

JAMES HITE HAYS

ATTORNEY AT LAW
521 MAIN STREET
SHELBYVILLE, KENTUCKY 40065

FAX
(502) 633-3577

TELEPHONE
(502) 633-3534

June 15, 2018

RECEIVED

JUN 15 2018

PUBLIC SERVICE
COMMISSION

Kentucky Public Service Commission
Attn: Brandon Bruner
Administrative Branch Manager
Filings Branch
211 Sower Blvd.
Frankfort KY 40601

IN RE: West Shelby Water District
Request for Public Service Commission (hereinafter referred to as PSC)
granting a certificate construction of a storage building next to their
existing office

Dear Mr. Bruner:

Enclosed are the original and 10 copies of the West Shelby Water District application for Certificate of Public Convenience and Necessity to construct a storage building, and motion for expedited Certificate.

Please contact me should you have any questions or need further information.

Very truly yours,



James Hite Hays, Attorney for
West Shelby Water District

JHH/kvj
Enclosures

RECEIVED

COMMONWEALTH OF KENTUCKY
BEFORE THE
KENTUCKY PUBLIC SERVICE COMMISSION

JUN 15 2018
PUBLIC SERVICE
COMMISSION

IN THE MATTER OF:

The application of West Shelby Water)
For Commission approval for a Certificate)
Of Public Convenience and Necessity to)
construct a storage building next to their)
existing office)

Case No. 2018- 00196

APPLICATION and
MOTION FOR EXPEDITED CERTIFICATE

West Shelby Water (hereinafter referred to as WSW) respectfully states:

1. The applicant, WSW, is a part of Shelby County Government and operates from three (3) appointed commissioners by Shelby County Judge Executive. It is organized under KRS Chapter 74 as a water district and is engaged in the business of providing water to the members-consumers in Shelby County, Kentucky. This application is submitted pursuant to KRS 278.020 and 807 KAR 5:001(9).
2. The name and address of the applicant, West Shelby Water, whose address is PO Box 39, Simpsonville, KY 40067, and the email address of the Steve Eden, Manger is seden@westshelbywater.org. The application will be signed by Steve Eden, Manager.
3. The applicant seeks a Certificate of Public Convenience and Necessity ("CPCN") to construct a storage building for machinery and equipment.
4. This new construction will be paid from existing funds of the WSW and/or from the sale of their existing building which is located at 7101 Shelbyville Road, Simpsonville, Kentucky.
5. Estimated cost of the construction is \$223,633.00. Estimated annual costs of operation of the facility is \$2000/year in actual utilities. WSW does not need any permits from local authorities.
6. Attached hereto and made a part of this Application are the following:

Exhibit "A" Necessary Construction Letter dated May 17, 2018 from Steve Eden, Mgr.
Exhibit "B" Description of where construction will take place—total of 2 pages

Exhibit "C" Plans for new construction
Exhibit "D" Specifications for new construction—total of 3 pages
Exhibit "E" Drawings for new construction—total of 2 pages
Exhibit "F" Engineering plans & drawings w/engineering certificate—total of 6 pages

Wherefore, applicant asks that the Public Service Commission of the Commonwealth of Kentucky issue a Certificate of Public Convenience and Necessity authorizing the construction of a storage building. A motion is also made to request an expedited decision on this application as the WSW needs to build this storage facility this year to protect its vehicles and equipment.

COMMONWEALTH OF KENTUCKY
COUNTY OF SHELBY

Steve Eden, after first being duly sworn, deposes and says: that he is the Manager of West Shelby Water District; that he has read the foregoing Application and knows the contents thereof; that the same is true of his knowledge except as to such matters as are therein stated on information or belief and as to those matters he believes to be true.


This 19 day of June, 2018.

WEST SHELBY WATER DISTRICT

BY: 

Steve Eden, Manager

Subscribed and sworn to before me by Steve Eden, Manager, this 19 day of June, 2018.




Notary Public, Kentucky Stater at Large

My Commission Expires: 12-18-2021

589967

This application prepared by
James Hite Hays, Attorney for WSW
521 Main Street
Shelbyville KY 40065





West Shelby Water District

Ray Larmee,
Chairman

Raymond Williams,
Secretary

Ben Quinn, Jr.
Treasurer

7101 Shelbyville Rd.

P.O. Box 39

Simpsonville, KY 40067

(502) 722-8944

State Relay TDD (800) 648-6057

E-mail: seden@westshelbywater.org

Steve Eden,
Manager

Lisa M. Didier,
Executive
Administrator

May 17, 2018

Reference: Certificate of Public Convenience and Necessity (KRS 278.020) for proposed construction of a new storage building for West Shelby Water District

Dear Public Service Commission:

West Shelby Water District will be selling our existing maintenance building at 7101 Shelbyville Rd in Simpsonville Ky. We have occupied this space for 21 years and due to the growth of our District from 800 to 2000 customers over this time span, we are lacking space to adequately serve our district and store our equipment. Please review the following points as follows:

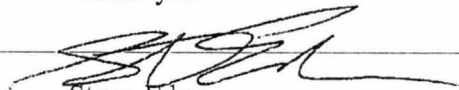
1. West Shelby already has existing property a 492 Third Street which we have owned for almost 20 years. This tract is 2 acres and site work was done 10 years ago at this property to construct a new building.
2. We will take the proceeds of selling our existing building at 7101 Shelbyville Rd to pay for new construction of new building.
3. The construction of this building will not affect our rates or have to borrow money to construct.
4. I will attach to this letter a copy of the two bids that were taken to show cost of construction for new building
5. Also attached will be a copy of our appraisal from 7101 Shelbyville Rd to demonstrate how we will generate funds to pay for the cost of new Maintenance building

Equal Opportunity Employer and Provider

6. West Shelby Water District will not have any storage space for equipment once we sell our existing building and would like to have something constructed by November of this year to avoid our equipment setting out in implement weather.

After review of our request, please advise us on how to proceed. I have not been through this process before on Needs of Necessity so forgive my ignorance. You can contact me at 502-722-8944 or email me at seden@westshelbywater.org.

Thank you



Steve Eden
Manager
West Shelby Water District

Equal Opportunity Employer and Provider

APPRAISAL REPORT

**7101 Shelbyville Road
Simpsonville, Shelby County, Kentucky 40067**



For:

**West Shelby Water District
P.O. Box 39
Simpsonville, Shelby County, Kentucky 40067
Attn. Ms. Lisa M. Didier**

**GALLOWAY APPRAISAL
RONNIE L. GALLOWAY, MAI
2525 NELSON MILLER PARKWAY
SUITE 101
LOUISVILLE, KENTUCKY 40223**



GALLOWAY APPRAISAL
Real Estate Counselors & Appraisers

Offices Located In:
Louisville, KY
Lexington, KY

-- Since 1969 --

October 10, 2015

West Shelby Water District
P.O. Box 39
Simpsonville, Shelby County, Kentucky 40067
Attn. Ms. Lisa M. Didier

Re: 7101 Shelbyville Road
P.V.A. Parcel #015A-11-001, Deed Book 329, Page 249
Simpsonville, Shelby County, Kentucky, 40067

Dear Ms. Didier:

As requested, we have personally inspected the site and prepared an Appraisal Report of the commercial property located at 7101 Shelbyville Road, Simpsonville, Shelby County, Kentucky 40065. The purpose of the appraisal is to conclude an opinion of the market value of the property described herein based upon market conditions prevailing on October 5, 2015, the date of the physical site visit.

This report is intended for use only by West Shelby Water District, Attn. Ms. Lisa M. Didier, to serve as a benchmark in decisions involving an opinion of market value in conjunction with their internal use. This report is not intended for any other use or by others than the stated client.

The scope of work defined for this appraisal includes a physical site visit, the use of information from on site observations, property owners, Shelby County Property Valuation Administrator's Office (PVA), and other publicly available information. The opinion of market value provided in this report is determined through the Sales Comparison Approach and is supported by a Highest and Best Use analysis as established from observations made from the subject neighborhood. The scope of work, as described, provides adequate and reliable findings for the purpose of this appraisal.

This is an Appraisal Report which is intended to comply with the reporting requirements set forth under Standards Rule 2-2(a) of the Uniform Standards of Professional Appraisal Practice for an Appraisal Report. The appraiser is not responsible for unauthorized use of this report.

This transmittal letter is followed by the certification of the appraisal and the appraisal report, further describing the subject property and containing a summation of the reasoning and pertinent data lending to the opinion of value. Your attention is directed to the "General Underlying Assumptions" and "Limiting Conditions" which are considered usual of the type of assignment and have been included following the certification of the appraisal.

Sincerely,

Galloway Appraisal

PRINCIPAL OFFICE

2525 Nelson Miller Parkway • Suite 101 • Louisville, Kentucky 40223 • (502) 589-4976 • FAX (502) 585-3778

CERTIFICATION AND FINAL VALUE ESTIMATE: I certify that, to the best of my knowledge and belief

1. The statements of fact contained in this appraisal report are true and correct.
2. The use of this report is subject to the requirements of the Appraisal Institute relating to review by its duly authorized representatives.
3. The reported analyses, opinions and conclusions are limited only by the reported assumptions and limiting conditions, and is my personal, impartial and unbiased professional analyses, opinions and conclusions.
4. I have no present or prospective interest in the property that is the subject of this report and no personal interest with respect to the parties involved.
5. I have no bias with respect to the property that is the subject of this report or to the parties involved with this assignment.
6. My engagement in this assignment is not contingent upon developing or reporting predetermined results.
7. My compensation for completing this assignment is not contingent upon the development or reporting of a predetermined value or direction in value that favors the cause of the client, the amount of the value opinion, the attainment of a stipulated result or the occurrence of a subsequent event directly related to the intended use of this appraisal.
8. My analyses, opinions and conclusions are developed, and this report has been prepared, in conformity with the Uniform Standards of Professional Appraisal Practice.
9. The reported analyses, opinions, and conclusions were developed, and this report has been prepared, in conformity with the requirements of the Code of Professional Ethics and Standards of Professional Appraisal Practice of the Appraisal Institute.
10. Galloway Appraisal has performed no services, as an appraiser or in any other capacity, regarding the property that is the subject of this report within the three-year period immediately preceding acceptance of this assignment.
11. Roger Galloway, Kentucky Certified General Appraiser #004342, performed the following functions on this appraisal report: 1) inspected property, 2) researched all comparables, and 3) wrote the unedited written appraisal.
12. Ronnie L. Galloway did not inspect the subject property, but assisted in a review capacity in concluding a value estimate.
13. As of the date of this report, Ronnie L. Galloway has completed the continuing education program of the Appraisal Institute.
14. No one else provided significant professional assistance to the persons signing this report.

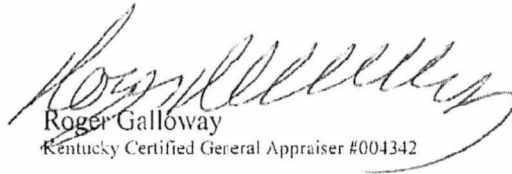
Taking into consideration all of the pertinent factors which affect value, it is the recommendation of this report that the market value of the subject property **Fee Simple Title** is as follows:

As of October 5, 2015

*** * * TWO HUNDRED FORTY THOUSAND DOLLARS * * ***
(\$240,000)



Ronnie L. Galloway, MAI
Kentucky Certified General Appraiser #000002



Roger Galloway
Kentucky Certified General Appraiser #004342

HAYS LAW OFFICE
521 MAIN ST.
P. O. BOX 88
SHELBYVILLE, KENTUCKY
40066-0088
TEL (502) 633-3534
FAX (502) 633-3577

PARCEL NO. 1:

Situated in Shelby County, Kentucky, and thus described:

Beginning at a ½" rebar with ID cap stamped 2269 set this survey in the East right of way of Todds Point Road corner to the property conveyed to Timothy L. Pearce and Annette Pearce by deed book 383 page 339, said point being located 205.8 feet (as measured along said road right of way) south of the intersection of the south line of Grand Central Drive with the east right of way of Todds Point Road; thence along the east right of way of Todds Point Road (25 feet from and parallel to the center of road) S 05 degrees 04 minutes 05 seconds W 124.32 feet to an existing rebar with cap stamped 221 corner to the Leggett Partners, L.P. property. Thence leaving road right of way and along the line of the Leggett Partners, L.P. property N 89 degrees 45 minutes W passing through a round metal fence post at 11.2 feet-in all 575.33 feet to a ½" rebar with ID cap stamped 2269 set this survey and N 01 degrees 15 minutes E 123.90 feet to a ½" rebar with ID cap stamped 2269 set this survey at the base of a wood post corner to the Timothy L. Pearce and Annette E. Pearce property. Thence with the line of the Timothy L. Pearce and Annette E. Pearce property (see DB 383 Pg 339) S 89 degrees 45 minutes E 583.61 feet to the point of beginning and containing 1.65 acres according to a survey made by Charles B. Moody, PLS 2269, with McGinnis & Associates on September 23, 2003. (See copy of survey drawing attached)

PARCEL NO. 2:

BEGINNING AT AN EXISTING ½" REBAR CAPPED #221 IN THE WEST 50' FT. RIGHT OF WAY OF TODD'S POINT RD. AND BEING CORNER TO WEST SHELBY WATER DISTRICT (DEED BOOK 445 PAGE 701); THENCE, LEAVING SAID RIGHT-OF-WAY AND WITH A NEW LINE OF LEGGETT PARTNERS LP S76°34'08"W 126.84 FT. TO A SET 18" NO. 4 REBAR CAPPED "BROWN 3759"; THENCE N89°45'00"W 452.61 FT. TO A SET 18" No. 4 REBAR CAPPED "BROWN 3759"; THENCE N01°15'00" E 30.00 FT. TO AN EXISTING ½" REBAR CAPPED #2269 CORNER TO WEST SHELBY WATER DISTRICT (DEED BOOK 445 PAGE 701); THENCE, WITH WEST SHELBY, S89°45'00"E 575.33 FT. TO THE POINT-OF-BEGINNING CONTAINING 0.3540 ACRES AS SURVEYED BY WILLIAM T. BROWN, PLS #3759, WITH CENTERLINE SURVEYING, LLC, ON 2-13-2008 AND BEING PART OF THE SAME PROPERTY CONVEYED TO LEGGETT PARTNERS, L.P. BY LEGETT & PLATT, INC. BY DEED DATED 03-18-1997 AND RECORDED IN DEED BOOK 335 PAGE 573 IN THE RECORDS OF SHELBY COUNTY, KENTUCKY.

SHELBY COUNTY
D445 PG 704

LAND SURVEYORS CERTIFICATE

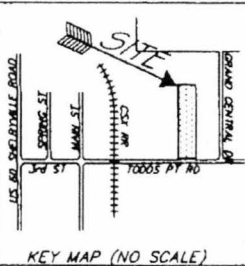
I HEREBY CERTIFY THAT THIS SURVEY AND PLAT WERE MADE UNDER MY DIRECT SUPERVISION AND THAT THE ANGULAR AND LINEAR MEASUREMENTS AS WITNESSED BY MONUMENTS SHOWN HEREON SUBSTANTIALLY MEET MINIMUM REQUIREMENTS FOR LAND SURVEYORS, SUBJECT TO THE NOTES SHOWN HEREON.

DATE: Sept. 23, 2003
PLS 2269

STATE OF KENTUCKY
JAMES H. HARRIS
LICENSED LAND SURVEYOR
No. 2269

SURVEY NOTES:

THIS SURVEY WAS MADE USING THE RANDOM TRAVERSE METHOD. THE UNADJUSTED CLOSURE SUBSTANTIALLY MEETS REQUIREMENTS FOR LAND SURVEYORS. BEARINGS AND DISTANCES HAVE NOT BEEN ADJUSTED FOR CLOSURE. BEARINGS ARE ASSUMED. 1/2" REBAR WITH ID CAP STAMPED 2269 SET AT NEW DIVISION CORNERS. TITLE REPORT NOT FURNISHED, PROPERTY MAY BE SUBJECT TO UTILITIES, EASEMENTS AND OTHER MATTERS NOT SHOWN HEREON. NO ATTEMPT WAS MADE TO LOCATE UTILITY LINES AND EASEMENTS OTHER THAN AS SHOWN HEREON. ALL LOCATIONS OF EXISTING UTILITIES AND EASEMENTS ARE APPROXIMATE. CONTACT THE APPROPRIATE UTILITY COMPANY FOR AN ACCURATE LOCATION OF UTILITY LINE AND EASEMENT LIMITS. CONTACT B.U.D. AT 1-800-752-6007, TOLL FREE, FOR AN ACCURATE LOCATION OF SELECTED UTILITY LINES. THE PURPOSE OF THIS SURVEY AND PLAT IS TO DESCRIBE THE PROPERTY BOUNDARY AND AREA OF THE TRACT(S) SHOWN HEREON. THIS IS A CLASS A SURVEY. FIELD WORK COMPLETED SEPT. 23, 2003.



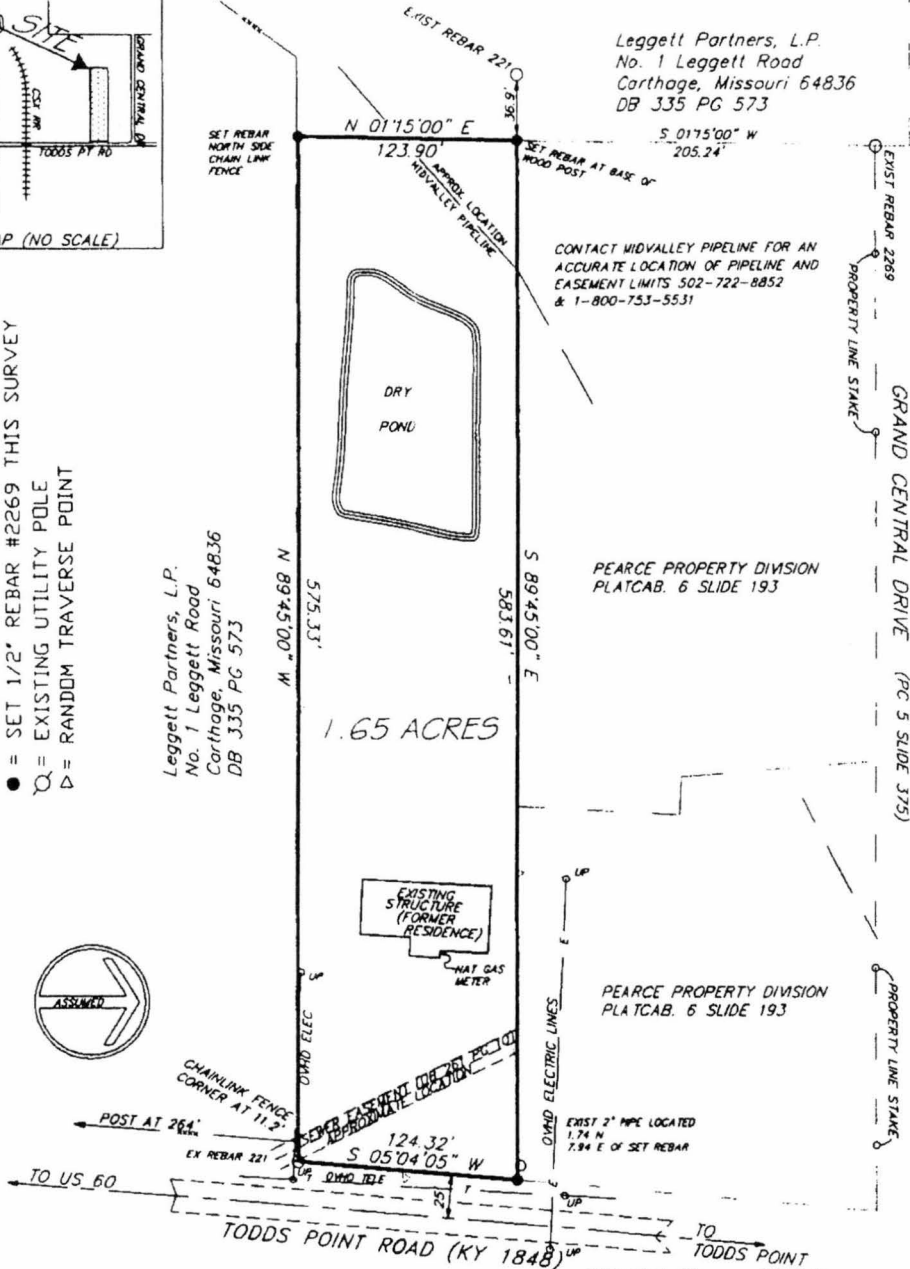
LEGEND:
O = EXISTING MONUMENT AS NOTED
● = SET 1/2" REBAR #2269 THIS SURVEY
Q = EXISTING UTILITY POLE
Δ = RANDOM TRAVERSE POINT

Scale: 1" = 80'



Leggett Partners, L.P.
No. 1 Leggett Road
Corthage, Missouri 64836
DB 335 PG 573

1.65 ACRES



DOCUMENT NO: 249815
RECORDED ON: OCTOBER 22, 2003 11:19:52AM
TOTAL FEES: \$14.00
TRANSFER TAX & ASSOCIATED: \$76.00
COUNTY CLERK: SUE CAROLE PERRY
COUNTY and Boulevards: SHELBY COUNTY #24
DEPUTY CLERK: SUE CAROLE PERRY
(502) 633-5100

DRAWN BY: CBM
DATE: SEPT. 23, 2003
SCALE: 1" = 80'
SOURCE: DB. 366 PG 555

SURVEY FOR:
WEST SHELBY WATER DISTRICT
7101 SHELBYVILLE ROAD
SIMPSONVILLE, KY. 40067
PROPERTY OWNER:
SHELBY PROPERTIES, LLC
6535 SHELBYVILLE ROAD
SIMPSONVILLE, KY. 40067

BOOK D445 PAGES 781 - 784

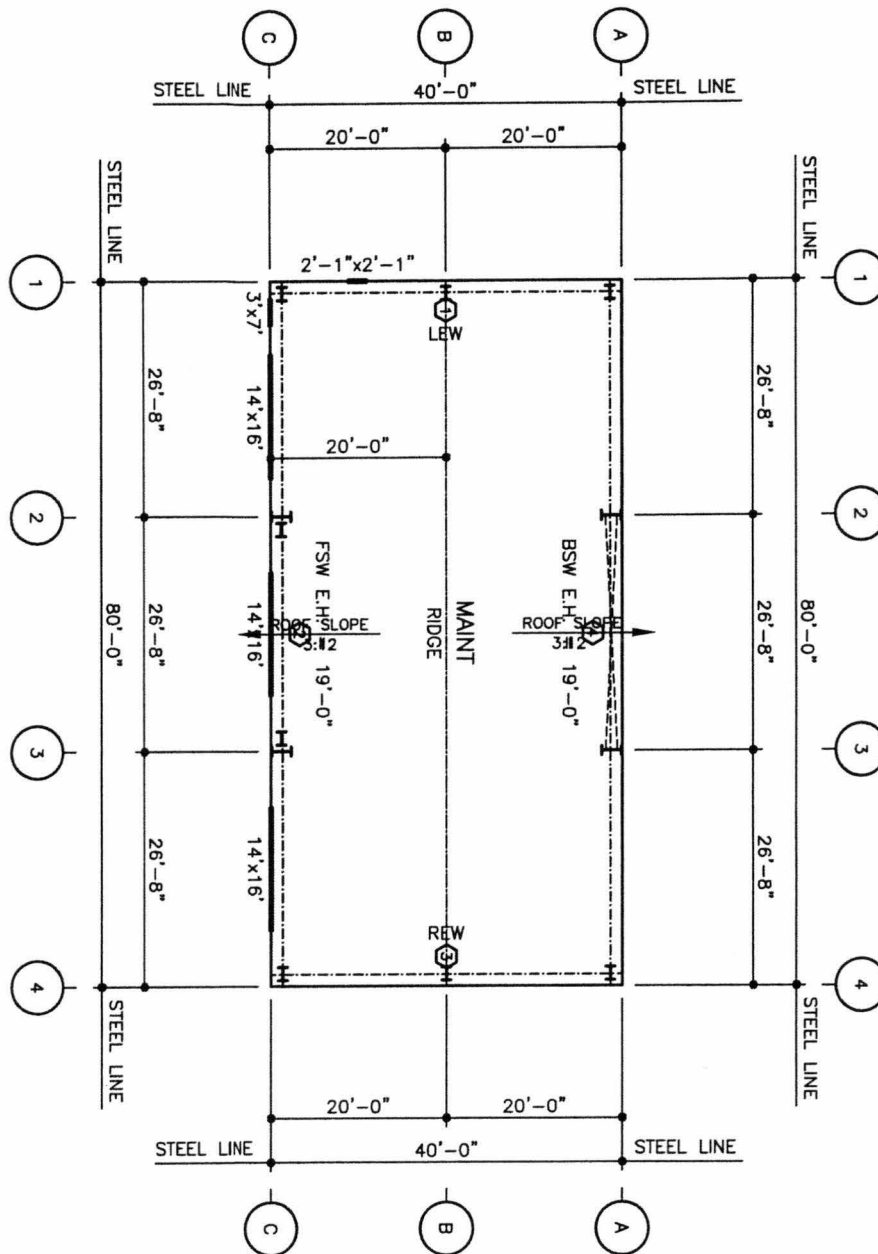


EXHIBIT C

WALL LINER PANEL SCHEDULE

QTY	LINER TYPE	DIST. FROM LEFT BOTTOM OF PANEL AFT TOP OF PANEL AFT	LENGTH
1	FULL WIDTH	0'-0"	14'-0"
2	FULL WIDTH	0'-0"	14'-0"
3	FULL WIDTH	0'-0"	14'-0"
4	FULL WIDTH	0'-0"	14'-0"

DO NOT USE FOR FINAL CONSTRUCTION		PROJECT NAME: WEST SHELBY SIMPSONVILLE, KY	
SHEET TITLE: PRELIMINARY FLOOR PLAN		CUSTOMER NAME: R E PURNELL CONSTRUCTION SHELBYVILLE, KY	
SHEET NUMBER: FP1	QUOTE NUMBER: SOF-18045		



Proposal, West Shelby Water District Maintenance Building

Concrete:

8" Grade Beam, 4000PSI
6" Slab, 4000PSI with Tuff Strand
Footer 3' x 3' x 1' @ Piers
15' x 80' Apron

Building:

40' x 80' x 19' 3/12 Pitch PEMB
3-14' x 16' Front Opening with insulated doors, with manual operators
1 - 3' x 7' Main Door
1 - 14' White Liner Panel
1- 2' x 2' Frame' Opening with Exhaust Fan
26 Gauge Painted siding
26 Gauge Galvalume Roof
Gutters and Downspouts

Insulation:

Walls R-19 - WMP - VRR
Roof R-30 Skyliner System Banded

Electric:

240 Volt 200 Amp single phase service
Three (3) Outlets for Door Opener
Four (4) Hi-bay LED Fixture
Four (4) Hi-bay LED fixture installation
Three (3) 33 watt Exterior Wall Packs with photo cell
Three (3) 33 watt Exterior Wall Packs with photo cell installation
Exit/Emergency Fixture
Exit/Emergency Fixture Installation
Ten (10) Shop plugs
Ceiling Fan opening only
240 Volt 30 Amp Circuit for Air Compressor

Electric cont'd:

- 240 Volt 30 Amp Circuit for Water Heater
- Temp Pole Installation
- Six (6) Single Pole Switches
- Eight (8) Office plugs
- Two (2) 2 x 4 Four Bulb lay-in fixture with 4 LED Bulbs
- Two (2) 2 x 4 Four Bulb lay-in fixture with 4 LED Bulbs installation
- 24" Exhaust fan and installation
- Administrative/Overhead

Plumbing:

- Plans and Permits
- Plumbing for Water Closets
- Plumbing for Bathroom Sink
- Plumbing and installation of Shower
- Supply and install 40 Gallon Electric Water Heater
- Install Gas Main from meter on building to Furnace

- 1 Mansfield Ada Elongated Toilet
- 1 Lucern wall Hung Sink
- 1 Five Foot Fiberglass Shower
- 1 Delta Single Handle Faucet
- 1 Delta Single Handle Delta Shower Valve

Water Service: Water will be stubbed out of building five (5) Feet. Cost of water service to be determined at later date.

Sewer Line: Sewer line stubbed out of building two (2) Feet. Cost of sewer to be determined at later date.

Doors:

- Three (3) Clopay Insulated Sectional Door, White, no windows

Office:

- Office and Bathroom to each be 12 x 12 x 8'.
- Wood Frame. Drywall exterior and interiors.

Office Cont'd:

Pre-Hung Wood Doors
Painted interior and exterior
Floor: Concrete, bare finish
Ceiling: 2 x 4 Drop Ceiling

Base Price \$218,883.00 includes fan allowance of \$4000
(Excludes sales tax and permits)

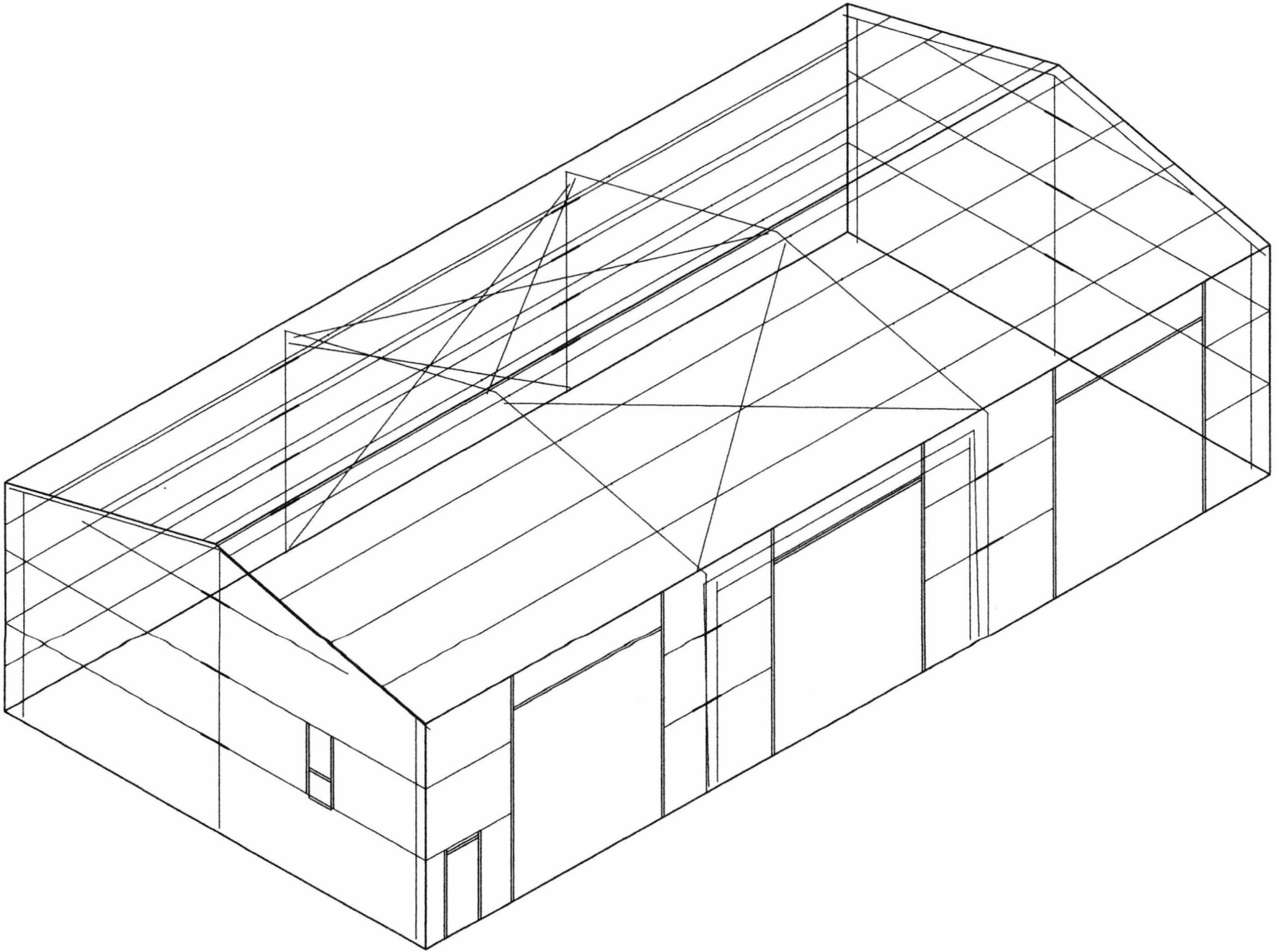
(Alternate 1: Add for Electric Openers \$4,750.00)

Bid submitted this 17th day of May, 2018.


Robert E. Purnell, Jr.



EXHIBIT E



NUCOR

BUILDING SYSTEMS

200 Whetstone Rd
Swansea, SC 29160
www.NucorBuildingSystems.com

PH: 803/568-2100
FAX: 803/568-2121

LETTER OF TRANSMITTAL

Project No: S18F0391A
To: RE Purnell Construction
429 Haven Hill Rd.
Shelbyville, KY 40065

Project Name: West Shelby
Date: 6/6/2018
Attn: Rob Purnell
(502) 647-1466

Drawings have been e-mailed to the following in .pdf format:

E-mail address: rep@reprents.com

We are sending you the following items:

☒ Prints ☐ Other: _____
Sent Via: ☐ Ground ☐ Overnight-Standard
☐ Other ☐ Overnight-Priority

Customer **Must** Receive By: 6/7/2018

	DESCRIPTION
	Anchor Bolt Plan(s) - Sheets: C1, F1, F2, R1
	Column Base Reactions
	Approval Drawing Set - Sheets:
	Confirmation Drawing Set - Sheets:
	Permit Drawing Set - Sheets:
	Design Calculations
	Erection Drawing Set - Sheets:
	Bill Of Materials List
1	Letter Of Design Certification
	Revised Anchor Bolt Plan(s) - Sheets:

MAILED
JUN 06 2018

☐ APPROVAL ☐ CRANE CONFIRMATION ☐ FOR PROGRESS
☐ MEZZANINE CONFIRMATION ☐ RTU CONFIRMATION ☐ FOR PERMIT
☐ HANGAR CONFIRMATION

☐ Final detailing and fabrication **HAVE NOT BEEN** scheduled. Your price is protected based on the must ship date shown on the order contract. Please return the approved drawings no later than _____ so we can begin final detailing and determine a delivery schedule. If the drawings are not returned by this date, the schedule and price will be subject to change.

☐ Final detailing and fabrication **HAVE BEEN** scheduled. Your price is protected based on the must ship date shown on the order contract. Please return the approved drawings no later than _____ so we can begin final detailing and determine a delivery schedule. If the drawings are not returned by this date, the schedule and price will be subject to change.

☐ Final detailing and fabrication have been scheduled. Changes or alterations to the building may cause the schedule and/or price to be subject to change.
☐ Final detailing has been scheduled. Changes or alterations to the building may cause the price to be subject to change. **FABRICATION HAS NOT BEEN SCHEDULED.**

☒ **FOR ERECTION (A. BOLTS)**

Final detailing and fabrication have been scheduled. Changes or alterations to the building may cause the schedule and/or price to be subject to change.

☐ **FOR PRELIMINARY USE ONLY**
Joist Bridging Information to follow

☐ **FOR PRELIMINARY USE ONLY**

Remarks: _____

Copy To: File
Dtlr: JMT Eng: JL

Signed: Glen Vandekerkhove
Proj. Coordinator: ATS

EXHIBIT **F** **1**

200 Whetstone Road
Swansea, SC 29160

Ph: (803) 568-2100
Fax: (803) 568-2121

June 6, 2018

R E Purnell Construction
429 Haven Hill Road
Shelbyville, KY 40065

Project Name: west shelby
Buildings: A->40'-0"x80'-0"x19'-6"(RCG,3.0:12)

Attn: Rob Purnell

Project Location: Simpsonville, KY 40067

NBS Project #: S18F0391A

This Letter of Design Certification ensures that the materials supplied by Nucor Buildings Group are designed in accordance with the information specified to NBS on the order documents and summarized by the loading information listed below. The Project Engineer of Record (not Nucor Buildings Group) is responsible for verifying that the building code and design loads meet any and all applicable local requirements.

The Professional Engineer whose seal appears on this Letter of Certification is employed by Nucor Buildings Group, a Member of MBMA, and does not serve as or represent the Engineer of Record for this project and shall not be construed as such.

DESIGN LOAD CRITERIA:

Structural Loads Applied in General Accordance with: Kentucky (KYBC 2013)
Risk Category: II - Standard Buildings

PROJECT-WIDE LOADING INFORMATION:

Ground Snow Load: 15.0 psf Snow Exposure Factor, C_e : 1.00 Snow Imp. Factor, I_s : 1.00
Roof Live Load: 20.0 psf Reducible As Per Code.
Ultimate Design Wind Velocity: 115 mph Nominal Design Wind Velocity: 89 mph
***Components & Cladding Pressures: 31 psf/ -42 psf
Is Roof to meet UL 90 Requirements?: No Wind Exposure: C
Seismic Criteria: S_s : 0.221 S_1 : 0.095 • No ground snow included in seismic calculations.
Design S_d / S_d1 : 0.236/0.152 Analysis Procedure: Equiv. Lat. Force Procedure
Seis. Imp. Factor, I_e : 1.00 Basic SFRS: Not Detailed for Seismic
Seis. Design Category: C Site Class: D

BUILDING-SPECIFIC LOADING INFORMATION:

Bldg	Roof Dead (psf)*	Collateral Dead		Snow Coefficient		Snow Load (psf)		Wind		Seismic		
		Pri (psf)	Sec (psf)	Ct	Cs	Ps (psf)	**Pm (psf)	Enclosure	GCpi	R	Cs	V (kips)
A	3.0	2.0	2.0	1.1	0.93	10.77	15.00	Enclosed	± 0.18	3.00	0.079	2.2

*Primary Structural Not Included

** P_m is based on the minimum roof snow load calculated per building code or the contract-specified roof snow load, whichever is greater. This value, P_m , is only applied in combination with Dead and Collateral Loads. Roof Snow in other loading conditions is determined per the specified Building Code.

***Design wind pressures to be used for wall exterior component and cladding materials not provided by Nucor Building Systems.

Mezzanine Information:

Floor Dead Load: N/A

Floor Collateral Load: N/A

Floor Live Load: N/A

Crane Information:

No cranes on building.

Roof-Top Unit Information

No roof-top units on building.

The design of structural members supporting roof gravity loads is controlled by the more critical effect of roof live load or roof snow applied in accordance with the governing building code.

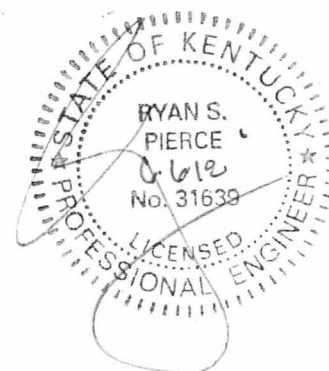
DESIGN STANDARDS REFERENCED:

- AISC Specification for Structural Steel Buildings - Steel Construction Manual, 14th Edition, © 2010.
- AISI North-American Specification for the Design of Cold-Formed Steel Structures, © 2007 Edition w/2010 Supplement.
- IBC codes are designed in accordance with ASCE7-10 Edition.
- MBMA Low Rise Building Systems Manual, Latest Edition.
- No buyout structural components provided on this project.
- AWS Latest Edition of Structural Welding Code.



Excellence from the ground up

EXHIBIT F 2





1) The general contractor and/or erector is responsible to safety and properly erect the metal building system in conformance with these drawings, OSHA requirements and all applicable building system in conformance with these drawings, OSHA requirements and either MIMA or CSA S16 standards pertaining to proper erection. This includes, but is not limited to, the correct use of temporary guys and bracing where needed for squaring, plumbing, and securing the structural and secondary framing. Secondary wall framing members (girts or bar joists) are not designed to function as a work platform or provide safety tie-off attachment in accordance with OSHA requirements. Secondary roof framing members (purlins or bar joists) are not designed to provide safety tie-off attachment in accordance with OSHA requirements.

- 2) **A325 & A490 Bolt Tightening requirements:**
It is the responsibility of the erector to ensure proper bolt tightness in accordance with applicable regulations. See the RCSC Specification for Structural Joints Using A325 or A490 Bolts for more information.
- The following criteria may be used to determine the bolt tightness (i.e., "snug-tight" or "fully-prestensioned"), unless required otherwise by local jurisdiction or contract requirements:
- a) All A490 bolts shall be "fully-prestensioned".

The following criteria may be used to determine the bolt tightness (i.e., "snug-tight" or "fully-pre-tensioned"), unless required otherwise by local jurisdiction or contract requirements:

- A) All A190 bolts shall be "fully-pre-tensioned".
- B) All A325 bolts in primary framing (rigid frames and bracing) may be "snug-tight", except as follows:

- Full Penetration A325 bolts
 - a) Building is a cross braced system with a capacity greater than 5 tons
 - b) Building supports machine that creates vibration, impact or stress-reversals on the connections. The Engineer-of-Record for the project should be consulted to evaluate for this condition.
 - c) The project site is located in "D", "E", or "F" zone. For "D" and "E" zones, a high seismic risk is defined as per "Seismic Design Category" of "D", "E", or "F". See the Building Code's definition of seismic risk for the seismic design category for this project.
- d) Any connection designated in these drawings on "A325-SC" (Seismic Critical) connections shall be full penetration, all or other materials that reduce friction on contact surfaces. Connections or lightly loaded connections may be bolted.
- e) In Canada, all A325 and A490 bolts shall be "fully pre-tensioned", except for secondary members (girders, girts, opening framing, etc.) and flange braces. Secondary members may be "snug-tight", unless indicated otherwise in these drawings.

- | | | | | | | | | | | | | | | | | | | | | | | | | | | |
|------------------|---|---|-----------------------|------------------|--|--|---|---|---|---------------|---|--------------------------|---|-----------------------|---|-------------------------|---|----------------|---|----------------------------------|---|----------------------|---|---------------|---|-----------------|
| 7 | The metal building supplier shall be notified prior to any field modifications. | | | | | | | | | | | | | | | | | | | | | | | | | |
| 8 | All modifications must be approved by the metal building supplier before work can be undertaken. | | | | | | | | | | | | | | | | | | | | | | | | | |
| 9 | <table border="0"> <tr> <td colspan="2">C. Abbreviations</td> <td></td> </tr> <tr> <td>1</td> <td>TPY UNO – Typical Unusual Noted Otherwise</td> <td>1</td> <td>SIM – Similar</td> </tr> <tr> <td>2</td> <td>LSV – Short Leg Vertical</td> <td>2</td> <td>SC – Similar Contract</td> </tr> <tr> <td>3</td> <td>LSV – Long Leg Vertical</td> <td>3</td> <td>SL – Same Line</td> </tr> <tr> <td>4</td> <td>NS & FS – Near Side and Far Side</td> <td>4</td> <td>N/A – Not Applicable</td> </tr> <tr> <td>5</td> <td>General Notes</td> <td>5</td> <td>Supp – Supplier</td> </tr> </table> | | | C. Abbreviations | | | 1 | TPY UNO – Typical Unusual Noted Otherwise | 1 | SIM – Similar | 2 | LSV – Short Leg Vertical | 2 | SC – Similar Contract | 3 | LSV – Long Leg Vertical | 3 | SL – Same Line | 4 | NS & FS – Near Side and Far Side | 4 | N/A – Not Applicable | 5 | General Notes | 5 | Supp – Supplier |
| C. Abbreviations | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 1 | TPY UNO – Typical Unusual Noted Otherwise | 1 | SIM – Similar | | | | | | | | | | | | | | | | | | | | | | | |
| 2 | LSV – Short Leg Vertical | 2 | SC – Similar Contract | | | | | | | | | | | | | | | | | | | | | | | |
| 3 | LSV – Long Leg Vertical | 3 | SL – Same Line | | | | | | | | | | | | | | | | | | | | | | | |
| 4 | NS & FS – Near Side and Far Side | 4 | N/A – Not Applicable | | | | | | | | | | | | | | | | | | | | | | | |
| 5 | General Notes | 5 | Supp – Supplier | | | | | | | | | | | | | | | | | | | | | | | |
| 10 | Connection bolts shall not be placed on any structural steel framework unless specified. | | | | | | | | | | | | | | | | | | | | | | | | | |
| 11 | Purins and girts shall not be used as an anchorage point for a fall arrest system. | | | | | | | | | | | | | | | | | | | | | | | | | |
| 12 | Purins and girts shall not be used as a tie-off point for a fall arrest system. | | | | | | | | | | | | | | | | | | | | | | | | | |
| 13 | Purins may only be used as a walking/working surface when installing safety equipment after permanent bracing has been installed and approved. | | | | | | | | | | | | | | | | | | | | | | | | | |
| 14 | Connection bolts may be placed only within a zone that is within 8 feet of the centerline of the member and within 6 inches of the flange, shall be placed directly over the rigid frames. | | | | | | | | | | | | | | | | | | | | | | | | | |
| 15 | All work shall be done in accordance with all applicable OSHA or MSHA standards and in no case is it acceptable to use structural members supplied by the MBS as a spreader bar. | | | | | | | | | | | | | | | | | | | | | | | | | |

- a) All structural steel angles and welded plate members are designed in accordance with AISI/AS 300 Specifications for Structural Steel Buildings¹ and CAN/CSA S16² Specifications for Steel Structures³ based on the properties of the specified building code.
- b) Cold formed steel is based on either AWS D1.1 "Structural Welding Code - Steel" or CAN/CSA W590 "Welded Steel Construction (Metal Arc Welding)", as required by the specified building code.
- c) Cold formed steel is based on AISI S100⁴ Specifications for Cold Formed Steel⁵ or CAN/CSA S136⁶ Specifications for the Design of Cold Formed Steel Structural Members⁷, as required by the specified building code.
- d) All welding of cold formed steel is based on AWS D1.3 "Structural Welding Code - Sheet Steel" or CAN/CSA W590 "Welded Steel Construction (Metal Arc Welding)", as required by the specified building code.
- e) This Metal Building Supplier facility in IAS AC-472, Accredited Cold Formed Steel Building Supplier, is a member of the Cold Formed Steel Institute and manufacturing of Metal Building Systems.
- f) If joints are included with this project, they supplied as part of the system and are fabricated in accordance with the requirements of Section 1926.75 of the OSHA safety standards for steel erection.

Plate and Flange Material:	A529 Grade 55
5" - 12" Wide, to 1 1/4" Th.	A572 Grade 50
Others	A572 Grade 50
Build-Up Structural Web	A1011 SS (or HS/LAS Class 1) Grade 55
Hot-Rolled Structural	A36 or A572 Grade 50 or A992 Grade 50
Structural Tube	A500 Grade B (48 KS)
Structural Pipe	A500 Grade B (42 KS)
Cold-Formed Structural	A1011 or A1039 SS (or HS/LAS Class 1) or A653 Grade 55
Steel Deck	A792 Grade 80
CR / W16 B Roof Panel	A792 Grade 50, Class 1
All Wall Panel Profiles	A653 Grade 80, Class 1 or A792 Grade 80, Class 1
Close Bracing	A529 Grade 55
Welds	AWS D1.1/D1.3 or CSA W59 per Building Code
High-Strength Bolts	A325 Type 1 or A490 Type 1 Heavy Hex
Bracing	A502 Grade A Hex

TRADEMARK 1998, NUCOR BUILDING SYSTEMS

YES | NO

PRIMARY AND SECONDARY STEEL PRIMER COLOR: RED

ROOF SHEETING, TYPE: Classic 26 GAGE, FINISH: Galvalume

ROOF PANEL CLIP TYPE: ☒ N/A ☐ TALL ☐ SHORT ☐ UTILITY ☐ FIXED ☐ FLOATING

THERMAL BLOCKS: ☐ YES ☐ NO EPS FOAM SPACER: ☐ YES ☐ NO

SEAMING METHOD (FOR CFR ONLY): ☐ ROLL LOCK™
☐ REFER TO THE DETAIL PAGES FOR ADDITIONAL SEAMING INFORMATION ☐ VISE LOCK 360™

COMPOSITE CFR DECK, TYPE: N/A GAGE, FINISH: _____

ROOF LINE TRIM, PAINTED: Fox Gray SP

EXTERIOR WALL SHEETING, TYPE: Reverse Classic 26 GAGE, FINISH: Fox Gray SP

EXTERIOR WALL CORNER TRIM FINISH: Fox Gray SP

EXTERIOR BASE TRIM, PAINTED: Fox Gray SP

FRAMED OPENING TRIM, PAINTED: Fox Gray SP

WALL FRAMED OPENING, SIZES: FSW (3) 14'-0" W x 16'-0" H

BSW none

LEW (1) 2'-1" W x 18'-1", window sill at 16'-0"

REW none

INTERIOR WALL SHEETING, TYPE: Classic 26 GAGE, FINISH: Polar White SP

INTERIOR CEILING LINER, TYPE: N/A GAGE, FINISH: _____

INTERIOR WALL TRIM, PAINTED: Polar White SP

YES I NO

- ☐ DOWNSPOUTS PAINTED: Fox Gray SP GUTTERS PAINTED: Fox Gray SP
- ☒ WALKDOORS, QUANTITY: (1) 3070 PAINTED: Polar White SP
- ☒ WINDOWS: _____ PAINTED: _____
- ☒ INSULATION (NOT BY MBS), ROOF: 3.5 INCH WALLS: 6 INCH
- ☐ ☒ CRANES (SEE CRANE PLAN FOR ADDITIONAL CRANE INFORMATION)
- ☐ ☒ MEZZANINE (SEE MEZZANINE PLAN FOR ADDITIONAL MEZZANINE INFO)
- ☐ ☒ WALL TRANSLUCENT PANELS: _____
- ☐ ☒ ROOF TRANSLUCENT PANELS: _____
- INSULATED PANELS YES ☐ NO ☐
- ☐ ☒ PIPE JACKS, SIZE: _____ QUANTITY: _____
- ☐ ☒ ROOF FRAMED OPENINGS, SEE ROOF FRAMING PLAN FOR SIZES
- ☐ ☒ RIDGE VENTS, 10'-0" LONG X 9" THROAT, QUANTITY: _____

FOR OCCUPANCY CATEGORY I OR II BUILDINGS, IBC ALLOWS FOR SINGLE STORY BUILDINGS TO HAVE NO LIMIT FOR SEISMIC STORY DRIFT. PLEASE NOTE THAT ANY INTERIOR WALLS, PARTITIONS, CEILINGS, AND EXTERIOR WALLS SHOULD BE DETAILED (BY OTHERS) TO ACCOMMODATE THIS STORY DRIFT.

☐ ☒ FASCIA, PROJECTION: _____ TOP OF FASCIA HEIGHT: _____

FACE PANEL, TYPE: _____ GAGE, FINISH: _____

BACK PANEL, TYPE: _____ GAGE, FINISH: _____

CAP TRIM PAINTED: _____ BASE TRIM PAINTED: _____

☐ CLOSED SYSTEM, CLEAR UNDER SOFFIT TRIM:

SOFFIT PANEL, TYPE: _____ GAGE, FINISH: _____

SOFFIT TRIM AT BUILDING LINE PAINTED: _____

☐ OPEN SYSTEM, (NO SOFFIT PANEL PROVIDED)

CLEAR UNDER FASCIA: _____

☐ ☒ PARAPET SYSTEM

☐ STRUCTURAL PARAPET ☐ NON-STRUCTURAL PARAPET

TOP OF PARAPET HEIGHT: _____

BACKER PANEL, TYPE: _____ GAGE, FINISH: _____

☐ ☒ CANOPY, PROJECTION: _____

AT EAVE LINE ☐ BELOW EAVE ☐

ROOF PANEL, TYPE: _____ GAGE, FINISH: _____

SOFFIT PANEL, TYPE: _____ GAGE, FINISH: _____

SOFFIT TRIM AT BUILDING LINE PAINTED: _____

CLEAR UNDER CANOPY BEAM: _____

☐ ☒ EAVE EXTENSION, PROJECTION: _____

SOFFIT PANEL, TYPE: _____ GAGE, FINISH: _____

SOFFIT TRIM AT BUILDING LINE PAINTED: _____

☐ ☒ RAKE EXTENSION, PROJECTION: _____

SOFFIT PANEL, TYPE: _____ GAGE, FINISH: _____

SOFFIT TRIM AT BUILDING LINE PAINTED: _____

☐ ☒ PARTITION WALL SHEETING

PANEL TYPE: _____ GAGE, FINISH: _____

PARTITION WALL TRIM COLOR: _____

☐ ☒ WAINSCOT

WALL PANEL, TYPE: _____ GAGE, FINISH: _____

BASE TRIM PAINTED: _____ JAMB TRIM PAINTED: _____

TRANSITION TRIM PAINTED: _____



DESIGN CODE: KYBC 2013

ROOF LIVE LOAD: 20.00 PSF MBMA OCC. CLASS: II

LIVE LOAD REDUCIBLE Yes

GROUND SNOW LOAD: 15.0 PSF SNOW EXP. FACTOR, Ce: 1.00

SNOW INFORMATION FACTOR, Is: 1.00

WIND: 115 / 89 MPH
(Wind) / (Wind)

***C & C PRESSURES (PSF): 31 / -42

EXPOSURE: C

UL 90 NO

Classic Roof-Const. No. 161; Classic Roof w/ Translucent Panel-Const. No. 114
CFR Roof-Const. No. 552; CFR Roof w/ Translucent Panel-Const. No. 590;
Composite CFR Roof-Const. No. 552A; V116 II Roof-Const. No. 332.

SEISMIC INFORMATION: Se.0221 S1.0.095

Design Sps/Sd1: 0.236 / 0.152 Site Class: C

Seismic Imp. Factor: 1.00 Seismic Design Category: D

Analysis Procedure; Equivalent Lateral Force Method

Basic SFRS; Not Detailed for Seismic

1) CONCENTRATED DEAD LOADS, UNLESS OTHERWISE NOTED, ARE ASSUMED TO BE UNIFORMLY DISTRIBUTED WHEN SUSPENDED SPRINKLER SYSTEMS, LIGHTING, HVAC EQUIPMENT, CEILING, ETC., ARE SUSPENDED FROM ROOF MEMBERS. CONSULT THE M.E.S IF THESE CONCENTRATED LOADS EXCEED 500 POUNDS (USING THE WEB MOUNT DETAIL) OR 200 POUNDS (USING THE FLANGE MOUNT DETAIL), OR IF INDIVIDUAL MEMBERS ARE LOADED SIGNIFICANTLY MORE THAN OTHERS.

2) THE DESIGN OF STRUCTURAL MEMBERS SUPPORTING GRAVITY LOADS IS CONTROLLED BY THE MORE CRITICAL EFFECT OF ROOF LIVE LOAD OR ROOF SNOW LOAD. AS

- 2) THE DESIGN OF STRUCTURAL MEMBERS SUPPORTING GRAVITY LOADS IS CONTROLLED BY THE MORE CRITICAL EFFECT OF ROOF LIVE LOAD OR ROOF SNOW LOAD, AS DETERMINED BY THE APPLICABLE CODE.
- 3) P_m IS BASED ON THE MINIMUM ROOF SNOW LOAD CALCULATED PER BUILDING CODE. THE CONTRACT SPECIFIED SNOW LOAD, WHICHEVER IS GREATER. THIS VALUE, P_m , IS ONLY APPLIED IN COMBINATION WITH THE DEAD AND COLLATERAL LOADS. ROOF SNOW IN OTHER LOADING CONDITIONS IS DETERMINED PER THE SPECIFIED BUILDING CODE.

	BUILDING
ROOF DEAD (PSF)	3.0
PRIL. COL. (PSF)	2.0
SEC. COL. (PSF)	2.0
SNOW C _s	1.1
SNOW C _e	0.93
ROOF SNOW P _s (PSF)	10.77
ROOF SNOW P _m (PSF)	15.00
WIND ENCLOSURE	Closed
GCp _i	≈ 0.11
SEISMIC R _i	3.00
SEISMIC C _s	0.079
BASE SHEAR (KIPS)	2.2

ERECTOR MANUALS REQUIRED (ERECTION MANUALS ARE SHIPPED WITH THE BUILDING IN A WAREHOUSE PACKING CRATE)			
<input type="checkbox"/> CFR ROOF	<input type="checkbox"/> H9700 OR <input type="checkbox"/> H8260	<input type="checkbox"/> SINGLE CURB (H9850)	
<input checked="" type="checkbox"/> CLASSIC ROOF	<input checked="" type="checkbox"/> H9420 OR <input type="checkbox"/> H8201	<input type="checkbox"/> DOUBLE CURB (H9800)	
<input checked="" type="checkbox"/> WALL SHEETING	<input checked="" type="checkbox"/> H9430 OR <input type="checkbox"/> H8300	<input type="checkbox"/> VR16 II (H9925)	

COVERSHEET C1
ANCHOR BOLT DRAWINGS F1, F2
COLUMN BASE REACTIONS R1
STRUCTURAL/SHEETING DRAWINGS _____
DETAILS _____

MAILED
JUN 06 2018

DRAWING INDEX

ISSUE	WORK	LOCK	BY	RE	DATE
CONSTRUCTION ANCHOR BOLTS	MBS	JMT	SL		5/6/18

NUCOR
BUILDING SYSTEMS
305 INDUSTRIAL PARKWAY WESTERLO, IN 46793
PO BOX 1006, 200 WESTSTONE RD, WINDGATE, SC 29160
PHONE: (803) 368-2100 FAX: (803) 368-2121
PHONE: (260) 837-7881 FAX: (260) 837-7384
600 APACHE TRAIL, TERRELL, TX 75160
PHONE: (972) 524-5407 FAX: (972) 524-5417
1050 WATLEY LANE, BROOKHAM CITY, UT 84302
PHONE: (435) 919-3100 FAX: (435) 919-3101

This seal pertains only to the project identified and recorded by the number in the center. It does not certify that the design and construction of the project conforms to the applicable codes and standards. The seal is not valid if the project is not completed within the time period specified in the seal. The seal is not valid if the project is not completed within the time period specified in the seal. The seal is not valid if the project is not completed within the time period specified in the seal.

PROJECT NAME: WEST SHELBY
 PROJECT ADDRESS: D 492 3RD STREET, SIMPSONVILLE, KY 40067
 PROJECT OWNER: R E PURNELL CONSTRUCTION
 PROJECT LOCATION: SHELBYVILLE, KY 40065
 PROJECT NUMBER: 201
 SHEET TITLE: SHEET

01



ANCHOR BOLT SUMMARY

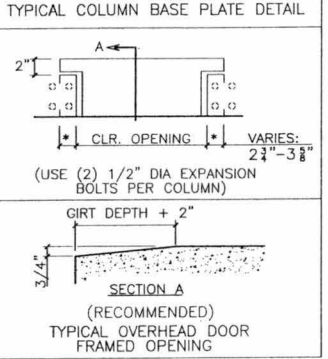
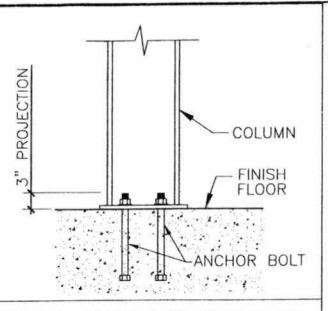
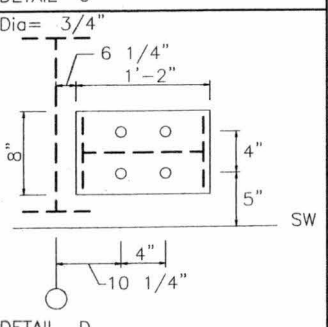
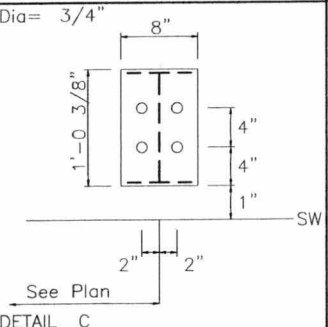
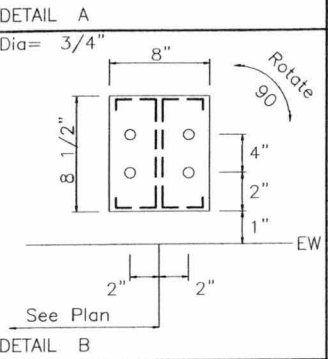
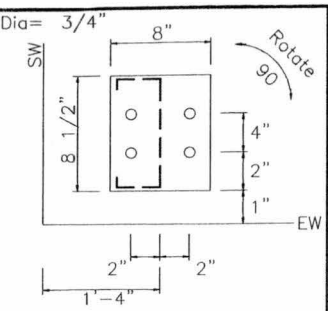
Qty	Locote	Dia (in)	Type	Proj (in)
24	Endwall	3/4"	F1554	3.00
16	Frame	3/4"	F1554	3.00
8	WindCol	3/4"	F1554	3.00

ANCHOR BOLT PLAN

GENERAL NOTES

1. THE SPECIFIED ANCHOR ROD DIAMETER ASSUMES F1554 GRADE 36 UNLESS NOTED OTHERWISE. ANCHOR ROD MATERIAL OF EQUAL DIAMETER MEETING OR EXCEEDING THE STRENGTH REQUIREMENTS SET FORTH ON THESE DRAWINGS MAY BE UTILIZED AT THE DISCRETION OF THE FOUNDATION DESIGN ENGINEER. ANCHOR ROD EMBEDMENT LENGTH SHALL BE DETERMINED BY THE FOUNDATION DESIGN ENGINEER.
2. METAL BUILDING MANUFACTURER IS NOT RESPONSIBLE FOR PROJECT FOUNDATION DESIGN. THE FOUNDATION DESIGN IS THE RESPONSIBILITY OF A REGISTERED PROFESSIONAL ENGINEER, FAMILIAR WITH LOCAL SITE CONDITIONS.
3. ALL ANCHOR RODS, FLAT WASHERS FOR ANCHOR RODS, EXPANSION BOLTS, AS WELL AS ALL CONCRETE/MASONRY EMBEDMENT PLATES ARE NOT BY METAL BUILDING MANUFACTURER.
4. THIS DRAWING IS NOT TO SCALE.
5. FINISHED FLOOR ELEVATION = 100'-0" UNLESS NOTED OTHERWISE.
6. "SINGLE" CEE COLUMNS SHALL BE ORIENTED WITH THE "TOES" TOWARD THE LOW LEAVE UNLESS NOTED OTHERWISE.
7. ANCHOR RODS ARE REQUIRED ONLY IN THE QUANTITIES SPECIFIED. BASEPLATES MAY BE FABRICATED WITH MORE HOLES THAN NEEDED FOR THIS PROJECT.
8. THE ANCHOR BOLT LOCATIONS PROVIDED BY METAL BUILDING MANUFACTURER SATISFY PERTINENT REQUIREMENTS FOR THE DESIGN OF THE MATERIALS SUPPLIED BY THE METAL BUILDING MANUFACTURER. PLEASE NOTE THAT THESE REQUIREMENTS MAY NOT SATISFY ALL ANCHOR BOLT CONCRETE EDGE DISTANCE REQUIREMENTS DEPENDING ON THE DETAILS OF THE FOUNDATION DESIGN.
BECAUSE FOUNDATION DESIGN IS NOT WITHIN THE METAL BUILDING MANUFACTURER'S SCOPE OF WORK, IT IS THE RESPONSIBILITY OF THE QUALIFIED PROFESSIONAL DESIGNING THE FOUNDATION TO MAKE CERTAIN THAT SUFFICIENT CONCRETE EDGE DISTANCE IS PROVIDED FOR THE ANCHOR BOLTS IN THE DETAILS OF THE FOUNDATION DESIGN.

[illegible]



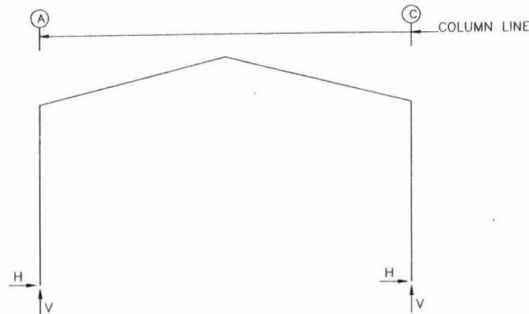
FOUNDATION DESIGN NOTES:

1. THE ORIENTATION OF THE ANCHOR BOLT DETAILS SHOWN ON THIS PAGE MAY NOT COINCIDE WITH THE ACTUAL COLUMN ORIENTATION SHOWN ON PAGE F1. PLEASE REFERENCE THE SIDEWALL (SW) AND ENDWALL (EW) STEEL LINES SHOWN ON THE ANCHOR BOLT DETAILS WITH THE ANCHOR BOLT PLAN ON PAGE F1 DURING LAYOUT OF COLUMN AND ANCHOR BOLT LOCATIONS.
2. COLUMN BASE PLATES MAY HAVE MORE HOLES THAN ARE REQUIRED DUE TO PRODUCTION LIMITATIONS. PLEASE FOLLOW ANCHOR BOLT DETAILS FOR QUANTITY OF ANCHOR BOLTS REQUIRED. EXTRA BASE PLATE HOLES DO NOT NEED INFILLED PER THE MBS DESIGN SPECIFICATIONS.

NUCOR BUILDING SYSTEMS 305 E. COLLETTA, PARKERSBURG, WV 26101 PO BOX 100, 200 WESTSIDE BL, MANASSA, VA 20108 PHONE (800) 321-3427 FAX (800) 321-3427 PHONE (410) 321-3427 FAX (410) 321-3427		PROJECT NAME WEST SHELBY 492 3RD STREET, SIMPSONVILLE, KY 40067 CLIENT NAME RE PURNELL CONSTRUCTION SHELBYVILLE, KY 40065	SHEET TITLE S18F0391A
PROJECT NO. 4793		DATE 6/5/78	SHEET F2 of 2
DESIGNER RYAN S. PIERCE No. 31639		SHEET F2 of 2	

EXHIBIT 5

FRAME LINES: 2 3



RIGID FRAME: ANCHOR BOLTS & BASE PLATES

Frm Line	Col Line	Anc. Qty	Bolt Dia	Base Width	Plate Length	(in) Thick	Elev. (in)
2*	A	4	0.750	8.000	12.38	0.375	0.0
2*	C	4	0.750	8.000	12.38	0.375	0.0

2* Frame lines: 2 3

ENDWALL COLUMN: ANCHOR BOLTS & BASE PLATES

Frm Line	Col Line	Anc. Qty	Bolt Dia	Base Width	Plate Length	(in) Thick	Elev. (in)
1	A	4	0.750	8.000	8.500	0.375	0.0
1	B	4	0.750	8.000	8.500	0.375	0.0
1	C	4	0.750	8.000	8.500	0.375	0.0
4	C	4	0.750	8.000	8.500	0.375	0.0
4	B	4	0.750	8.000	8.500	0.375	0.0
4	A	4	0.750	8.000	8.500	0.375	0.0

GENERAL NOTES

1. ALL LOADING CONDITIONS ARE EXAMINED. THE MAXIMUM AND MINIMUM HORIZONTAL (H) AND VERTICAL (V) REACTIONS AND THE CORRESPONDING VERTICAL (V) OR HORIZONTAL (H) REACTIONS ARE REPORTED.
2. REACTIONS ARE PROVIDED BY LOAD CASE IN ORDER TO AID THE FOUNDATION ENGINEER IN DETERMINING THE APPROPRIATE LOAD FACTORS AND COMBINATION TO BE USED WITH EITHER WORKING STRESS OR ULTIMATE STRENGTH DESIGN METHODS. WIND LOAD CASES ARE GIVEN FOR EACH PRIMARY WIND DIRECTION.
3. FOR ASCE7-10 BASED BUILDING CODES THE UNFACTORED LOAD CASE REACTIONS DUE TO WIND ARE GENERATED USING ULTIMATE DESIGN WIND SPEEDS (Vult).
4. POSITIVE (+) REACTIONS ARE AS SHOWN ABOVE. FOUNDATION LOADS ARE IN OPPOSITE DIRECTIONS.
5. BRACING REACTIONS ARE IN THE PLANE OF THE BRACE WITH THE HORIZONTAL REACTION (H) ACTING AWAY FROM THE BRACED BAY AND THE VERTICAL REACTION (V) ACTING DOWNWARD.

***** RIGID FRAME LOAD CASE ABBREVIATIONS: *****

```
***** RIGID FRAME LOAD CASE ABBREVIATIONS:
Wind_L1/Wind_R1: LATERAL WIND FROM THE LEFT/RIGHT, CASE 1
Wind_L2/Wind_R2: LATERAL WIND FROM THE LEFT/RIGHT, CASE 2
Wind_Ln1/Wind_Ln2: LONGITUDINAL WIND, CASE 1/2
Seismic_L/Seismic_R: LATERAL SEISMIC LOAD FROM LEFT/RIGHT
LWIND#_LFE/LWIND#_RFE: LONGITUDINAL WIND EDGE ZONES
F#UNB_SL_L/F#UNB_SL_R: UNBALANCED ROOF SNOW WITH WIND FROM LEFT/RIGHT
F#PAT_LL_L/F#PAT_LL_R: PARTIAL LIVE/SNOW LOADING FOR CONTINUOUS BEAM SYSTEMS
```

***** ENDWALL COLUMN LOAD CASE ABBREVIATIONS: *****

Collat: COLLATERAL LOAD
 Rafter Wind_L/Rafter Wind_R: LATERAL WIND FROM THE LEFT/RIGHT
 Brace Wind_L/Brace Wind_R: LATERAL WIND FROM THE LEFT/RIGHT
 Wind_P/Wind_S: LONGITUDINAL WIND PRESSURE/SUCTION ON COLUMNS
 Wind_Ln: LONGITUDINAL WIND SUCTION ON ROOF
 Seis_L/Seis_R: LATERAL SEISMIC LOAD FROM LEFT/RIGHT
 E_UNB_LL/E_UNB_SL/E_UNB_SR: UNBALANCED ROOF SNOW WITH WIND FROM LEFT/RIGHT
 E_PAT_LL/E_PAT_SL/E_PAT_SR: PARTIAL LIVE/SNOW LOADING FOR CONTINUOUS BEAM SYSTEMS

RIGID FRAME: BASIC COLUMN REACTIONS (k)

Frame Line	Column Line	Dead		Collateral		Live		Snow		Wind_Left1		Wind_Right1	
		Horiz	Vert	Horiz	Vert	Horiz	Vert	Horiz	Vert	Horiz	Vert	Horiz	Vert
2*	A	0.6	2.3	0.4	1.2	2.1	6.7	1.9	6.0	-9.6	-15.9	5.0	-5.8
2*	C	-0.6	2.3	-0.4	1.2	-2.1	6.7	-1.9	6.0	-5.0	-5.8	9.6	-15.9

Frame Line	Column Line	--Wind_Left2--		-Wind_Right2-		--Wind_Long1-		--Wind_Long2-		-Seismic_Left		Seismic_Right	
		Horiz	Vert	Horiz	Vert	Horiz	Vert	Horiz	Vert	Horiz	Vert	Horiz	Vert
2*	A	-10.7	-10.6	3.9	-0.5	2.1	-11.0	0.9	-9.9	-0.6	-0.6	0.6	0.6
2*	C	-3.9	-0.5	10.7	-10.6	-0.9	-9.9	-2.1	-11.0	-0.6	0.6	0.6	-0.6

Frame Line	Column Line	-MIN_SNOW--		F1UNB_SL_L-		F1UNB_SL_R-	
		Horiz	Vert	Horiz	Vert	Horiz	Vert
2*	A	2.6	8.4	1.6	5.8	1.6	3.5
2*	C	-2.6	8.4	-1.6	3.5	-1.6	5.8

2*	Frame lines:	2 3
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ENDWALL COLUMN: BASIC COLUMN REACTIONS (k)

Frm Line	Col Line	Dead Vert	Collat Vert	Live Vert	Snow Vert	Wind Left1 Vert	Wind Right1 Vert	Wind Left2 Vert	Wind Right2 Vert	Wind Press Horz	Wind Suct Horz	Wind Long1 Vert	Wind Long2 Vert
1	A	0.6	0.3	2.7	1.6	-3.9	-2.7	-2.1	-0.9	-2.4	2.8	-4.1	-2.6
1	B	1.3	0.6	5.1	3.0	-5.7	-6.5	-3.9	-4.7	-5.8	6.4	-5.9	-5.7
1	C	0.6	0.3	2.7	1.6	-3.3	-4.0	-1.7	-2.2	-2.5	2.9	-2.6	-4.3

Frm	Col	Seis Line	Left Vert	Seis Right Vert	-MIN_SNOW-		E1UNB_SL_L-		E1UNB_SL_R-		E1PAT_LL_1-		E1PAT_LL_2-	
					Horz	Vert	Horz	Vert	Horz	Vert	Horz	Vert	Horz	Vert
1	A	0.0	0.1	0.0	2.2	0.0	1.7	0.0	0.5	0.0	2.7	0.0	0.0	
1	B	0.0	-0.1	0.0	4.1	0.0	2.5	0.0	2.5	0.0	2.6	0.0	2.5	
1	C	0.0	0.0	0.0	2.2	0.0	0.5	0.0	1.7	0.0	0.0	0.0	2.7	

Frm	Col	Dead	Collat	Live	Snow	Wind Left1	Wind Right1	Wind Left2	Wind Right2	Wind Press	Wind Suct	Wind Long1	Wind Long2
Line	Line	Vert	Vert	Vert	Vert	Vert	Vert	Vert	Vert	Horz	Horz	Vert	Vert
4	C	0.6	0.3	2.7	1.6	-4.0	-2.7	-2.2	-1.3	-2.5	2.9	-4.1	-2.6
4	B	1.3	0.6	5.1	3.0	-6.5	-6.5	-4.3	-4.3	-5.8	6.4	-5.9	-6.0
4	A	0.6	0.3	2.7	1.6	-2.7	-3.9	-1.3	-2.1	-2.4	2.8	-2.6	-4.1

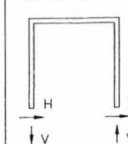
Frm Line	Col Line	Seis Left Vert	Seis Right Vert	-MIN_SNOW- Horz Vert	E2UNB_SL_L- Horz Vert	E2UNB_SL_R- Horz Vert	E2PAT_LL_1- Horz Vert	E2PAT_LL_2- Horz Vert					
4	C	0.0	0.0	0.0	2.2	0.0	1.7	0.0	0.5	0.0	2.7	0.0	0.0
4	B	0.0	0.0	0.0	4.1	0.0	2.5	0.0	2.5	0.0	2.5	0.0	2.6
4	A	0.0	0.0	0.0	2.2	0.0	0.5	0.0	1.6	0.0	0.0	0.0	2.7

BUILDING BRACING REACTIONS

Loc	Wall Line	Col Line	\pm Reactions (k)				Panel Shear (lb/ft)		Note
			Wind Horiz	Seis Vert	Wind Horiz	Seis Vert	Wind	Seis	
L_EW	1	A,B	3.2	3.8	0.5	0.5			(a) (i)
F_SW	C	2,3							
R_EW	4								
B_SW	A	3,2	4.6	3.0	1.2	0.8			

- (a) Wind bent in bay
- (i) Bracing in roof to rigid frame

WIND BENT REACTIONS



Loc	Wall Line	Col Line	Reactions				Bolt Qty	Bolt Dia (in)	Base Plate (in)		Thick
			Wind Horz	Wind Vert	Seismic Horz	Seismic Vert			Width	Length	
F-SW	C	2	2.3	3.4	0.6	0.9	4	0.750	8.000	14.000	0.375
F-SW	C	3	2.3	3.4	0.6	0.9	4	0.750	8.000	14.000	0.375

[illegible]

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PROJECT NAME	WEST SHELBY
492 3RD STREET, SIMPSONVILLE, KY 40067	
CUSTOMER NAME	R E PURNELL CONSTRUCTION
	SHELBYVILLE, KY 40065
JOB NUMBER	S18FD391A
SHEET TITLE	

I, a duly licensed professional engineer, do hereby certify that the foregoing is a true and correct copy of the original as submitted to me by the applicant, and that I am a duly licensed professional engineer in the State of Kentucky.

Signature of Engineer: *[Signature]*
 Date: *[Date]*

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