |                | NONE                  |                |                |      |                |        |
| Brace Bolts        | (2) 3/4" | (2) 5/8"      | (1) 3/4"      | (1) 3/4"       | (1) 3/4"              | (1) 3/4"       | (1) 5/8"       |      |                |        |
| Top Face Width     | 27'      | 25'           | 23'           | 21'            | 17'                   | 15'            | 13'            | 11'  | 7'             | 5'     |
| Panel Count/Height | Q        | R             | 12 @ 10'      | 9 @ 6.6667'    | 3017                  | 3211           | 4394           | 5173 | 1900           | 1375   |
| Section Weight     | 8849     | 8070          | 6386          | 6862           | 4518                  | 5173           | 5173           | 2421 | 1900           | 565    |



### Design Criteria - ANSI/TIA-222-G

|  |         |
|--|---------|
| ASCE 7-16 Ultimate Wind Speed (No Ice) | 105 mph |
| Wind Speed (Ice)                       | 30 mph  |
| Design Ice Thickness                   | 1.50 in |
| Structure Class                        | II      |
| Risk Category                          | II      |
| Exposure Category                      | C       |
| Topographic Category                   | 2       |
| Crest Height                           | 190 ft  |

### Base Reactions


| Total Foundation  |        | Individual Footing |       |
|-------------------|--------|--------------------|-------|
| Shear (kips)      | 110.46 | Shear (kips)       | 66.11 |
| Axial (kips)      | 273.15 | Compression (kips) | 672   |
| Moment (ft-kips)  | 15995  | Uplift (kips)      | 587   |
| Torsion (ft-kips) | 48.68  |                    |       |

### Material List

| Display | Value                  |
|---------|------------------------|
| A       | 12.75 OD X .375        |
| B       | 10.75 OD X .500        |
| C       | 8.625 OD X .322        |
| D       | 5.563 OD X .500        |
| E       | 5.563 OD X .375        |
| F       | 4.500 OD X .337        |
| G       | 3.500 OD X .300        |
| H       | 2.375 OD X .154        |
| I       | L 6 X 4 X 3/8          |
| J       | L 5 X 5 X 5/16         |
| K       | L 2 1/2 X 2 1/2 X 1/4  |
| L       | L 2 1/2 X 2 1/2 X 3/16 |
| M       | L 2 X 2 X 1/8          |
| N       | L 4 X 4 X 1/4          |
| O       | L 2 X 2 X 3/16         |
| P       | L 3 X 3 X 1/4          |
| Q       | 1 @ 13.333'            |
| R       | 1 @ 6.667'             |

### Notes

- 1) All legs are A500 (50 ksi Min. Yield).
- 2) All braces are A572 Grade 50.
- 3) All brace bolts are A325-X.
- 4) The tower model is S3TL Series HD1.
- 5) Transmission lines are to be attached to standard 12 hole waveguide ladders with stackable hangers.
- 6) Azimuths are relative (not based on true north).
- 7) Foundation loads shown are maximums.
- 8) All unequal angles are oriented with the short leg vertical.
- 9) Weights shown are estimates. Final weights may vary.
- 10) This tower design and, if applicable, the foundation design(s) shown on the following page(s) also meet or exceed the requirements of the 2012 International Building Code.
- 11) Tower Rating: 98.69%

|   |  |  |   |
|---|--|--|---|
|  | <b>Sabre Communications Corporation</b><br>7101 Southbridge Drive<br>P.O. Box 658<br>Sioux City, IA 51102-0658<br>Phone: (712) 258-6690<br>Fax: (712) 279-0814   |  | Job: 426310   |
|   | Information contained herein is the sole property of Sabre Communications Corporation, constitutes a trade secret as defined by Iowa Code Ch. 550 and shall not be reproduced, copied or used in whole or part for any purpose whatsoever without the prior written consent of Sabre Communications Corporation. |  | Customer: AT&T<br>Site Name: Elkhorn Road, KY<br>Description: 255' S3TL<br>Date: 2/6/2019 By: REB |

**Designed Appurtenance Loading**

| Elev | Description                        | Tx-Line     |
|------|------------------------------------|-------------|
| 260  | (1) Extendible Lightning Rod       |             |
| 250  | (1) 278 sq. ft. EPA 6000# (no ice) | (18) 1 5/8" |
| 238  | (1) 208 sq. ft. EPA 4000# (no ice) | (18) 1 5/8" |

| Elev | Description                        | Tx-Line     |
|------|------------------------------------|-------------|
| 226  | (1) 208 sq. ft. EPA 4000# (no ice) | (18) 1 5/8" |
| 214  | (1) 208 sq. ft. EPA 4000# (no ice) | (18) 1 5/8" |

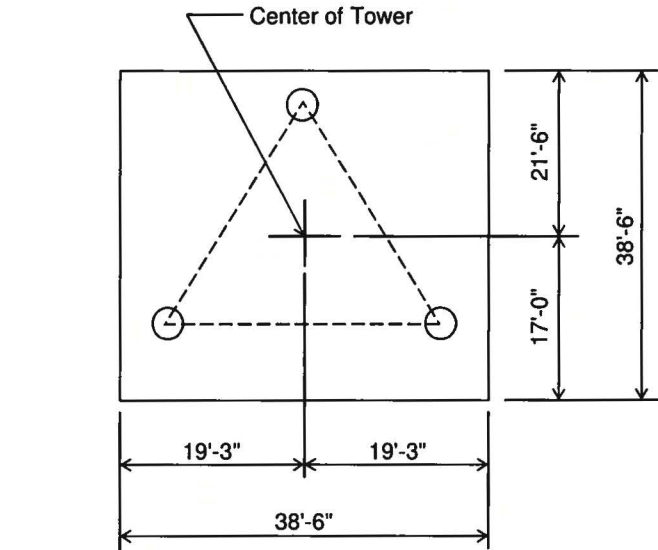
|   |   |              |                  |
|---|---|--------------|------------------|
|  <p><b>Sabre Industries</b><br/>Towers and Poles</p> | <p><b>Sabre Communications Corporation</b><br/>7101 Southbridge Drive<br/>P.O. Box 658<br/>Sioux City, IA 51102-0658<br/>Phone: (712) 258-6890<br/>Fax: (712) 279-0814</p> <p><small>Information contained herein is the sole property of Sabre Communications Corporation, constitutes a trade secret as defined by Iowa Code Ch. 550 and shall not be reproduced, copied or used in whole or part for any purpose whatsoever without the prior written consent of Sabre Communications Corporation.</small></p> | Job:         | 426310           |
|   |   | Customer:    | AT&T             |
|   |   | Site Name:   | Elkhorn Road, KY |
|   |   | Description: | 255' S3TL        |
|   |   | Date:        | 2/6/2019         |



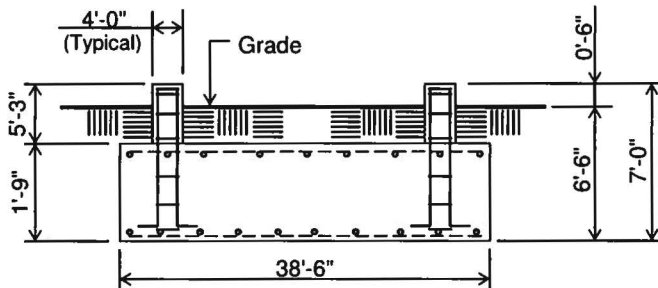
**Customer: AT&T**  
**Site: Elkhorn Road, KY**

255 ft. Model S3TL Series HD1 Self Supporting Tower

**PRELIMINARY -NOT FOR CONSTRUCTION-**



**PLAN VIEW**



**ELEVATION VIEW**

(103.4 cu. yds.)  
(1 REQD.; NOT TO SCALE)

**CAUTION:** Center of tower is not in center of slab.

**Notes:**

- 1) Concrete shall have a minimum 28-day compressive strength of 4,500 psi, in accordance with ACI 318-11.
- 2) Rebar to conform to ASTM specification A615 Grade 60.
- 3) All rebar to have a minimum of 3" concrete cover.
- 4) All exposed concrete corners to be chamfered 3/4".
- 5) The foundation design is based on presumptive clay soil as defined in ANSI/TIA-222-G-2005. It is recommended that a soil analysis of the site be performed to verify the soil parameters used in the design.
- 6) The foundation is based on the following factored loads:  
Factored download (kips) = 105.22  
Factored overturn (kip-ft) = 15,995.08  
Factored shear (kips) = 110.46
- 7) 4.75' of soil cover is required over the entire area of the foundation slab.
- 8) The bottom anchor bolt template shall be positioned as closely as possible to the bottom of the anchor bolts.

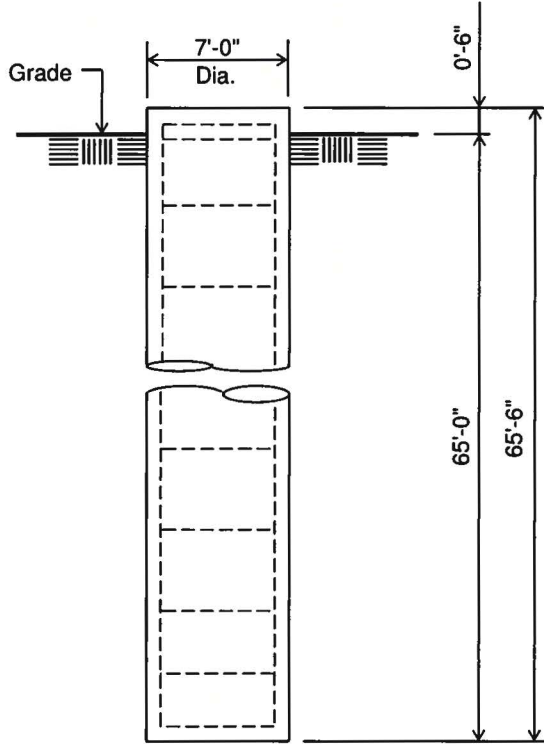
| <b>Rebar Schedule per Mat and per Pier</b>  |   |
|---|---|
| <b>Pier</b>   | (20) #8 vertical rebar w/ hooks at bottom w/ #4 rebar ties, two (2) within top 5" of pier then 9" C/C |
| <b>Mat</b>  | (66) #10 horizontal rebar evenly spaced each way top and bottom. (264 total)                          |
| <b>Anchor Bolts per Leg</b>   |   |
| (6) 1.75" dia. x 87" F1554-105 on a 18" B.C. w/ 10.5" max. projection above concrete. |   |

Information contained herein is the sole property of Sabre Towers & Poles, constitutes a trade secret as defined by Iowa Code Ch. 550 and shall not be reproduced, copied or used in whole or part for any purpose whatsoever without the prior written consent of Sabre Towers & Poles.

**Customer: AT&T**  
**Site: Elkhorn Road, KY**

255 ft. Model S3TL Series HD1 Self Supporting Tower

**PRELIMINARY -NOT FOR CONSTRUCTION-**



**Notes:**

- 1) Concrete shall have a minimum 28-day compressive strength of 4,500 psi, in accordance with ACI 318-11.
- 2) Rebar to conform to ASTM specification A615 Grade 60.
- 3) All rebar to have a minimum of 3" concrete cover.
- 4) All exposed concrete corners to be chamfered 3/4".
- 5) The foundation design is based on presumptive clay soil as defined in ANSI/TIA-222-G-2005. It is recommended that a soil analysis of the site be performed to verify the soil parameters used in the design.
- 6) The foundation is based on the following factored loads:  
Factored uplift (kips) = 587.00  
Factored download (kips) = 672.00  
Factored shear (kips) = 66.00
- 7) The bottom anchor bolt template shall be positioned as closely as possible to the bottom of the anchor bolts.

**ELEVATION VIEW**

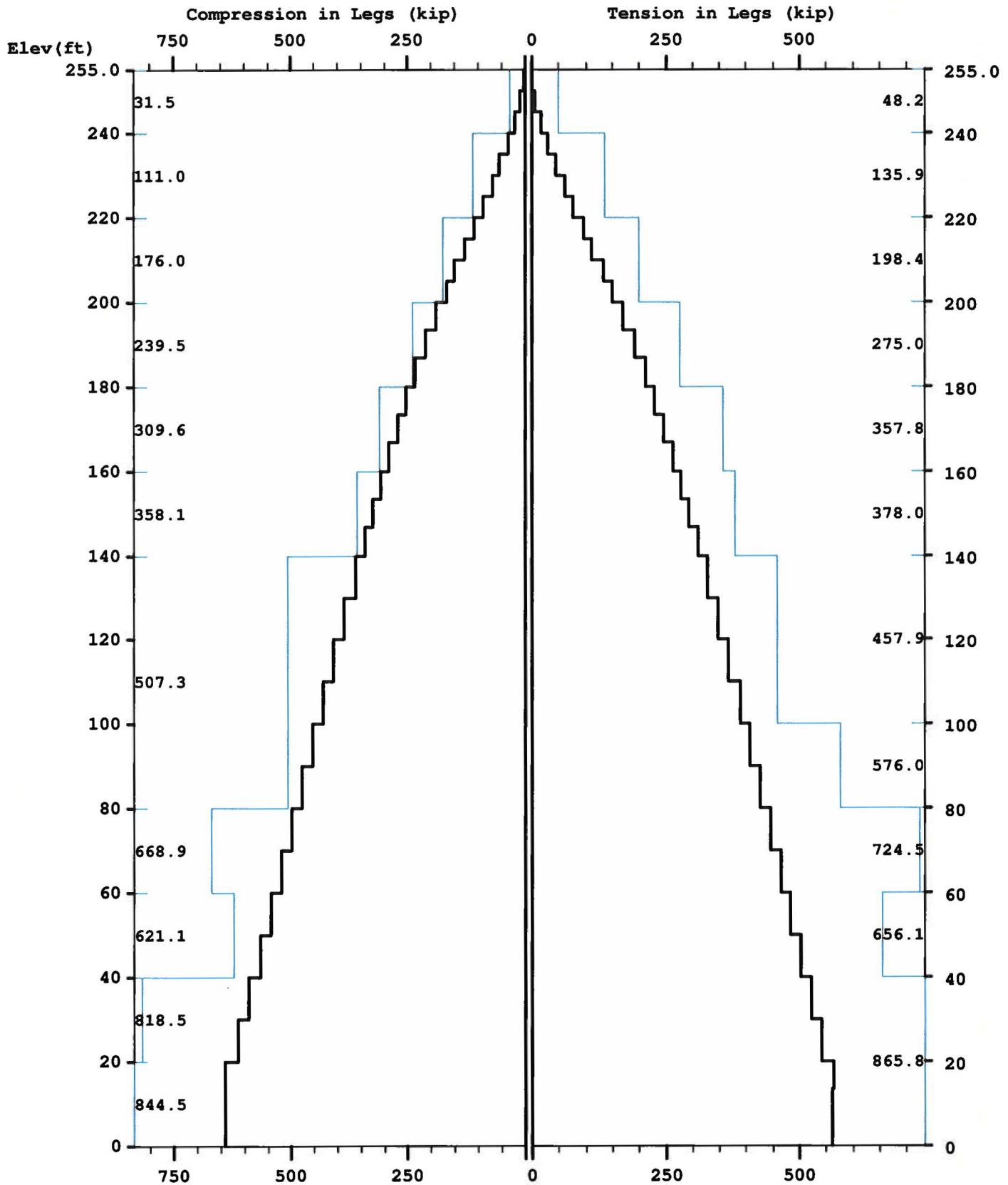
(93.4 cu. yds.)

(3 REQUIRED; NOT TO SCALE)

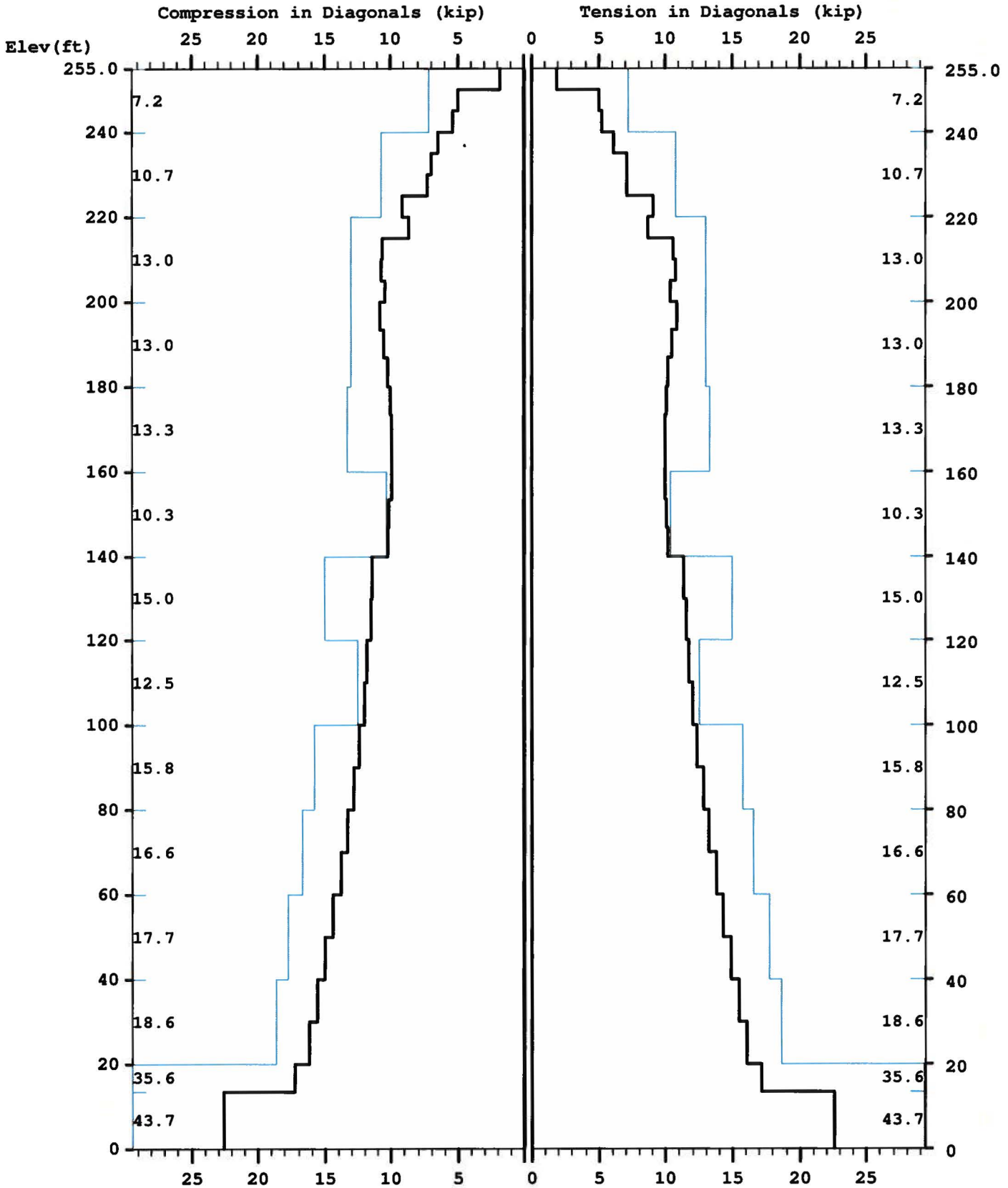
| <b>Rebar Schedule per Pier</b>  |   |
|---|---|
| <b>Pier</b>   | (36) #8 vertical rebar w/ #5 rebar ties, two (2) within top 5" of pier then 12" C/C |
| <b>Anchor Bolts per Leg</b>   |   |
| (6) 1.75" dia. x 87" F1554-105 on a 18" B.C. w/ 10.5" max. projection above concrete. |   |

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Maximum

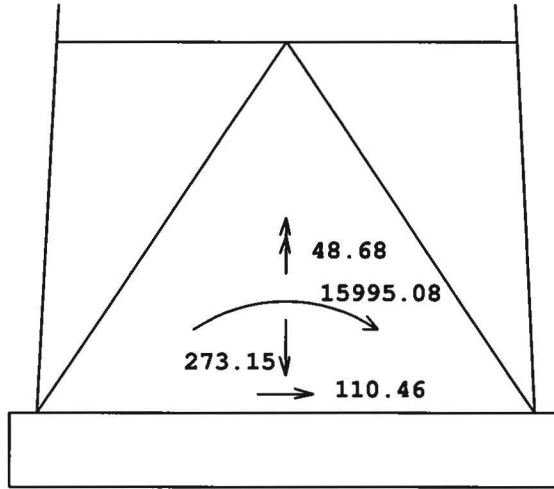


Maximum

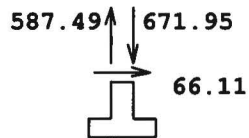
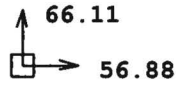


Maximum

TOTAL FOUNDATION LOADS (kip, ft-kip)



INDIVIDUAL FOOTING LOADS (kip)



426310

Latticed Tower Analysis (Unguyed)  
 Processed under license at:

(c)2015 Guymast Inc. 416-736-7453

Sabre Towers and Poles

on: 6 feb 2019 at: 14:14:14

MAST GEOMETRY ( ft )

| PANEL TYPE | NO.OF LEGS | ELEV.AT BOTTOM | ELEV.AT TOP | F.W..AT BOTTOM | F.W..AT TOP | TYPICAL PANEL HEIGHT |
|------------|------------|----------------|-------------|----------------|-------------|----------------------|
| X          | 3          | 250.00         | 255.00      | 5.00           | 5.00        | 5.00                 |
| X          | 3          | 240.00         | 250.00      | 5.00           | 5.00        | 5.00                 |
| X          | 3          | 235.00         | 240.00      | 5.50           | 5.00        | 5.00                 |
| X          | 3          | 220.00         | 235.00      | 7.00           | 5.50        | 5.00                 |
| X          | 3          | 200.00         | 220.00      | 9.00           | 7.00        | 5.00                 |
| X          | 3          | 180.00         | 200.00      | 11.00          | 9.00        | 6.67                 |
| X          | 3          | 160.00         | 180.00      | 13.00          | 11.00       | 6.67                 |
| X          | 3          | 140.00         | 160.00      | 15.00          | 13.00       | 6.67                 |
| X          | 3          | 120.00         | 140.00      | 17.00          | 15.00       | 10.00                |
| X          | 3          | 100.00         | 120.00      | 19.00          | 17.00       | 10.00                |
| X          | 3          | 80.00          | 100.00      | 21.00          | 19.00       | 10.00                |
| X          | 3          | 60.00          | 80.00       | 23.00          | 21.00       | 10.00                |
| X          | 3          | 40.00          | 60.00       | 25.00          | 23.00       | 10.00                |
| X          | 3          | 20.00          | 40.00       | 27.00          | 25.00       | 10.00                |
| V          | 3          | 13.33          | 20.00       | 27.67          | 27.00       | 6.67                 |
| A          | 3          | 0.00           | 13.33       | 29.00          | 27.67       | 13.33                |

MEMBER PROPERTIES

| MEMBER TYPE | BOTTOM ELEV ft | TOP ELEV ft | X-SECTN AREA in.sq | RADIUS OF GYRAT in | ELASTIC MODULUS ksi | THERMAL EXPANSN /deg |
|-------------|----------------|-------------|--------------------|--------------------|---------------------|----------------------|
| LE          | 240.00         | 255.00      | 1.075              | 0.787              | 29000.              | 0.0000117            |
| LE          | 220.00         | 240.00      | 3.016              | 0.787              | 29000.              | 0.0000117            |
| LE          | 200.00         | 220.00      | 4.407              | 0.787              | 29000.              | 0.0000117            |
| LE          | 180.00         | 200.00      | 6.111              | 0.787              | 29000.              | 0.0000117            |
| LE          | 160.00         | 180.00      | 7.952              | 0.787              | 29000.              | 0.0000117            |
| LE          | 140.00         | 160.00      | 8.399              | 0.787              | 29000.              | 0.0000117            |
| LE          | 80.00          | 140.00      | 12.763             | 0.787              | 29000.              | 0.0000117            |
| LE          | 60.00          | 80.00       | 16.101             | 0.787              | 29000.              | 0.0000117            |
| LE          | 40.00          | 60.00       | 14.579             | 0.787              | 29000.              | 0.0000117            |
| LE          | 0.00           | 40.00       | 19.242             | 0.787              | 29000.              | 0.0000117            |
| DI          | 240.00         | 255.00      | 0.484              | 0.626              | 29000.              | 0.0000117            |
| DI          | 220.00         | 240.00      | 0.715              | 0.626              | 29000.              | 0.0000117            |
| DI          | 200.00         | 220.00      | 0.902              | 0.626              | 29000.              | 0.0000117            |
| DI          | 180.00         | 200.00      | 1.188              | 0.626              | 29000.              | 0.0000117            |
| DI          | 140.00         | 180.00      | 1.090              | 0.626              | 29000.              | 0.0000117            |
| DI          | 100.00         | 140.00      | 1.688              | 0.626              | 29000.              | 0.0000117            |
| DI          | 80.00          | 100.00      | 1.938              | 0.626              | 29000.              | 0.0000117            |
| DI          | 40.00          | 80.00       | 2.402              | 0.626              | 29000.              | 0.0000117            |
| DI          | 20.00          | 40.00       | 2.859              | 0.626              | 29000.              | 0.0000117            |
| DI          | 13.33          | 20.00       | 3.027              | 0.626              | 29000.              | 0.0000117            |
| DI          | 0.00           | 13.33       | 3.609              | 0.626              | 29000.              | 0.0000117            |
| HO          | 250.00         | 255.00      | 0.484              | 0.626              | 29000.              | 0.0000117            |
| HO          | 235.00         | 240.00      | 0.715              | 0.626              | 29000.              | 0.0000117            |
| HO          | 0.00           | 13.33       | 1.938              | 0.626              | 29000.              | 0.0000117            |
| BR          | 0.00           | 13.33       | 1.438              | 0.000              | 29000.              | 0.0000117            |

FACTORED MEMBER RESISTANCES

| BOTTOM ELEV ft | TOP ELEV ft | LEGS     |          | DIAGONALS |          | HORIZONTALS |          | INT BRACING |          |
|----------------|-------------|----------|----------|-----------|----------|-------------|----------|-------------|----------|
|                |             | COMP kip | TENS kip | COMP kip  | TENS kip | COMP kip    | TENS kip | COMP kip    | TENS kip |
| 250.0          | 255.0       | 31.48    | 48.15    | 7.16      | 7.16     | 5.82        | 5.82     | 0.00        | 0.00     |
| 240.0          | 250.0       | 31.48    | 48.15    | 7.16      | 7.16     | 0.00        | 0.00     | 0.00        | 0.00     |
| 235.0          | 240.0       | 110.98   | 135.90   | 10.74     | 10.74    | 8.46        | 8.46     | 0.00        | 0.00     |
| 220.0          | 235.0       | 110.98   | 135.90   | 10.74     | 10.74    | 0.00        | 0.00     | 0.00        | 0.00     |
| 200.0          | 220.0       | 175.98   | 198.45   | 13.03     | 13.03    | 0.00        | 0.00     | 0.00        | 0.00     |

|       |       |        |        |       |       |        |       |      |      |      |
|-------|-------|--------|--------|-------|-------|--------|-------|------|------|------|
| 180.0 | 200.0 | 239.46 | 274.95 | 13.00 | 13.00 | 426310 | 0.00  | 0.00 | 0.00 | 0.00 |
| 160.0 | 180.0 | 309.64 | 357.75 | 13.34 | 13.34 | 0.00   | 0.00  | 0.00 | 0.00 | 0.00 |
| 140.0 | 160.0 | 358.08 | 378.00 | 10.34 | 10.34 | 0.00   | 0.00  | 0.00 | 0.00 | 0.00 |
| 120.0 | 140.0 | 507.33 | 457.90 | 15.01 | 15.01 | 0.00   | 0.00  | 0.00 | 0.00 | 0.00 |
| 100.0 | 120.0 | 507.33 | 457.90 | 12.53 | 12.53 | 0.00   | 0.00  | 0.00 | 0.00 | 0.00 |
| 80.0  | 100.0 | 507.33 | 576.00 | 15.77 | 15.77 | 0.00   | 0.00  | 0.00 | 0.00 | 0.00 |
| 60.0  | 80.0  | 668.86 | 724.50 | 16.62 | 16.62 | 0.00   | 0.00  | 0.00 | 0.00 | 0.00 |
| 40.0  | 60.0  | 621.06 | 656.10 | 17.72 | 17.72 | 0.00   | 0.00  | 0.00 | 0.00 | 0.00 |
| 20.0  | 40.0  | 818.52 | 865.80 | 18.63 | 18.63 | 0.00   | 0.00  | 0.00 | 0.00 | 0.00 |
| 13.3  | 20.0  | 844.46 | 865.80 | 35.60 | 35.60 | 0.00   | 0.00  | 0.00 | 0.00 | 0.00 |
| 0.0   | 13.3  | 844.46 | 865.80 | 43.74 | 43.74 | 15.60  | 15.60 | 7.41 | 7.41 |      |

=====

\* only 3 condition(s) shown in full

\* Some wind loads may have been derived from full-scale wind tunnel testing

=====

LOADING CONDITION A

105 mph Ultimate wind with no ice. Wind Azimuth: 0♦

MAST LOADING

=====

| LOAD TYPE | ELEV<br>ft | APPLY..<br>RADIUS<br>ft | LOAD..<br>AZI | LOAD<br>AZI | .....FORCES..... |             | .....MOMENTS.....  |                   |
|-----------|------------|-------------------------|---------------|-------------|------------------|-------------|--------------------|-------------------|
|           |            |                         |               |             | HORIZ<br>kip     | DOWN<br>kip | VERTICAL<br>ft-kip | TORSNAL<br>ft-kip |
| C         | 260.0      | 0.00                    | 0.0           | 0.0         | 0.21             | 0.15        | 0.00               | 0.00              |
| C         | 250.0      | 0.00                    | 0.0           | 0.0         | 9.72             | 7.20        | 0.00               | 0.00              |
| C         | 238.0      | 0.00                    | 0.0           | 0.0         | 7.33             | 4.80        | 0.00               | 0.00              |
| C         | 226.0      | 0.00                    | 0.0           | 0.0         | 7.35             | 4.80        | 0.00               | 0.00              |
| C         | 214.0      | 0.00                    | 0.0           | 0.0         | 7.37             | 4.80        | 0.00               | 0.00              |
| D         | 255.0      | 0.00                    | 180.0         | 0.0         | 0.07             | 0.04        | 0.00               | 0.00              |
| D         | 250.0      | 0.00                    | 180.0         | 0.0         | 0.07             | 0.04        | 0.00               | 0.00              |
| D         | 250.0      | 0.00                    | 42.0          | 0.0         | 0.13             | 0.06        | 0.06               | 0.10              |
| D         | 240.0      | 0.00                    | 42.0          | 0.0         | 0.13             | 0.06        | 0.06               | 0.10              |
| D         | 240.0      | 0.00                    | 64.4          | 0.0         | 0.16             | 0.12        | 0.06               | 0.11              |
| D         | 235.0      | 0.00                    | 64.4          | 0.0         | 0.16             | 0.12        | 0.06               | 0.11              |
| D         | 235.0      | 0.00                    | 79.5          | 0.0         | 0.17             | 0.12        | 0.06               | 0.11              |
| D         | 230.0      | 0.00                    | 79.5          | 0.0         | 0.17             | 0.12        | 0.06               | 0.11              |
| D         | 230.0      | 0.00                    | 83.3          | 0.0         | 0.18             | 0.13        | 0.05               | 0.10              |
| D         | 225.0      | 0.00                    | 83.3          | 0.0         | 0.18             | 0.13        | 0.05               | 0.10              |
| D         | 225.0      | 0.00                    | 92.0          | 0.0         | 0.20             | 0.15        | 0.04               | 0.06              |
| D         | 220.0      | 0.00                    | 92.0          | 0.0         | 0.20             | 0.15        | 0.04               | 0.06              |
| D         | 220.0      | 0.00                    | 89.2          | 0.0         | 0.22             | 0.18        | 0.05               | 0.06              |
| D         | 215.0      | 0.00                    | 89.2          | 0.0         | 0.22             | 0.18        | 0.05               | 0.06              |
| D         | 215.0      | 0.00                    | 353.1         | 0.0         | 0.23             | 0.20        | 0.01               | 0.04              |
| D         | 210.0      | 0.00                    | 353.1         | 0.0         | 0.23             | 0.20        | 0.01               | 0.04              |
| D         | 210.0      | 0.00                    | 322.3         | 0.0         | 0.23             | 0.20        | 0.02               | 0.04              |
| D         | 200.0      | 0.00                    | 322.2         | 0.0         | 0.24             | 0.21        | 0.02               | 0.04              |
| D         | 200.0      | 0.00                    | 322.4         | 0.0         | 0.23             | 0.23        | 0.02               | 0.04              |
| D         | 180.0      | 0.00                    | 321.9         | 0.0         | 0.24             | 0.24        | 0.02               | 0.04              |
| D         | 180.0      | 0.00                    | 322.4         | 0.0         | 0.26             | 0.26        | 0.02               | 0.04              |
| D         | 160.0      | 0.00                    | 321.9         | 0.0         | 0.26             | 0.26        | 0.02               | 0.04              |
| D         | 160.0      | 0.00                    | 322.4         | 0.0         | 0.28             | 0.27        | 0.02               | 0.04              |
| D         | 140.0      | 0.00                    | 322.0         | 0.0         | 0.29             | 0.27        | 0.02               | 0.04              |
| D         | 140.0      | 0.00                    | 322.3         | 0.0         | 0.28             | 0.34        | 0.02               | 0.04              |
| D         | 100.0      | 0.00                    | 322.2         | 0.0         | 0.30             | 0.35        | 0.02               | 0.04              |
| D         | 100.0      | 0.00                    | 322.4         | 0.0         | 0.32             | 0.37        | 0.02               | 0.04              |
| D         | 80.0       | 0.00                    | 322.2         | 0.0         | 0.33             | 0.37        | 0.02               | 0.04              |
| D         | 80.0       | 0.00                    | 322.4         | 0.0         | 0.34             | 0.44        | 0.02               | 0.04              |
| D         | 40.0       | 0.00                    | 322.3         | 0.0         | 0.37             | 0.44        | 0.02               | 0.04              |
| D         | 40.0       | 0.00                    | 322.4         | 0.0         | 0.37             | 0.53        | 0.02               | 0.04              |
| D         | 20.0       | 0.00                    | 322.3         | 0.0         | 0.37             | 0.54        | 0.02               | 0.04              |
| D         | 20.0       | 0.00                    | 322.4         | 0.0         | 0.34             | 0.51        | 0.02               | 0.04              |
| D         | 13.3       | 0.00                    | 322.4         | 0.0         | 0.34             | 0.51        | 0.02               | 0.04              |
| D         | 13.3       | 0.00                    | 322.4         | 0.0         | 0.38             | 0.60        | 0.02               | 0.04              |
| D         | 0.0        | 0.00                    | 322.4         | 0.0         | 0.38             | 0.60        | 0.02               | 0.04              |

LOADING CONDITION M

105 mph Ultimate wind with no ice. Wind Azimuth: 0♦



MAST LOADING  
=====

| LOAD TYPE | ELEV<br>ft | APPLY..<br>RADIUS<br>ft | LOAD..<br>AZI | LOAD<br>AZI | .....FORCES..... |             | .....MOMENTS.....  |                   |
|-----------|------------|-------------------------|---------------|-------------|------------------|-------------|--------------------|-------------------|
|           |            |                         |               |             | HORIZ<br>kip     | DOWN<br>kip | VERTICAL<br>ft-kip | TORSNAL<br>ft-kip |
| C         | 260.0      | 0.00                    | 0.0           | 0.0         | 0.21             | 0.12        | 0.00               | 0.00              |
| C         | 250.0      | 0.00                    | 0.0           | 0.0         | 9.72             | 5.40        | 0.00               | 0.00              |
| C         | 238.0      | 0.00                    | 0.0           | 0.0         | 7.33             | 3.60        | 0.00               | 0.00              |
| C         | 226.0      | 0.00                    | 0.0           | 0.0         | 7.35             | 3.60        | 0.00               | 0.00              |
| C         | 214.0      | 0.00                    | 0.0           | 0.0         | 7.37             | 3.60        | 0.00               | 0.00              |
| D         | 255.0      | 0.00                    | 180.0         | 0.0         | 0.07             | 0.03        | 0.00               | 0.00              |
| D         | 250.0      | 0.00                    | 180.0         | 0.0         | 0.07             | 0.03        | 0.00               | 0.00              |
| D         | 250.0      | 0.00                    | 42.0          | 0.0         | 0.13             | 0.04        | 0.04               | 0.10              |
| D         | 240.0      | 0.00                    | 42.0          | 0.0         | 0.13             | 0.04        | 0.04               | 0.10              |
| D         | 240.0      | 0.00                    | 64.4          | 0.0         | 0.16             | 0.09        | 0.04               | 0.11              |
| D         | 235.0      | 0.00                    | 64.4          | 0.0         | 0.16             | 0.09        | 0.04               | 0.11              |
| D         | 235.0      | 0.00                    | 79.5          | 0.0         | 0.17             | 0.09        | 0.04               | 0.11              |
| D         | 230.0      | 0.00                    | 79.5          | 0.0         | 0.17             | 0.09        | 0.04               | 0.11              |
| D         | 230.0      | 0.00                    | 83.3          | 0.0         | 0.18             | 0.10        | 0.04               | 0.10              |
| D         | 225.0      | 0.00                    | 83.3          | 0.0         | 0.18             | 0.10        | 0.04               | 0.10              |
| D         | 225.0      | 0.00                    | 92.0          | 0.0         | 0.20             | 0.11        | 0.03               | 0.06              |
| D         | 220.0      | 0.00                    | 92.0          | 0.0         | 0.20             | 0.11        | 0.03               | 0.06              |
| D         | 220.0      | 0.00                    | 89.2          | 0.0         | 0.22             | 0.13        | 0.04               | 0.06              |
| D         | 215.0      | 0.00                    | 89.2          | 0.0         | 0.22             | 0.13        | 0.04               | 0.06              |
| D         | 215.0      | 0.00                    | 351.6         | 0.0         | 0.23             | 0.15        | 0.01               | 0.04              |
| D         | 200.0      | 0.00                    | 316.7         | 0.0         | 0.24             | 0.15        | 0.02               | 0.04              |
| D         | 200.0      | 0.00                    | 322.4         | 0.0         | 0.23             | 0.17        | 0.02               | 0.04              |
| D         | 180.0      | 0.00                    | 321.9         | 0.0         | 0.24             | 0.18        | 0.02               | 0.04              |
| D         | 180.0      | 0.00                    | 322.4         | 0.0         | 0.26             | 0.19        | 0.02               | 0.04              |
| D         | 160.0      | 0.00                    | 321.9         | 0.0         | 0.26             | 0.20        | 0.02               | 0.04              |
| D         | 160.0      | 0.00                    | 322.4         | 0.0         | 0.28             | 0.20        | 0.02               | 0.04              |
| D         | 140.0      | 0.00                    | 322.0         | 0.0         | 0.29             | 0.21        | 0.02               | 0.04              |
| D         | 140.0      | 0.00                    | 322.3         | 0.0         | 0.28             | 0.25        | 0.02               | 0.04              |
| D         | 100.0      | 0.00                    | 322.2         | 0.0         | 0.30             | 0.26        | 0.02               | 0.04              |
| D         | 100.0      | 0.00                    | 322.4         | 0.0         | 0.32             | 0.27        | 0.02               | 0.04              |
| D         | 80.0       | 0.00                    | 322.2         | 0.0         | 0.33             | 0.28        | 0.02               | 0.04              |
| D         | 80.0       | 0.00                    | 322.4         | 0.0         | 0.34             | 0.33        | 0.02               | 0.04              |
| D         | 40.0       | 0.00                    | 322.3         | 0.0         | 0.37             | 0.33        | 0.02               | 0.04              |
| D         | 40.0       | 0.00                    | 322.4         | 0.0         | 0.37             | 0.40        | 0.02               | 0.04              |
| D         | 20.0       | 0.00                    | 322.3         | 0.0         | 0.37             | 0.41        | 0.02               | 0.04              |
| D         | 20.0       | 0.00                    | 322.4         | 0.0         | 0.34             | 0.38        | 0.02               | 0.04              |
| D         | 13.3       | 0.00                    | 322.4         | 0.0         | 0.34             | 0.38        | 0.02               | 0.04              |
| D         | 13.3       | 0.00                    | 322.4         | 0.0         | 0.38             | 0.45        | 0.02               | 0.04              |
| D         | 0.0        | 0.00                    | 322.4         | 0.0         | 0.38             | 0.45        | 0.02               | 0.04              |

=====

LOADING CONDITION Y

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30 mph wind with 1.5 ice. wind Azimuth: 0◊

MAST LOADING  
=====

| LOAD TYPE | ELEV<br>ft | APPLY..<br>RADIUS<br>ft | LOAD..<br>AZI | LOAD<br>AZI | .....FORCES..... |             | .....MOMENTS.....  |                   |
|-----------|------------|-------------------------|---------------|-------------|------------------|-------------|--------------------|-------------------|
|           |            |                         |               |             | HORIZ<br>kip     | DOWN<br>kip | VERTICAL<br>ft-kip | TORSNAL<br>ft-kip |
| C         | 260.0      | 0.00                    | 0.0           | 0.0         | 0.04             | 0.31        | 0.00               | 0.00              |
| C         | 250.0      | 0.00                    | 0.0           | 0.0         | 1.49             | 18.85       | 0.00               | 0.00              |
| C         | 238.0      | 0.00                    | 0.0           | 0.0         | 1.85             | 12.56       | 0.00               | 0.00              |
| C         | 226.0      | 0.00                    | 0.0           | 0.0         | 1.85             | 12.56       | 0.00               | 0.00              |
| C         | 214.0      | 0.00                    | 0.0           | 0.0         | 1.86             | 12.56       | 0.00               | 0.00              |
| D         | 255.0      | 0.00                    | 180.0         | 0.0         | 0.01             | 0.19        | 0.00               | 0.00              |
| D         | 250.0      | 0.00                    | 180.0         | 0.0         | 0.01             | 0.19        | 0.00               | 0.00              |
| D         | 250.0      | 0.00                    | 42.0          | 0.0         | 0.02             | 0.26        | 0.23               | 0.01              |
| D         | 240.0      | 0.00                    | 42.0          | 0.0         | 0.02             | 0.26        | 0.23               | 0.01              |
| D         | 240.0      | 0.00                    | 70.1          | 0.0         | 0.02             | 0.41        | 0.21               | 0.01              |
| D         | 235.0      | 0.00                    | 70.1          | 0.0         | 0.02             | 0.41        | 0.21               | 0.01              |
| D         | 235.0      | 0.00                    | 90.0          | 0.0         | 0.02             | 0.41        | 0.21               | 0.01              |
| D         | 230.0      | 0.00                    | 90.0          | 0.0         | 0.02             | 0.41        | 0.21               | 0.01              |
| D         | 230.0      | 0.00                    | 91.3          | 0.0         | 0.02             | 0.44        | 0.19               | 0.01              |
| D         | 225.0      | 0.00                    | 91.3          | 0.0         | 0.02             | 0.44        | 0.19               | 0.01              |



| 426310 |       |      |       |     |      |      |      |      |
|--------|-------|------|-------|-----|------|------|------|------|
| D      | 225.0 | 0.00 | 86.3  | 0.0 | 0.02 | 0.52 | 0.12 | 0.00 |
| D      | 220.0 | 0.00 | 86.3  | 0.0 | 0.02 | 0.52 | 0.12 | 0.00 |
| D      | 220.0 | 0.00 | 83.9  | 0.0 | 0.03 | 0.57 | 0.13 | 0.00 |
| D      | 215.0 | 0.00 | 83.9  | 0.0 | 0.03 | 0.57 | 0.13 | 0.00 |
| D      | 215.0 | 0.00 | 345.0 | 0.0 | 0.03 | 0.64 | 0.06 | 0.00 |
| D      | 210.0 | 0.00 | 345.0 | 0.0 | 0.03 | 0.64 | 0.06 | 0.00 |
| D      | 210.0 | 0.00 | 322.4 | 0.0 | 0.03 | 0.66 | 0.08 | 0.00 |
| D      | 180.0 | 0.00 | 321.9 | 0.0 | 0.03 | 0.70 | 0.08 | 0.00 |
| D      | 180.0 | 0.00 | 322.4 | 0.0 | 0.03 | 0.74 | 0.08 | 0.00 |
| D      | 160.0 | 0.00 | 321.9 | 0.0 | 0.03 | 0.76 | 0.08 | 0.00 |
| D      | 160.0 | 0.00 | 322.4 | 0.0 | 0.03 | 0.79 | 0.08 | 0.00 |
| D      | 140.0 | 0.00 | 322.0 | 0.0 | 0.03 | 0.81 | 0.08 | 0.00 |
| D      | 140.0 | 0.00 | 322.3 | 0.0 | 0.03 | 0.85 | 0.08 | 0.00 |
| D      | 80.0  | 0.00 | 322.2 | 0.0 | 0.04 | 0.94 | 0.08 | 0.00 |
| D      | 80.0  | 0.00 | 322.3 | 0.0 | 0.04 | 1.04 | 0.08 | 0.00 |
| D      | 50.0  | 0.00 | 322.4 | 0.0 | 0.04 | 1.06 | 0.08 | 0.00 |
| D      | 50.0  | 0.00 | 322.3 | 0.0 | 0.04 | 1.07 | 0.08 | 0.00 |
| D      | 40.0  | 0.00 | 322.3 | 0.0 | 0.04 | 1.07 | 0.08 | 0.00 |
| D      | 40.0  | 0.00 | 322.4 | 0.0 | 0.04 | 1.17 | 0.08 | 0.00 |
| D      | 13.3  | 0.00 | 322.4 | 0.0 | 0.04 | 1.15 | 0.09 | 0.00 |
| D      | 13.3  | 0.00 | 322.4 | 0.0 | 0.05 | 1.49 | 0.11 | 0.00 |
| D      | 0.0   | 0.00 | 322.4 | 0.0 | 0.05 | 1.49 | 0.11 | 0.00 |

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MAXIMUM TENSION IN MAST MEMBERS (kip)

=====

| ELEV<br>ft | LEGS              | DIAG    | HORIZ  | BRACE  |
|------------|-------------------|---------|--------|--------|
| 255.0      | -----<br>0.89 S   | 1.87 G  | 1.19 A | 0.00 A |
| 250.0      | -----<br>4.46 M   | 5.00 B  | 0.19 G | 0.00 A |
| 245.0      | -----<br>17.58 M  | 5.27 N  | 0.26 I | 0.00 A |
| 240.0      | -----<br>29.80 M  | 6.10 M  | 0.55 K | 0.00 A |
| 235.0      | -----<br>45.32 M  | 7.07 H  | 0.15 A | 0.00 A |
| 230.0      | -----<br>60.33 M  | 7.08 N  | 0.12 A | 0.00 A |
| 225.0      | -----<br>76.35 M  | 9.11 H  | 0.07 a | 0.00 A |
| 220.0      | -----<br>95.05 M  | 8.64 N  | 0.22 A | 0.00 A |
| 215.0      | -----<br>111.40 M | 10.53 T | 0.04 a | 0.00 A |
| 210.0      | -----<br>132.22 M | 10.72 B | 0.24 A | 0.00 A |
| 205.0      | -----<br>149.86 M | 10.33 N | 0.04 A | 0.00 A |
| 200.0      | -----<br>170.71 M | 10.85 T | 0.20 A | 0.00 A |
| 193.3      | -----<br>191.03 M | 10.45 N | 0.06 A | 0.00 A |
| 186.7      | -----<br>211.33 M | 10.19 R | 0.18 A | 0.00 A |
| 180.0      | -----<br>229.12 M | 10.02 R | 0.07 A | 0.00 A |
| 173.3      | -----<br>246.90 M | 9.95 X  | 0.12 A | 0.00 A |
| 166.7      | -----<br>263.03 M | 9.92 R  | 0.07 A | 0.00 A |
| 160.0      | -----<br>279.19 M | 9.96 P  | 0.10 A | 0.00 A |
| 153.3      | -----<br>294.20 M | 10.05 P | 0.09 A | 0.00 A |
| 146.7      | -----<br>309.32 M | 10.19 P | 0.09 A | 0.00 A |
| 140.0      | -----<br>326.87 M | 11.32 P | 0.09 A | 0.00 A |
| 130.0      | -----<br>348.03 M | 11.50 P | 0.11 A | 0.00 A |
| 120.0      | -----<br>368.09 M | 11.72 P | 0.08 A | 0.00 A |
| 110.0      | -----<br>388.14 M | 12.02 V | 0.10 A | 0.00 A |
| 100.0      | -----<br>407.45 M | 12.37 P | 0.06 A | 0.00 A |

| ELEV | MEMBER   | MEMBER  | MEMBER | MEMBER | MEMBER        |
|------|----------|---------|--------|--------|---------------|
| 90.0 | -----    |         |        | 0.09 A | 426310 0.00 A |
|      | 426.86 M | 12.79 P |        |        |               |
| 80.0 | -----    |         |        | 0.06 A | 0.00 A        |
|      | 445.79 M | 13.25 V |        |        |               |
| 70.0 | -----    |         |        | 0.06 A | 0.00 A        |
|      | 464.85 M | 13.77 V |        |        |               |
| 60.0 | -----    |         |        | 0.04 A | 0.00 A        |
|      | 483.74 M | 14.33 P |        |        |               |
| 50.0 | -----    |         |        | 0.06 A | 0.00 A        |
|      | 502.87 M | 14.93 V |        |        |               |
| 40.0 | -----    |         |        | 0.09 O | 0.00 A        |
|      | 521.87 M | 15.53 P |        |        |               |
| 30.0 | -----    |         |        | 0.06 S | 0.00 A        |
|      | 540.86 M | 16.13 P |        |        |               |
| 20.0 | -----    |         |        | 0.12 A | 0.00 A        |
|      | 563.47 M | 17.17 P |        |        |               |
| 13.3 | -----    |         |        | 1.40 U | 0.00 O        |
|      | 562.04 M | 22.58 P |        |        |               |
| 0.0  | -----    |         |        | 0.00 A | 0.00 A        |

MAXIMUM COMPRESSION IN MAST MEMBERS (kip)

| ELEV  | MEMBER    | MEMBER   | MEMBER  | MEMBER | MEMBER |
|-------|-----------|----------|---------|--------|--------|
| ft    | LEGS      | DIAG     | HORIZ   | BRACE  |        |
| 255.0 | -----     |          |         |        |        |
|       | -1.07 A   | -1.85 A  | -1.20 G | 0.00 A |        |
| 250.0 | -----     |          |         |        |        |
|       | -9.00 G   | -5.03 B  | -0.19 M | 0.00 A |        |
| 245.0 | -----     |          |         |        |        |
|       | -22.32 G  | -5.36 B  | -0.18 O | 0.00 A |        |
| 240.0 | -----     |          |         |        |        |
|       | -36.39 G  | -6.45 G  | -0.50 Q | 0.00 A |        |
| 235.0 | -----     |          |         |        |        |
|       | -54.10 G  | -6.95 N  | -0.10 S | 0.00 A |        |
| 230.0 | -----     |          |         |        |        |
|       | -69.88 G  | -7.24 H  | -0.11 S | 0.00 A |        |
| 225.0 | -----     |          |         |        |        |
|       | -88.93 G  | -9.13 B  | -0.01 S | 0.00 A |        |
| 220.0 | -----     |          |         |        |        |
|       | -108.30 G | -8.68 B  | -0.20 S | 0.00 A |        |
| 215.0 | -----     |          |         |        |        |
|       | -127.61 G | -10.68 G | -0.01 U | 0.00 A |        |
| 210.0 | -----     |          |         |        |        |
|       | -149.94 G | -10.71 T | -0.21 S | 0.00 A |        |
| 205.0 | -----     |          |         |        |        |
|       | -168.39 G | -10.38 B | -0.03 S | 0.00 A |        |
| 200.0 | -----     |          |         |        |        |
|       | -190.35 G | -10.86 B | -0.18 S | 0.00 A |        |
| 193.3 | -----     |          |         |        |        |
|       | -211.94 G | -10.49 H | -0.05 S | 0.00 A |        |
| 186.7 | -----     |          |         |        |        |
|       | -233.59 G | -10.21 L | -0.16 S | 0.00 A |        |
| 180.0 | -----     |          |         |        |        |
|       | -252.76 G | -10.06 F | -0.05 S | 0.00 A |        |
| 173.3 | -----     |          |         |        |        |
|       | -272.02 G | -9.97 L  | -0.10 S | 0.00 A |        |
| 166.7 | -----     |          |         |        |        |
|       | -289.64 G | -9.95 F  | -0.05 S | 0.00 A |        |
| 160.0 | -----     |          |         |        |        |
|       | -307.36 G | -9.98 D  | -0.09 S | 0.00 A |        |
| 153.3 | -----     |          |         |        |        |
|       | -323.95 G | -10.09 J | -0.08 S | 0.00 A |        |
| 146.7 | -----     |          |         |        |        |
|       | -340.71 G | -10.20 D | -0.08 S | 0.00 A |        |
| 140.0 | -----     |          |         |        |        |
|       | -360.46 G | -11.38 J | -0.08 S | 0.00 A |        |
| 130.0 | -----     |          |         |        |        |
|       | -384.57 G | -11.54 D | -0.10 S | 0.00 A |        |
| 120.0 | -----     |          |         |        |        |
|       | -407.57 G | -11.78 J | -0.07 S | 0.00 A |        |
| 110.0 | -----     |          |         |        |        |
|       | -430.66 G | -12.06 D | -0.08 S | 0.00 A |        |
| 100.0 | -----     |          |         |        |        |
|       |           |          | -0.05 S | 0.00 A |        |

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|      |           |          |         |        |
|------|-----------|----------|---------|--------|
| 90.0 | -453.08 G | -12.42 J | -0.07 S | 0.00 A |
| 80.0 | -475.74 G | -12.83 D | -0.05 S | 0.00 A |
| 70.0 | -498.19 G | -13.31 J | -0.05 S | 0.00 A |
| 60.0 | -521.04 G | -13.82 D | -0.04 S | 0.00 A |
| 50.0 | -543.77 G | -14.39 J | -0.05 S | 0.00 A |
| 40.0 | -566.79 G | -14.98 D | -0.09 I | 0.00 A |
| 30.0 | -590.00 G | -15.58 J | -0.08 A | 0.00 A |
| 20.0 | -613.52 G | -16.18 D | -0.10 S | 0.00 A |
| 13.3 | -640.36 G | -17.24 J | -1.65 C | 0.00 T |
| 0.0  | -642.26 G | -22.62 J | 0.00 A  | 0.00 A |

FORCE/RESISTANCE RATIO IN LEGS

| MAST<br>ELEV<br>ft | -- LEG COMPRESSION -- |                |                           | ---- LEG TENSION ---- |                |                           |
|--------------------|-----------------------|----------------|---------------------------|-----------------------|----------------|---------------------------|
|                    | MAX<br>COMP           | COMP<br>RESIST | FORCE/<br>RESIST<br>RATIO | MAX<br>TENS           | TENS<br>RESIST | FORCE/<br>RESIST<br>RATIO |
| 255.00             | 1.07                  | 31.48          | 0.03                      | 0.89                  | 48.15          | 0.02                      |
| 250.00             | 9.00                  | 31.48          | 0.29                      | 4.46                  | 48.15          | 0.09                      |
| 245.00             | 22.32                 | 31.48          | 0.71                      | 17.58                 | 48.15          | 0.37                      |
| 240.00             | 36.39                 | 110.98         | 0.33                      | 29.80                 | 135.90         | 0.22                      |
| 235.00             | 54.10                 | 110.98         | 0.49                      | 45.32                 | 135.90         | 0.33                      |
| 230.00             | 69.88                 | 110.98         | 0.63                      | 60.33                 | 135.90         | 0.44                      |
| 225.00             | 88.93                 | 110.98         | 0.80                      | 76.35                 | 135.90         | 0.56                      |
| 220.00             | 108.30                | 175.98         | 0.62                      | 95.05                 | 198.45         | 0.48                      |
| 215.00             | 127.61                | 175.98         | 0.73                      | 111.40                | 198.45         | 0.56                      |
| 210.00             | 149.94                | 175.98         | 0.85                      | 132.22                | 198.45         | 0.67                      |
| 205.00             | 168.39                | 175.98         | 0.96                      | 149.86                | 198.45         | 0.76                      |
| 200.00             | 190.35                | 239.46         | 0.79                      | 170.71                | 274.95         | 0.62                      |
| 193.33             | 211.94                | 239.46         | 0.89                      | 191.03                | 274.95         | 0.69                      |
| 186.67             | 233.59                | 239.46         | 0.98                      | 211.33                | 274.95         | 0.77                      |
| 180.00             | 252.76                | 309.64         | 0.82                      | 229.12                | 357.75         | 0.64                      |
| 173.33             | 272.02                | 309.64         | 0.88                      | 246.90                | 357.75         | 0.69                      |
| 166.67             | 289.64                | 309.64         | 0.94                      | 263.03                | 357.75         | 0.74                      |
| 160.00             | 307.36                | 358.08         | 0.86                      | 279.19                | 378.00         | 0.74                      |
| 153.33             | 323.95                | 358.08         | 0.90                      | 294.20                | 378.00         | 0.78                      |
| 146.67             | 340.71                | 358.08         | 0.95                      | 309.32                | 378.00         | 0.82                      |
| 140.00             | 360.46                | 507.33         | 0.71                      | 326.87                | 457.90         | 0.71                      |
| 130.00             | 384.57                | 507.33         | 0.76                      | 348.03                | 457.90         | 0.76                      |
| 120.00             | 407.57                | 507.33         | 0.80                      | 368.09                | 457.90         | 0.80                      |
| 110.00             | 430.66                | 507.33         | 0.85                      | 388.14                | 457.90         | 0.85                      |
| 100.00             | 453.08                | 507.33         | 0.89                      | 407.45                | 576.00         | 0.71                      |

426310

|       |        |        |      |        |        |      |
|-------|--------|--------|------|--------|--------|------|
| 90.00 | 475.74 | 507.33 | 0.94 | 426.86 | 576.00 | 0.74 |
| 80.00 | 498.19 | 668.86 | 0.74 | 445.79 | 724.50 | 0.62 |
| 70.00 | 521.04 | 668.86 | 0.78 | 464.85 | 724.50 | 0.64 |
| 60.00 | 543.77 | 621.06 | 0.88 | 483.74 | 656.10 | 0.74 |
| 50.00 | 566.79 | 621.06 | 0.91 | 502.87 | 656.10 | 0.77 |
| 40.00 | 590.00 | 818.52 | 0.72 | 521.87 | 865.80 | 0.60 |
| 30.00 | 613.52 | 818.52 | 0.75 | 540.86 | 865.80 | 0.62 |
| 20.00 | 640.36 | 844.46 | 0.76 | 563.47 | 865.80 | 0.65 |
| 13.33 | 642.26 | 844.46 | 0.76 | 562.04 | 865.80 | 0.65 |
| 0.00  |        |        |      |        |        |      |

FORCE/RESISTANCE RATIO IN DIAGONALS

| MAST<br>ELEV<br>ft | - DIAG COMPRESSION - |                |                           | --- DIAG TENSION --- |                |                           |
|--------------------|----------------------|----------------|---------------------------|----------------------|----------------|---------------------------|
|                    | MAX<br>COMP          | COMP<br>RESIST | FORCE/<br>RESIST<br>RATIO | MAX<br>TENS          | TENS<br>RESIST | FORCE/<br>RESIST<br>RATIO |
| 255.00             | 1.85                 | 7.16           | 0.26                      | 1.87                 | 7.16           | 0.26                      |
| 250.00             | 5.03                 | 7.16           | 0.70                      | 5.00                 | 7.16           | 0.70                      |
| 245.00             | 5.36                 | 7.16           | 0.75                      | 5.27                 | 7.16           | 0.74                      |
| 240.00             | 6.45                 | 10.74          | 0.60                      | 6.10                 | 10.74          | 0.57                      |
| 235.00             | 6.95                 | 10.74          | 0.65                      | 7.07                 | 10.74          | 0.66                      |
| 230.00             | 7.24                 | 10.74          | 0.67                      | 7.08                 | 10.74          | 0.66                      |
| 225.00             | 9.13                 | 10.74          | 0.85                      | 9.11                 | 10.74          | 0.85                      |
| 220.00             | 8.68                 | 13.03          | 0.67                      | 8.64                 | 13.03          | 0.66                      |
| 215.00             | 10.68                | 13.03          | 0.82                      | 10.53                | 13.03          | 0.81                      |
| 210.00             | 10.71                | 13.03          | 0.82                      | 10.72                | 13.03          | 0.82                      |
| 205.00             | 10.38                | 13.03          | 0.80                      | 10.33                | 13.03          | 0.79                      |
| 200.00             | 10.86                | 13.00          | 0.84                      | 10.85                | 13.00          | 0.83                      |
| 193.33             | 10.49                | 13.00          | 0.81                      | 10.45                | 13.00          | 0.80                      |
| 186.67             | 10.21                | 13.00          | 0.79                      | 10.19                | 13.00          | 0.78                      |
| 180.00             | 10.06                | 13.34          | 0.75                      | 10.02                | 13.34          | 0.75                      |
| 173.33             | 9.97                 | 13.34          | 0.75                      | 9.95                 | 13.34          | 0.75                      |
| 166.67             | 9.95                 | 13.34          | 0.75                      | 9.92                 | 13.34          | 0.74                      |
| 160.00             | 9.98                 | 10.34          | 0.97                      | 9.96                 | 10.34          | 0.96                      |
| 153.33             | 10.09                | 10.34          | 0.98                      | 10.05                | 10.34          | 0.97                      |
| 146.67             | 10.20                | 10.34          | 0.99                      | 10.19                | 10.34          | 0.99                      |
| 140.00             | 11.38                | 15.01          | 0.76                      | 11.32                | 15.01          | 0.75                      |
| 130.00             | 11.54                | 15.01          | 0.77                      | 11.50                | 15.01          | 0.77                      |
| 120.00             | 11.78                | 12.53          | 0.94                      | 11.72                | 12.53          | 0.94                      |
| 110.00             | 12.06                | 12.53          | 0.96                      | 12.02                | 12.53          | 0.96                      |
| 100.00             | 12.42                | 15.77          | 0.79                      | 12.37                | 15.77          | 0.78                      |
| 90.00              | 12.83                | 15.77          | 0.81                      | 12.79                | 15.77          | 0.81                      |

|       | 426310 |       |      |       |       |      |
|-------|--------|-------|------|-------|-------|------|
| 80.00 | 13.31  | 16.62 | 0.80 | 13.25 | 16.62 | 0.80 |
| 70.00 | 13.82  | 16.62 | 0.83 | 13.77 | 16.62 | 0.83 |
| 60.00 | 14.39  | 17.72 | 0.81 | 14.33 | 17.72 | 0.81 |
| 50.00 | 14.98  | 17.72 | 0.85 | 14.93 | 17.72 | 0.84 |
| 40.00 | 15.58  | 18.63 | 0.84 | 15.53 | 18.63 | 0.83 |
| 30.00 | 16.18  | 18.63 | 0.87 | 16.13 | 18.63 | 0.87 |
| 20.00 | 17.24  | 35.60 | 0.48 | 17.17 | 35.60 | 0.48 |
| 13.33 | 22.62  | 43.74 | 0.52 | 22.58 | 43.74 | 0.52 |
| 0.00  |        |       |      |       |       |      |

MAXIMUM INDIVIDUAL FOUNDATION LOADS: (kip)

| LOAD    |         | COMPONENTS |           | TOTAL   |
|---------|---------|------------|-----------|---------|
| NORTH   | EAST    | DOWN       | UPLIFT    | SHEAR   |
| 66.11 G | 56.88 K | 671.95 G   | -587.49 M | 66.11 G |

MAXIMUM TOTAL LOADS ON FOUNDATION : (kip & kip-ft)

| HORIZONTAL |          |             | DOWN    | OVERTURNING |           |             | TORSION |
|------------|----------|-------------|---------|-------------|-----------|-------------|---------|
| NORTH      | EAST     | TOTAL @ 0.0 |         | NORTH       | EAST      | TOTAL @ 0.0 |         |
| 110.5 S    | -105.1 P | 110.5 S     | 273.1 h | 15995.1 G   | 15317.3 J | 15995.1 G   | 48.7 H  |

Latticed Tower Analysis (Unguyed)  
Processed under license at:

(c)2015 Guymast Inc. 416-736-7453

Sabre Towers and Poles

on: 6 feb 2019 at: 14:14:54

\*\*\*\*\*  
\*\*\*\*\* Service Load Condition \*\*\*\*\*  
\*\*\*\*\*

\* only 1 condition(s) shown in full  
\* Some wind loads may have been derived from full-scale wind tunnel testing

LOADING CONDITION A

60 mph wind with no ice. Wind Azimuth: 0

MAST LOADING

| LOAD TYPE | ELEV ft | APPLY.. RADIUS ft | LOAD.. AT AZI | LOAD AZI | FORCES    |          | MOMENTS         |                |
|-----------|---------|-------------------|---------------|----------|-----------|----------|-----------------|----------------|
|           |         |                   |               |          | HORIZ kip | DOWN kip | VERTICAL ft-kip | TORSNAL ft-kip |
| C         | 260.0   | 0.00              | 0.0           | 0.0      | 0.07      | 0.13     | 0.00            | 0.00           |
| C         | 250.0   | 0.00              | 0.0           | 0.0      | 3.33      | 6.00     | 0.00            | 0.00           |
| C         | 238.0   | 0.00              | 0.0           | 0.0      | 2.51      | 4.00     | 0.00            | 0.00           |
| C         | 226.0   | 0.00              | 0.0           | 0.0      | 2.52      | 4.00     | 0.00            | 0.00           |
| C         | 214.0   | 0.00              | 0.0           | 0.0      | 2.53      | 4.00     | 0.00            | 0.00           |

426310

|   |       |      |       |     |      |      |      |      |
|---|-------|------|-------|-----|------|------|------|------|
| D | 255.0 | 0.00 | 180.0 | 0.0 | 0.02 | 0.03 | 0.00 | 0.00 |
| D | 250.0 | 0.00 | 180.0 | 0.0 | 0.02 | 0.03 | 0.00 | 0.00 |
| D | 250.0 | 0.00 | 42.0  | 0.0 | 0.04 | 0.05 | 0.05 | 0.03 |
| D | 240.0 | 0.00 | 42.0  | 0.0 | 0.04 | 0.05 | 0.05 | 0.03 |
| D | 240.0 | 0.00 | 64.4  | 0.0 | 0.06 | 0.10 | 0.05 | 0.04 |
| D | 235.0 | 0.00 | 64.4  | 0.0 | 0.06 | 0.10 | 0.05 | 0.04 |
| D | 235.0 | 0.00 | 79.5  | 0.0 | 0.06 | 0.10 | 0.05 | 0.04 |
| D | 225.0 | 0.00 | 83.3  | 0.0 | 0.06 | 0.11 | 0.04 | 0.03 |
| D | 225.0 | 0.00 | 92.0  | 0.0 | 0.07 | 0.13 | 0.04 | 0.02 |
| D | 220.0 | 0.00 | 92.0  | 0.0 | 0.07 | 0.13 | 0.04 | 0.02 |
| D | 220.0 | 0.00 | 89.2  | 0.0 | 0.08 | 0.15 | 0.04 | 0.02 |
| D | 215.0 | 0.00 | 89.2  | 0.0 | 0.08 | 0.15 | 0.04 | 0.02 |
| D | 215.0 | 0.00 | 353.1 | 0.0 | 0.08 | 0.16 | 0.01 | 0.02 |
| D | 210.0 | 0.00 | 353.1 | 0.0 | 0.08 | 0.16 | 0.01 | 0.02 |
| D | 210.0 | 0.00 | 322.3 | 0.0 | 0.08 | 0.17 | 0.02 | 0.01 |
| D | 200.0 | 0.00 | 322.2 | 0.0 | 0.08 | 0.17 | 0.02 | 0.01 |
| D | 200.0 | 0.00 | 322.4 | 0.0 | 0.08 | 0.19 | 0.02 | 0.01 |
| D | 180.0 | 0.00 | 321.9 | 0.0 | 0.08 | 0.20 | 0.02 | 0.01 |
| D | 180.0 | 0.00 | 322.4 | 0.0 | 0.09 | 0.21 | 0.02 | 0.01 |
| D | 160.0 | 0.00 | 321.9 | 0.0 | 0.09 | 0.22 | 0.02 | 0.01 |
| D | 160.0 | 0.00 | 322.4 | 0.0 | 0.10 | 0.22 | 0.02 | 0.01 |
| D | 140.0 | 0.00 | 322.0 | 0.0 | 0.10 | 0.23 | 0.02 | 0.01 |
| D | 140.0 | 0.00 | 322.3 | 0.0 | 0.10 | 0.28 | 0.02 | 0.01 |
| D | 80.0  | 0.00 | 322.2 | 0.0 | 0.11 | 0.31 | 0.02 | 0.01 |
| D | 80.0  | 0.00 | 322.4 | 0.0 | 0.12 | 0.37 | 0.02 | 0.01 |
| D | 40.0  | 0.00 | 322.3 | 0.0 | 0.13 | 0.37 | 0.02 | 0.01 |
| D | 40.0  | 0.00 | 322.4 | 0.0 | 0.13 | 0.44 | 0.02 | 0.01 |
| D | 20.0  | 0.00 | 322.3 | 0.0 | 0.13 | 0.45 | 0.02 | 0.01 |
| D | 20.0  | 0.00 | 322.4 | 0.0 | 0.12 | 0.43 | 0.02 | 0.01 |
| D | 13.3  | 0.00 | 322.4 | 0.0 | 0.12 | 0.43 | 0.02 | 0.01 |
| D | 13.3  | 0.00 | 322.4 | 0.0 | 0.13 | 0.50 | 0.02 | 0.01 |
| D | 0.0   | 0.00 | 322.4 | 0.0 | 0.13 | 0.50 | 0.02 | 0.01 |

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MAXIMUM MAST DISPLACEMENTS:

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| ELEV<br>ft | -----DEFLECTIONS (ft)----- |         |         | --TILTS (DEG)--- |          | TWIST<br>DEG |
|------------|----------------------------|---------|---------|------------------|----------|--------------|
|            | NORTH                      | EAST    | DOWN    | NORTH            | EAST     |              |
| 255.0      | 1.180 G                    | 1.134 J | 0.015 G | 0.610 G          | 0.588 J  | -0.034 F     |
| 250.0      | 1.127 G                    | 1.083 J | 0.015 G | 0.612 G          | 0.589 J  | -0.034 F     |
| 245.0      | 1.072 G                    | 1.031 J | 0.014 G | 0.604 G          | 0.582 J  | -0.034 F     |
| 240.0      | 1.019 G                    | 0.980 J | 0.014 G | 0.583 G          | 0.561 J  | -0.033 F     |
| 235.0      | 0.968 G                    | 0.930 J | 0.013 G | 0.571 G          | 0.550 J  | -0.031 F     |
| 230.0      | 0.918 G                    | 0.882 J | 0.013 G | 0.556 G          | 0.535 J  | -0.030 F     |
| 225.0      | 0.869 G                    | 0.835 J | 0.012 G | 0.537 G          | 0.516 J  | -0.028 F     |
| 220.0      | 0.822 G                    | 0.790 J | 0.012 G | 0.514 G          | 0.495 J  | -0.027 F     |
| 215.0      | 0.777 G                    | 0.747 J | 0.011 G | 0.497 G          | 0.478 J  | -0.026 F     |
| 210.0      | 0.733 G                    | 0.704 J | 0.011 G | 0.477 G          | 0.459 J  | -0.025 F     |
| 205.0      | 0.691 G                    | 0.664 J | 0.011 G | 0.456 G          | 0.439 J  | -0.024 F     |
| 200.0      | 0.651 G                    | 0.625 J | 0.010 G | 0.433 G          | 0.417 J  | -0.023 F     |
| 193.3      | 0.601 G                    | 0.577 J | 0.010 G | 0.409 G          | 0.394 J  | -0.021 F     |
| 186.7      | 0.553 G                    | 0.531 J | 0.009 G | 0.384 G          | 0.370 J  | -0.020 F     |
| 180.0      | 0.509 G                    | 0.489 J | 0.009 G | 0.359 G          | 0.345 J  | -0.019 F     |
| 173.3      | 0.467 G                    | 0.448 J | 0.008 G | 0.339 G          | 0.326 J  | 0.018 H      |
| 166.7      | 0.427 G                    | 0.410 J | 0.008 G | 0.318 G          | 0.306 J  | 0.018 H      |
| 160.0      | 0.390 G                    | 0.374 J | 0.008 G | 0.297 G          | 0.286 J  | 0.017 H      |
| 153.3      | 0.355 G                    | 0.340 J | 0.007 G | 0.278 G          | 0.267 J  | 0.016 H      |
| 146.7      | 0.322 G                    | 0.309 J | 0.007 G | 0.258 G          | 0.248 J  | 0.015 H      |
| 140.0      | 0.291 G                    | 0.280 J | 0.006 G | 0.238 G          | 0.229 J  | 0.013 H      |
| 130.0      | 0.250 G                    | 0.240 J | 0.006 G | 0.218 G          | 0.210 J  | 0.012 H      |
| 120.0      | 0.212 G                    | 0.204 J | 0.006 G | 0.198 G          | 0.191 J  | 0.011 H      |
| 110.0      | 0.178 G                    | 0.170 J | 0.005 G | 0.179 G          | 0.172 J  | 0.010 H      |
| 100.0      | 0.147 G                    | 0.140 J | 0.005 G | 0.159 G          | 0.152 J  | 0.009 H      |
| 90.0       | 0.119 G                    | 0.114 J | 0.004 G | 0.139 G          | -0.133 D | 0.008 H      |
| 80.0       | 0.095 G                    | 0.091 J | 0.004 G | 0.119 G          | -0.114 D | 0.007 H      |
| 70.0       | 0.074 G                    | 0.071 J | 0.003 G | 0.103 G          | -0.099 D | 0.006 H      |
| 60.0       | 0.056 G                    | 0.053 J | 0.003 G | 0.088 G          | 0.084 J  | 0.005 H      |
| 50.0       | 0.040 G                    | 0.038 J | 0.002 G | 0.070 G          | 0.067 J  | 0.004 H      |
| 40.0       | 0.027 G                    | 0.026 J | 0.002 G | 0.053 G          | 0.051 J  | 0.003 H      |
| 30.0       | 0.015 G                    | 0.014 J | 0.001 E | 0.040 G          | -0.038 D | 0.002 H      |
| 20.0       | 0.005 G                    | 0.005 J | 0.001 E | 0.026 G          | -0.025 D | 0.001 H      |
| 13.3       | 0.002 G                    | 0.002 J | 0.001 E | 0.018 G          | 0.017 J  | 0.001 H      |
| 0.0        | 0.000 A                    | 0.000 A | 0.000 A | 0.000 A          | 0.000 A  | 0.000 A      |

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MAXIMUM TENSION IN MAST MEMBERS (kip)

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## 426310

| ELEV<br>ft | LEGS              | DIAG   | HORIZ  | BRACE  |
|------------|-------------------|--------|--------|--------|
| 255.0      | -----<br>0.26 G   | 0.65 G | 0.41 A | 0.00 A |
| 250.0      | -----<br>0.08 A   | 1.72 B | 0.07 G | 0.00 A |
| 245.0      | -----<br>4.59 A   | 1.79 B | 0.11 I | 0.00 A |
| 240.0      | -----<br>8.26 A   | 2.01 A | 0.21 K | 0.00 A |
| 235.0      | -----<br>12.95 A  | 2.47 H | 0.07 A | 0.00 A |
| 230.0      | -----<br>17.92 A  | 2.39 B | 0.04 A | 0.00 A |
| 225.0      | -----<br>22.50 A  | 3.13 B | 0.03 A | 0.00 A |
| 220.0      | -----<br>28.77 A  | 2.96 B | 0.08 A | 0.00 A |
| 215.0      | -----<br>33.49 A  | 3.58 B | 0.02 C | 0.00 A |
| 210.0      | -----<br>40.21 A  | 3.68 B | 0.09 A | 0.00 A |
| 205.0      | -----<br>46.10 A  | 3.53 B | 0.02 A | 0.00 A |
| 200.0      | -----<br>53.00 A  | 3.73 H | 0.08 A | 0.00 A |
| 193.3      | -----<br>59.71 A  | 3.58 B | 0.03 A | 0.00 A |
| 186.7      | -----<br>66.38 A  | 3.51 F | 0.07 A | 0.00 A |
| 180.0      | -----<br>72.21 A  | 3.44 F | 0.03 A | 0.00 A |
| 173.3      | -----<br>78.00 A  | 3.43 F | 0.04 A | 0.00 A |
| 166.7      | -----<br>83.25 A  | 3.42 L | 0.03 A | 0.00 A |
| 160.0      | -----<br>88.49 A  | 3.44 J | 0.04 A | 0.00 A |
| 153.3      | -----<br>93.34 A  | 3.46 J | 0.04 A | 0.00 A |
| 146.7      | -----<br>98.21 A  | 3.52 J | 0.03 A | 0.00 A |
| 140.0      | -----<br>103.80 A | 3.90 D | 0.04 A | 0.00 A |
| 130.0      | -----<br>110.46 A | 3.97 D | 0.04 A | 0.00 A |
| 120.0      | -----<br>116.75 A | 4.04 J | 0.03 A | 0.00 A |
| 110.0      | -----<br>123.01 A | 4.15 J | 0.04 A | 0.00 A |
| 100.0      | -----<br>129.04 A | 4.27 D | 0.02 A | 0.00 A |
| 90.0       | -----<br>135.07 A | 4.42 D | 0.03 A | 0.00 A |
| 80.0       | -----<br>140.85 A | 4.57 J | 0.02 A | 0.00 A |
| 70.0       | -----<br>146.60 A | 4.75 D | 0.02 A | 0.00 A |
| 60.0       | -----<br>152.28 A | 4.94 J | 0.02 A | 0.00 A |
| 50.0       | -----<br>158.04 A | 5.14 J | 0.02 A | 0.00 A |
| 40.0       | -----<br>163.66 A | 5.35 J | 0.03 C | 0.00 A |
| 30.0       | -----<br>169.18 A | 5.55 J | 0.02 G | 0.00 A |
| 20.0       | -----<br>176.14 A | 5.90 D | 0.05 A | 0.00 A |
| 13.3       | -----<br>174.56 A | 7.77 D | 0.44 I | 0.00 H |
| 0.0        | -----             |        | 0.00 A | 0.00 A |

MAXIMUM COMPRESSION IN MAST MEMBERS (kip)

| ELEV<br>ft | LEGS               | DIAG             | HORIZ   | BRACE  |
|------------|--------------------|------------------|---------|--------|
| 255.0      | -----<br>-0.42 A   | -----<br>-0.63 A | -0.42 G | 0.00 A |
| 250.0      | -----<br>-4.35 G   | -----<br>-1.74 B | -0.06 A | 0.00 A |
| 245.0      | -----<br>-8.98 G   | -----<br>-1.88 B | -0.04 C | 0.00 A |
| 240.0      | -----<br>-14.30 G  | -----<br>-2.30 G | -0.15 E | 0.00 A |
| 235.0      | -----<br>-20.96 G  | -----<br>-2.36 B | -0.02 G | 0.00 A |
| 230.0      | -----<br>-26.55 G  | -----<br>-2.53 B | -0.03 G | 0.00 A |
| 225.0      | -----<br>-33.88 G  | -----<br>-3.14 B | 0.00 A  | 0.00 A |
| 220.0      | -----<br>-40.67 G  | -----<br>-2.99 B | -0.06 G | 0.00 A |
| 215.0      | -----<br>-48.06 G  | -----<br>-3.69 G | 0.00 A  | 0.00 A |
| 210.0      | -----<br>-56.07 G  | -----<br>-3.67 B | -0.06 G | 0.00 A |
| 205.0      | -----<br>-62.56 G  | -----<br>-3.58 H | 0.00 G  | 0.00 A |
| 200.0      | -----<br>-70.32 G  | -----<br>-3.74 B | -0.05 G | 0.00 A |
| 193.3      | -----<br>-77.99 G  | -----<br>-3.62 H | -0.01 G | 0.00 A |
| 186.7      | -----<br>-85.71 G  | -----<br>-3.52 L | -0.05 G | 0.00 A |
| 180.0      | -----<br>-92.58 G  | -----<br>-3.48 L | -0.01 G | 0.00 A |
| 173.3      | -----<br>-99.51 G  | -----<br>-3.45 L | -0.03 G | 0.00 A |
| 166.7      | -----<br>-105.88 G | -----<br>-3.45 F | -0.01 G | 0.00 A |
| 160.0      | -----<br>-112.29 G | -----<br>-3.46 J | -0.03 G | 0.00 A |
| 153.3      | -----<br>-118.32 G | -----<br>-3.50 J | -0.02 G | 0.00 A |
| 146.7      | -----<br>-124.41 G | -----<br>-3.53 D | -0.02 G | 0.00 A |
| 140.0      | -----<br>-131.65 G | -----<br>-3.95 J | -0.02 G | 0.00 A |
| 130.0      | -----<br>-140.55 G | -----<br>-4.00 J | -0.03 G | 0.00 A |
| 120.0      | -----<br>-149.07 G | -----<br>-4.10 D | -0.02 G | 0.00 A |
| 110.0      | -----<br>-157.66 G | -----<br>-4.19 D | -0.02 G | 0.00 A |
| 100.0      | -----<br>-166.02 G | -----<br>-4.32 J | -0.01 G | 0.00 A |
| 90.0       | -----<br>-174.46 G | -----<br>-4.46 J | -0.02 G | 0.00 A |
| 80.0       | -----<br>-182.88 G | -----<br>-4.62 D | -0.01 G | 0.00 A |
| 70.0       | -----<br>-191.50 G | -----<br>-4.80 J | -0.02 G | 0.00 A |
| 60.0       | -----<br>-200.07 G | -----<br>-4.99 J | -0.01 G | 0.00 A |
| 50.0       | -----<br>-208.74 G | -----<br>-5.19 D | -0.02 G | 0.00 A |
| 40.0       | -----<br>-217.54 G | -----<br>-5.39 J | -0.03 I | 0.00 A |
| 30.0       | -----<br>-226.53 G | -----<br>-5.60 D | -0.03 A | 0.00 A |
| 20.0       | -----<br>-236.49 G | -----<br>-5.96 J | -0.03 G | 0.00 A |
| 13.3       | -----<br>-238.07 G | -----<br>-7.81 J | -0.60 C | 0.00 I |
| 0.0        | -----              | -----            | 0.00 A  | 0.00 A |

MAXIMUM INDIVIDUAL FOUNDATION LOADS: (kip)

-----LOAD-----COMPONENTS----- TOTAL



426310

|         |         |          |           |         |
|---------|---------|----------|-----------|---------|
| NORTH   | EAST    | DOWN     | UPLIFT    | SHEAR   |
| 23.75 G | 20.45 K | 248.94 G | -182.58 A | 23.75 G |

MAXIMUM TOTAL LOADS ON FOUNDATION : (kip & kip-ft)

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| -----HORIZONTAL----- |      |       | DOWN | -----OVERTURNING----- |        |        | TORSION |
|----------------------|------|-------|------|-----------------------|--------|--------|---------|
| NORTH                | EAST | TOTAL |      | NORTH                 | EAST   | TOTAL  |         |
|                      |      | @     |      |                       |        | @      |         |
|                      |      | 0.0   |      |                       |        | 0.0    |         |
| 38.1                 | 36.2 | 38.1  | 87.7 | 5518.0                | 5284.8 | 5518.0 | 16.7    |
| G                    | J    | G     | E    | G                     | J      | G      | H       |

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**MAT FOUNDATION DESIGN BY SABRE TOWERS & POLES**

Tower Description 255' S3TL Series HD1  
 Customer AT&T  
 Project Number 426310  
 Date 2/6/2019  
 Engineer REB

|   |          |  |                                     |
|---|----------|--|-------------------------------------|
| <b>Overall Loads:</b>                         |          |  |                                     |
| Factored Moment (ft-kips)                     | 15995.08 |  |                                     |
| Factored Axial (kips)                         | 273.15   |  |                                     |
| Factored Shear (kips)                         | 110.46   |  |                                     |
| <b>Individual Leg Loads:</b>                  |          |  | Tower eccentric from mat (ft)= 2.25 |
| Factored Uplift (kips)                        | 587.00   |  |                                     |
| Factored Download (kips)                      | 672.00   |  |                                     |
| Factored Shear (kips)                         | 66.00    |  |                                     |
| Width of Tower (ft)                           | 29       | Allowable Bearing Pressure (ksf)               | 2.50                                |
| Ultimate Bearing Pressure                     | 5.00     | Safety Factor                                  | 2.00                                |
| Bearing $\Phi$ s                              | 0.75     |  |                                     |
| Bearing Design Strength (ksf)                 | 3.75     | Max. Factored Net Bearing Pressure (ksf)       | 3.60                                |
| Water Table Below Grade (ft)                  | 999      | Minimum Mat Width (ft)                         | 35.67                               |
| Width of Mat (ft)                             | 38.5     |  |                                     |
| Thickness of Mat (ft)                         | 1.75     |  |                                     |
| Depth to Bottom of Slab (ft)                  | 6.5      |  |                                     |
| Bolt Circle Diameter (in)                     | 18       |  |                                     |
| Top of Concrete to Top of Bottom Threads (in) | 72.625   | Minimum Pier Diameter (ft)                     | 2.83                                |
| Diameter of Pier (ft)                         | 4        | Equivalent Square b (ft)                       | 3.54                                |
| Ht. of Pier Above Ground (ft)                 | 0.5      |  |                                     |
| Ht. of Pier Below Ground (ft)                 | 4.75     |  |                                     |
| Quantity of Bars in Mat                       | 66       |  |                                     |
| Bar Diameter in Mat (in)                      | 1.27     |  |                                     |
| Area of Bars in Mat (in <sup>2</sup> )        | 83.61    | Recommended Spacing (in)                       | 6 to 12                             |
| Spacing of Bars in Mat (in)                   | 7.00     |  |                                     |
| Quantity of Bars Pier                         | 20       |  |                                     |
| Bar Diameter in Pier (in)                     | 1        | Minimum Pier A <sub>s</sub> (in <sup>2</sup> ) | 9.05                                |
| Tie Bar Diameter in Pier (in)                 | 0.5      | Recommended Spacing (in)                       | 5 to 12                             |
| Spacing of Ties (in)                          | 9        |  |                                     |
| Area of Bars in Pier (in <sup>2</sup> )       | 15.71    |  |                                     |
| Spacing of Bars in Pier (in)                  | 6.26     |  |                                     |
| f'c (ksi)                                     | 4.5      |  |                                     |
| fy (ksi)                                      | 60       |  |                                     |
| Unit Wt. of Soil (kcf)                        | 0.11     |  |                                     |
| Unit Wt. of Concrete (kcf)                    | 0.15     |  |                                     |
| Volume of Concrete (yd <sup>3</sup> )         | 103.40   |  |                                     |

**MAT FOUNDATION DESIGN BY SABRE TOWERS & POLES (CONTINUED)**

**Two-Way Shear:**

|   |        |             |       |
|---|--------|-------------|-------|
| Average d (in)                                    | 16.73  |             |       |
| $\phi v_c$ (ksi)                                  | 0.228  | $v_u$ (ksi) | 0.217 |
| $\phi v_c = \phi(2 + 4/\beta_c)f'_c{}^{1/2}$      | 0.342  |             |       |
| $\phi v_c = \phi(\alpha_s d/b_o + 2)f'_c{}^{1/2}$ | 0.302  |             |       |
| $\phi v_c = \phi 4f'_c{}^{1/2}$                   | 0.228  |             |       |
| Shear perimeter, $b_o$ (in)                       | 203.36 |             |       |
| $\beta_c$   | 1      |             |       |

**Stability:**

|                                    |         |                                    |         |
|------------------------------------|---------|------------------------------------|---------|
| Overturning Design Strength (ft-k) | 21500.3 | Factored Overturning Moment (ft-k) | 16768.3 |
|------------------------------------|---------|------------------------------------|---------|

**One-Way Shear:**

|  |       |  |       |
|--|-------|--|-------|
| $\phi V_c$ (kips)                                      | 881.4 | $V_u$ (kips)                             | 708.4 |
| <b>Pier Design:</b>                                    |       |  |       |
| Design Tensile Strength (kips)                         | 848.2 | $T_u$ (kips)                             | 587.0 |
| $\phi V_n$ (kips)                                      | 159.3 | $V_u$ (kips)                             | 66.0  |
| $\phi V_c = \phi 2(1 + N_u/(500A_g))f'_c{}^{1/2}b_w d$ | 73.8  |  |       |
| $V_s$ (kips)   | 100.5 | $V_s$ max = $4 f'_c{}^{1/2}b_w d$ (kips) | 494.6 |
| Maximum Spacing (in)                                   | 9.76  | (Only if Shear Ties are Required)        |       |
| Actual Hook Development (in)                           | 15.46 | Req'd Hook Development $l_{dh}$ (in)     | 11.21 |

\*\*\* Ref. ACI 11.5.5 & 11.5.6.3

**Anchor Bolt Pull-Out:**

|   |       |                                     |       |
|---|-------|-------------------------------------|-------|
| $\phi P_c = \phi \lambda (2/3)f'_c{}^{1/2}(2.8A_{SLOPE} + 4A_{FLAT})$ | 272.8 | $P_u$ (kips)                        | 587.0 |
| Pier Rebar Development Length (in)                                    | 58.63 | Required Length of Development (in) | 30.95 |

**Flexure in Slab:**

|                                  |         |                                  |        |
|----------------------------------|---------|----------------------------------|--------|
| $\phi M_n$ (ft-kips)             | 5760.3  | $M_u$ (ft-kips)                  | 5758.4 |
| a (in)                           | 2.84    |                                  |        |
| Steel Ratio                      | 0.01082 |                                  |        |
| $\beta_1$                        | 0.825   |                                  |        |
| Maximum Steel Ratio ( $\rho_l$ ) | 0.0197  |                                  |        |
| Minimum Steel Ratio              | 0.0018  |                                  |        |
| Rebar Development in Pad (in)    | 121.81  | Required Development in Pad (in) | 19.06  |

| Condition                        | 1 is OK, 0 Fails |
|----------------------------------|------------------|
| Minimum Mat Width                | 1                |
| Maximum Soil Bearing Pressure    | 1                |
| Pier Area of Steel               | 1                |
| Pier Shear                       | 1                |
| Two-Way Shear                    | 1                |
| Overturning                      | 1                |
| Anchor Bolt Pull-Out             | 1                |
| Flexure                          | 1                |
| Steel Ratio                      | 1                |
| Length of Development in Pad     | 1                |
| Interaction Diagram Visual Check | 1                |
| One-Way Shear                    | 1                |
| Hook Development                 | 1                |
| Minimum Mat Depth                | 1                |

**DRILLED STRAIGHT PIER DESIGN BY SABRE TOWERS & POLES**

Tower Description 255' S3TL Series HD1  
 Customer Name AT&T  
 Job Number 426310  
 Date 2/6/2019  
 Engineer REB

|   |                          |  |       |
|---|--------------------------|--|-------|
| Factored Uplift (kips)                        | 587                      |  |       |
| Factored Download (kips)                      | 672                      |  |       |
| Factored Shear (kips)                         | 66                       |  |       |
| Ultimate Bearing Pressure                     | 9                        |  |       |
| Bearing $\Phi$ s                              | 0.75                     |  |       |
| Bearing Design Strength (ksf)                 | 6.75                     |  |       |
| Water Table Below Grade (ft)                  | 999                      |  |       |
| Bolt Circle Diameter (in)                     | 18                       |  |       |
| Top of Concrete to Top of Bottom Threads (in) | 72.625                   |  |       |
| Pier Diameter (ft)                            | 7                        | Minimum Pier Diameter (ft)               | 2.83  |
| Ht. Above Ground (ft)                         | 0.5                      |  |       |
| Pier Length Below Ground (ft)                 | 65                       |  |       |
| Quantity of Bars                              | 36                       |  |       |
| Bar Diameter (in)                             | 1                        |  |       |
| Tie Bar Diameter (in)                         | 0.625                    |  |       |
| Spacing of Ties (in)                          | 12                       |  |       |
| Area of Bars (in <sup>2</sup> )               | 28.27                    | Minimum Area of Steel (in <sup>2</sup> ) | 27.71 |
| Spacing of Bars (in)                          | 6.61                     |  |       |
| f'c (ksi)                                     | 4.5                      |  |       |
| fy (ksi)                                      | 60                       |  |       |
| Unit Wt. of Concrete (kcf)                    | 0.15                     |  |       |
| Download Friction $\Phi$ s                    | 0.75                     |  |       |
| Uplift Friction $\Phi$ s                      | 0.75                     |  |       |
| Volume of Concrete (yd <sup>3</sup> )         | 93.36                    |  |       |
| Skin Friction Factor for Uplift               | 1                        | Length to Ignore Download (ft)           | 0     |
| Ignore Bottom Length in Download?             | <input type="checkbox"/> |  |       |

| Depth at Bottom of Layer (ft) | Ult. Skin Friction (ksf) | (Ult. Skin Friction)*(Uplift Factor) | $\gamma$ (kcf) |
|-------------------------------|--------------------------|--------------------------------------|----------------|
| 100                           | 0.50                     | 0.50                                 | 0.11           |
| 0                             | 0.00                     | 0.00                                 | 0              |
| 0                             | 0.00                     | 0.00                                 | 0              |
| 0                             | 0.00                     | 0.00                                 | 0              |
| 0                             | 0.00                     | 0.00                                 | 0              |
| 0                             | 0.00                     | 0.00                                 | 0              |
| 0                             | 0.00                     | 0.00                                 | 0              |
| 0                             | 0.00                     | 0.00                                 | 0              |
| 0                             | 0.00                     | 0.00                                 | 0              |
| 0                             | 0.00                     | 0.00                                 | 0              |
| 0                             | 0.00                     | 0.00                                 | 0              |

**Download:**

|  |       |                              |       |
|--|-------|------------------------------|-------|
| Factored Net Weight of Concrete (kips) | 123.5 |                              |       |
| Bearing Design Strength (kips)         | 259.8 |                              |       |
| Skin Friction Design Strength (kips)   | 536.0 |                              |       |
| Download Design Strength (kips)        | 795.8 | Factored Net Download (kips) | 795.5 |

**DRILLED STRAIGHT PIER DESIGN BY SABRE TOWERS & POLES (CONTINUED)**

**Uplift:**

|  |         |
|--|---------|
| Nominal Skin Friction (kips)               | 714.7   |
| W <sub>c</sub> , Weight of Concrete (kips) | 378.1   |
| W <sub>R</sub> , Soil Resistance (kips)    | 13495.2 |
| ΦsW <sub>R</sub> +0.9W <sub>c</sub> (kips) | 10461.7 |

|                               |       |                        |       |
|-------------------------------|-------|------------------------|-------|
| Uplift Design Strength (kips) | 876.3 | Factored Uplift (kips) | 587.0 |
|-------------------------------|-------|------------------------|-------|

**Pier Design:**

|                                |        |
|--------------------------------|--------|
| Design Tensile Strength (kips) | 1526.8 |
|--------------------------------|--------|

|                       |       |
|-----------------------|-------|
| T <sub>u</sub> (kips) | 587.0 |
|-----------------------|-------|

|                        |       |
|------------------------|-------|
| ΦV <sub>n</sub> (kips) | 507.4 |
|------------------------|-------|

|                       |      |
|-----------------------|------|
| V <sub>u</sub> (kips) | 66.0 |
|-----------------------|------|

|   |       |
|---|-------|
| ΦV <sub>c</sub> =Φ2(1+N <sub>u</sub> /(500A <sub>g</sub> ))f' <sub>c</sub> <sup>1/2</sup> b <sub>w</sub> d (kips) | 507.4 |
|---|-------|

|                       |     |
|-----------------------|-----|
| V <sub>s</sub> (kips) | 0.0 |
|-----------------------|-----|

|   |        |
|---|--------|
| *** V <sub>s</sub> max = 4 f' <sub>c</sub> <sup>1/2</sup> b <sub>w</sub> d (kips) | 1514.7 |
|---|--------|

Maximum Spacing (in) 8.71 (Only if Shear Ties are Required)

\*\*\* Ref. ACI 11.5.5 & 11.5.6.3

**Anchor Bolt Pull-Out:**

|  |       |
|--|-------|
| ΦP <sub>c</sub> =Φλ(2/3)f' <sub>c</sub> <sup>1/2</sup> (2.8A <sub>SLOPE</sub> + 4A <sub>FLAT</sub> ) | 834.6 |
|--|-------|

|                       |       |
|-----------------------|-------|
| P <sub>u</sub> (kips) | 587.0 |
|-----------------------|-------|

|                               |       |                                     |     |
|-------------------------------|-------|-------------------------------------|-----|
| Rebar Development Length (in) | 40.75 | Required Length of Development (in) | N/A |
|-------------------------------|-------|-------------------------------------|-----|

| Condition                        | 1 is OK, 0 Fails |
|----------------------------------|------------------|
| Download                         | 1                |
| Uplift                           | 1                |
| Area of Steel                    | 1                |
| Shear                            | 1                |
| Anchor Bolt Pull-Out             | 1                |
| Interaction Diagram Visual Check | 1                |

**EXHIBIT D**  
**COMPETING UTILITIES, CORPORATIONS, OR PERSONS LIST**



# KY Public Service Commission

## Master Utility Search

- Search for the utility of interest by using any single or combination of criteria.
- Enter Partial names to return the closest match for Utility Name and Address/City/Contact entries.

| Utility ID                            | Utility Name         | Address/City/Contact | Utility Type         | Status                      |
|---------------------------------------|----------------------|----------------------|----------------------|-----------------------------|
| <input type="text"/>                  | <input type="text"/> | <input type="text"/> | <input type="text"/> | Active <input type="text"/> |
| <input type="button" value="Search"/> |                      |                      |                      |                             |

|                                     | Utility ID | Utility Name                                      | Utility Type | Class | City            | State |
|-------------------------------------|------------|---|--------------|-------|-----------------|-------|
| <input type="button" value="View"/> | 4111300    | 2600Hz, Inc. dba ZSWITCH                          | Cellular     | C     | San Francisco   | CA    |
| <input type="button" value="View"/> | 4107900    | 365 Wireless, LLC                                 | Cellular     | D     | Atlanta         | GA    |
| <input type="button" value="View"/> | 4109300    | Access Point, Inc.                                | Cellular     | D     | Cary            | NC    |
| <input type="button" value="View"/> | 4108300    | Air Voice Wireless, LLC                           | Cellular     | A     | Bloomfield Hill | MI    |
| <input type="button" value="View"/> | 4110650    | Alliant Technologies of KY, L.L.C.                | Cellular     | D     | Morristown      | NJ    |
| <input type="button" value="View"/> | 44451184   | Alltel Communications, LLC                        | Cellular     | A     | Basking Ridge   | NJ    |
| <input type="button" value="View"/> | 4110850    | AltaWorx, LLC                                     | Cellular     | D     | Fairhope        | AL    |
| <input type="button" value="View"/> | 4107800    | American Broadband and Telecommunications Company | Cellular     | D     | Toledo          | OH    |
| <input type="button" value="View"/> | 4108650    | AmeriMex Communications Corp.                     | Cellular     | D     | Dunedin         | FL    |
| <input type="button" value="View"/> | 4105100    | AmeriVision Communications, Inc. d/b/a Affinity 4 | Cellular     | D     | Virginia Beach  | VA    |
| <input type="button" value="View"/> | 4110700    | Andrew David Balholm dba Norcell                  | Cellular     | D     | Clayton         | WA    |
| <input type="button" value="View"/> | 4108600    | BCN Telecom, Inc.                                 | Cellular     | D     | Morristown      | NJ    |
| <input type="button" value="View"/> | 4110550    | Blue Casa Mobile, LLC                             | Cellular     | D     | Santa Barbara   | CA    |
| <input type="button" value="View"/> | 4111050    | BlueBird Communications, LLC                      | Cellular     | C     | New York        | NY    |
| <input type="button" value="View"/> | 4202300    | Bluegrass Wireless, LLC                           | Cellular     | A     | Elizabethtown   | KY    |
| <input type="button" value="View"/> | 4107600    | Boomerang Wireless, LLC                           | Cellular     | B     | Hiawatha        | IA    |
| <input type="button" value="View"/> | 4105500    | BullsEye Telecom, Inc.                            | Cellular     | D     | Southfield      | MI    |

|                      |          |   |          |   |                   |    |
|----------------------|----------|---|----------|---|-------------------|----|
| <a href="#">View</a> | 4100700  | Cellco Partnership dba Verizon Wireless             | Cellular | A | Basking Ridge     | NJ |
| <a href="#">View</a> | 4106600  | Cintex Wireless, LLC                                | Cellular | D | Rockville         | MD |
| <a href="#">View</a> | 4111150  | Comcast OTR1, LLC                                   | Cellular | D | Philadelphia      | PA |
| <a href="#">View</a> | 4101900  | Consumer Cellular, Incorporated                     | Cellular | A | Portland          | OR |
| <a href="#">View</a> | 4106400  | Credo Mobile, Inc.                                  | Cellular | B | San Francisco     | CA |
| <a href="#">View</a> | 4108850  | Cricket Wireless, LLC                               | Cellular | D | San Antonio       | TX |
| <a href="#">View</a> | 10640    | Cumberland Cellular Partnership                     | Cellular | A | Elizabethtown     | KY |
| <a href="#">View</a> | 4111200  | Dynalink Communications, Inc.                       | Cellular | C | Brooklyn          | NY |
| <a href="#">View</a> | 4101000  | East Kentucky Network, LLC dba Appalachian Wireless | Cellular | A | Ivel              | KY |
| <a href="#">View</a> | 4002300  | Easy Telephone Service Company dba Easy Wireless    | Cellular | D | Ocala             | FL |
| <a href="#">View</a> | 4109500  | Enhanced Communications Group, LLC                  | Cellular | D | Bartlesville      | OK |
| <a href="#">View</a> | 4110450  | Excellus Communications, LLC                        | Cellular | D | Chattanooga       | TN |
| <a href="#">View</a> | 4105900  | Flash Wireless, LLC                                 | Cellular | C | Concord           | NC |
| <a href="#">View</a> | 4104800  | France Telecom Corporate Solutions L.L.C.           | Cellular | D | Oak Hill          | VA |
| <a href="#">View</a> | 4109350  | Global Connection Inc. of America                   | Cellular | D | Norcross          | GA |
| <a href="#">View</a> | 4102200  | Globalstar USA, LLC                                 | Cellular | B | Covington         | LA |
| <a href="#">View</a> | 4109600  | Google North America Inc.                           | Cellular | A | Mountain View     | CA |
| <a href="#">View</a> | 33350363 | Granite Telecommunications, LLC                     | Cellular | D | Quincy            | MA |
| <a href="#">View</a> | 4106000  | GreatCall, Inc. d/b/a Jitterbug                     | Cellular | A | San Diego         | CA |
| <a href="#">View</a> | 10630    | GTE Wireless of the Midwest dba Verizon Wireless    | Cellular | A | Basking Ridge     | NJ |
| <a href="#">View</a> | 4103100  | i-Wireless, LLC                                     | Cellular | A | Newport           | KY |
| <a href="#">View</a> | 4109800  | IM Telecom, LLC d/b/a Infiniti Mobile               | Cellular | D | Tulsa             | OK |
| <a href="#">View</a> | 22215360 | KDDI America, Inc.                                  | Cellular | D | New York          | NY |
| <a href="#">View</a> | 10872    | Kentucky RSA #1 Partnership                         | Cellular | A | Basking Ridge     | NJ |
| <a href="#">View</a> | 10680    | Kentucky RSA #3 Cellular General                    | Cellular | A | Elizabethtown     | KY |
| <a href="#">View</a> | 10681    | Kentucky RSA #4 Cellular General                    | Cellular | A | Elizabethtown     | KY |
| <a href="#">View</a> | 4109750  | Konatel, Inc. dba telecom.mobi                      | Cellular | D | Johnstown         | PA |
| <a href="#">View</a> | 4111250  | Liberty Mobile Wireless, LLC                        | Cellular | C | Sunny Isles Beach |    |
| <a href="#">View</a> | 4111400  | Locus Telecommunications, LLC                       | Cellular | C | Fort Lee          | NJ |
| <a href="#">View</a> | 4110900  | Lunar Labs, Inc.                                    | Cellular | D | Detroit           | MI |
| <a href="#">View</a> | 4107300  | Lycamobile USA, Inc.                                | Cellular | D | Newark            | NJ |
| <a href="#">View</a> | 4108800  | MetroPCS Michigan, LLC                              | Cellular | A | Bellevue          | WA |
| <a href="#">View</a> | 4109650  | Mitel Cloud Services, Inc.                          | Cellular | D | Mesa              | AZ |



|                      |          |   |          |   |                |    |
|----------------------|----------|---|----------|---|----------------|----|
| <a href="#">View</a> | 4202400  | New Cingular Wireless PCS, LLC dba AT&T Mobility, PCS           | Cellular | A | San Antonio    | TX |
| <a href="#">View</a> | 10900    | New Par dba Verizon Wireless                                    | Cellular | A | Basking Ridge  | NJ |
| <a href="#">View</a> | 4000800  | Nextel West Corporation   | Cellular | D | Overland Park  | KS |
| <a href="#">View</a> | 4001300  | NPCR, Inc. dba Nextel Partners                                  | Cellular | D | Overland Park  | KS |
| <a href="#">View</a> | 4001800  | OnStar, LLC   | Cellular | A | Detroit        | MI |
| <a href="#">View</a> | 4110750  | Onvoy Spectrum, LLC   | Cellular | D | Plymouth       | MN |
| <a href="#">View</a> | 4109050  | Patriot Mobile LLC  | Cellular | D | Irving         | TX |
| <a href="#">View</a> | 4110250  | Plintron Technologies USA LLC                                   | Cellular | D | Bellevue       | WA |
| <a href="#">View</a> | 33351182 | PNG Telecommunications, Inc. dba PowerNet Global Communications | Cellular | D | Cincinnati     | OH |
| <a href="#">View</a> | 4202100  | Powertel/Memphis, Inc. dba T-Mobile                             | Cellular | A | Bellevue       | WA |
| <a href="#">View</a> | 4107700  | Puretalk Holdings, LLC  | Cellular | A | Covington      | GA |
| <a href="#">View</a> | 4111350  | Q LINK MOBILE LLC   | Cellular | C | Dania Beach    | FL |
| <a href="#">View</a> | 4106700  | Q Link Wireless, LLC  | Cellular | B | Dania          | FL |
| <a href="#">View</a> | 4108700  | Ready Wireless, LLC   | Cellular | B | Hiawatha       | IA |
| <a href="#">View</a> | 4110500  | Republic Wireless, Inc.   | Cellular | D | Raleigh        | NC |
| <a href="#">View</a> | 4111100  | ROK Mobile, Inc.  | Cellular | C | Culver City    | CA |
| <a href="#">View</a> | 4106200  | Rural Cellular Corporation                                      | Cellular | A | Basking Ridge  | NJ |
| <a href="#">View</a> | 4108550  | Sage Telecom Communications, LLC dba TruConnect                 | Cellular | D | Los Angeles    | CA |
| <a href="#">View</a> | 4109150  | SelecTel, Inc. d/b/a SelecTel Wireless                          | Cellular | D | Freemont       | NE |
| <a href="#">View</a> | 4106300  | SI Wireless, LLC  | Cellular | A | Carbondale     | IL |
| <a href="#">View</a> | 4110150  | Spectrotel, Inc. d/b/a Touch Base Communications                | Cellular | D | Neptune        | NJ |
| <a href="#">View</a> | 4111450  | Spectrum Mobile, LLC  | Cellular | C | St. Louis      | MO |
| <a href="#">View</a> | 4200100  | Sprint Spectrum, L.P.   | Cellular | A | Atlanta        | GA |
| <a href="#">View</a> | 4200500  | SprintCom, Inc.   | Cellular | A | Atlanta        | GA |
| <a href="#">View</a> | 4109550  | Stream Communications, LLC                                      | Cellular | D | Dallas         | TX |
| <a href="#">View</a> | 4110200  | T C Telephone LLC d/b/a Horizon Cellular                        | Cellular | D | Red Bluff      | CA |
| <a href="#">View</a> | 4202200  | T-Mobile Central, LLC dba T-Mobile                              | Cellular | A | Bellevue       | WA |
| <a href="#">View</a> | 4002500  | TAG Mobile, LLC   | Cellular | D | Carrollton     | TX |
| <a href="#">View</a> | 4109700  | Telecom Management, Inc. dba Pioneer Telephone                  | Cellular | D | South Portland | ME |
| <a href="#">View</a> | 4107200  | Telefonica USA, Inc.  | Cellular | D | Miami          | FL |
| <a href="#">View</a> | 4108900  | Telrite Corporation   | Cellular | D | Covington      | GA |
| <a href="#">View</a> | 4108450  | Tempo Telecom, LLC  | Cellular | D | Atlanta        | GA |
| <a href="#">View</a> | 4109950  | The People's Operator USA, LLC                                  | Cellular | D | New York       | NY |
| <a href="#">View</a> | 4109000  | Ting, Inc.  | Cellular | A | Toronto        | ON |

|                      |         |                                |          |   |              |    |
|----------------------|---------|--------------------------------|----------|---|--------------|----|
| <a href="#">View</a> | 4110400 | Torch Wireless Corp.           | Cellular | D | Jacksonville | FL |
| <a href="#">View</a> | 4103300 | Touchtone Communications, Inc. | Cellular | D | Whippany     | NJ |
| <a href="#">View</a> | 4104200 | TracFone Wireless, Inc.        | Cellular | D | Miami        | FL |
| <a href="#">View</a> | 4002000 | Truphone, Inc.                 | Cellular | D | Durham       | NC |
| <a href="#">View</a> | 4110300 | UVNV, Inc. d/b/a Mint Mobile   | Cellular | D | Costa Mesa   | CA |
| <a href="#">View</a> | 4105700 | Virgin Mobile USA, L.P.        | Cellular | A | Atlanta      | GA |
| <a href="#">View</a> | 4110800 | Visible Service LLC            | Cellular | D | Lone Tree    | CO |
| <a href="#">View</a> | 4106500 | WiMacTel, Inc.                 | Cellular | D | Palo Alto    | CA |
| <a href="#">View</a> | 4110950 | Wing Tel Inc.                  | Cellular | D | New York     | NY |

**EXHIBIT E**  
**FAA**



Mail Processing Center  
 Federal Aviation Administration  
 Southwest Regional Office  
 Obstruction Evaluation Group  
 10101 Hillwood Parkway  
 Fort Worth, TX 76177

Aeronautical Study No.  
 2019-ASO-706-OE

Issued Date: 03/04/2019

Robert P. Walters (AJP)  
 AT&T Mobility Services LLC  
 208 S. Akard St., 1012.06  
 Dallas, TX 75202

**\*\* DETERMINATION OF NO HAZARD TO AIR NAVIGATION \*\***

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure: Antenna Tower Elkhorn Road FN  
 Location: Knifley, KY  
 Latitude: 37-12-35.49N NAD 83  
 Longitude: 85-10-49.52W  
 Heights: 951 feet site elevation (SE)  
 270 feet above ground level (AGL)  
 1221 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure does not exceed obstruction standards and would not be a hazard to air navigation provided the following condition(s), if any, is(are) met:

As a condition to this Determination, the structure is to be marked/lighted in accordance with FAA Advisory circular 70/7460-1 L Change 2, Obstruction Marking and Lighting, a med-dual system - Chapters 4,8(M-Dual),&12.

Any failure or malfunction that lasts more than thirty (30) minutes and affects a top light or flashing obstruction light, regardless of its position, should be reported immediately to (877) 487-6867 so a Notice to Airmen (NOTAM) can be issued. As soon as the normal operation is restored, notify the same number.

It is required that FAA Form 7460-2, Notice of Actual Construction or Alteration, be e-filed any time the project is abandoned or:

- At least 10 days prior to start of construction (7460-2, Part 1)
- Within 5 days after the construction reaches its greatest height (7460-2, Part 2)

This determination expires on 09/04/2020 unless:

- (a) the construction is started (not necessarily completed) and FAA Form 7460-2, Notice of Actual Construction or Alteration, is received by this office.
- (b) extended, revised, or terminated by the issuing office.

- (c) the construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the FCC, within 6 months of the date of this determination. In such case, the determination expires on the date prescribed by the FCC for completion of construction, or the date the FCC denies the application.

**NOTE: REQUEST FOR EXTENSION OF THE EFFECTIVE PERIOD OF THIS DETERMINATION MUST BE E-FILED AT LEAST 15 DAYS PRIOR TO THE EXPIRATION DATE. AFTER RE-EVALUATION OF CURRENT OPERATIONS IN THE AREA OF THE STRUCTURE TO DETERMINE THAT NO SIGNIFICANT AERONAUTICAL CHANGES HAVE OCCURRED, YOUR DETERMINATION MAY BE ELIGIBLE FOR ONE EXTENSION OF THE EFFECTIVE PERIOD.**

This determination is based, in part, on the foregoing description which includes specific coordinates, heights, frequency(ies) and power. Any changes in coordinates, heights, and frequencies or use of greater power, except those frequencies specified in the Colo Void Clause Coalition; Antenna System Co-Location; Voluntary Best Practices, effective 21 Nov 2007, will void this determination. Any future construction or alteration, including increase to heights, power, or the addition of other transmitters, requires separate notice to the FAA. This determination includes all previously filed frequencies and power for this structure.

If construction or alteration is dismantled or destroyed, you must submit notice to the FAA within 5 days after the construction or alteration is dismantled or destroyed.

This determination does include temporary construction equipment such as cranes, derricks, etc., which may be used during actual construction of the structure. However, this equipment shall not exceed the overall heights as indicated above. Equipment which has a height greater than the studied structure requires separate notice to the FAA.

This determination concerns the effect of this structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

A copy of this determination will be forwarded to the Federal Communications Commission (FCC) because the structure is subject to their licensing authority.

If we can be of further assistance, please contact our office at (718) 553-2611, or [angelique.eersteling@faa.gov](mailto:angelique.eersteling@faa.gov). On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2019-ASO-706-OE.

**Signature Control No: 394780516-398672753**

( DNE )

Angelique Eersteling  
Technician

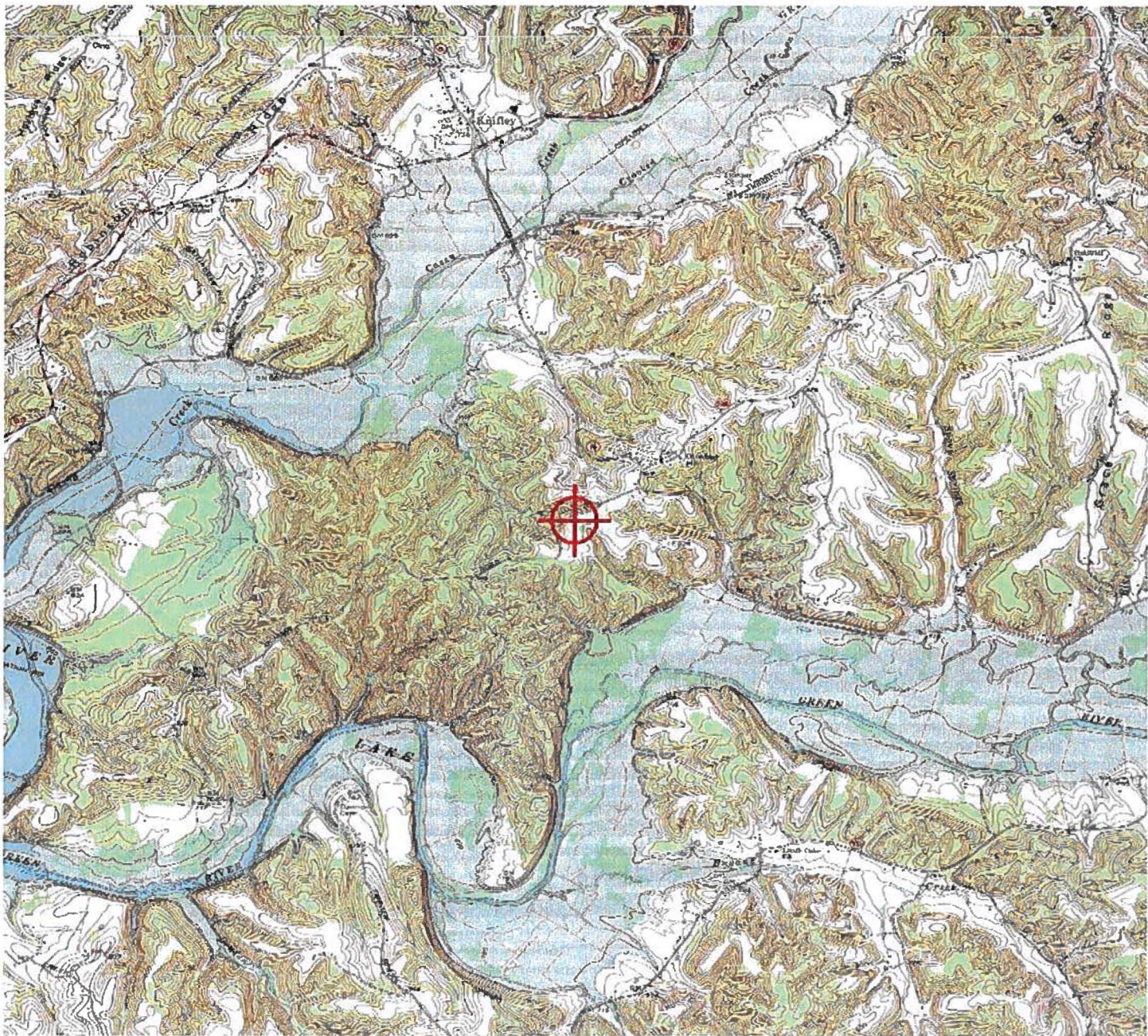
Attachment(s)  
Frequency Data  
Map(s)

cc: FCC

**Frequency Data for ASN 2019-ASO-706-OE**

| <b>LOW<br/>FREQUENCY</b> | <b>HIGH<br/>FREQUENCY</b> | <b>FREQUENCY<br/>UNIT</b> | <b>ERP</b> | <b>ERP<br/>UNIT</b> |
|--------------------------|---------------------------|---------------------------|------------|---------------------|
| 6                        | 7                         | GHz                       | 55         | dBW                 |
| 6                        | 7                         | GHz                       | 42         | dBW                 |
| 10                       | 11.7                      | GHz                       | 55         | dBW                 |
| 10                       | 11.7                      | GHz                       | 42         | dBW                 |
| 17.7                     | 19.7                      | GHz                       | 55         | dBW                 |
| 17.7                     | 19.7                      | GHz                       | 42         | dBW                 |
| 21.2                     | 23.6                      | GHz                       | 55         | dBW                 |
| 21.2                     | 23.6                      | GHz                       | 42         | dBW                 |
| 614                      | 698                       | MHz                       | 1000       | W                   |
| 614                      | 698                       | MHz                       | 2000       | W                   |
| 698                      | 806                       | MHz                       | 1000       | W                   |
| 806                      | 901                       | MHz                       | 500        | W                   |
| 806                      | 824                       | MHz                       | 500        | W                   |
| 824                      | 849                       | MHz                       | 500        | W                   |
| 851                      | 866                       | MHz                       | 500        | W                   |
| 869                      | 894                       | MHz                       | 500        | W                   |
| 896                      | 901                       | MHz                       | 500        | W                   |
| 901                      | 902                       | MHz                       | 7          | W                   |
| 929                      | 932                       | MHz                       | 3500       | W                   |
| 930                      | 931                       | MHz                       | 3500       | W                   |
| 931                      | 932                       | MHz                       | 3500       | W                   |
| 932                      | 932.5                     | MHz                       | 17         | dBW                 |
| 935                      | 940                       | MHz                       | 1000       | W                   |
| 940                      | 941                       | MHz                       | 3500       | W                   |
| 1670                     | 1675                      | MHz                       | 500        | W                   |
| 1710                     | 1755                      | MHz                       | 500        | W                   |
| 1850                     | 1910                      | MHz                       | 1640       | W                   |
| 1850                     | 1990                      | MHz                       | 1640       | W                   |
| 1930                     | 1990                      | MHz                       | 1640       | W                   |
| 1990                     | 2025                      | MHz                       | 500        | W                   |
| 2110                     | 2200                      | MHz                       | 500        | W                   |
| 2305                     | 2360                      | MHz                       | 2000       | W                   |
| 2305                     | 2310                      | MHz                       | 2000       | W                   |
| 2345                     | 2360                      | MHz                       | 2000       | W                   |
| 2496                     | 2690                      | MHz                       | 500        | W                   |







**EXHIBIT F**  
**KENTUCKY AIRPORT ZONING COMMISSION**



KENTUCKY TRANSPORTATION CABINET  
KENTUCKY AIRPORT ZONING COMMISSION

TC 55-2  
Rev. 05/2017  
Page 2 of 2

**APPLICATION FOR PERMIT TO CONSTRUCT OR ALTER A STRUCTURE**

|  |                                   |   |                            |   |                     |
|--|-----------------------------------|---|----------------------------|---|---------------------|
| <b>APPLICANT (name)</b><br>John Monday   |                                   | <b>PHONE</b><br>855-699-7073  | <b>FAX</b><br>972-907-1131 | <b>KY AERONAUTICAL STUDY #</b>  |                     |
| <b>ADDRESS (street)</b><br>3300 E. Renner Road, B3132  |                                   | <b>CITY</b><br>Richardson   |                            | <b>STATE</b><br>TX  | <b>ZIP</b><br>75082 |
| <b>APPLICANT'S REPRESENTATIVE (name)</b><br>Julie Kupperman  |                                   | <b>PHONE</b><br>561-460-2361  | <b>FAX</b><br>N/A          |   |                     |
| <b>ADDRESS (street)</b><br>1975 Joe B. Jackson Pkwy.   |                                   | <b>CITY</b><br>Murfreesboro   |                            | <b>STATE</b><br>TN  | <b>ZIP</b><br>37127 |
| <b>APPLICATION FOR</b> <input checked="" type="checkbox"/> New Construction <input type="checkbox"/> Alteration <input type="checkbox"/> Existing  |                                   |   |                            | <b>WORK SCHEDULE</b>  |                     |
| <b>DURATION</b> <input type="checkbox"/> Permanent <input type="checkbox"/> Temporary (months days )   |                                   |   |                            | Start End   |                     |
| <b>TYPE</b> <input type="checkbox"/> Crane <input type="checkbox"/> Building<br><input checked="" type="checkbox"/> Antenna Tower<br><input type="checkbox"/> Power Line <input type="checkbox"/> Water Tank<br><input type="checkbox"/> Landfill <input type="checkbox"/> Other |                                   | <b>MARKING/PAINTING/LIGHTING PREFERRED</b><br><input type="checkbox"/> Red Lights & Paint <input type="checkbox"/> White- medium intensity <input type="checkbox"/> White- high intensity<br><input checked="" type="checkbox"/> Dual- red & medium intensity white <input type="checkbox"/> Dual- red & high intensity white<br><input type="checkbox"/> Other |                            |   |                     |
| <b>LATITUDE</b><br>37°12'35.5"   |                                   | <b>LONGITUDE</b><br>85°10'49.6"   |                            | <b>DATUM</b> <input checked="" type="checkbox"/> NAD83 <input type="checkbox"/> NAD27<br><input type="checkbox"/> Other |                     |
| <b>NEAREST KENTUCKY</b><br>City Knifley County Adair   |                                   | <b>NEAREST KENTUCKY PUBLIC USE OR MILITARY AIRPORT</b><br>Westlake Regional Hospital  |                            |   |                     |
| <b>SITE ELEVATION (AMSL, feet)</b><br>951  |                                   | <b>TOTAL STRUCTURE HEIGHT (AGL, feet)</b><br>270  |                            | <b>CURRENT (FAA aeronautical study #)</b><br>2019-ASO-706-OE  |                     |
| <b>OVERALL HEIGHT (site elevation plus total structure height, feet)</b><br>1221   |                                   |   |                            | <b>PREVIOUS (FAA aeronautical study #)</b><br>N/A   |                     |
| <b>DISTANCE (from nearest Kentucky public use or Military airport to structure)</b><br>8.71  |                                   |   |                            | <b>PREVIOUS (KY aeronautical study #)</b><br>N/A  |                     |
| <b>DIRECTION (from nearest Kentucky public use or Military airport to structure)</b><br>Northeast  |                                   |   |                            |   |                     |
| <b>DESCRIPTION OF LOCATION (Attach USGS 7.5 minute quadrangle map or an airport layout drawing with the precise site marked and any certified survey.)</b><br>1A and Quad Attached   |                                   |   |                            |   |                     |
| <b>DESCRIPTION OF PROPOSAL</b><br>AT&T Proposed to construct a 255' cell tower with a 15' lightning rod for an overall height of 270'  |                                   |   |                            |   |                     |
| <b>FAA Form 7460-1 (Has the "Notice of Construction or Alteration" been filed with the Federal Aviation Administration?)</b><br><input type="checkbox"/> No <input type="checkbox"/> Yes, when?  |                                   |   |                            |   |                     |
| <b>CERTIFICATION (I hereby certify that all the above entries, made by me, are true, complete, and correct to the best of my knowledge and belief.)</b>  |                                   |   |                            |   |                     |
| <b>PENALTIES (Persons failing to comply with KRS 183.861 to 183.990 and 602 KAR 050 are liable for fines and/or imprisonment as set forth in KRS 183.990(3). Noncompliance with FAA regulations may result in further penalties.)</b>  |                                   |   |                            |   |                     |
| <b>NAME</b><br>Michelle Ward   | <b>TITLE</b><br>Sr. Real Estate & | <b>SIGNATURE</b><br>  |                            | <b>DATE</b><br>4/1/19   |                     |
| <b>COMMISSION ACTION</b>   |                                   | <input type="checkbox"/> Chairperson, KAZC<br><input type="checkbox"/> Administrator, KAZC  |                            |   |                     |
| <input type="checkbox"/> Approved  | <b>SIGNATURE</b>                  |   | <b>DATE</b>                |   |                     |
| <input type="checkbox"/> Disapproved   |                                   |   |                            |   |                     |

**EXHIBIT G**  
**GEOTECHNICAL REPORT**



---

January 17, 2019

Ms. Michelle Ward  
AT&T  
534 Armory Place  
4<sup>th</sup> Floor  
Louisville, KY 40202

Subject: Geotechnical Investigation

Site Name: ELKHORN ROAD FN (14365235)

Site Address: 3575 Elkhorn Road, Knifley, KY 42753, Adair County

Coordinates: N37° 12' 35.49", W85° 10' 49.52"

POD Project No. 18-28215

Dear Ms. Ward:

Power of Design (POD) was authorized in January 2019 to complete the Geotechnical Investigation for the subject Property. We utilized the survey of the subject Property dated June 5, 2018. The Property is located in a pasture/crop area south of Tucker Woods Road. The Property includes a proposed 100-foot by 100-foot lease area located in a pasture/crop area and a proposed approximate 82-foot long by 30-foot wide access/utility easement. The proposed easement would extend in a southern direction off Tucker Woods Road to the proposed lease area.

Due to extremely wet soil conditions, it would not be possible for a geotechnical drill rig to access the center of the lease area. In order to complete the requested Geotechnical Investigation, access road improvements would be necessary.

We appreciate the opportunity to be of service to you on this project. If you have any questions regarding this letter, please contact our office.

Cordially,

A handwritten signature in blue ink that reads "Mark Patterson".

Mark Patterson, P.E.  
Project Engineer  
License No.: KY 16300





# Preliminary Geotechnical Investigation

**Site Name:** ELKHORN ROAD FN  
(14365235)

**Site Address:** 3575 Elkhorn Road  
Knifley, KY 42753  
Adair County

**Coordinates:** N37° 12' 35.49"  
W85° 10' 49.52"

**POD Project No.** 18-28215



**SUBMITTED TO:**

Ms. Michelle Ward  
AT&T  
534 Armory Place  
4<sup>th</sup> Floor  
Louisville, KY 40202

**PREPARED BY:**

Power of Design  
11490 Bluegrass Parkway  
Louisville, KY 40299





---

January 17, 2019

Ms. Michelle Ward  
AT&T  
534 Armory Place  
4<sup>th</sup> Floor  
Louisville, KY 40202

Re:     **Subject: Preliminary Geotechnical Investigation**  
       Site Name: ELKHORN ROAD FN (14365235)  
       Site Address: 3575 Elkhorn Road  
                    Knifley, KY 42753  
                    Adair County  
       Coordinates: N37° 12' 35.49", W85° 10' 49.52"  
       POD Project No. 18-28215

Dear Ms. Ward:

Power of Design (POD) is pleased to submit this report of our Preliminary Geotechnical Investigation for the proposed project. Our services were provided as authorized electronically on January 11, 2019.

This report presents a review of the information provided to us, a description of the site and subsurface conditions, and our recommendations. The appendices contain a USGS Topographic Map and USDA Web Soil Survey map and Soil Descriptions for mapped soil types.

**Purpose and Scope of Work**

The purpose of this effort was to evaluate the likely site conditions so that preliminary foundation design plans can be prepared. No soil borings or testing has been conducted for this report. A final Geotechnical Investigation including borings should be conducted for the proposed tower.

**Project Information**

POD provided a survey dated 6/5/18 of the Property. The Property is located in a pasture/agricultural crop area south of Tucker Woods Road. We understand that plans call for a new 255-foot tall monopole tower with 15' lightning arrestor on the site, approximately as shown on Figure 1.



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### Estimated Site and Subsurface Conditions

The topography leading up to the proposed compound is a gradual slope. The elevation at the proposed tower location is about 951 feet AMSL.

The soil survey shows the Frankstown gravelly silt loam (FkB) and Frankstown gravelly silt loam (FkC2) soil types for the proposed tower location. A description of this soil type is attached. In summary, the general soil profile description includes a gravelly silty clay loam to a depth of approximately 3.5 feet, with rock being at approximately 3.5-4 feet.

### Recommendations

Based on the anticipated shallow rock, the tower will likely be supported on a mat foundation system. Groundwater should not likely be encountered in the foundation excavation. Assuming solid rock at the tower foundation bearing level, a nominal bearing pressure of about 80 kips per square foot is likely appropriate.

We appreciate the opportunity to be of service.

Cordially,

A handwritten signature in blue ink that reads "Mark Patterson".

Mark Patterson, P.E.  
Project Engineer  
License No.: KY 16300

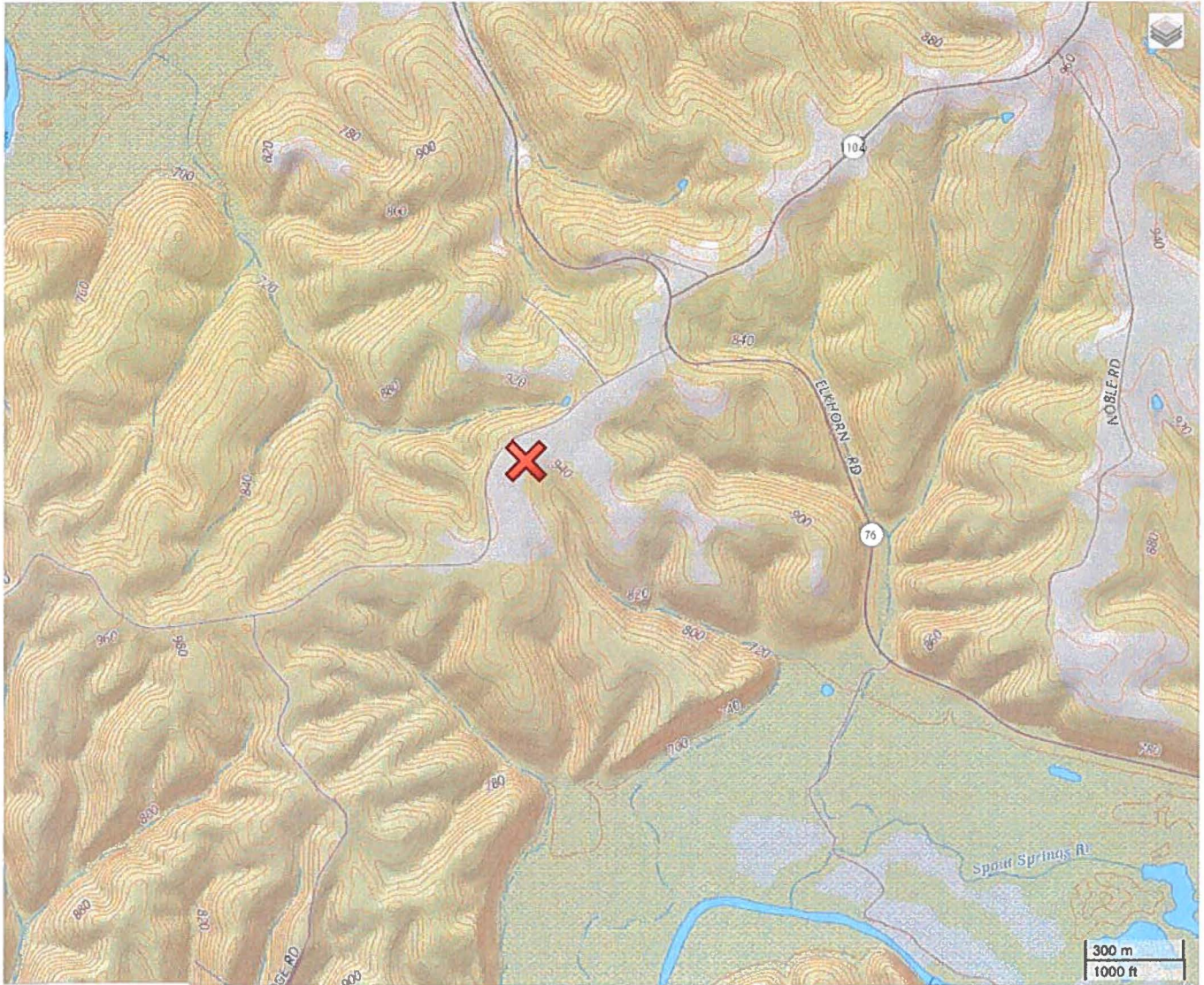


Appendix A Figure 1 - Topographic Map and Site Survey  
Appendix B Soil Survey and Soil Descriptions




**APPENDIX A**  
Topographic Map and Site Survey



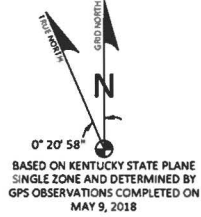
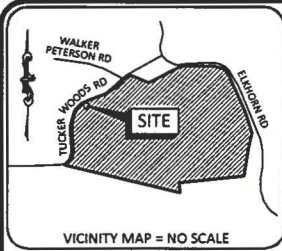


Source: U.S. Geological Survey, 20160322, USGS US Topo 7.5-minute map for Knifley, KY 2016: USGS - National Geospatial Technical Operations Center (NGTOC).

**X** = Proposed Site

|   |   |  |
|---|---|--|
|  | <p><b>Site Name:</b> ELKHORN ROAD FN<br/>(14365235)</p> <p><b>Site Address:</b> 3575 Elkhorn Road<br/>Knifley, KY 42753<br/>Adair County</p> <p><b>Coordinates:</b> N37° 12' 35.49"<br/>W83° 10' 49.52"</p> | <p><b>Figure 1:</b></p> <p><b>Site<br/>Location<br/>Plan</b></p> |
|---|---|--|





**GENERAL NOTES**

NO SEARCH OF PUBLIC RECORDS HAS BEEN COMPLETED BY POD GROUP TO DETERMINE ANY DEFECTS AND/OR AMBIGUITIES IN THE TITLE OF THE SUBJECT PROPERTY.

THIS SURVEY IS FOR THE PROPOSED LEASE AREA, THE PROPOSED 15' UTILITY EASEMENT, AND THE PROPOSED 30' / VARIABLE WIDTH ACCESS & UTILITY EASEMENT ONLY, AND NO BOUNDARY SURVEY OF THE PARENT TRACT HAS BEEN PERFORMED.

A PORTION OF THIS SURVEY WAS CONDUCTED BY METHOD OF RANDOM TRAVERSE WITH SIDE SHOTS. UNADJUSTED CLOSURE EQUALS 0.03', FOR A PRECISION OF 1:35,049 AND HAS NOT BEEN ADJUSTED.

THIS PROPERTY IS SUBJECT TO ANY RECORDED EASEMENTS AND/OR RIGHTS OF WAY SHOWN HEREON OR NOT.

THIS PLAT IS NOT INTENDED FOR LAND TRANSFER.

THE PARENT PARCEL, THE PROPOSED LEASE AREA, THE PROPOSED 15' UTILITY EASEMENT, AND THE PROPOSED 30' ACCESS & UTILITY EASEMENT SHOWN HEREON ARE NOT LOCATED IN A 100-YEAR FLOOD PLAIN, ZONE X, PER FLOOD HAZARD BOUNDARY MAP, COMMUNITY-PANEL NUMBER 21001C0185A, DATED 12/17/2010.

**LEGEND**

- UTILITY POLE
- P.O.C. POINT OF COMMENCEMENT
- P.O.R. POINT OF REFERENCE
- P.O.B. POINT OF BEGINNING
- EOP EDGE OF PAVEMENT
- SPC STATE PLANE COORDINATE
- + 952.9' EXISTING GROUND SPOT ELEVATION
- OHE — OHE EX. OVERHEAD ELECTRIC
- X — X EX. FENCE
- ● — FOUND MONUMENT AS NOTED
- ○ — SET 1/2" REBAR 18" LONG CAPPED "PATTERSON PLS 3136"
- — — PROPERTY LINE
- — — ADJACENT PROPERTY LINE

**GLOBAL POSITIONING SYSTEMS NOTE**

1. RANDOM TRAVERSE POINTS AND A PORTION OF THE TOPOGRAPHY WAS LOCATED USING GPS.
2. THE TYPE OF GPS UTILIZED WAS NETWORK ADJUSTED REAL TIME KINEMATIC (KDDOT VRS NETWORK), NAD 83 KENTUCKY SINGLE ZONE WITH THE ORTHOMETRIC HEIGHT COMPUTED USING GEOID12A. RELATIVE POSITIONAL ACCURACY VARIED FROM 0.05' TO 0.07' HORIZONTALLY.
3. SPECTRA PRECISION EPOCH 50 DUAL FREQUENCY RECEIVERS WERE USED TO PERFORM THE SURVEY.



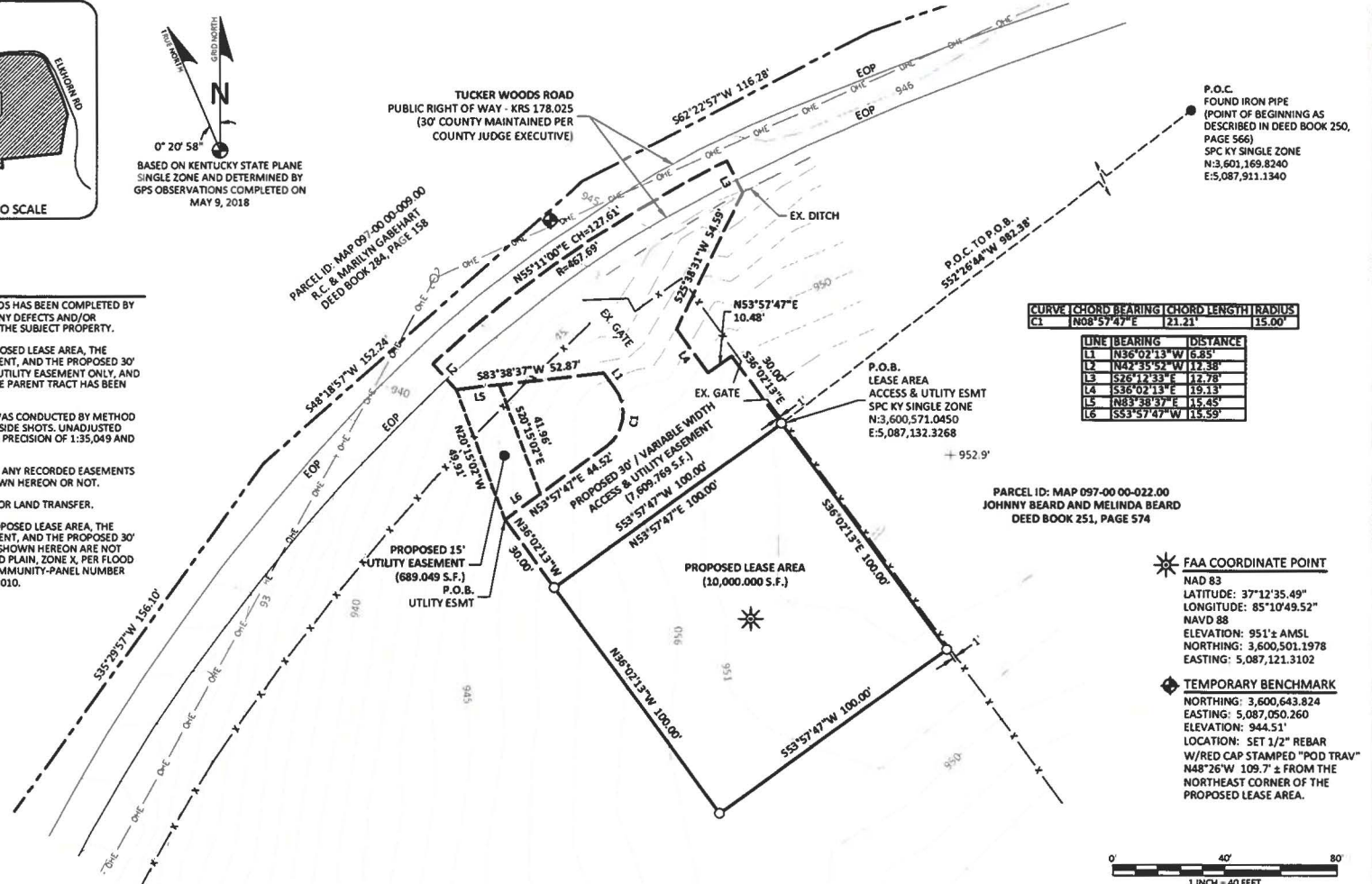
Call Mark E. Patterson  
1-800-752-6007



**LAND SURVEYOR'S CERTIFICATE**

I, MARK E. PATTERSON, HEREBY CERTIFY THAT I AM A LICENSED PROFESSIONAL LAND SURVEYOR LICENSED IN COMPLIANCE WITH THE LAWS OF THE COMMONWEALTH OF KENTUCKY. I FURTHER CERTIFY THAT THIS PLAT AND THE SURVEY ON THE GROUND WERE PERFORMED BY PERSONS UNDER MY DIRECT SUPERVISION, AND THAT THE DIRECTIONAL AND LINEAR MEASUREMENTS BEING WITNESSED BY MONUMENTS SHOWN HEREON ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. THE "RURAL" SURVEY, AND THE PLAT ON WHICH IT IS BASED, MEETS ALL SPECIFICATIONS AS STATED IN KAR 201.18.150.

Mark Patterson 6/5/2018  
MARK PATTERSON, PLS #3136 DATE



| CURVE | CHORD BEARING | CHORD LENGTH | RADIUS  |
|-------|---------------|--------------|---------|
| C1    | N08°57'47"E   | 21.21'       | 115.00' |

| LINE | BEARING     | DISTANCE |
|------|-------------|----------|
| L1   | N36°02'13"W | 6.83'    |
| L2   | N42°33'53"W | 11.38'   |
| L3   | S26°12'33"E | 11.78'   |
| L4   | S36°02'13"E | 19.13'   |
| L5   | N83°38'37"E | 15.45'   |
| L6   | SS3°57'47"W | 15.59'   |

PREPARED BY:  
**POD**  
POWER OF DESIGN  
11490 BIL LIU GRASS PARKWAY  
LOUISVILLE, KY 40299  
502.437.5252

PREPARED FOR:  
**MasTec**

PREPARED FOR:  
**at&t**

**SURVEY**

| REV. | DATE    | DESCRIPTION           |
|------|---------|-----------------------|
| A    | 5.21.18 | PRELIM ISSUE w/ TITLE |
| O    | 5.31.18 | ISSUED AS FINAL       |

SITE INFORMATION:  
**ELKHORN ROAD FN**  
3575 ELKHORN ROAD  
KNIFLEY, KY 42753  
ADAIR COUNTY

TAX PARCEL NUMBER:  
097-00-00-022-00

PROPERTY OWNERS:  
JOHNNY BEARD AND  
MELINDA BEARD  
919 CALDWELL RIDGE ROAD  
KNIFLEY, KY 42753

SOURCE OF TITLE:  
DEED BOOK 251, PAGE 574

SITE NUMBER:  
14365235

POD NUMBER: 18-23982

DRAWN BY: TMD  
CHECKED BY: MEP  
SURVEY DATE: 5.9.18  
PLAT DATE: 6.0.18

SHEET TITLE:  
**SITE SURVEY**  
THIS DOES NOT REPRESENT A  
BOUNDARY SURVEY OF THE  
PARENT PARCEL

SHEET NUMBER: (2 pages)  
**B-1**



**PROPOSED LEASE AREA**

THE FOLLOWING IS A DESCRIPTION OF THE PROPOSED LEASE AREA TO BE LEASED FROM THE PROPERTY CONVEYED TO JOHNNY BEARD AND MELINDA BEARD AS DESCRIBED IN DEED BOOK 251, PAGE 574 OF RECORD IN THE ADAIR COUNTY, KY CLERKS OFFICE, PARCEL ID: MAP 097-00 00-022.00, WHICH IS MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEARING DATUM USED HEREIN IS BASED UPON KENTUCKY STATE PLANE COORDINATE SYSTEM, SINGLE ZONE, NAD 83, FROM A REAL TIME KINEMATIC GLOBAL POSITIONING SYSTEM OBSERVATION USING THE KENTUCKY TRANSPORTATION CABINET REAL TIME GPS NETWORK COMPLETED ON MAY 19, 2018.

COMMENCING AT A FOUND IRON PIPE IAT A COMMON CORNER OF THE PROPERTY CONVEYED TO JOHNNY BEARD AND MELINDA BEARD AS ESTABLISHED BY THE EXCLUSION OF 41.94 ACRES DESCRIBED DEED BOOK 251, PAGE 574, SAID COMMENCEMENT POINT BEING THE TRUE POINT OF BEGINNING AS DESCRIBED IN DEED BOOK 250, PAGE 566, SAID COMMENCEMENT POINT ALSO HAVING A KENTUCKY SINGLE ZONE STATE PLANE COORDINATE VALUE OF N:3,601,169.8240, AND E:5,087,911.1340, THENCE LEAVING SAID IRON PIPE, 552'26'44"W 982.38' A SET 1/2" REBAR WITH CAP STAMPED "PATTERSON PLS 3136", HEREAFTER REFERRED TO AS A "SET IPC, IN THE NORTHEAST CORNER OF THE PROPOSED LEASE AREA AND BEING THE TRUE POINT OF BEGINNING ALSO HAVING A KENTUCKY SINGLE ZONE STATE PLANE COORDINATE VALUE OF N:3,600,571.0450, AND E:5,087,132.3268; THENCE S36°02'13"E 100.00' TO A SET IPC; THENCE S53°57'47"W 100.00' TO A SET IPC; THENCE N36°02'13"W 100.00' TO A SET IPC; THENCE N53°57'47"E 100.00' TO THE POINT OF BEGINNING CONTAINING 10,000,000 SQUARE FEET AS PER SURVEY BY MARK PATTERSON, PLS #3136 WITH POWER OF DESIGN GROUP, LLC DATED MAY 9, 2018.

**PROPOSED 30' / VARIABLE WIDTH ACCESS & UTILITY EASEMENT**

THE FOLLOWING IS A DESCRIPTION OF THE PROPOSED 30' / VARIABLE WIDTH ACCESS & UTILITY EASEMENT TO BE GRANTED FROM THE PROPERTY CONVEYED TO JOHNNY BEARD AND MELINDA BEARD AS DESCRIBED IN DEED BOOK 251, PAGE 574 OF RECORD IN THE ADAIR COUNTY, KY CLERKS OFFICE, PARCEL ID: MAP 097-00 00-022.00, WHICH IS MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEARING DATUM USED HEREIN IS BASED UPON KENTUCKY STATE PLANE COORDINATE SYSTEM, SINGLE ZONE, NAD 83, FROM A REAL TIME KINEMATIC GLOBAL POSITIONING SYSTEM OBSERVATION USING THE KENTUCKY TRANSPORTATION CABINET REAL TIME GPS NETWORK COMPLETED ON MARCH 12, 2018.

COMMENCING AT A FOUND IRON PIPE IAT A COMMON CORNER OF THE PROPERTY CONVEYED TO JOHNNY BEARD AND MELINDA BEARD AS ESTABLISHED BY THE EXCLUSION OF 41.94 ACRES DESCRIBED DEED BOOK 251, PAGE 574, SAID COMMENCEMENT POINT BEING THE TRUE POINT OF BEGINNING AS DESCRIBED IN DEED BOOK 250, PAGE 566, SAID COMMENCEMENT POINT ALSO HAVING A KENTUCKY SINGLE ZONE STATE PLANE COORDINATE VALUE OF N:3,601,169.8240, AND E:5,087,911.1340, THENCE LEAVING SAID IRON PIPE, 552'26'44"W 982.38' A SET 1/2" REBAR WITH CAP STAMPED "PATTERSON PLS 3136", HEREAFTER REFERRED TO AS A "SET IPC, IN THE NORTHEAST CORNER OF THE PROPOSED LEASE AREA AND BEING THE TRUE POINT OF BEGINNING ALSO HAVING A KENTUCKY SINGLE ZONE STATE PLANE COORDINATE VALUE OF N:3,600,571.0450, AND E:5,087,132.3268; THENCE ALONG THE NORTH LINE OF THE PROPOSED LEASE AREA, 553°57'47"W 100.00' TO A SET IPC; THENCE LEAVING SAID NORTH LINE, N36°02'13"W 30.00'; THENCE N53°57'47"E 44.52'; THENCE WITH THE CHORD OF A CURVE TO THE LEFT HAVING A RADIUS OF 15.00', N08°57'47"E 21.21'; THENCE N36°02'13"W 6.85'; THENCE S83°38'37"W 52.87'; THENCE N42°25'52"W 12.38' TO THE CENTER OF TUCKER WOODS ROAD; THENCE ALONG THE CENTER OF TUCKER WOODS ROAD, WITH THE CHORD OF A NON-TANGENT CURVE TO THE RIGHT HAVING A RADIUS OF 467.69', N55°11'00"E 127.61'; THENCE LEAVING SAID ROAD CENTER, S26°12'33"E 12.78'; THENCE S25°38'31"W 54.59'; THENCE S36°02'13"E 19.13'; THENCE N53°57'47"E 10.48'; THENCE S36°02'13"E 30.00' TO THE POINT OF BEGINNING CONTAINING 7,609.769 SQUARE FEET AS PER SURVEY BY MARK PATTERSON, PLS #3136 WITH POWER OF DESIGN GROUP, LLC DATED MAY 9, 2018.

**PROPOSED 15' UTILITY EASEMENT**

THE FOLLOWING IS A DESCRIPTION OF THE PROPOSED 15' UTILITY EASEMENT TO BE GRANTED FROM THE PROPERTY CONVEYED TO JOHNNY BEARD AND MELINDA BEARD AS DESCRIBED IN DEED BOOK 251, PAGE 574 OF RECORD IN THE ADAIR COUNTY, KY CLERKS OFFICE, PARCEL ID: MAP 097-00 00-022.00, WHICH IS MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEARING DATUM USED HEREIN IS BASED UPON KENTUCKY STATE PLANE COORDINATE SYSTEM, SINGLE ZONE, NAD 83, FROM A REAL TIME KINEMATIC GLOBAL POSITIONING SYSTEM OBSERVATION USING THE KENTUCKY TRANSPORTATION CABINET REAL TIME GPS NETWORK COMPLETED ON MARCH 12, 2018.

COMMENCING AT A FOUND IRON PIPE IAT A COMMON CORNER OF THE PROPERTY CONVEYED TO JOHNNY BEARD AND MELINDA BEARD AS ESTABLISHED BY THE EXCLUSION OF 41.94 ACRES DESCRIBED DEED BOOK 251, PAGE 574, SAID COMMENCEMENT POINT BEING THE TRUE POINT OF BEGINNING AS DESCRIBED IN DEED BOOK 250, PAGE 566, SAID COMMENCEMENT POINT ALSO HAVING A KENTUCKY SINGLE ZONE STATE PLANE COORDINATE VALUE OF N:3,601,169.8240, AND E:5,087,911.1340, THENCE LEAVING SAID IRON PIPE, 552'26'44"W 982.38' A SET 1/2" REBAR WITH CAP STAMPED "PATTERSON PLS 3136", HEREAFTER REFERRED TO AS A "SET IPC, IN THE NORTHEAST CORNER OF THE PROPOSED LEASE AREA ALSO HAVING A KENTUCKY SINGLE ZONE STATE PLANE COORDINATE VALUE OF N:3,600,571.0450, AND E:5,087,132.3268; THENCE ALONG THE NORTH LINE OF THE PROPOSED LEASE AREA, 553°57'47"W 100.00' TO A SET IPC; THENCE LEAVING SAID NORTH LINE, N36°02'13"W 30.00'; THENCE N53°57'47"E 44.52'; THENCE WITH THE CHORD OF A CURVE TO THE LEFT HAVING A RADIUS OF 15.00', N08°57'47"E 21.21'; THENCE N36°02'13"W 6.85'; THENCE S83°38'37"W 52.87'; THENCE N42°25'52"W 12.38' TO THE CENTER OF TUCKER WOODS ROAD; THENCE ALONG THE CENTER OF TUCKER WOODS ROAD, WITH THE CHORD OF A NON-TANGENT CURVE TO THE RIGHT HAVING A RADIUS OF 467.69', N55°11'00"E 127.61'; THENCE LEAVING SAID ROAD CENTER, S26°12'33"E 12.78'; THENCE S25°38'31"W 54.59'; THENCE S36°02'13"E 15.45'; THENCE S20°15'02"E 41.96'; THENCE S53°57'47"W 35.59' TO THE POINT OF BEGINNING CONTAINING 689.049 SQUARE FEET AS PER SURVEY BY MARK PATTERSON, PLS #3136 WITH POWER OF DESIGN GROUP, LLC DATED MAY 9, 2018.

**PARENT PARCEL LEGAL DESCRIPTION - DEED BOOK 251, PAGE 574 (NOT FIELD SURVEYED)**

BEGINNING AT A LARGE WHITE OAK TREE, ORIGINAL CORNER TO THE W.P. DUNBAR SURVEY; THENCE S 82 E 48.84 POLES TO A WHITE OAK AND BEECH, CALLED FOR, NOW A HICKORY; THENCE S 70 E 53.93 POLES TO A STONE JUST NORTH OF THE COUNTY ROAD; THENCE N 60-3/4 E 98.9 POLES TO A STAKE ON THE WEST SIDE OF THE OLD NEATSVILLE AND KNIFLEY PIKE; THENCE WITH THE MEANDERS OF SAID OLD ROAD BED AS FOLLOWS:

S 77-1/4 E 12.4 POLES; S L-L/L W 3 POLES; S 50-3/4 W 14 POLES; S 87-3/4 W 18.25 POLES; S 28-3/4 W 4 POLES; S 24-3/4 POLES; S 81 E 18.2 POLES; N 14-1/4 E 23.32 POLES; S 80-3/4 E 14 POLES; S 39-1/2 E 32 POLES; S 14-1/4 E 18.16 POLES; S 19-1/4 E 14.12 POLES; S 12 E 32.44 POLES; S 16 E 13.4 POLES TO THE CENTER OF KENTUCKY HIGHWAY NO. 76, CORNER OF THE U. S. GOVERNMENT SURVEY; THENCE WITH SAID U. S. GOVERNMENT SURVEY AS FOLLOWS: S 17 DEGREES 33' W 181.9 FT.; S 7-1/4 W 74.8 FT.; S 7 DEGREES - 32' W 204.3 FEET; S 7 DEGREES - 13' W 413.8 FT.; S 82 DEGREES W 344.2 FT.; S 82 DEGREES - 13' W 149.6 FT.; S 83 DEGREES 18' W 171.2 FT.; S 83 DEGREES 27' W 505.0 FT.; S 84 DEGREES - 21' W 175.2 FT.; THENCE S 12-3/4 POLES TO A POINT WHERE A SUGAR TREE AND HORN BEAM ARE CALLED FOR FROM THE ORIGINAL DUNBAR SURVEY; THENCE WITH SAID DUNBAR SURVEY AS FOLLOWS: N 75 W 182.35 POLES TO A STAKE CALLED FOR; N 3-3/4 E 125.13 POLES TO THE BEGINNING, CONTAINING 235.45 ACRES, MORE OR LESS.

**EXCLUSION:**

THERE IS EXCLUDED FROM THE ABOVE DESCRIBED PROPERTY AND NOT CONVEYED HEREIN A TRACT OF LAND SOLD BY SIDNEY DUNBAR TO BRIAN WALKER AND BARBARA PETERSON, HUSBAND AND WIFE, BY DEED DATED DECEMBER 22, 1992, AND RECORDED IN DEED BOOK 250, PAGE 566, WHICH CONTAINS 41.94 ACRES, MORE OR LESS.


**LEGAL DESCRIPTIONS**


**TITLE OF COMMITMENT**


THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY POD GROUP, LLC AND AS SUCH WE ARE NOT RESPONSIBLE FOR THE INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, UNRECORDED EASEMENTS, AUGMENTING EASEMENTS, IMPLIED OR PRESCRIPTIVE EASEMENTS, OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE AND THIS SURVEY WAS COMPLETED WITH THE AID OF TITLE WORK PREPARED BY US TITLE SOLUTIONS, FOR THE BENEFIT OF AT&T MOBILITY, FILE NO. 59215-KY1801-5030, FA 14365235, EFFECTIVE DATE OF FEBRUARY 7, 2018. THE FOLLOWING COMMENTS ARE IN REGARD TO SAID REPORT.

**SCHEDULE B**

- TAXES, TAX LIENS, TAX SALES, WATER RATES, SEWER AND ASSESSMENTS SET FORTH IN SCHEDULE HEREIN.  
TAX ID: 097-00 00-022.00  
PERIOD: 2017 PAYMENT STATUS: PAID  
TAX AMOUNT: \$1,113.67  
(NOT A LAND SURVEY MATTER, THEREFORE POD GROUP, LLC DID NOT EXAMINE OR ADDRESS THIS ITEM.)
  - MORTGAGES RETURNED HEREIN. (NONE WITHIN PERIOD SEARCHED.)
  - ANY STATE OF FACTS WHICH AN ACCURATE SURVEY MIGHT SHOW OR SURVEY EXCEPTIONS SET FORTH HEREIN. (POD GROUP, LLC DID NOT PERFORM A BOUNDARY SURVEY OF THE PARENT PARCEL, AND THEREFORE CANNOT ADDRESS THIS ITEM.)
  - RIGHTS OF TENANTS OR PERSON IN POSSESSION. (RIGHTS ARE NOT A LAND SURVEY MATTER, THEREFORE POD GROUP, LLC DID NOT EXAMINE OR ADDRESS THIS ITEM.)
- (JUDGMENTS, LIENS AND UCC)
- (NONE WITHIN PERIOD SEARCHED.)
- (COVENANTS/RESTRICTIONS)
- NONE WITHIN PERIOD SEARCHED
- (EASEMENTS AND RIGHTS OF WAY)
- NONE WITHIN PERIOD SEARCHED

PREPARED BY:  
  
 11490 BELLOU CROSS HIGHWAY  
 LOUISVILLE, KY 40299  
 502 437 5252

PREPARED FOR:  


PREPARED FOR:  


**SURVEY**

| REV. | DATE    | DESCRIPTION           |
|------|---------|-----------------------|
| A    | 5.21.18 | PRELIM ISSUE W/ TITLE |
| 0    | 5.31.18 | ISSUED AS FINAL       |
|      |         |                       |
|      |         |                       |
|      |         |                       |

**SITE INFORMATION:**  
 ELKHORN ROAD FN  
 3575 ELKHORN ROAD  
 KNIFLEY, KY 42753  
 ADAIR COUNTY

**TAX PARCEL NUMBER:**  
 097-00 00-022.00

**PROPERTY OWNERS:**  
 JOHNNY BEARD AND  
 MELINDA BEARD  
 919 CALDWELL RIDGE ROAD  
 KNIFLEY, KY 42753

**SOURCE OF TITLE:**  
 DEED BOOK 251, PAGE 574

**SITE NUMBER:**  
 14365235

**POD NUMBER:** 18-23982

**DRAWN BY:** TMD  
**CHECKED BY:** MEP  
**SURVEY DATE:** 5.9.18  
**PLAT DATE:** 0.0.18

**SHEET TITLE:**  
**SITE SURVEY**  
 THIS DOES NOT REPRESENT A  
 BOUNDARY SURVEY OF THE  
 PARENT PARCEL

**SHEET NUMBER: (2 pages)**  
**B-1.1**

**LAND SURVEYOR'S CERTIFICATE**  
 I, MARK E. PATTERSON, HEREBY CERTIFY THAT I AM A LICENSED PROFESSIONAL LAND SURVEYOR LICENSED IN COMPLIANCE WITH THE LAWS OF THE COMMONWEALTH OF KENTUCKY. I FURTHER CERTIFY THAT THIS PLAT AND THE SURVEY ON THE GROUND WERE PERFORMED BY PERSONS UNDER MY DIRECT SUPERVISION, AND THAT THE DIRECTIONAL AND LINEAR MEASUREMENTS BEING WITNESSED BY MONUMENTS SHOWN HEREON ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. THE "RURAL" SURVEY, AND THE PLAT ON WHICH IT IS BASED, MEETS ALL SPECIFICATIONS AS STATED IN KAR 201 18:150.



*Mark Patterson* 6/5/2018  
 MARK PATTERSON, PLS #3136 DATE



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## **APPENDIX B**

### **Soil Survey and Soil Descriptions**






Soil Map—Adair County, Kentucky

**MAP LEGEND**

**Area of Interest (AOI)**

 Area of Interest (AOI)

**Soils**

 Soil Map Unit Polygons

 Soil Map Unit Lines

 Soil Map Unit Points

**Special Point Features**

 Blowout

 Borrow Pit

 Clay Spot

 Closed Depression

 Gravel Pit

 Gravelly Spot

 Landfill

 Lava Flow

 Marsh or swamp

 Mine or Quarry

 Miscellaneous Water


 Perennial Water

 Rock Outcrop

 Saline Spot

 Sandy Spot

 Severely Eroded Spot

 Sinkhole

 Slide or Slip

 Sodic Spot

 Spoil Area

 Stony Spot


 Very Stony Spot

 Wet Spot

 Other

 Special Line Features

**Water Features**

 Streams and Canals

**Transportation**

 Rails

 Interstate Highways

 US Routes

 Major Roads

 Local Roads

**Background**

 Aerial Photography

**MAP INFORMATION**

The soil surveys that comprise your AOI were mapped at 1:12,000.

**Warning: Soil Map may not be valid at this scale.**

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service

Web Soil Survey URL:

Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Adair County, Kentucky

Survey Area Data: Version 16, Sep 11, 2018

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Mar 14, 2015—Sep 11, 2016

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

## Map Unit Legend

| Map Unit Symbol                    | Map Unit Name   | Acres in AOI | Percent of AOI |
|------------------------------------|---|--------------|----------------|
| FkB                                | Frankstown gravelly silt loam,<br>2 to 6 percent slopes             | 0.4          | 49.3%          |
| FkC2                               | Frankstown gravelly silt loam,<br>6 to 12 percent slopes,<br>eroded | 0.4          | 50.7%          |
| <b>Totals for Area of Interest</b> |   | <b>0.8</b>   | <b>100.0%</b>  |



## Map Unit Description

The map units delineated on the detailed soil maps in a soil survey represent the soils or miscellaneous areas in the survey area. The map unit descriptions in this report, along with the maps, can be used to determine the composition and properties of a unit.

A map unit delineation on a soil map represents an area dominated by one or more major kinds of soil or miscellaneous areas. A map unit is identified and named according to the taxonomic classification of the dominant soils. Within a taxonomic class there are precisely defined limits for the properties of the soils. On the landscape, however, the soils are natural phenomena, and they have the characteristic variability of all natural phenomena. Thus, the range of some observed properties may extend beyond the limits defined for a taxonomic class. Areas of soils of a single taxonomic class rarely, if ever, can be mapped without including areas of other taxonomic classes. Consequently, every map unit is made up of the soils or miscellaneous areas for which it is named, soils that are similar to the named components, and some minor components that differ in use and management from the major soils.

Most of the soils similar to the major components have properties similar to those of the dominant soil or soils in the map unit, and thus they do not affect use and management. These are called noncontrasting, or similar, components. They may or may not be mentioned in a particular map unit description. Some minor components, however, have properties and behavior characteristics divergent enough to affect use or to require different management. These are called contrasting, or dissimilar, components. They generally are in small areas and could not be mapped separately because of the scale used. Some small areas of strongly contrasting soils or miscellaneous areas are identified by a special symbol on the maps. If included in the database for a given area, the contrasting minor components are identified in the map unit descriptions along with some characteristics of each. A few areas of minor components may not have been observed, and consequently they are not mentioned in the descriptions, especially where the pattern was so complex that it was impractical to make enough observations to identify all the soils and miscellaneous areas on the landscape.

The presence of minor components in a map unit in no way diminishes the usefulness or accuracy of the data. The objective of mapping is not to delineate pure taxonomic classes but rather to separate the landscape into landforms or landform segments that have similar use and management requirements. The delineation of such segments on the map provides sufficient information for the development of resource plans. If intensive use of small areas is planned, however, onsite investigation is needed to define and locate the soils and miscellaneous areas.

An identifying symbol precedes the map unit name in the map unit descriptions. Each description includes general facts about the unit and gives important soil properties and qualities.

Soils that have profiles that are almost alike make up a *soil series*. All the soils of a series have major horizons that are similar in composition, thickness, and arrangement. Soils of a given series can differ in texture of the surface layer, slope, stoniness, salinity, degree of erosion, and other characteristics that affect their use. On the basis of such differences, a soil series is divided into *soil phases*. Most of the areas shown on the detailed soil maps are phases of soil series. The name of a soil phase commonly indicates a feature that affects use or management. For example, Alpha silt loam, 0 to 2 percent slopes, is a phase of the Alpha series.

Some map units are made up of two or more major soils or miscellaneous areas. These map units are complexes, associations, or undifferentiated groups.

A *complex* consists of two or more soils or miscellaneous areas in such an intricate pattern or in such small areas that they cannot be shown separately on the maps. The pattern and proportion of the soils or miscellaneous areas are somewhat similar in all areas. Alpha-Beta complex, 0 to 6 percent slopes, is an example.

An *association* is made up of two or more geographically associated soils or miscellaneous areas that are shown as one unit on the maps. Because of present or anticipated uses of the map units in the survey area, it was not considered practical or necessary to map the soils or miscellaneous areas separately. The pattern and relative proportion of the soils or miscellaneous areas are somewhat similar. Alpha-Beta association, 0 to 2 percent slopes, is an example.

An *undifferentiated group* is made up of two or more soils or miscellaneous areas that could be mapped individually but are mapped as one unit because similar interpretations can be made for use and management. The pattern and proportion of the soils or miscellaneous areas in a mapped area are not uniform. An area can be made up of only one of the major soils or miscellaneous areas, or it can be made up of all of them. Alpha and Beta soils, 0 to 2 percent slopes, is an example.

Some surveys include *miscellaneous areas*. Such areas have little or no soil material and support little or no vegetation. Rock outcrop is an example.

Additional information about the map units described in this report is available in other soil reports, which give properties of the soils and the limitations, capabilities, and potentials for many uses. Also, the narratives that accompany the soil reports define some of the properties included in the map unit descriptions.

## Report—Map Unit Description

### Adair County, Kentucky

#### FkB—Frankstown gravelly silt loam, 2 to 6 percent slopes

##### Map Unit Setting

National map unit symbol: 1qg3c

Elevation: 700 to 1,110 feet

*Mean annual precipitation:* 42 to 58 inches  
*Mean annual air temperature:* 46 to 68 degrees F  
*Frost-free period:* 180 to 224 days  
*Farmland classification:* All areas are prime farmland

**Map Unit Composition**

*Frankstown and similar soils:* 90 percent  
*Minor components:* 10 percent  
*Estimates are based on observations, descriptions, and transects of the mapunit.*

**Description of Frankstown****Setting**

*Landform:* Ridges  
*Landform position (two-dimensional):* Summit  
*Landform position (three-dimensional):* Crest  
*Down-slope shape:* Convex  
*Across-slope shape:* Linear  
*Parent material:* Fine-loamy residuum weathered from sedimentary rock

**Typical profile**

*H1 - 0 to 9 inches:* gravelly silt loam  
*H2 - 9 to 20 inches:* gravelly silty clay loam  
*H3 - 20 to 42 inches:* gravelly silty clay loam  
*Cr - 42 to 52 inches:* bedrock

**Properties and qualities**

*Slope:* 2 to 6 percent  
*Depth to restrictive feature:* 39 to 59 inches to paralithic bedrock  
*Natural drainage class:* Well drained  
*Runoff class:* Low  
*Capacity of the most limiting layer to transmit water (Ksat):*  
Moderately high to high (0.60 to 2.00 in/hr)  
*Depth to water table:* More than 80 inches  
*Frequency of flooding:* None  
*Frequency of ponding:* None  
*Available water storage in profile:* Moderate (about 6.8 inches)

**Interpretive groups**

*Land capability classification (irrigated):* None specified  
*Land capability classification (nonirrigated):* 2e  
*Hydrologic Soil Group:* B  
*Hydric soil rating:* No

**Minor Components****Pricetown**

*Percent of map unit:* 4 percent  
*Hydric soil rating:* No

**Frederick**

*Percent of map unit:* 4 percent

*Hydric soil rating:* No

**Sano**

*Percent of map unit:* 2 percent

*Hydric soil rating:* No

**FkC2—Frankstown gravelly silt loam, 6 to 12 percent slopes,  
eroded**

**Map Unit Setting**

*National map unit symbol:* 1qg3d

*Elevation:* 660 to 1,120 feet

*Mean annual precipitation:* 42 to 58 inches

*Mean annual air temperature:* 46 to 68 degrees F

*Frost-free period:* 180 to 224 days

*Farmland classification:* Farmland of statewide importance

**Map Unit Composition**

*Frankstown and similar soils:* 90 percent

*Minor components:* 10 percent

*Estimates are based on observations, descriptions, and transects of  
the mapunit.*

**Description of Frankstown**

**Setting**

*Landform:* Ridges

*Landform position (two-dimensional):* Shoulder

*Landform position (three-dimensional):* Side slope

*Down-slope shape:* Convex

*Across-slope shape:* Linear

*Parent material:* Fine-loamy residuum weathered from sedimentary  
rock

**Typical profile**

*H1 - 0 to 9 inches:* gravelly silt loam

*H2 - 9 to 20 inches:* gravelly silty clay loam

*H3 - 20 to 42 inches:* gravelly silty clay loam

*Cr - 42 to 52 inches:* bedrock

**Properties and qualities**

*Slope:* 6 to 12 percent

*Depth to restrictive feature:* 39 to 59 inches to paralithic bedrock

*Natural drainage class:* Well drained

*Runoff class:* Medium

*Capacity of the most limiting layer to transmit water (Ksat):*

Moderately high to high (0.60 to 2.00 in/hr)

*Depth to water table:* More than 80 inches

*Frequency of flooding:* None

*Frequency of ponding:* None

*Available water storage in profile:* Moderate (about 6.8 inches)

**Interpretive groups**

*Land capability classification (irrigated):* None specified

*Land capability classification (nonirrigated):* 3e

*Hydrologic Soil Group:* B

*Hydric soil rating:* No

**Minor Components**

**Frederick**

*Percent of map unit:* 5 percent

*Hydric soil rating:* No

**Pricetown**

*Percent of map unit:* 3 percent

*Hydric soil rating:* No

**Sano**

*Percent of map unit:* 2 percent

*Hydric soil rating:* No

**Data Source Information**

Soil Survey Area: Adair County, Kentucky

Survey Area Data: Version 16, Sep 11, 2018



**EXHIBIT H**  
**DIRECTIONS TO WCF SITE**

## Driving Directions to Proposed Tower Site

1. Beginning at 424 Public Square #3, Columbia, KY, head northwest toward Campbellsville Street and travel approximately 472 feet.
2. Exit the traffic circle onto Campbellsville Street and travel approximately 1.6 miles
3. Turn right onto State Hwy 551 and travel approximately 11.9 miles.
4. Turn right onto KY-76 E and travel approximately 2.2 miles
5. Turn right onto Dunbar Hill Road / Tucker Woods Road and travel approximately 0.4 miles. The site is on the left at 3575 Elkhorn Road, Knifley, KY 42753.
6. The site coordinates are:
  - a. North 37 deg 12 min 35.49 sec
  - b. West 85° deg 10 min 49.52 sec



Prepared by:  
Chris Shouse  
Pike Legal Group  
1578 Highway 44 East, Suite 6  
P.O. Box 396  
Shepherdsville, KY 40165-3069  
Telephone: 502-955-4400 or 800-516-4293

**EXHIBIT I**  
**COPY OF REAL ESTATE AGREEMENT**

Market: KY  
Cell Site Number: n/a  
Cell Site Name: Elkhorn Road FN  
Fixed Asset Number: 14365235

## OPTION AND LAND LEASE AGREEMENT

THIS OPTION AND LAND LEASE AGREEMENT (“**Agreement**”), dated as of the latter of the signature dates below (the “**Effective Date**”), is entered into by Johnny Beard and Melinda Beard, husband and wife, having a mailing address of 919 Caldwell Ridge Road, Knifley, KY 42753 (“**Landlord**”) and New Cingular Wireless PCS, LLC, a Delaware limited liability company, having a mailing address of 575 Morosgo Drive NE, 13F, Atlanta, GA 30324 (“**Tenant**”).

### BACKGROUND

Landlord owns or controls that certain plot, parcel or tract of land, as described on **Exhibit 1**, together with all rights and privileges arising in connection therewith, located at 3575 Elkhorn Road, Knifley, KY 42753, in the County of Adair, State of Kentucky (collectively, the “**Property**”). Landlord desires to grant to Tenant the right to use a portion of the Property in accordance with this Agreement.

The parties agree as follows:

#### 1. OPTION TO LEASE.

(a) Landlord grants to Tenant an exclusive option (the “**Option**”) to lease a certain portion of the Property containing approximately 10,000 square feet (100’ x 100’) including the air space above such ground space, as described on attached **Exhibit 1**, (the “**Premises**”), for the placement of a Communication Facility in accordance with the terms of this Agreement.

(b) During the Option Term, and during the Term, Tenant and its agents, engineers, surveyors and other representatives will have the right to enter upon the Property to inspect, examine, conduct soil borings, drainage testing, material sampling, radio frequency testing and other geological or engineering tests or studies of the Property (collectively, the “**Tests**”), to apply for and obtain licenses, permits, approvals, or other relief required of or deemed necessary or appropriate at Tenant’s sole discretion for its use of the Premises and include, without limitation, applications for zoning variances, zoning ordinances, amendments, special use permits, and construction permits (collectively, the “**Government Approvals**”), initiate the ordering and/or scheduling of necessary utilities, and otherwise to do those things on or off the Property that, in the opinion of Tenant, are necessary in Tenant’s sole discretion to determine the physical condition of the Property, the environmental history of the Property, Landlord’s title to the Property and the feasibility or suitability of the Property for Tenant’s Permitted Use, all at Tenant’s expense. Tenant will not be liable to Landlord or any third party on account of any pre-existing defect or condition on or with respect to the Property, whether or not such defect or condition is disclosed by Tenant’s inspection. Tenant will restore the Property to its condition as it existed at the commencement of the Option Term, reasonable wear and tear and loss by casualty or other causes beyond Tenant’s control excepted.

(c) In consideration of Landlord granting Tenant the Option, Tenant agrees to pay Landlord the sum of [REDACTED] within sixty (60) business days after the Effective Date. The Option may be exercised during an initial term of one (1) year commencing on the Effective Date (the “**Initial Option Term**”) which term may be renewed by Tenant for an additional one (1) year (the “**Renewal Option Term**”) upon written notification to Landlord and the payment of an additional [REDACTED] no later than five (5) days prior to the expiration date of the Initial Option Term. The Initial Option Term and any Renewal Option Term are collectively referred to as the “**Option Term**.”

(d) The Option may be sold, assigned or transferred at any time by Tenant without the written consent of Landlord. Upon notification to Landlord of such sale, assignment or transfer, Tenant shall immediately be released from any and all liability under this Agreement, including the payment of any rental or other sums due, without any further action.

(e) During the Option Term, Tenant may exercise the Option by notifying Landlord in writing. If Tenant exercises the Option, then Landlord leases the Premises to Tenant subject to the terms and conditions of this Agreement. If Tenant does not exercise the Option during the Initial Option Term or any extension thereof, then this Agreement will terminate and the parties will have no further liability to each other.

(f) If during the Option Term, or during the Term if the Option is exercised, Landlord decides to subdivide, sell, or change the status of the zoning of the Premises or the Property, or in the event of a threatened foreclosure on any of the foregoing, Landlord shall immediately notify Tenant in writing. Landlord agrees that during the Option Term, or during the Term if the Option is exercised, Landlord shall not initiate or consent to any change in the zoning of the Premises or the Property or impose or consent to any other use or restriction that would prevent or limit Tenant from using the Premises for the Permitted Use. Any and all terms and conditions of this Agreement that by their sense and context are intended to be applicable during the Option Term shall be so applicable.

2. **PERMITTED USE.** Tenant may use the Premises for the transmission and reception of communications signals and the installation, construction, maintenance, operation, repair, replacement and upgrade of communications fixtures and related equipment, cables, accessories and improvements, which may include a suitable support structure (“**Structure**”), associated antennas, equipment shelters or cabinets and fencing and any other items necessary to the successful and secure use of the Premises (the “**Communication Facility**”), as well as the right to test, survey and review title on the Property; Tenant further has the right but not the obligation to add, modify and/or replace equipment in order to be in compliance with any current or future federal, state or local mandated application, including, but not limited to, emergency 911 communication services, at no additional cost to Tenant or Landlord (collectively, the “**Permitted Use**”). Landlord and Tenant agree that any portion of the Communication Facility that may be conceptually described on **Exhibit 1** will not be deemed to limit Tenant’s Permitted Use. If **Exhibit 1** includes drawings of the initial installation of the Communication Facility, Landlord’s execution of this Agreement will signify Landlord’s approval of **Exhibit 1**. For a period of ninety (90) days following the start of construction, Landlord grants Tenant, its subtenants, licensees and sublicensees, the right to use such portions of the Property as may reasonably be required during construction and installation of the Communication Facility. Tenant has the right to install and operate transmission cables from the equipment shelter or cabinet to the antennas, electric lines from the main feed to the equipment shelter or cabinet and communication lines from the Property’s main entry point to the equipment shelter or cabinet, install a generator and to make other improvements, alterations, upgrades or additions appropriate for Tenant’s Permitted Use, including the right to construct a fence around the Premises or equipment, install warning signs to make individuals aware of risks, install protective barriers, install any other control measures reasonably required by Tenant’s safety procedures or applicable law, and undertake any other appropriate means to secure the Premises or equipment at Tenant’s expense. Tenant has the right to modify, supplement, replace, upgrade, expand the Communication Facility (including, for example, increasing the number of antennas or adding microwave dishes) or relocate the Communication Facility within the Premises at any time during the Term. Tenant will be allowed to make such alterations to the Property in order to ensure that the Communication Facility complies with all applicable federal, state or local laws, rules or regulations.

3. **TERM.**

(a) The initial lease term will be five (5) years (the “**Initial Term**”), commencing on the effective date of written notification by Tenant to Landlord of Tenant’s exercise of the Option (the “**Term Commencement Date**”). The Initial Term will terminate on the fifth (5th) anniversary of the Term Commencement Date.

(b) This Agreement will automatically renew for four (4) additional five (5) year term(s) (each additional five (5) year term shall be defined as an “**Extension Term**”), upon the same terms and conditions set forth herein unless Tenant notifies Landlord in writing of Tenant’s intention not to renew this Agreement at least sixty (60) days prior to the expiration of the Initial Term or the then-existing Extension Term.

(c) Unless (i) Landlord or Tenant notifies the other in writing of its intention to terminate this Agreement at least six (6) months prior to the expiration of the final Extension Term, or (ii) the Agreement is terminated as otherwise permitted by this Agreement prior to the end of the final Extension Term, this Agreement



shall continue in force upon the same covenants, terms and conditions for a further term of one (1) year, and for annual terms thereafter (“Annual Term”) until terminated by either party hereto by giving to the other party hereto written notice of its intention to so terminate at least six (6) months prior to the end of any such Annual Term. Monthly rent during such Annual Terms shall be equal to the Rent paid for the last month of the final Extension Term. If Tenant remains in possession of the Premises after the termination of this Agreement, then Tenant will be deemed to be occupying the Premises on a month-to-month basis (the “Holdover Term”), subject to the terms and conditions of this Agreement.

(d) The Initial Term, any Extension Terms, any Annual Terms and any Holdover Term are collectively referred to as the “Term.”

#### 4. RENT.

(a) Commencing on the first day of the month following the date that Tenant commences construction (the “Rent Commencement Date”), Tenant will pay Landlord on or before the fifth (5<sup>th</sup>) day of each calendar month in advance, [REDACTED] (the “Rent”), at the address set forth above. In any partial month occurring after the Rent Commencement Date, the Rent will be prorated. The initial Rent payment will be forwarded by Tenant to Landlord within forty-five (45) days after the Rent Commencement Date.

(b) Upon the commencement of each Extension Term, the monthly Rent will increase by [REDACTED] over the Rent paid during the previous five (5) year term.

(c) All charges payable under this Agreement such as utilities and taxes shall be billed by Landlord within one (1) year from the end of the calendar year in which the charges were incurred; any charges beyond such period shall not be billed by Landlord, and shall not be payable by Tenant. The foregoing shall not apply to monthly Rent which is due and payable without a requirement that it be billed by Landlord. The provisions of this subsection shall survive the termination or expiration of this Agreement.

#### 5. APPROVALS.

(a) Landlord agrees that Tenant’s ability to use the Premises is contingent upon the suitability of the Premises and Property for the Permitted Use and Tenant’s ability to obtain and maintain all Government Approvals. Landlord authorizes Tenant to prepare, execute and file all required applications to obtain Government Approvals for the Permitted Use and agrees to reasonably assist Tenant with such applications and with obtaining and maintaining the Government Approvals.

(b) Tenant has the right to obtain a title report or commitment for a leasehold title policy from a title insurance company of its choice and to have the Property surveyed by a surveyor of its choice.

(c) Tenant may also perform and obtain, at Tenant’s sole cost and expense, soil borings, percolation tests, engineering procedures, environmental investigation or other tests or reports on, over, and under the Property, necessary to determine if Tenant’s use of the Premises will be compatible with Tenant’s engineering specifications, system, design, operations or Government Approvals.

#### 6. TERMINATION. This Agreement may be terminated, without penalty or further liability, as follows:

(a) by either party on thirty (30) days prior written notice, if the other party remains in default under Section 15 of this Agreement after the applicable cure periods;

(b) by Tenant upon written notice to Landlord, if Tenant is unable to obtain, or maintain, any required approval(s) or the issuance of a license or permit by any agency, board, court or other governmental authority necessary for the construction or operation of the Communication Facility as now or hereafter intended by Tenant; or if Tenant determines, in its sole discretion that the cost of or delay in obtaining or retaining the same is commercially unreasonable;

(c) by Tenant, upon written notice to Landlord, if Tenant determines, in its sole discretion, due to the title report results or survey results, that the condition of the Premises is unsatisfactory for its intended uses;

(d) by Tenant upon written notice to Landlord for any reason or no reason, at any time prior to commencement of construction by Tenant; or

(e) by Tenant upon sixty (60) days’ prior written notice to Landlord for any reason or no reason, so long as Tenant pays Landlord a termination fee equal to three (3) months’ Rent, at the then-current rate, provided,

however, that no such termination fee will be payable on account of the termination of this Agreement by Tenant under any termination provision contained in any other Section of this Agreement, including the following: Section 5 Approvals, Section 6(a) Termination, Section 6(b) Termination, Section 6(c) Termination, Section 6(d) Termination, Section 11(d) Environmental, Section 18 Condemnation or Section 19 Casualty.

7. **INSURANCE.** During the Option Term and throughout the Term, Tenant will purchase and maintain in full force and effect such general liability policy as Tenant may deem necessary. Said policy of general liability insurance will at a minimum provide a combined single limit of [REDACTED]. Notwithstanding the foregoing, Tenant shall have the right to self-insure such general liability coverage.

8. **INTERFERENCE.**

(a) Prior to or concurrent with the execution of this Agreement, Landlord has provided or will provide Tenant with a list of radio frequency user(s) and frequencies used on the Property as of the Effective Date. Tenant warrants that its use of the Premises will not interfere with those existing radio frequency uses on the Property, as long as the existing radio frequency user(s) operate and continue to operate within their respective frequencies and in accordance with all applicable laws and regulations.

(b) Landlord will not grant, after the Effective Date, a lease, license or any other right to any third party, if the exercise of such grant may in any way adversely affect or interfere with the Communication Facility, the operations of Tenant or the rights of Tenant under this Agreement. Landlord will notify Tenant in writing prior to granting any third party the right to install and operate communications equipment on the Property.

(c) Landlord will not, nor will Landlord permit its employees, tenants, licensees, invitees, agents or independent contractors to interfere in any way with the Communication Facility, the operations of Tenant or the rights of Tenant under this Agreement. Landlord will cause such interference to cease within twenty-four (24) hours after receipt of notice of interference from Tenant. In the event any such interference does not cease within the aforementioned cure period, Landlord shall cease all operations which are suspected of causing interference (except for intermittent testing to determine the cause of such interference) until the interference has been corrected.

(d) For the purposes of this Agreement, "interference" may include, but is not limited to, any use on the Property or Surrounding Property that causes electronic or physical obstruction with, or degradation of, the communications signals from the Communication Facility.

9. **INDEMNIFICATION.**

(a) Tenant agrees to indemnify, defend and hold Landlord harmless from and against any and all injury, loss, damage or liability, costs or expenses in connection with a third party claim (including reasonable attorneys' fees and court costs) arising directly from the installation, use, maintenance, repair or removal of the Communication Facility or Tenant's breach of any provision of this Agreement, except to the extent attributable to the negligent or intentional act or omission of Landlord, its employees, invitees, agents or independent contractors.

(b) Landlord agrees to indemnify, defend and hold Tenant harmless from and against any and all injury, loss, damage or liability, costs or expenses in connection with a third party claim (including reasonable attorneys' fees and court costs) arising directly from the actions or failure to act of Landlord, its employees, invitees, agents or independent contractors, or Landlord's breach of any provision of this Agreement, except to the extent attributable to the negligent or intentional act or omission of Tenant, its employees, agents or independent contractors.

(c) The indemnified party: (i) shall promptly provide the indemnifying party with written notice of any claim, demand, lawsuit, or the like for which it seeks indemnification pursuant to this Section 9 and provide the indemnifying party with copies of any demands, notices, summonses, or legal papers received in connection with such claim, demand, lawsuit, or the like; (ii) shall not settle any such claim, demand, lawsuit, or the like without the prior written consent of the indemnifying party; and (iii) shall fully cooperate with the indemnifying party in the defense of the claim, demand, lawsuit, or the like. A delay in notice shall not relieve the indemnifying party of its indemnity obligation, except (1) to the extent the indemnifying party can show it was prejudiced by

the delay; and (2) the indemnifying party shall not be liable for any settlement or litigation expenses incurred before the time when notice is given.

**10. WARRANTIES.**

(a) Each of Tenant and Landlord (to the extent not a natural person) each acknowledge and represent that it is duly organized, validly existing and in good standing and has the right, power, and authority or capacity, as applicable, to enter into this Agreement and bind itself hereto through the party or individual set forth as signatory for the party below.

(b) Landlord represents, warrants and agrees that: (i) Landlord solely owns the Property as a legal lot in fee simple, or controls the Property by lease or license; (ii) the Property is not and will not be encumbered by any liens, restrictions, mortgages, covenants, conditions, easements, leases, or any other agreements of record or not of record, which would adversely affect Tenant's Permitted Use and enjoyment of the Premises under this Agreement; (iii) Landlord grants to Tenant sole, actual, quiet and peaceful use, enjoyment and possession of the Premises in accordance with the terms of this Agreement without hindrance or ejection by any persons lawfully claiming under Landlord ; (iv) Landlord's execution and performance of this Agreement will not violate any laws, ordinances, covenants or the provisions of any mortgage, lease or other agreement binding on Landlord; and (v) if the Property is or becomes encumbered by a deed to secure a debt, mortgage or other security interest, then Landlord will provide promptly to Tenant a mutually agreeable subordination, non-disturbance and attornment agreement executed by Landlord and the holder of such security interest in the form attached hereto as **Exhibit 10(b)**.

**11. ENVIRONMENTAL.**

(a) Landlord represents and warrants, except as may be identified in **Exhibit 11** attached to this Agreement, (i) the Property, as of the Effective Date, is free of hazardous substances, including asbestos-containing materials and lead paint, and (ii) the Property has never been subject to any contamination or hazardous conditions resulting in any environmental investigation, inquiry or remediation. Landlord and Tenant agree that each will be responsible for compliance with any and all applicable governmental laws, rules, statutes, regulations, codes, ordinances, or principles of common law regulating or imposing standards of liability or standards of conduct with regard to protection of the environment or worker health and safety, as may now or at any time hereafter be in effect, to the extent such apply to that party's activity conducted in or on the Property.

(b) Landlord and Tenant agree to hold harmless and indemnify the other from, and to assume all duties, responsibilities and liabilities at the sole cost and expense of the indemnifying party for, payment of penalties, sanctions, forfeitures, losses, costs or damages, and for responding to any action, notice, claim, order, summons, citation, directive, litigation, investigation or proceeding ("**Claims**"), to the extent arising from that party's breach of its obligations or representations under Section 11(a). Landlord agrees to hold harmless and indemnify Tenant from, and to assume all duties, responsibilities and liabilities at the sole cost and expense of Landlord for, payment of penalties, sanctions, forfeitures, losses, costs or damages, and for responding to any Claims, to the extent arising from subsurface or other contamination of the Property with hazardous substances prior to the Effective Date or from such contamination caused by the acts or omissions of Landlord during the Term. Tenant agrees to hold harmless and indemnify Landlord from, and to assume all duties, responsibilities and liabilities at the sole cost and expense of Tenant for, payment of penalties, sanctions, forfeitures, losses, costs or damages, and for responding to any Claims, to the extent arising from hazardous substances brought onto the Property by Tenant.

(c) The indemnification provisions contained in this Section 11 specifically include reasonable costs, expenses and fees incurred in connection with any investigation of Property conditions or any clean-up, remediation, removal or restoration work required by any governmental authority. The provisions of this Section 11 will survive the expiration or termination of this Agreement.

(d) In the event Tenant becomes aware of any hazardous materials on the Property, or any environmental, health or safety condition or matter relating to the Property, that, in Tenant's sole determination, renders the condition of the Premises or Property unsuitable for Tenant's use, or if Tenant believes that the leasing or continued leasing of the Premises would expose Tenant to undue risks of liability to a government agency or

other third party, then Tenant will have the right, in addition to any other rights it may have at law or in equity, to terminate this Agreement upon written notice to Landlord.

**12. ACCESS.** At all times throughout the Term of this Agreement, and at no additional charge to Tenant, Tenant and its employees, agents, and subcontractors, will have twenty-four (24) hour per day, seven (7) day per week pedestrian and vehicular access (“Access”) to and over the Property, from an open and improved public road to the Premises, for the installation, maintenance and operation of the Communication Facility and any utilities serving the Premises. As may be described more fully in Exhibit 1, Landlord grants to Tenant an easement for such Access and Landlord agrees to provide to Tenant such codes, keys and other instruments necessary for such Access at no additional cost to Tenant. Upon Tenant’s request, Landlord will execute a separate recordable easement evidencing this right. Landlord shall execute a letter granting Tenant Access to the Property substantially in the form attached as Exhibit 12; upon Tenant’s request, Landlord shall execute additional letters during the Term. If Tenant elects to utilize an Unmanned Aircraft System (“UAS”) in connection with its installation, construction, monitoring, site audits, inspections, maintenance, repair, modification, or alteration activities at the Property, Landlord hereby grants Tenant, or any UAS operator acting on Tenant’s behalf, express permission to fly over the applicable Property and Premises, and consents to the use of audio and video navigation and recording in connection with the use of the UAS. Landlord acknowledges that in the event Tenant cannot obtain Access to the Premises, Tenant shall incur significant damage. If Landlord fails to provide the Access granted by this Section 12, such failure shall be a default under this Agreement. In connection with such default, in addition to any other rights or remedies available to Tenant under this Agreement or at law or equity, Landlord shall pay Tenant, as liquidated damages and not as a penalty, [REDACTED] in consideration of Tenant’s damages until Landlord cures such default. Landlord and Tenant agree that Tenant’s damages in the event of a denial of Access are difficult, if not impossible, to ascertain, and the liquidated damages set forth above are a reasonable approximation of such damages.

**13. REMOVAL/RESTORATION.** All portions of the Communication Facility brought onto the Property by Tenant will be and remain Tenant’s personal property and, at Tenant’s option, may be removed by Tenant at any time during or after the Term. Landlord covenants and agrees that no part of the Communication Facility constructed, erected or placed on the Premises by Tenant will become, or be considered as being affixed to or a part of, the Property, it being the specific intention of Landlord that all improvements of every kind and nature constructed, erected or placed by Tenant on the Premises will be and remain the property of Tenant and may be removed by Tenant at any time during or after the Term. Tenant will repair any damage to the Property resulting from Tenant’s removal activities. Any portions of the Communication Facility that Tenant does not remove within one hundred twenty (120) days after the later of the end of the Term and cessation of Tenant’s operations at the Premises shall be deemed abandoned and owned by Landlord. However, to the extent required by law, Tenant will remove the above-ground portions of the Communications Facility within such one hundred twenty (120) day period. Notwithstanding the foregoing, Tenant will not be responsible for the replacement of any trees, shrubs or other vegetation.

**14. MAINTENANCE/UTILITIES.**

(a) Tenant will keep and maintain the Premises in good condition, reasonable wear and tear and damage from the elements excepted. Landlord will maintain and repair the Property and access thereto and all areas of the Premises where Tenant does not have exclusive control, in good and tenable condition, subject to reasonable wear and tear and damage from the elements. Landlord will be responsible for maintenance of landscaping on the Property, including any landscaping installed by Tenant as a condition of this Agreement or any required permit.

(b) Tenant will be responsible for paying on a monthly or quarterly basis all utilities charges for electricity, telephone service or any other utility used or consumed by Tenant on the Premises. In the event Tenant cannot secure its own metered electrical supply, Tenant will have the right, at its own cost and expense, to sub-meter from Landlord. When sub-metering is required under this Agreement, Landlord will read the meter and provide Tenant with an invoice and usage data on a monthly basis. Tenant shall reimburse Landlord for such utility usage at the same rate charged to Landlord by the utility service provider. Landlord further agrees to provide the usage data and invoice on forms provided by Tenant and to send such forms to such address and/or



agent designated by Tenant. Tenant will remit payment within sixty (60) days of receipt of the usage data and required forms. Landlord shall maintain accurate and detailed records of all utility expenses, invoices and payments applicable to Tenant's reimbursement obligations hereunder. Within fifteen (15) days after a request from Tenant, Landlord shall provide copies of such utility billing records to the Tenant in the form of copies of invoices, contracts and cancelled checks. If the utility billing records reflect an overpayment by Tenant, Tenant shall have the right to deduct the amount of such overpayment from any monies due to Landlord from Tenant.

(c) As noted in Section 4(c) above, any utility fee recovery by Landlord is limited to a twelve (12) month period. If Tenant submeters electricity from Landlord, Landlord agrees to give Tenant at least twenty-four (24) hours advance notice of any planned interruptions of said electricity. Landlord acknowledges that Tenant provides a communication service which requires electrical power to operate and must operate twenty-four (24) hours per day, seven (7) days per week. If the interruption is for an extended period of time, in Tenant's reasonable determination, Landlord agrees to allow Tenant the right to bring in a temporary source of power for the duration of the interruption. Landlord will not be responsible for interference with, interruption of or failure, beyond the reasonable control of Landlord, of such services to be furnished or supplied by Landlord.

(d) Tenant will have the right to install utilities, at Tenant's expense, and to improve present utilities on the Property and the Premises. Landlord hereby grants to any service company providing utility or similar services, including electric power and telecommunications, to Tenant an easement over the Property, from an open and improved public road to the Premises, and upon the Premises, for the purpose of constructing, operating and maintaining such lines, wires, circuits, and conduits, associated equipment cabinets and such appurtenances thereto, as such service companies may from time to time require in order to provide such services to the Premises. Upon Tenant's or service company's request, Landlord will execute a separate recordable easement evidencing this grant, at no cost to Tenant or the service company.

#### **15. DEFAULT AND RIGHT TO CURE.**

(a) The following will be deemed a default by Tenant and a breach of this Agreement: (i) non-payment of Rent if such Rent remains unpaid for more than thirty (30) days after written notice from Landlord of such failure to pay; or (ii) Tenant's failure to perform any other term or condition under this Agreement within forty-five (45) days after written notice from Landlord specifying the failure. No such failure, however, will be deemed to exist if Tenant has commenced to cure such default within such period and provided that such efforts are prosecuted to completion with reasonable diligence. Delay in curing a default will be excused if due to causes beyond the reasonable control of Tenant. If Tenant remains in default beyond any applicable cure period, then Landlord will have the right to exercise any and all rights and remedies available to it under law and equity.

(b) The following will be deemed a default by Landlord and a breach of this Agreement: (i) Landlord's failure to provide Access to the Premises as required by Section 12 within twenty-four (24) hours after written notice of such failure; (ii) Landlord's failure to cure an interference problem as required by Section 8 within twenty-four (24) hours after written notice of such failure; or (iii) Landlord's failure to perform any term, condition or breach of any warranty or covenant under this Agreement within forty-five (45) days after written notice from Tenant specifying the failure. No such failure, however, will be deemed to exist if Landlord has commenced to cure the default within such period and provided such efforts are prosecuted to completion with reasonable diligence. Delay in curing a default will be excused if due to causes beyond the reasonable control of Landlord. If Landlord remains in default beyond any applicable cure period, Tenant will have: (i) the right to cure Landlord's default and to deduct the costs of such cure from any monies due to Landlord from Tenant, and (ii) any and all other rights available to it under law and equity.

**16. ASSIGNMENT/SUBLEASE.** Tenant will have the right to assign this Agreement or sublease the Premises and its rights herein, in whole or in part, without Landlord's consent. [Upon notification to Landlord of such assignment, Tenant will be relieved of all future performance, liabilities and obligations under this Agreement to the extent of such assignment.]

**17. NOTICES.** All notices, requests and demands hereunder will be given by first class certified or registered mail, return receipt requested, or by a nationally recognized overnight courier, postage prepaid, to be



effective when properly sent and received, refused or returned undelivered. Notices will be addressed to the parties hereto as follows:

If to Tenant:               New Cingular Wireless PCS, LLC  
                                  Attn: Network Real Estate Administration  
                                  Re: Cell Site Name: Elkhorn Road FN (KY)  
                                  Fixed Asset #: 14365235  
                                  575 Morosgo Drive NE  
                                  Atlanta, Georgia 30324

With a copy to:            New Cingular Wireless PCS, LLC  
                                  Attn.: Legal Dept – Network Operations  
                                  Re: Cell Site Name: Elkhorn Road FN (KY)  
                                  Fixed Asset #: 14365235  
                                  208 S. Akard Street  
                                  Dallas, TX 75202-4206

If to Landlord:            Johnny and Melinda Beard  
                                  919 Caldwell Ridge Road  
                                  Knifley, KY 42753

Either party hereto may change the place for the giving of notice to it by thirty (30) days' prior written notice to the other party hereto as provided herein.

**18.    CONDEMNATION.** In the event Landlord receives notification of any condemnation proceedings affecting the Property, Landlord will provide notice of the proceeding to Tenant within twenty-four (24) hours. If a condemning authority takes all of the Property, or a portion sufficient, in Tenant's sole determination, to render the Premises unsuitable for Tenant, this Agreement will terminate as of the date the title vests in the condemning authority. The parties will each be entitled to pursue their own separate awards in the condemnation proceeds, which for Tenant will include, where applicable, the value of its Communication Facility, moving expenses, prepaid Rent, and business dislocation expenses. Tenant will be entitled to reimbursement for any prepaid Rent on a *pro rata* basis.

**19.    CASUALTY.** Landlord will provide notice to Tenant of any casualty or other harm affecting the Property within twenty-four (24) hours of the casualty or other harm. If any part of the Communication Facility or the Property is damaged by casualty or other harm as to render the Premises unsuitable, in Tenant's sole determination, then Tenant may terminate this Agreement by providing written notice to Landlord, which termination will be effective as of the date of such casualty or other harm. Upon such termination, Tenant will be entitled to collect all insurance proceeds payable to Tenant on account thereof and to be reimbursed for any prepaid Rent on a *pro rata* basis. Landlord agrees to permit Tenant to place temporary transmission and reception facilities on the Property, but only until such time as Tenant is able to activate a replacement transmission facility at another location; notwithstanding the termination of this Agreement, such temporary facilities will be governed by all of the terms and conditions of this Agreement, including Rent. If Landlord or Tenant undertakes to rebuild or restore the Premises and/or the Communication Facility, as applicable, Landlord agrees to permit Tenant to place temporary transmission and reception facilities on the Property at no additional Rent until the reconstruction of the Premises and/or the Communication Facility is completed. If Landlord determines not to rebuild or restore the Property, Landlord will notify Tenant of such determination within thirty (30) days after the casualty or other harm. If Landlord does not so notify Tenant and Tenant decides not to terminate under this Section 19, then Landlord will promptly rebuild or restore any portion of the Property interfering with or required for Tenant's Permitted Use of the Premises to substantially the same condition as existed before the casualty or

other harm. Landlord agrees that the Rent shall be abated until the Property and/or the Premises are rebuilt or restored, unless Tenant places temporary transmission and reception facilities on the Property.

**20. WAIVER OF LANDLORD'S LIENS.** Landlord waives any and all lien rights it may have, statutory or otherwise, concerning the Communication Facility or any portion thereof. The Communication Facility shall be deemed personal property for purposes of this Agreement, regardless of whether any portion is deemed real or personal property under applicable law; Landlord consents to Tenant's right to remove all or any portion of the Communication Facility from time to time in Tenant's sole discretion and without Landlord's consent.

**21. TAXES.**

(a) Landlord shall be responsible for (i) all taxes and assessments levied upon the lands, improvements and other property of Landlord including any such taxes that may be calculated by a taxing authority using any method, including the income method, (ii) all sales, use, license, value added, documentary, stamp, gross receipts, registration, real estate transfer, conveyance, excise, recording, and other similar taxes and fees imposed in connection with this Agreement, and (iii) all sales, use, license, value added, documentary, stamp, gross receipts, registration, real estate transfer, conveyance, excise, recording, and other similar taxes and fees imposed in connection with a sale of the Property or assignment of Rent payments by Landlord. Tenant shall be responsible for (y) any taxes and assessments attributable to and levied upon Tenant's leasehold improvements on the Premises if and as set forth in this Section 21 and (z) all sales, use, license, value added, documentary, stamp, gross receipts, registration, real estate transfer, conveyance, excise, recording, and other similar taxes and fees imposed in connection with an assignment of this Agreement or sublease by Tenant. Nothing herein shall require Tenant to pay any inheritance, franchise, income, payroll, excise, privilege, rent, capital stock, stamp, documentary, estate or profit tax, or any tax of similar nature, that is or may be imposed upon Landlord.

(b) In the event Landlord receives a notice of assessment with respect to which taxes or assessments are imposed on Tenant's leasehold improvements on the Premises, Landlord shall provide Tenant with copies of each such notice immediately upon receipt, but in no event later than thirty (30) days after the date of such notice of assessment. If Landlord does not provide such notice or notices to Tenant in a timely manner and Tenant's rights with respect to such taxes are prejudiced by the delay, Landlord shall reimburse Tenant for any increased costs directly resulting from the delay and Landlord shall be responsible for payment of the tax or assessment set forth in the notice, and Landlord shall not have the right to reimbursement of such amount from Tenant. If Landlord provides a notice of assessment to Tenant within such time period and requests reimbursement from Tenant as set forth below, then Tenant shall reimburse Landlord for the tax or assessments identified on the notice of assessment on Tenant's leasehold improvements, which has been paid by Landlord. If Landlord seeks reimbursement from Tenant, Landlord shall, no later than thirty (30) days after Landlord's payment of the taxes or assessments for the assessed tax year, provide Tenant with written notice including evidence that Landlord has timely paid same, and Landlord shall provide to Tenant any other documentation reasonably requested by Tenant to allow Tenant to evaluate the payment and to reimburse Landlord.

(c) For any tax amount for which Tenant is responsible under this Agreement, Tenant shall have the right to contest, in good faith, the validity or the amount thereof using such administrative, appellate or other proceedings as may be appropriate in the jurisdiction, and may defer payment of such obligations, pay same under protest, or take such other steps as permitted by law. This right shall include the ability to institute any legal, regulatory or informal action in the name of Landlord, Tenant, or both, with respect to the valuation of the Premises. Landlord shall cooperate with respect to the commencement and prosecution of any such proceedings and will execute any documents required therefor. The expense of any such proceedings shall be borne by Tenant and any refunds or rebates secured as a result of Tenant's action shall belong to Tenant, to the extent the amounts were originally paid by Tenant. In the event Tenant notifies Landlord by the due date for assessment of Tenant's intent to contest the assessment, Landlord shall not pay the assessment pending conclusion of the contest, unless required by applicable law.

(d) Landlord shall not split or cause the tax parcel on which the Premises are located to be split, bifurcated, separated or divided without the prior written consent of Tenant.

(e) Tenant shall have the right but not the obligation to pay any taxes due by Landlord hereunder if Landlord fails to timely do so, in addition to any other rights or remedies of Tenant. In the event that Tenant

exercises its rights under this Section 21(e) due to such Landlord default, Tenant shall have the right to deduct such tax amounts paid from any monies due to Landlord from Tenant as provided in Section 15(b), provided that Tenant may exercise such right without having provided to Landlord notice and the opportunity to cure per Section 15(b).

(f) Any tax-related notices shall be sent to Tenant in the manner set forth in Section 17. Promptly after the Effective Date, Landlord shall provide the following address to the taxing authority for the authority's use in the event the authority needs to communicate with Tenant. In the event that Tenant's tax address changes by notice to Landlord, Landlord shall be required to provide Tenant's new tax address to the taxing authority or authorities.

(g) Notwithstanding anything to the contrary contained in this Section 21, Tenant shall have no obligation to reimburse any tax or assessment for which the Landlord is reimbursed or rebated by a third party.

## **22. SALE OF PROPERTY.**

(a) Landlord may sell the Property or a portion thereof to a third party, provided: (i) the sale is made subject to the terms of this Agreement; and (ii) if the sale does not include the assignment of Landlord's full interest in this Agreement, the purchaser must agree to perform, without requiring compensation from Tenant or any subtenant, any obligation of Landlord under this Agreement, including Landlord's obligation to cooperate with Tenant as provided hereunder.

(b) If Landlord, at any time during the Term of this Agreement, decides to rezone or sell, subdivide or otherwise transfer all or any part of the Premises, or all or any part of the Property or the Surrounding Property, to a purchaser other than Tenant, Landlord shall promptly notify Tenant in writing, and such rezoning, sale, subdivision or transfer shall be subject to this Agreement and Tenant's rights hereunder. In the event of a change in ownership, transfer or sale of the Property, within ten (10) days of such transfer, Landlord or its successor shall send the documents listed below in this Section 22(b) to Tenant. Until Tenant receives all such documents, Tenant's failure to make payments under this Agreement shall not be an event of default and Tenant reserves the right to hold payments due under this Agreement.

- i. Old deed to Property
- ii. New deed to Property
- iii. Bill of Sale or Transfer
- iv. Copy of current Tax Bill
- v. New IRS Form W-9
- vi. Completed and Signed Tenant Payment Direction Form
- vii. Full contact information for new Landlord including phone number(s)

(c) Landlord agrees not to sell, lease or use any areas of the Property or the Surrounding Property for the installation, operation or maintenance of other wireless communication facilities if such installation, operation or maintenance would interfere with Tenant's Permitted Use or communications equipment as determined by radio propagation tests performed by Tenant in its sole discretion. Landlord or Landlord's prospective purchaser shall reimburse Tenant for any costs and expenses of such testing. If the radio frequency propagation tests demonstrate levels of interference unacceptable to Tenant, Landlord shall be prohibited from selling, leasing or using any areas of the Property or the Surrounding Property for purposes of any installation, operation or maintenance of any other wireless communication facility or equipment.

(d) The provisions of this Section 22 shall in no way limit or impair the obligations of Landlord under this Agreement, including interference and access obligations.

**23. RIGHT OF FIRST REFUSAL.** Notwithstanding the provisions contained in Section 22, if at any time after the Effective Date, Landlord receives a bona fide written offer from a third party seeking any sale, conveyance, assignment or transfer, whether in whole or in part, of any property interest in or related to the Premises, including without limitation any offer seeking an assignment or transfer of the Rent payments associated with this Agreement or an offer to purchase an easement with respect to the Premises ("**Offer**"), Landlord shall immediately furnish Tenant with a copy of the Offer. Tenant shall have the right within ninety

(90) days after it receives such copy to match the financial terms of the Offer and agree in writing to match such terms of the Offer. Such writing shall be in the form of a contract substantially similar to the Offer but Tenant may assign its rights to a third party. If Tenant chooses not to exercise this right or fails to provide written notice to Landlord within the ninety (90) day period, Landlord may sell, convey, assign or transfer such property interest in or related to the Premises pursuant to the Offer, subject to the terms of this Agreement. If Landlord attempts to sell, convey, assign or transfer such property interest in or related to the Premises without complying with this Section 23, the sale, conveyance, assignment or transfer shall be void. Tenant shall not be responsible for any failure to make payments under this Agreement and reserves the right to hold payments due under this Agreement until Landlord complies with this Section 23. Tenant's failure to exercise the right of first refusal shall not be deemed a waiver of the rights contained in this Section 23 with respect to any future proposed conveyances as described herein.

#### **24. MISCELLANEOUS.**

(a) **Amendment/Waiver.** This Agreement cannot be amended, modified or revised unless done in writing and signed by Landlord and Tenant. No provision may be waived except in a writing signed by both parties. The failure by a party to enforce any provision of this Agreement or to require performance by the other party will not be construed to be a waiver, or in any way affect the right of either party to enforce such provision thereafter.

(b) **Memorandum/Short Form Lease.** Contemporaneously with the execution of this Agreement, the parties will execute a recordable Memorandum of Lease substantially in the form attached as **Exhibit 24(b)**. Either party may record this Memorandum of Lease at any time during the Term, in its absolute discretion. Thereafter during the Term, either party will, at any time upon fifteen (15) business days' prior written notice from the other, execute, acknowledge and deliver to the other a recordable Memorandum of Lease.

(c) **Limitation of Liability.** Except for the indemnity obligations set forth in this Agreement, and otherwise notwithstanding anything to the contrary in this Agreement, Tenant and Landlord each waives any claims that each may have against the other with respect to consequential, incidental or special damages, however caused, based on any theory of liability.

(d) **Compliance with Law.** Tenant agrees to comply with all federal, state and local laws, orders, rules and regulations ("Laws") applicable to Tenant's use of the Communication Facility on the Property. Landlord agrees to comply with all Laws relating to Landlord's ownership and use of the Property and any improvements on the Property.

(e) **Bind and Benefit.** The terms and conditions contained in this Agreement will run with the Property and bind and inure to the benefit of the parties, their respective heirs, executors, administrators, successors and assigns.

(f) **Entire Agreement.** This Agreement and the exhibits attached hereto, all being a part hereof, constitute the entire agreement of the parties hereto and will supersede all prior offers, negotiations and agreements with respect to the subject matter of this Agreement. Exhibits are numbered to correspond to the Section wherein they are first referenced. Except as otherwise stated in this Agreement, each party shall bear its own fees and expenses (including the fees and expenses of its agents, brokers, representatives, attorneys, and accountants) incurred in connection with the negotiation, drafting, execution and performance of this Agreement and the transactions it contemplates.

(g) **Governing Law.** This Agreement will be governed by the laws of the state in which the Premises are located, without regard to conflicts of law.

(h) **Interpretation.** Unless otherwise specified, the following rules of construction and interpretation apply: (i) captions are for convenience and reference only and in no way define or limit the construction of the terms and conditions hereof; (ii) use of the term "including" will be interpreted to mean "including but not limited to"; (iii) whenever a party's consent is required under this Agreement, except as otherwise stated in the Agreement or as same may be duplicative, such consent will not be unreasonably withheld, conditioned or delayed; (iv) exhibits are an integral part of this Agreement and are incorporated by reference into this Agreement; (v) use of the terms "termination" or "expiration" are interchangeable; (vi) reference to a default will take into consideration any applicable notice, grace and cure periods; (vii) to the extent there is any issue with respect to any alleged, perceived or actual ambiguity in this Agreement, the ambiguity shall not be resolved



on the basis of who drafted the Agreement; (viii) the singular use of words includes the plural where appropriate; and (ix) if any provision of this Agreement is held invalid, illegal or unenforceable, the remaining provisions of this Agreement shall remain in full force if the overall purpose of the Agreement is not rendered impossible and the original purpose, intent or consideration is not materially impaired.

(i) **Affiliates.** All references to "Tenant" shall be deemed to include any Affiliate of New Cingular Wireless PCS, LLC using the Premises for any Permitted Use or otherwise exercising the rights of Tenant pursuant to this Agreement. "Affiliate" means with respect to a party to this Agreement, any person or entity that (directly or indirectly) controls, is controlled by, or under common control with, that party. "Control" of a person or entity means the power (directly or indirectly) to direct the management or policies of that person or entity, whether through the ownership of voting securities, by contract, by agency or otherwise.

(j) **Survival.** Any provisions of this Agreement relating to indemnification shall survive the termination or expiration hereof. In addition, any terms and conditions contained in this Agreement that by their sense and context are intended to survive the termination or expiration of this Agreement shall so survive.

(k) **W-9.** As a condition precedent to payment, Landlord agrees to provide Tenant with a completed IRS Form W-9, or its equivalent, upon execution of this Agreement and at such other times as may be reasonably requested by Tenant, including any change in Landlord's name or address.

(l) **Execution/No Option.** The submission of this Agreement to any party for examination or consideration does not constitute an offer, reservation of or option for the Premises based on the terms set forth herein. This Agreement will become effective as a binding Agreement only upon the handwritten legal execution, acknowledgment and delivery hereof by Landlord and Tenant. This Agreement may be executed in two (2) or more counterparts, all of which shall be considered one and the same agreement and shall become effective when one or more counterparts have been signed by each of the parties. All parties need not sign the same counterpart.

(m) **Attorneys' Fees.** In the event that any dispute between the parties related to this Agreement should result in litigation, the prevailing party in such litigation shall be entitled to recover from the other party all reasonable fees and expenses of enforcing any right of the prevailing party, including reasonable attorneys' fees and expenses. Prevailing party means the party determined by the court to have most nearly prevailed even if such party did not prevail in all matters. This provision will not be construed to entitle any party other than Landlord, Tenant and their respective Affiliates to recover their fees and expenses.

(n) **WAIVER OF JURY TRIAL.** EACH PARTY, TO THE EXTENT PERMITTED BY LAW, KNOWINGLY, VOLUNTARILY AND INTENTIONALLY WAIVES ITS RIGHT TO A TRIAL BY JURY IN ANY ACTION OR PROCEEDING UNDER ANY THEORY OF LIABILITY ARISING OUT OF OR IN ANY WAY CONNECTED WITH THIS AGREEMENT OR THE TRANSACTIONS IT CONTEMPLATES.

(o) **Incidental Fees.** Unless specified in this Agreement, no unilateral fees or additional costs or expenses are to be applied by either party to the other party, including review of plans, structural analyses, consents, provision of documents or other communications between the parties.

(p) **Further Acts.** Upon request, Landlord will cause to be promptly and duly taken, executed, acknowledged and delivered all such further acts, documents, and assurances as Tenant may request from time to time in order to effectuate, carry out and perform all of the terms, provisions and conditions of this Agreement and all transactions and permitted use contemplated by this Agreement.

[SIGNATURES APPEAR ON NEXT PAGE]





**"TENANT"**

New Cingular Wireless PCS, LLC,  
a Delaware limited liability company

By: AT&T Mobility Corporation  
Its: Manager

By: *Jason Allday*  
Print Name: Jason Allday

Its: Area Manager

Date: 7/25/18

**TENANT ACKNOWLEDGMENT**

STATE OF ALABAMA)

) ss:

COUNTY OF JEFFERSON)

On the 25 day of July, 2018, before me personally appeared Jason Allday, and acknowledged under oath that he/she is the Area Manager of AT&T Mobility Corporation, the Manager of New Cingular Wireless PCS, LLC, the Tenant named in the attached instrument, and as such was authorized to execute this instrument on behalf of the Tenant.



*Kathy M. McLaughlin*  
Notary Public: Kathy M. McLaughlin  
My Commission Expires: 10-26-2020

**EXHIBIT 1**  
**DESCRIPTION OF PROPERTY AND PREMISES**

Page 1 of 2

to the Option and Lease Agreement dated \_\_\_\_\_, 20\_\_\_\_, by and between Johnny Beard and Melinda Beard, as Landlord, and New Cingular Wireless PCS, LLC, a Delaware limited liability company, as Tenant.

The Property is legally described as follows:

BEGINNING at a large White Oak Tree, original corner to the W.P. Dunbar Survey; thence S 82 E 48.84 poles to a White Oak and Beech, called for, now a Hickory; thence S 70 E 53.93 poles to a stone just North of the county road; thence N 60-3/4 E 98.9 poles to a stake on the West side of the old Neatsville and Knifley Pike; thence with the meanders of said old road bed as follows:  
S 77-1/4 E 12.4 poles; S 1-1/1 W 3 poles; S 50-3/4 W 14 poles; S 87-3/4 W 18.25 poles; S 28-3/4 W 4 poles; S 24-3/4 poles; S 81 E 18.2 poles; N 14- 1/4 E 23.32 poles, S 80-3/4 E 14 poles; S 39-1/2 E 32 poles; S 14-1/4 E 18.16 poles; S 19-1/4 E 14.12 poles; S 12 E 32.44 poles; S 16 E 13.4 poles to the center of Kentucky Highway No. 76, corner of the U. S. government Survey; thence with said U. S. Government Survey as follows: S 17 degrees 33' W 181.9 ft.; S 7-1/4 W 74.8 ft.; S 7 degrees - 32' W 204.3 feet; S 7 degrees - 13' W 413.8 ft.; S 82 degrees W 344.2 ft.; S 82 degrees - 13' W 149.6 ft; S 83 degrees 18' W 172.2 ft.; S 83 degrees 27' W 505.0 ft.; S84 degrees -21' W 175.2 ft.; thence S 12-3/4 poles to a point where a Sugar Tree and Horn Beam are called for from the original Dunbar Survey; thence with said Dunbar Survey as follows: N 75 w 182.35 poles to a stake called for; N 3-3/4 E 125.13 poles to the beginning, containing 235.45 acres, more or less.

There is excluded from the above described property and not conveyed herein a tract of land sold by Sidney Dunbar to Brian Walker and Barbara Peterson, husband and wife, by Deed dated December 22, 1992, and recorded in Deed Book 250, page 566, which contains 41.94 acres, more or less.



**EXHIBIT 11**

**ENVIRONMENTAL DISCLOSURE**

Landlord represents and warrants that the Property, as of the Effective Date, is free of hazardous substances except as follows:

*None.*



**EXHIBIT 12**  
**STANDARD ACCESS LETTER**  
[FOLLOWS ON NEXT PAGE]

March, 19, 2018

Johnny and Melinda Beard  
919 Caldwell Ridge Road  
Knifley, KY 42753

Re: Authorized Access granted to AT&T

Dear Mr. and Mrs. Beard,

Please be advised that we have signed a lease with you permitting AT&T to install, operate and maintain telecommunications equipment at the property. The terms of the lease grant AT&T and its representatives, employees, agents and subcontractors ("representatives") 24 hour per day, 7 days per week access to the leased area.

To avoid impact on telephone service during the day, AT&T representatives may be seeking access to the property outside of normal business hours. AT&T representatives have been instructed to keep noise levels at a minimum during their visit.

Please grant the bearer of a copy of this letter access to the property and to leased area. Thank you for your assistance.

Melinda Beard Johnny Beard  
Landlord Signature

**EXHIBIT J**  
**NOTIFICATION LISTING**

**Elkhorn Road FN – Notice List**

BEARD JOHNNY & MELINDA  
919 CALDWELL RIDGE RD  
KNIFLEY, KY 42753

US ARMY CORPS OF ENGINEERS  
544 LAKE ROAD  
CAMPBELLSVILLE, KY 42718

BRIMMER BRYCE & DEBORAH &  
VERSLE JR & MARY BRIMMER  
53 WOODSON CT  
TAYLORSVILLE, KY 40071

GRIDER JOHN L  
618 TUCKER WOODS RD  
COLUMBIA, KY 42728

ENGLE JACK C  
609 CHESTNUT ST  
BEREA, KY 40403

SANDERS MARK  
320 E VALLEY DRIVE  
MARIETTA, GA 30068-3678

MEGERLE BRIAN & JENNIFER  
420 TUCKER WOODS RD  
KNIFLEY, KY 42753

WALKER MANNING T  
% JACK HARDEN  
170 TUCKER WOODS RD  
KNIFLEY, KY 42753

GREER GREG & DESTINY  
151 ROBINSON RIDGE RD  
KNIFLEY, KY 42753

PYLES JEFFREY & JENNIFER  
3615 ELKHORN RD  
KNIFLEY, KY 42753

PYLES JEFFERY & JENNIFER  
3615 ELKHORN RD  
KNIFLEY, KY 42753

KING DAVID & PHYLLIS JEAN  
2945 ELKHORN RD  
CAMPBELLSVILLE, KY 42718

MEIER SUZANNE &  
ERICKSON & TRICIA MALPICA  
363 THREE ANGELS DR  
LIBERTY, KY 42537

MALPICA TRICIA  
50 TUCKERS WOODS RD  
COLUMBIA, KY 42728

QUINN FAMILY FARMS LLC  
2489 CALDWELL RIDGE RD  
KNIFLEY, KY 42753

QUINN RANDALL F & MELINDA  
200 JEFFRIES RD  
KNIFLEY, KY 42753

TUCKER JERRY D  
80 CALDWELL RIDGE ROAD  
KNIFLEY, KY 42753

DUNBAR HILL BAPTIST CHURCH  
DUNBAR HILL  
247 EASTRIDGE RD  
ELKHORN, KY 42733

LUTTRELL JAMES  
180 CALDWELL RIDGE RD  
COLUMBIA, KY 42728

BRYANT NELLIE  
C/O TRAVIS BRYANT  
250 TRAVIS BRYANT RD  
COLUMBIA, KY 42728

HORNBECK THOMAS E & CYNTHIA  
211 ROLLING FORK RD  
SHEPHERDSVILLE, KY 40165



**EXHIBIT K**  
**COPY OF PROPERTY OWNER NOTIFICATION**



1578 Highway 44 East, Suite 6  
P.O. Box 369  
Shepherdsville, KY 40165-0369  
Phone (502) 955-4400 or (800) 516-4293  
Fax (502) 543-4410 or (800) 541-4410

**Notice of Proposed Construction of  
Wireless Communications Facility  
Site Name: Elkhorn Road FN**

Dear Landowner:

New Cingular Wireless PCS, a Delaware limited liability company, d/b/a AT&T Mobility has filed an application with the Kentucky Public Service Commission ("PSC") to construct a new wireless communications facility on a site located at 3575 Elkhorn Road, Knifley, KY 42753 (37° 12' 35.49" North latitude, 85° 10' 49.52" West longitude). The proposed facility will include a 255-foot tall antenna tower, plus a 15-foot lightning arrestor and related ground facilities. This facility is needed to provide improved coverage for wireless communications in the area.

This notice is being sent to you because the County Property Valuation Administrator's records indicate that you may own property that is within a 500' radius of the proposed tower site or contiguous to the property on which the tower is to be constructed. You have a right to submit testimony to the Kentucky Public Service Commission ("PSC"), either in writing or to request intervention in the PSC's proceedings on the application. You may contact the PSC for additional information concerning this matter at: Kentucky Public Service Commission, Executive Director, 211 Sower Boulevard, P.O. Box 615, Frankfort, Kentucky 40602. Please refer to docket number 2019-00148 in any correspondence sent in connection with this matter.

We have attached a map showing the site location for the proposed tower. Applicant's radio frequency engineers assisted in selecting the proposed site for the facility, and they have determined it is the proper location and elevation needed to provide quality service to wireless customers in the area. Please feel free to contact us toll free at (800) 516-4293 if you have any comments or questions about this proposal.

Sincerely,  
David A. Pike  
Attorney for Applicant

enclosures

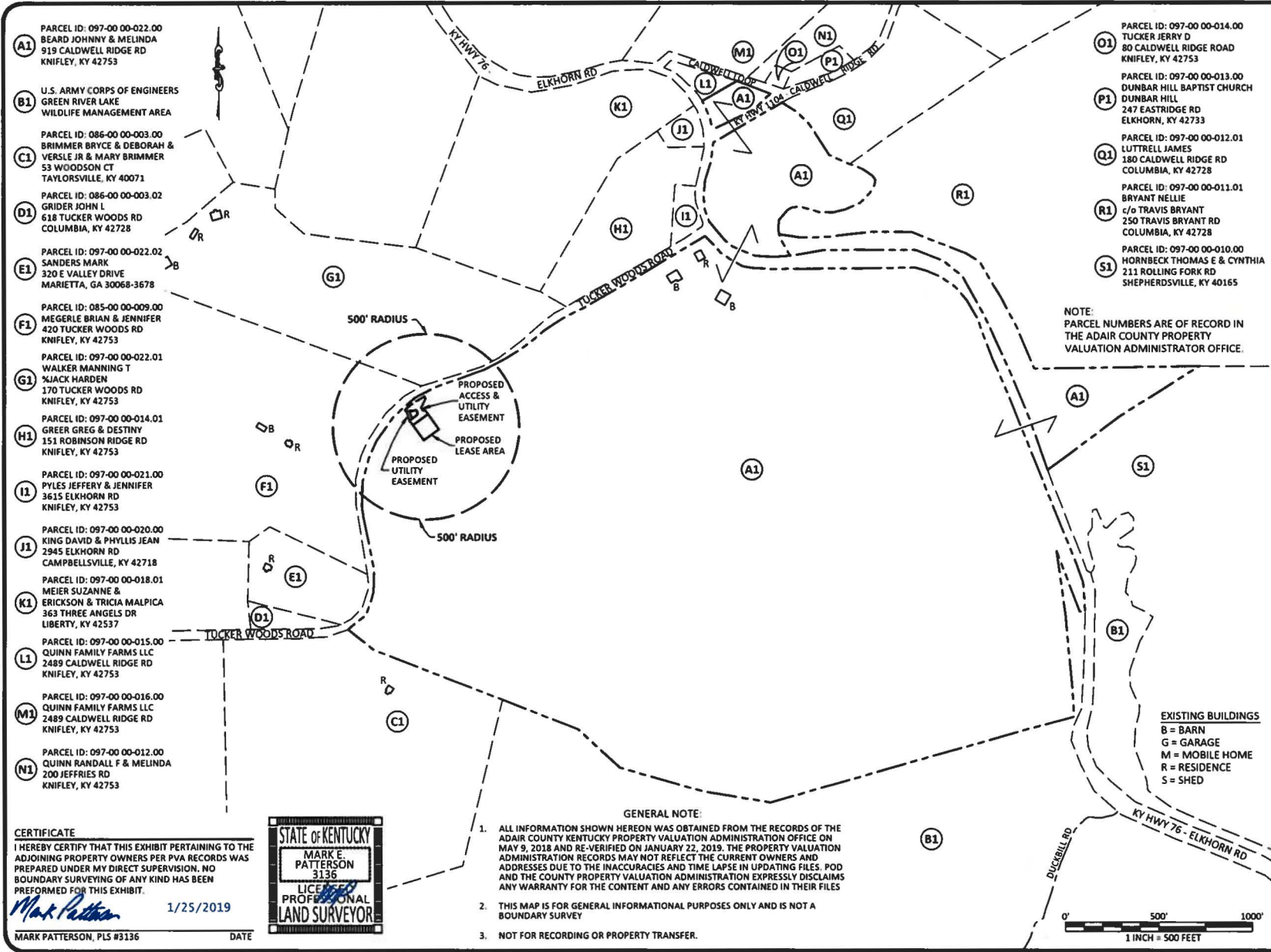
## **Driving Directions to Proposed Tower Site**

1. Beginning at 424 Public Square #3, Columbia, KY, head northwest toward Campbellsville Street and travel approximately 472 feet.
2. Exit the traffic circle onto Campbellsville Street and travel approximately 1.6 miles
3. Turn right onto State Hwy 551 and travel approximately 11.9 miles.
4. Turn right onto KY-76 E and travel approximately 2.2 miles
5. Turn right onto Dunbar Hill Road / Tucker Woods Road and travel approximately 0.4 miles. The site is on the left at 3575 Elkhorn Road, Knifley, KY 42753.
6. The site coordinates are:
  - a. North 37 deg 12 min 35.49 sec
  - b. West 85° deg 10 min 49.52 sec



Prepared by:  
Chris Shouse  
Pike Legal Group  
1578 Highway 44 East, Suite 6  
P.O. Box 396  
Shepherdsville, KY 40165-3069  
Telephone: 502-955-4400 or 800-516-4293





- (A1) PARCEL ID: 097-00 00-022.00  
BEARD JOHNNY & MELINDA  
919 CALDWELL RIDGE RD  
KNIFLEY, KY 42753
- (B1) U.S. ARMY CORPS OF ENGINEERS  
GREEN RIVER LAKE  
WILDLIFE MANAGEMENT AREA
- (C1) PARCEL ID: 086-00 00-003.00  
BRIMMER BRYCE & DEBORAH &  
VERSE JR & MARY BRIMMER  
53 WOODSON CT  
TAYLORSVILLE, KY 40071
- (D1) PARCEL ID: 086-00 00-003.02  
GRIDER JOHN L  
618 TUCKER WOODS RD  
COLUMBIA, KY 42728
- (E1) PARCEL ID: 097-00 00-022.02  
SANDERS MARK  
320 E VALLEY DRIVE  
MARIETTA, GA 30068-3678
- (F1) PARCEL ID: 085-00 00-009.00  
MEGERLE BRIAN & JENNIFER  
420 TUCKER WOODS RD  
KNIFLEY, KY 42753
- (G1) PARCEL ID: 097-00 00-022.01  
WALKER MANNING T  
JACK HARDEN  
170 TUCKER WOODS RD  
KNIFLEY, KY 42753
- (H1) PARCEL ID: 097-00 00-014.01  
GREER GREG & DESTINY  
151 ROBINSON RIDGE RD  
KNIFLEY, KY 42753
- (I1) PARCEL ID: 097-00 00-021.00  
PYLES JEFFERY & JENNIFER  
3615 ELKHORN RD  
KNIFLEY, KY 42753
- (J1) PARCEL ID: 097-00 00-020.00  
KING DAVID & PHYLLIS JEAN  
2945 ELKHORN RD  
CAMPBELLSVILLE, KY 42718
- (K1) PARCEL ID: 097-00 00-018.01  
MEIER SUZANNE &  
ERICKSON & TRICIA MALPICA  
363 THREE ANGELS DR  
LIBERTY, KY 42537
- (L1) PARCEL ID: 097-00 00-015.00  
QUINN FAMILY FARMS LLC  
2489 CALDWELL RIDGE RD  
KNIFLEY, KY 42753
- (M1) PARCEL ID: 097-00 00-016.00  
QUINN FAMILY FARMS LLC  
2489 CALDWELL RIDGE RD  
KNIFLEY, KY 42753
- (N1) PARCEL ID: 097-00 00-012.00  
QUINN RANDALL F & MELINDA  
200 JEFFRIES RD  
KNIFLEY, KY 42753

- (O1) PARCEL ID: 097-00 00-014.00  
TUCKER JERRY D  
80 CALDWELL RIDGE ROAD  
KNIFLEY, KY 42753
- (P1) PARCEL ID: 097-00 00-013.00  
DUNBAR HILL BAPTIST CHURCH  
DUNBAR HILL  
247 EASTRIDGE RD  
ELKHORN, KY 42733
- (Q1) PARCEL ID: 097-00 00-012.01  
LUTTRELL JAMES  
180 CALDWELL RIDGE RD  
COLUMBIA, KY 42728
- (R1) PARCEL ID: 097-00 00-011.01  
BRYANT NELLIE  
c/o TRAVIS BRYANT  
250 TRAVIS BRYANT RD  
COLUMBIA, KY 42728
- (S1) PARCEL ID: 097-00 00-010.00  
HORNBECK THOMAS E & CYNTHIA  
211 ROLLING FORK RD  
SHEPHERDSVILLE, KY 40165

NOTE:  
PARCEL NUMBERS ARE OF RECORD IN  
THE ADAIR COUNTY PROPERTY  
VALUATION ADMINISTRATOR OFFICE.

PREPARED BY:  
**POD**  
POWER OF DESIGN  
1440 BLUEGRASS PARKWAY  
LOUISVILLE, KY 40299  
502.417.5252

PREPARED FOR:  
**MasTec**

PREPARED FOR:  
**at&t**

**EXHIBIT**

| REV | DATE    | DESCRIPTION       |
|-----|---------|-------------------|
| A   | 1.22.19 | ISSUED FOR REVIEW |
| 0   | 1.25.19 | ISSUED AS FINAL   |
|     |         |                   |
|     |         |                   |

SITE INFORMATION:  
**ELKHORN ROAD FN**  
3575 ELKHORN ROAD  
KNIFLEY, KY 42753  
ADAIR COUNTY

TAX PARCEL NUMBER:  
097-00 00-022.00

PROPERTY OWNERS:  
JOHNNY BEARD AND  
MELINDA BEARD  
919 CALDWELL RIDGE ROAD  
KNIFLEY, KY 42753

SOURCE OF TITLE:  
DEED BOOK 251, PAGE 574

SITE NUMBER:  
KYL01233

POD NUMBER: 18-23983

DRAWN BY: DAP  
CHECKED BY: MEP  
SURVEY DATE: 5.9.18  
PLAT DATE: 1.22.19

SHEET TITLE:  
**500' RADIUS AND  
ABUTTERS MAP**

SHEET NUMBER: (1 pages)  
**B-2**

**CERTIFICATE**  
I HEREBY CERTIFY THAT THIS EXHIBIT PERTAINING TO THE  
ADJOINING PROPERTY OWNERS PER PVA RECORDS WAS  
PREPARED UNDER MY DIRECT SUPERVISION. NO  
BOUNDARY SURVEYING OF ANY KIND HAS BEEN  
PERFORMED FOR THIS EXHIBIT.

*Mark Patterson* 1/25/2019 DATE

MARK PATTERSON, PLS #3136



- GENERAL NOTE:
- ALL INFORMATION SHOWN HEREON WAS OBTAINED FROM THE RECORDS OF THE ADAIR COUNTY KENTUCKY PROPERTY VALUATION ADMINISTRATION OFFICE ON MAY 9, 2018 AND RE-VERIFIED ON JANUARY 22, 2019. THE PROPERTY VALUATION ADMINISTRATION RECORDS MAY NOT REFLECT THE CURRENT OWNERS AND ADDRESSES DUE TO THE INACCURACIES AND TIME LAPSE IN UPDATING FILES. POD AND THE COUNTY PROPERTY VALUATION ADMINISTRATION EXPRESSLY DISCLAIMS ANY WARRANTY FOR THE CONTENT AND ANY ERRORS CONTAINED IN THEIR FILES
  - THIS MAP IS FOR GENERAL INFORMATIONAL PURPOSES ONLY AND IS NOT A BOUNDARY SURVEY
  - NOT FOR RECORDING OR PROPERTY TRANSFER.



**EXHIBIT L**  
**COPY OF COUNTY JUDGE/EXECUTIVE NOTICE**





1578 Highway 44 East, Suite 6  
P.O. Box 369  
Shepherdsville, KY 40165-0369  
Phone (502) 955-4400 or (800) 516-4293  
Fax (502) 543-4410 or (800) 541-4410

**VIA CERTIFIED MAIL**

Gale B. Cowan  
County Judge Executive  
424 Public Square, Suite 1  
Columbia, KY 42728

RE: Notice of Proposal to Construct Wireless Communications Facility  
Kentucky Public Service Commission Docket No. 2019-00148  
Site Name: Elkhorn Road FN

Dear Judge/Executive:

New Cingular Wireless PCS, LLC, a Delaware limited liability company, d/b/a AT&T Mobility has filed an application with the Kentucky Public Service Commission ("PSC") to construct a new wireless communications facility on a site located at 3575 Elkhorn Road, Knifley, KY 42753 (37° 12' 35.49" North latitude, 85° 10' 49.52" West longitude). The proposed facility will include a 255-foot tall antenna tower, plus a 15-foot lightning arrestor and related ground facilities. This facility is needed to provide improved coverage for wireless communications in the area.

You have a right to submit comments to the PSC or to request intervention in the PSC's proceedings on the application. You may contact the PSC at: Executive Director, Public Service Commission, 211 Sower Boulevard, P.O. Box 615, Frankfort, Kentucky 40602. Please refer to docket number 2019-00148 in any correspondence sent in connection with this matter.

We have attached a map showing the site location for the proposed tower. AT&T Mobility's radio frequency engineers assisted in selecting the proposed site for the facility, and they have determined it is the proper location and elevation needed to provide quality service to wireless customers in the area. Please feel free to contact us with any comments or questions you may have.

Sincerely,  
David A. Pike  
Attorney for Applicant

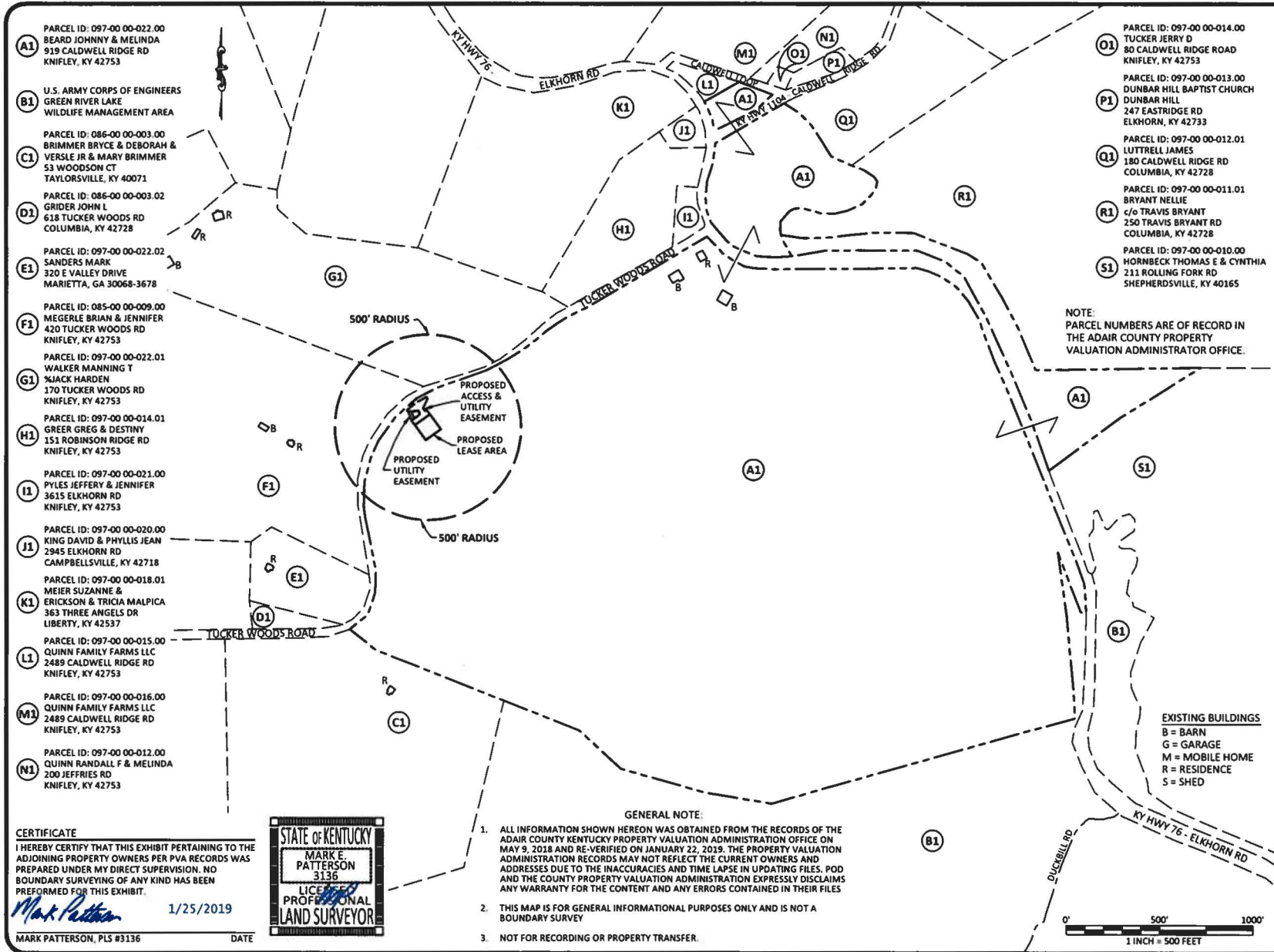
enclosures

## **Driving Directions to Proposed Tower Site**

1. Beginning at 424 Public Square #3, Columbia, KY, head northwest toward Campbellsville Street and travel approximately 472 feet.
2. Exit the traffic circle onto Campbellsville Street and travel approximately 1.6 miles
3. Turn right onto State Hwy 551 and travel approximately 11.9 miles.
4. Turn right onto KY-76 E and travel approximately 2.2 miles
5. Turn right onto Dunbar Hill Road / Tucker Woods Road and travel approximately 0.4 miles. The site is on the left at 3575 Elkhorn Road, Knifley, KY 42753.
6. The site coordinates are:
  - a. North 37 deg 12 min 35.49 sec
  - b. West 85° deg 10 min 49.52 sec



Prepared by:  
Chris Shouse  
Pike Legal Group  
1578 Highway 44 East, Suite 6  
P.O. Box 396  
Shepherdsville, KY 40165-3069  
Telephone: 502-955-4400 or 800-516-4293

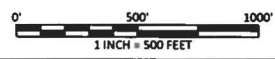


NOTE:  
PARCEL NUMBERS ARE OF RECORD IN  
THE ADAIR COUNTY PROPERTY  
VALUATION ADMINISTRATOR OFFICE.

EXISTING BUILDINGS  
B = BARN  
G = GARAGE  
M = MOBILE HOME  
R = RESIDENCE  
S = SHED

- GENERAL NOTE:
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  2. THIS MAP IS FOR GENERAL INFORMATIONAL PURPOSES ONLY AND IS NOT A BOUNDARY SURVEY
  3. NOT FOR RECORDING OR PROPERTY TRANSFER.

**CERTIFICATE**  
I HEREBY CERTIFY THAT THIS EXHIBIT PERTAINING TO THE ADJOINING PROPERTY OWNERS PER PVA RECORDS WAS PREPARED UNDER MY DIRECT SUPERVISION. NO BOUNDARY SURVEYING OF ANY KIND HAS BEEN PERFORMED FOR THIS EXHIBIT.  
*Mark Patterson* 1/25/2019  
MARK PATTERSON, PLS #3136 DATE



PREPARED BY:  
**POD**  
POWER OF DESIGN  
21400 BLUEGRASS PARKWAY  
LOUISVILLE, KY 40299  
502.417.5252

PREPARED FOR:  
**MasTec**

PREPARED FOR:  
**at&t**

**EXHIBIT**

| REV | DATE    | DESCRIPTION       |
|-----|---------|-------------------|
| A   | 1.22.19 | ISSUED FOR REVIEW |
| 0   | 1.25.19 | ISSUED AS FINAL   |

**SITE INFORMATION:**  
ELKHORN ROAD FN  
3575 ELKHORN ROAD  
KNIFLEY, KY 42753  
ADAIR COUNTY

**TAX PARCEL NUMBER:**  
097-00 00-022.00

**PROPERTY OWNERS:**  
JOHNNY BEARD AND  
MELINDA BEARD  
919 CALDWELL RIDGE ROAD  
KNIFLEY, KY 42753

**SOURCE OF TITLE:**  
DEED BOOK 251, PAGE 574

**SITE NUMBER:**  
KYLO1233

**POD NUMBER:** 18-23983

**DRAWN BY:** DAP  
**CHECKED BY:** MEP  
**SURVEY DATE:** 5.9.18  
**PLAT DATE:** 1.22.19

**SHEET TITLE:**  
**500' RADIUS AND  
ABUTTERS MAP**

**SHEET NUMBER:** (1 pages)  
**B-2**



**EXHIBIT M  
COPY OF POSTED NOTICES  
AND NEWSPAPER NOTICE ADVERTISEMENT**

**SITE NAME: ELKHORN ROAD FN**  
**NOTICE SIGNS**

The signs are at least (2) feet by four (4) feet in size, of durable material, with the text printed in black letters at least one (1) inch in height against a white background, except for the word "**tower**," which is at least four (4) inches in height.

New Cingular Wireless PCS, LLC, a Delaware limited liability company, d/b/a AT&T Mobility proposes to construct a telecommunications **tower** on this site. If you have questions, please contact Pike Legal Group, PLLC, P.O. Box 369, Shepherdsville, KY 40165; telephone: (800) 516-4293, or the Executive Director, Public Service Commission, 211 Sower Boulevard, PO Box 615, Frankfort, Kentucky 40602. Please refer to docket number 2019-00148 in your correspondence.

New Cingular Wireless PCS, LLC, a Delaware limited liability company, d/b/a AT&T Mobility proposes to construct a telecommunications **tower** near this site. If you have questions, please contact Pike Legal Group, PLLC, P.O. Box 369, Shepherdsville, KY 40165; telephone: (800) 516-4293, or the Executive Director, Public Service Commission, 211 Sower Boulevard, PO Box 615, Frankfort, Kentucky 40602. Please refer to docket number 2019-00148 in your correspondence.





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**VIA TELEPHONE: 270-384-6471**

The Adair Progress, Inc.  
Attn: Public Notice Ad Placement  
98 Grant Lane  
Columbia, KY 42728

RE: Legal Notice Advertisement  
Site Name: Elkhorn FN

Dear Adair Progress:

Please publish the following legal notice advertisement in the next edition of *The Adair Progress*:

**NOTICE**

**New Cingular Wireless PCS, LLC, a Delaware limited liability company, d/b/a AT&T Mobility has filed an application with the Kentucky Public Service Commission ("PSC") to construct a new wireless communications facility on a site located on 3575 Elkhorn Road, Knifley, KY 42753 (37° 12' 35.49" North latitude, 85° 10' 49.52" West longitude). You may contact the PSC for additional information concerning this matter at: Kentucky Public Service Commission, Executive Director, 211 Sower Boulevard, P.O. Box 615, Frankfort, Kentucky 40602. Please refer to docket number 2019-00148 in any correspondence sent in connection with this matter.**

After this advertisement has been published, please forward a tearsheet copy, affidavit of publication, and invoice to Pike Legal Group, PLLC, P. O. Box 369, Shepherdsville, KY 40165. Please call me at (800) 516-4293 if you have any questions. Thank you for your assistance.

Sincerely,  
Chris Shouse  
Pike Legal Group, PLLC

**EXHIBIT N**  
**COPY OF RADIO FREQUENCY DESIGN SEARCH AREA**



**Elkhorn Road Search Area**

**Lat: 37.213303**

**Lon: -85.182775**

**Radius: .35 miles**