

**COMMONWEALTH OF KENTUCKY  
BEFORE THE PUBLIC SERVICE COMMISSION**

**RECEIVED**

**AUG 25 2016**

**PUBLIC SERVICE  
COMMISSION**

In the Matter of:

THE APPLICATION OF )  
PI TOWER DEVELOPMENT, LLC )  
AND KENTUCKY RSA NO. 1 )  
PARTNERSHIP d/b/a VERIZON WIRELESS )  
FOR ISSUANCE OF A CERTIFICATE OF PUBLIC )  
CONVENIENCE AND NECESSITY TO CONSTRUCT )  
A WIRELESS COMMUNICATIONS FACILITY )  
IN THE COMMONWEALTH OF KENTUCKY )  
IN THE COUNTY OF MARSHALL )

CASE NO.: 2016-00304

SITE NAME: KY-GILBERTSVILLE – DAM MARINA

\*\*\*\*\*

**APPLICATION FOR  
CERTIFICATE OF PUBLIC CONVENIENCE AND NECESSITY  
FOR CONSTRUCTION OF A WIRELESS COMMUNICATIONS FACILITY**

PI Tower Development LLC, and Kentucky RSA No. 1 Partnership, a Delaware General Partnership, d/b/a Verizon Wireless (“Applicants”), by counsel, pursuant to (i) KRS §§ 278.020, 278.040, 278.650, 278.665, and other statutory authority, and the rules and regulations applicable thereto, and (ii) the Telecommunications Act of 1996, respectfully submit this Application requesting issuance of a Certificate of Public Convenience and Necessity (“CPCN”) from the Kentucky Public Service Commission (“PSC”) to construct, maintain, and operate a Wireless Communications Facility (“WCF”) to serve the customers of Verizon Wireless with wireless communications services.

In support of this Application, Applicant respectfully provides and states the following information:

1. The complete names and addresses of the Applicants are PI Tower Development, LLC, having an address of 7411 Fullerton Street, Suite 110, Jacksonville, FL 32256 and Kentucky RSA No. 1 Partnership, a Delaware general partnership, d/b/a Verizon Wireless, having an address of 2421 Holloway Road, Louisville, KY 40299.

2. Applicants propose construction of an antenna tower for communications services, which is to be located in an area outside the jurisdiction of a planning commission, and Applicants submit this application to the PSC for a certificate of public convenience and necessity pursuant to KRS §§ 278.020(1), 278.040, 278.650, 278.665, and other statutory authority.

3. The Certificate of Authority issued by the Kentucky Secretary of State for PI Tower Development, LLC and the Certificate of Authorization issued by the Kentucky Secretary of State for Verizon Wireless are attached as part of **Exhibit A**. Both Applicants are in good standing in the state in which they are organized and are authorized to transact business in Kentucky.

4. Verizon Wireless operates on frequencies licensed by the Federal Communications Commission ("FCC") pursuant to applicable FCC requirements. A copy of the Verizon Wireless' FCC license to provide wireless services is attached to this Application or described as part of **Exhibit A**, and the facility will be constructed and operated in accordance with applicable FCC regulations. PI Tower Development, LLC will build, own and manage the tower and tower compound where Verizon Wireless will place its equipment building, antennas, radio electronics equipment and appurtenances.

5. The public convenience and necessity require the construction of the

proposed WCF. The construction of the WCF will bring or improve Verizon Wireless' services to an area currently not served or not adequately served by the Applicant by increasing coverage or capacity and thereby enhancing the public's access to innovative and competitive wireless communications services. The WCF will provide a necessary link in Verizon Wireless' communications network that is designed to meet the increasing demands for wireless services in Kentucky's wireless communications service area. The WCF is an integral link in the Verizon Wireless' network design that must be in place to provide adequate coverage to the service area.

6. To address the above-described service needs, Applicants propose to construct a WCF at 364 Sledd Creek Road, Gilbertsville, KY 42044 (36°58'37.27" North latitude, 88°17'10.48" West longitude), on a parcel of land located entirely within the county referenced in the caption of this application. The property on which the WCF will be located is owned by Renia Fehrenbacher pursuant to a Deed recorded at Deed Book 403, Page 127 in the office of the Marshall County Clerk. The proposed WCF will consist of a 188-foot tall tower, with an approximately 3-foot tall lightning arrestor attached at the top, for a total height of 191-feet. The WCF will also include concrete foundations and a shelter or cabinets to accommodate the placement of Verizon Wireless' radio electronics equipment and appurtenant equipment. Verizon Wireless' equipment cabinet or shelter will be approved for use in the Commonwealth of Kentucky by the relevant building inspector. The WCF compound will be fenced and all access gate(s) will be secured. A description of the manner in which the proposed WCF will be constructed is attached as **Exhibit B** and **Exhibit C**.

7. A list of utilities, corporations, or persons with whom the proposed WCF is likely to compete is attached as **Exhibit D**.

8. The site development plan and a vertical profile sketch of the WCF signed and sealed by a professional engineer registered in Kentucky depicting the tower height, as well as a proposed configuration for the antennas has also been included as part of **Exhibit B**. As shown on this exhibit, the site has been designed to accommodate the co-location of future antennas.

9. Foundation design plans signed and sealed by a professional engineer registered in Kentucky and a description of the standards according to which the tower was designed are included as part of **Exhibit C**.

10. Applicants have considered the likely effects of the installation of the proposed WCF on nearby land uses and values and have concluded that there is no more suitable location reasonably available from which adequate services can be provided, and that there are no reasonably available opportunities to co-locate Verizon Wireless' antennas on an existing structure. When suitable towers or structures exist, Applicants attempt to co-locate on existing structures such as communications towers or other structures capable of supporting Applicants' facilities; however, no other suitable or available co-location site was found to be located in the vicinity of the site. A report detailing Applicant's site selection process for the subject site (including documentation as to why co-location is not possible for this site) is attached as **Exhibit E**.

11. A copy of the Determination of No Hazard to Air Navigation issued by the Federal Aviation Administration ("FAA") is attached as **Exhibit F**.

12. A copy of the Kentucky Airport Zoning Commission ("KAZC") Approval to construct the tower is attached as **Exhibit G**.

13. A geotechnical engineering firm has performed soil boring(s) and subsequent geotechnical engineering studies at the WCF site. A copy of the geotechnical engineering report, signed and sealed by a professional engineer registered in the Commonwealth of Kentucky, is attached as **Exhibit H**. The name and address of the geotechnical engineering firm and the professional engineer registered in the Commonwealth of Kentucky who supervised the examination of this WCF site are included as part of this exhibit.

14. Clear directions to the proposed WCF site from the County seat are attached as **Exhibit I**. The name and telephone number of the preparer of **Exhibit I** are included as part of this exhibit.

15. Applicants, pursuant to a written agreement, have acquired the right to use the WCF site and associated property rights. A copy of an abbreviated form of the agreement as recorded with the County Clerk is attached as **Exhibit J**.

16. Personnel directly responsible for the design and construction of the proposed WCF are well qualified and experienced. The tower and foundation drawings for the proposed tower submitted as part of **Exhibit C** bear the signature and stamp of a professional engineer registered in the Commonwealth of Kentucky. All tower designs meet or exceed the minimum requirements of applicable laws and regulations.

17. The Construction Manager for the proposed facility is Robert C. Wood, and the identity and qualifications of each person directly responsible for design and

construction of the proposed tower are contained **Exhibits B & C**.

18. As noted on the Survey attached as part of **Exhibit B**, the surveyor has determined that the site is not within any flood hazard area.

19. **Exhibit B** includes a map drawn to an appropriate scale that shows the location of the proposed tower and identifies every owner of real estate within 500 feet of the proposed tower (according to the records maintained by the County Property Valuation Administrator). Every structure and every easement within 500 feet of the proposed tower or within 200 feet of the access road including intersection with the public street system is illustrated in **Exhibit B**.

20. Applicants have notified every person who, according to the records of the County Property Valuation Administrator, owns property which is within 500 feet of the proposed tower or contiguous to the site property, by certified mail, return receipt requested, of the proposed construction. Each notified property owner has been provided with a map of the location of the proposed construction, the telephone number and address of the PSC, and has been informed of his or her right to request intervention. A list of the notified property owners and a copy of the form of the notice sent by certified mail to each landowner are attached as **Exhibit K** and **Exhibit L**, respectively.

21. Applicants have notified the applicable County Judge/Executive by certified mail, return receipt requested, of the proposed construction. This notice included the PSC docket number under which the application will be processed and informed the County Judge/Executive of his/her right to request intervention. A copy of this notice is attached as **Exhibit M**.

22. Notice signs meeting the requirements prescribed by 807 KAR 5:063, Section 1(2) that measure at least 2 feet in height and 4 feet in width and that contain all required language in letters of required height, have been posted, one in a visible location on the proposed site and one on the nearest public road. Such signs shall remain posted for at least two weeks after filing of the Application, and a copy of the posted text is attached as **Exhibit N**. Notice of the location of the proposed facility has been published in a newspaper of general circulation in the county in which the WCF is proposed to be located.

23. The general area where the proposed facility is to be located is rural with sparse residences.

24. The process that was used by Verizon Wireless' radio frequency engineers in selecting the site for the proposed WCF was consistent with the general process used for selecting all other existing and proposed WCF facilities within the proposed network design area. Verizon Wireless' radio frequency engineers have conducted studies and tests in order to develop a highly efficient network that is designed to handle voice and data traffic in the service area. The engineers determined an optimum area for the placement of the proposed facility in terms of elevation and location to provide the best quality service to customers in the service area. A radio frequency design search area prepared in reference to these radio frequency studies was considered by the Applicant when searching for sites for its antennas that would provide the coverage deemed necessary by Verizon Wireless. A map of the area in which the tower is proposed to be located which is drawn to scale and clearly depicts the necessary search area within which the site should be located pursuant to radio frequency requirements is attached as **Exhibit O**.

25. The tower must be located at the proposed location and proposed height to provide necessary service to wireless communications users in the subject area. A report prepared by a radio frequency engineer that describes the need for the proposed facility is attached as **Exhibit P**.

26. All Exhibits to this Application are hereby incorporated by reference as if fully set out as part of the Application.

27. All responses and requests associated with this Application may be directed to:

David A. Pike  
Pike Legal Group, PLLC  
1578 Highway 44 East, Suite 6  
P. O. Box 369  
Shepherdsville, KY 40165-0369  
Telephone: (502) 955-4400  
Telefax: (502) 543-4410  
Email: [dpike@pikelegal.com](mailto:dpike@pikelegal.com)



**WHEREFORE**, Applicants respectfully request that the PSC accept the foregoing Application for filing, and having met the requirements of KRS §§ 278.020(1), 278.650, and 278.665 and all applicable rules and regulations of the PSC, grant a Certificate of Public Convenience and Necessity to construct and operate the WCF at the location set forth herein.

Respectfully submitted,



David A. Pike  
Pike Legal Group, PLLC  
1578 Highway 44 East, Suite 6  
P. O. Box 369  
Shepherdsville, KY 40165-0369  
Telephone: (502) 955-4400  
Telefax: (502) 543-4410  
Email: [dpike@pikelegal.com](mailto:dpike@pikelegal.com)  
Attorney for Applicants

## LIST OF EXHIBITS

- A - FCC License Documentation and Corporate Documents
- B - Site Development Plan:
  - 500' Vicinity Map
  - Legal Descriptions
  - Flood Plain Certification
  - Site Plan
  - Vertical Tower Profile
- C - Tower and Foundation Design
- D - Competing Utilities, Corporations, or Persons List
- E - Site Selection Report
- F - FAA
- G - Kentucky Airport Zoning Commission
- H - Geotechnical Report
- I - Directions to WCF Site
- J - Copy of Real Estate Agreement
- K - Notification Listing
- L - Copy of Property Owner Notification
- M - Copy of County Judge/Executive Notice
- N - Copy of Posted Notices
- O - Copy of Radio Frequency Design Search Area
- P - Radio Frequency Report

**EXHIBIT A  
FCC LICENSE DOCUMENTATION  
AND CORPORATE DOCUMENTS**



COMMONWEALTH OF KENTUCKY  
ALISON LUNDERGAN GRIMES, SECRETARY OF STATE

0942846.06

amcray  
ADD

Allison Lundergan Grimes  
Kentucky Secretary of State  
Received and Filed:  
1/29/2016 11:18 AM  
Fee Receipt: \$90.00

Division of Business Filings  
Business Filings  
PO Box 718  
Frankfort, KY 40602  
(502) 584-3490  
www.sos.ky.gov

Certificate of Authority  
(Foreign Business Entity)

FBE

Pursuant to the provisions of KRS 14A and KRS 271B, 273, 274, 275, 362 and 386 the undersigned hereby applies for authority to transact business in Kentucky on behalf of the entity named below and, for that purpose, submits the following statements:

- 1. The entity is a:  profit corporation (KRS 271B),  nonprofit corporation (KRS 273),  professional service corporation (KRS 274),  business trust (KRS 386),  limited liability company (KRS 275),  professional limited liability company (KRS 276),  limited partnership (KRS 362).

2. The name of the entity is PI Tower Development LLC  
(The name must be identical to the name on record with the Secretary of State.)

3. The name of the entity to be used in Kentucky is (if applicable): \_\_\_\_\_  
(Only provide if "real name" is unavailable for use; otherwise, leave blank.)

4. The state or country under whose law the entity is organized is Delaware

5. The date of organization is 10/07/2015 and the period of duration is perpetual.  
(If left blank, the period of duration is considered perpetual.)

6. The mailing address of the entity's principal office is  
2855 Le Jeune Road, 4th Floor Coral Gables Florida 33134  
Street Address City State Zip Code

7. The street address of the entity's registered office in Kentucky is  
421 West Main Street Frankfort KY 40601  
Street Address (No P.O. Box Numbers) City State Zip Code

and the name of the registered agent at that office is Corporation Service Company

8. The names and business addresses of the entity's representatives (secretary, officers and directors, managers, trustees or general partners):

Name	Street or P.O. Box	City	State	Zip Code
Yannis Macheras	2855 Le Jeune Road, 4th Floor	Coral Gables	FL	33134
Kolleen Cobb	2855 Le Jeune Road, 4th Floor	Coral Gables	FL	33134
Juan (Rusty) Godoy	2855 Le Jeune Road, 4th Floor	Coral Gables	FL	33134

9. If a professional service corporation, all the individual shareholders, not less than one half (1/2) of the directors, and all of the officers other than the secretary and treasurer are licensed in one or more states or territories of the United States or District of Columbia to render a professional service described in the statement of purposes of the corporation.

10. I certify that, as of the date of filing this application, the above-named entity validly exists under the laws of the jurisdiction of its formation.

11. If a limited partnership, it elects to be a limited liability limited partnership. Check the box if applicable:

12. If a limited liability company, check box if manager-managed:

13. This application will be effective upon filing, unless a delayed effective date and/or time is provided. The effective date or the delayed effective date cannot be prior to the date the application is filed. The date and/or time is \_\_\_\_\_  
PI Development Holdings LLC (Member) (Delayed effective date and/or time)

By: Kolleen Cobb  
Signature of Authorized Representative Printed Name & Title Date

1. Corporation Service Company consent to serve as the registered agent on behalf of the business entity.  
Type/Print Name of Registered Agent  
Deb Reeves  
Signature of Registered Agent Printed Name Title Date  
Assistant Vice President 1-28-16

(09/15)

COMMONWEALTH OF KENTUCKY  
TREY GRAYSON  
SECRETARY OF STATE



0641227.07 Doornish  
C226  
Trey Grayson  
Secretary of State  
Received and Filed  
08/21/2008 12:06:09 PM  
Fee Receipt: \$20.00

CERTIFICATE OF ASSUMED NAME

This certifies that the assumed name of  
Verizon Wireless

(Name Under Which the Business Will be Conducted)

has been adopted by See Addendum

(Real Name - FCS 262.14(1))

which is the "real name" of **[YOU MUST CHECK ONE]**

- |  |   |
|--|---|
| <input type="checkbox"/> a Domestic General Partnership                      | <input checked="" type="checkbox"/> a Foreign General Partnership           |
| <input type="checkbox"/> a Domestic Registered Limited Liability Partnership | <input type="checkbox"/> a Foreign Registered Limited Liability Partnership |
| <input type="checkbox"/> a Domestic Limited Partnership                      | <input type="checkbox"/> a Foreign Limited Partnership                      |
| <input type="checkbox"/> a Domestic Business Trust                           | <input type="checkbox"/> a Foreign Business Trust                           |
| <input type="checkbox"/> a Domestic Corporation                              | <input type="checkbox"/> a Foreign Corporation                              |
| <input type="checkbox"/> a Domestic Limited Liability Company                | <input type="checkbox"/> a Foreign Limited Liability Company                |
| <input type="checkbox"/> a Joint Venture                                     |   |

organized and existing in the state or country of Delaware, and whose address is

One Verizon Way Basking Ridge NJ 07920

Street Address, P.O. Box

City

State

Zip Code

The certificate of assumed name is executed by

**NYNEX PCS Inc.**

*Jane A. Schupker*  
**Jane A. Schupker - Assistant Secretary**  
Print or type name and title  
June 15, 2006  
Date

\_\_\_\_\_  
Signature  
\_\_\_\_\_  
Print or type name and title  
\_\_\_\_\_  
Date

REFERENCE COPY

This is not an official FCC license. It is a record of public information contained in the FCC's licensing database on the date that this reference copy was generated. In cases where FCC rules require the presentation, posting, or display of an FCC license, this document may not be used in place of an official FCC license.



**Federal Communications Commission**  
**Wireless Telecommunications Bureau**

**RADIO STATION AUTHORIZATION**

LICENSEE: CELLCO PARTNERSHIP

ATTN: REGULATORY  
 CELLCO PARTNERSHIP  
 1120 SANCTUARY PKWY, #150 GASA5REG  
 ALPHARETTA, GA 30009-7630

<b>Call Sign</b> KNKN871	<b>File Number</b>
<b>Radio Service</b> CL - Cellular	
<b>Market Numer</b> CMA444	<b>Channel Block</b> B
<b>Sub-Market Designator</b> 0	

FCC Registration Number (FRN): 0003290673

<b>Market Name</b> Kentucky 2 - Union
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<b>Grant Date</b> 08-30-2011	<b>Effective Date</b> 08-20-2013	<b>Expiration Date</b> 10-01-2021	<b>Five Yr Build-Out Date</b>	<b>Print Date</b>
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**Site Information:**

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
1	37-30-51.2 N	087-30-18.0 W	139.9	91.4	1030659

Address: 2138 SR 1405

City: SLAUGHTERS County: WEBSTER State: KY Construction Deadline:

Antenna: 2 Azimuth (from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	104.300	99.100	103.400	105.700	89.600	78.600	86.500	103.800
Transmitting ERP (watts)	100.000	100.000	100.000	100.000	100.000	100.000	100.000	100.000

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
2	37-16-53.0 N	087-29-17.0 W	176.8	90.8	1030654

Address: 1369 SAND CUT RD

City: Madisonville County: HOPKINS State: KY Construction Deadline:

Antenna: 5 Azimuth (from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	127.800	138.700	133.200	133.500	121.500	113.200	123.000	142.100
Transmitting ERP (watts)	208.970	190.560	12.020	1.000	0.500	0.500	0.630	30.910

**Conditions:**

Pursuant to §309(h) of the Communications Act of 1934, as amended, 47 U.S.C. §309(h), this license is subject to the following conditions: This license shall not vest in the licensee any right to operate the station nor any right in the use of the frequencies designated in the license beyond the term thereof nor in any other manner than authorized herein. Neither the license nor the right granted thereunder shall be assigned or otherwise transferred in violation of the Communications Act of 1934, as amended. See 47 U.S.C. § 310(d). This license is subject in terms to the right of use or control conferred by §706 of the Communications Act of 1934, as amended. See 47 U.S.C. §606.

Licensee Name: CELLCO PARTNERSHIP

Call Sign: KNKN871

File Number:

Print Date:

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
2	37-16-53.0 N	087-29-17.0 W	176.8	90.8	1030654

Address: 1369 SAND CUT RD

City: Madisonville County: HOPKINS State: KY Construction Deadline:

Antenna: 6 Azimuth (from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	127.800	138.700	133.500	133.500	121.500	113.200	123.000	142.100
Transmitting ERP (watts)	0.500	0.540	19.950	190.560	208.940	20.420	1.070	0.500
Antenna: 7 Azimuth (from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	127.800	138.700	133.500	133.500	121.500	113.200	123.000	142.100
Transmitting ERP (watts)	1.000	1.910	1.000	1.000	6.310	213.810	501.220	190.560

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
4	36-57-17.4 N	087-51-07.6 W	172.2	123.1	1030739

Address: (Hopson) RT 4 BOX 58 814999

City: Princeton County: CALDWELL State: KY Construction Deadline:

Antenna: 2 Azimuth (from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	135.700	130.000	144.600	143.600	151.900	144.500	138.300	138.900
Transmitting ERP (watts)	18.030	88.290	65.450	2.610	0.360	0.200	0.200	0.350
Antenna: 3 Azimuth (from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	135.700	130.000	144.600	143.600	151.900	144.500	138.300	138.900
Transmitting ERP (watts)	0.420	0.420	2.640	89.540	209.890	79.800	0.420	0.800
Antenna: 4 Azimuth (from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	135.700	130.000	144.600	143.600	151.900	144.500	138.300	138.900
Transmitting ERP (watts)	55.210	1.870	1.030	0.840	1.150	19.590	283.140	381.940

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
5	37-19-00.3 N	088-04-34.3 W	237.4	90.5	1030656

Address: (Marion) 11 Brairwood Drive

City: Marion County: CRITTENDEN State: KY Construction Deadline:

Antenna: 2 Azimuth (from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	162.700	163.300	176.200	156.900	167.800	184.500	160.300	175.600
Transmitting ERP (watts)	271.010	402.110	56.170	1.380	1.090	1.090	1.090	16.570

Licensee Name: CELLCO PARTNERSHIP

Call Sign: KNKN871

File Number:

Print Date:

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
5	37-19-00.3 N	088-04-34.3 W	237.4	90.5	1030656

Address: (Marion) 11 Brairwood Drive

City: Marion County: CRITTENDEN State: KY Construction Deadline:

Antenna: 3 Azimuth (from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	162.700	163.300	176.200	156.900	167.800	184.500	160.300	175.600
Transmitting ERP (watts)	1.090	1.090	54.770	411.390	270.910	18.590	1.090	1.090
Antenna: 4 Azimuth (from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	162.700	163.300	176.200	156.900	167.800	184.500	160.300	175.600
Transmitting ERP (watts)	2.710	0.550	0.550	0.550	2.110	63.550	191.830	63.550

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
8	37-19-19.5 N	087-30-03.8 W	144.5	99.1	1040639

Address: 54 W LAKE ST

City: Madisonville County: HOPKINS State: KY Construction Deadline:

Antenna: 2 Azimuth (from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	97.900	120.000	110.700	105.000	90.400	94.900	118.300	102.200
Transmitting ERP (watts)	91.200	87.100	85.110	85.110	89.130	87.100	89.130	89.130

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
9	37-39-38.0 N	087-55-11.5 W	153.6	121.9	1030655

Address: (Morganfield) 996 TP LUCKETTE RD

City: Morganfield County: UNION State: KY Construction Deadline:

Antenna: 2 Azimuth (from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	130.600	126.500	124.600	100.000	131.200	122.100	129.400	122.600
Transmitting ERP (watts)	355.170	248.530	31.970	1.840	0.810	0.810	2.870	89.690
Antenna: 3 Azimuth (from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	130.600	126.500	124.600	100.000	131.200	122.100	129.400	122.600
Transmitting ERP (watts)	0.890	27.540	263.030	389.050	97.720	5.890	0.810	0.810
Antenna: 4 Azimuth (from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	130.600	126.500	124.600	100.000	131.200	122.100	129.400	122.600
Transmitting ERP (watts)	0.680	0.680	0.680	2.630	61.490	217.250	146.520	15.150



Licensee Name: CELLCO PARTNERSHIP

Call Sign: KNKN871

File Number:

Print Date:

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
12	37-02-00.0 N	088-22-10.0 W	105.5	106.7	1040303

Address: (Calvert City) 641 Jary Johnson Rd.

City: Calvert City County: MARSHALL State: KY Construction Deadline:

Antenna: 2 Azimuth (from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	78.900	77.600	88.100	83.000	68.600	85.300	97.900	93.100
Transmitting ERP (watts)	23.380	330.300	378.360	36.130	0.970	0.970	0.970	0.970
Antenna: 3 Azimuth (from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	78.900	77.600	88.100	83.000	68.600	85.300	97.900	93.100
Transmitting ERP (watts)	0.970	0.970	0.970	14.730	240.930	357.480	49.940	1.230
Antenna: 4 Azimuth (from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	78.900	77.600	88.100	83.000	68.600	85.300	97.900	93.100
Transmitting ERP (watts)	63.740	2.060	0.660	0.660	0.660	4.020	107.530	274.970

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
14	37-36-46.0 N	087-29-35.0 W	118.0	91.0	1034040

Address: EASTWOOD FERRY ROAD

City: SEBREE County: WEBSTER State: KY Construction Deadline: 02-23-2006

Antenna: 4 Azimuth (from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	73.800	88.300	72.700	87.800	81.700	80.900	73.100	79.800
Transmitting ERP (watts)	0.560	0.200	0.200	0.280	2.400	42.760	89.330	12.910
Antenna: 5 Azimuth (from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	73.800	88.300	72.700	87.800	81.700	80.900	73.100	79.800
Transmitting ERP (watts)	55.080	0.490	0.200	0.200	0.200	0.200	0.200	39.900
Antenna: 6 Azimuth (from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	73.800	88.300	72.700	87.800	81.700	80.900	73.100	79.800
Transmitting ERP (watts)	0.200	0.200	0.200	5.380	97.950	4.910	0.210	0.200

Licensee Name: CELLCO PARTNERSHIP

Call Sign: KNKN871

File Number:

Print Date:

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
16	36-46-54.2 N	088-03-28.1 W	199.0	126.5	1205551

Address: SR 80/US 68 & Trace

City: Golden Pond County: TRIGG State: KY Construction Deadline:

Antenna: 1 Azimuth (from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	165.000	178.000	160.000	175.000	171.000	167.000	177.000	184.000
Transmitting ERP (watts)	96.610	96.610	96.610	96.610	96.610	96.610	96.610	96.610

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
17	37-14-55.1 N	088-20-42.2 W	175.8	108.8	1231318

Address: 738 Mitchell Road

City: Burna County: LIVINGSTON State: KY Construction Deadline: 02-23-2006

Antenna: 4 Azimuth (from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	116.800	144.900	144.500	172.100	154.500	163.300	146.900	139.500
Transmitting ERP (watts)	50.060	6.450	0.130	0.130	0.130	1.990	13.790	50.060

Antenna: 5 Azimuth (from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	116.800	144.900	144.500	172.100	154.500	163.300	146.900	139.500
Transmitting ERP (watts)	4.780	26.880	61.590	32.320	2.880	0.130	0.130	0.600

Antenna: 6 Azimuth (from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	116.800	144.900	144.500	172.100	154.500	163.300	146.900	139.500
Transmitting ERP (watts)	0.130	0.130	0.130	2.750	15.470	52.420	46.720	5.120

**Control Points:**

**Control Pt. No. 2**

Address: 500 West Dove Road

City: Southlake County: TARRANT State: TX Telephone Number: (800)264-6620

**Waivers/Conditions:**

License renewal granted on a conditional basis, subject to the outcome of FCC proceeding WT Docket No. 10-112 (see FCC 10-86, paras. 113 and 126).

**REFERENCE COPY**

This is not an official FCC license. It is a record of public information contained in the FCC's licensing database on the date that this reference copy was generated. In cases where FCC rules require the presentation, posting, or display of an FCC license, this document may not be used in place of an official FCC license.



**Federal Communications Commission  
Wireless Telecommunications Bureau**

**RADIO STATION AUTHORIZATION**

LICENSEE: KENTUCKY RSA NO. 1 PARTNERSHIP

ATTN: REGULATORY  
KENTUCKY RSA NO. 1 PARTNERSHIP  
1120 SANCTUARY PKWY, #150 GASASREG  
ALPHARETTA, GA 30009-7630

<b>Call Sign</b> KNKQ306	<b>File Number</b>
<b>Radio Service</b> CL - Cellular	
<b>Market Numer</b> CMA443	<b>Channel Block</b> B
<b>Sub-Market Designator</b> 0	

FCC Registration Number (FRN): 0001836709

<b>Market Name</b> Kentucky 1 - Fulton
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<b>Grant Date</b> 08-30-2011	<b>Effective Date</b> 10-24-2013	<b>Expiration Date</b> 10-01-2021	<b>Five Yr Build-Out Date</b>	<b>Print Date</b>
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**Site Information:**

<b>Location</b>	<b>Latitude</b>	<b>Longitude</b>	<b>Ground Elevation (meters)</b>	<b>Structure Hgt to Tip (meters)</b>	<b>Antenna Structure Registration No.</b>
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1      36-20-59.2 N      089-22-12.3 W      98.0

**Address:** 0.68 MILE SOUTH OF LASSITER CORNER & REEL FOOT LAKE

**City:** LASSITER CORNER    **County:** LAKE    **State:** TN    **Construction Deadline:**

<b>Antenna:</b> 1 Azimuth (from true north)	0	45	90	135	180	225	270	315
<b>Antenna Height AAT (meters)</b>	148.000	117.000	107.000	117.000	121.000	147.000	149.000	146.000
<b>Transmitting ERP (watts)</b>	133.300	103.500	36.500	4.500	1.500	3.900	38.800	109.600

**Conditions:**

Pursuant to §309(h) of the Communications Act of 1934, as amended, 47 U.S.C. §309(h), this license is subject to the following conditions: This license shall not vest in the licensee any right to operate the station nor any right in the use of the frequencies designated in the license beyond the term thereof nor in any other manner than authorized herein. Neither the license nor the right granted thereunder shall be assigned or otherwise transferred in violation of the Communications Act of 1934, as amended. See 47 U.S.C. § 310(d). This license is subject in terms to the right of use or control conferred by §706 of the Communications Act of 1934, as amended. See 47 U.S.C. §606.

Licensee Name: KENTUCKY RSA NO. 1 PARTNERSHIP

Call Sign: KNKQ306

File Number:

Print Date:

**Location** **Latitude** **Longitude** **Ground Elevation (meters)** **Structure Hgt to Tip (meters)** **Antenna Structure Registration No.**  
2 36-45-58.0 N 088-38-50.0 W 143.0 147.8 1043917  
**Address:** 416 Jimtown Road  
**City:** MAYFIELD **County:** GRAVES **State:** KY **Construction Deadline:**

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<b>Antenna:</b> 2 Azimuth (from true north)	<b>0</b>	<b>45</b>	<b>90</b>	<b>135</b>	<b>180</b>	<b>225</b>	<b>270</b>	<b>315</b>
<b>Antenna Height AAT (meters)</b>	124.300	120.000	100.800	92.100	88.300	103.100	108.600	100.800
<b>Transmitting ERP (watts)</b>	91.200	87.100	85.110	85.110	89.130	87.100	89.130	89.130

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**Location** **Latitude** **Longitude** **Ground Elevation (meters)** **Structure Hgt to Tip (meters)** **Antenna Structure Registration No.**  
4 36-54-35.5 N 089-04-01.6 W 110.3 121.0 1030662  
**Address:** (Wickliffe) 353 CR 1307  
**City:** Bardwell **County:** CARLISLE **State:** KY **Construction Deadline:**

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<b>Antenna:</b> 4 Azimuth (from true north)	<b>0</b>	<b>45</b>	<b>90</b>	<b>135</b>	<b>180</b>	<b>225</b>	<b>270</b>	<b>315</b>
<b>Antenna Height AAT (meters)</b>	107.500	98.100	119.800	96.700	86.900	133.300	130.900	130.400
<b>Transmitting ERP (watts)</b>	189.230	48.640	1.690	0.930	0.930	0.930	1.810	52.120
<b>Antenna:</b> 5 Azimuth (from true north)	<b>0</b>	<b>45</b>	<b>90</b>	<b>135</b>	<b>180</b>	<b>225</b>	<b>270</b>	<b>315</b>
<b>Antenna Height AAT (meters)</b>	107.500	98.100	119.800	96.700	86.900	133.300	130.900	130.400
<b>Transmitting ERP (watts)</b>	1.710	64.860	368.980	174.580	8.750	0.930	0.930	0.930
<b>Antenna:</b> 6 Azimuth (from true north)	<b>0</b>	<b>45</b>	<b>90</b>	<b>135</b>	<b>180</b>	<b>225</b>	<b>270</b>	<b>315</b>
<b>Antenna Height AAT (meters)</b>	107.800	98.100	119.800	96.700	86.900	133.300	130.900	130.400
<b>Transmitting ERP (watts)</b>	0.350	0.350	1.230	35.330	112.440	35.270	1.000	0.350

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**Location** **Latitude** **Longitude** **Ground Elevation (meters)** **Structure Hgt to Tip (meters)** **Antenna Structure Registration No.**  
6 36-31-12.4 N 088-50-41.5 W 144.2 122.2 1030665  
**Address:** (Fulton) 550 Powell Road  
**City:** Fulton **County:** HICKMAN **State:** KY **Construction Deadline:**

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<b>Antenna:</b> 4 Azimuth (from true north)	<b>0</b>	<b>45</b>	<b>90</b>	<b>135</b>	<b>180</b>	<b>225</b>	<b>270</b>	<b>315</b>
<b>Antenna Height AAT (meters)</b>	128.200	122.800	123.200	135.200	147.500	157.200	143.900	141.700
<b>Transmitting ERP (watts)</b>	110.570	412.100	98.560	4.220	1.510	0.920	0.920	6.530
<b>Antenna:</b> 5 Azimuth (from true north)	<b>0</b>	<b>45</b>	<b>90</b>	<b>135</b>	<b>180</b>	<b>225</b>	<b>270</b>	<b>315</b>
<b>Antenna Height AAT (meters)</b>	128.200	122.800	123.200	135.200	147.500	157.200	143.900	141.700
<b>Transmitting ERP (watts)</b>	0.550	0.550	0.550	0.550	1.480	16.430	11.480	0.700

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Licensee Name: KENTUCKY RSA NO. 1 PARTNERSHIP

Call Sign: KNKQ306

File Number:

Print Date:

**Location** **Latitude** **Longitude** **Ground Elevation (meters)** **Structure Hgt to Tip (meters)** **Antenna Structure Registration No.**  
6 36-31-12.4 N 088-50-41.5 W 144.2 122.2 1030665  
**Address:** (Fulton) 550 Powell Road  
**City:** Fulton **County:** HICKMAN **State:** KY **Construction Deadline:**

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<b>Antenna:</b> 6 Azimuth (from true north)	<b>0</b>	<b>45</b>	<b>90</b>	<b>135</b>	<b>180</b>	<b>225</b>	<b>270</b>	<b>315</b>
<b>Antenna Height AAT (meters)</b>	128.200	122.800	123.200	135.200	147.500	157.200	143.900	141.700
<b>Transmitting ERP (watts)</b>	135.480	5.650	2.230	0.920	1.320	5.450	78.640	402.820

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**Location** **Latitude** **Longitude** **Ground Elevation (meters)** **Structure Hgt to Tip (meters)** **Antenna Structure Registration No.**  
7 36-38-26.2 N 088-16-00.1 W 165.8 90.8 1030663  
**Address:** (Murray) 1431 Van Cleave Road  
**City:** Murray **County:** CALLOWAY **State:** KY **Construction Deadline:**

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<b>Antenna:</b> 4 Azimuth (from true north)	<b>0</b>	<b>45</b>	<b>90</b>	<b>135</b>	<b>180</b>	<b>225</b>	<b>270</b>	<b>315</b>
<b>Antenna Height AAT (meters)</b>	106.900	107.100	115.000	106.900	87.400	91.300	86.200	97.500
<b>Transmitting ERP (watts)</b>	124.240	6.420	0.560	0.560	0.560	0.830	39.630	251.940
<b>Antenna:</b> 5 Azimuth (from true north)	<b>0</b>	<b>45</b>	<b>90</b>	<b>135</b>	<b>180</b>	<b>225</b>	<b>270</b>	<b>315</b>
<b>Antenna Height AAT (meters)</b>	106.900	107.100	115.000	106.900	87.400	91.300	86.200	97.500
<b>Transmitting ERP (watts)</b>	3.450	96.460	263.070	57.230	1.700	0.560	0.560	0.560
<b>Antenna:</b> 6 Azimuth (from true north)	<b>0</b>	<b>45</b>	<b>90</b>	<b>135</b>	<b>180</b>	<b>225</b>	<b>270</b>	<b>315</b>
<b>Antenna Height AAT (meters)</b>	106.900	107.100	115.000	106.900	87.400	91.300	86.200	97.500
<b>Transmitting ERP (watts)</b>	0.370	0.370	0.370	12.730	121.110	104.340	9.310	0.370

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**Location** **Latitude** **Longitude** **Ground Elevation (meters)** **Structure Hgt to Tip (meters)** **Antenna Structure Registration No.**  
8 37-03-51.4 N 088-57-23.6 W 116.4 92.4 1030664  
**Address:** (La Center) 220 RICHARDSON LN  
**City:** LA CENTER **County:** BALLARD **State:** KY **Construction Deadline:**

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<b>Antenna:</b> 2 Azimuth (from true north)	<b>0</b>	<b>45</b>	<b>90</b>	<b>135</b>	<b>180</b>	<b>225</b>	<b>270</b>	<b>315</b>
<b>Antenna Height AAT (meters)</b>	85.600	78.400	71.900	66.000	65.300	67.000	87.700	96.100
<b>Transmitting ERP (watts)</b>	2.110	71.430	167.460	63.670	0.330	0.640	0.330	0.330
<b>Antenna:</b> 3 Azimuth (from true north)	<b>0</b>	<b>45</b>	<b>90</b>	<b>135</b>	<b>180</b>	<b>225</b>	<b>270</b>	<b>315</b>
<b>Antenna Height AAT (meters)</b>	85.600	78.400	71.900	66.000	65.300	67.000	87.700	96.100
<b>Transmitting ERP (watts)</b>	1.230	1.000	1.380	23.440	338.840	457.090	66.070	2.240

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Licensee Name: KENTUCKY RSA NO. 1 PARTNERSHIP

Call Sign: KNKQ306

File Number:

Print Date:

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
8	37-03-51.4 N	088-57-23.6 W	116.4	92.4	1030664

Address: (La Center) 220 RICHARDSON LN  
City: LA CENTER County: BALLARD State: KY Construction Deadline:

Antenna: 4 Azimuth (from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	85.600	78.400	71.900	66.000	65.300	67.000	87.700	96.100
Transmitting ERP (watts)	165.960	6.610	0.910	0.500	0.500	0.890	45.710	223.870

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
10	36-44-07.9 N	088-58-29.2 W	131.9	92.9	1030723

Address: 3975 State Route 2206  
City: CLINTON County: HICKMAN State: KY Construction Deadline:

Antenna: 2 Azimuth (from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	100.500	101.900	98.900	84.700	107.900	118.900	119.900	100.400
Transmitting ERP (watts)	96.610	96.610	96.610	96.610	96.610	96.610	96.610	96.610

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
11	37-02-00.0 N	088-22-10.0 W	105.5	106.7	1040303

Address: (Calvert City) 641 Jary Johnson Rd.  
City: Calvert City County: MARSHALL State: KY Construction Deadline:

Antenna: 2 Azimuth (from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	78.900	77.600	88.100	83.000	68.600	85.300	97.900	93.100
Transmitting ERP (watts)	23.380	330.300	378.360	36.130	0.970	0.970	0.970	0.970
Antenna: 3 Azimuth (from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	78.900	77.600	88.100	83.000	68.600	85.300	97.900	93.100
Transmitting ERP (watts)	0.970	0.970	0.970	14.730	240.930	357.480	49.940	1.230
Antenna: 4 Azimuth (from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	78.900	77.600	88.100	83.000	68.600	85.300	97.900	93.100
Transmitting ERP (watts)	63.740	2.060	0.660	0.660	0.660	4.020	107.530	274.970

Licensee Name: KENTUCKY RSA NO. 1 PARTNERSHIP

Call Sign: KNKQ306

File Number:

Print Date:

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
12	36-34-49.2 N	088-31-45.2 W	155.5	91.4	1202399

Address: 12201 SR 97

City: TriCity County: GRAVES State: KY Construction Deadline:

Antenna: 2 Azimuth (from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	75.100	73.400	74.100	70.100	102.600	100.900	74.700	81.300
Transmitting ERP (watts)	0.280	4.680	67.610	91.200	13.180	0.450	0.250	0.200
Antenna: 3 Azimuth (from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	75.100	73.400	74.100	70.100	102.600	100.900	74.700	81.300
Transmitting ERP (watts)	0.360	0.200	0.200	0.350	18.200	89.130	66.070	2.630
Antenna: 4 Azimuth (from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	75.100	73.400	74.100	70.100	102.600	100.900	74.700	81.300
Transmitting ERP (watts)	100.000	38.020	0.200	0.380	0.200	0.200	1.260	42.660

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
14	37-05-47.2 N	088-42-35.2 W	104.2	63.4	1200593

Address: (Paducah West) 4415 Merredith Rd.

City: Paducah County: MCCRACKEN State: KY Construction Deadline: 07-08-2014

Antenna: 4 Azimuth (from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	59.900	55.900	65.200	50.700	38.200	34.700	42.800	64.600
Transmitting ERP (watts)	24.580	50.820	50.310	19.100	0.840	0.330	0.330	1.370
Antenna: 5 Azimuth (from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	59.900	55.900	65.200	50.700	38.200	34.700	42.800	64.600
Transmitting ERP (watts)	0.440	0.440	12.210	76.570	112.800	57.980	5.460	0.440
Antenna: 6 Azimuth (from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	59.900	55.900	65.200	50.700	38.200	34.700	42.800	64.600
Transmitting ERP (watts)	20.830	0.780	0.440	0.440	2.790	42.940	108.040	89.900

Licensee Name: KENTUCKY RSA NO. 1 PARTNERSHIP

Call Sign: KNKQ306

File Number:

Print Date:

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
15	36-46-54.2 N	088-03-28.1 W	199.0	126.5	1205551

Address: 14664 Canton Road

City: Golden Pond County: TRIGG State: KY Construction Deadline: 05-19-2006

Antenna: 2 Azimuth (from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	165.000	178.000	160.400	174.500	170.600	167.000	177.000	183.900
Transmitting ERP (watts)	96.610	96.610	96.610	96.610	96.610	96.610	96.610	96.610

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
16	36-34-03.0 N	089-10-30.9 W	109.4	91.4	1282534

Address: (Hickman site) Holley Street

City: Hickman County: FULTON State: KY Construction Deadline: 05-28-2014

Antenna: 1 Azimuth (from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	105.500	102.800	96.700	89.300	75.700	68.400	107.900	107.300
Transmitting ERP (watts)	141.700	118.910	1.140	0.580	0.580	0.580	0.580	4.050
Antenna: 2 Azimuth (from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	105.500	102.800	96.700	89.300	75.700	68.400	107.900	107.300
Transmitting ERP (watts)	0.580	4.050	141.730	118.910	1.140	0.580	0.580	0.580
Antenna: 3 Azimuth (from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	105.500	102.800	96.700	89.300	75.700	68.400	107.900	107.300
Transmitting ERP (watts)	0.460	0.460	0.460	0.460	0.460	7.710	45.610	24.600

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
17	37-10-55.4 N	088-56-43.7 W	102.7	99.1	1252613

Address: (Monkey's Eyebrow) 4625 Odgen Colvin Circle

City: Kevil County: BALLARD State: KY Construction Deadline: 10-24-2014

Antenna: 1 Azimuth (from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	85.900	83.500	90.600	69.600	74.300	84.600	86.500	83.200
Transmitting ERP (watts)	7.080	125.890	478.630	112.200	4.570	1.580	1.000	1.000
Antenna: 2 Azimuth (from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	85.900	83.500	90.600	69.600	74.300	84.600	86.500	83.200
Transmitting ERP (watts)	1.000	1.410	12.020	213.800	446.680	64.570	2.820	1.000



Licensee Name: KENTUCKY RSA NO. 1 PARTNERSHIP

Call Sign: KNKQ306

File Number:

Print Date:

Location	Latitude	Longitude	Ground Elevation (meters)	Structure Hgt to Tip (meters)	Antenna Structure Registration No.
17	37-10-55.4 N	088-56-43.7 W	102.7	99.1	1252613

Address: (Monkey's Eyebrow) 4625 Odgen Colvin Circle

City: Kevil County: BALLARD State: KY Construction Deadline: 10-24-2014

Antenna: 4 Azimuth (from true north)	0	45	90	135	180	225	270	315
Antenna Height AAT (meters)	85.900	83.500	90.600	69.600	74.300	84.600	86.500	83.200
Transmitting ERP (watts)	2.000	2.000	2.000	2.000	2.000	398.110	549.540	4.900

**Control Points:**

Control Pt. No. 3

Address: 500 W. Dove Rd.

City: Southlake County: TARRANT State: TX Telephone Number: (800)264-6620

**Waivers/Conditions:**

License renewal granted on a conditional basis, subject to the outcome of FCC proceeding WT Docket No. 10-112 (see FCC 10-86, paras. 113 and 126).



Federal Communications Commission  
Wireless Telecommunications Bureau

Spectrum Leasing Arrangement

ATTN: REGULATORY  
KENTUCKY RSA NO. 1 PARTNERSHIP  
1120 SANCTUARY PKWY #150 - GASA5REG  
ALPHARETTA, GA 30009

Date: 08/23/2016  
Reference Number:

This approval allows the Lessee to lease spectrum from the Licensee pursuant to the provisions and requirements of Subpart X of Part 1 of the Commission's Rules, 47 C.F.R. Part 1, and as described in the associated spectrum leasing application or notification.

Type of Lease Arrangement	Lease Term	Lease Identifier
Spectrum Manager Lease	Long Term	L000008155

Lease Grant/Accepted Date	Lease Commencement Date	Lease Expiration Date
03/17/2011	03/25/2011	06/13/2019

Call Sign	Radio Service
WQJQ692	WU - 700 MHz Upper Band (Block C)

**Lessee Information**

0001836709  
KENTUCKY RSA NO. 1 PARTNERSHIP  
Attn: REGULATORY  
1120 SANCTUARY PKWY #150 - GASA5REG  
ALPHARETTA, GA 30009

**Licensee Information**

0003290673  
CELLCO PARTNERSHIP  
Attn: REGULATORY  
1120 SANCTUARY PKWY, #150 GASA5REG  
ALPHARETTA, GA 30009-7630

<b>Geographically-Licensed Services</b>		
Market Number	Market Name	Channel Block
REA004	Mississippi Valley	C

**Condition:**  
 This lease may not authorize operation throughout the entire geographic area or spectrum identified on the hardcopy version. To view the specific geographic area and spectrum associated with this leasing agreement, refer to the Spectrum and Market Area information under the Market Tab of the license record in the Universal Licensing System (ULS). To view the license record, go to the ULS homepage at <http://wireless.fcc.gov/uls/index.htm?job=home> and select "License Search". Follow the instructions on how to search for license information.

**Conditions:**  
 Pursuant to §309(h) of the Communications Act of 1934, as amended, 47 U.S.C. §309(h), this license is subject to the following conditions: This license shall not vest in the licensee any right to operate the station nor any right in the use of the frequencies designated in the license beyond the term thereof nor in any other manner than authorized herein. Neither the license nor the right granted thereunder shall be assigned or otherwise transferred in violation of the Communications Act of 1934, as amended. See 47 U.S.C. § 310(d). This license is subject in terms to the right of use or control conferred by §706 of the Communications Act of 1934, as amended. See 47 U.S.C. §606.

**REFERENCE COPY**

This is not an official FCC license. It is a record of public information contained in the FCC's licensing database on the date that this reference copy was generated. In cases where FCC rules require the presentation, posting, or display of an FCC license, this document may not be used in place of an official FCC license.



**Federal Communications Commission  
Wireless Telecommunications Bureau**

**RADIO STATION AUTHORIZATION**

LICENSEE: CELLCO PARTNERSHIP

ATTN: REGULATORY  
CELLCO PARTNERSHIP  
1120 SANCTUARY PKWY, #150 GASA5REG  
ALPHARETTA, GA 30009-7630

<b>Call Sign</b> WQGA718	<b>File Number</b>
<b>Radio Service</b> AW - AWS (1710-1755 MHz and 2110-2155 MHz)	

FCC Registration Number (FRN): 0003290673

<b>Grant Date</b> 11-29-2006	<b>Effective Date</b> 12-11-2015	<b>Expiration Date</b> 11-29-2021	<b>Print Date</b>
<b>Market Number</b> REA004	<b>Channel Block</b> F	<b>Sub-Market Designator</b> 13	
<b>Market Name</b> Mississippi Valley			
<b>1st Build-out Date</b>	<b>2nd Build-out Date</b>	<b>3rd Build-out Date</b>	<b>4th Build-out Date</b>

**Waivers/Conditions:**

This authorization is conditioned upon the licensee, prior to initiating operations from any base or fixed station, making reasonable efforts to coordinate frequency usage with known co-channel and adjacent channel incumbent federal users operating in the 1710-1755 MHz band whose facilities could be affected by the proposed operations. See, e.g., FCC and NTIA Coordination Procedures in the 1710-1755 MHz Band, Public Notice, FCC 06-50, WTB Docket No. 02-353, rel. April 20, 2006.

**Conditions:**  
Pursuant to §309(h) of the Communications Act of 1934, as amended, 47 U.S.C. §309(h), this license is subject to the following conditions: This license shall not vest in the licensee any right to operate the station nor any right in the use of the frequencies designated in the license beyond the term thereof nor in any other manner than authorized herein. Neither the license nor the right granted thereunder shall be assigned or otherwise transferred in violation of the Communications Act of 1934, as amended. See 47 U.S.C. § 310(d). This license is subject in terms to the right of use or control conferred by §706 of the Communications Act of 1934, as amended. See 47 U.S.C. §606.

This license may not authorize operation throughout the entire geographic area or spectrum identified on the hardcopy version. To view the specific geographic area and spectrum authorized by this license, refer to the Spectrum and Market Area information under the Market Tab of the license record in the Universal Licensing System (ULS). To view the license record, go to the ULS homepage at <http://wireless.fcc.gov/uls/index.htm?job=home> and select "License Search". Follow the instructions on how to search for license information.

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**Federal Communications Commission**  
**Wireless Telecommunications Bureau**

**RADIO STATION AUTHORIZATION**

LICENSEE: CELLCO PARTNERSHIP

ATTN: REGULATORY  
 CELLCO PARTNERSHIP  
 1120 SANCTUARY PKWY, #150 GASA5REG  
 ALPHARETTA, GA 30009-7630

<b>Call Sign</b> WQGA960	<b>File Number</b>
<b>Radio Service</b> AW - AWS (1710-1755 MHz and 2110-2155 MHz)	

FCC Registration Number (FRN): 0003290673

<b>Grant Date</b> 11-29-2006	<b>Effective Date</b> 03-30-2016	<b>Expiration Date</b> 11-29-2021	<b>Print Date</b>
<b>Market Number</b> BEA072	<b>Channel Block</b> B	<b>Sub-Market Designator</b> 0	
<b>Market Name</b> Paducah, KY-IL			
<b>1st Build-out Date</b>	<b>2nd Build-out Date</b>	<b>3rd Build-out Date</b>	<b>4th Build-out Date</b>

**Waivers/Conditions:**

This authorization is conditioned upon the licensee, prior to initiating operations from any base or fixed station, making reasonable efforts to coordinate frequency usage with known co-channel and adjacent channel incumbent federal users operating in the 1710-1755 MHz band whose facilities could be affected by the proposed operations. See, e.g., FCC and NTIA Coordination Procedures in the 1710-1755 MHz Band, Public Notice, FCC 06-50, WTB Docket No. 02-353, rel. April 20, 2006.

**Conditions:**  
 Pursuant to §309(h) of the Communications Act of 1934, as amended, 47 U.S.C. §309(h), this license is subject to the following conditions: This license shall not vest in the licensee any right to operate the station nor any right in the use of the frequencies designated in the license beyond the term thereof nor in any other manner than authorized herein. Neither the license nor the right granted thereunder shall be assigned or otherwise transferred in violation of the Communications Act of 1934, as amended. See 47 U.S.C. § 310(d). This license is subject in terms to the right of use or control conferred by §706 of the Communications Act of 1934, as amended. See 47 U.S.C. §606.

This license may not authorize operation throughout the entire geographic area or spectrum identified on the hardcopy version. To view the specific geographic area and spectrum authorized by this license, refer to the Spectrum and Market Area information under the Market Tab of the license record in the Universal Licensing System (ULS). To view the license record, go to the ULS homepage at <http://wireless.fcc.gov/uls/index.htm?job=home> and select "License Search". Follow the instructions on how to search for license information.

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**Federal Communications Commission  
Wireless Telecommunications Bureau**

**RADIO STATION AUTHORIZATION**

LICENSEE: CELLCO PARTNERSHIP

ATTN: REGULATORY  
CELLCO PARTNERSHIP  
1120 SANCTUARY PKWY, #150 GASA5REG  
ALPHARETTA, GA 30009-7630

<b>Call Sign</b> WQJQ692	<b>File Number</b>
<b>Radio Service</b> WU - 700 MHz Upper Band (Block C)	

FCC Registration Number (FRN): 0003290673

<b>Grant Date</b> 11-26-2008	<b>Effective Date</b> 05-19-2016	<b>Expiration Date</b> 06-13-2019	<b>Print Date</b>
<b>Market Number</b> REA004	<b>Channel Block</b> C	<b>Sub-Market Designator</b> 0	
<b>Market Name</b> Mississippi Valley			
<b>1st Build-out Date</b> 06-13-2013	<b>2nd Build-out Date</b> 06-13-2019	<b>3rd Build-out Date</b>	<b>4th Build-out Date</b>

**Waivers/Conditions:**

If the facilities authorized herein are used to provide broadcast operations, whether exclusively or in combination with other services, the licensee must seek renewal of the license either within eight years from the commencement of the broadcast service or within the term of the license had the broadcast service not been provided, whichever period is shorter in length. See 47 CFR §27.13(b).

This authorization is conditioned upon compliance with section 27.16 of the Commission's rules

**Conditions:**  
Pursuant to §309(h) of the Communications Act of 1934, as amended, 47 U.S.C. §309(h), this license is subject to the following conditions: This license shall not vest in the licensee any right to operate the station nor any right in the use of the frequencies designated in the license beyond the term thereof nor in any other manner than authorized herein. Neither the license nor the right granted thereunder shall be assigned or otherwise transferred in violation of the Communications Act of 1934, as amended. See 47 U.S.C. § 310(d). This license is subject in terms to the right of use or control conferred by §706 of the Communications Act of 1934, as amended. See 47 U.S.C. §606.

This license may not authorize operation throughout the entire geographic area or spectrum identified on the hardcopy version. To view the specific geographic area and spectrum authorized by this license, refer to the Spectrum and Market Area information under the Market Tab of the license record in the Universal Licensing System (ULS). To view the license record, go to the ULS homepage at <http://wireless.fcc.gov/uls/index.htm?job=home> and select "License Search". Follow the instructions on how to search for license information.

**EXHIBIT B**

**SITE DEVELOPMENT PLAN:**

**500' VICINITY MAP  
LEGAL DESCRIPTIONS  
FLOOD PLAIN CERTIFICATION  
SITE PLAN  
VERTICAL TOWER PROFILE**

# Parallel

## INFRASTRUCTURE

PI TOWER DEVELOPMENT LLC  
7411 FULLERTON ST, SUITE 110  
JACKSONVILLE, FL 32256

# KY-GILBERTSVILLE-DAM MARINA

## PIKY017

364 SLEDD CREEK ROAD  
GILBERTSVILLE, KY 42044  
MARSHALL COUNTY

TENANT: KENTUCKY RSA NO. 1 PARTNERSHIP  
EV KENTUCKY DAM MARINA

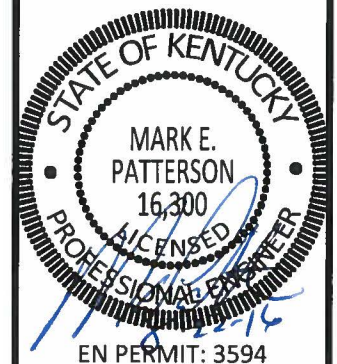
FROM MARSHALL COUNTY JUDGE EXECUTIVE'S OFFICE: 1101 MAIN STREET, BENTON, KY 42025: HEAD SOUTH ON MAIN ST TOWARD E 13TH S (0.1 MI). TURN LEFT AT THE 2ND CROSS STREET ONTO E 14TH ST (269 FT). TURN LEFT AT THE 1ST CROSS STREET ONTO POPLAR ST (0.7 MI). TURN RIGHT ONTO US-641 N/MAIN ST (4.0 MI). SLIGHT LEFT ONTO US-641 N/US-68 (0.4 MI). TURN RIGHT ONTO US-641 N (3.8 MI). TURN RIGHT ONTO MC CRACKEN RD (0.2 MI). TURN LEFT ONTO RIDGE RD (1.0 MI). SITE WILL BE LOCATED ON LEFT (WEST) SIDE OF ROAD.

FROM EVANSVILLE MTSO: 800 RUSSELL ROAD CHANDLER, IN 47610: HEAD NORTH ON RUSSELL RD TOWARD GARDNER RD (0.2 MI). TURN LEFT ONTO GARDNER RD (1.6 MI). TURN LEFT ONTO IN-62 (4.2 MI). TURN RIGHT ONTO THE I-164 S RAMP (0.3 MI). MERGE ONTO I-69 S (8.1 MI). TAKE EXIT 0 TO MERGE ONTO US-41 S TOWARD HENDERSON KY (1.0 MI). MERGE ONTO US-41 S (6.1 MI). KEEP LEFT TO STAY ON US-41 S (2.4 MI). KEEP LEFT TO CONTINUE ON PENNYRILE PKWY, FOLLOW SIGNS FOR OWENSBORO (1.1 MI). CONTINUE ONTO I-69/PENNYRILE PKWY (1.2 MI). CONTINUE ONTO PENNYRILE PKWY (39.1 MI). CONTINUE ONTO I-69/PENNYRILE PKWY (2.2 MI). KEEP RIGHT AT THE FORK TO STAY ON I-69, FOLLOW SIGNS FOR PADUCAH (38.4 MI). TAKE EXIT 68B FOR INTERSTATE 24 W TOWARD PADUCAH (0.3 MI). MERGE ONTO I-24 W/I-69 S (10.5 MI). TAKE EXIT 31 FOR KY-453 TOWARD GRAND RIVERS/SMITHLAND (0.2 MI). TURN LEFT ONTO KY-453 S (1.3 MI). USE THE RIGHT LANE TO TAKE THE RAMP TO US-62 W/US-641 S (0.2 MI). TURN RIGHT ONTO US-62 W/US-641 S (2.5 MI). TAKE THE RAMP ONTO US-641 S (0.3 MI). KEEP LEFT TO STAY ON US-641 S (1.5 MI). TURN LEFT ONTO STATE HWY 1519 (0.7 MI). TURN RIGHT ONTO RIDGE RD (0.2 MI). SITE WILL BE LOCATED ON RIGHT (NORTH) SIDE OF ROAD.

PREPARED BY: POWER OF DESIGN GROUP, LLC - (502) 437-5252



PI TOWER DEVELOPMENT LLC  
7411 FULLERTON ST, SUITE 110  
JACKSONVILLE, FL 32256



### ZONING DRAWINGS

REV.	DATE	DESCRIPTION
A	8.15.16	ISSUED FOR REVIEW
B	8.19.16	OLC COMMENTS
0	8.22.16	ISSUED AS FINAL w/REVISIONS

### SITE INFORMATION: KY-GILBERTSVILLE-DAM MARINA

364 SLEDD CREEK ROAD  
GILBERTSVILLE, KY 42044  
MARSHALL COUNTY

PI TOWER DEVELOPMENT LLC  
SITE #: PIKY017

VERIZON WIRELESS SITE NAME:  
EV KENTUCKY DAM MARINA

POD NUMBER: 16-10347

DRAWN BY: POD  
CHECKED BY: MEP  
DATE: 08.01.16

SHEET TITLE:  
PROJECT INFORMATION,  
SITE MAPS,  
SHEET INDEX

SHEET NUMBER:

T-1

NEW 188' MONOPOLE  
w/3' LIGHTNING ARRESTOR  
TOTAL TOWER HEIGHT 191'

#### PI TOWER DEVELOPMENT LLC SITE

KY-GILBERTSVILLE-DAM MARINA  
SITE #: PIKY017

#### VERIZON WIRELESS SITE

EV KENTUCKY DAM MARINA  
PROJECT#: 20161367185  
MARKET ID: KY RSA 1  
LOCATION CODE: 412560

#### SITE ADDRESS

364 SLEDD CREEK ROAD  
GILBERTSVILLE, KY 42044  
MARSHALL COUNTY  
E911 ADDRESS: TBD

#### TOWER OWNER

PI TOWER DEVELOPMENT LLC  
7411 FULLERTON ST, SUITE 110  
JACKSONVILLE, FL 32256  
CONTACT: ALEJANDRA STINSON  
PHONE: (513) 259-3673  
MOBILE: (513) 259-3673  
E-MAIL: ALEJANDRA.STINSON@  
PARALLELINFRASTRUCTURE.COM

#### PROPERTY OWNER

RENIA FEHRENBACHER  
364 SLEDD CREEK ROAD  
GILBERTSVILLE, KY 42044  
CONTACT: RENIA FEHRENBACHER  
PHONE: (270) 395-3438

#### POLICE

MARSHALL COUNTY SHERIFF'S  
DEPARTMENT  
52 MAIN STREET  
BENTON, KY 42025  
PHONE: (270) 527-3112

#### FIRE

GILBERTSVILLE FIRE PROTECTION  
US-641  
GILBERTSVILLE, KY 42044  
PHONE: (270) 362-7061

#### GENERAL INFORMATION

LATITUDE: 36° 58' 37.27" N  
LONGITUDE: 88° 17' 10.48" W  
1983 (NAD83)  
ELEVATION: 402.00' AMSL  
1988 (NAVD88)

#### PI TOWER DEVELOPMENT LLC LEASED PREMISES

100'-0" x 100'-0"  
(10,000 SF)

#### VERIZON WIRELESS LEASE AREA

12'-0" x 30'-0"  
(360 SF)

#### PROJECT TOTAL DISTURBED AREA

COMPOUND: (10,000 SF) = (0.23 ACRE)  
ACCESS DRIVE: (5,900 SF) = (0.14 ACRE)  
GROSS AREA: (15,900 SF) = (0.37 ACRE)

NOTE: ALL ITEMS WITHIN THESE CONSTRUCTION DOCUMENTS ARE BY TOWER OWNER'S GENERAL CONTRACTOR AND HIS SUB-CONTRACTORS UNLESS NOTED AS (VZW GC) WHICH SHALL INCLUDE VERIZON WIRELESS GENERAL CONTRACTOR AND HIS SUB-CONTRACTORS. GENERALLY DESCRIBED BELOW.

#### PI TOWER DEVELOPMENT LLC SCOPE:

- INSTALL A NEW 188' MONOPOLE w/ 3' LIGHTNING ARRESTOR (TOTAL 191')
- INSTALL A NEW TOWER FOUNDATION SYSTEM
- INSTALL A NEW 98'X98' FENCED GRAVEL COMPOUND
- INSTALL A NEW SITE H-FRAME
- INSTALL A NEW ELECTRICAL SERVICE RUN TO SITE H-FRAME
- INSTALL A NEW GRAVEL ACCESS DRIVE
- NO WATER OR SEWAGE SERVICES RUN TO SITE
- INSTALL NEW TOWER & SITE GROUNDING SYSTEM
- INSTALL NEW VZW SUBSURFACE GROUNDING SYSTEM
- INSTALL A NEW 11'-6"x19'-6" CONCRETE EQUIPMENT/GENERATOR PAD
- INSTALL ELECTRICAL SERVICE CONDUIT WITH PULL TAPES FROM ATS ENCLOSURE STUB-UP TO UTILITY H-FRAME
- INSTALL NEW CONDUITS WITH PULL TAPES FROM VZW ATS ENCLOSURE STUB-UP TO EQUIPMENT ELECTRICAL PANEL STUB-UP
- INSTALL NEW CONDUITS WITH PULL TAPES FROM VZW ATS & EQUIPMENT ENCLOSURES STUB-UP TO GENERATOR LOCATION
- INSTALL NEW CONDUITS WITH PULL TAPES FROM MAIN EQUIPMENT CABINET STUB-UP TO GROWTH CABINET STUB-UP
- INSTALL (1) NEW "VERIZON WIRELESS ONLY" FIBER OPTIC CONDUIT WITH PULL TAPE AND TRACER WIRE FROM VZW EQUIPMENT TO NEW "VERIZON WIRELESS ONLY" HAND HOLE OUTSIDE COMPOUND
- INSTALL (1) NEW "VERIZON WIRELESS ONLY" FIBER OPTIC CONDUIT WITH PULL TAPE FROM NEW "VERIZON WIRELESS ONLY" HAND HOLE AND STUB UP AT FUTURE FIBER PEDESTAL LOCATION
- PERMANENT ELECTRIC POWER MUST BE AVAILABLE FOR VERIZON WIRELESS AT THE METER BASE PRIOR TO THE SITE BEING RELEASED AS TENANT READY.

#### VERIZON WIRELESS SCOPE (VZW GC):

- INSTALL A NEW 11'-6"x14'-9" PREFABRICATED CANOPY ON EXISTING CONCRETE PAD FOUNDATION
- INSTALL NEW 20KW DIESEL GENERATOR ON EXISTING CONCRETE FOUNDATION
- INSTALL VZW ICE BRIDGE AND FOUNDATIONS
- INSTALL VZW ANTENNA MOUNTING SUPPORT STRUCTURE ON TOWER
- INSTALL VZW ANTENNAS, LINES, COAX, GPS ANTENNAS AND RADIO EQUIPMENT
- INSTALL EXISTING SUBSURFACE GROUND LEADS TO VZW EQUIPMENT & FACILITIES
- INSTALL VZW ELECTRIC SERVICE CONDUCTORS FROM UTILITY H-FRAME TO VZW ATS ENCLOSURE
- INSTALL VZW GENERATOR CIRCUITS FROM VZW ATS & EQUIPMENT ENCLOSURES TO VZW GENERATOR
- INSTALL (2) 1-1/4" & (1) 1" INNERDUCTS WITH PULL TAPES AND TRACER WIRE WITHIN OWNER INSTALLED "VERIZON WIRELESS ONLY" FIBER OPTIC CONDUIT

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUCTED TO PERMIT WORK NOT CONFORMING TO THESE CODES.

BUILDING CODE 2013 KENTUCKY BUILDING CODE (KBC 2012)  
STRUCTURAL CODE TIA/EIA-222 - REVISION G (INCLUDES ADDENDUM #2)  
MECHANICAL CODE 2012 INTERNATIONAL MECHANICAL CODE (IMC 2012)  
PLUMBING CODE KENTUCKY STATE PLUMBING CODE (815 KAR CHAP. 20)  
ELECTRICAL CODE 2014 NATIONAL ELECTRICAL CODE (NEC) - NFPA 70  
FIRE/LIFE SAFETY CODE 2012 INTERNATIONAL FIRE CODE (2012 IFC)  
ENERGY CODE 2012 INTERNATIONAL ENERGY CODE (COMMERCIAL)  
GAS CODE 2009 NATIONAL FUEL GAS CODE (NFPA 54)

#### ACCESSIBILITY REQUIREMENTS:

FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. HANDICAPPED ACCESS REQUIREMENTS ARE NOT REQUIRED IN ACCORDANCE WITH THE 2009 IBC BUILDING CODE.

#### APPLICABLE CODES

#### SURVEYOR

POWER OF DESIGN GROUP, LLC  
11490 BLUEGRASS PARKWAY  
LOUISVILLE, KY 40299  
PHONE: (502) 437-5252

#### ARCHITECTURAL

POWER OF DESIGN GROUP, LLC  
11490 BLUEGRASS PARKWAY  
LOUISVILLE, KY 40299  
PHONE: (502) 437-5252

#### ELECTRICAL

WEST KENTUCKY RECC  
ADDRESS: 1218 W BROADWAY ST  
MAYFIELD, KY 42066  
CONTACT: TBD  
PHONE: (270) 247-1321  
EMAIL: TBD

ELECTRICAL UTILITY COORDINATION  
IS NOT FINALIZED. DO NOT PROCEED  
WITH CONSTRUCTION.

#### CONSULTANT TEAM

#### SHEET NUMBER

T-1 PROJECT INFORMATION, SITE MAPS, SHEET INDEX  
B-1 TO B-1.5 SURVEY PLAT  
B-2 500' RADIUS AND ABUTTERS MAP  
R-1 REVISION LOG

#### TOWER ELEVATION

TE-1 TOWER ELEVATION

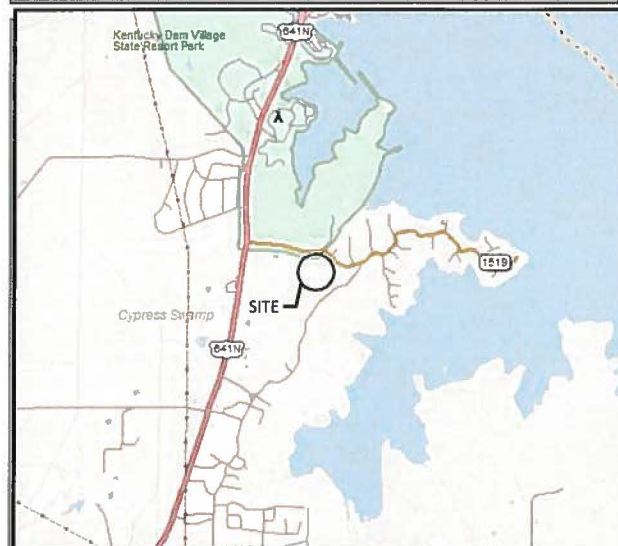
#### CIVIL

C-1 OVERALL SITE PLAN w/AERIAL OVERLAY  
C-1A OVERALL SITE PLAN w/DISTANCES TO PROPERTY LINES  
C-1B TOWER DISTANCE TO RESIDENTIAL STRUCTURES  
C-3 DETAILED SITE PLAN  
C-4 DIMENSIONED SITE PLAN

RECEIVED

AUG 25 2016

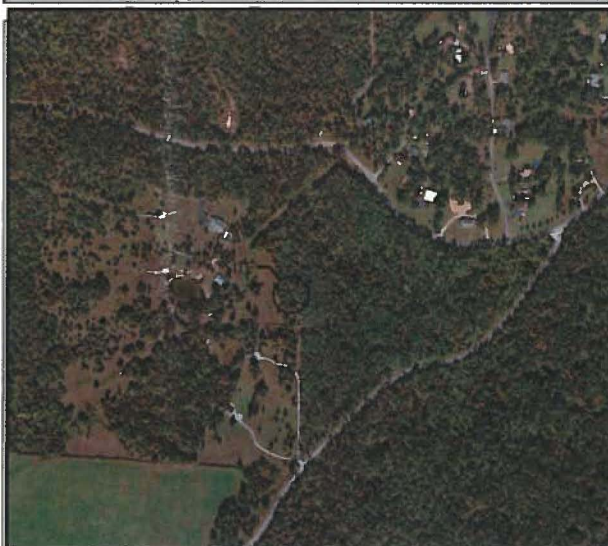
PUBLIC SERVICE  
COMMISSION



VICINITY MAP



LOCATION MAP



AERIAL



TRUE NORTH  
GRID NORTH  
-1° 33' 26"

BASED ON KENTUCKY STATE PLANE SINGLE ZONE AND DETERMINED BY GPS OBSERVATIONS COMPLETED ON MARCH 22, 2016

**TEMPORARY BENCHMARK**  
NORTHING: 3525173.161  
EASTING: 4180359.937  
ELEVATION: 403.65'  
LOCATION: SET 1/2" REBAR CAPPED "POD TRAV" S18°13'W 66.3'± FROM THE SOUTHWEST CORNER OF THE LEASED PREMISES.

**GENERAL NOTES**

BASIS OF BEARING IS GPS OBSERVATIONS COMPLETED ON MARCH 22, 2016.

NO SEARCH OF PUBLIC RECORDS HAS BEEN COMPLETED BY POD GROUP TO DETERMINE ANY DEFECTS AND/OR AMBIGUITIES IN THE TITLE OF THE PARENT PARCEL.

THIS SURVEY IS FOR THE LEASED PREMISES AND THE 40' ACCESS AND UTILITY EASEMENTS ONLY, AND ONLY A PARTIAL BOUNDARY SURVEY OF THE PARENT PARCEL HAS BEEN PERFORMED.

A PORTION OF THIS SURVEY WAS CONDUCTED BY THE METHOD OF RANDOM TRAVERSE AND HAS NOT BEEN ADJUSTED FOR CLOSURE. UNADJUSTED CLOSURE FOR THIS TRACT EQUALS 0.08', FOR A PRECISION OF 1:37,175.

THIS PROPERTY IS SUBJECT TO ANY RECORDED EASEMENTS AND/OR RIGHTS OF WAY SHOWN HEREON OR NOT.

THIS PLAT IS NOT INTENDED FOR LAND TRANSFER.

"ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY MAPS, THE PARENT PARCEL, PROPOSED TELECOMMUNICATIONS SITE AND PROPOSED EASEMENTS ARE NOT LOCATED IN A 100 YEAR FLOOD PLAIN (ZONE X) PER COMMUNITY PANEL NO. 21157C0085E, DATED JUNE 2, 2011."

NO WETLANDS AREAS HAVE BEEN INVESTIGATED BY THIS SURVEY.

THERE ARE NO APPLICABLE BUFFER ZONES AND LANDSCAPE REQUIREMENTS.

THE LEASED PREMISES IS CONTIGUOUS ALONG ITS COMMON BOUNDARIES TO THE 40' ACCESS & UTILITY EASEMENT "A", WHICH IN TURN IS CONTIGUOUS ALONG ITS COMMON BOUNDARIES TO THE NORTH PROPERTY LINE OF THE PARCEL CONVEYED TO JUSTIN R. AND BRANDY MCLEOD AS RECORDED IN DEED BOOK 419, PAGE 439 AND THE 40' ACCESS AND UTILITY EASEMENT "B", WHICH IN TURN IS CONTIGUOUS ALONG ITS COMMON BOUNDARIES TO THE NORTH PROPERTY LINE OF THE PARCEL CONVEYED TO HELENE MARIE RAMAGE AS RECORDED IN DEED BOOK 415, PAGE 444 AND THE 40' ACCESS AND UTILITY EASEMENT "C", WHICH IN TURN IS CONTIGUOUS ALONG ITS COMMON BOUNDARIES TO THE NORTH RIGHT OF WAY LINE OF RIDGE ROAD, AND THAT THERE ARE NO GAPS, GORES, SPACES OR OVERLAPS BETWEEN OR AMONG ANY OF SAID PARCELS OF LAND.

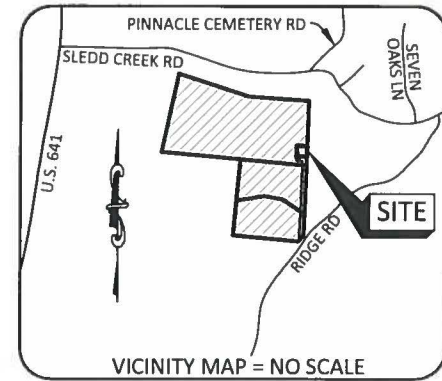
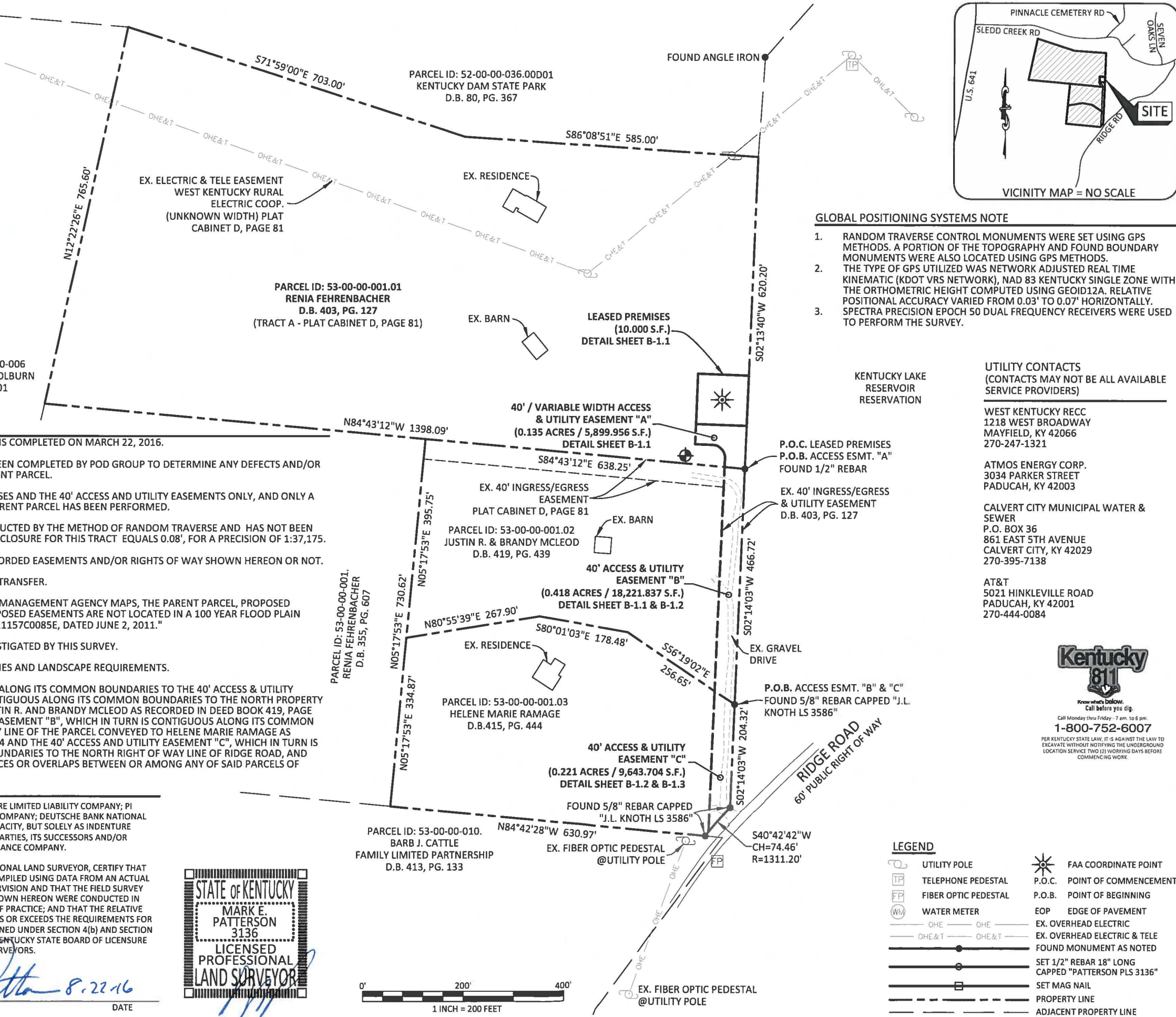
**LAND SURVEYOR'S CERTIFICATION**

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I, MARK E. PATTERSON, A KENTUCKY PROFESSIONAL LAND SURVEYOR, CERTIFY THAT THE INFORMATION SHOWN HEREON WAS COMPILED USING DATA FROM AN ACTUAL FIELD SURVEY MADE UNDER MY DIRECT SUPERVISION AND THAT THE FIELD SURVEY AND THE COMPILATION OF INFORMATION SHOWN HEREON WERE CONDUCTED IN ACCORDANCE WITH KENTUCKY STANDARDS OF PRACTICE; AND THAT THE RELATIVE POSITIONAL ACCURACY OF THIS SURVEY MEETS OR EXCEEDS THE REQUIREMENTS FOR A RURAL PARTIAL BOUNDARY SURVEY AS DEFINED UNDER SECTION 4(b) AND SECTION 12 OF 201 KAR 18:150 AS PUBLISHED BY THE KENTUCKY STATE BOARD OF LICENSURE FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS.



*Mark E. Patterson* 8.22.16  
MARK PATTERSON, PLS #3136 DATE



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**UTILITY CONTACTS**  
(CONTACTS MAY NOT BE ALL AVAILABLE SERVICE PROVIDERS)

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1218 WEST BROADWAY  
MAYFIELD, KY 42066  
270-247-1321

ATMOS ENERGY CORP.  
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PADUCAH, KY 42003

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**LEGEND**

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	SET MAG NAIL		PROPERTY LINE
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**Parallel INFRASTRUCTURE**  
PI TOWER DEVELOPMENT, LLC  
7411 FULLERTON STREET, SUITE 110  
JACKSONVILLE, FL 32256

REV.	DATE	DESCRIPTION
A	3.30.16	PRELIMINARY ISSUE
B	4.18.16	CLIENT COMMENTS / OLC COMMENTS
C	5.17.16	CLIENT COMMENTS / OLC COMMENTS
D	6.6.16	ISSUED AS FINAL

**PROJECT INFORMATION:**  
**KY-GILBERTSVILLE-DAM MARINA**  
364 SLEDD CREEK ROAD  
GILBERTSVILLE, KY 42044  
MARSHALL, COUNTY

**TAX PARCEL NUMBER:**  
53-00-00-001.01

**PROPERTY OWNER:**  
RENIA FEHRENBACHER  
364 SLEDD CREEK ROAD  
GILBERTSVILLE, KY 42044

**SOURCE OF TITLE:**  
DEED BOOK 403, PAGE 127

**TOWER CENTROID:**  
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E: 4180432.56062  
NAVD 88: ELEV.: 402'± AMSL

**SITE NUMBER:**  
PI3KY017

**VERIZON NUMBER:**  
EV KY DAM MARINA

POD NUMBER: 16-8129  
DRAWN BY: DAP  
CHECKED BY: MEP  
DATE: 3.30.16

**SHEET TITLE:**  
**SURVEY PLAT**

**SHEET NUMBER:**  
**B-1**

**GENERAL NOTES**

BASIS OF BEARING IS GPS OBSERVATIONS COMPLETED ON MARCH 22, 2016.

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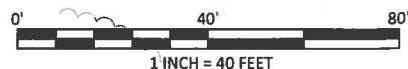
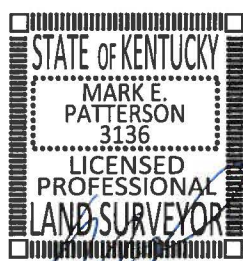
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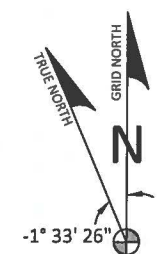
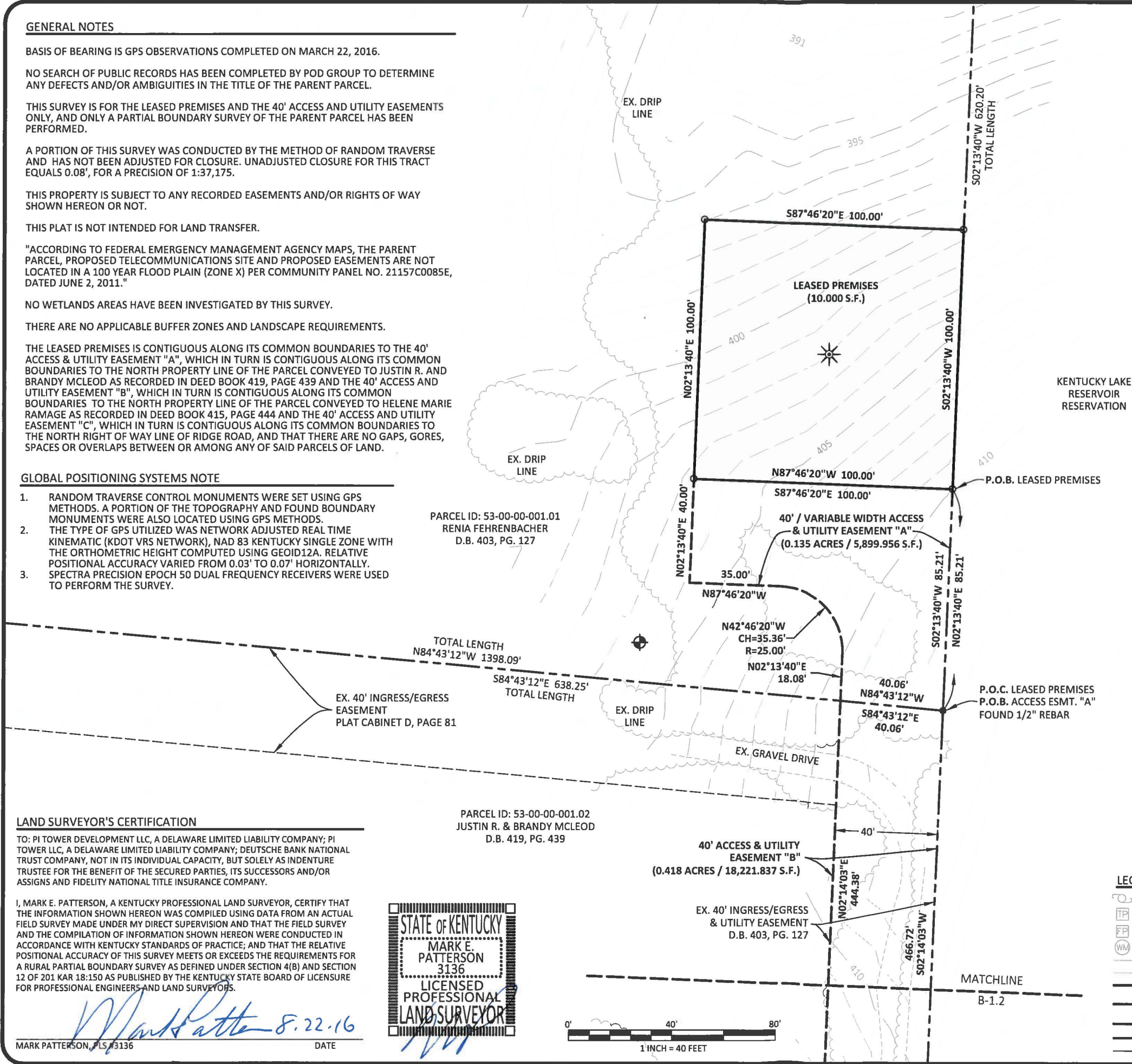
MARK PATTERSON, PLS #3136

DATE



PARCEL ID: 53-00-00-001.01  
RENIA FEHRENBACHER  
D.B. 403, PG. 127

PARCEL ID: 53-00-00-001.02  
JUSTIN R. & BRANDY MCLEOD  
D.B. 419, PG. 439



BASED ON KENTUCKY STATE PLANE SINGLE ZONE AND DETERMINED BY GPS OBSERVATIONS COMPLETED ON MARCH 22, 2016

**TEMPORARY BENCHMARK**  
NORTHING: 3525173.161  
EASTING: 4180359.937  
ELEVATION: 403.65'  
LOCATION: SET 1/2" REBAR CAPPED "POD TRAV" S18°13'W 66.3'± FROM THE SOUTHWEST CORNER OF THE LEASED PREMISES.

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270-247-1321

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	OHE		EX. OVERHEAD ELECTRIC
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**POD**  
POWER OF DESIGN  
11490 BLUEGRASS PKWY  
LOUISVILLE, KY 40299  
502-437-5252

**Parallel**  
INFRASTRUCTURE  
PI TOWER DEVELOPMENT, LLC  
7411 FULLERTON STREET, SUITE 110  
JACKSONVILLE, FL 32256

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**CHECKED BY:** MEP  
**DATE:** 3.30.16

**SHEET TITLE:**  
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**SHEET NUMBER:**  
**B-1.1**

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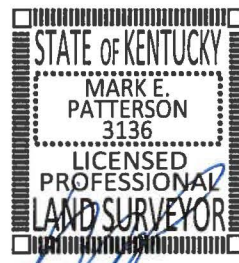
PARCEL ID: 53-00-00-001.02  
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D.B. 419, PG. 439

PARCEL ID: 53-00-00-001.03  
HELENE MARIE RAMAGE  
D.B.415, PG. 444

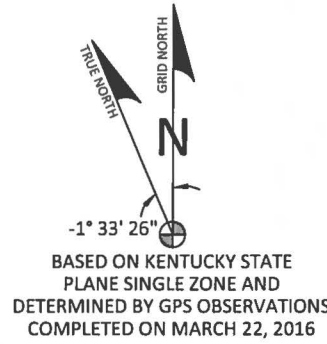
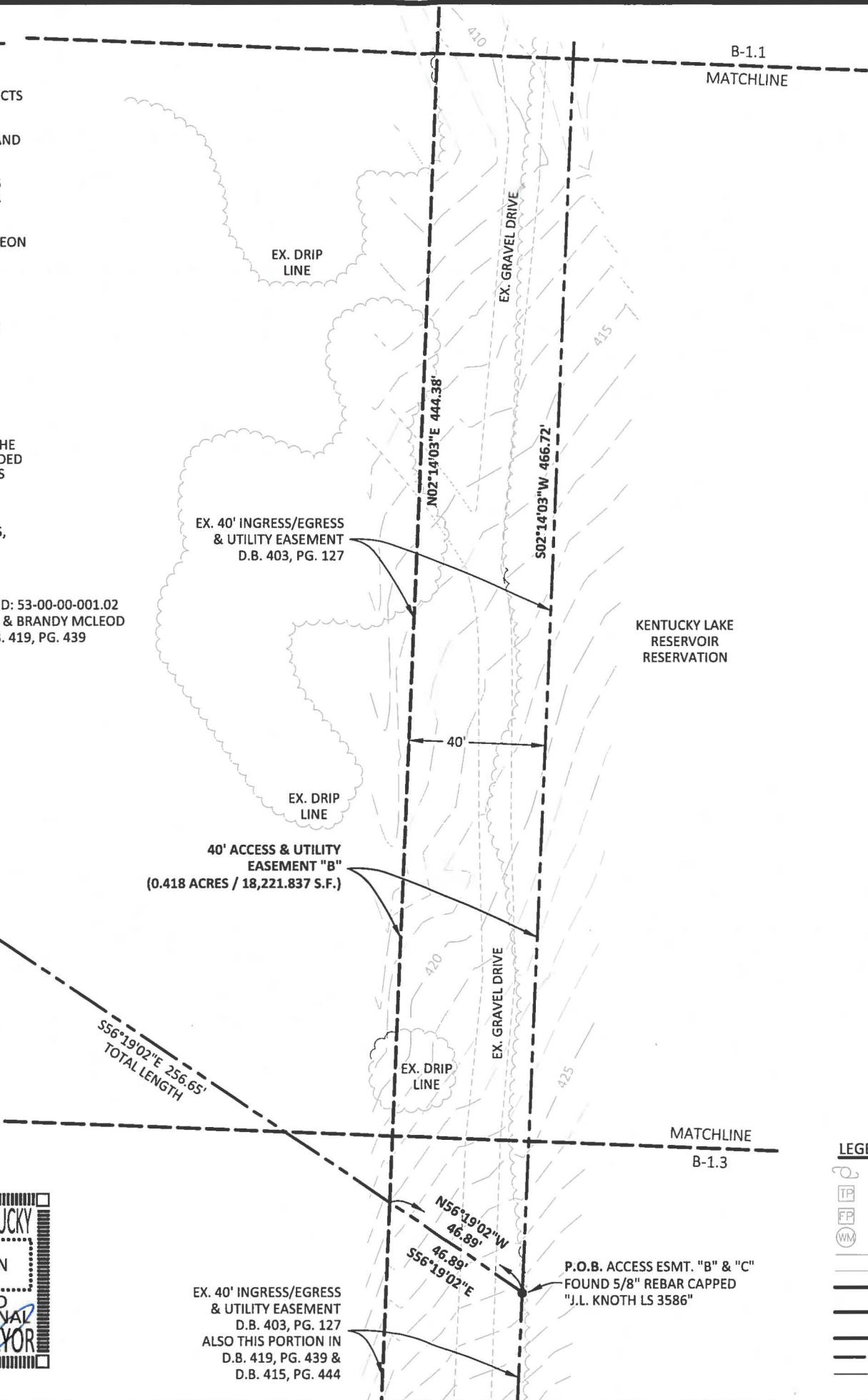
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MARK PATTERSON, PLS #3136 DATE 8-22-16



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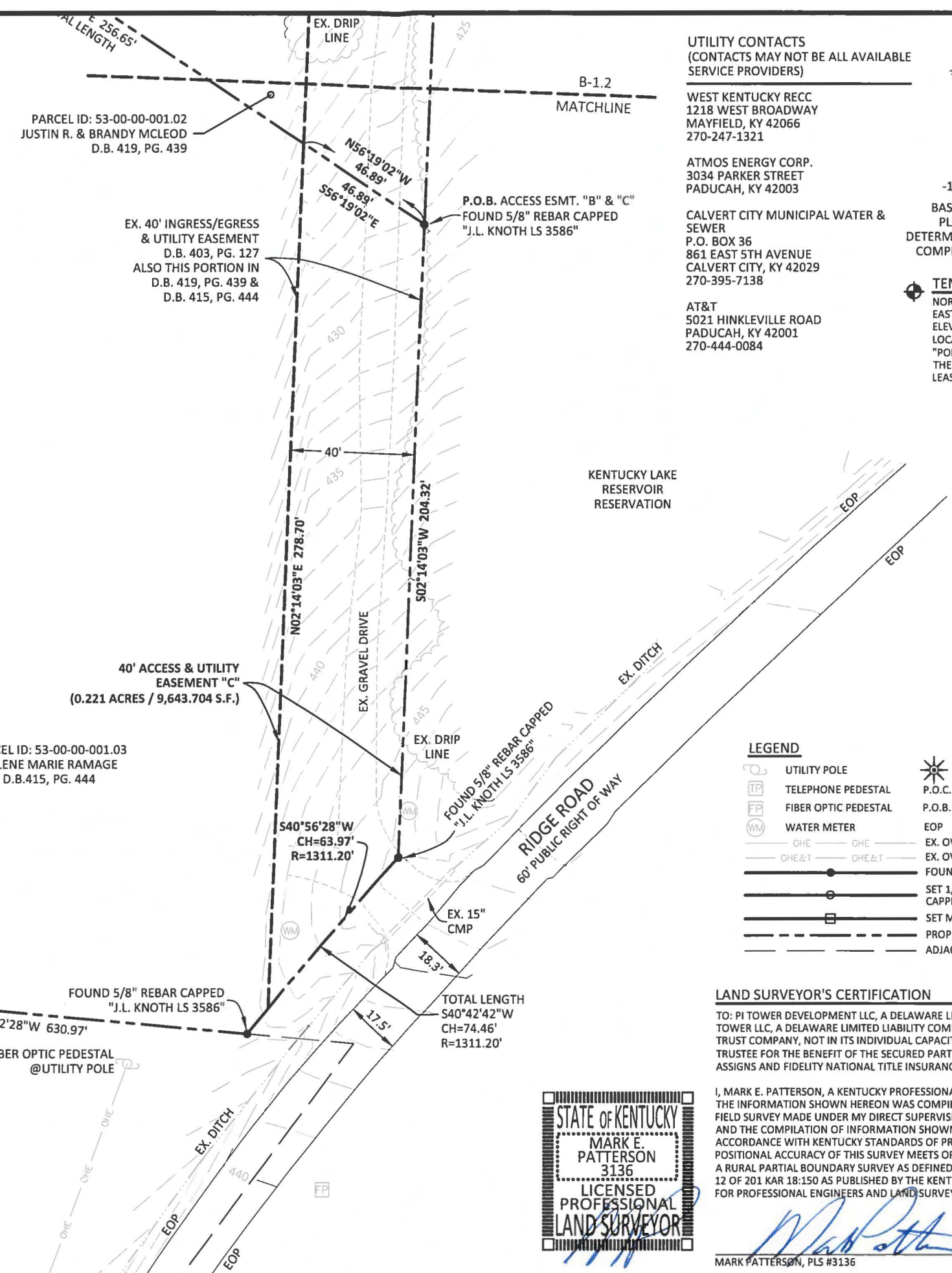
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270-247-1321
- ATMOS ENERGY CORP.  
3034 PARKER STREET  
PADUCAH, KY 42003
- CALVERT CITY MUNICIPAL WATER & SEWER  
P.O. BOX 36  
861 EAST 5TH AVENUE  
CALVERT CITY, KY 42029  
270-395-7138
- AT&T  
5021 HINKLEVILLE ROAD  
PADUCAH, KY 42001  
270-444-0084

TRUE NORTH  
GRID NORTH  
N  
-1° 33' 26"

BASED ON KENTUCKY STATE PLANE SINGLE ZONE AND DETERMINED BY GPS OBSERVATIONS COMPLETED ON MARCH 22, 2016

TEMPORARY BENCHMARK  
NORTHING: 3525173.161  
EASTING: 4180359.937  
ELEVATION: 403.65'  
LOCATION: SET 1/2" REBAR CAPPED "POD TRAV" S18°13'W 66.3'± FROM THE SOUTHWEST CORNER OF THE LEASED PREMISES.



**LEGEND**

- UTILITY POLE
- TELEPHONE PEDESTAL
- FIBER OPTIC PEDESTAL
- WATER METER
- OHE
- OHE&T
- FAA COORDINATE POINT
- P.O.C. POINT OF COMMENCEMENT
- P.O.B. POINT OF BEGINNING
- EOP EDGE OF PAVEMENT
- EX. OVERHEAD ELECTRIC
- EX. OVERHEAD ELECTRIC & TELE
- FOUND MONUMENT AS NOTED
- SET 1/2" REBAR 18" LONG CAPPED "PATTERSON PLS 3136"
- SET MAG NAIL
- PROPERTY LINE
- ADJACENT PROPERTY LINE

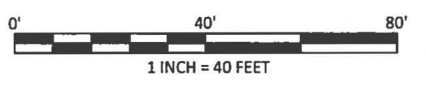
**LAND SURVEYOR'S CERTIFICATION**

TO: PI TOWER DEVELOPMENT LLC, A DELAWARE LIMITED LIABILITY COMPANY; PI TOWER LLC, A DELAWARE LIMITED LIABILITY COMPANY; DEUTSCHE BANK NATIONAL TRUST COMPANY, NOT IN ITS INDIVIDUAL CAPACITY, BUT SOLELY AS INDENTURE TRUSTEE FOR THE BENEFIT OF THE SECURED PARTIES, ITS SUCCESSORS AND/OR ASSIGNS AND FIDELITY NATIONAL TITLE INSURANCE COMPANY.

I, MARK E. PATTERSON, A KENTUCKY PROFESSIONAL LAND SURVEYOR, CERTIFY THAT THE INFORMATION SHOWN HEREON WAS COMPILED USING DATA FROM AN ACTUAL FIELD SURVEY MADE UNDER MY DIRECT SUPERVISION AND THAT THE FIELD SURVEY AND THE COMPILATION OF INFORMATION SHOWN HEREON WERE CONDUCTED IN ACCORDANCE WITH KENTUCKY STANDARDS OF PRACTICE; AND THAT THE RELATIVE POSITIONAL ACCURACY OF THIS SURVEY MEETS OR EXCEEDS THE REQUIREMENTS FOR A RURAL PARTIAL BOUNDARY SURVEY AS DEFINED UNDER SECTION 4(B) AND SECTION 12 OF 201 KAR 18:150 AS PUBLISHED BY THE KENTUCKY STATE BOARD OF LICENSURE FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS.



MARK PATTERSON, PLS #3136  
DATE: 8.22.16



REV.	DATE	DESCRIPTION
A	3.30.16	PRELIMINARY ISSUE
B	4.18.16	CLIENT COMMENTS / OLC COMMENTS
C	5.17.16	CLIENT COMMENTS / OLC COMMENTS
D	6.6.16	ISSUED AS FINAL

PROJECT INFORMATION:  
**KY-GILBERTSVILLE-DAM MARINA**  
364 SLEDD CREEK ROAD  
GILBERTSVILLE, KY 42044  
MARSHALL, COUNTY  
TAX PARCEL NUMBER:  
53-00-00-001.01  
PROPERTY OWNER:  
RENIA FEHRENBACHER  
364 SLEDD CREEK ROAD  
GILBERTSVILLE, KY 42044

SOURCE OF TITLE:  
DEED BOOK 403, PAGE 127  
TOWER CENTROID:  
NAD 83: LAT.: 36°58'37.27"  
LON.: 88°17'10.48"  
SPC SINGLE: N: 3525284.14356  
E: 4180432.56062  
NAVD 88: ELEV.: 402± AMSL

SITE NUMBER:  
PI3KY017  
VERIZON NUMBER:  
EV KY DAM MARINA  
POD NUMBER: 16-8129  
DRAWN BY: DAP  
CHECKED BY: MEP  
DATE: 3.30.16

SHEET TITLE:  
**SURVEY PLAT**  
SHEET NUMBER:  
**B-1.3**

**LEGAL DESCRIPTIONS**

**LEASED PREMISES**

THE FOLLOWING IS A DESCRIPTION OF THE LEASED PREMISES, BEING A PART OF THE PARENT PARCEL CONVEYED TO RENIA FEHRENBACHER SET FORTH IN THAT CERTAIN QUITCLAIM DEED, DATED JANUARY 18, 2011, RECORDED JANUARY 21, 2011, IN DEED BOOK 403, PAGE 127 (PARCEL ID: 53-00-00-001.01), ALSO BEING TRACT A OF PLAT CABINET D, PAGE 81, RECORDS OF THE CLERK OF MARSHALL COUNTY, KENTUCKY, WHICH IS MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEARING DATUM USED HEREIN IS BASED UPON KENTUCKY STATE PLANE COORDINATE SYSTEM, SINGLE ZONE, NAD 83, FROM A REAL TIME KINEMATIC GLOBAL POSITIONING SYSTEM OBSERVATION USING THE KENTUCKY TRANSPORTATION CABINET REAL TIME GPS NETWORK COMPLETED ON MARCH 22, 2016.

COMMENCING AT A FOUND 1/2" REBAR CORNER TO RENIA FEHRENBACHER (PARCEL ID: 53-00-00-001.01) AS RECORDED IN D.B. 403 PG. 127 AND CORNER TO JUSTIN R. & BRANDY MCLEOD (PARCEL ID: 53-00-00-001.02) AS RECORDED IN D.B. 419, PG. 439 AND IN THE WEST LINE OF KENTUCKY LAKE RESERVOIR RESERVATION, SAID REBAR IS N02°14'03"E 466.72' FROM A FOUND 5/8" REBAR CAPPED "J.L. KNOTH LS 3586" CORNER TO SAID MCLEOD AND HELENE MARIE RAMAGE (PARCEL ID: 53-00-00-001.03) AS RECORDED IN D.B. 415, PG. 444; THENCE WITH THE LINE OF SAID FEHRENBACHER AND KY RESERVOIR N02°13'40"E 85.21' TO A SET 1/2" REBAR CAPPED "PATTERSON PLS 3136", HEREAFTER REFERRED TO AS A SET "IPC" AND THE TRUE POINT OF BEGINNING OF THE LEASED PREMISES; THENCE LEAVING SAID COMMON LINE AND TRAVERSING THE LANDS OF FEHRENBACHER N87°46'20"W 100.00' TO A SET IPC; THENCE N02°13'40"E 100.00' TO A SET IPC; THENCE S87°46'20"E 100.00' TO A SET IPC IN SAID COMMON LINE; THENCE WITH SAID COMMON LINE S02°13'40"W 100.00' TO THE POINT OF BEGINNING CONTAINING 0.230 ACRES, 10,000.00 SQUARE FEET AS PER SURVEY BY MARK E. PATTERSON, PLS #3136 DATED MARCH 22, 2016.

**40' / VARIABLE WIDTH ACCESS & UTILITY EASEMENT "A"**

THE FOLLOWING IS A DESCRIPTION OF THE 40' / VARIABLE WIDTH ACCESS & UTILITY EASEMENT "A", BEING A PART OF THE PARENT PARCEL CONVEYED TO RENIA FEHRENBACHER SET FORTH IN THAT CERTAIN QUITCLAIM DEED, DATED JANUARY 18, 2011, RECORDED JANUARY 21, 2011, IN DEED BOOK 403, PAGE 127 (PARCEL ID: 53-00-00-001.01), ALSO BEING TRACT A OF PLAT CABINET D, PAGE 81, RECORDS OF THE CLERK OF MARSHALL COUNTY, KENTUCKY, WHICH IS MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEARING DATUM USED HEREIN IS BASED UPON KENTUCKY STATE PLANE COORDINATE SYSTEM, SINGLE ZONE, NAD 83, FROM A REAL TIME KINEMATIC GLOBAL POSITIONING SYSTEM OBSERVATION USING THE KENTUCKY TRANSPORTATION CABINET REAL TIME GPS NETWORK COMPLETED ON MARCH 22, 2016.

BEGINNING AT A FOUND 1/2" REBAR CORNER TO RENIA FEHRENBACHER (PARCEL ID: 53-00-00-001.01) AS RECORDED IN D.B. 403 PG. 127 AND CORNER TO JUSTIN R. & BRANDY MCLEOD (PARCEL ID: 53-00-00-001.02) AS RECORDED IN D.B. 419, PG. 439 AND IN THE WEST LINE OF KENTUCKY LAKE RESERVOIR RESERVATION, SAID REBAR IS N02°14'03"E 466.72' FROM A FOUND 5/8" REBAR CAPPED "J.L. KNOTH LS 3586" CORNER TO SAID MCLEOD AND HELENE MARIE RAMAGE (PARCEL ID: 53-00-00-001.03) AS RECORDED IN D.B. 415, PG. 444; THENCE WITH THE LINE OF FEHRENBACHER AND MCLEOD N84°43'12"W 40.06' TO A POINT; THENCE LEAVING SAID COMMON LINE AND TRAVERSING THE LANDS OF FEHRENBACHER N02°13'40"E 18.08' TO A POINT; THENCE WITH THE CHORD OF A CURVE TO THE LEFT HAVING A RADIUS OF 25.00', N42°46'20"W 35.36' TO A POINT; THENCE N87°46'20"W 35.00' TO A POINT; THENCE N02°13'40"E 40.00' TO A SET 1/2" REBAR CAPPED "PATTERSON PLS 3136", HEREAFTER REFERRED TO AS A SET "IPC" AND BEING THE SOUTHWEST CORNER OF THE LEASED PREMISES; THENCE WITH SAID PREMISES S87°46'20"E 100.00' TO A SET IPC; THENCE LEAVING SAID PREMISES AND WITH THE LINE OF SAID FEHRENBACHER AND KY RESERVOIR S02°13'40"W 85.21' TO THE POINT OF BEGINNING CONTAINING 0.135 ACRES, 5,899.956 SQUARE FEET AS PER SURVEY BY MARK E. PATTERSON, PLS #3136 DATED MARCH 22, 2016.

**40' ACCESS & UTILITY EASEMENT "B"**

THE FOLLOWING IS A DESCRIPTION OF THE 40' ACCESS & UTILITY EASEMENT "B", BEING A PART OF THE PARENT PARCEL CONVEYED TO JUSTIN R. & BRANDY MCLEOD SET FORTH IN THAT CERTAIN GENERAL WARRANTY DEED, DATED APRIL 8, 2013, RECORDED APRIL 12, 2013, IN DEED BOOK 419, PAGE 439 (PARCEL ID: 53-00-00-001.02), RECORDS OF THE CLERK OF MARSHALL COUNTY, KENTUCKY, WHICH IS MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEARING DATUM USED HEREIN IS BASED UPON KENTUCKY STATE PLANE COORDINATE SYSTEM, SINGLE ZONE, NAD 83, FROM A REAL TIME KINEMATIC GLOBAL POSITIONING SYSTEM OBSERVATION USING THE KENTUCKY TRANSPORTATION CABINET REAL TIME GPS NETWORK COMPLETED ON MARCH 22, 2016.

BEGINNING AT A FOUND 5/8" REBAR CAPPED "J.L. KNOTH LS 3586" CORNER TO HELENE MARIE RAMAGE (PARCEL ID: 53-00-00-001.03) AS RECORDED IN D.B. 415, PG. 444 AND CORNER TO JUSTIN R. & BRANDY MCLEOD (PARCEL ID: 53-00-00-001.02) AS RECORDED IN D.B. 419, PG. 439 AND IN THE WEST LINE OF KENTUCKY LAKE RESERVOIR RESERVATION, SAID REBAR IS N02°14'03"E 204.32' FROM A FOUND 5/8" REBAR CAPPED "J.L. KNOTH LS 3586" CORNER TO SAID RAMAGE AND IN THE NORTH RIGHT OF WAY OF RIDGE ROAD; THENCE WITH THE LINE OF RAMAGE AND MCLEOD N56°19'02"W 46.89' TO A POINT; THENCE LEAVING SAID LINE AND TRAVERSING THE LANDS OF MCLEOD N02°14'03"E 444.38' TO A POINT IN THE COMMON LINE OF SAID FEHRENBACHER AND MCLEOD; THENCE WITH SAID COMMON LINE S84°43'12"E 40.06' TO A FOUND 1/2" REBAR; THENCE S02°14'03"W 466.72' TO THE POINT OF BEGINNING CONTAINING 0.418 ACRES, 18,221.837 SQUARE FEET AS PER SURVEY BY MARK E. PATTERSON, PLS #3136 DATED MARCH 22, 2016.

**40' ACCESS & UTILITY EASEMENT "C"**

THE FOLLOWING IS A DESCRIPTION OF THE 40' ACCESS & UTILITY EASEMENT "C", BEING A PART OF THE PARENT PARCEL CONVEYED TO HELENE MARIE RAMAGE SET FORTH IN THAT CERTAIN DEED OF CONVEYANCE, DATED SEPTEMBER 18, 2012, RECORDED SEPTEMBER 21, 2012, IN DEED BOOK 415, PAGE 444 (PARCEL ID: 53-00-00-001.03), RECORDS OF THE CLERK OF MARSHALL COUNTY, KENTUCKY, WHICH IS MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THE FOLLOWING IS A DESCRIPTION OF AN ACCESS & UTILITY EASEMENT TO BE GRANTED FROM THE PROPERTY OF HELENE MARIE RAMAGE (PARCEL ID: 53-00-00-001.03) AS RECORDED IN D.B. 415, PG. 444, IN THE OFFICE OF THE CLERK OF MARSHALL COUNTY, KENTUCKY, WHICH IS MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEARING DATUM USED HEREIN IS BASED UPON KENTUCKY STATE PLANE COORDINATE SYSTEM, SINGLE ZONE, NAD 83, FROM A REAL TIME KINEMATIC GLOBAL POSITIONING SYSTEM OBSERVATION USING THE KENTUCKY TRANSPORTATION CABINET REAL TIME GPS NETWORK COMPLETED ON MARCH 22, 2016.

BEGINNING AT A FOUND 5/8" REBAR CAPPED "J.L. KNOTH LS 3586" CORNER TO HELENE MARIE RAMAGE (PARCEL ID: 53-00-00-001.03) AS RECORDED IN D.B. 415, PG. 444 AND CORNER TO JUSTIN R. & BRANDY MCLEOD (PARCEL ID: 53-00-00-001.02) AS RECORDED IN D.B. 419, PG. 439 AND IN THE WEST LINE OF KENTUCKY LAKE RESERVOIR RESERVATION, SAID REBAR IS S02°14'03"W 466.72' FROM A FOUND 5/8" REBAR CAPPED "J.L. KNOTH LS 3586" CORNER TO SAID MCLEOD AND CORNER TO RENIA FEHRENBACHER (PARCEL ID: 53-00-00-001.01) AS RECORDED IN D.B. 403 PG. 127; THENCE WITH THE LINE OF RAMAGE AND KY RESERVOIR S02°14'03"W 204.32' FOUND 5/8" REBAR CAPPED "J.L. KNOTH LS 3586" IN THE NORTH RIGHT OF WAY OF RIDGE ROAD; THENCE WITH SAID RIGHT OF WAY, WITH THE CHORD OF A CURVE TO THE LEFT HAVING A RADIUS OF 1311.20', S40°56'28"W 63.97' TO A POINT; THENCE LEAVING SAID RIGHT OF WAY N02°14'03"E 278.70' TO THE COMMON LINE OF RAMAGE AND MCLEOD; THENCE WITH SAID COMMON LINE S56°19'02"E 46.89' TO THE POINT OF BEGINNING CONTAINING 0.221 ACRES, 9,643.704 SQUARE FEET AS PER SURVEY BY MARK E. PATTERSON, PLS #3136 DATED MARCH 22, 2016.

**TITLE OF COMMITMENT**

THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY POD GROUP, LLC. AND AS SUCH WE ARE NOT RESPONSIBLE FOR THE INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, UNRECORDED EASEMENTS, AUGMENTING EASEMENTS, IMPLIED OR PRESCRIPTIVE EASEMENTS, OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE. INFORMATION REGARDING THESE MATTERS WERE GAINED FROM FIDELITY NATIONAL TITLE INSURANCE COMPANY, COMMITMENT NO. 22540380, DATED MARCH 9, 2016 AT 8:00 AM. THE FOLLOWING COMMENTS ARE IN REGARD TO SAID COMMITMENT AND THE NUMBERS IN THE COMMENTS CORRESPOND TO THE NUMBERING SYSTEM IN SAID COMMITMENT.

POD GROUP, LLC HAS RECEIVED AND REVIEWED THE TITLE COMMITMENT PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, DATED EFFECTIVE MARCH 9, 2016, BEING COMMITMENT NO. 22540380 FOR THE PARENT PARCEL, TO DETERMINE THE IMPACTS OF EXISTING TITLE EXCEPTIONS

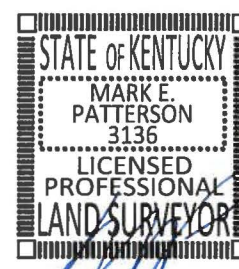
**SCHEDULE B - SECTION II**

1. DEFECTS, LIENS, ENCUMBRANCES, ADVERSE CLAIMS OR OTHER MATTERS, IF ANY, CREATED, FIRST APPEARING IN THE PUBLIC RECORDS OR ATTACHING SUBSEQUENT TO THE EFFECTIVE DATE HEREOF BUT PRIOR TO THE DATE THE PROPOSED INSURED ACQUIRES FOR VALUE OF RECORD THE ESTATE OR INTEREST OR MORTGAGE THEREON COVERED BY THIS COMMITMENT. (CANNOT BE PLOTTED, THEREFORE POWER OF DESIGN GROUP, LLC DID NOT EXAMINE OR ADDRESS THIS ITEM.)
2. RIGHTS OR CLAIMS OF PARTIES IN POSSESSION NOT SHOWN BY THE PUBLIC RECORDS. (CANNOT BE PLOTTED, THEREFORE POWER OF DESIGN GROUP, LLC DID NOT EXAMINE OR ADDRESS THIS ITEM.)
3. EASEMENTS, OR CLAIMS OF EASEMENTS, NOT SHOWN BY THE PUBLIC RECORDS. (CANNOT BE PLOTTED, THEREFORE POWER OF DESIGN GROUP, LLC DID NOT EXAMINE OR ADDRESS THIS ITEM.)
4. ANY LIEN, OR RIGHT TO A LIEN, FOR SERVICES, LABOR, OR MATERIAL HERETOFORE OR HEREAFTER FURNISHED, IMPOSED BY LAW AND NOT SHOWN BY THE PUBLIC RECORDS. (NOT A SURVEY MATTER, THEREFORE POWER OF DESIGN GROUP, LLC DID NOT EXAMINE OR ADDRESS THIS ITEM.)
5. ANY ENCROACHMENT, ENCUMBRANCE, VIOLATION, VARIATION, OR ADVERSE CIRCUMSTANCE AFFECTING THE TITLE THAT WOULD BE DISCLOSED BY AN ACCURATE AND COMPLETE LAND SURVEY OF THE LAND. (CANNOT BE PLOTTED, THEREFORE POWER OF DESIGN GROUP, LLC DID NOT EXAMINE OR ADDRESS THIS ITEM.)
6. TAXES AND SPECIAL ASSESSMENTS WHICH ARE NOT SHOWN AS EXISTING LIENS BY THE PUBLIC RECORDS. (NOT A SURVEY MATTER, THEREFORE POWER OF DESIGN GROUP, LLC DID NOT EXAMINE OR ADDRESS THIS ITEM.)
7. TAXES FOR THE YEAR 2016 AND SUBSEQUENT YEARS, A LIEN NOT YET DUE AND PAYABLE. (NOT A SURVEY MATTER, THEREFORE POWER OF DESIGN GROUP, LLC DID NOT EXAMINE OR ADDRESS THIS ITEM.)
8. PLAT RECORDED ON 05/17/2001 IN PLAT CABINET D, PAGE 81. (PLAT IS APPLICABLE TO THE PARENT PARCEL, PARCEL ID: 53-00-00-001.01 AND APPLIES TO THE LEASED PREMISES AND THE ACCESS & UTILITY EASEMENT "A".)
9. MORTGAGE FROM MONTY MONTY AND RENIA LYNN FEHRENBACHER, GRANTOR(S), IN FAVOR OF U.S. BANK NATIONAL ASSOCIATION, DATED 09/24/2014, AND RECORDED 10/17/2014 IN MORTGAGE BOOK 803, PAGE 17, IN THE ORIGINAL AMOUNT OF \$100,000.00. (MORTGAGE IS APPLICABLE TO THE PARENT PARCEL, PARCEL ID: 53-00-00-001.01 AND APPLIES TO THE LEASED PREMISES AND THE ACCESS & UTILITY EASEMENTS.)
10. POSSIBLE ROLLBACK TAXES. (NOT A SURVEY MATTER, THEREFORE POWER OF DESIGN GROUP, LLC DID NOT EXAMINE OR ADDRESS THIS ITEM.)

**LAND SURVEYOR'S CERTIFICATION**

TO: PI TOWER DEVELOPMENT LLC, A DELAWARE LIMITED LIABILITY COMPANY; PI TOWER LLC, A DELAWARE LIMITED LIABILITY COMPANY; DEUTSCHE BANK NATIONAL TRUST COMPANY, NOT IN ITS INDIVIDUAL CAPACITY, BUT SOLELY AS INDENTURE TRUSTEE FOR THE BENEFIT OF THE SECURED PARTIES, ITS SUCCESSORS AND/OR ASSIGNS AND FIDELITY NATIONAL TITLE INSURANCE COMPANY.

I, MARK E. PATTERSON, A KENTUCKY PROFESSIONAL LAND SURVEYOR, CERTIFY THAT THE INFORMATION SHOWN HEREON WAS COMPILED USING DATA FROM AN ACTUAL FIELD SURVEY MADE UNDER MY DIRECT SUPERVISION AND THAT THE FIELD SURVEY AND THE COMPILATION OF INFORMATION SHOWN HEREON WERE CONDUCTED IN ACCORDANCE WITH KENTUCKY STANDARDS OF PRACTICE; AND THAT THE RELATIVE POSITIONAL ACCURACY OF THIS SURVEY MEETS OR EXCEEDS THE REQUIREMENTS FOR A RURAL PARTIAL BOUNDARY SURVEY AS DEFINED UNDER SECTION 4(B) AND SECTION 12 OF 201 KAR 18:150 AS PUBLISHED BY THE KENTUCKY STATE BOARD OF LICENSURE FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS.



*Mark Patterson* 8.22.16  
 MARK PATTERSON, PLS #3136 DATE



REV.	DATE	DESCRIPTION
A	3.30.16	PRELIMINARY ISSUE
B	4.18.16	CLIENT COMMENTS / OLC COMMENTS
C	5.17.16	CLIENT COMMENTS / OLC COMMENTS
D	6.6.16	ISSUED AS FINAL

PROJECT INFORMATION:  
**KY-GILBERTSVILLE-DAM MARINA**  
 364 SLEDD CREEK ROAD  
 GILBERTSVILLE, KY 42044  
 MARSHALL, COUNTY  
**TAX PARCEL NUMBER:**  
 53-00-00-001.01  
**PROPERTY OWNER:**  
 RENIA FEHRENBACHER  
 364 SLEDD CREEK ROAD  
 GILBERTSVILLE, KY 42044

**SOURCE OF TITLE:**  
 DEED BOOK 403, PAGE 127  
**TOWER CENTROID:**  
 NAD 83: LAT.: 36°58'37.27"  
 LON.: 88°17'10.48"  
 SPC SINGLE: N: 3525284.14356  
 E: 4180432.56062  
 NAVD 88: ELEV.: 402± AMSL

**SITE NUMBER:**  
 P13KY017  
**VERIZON NUMBER:**  
 EV KY DAM MARINA  
**POD NUMBER:** 16-8129  
**DRAWN BY:** DAP  
**CHECKED BY:** MEP  
**DATE:** 3.30.16

**SHEET TITLE:**  
**SURVEY PLAT**  
**SHEET NUMBER:**  
**B-1.4**

REV.	DATE	DESCRIPTION
A	3.30.16	PRELIMINARY ISSUE
B	4.18.16	CLIENT COMMENTS / OLC COMMENTS
C	5.17.16	CLIENT COMMENTS / OLC COMMENTS
D	6.6.16	ISSUED AS FINAL

PROJECT INFORMATION:  
**KY-GILBERTSVILLE-DAM MARINA**  
364 SLEDD CREEK ROAD  
GILBERTSVILLE, KY 42044  
MARSHALL, COUNTY  
TAX PARCEL NUMBER:  
53-00-00-001.01  
PROPERTY OWNER:  
RENIA FEHRENBACHER  
364 SLEDD CREEK ROAD  
GILBERTSVILLE, KY 42044

SOURCE OF TITLE:  
DEED BOOK 403, PAGE 127  
TOWER CENTROID:  
NAD 83: LAT.: 36°58'37.27"  
LON.: 88°17'10.48"  
SPC SINGLE: N: 3525284.14356  
E: 4180432.56062  
NAVD 88: ELEV.: 402± AMSL

SITE NUMBER:  
PI3KY017

VERIZON NUMBER:  
EV KY DAM MARINA

POD NUMBER: 16-8129  
DRAWN BY: DAP  
CHECKED BY: MEP  
DATE: 3.30.16

SHEET TITLE:  
**SURVEY PLAT**

SHEET NUMBER:  
**B-1.5**

**PARENT PARCEL LEGAL DESCRIPTION (NOT FIELD SURVEYED) DEED BOOK 419, PAGE 439**

A TRACT OF LAND IN MARSHALL COUNTY KENTUCKY, LYING 1± MILE EASTERLY OF U.S. HIGHWAY 641 AND 0.2± MILES SOUTHERLY OF THE SLEDD CREEK ROAD AND ON THE WEST SIDE OF THE RIDGE ROAD AND BETTER DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER, A 5/8" IRON PIN, SET IN THE WEST LINE OF THE KENTUCKY LAKE RESERVOIR RESERVATION BOUNDARY, SAID PIN BEING 30.00 FEET WESTERLY OF THE CENTER THE TRAVEL-WAY THE RIDGE ROAD; THENCE; AND WITH THE EAST LINE OF THE KENTUCKY LAKE RESERVOIR RESERVATION BOUNDARY, N2°22'02"E 204.32 FEET TO A 5/8" IRON PIN SET. THE TRUE POINT OF BEGINNING, SAID PIN BEING THE NEWLY ESTABLISHED CORNER OF THE JAMES HUNTER AND JENNIFER COURSEY PROPERTY, (DEED BOOK 359 PAGE 484); THENCE; AND FROM THE TRUE POINT OF BEGINNING AND WITH THE NEW DIVISION LINE WITH COURSEY, N56°11'02"W AND CROSSING THE ORIGINAL BOUNDARY WITH COURSEY AT 231.28 FEET, 256.65 FEET TO A 42" DOUBLE OAK TREE; THENCE; N79°53'03"W 178.48 FEET TO A 5/8" IRON PIN SET; THENCE; S81°03'39"W AND CROSSING THE ORIGINAL BOUNDARY WITH COURSEY AT 190.75 FEET, 267.90 FEET TO A 5/8" IRON PIN, SET IN THE EAST LINE OF THE RENIA LYNN FEHRENBACHER PROPERTY, (DEED BOOK 403 PAGE 127); THENCE; AND WITH THE EAST LINE OF FEHRENBACHER, N5°25'53"E AND PASSING THROUGH THE ORIGINAL CORNER WITH COURSEY AT 15.13 FEET, 395.75 FEET TO AN EXISTING 1/2" IRON PIN FOUND IN THE SOUTH LINE OF ANOTHER FEHRENBACHER PROPERTY, (DEED BOOK 319 PAGE 419); THENCE; AND WITH FEHRENBACHER, S84°35'12"E 638.25 FEET TO A 1/2" IRON PIN, FOUND IN THE WEST BOUNDARY OF THE KENTUCKY LAKE RESERVOIR RESERVATION TRACT; THENCE; AND WITH THE WEST LINE OF THE KENTUCKY LAKE RESERVOIR RESERVATION, S02°22'02"W AND PASSING THROUGH THE ORIGINAL CORNER WITH COURSEY AT A 5/8" IRON PIN, SET AT 346.00 FEET, 466.72 FEET TO THE BEGINNING CONTAINING 5.5007 ACRES AND BEING THAT PORTION OF DEED BOOK 359 PAGE 488 AND DEED BOOK 359 PAGE 484 AS SURVEYED BY JAMES L. KNOTH PROFESSIONAL LAND SURVEYOR NO. 3585 ON AUGUST 7, 2011.

THERE IS ALSO A 40 FOOT EASEMENT FOR INGRESS AND EGRESS TO THE RIDGE ROAD AND BETTER DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER, A 5/8" IRON PIN, SET IN THE WEST LINE OF THE KENTUCKY LAKE RESERVOIR RESERVATION BOUNDARY, SAID PIN BEING 30.00 FEET WESTERLY OF THE CENTER THE TRAVEL-WAY THE RIDGE ROAD; THENCE; AND AROUND A CURVE TO THE LEFT WITH A RADIUS OF 1,311.20 FEET, AND AN ARC LENGTH OF 63.98 FEET, BUT IS BEST DESCRIBED AS A CHORD WHICH BEARS S41°04'15"W 63.97 FEET TO A POINT; THENCE; N2°22'02"E 278.71 FEET TO A POINT IN THE SOUTH BOUNDARY OF SAID DAVIS, (DEED BOOK 359 PAGE 488); THENCE; AND WITH THE SOUTH LINE OF DAVIS, S56°11'02"E 46.89 FEET TO A 5/8" IRON PIN, SET IN THE WEST BOUNDARY OF THE SAID KENTUCKY LAKE RESERVOIR RESERVATION; THENCE; AND WITH THE RESERVOIR RESERVATION BOUNDARY, S2°22'02"W 204.32 FEET TO THE BEGINNING CONTAINING 0.2214 ACRES AND BEING THAT PORTION OF THE 40 FOOT EASEMENT DESCRIBED IN DEED BOOK 359 PAGE 488 AND DEED BOOK 359 PAGE 484 AS SURVEYED BY JAMES L. KNOTH PROFESSIONAL LAND SURVEYOR NO. 3585 ON AUGUST 7, 2011.

**PARENT PARCEL LEGAL DESCRIPTION (NOT FIELD SURVEYED) DEED BOOK 415, PAGE 444**

A TRACT OF LAND IN MARSHALL COUNTY KENTUCKY, LYING 1± MILE EASTERLY OF U.S. HIGHWAY 641 AND 0.2± MILES SOUTHERLY OF THE SLEDD CREEK ROAD AND ON THE WEST SIDE OF THE RIDGE ROAD AS SHOWN ON SLIDE F-106, AND BETTER DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER, A 5/8" IRON PIN, SET IN THE WEST LINE OF THE KENTUCKY LAKE RESERVOIR RESERVATION BOUNDARY, SAID PIN BEING 30.00 FEET WESTERLY OF THE CENTER OF THE TRAVELWAY OF RIDGE ROAD; THENCE AROUND A CURVE TO THE LEFT WITH A RADIUS OF 1,311.20 FEET AND AN ARC LENGTH OF 74.47 FEET, BUT BEST DESCRIBED AS CHORD WHICH BEARS S40°50'56"W 74.46 FEET TO A 5/8 INCH IRON PIN SET 30.00 FEET WESTERLY OF CENTER OF RIDGE ROAD, SAID PIN BEING THE NORTHEAST CORNER OF THE CHARLES AND BARBARA THORN (DEED BOOK 377, PAGE 328); THENCE WITH THE NORTH LINE OF THORN N84°34'28"W 630.97 FEET TO AN EXISTING 1/2 INCH IRON PIN FOUND, SAID PIN BEING THE SOUTHEAST CORNER OF THE RANIA LYNN FEHRENBACHER PROPERTY (DEED BOOK 403, PAGE 127); THENCE WITH THE EAST LINE OF FEHRENBACHER N5°25'53"E 334.87 FEET TO A 5/8 INCH IRON PIN SET, SAID PIN BEING THE NEWLY ESTABLISHED DIVISION CORNER WITH THE ADAM AND LAURA DAVIS PROPERTY (DEED BOOK 359, PAGE 488); THENCE WITH THE NEW DIVISION LINE ESTABLISHED THIS DAY N81°03'39"E, AND CROSSING THE ORIGINAL BOUNDARY LINE WITH DAVIS AT 77.15 FEET, 267.90 FEET TO A 5/8 INCH IRON PIN SET; THENCE S79°53'03"E 178.48 FEET TO A 42 INCH DOUBLE OAK TREE; THENCE S56°11'02"E, AND CROSSING THE ORIGINAL BOUNDARY LINE WITH DAVIS AT 25.37 FEET, 256.65 FEET TO A 5/8 INCH IRON PIN SET IN THE WEST BOUNDARY OF THE SAID KENTUCKY LAKE RESERVOIR RESERVATION; THENCE WITH THE RESERVOIR RESERVATION BOUNDARY S2°22'02"W 204.32 FEET TO THE BEGINNING; CONTAINING 5.5008 ACRES AND BEING THAT PORTION OF DEED BOOK 359, PAGE 488, AND DEED BOOK 359, PAGE 484, AS SURVEYED BY JAMES L. KNOTH PROFESSIONAL LAND SURVEYOR NO. 3585 ON AUGUST 7, 2011.

THIS PROPERTY IS SUBJECT TO A 40-FOOT EASEMENT FOR INGRESS AND EGRESS IN FAVOR OF DEED BOOK 359, PAGE 488, AND DEED BOOK 319, PAGE 419, AND BETTER DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER, A 5/8 INCH IRON PIN, SET IN THE WEST LINE OF THE KENTUCKY LAKE RESERVOIR RESERVATION BOUNDARY, SAID PIN BEING 30.00 FEET WESTERLY OF THE CENTER THE TRAVEL-WAY OF RIDGE ROAD; THENCE AROUND A CURVE TO THE LEFT WITH A RADIUS OF 1,311.20 FEET, AND AN ARC LENGTH OF 63.98 FEET, BUT IS BEST DESCRIBED AS A CHORD WHICH BEARS S41°04'15"W 63.97 FEET TO A POINT; THENCE; N2°22'02"E 278.71 FEET TO A POINT IN THE SOUTH BOUNDARY OF SAID DAVIS, (DEED BOOK 359 PAGE 488); THENCE WITH THE SOUTH LINE OF DAVIS, S56°11'02"E 46.89 FEET TO A 5/8" IRON PIN, SET IN THE WEST BOUNDARY OF THE SAID KENTUCKY LAKE RESERVOIR RESERVATION; THENCE WITH THE RESERVOIR RESERVATION BOUNDARY, S2°22'02"W 204.32 FEET TO THE BEGINNING CONTAINING 0.2214 ACRES AND BEING THAT PORTION OF THE 40 FOOT EASEMENT DESCRIBED IN DEED BOOK 359 PAGE 488 AND DEED BOOK 359 PAGE 484 AS SURVEYED BY JAMES L. KNOTH PROFESSIONAL LAND SURVEYOR NO. 3585 ON AUGUST 7, 2011.

**PARENT PARCEL LEGAL DESCRIPTION (NOT FIELD SURVEYED) DEED BOOK 403, PAGE 127**

BEING A TRACT OF LAND LOCATED ON THE WESTERLY SIDE OF A ROAD KNOWN AS RIDGE ROAD AND JUST SOUTH OF THE SLEDD CREEK ROAD NEAR THE GILBERTSVILLE COMMUNITY OF MARSHALL COUNTY, KENTUCKY, SAID TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A ONE-HALF INCH DIAMETER STEEL ROAD THIRTY INCHES LONG WITH A YELLOW PLASTIC CAP STAMPED "FHT ENGRS KRLS 1842" (HEREINAFTER REFERRED TO AS A STEEL ROAD AND CAP) SET WHERE THE SOUTHERLY LINE OF THE HEREIN DESCRIBED TRACT OF LAND INTERSECTS THE EASTERLY LINE OF THE PROPERTY FROM WHICH THIS TRACT IS SUBDIVIDED, SAID EASTERLY LINE ALSO BEING THE WESTERLY LINE OF THE KENTUCKY LAKE RESERVOIR RESERVATION BOUNDARY LINE WITH SAID STEEL ROAD AND CAP BEING LOCATED N. 02° 21' 40" E A DISTANCE OF 671.04 FEET FROM AN ANGLE IRON MARKER FOUND WHERE SAID WESTERLY LINE INTERSECTS THE NORTHERLY RIGHT-OF-WAY LINE OF RIDGE ROAD; THENCE FROM SAID STEEL ROD AND CAP AFORESAID AND THE POINT OF BEGINNING PROCEED N. 84° 3' 12" W. WITH A NEW DIVISION LINE A DISTANCE OF 1,398.09 FEET TO A STEEL ROD AND CAP SET ON THE WESTERLY LINE OF THE PROPERTY FROM WHICH THIS TRACT IS SUBDIVIDED, SAID WESTERLY LINE ALSO BEING THE EASTERLY LINE OF TRACT NO. 4 OF THE PROPERTY DESCRIBED IN DEED BOOK 173, PAGE 86, OF THE MARSHALL COUNTY CLERK 'S OFFICE OWNED BY WILLIAM J. COLBURN, WILLIAM RICHARD COLBURN AND ROBERT H. FLORENCE AS INDICATED THEREIN; THENCE NORTH 12° 30' 26" E ALONG AND WITH SAID EASTERLY LINE 765.60 FEET TO A STEEL ROD AND CAP PREVIOUSLY SET AT AN EXISTING FENCE CORNER POST AND ON THE SOUTHERLY BOUNDARY LINE OF THE KENTUCKY DAM VILLAGE STATE RESORT PARK; THENCE S. 71° 51' 00" E. ALONG AND WITH SAID SOUTHERLY LINE 703.00 FEET TO A STEEL ROD AND CAP PREVIOUSLY SET BESIDE A CROSS-TIE POST IN THE LINE OF A FENCE; THENCE S. 86° 00' 51" E. CONTINUING WITH SAID SOUTHERLY LINE 585.00 FEET TO AN ANGLE IRON MARKER FOUND AT T.V.A. CORNER 6-1 ON THE WESTERLY LINE OF THE AFORESAID KENTUCKY LAKE RESERVOIR RESERVATION BOUNDARY LINE; THENCE S. 02° 21' 40" W. WITH SAID WESTERLY LINE, 620.20 FEET TO THE POINT OF BEGINNING OF THE HEREIN DESCRIBED TRACT:

THE AFORESAID TRACT OF LAND CONTAINS 871,887 SQUARE FEET OR 20.016 ACRES AND IS SUBJECT TO THE LIMITATIONS, COVENANTS, RESTRICTIONS AND EASEMENTS SHOWN IN THE DEED FROM USA-TVA TO LUTHER DRAFFEN, AN EASEMENT OF UNKNOWN WIDTH FOR A WEST KENTUCKY RURAL ELECTRIC COOPERATIVE AERIAL ELECTRICAL LINE LOCATED ACROSS THE NORTHERN PORTION OF SAID PROPERTY AND ANY OTHER EASEMENTS, RESTRICTIONS, OR COVENANTS THAT MAY BE OF PUBLIC RECORD.

SUBJECT TO AND TOGETHER WITH A FORTY FOOT WIDE PERPETUAL EASEMENT FOR INGRESS, EGRESS, AND UTILITY COMPANY INSTALLATION PURPOSES, SAID EASEMENT BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEASTERLY CORNER OF THE AFORESAID 20.016 ACRE TRACT; THENCE S. 02° 21' 40" W. ALONG AND WITH THE EASTERLY LINE OF THE AFORESAID PARENT TRACT, 671.04 FEET TO AN ANGLE IRON MARKER FOUND ON THE NORTHERLY RIGHT-OF-WAY LINE OF RIDGE ROAD ON THE ARC OF A CURVE THAT IS CONCAVE TO THE SOUTHEAST; THENCE WITH SAID NORTHERLY RIGHT-OF-WAY LINE ALONG THE ARC OF A CURVE NON-TANGENT TO THE AFORESAID EASTERLY LINE AND HAVING A RADIUS LENGTH OF 1,368.37 FEET, A CHORD LENGTH OF 63.97 FEET WITH A BEARING ON THE CHORD OF S. 41° 03' 58" W. A DISTANCE OF 63.97 FEET TO THE INTERSECTION WITH THE WESTERLY LINE OF THE HEREIN DESCRIBED EASEMENT; THENCE N. 02° 21' 40" E. LEAVING SAID NORTHERLY RIGHT-OF-WAY LINE AND WITH A LINE NON-TANGENT TO THE AFORESAID CURVE, 723.09 FEET TO THE SOUTHERLY LINE OF THE AFORESAID 20.016 ACRE TRACT; THENCE S. 84° 35' 12" E ALONG AND WITH SAID SOUTHERLY LINE, 40.06 FEET TO THE POINT OF BEGINNING AND CONTAINING 27,867 SQUARE FEET OR 0.640 ACRES.

**LAND SURVEYOR'S CERTIFICATION**

TO: PI TOWER DEVELOPMENT LLC, A DELAWARE LIMITED LIABILITY COMPANY; PI TOWER LLC, A DELAWARE LIMITED LIABILITY COMPANY; DEUTSCHE BANK NATIONAL TRUST COMPANY, NOT IN ITS INDIVIDUAL CAPACITY, BUT SOLELY AS INDENTURE TRUSTEE FOR THE BENEFIT OF THE SECURED PARTIES, ITS SUCCESSORS AND/OR ASSIGNS AND FIDELITY NATIONAL TITLE INSURANCE COMPANY.

I, MARK E. PATTERSON, A KENTUCKY PROFESSIONAL LAND SURVEYOR, CERTIFY THAT THE INFORMATION SHOWN HEREON WAS COMPILED USING DATA FROM AN ACTUAL FIELD SURVEY MADE UNDER MY DIRECT SUPERVISION AND THAT THE FIELD SURVEY AND THE COMPILATION OF INFORMATION SHOWN HEREON WERE CONDUCTED IN ACCORDANCE WITH KENTUCKY STANDARDS OF PRACTICE; AND THAT THE RELATIVE POSITIONAL ACCURACY OF THIS SURVEY MEETS OR EXCEEDS THE REQUIREMENTS FOR A RURAL PARTIAL BOUNDARY SURVEY AS DEFINED UNDER SECTION 4(B) AND SECTION 12 OF 201 KAR 18:150 AS PUBLISHED BY THE KENTUCKY STATE BOARD OF LICENSURE FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS.



*Mark E. Patterson* 8-22-16  
MARK PATTERSON, PLS #3136 DATE

**GENERAL NOTE:**

1. ALL INFORMATION SHOWN HEREON WAS OBTAINED FROM THE RECORDS OF THE MARSHALL COUNTY KENTUCKY PROPERTY VALUATION ADMINISTRATION OFFICE ON 8.7.2016. THE PROPERTY VALUATION ADMINISTRATION RECORDS MAY NOT REFLECT THE CURRENT OWNERS AND ADDRESSES DUE TO THE INACCURACIES AND TIME LAPSE IN UPDATING FILES. POD AND THE COUNTY PROPERTY VALUATION ADMINISTRATION EXPRESSLY DISCLAIMS ANY WARRANTY FOR THE CONTENT AND ANY ERRORS CONTAINED IN THEIR FILES
2. THIS MAP IS FOR GENERAL INFORMATIONAL PURPOSES ONLY AND IS NOT A BOUNDARY SURVEY
3. NOT FOR RECORDING OR PROPERTY TRANSFER.



**Parallel**  
INFRASTRUCTURE  
PI TOWER DEVELOPMENT, LLC  
7411 FULLERTON STREET, SUITE 110  
JACKSONVILLE, FL 32256

REV.	DATE	DESCRIPTION
A	8.15.16	ISSUED FOR REVIEW
B	8.17.16	OLC COMMENTS
O	8.22.16	ISSUED AS FINAL

**PROJECT INFORMATION:**

**KY-GILBERTSVILLE-DAM MARINA**

364 SLEDD CREEK ROAD  
GILBERTSVILLE, KY 42044  
MARSHALL, COUNTY

**TAX PARCEL NUMBER:**  
53-00-00-001.01

**PROPERTY OWNER:**  
RENIA FEHRENBACHER  
364 SLEDD CREEK ROAD  
GILBERTSVILLE, KY 42044

**SOURCE OF TITLE:**  
DEED BOOK 403, PAGE 127

**TOWER CENTROID:**  
NAD 83: LAT.: 36°58'37.27"  
LON.: 88°17'10.48"  
SPC SINGLE: N: 3525284.14356  
E: 4180432.56062  
NAVD 88: ELEV.: 402'± AMSL

**SITE NUMBER:**  
PI3KY017

**VERIZON NUMBER:**  
EV KY DAM MARINA

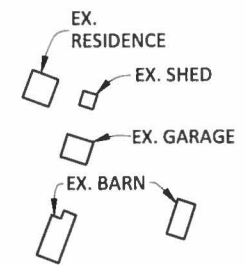
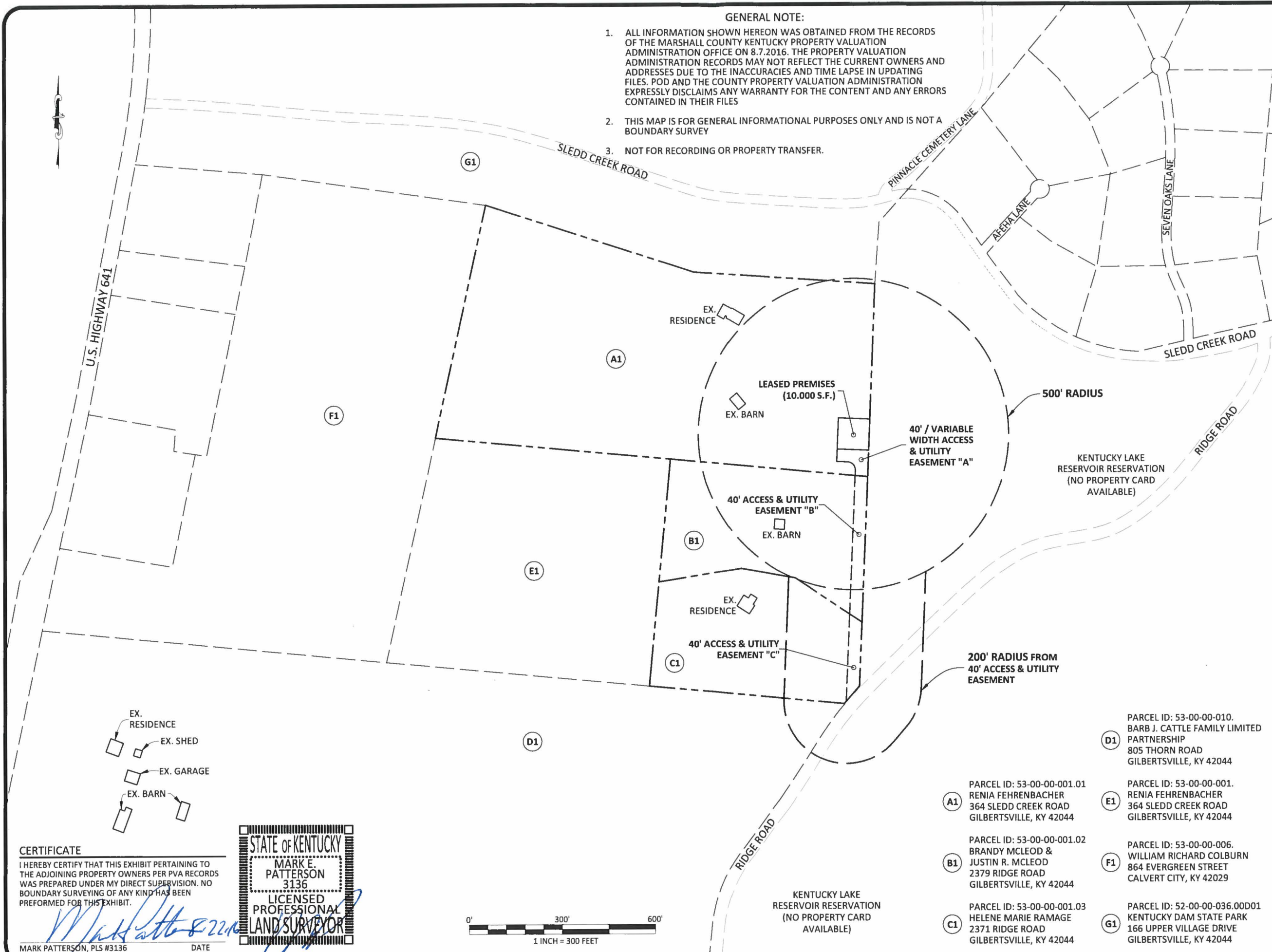
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**DRAWN BY:** DAP  
**CHECKED BY:** MEP  
**DATE:** 8.2.16

**SHEET TITLE:**  
**500' RADIUS AND ABUTTERS MAP**

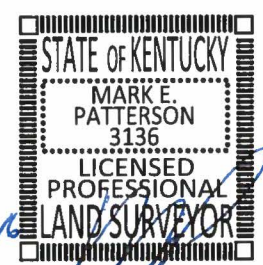
**SHEET NUMBER:**

**B-2**



**CERTIFICATE**  
I HEREBY CERTIFY THAT THIS EXHIBIT PERTAINING TO THE ADJOINING PROPERTY OWNERS PER PVA RECORDS WAS PREPARED UNDER MY DIRECT SUPERVISION. NO BOUNDARY SURVEYING OF ANY KIND HAS BEEN PERFORMED FOR THIS EXHIBIT.

*Mark Patterson*  
MARK PATTERSON, PLS #3136      DATE



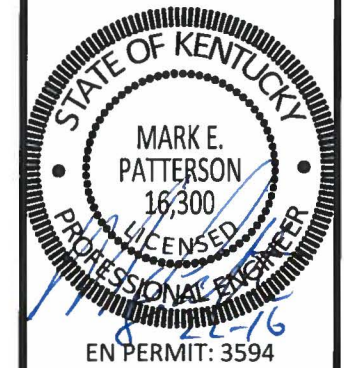
- D1** PARCEL ID: 53-00-00-010.  
BARB J. CATTLE FAMILY LIMITED PARTNERSHIP  
805 THORN ROAD  
GILBERTSVILLE, KY 42044
- A1** PARCEL ID: 53-00-00-001.01  
RENIA FEHRENBACHER  
364 SLEDD CREEK ROAD  
GILBERTSVILLE, KY 42044
- B1** PARCEL ID: 53-00-00-001.02  
BRANDY MCLEOD & JUSTIN R. MCLEOD  
2379 RIDGE ROAD  
GILBERTSVILLE, KY 42044
- C1** PARCEL ID: 53-00-00-001.03  
HELENE MARIE RAMAGE  
2371 RIDGE ROAD  
GILBERTSVILLE, KY 42044
- E1** PARCEL ID: 53-00-00-001.  
RENIA FEHRENBACHER  
364 SLEDD CREEK ROAD  
GILBERTSVILLE, KY 42044
- F1** PARCEL ID: 53-00-00-006.  
WILLIAM RICHARD COLBURN  
864 EVERGREEN STREET  
CALVERT CITY, KY 42029
- G1** PARCEL ID: 52-00-00-036.00D01  
KENTUCKY DAM STATE PARK  
166 UPPER VILLAGE DRIVE  
GILBERTSVILLE, KY 42044

# REVISION LOG

REV *	MM/DD/YY	SHEET NUMBER & NAME	DESCRIPTION OF REVISION
A	8/15/2016	ALL SHEETS	ISSUED FOR REVIEW
B	8/19/2016	T-1, B-2, TE-1, C-1A	OLC COMMENTS
0	8/22/2016	C-1, C-1A, C-1B	CORRECTED SCALE
0	8/22/2016	ALL SHEETS	ISSUED AS FINAL



PI TOWER DEVELOPMENT LLC  
7411 FULLERTON ST, SUITE 110  
JACKSONVILLE, FL 32256



## ZONING DRAWINGS

REV.	DATE	DESCRIPTION
A	8.15.16	ISSUED FOR REVIEW
B	8.19.16	OLC COMMENTS
0	8.22.16	ISSUED AS FINAL w/REVISIONS

SITE INFORMATION:  
**KY-GILBERTSVILLE-DAM MARINA**  
364 SLEDD CREEK ROAD  
GILBERTSVILLE, KY 42044  
MARSHALL COUNTY

PI TOWER DEVELOPMENT LLC  
SITE #: PIKY017

VERIZON WIRELESS SITE NAME:  
EV KENTUCKY DAM MARINA

POD NUMBER: 16-10347

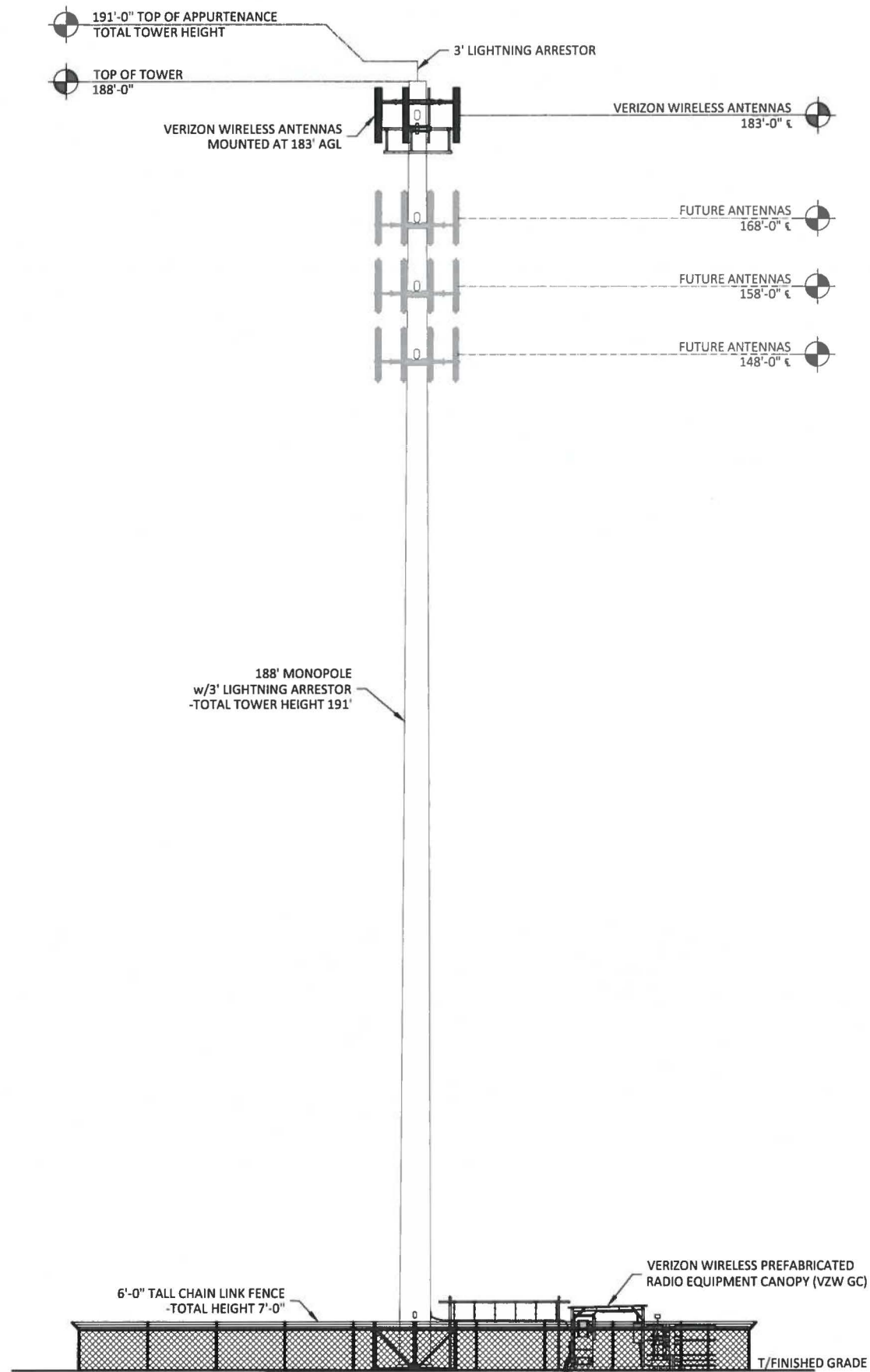
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CHECKED BY: MEP  
DATE: 08.01.16

SHEET TITLE:

## REVISION LOG

SHEET NUMBER:  
**R-1**



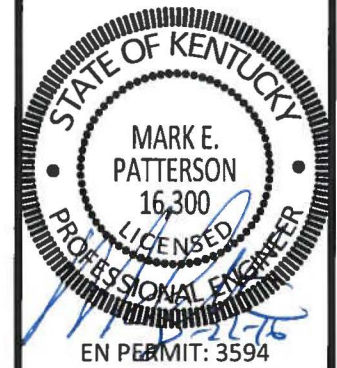


**NOTE:**

1. IT IS THE INSTALLING CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL ANTENNA INFORMATION AGAINST FINAL RADIO ENGINEERING PLAN PROVIDED BY KENTUCKY RSA NO. 1 PARTNERSHIP d/b/a VERIZON WIRELESS (VZW GC)
2. MARKING AND LIGHTING ARE NOT REQUIRED.
3. FAA FORM 7460-2, PART II IS REQUIRED WITHIN 5 DAYS AFTER CONSTRUCTION REACHES ITS GREATEST HEIGHT.



PI TOWER DEVELOPMENT LLC  
7411 FULLERTON ST, SUITE 110  
JACKSONVILLE, FL 32256



**ZONING DRAWINGS**

REV.	DATE	DESCRIPTION
A	8.15.16	ISSUED FOR REVIEW
B	8.19.16	OLC COMMENTS
0	8.22.16	ISSUED AS FINAL w/REVISIONS

SITE INFORMATION:  
**KY-GILBERTSVILLE-DAM MARINA**  
364 SLEDD CREEK ROAD  
GILBERTSVILLE, KY 42044  
MARSHALL COUNTY

PI TOWER DEVELOPMENT LLC  
SITE #: PIKY017

VERIZON WIRELESS SITE NAME:  
EV KENTUCKY DAM MARINA

POD NUMBER: 16-10347

DRAWN BY: POD  
CHECKED BY: MEP  
DATE: 08.01.16

SHEET TITLE:

**TOWER ELEVATION**

SHEET NUMBER:

**TE-1**

**TOWER ELEVATION**

SCALE: N.T.S.

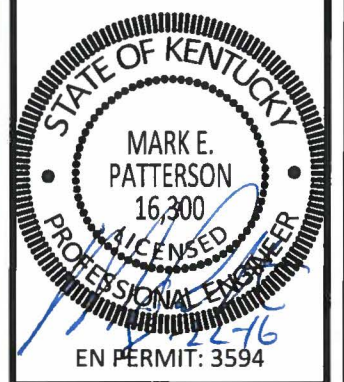




**POD**  
POWER OF DESIGN  
11490 BLUEGRASS PARKWAY  
LOUISVILLE, KY 40299  
502-437-5252

**Parallel**  
INFRASTRUCTURE

PI TOWER DEVELOPMENT LLC  
7411 FULLERTON ST, SUITE 110  
JACKSONVILLE, FL 32256



**ZONING DRAWINGS**

REV.	DATE	DESCRIPTION
A	8.15.16	ISSUED FOR REVIEW
B	8.19.16	OLC COMMENTS
0	8.22.16	ISSUED AS FINAL w/REVISIONS

SITE INFORMATION:  
**KY-GILBERTSVILLE-DAM MARINA**  
364 SLEDD CREEK ROAD  
GILBERTSVILLE, KY 42044  
MARSHALL COUNTY

PI TOWER DEVELOPMENT LLC  
SITE #: PIKY017

VERIZON WIRELESS SITE NAME:  
EV KENTUCKY DAM MARINA

POD NUMBER: 16-10347  
DRAWN BY: POD  
CHECKED BY: MEP  
DATE: 08.01.16

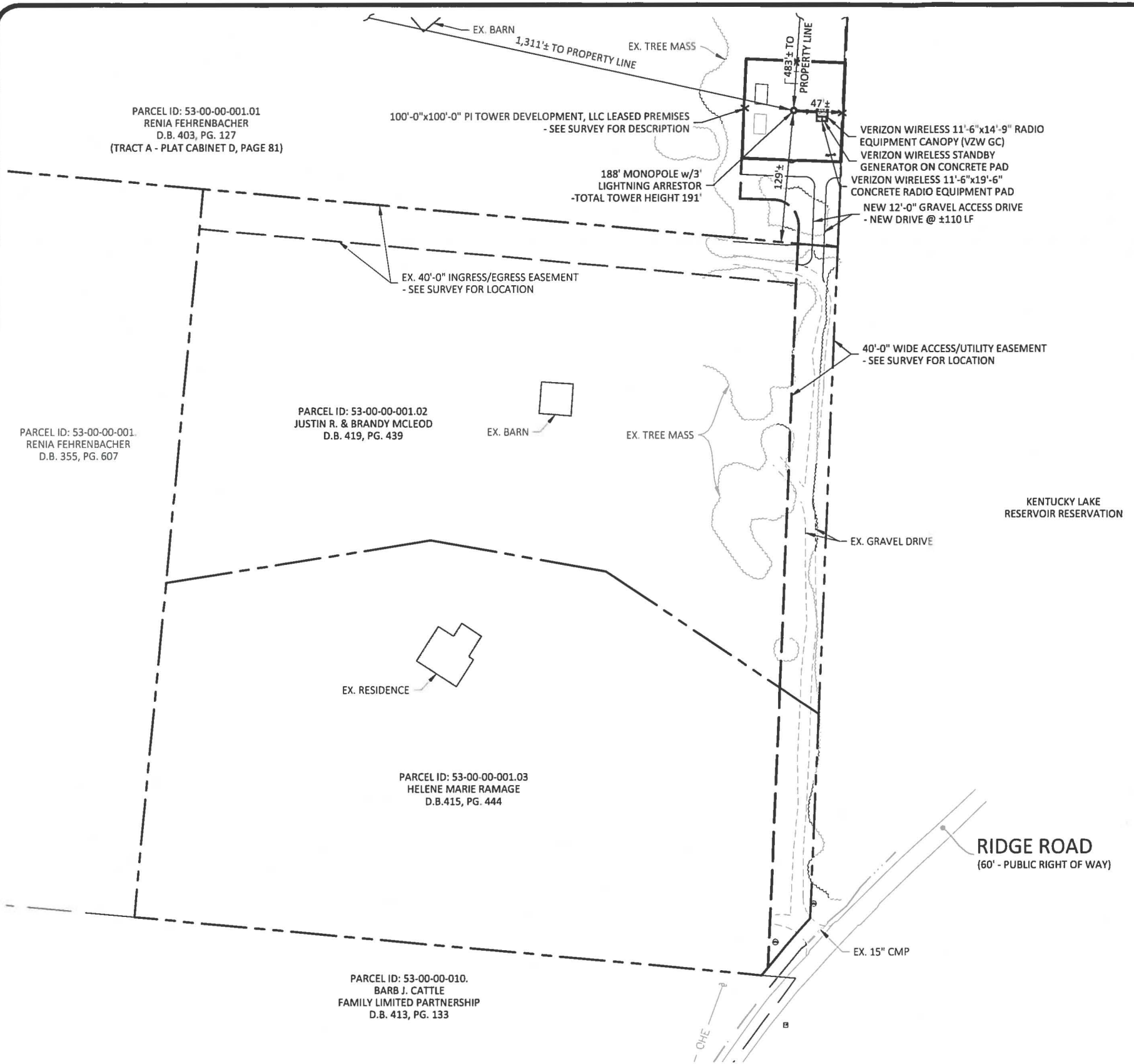
SHEET TITLE:  
**OVERALL SITE PLAN w/AERIAL OVERLAY**

SHEET NUMBER:  
**C-1**

**Kentucky 811**  
Know what's below. Call before you dig.  
Call Monday thru Friday 7 am to 6 pm.  
1-800-752-6007  
FOR KENTUCKY STATE LAW, IT IS AGAINST THE LAW TO EXCAVATE WITHOUT NOTIFYING THE UNDERGROUND LOCATION SERVICE TWO (2) WORKING DAYS BEFORE COMMENCING WORK.

**OVERALL SITE PLAN w/AERIAL OVERLAY**  
SCALE: 1" = 120'





DISTANCES TO PROPERTY LINES		
PROPERTY LINE	EQUIPMENT PAD	GENERATOR
SOUTH	123'±	124'±
WEST	1,335'±	1,343'±
EAST	15'±	17'±
NORTH	475'±	491'±

**POD**  
POWER OF DESIGN  
11490 BLUEGRASS PARKWAY  
LOUISVILLE, KY 40299  
502-437-5252

**Parallel**  
INFRASTRUCTURE

PI TOWER DEVELOPMENT LLC  
7411 FULLERTON ST, SUITE 110  
JACKSONVILLE, FL 32256

STATE OF KENTUCKY  
MARK E. PATTERSON  
16.800  
LICENSED PROFESSIONAL ENGINEER  
EN PERMIT: 3594

**ZONING DRAWINGS**

REV.	DATE	DESCRIPTION
A	8.15.16	ISSUED FOR REVIEW
B	8.19.16	OLC COMMENTS
O	8.22.16	ISSUED AS FINAL w/REVISIONS

SITE INFORMATION:  
**KY-GILBERTSVILLE-DAM MARINA**  
364 SLEDD CREEK ROAD  
GILBERTSVILLE, KY 42044  
MARSHALL COUNTY

PI TOWER DEVELOPMENT LLC  
SITE #: PIKY017

VERIZON WIRELESS SITE NAME:  
EV KENTUCKY DAM MARINA

POD NUMBER: 16-10347  
DRAWN BY: POD  
CHECKED BY: MEP  
DATE: 08.01.16

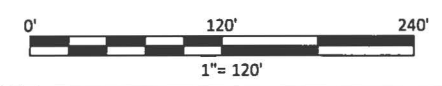
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**OVERALL SITE PLAN w/DISTANCE TO PROPERTY LINES**

SHEET NUMBER:  
**C-1A**

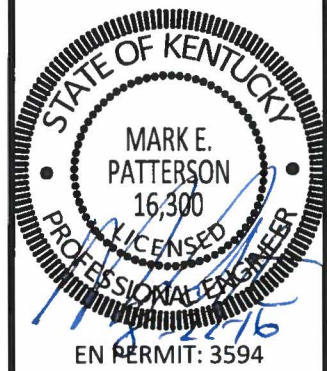
**LEGEND**

	UTILITY POLE		TELEPHONE PEDESTAL
	FIBER OPTIC PEDESTAL		WATER METER
	PROPOSED LEASE LINE		PROPOSED EASEMENT
	PROPOSED GRAVEL		PROPOSED FENCE
	EXISTING GRAVEL		EXISTING FENCE
	EXISTING EASEMENT		EXISTING OVERHEAD ELECTRIC
	EXISTING PAVEMENT		EXISTING DITCH
	PROPERTY LINE		ADJACENT PROPERTY LINE

**OVERALL SITE PLAN w/DISTANCE TO PROPERTY LINES**  
SCALE: 1" = 120'



**Kentucky 811**  
Know what's below. Call before you dig.  
Call Monday thru Friday - 7 am. to 6 pm.  
1-800-752-6007  
PER KENTUCKY STATE LAW, IT IS AGAINST THE LAW TO EXCAVATE WITHOUT NOTIFYING THE UNDERGROUND LOCATION SERVICE TWO (2) WORKING DAYS BEFORE COMMENCING WORK.



**ZONING DRAWINGS**

REV.	DATE	DESCRIPTION
A	8.15.16	ISSUED FOR REVIEW
B	8.19.16	OLC COMMENTS
D	8.22.16	ISSUED AS FINAL w/REVISIONS

SITE INFORMATION:  
**KY-GILBERTSVILLE-DAM MARINA**  
364 SLEDD CREEK ROAD  
GILBERTSVILLE, KY 42044  
MARSHALL COUNTY

PI TOWER DEVELOPMENT LLC  
SITE #: PIKY017

VERIZON WIRELESS SITE NAME:  
EV KENTUCKY DAM MARINA

POD NUMBER: 16-10347

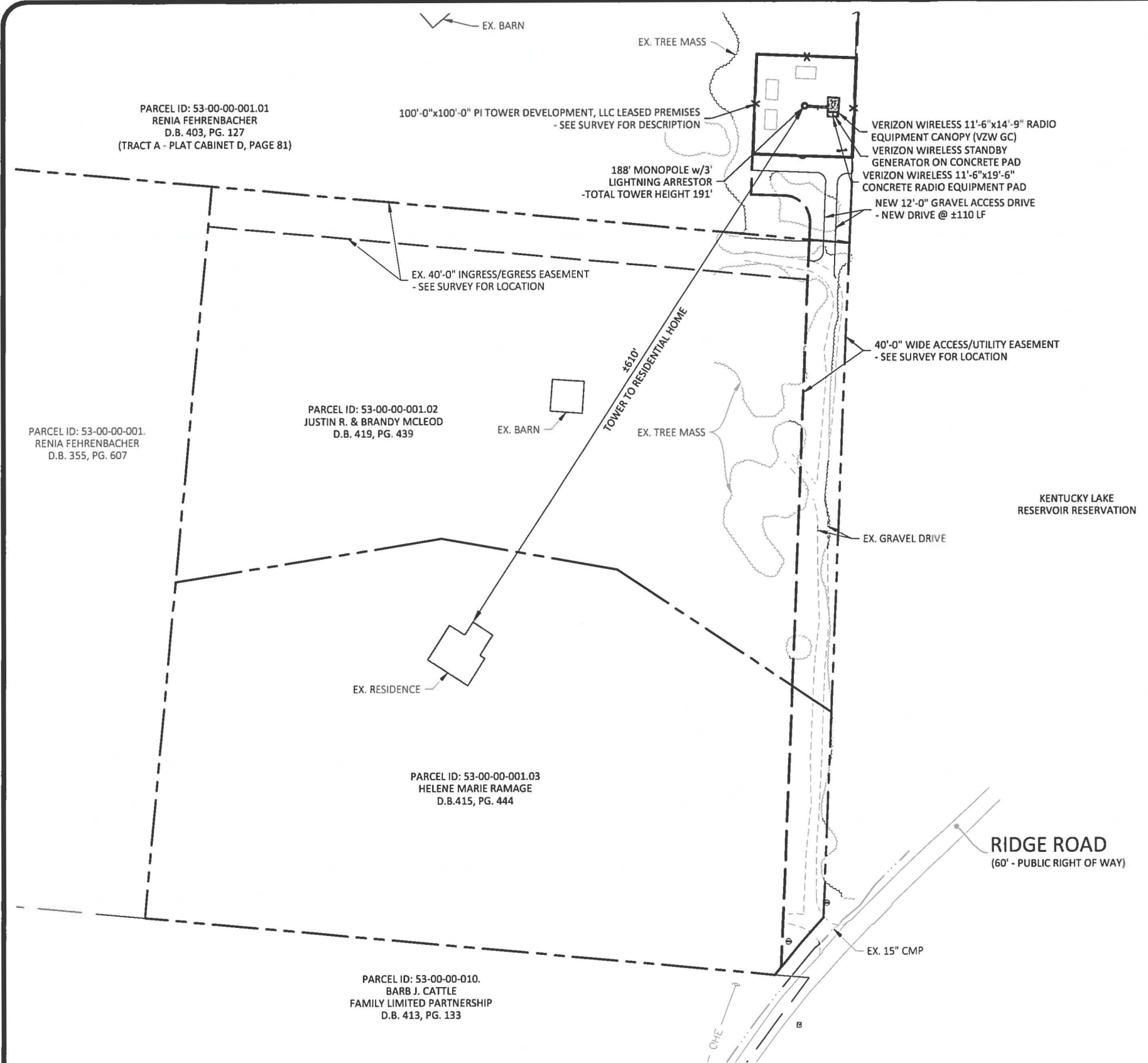
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CHECKED BY: MEP  
DATE: 08.01.16

SHEET TITLE:

**DISTANCE TO RESIDENTIAL STRUCTURES**

SHEET NUMBER:

**C-1B**

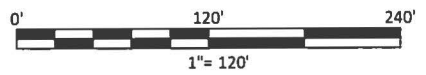


**LEGEND**

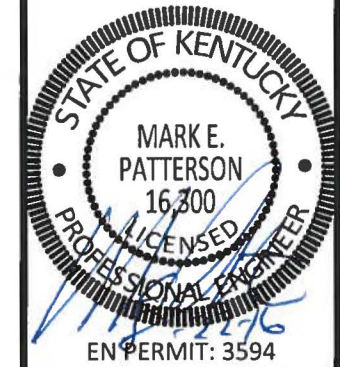
- UTILITY POLE
- FIBER OPTIC PEDESTAL
- TELEPHONE PEDESTAL
- WATER METER
- PROPOSED LEASE LINE
- PROPOSED EASEMENT
- PROPOSED GRAVEL
- PROPOSED FENCE
- EXISTING GRAVEL
- EXISTING FENCE
- EXISTING EASEMENT
- EXISTING OVERHEAD ELECTRIC
- EXISTING PAVEMENT
- EXISTING DITCH
- PROPERTY LINE
- ADJACENT PROPERTY LINE

**DISTANCE TO RESIDENTIAL STRUCTURES**

SCALE: 1" = 120'



Know what's below.  
Call before you dig.  
Call Monday thru Friday 7 a.m. - 6 p.m.  
**1-800-752-6007**  
PER KENTUCKY STATE LAW, IT IS AGAINST THE LAW TO EXCAVATE WITHOUT NOTIFYING THE UNDERGROUND LOCATION SERVICE TWO (2) WORKING DAYS BEFORE COMMENCING WORK.



**ZONING DRAWINGS**

REV.	DATE	DESCRIPTION
A	8.15.16	ISSUED FOR REVIEW
B	8.19.16	OLC COMMENTS
D	8.22.16	ISSUED AS FINAL w/REVISIONS

SITE INFORMATION:  
**KY-GILBERTSVILLE-DAM MARINA**  
364 SLEDD CREEK ROAD  
GILBERTSVILLE, KY 42044  
MARSHALL COUNTY

PI TOWER DEVELOPMENT LLC  
SITE #: PIKY017

VERIZON WIRELESS SITE NAME:  
EV KENTUCKY DAM MARINA

POD NUMBER: 16-10347

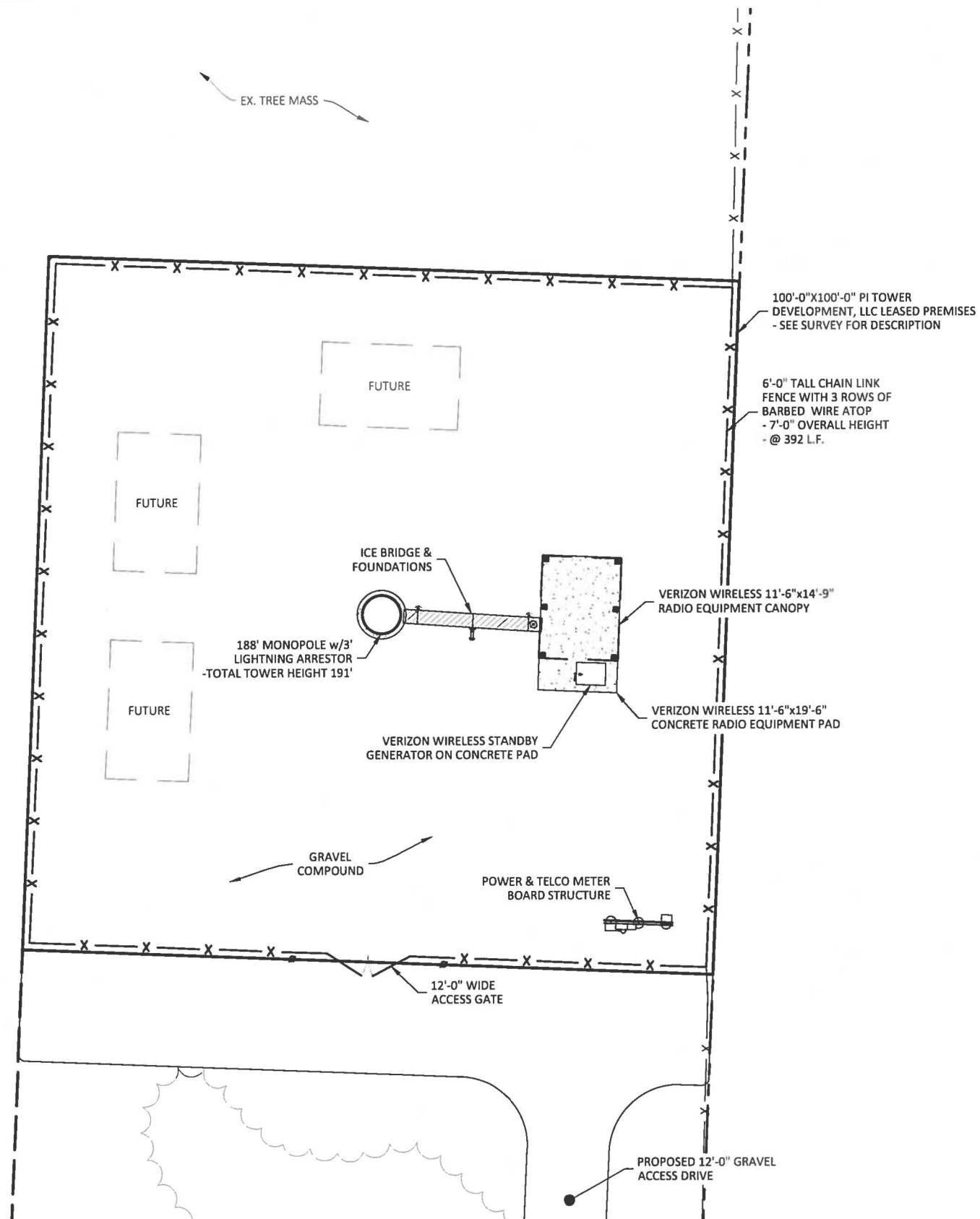
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DATE: 08.01.16

SHEET TITLE:

**DETAILED SITE PLAN**

SHEET NUMBER:

**C-3**

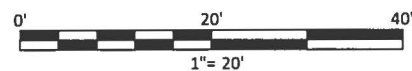


**LEGEND**

- PROPOSED LEASE LINE
- - - PROPOSED EASEMENT
- PROPOSED GRAVEL
- x - x - x - PROPOSED FENCE
- x - x - x - EXISTING FENCE
- - - PROPERTY LINE

**DETAILED SITE PLAN**

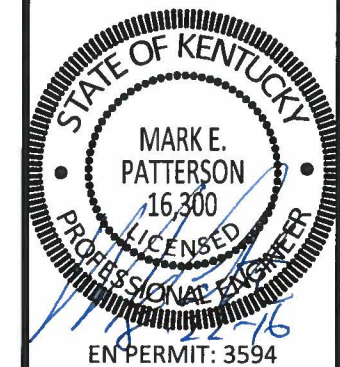
SCALE: 1" = 20'-0"



**\*NOTE:**  
GENERAL CONTRACTOR IS TO ENSURE THERE IS NO DISTURBANCE OF PROPERTY, SOIL, ETC. OUTSIDE OF THE STAKED LEASE AREA WITHOUT APPROVAL FROM VERIZON WIRELESS CONSTRUCTION MANAGER



Know what's below.  
Call before you dig.  
Call Monday thru Friday - 7 am to 6 pm  
**1-800-752-6007**  
PER KENTUCKY STATE LAW, IT IS AGAINST THE LAW TO EXCAVATE WITHOUT NOTIFYING THE UNDERGROUND LOCATION SERVICE TWO (2) WORKING DAYS BEFORE COMMENCING WORK.



**ZONING  
DRAWINGS**

REV.	DATE	DESCRIPTION
A	8.15.16	ISSUED FOR REVIEW
B	8.19.16	OLC COMMENTS
0	8.22.16	ISSUED AS FINAL w/REVISIONS

SITE INFORMATION:  
**KY-GILBERTSVILLE-  
DAM MARINA**  
364 SLEDD CREEK ROAD  
GILBERTSVILLE, KY 42044  
MARSHALL COUNTY

PI TOWER DEVELOPMENT LLC  
SITE #: PIKY017

VERIZON WIRELESS SITE NAME:  
EV KENTUCKY DAM MARINA

POD NUMBER: 16-10347

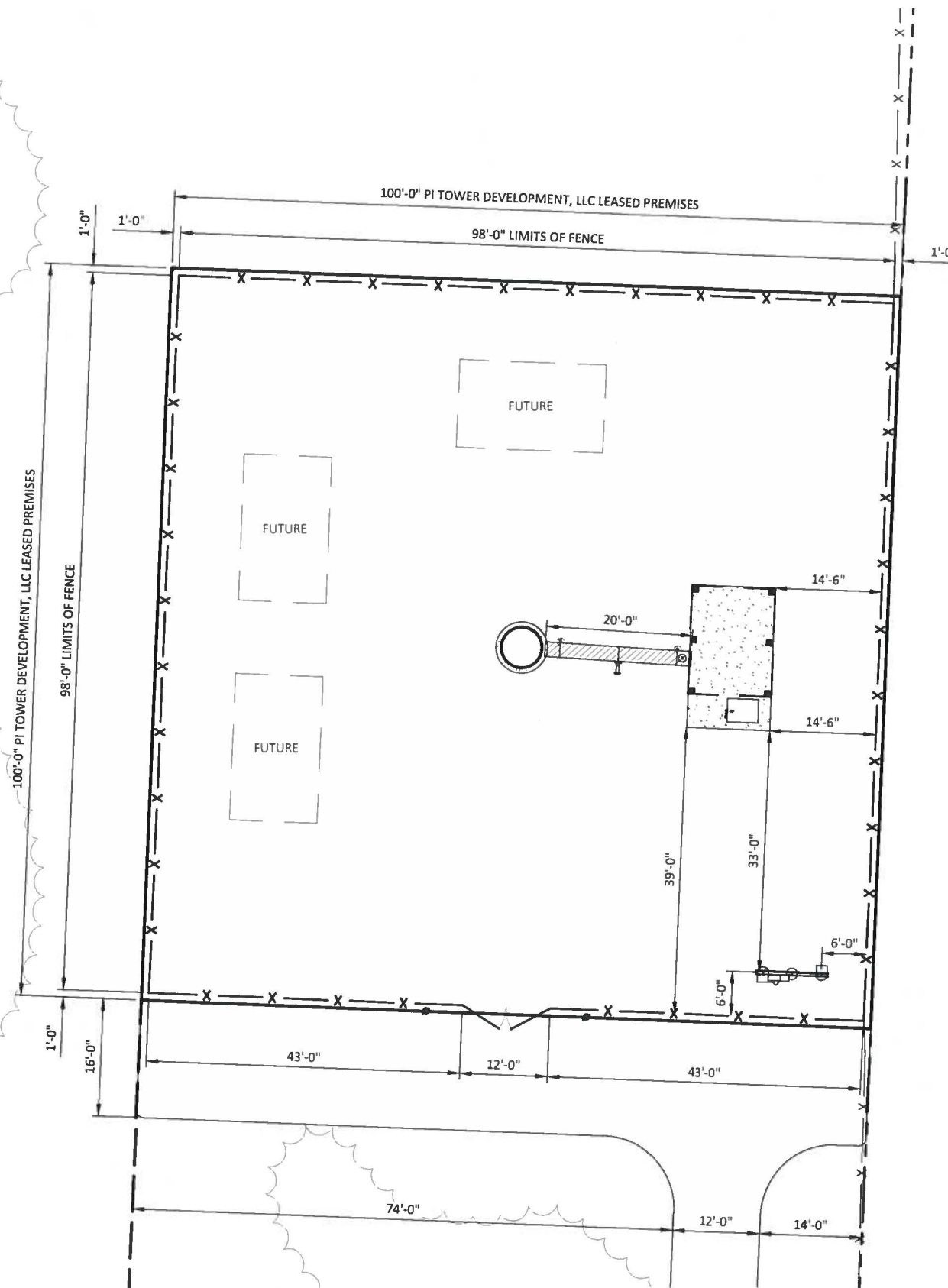
DRAWN BY: POD  
CHECKED BY: MEP  
DATE: 08.01.16

SHEET TITLE:

**DIMENSIONED  
SITE PLAN**

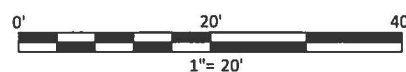
SHEET NUMBER:

**C-4**



**DIMENSIONED SITE PLAN**

SCALE: 1" = 20'-0"



**LEGEND**

- PROPOSED LEASE LINE
- - - PROPOSED EASEMENT
- ▨ PROPOSED GRAVEL
- X — X — X — PROPOSED FENCE
- X — X — X — EXISTING FENCE
- — — — — PROPERTY LINE



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**\*NOTE:**  
GENERAL CONTRACTOR IS TO ENSURE  
THERE IS NO DISTURBANCE OF PROPERTY,  
SOIL, ETC. OUTSIDE OF THE STAKED LEASE  
AREA WITHOUT APPROVAL FROM  
VERIZON WIRELESS CONSTRUCTION  
MANAGER

**EXHIBIT C**  
**TOWER AND FOUNDATION DESIGN**



# TransAmerican Power Products, Inc.

2427 Kelly Lane  
Houston, Texas 77066

PH: 281-444-8277 / FX: 281-444-7270

Page 1 of 2	Job Number: 23516-383
Eng: MFP	Customer Ref: TP-14519
	Date: 8/19/2016
Structure: 188-FT MONOPOLE	
Site: PIKYO I 7 GILBERTSVILLE DAM MARINA	
Location: MARSHALL CO., KY / 36°58'37.27", -88°17'10.48"	
Owner: PI TOWER DEVELOPMENT, LLC	
Revision No.:	Revision Date:

## DESIGN

Building Code: 2013 KENTUCKY BUILDING CODE			
Design Standard: ANSI/TIA-222-G-2			
Wind Speed Load Cases: 3-SEC. GUSTED WIND SPEED			
Load Case #1: 90 MPH Design Wind Speed			
Load Case #2: 30 MPH Wind with 1" Ice Accumulation			
Load Case #3: 60 MPH Service Wind Speed			
Structure Class: II	Exposure Cat.: C	Topography Cat.: 3	Crest Height: 140'

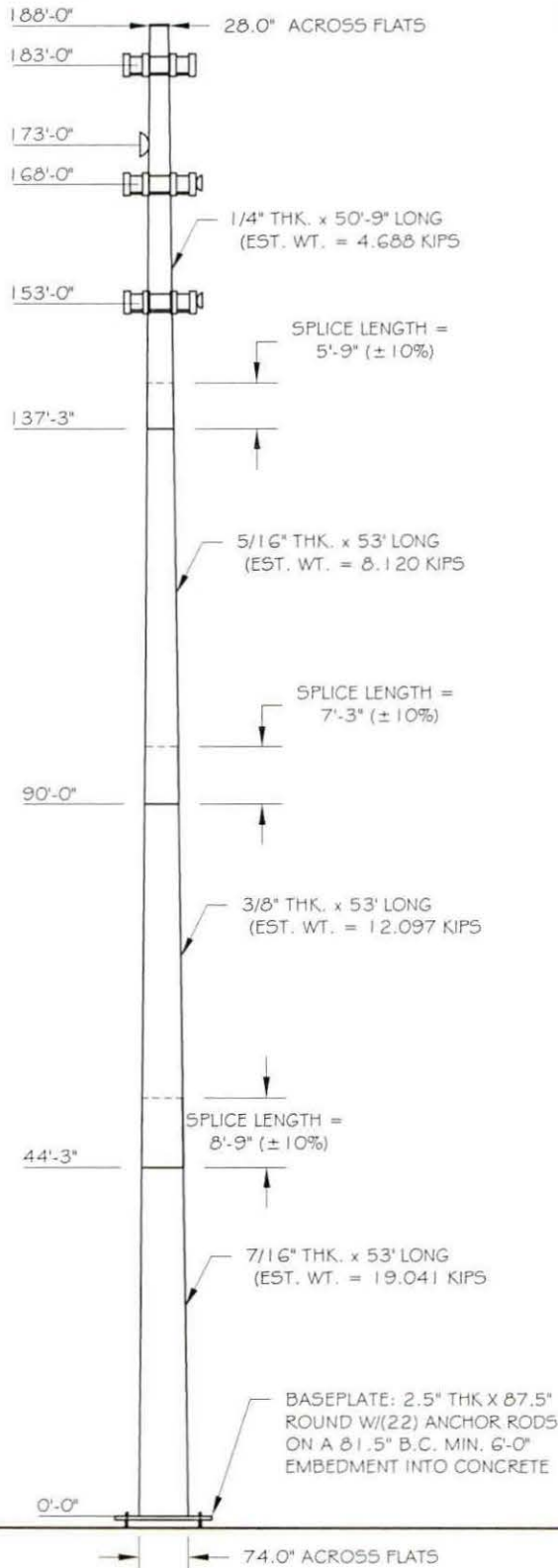
## EQUIPMENT LIST

Elev.	Description
183	(6) AIR-32 + (12) 800-10866 PANEL + (22) RRU/TMA
183	12-FT PLATFORM WITH HANDRAIL
173	(1) 8-FT MICROWAVE DISH
173	MICROWAVE MOUNT
168	(12) R2V4PX3 IOR PANEL + (28) RRH/RAYCAP + (1) 4' DISH
168	12-FT PLATFORM WITH HANDRAIL
153	(12) R2V4PX3 IOR PANEL + (28) RRH/RAYCAP + (1) 4' DISH
153	12-FT PLATFORM WITH HANDRAIL

ANTENNA FEED LINES ROUTED ON THE INSIDE OF THE POLE

## STRUCTURE PROPERTIES

Cross-Section: 18-SIDED	Taper: 0.25465 in/ft				
Shaft Steel: ASTM A572 GR 65	Baseplate Steel: ASTM A572 GR 50				
Anchor Rods: 2.25 in. A615 GR. 75 X 7'-0" LONG					
Sect.	Length (ft)	Thickness (in)	Splice (ft)	Top Dia. (in)	Bot Dia. (in)
1	50.75	0.2500	5.75	28.00	40.92
2	53.00	0.3125	7.25	38.96	52.46
3	53.00	0.3750	8.75	49.98	63.48
4	53.00	0.4375	0.00	60.50	74.00



MICHAEL F. PLAHOVINSAK, P.E. #25466  
 State Representative - Instrumental Engineer  
 18301 S.R. 161, Plain City, OH 43064  
 614-398-6250 / mike@mpeng.com

## BASE REACTIONS FOR FOUNDATION DESIGN

Moment: 8837 ft-kip  
 Shear: 67 kip  
 Axial: 79 kip





**TransAmerican  
Power Products, Inc.**

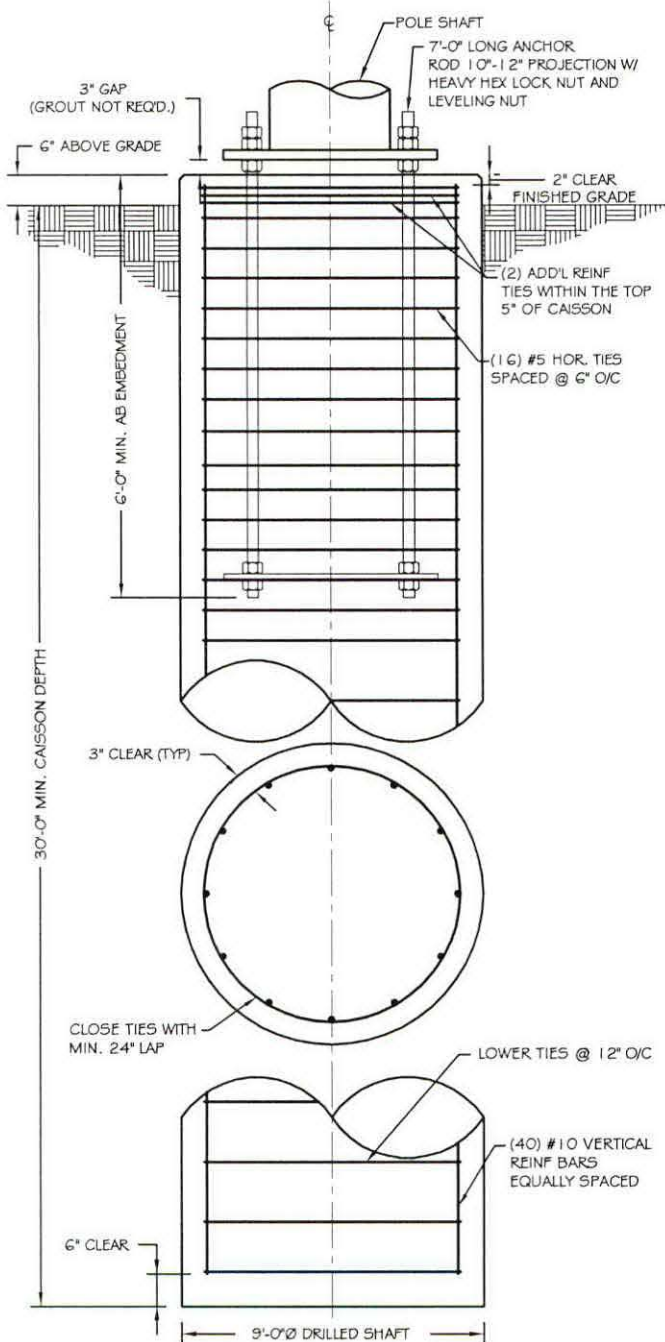
2427 Kelly Lane  
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PH: 281-444-8277 / FX: 281-444-7270

Page 2 of 2	Job Number: 23516-383
Eng: MFP	Customer Ref: TP-14519
	Date: 8/19/2016
Structure: 188-FT MONOPOLE	
Site: PIKYO 17 GILBERTSVILLE DAM MARINA	
Location: MARSHALL CO., KY / 36°58'37.27", -88°17'10.48"	
Owner: PI TOWER DEVELOPMENT, LLC	
Revision No.:	Revision Date:

**FOUNDATION NOTES:**

1. ALL FOUNDATION CONCRETE SHALL USE TYPE II CEMENT AND ATTAIN A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS. CONCRETE SHALL HAVE A MAXIMUM WATER/CEMENT RATIO OF 0.46 AND SHALL BE AIR ENTRAINED 6% (± 1.5%). ALL CONCRETE CONSTRUCTION SHALL BE IN ACCORDANCE WITH ACI 318, "THE BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE", LATEST EDITION.
2. ALL REINFORCING STEEL SHALL CONFORM TO ASTM A615 VERTICAL BARS SHALL BE GRADE 60, AND TIES OR STIRRUPS SHALL BE A MINIMUM OF GRADE 40. THE PLACEMENT OF ALL REINFORCEMENT SHALL CONFORM TO ACI 315, "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES", LATEST EDITION.
3. CAISSON FOUNDATION INSTALLATION SHALL BE IN ACCORDANCE WITH ACI 336, "STANDARD SPECIFICATIONS FOR THE CONSTRUCTION OF DRILLED PIERS", LATEST EDITION.
4. THE CONTRACTOR SHALL DETERMINE THE MEANS AND METHODS TO SUPPORT THE EXCAVATION DURING CONSTRUCTION. THE CONTRACTOR SHALL READ THE GEOTECHNICAL REPORT AND SHALL CONSULT THE GEOTECHNICAL ENGINEER AS NECESSARY PRIOR TO CONSTRUCTION.
5. FOUNDATION DESIGN IS BASED ON GEOTECHNICAL REPORT BY:  
ENGINEER: POWER OF DESIGN  
REPORT NO.: 16-8131 (DATED 7/29/16)
6. ESTIMATED CONCRETE VOLUME = 72 CUBIC YARDS.
7. THE FOUNDATION HAS BEEN DESIGNED TO RESIST THE FOLLOWING FACTORED LOADS:  
MOMENT: 8837 FT\*KIPS  
SHEAR: 67 KIPS  
AXIAL: 79 KIPS



**CAISSON FOUNDATION**



MICHAEL F. PLAHOVINSAK, P.E. #25466  
 State Registered Professional Engineer  
 18301 S.R. 163, Plain City, OH 43064  
 614-398-6250 / mike@mpeng.com

<b>tnxTower</b> <b>Michael F. Plahovinsak, P.E.</b> 18301 State Route 161 Plain City, OH 43064 Phone: 614-398-6230 FAX: mike@mfeng.com	Job	188-ft Monopole - MFP #23516-383	Page	1 of 7
	Project	PIKY017 Gilbertsville Dam Marina	Date	19:18:44 08/17/16
	Client	TAPP (TP-14519)	Designed by	Mike

<b>tnxTower</b> <b>Michael F. Plahovinsak, P.E.</b> 18301 State Route 161 Plain City, OH 43064 Phone: 614-398-6230 FAX: mike@mfeng.com	Job	188-ft Monopole - MFP #23516-383	Page	2 of 7
	Project	PIKY017 Gilbertsville Dam Marina	Date	19:18:44 08/17/16
	Client	TAPP (TP-14519)	Designed by	Mike

### Tower Input Data

This tower is designed using the TIA-222-G standard.

The following design criteria apply:

Tower is located in Marshall County, Kentucky.

Basic wind speed of 90 mph.

Structure Class II.

Exposure Category C.

Topographic Category 3.

Crest Height 140.00 ft.

Nominal ice thickness of 1.0000 in.

Ice thickness is considered to increase with height.

Ice density of 56 pcf.

A wind speed of 30 mph is used in combination with ice.

Temperature drop of 50 °F.

Deflections calculated using a wind speed of 60 mph.

A non-linear (P-delta) analysis was used.

Pressures are calculated at each section.

Stress ratio used in pole design is 1.

Local bending stresses due to climbing loads, feedline supports, and appurtenance mounts are not considered.

### Tapered Pole Section Geometry

Section	Elevation	Section Length	Splice Length	Number of Sides	Top Diameter	Bottom Diameter	Wall Thickness	Bend Radius	Pole Grade
	ft	ft	ft		in	in	in	in	(65 ksi)
L1	188.00-137.25	50.75	5.75	18	28.0000	40.9200	0.2500	1.0000	A572-65 (65 ksi)
L2	137.25-90.00	53.00	7.25	18	38.9562	52.4600	0.3125	1.2500	A572-65 (65 ksi)
L3	90.00-44.25	53.00	8.75	18	49.9878	63.4800	0.3750	1.5000	A572-65 (65 ksi)
L4	44.25-0.00	53.00		18	60.5025	74.0000	0.4375	1.7500	A572-65 (65 ksi)

### Tapered Pole Properties

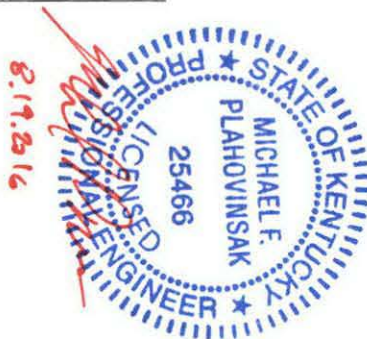
Section	Tip Dia.	Area	I	r	C	IC	J	I/Q	w	wt
	in	in <sup>2</sup>	in <sup>4</sup>	in	in	in <sup>3</sup>	in <sup>6</sup>	in <sup>2</sup>	in	lb/ft
L1	28.4319	22.0196	2142.2657	9.8513	14.2240	150.6092	4287.3503	11.0119	4.4880	17.952
	41.5513	32.2716	6743.8344	14.4378	20.7874	324.4200	13496.5425	16.1389	6.7619	27.048
L2	41.0448	38.3297	7231.5115	13.7185	19.7897	365.4174	14472.5385	19.1685	6.5063	20.18
	53.2693	51.7238	17770.3046	18.5124	26.6497	666.8112	35563.9919	25.8668	8.6830	27.78
L3	52.6330	59.0516	18363.5323	17.6125	25.3938	723.1505	36751.2279	29.5314	8.1378	21.701
	64.4593	75.1107	37789.1352	22.4023	32.2478	1171.8346	75627.9944	37.5625	10.5125	28.033
L4	63.6986	83.4078	38017.8096	21.3231	30.7353	1236.9439	76085.6440	41.7118	9.8784	22.579
	75.1416	102.1507	69838.0124	26.1147	37.5920	1857.7892	139767.919	51.0851	12.2540	28.009

### Feed Line/Linear Appurtenances - Entered As Area

Description	Face or Leg	Allow Shield	Component Type	Placement	Total Number	C <sub>s</sub> A <sub>s</sub>		Weight
						ft <sup>2</sup> /ft	plf	
1.58"	C	No	Inside Pole	183.00 - 0.00	24	No Ice	0.00	0.92
						1/2" Ice	0.00	0.92
						1" Ice	0.00	0.92
1.58"	C	No	Inside Pole	173.00 - 0.00	2	No Ice	0.00	0.92
						1/2" Ice	0.00	0.92
						1" Ice	0.00	0.92
1.58"	C	No	Inside Pole	168.00 - 0.00	24	No Ice	0.00	0.92
						1/2" Ice	0.00	0.92
						1" Ice	0.00	0.92
1.58"	C	No	Inside Pole	153.00 - 0.00	24	No Ice	0.00	0.92
						1/2" Ice	0.00	0.92
						1" Ice	0.00	0.92

### Discrete Tower Loads

Description	Face or Leg	Offset Type	Offsets:		Azimuth Adjustment	Placement	C <sub>s</sub> A <sub>s</sub>		Weight	
			Horizontal	Vertical			Front	Side		
			ft	ft	°	ft	ft <sup>2</sup>	ft <sup>2</sup>	K	
(2) Ericsson AIR 32 w/ mount pipe	A	From Face	3.00	0.0000		183.00	No Ice	6.42	5.70	0.13
			0.00		1/2" Ice		6.88	6.42	0.18	
			0.00		1" Ice		7.35	7.15	0.24	
(4) Kathren 800-10866 w/ mount pipe	A	From Face	3.00	0.0000		183.00	No Ice	13.87	9.28	0.11
			0.00		1/2" Ice		14.60	10.70	0.20	
			0.00		1" Ice		15.33	11.97	0.31	
(2) Ericsson AJR 32 w/ mount pipe	B	From Face	3.00	0.0000		183.00	No Ice	6.42	5.70	0.13
			0.00		1/2" Ice		6.88	6.42	0.18	
			0.00		1" Ice		7.35	7.15	0.24	
(4) Kathren 800-10866 w/ mount pipe	B	From Face	3.00	0.0000		183.00	No Ice	13.87	9.28	0.11
			0.00		1/2" Ice		14.60	10.70	0.20	
			0.00		1" Ice		15.33	11.97	0.31	
(2) Ericsson AIR 32 w/ mount pipe	C	From Face	3.00	0.0000		183.00	No Ice	6.42	5.70	0.13
			0.00		1/2" Ice		6.88	6.42	0.18	
			0.00		1" Ice		7.35	7.15	0.24	
(4) Kathren 800-10866 w/ mount pipe	C	From Face	3.00	0.0000		183.00	No Ice	13.87	9.28	0.11
			0.00		1/2" Ice		14.60	10.70	0.20	
			0.00		1" Ice		15.33	11.97	0.31	
(12) Ericsson RRUS-12 TIA-G	A	From Face	2.00	0.0000		183.00	No Ice	3.14	1.26	0.06
			0.00		1/2" Ice		3.92	1.64	0.08	
			0.00		1" Ice		4.71	2.02	0.10	
(12) Ericsson RRU-A2 TIA-G	B	From Face	2.00	0.0000		183.00	No Ice	2.06	0.53	0.02
			0.00		1/2" Ice		2.20	0.67	0.03	
			0.00		1" Ice		2.83	0.81	0.05	
(6) TMA	C	From Face	2.00	0.0000		183.00	No Ice	1.50	1.50	0.05
			0.00		1/2" Ice		2.00	2.00	0.07	
			0.00		1" Ice		3.00	3.00	0.07	
(4) Raycap RxsDC-3315-PF-48	C	From Face	2.00	0.0000		183.00	No Ice	4.08	2.66	0.03
			0.00		1/2" Ice		4.36	2.90	0.06	
			0.00		1" Ice		4.64	3.15	0.09	
12' Platform w/ Handrail	C	None			0.0000	183.00	No Ice	24.00	24.00	1.80
					1/2" Ice		26.00	26.00	2.60	
					1" Ice		28.00	28.00	3.40	



<b>tnxTower</b> <b>Michael F. Plahovinsak, P.E.</b> 18301 State Route 161 Plain City, OH 43064 Phone: 614-398-6250 FAX: mike@tmfeng.com	<b>Job</b> 188-ft Monopole - MFP #23516-383	<b>Page</b> 3 of 7
	<b>Project</b> PIKY017 Gilbertsville Dam Marina	<b>Date</b> 19:18:44 08/17/16
	<b>Client</b> TAPP (TP-14519)	<b>Designed by</b> Mike

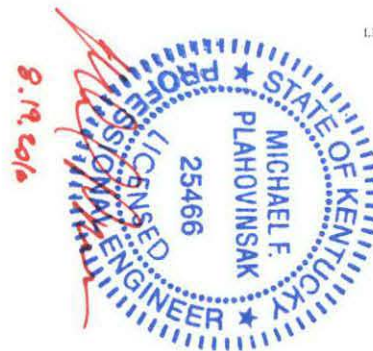
<b>tnxTower</b> <b>Michael F. Plahovinsak, P.E.</b> 18301 State Route 161 Plain City, OH 43064 Phone: 614-398-6250 FAX: mike@tmfeng.com	<b>Job</b> 188-ft Monopole - MFP #23516-383	<b>Page</b> 4 of 7
	<b>Project</b> PIKY017 Gilbertsville Dam Marina	<b>Date</b> 19:18:44 08/17/16
	<b>Client</b> TAPP (TP-14519)	<b>Designed by</b> Mike

Description	Face or Leg	Offset Type	Offsets: Horz Lateral Vert	Azimuth Adjustment	Placement	C.A. Front	C.A. Side	Weight	
			ft	°	ft	ft	ft	K	
(4) Argus R2V4PX310R w/ mount pipe	A	From Face	3.00 0.00 0.00	0.0000	168.00	No Ice 1/2" Ice 1" Ice	13.69 14.45 15.27	11.06 12.61 14.18	0.11 0.21 0.33
(8) Lucent RRH2x40-07-G	A	From Face	2.00 0.00 0.00	0.0000	168.00	No Ice 1/2" Ice 1" Ice	1.03 1.23 1.43	2.16 2.55 2.94	0.01 0.02 0.03
(4) Argus R2V4PX310R w/ mount pipe	B	From Face	3.00 0.00 0.00	0.0000	168.00	No Ice 1/2" Ice 1" Ice	13.69 14.45 15.27	11.06 12.61 14.18	0.11 0.21 0.33
(8) Lucent RRH2x40-07-G	B	From Face	2.00 0.00 0.00	0.0000	168.00	No Ice 1/2" Ice 1" Ice	1.03 1.23 1.43	2.16 2.55 2.94	0.01 0.02 0.03
(4) Argus R2V4PX310R w/ mount pipe	C	From Face	3.00 0.00 0.00	0.0000	168.00	No Ice 1/2" Ice 1" Ice	13.69 14.45 15.27	11.06 12.61 14.18	0.11 0.21 0.33
(8) Lucent RRH2x40-07-G	C	From Face	2.00 0.00 0.00	0.0000	168.00	No Ice 1/2" Ice 1" Ice	1.03 1.23 1.43	2.16 2.55 2.94	0.01 0.02 0.03
(4) Raycap DC6-48-60-18-8F Suppressor	C	From Face	2.00 0.00 0.00	0.0000	168.00	No Ice 1/2" Ice 1" Ice	1.47 1.67 1.88	1.47 1.67 1.88	0.03 0.05 0.07
12' Platform w/ Handrail	C	None		0.0000	168.00	No Ice 1/2" Ice 1" Ice	24.00 26.00 28.00	24.00 26.00 28.00	1.80 2.60 3.40
***									
(4) Argus R2V4PX310R w/ mount pipe	A	From Face	3.00 0.00 0.00	0.0000	153.00	No Ice 1/2" Ice 1" Ice	13.69 14.45 15.27	11.06 12.61 14.18	0.11 0.21 0.33
(8) Lucent RRH2x40-07-G	A	From Face	2.00 0.00 0.00	0.0000	153.00	No Ice 1/2" Ice 1" Ice	1.03 1.23 1.43	2.16 2.55 2.94	0.01 0.02 0.03
(4) Argus R2V4PX310R w/ mount pipe	B	From Face	3.00 0.00 0.00	0.0000	153.00	No Ice 1/2" Ice 1" Ice	13.69 14.45 15.27	11.06 12.61 14.18	0.11 0.21 0.33
(8) Lucent RRH2x40-07-G	B	From Face	2.00 0.00 0.00	0.0000	153.00	No Ice 1/2" Ice 1" Ice	1.03 1.23 1.43	2.16 2.55 2.94	0.01 0.02 0.03
(4) Argus R2V4PX310R w/ mount pipe	C	From Face	3.00 0.00 0.00	0.0000	153.00	No Ice 1/2" Ice 1" Ice	13.69 14.45 15.27	11.06 12.61 14.18	0.11 0.21 0.33
(8) Lucent RRH2x40-07-G	C	From Face	2.00 0.00 0.00	0.0000	153.00	No Ice 1/2" Ice 1" Ice	1.03 1.23 1.43	2.16 2.55 2.94	0.01 0.02 0.03
(4) Raycap DC6-48-60-18-8F Suppressor	C	From Face	2.00 0.00 0.00	0.0000	153.00	No Ice 1/2" Ice 1" Ice	1.47 1.67 1.88	1.47 1.67 1.88	0.03 0.05 0.07
12' Platform w/ Handrail	C	None		0.0000	153.00	No Ice 1/2" Ice 1" Ice	24.00 26.00 28.00	24.00 26.00 28.00	1.80 2.60 3.40

Dishes											
Description	Face or Leg	Dish Type	Offset Type	Offsets: Horz Lateral Vert	Azimuth Adjustment	3 dB Beam Width	Elevation	Outside Diameter	Aperture Area	Weight	
				ft	°	°	ft	ft	ft <sup>2</sup>	K	
8 ft standard	A	Paraboloid w/ Radome	From Face	1.00 0.00 0.00	0.0000		173.00	8.00	No Ice 1/2" Ice 1" Ice	50.27 51.32 52.37	0.26 0.55 0.84
4 ft standard	A	Paraboloid w/ Radome	From Face	1.00 0.00 0.00	0.0000		168.00	4.00	No Ice 1/2" Ice 1" Ice	12.57 13.10 13.62	0.10 0.18 0.25
4 ft standard	A	Paraboloid w/ Radome	From Face	1.00 0.00 0.00	0.0000		153.00	4.00	No Ice 1/2" Ice 1" Ice	12.57 13.10 13.62	0.10 0.18 0.25

Load Combinations	
Comb No.	Description
1	Dead Only
2	1.2 Dead+1.6 Wind 0 deg - No Ice
3	0.9 Dead+1.6 Wind 0 deg - No Ice
4	1.2 Dead+1.6 Wind 90 deg - No Ice
5	0.9 Dead+1.6 Wind 90 deg - No Ice
6	1.2 Dead+1.6 Wind 180 deg - No Ice
7	0.9 Dead+1.6 Wind 180 deg - No Ice
8	1.2 Dead+1.0 Ice+1.0 Temp
9	1.2 Dead+1.0 Wind 0 deg+1.0 Ice+1.0 Temp
10	1.2 Dead+1.0 Wind 90 deg+1.0 Ice+1.0 Temp
11	1.2 Dead+1.0 Wind 180 deg+1.0 Ice+1.0 Temp
12	Dead+Wind 0 deg - Service
13	Dead+Wind 90 deg - Service
14	Dead+Wind 180 deg - Service

Maximum Member Forces							
Section No.	Elevation ft	Component Type	Condition	Gov. Load Comb	Axial K	Major Axis Moment kip-ft	Minor Axis Moment kip-ft
L1	188 - 137.25	Pole	Max Tension	13	0.00	-0.00	0.00
			Max Compression	8	-71.64	7.96	-0.25
			Max Mx	4	-17.93	-1099.23	-91.77
			Max My	6	-18.28	-144.63	-1043.54
			Max Vx	4	43.00	-1099.23	-91.77
			Max Vy	6	41.08	-144.63	-1043.54
L2	137.25 - 90	Pole	Max Torque	2		9.27	
			Max Tension	1	0.00	0.00	0.00
			Max Compression	8	-91.50	8.60	-0.28
			Max Mx	4	-31.74	-3208.17	-252.86
			Max My	6	-31.97	-403.53	-3064.42
			Max Vy	4	49.27	-3208.17	-252.86
L3	90 - 44.25	Pole	Max Torque	2		9.25	
			Max Tension	1	0.00	0.00	0.00
			Max Compression	8	-117.57	8.62	-0.28
			Max Mx	4	-50.16	-5547.49	-407.54
			Max My	6	-50.28	-652.32	-5318.81



<b>tnxTower</b>  <b>Michael F. Plahovinsak, P.E.</b> 18301 State Route 161 Plain City, OH 43064 Phone: 614-398-6250 FAX: mika@mpeng.com	Job	188-ft Monopole - MFP #23516-383	Page	5 of 7
	Project	PIKY017 Gilbertsville Dam Marina	Date	19.18.44 08/17/16
	Client	TAPP (TP-14519)	Designed by	Mike

<b>tnxTower</b>  <b>Michael F. Plahovinsak, P.E.</b> 18301 State Route 161 Plain City, OH 43064 Phone: 614-398-6250 FAX: mika@mpeng.com	Job	188-ft Monopole - MFP #23516-383	Page	6 of 7
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Section No.	Elevation ft.	Component Type	Condition	Gov. Load Comb.	Actual K	Major Axis Moment kip-ft	Minor Axis Moment kip-ft
L4	44.25 - 0	Pole	Max. Vy	4	56.55	-5547.49	-407.54
			Max. Vx	6	54.65	-652.32	-5318.81
			Max. Torque	2		9.21	
			Max. Tension	1	0.00	0.00	0.00
			Max. Compression	8	-157.36	8.55	-0.28
			Max. Mx	4	-79.02	-8817.64	-588.49
			Max. My	6	-79.02	-943.52	-8489.40
			Max. Vy	4	66.98	-8817.64	-588.49
			Max. Vx	6	65.14	-943.52	-8489.40
Max. Torque	2		9.19				

### Maximum Tower Deflections - Service Wind

Section No.	Elevation ft.	Horz. Deflection in	Gov. Load Comb.	Tilt "	Twist "
L1	188 - 137.25	37.683	13	1.7840	0.0051
L2	143 - 90	21.575	13	1.5286	0.0025
L3	97.25 - 44.25	9.433	13	0.9555	0.0010
L4	53 - 0	2.713	13	0.4659	0.0004

### Critical Deflections and Radius of Curvature - Service Wind

Elevation ft.	Appearance	Gov. Load Comb.	Deflection in	Tilt "	Twist "	Radius of Curvature ft.
183.00	(2) Ericson AIR 32 w/ mount pipe	13	35.804	1.7649	0.0103	44.728
173.00	8 ft standard	13	32.072	1.7241	0.0090	14909
168.00	4 ft standard	13	30.233	1.7008	0.0083	11181
153.00	4 ft standard	13	24.904	1.6115	0.0065	6388

### Maximum Tower Deflections - Design Wind

Section No.	Elevation ft.	Horz. Deflection in	Gov. Load Comb.	Tilt "	Twist "
L1	188 - 137.25	152.483	4	7.2420	0.0192
L2	143 - 90	87.300	4	6.1942	0.0085
L3	97.25 - 44.25	38.179	4	3.8700	0.0035
L4	53 - 0	10.981	4	1.8859	0.0014

### Critical Deflections and Radius of Curvature - Design Wind

Elevation ft.	Appearance	Gov. Load Comb.	Deflection in	Tilt "	Twist "	Radius of Curvature ft.
183.00	(2) Ericson AIR 32 w/ mount pipe	4	144.877	7.1631	0.0405	11292
173.00	8 ft standard	4	129.776	6.9940	0.0353	3762
168.00	4 ft standard	4	122.334	6.8982	0.0328	2820
153.00	4 ft standard	4	100.769	6.5321	0.0256	1607

### Pole Design Data

Section No.	Elevation ft.	Size	L ft.	L <sub>w</sub> ft.	K/r	A in <sup>2</sup>	P <sub>w</sub> K	Φ <sub>w</sub> K	Ratio P <sub>w</sub> /Φ <sub>w</sub>
L1	188 - 137.25 (1)	TP40.92x28x0.25	50.75	0.00	0.0	31.1101	-17.93	1982.34	0.009
L2	137.25 - 90 (2)	TP52.46x38.9562x0.3125	53.00	0.00	0.0	49.8916	-31.74	3140.65	0.010
L3	90 - 44.25 (3)	TP63.48x49.9878x0.375	53.00	0.00	0.0	72.4595	-50.16	4542.66	0.011
L4	44.25 - 0 (4)	TP74x60.5025x0.4375	53.00	0.00	0.0	102.151	-79.02	6293.65	0.013

### Pole Bending Design Data

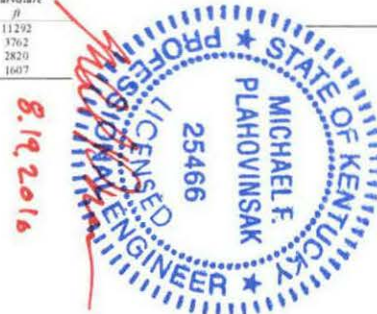
Section No.	Elevation ft.	Size	M <sub>w</sub> kip-ft	ΦM <sub>w</sub> kip-ft	Ratio M <sub>w</sub> /ΦM <sub>w</sub>	M <sub>w</sub> kip-ft	ΦM <sub>w</sub> kip-ft	Ratio M <sub>w</sub> /ΦM <sub>w</sub>
L1	188 - 137.25 (1)	TP40.92x28x0.25	1103.06	1600.53	0.689	0.00	1600.53	0.000
L2	137.25 - 90 (2)	TP52.46x38.9562x0.3125	3218.12	3253.81	0.989	0.00	3253.81	0.000
L3	90 - 44.25 (3)	TP63.48x49.9878x0.375	5562.44	5696.30	0.977	0.00	5696.30	0.000
L4	44.25 - 0 (4)	TP74x60.5025x0.4375	8837.25	9538.42	0.926	0.00	9538.42	0.000

### Pole Shear Design Data

Section No.	Elevation ft.	Size	Actual V <sub>w</sub> K	ΦV <sub>w</sub> K	Ratio V <sub>w</sub> /ΦV <sub>w</sub>	Actual T <sub>w</sub> kip-ft	ΦT <sub>w</sub> kip-ft	Ratio T <sub>w</sub> /ΦT <sub>w</sub>
L1	188 - 137.25 (1)	TP40.92x28x0.25	43.14	991.17	0.044	4.33	3204.97	0.001
L2	137.25 - 90 (2)	TP52.46x38.9562x0.3125	49.40	1570.32	0.031	4.31	6515.57	0.001
L3	90 - 44.25 (3)	TP63.48x49.9878x0.375	56.66	2271.33	0.025	4.30	11406.50	0.000
L4	44.25 - 0 (4)	TP74x60.5025x0.4375	67.07	3146.83	0.021	4.29	19100.17	0.000

### Pole Interaction Design Data

Section No.	Elevation ft.	Ratio P <sub>w</sub> /Φ <sub>w</sub>	Ratio M <sub>w</sub> /ΦM <sub>w</sub>	Ratio V <sub>w</sub> /ΦV <sub>w</sub>	Ratio T <sub>w</sub> /ΦT <sub>w</sub>	Comb. Stress Ratio	Allow. Stress Ratio	Criteria	
L1	188 - 137.25 (1)	0.009	0.689	0.000	0.044	0.001	0.700	1.000	4.8.2 ✓
L2	137.25 - 90 (2)	0.010	0.989	0.000	0.031	0.001	1.000	1.000	4.8.2 ✓
L3	90 - 44.25 (3)	0.011	0.977	0.000	0.025	0.000	0.988	1.000	4.8.2 ✓
L4	44.25 - 0 (4)	0.013	0.926	0.000	0.021	0.000	0.940	1.000	4.8.2 ✓



<b>inxTower</b>  <b>Michael F. Plahovinsak, P.E.</b> 18301 State Route 161 Plain City, OH 43064 Phone: 614-398-6250 FAX: mike@mfpeg.com	<b>Job</b> 188-ft Monopole - MFP #23516-383	<b>Page</b> 7 of 7
	<b>Project</b> PIKY017 Gilbertsville Dam Marina	<b>Date</b> 19:18:44 08/17/16
	<b>Client</b> TAPP (TP-14519)	<b>Designed by</b> Mike

<b>Michael F. Plahovinsak, P.E.</b> 18301 State Route 161 W Plain City, OH 43064 Phone: 614-398-6250 email: mike@mfpeg.com	<b>Job</b> 188-ft monopole - MFP #23516-383	<b>Page</b> BP-G
	<b>Project</b> PIKY017 Gilbertsville Dam Marina	<b>Date</b> 8/19/2016
	<b>Client</b> TAPP TP-14519	<b>Designed by</b> Mike

### Section Capacity Table

Section No.	Elevation ft	Component Type	Size	Critical Element	P/K	$\phi P_{allow}/K$	% Capacity	Pass/Fail	
L1	188 - 137.25	Pole	TP40 92x28x0.25	1	-17.93	1982.34	70.0	Pass	
L2	137.25 - 90	Pole	TP52 46x38 9562x0.3125	2	-31.74	3140.65	100.0	Pass	
L3	90 - 44.25	Pole	TP63 48x49 9878x0.375	3	-50.16	4542.66	98.8	Pass	
L4	44.25 - 0	Pole	TP74x60.5025x0.4375	4	-79.02	6293.65	94.0	Pass	
Summary									
Pole (L2)								100.0	Pass
<b>RATING =</b>								<b>100.0</b>	<b>Pass</b>

### Anchor Rod and Base Plate Calculation

ANSI/TIA-222-G-2

<b>Factored Base Reactions:</b>	<b>Pole Shape:</b>	<b>Anchor Rods:</b>	<b>Base Plate:</b>
Moment: 8837 ft-kips	18-Sided	(22) 2.25 in. A615 GR. 75	2.5 in. x 87.5 in. Round
Shear: 67 kips	<b>Pole Dia. (D<sub>p</sub>):</b>	Anchor Rods Evenly Spaced	f <sub>y</sub> = 50 ksi
Axial: 79 kips	74.00 in	On a 81.5 in Bolt Circle	

Anchor Rod Calculation According to TIA-222-G section 4.9.9

$$\phi = 0.80 \text{ TIA 4.9.9}$$

$$I_{bolts} = 18266.19 \text{ in}^2 \text{ Moment of Inertia}$$

$$P_u = 237 \text{ kips Tension Force}$$

$$V_u = 3 \text{ kips Shear Force}$$

$$R_{nt} = 325.00 \text{ kips Nominal Tensile Strength}$$

$$\eta = 0.50 \text{ for detail type (d)}$$

*The following Interaction Equation Shall Be Satisfied:*

$$\left( \frac{P_u + \frac{V_u}{\eta}}{\phi R_{nt}} \right) \leq 1.0$$

$$0.933 \leq 1$$

Base Plate Calculation According to TIA-222-G

$$\phi = 0.90 \text{ TIA 4.7}$$

$$M_{PL} = 630.4 \text{ in-kip Plastic Moment}$$

$$L = 10.6 \text{ in Section Length}$$

$$Z = 16.5 \text{ Plastic Section Modulus}$$

$$M_P = 825.6 \text{ in-kip Plastic Moment}$$

$$\phi M_n = 743.0 \text{ in-kip Factored Resistance}$$

*Calculated Moment vs Factored Resistance*

$$630.43 \text{ in-kip} \leq 743 \text{ in-kip}$$

Anchor Rods Are Adequate 93.3%   
 Base Plate is Adequate 84.8%



<b>Michael F. Plahovinsak, P.E.</b> 18301 State Route 161 W Plain City, OH 43064 Phone: 614-398-6250 email: mike@mjpseng.com	Job	188-ft monopole - MFP #23516-383	Page	FND
	Project	PIKY017 Gilbertsville Dam Marina	Date	8/19/2016
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### Caisson Calculation

According to ANSI/TIA-222-G-2

- Foundation overturning resistance calculated with PLS Caisson, for Brom's method for rigid piles. Soil layers modeled after recommendations from the geotechnical report.
- Cohesion strength for the upper 27 ft has been reduced by 50%.
- In lieu of a soil resistance factor  $\phi = 0.75$  (TIA-9.4.1) an additional safety factor against soil failure of 1.33 has been applied.
- Foundation is designed with a minimum safety factor resisting overturning of 2.0.
- Foundation has been designed with factored loads per TIA-222-G.
- Geotechnical report indicates groundwater was not encountered within the depth of the foundation.

\*\*\* PIER PROPERTIES CONCRETE STRENGTH (ksi) = 4.00 STEEL STRENGTH (ksi) = 60.00

DIAMETER (ft) = 9.000 DISTANCE FROM TOP OF PIER TO GROUND LEVEL (ft) = 0.50

\*\*\* SOIL PROPERTIES

LAYER	TYPE	THICKNESS (ft)	DEPTH AT TOP OF LAYER (ft)	DENSITY (pcf)	CU (pcf)	KP (pcf)	PHI (degrees)
1	S	4.00	0.00	0.0	1,000		-0.00
2	C	2.00	4.00	120.0	750.0		
3	C	21.00	4.00	125.0	1000.0		
4	C	8.00	27.00	125.0	2000.0		

\*\*\* DESIGN (FACTORED) LOADS AT TOP OF PIER MOMENT (ft-k) = 8837.0 VERTICAL (k) = 79.0 SHEAR (k) = 67.0  
 ADDITIONAL SAFETY FACTOR AGAINST SOIL FAILURE = 1.33

\*\*\* CALCULATED PIER LENGTH (ft) = 30.500

\*\*\* CHECK OF SOILS PROPERTIES AND ULTIMATE RESISTING FORCES ALONG PIER

TYPE	TOP OF LAYER BELOW TOP OF PIER (ft)	THICKNESS (ft)	DENSITY (pcf)	CU (pcf)	KP (pcf)	FORCE (k)	ARM (ft)
S	0.50	4.00	0.0		1,000	0.00	3.13
C	4.50	2.00	120.0	750.0		108.00	5.50
C	6.50	13.37	125.0	1000.0		962.83	13.19
C	19.87	7.63	125.0	1000.0		-549.17	23.69
C	27.50	3.00	125.0	2000.0		-432.00	29.00

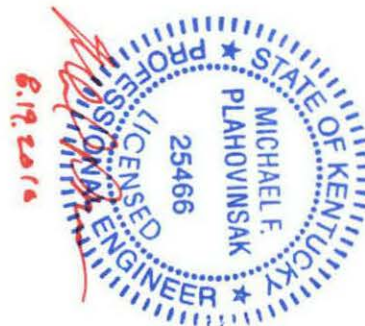
\*\*\* SHEAR AND MOMENTS ALONG PIER

DISTANCE BELOW TOP OF PIER (ft)	WITH THE ADDITIONAL SAFETY FACTOR		WITHOUT ADDITIONAL SAFETY FACTOR	
	SHEAR (k)	MOMENT (ft-k)	SHEAR (k)	MOMENT (ft-k)
0.00	89.7	12245.6	67.2	9184.2
3.00	89.7	12519.0	67.2	9389.3
6.10	3.3	12723.4	2.4	9542.4
8.15	-209.1	12419.0	-156.9	9314.2
12.20	-428.7	11446.2	-321.6	8584.7
15.25	-648.3	9803.7	-486.3	7350.8
18.30	-867.9	7491.4	-651.0	5618.5
21.35	-874.8	4666.4	-656.1	3499.8
24.40	-655.2	2333.2	-491.4	1749.9
27.45	-435.6	669.7	-326.7	502.3
30.50	0.0	-0.0	0.0	-0.0

\*\*\* TOTAL REINFORCEMENT RCT = 0.52 REINFORCEMENT AREA (in<sup>2</sup>) = 47.64  
 \*\*\* USABLE AXIAL CAP. (k) = 79.0 USABLE MOMENT CAP. (ft-k) = 9654.8

For Design:

9-ft Diameter caisson x 30.5-ft long (30-ft Embedded with 0.5-ft above grade)  
 Concrete strength = 4000 PSI @ 28 days. Estimated Concrete Volume = 72 CY.  
 (40) #10 Vertical Rebar. Steel Cross-Section = 50.8 in<sup>2</sup>



**EXHIBIT D**  
**COMPETING UTILITIES, CORPORATIONS, OR PERSONS LIST**

# KY Public Service Commission

## Master Utility Search

- Search for the utility of interest by using any single or combination of criteria.
- Enter Partial names to return the closest match for Utility Name and Address/City/Contact entries.

Utility ID	Utility Name	Address/City/Contact	Utility Type	Status
				Active ▼
<input type="button" value="Search"/>				

	Utility ID	Utility Name	Utility Type	Class	City	State
<input type="button" value="View"/>	4107900	365 Wireless, LLC	Cellular	D	Atlanta	GA
<input type="button" value="View"/>	4109300	Access Point, Inc.	Cellular	D	Cary	NC
<input type="button" value="View"/>	4108300	Air Voice Wireless, LLC	Cellular	A	Bloomfield Hill	MI
<input type="button" value="View"/>	44451184	Alltel Communications, LLC	Cellular	A	Basking Ridge	NJ
<input type="button" value="View"/>	4107800	American Broadband and Telecommunications Company	Cellular	C	Toledo	OH
<input type="button" value="View"/>	4108650	AmeriMex Communications Corp.	Cellular	D	Dunedin	FL
<input type="button" value="View"/>	4105100	AmeriVision Communications, Inc. d/b/a Affinity 4	Cellular	D	Norfolk	VA
<input type="button" value="View"/>	4107400	Bandwidth.com, Inc.	Cellular	A	Raleigh	NC
<input type="button" value="View"/>	4108600	BCN Telecom, Inc.	Cellular	D	Morristown	NJ
<input type="button" value="View"/>	4108750	Blue Jay Wireless, LLC	Cellular	C	Addison	TX
<input type="button" value="View"/>	4202300	Bluegrass Wireless, LLC	Cellular	A	Elizabethtown	KY
<input type="button" value="View"/>	4107600	Boomerang Wireless, LLC	Cellular	D	Hiawatha	IA
<input type="button" value="View"/>	4105600	Budget PrePay, Inc. dba Budget Mobile	Cellular	A	Bossier City	LA
<input type="button" value="View"/>	4105500	BullsEye Telecom, Inc.	Cellular	D	Southfield	MI
<input type="button" value="View"/>	4110050	CampusTVs, Inc.	Cellular	D	Weston	MA
<input type="button" value="View"/>	4100700	Cellco Partnership dba Verizon Wireless	Cellular	A	Basking Ridge	NJ
<input type="button" value="View"/>	4106600	Cintex Wireless, LLC	Cellular	D	Rockville	MD
		Consumer Cellular,				



<a href="#">View</a>	4101900	Incorporated	Cellular	A	Portland	OR
<a href="#">View</a>	4104900	Credit Union Wireless, LLC	Cellular	D	Salem	OR
<a href="#">View</a>	4106400	Credo Mobile, Inc.	Cellular	A	San Francisco	CA
<a href="#">View</a>	4108850	Cricket Wireless, LLC	Cellular	A	Alpharetta	GA
<a href="#">View</a>	4001900	CTC Communications Corp. d/b/a EarthLink Business I	Cellular	D	Grand Rapids	MI
<a href="#">View</a>	10640	Cumberland Cellular Partnership	Cellular	A	Elizabethtown	KY
<a href="#">View</a>	4101000	East Kentucky Network, LLC dba Appalachian Wireless	Cellular	A	Ivel	KY
<a href="#">View</a>	4002300	Easy Telephone Service Company dba Easy Wireless	Cellular	D	Ocala	FL
<a href="#">View</a>	4109500	Enhanced Communications Group, LLC	Cellular	D	Bartlesville	OK
<a href="#">View</a>	4105900	Flash Wireless, LLC	Cellular	D	Concord	NC
<a href="#">View</a>	4107100	Flatel Wireless, Inc dba Zing PCS	Cellular	D	Royal Palm Bch	FL
<a href="#">View</a>	4104800	France Telecom Corporate Solutions L.L.C.	Cellular	D	Oak Hill	VA
<a href="#">View</a>	4109350	Global Connection Inc. of America	Cellular	D	Norcross	GA
<a href="#">View</a>	4102200	Globalstar USA, LLC	Cellular	B	Covington	LA
<a href="#">View</a>	4109600	Google North America Inc.	Cellular	D	Mountain View	CA
<a href="#">View</a>	33350363	Granite Telecommunications, LLC	Cellular	D	Quincy	MA
<a href="#">View</a>	4106000	GreatCall, Inc. d/b/a Jitterbug	Cellular	A	San Diego	CA
<a href="#">View</a>	10630	GTE Wireless of the Midwest dba Verizon Wireless	Cellular	A	Basking Ridge	NJ
<a href="#">View</a>	4103100	i-Wireless, LLC	Cellular	A	Newport	KY
<a href="#">View</a>	4109800	IM Telecom, LLC d/b/a Infiniti Mobile	Cellular	D	Tulsa	OK
<a href="#">View</a>	22215360	KDDI America, Inc.	Cellular	C	New York	NY
<a href="#">View</a>	10872	Kentucky RSA #1 Partnership	Cellular	A	Basking Ridge	NJ
<a href="#">View</a>	10680	Kentucky RSA #3 Cellular General	Cellular	A	Elizabethtown	KY
<a href="#">View</a>	10681	Kentucky RSA #4 Cellular General	Cellular	A	Elizabethtown	KY
<a href="#">View</a>	4109750	Konatel, Inc. dba telecom.mobi	Cellular	D	Johnstown	PA
<a href="#">View</a>	4107300	Lycamobile USA, Inc.	Cellular	D	Newark	NJ
<a href="#">View</a>	4108800	MetroPCS Michigan, LLC	Cellular	A	Bellevue	WA
<a href="#">View</a>	4109650	Mitel Cloud Services, Inc.	Cellular	D	Mesa	AZ
<a href="#">View</a>	4109400	NetZero Wireless, Inc.	Cellular	D	Woodland Hills	CA
<a href="#">View</a>	4202400	New Cingular Wireless PCS, LLC dba AT&T Mobility, PCS	Cellular	A	San Antonio	TX
<a href="#">View</a>	10900	New Par dba Verizon Wireless	Cellular	A	Basking Ridge	NJ

<a href="#">View</a>	4000800	Nextel West Corporation	Cellular	D	Overland Park	KS
<a href="#">View</a>	4104500	Nexus Communications, Inc.	Cellular	D	Columbus	OH
<a href="#">View</a>	4001300	NPCR, Inc. dba Nextel Partners	Cellular	A	Overland Park	KS
<a href="#">View</a>	4001800	OnStar, LLC	Cellular	A	Detroit	MI
<a href="#">View</a>	4109050	Patriot Mobile LLC	Cellular	D	Southlake	TX
<a href="#">View</a>	4109450	Pix Wireless, LLC	Cellular	D	Boca Raton	FL
<a href="#">View</a>	4110250	Plintron Technologies USA LLC	Cellular	C	Bellevue	WA
<a href="#">View</a>	33351182	PNG Telecommunications, Inc. dba PowerNet Global Communications	Cellular	D	Cincinnati	OH
<a href="#">View</a>	4202100	Powertel/Memphis, Inc. dba T-Mobile	Cellular	A	Bellevue	WA
<a href="#">View</a>	4107700	Puretalk Holdings, LLC	Cellular	A	Covington	GA
<a href="#">View</a>	4106700	Q Link Wireless, LLC	Cellular	A	Dania	FL
<a href="#">View</a>	4108700	Ready Wireless, LLC	Cellular	B	Hiawatha	IA
<a href="#">View</a>	4110350	Regional Strategic Partners LLC	Cellular	C	Buford	GA
<a href="#">View</a>	4106200	Rural Cellular Corporation	Cellular	A	Basking Ridge	NJ
<a href="#">View</a>	4108550	Sage Telecom Communications, LLC	Cellular	D	Dallas	TX
<a href="#">View</a>	4109150	SelecTel, Inc. d/b/a SelecTel Wireless	Cellular	D	Freemont	NE
<a href="#">View</a>	4110000	Senior Tech, LLC d/b/a Snapfon	Cellular	D	Chattanooga	TN
<a href="#">View</a>	4106300	SI Wireless, LLC	Cellular	A	Carbondale	IL
<a href="#">View</a>	4109100	Solavei, LLC	Cellular	C	Bellevue	WA
<a href="#">View</a>	4110150	Spectrotel, Inc. d/b/a Touch Base Communications	Cellular	C	Neptune	NJ
<a href="#">View</a>	4200100	Sprint Spectrum, L.P.	Cellular	A	Atlanta	GA
<a href="#">View</a>	4200500	SprintCom, Inc.	Cellular	A	Atlanta	GA
<a href="#">View</a>	4109550	Stream Communications, LLC	Cellular	D	Dallas	TX
<a href="#">View</a>	4110200	T C Telephone LLC d/b/a Horizon Cellular	Cellular	C	Red Bluff	CA
<a href="#">View</a>	4202200	T-Mobile Central, LLC dba T-Mobile	Cellular	A	Bellevue	WA
<a href="#">View</a>	4002500	TAG Mobile, LLC	Cellular	D	Carrollton	TX
<a href="#">View</a>	4109700	Telecom Management, Inc. dba Pioneer Telephone	Cellular	D	South Portland	ME
<a href="#">View</a>	4107200	Telefonica USA, Inc.	Cellular	D	Miami	FL
<a href="#">View</a>	4108900	Telrite Corporation dba Life Wireless	Cellular	D	Covington	GA
<a href="#">View</a>	4108450	Tempo Telecom, LLC	Cellular	D	Kansas City	MO
<a href="#">View</a>	4109950	The People's Operator USA, LLC	Cellular	D	New York	NY
<a href="#">View</a>	4109000	Ting, Inc.	Cellular	A	Toronto	ON
<a href="#">View</a>	4110400	Torch Wireless Corp.	Cellular	C	Jacksonville	FL
<a href="#">View</a>	4103900	Total Call Mobile, Inc.	Cellular	B	Gardena	CA

<a href="#">View</a>	4103300	Touchtone Communications, Inc.	Cellular	D	Whippany	NJ
<a href="#">View</a>	4104200	TracFone Wireless, Inc.	Cellular	D	Miami	FL
<a href="#">View</a>	4002000	Truphone, Inc.	Cellular	D	Durham	NC
<a href="#">View</a>	4110300	UVNV, Inc.	Cellular	C	Costa Mesa	CA
<a href="#">View</a>	4105700	Virgin Mobile USA, L.P.	Cellular	A	Atlanta	GA
<a href="#">View</a>	4200600	West Virginia PCS Alliance, L.C.	Cellular	A	Waynesboro	VA
<a href="#">View</a>	4106500	WiMacTel, Inc.	Cellular	D	Omaha	NE
<a href="#">View</a>	4110100	Windward Wireless LLC	Cellular	C	Suwanee	GA
<a href="#">View</a>	4109900	Wireless Telecom Cooperative, Inc. dba theWirelessFreeway	Cellular	D	Louisville	KY

**EXHIBIT E**  
**SITE SELECTION REPORT**

08/10/2016

Talina R. Mathews  
Executive Director  
Kentucky Public Service Commission  
211 Sower Boulevard  
Frankfort, KY 40601

RE: Alternate Site Analysis Report  
Uniform Application for a Communications Facility  
Applicant: PI Tower Development LLC and Kentucky RSA No. 1 Partnership d/b/a  
Verizon Wireless  
Site Location: 364 Sledd Creek Rd., Gilbertsville KY  
Site Name: Kentucky Dam Marina

Dear Commissioners:

This report is provided to explain the site development process used by the Applicants to identify the site selected for the new wireless communications facility proposed in the accompanying Uniform Application.

### **PI Tower Development LLC and Verizon Wireless- Site Development Process**

**Step 1: Problem Identification.** Verizon Wireless radio frequency engineers first identified a growing coverage and/or capacity gap in unincorporated Marshall County, Kentucky.

**Step 2: Search Area.** To help guide the site development team's task of identifying a suitable location for a new wireless communications facility site, Verizon Wireless' radio frequency engineers identified the geographic area where the antenna site must be located in order to close the gap and issued a map (called a Search Area) that identified the general area in which a new site must be located. The Search Area for this site is approximately 1.5 miles from north-to-south and 0.9 miles east-to-west. A map of the search area is below.



**Step 3: Co-location Review.** The site development team first reviewed the area within the Search Area for a suitable tall structure for co-location. In this case, The North Marshall Water District operates a water tank within the designated search area at (N36° 58' 35.39" W88° 17' 46.26"). The water tank is only approximately 150' tall. Antennas placed at this height will not meet the radio frequency objectives of this project. For this reason, this co-location alternative was removed from consideration for antenna placement. Further, North Marshall Water District representatives did not respond to communications from site acquisition vendors. Two other existing towers were reviewed for co-location. A tower owned by the Tennessee Valley Authority located at N37° 00' 33.00" W88° 14' 56.00" (ASR #1235865) is over two miles outside of the search area. The City of Grand Rivers owns a tower (ASR #1241571) located approximately 2.5 miles outside of the search area at N37° 00' 29.50" W88° 14' 35.90". Antennas placed on these towers will not resolve the existing coverage or capacity gap in this area.

**Step 4: Review of the Area's Zoning Classification.** Once the site development team determined that there are no available existing tall structures which are technically feasible and suitable for co-location, the team next reviewed local zoning requirements to identify parcels located within the search area that might be suitable from a land use perspective to host an antenna site. In this case, the search area is located outside of the jurisdiction of a planning commission, so there are no local zoning regulations. In the absence of specific zoning regulations, site acquisition vendors searched for large parcels that have ample space to accommodate a telecommunications tower and would have the least intrusive impact on surrounding properties.

**Step 5: Preliminary Inspection and Assessment of Suitable Parcels.** Once suitably zoned parcels are identified, the site development team visits the parcels and performs a preliminary inspection. The purpose of the preliminary inspection is: (1) to confirm the availability of sufficient land space for the proposed facility; (2) to identify a specific location for the facility on the parcel; (3) to identify any recognized environmental conditions that would disqualify the parcel from consideration; (4) to identify any construction issues that would disqualify the candidate; and, (5) to assess the potential impact of the facility on neighboring properties.

Multiple candidates were considered and ultimately removed from consideration based on site design issues related to difficulties with access or terrain. These candidates include:

- Maggie's Jungle Golf LLC (parcel #52-00-00-025.02C00)
  - N36° 58' 40.08" W88° 17' 55.06"
- J. Jerod and Associates, Inc. (parcel #53-00-00-009.00C00)
  - N36° 58' 21.42" W88° 17' 57.22"
- Monty Morehead – KY Lake Resort RV Park (parcel #52-00-00-024.01)
  - N36° 58' 49.86" W88° 18' 02.51"

In this instance, a large portion of the search area is owned by the Tennessee Valley Authority and designated for the Kentucky Dam State Park. Per Bill Novak of the Kentucky State Parks Department, towers are not typically allowed on state parks.

**Step 6: Candidate Evaluation and Selection.** After the preliminary site assessments were performed, the site development team ranked the candidates based on the availability of ground space, topography, applicable environmental conditions, construction feasibility and the potential impact of the facility on neighboring properties.

Towards the south of the search area, the Barb J. Cattle Family Limited Partnership owns a large parcel (parcel #53-00-00-010) spanning from US Highway 641 North to Ridge Road. This is the largest privately owned parcel in the search area. Charles Thorn, on behalf of the Barb J. Cattle Family Limited Partnership, offered a raw land site for consideration. Verizon Wireless considered this parcel for tower placement. Ultimately, this location was removed from consideration based on the availability of a superior candidate.

On the southern edge of the search area, the David W. Reed Revocable Trust owns parcel #53-00-00-019, which is approximately 40 acres in size. David Reed offered a raw land site for consideration. Verizon Wireless considered this candidate, but did not select it for tower placement based on the availability of a superior candidate.

Renia Fehrenbacher owns approximately 35 acres in the eastern section of the search area between Sledd Creek Road and Ridge Road. Fehrenbacher offered a raw land site for consideration. The proposed site is located in a heavily forested area and will be well screened from surrounding parcels.

**Step 7: Leasing and Due Diligence.** Once a suitable candidate was selected, lease negotiations were commenced and site due diligence steps were performed, as described below.

Leasehold Due Diligence:

- A Title Report was obtained and reviewed to ensure that there are no limitations on the landowner's capacity to lease and to address any title issues.
- A site survey was obtained to identify the location of parcel features, boundaries, easements and other encumbrances revealed by the title search.
- Review of environmental conditions.

Engineering Due Diligence:

- Utility access identified.
- Grounding plan designed.
- Geotechnical soil analysis performed to determine foundation requirements.
- Foundations designed to meet the Kentucky Building Code lateral and subjacent support requirements.
- Site plan developed.

Federal Regulatory Due Diligence

- Federal Aviation Administration ("FAA")
- Federal Communication Commission ("FCC")

**Step 8: Application.** Once a lease is obtained and all site due diligence is completed, Verizon Wireless and PI Tower Development LLC prepared and filed the accompanying uniform application to construct, maintain and operate a communications facility.

**Conclusion**

Applicant's site identification and selection process aims to identify the least intrusive of all the available and technically feasible parcels in a service need area. In this case, the Fehrenbacher parcel offers a well screened site location that will resolve the existing service need.

Sincerely,



craig|and|associates

Mat Brooks  
Site Acquisition Specialist  
181 Lanter Lane  
Taylorsville, KY 40071  
502-354-0274 Office / Fax  
502-751-5629 Mobile  
Mat.Brooks@caawireless.com



**EXHIBIT F**  
**FAA**



Mail Processing Center  
 Federal Aviation Administration  
 Southwest Regional Office  
 Obstruction Evaluation Group  
 10101 Hillwood Parkway  
 Fort Worth, TX 76177

Aeronautical Study No.  
 2016-ASO-9747-OE

Issued Date: 05/17/2016

Alejandra Stinson  
 PI Tower Development, LLC - AS  
 7411 Fullerton St, Suite 110  
 Jacksonville, FL 32256

**\*\* DETERMINATION OF NO HAZARD TO AIR NAVIGATION \*\***

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure: Antenna Tower Gilbertsville Dam Marina (Monopole)  
 Location: Gilbertsville, KY  
 Latitude: 36-58-37.27N NAD 83  
 Longitude: 88-17-10.48W  
 Heights: 402 feet site elevation (SE)  
 191 feet above ground level (AGL)  
 593 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure does not exceed obstruction standards and would not be a hazard to air navigation provided the following condition(s), if any, is(a ) met:

It is required that FAA Form 7460-2, Notice of Actual Construction or Alteration, be e-filed any time the project is abandoned or:

- At least 10 days prior to start of construction (7460-2, Part 1)
- Within 5 days after the construction reaches its greatest height (7460-2, Part 2)

Based on this evaluation, marking and lighting are not necessary for aviation safety. However, if marking/ lighting are accomplished on a voluntary basis, we recommend it be installed and maintained in accordance with FAA Advisory circular 70/7460-1 L.

This determination expires on 11/17/2017 unless:

- (a) the construction is started (not necessarily completed) and FAA Form 7460-2, Notice of Actual Construction or Alteration, is received by this office.
- (b) extended, revised, or terminated by the issuing office.
- (c) t  
 (FCC) and an application for a construction permit has been filed, as required by the FCC, within 6 months of the date of this determination. In such case, the determination expires on the date prescribed by the FCC for completion of construction, or the date the FCC denies the application.

NOTE: REQUEST FOR EXTENSION OF THE EFFECTIVE PERIOD OF THIS DETERMINATION MUST BE E-FILED AT LEAST 15 DAYS PRIOR TO THE EXPIRATION DATE. AFTER RE-EVALUATION OF CURRENT OPERATIONS IN THE AREA OF THE STRUCTURE TO DETERMINE THAT NO SIG INATION MAY BE ELIGIBLE FOR ONE EXTENSION OF THE EFFECTIVE PERIOD.

This determination is based, in part, on the foregoing description which includes specific coordinates , heights, frequency(ies) a

le airspace  
by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

Any failure or malfunction that lasts more than thirty (30) minutes and affects a top light or flashing obstruction light, regardless of its position, should be reported immediately to (877) 487-6867 so a Notice to Airmen (NOTAM) can be issued. As soon as the normal operation is restored, notify the same number.

A copy of this determination will be forwarded to the Federal Communications Commission (FCC) because the structure is subject to their licensing authority.

If we can be of further assistance, please contact our office at (718) 553-2611. On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2016-ASO-9747-OE.

**Signature Control No: 288043892-292304618**

( DNE )

Angelique Eersteling  
Technician

Attachment(s)  
Frequency Data

cc: FCC

Frequency Data for ASN 2016-ASU-9/4/-OE

LOW FREQUENCY	HIGH FREQUENCY	FREQUENCY UNIT	ERP	ERP UNIT
698	806	MHz	1000	W
806	824	MHz	500	W
824	849	MHz	500	W
851	866	MHz	500	W
869	894	MHz	500	W
896	901	MHz	500	W
901	902	MHz	7	W
930	931	MHz	3500	W
931	932	MHz	3500	W
932	932.5	MHz	17	dBW
935	940	MHz	1000	W
940	941	MHz	3500	W
1850	1910	MHz	1640	W
1930	1990	MHz	1640	W
2305	2310	MHz	2000	W
2345	2360	MHz	2000	W

**EXHIBIT G**  
**KENTUCKY AIRPORT ZONING COMMISSION**



## KENTUCKY AIRPORT ZONING COMMISSION

MATTHEW BEVIN  
Governor

90 Airport Road, Bldg 400  
Frankfort, KY 40601  
www.transportation.ky.gov  
502 564-4480

June 13, 2016

### APPROVAL OF APPLICATION

#### APPLICANT:

PI Tower Development LLC  
PI Tower Development LLC  
7411 Fullerton St|Suite 110  
Jacksonville, FL 32256

SUBJECT: AS-079-M34-2016-033

STRUCTURE: Antenna Tower  
LOCATION: Gilbertsville, KY  
COORDINATES: 36° 58' 37.27" N / 88° 17' 10.48" W  
HEIGHT: 191' AGL/593' AMSL

The Kentucky Airport Zoning Commission has approved your application for a permit to construct 191' AGL/ 593' AMSL Antenna Tower near Gilbertsville, KY 36° 58' 37.27" N / 88° 17' 10.48" W.

This permit is valid for a period of 18 Month(s) from its date of issuance. If construction is not completed within said 18-Month period, this permit shall lapse and be void, and no work shall be performed without the issuance of a new permit.

A copy of the approved application is enclosed for your files.

Red Obstruction Lighting is required in accordance with 602 KAR 50:100.



John Houlihan  
Administrator



An Equal Opportunity Employer M/F/D



**KENTUCKY AIRPORT ZONING COMMISSION**

**MATTHEW BEVIN**  
Governor

90 Airport Road, Bldg 400  
Frankfort, KY 40601  
www.transportation.ky.gov  
502 564-4480

**CONSTRUCTION/ALTERATION STATUS REPORT**

June 13, 2016

AERONAUTICAL STUDY NUMBER: AS-079-M34-2016-033

PI Tower Development LLC  
PI Tower Development LLC  
7411 Fullerton St Suite 110  
Jacksonville, FL 32256

This concerns the permit which was issued to you by the Kentucky Airport Zoning Commission on June 13, 2016. This permit is valid for a period of 18 Month(s) from its date of issuance. If construction is not completed within the said 18-Month period, this permit shall lapse and be void, and no work shall be performed without the issuance of a new permit. When appropriate, please indicate the status of the project in the place below and return this letter to John Houlihan, Administrator, Kentucky Airport Zoning Commission, 90 Airport Road, Bldg 400, Frankfort, KY, 40601. 502 564-4480.

STRUCTURE: Antenna Tower  
LOCATION: Gilbertsville, KY  
COORDINATES: 36° 58' 37.27" N / 88° 17' 10.48" W  
HEIGHT: 191' AGL /593'AMSL

**CONSTRUCTION/ALTERATION STATUS**

- 1. The project ( ) is abandoned. ( ) is not abandoned.
- 2. Construction status is as follows:
  - Structure reached its greatest height of \_\_\_\_\_ ft. AGL  
\_\_\_\_\_ ft. AMSL on \_\_\_\_\_ (date).
  - Date construction was completed. \_\_\_\_\_
  - Type of obstruction marking/painting. \_\_\_\_\_
  - Type of obstruction lighting. \_\_\_\_\_
  - As built coordinates. \_\_\_\_\_
  - Miscellaneous Information. \_\_\_\_\_
  - DATE \_\_\_\_\_
  - SIGNATURE/TITLE \_\_\_\_\_



An Equal Opportunity Employer M/F/D



KENTUCKY TRANSPORTATION CABINET  
KENTUCKY AIRPORT ZONING COMMISSION

TC 56-50  
Rev. 07/2010  
Page 2 of 2

**APPLICATION FOR PERMIT TO CONSTRUCT OR ALTER A STRUCTURE**

<b>APPLICANT (name)</b> PI Tower Development, LLC		<b>PHONE</b> 904-450-4830	<b>FAX</b>	<b>KY AERONAUTICAL STUDY #</b> AS-079-M34-2016-038
<b>ADDRESS (street)</b> 7411 Fullerton St, Suite 110		<b>CITY</b> Jacksonville	<b>STATE</b> FL	<b>ZIP</b> 32256
<b>APPLICANT'S REPRESENTATIVE (name)</b> Wireless Applications Corp		<b>PHONE</b> 425-643-5000	<b>FAX</b>	
<b>ADDRESS (street)</b> 111 108 <sup>th</sup> Ave NE, Suite 160		<b>CITY</b> Bellevue	<b>STATE</b> WA	<b>ZIP</b> 98004
<b>APPLICATION FOR</b> <input checked="" type="checkbox"/> New Construction <input type="checkbox"/> Alteration <input type="checkbox"/> Existing			<b>WORK SCHEDULE</b>	
<b>DURATION</b> <input type="checkbox"/> Permanent <input type="checkbox"/> Temporary (months days )			Start 05/18/2016 End 05/18/2017	
<b>TYPE</b> <input type="checkbox"/> Crane <input type="checkbox"/> Building <input type="checkbox"/> Antenna Tower <input type="checkbox"/> Power Line <input type="checkbox"/> Water Tank <input type="checkbox"/> Landfill <input checked="" type="checkbox"/> Other Monopole		<b>MARKING/PAINTING/LIGHTING PREFERRED</b> <input type="checkbox"/> Red Lights & Paint <input type="checkbox"/> White- medium intensity <input type="checkbox"/> White- high intensity <input type="checkbox"/> Dual- red & medium intensity white <input type="checkbox"/> Dual- red & high intensity white <input checked="" type="checkbox"/> Other None <i>Road Obstruction Lights is required. JJA</i>		
<b>LATITUDE</b> 36°58'37.27"		<b>LONGITUDE</b> 088°17'10.48"		<b>DATUM</b> <input checked="" type="checkbox"/> NAD83 <input type="checkbox"/> NAD27 <input type="checkbox"/> Other
<b>NEAREST KENTUCKY</b> City Gilbertsville  County Marshall		<b>NEAREST KENTUCKY PUBLIC USE OR MILITARY AIRPORT</b> M34: KENTUCKY DAM STATE PARK		
<b>SITE ELEVATION (AMSL, feet)</b> 402		<b>TOTAL STRUCTURE HEIGHT (AGL, feet)</b> 191		<b>CURRENT (FAA aeronautical study #)</b> 2016-ASO-9747-OE
<b>OVERALL HEIGHT (site elevation plus total structure height, feet)</b> 593				<b>PREVIOUS (FAA aeronautical study #)</b>
<b>DISTANCE (from nearest Kentucky public use or Military airport to structure)</b> 1.934 nm				<b>PREVIOUS (KY aeronautical study #)</b>
<b>DIRECTION (from nearest Kentucky public use or Military airport to structure)</b> 342.06 degrees				
<b>DESCRIPTION OF LOCATION (Attach USGS 7.5 minute quadrangle map or an airport layout drawing with the precise site marked and any certified survey.)</b> Proposed site located at 364 Sledd Creek Road, Marshall County, Gilbertsville, KY , 42044				
<b>DESCRIPTION OF PROPOSAL</b> Proposed site is a 191 ft AGL Monopole tower, including all antennas and lightning rod.				
<b>FAA Form 7460-1 (Has the "Notice of Construction or Alteration" been filed with the Federal Aviation Administration?)</b> <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes, when? 04/12/2016				
<b>CERTIFICATION (I hereby certify that all the above entries, made by me, are true, complete, and correct to the best of my knowledge and belief.)</b>				
<b>PENALTIES (Persons failing to comply with KRS 183.861 to 183.990 and 602 KAR 050 are liable for fines and/or imprisonment as set forth in KRS 183.990(3). Noncompliance with FAA regulations may result in further penalties.)</b>				
<b>NAME</b> Ronald W. Lageson, Jr	<b>TITLE</b> Manager	<b>SIGNATURE</b> <i>Ronald W. Lageson Jr.</i>	<b>DATE</b> 4/12/2016	
<b>COMMISSION ACTION</b> <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Disapproved				
<b>SIGNATURE</b> <i>[Signature]</i>		<b>DATE</b> 6-13-16		
<input type="checkbox"/> Chairperson, KAZC <input checked="" type="checkbox"/> Administrator, KAZC				



**EXHIBIT H  
GEOTECHNICAL REPORT**

GEOTECHNICAL REPORT

**KY-Gilbertsville-Dam Marina**

**PIKY017**

**(VZW – EV Kentucky Dam Marina)**

**36° 58' 37.27" N**

**88° 17' 10.48" W**

364 Sledd Creek Rd,  
Gilbertsville, KY

Prepared For:



For:



Prepared By:





July 29, 2016

Ms. Alejandra Stinson  
PI Tower Development , LLC  
4601 Touchton Rd  
Building 300, Suite 3200  
Jacksonville, FL 32246

Re: Geotechnical Report – **PROPOSED 188' MONOPOLE TOWER WITH A 3' LIGHTING ARRESTOR**  
Site Name: **KY-Gilbertsville-Dam Marina, PIKY017 (VZW- EV Kentucky Dam Marina)**  
Site Address: 364 Sledd Creek Road, Gilbertsville, Marshall County, Kentucky  
Coordinates: N36° 58' 37.27", W88° 17' 10.48"  
POD Project No. 16-8131

Dear Ms. Stinson:

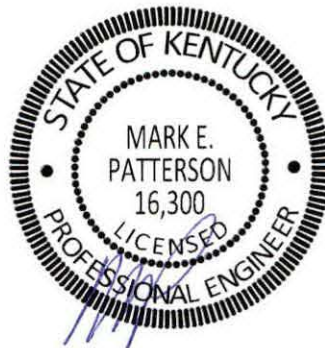
Attached is our geotechnical engineering report for the referenced project. This report contains our findings, an engineering interpretation of these findings with respect to the available project characteristics, and recommendations to aid design and construction of the tower, shelter and platform foundations.

We appreciate the opportunity to be of service to you on this project. If you have any questions regarding this report, please contact our office.

Cordially,

A handwritten signature in blue ink, appearing to read "Mark Patterson".

Mark Patterson, P.E.  
Project Engineer  
License No.: KY 16300



Copies submitted: (3) Ms. Alejandra Stinson

**LETTER OF TRANSMITTAL**

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**APPENDIX**

BORING LOCATION PLAN  
BORING LOG  
SOIL SAMPLE CLASSIFICATION

Geotechnical Report  
**PROPOSED 188' MONOPOLE TOWER WITH A 3' LIGHTING  
ARRESTOR** Site Name: KY-Gilbertsville-Dam Marina, PIKY017  
(VZW – EV Kentucky Dam Marina)  
364 Sledd Creek Road, Gilbertsville, Marshall County, Kentucky  
N36° 58' 37.27", W88° 17' 10.48"

**1. PURPOSE AND SCOPE**

The purpose of this study was to determine the general subsurface conditions at the site of the proposed tower by drilling two borings and to evaluate this data with respect to foundation concept and design for the proposed tower and shelter or equipment platform. Also included is an evaluation of the site with respect to potential construction problems and recommendations dealing with quality control during construction.

**2. PROJECT CHARACTERISTICS**

PI Tower Development, LLC is proposing to construct a 188 foot monopole tower with a 3 foot lighting arrestor and an equipment shelter or platform at N36° 58' 37.27", W88° 17' 10.48", 364 Sledd Creek Road, Gilbertsville, Marshall County, Kentucky. The site located in a small grass clearing near a wooded area behind a residence. The site is within the Kentucky Lake recreational area with the lake to the north and east of the site. The site will be accessed by an existing gravel road off Ridge Road. The proposed tower elevation is about EL 403 and there is about 14 feet change in elevation across the proposed lease area. Surface water will run off to the northwest. The proposed tower location is shown on the Boring Location Plan in the Appendix.

**3. SUBSURFACE CONDITIONS**

The subsurface conditions were explored by drilling two test borings near the base of the proposed tower. The Geotechnical Soil Test Boring Logs, which are included in the Appendix, describes the materials and conditions encountered. A sheet defining the terms and symbols used on the boring logs is also included in the Appendix. The general subsurface conditions disclosed by the test boring are discussed in the following paragraphs.

According to the Kentucky Geological Survey, Kentucky Geologic Map Information Services, the site is underlain by the Clayton and McNairy Formations. These formations are made up of very fine grained sand, clay and silt that weather to brick red. They also contain iron deposits and rock fragments. Continental deposits of gravel and sand are also located very near the site.

The boring encountered about 5 inches of topsoil at the existing ground surface. Below the topsoil, the borings encountered silty clay (CL) of low plasticity. The SPT N-values in the clayey soils were between 5 and 23 blows per foot (bpf) generally indicating a soft to medium stiff consistency in the top 3 feet that became very stiff below 3 feet. Sandy clay (CL) was encountered at about 6 feet. Both borings encountered lenses of material at about 6 feet that appear to

be very hard sand and clay that has become cemented together rather than sandstone. The SPT N-values ranging from 22 to 57 bpf. Both borings were terminated in the sandy clay, Boring 2 at the scheduled depth of 20 feet and Boring 1 at the scheduled depth of 50 feet.

Observations made at the completion of soil drilling operations indicated the borings were dry. It must be noted, however, that short-term water readings in test borings are not necessarily a reliable indication of the actual groundwater level. Furthermore, it must be emphasized that the groundwater level is not stationary, but will fluctuate seasonally.

Based on the limited subsurface conditions encountered at the site and using Table 1615.1.1 of the 2013 Kentucky Building Code, the site class is considered "B". Seismic design requirements for telecommunication towers are given in section 1622 of the code. A detailed seismic study was beyond the scope of this report.

#### **4. FOUNDATION DESIGN RECOMMENDATIONS**

The following design recommendations are based on the previously described project information, the subsurface conditions encountered in our borings, the results of our laboratory testing, empirical correlations for the soil types encountered, our analyses, and our experience. If there is any change in the project criteria or structure location, you should retain us to review our recommendations so that we can determine if any modifications are required. The findings of such a review can then be presented in a supplemental report or addendum.

We recommend that the geotechnical engineer be retained to review the near-final project plans and specifications, pertaining to the geotechnical aspects of the project, prior to bidding and construction. We recommend this review to check that our assumptions and evaluations are appropriate based on the current project information provided to us, and to check that our foundation and earthwork recommendations were properly interpreted and implemented.

##### **4.1. Proposed Tower**

Our findings indicate that the proposed monopole tower can be supported on drilled piers or on a common mat foundation.

**4.1.1. Drilled Piers**

The following table summarizes the recommended values for use in analyzing lateral and frictional resistance for the various strata encountered at the test boring. It is important to note that these values are estimated based on the standard penetration test results and soil types, and were not directly measured. The all values provided are ultimate values and appropriate factors of safety should be used in conjunction with these values. If the piers will bear deeper than about 50 feet, a deeper boring should be drilled to determine the nature of the deeper material.

Depth Below Ground Surface, feet	0 - 3	3 - 6	6 - 35	35 - 50
Ultimate Bearing Pressure (psf)		8,300	11,060	14,000
c Undrained Shear Strength, psf	500	1500	2000	2500
$\phi$ Angle of Internal Friction degrees	0	0	0	0
Total Unit Weight, pcf	120	120	125	130
Soil Modulus Parameter k, pci	30	500	500	700
Passive Soil Pressure, psf/one foot of depth		1000 + 40(D-3)	1300 + 43(D-6)	1700 + 45(D-35)
Side Friction, psf		500	600	800

Note: D = Depth below ground surface (in feet) to point at which the passive pressure is calculated.

It is important that the drilled piers be installed by an experienced, competent drilled pier contractor who will be responsible for properly installing the piers in accordance with industry standards and generally accepted methods, without causing deterioration of the subgrade. The recommendations contained herein relate only to the soil-pier interaction and do not account for the structural design of the piers.

**4.1.2. Mat Foundation**

The tower could be supported on a common mat foundation bearing on the silty clay between 3 and 15 can be designed using a ultimate bearing pressure of 8000 pounds per square foot may be used. This value may be increased

by 30 percent for the maximum edge pressure under transient loads. A friction value of 0.30 may be used between the concrete and the clay soil. The passive pressures given for the drilled pier foundation may be used to resist lateral forces.

It is important that the mat be designed with an adequate factor of safety with regard to overturning under the maximum design wind load.

#### **4.2. Equipment Platform**

An equipment platform may be supported on shallow piers bearing in the natural silty clay and designed for a net allowable soil pressure of 3,000 pounds per square foot. The piers should bear at a depth of at least 30 inches to minimize the effects of frost action. All existing topsoil or soft natural soil should be removed beneath footings.

#### **4.3. Equipment Building**

If an equipment building support on a slab is chosen in place of the equipment platform, it may be supported on shallow spread footings bearing in the natural clay soil and designed for a net allowable soil pressure of 3,000 pounds per square foot.

The footings should be at least ten inches wide. If the footings bear on soil they should bear at a depth of at least 30 inches to minimize the effects of frost action. All existing topsoil or soft natural soil should be removed beneath footings.

The floor slab for the new equipment building can be supported on firm natural soils or on new compacted structural fill. Existing fill may be left in place below the slab if the owner can accept the possibility of greater than normal settlement and cracking. This risk can be reduced if the underlying subgrade is properly proof-rolled and any unstable areas disclosed by the proof-roll are improved as necessary.

Floor slabs must be supported on at least 4-inch layer of relatively clean granular material such as gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve. This is to help distribute concentrated loads and equalize moisture conditions beneath the slab. Provided that a minimum of 4 in. of granular material is placed below the slab, a modulus of subgrade reaction ( $k_{30}$ ) of 110 lbs/cu.in. can be used for design of the floor slabs.



#### 4.4. Drainage and Groundwater Considerations

Good site drainage must be provided. Surface run-off water should be drained away from the tower and platform and not allowed to pond. It is recommended that all foundation concrete be placed the same day the excavation is made.

At the time of this investigation, groundwater was not encountered. Any seepage should be able to be pumped with sumps. All groundwater must be removed before the shallow foundations are poured.

### 5. GENERAL CONSTRUCTION PROCEDURES AND RECOMMENDATIONS

It is possible that variations in subsurface conditions will be encountered during construction. Although only minor variations that can be readily evaluated and adjusted for during construction are anticipated, it is recommended the geotechnical engineer or a qualified representative be retained to perform continuous inspection and review during construction of the soils-related phases of the work. This will permit correlation between the test boring data and the actual soil conditions encountered during construction.

#### 5.1 Drilled Piers

The following recommendations are recommended for drilled pier construction:

- ❖ Clean the foundation bearing area so it is nearly level or suitably benched and is free of ponded water or loose material.
- ❖ Make provisions for ground water removal from the drilled shaft excavation. While groundwater was not encountered during the soil drilling, some seepage may be encountered. The drilled pier contractor should have pumps on hand to remove water from the drilled pier.
- ❖ Specify concrete slumps ranging from 4 to 7 inches for the drilled shaft construction. These slumps are recommended to fill irregularities along the sides and bottom of the drilled hole, displace water as it is placed, and permit placement of reinforcing cages into the fluid concrete.
- ❖ Retain the geotechnical engineer to observe foundation excavations after the bottom of the hole is leveled, cleaned of any mud or extraneous material, and dewatered.
- ❖ Install a temporary protective steel casing to prevent side wall collapse, prevent excessive mud and water intrusion in the drilled shaft.
- ❖ The protective steel casing may be extracted as the concrete is placed provided a sufficient head

of concrete is maintained inside the steel casing to prevent soil or water intrusion into the newly placed concrete.

- Direct the concrete placement into the drilled hole through a centering chute to reduce side flow or segregation.

## 5.2 Fill Compaction

All engineered fill placed adjacent to and above the tower foundation should be compacted to a dry density of at least 95 percent of the standard Proctor maximum dry density (ASTM D-698). This minimum compaction requirement should be increased to 98 percent for any fill placed below the tower foundation bearing elevation. Any fill placed beneath the tower foundation should be limited to well-graded sand and gravel or crushed stone. The compaction should be accomplished by placing the fill in about 8 inch (or less) loose lifts and mechanically compacting each lift to at least the specified minimum dry density. Field density tests should be performed on each lift as necessary to insure that adequate moisture conditioning and compaction is being achieved.

Compaction by flooding is not considered acceptable. This method will generally not achieve the desired compaction and the large quantities of water will tend to soften the foundation soils.

## 5.3 Construction Dewatering

If groundwater is encountered in the shallow foundations, it should be minor and can be handled by conventional dewatering methods such as pumping from sumps.

Some groundwater may be encountered in the drilled pier excavations and it may be difficult to dewater since pumping directly from the excavations could cause a deterioration of the bottom of the excavation. If the pier excavations are not dewatered, concrete should be placed by the tremie method.

## 6 FIELD INVESTIGATION

Two soil test boring was drilled near the base of the proposed tower. Split- spoon samples were obtained by the Standard Penetration Test (SPT) procedure (ASTM D1586) in all test borings. Boring 1 was terminated at the scheduled depth of 50 feet and Boring 2 was terminated at 20 feet. The split-spoon samples were inspected and visually classified by a geotechnical engineer. Representative portions of the soil samples were sealed in glass jars and returned to our laboratory.

The boring log is included in the Appendix along with a sheet defining the terms and symbols used on the logs and an explanation of the Standard Penetration Test (SPT) procedure. The log present visual descriptions of the soil strata encountered, Unified System soil classifications, groundwater observations, sampling information, laboratory test results, and other pertinent field data and observations.

## **7 WARRANTY AND LIMITATIONS OF STUDY**

Our professional services have been performed, our findings obtained, and our recommendations prepared in accordance with generally accepted geotechnical engineering principles and practices. This warranty is in lieu of all other warranties, either express or implied. POD Group is not responsible for the independent conclusions, opinions or recommendations made by others based on the field exploration and laboratory test data presented in this report.

A geotechnical study is inherently limited since the engineering recommendations are developed from information obtained from test borings, which depict subsurface conditions only at the specific locations, times and depths shown on the log. Soil conditions at other locations may differ from those encountered in the test borings, and the passage of time may cause the soil conditions to change from those described in this report.

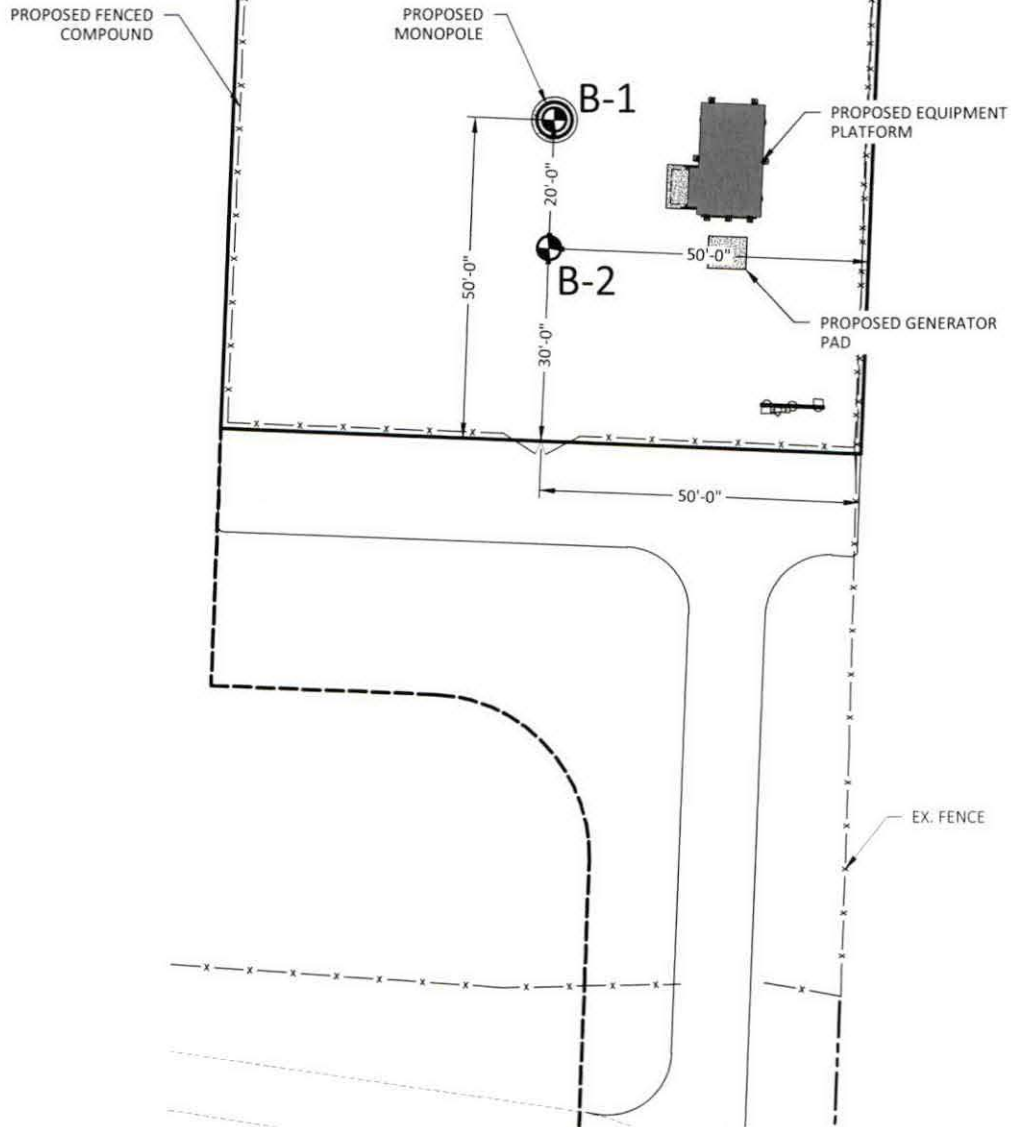
The nature and extent of variation and change in the subsurface conditions at the site may not become evident until the course of construction. Construction monitoring by the geotechnical engineer or a representative is therefore considered necessary to verify the subsurface conditions and to check that the soils connected construction phases are properly completed. If significant variations or changes are in evidence, it may then be necessary to reevaluate the recommendations of this report. Furthermore, if the project characteristics are altered significantly from those discussed in this report, if the project information contained in this report is incorrect, or if additional information becomes available, a review must be made by this office to determine if any modification in the recommendations will be required.

## **APPENDIX**

**BORING LOCATION PLAN**

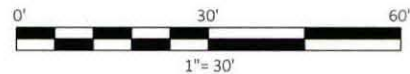
**BORING LOG**

**SOIL SAMPLE CLASSIFICATION**



**LEGEND**

B-1 BORING LOCATION



<p>SHEET TITLE:</p> <h1>BORING LOCATION PLAN</h1>	<p>VERIZON WIRELESS SITE NAME:</p> <p><b>EV KENTUCKY DAM MARINA</b></p>		<p>SITE INFORMATION:</p> <p><b>KY-GILBERTSVILLE-DAM MARINA</b></p> <p>PIKY017</p> <p>364 SLEDD CREEK ROAD GILBERTSVILLE, KY 42044 MARSHALL COUNTY</p>	<p><b>POD</b></p> <p>POWER OF DESIGN</p> <p>11490 BLUEGRASS PKWY LOUISVILLE, KY 40299 502-437-5252</p>
	<p>LATITUDE: 36° 58' 37.27" N</p> <p>LONGITUDE: 88° 17' 10.48" W</p>	<p>PARCEL #: 53-00-00-001.01</p> <p>DEED BOOK 403, PAGE 127</p>		
<p>SHEET NUMBER:</p> <h1>1</h1>	<p>POD NUMBER: 16-8131</p> <p>DRAWN BY: POD</p> <p>CHECKED BY: MEP</p> <p>DATE: 7.15.16</p>			



# Boring Log

Boring: B-1

Page 1 of 1

**Project:** Gilbertsville Dam

**City, State**

Gilbertsville, KY

<b>Method:</b> H.S.A.	<b>Boring Date:</b> 15-Jul-16	<b>Location:</b> Proposed Lease Area
<b>Inside Diameter:</b> 3 1/4"	<b>Drill Rig Type:</b> CME 750 ATV	<b>Hammer Type:</b> Auto
<b>Groundwater:</b> DRY	<b>Weather:</b>	
<b>Driller:</b> Hoosier Drilling		<b>Note:</b> About 5 inches of topsoil was encountered at the ground surface

From (ft)	To (ft)	Material Description	Sample Depth (ft)	Sample Type	Blows per 6-inch increment	Recovery (in)	SPT-N value	Rock Quality (RQD,%)	Atterberg Limits	Moisture Content (%)	% Fines (clay & silt)	Unconfined Compressive Strength, (tsf)
0.0	0.5	TOPSOIL										
0.5	5.5	SILTY CLAY (CL) - soft, moist, brown - very stiff, brown-light gray mottled	1-2.5	SS	2, 2, 3	18	5,			25%		
	3.5		3.5-5	SS	11, 12, 15	14	27,			14%		
5.5	50.0	SANDY CLAY (CL) - very stiff to hard, red with brown and light gray mottling, some large fragments of cemented sand and clay, trace iron deposits	6-7.5	SS	40, 50,	4	50,			11%		
			8.5-10	SS	15, 16, 17	18	33,			12%		
			13.5-15	SS	10, 15, 20	18	35,			9%		
			18.5-20	SS	9, 9, 13	14	22,			11%		
			23.5-25	SS	7, 9, 17	18	26,			25%		
			28.5-30	SS	10, 14, 16	18	30,			17%		
			33.5-35	SS	20, 21, 22	18	43,			10%		
			38.5-40	SS	14, 22, 22	18	44,			4%		
		43.5-45	SS	15, 23, 30	18	53,			8%			
		48.5-50	SS	17, 20, 37	15	57,			9%			
		Boring Terminated at 50 feet										



# Boring Log

Boring: B-1

Page 1 of 1

**Project:** Gilbertsville Dam

**City, State**

Gilbertsville, KY

<b>Method:</b> H.S.A.	<b>Boring Date:</b> 15-Jul-16	<b>Location:</b> Proposed Lease Area
<b>Inside Diameter:</b> 3 1/4"	<b>Drill Rig Type:</b> CME 750 ATV	<b>Hammer Type:</b> Auto
<b>Groundwater:</b> DRY		<b>Weather:</b>
<b>Driller:</b> Hoosier Drilling		
<b>Note:</b> About 5 inches of topsoil was encountered at the ground surface		

From (ft)	To (ft)	Material Description	Sample Depth (ft)	Sample Type	Blows per 6-inch increment	Recovery (in)	SPT-N value	Rock Quality (RQD, %)	Atterberg Limits	Moisture Content (%)	% Fines (clay & silt)	Unconfined Compressive Strength, (tsf)
0.0	0.5	TOPSOIL										
0.5	6.0	SILTY CLAY (CL) - medium stiff, moist, brown with trace root fibers - very stiff, brown-light gray mottled	1-2.5	SS	2, 3, 3	18	6,			24%		
	3.5		3.5-5	SS	5, 8, 10	18	18,			15%		
6.0	20.0	SANDY CLAY (CL) - very stiff to hard, red with brown and light gray mottling, some large fragments of cemented sand and clay, trace iron deposits	6-7.5	SS	25, 35, 22	18	57,			10%		
			8.5-10	SS	26, 25, 32	18	57,			13%		
			13.5-15	SS	8, 13, 17	18	30,			10%		
			18.5-20	SS	7, 9, 15	18	24,			12%		
		Boring Terminated at 20 feet										

# SOIL SAMPLE CLASSIFICATION

## FINE AND COARSE GRAINED SOIL INFORMATION

COARSE GRAINED SOILS (SANDS & GRAVELS)		FINE GRAINED SOILS (SILTS & CLAYS)			PARTICLE SIZE	
N	Relative Density	N	Consistency	Qu, KSF Estimated		
0-4	Very Loose	0-1	Very Soft	0-0.5	Boulders	Greater than 300 mm (12 in)
5-10	Loose	2-4	Soft	0.5-1	Cobbles	75 mm to 300 mm (3 to 12 in)
11-20	Firm	5-8	Firm	1-2	Gravel	4.74 mm to 75 mm (3/16 to 3 in)
21-30	Very Firm	9-15	Stiff	2-4	Coarse Sand	2 mm to 4.75 mm
31-50	Dense	16-30	Very Stiff	4-8	Medium Sand	0.425 mm to 2 mm
Over 50	Very Dense	Over 31	Hard	8+	Fine Sand	0.075 mm to 0.425 mm
					Sils & Clays	Less than 0.075 mm

The **STANDARD PENETRATION TEST** as defined by ASTM D 1586 is a method to obtain a disturbed soil sample for examination and testing and to obtain relative density and consistency information. A standard 1.4-inch I.D./2-inch O.D. split-barrel sampler is driven three 6-inch increments with a 140 lb. hammer falling 30 inches. The hammer can either be of a trip, free-fall design, or actuated by a rope and cathead. The blow counts required to drive the sampler the final two increments are added together and designate the N-value defined in the above tables.

## ROCK PROPERTIES

ROCK QUALITY DESIGNATION (RQD)		ROCK HARDNESS	
Percent RQD	Quality	Very Hard:	Rock can be broken by heavy hammer blows.
0-25	Very Poor	Hard:	Rock cannot be broken by thumb pressure, but can be broken by moderate hammer blows.
25-50	Poor	Moderately Hard:	Small pieces can be broken off along sharp edges by considerable hard thumb pressure; can be broken with light hammer blows.
50-75	Fair	Soft:	Rock is coherent but breaks very easily with thumb pressure at sharp edges and crumbles with firm hand pressure.
75-90	Good	Very Soft:	Rock disintegrates or easily compresses when touched; can be hard to very hard soil.
90-100	Excellent		

Recovery =	$\frac{\text{Length of Rock Core Recovered}}{\text{Length of Core Run}}$	X100	63 REC NQ 43 RQD	Core Diameter	Inches
				BQ	1-7/16
				NQ	1-7/8
				HQ	2-1/2
RQD =	$\frac{\text{Sum of 4 in. and longer Rock Pieces Recovered}}{\text{Length of Core Run}}$	X100			

## SYMBOLS

### KEY TO MATERIAL TYPES

SOILS	
Group Symbols	Typical Names
GW	Well graded gravel - sand mixture, little or no fines
GP	Poorly graded gravels or gravel - sand mixture, little or no fines
GM	Silty gravels, gravel - sand silt mixtures
GC	Clayey gravels, gravel - sand - clay mixtures
SW	Well graded sands, gravelly sands, little or no fines
SP	Poorly graded sands or gravelly sands, little or no fines
SM	Silty sands, sand - silt mixtures
SC	Clayey sands, sand - clay mixtures
ML	Inorganic silts and very fine sands, rock flour, silty or clayey fine sands, or clayey silts
OL	Organic silts and organic silty clays of low plasticity
CL	Inorganic clays of low range plasticity, gravelly clays, sandy clays, silty clays, lean clays
MH	Inorganic silts, micaceous or diatomaceous fine sandy or silty soils, elastic silts
CH	Inorganic clays of high range plasticity, fat clays

ROCKS	
Symbols	Typical Names
	Limestone or Dolomite
	Shale
	Sandstone

### SOIL PROPERTY SYMBOLS

N:	Standard Penetration, BPF
M:	Moisture Content, %
LL:	Liquid Limit, %
PI:	Plasticity Index, %
Qp:	Pocket Penetrometer Value, TSF
Qu:	Unconfined Compressive Strength Estimated Qu, TSF
$\gamma$	Dry Unit Weight, PCF
D:	
F:	Fines Content

### SAMPLING SYMBOLS

SS	Split Spoon Sample
	Relatively Undisturbed Sample
	Rock Core Sample



**EXHIBIT I**  
**DIRECTIONS TO WCF SITE**

### Driving Directions to Proposed Tower Site

1. Beginning at the Marshall County Judge Executive's Office, located at 1101 Main Street in Benton, KY, head south on Main Street towards 14<sup>th</sup> Street.
2. Turn left onto E. 14<sup>th</sup> Street and travel approximately 269 feet.
3. Turn left onto Poplar Street and travel approximately 0.7 miles.
4. Turn right onto US-641 N / Main Street and travel approximately 4.0 miles.
5. Make a slight left onto US-641 N / US-68 W and travel approximately 0.4 miles.
6. Turn right onto US-641 N and travel approximately 4.9 miles.
7. Turn right onto Sledd Creek Road / State Highway 1519 and travel approximately 0.75 miles.
8. Turn right onto Ridge Road and travel approximately 0.5 miles to the access drive. The access drive is located off of Ridge Road at 2371 Ridge Road, Gilbertsville, KY.
9. The site is located at 364 Sledd Creek Road, Gilbertsville, KY. The site coordinates are
  - a. North  $36^{\circ} 58' 37.27''$
  - b. West  $88^{\circ} 17' 10.48''$



Prepared by:  
Aaron L. Roof  
Pike Legal Group PLLC  
1578 Highway 44 East, Suite 6  
P.O. Box 369  
Shepherdsville, KY 40165-3069  
Telephone: 502-955-4400 or 800-516-4293

**EXHIBIT J**  
**COPY OF REAL ESTATE AGREEMENT**

FOR FILING OFFICER

Pd. \$ 23.00 Rec. fee \$ \_\_\_\_\_ Tax \_\_\_\_\_

Date Filed 6-23-16 Time 12:35 pm

Tim York, Clerk

By [Signature] D.C.

Prepared by:

Upon recording return to:  
PI Tower Development LLC

7411 Fullerton Street, Suite 110  
Jacksonville, FL 32256

Attention: Contracts Administrator

Sama Carstens - [Signature]

STATE OF KENTUCKY, COUNTY OF MARSHALL  
I, Tim York, Clerk of the County Court for the County and State  
aforesaid, certify that the foregoing Lease was on the  
23 day of June, 2016 at 12:35 clock P.M., lodged for  
record, whereupon the same, the foregoing and this certificate have  
duly recorded in my said office in Miss Book 154 Page 133.  
Given under my hand this 27 day of June, 2016.

Tim York, CLERK

BY [Signature] D.C.

AFTER RECORDING, PLEASE RETURN TO:

Fidelity National Title Group

7130 Glen Forest Dr., Ste. 300

Richmond, VA 23228

Attn: \_\_\_\_\_

Site Name: KY-Gilbertsville-Dam Marina  
Site Number: PIKY017

**MEMORANDUM OF GROUND LEASE AGREEMENT**

This Memorandum of Ground Lease Agreement is made on June 7<sup>th</sup>, 2016, by  
and between Renia Fehrenbacher a/k/a Renia Rogers, an individual, as Lessor, whose mailing address  
is 364 Sledd Creek Road Gilbertsville, KY 42044 and PI TOWER DEVELOPMENT LLC, a Delaware  
limited liability company, as Lessee, whose address is 7411 Fullerton Street, Suite 110 Jacksonville, FL  
32256.

1. Lessor and Lessee are parties to a Ground Lease Agreement dated as of June 7<sup>th</sup>, 2016 (the "Lease"), the terms and provisions of which are incorporated herein by this reference. The premises covered by the Lease are located in Marshall County, KY, as more fully described in the legal description attached hereto as Exhibit "A" ("Leased Premises").
2. Pursuant to the Lease, the Lessor has granted, and by these presents does grant, to the Lessee easements for ingress, egress, utilities, for the duration of the Lease Agreement a more particularly described on Exhibit "A" hereto. The easement rights herein granted include the right and authority of Lessee to grant or assign to third parties all or some of the easement rights granted to Lessee herein.
3. The Lease provides for an initial term of five (5) years (the "Initial Term") which commenced on June 7<sup>th</sup>, 2016. The Lease also provides for five (5) additional five (5) year renewal terms (each, a "Renewal Term"). The Lease shall automatically renew for each such Renewal Term unless Lessee delivers written notice of intent not to renew to Lessor at least thirty (30) days prior to the expiration of the Initial Term, or the Renewal Term then in effect.
4. The Lease provides that during the term of the Lease neither Lessor nor any tenant or person or entity claiming by or through Lessor shall be allowed to install or operate a communications facility, including a telecommunications transmission tower, or operate an antenna site leasing business which competes directly or indirectly with Lessee on the lands of Lessor within a radius of five (5) miles of the Leased Premises.
5. The Lease provides that during the term of the Lease, in the event that the Lessor receives and desires to accept a bona fide offer to sell and convey the Leased Premises to a third party not related to the Lessor by at least 51% common ownership, then the Lessor shall first provide the Lessee with a written offer to sell and convey the Leased Premises to Lessee upon the same terms and conditions as the offer made by the third party, and Lessee shall have twenty (20) business days in which to accept the offer.
6. All of the terms and conditions of the Lease are incorporated herein by reference. In the event of a conflict between the terms hereof and the terms of the Lease, the terms of the Lease shall govern.

22540380

IN WITNESS WHEREOF, the parties hereto have executed this Memorandum of Lease as of the date first written above.

LESSOR:

*Renia Fehrenbacher*

Print Name: Renia Fehrenbacher

Witness:

*Rebecca M Bone*

Print Name: Rebecca M Bone

\_\_\_\_\_  
Print Name: \_\_\_\_\_

STATE OF Kentucky

COUNTY OF Marshall

I, Danna Lovett a Notary Public of the County and State aforesaid, certify that Renia Fehrenbacher personally came before me this day and acknowledged that (s)he executed the foregoing instrument. He/She is personally known to me or produced drivers license as identification.

WITNESS my hand and notarial seal, this 10<sup>th</sup> day of May, 2016.

Notary Public: Danna Lovett

Print Name: Danna Lovett

My Commission Expires: 7-5-18

{affix notary stamp/seal}

LESSEE:

PI TOWER DEVELOPMENT LLC,  
a Delaware limited liability company

Witness:

[Signature]  
Print Name: Sama Carstens

[Signature]  
Print Name: Ron E. Bittner  
Title: Vice President

[Signature]  
Print Name: Jeanette Jerger

STATE OF FLORIDA

COUNTY OF Duval

I, Jeanette Jerger the undersigned Notary Public for said County and State, do hereby certify that Ron E. Bittner as VP of PI Tower Development LLC, a Delaware limited liability company, personally appeared before me this day, and acknowledged the due execution of the foregoing instrument on behalf of said company. He/She is personally known to me or produced \_\_\_\_\_ as identification.

WITNESS my hand and notarial seal, this 7<sup>th</sup> day of June, 2016.

Notary Public: [Signature]  
Print Name: Jeanette Jerger  
My Commission Expires: 4-9-2017

{affix notary stamp/seal}



**EXHIBIT "A"**

**LEASED PREMISES AND EASEMENTS**

The 100' x 100' Leased Premises and Easement(s) are located in the land legally described as follows:

Being a tract of land located on the westerly side of a road known as Ridge Road and just south of the Stedd Creek Road near the Gilbertsville community of Marshall County, Kentucky, said tract of land being more particularly described as follows:

Beginning at a one-half inch diameter steel rod thirty inches long with a yellow plastic cap stamped "FHT ENGRS KRLS 1842" (hereinafter referred to as a steel rod and cap) set where the southerly line of the herein described tract of land intersects the easterly line of the property from which this tract is subdivided, said easterly line also being the westerly line of the Kentucky Lake Reservoir Reservation boundary line with said steel rod and cap being located N. 02° 21' 40" E a distance of 671.04 feet from an angle iron marker found where said westerly line intersects the northerly right-of-way line of Ridge Road; thence from said steel rod and cap aforesaid and the point of beginning proceed N. 84° 3' 12" W. with a new division line a distance of 1,398.09 feet to a steel rod and cap set on the westerly line of the property from which this tract is subdivided, said westerly line also being the easterly line of Tract No. 4 of the property described in Deed Book 173, Page 86, of the Marshall County Clerk's Office owned by William J. Colburn, William Richard Colburn and Robert H. Florence as indicated therein; thence North 12° 30' 26" E along and with said easterly line 765.60 feet to a steel rod and cap previously set at an existing fence corner post and on the southerly boundary line of the Kentucky Dam Village State Resort Park; thence S. 71° 51' 00" E. along and with said southerly line 703.00 feet to a steel rod and cap previously set beside a cross-tie post in the line of a fence; thence S. 86° 00' 51" E. continuing with said southerly line 585.00 feet to an angle iron marker found at T.V.A. corner 6-1 on the westerly line of the aforesaid Kentucky Lake Reservoir Reservation boundary line; thence S. 02° 21' 40" W. with said westerly line, 620.20 feet to the point of beginning of the herein described tract;

The aforesaid tract of land contains 871,887 square feet or 20.016 acres and is subject to the limitations, covenants, restrictions and easements shown in the Deed from USA-TVA to Luther Draffen, an easement of unknown width for a West Kentucky Rural Electric Cooperative Aerial Electrical Line located across the northern portion of said property and any other easements, restrictions, or covenants that may be of public record.

**SUBJECT TO AND TOGETHER WITH** a forty foot wide perpetual easement for ingress, egress, and utility company installation purposes, said easement being more particularly described as follows:

Beginning at the southeasterly corner of the aforesaid 20.016 acre tract; thence S. 02° 21' 40" W. along and with the easterly line of the aforesaid parent tract, 671.04 feet to an angle iron marker found on the northerly right-of-way line of Ridge Road on the arc of a curve that is concave to the southeast; thence with said northerly right-of-way line along the arc of a curve non-tangent to the aforesaid easterly line and having a radius length of 1,368.37 feet, a chord length of 63.97 feet with a bearing on the chord of S. 41° 03' 58" W. a distance of 63.97 feet to the intersection with the westerly

line of the herein described easement; thence N. 02° 21' 40" E. leaving said northerly right-of-way line and with a line non-tangent to the aforesaid curve, 723.09 feet to the southerly line of the aforesaid 20.016 acre tract; thence S. 84° 35' 12" E along and with said southerly line, 40.06 feet to the point of beginning and containing 27,867 square feet or 0.640 acres.

The bearings in this description are based upon a bearing of S. 71° 51' 00" E. along the northerly line of the aforesaid 20.016 acre tract as cited in Deed Book 307, Page 182, of the Marshall County Clerk's Office.

The aforesaid property being a portion of the T.V.A. Tract No. XGIR-59 and being a part of the same property conveyed to David Capps as indicated by Master Commissioner's Deed dated November 16, 1998, of record in Deed Book 307, Page 182, of the Marshall County Clerk's Office.

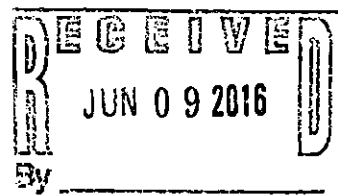
This description was drafted from a boundary line survey and plat of the subject property by Farris, McIntosh & Tremper, Inc., 124 South 31<sup>st</sup> Street, Paducah Kentucky 42001, under the seal and supervision of Richard G. Davis, Kentucky Professional Land Surveyor #1842 on May 25, 2000.

AND BEING the same property conveyed to Todd Fehrenbacher and Renia Fehrenbacher from David Capps and Regina D. Capps by Deed dated June 22, 2000 and recorded June 23, 2000 in Deed Book 319, Page 419; AND FURTHER CONVEYED to Renia Lynn Fehrenbacher from Todd Fehrenbacher (a/k/a Calvin Todd Fehrenbacher) by Quitclaim Deed dated January 18, 2011 and recorded January 24, 2011 in Deed Book 403, Page 127.

Tax Parcel No. 53-00-00-001.01



1884311  
Filed on: 6/27/2016 8:42:02 AM  
Book: MISC Number: 154  
Pages: 133 - 137  
Tim York, Marshall County  
DC: DELIA BILEY  
Deed Tax: \$0.00





**EXHIBIT K  
NOTIFICATION LISTING**

**Kentucky Dam Marina  
Landowner Notice List**

Renia Fehrenbacher  
364 Sledd Creek Rd.  
Gilbertsville, KY 42044

Justin R. and Brandy McLeod  
2379 Ridge Rd  
Gilbertsville, KY 42044

Helene Marie Ramage  
2371 Ridge Rd  
Gilbertsville, KY 42044

Barb J. Cattle Family Limited Partnership  
805 Thorn Rd.  
Gilbertsville, KY 42044

William Richard Colburn  
864 Evergreen St.  
Calvert City, KY 42029

Kentucky Dam State Park  
166 Upper Village Dr.  
Gilbertsville, KY 42044

Tennessee Valley Authority  
400 West Summit Hill Drive  
Knoxville, TN 37902

**EXHIBIT L**  
**COPY OF PROPERTY OWNER NOTIFICATION**



1578 Highway 44 East, Suite 6  
P.O. Box 369  
Shepherdsville, KY 40165-0369  
Phone (502) 955-4400 or (800) 516-4293  
Fax (502) 543-4410 or (800) 541-4410

**Notice of Proposed Construction of  
Wireless Communications Facility  
Site Name: Kentucky Dam Marina**

Dear Landowner:

PI Tower Development, LLC and Kentucky RSA No. 1 Partnership d/b/a Verizon Wireless filed an application with the Kentucky Public Service Commission ("PSC") to construct a new wireless communications facility on a site located at 364 Sledd Creek Road, Gilbertsville, KY 42044 (36° 58' 37.27" North latitude, 88° 17' 10.48" West longitude). The proposed facility will include a 188-foot tall antenna tower, plus a 3-foot lightning arrestor and related ground facilities. This facility is needed to provide improved coverage for wireless communications in the area.

This notice is being sent to you because the Marshall County Property Valuation Administrator's records indicate that you may own property that is within a 500' radius of the proposed tower site or contiguous to the property on which the tower is to be constructed. You have a right to submit testimony to the Kentucky Public Service Commission ("PSC"), either in writing or to request intervention in the PSC's proceedings on the application. You may contact the PSC for additional information concerning this matter at: Kentucky Public Service Commission, Executive Director, 211 Sower Boulevard, P.O. Box 615, Frankfort, Kentucky 40602. Please refer to docket number 2016-00304 in any correspondence sent in connection with this matter.

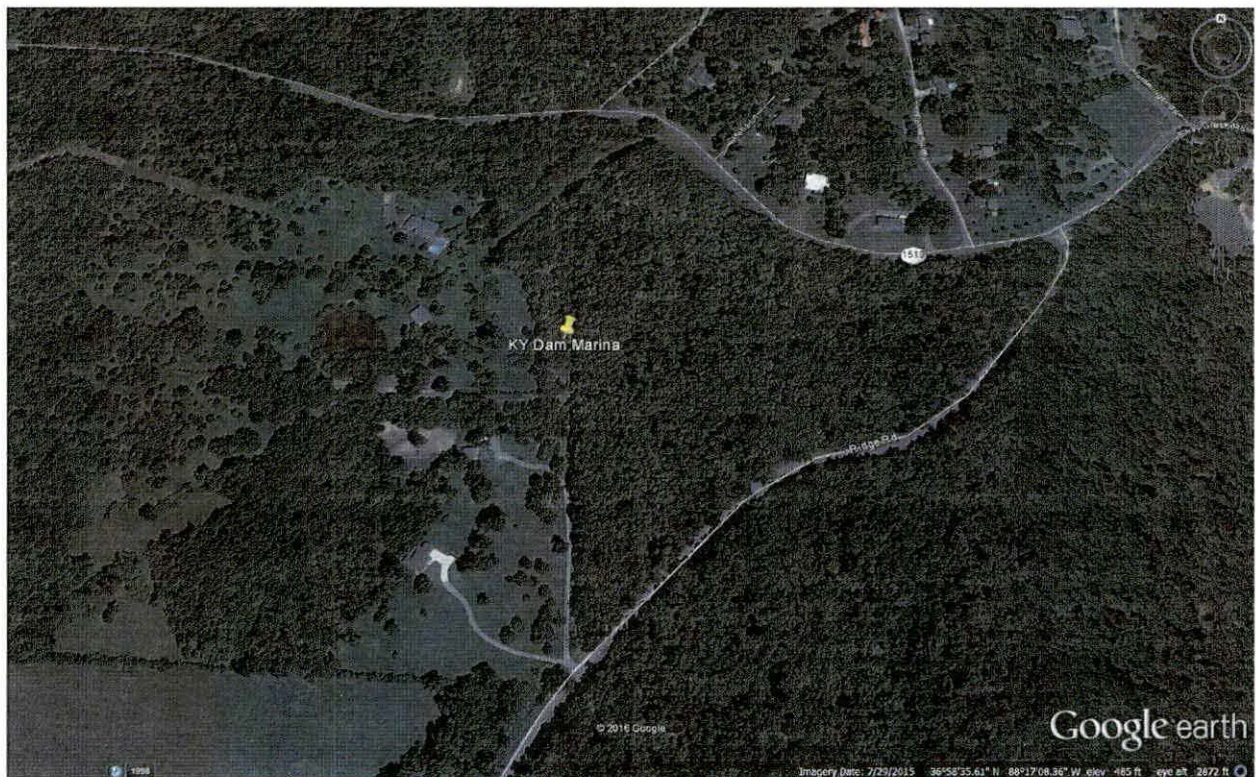
We have attached a map showing the site location for the proposed tower. Verizon Wireless' radio frequency engineers assisted in selecting the proposed site for the facility, and they have determined it is the proper location and elevation needed to provide quality service to wireless customers in the area. Please feel free to contact us toll free at (800) 516-4293 if you have any comments or questions about this proposal.

Sincerely,  
David A. Pike  
Attorney for Applicants

enclosure

### Driving Directions to Proposed Tower Site

1. Beginning at the Marshall County Judge Executive's Office, located at 1101 Main Street in Benton, KY, head south on Main Street towards 14<sup>th</sup> Street.
2. Turn left onto E. 14<sup>th</sup> Street and travel approximately 269 feet.
3. Turn left onto Poplar Street and travel approximately 0.7 miles.
4. Turn right onto US-641 N / Main Street and travel approximately 4.0 miles.
5. Make a slight left onto US-641 N / US-68 W and travel approximately 0.4 miles.
6. Turn right onto US-641 N and travel approximately 4.9 miles.
7. Turn right onto Sledd Creek Road / State Highway 1519 and travel approximately 0.75 miles.
8. Turn right onto Ridge Road and travel approximately 0.5 miles to the access drive. The access drive is located off of Ridge Road at 2371 Ridge Road, Gilbertsville, KY.
9. The site is located at 364 Sledd Creek Road, Gilbertsville, KY. The site coordinates are
  - a. North 36° 58' 37.27"
  - b. West 88° 17' 10.48"



Prepared by:  
Aaron L. Roof  
Pike Legal Group PLLC  
1578 Highway 44 East, Suite 6  
P.O. Box 369  
Shepherdsville, KY 40165-3069  
Telephone: 502-955-4400 or 800-516-4293

**GENERAL NOTE:**

1. ALL INFORMATION SHOWN HEREON WAS OBTAINED FROM THE RECORDS OF THE MARSHALL COUNTY KENTUCKY PROPERTY VALUATION ADMINISTRATION OFFICE ON 8.7.2016. THE PROPERTY VALUATION ADMINISTRATION RECORDS MAY NOT REFLECT THE CURRENT OWNERS AND ADDRESSES DUE TO THE INACCURACIES AND TIME LAPSE IN UPDATING FILES. POD AND THE COUNTY PROPERTY VALUATION ADMINISTRATION EXPRESSLY DISCLAIMS ANY WARRANTY FOR THE CONTENT AND ANY ERRORS CONTAINED IN THEIR FILES
2. THIS MAP IS FOR GENERAL INFORMATIONAL PURPOSES ONLY AND IS NOT A BOUNDARY SURVEY
3. NOT FOR RECORDING OR PROPERTY TRANSFER.

**POD**  
POWER OF DESIGN  
11450 BLUEGRASS PKWY  
LOUISVILLE, KY 40299  
502-437-5252

**Parallel**  
INFRASTRUCTURE  
PI TOWER DEVELOPMENT, LLC  
7411 FULLERTON STREET, SUITE 110  
JACKSONVILLE, FL 32256

REV.	DATE	DESCRIPTION
A	8.15.16	ISSUED FOR REVIEW
B	8.17.16	CLC COMMENTS
C	8.22.16	ISSUED AS FINAL

**PROJECT INFORMATION:**  
**KY-GILBERTSVILLE-DAM MARINA**  
364 SLEDD CREEK ROAD  
GILBERTSVILLE, KY 42044  
MARSHALL, COUNTY  
**TAX PARCEL NUMBER:**  
53-00-00-001.01  
**PROPERTY OWNER:**  
RENIA FEHRENBACHER  
364 SLEDD CREEK ROAD  
GILBERTSVILLE, KY 42044

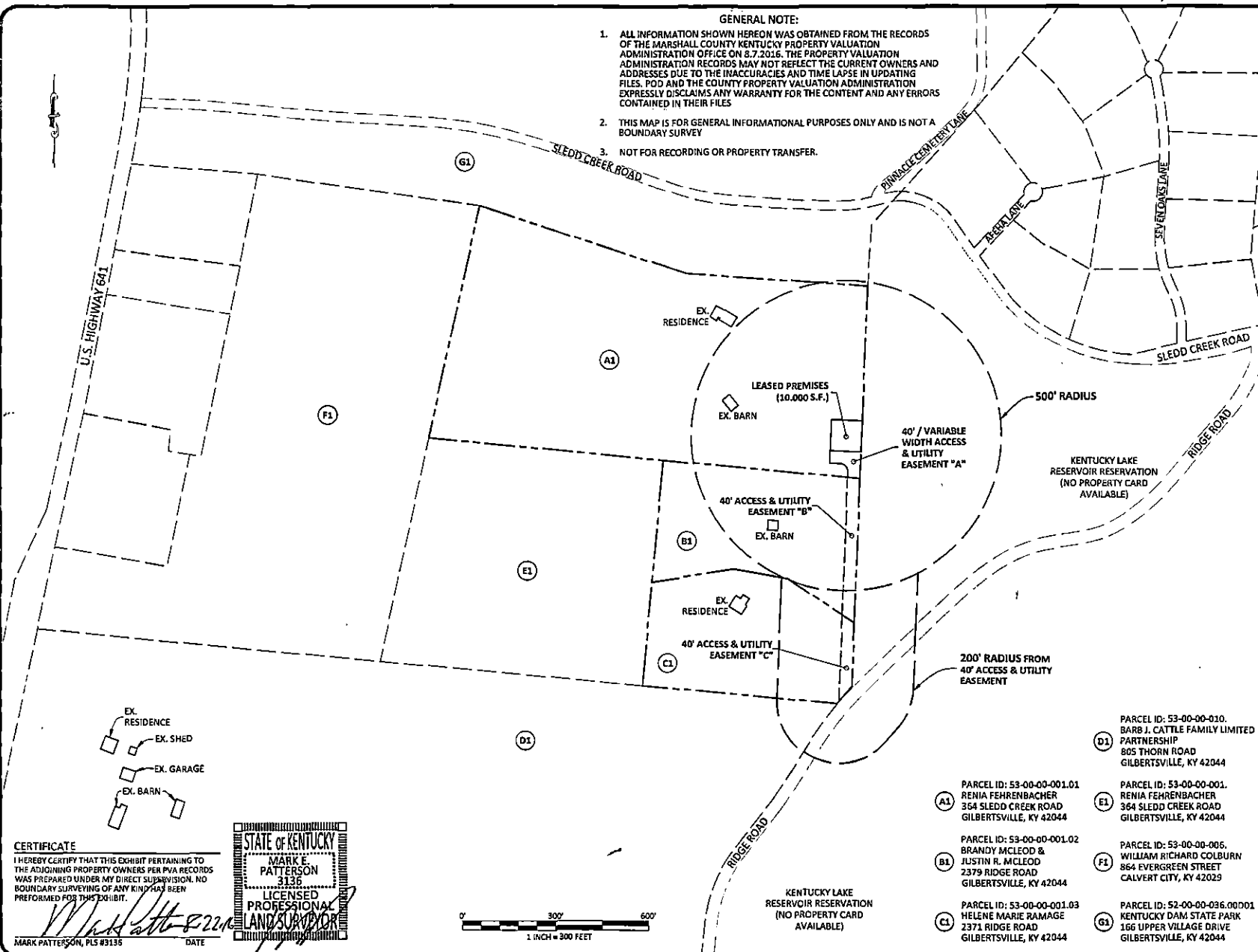
**SOURCE OF TITLE:**  
DEED BOOK 403, PAGE 127  
**TOWER CENTROID:**  
NAD 83: LAT.: 36°58'37.27"  
LON.: 88°17'10.48"  
SFC SINGLE: N: 3525284.14355  
E: 4180437.56063  
NAVD 88: ELEV.: 402'± AMSL

**SITE NUMBER:**  
PI3KY017  
**VERSION NUMBER:**  
EV KY DAM MARINA

**POD NUMBER:** 16-10348  
**DRAWN BY:** DAP  
**CHECKED BY:** MEP  
**DATE:** 8.2.16

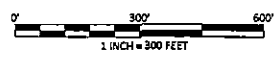
**SHEET TITLE:**  
**500' RADIUS AND ABUTTERS MAP**

**SHEET NUMBER:**  
**B-2**



**CERTIFICATE**  
I HEREBY CERTIFY THAT THIS EXHIBIT PERTAINING TO THE ADJOINING PROPERTY OWNERS PER PIA RECORDS WAS PREPARED UNDER MY DIRECT SUPERVISION. NO BOUNDARY SURVEYING OF ANY KIND HAS BEEN PERFORMED FOR THIS EXHIBIT.  
*Mark E. Patterson*  
MARK PATTERSON, PLS #9135 DATE

STATE OF KENTUCKY  
**MARK E. PATTERSON**  
3135  
LICENSED PROFESSIONAL LAND SURVEYOR



- PARCEL ID: 53-00-00-010.**  
D1 BARB J. CATTLE FAMILY LIMITED PARTNERSHIP  
805 THORN ROAD  
GILBERTSVILLE, KY 42044
- PARCEL ID: 53-00-00-001.01**  
A1 RENIA FEHRENBACHER  
364 SLEDD CREEK ROAD  
GILBERTSVILLE, KY 42044
- PARCEL ID: 53-00-00-001.02**  
B1 BRANDY MCLEOD & JUSTIN R. MCLEOD  
2379 RIDGE ROAD  
GILBERTSVILLE, KY 42044
- PARCEL ID: 53-00-00-001.03**  
C1 HELENE MARIE RAMAGE  
2371 RIDGE ROAD  
GILBERTSVILLE, KY 42044
- PARCEL ID: 53-00-00-001.**  
E1 RENIA FEHRENBACHER  
364 SLEDD CREEK ROAD  
GILBERTSVILLE, KY 42044
- PARCEL ID: 53-00-00-006.**  
F1 WILLIAM RICHARD COLBURN  
864 EVERGREEN STREET  
CALVERT CITY, KY 42029
- PARCEL ID: 52-00-00-036.00D01**  
G1 KENTUCKY DAM STATE PARK  
166 UPPER VILLAGE DRIVE  
GILBERTSVILLE, KY 42044

KENTUCKY LAKE RESERVOIR RESERVATION (NO PROPERTY CARD AVAILABLE)

KENTUCKY LAKE RESERVOIR RESERVATION (NO PROPERTY CARD AVAILABLE)

40' / VARIABLE WIDTH ACCESS & UTILITY EASEMENT "A"

40' ACCESS & UTILITY EASEMENT "B"

40' ACCESS & UTILITY EASEMENT "C"

LEASED PREMISES (10,000 S.F.)

EX. RESIDENCE

EX. RESIDENCE

EX. RESIDENCE  
EX. SHED  
EX. GARAGE  
EX. BARN

**EXHIBIT M**  
**COPY OF COUNTY JUDGE/EXECUTIVE NOTICE**



1578 Highway 44 East, Suite 6  
P.O. Box 369  
Shepherdsville, KY 40165-0369  
Phone (502) 955-4400 or (800) 516-4293  
Fax (502) 543-4410 or (800) 541-4410

**VIA CERTIFIED MAIL**

Hon. Kevin Neal  
1101 Main Street  
Benton, KY 42025

RE: Notice of Proposal to Construct Wireless Communications Facility  
Kentucky Public Service Commission Docket No. 2016-00304  
Site Name: Kentucky Dam Marina

Dear Judge Neal:

PI Tower Development, LLC and Kentucky RSA No. 1 Partnership d/b/a Verizon Wireless filed an application with the Kentucky Public Service Commission ("PSC") to construct a new wireless communications facility on a site located at 364 Sledd Creek Road, Gilbertsville, KY 42044 (36° 58' 37.27" North latitude, 88° 17' 10.48" West longitude). The proposed facility will include a 188-foot tall antenna tower, plus a 3-foot lightning arrestor and related ground facilities. This facility is needed to provide improved coverage for wireless communications in the area.

You have a right to submit comments to the PSC or to request intervention in the PSC's proceedings on the application. You may contact the PSC at: Executive Director, Public Service Commission, 211 Sower Boulevard, P.O. Box 615, Frankfort, Kentucky 40602. Please refer to docket number 2016-00304 in any correspondence sent in connection with this matter.

We have attached a map showing the site location for the proposed tower. Verizon Wireless' radio frequency engineers assisted in selecting the proposed site for the facility, and they have determined it is the proper location and elevation needed to provide quality service to wireless customers in the area. Please feel free to contact us with any comments or questions you may have.

Sincerely,  
David A. Pike  
Attorney for Applicants  
enclosure



### Driving Directions to Proposed Tower Site

1. Beginning at the Marshall County Judge Executive's Office, located at 1101 Main Street in Benton, KY, head south on Main Street towards 14<sup>th</sup> Street.
2. Turn left onto E. 14<sup>th</sup> Street and travel approximately 269 feet.
3. Turn left onto Poplar Street and travel approximately 0.7 miles.
4. Turn right onto US-641 N / Main Street and travel approximately 4.0 miles.
5. Make a slight left onto US-641 N / US-68 W and travel approximately 0.4 miles.
6. Turn right onto US-641 N and travel approximately 4.9 miles.
7. Turn right onto Sledd Creek Road / State Highway 1519 and travel approximately 0.75 miles.
8. Turn right onto Ridge Road and travel approximately 0.5 miles to the access drive. The access drive is located off of Ridge Road at 2371 Ridge Road, Gilbertsville, KY.
9. The site is located at 364 Sledd Creek Road, Gilbertsville, KY. The site coordinates are
  - a. North  $36^{\circ} 58' 37.27''$
  - b. West  $88^{\circ} 17' 10.48''$



Prepared by:  
Aaron L. Roof  
Pike Legal Group PLLC  
1578 Highway 44 East, Suite 6  
P.O. Box 369  
Shepherdsville, KY 40165-3069  
Telephone: 502-955-4400 or 800-516-4293

**GENERAL NOTE:**

1. ALL INFORMATION SHOWN HEREON WAS OBTAINED FROM THE RECORDS OF THE MARSHALL COUNTY KENTUCKY PROPERTY VALUATION ADMINISTRATION OFFICE ON 8.7.2016. THE PROPERTY VALUATION ADMINISTRATION RECORDS MAY NOT REFLECT THE CURRENT OWNERS AND ADDRESSES DUE TO THE INACCURACIES AND TIME LAPSE IN UPDATING FILES. POD AND THE COUNTY PROPERTY VALUATION ADMINISTRATION EXPRESSLY DISCLAIMS ANY WARRANTY FOR THE CONTENT AND ANY ERRORS CONTAINED IN THEIR FILES
2. THIS MAP IS FOR GENERAL INFORMATIONAL PURPOSES ONLY AND IS NOT A BOUNDARY SURVEY
3. NOT FOR RECORDING OR PROPERTY TRANSFER.



**Parallel**  
INFRASTRUCTURE  
PI TOWER DEVELOPMENT, LLC  
7411 FULLERTON STREET, SUITE 110  
JACKSONVILLE, FL 32256

REV.	DATE	DESCRIPTION
A	8.15.16	ISSUED FOR REVIEW
B	8.17.16	CLC COMMENTS
D	8.22.16	ISSUED AS FINAL

**PROJECT INFORMATION:**

**KY-GILBERTSVILLE-DAM MARINA**  
364 SLEDD CREEK ROAD  
GILBERTSVILLE, KY 42044  
MARSHALL COUNTY  
**TAX PARCEL NUMBER:**  
53-00-00-001.01  
**PROPERTY OWNER:**  
RENIA FEHRENBACHER  
364 SLEDD CREEK ROAD  
GILBERTSVILLE, KY 42044

**SOURCE OF TITLE:**  
DEED BOOK 403, PAGE 127  
**TOWER CENTROID:**  
NAD 83: LAT.: 36°58'37.27"  
LON.: 89°17'10.48"  
SPC SINGLE: N: 3525284.14356  
E: 4180432.56062  
NAVD 88: ELEV.: 402'± AMSL

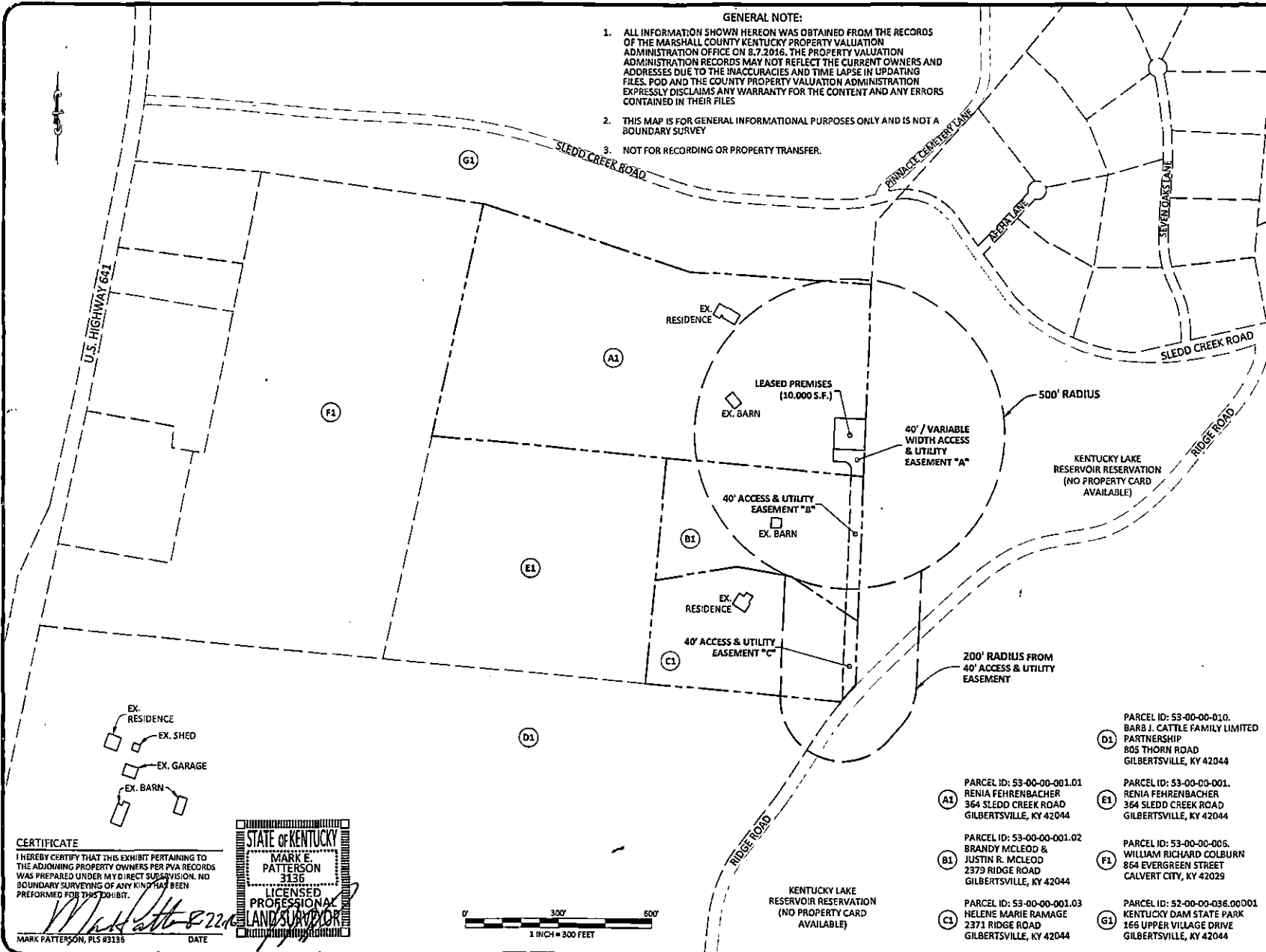
**SITE NUMBER:**  
PI3KYD17

**VERZON NUMBER:**  
EV KY DAM MARINA

**POD NUMBER:** 16-10348  
**DRAWN BY:** DAP  
**CHECKED BY:** MEP  
**DATE:** 8.2.16

**SHEET TITLE:**  
**500' RADIUS AND ABUTTERS MAP**

**SHEET NUMBER:**  
**B-2**



**PARCEL ID: 53-00-00-010.**  
BARB J. CATTLE FAMILY LIMITED  
PARTNERSHIP  
805 THORN ROAD  
GILBERTSVILLE, KY 42044

**PARCEL ID: 53-00-00-001.01**  
RENIA FEHRENBACHER  
364 SLEDD CREEK ROAD  
GILBERTSVILLE, KY 42044

**PARCEL ID: 53-00-00-001.**  
RENIA FEHRENBACHER  
364 SLEDD CREEK ROAD  
GILBERTSVILLE, KY 42044

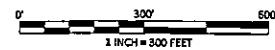
**PARCEL ID: 53-00-00-001.02**  
BRANDY MCLEOD &  
JUSTIN R. MCLEOD  
2379 RIDGE ROAD  
GILBERTSVILLE, KY 42044

**PARCEL ID: 53-00-00-005.**  
WILLIAM RICHARD COLBURN  
864 EVERGREEN STREET  
CALVERT CITY, KY 42029

**PARCEL ID: 53-00-00-001.03**  
HELENE MARIE RAMAGE  
2371 RIDGE ROAD  
GILBERTSVILLE, KY 42044

**PARCEL ID: 52-00-00-036.00001**  
KENTUCKY DAM STATE PARK  
166 UPPER VILLAGE DRIVE  
GILBERTSVILLE, KY 42044

**CERTIFICATE**  
I HEREBY CERTIFY THAT THIS EXHIBIT PERTAINING TO THE ADDITIONING PROPERTY OWNERS PER PVA RECORDS WAS PREPARED UNDER MY DIRECT SUPERVISION. NO BOUNDARY SURVEYING OF ANY KIND HAS BEEN PERFORMED FOR THIS EXHIBIT.



MARK PATTERSON, PLS #3136 DATE

**EXHIBIT N**  
**COPY OF POSTED NOTICES**

**SITE NAME: KENTUCKY DAM MARINA**  
**NOTICE SIGNS**

The signs are at least (2) feet by four (4) feet in size, of durable material, with the text printed in black letters at least one (1) inch in height against a white background, except for the word "**tower**," which is at least four (4) inches in height.

PI Tower Development LLC and Kentucky RSA No. 1 Partnership d/b/a Verizon Wireless propose to construct a telecommunications **tower** on this site. If you have questions, please contact Pike Legal Group, PLLC, P.O. Box 369, Shepherdsville, KY 40165, (800) 516-4293, or the Executive Director, Public Service Commission, 211 Sower Boulevard, PO Box 615, Frankfort, Kentucky 40602. Please refer to docket number 2016-00304 in your correspondence.

PI Tower Development LLC and Kentucky RSA No. 1 Partnership d/b/a Verizon Wireless propose to construct a telecommunications **tower** near this site. If you have questions, please contact Pike Legal Group, PLLC, P.O. Box 369, Shepherdsville, KY 40165, (800) 516-4293, or the Executive Director, Public Service Commission, 211 Sower Boulevard, PO Box 615, Frankfort, Kentucky 40602. Please refer to docket number 2016-00304 in your correspondence.

**VIA TELEPHONE: 270-527-3162**  
**VIA TELEFAX: 270-527-4567**

Marshall County Tribune-Courier  
Attn: Legal Notice Ad Department  
100 W. 11<sup>th</sup> Street  
Benton, KY 42025

RE: Legal Notice Advertisement  
Site Name: Kentucky Dam Marina

Dear Ad Department:

Please publish the following legal notice advertisement in the next edition of *The Marshall County Tribune-Courier*.

**NOTICE**

**PI Tower Development, LLC and Kentucky RSA No. 1 Partnership d/b/a Verizon Wireless have filed an application with the Kentucky Public Service Commission ("PSC") to construct a new wireless communications facility on a site located at 364 Sledd Creek Road, Gilbertsville, KY 42044 (36° 58' 37.27" North latitude, 88° 17' 10.48" West longitude). You may contact the PSC for additional information concerning this matter at: Kentucky Public Service Commission, Executive Director, 211 Sower Boulevard, P.O. Box 615, Frankfort, Kentucky 40602. Please refer to docket number 2016-00304 in any correspondence sent in connection with this matter.**

After this advertisement have been published, please forward a tearsheet copy, affidavit of publication, and invoice to Pike Legal Group, PLLC, P. O. Box 369, Shepherdsville, KY 40165. Please call me at (800) 516-4293 if you have any questions. Thank you for your assistance.

Sincerely,

Aaron L. Roof  
Pike Legal Group, PLLC

**EXHIBIT O**  
**COPY OF RADIO FREQUENCY DESIGN SEARCH AREA**



EV Kentucky Dam Marina – New Build SARF Map

**EXHIBIT P**  
**RADIO FREQUENCY REPORT**





August 11, 2016

TO: Talina R. Mathews  
Executive Director  
Kentucky Public Service Commission  
211 Sower Boulevard  
Frankfort, KY 40601

RE: Proposed Verizon Communications Facility  
Site Name: EV KENTUCKY DAM MARINA  
Type of Tower: 188' Monopole  
Location: 364 Sledd Creek Road, Gilbertsville KY 42044

To Whom It May Concern:

As a radio frequency engineer for Verizon, I am providing this letter to state the need for the Verizon site called EV KENTUCKY DAM MARINA at the total height requested of 191'. The EV KENTUCKY DAM MARINA wireless communications site is necessary to improve coverage and capacity on US-641 from US-62 to Hwy 1422.

The height requested is necessary to provide continuous coverage to other existing network sites, offload for our existing network and gives Verizon the opportunity for growth on a structurally sound facility. The proposed tower would connect to five existing Verizon sites: Barge Island, Draffenville, Calvert City South, Calvert City & Grand Rivers.

Verizon cares about the communities and prefers to collocate on existing structures but no suitable structures were available in the search area of interest. The following existing structure inside the search area was reviewed, but Verizon determined this to not to be adequate for its purpose:

- North Marshall Water District – Water Tank – structure not tall enough to provide desired coverage

The EV KENTUCKY DAM MARINA site will allow Verizon to provide continuous coverage in a portion of Marshall County and along portions of major roadways in its vicinity. The site will provide the quality coverage our customers expect and rely on. Customers will experience access to mobile voice and wireless data services that may have been previously unavailable, and support Homeland Security through enhanced 911 services.

This wireless communications site has been designed, and will be constructed and operated in a manner that satisfies regulations and requirements of all applicable governmental agencies that have been charged with regulating tower specifications, operation, construction, and placement, including the FAA and FCC.

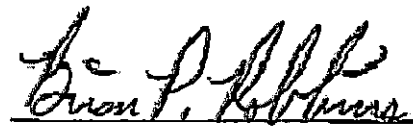
RF emission readings at this site in the accessible areas would be well below the applicable limits for FCC Uncontrolled/General Population and FCC Controlled/Occupational environments as outlined in 47

CFR 1.1301 through 1.1319. The site would carry appropriate RF emission signage to the public entering the site area.

This site would transmit frequencies within the licensed frequency bands and the power limitations set by FCC regulatory authority. The site will go through a complete rigorous regulatory process before it comes on-air to provide service to our customers.

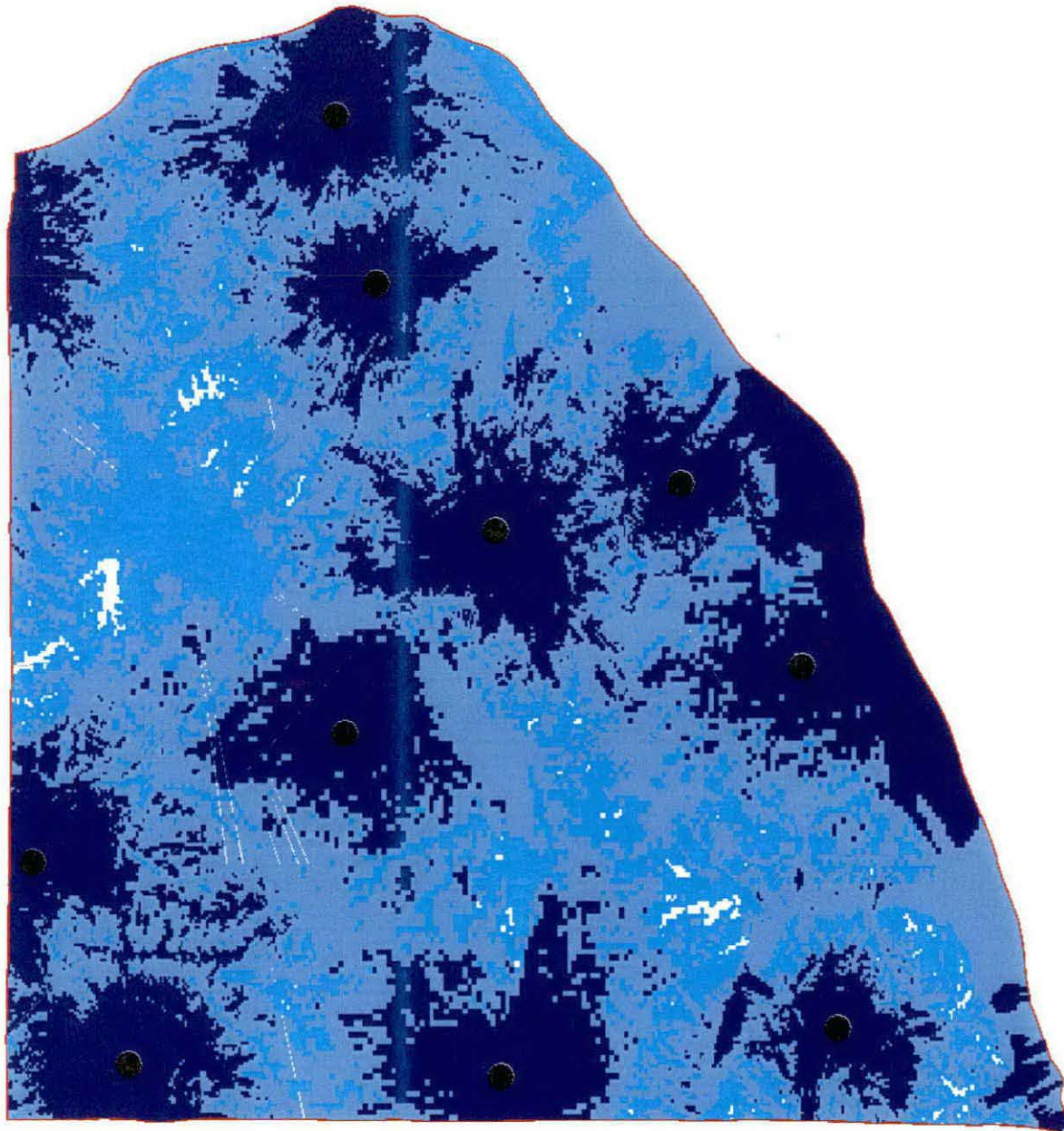
Verizon currently holds multiple FCC licenses in Marshall County in order to provide multiple forms of wireless services to its current and prospective customers.

Sincerely,

A handwritten signature in black ink that reads "Brian P. Robbins". The signature is written in a cursive style and is underlined.

Brian P. Robbins

RF Engineer, Verizon



These coverage maps depict predicted and approximate wireless coverage. The coverage areas shown do not guarantee service availability, and may include locations with limited or no coverage. Even within a coverage area, there are many factors, including customer's equipment, terrain, proximity to buildings, foliage, and weather that may impact service. Some of the Coverage Areas include networks run by other carriers, the coverage depicted is based on their information and public sources, and we cannot ensure its accuracy.

**4G LTE Core Coverage Area:** Access the 4G LTE network within the Coverage Area.

**4G LTE Border Coverage Area:** Access the 4G LTE network within the Border Coverage Area; certain conditions may cause your service to connect to 3G in this Area.

## Zoning for Marshall County

Existing  
Verizon  
Wireless  
Coverage

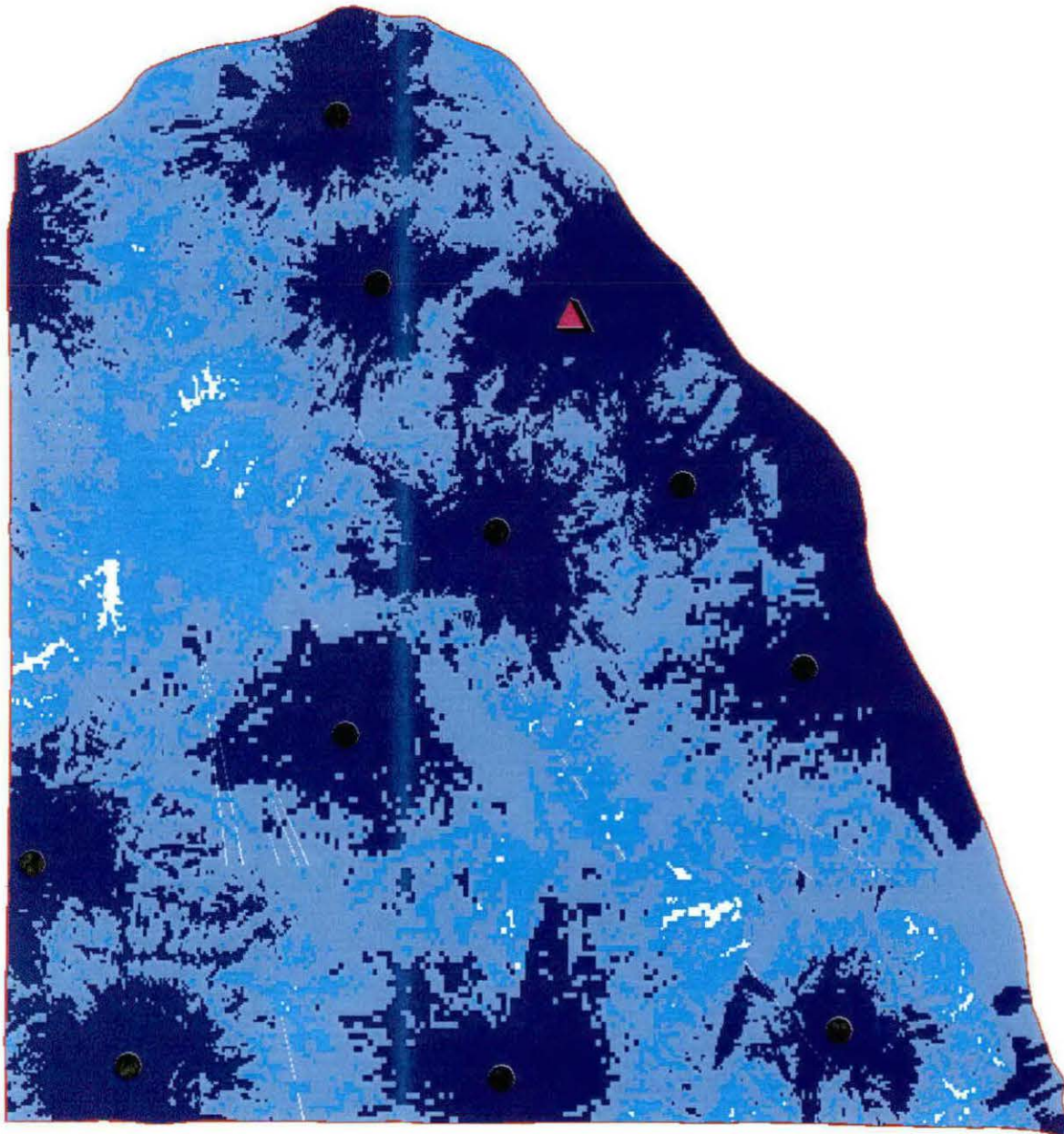
▲ Proposed Site

● On Air Site

### Coverage

■ LTE Core Coverage

■ LTE Border Coverage



These coverage maps depict predicted and approximate wireless coverage. The coverage areas shown do not guarantee service availability, and may include locations with limited or no coverage. Even within a coverage area, there are many factors, including customer's equipment, terrain, proximity to buildings, foliage, and weather that may impact service. Some of the Coverage Areas include networks run by other carriers, the coverage depicted is based on their information and public sources, and we cannot ensure its accuracy.

**4G LTE Core Coverage Area:** Access the 4G LTE network within the Coverage Area.

**4G LTE Border Coverage Area:** Access the 4G LTE network within the Border Coverage Area; certain conditions may cause your service to connect to 3G in this Area.

## Zoning for Marshall County

Proposed Verizon Wireless Coverage

▲ Proposed Site

● On Air Site

### Coverage

■ LTE Core Coverage

■ LTE Border Coverage