## COMMONWEALTH OF KENTUCKY BEFORE THE PUBLIC SERVICE COMMISSION



THE APPLICATION OF SBA TOWERS, LLC FOR ISSUANCE OF A CERTIFICATE OF PUBLIC CONVENIENCE AND NECESSITY TO CONSTRUCT A WIRELESS COMMUNICATIONS FACILITY IN THE COMMONWEALTH OF KENTUCKY IN THE COUNTY OF GREENUP

) CASE NO.: 2016-00158

## SITE NAME: GREENUP

In the Matter of:

## APPLICATION FOR CERTIFICATE OF PUBLIC CONVENIENCE AND NECESSITY FOR CONSTRUCTION OF A WIRELESS COMMUNICATIONS FACILITY

SBA Towers, LLC, a Florida limited liability company ("Applicant"), by and through the undersigned counsel, pursuant to (i) KRS §§ 278.020, 278.040, 278.650, 278.665, and other statutory authority, and the rules and regulations applicable thereto, and (ii) the Telecommunications Act of 1996, respectfully submits this Application requesting issuance of a Certificate of Public Convenience and Necessity ("CPCN") from the Kentucky Public Service Commission ("PSC") to construct, maintain, and operate a Wireless Communications Facility ("WCF") to serve customers with wireless communications services.

In support of this Application, Applicant respectfully provides and states the following information:

 The complete name and address of the Applicant: SBA Towers, LLC, a Florida limited liability company, 8051 Congress Avenue, Boca Raton, FL 33487 and 5900 Broken Sound Parkway NW, Boca Raton, FL 33487.

2. Applicant proposes to remove an existing 90 foot tall wooden tower and to replace it with a new 154-foot tall monopole and antenna for cellular telecommunications services or personal communications services, which is to be located in an area outside the jurisdiction of a planning commission. Applicant submits this application to the PSC for a certificate of public convenience and necessity pursuant to KRS §§ 278.020(1), 278.040, 278.650, 278.665, and other statutory and regulatory authority.

3. The Articles of Organization of SBA Towers, LLC were filed with the Florida Secretary of State in Tallahassee, Florida on June 30, 2011, effective June 30, 2011 a copy of which is attached as part of **Exhibit A**. The Certificate of Conversion from SBA Towers, Inc. to SBA Towers, LLC effective June 30, 2011 is also attached as a part of **Exhibit A**. SBA Towers, LLC is in good standing in Florida and is authorized to transact business in Kentucky. A copy of the certificate to transact business in the Commonwealth of Kentucky is also included as a part of **Exhibit A**.

West Virginia PCS Alliance, L.C., whose antennas are located on the existing tower and will be located on the new monopole, operates on frequencies licensed by the Federal Communications Commission ("FCC") pursuant to applicable FCC requirements. A copy of the FCC license for West Virginia PCS Alliance, L.C. to provide wireless services is attached to this Application or described as part of **Exhibit B**. The facility will be constructed and operated in accordance with applicable FCC

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regulations. SBA Towers, LLC will build, own and manage the tower and tower compound where West Virginia PCS Alliance, L.C. will place its equipment building, antennas, radio electronics equipment and appurtenances. (West Virginia PCS Alliance, L.C. is an indirect wholly-owned subsidiary of Shenandoah Telecommunications Company – "Shentel"; see Notification to Kentucky PSC of the Proposed Transfer of Control of nTelos Holdings Corp. to Shentel, dated May 5, 2016, attached hereto as part of **Exhibit B**).

5. The public convenience and necessity require the construction of the proposed WCF. The construction of the WCF will bring or improve West Virginia PCS Alliance, L.C.'s services to an area currently not served or not adequately served by increasing coverage and/or capacity and thereby enhancing the public's access to innovative and competitive wireless communications services. The WCF will provide a necessary link in the West Virginia PCS Alliance, L.C. communications network that is designed to meet the increasing demands for wireless services in Kentucky's wireless communications service area. The WCF is an integral link in West Virginia PCS Alliance, L.C.'s network design that must be in place to provide adequate coverage to the service area. A statement from the Radio Frequency Design Engineer of Shentel / West Virginia PCS Alliance, L.C. outlining this need is attached as part of **Exhibit B**.

6. To address the above-described service needs, Applicant proposes to construct a WCF in Greenup County at 311 S. Laurel St., Greenup, KY 41144 (38°34'19.354" North latitude, 82°50'27.671" West longitude), on a parcel of land located entirely within the county referenced in the caption of this application. The property on which the WCF will be located is owned by Jack T. Rice, Jerry R. Rice, Joy

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Rice Marshall, Richard Fletcher, Lora Helms and Gail Murray, pursuant to deed of record in Deed Book 140, Page 319 in the office of the Greenup County Clerk. The proposed WCF will consist of a 150-foot tall monopole tower, with an approximately 4foot tall lightning arrestor attached at the top, for a total height of 154-feet. The WCF will also utilize new concrete foundations and a shelter or cabinets which currently accommodate the placement of the West Virginia PCS Alliance, L.C.'s radio electronics equipment and appurtenant equipment. The WCF equipment cabinet or shelter is approved or will be approved for use in the Commonwealth of Kentucky by the relevant building inspector. The WCF compound is be fenced and all access gate(s) will be secured. A description of the manner in which the proposed WCF will be constructed is attached as Exhibit C and Exhibit D and a shelter or cabinets which currently accommodate the placement of the West Virginia PCS Alliance, L.C.'s radio electronics equipment and appurtenant equipment. The WCF equipment cabinet or shelter is approved or will be approved for use in the Commonwealth of Kentucky by the relevant building inspector. The WCF compound is be fenced and all access gate(s) will be secured. A description of the manner in which the proposed WCF will be constructed is attached as Exhibit C and Exhibit D.

7. A list of utilities, corporations, or persons with whom the proposed WCF is likely to compete is attached as **Exhibit E.** 

8. The site development plan and a vertical profile sketch of the WCF signed and sealed by a professional engineer registered in Kentucky depicting the tower height, as well as a proposed configuration for the antennas has also been included as part of **Exhibit C**.

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9. Foundation design plans signed and sealed by a professional engineer registered in Kentucky and a description of the standards according to which the tower was designed are included as part of **Exhibit D**.

10. Applicant has considered the likely effects of the installation of the proposed WCF on nearby land uses and values and has concluded that there is no more suitable location reasonably available from which adequate services can be provided, and that there are no reasonably available opportunities to co-locate the necessary antennas on an existing structure. When suitable towers or structures exist, West Virginia PCS Alliance, L.C. attempts to co-locate on existing structures such as communications towers or other structures capable of supporting its facilities; however, no other suitable or available co-location site was found to be located in the vicinity of the site. In this instance, the existing tower will be removed and replaced by the proposed, new 154-foot monopole.

11. A copy of the Determination of No Hazard to Air Navigation issued by the Federal Aviation Administration ("FAA") is attached as Exhibit F.

12. A copy of the Application for Kentucky Airport Zoning Commission ("KAZC") Approval to construct the tower is attached as Exhibit G, as is the response of the KAZC, stating that no permit is required.

13. A geotechnical engineering firm has performed soil boring(s) and subsequent geotechnical engineering studies at the WCF site. A copy of the geotechnical engineering report, signed and sealed by a professional engineer registered in the Commonwealth of Kentucky, is attached as **Exhibit H.** The name and address of the geotechnical engineering firm and the professional engineer registered in the

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Commonwealth of Kentucky who supervised the examination of this WCF site are included as part of this exhibit.

14. Clear directions to the proposed WCF site from the County seat are attached as **Exhibit I.** The name and telephone number of the preparer of **Exhibit I** is Nathan Meyer, PBM Wireless Services LLC, 6869 Windjammer Drive, Brownsburg, IN 46112; (317) 501-9164.

15. Applicant, successor in interest to SBA Towers, Inc. following conversion to a limited liability company, and pursuant to a written agreement, has acquired the right to use the WCF site and associated property rights. A copy of the agreement or an abbreviated agreement (Memorandum of Lease) recorded with the County Clerk and of the assignment of lease to Applicant are attached as **Exhibit J.** 

16. Personnel directly responsible for the design and construction of the proposed WCF are well qualified and experienced. The tower and foundation drawings for the proposed tower submitted as part of **Exhibit D** bear the signature and stamp of a professional engineer registered in the Commonwealth of Kentucky. All tower designs meet or exceed the minimum requirements of applicable laws and regulations.

17. The Construction Manager for the proposed facility is Mauricio Agredo, and the identity and qualifications of each person directly responsible for design and construction of the proposed tower are contained within **Exhibits C and D**.

18. As noted on the Survey attached as part of **Exhibit C** (specifically, on the Site Plan found at Sheet C-1), the engineer has determined that the site is not within any flood hazard area.

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19. **Exhibit C** includes a map drawn to a scale of no less than 1 inch equals 200 feet that shows the location of the proposed tower and identifies every owner of real estate within 500 feet of the proposed tower (according to the records maintained by the County Property Valuation Administrator). Every structure and every easement within 500 feet of the proposed tower or within 200 feet of the access road including intersection with the public street system is illustrated in **Exhibit C**.

20. Applicant has notified every person who, according to the records of the County Property Valuation Administrator, owns property which is within 500 feet of the proposed tower or contiguous to the site property, by certified mail, return receipt requested, of the proposed construction. Each notified property owner has been provided with a map of the location of the proposed construction, the telephone number and address of the PSC, the commission docket number under which this Application will be processed, and has been informed of his or her right to request intervention. A list of the notified property owners and copies of the notice letters sent by certified mail to each landowner are attached as **Exhibit K** and **Exhibit L**, respectively.

21. Applicant has notified the applicable County Judge/Executive by certified mail, return receipt requested, of the proposed construction. This notice included the PSC docket number under which the application will be processed and informed the County Judge/Executive of his/her right to request intervention. A copy of this notice is attached as **Exhibit M.** 

22. Notice signs meeting the requirements prescribed by 807 KAR 5:063, Section 1(2) that measure at least 2 feet in height and 4 feet in width and that contain all required language in letters of required height, have been posted, one in a visible location

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on the proposed site and one on the nearest public road. Such signs shall remain posted for at least two (2) weeks after filing of the Application, and a copy of the posted signs are attached as **Exhibit N**. Notice of the location of the proposed facility has been published in a newspaper of general circulation in the county in which the WCF is proposed to be located. See **Exhibit N** for a copy of the newspaper publication.

23. The character of the general area where the proposed facility is to be located is wooded, with some low-density rural residential nearby. The most immediate neighboring land use is the Sunset Cemetery. The existing land use of the specific property involved is vacant, except for an existing wooden telecommunications pole (to be replaced by the subject monopole) and related equipment.

24. West Virginia PCS Alliance, L.C. currently operates from the existing wood pole at this site location. West Virginia PCS Alliance, L.C. will remove its installation from the existing wood pole once the new replacement monopole is installed and in operation. The process that was originally used by the West Virginia PCS Alliance, L.C. radio frequency engineers in selecting the site for the proposed WCF was consistent with the general process used for selecting all other existing and proposed WCF facilities within the proposed network design area. West Virginia PCS Alliance, L.C.s radio frequency engineers have conducted studies and tests in order to develop a highly efficient network that is designed to handle voice and data traffic in the service area. The engineers determined an optimum area for the placement of the proposed facility in terms of elevation and location to provide the best quality service to customers in the service area. A radio frequency design search area prepared in reference to these radio frequency studies was considered when searching for sites for antennas that would provide the coverage deemed

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necessary by West Virginia PCS Alliance, L.C. A map of the area in which the tower is proposed to be located which is drawn to scale and clearly depicts the necessary search area within which the site should be located pursuant to radio frequency requirements is attached as **Exhibit O**.

25. All Exhibits to this Application are hereby incorporated by reference as if fully set out as part of the Application.

26. All responses and requests associated with this Application may be directed

to:

Thomas W. Breidenstein *Counsel Direct:* 859-652-7604 *Mobile:* 513-607-3452 *Fax:* 859-425-7952 <u>tbreidenstein@stites.com</u> STITES & HARBISON PLLC RiverCenter II 100 E. RiverCenter Blvd., Ste. 450 Covington, KY 41011 WHEREFORE, Applicant respectfully requests that the PSC accept the foregoing Application for filing, and having met the requirements of KRS §§ 278.020(1), 278.650, and 278.665 and all applicable rules and regulations of the PSC, grant a Certificate of Public Convenience and Necessity to construct and operate the WCF at the location set forth herein.

Respectfully submitted,

Thomás W. Breidenstein *Counsel* <u>tbreidenstein@stites.com</u> STITES & HARBISON PLLC RiverCenter II 100 E. RiverCenter Blvd., Ste. 450 Covington, KY 41011 *Direct:* 859-652-7604 *Mobile:* 513-607-3452 Fax: 859-425-7952

# LIST OF EXHIBITS

Α	-	Articles of Incorporation and Certificate of
		Conversion SBA Towers, Inc. to SBA Towers,
		LLC

- B FCC License Documentation
- C Construction Plans
- D Structural Design and Foundation Design
- E Competing Utilities, Corporations, or Persons List
- F FAA
- G Kentucky Airport Zoning Commission
- H Geotechnical Report
- I Directions to WCF Site
- J Copy of Real Estate Agreement
- K Notification Listing
- L Copy of Property Owner Notification
- M Copy of County Judge/Executive Notice
- N Photos of Posted Notices
- O Search Area Map

# Exhibit A

# Articles of Incorporation and Certificate of Conversion SBA Towers, Inc. to SBA Towers, LLC



FLORIDA DEPARTMENT OF STATE Division of Corporations

June 30, 2011

The Articles of Organization for SBA TOWERS, LLC were filed on June 30, 2011, effective June 30, 2011, and assigned document number L11000076140. Please refer to this number whenever corresponding with this office.

To maintain "active" status with the Division of Corporations, an annual report must be filed yearly between January 1st and May 1st beginning in the year following the file date or effective date indicated above. If the annual report is not filed by May 1st, a \$400 late fee will be added. It is your responsibility to remember to file your annual report in a timely manner.

A Federal Employer Identification Number (FEI/EIN) will be required when this report is filed. Contact the IRS at 1-800-829-4933 for an SS-4 form or go to <u>www.irs.gov</u>.

Please be aware if the limited liability company address changes, it is the responsibility of the limited liability company to notify this office.

Should you have any questions regarding this matter, please contact this office at the address given below.

Gretchen Harvey Document Specialist Supervisor Registration/Qualification Section Division of Corporations

Letter Number: 311A00015811

www.sunbiz.org

Division of Corporations - P.O. BOX 6327 - Tallahassee, Florida 32314

## CERTIFICATE OF CONVERSION

This Certificate of Conversion <u>and attached Articles of Organization</u> are submitted to convert the following "Other Business Entity" into a Florida Limited Liability Company in accordance with s.608.439, Florida Statutes.

First:	The name of the "Other Business Entity" immedia Certificate of Conversion is: SBA Towers, Inc.	tely prior to the filing of this
Second:	The "Other Business Entity" is a corporation, first incorporated under the laws of Florida on May 22,	
Third:	The name of the Florida Limited Liability Compar Articles of Organization: SBA Towers, LLC	ny as set forth in the attached
Fourth:	The conversion shall become effective at 11:58 p.	m. on June 30, 2011.
Fifth:	The conversion is permitted by the applicable law entity and the conversion complies with such law s.608.439, F.S., in effecting the conversion.	
Sixth:	The "Other Business Entity" currently exists on th jurisdiction under which it is currently organized,	
Seventh:	SIGNATURES FOR EACH ENTITY	
Name of Enti	ity Signature	Typed of Printed Name of Individual and Title
SBA Towers	, Inc.	Thomas P. Hunt Senior Vice President
SBA Towers	,LLC	Thomas P. Hunt

Thomas P. Hunt Senior Vice President

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### ARTICLES OF ORGANIZATION OF SBA TOWERS, LLC

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#### ARTICLE I NAME

The name of the limited liability company (the "Company") is: SBA TOWERS, LLC

## ARTICLE II ADDRESS

The mailing address and street address of the principal office of the Company are:

5900 Broken Sound Parkway NW Booa Raton, FL 33487

### ARTICLE III INITIAL REGISTERED OFFICE AND AGENT

The name and street address of the Company's initial registered agent are;

Corporate Creations Network Inc. 11380 Prosperity Farms Rd, #221E Palm Beach Gardens, FL 33410

#### ARTICLE IV

The conversion shall become effective as of 11:58 P.M. Eastern on June 30, 2011.

IN WITNESS WHEREOF, the undersigned has executed these Articles of Organization this 30 day of June, 2011.

Thomas P. Hunt, Authorized Representative of SBA Senior Finance II LLC, sole member

(FT302015:2)

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#### CERTIFICATE OF ACCEPTANCE BY REGISTERED AGENT

Pursuant to the provisions of the Florida Limited Liability Company Act, the undersigned submits the following statement in accepting the designation as registered agent of SBA TOWERS, LLC, a Florida limited liability company (the "Company"), in the Company's Articles of Organization:

Having been named as registered agent and to accept service of process for the Company at the registered office designated in the Company's Articles of Organization, the undersigned accepts the appointment as registered agent and agrees to act in this capacity. The undersigned further agrees to comply with the provisions of all statutes relating to the proper and complete performance of its duties, and the undersigned is familiar with and accepts the obligations of its position as registered agent.

IN WITNESS WHEREOF, the undersigned has executed this Certificate this <u>30</u> day of June, 2011.

Corporate Creations Network Inc. By: Name: Jim Perkins, Vice Preside; Title:



{FT302015:2]

# Commonwealth of Kentucky Alison Lundergan Grimes, Secretary of State

Alison Lundergan Grimes Secretary of State P. O. Box 718 Frankfort, KY 40602-0718 (502) 564-3490 http://www.sos.ky.gov

# **Certificate of Authorization**

Authentication number: 176326 Visit https://app.sos.ky.gov/ftshow/certvalidate.aspx to authenticate this certificate.

I, Alison Lundergan Grimes, Secretary of State of the Commonwealth of Kentucky, do hereby certify that according to the records in the Office of the Secretary of State,

# SBA TOWERS, LLC

, a limited liability company authorized under the laws of the state of Florida, is authorized to transact business in the Commonwealth of Kentucky, and received the authority to transact business in Kentucky on March 2, 1998.

I further certify that all fees and penalties owed to the Secretary of State have been paid; that an application for certificate of withdrawal has not been filed; and that the most recent annual report required by KRS 14A.6-010 has been delivered to the Secretary of State.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my Official Seal at Frankfort, Kentucky, this 10<sup>th</sup> day of May, 2016, in the 224<sup>th</sup> year of the Commonwealth.



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Alison Lundergan Grimes Secretary of State Commonwealth of Kentucky 176326/0452998

# Exhibit B

FCC License Documentation

#### REFERENCE COPY

This is not an official FCC license. It is a record of public information contained in the FCC's licensing database on the date that this reference copy was generated. In cases where FCC rules require the presentation, posting, or display of an FCC license, this document may not be used in place of an official FCC ficense.

I	Federal Communica Wireless Telecomm		ion	
U.C. CANNISSION	RADIO STATION A	UTHORIZATION		
LICENSEE: WEST MID	GINIA PCS ALLIANCE, L.C.			
LICENSEE. WEST VIR	GINIA PCS ALLIANCE, L.C.			
ATTN: BRIAN J. O'NEI			all Sign OH986	File Number 0006731334
WEST VIRGINIA PCS ALLIANCE, L.C. 1154 SHENANDOAH VILLAGE DR. WAYNESBORO, VA 22980			Radio Service CW - PCS Broadband	
Registration Number (FR	N): 0002049328	L		
Grant Date 06-22-2015	Effective Date 06-22-2015	Expiration Date 06-23-2025		<b>Print Date</b> 06-23-2015
Market Number MTA018	Chann	el Block B	Sub-Ma	rket Designator 2
	Market Cincinnat			
1st Build-out Date 08-04-2000	2nd Build-out Date 06-23-2005	3rd Build-out Date	4	th Build-out Date
vers/Conditions:	e condition that in the event that		•	and have been

This authorization is subject to the condition that, in the event that systems using the same frequencies as granted herein are authorized in an adjacent foreign territory (Canada/United States), future coordination of any base station transmitters within 72 km (45 miles) of the United States/Canada border shall be required to eliminate any harmful interference to operations in the adjacent foreign territory and to ensure continuance of equal access to the frequencies by both countries.

License renewal granted on a conditional basis, subject to the outcome of FCC proceeding WT Docket No. 10-112 (see FCC 10-86, paras. 113 and 126).

#### **Conditions:**

Pursuant to §309(h) of the Communications Act of 1934, as amended, 47 U.S.C. §309(h), this license is subject to the following conditions: This license shall not vest in the licensee any right to operate the station nor any right in the use of the frequencies designated in the license beyond the term thereof nor in any other manner than authorized herein. Neither the license nor the right granted thereunder shall be assigned or otherwise transferred in violation of the Communications Act of 1934, as amended. See 47 U.S.C. § 310(d). This license is subject in terms to the right of use or control conferred by §706 of the Communications Act of 1934, as amended. See 47 U.S.C. §606.

This license may not authorize operation throughout the entire geographic area or spectrum identified on the hardcopy version. To view the specific geographic area and spectrum authorized by this license, refer to the Spectrum and Market Area information under the Market Tab of the license record in the Universal Licensing System (ULS). To view the license record, go to the ULS homepage at http://wireless.fcc.gov/uls/index.htm?job=home and select "License Search". Follow the instructions on how to search for license information.

Licensee Name: WEST VIRGINIA PCS ALLIANCE, L.C.

Call Sign: WPOH986

#### File Number: 0006731334

Print Date: 06-23-2015

This authorization is subject to the condition that the remaining balance of the winning bid amount will be paid in accordance with Part 1 of the Commission's rules, 47 C.F.R. Part 1.

FCC 601-MB April 2009



300 WEST VINE STREET SUITE 2100 LEXINGTON, KY 40507-1801 MAIN: (859) 231-3000 FAX: (859) 253-1093

May 5, 2016

DOUGLAS F. BRENT DIRECT DIAL: (502) 568-5734 DIRECT FAX: (502) 562-0934 Douglas.Brent@skofirm.com

MAY 0 5 2016

PUBLIC SERVICE COMMISSION

Aaron D. Greenwell Acting Executive Director Kentucky Public Service Commission 211 Sower Boulevard P.O. Box 615 Frankfort, KY 40602-0615

## Re: Notification of the Proposed Transfer of Control of NTELOS Holdings Corp. to Shenandoah Telecommunications Company

Dear Mr. Greenwell:

Pursuant to the Commission's Order issued in Administrative Case No. 370 on January 8, 1998, this letter is to notify the Commission that Shenandoah Telecommunications Company ("Shentel") and NTELOS Holdings Corp., the parent company of West Virginia PCS Alliance, L.C. d/b/a NTELOS ("NTELOS"), have entered into a merger agreement pursuant to which Shentel will acquire direct ownership and control of NTELOS Holdings Corp. and NTELOS, as described more fully below (the "Merger" or "Transaction"). The proposed transaction is scheduled to close on May 6, 2016.

## **The Parties**

Shentel. Shentel is a holding company that provides, through its operating subsidiaries, a broad range of telecommunications services. Shentel is traded on the NASDAQ Global Select Market under the symbol "SHEN." Shentel has a long, successful history of providing a broad range of communications services in rural markets in the mid-Atlantic United States. Through its affiliates Shentel provides: wireless voice and data services; voice, video, and Internet services (delivered over hybrid-fiber coaxial cable networks); fiber network services; and traditional local and long-distance telephone services. Shentel has been providing telephone service in rural Shenandoah County, Virginia since 1902. It began offering DSL Internet service to its telephone subscribers in 1994, and now is able to offer high-speed Internet access service through 100% of its approximately 21,600 access lines. Shentel began building its fiber optic network, which now totals more than 4,400 route miles serving rural communities in Virginia, West Virginia, Maryland and Pennsylvania, in 1984. In 1990, Shentel's wireless subsidiary, Shenandoah Personal Communications, LLC ("Shentel PC") began offering rural cellular

SKOFIRM.COM

Aaron D. Greenwell May 5, 2016 Page 2

service, and it became the first rural PCS provider in the United States (through an agreement with American Personal Communications) in 1995.

Since 1999, Shentel PC has been the exclusive wireless communications affiliate of Sprint in primarily rural portions of West Virginia, Pennsylvania, Maryland and Virginia. Under their longstanding partnership in providing Sprint-branded wireless service in these areas, Shentel PC deploys and operates the wireless network and manages local retail operations, while Sprint holds and controls the spectrum used in the network, provides customer handsets, and provides customer service and other managed services. Through this partnership with Sprint, Shentel PC provides digital wireless service to more than 440,000 customers as of June 30, 2015.

NTELOS. NTELOS, through various operating subsidiaries, including West Virginia PCS Alliance, L.C. in Kentucky, is a regional provider of digital wireless communications services to customers primarily in West Virginia and Virginia, as well as parts of Maryland, North Carolina, Pennsylvania, Ohio, and Kentucky. It operates a CDMA digital PCS network that covers more than 86,000 consumers in Kentucky, and has deployed 4G LTE to some communities in the state. NTELOS provides retail wireless services to approximately 297,500 subscribers, of which 7,041 reside in Kentucky. NTELOS also provides wholesale network access to other telecommunications carriers, most notably through an arrangement with subsidiaries of Sprint. NTELOS presently operates one (1) retail store in Kentucky.

**Sprint.** Sprint is one of the nation's leading mobile broadband providers. Sprint and its affiliates served more than 57 million connections as of June 30, 2015 and is widely recognized for developing, engineering and deploying innovative technologies, including the first wireless 4G service from a national carrier in the United States; leading no-contract brands including Virgin Mobile USA, Boost Mobile, and Assurance Wireless; instant national and international push-to-talk capabilities; and a global Tier 1 Internet backbone. A more detailed description of Sprint's operations can be found at: <u>http://newsroom.sprint.com/about-us/</u>.

For purposes of this Notification, copies of any correspondence or communications should be additionally directed to:

K.C. Halm Bradley Guyton Davis Wright Tremaine LLP 1919 Pennsylvania Ave., NW, Suite 800 Washington, D.C. 20006

Counsel to Shenandoah Telecommunications Company

Aaron D. Greenwell May 5, 2016 Page 3

and

John Monroe Counsel, State Regulatory Affairs 3065 Akers Mill Road, SE, 7th Floor Atlanta, GA 30339

Counsel to Sprint

#### The Transaction

On August 10, 2015, Shentel and NTELOS entered into a merger agreement pursuant to which NTELOS (and West Virginia PCS Alliance L.C.) will become an indirect wholly-owned subsidiary of Shentel. As a result of the merger, Shentel will acquire all of NTELOS' operations, including wireless network assets and spectrum, retail stores and retail subscribers of NTELOS, including those in Kentucky. A copy of Shentel's pre- and post-close organization is set forth as Exhibit A.

Concurrently with the signing of the agreement with NTELOS, Shentel and Sprint entered into a series of agreements, whereby Shentel will, immediately after consummation of the merger, assign to Sprint all of the FCC spectrum licenses held by NTELOS and its operating subsidiaries, as well as certain spectrum leases acquired from NTELOS. Shentel will convert NTELOS' retail wireless customers into Sprint-branded customers. Shentel will also upgrade the remainder of NTELOS' current network to Sprint's enhanced LTE architecture, and will invest up to \$350 million and deploy 150 additional cell sites to expand coverage in the NTELOS service area, including approximately six (6) in Kentucky.

Post-transaction and pursuant to amended affiliate agreements between the Joint Petitioners, Shentel PC will offer Sprint-branded wireless service, including to NTELOS' existing customers, in NTELOS' service areas in Kentucky and elsewhere, as well as in the areas in which Shentel currently acts as Sprint's affiliate. Post-transaction, Shentel PC intends to continue to operate the NTELOS retail stores currently operating in Kentucky.

No NTELOS subscribers will lose service as a result of this transaction. Upon close of this transaction, and for a period of up to twenty-four months, current NTELOS customers may keep their existing handset and will be transitioned to Sprint rate plans that will be, for the vast majority of subscribers, identical or substantially similar to their existing service contracts for the duration of their existing contracts. During that time, however, and following expiration of their service contracts, NTELOS customers will also have access to a broader array of handsets and service plans, including the many options that are available to Shentel PC customers through its affiliation with Sprint. Current subscribers for whom substantially similar rate plans cannot be created will be able to choose a different rate plan offered by Sprint and Shentel. Following a transition period, all customers will be transitioned to a more robust service delivery platform, which will permit Shentel and Sprint to provide greater service options, expanded handsets, and enhanced features.

Aaron D. Greenwell May 5, 2016 Page 4

Shentel has begun the process of informing NTELOS customers about the pending changes, in part through a new website that provides detailed information in plain language for NTELOS customers: <u>http://welcometoshentel.com/</u>. The Parties will continue these efforts to inform NTELOS customers about the pending changes through other forms of direct customer communication, including direct mail notice to all customers.

The transaction will serve the public interest of Kentucky consumers and, indeed, the state in general, in a variety of ways. NTELOS' customers, including its customers in rural areas, will benefit greatly from this transaction. These customers will be able to avail themselves of the planned new infrastructure investments, enhanced wireless coverage, improved service quality, broader variety of service plans and handsets, expanded roaming opportunities, and the expansion of service to new areas. Together, these benefits will enhance wireless competition as well as mobile broadband service offered in rural areas, and help promote deployment of enhanced broadband technologies, products, and services to those residing in rural areas.

Shentel's acquisition of NTELOS and subsequent assignment of spectrum to Sprint will provide Shente', operating as a Sprint affiliate, with the increased incentive and ability to make significant upgrades to the existing NTELOS network in Kentucky and elsewhere. Shentel's infrastructure investments will significantly improve network service and coverage, as the planned deployment will accelerate the upgrade of the current NTELOS 3G network to 4G LTE network capabilities, improve service quality for consumers using the existing NTELOS network, and promote competition in the provision of mobile broadband service in these rural areas.

Existing NTELOS customers will enjoy more service, handset, and roaming options than ever before. These added benefits will enable customers to maximize the improved service that will be provided within the NTELOS footprint, as well as improve their overall wireless experience when they travel outside of those service areas. In addition, this transaction will enable Shentel and Sprint to continue their partnership's history of deploying high-capacity wireless networks to serve rural markets.

Please do not hesitate to contact the undersigned if you have any questions.

Sincerely,

Douglas F. Brent Counsel to Sprint

112183.140780/1345820.1

# Shentel Pre-Close Org Chart



# NTELOS Pre-close Org Chart



# Shentel Organizational Structure At Closing





August 15, 2016

RE: West Virginia PCS Alliance, L.C. Cell Site HT220

311 S Laurel St., Greenup, KY

Dear Sir or Madam:

This letter is to state the need to upgrade the Shentel site HT220 located in Greenup County. It is necessary to replace the existing wood pole with a 150' steel monopole to accommodate the new equipment configuration required to provide LTE service and to improve coverage to the homes south along Rt. 2. HT220 currently provides voice coverage to the town of Greenup. Without the upgrade, customers will experience poor data connectivity and dropped data calls in this area. With the upgrade to this site, customers in Greenup County will be provided with reliable communications on our LTE network.

Sincerely,

Recoverable Sic nature

David Mellick RF Engineer, Shentel Signed by: Mellick, David

# Exhibit C

# **Construction Plans**

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## **GRAHAM M. ANDRES, P.E., P.ENG.**

384 Tarragon Trail Wendell, NC 27603 (919) 661-6351 gandres@tepgroup.net

EDUCATION North Carolina State University, Raleigh, NC B.S. in Civil Engineering, 05/2002

#### EXPERIENCE Vice President, 05/2007 - Current

- Tower Engineering Professionals, Inc., 326 Tryon Road, Raleigh, NC
- · Manage Civil and Survey divisions as well as remote offices
- Client management and business development
- · Budgeting, ERP implementation, management development
- Work with others in senior management to define company goals, strategy and assess overall
  company health
- Work with other Managers in the company help carriers successfully complete large-scale LTE overlay projects.

#### Civil Division Manager, 05/2002-05/2007

Tower Engineering Professionals, Inc., 3703 Junction Blvd, Raleigh, NC

- Performed Structural Analysis of Steel Structures, Design of Foundations, and Foundation Analysis.
- Duties also include Civil Site Design of proposed Telecommunications
- Facilities and Field Inspections
- Project Management of new cell site builds, including project budgets, site design, zoning meetings, managing subcontractors and other engineers.

#### Civil Engineering Intern, 08/2000 – 05/2002

Tower Engineering Professionals, Inc., 3703 Junction Blvd, Raleigh, NC

- Trained to perform Structural Analysis, Civil Site Design, & Field Inspections
- Trained in Foundation Analysis and Design

OTHER Licensed Professional Engineer in: <u>Canadian Provinces:</u> New Brunswick, Prince Edward Island, Ontario, British Columbia, Saskatchewan, Nova Scotia, Alberta, Manitoba <u>States:</u>

AL, AR, AZ, CO, CT, FL, GA, IA, ID, IL, IN, KS, KY, LA, MD, ME, MI, MN, MO, MS, MT, NC, ND, NE, NH, OH, OK, OR, PA, RI, SC, SD, TN, TX, UT, VA, WA, WV, WY



# DAVID D. McKINNEY Director of Survey Professional Land Surveyor

# EDUCATION

- 1991 / Graduate National Geospatial Intelligence College/Geodetic Survey Course / U.S.A.C.E.
- 1992 / I.B.M. Government / Business Computer Course
- Fayetteville Technical Community College.
- Continuing Education.

# REGISTRATION

 Registered Professional Surveyor State of Alabama No. 30350
 State of Kentucky No. 3964

Mr. McKinney serves as the Director of Surveying with 25 years of experience and brings a high level of technical expertise to the firm. He is a graduate of the National Geospatial Intelligence College where he was trained in cartography, Geodetic Surveying, G.P.S., and conventional surveying disciplines. Mr. McKinney's experience and knowledge can be offered as a resource to any project team.

# **RELEVANT PROJECTS INCLUDE:**

- Field Surveying and construction stakeout of Roads and Highways
- Layout of large scale buildings and utilities (Honda Plant Lincoln, AL)
- Drafting of Civil Site Plans
- Project Management
- Subdivision Layouts
- Topographic Mapping and Surveying
- Supervision of Field and Office Personnel
- GPS Field Operation, Office Processing and Adjustment
- Quantity Surveys
- ALTA and Boundary Surveys
- Airfield Surveys
- Setting Aerial grids and computation of coordinates
- Construction stakeout and as-built drawings
- NOAA 1-A and 2-C Letters, and Flood Certification Letters
- Plot plans and engineered septic system design

Telecommunications to



TOGETHER PLANNING A BETTER TOMORROW

## **PROJECT SUMMARY**

SITE I.D.: KY SITE ADDRESS: 31 GF JURISDICTION: GF LAND USE: EX PROPERTY OWNER(S): JA MA HE APPLICANT: SE	REENUP 02128
SITE ADDRESS: 31 GF JURISDICTION: GF LAND USE: EX PROPERTY OWNER(S): JA MA HE APPLICANT: SE	
GF JURISDICTION: GF LAND USE: EX FA PROPERTY OWNER(S): JA MA HE APPLICANT: SE	
LAND USE: EX PROPERTY OWNER(S): JA MA HE APPLICANT: SE	1 S LAUREL ST REENUP, KY 41144
FA PROPERTY OWNER(S): JA M/ HE APPLICANT: SE	REENUP COUNTY
MA HE APPLICANT: SE	ISTING TELECOMMUNICATIONS CILITY
	CK T. RICE, JERRY R. RICE, JOY RICE NRSHALL, RICHARD FLETCHER, LORA LMS, GAIL MURRAY
BC	A COMMUNICATIONS CORPORATION 51 CONGRESS AVENUE DCA RATON, FL 33487-1307 FICE: (561) 226-9332
PARCEL ID: 13	8-00-00-013.00
ZONING CLASS: UN	IKNOWN
	38° 34' 19.354'' (NAD '83) 82° 50' 27.671'' (NAD '83)
64 GROUND ELEVATION:	9.3' AMSL (NAVD '88)
	LECOMMUNICATIONS FACILITY
	OPOSED 150' MONOPOLE TOWER
FR DRIVING DIRECTIONS: KY ST OF AS ST	OM CINCINNATI, OH: FOLLOW KY-9 TO -10 IN LEWIS COUNTY. CONTINUE RAIGHT INTO KY-10 E. TURN RIGHT ITO US-23 S (SIGNS FOR GREENUP GHLAND). TURN RIGHT ONTO LAUREL . SITE WILL BE ON RIGHT NEAR INSET CEMETERY RD.

#### HANDICAPPED REQUIREMENTS

FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. HANDICAP ACCESS NOT REQUIRED.

PLUMBING REQUIREMENTS

FACILITY HAS NO PLUMBING.

#### CONSULTING TEAM

ARCHITECTURAL - ENGINEERING FIRM: TOWER ENGINEERING PROFESSIONALS, INC. 326 TRYON ROAD, RALEIGH, NC 27603 CONTACT: GRAHAM M. ANDRES, P.E. PHONE: (919) 661-6351 FAX: (919) 661-6350

SURVEYING FIRM: SMW ENGINEERING GROUP, INC 158 BUSINESS CENTER DR, BIRMINGHAM, AL 35244 CONTACT: DAVID MCKINNEY PHONE: (205) 252-6985

APPLICANT/LESSEE CONTACTS: SBA COMMUNICATIONS CORPORATION DWAYNE LYERLY - (919) 803-3427 EXT 104

POWER COMPANY: DUKE ENERGY CUSTOMER SERVICE PHONE: (740) 547-3000

TELCO COMPANY: AT&T CUSTOMER SERVICE PHONE: (800) 288-2020

ELECTRICAL ENGINEER: TOWER ENGINEERING PROFESSIONALS, INC. 226 TRYON ROAD, RALEIGH, NC 27603 CONTACT: GRAHAM M. ANDRES, P.E. PHONE: (919) 661-6351 FAX: (919) 661-6350





N-1         ABBREVIATIONS & SYMBOLS         2           N-2         GENERAL NOTES I         2           N-3         GENERAL NOTES I         2           N-3         GENERAL NOTES I         2           C-1         SITE PLAN         5           C-1         SITE PLAN         5           C-1         SITE PLAN         5           C-2         COMPOUND DETAIL         5           C-3         TOWER ELEVATION         2           C-4         RADING PLAN         2           C-5         EROSION CONTROL DETAILS         2           C-6         ICE BRIOGE DETAILS         2           C-7         PROPOSED FENCE DETAILS         3           E-1         ELECTRICAL LOGEND         2           E-2         ELECTRICAL LOGEND         2           E-3         GROUNDING DETAILS I         2           C-4         GROUNDING DETAILS I         2           E-4         GROUNDING DETAILS I         2           E-4         GROUNDING DETAILS I         2           C-5         GROUNDING DETAILS II         2           C-6         SCANACTORA LESON         326 TRYON ROAD           RAUGOND         DATE         3	24					
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N=1         ABBREVATIONS & SYMBOLS         2           N=2         CRERAL NOTES I         2           N=3         CREAR NOTES I         2           C-1         SITE PLAN         5           C-2         COMPOND BETAIL         5           C-3         TOWER ELEVATION         2           C-4         GROUND DETAILS         2           C-5         EROSION CONTROL DETAILS         2           C-4         GROUND DETAILS         2           C-5         EROSION CONTROL DETAILS         2           C-6         IECENTICAL NOTES         2           C-7         PROPOSALLES         2           C-8         SIGNAGE DETAILS         2           C-9         GROUNDING DETAILS I         2           C-1         GROUNDING DETAILS I         2           C-2         GROUNDING DETAILS I         2           C-3         GROUNDING DETAILS I         2           C-4         GROUNDING DETAILS I         2           C-5         GROUNDING DETAILS I         2	T-1	TITLE SHEET	-	5		
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AND       DURLANE, NUTLES 1       2         C-1       STE LAYOUT       5         C-2       COMPOUND DETAIL       5         C-3       TOWER ELEVATION       2         C-4       BRADING PLAN       2         C-5       EROSION CONTROL, DETAILS 1       2         C-6       LEE BRIDGE DETAILS       2         C-7       PROPOSED FENCE DETAILS       2         C-8       SIGNAGE DETAILS 1       2         C-7       PROPOSED FENCE DETAILS       2         C-8       GROUNDING DETAILS 1       2         C-1       APPENDIX - HYDRAMAX INSTALLATION GUIDE       1         APPENDIX - HYDRAMAX INSTALLATION GUIDE       1       2         APPENDIX - HYDRAMAX INSTALLATION GUIDE       1       2         APPENDIX - HYDRAMAX INSTALLATION GUIDE       1       2         MILEGENER       DATE       326 TRYON ROAD         ROVEND       DATE       327 TONE ENGINEENING PROFESSIONALS         S20100000       DATE       328 TRYON ROAD         ROVENTY       DATE       DATE         SWAT       DATE       DATE         SWAT       DATE       SUMAL         SWAT       DATE       SUMAL	N-2	GENERAL NOTES I		2		
2-14         SITE LAYOUT         S           C-2         COMPOUND DETAIL         5           C-3         TOWER LEVATION         2           C-4         DRADING PLAN         2           C-5         EREDINON CONTROL DETAILS         2           C-7         PROPOSED FENCE DETAILS         2 <td>N-3</td> <td>GENERAL NOTES II</td> <td></td> <td>2</td> <td>OFFICE: (561) 226-9332</td> <td></td>	N-3	GENERAL NOTES II		2	OFFICE: (561) 226-9332	
C-1A       STE       LATOUT       5         C-2       COMPOUND DETAIL       5         C-3       TOWER LEEVATION       2         C-4       BRADING PLAN       2         C-5       EROSION CONTROL DETAILS       2         C-6       LEE BRIDGE DETAILS       2         C-7       PROPOSED FENCE DETAILS       2         C-8       GORUNDING DETAILS I       2         C-1       APPENDIX - HYDRAMAX INSTALLATION GUIDE       1         C-2       COUNDING DETAILS II       2         C-3       GORUNDING DETAILS II       2         C-4       GRAHAM M       20039         OFFICE (919 661-6351       WW. Epgroup.pat         SEAL       SEAL       Sequember 14, 201         DORTINGCION       DATE       DATE         SWAT       DATE       SUMAL         SWAT       DATE       SUMAL         SHEET TUTLES SUMAL ARE TOR NE CON	C-1	SITE PLAN		5	PRO IECT INFORMATION:	
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C-5         EROSION CONTROL DETAILS 1         2           C-6         ICC BRIDGE DETAILS         2           C-7         PROPOSED FENCE DETAILS         2           C-8         SIGNAGE DETAILS         2           C-8         SIGNAGE DETAILS         2           C-9         ROPOSED FENCE DETAILS         2           C-9         ROPOSED FENCE DETAILS         2           C-9         ROPOSED FENCE DETAILS         2           C-9         ROPOSED LECERIDE RAND         2           C-1         APPENDIX - HYDRAMAX INSTALLATION CUIDE         2           -         APPENDIX - HYDRAMAX INSTALLATION CUIDE         -           -         APPENDIX - MYDRAMAX INSTALLATION CUIDE         -           -         APPENDIX - MYDRAMAX INSTALLATION CUIDE         -           -	C-3	TOWER ELEVATION		2	(KY02128)	
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U-B         BLE BRUNE DETAILS         2           C-7         ROPORDS FENCE DETAILS         2           C-8         SIGNAGE DETAILS         2           C-8         SIGNAGE DETAILS         2           C-8         SIGNAGE DETAILS         2           C-8         SIGNAGE DETAILS         2           C-8         GROUNDING DETAILS I         2           C-9         ROPORDING DETAILS II         2           -         APPENDIX - HYDRAMAX INSTALLATION GUIDE         -           -         -         APPENDIX - HYDRAMAX INSTALLATION GUIDE         -           -         -         -         -           -         -         -         -           -         -         -         -           -         -         -         -           -         -         -         -           -         -         -         -           -         -         -         -           -         -         -         -           -         -         -         -           -         -         -         -           -         -         -         -	C-5	EROSION CONTROL DETAILS I		2		
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E-2         ELECTRICAL LEGEND         2           E-3         GROUNDING DETALS I         2           E-4         GROUNDING DETALS I         2           E-5         GROUNDING DETALS II         2           E-6         GROUNDING DETALS II         2           Image: Standard S	C-8	SIGNAGE DETAILS		3		
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E-4         GROUNDING DETAILS I         2           -         APPENDIX - HYDRAMAX INSTALLATION GUIDE         -           -         -         -         -           -         APPENDIX - HYDRAMAX INSTALLATION GUIDE         -           -         -         -         -           -         -         -         -         -           -         -         -         -         -           -         -         -         -         -           -         -         -         -         -           -         -         -         -         -           -         -         -         -         -           -         -         -         -         -           -         -         -         -         -           -         -         -         -         -           -         -         -         -         -           -         -         -         -         -           -         -         -         -         -           -         -         -         -         -           -         -	E-2	ELECTRICAL LEGEND		2	A A	
E-5       GROUNDING DETAILS II       2         _       APPENDIX - HYDRAMAX INSTALLATION GUIDE       -         _		GROUNDING PLAN		2		
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326 TRYON ROAD         RALEIGH, NC 27603         OFFICE (9) 961-6351         WWW.lepgroup.pet         SEAL         ANDORE         ANDORE         ROPERTY         DATE         CONSTRUCTION         DATE         SMAL         DATE         CONSTRUCTION         DATE         CONSTRUCTION         DATE         CONSTRUCTION         DATE         SMAL         DATE         DATE         SONSTRUCTION         DATE         SUBUCTION         DIG - DRILL - BLAST         B00-752-6007         DR         B11         KENTUCKY ONE CALL SYSTEM, INC.         THE WORK AND RESONSHOW NOR THE CONTRACTORS CONVENENCE         SHEET TUTLE:         TITLE SHEET	-	APPENDIX - HYDRAMAX INSTALLATION G	UIDE	-		
326 TRYON ROAD         RALEIGH, NC 27603         OFFICE (9) 961-6351         WWW.lepgroup.pet         SEAL         ANDORE         ANDORE         ROPERTY         DATE         CONSTRUCTION         DATE         SMAL         DATE         CONSTRUCTION         DATE         CONSTRUCTION         DATE         CONSTRUCTION         DATE         SMAL         DATE         DATE         SONSTRUCTION         DATE         SUBUCTION         DIG - DRILL - BLAST         B00-752-6007         DR         B11         KENTUCKY ONE CALL SYSTEM, INC.         THE WORK AND RESONSHOW NOR THE CONTRACTORS CONVENENCE         SHEET TUTLE:         TITLE SHEET					ALC: NO	
326 TRYON ROAD         RALEIGH, NC 27603         OFFICE (9) 961-6351         WWW.lepgroup.pet         SEAL         ANDORE         ANDORE         ROPERTY         DATE         CONSTRUCTION         DATE         SMAL         DATE         CONSTRUCTION         DATE         CONSTRUCTION         DATE         CONSTRUCTION         DATE         SMAL         DATE         DATE         SONSTRUCTION         DATE         SUBUCTION         DIG - DRILL - BLAST         B00-752-6007         DR         B11         KENTUCKY ONE CALL SYSTEM, INC.         THE WORK AND RESONSHOW NOR THE CONTRACTORS CONVENENCE         SHEET TUTLE:         TITLE SHEET						
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	APPROVA
LANDLORD	
PROPERTY	
CONSTRUCTION	
RSM	
TENANT	
ZONING	



# **ABBREVIATIONS:**

SIM

SS

STL

STOR

SUSP

SWBO

THK

TMA

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TS

TYP

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VCT

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R

HORIZ

AB	ANCHOR BOLT
AC	ASPHALTIC CONCRETE
A/C	AIR CONDITIONING
ADJ	ADJUSTABLE
A.F.F.	ABOVE FINISH FLOOR
ARCH	ARCHITECTURAL
APPROX	APPROXIMATELY
A.G.L.	ABOVE GRADE LEVEL
A.M.S.L.	ABOVE MEAN SEA LEVEL
BD	BOARD
BLDG	BUILDING
BLKG	BLOCKING
BOT BSMT	BOTTOM
BTS	BASEMENT BASE TRANSCEIVER
815	STATION
С	COURSE(S)
CEM	CEMENT
CL	CHAIN LINK
CLG	CEILING
CLR	CLEAR
COL	COLUMN
CONC	CONCRETE
CONST	CONSTRUCTION
CONT	CONTINUOUS
CORR	CORRIDOR
CO	CONDUIT ONLY
DIA	DIAMETER
DBL	DOUBLE
DEPT	DEPARTMENT
DEMO	DEMOLITION
DIM	DIMENSION
DN	DOWN
DR	DOOR
DTL	DETAIL
DWG	DRAWING
(E)	EXISTING
EA	EACH
ELEC	ELECTRIC
ELEV	ELEVATION
EQUIP	EQUIPMENT
EXP	EXPANSION
EXT	EXTERIOR
FA	FIRE ALARM
FB	FLAT BAR
FF	FINISH FLOOR
FH	FLAT HEAD
FIN	FINISH(ED)
FLR	FLOOR
FOS	FACE OF STUDS
FS	FINISH SURFACE
FT	FOOT, FEET
FTG	FOOTING
FW	FINISH WALL
F.G.	FINISH GRADE
FUT	FUTURE
GA	GAUGE
GALV	GALVANIZED
GL	GLASS

.

GRADE
GYPSUM
GROUND FAULT CIRCUIT
INTERRUPT
GROUND
HOLLOW CORE
HARDWARE
HEATER
HOLLOW METAL
HORIZONTAL
HOUR
HEIGHT
HIGH VOLTAGE
INSIDE DIMENSION
INSULATION
INTERIOR
JOINT
LAMINATED
POUNDS
LIGHT
LIGHTNING ARRESTOR
LOW NOISE AMPLIFIER
MANUFACTURER
MATERIAL
MAXIMUM
MECHANICAL
MINIMUM
MISCELLANEOUS
METAL LATH
MASONRY OPENING
MACHINE SCREW
MOUNTED
METAL
NEW
NOT IN CONTRACT
NUMBER
NOT TO SCALE
OVERHEAD
OVERALL
ON CENTER
OPENING
OPPOSITE
PARTITION
PLATE
PLASTER
PLYWOOD
POINT OF CONNECTION
PROPERTY
PRESSURE TREATED
RISER
REQUIRED
ROOF DRAIN
ROOM
ROOMS
ROUGH OPENING
SOLID CORE
SCHEDULE
SECTION
SHEET
an tala I

SIMILAR
SPECIFICATIONS
STAINLESS STEEL
STEEL
STORAGE
STRUCTURAL
SUSPENDED
SWITCH
SWITCHBOARD
THICK
TENANT IMPROVEMENT
TOWER MOUNTED AMPLIFIER
TOP OF SURFACE
TUBE STEEL
TYPICAL
UNDERGROUND
UNLESS NOTED
OTHERWISE
VINYL COMPOSITION
TILE
VERTICAL
VERIFY IN FIELD
VERTICAL GRAIN
WITH
WOOD
WATER RESISTANT
WEIGHT
TRANSFORMER
AT
CHANNEL
CENTERLINE
ANGLE
PROPERTY LINE



- SECTION NUMBER

SYMBOLS:

-x--

- 0 ----

M

-SAN-

- WI --

-NG-

书

- SHEET NUMBER

ELEVATION VIEW REFERENCE

 KEY NOTE REFERENCE (101) DOOR NUMBER

101 AREA AND/OR ROOM NUMBER

A MECHANICAL UNIT

UTILITY POLE

WORK POINT

# REVISION OR CONTROL POINT

(REFERENCE POINT) (ELEVATION)

ELEVATION REFERENCE

# **ABBREVIATIONS & SYMBOLS**

SCALE: N.T.S.



## **GENERAL NOTES:**

- ALL REFERENCES MADE TO OWNER IN THESE DOCUMENTS SHALL BE CONSIDERED SBA COMMUNICATIONS OR IT'S DESIGNATED REPRESENTATIVE.
- 2. ALL WORK PRESENTED ON THESE DRAWINGS MUST BE COMPLETED BY THE CONTRACTOR UNLESS NOTED OTHERWISE. THE CONTRACTOR MUST HAVE CONSIDERABLE EXPERIENCE IN PERFORMANCE OF WORK SIMILAR TO THAT DESCRIBED HEREIN. BY ACCEPTANCE OF THIS ASSIGNMENT, THE CONTRACTOR IS ATTESTING THAT HE DOES HAVE SUFFICIENT EXPERIENCE AND ABILITY, THAT HE IS KNOWLEDGEABLE OF THE WORK TO BE PERFORMED AND THAT HE IS PROPERLY LICENSED AND PROPERLY REGISTERED TO DO THIS WORK IN THE STATE OF KENTUCKY.
- WORK SHALL BE COMPLETED IN ACCORDANCE WITH TIA/EIA-222-G STRUCTURAL STANDARDS FOR STEEL ANTENNA TOWERS AND ANTENNA SUPPORTING STRUCTURES, ASCE 7-05 MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES AND THE KENTUCKY BUILDING CODE, 2013 EDITION.
- 4. UNLESS SHOWN OR NOTED OTHERWISE ON THE CONTRACT DRAWINGS, OR IN THE SPECIFICATIONS, THE FOLLOWING NOTES SHALL APPLY TO THE MATERIALS LISTED HEREIN, AND TO THE PROCEDURES TO BE USED ON THIS PROJECT.
- 5. ALL HARDWARE ASSEMBLY MANUFACTURER'S INSTRUCTIONS SHALL BE FOLLOWED EXACTLY AND SHALL SUPERSEDE ANY CONFLICTING NOTES ENCLOSED HEREIN.
- 6. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE ERECTION PROCEDURE AND SEQUENCE TO INSURE THE SAFETY OF THE STRUCTURE AND IT'S COMPONENT PARTS DURING ERECTION AND/OR FIELD MODIFICATIONS. THIS INCLUDES, BUT IS NOT LIMITED TO, THE ADDITION OF TEMPORARY BRACING, GUYS OR TIE DOWNS THAT MAY BE NECESSARY. SUCH MATERIAL SHALL BE REMOVED AND SHALL REMAIN THE PROPERTY OF THE CONTRACTOR AFTER THE COMPLETION OF THE PROJECT.
- 7. ALL DIMENSIONS, ELEVATIONS, AND EXISTING CONDITIONS SHOWN ON THE DRAWINGS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO BEGINNING ANY MATERIALS ORDERING, FABRICATION OR CONSTRUCTION WORK ON THIS PROJECT. CONTRACTOR SHALL NOT SCALE CONTRACT DRAWINGS IN LIEU OF FIELD VERIFICATION. ANY DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND THE OWNER'S ENGINEER. THE DISCREPANCIES MUST BE RESOLVED BEFORE THE CONTRACTOR IS TO PROCEED WITH THE WORK. THE CONTRACT DOCUMENTS DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES. OBSERVATION VISITS TO THE SITE BY THE OWNER AND/OR THE ENGINEER SHALL NOT INCLUDE INSPECTION OF THE PROTECTIVE MEASURES OR THE PROCEDURES.
- 8. ALL MATERIALS AND EQUIPMENT FURNISHED SHALL BE NEW AND OF GOOD QUALITY, FREE FROM FAULTS AND DEFECTS AND IN CONFORMANCE WITH THE CONTRACT DOCUMENTS. ANY AND ALL SUBSTITUTIONS MUST BE PROPERLY APPROVED AND AUTHORIZED IN WRITING BY THE OWNER AND ENGINEER PRIOR TO INSTALLATION. THE CONTRACTOR SHALL FURNISH SATISFACTORY EVIDENCE AS TO THE KIND AND QUALITY OF THE MATERIALS AND EQUIPMENT BEING SUBSTITUTED.
- 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING, AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR INSURING THAT THIS PROJECT AND RELATED WORK COMPLIES WITH ALL APPLICABLE LOCAL, PROVINCIAL, AND FEDERAL SAFETY CODES AND REGULATIONS GOVERNING THIS WORK.
- 10. ACCESS TO THE PROPOSED WORK SITE MAY BE RESTRICTED. THE CONTRACTOR SHALL COORDINATE INTENDED CONSTRUCTION ACTIVITY, INCLUDING WORK SCHEDULE AND MATERIALS ACCESS, WITH THE SBA PROJECT MANAGER.
- 11. BILL OF MATERIALS AND PART NUMBERS LISTED ON CONSTRUCTION DRAWINGS ARE INTENDED TO AID CONTRACTOR/OWNER. CONTRACTOR/OWNER SHALL VERIFY PARTS AND QUANTITIES WITH MANUFACTURER PRIOR TO BIDDING AND/OR ORDERING MATERIALS.
- 12. THE CONTRACTOR SHALL REWORK (DRY, SCARIFY, ETC.) ALL MATERIAL NOT SUITABLE FOR SUBGRADE IN ITS PRESENT STATE. AFTER REWORKING, IF THE MATERIAL REMAINS UNSUITABLE, THE CONTRACTOR SHALL UNDERCUT THIS MATERIAL AND REPLACE WITH APPROVED MATERIAL. ALL SUBGRADES SHALL BE PROOF-ROLLED WITH A FULLY LOADED TANDEM AXLE DUMP TRUCK PRIOR TO PAVING. ANY SOFT MATERIAL SHALL BE REWORKED OR REPLACED.
- 13. THE CONTRACTOR IS REQUIRED TO MAINTAIN ALL PIPES, DITCHES, AND OTHER DRAINAGE STRUCTURES FREE FROM OBSTRUCTION UNTIL WORK IS ACCEPTED BY THE OWNER. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGES CAUSED BY FAILURE TO MAINTAIN DRAINAGE STRUCTURE IN OPERABLE CONDITION.
- 14. ALL MATERIALS AND WORKMANSHIP SHALL BE WARRANTED FOR ONE YEAR FROM ACCEPTANCE DATE.
- 15. ALL BUILDING/TOWER DIMENSIONS SHALL BE VERIFIED WITH THE PLANS (LATEST REVISION) PRIOR TO COMMENCING CONSTRUCTION. NOTIFY THE ENGINEER IMMEDIATELY IF ANY DISCREPANCIES ARE DISCOVERED. THE OWNER SHALL HAVE A SET OF APPROVED PLANS AVAILABLE AT THE SITE AT ALL TIMES WHILE WORK IS BEING PERFORMED. A DESIGNATED RESPONSIBLE EMPLOYEE SHALL BE AVAILABLE FOR CONTACT BY GOVERNING AGENCY INSPECTORS.
- 16. ANY BUILDINGS ON THIS SITE ARE INTENDED TO SHELTER EQUIPMENT WHICH WILL ONLY BE PERIODICALLY MAINTAINED, AND ARE NOT INTENDED FOR HUMAN OCCUPANCY.
- 17. TEMPORARY FACILITIES FOR PROTECTION OF TOOLS AND EQUIPMENT SHALL CONFORM TO LOCAL REGULATIONS AND SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- RENTAL CHARGES, SAFETY, PROTECTION AND MAINTENANCE OF RENTED EQUIPMENT SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- 19. THE CONTRACTOR AND ITS SUBCONTRACTORS SHALL CARRY LIABILITY INSURANCE IN THE AMOUNTS AND FORM IN ACCORDANCE WITH GLOBALIVE SPECIFICATIONS. CERTIFICATES DEMONSTRATING PROOF OF COVERAGE SHALL BE PROVIDED TO GLOBALIVE PRIOR TO THE START OF THE WORK ON THE PROJECT.

- 20. THESE DOCUMENTS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY, SAFETY, CARE OF ADJACENT PROPERTIES, AND COMPLIANCE WITH PROVINCIAL AND FEDERAL REGULATIONS REGARDING SAFETY, SHALL BE THE CONTRACTOR'S RESPONSIBILITY, AND THIS, PER THE INTERNATIONAL CODE REGULATORS RESPECTING OCCUPATIONAL SAFETY & HEALTH THE SUCCESSFUL CONTRACTOR WILL SUBMIT HIT SAFETY MANUAL AT THE PROJECT SITE.
- 21. THE CONTRACTOR SHALL CONTACT ALL APPLICABLE UTILITY SERVICES TO VERIFY LOCATIONS OF EXISTING UTILITIES AND REQUIREMENTS FOR NEW UTILITY CONNECTIONS PRIOR TO EXCAVATING.
- 22. THE CONTRACTOR SHALL MAINTAIN THE JOB CLEAR OF TRASH AND DEBRIS. ALL WASTE MATERIALS SHALL BE REMOVED FROM THE SITE PRIOR TO SUBSTANTIAL COMPLETION AND PRIOR TO FINAL ACCEPTANCE. THE CONTRACTOR SHALL FURNISH ONE 55 GALLON BARREL, AND TRASH BAGS, AND SHALL REMOVE TRASH, DEBRIS, ETC., ON A DAILY BASIS.
- 23. COSTS FOR BUILDING PERMITS, LANDFILL TAXES, USE TAXES, SALES TAXES AND OTHER CHARGES RELATIVE TO CONSTRUCTION OF THIS PROJECT SHALL BE INCLUDED IN THE CONTRACT PRICE.
- 24. THE CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH ALL CONDITIONS PRIOR TO SUBMITTING HIS PROPOSAL. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS WITH THOSE AT THE SITE. ANY VARIATION WHICH REQUIRES PHYSICAL CHANGE SHALL BE BROUGHT TO THE ATTENTION OF THE SBA PROJECT ENGINEER FOR FACILITIES/CONSTRUCTION.
- 25. THE CONTRACTOR SHALL GUARANTEE THE WORK PERFORMED ON THE PROJECT BY THE CONTRACTOR AND ANY OR ALL OF THE SUBCONTRACTORS WHO PERFORMED WORK FOR THE CONTRACTOR ON THIS PROJECT. THE GUARANTEE SHALL BE FOR A FULL YEAR FOLLOWING ISSUANCE OF THE FINAL PAYMENT OF HOLDBACK.
- 26. AWARDED CONTRACTOR WILL BE REQUIRED TO SIGN AND RETURN A COPY OF AN AWARD LETTER FOR SBA'S FILE.
- 27. CONTRACTOR WILL BE REQUIRED TO PROVIDE PROOF OF LICENSE TO PERFORM WORK IN JURISDICTION AT TIME OF BID AWARD.
- 28. CONTRACTOR WILL PROVIDE A CONSTRUCTION SCHEDULE PRIOR TO CONSTRUCTION STARTING AND WILL PROVIDE UPDATE/CHANGES (WITH EXPLANATIONS) TO THAT SCHEDULE WHEN/IF ITEMS ARE DELAYED OR PUSHED OUT.
- 29. CONTRACTOR WILL BE RESPONSIBLE TO PROVIDE SBA PROJECT MANAGERS WITH PHOTOS OF THE MAJOR CONSTRUCTION MILESTONES AS THEY OCCUR.
- 30. CONTRACTOR WILL BE RESPONSIBLE TO ASSIST IN COORDINATING AND OBTAINING PRIMARY POWER TO THE SITE PRIOR TO TOWER ERECTION BEFORE PROJECT COMPLETION. (ON SITE VISITS WITH UTILITY COMPANY REPRESENTATIVES AS NECESSARY, ETC...)
- 31. CONTRACTOR SHOULD BE PREPARED FOR RANDOM SBA SAFETY INSPECTIONS AT ALL TIMES.
- 32. CONTRACTOR IS EXPECTED TO MAINTAIN PROPER WORKING CONDITIONS AND PROCEDURES PER KENTUCKY STANDARDS AT ALL TIMES.
- 33. CONTRACTOR WILL BE REQUIRED TO OBTAIN THE NECESSARY ELECTRICAL PERMITS AND INSPECTIONS AS REQUIRED BY JURISDICTION.
- 34. CONTRACTOR IS EXPECTED TO CLOSE-OUT THE JOB SITE AS QUICKLY AS POSSIBLE (OBTAINING A CERTIFICATE OF OCCUPANCY AS REQUIRED BY LOCAL MUNICIPALITY AND GETTING SBA'S REGIONAL SITE MANAGER'S SIGN-OFF/CHECKLIST APPROVAL ON THE SITE).
- 35. CONTRACTOR WILL PROVIDE A COMPLETED TOWER HEIGHT VERIFICATION FORM AND TAPE DROP WITHIN 24 HOURS OF REACHING OVERALL HEIGHT.
- 36. CONTRACTOR WILL UTILIZE ALL OF THE SBA PROVIDED DOCUMENTATION INCLUDING BUT NOT LIMITED TO: TOWER CONSTRUCTION ACCEPTANCE CHECKLIST, CONSTRUCTION SCHEDULE, CONSTRUCTION CLOSE-OUT LIST & TOWER HEIGHT VERIFICATION.
- 37. CONTRACTOR IS RESPONSIBLE FOR CONCRETE COMPRESSION TESTING.
- 38. CONTRACTOR IS RESPONSIBLE FOR GROUND MEG TESTING AND PROVIDING PROOF OF RESULT.
- 39. WHEN REQUESTED, PROVIDE 3 COPIES OF FABRICATION AND ERECTION DRAWINGS PRIOR TO FABRICATION. ALLOW UP TO 1 WEEK FOR REVIEW BY CONSULTANT.
- 40. IN ADDITION TO CONTRACTOR'S QUALITY CONTROL PROGRAM, INDEPENDENT TESTING AND INSPECTION MAY BE PERFORMED BY OWNER OR OWNER'S REPRESENTATIVE.
- 41. SUBMIT RED-LINES COPY OF CONSTRUCTION DRAWINGS UPON COMPLETION OF CONSTRUCTION HIGHLIGHTING CHANGES IN THE STAMPED AND SIGNED AS-BUILT CONDITION FROM SHOWN ON THE DRAWINGS.
- 42. CONTRACTOR WILL BE RESPONSIBLE FOR ALL GRADING AND FILL COMPACTION TESTING REQUIRED AS SET FORTH IN THE GEO TECHNOLOGICAL REPORT PROVIDED BY OWNER.

# CONCRETE:

- 1. ALL CONCRETE AND CONCRETE MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF KENTUCKY BUILDING CODE, 2013 EDITION.
- 2. THE CONTRACTOR SHALL TAKE SAMPLES OF THE CONCRETE POURED UNDER THE CONDITIONS OUTLINED IN THE KENTUCKY BUILDING CODE, 2013 EDITION.
- 3. ANY FAILURE OF A CONCRETE TEST CYLINDER TO MEET THE SPECIFIED STRENGTH REQUIREMENTS MUST BE REPORTED TO THE DESIGN ENGINEER IMMEDIATELY. CORRECTIVE ACTION MUST BE APPROVED BY THE ENGINEER AND ALL RELATED COSTS SHALL BE AT THE CONTRACTOR'S EXPENSE.





## CONCRETE (CONTINUED):

- 4. THE MINIMUM 28-DAY COMPRESSIVE STRENGTH OF THE CONCRETE SHALL BE A MINIMUM OF 30 MPA, EXCEPT AS NOTED OR DIRECTED IN THE SOIL REPORT. THE CONCRETE, WHEN POURED, SHALL CONTAIN 7% AIR ENTRAINMENT WITH AN ALLOWABLE VARIATION OF +2%.
- CONTRACTOR MUST TAKE SLUMP TEST AT LEAST ONCE FROM EACH TRANSIT MIXER AFTER A MINIMUM OF 5% CONCRETE LOAD HAD BEEN DISCHARGED. SLUMP, UNLESS NOTED OTHERWISE ON THE DRAWINGS, SHALL BE 75 MM.
- 6. MIXED CONCRETE ON SITE (REMOTE AREAS) WITH THE CORRECT PROPORTION OF CEMENT, SAND, GRAVEL, AND AIR-ENTRAINING AGENT ALREADY ADDED, THE DRY PREMIX IS TO BE MIXED IN A CONCRETE BATCHER IN STRICT ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
- 7. BEFORE POURING CONCRETE, THE TRANPORTING EQUIPMENT AND FORMS SHALL BE CLEANED AND ALL DEBRIS AND ICE SHALL BE REMOVED FROM PLACES TO BE OCCUPIED BY THE CONCRETE. ANY WATER THAT HAS ACCUMALATED IN THE FORMS SHALL BE REMOVED.
- 8. ALL CONCRETE SHALL BE VIBRATED AND WORKED AROUND THE REINFORCEMENTS, EMBEDDED FIXTURES AND INTO THE CORNERS OF THE FORMS. ANY EXCESS WATER THAT ACCUMALATES WHILE THE CONCRETE IS BEING POURED SHALL BE REMOVED.
- 9. THE DESIGN ENGINEER SHALL RECEIVE A MINIMUM OF 24 HOURS NOTICE OF EVERY POUR.
- 10. THE CONCRETE IN FOUNDATIONS MUST BE POURED IN CONTINOUS POURS BETWEEN CONSTRUCTION JOINTS. NO CONSTRUCTION JOINTS OTHER THAN THOSE SHOWN ON SITE SPECIFIC DRAWINGS WILL BE PERMITTED. THE CONTRACTOR SHALL PROVIDE EFFICIENT EQUIPMENT TO COMPLETE THE POURING OF EACH SECTION IN ONE CONTINOUS POUR.
- 11. ALL FRAMEWORK SHALL BE BUILT IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE SHALL BE THOROUGHLY BRACED AND PLUMBED SO THAT THE FINISHED CONCRETE WILL CONFORM TO THE SHAPES, LINES, GRADES, AND DIMENSIONS INDICATED ON THE SITE DRAWINGS.
- 12. FORMS AND SHORING SHALL NOT BE REMOVED UNTIL THE CONCRETE IS ADEQUATELY SET. THEIR REMOVAL SHALL BE DONE IN SUCH A MANNER AS TO ENSURE THE COMPLETE SAFETY OF THE STRUCTURE.
- 13. FORMS WHICH SUPPORT THE WEIGHT OF THE CONCRETE, OR OF SUPERIMPOSED LOADS, SHALL NOT BE REMOVED UNTIL THE CONCRETE IS STRONG ENOUGH TO CARRY ITS OWN WEIGHT, AND SUCH SUPERIMPOSED LOADS AS MAY BE PLACED UPON IT.
- 14. THE CONCRETE SHALL BE MAINTAINED IN A MOIST CONDITION FOR AT LEAST 5 DAYS AFTER IT HAS BEEN POURED.
- 15. ALL SURFACES WHICH ARE NOT PROTECTED BY FORMS OR A SEALED WATERPROOF COATING SHALL BE KEPT MOIST BY CONTINOUS SPRINKLING, OR OTHER MEANS SUCH AS COVERING WITH MOIST SAND, SAWDUST, OR BURLAP.
- 16. WHERE NECESSARY, THE CONCRETE SHALL BE PROTECTED AGAINST THE WEATHER BY A FRAMED HOUSING, TARPAULINS, OR OTHER SUITABLE COVERING.

## **REINFORCING STEEL (REBAR):**

- 1. REINFORCING STEEL SHALL MEET CODE AND BE PLACED ACCORDING TO THE APPLICABLE DRAWINGS. THE MINIMUM THICKNESS OF CONCRETE OVER THE STEEL SHALL BE AT LEAST 3".
- 2. ALL REINFORCEMENTS THAT ARE REQUIRED FOR A DAYS POUR ON CONCRETE SHALL BE SECURELY FIXED IN PLACE IN SUFFICIENT TIME TO PERMIT INSPECTION BEFORE CONCRETING BEGINS.
- 3. THE DESIGN ENGINEER SHALL BE GIVEN 24 HOURS NOTICE BEFORE THE CONCRETE IS TO BE POURED. FAILURE TO COMPLY MAY NECESSITATE, BUT NOT BE LIMITED TO, THE REMOVAL OF THE POURED CONCRETE AT THE CONTRACTOR'S EXPENSE.

## **GROUTING:**

1. WHERE GROUT IS INDICATED ON THE DRAWINGS UNDER STRUCTURAL BASE PLATES, THIS SHALL BE A NON-SHRINK, NON-FERROUS TYPE. METHODS OF MIXING AND PLACING MUST BE IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

# **COLD WEATHER CONCRETING:**

- 1. THE CONTRACTOR SHALL PROVIDE AND HAVE ON THE SITE READY FOR USE, ADEQUATE EQUIPMENT FOR HEATING CONCRETE MATERIALS AND PROTECTING FRESH CONCRETE DURING FREEZING OR NEAR FREEZING WEATHER CONDITIONS, ACCORDING TO THE INTERNATIONAL BUILDING CODE, 2012 EDITION.
- 2. ALL CONCRETE MATERIALS, REBAR, FORMS, FILLERS, AND THE EARTH WITH WHICH THE CONCRETE IS TO COME INTO CONTACT WITH, SHALL BE FREE FROM FROST AND ICE.
- 3. WHENEVER THE SURROUNDING TEMPERATURE IS BELOW 39°F, ALL CONCRETE POURED IN THE FORMS SHALL HAVE A TEMPERATURE OF 68°F FOR 4 DAYS.
- 4. THE HOUSING, COVERING, OR OTHER PROTECTION USED FOR THE CURING SHALL REMAIN IN PLACE AND INTACT FOR AT LEAST 24 HOURS AFTER THE ARTIFICIAL HEATING IS DISCONTINUED.

 SALT, CALCIUM CHLORIDE, OR OTHER CHEMICALS SHALL NOT BE USED IN THE CONCRETE MIX TO PREVENT THE WATER CONTENT FROM FREEZING.

## UTILITIES:

- 1. CONTRACTOR SHALL CONTACT A SUBSURFACE UTILITY LOCATOR FOR LOCATION OF EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. LOCATION OF EXISTING SEWER, WATER LINES, GAS LINES, CONDUITS OR OTHER STRUCTURES ACROSS, UNDERNEATH, OR OTHERWISE ALONG THE LINE OF PROPOSED WORK ARE NOT NECESSARILY SHOWN ON THE PLANS, AND IF SHOWN ARE ONLY APPROXIMATELY CORRECT. CONTRACTOR ASSUMES SOLE RESPONSIBILITY FOR VERIFYING LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES (INCLUDING TEST PITS BY HAND IF NECESSARY) IN AREAS OF CONSTRUCTION PRIOR TO STARTING WORK. CONTACT ENGINEER IMMEDIATELY IF LOCATION OF ELEVATION IS DIFFERENT FROM THAT SHOWN ON THE PLANS, OR IF THERE APPEARS TO BE A CONFLICT.
- 2. CONTRACTOR SHALL COORDINATE ALL UTILITY CONNECTIONS WITH APPROPRIATE UTILITY OWNERS AND CONSTRUCTION MANAGER.
- 3. DAMAGE BY THE CONTRACTOR TO UTILITIES OR PROPERTY OF OTHERS, INCLUDING EXISTING PAVEMENT AND OTHER SURFACES DISTURBED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE REPAIRED TO PRE-CONSTRUCTION CONDITIONS BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE CLIENT. FOR GRASSES AREAS, SEED AND MULCH SHALL BE ACCEPTABLE.
- 4. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER THE REQUIREMENTS FOR AND LIMITS OF OVERHEAD AND/OR UNDERGROUND ELECTRICAL SERVICE.
- 5. THE CONTRACTOR SHALL COORDINATE THE LOCATION OF NEW UNDERGROUND TELEPHONE SERVICE WITH THE TELEPHONE UTILITY AND THE OWNER'S REQUIREMENTS.
- 6. ALL UNDERGROUND UTILITIES SHALL BE INSTALLED AND TESTED SATISFACTORY PRIOR TO COMMENCING ANY PAVING OPERATIONS WHERE SUCH UTILITIES ARE WITHIN THE LIMITS OF PAVEMENT.

## **GRADING:**

- THE CONTRACTOR SHALL REWORK (DRY, SCARIFY, ETC...) ALL MATERIAL NOT SUITABLE FOR SUB GRADE IN ITS PRESENT STATE. IF THE MATERIAL, AFTER REWORKING, REMAINS UNSUITABLE THEN THE CONTRACTOR SHALL UNDERCUT THIS MATERIAL AND REPLACE WITH APPROVED MATERIAL AT HIS EXPENSE. ALL SUB GRADES SHALL BE PROOF ROLLED WITH A FULLY LOADED TANDEM AXLE DUMP TRUCK PRIOR TO PAVING. ANY SOFT MATERIAL SHALL BE REWORKED OR REPLACED.
- 2. THE CONTRACTOR IS REQUIRED TO MAINTAIN ALL DITCHES, PIPES, AND OTHER DRAINAGE STRUCTURES FREE FROM OBSTRUCTION UNTIL WORK IS ACCEPTABLE BY THE OWNER. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGES CAUSED BY FAILURE TO MAINTAIN DRAINAGE STRUCTURES IN OPERABLE CONDITION.
- 3. ALL MATERIALS AND WORKMANSHIP SHALL BE WARRANTED FOR ONE (1) YEAR FROM DATE OF ACCEPTANCE.

### **GROUNDING:**

- CONTRACTOR SHALL VERIFY THAT GROUNDING ELECTRODES SHALL BE CONNECTED IN A RING USING #2 SOLID TINNED COPPER WIRE. THE TOP OF THE GROUND RODS AND THE RING CONDUCTOR SHALL BE 2 FEET BELOW FINISHED GRADE. GROUNDING ELECTRODES SHALL BE DRIVEN ON 15'-0" CENTERS (PROVIDE AND INSTALL AS REQUIRED PER TYPICAL GROUNDING PLAN ON SHEET E-3).
- 2. BONDING OF THE GROUNDING CONDUCTOR (NEUTRAL) AND THE GROUNDING CONDUCTOR SHALL BE AT THE SERVICE DISCONNECTING MEANS. BONDING JUMPER SHALL BE INSTALLED PER CSA.
- 3. GROUND RING CONNECTION CONDUCTORS SHALL BE OF EQUAL LENGTH, MATERIAL, AND BONDING TECHNIQUE.
- 4. CONTRACTOR SHALL ENSURE GROUND RING IS WITHIN 12 TO 36 INCHES OF THE EQUIPMENT PAD. PROVIDE AND INSTALL GROUNDING CONNECTIONS SHOWN IN DETAILS AS NEEDED PER EXISTING SITE GROUNDING SYSTEM. CONTRACTOR SHALL VERIFY ALL EXISTING SITE GROUNDING CONDITIONS BEFORE STARTING WORK OR PURCHASING EQUIPMENT.
- 5. BOND CIGBE TO EXTERNAL GROUND RING WITH 2 RUNS OF #2 SOLID TINNED COPPER CONDUCTOR IN PVC. CONNECT BAR END WITH 2 HOLE LUG, AND "CADWELD" THE OTHER END TO THE EXTERNAL GROUND ROD.
- 6. THE PREFERRED LOCATION FOR COAX GROUNDING IS AT THE BASE OF THE TOWER PRIOR TO THE COAX BEND. BONDING IS SHOWN ON THE ICE BRIDGE DUE TO DIFFICULTY WITH WELDING OR ATTACHING TO TOWER LEGS. CONTRACTOR SHALL ADVISE CONSTRUCTION MANAGER PRIOR TO PLACING CIGBE ON ICE BRIDGE IF MOUNTING TO TOWER LEG IS POSSIBLE.
- CONTRACTOR SHALL VERIFY EXISTING GROUNDING BOND TO THE FENCE POST OR EXTERNAL GROUND RING IN AT (2) PLACES. PROVIDE AND INSTALL GROUNDING CONNECTIONS AS REQUIRED TO MEET THESE CONDITIONS.


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3	138-00-00-014	SUNSET CEMETERY	74	147			٩ .
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(16)	138-40-02-027	GORDON, GEORGE JR & LOUISE	-	-	, ,		
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18	138-40-02-029	COFFEE, GLEN ROY	-	-		R	200' OFFSET FR
(19)	138-00-00-016	LAMBERT, CLYDE & JOSEPHINE	-	-		AZX	ACCESS EASEME OTHER EASEMEN STRUCTURES AR
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SCALE: 1" = 200'

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## **TOWER NOTES:**

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- 1. TOWER SHALL BE CONSTRUCTED OF GALVANIZED STEEL OR PAINTED PER APPLICABLE STANDARDS OF THE FAA OR OTHER APPLICABLE FEDERAL OR STATE POLICY.
- 2. A SINGLE SIGN, 2 FEET SQUARE, IN A VISIBLE LOCATION SHALL BE REQUIRED WITH NAME AND EMERGENCY TELEPHONE NUMBER OF THE TOWER OWNER AND ALL COMPANIES OPERATING ON THE TOWER. NO ADVERTISING SHALL BE ATTACHED TO THE TOWER.
- 3. TOWER ELEVATION IS FOR SCHEMATIC PURPOSES ONLY. TEP DOES NOT CONFIRM EXISTING SITE CONDITIONS INCLUDING, BUT NOT LIMITED TO, ANTENNA HEIGHTS, ANTENNA AZIMUTHS AND MOUNT CONFIGURATIONS.
- 4. PROPOSED CABLING TO BE ROUTED INSIDE TOWER USING HOISTING GRIPS.

0'-0"± (REFERENCE) T/ BASEPLATE



# **TOWER ELEVATION**

SCALE: 1" = 20'













## NOTES:

- I. SIGNS TO BE INSTALLED ON COMPOUND FENCE PANEL TO THE LEFT ON THE GATE. NOT ON ACTUAL GATE.
- 2. SIGN ① SHALL BE POSTED AT THE PUBLIC ROW WHERE THE ACCESS TO THE SITE SHALL BE AND ON THE COMPOUND FENCE PANEL TO THE LEFT OF THE GATE.



SIGNAGE DETAILS

SCALE: N.T.S.



## **ELECTRICAL NOTES:**

### SCOPE:

- SHALL INCLUDE ALL LABOR, MATERIALS AND APPLIANCES REQUIRED FOR THE FURNISHING, INSTALLING AND TESTING, COMPLETE AND READY FOR OPERATION OF ALL WORK SHOWN ON THE DRAWING AS SPECIFIED HEREIN:
  - 1. ELECTRIC SERVICE
- 4. MISCELLANEOUS MATERIALS
- 2. CONDUIT AND RACEWAY
- 5. TELEPHONE CONDUITS
- CONDUCTORS
- 6. LIGHTNING ARRESTING SYSTEM

### CODES:

- THE INSTALLATION SHALL COMPLY WITH ALL APPLICABLE LAWS AND CODES. THESE INCLUDE BUT ARE NOT LIMITED TO THE LATEST EDITIONS OF:
  - A. THE NATIONAL ELECTRIC CODE NEC
  - B. LOCAL AND STATE AMENDMENTS
  - C. REGULATIONS OF THE SERVING UTILITY COMPANY
- 2. ALL PERMITS REQUIRED SHALL BE OBTAINED BY THE CONTRACTOR.
- 3. AFTER COMPLETION AND FINAL INSPECTION OF THE WORK, THE OWNER SHALL BE FURNISHED A ESA CERTIFICATE OF COMPLETION AND APPROVAL.

### **TESTING:**

1. UPON COMPLETION OF THE INSTALLATION, OPERATE AND ADJUST ALL EQUIPMENT AND SYSTEMS TO MEET SPECIFIED PERFORMANCE REQUIREMENTS. ALL TESTING SHALL BE DONE BY QUALIFIED PERSONNEL.

### **GUARANTEE:**

1. IN ADDITION TO THE GUARANTEE OF THE EQUIPMENT BY THE MANUFACTURER, EACH PIECE OF EQUIPMENT SPECIFIED HEREIN SHALL ALSO BE GUARANTEED FOR DEFECTS OF MATERIAL OR WORKMANSHIP OCCURRING DURING A PERIOD OF ONE (1) YEAR FROM FINAL ACCEPTANCE OF THE WORK BY THE OWNER. WITHOUT EXPENSE TO THE OWNER ALL WARRANTEE CERTIFICATES & GUARANTEES FURNISHED BY THE MANUFACTURERS SHALL BE TURNED OVER TO THE OWNER.

### **CO-ORDINATION:**

1. CONTRACTOR SHALL COORDINATE ALL WORK WITH THE POWER AND TELEPHONE COMPANIES AND SHALL COMPLY WITH ALL SERVICE REQUIREMENTS OF EACH UTILITY COMPANY.

### **EXAMINATION OF SITE:**

 PRIOR TO BEGINNING WORK, THE CONTRACTOR SHALL VISIT THE SITE OF THE JOB AND SHALL FAMILIARIZE HIMSELF WITH ALL CONDITIONS AFFECTING THE PROPOSED ELECTRICAL INSTALLATION AND SHALL MAKE PROVISIONS AS TO THE COST THEREOF. FAILURE TO COMPLY WITH THE INTENT OF THIS PARAGRAPH WILL IN NO WAY RELIEVE THE CONTRACTOR OF PERFORMING ALL WORK NECESSARY FOR A COMPLETE AND WORKING SYSTEM OR SYSTEMS.

### CUTTING, PATCHING AND EXCAVATION:

- 1. COORDINATION OF ALL SLEEVES, CHASES, ETC., WILL BE REQUIRED PRIOR TO THE CONSTRUCTION OF ANY PORTION OF THE WORK. ALL CUTTING AND PATCHING OF WALLS, PARTITIONS, FLOORS, AND CHASES IN CONCRETE, WOOD, STEEL OR MASONRY SHALL BE DONE AS PROVIDED ON THE DRAWINGS.
- 2. ALL NECESSARY EXCAVATIONS AND BACKFILLING INCIDENTAL TO THE WORK UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWING SHALL BE PROVIDED BY THIS CONTRACTOR.
- 3. SEAL ALL PENETRATION THROUGH WALL AND FLOORS WITH APPROVED GROUT.

### **EXTERIOR CONDUIT:**

1. ALL EXPOSED CONDUIT SHALL BE NEATLY INSTALLED AND RUN PARALLEL OR PERPENDICULAR TO STRUCTURAL ELEMENTS. SUPPORTS AND MOUNTING HARDWARE SHALL BE HOT DIPPED GALVANIZED STEEL.

### **RACEWAYS:**

- 1. ALL CONDUCTORS SHALL BE INSTALLED IN CONDUIT. ALL CONDUIT SHALL BE RIGID STEEL, EMT OR SCH40 PVC AS INDICATED ON THE DRAWINGS.
- 2. WHERE INSTALLED ON EXTERIORS AND EXPOSED TO DAMAGE, ALL CONDUIT SHALL BE RIGID STEEL. ALUMINUM CONDUIT SHALL NOT BE ALLOWED.
- 3. CONCEALED CONDUIT IN WALLS OR INTERIOR SPACES ABOVE GRADE MAY BE EMT.
- 4. UNDERGROUND CONDUITS SHALL BE RIGID STEEL OR SCHEDULE 40 PVC AS INDICATED ON THE DRAWINGS.
- ALL CONDUIT RUNS SHALL USE APPROVED COUPLINGS AND CONNECTORS. PROVIDE INSULATED BUSHING FOR ALL CONDUIT TERMINATIONS. ALL CONDUIT RUNS IN A WET LOCATION SHALL HAVE WATERPROOF FITTINGS.
- 6. PROVIDE SUPPORTS FOR ALL CONDUITS IN ACCORDANCE WITH CEC REQUIREMENTS. ALL CONDUITS SHALL BE SIZED AS REQUIRED BY NEC.
- 7. BURIAL DEPTH OF ALL CONDUITS SHALL BE AS REQUIRED BY CODE FOR EACH SPECIFIC CONDUIT TYPE AND APPLICATION.

8. CONDUIT ROUTES ARE SCHEMATIC. CONTRACTOR SHALL FIELD VERIFY BEFORE BID. COORDINATE ROUTE WITH WIRELESS CARRIER AND BUILDING OWNER.

### EQUIPMENT:

- 1. ALL DISCONNECT SWITCHES SHALL BE SERVICE ENTRANCE RATED, HEAVY DUTY TYPE.
- NEW CIRCUIT BREAKERS SHALL BE RATED TO WITHSTAND THE MAXIMUM AVAILABLE FAULT CURRENT AS DETERMINED BY THE LOCAL UTILITY. CONTRACTOR SHALL VERIFY MAXIMUM AVAILABLE FAULT CURRENT, AND COORDINATE INSTALLATION WITH THE LOCAL UTILITY BEFORE STARTING WORK.

### CONDUCTORS:

- 1. FURNISH AND INSTALL CONDUCTORS CALLED FOR IN THE DRAWINGS. ALL CONDUCTORS SHALL HAVE TYPE THWN (MIN) (75°C) INSULATION, RATED FOR 600 VOLTS.
- 2. ALL CONDUCTORS SHALL BE COPPER, THE USE OF ALUMINUM CONDUCTORS SHALL NOT BE ALLOWED. ALL CONDUCTORS SHALL BE UL LISTED AND SHALL BE PROVIDED AND INSTALLED AS FOLLOWS:
  - A. MINIMUM WIRE SIZE SHALL BE #12 AWG.
  - B. ALL CONDUCTORS SIZE #8 AND LARGER SHALL BE STRANDED. CONDUCTORS SIZED #10 AND SMALLER MAY BE SOLID OR STRANDED.
  - C. CONNECTION FOR #10 AWG AND SMALLER SHALL BE BY TWISTING TIGHT AND INSTALLING INSULATED PRESSURE OR WIRE NUT CONNECTIONS.
  - D. CONNECTION FOR #8 AWG AND LARGER SHALL BE BY USE OF STEEL CRIMP-ON SLEEVES WITH NYLON INSULATOR.
- 3. ALL CONDUCTORS SHALL BE COLOR CODED IN ACCORDANCE WITH CEC STANDARDS.
- 4. THE RACEWAY SYSTEM SHALL BE COMPLETE BEFORE INSTALLING CONDUCTORS

### PENETRATIONS:

1. CONTRACTOR SHALL COMPLY WITH ULC PENETRATION DETAILS FOR PENETRATIONS OF ALL RATED WALLS, ROOF, ETC.



# **ELECTRICAL LEGEND:**

### ABBREVIATIONS:

Α

AFG

ATS

AWG

BCW

BFG

BKR

BTS

C/W

CKT

DISC

EC

EGR

EMT

F/A

FSC

GEN

GPS

GRD

IGB

IGR

KW

MGB

CEC

PCS

PH

PNL

PVC

RBS

REL

RGS

S/C

SES

SW

TGB

U/F

ULC

V

W

WP

XFMR

XMTR

PNLBD

С

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	_	AMPERE	—— E ——	UNDERGROUND ELECTRICAL CONDUIT
	-	ABOVE FINISHED GRADE	T	UNDERGROUND TELEPHONE CONDUIT
		AUTOMATIC TRANSFER SWITCH		UNDERGROUND TELEFITONE CONDON
		AMERICAN WIRE GAUGE	<u>e</u>	KILOWATT-HOUR METER
		BARE COPPER WIRE		UNDERGROUND BONDING AND
		BELOW FINISHED GRADE	-	GROUNDING CONDUCTOR
		BREAKER BASE TRANSCEIVER STATION	•	CADWELD
		CONDUIT	10	GROUND ROD WITH INSPECTION WELL
		COMPLETE WITH		
		CIRCUIT	$\Box$	EXISTING M/W DISH ANTENNA
		DISCONNECT		
	-	EMPTY CONDUIT	$\Box$	FUTURE M/W DISH ANTENNA
	-	EXTERNAL GROUND RING		
	-	ELECTRIC METALLIC TUBING	8	EXISTING ROOF DRAIN
		FIRE ALARM		
		FLEXIBLE STEEL CONDUIT	$\square$	EXISTING ROOF HATCH
		GENERATOR	\$	ACA ADDU CROT CHITCH
		GLOBAL POSITIONING SYSTEM	Þ	15A 120V SPST SWITCH
		ISOLATED GROUND BAR	•	
		INTERIOR GROUND RING (HALO)	Φ	15A 120V DUPLEX RECEPTACLE
		KILOWATTS		120V 10 DIRECT CONNECTION TO
		MAIN GROUND BAR	۵	120V. 10 DIRECT CONNECTION TO EQUIPMENT SUPPLIED BY OTHER DIVISIONS
	-	CANADIAN ELECTRIC CODE	•	
	_	PERSONAL COMMUNICATION SYSTEM	٥	208V. 10 DIRECT CONNECTION TO EQUIPMENT SUPPLIED BY OTHER DIVISIONS
		PHASE		
	-	PANEL	$\cap$	CIRCUIT BREAKER
D	-	PANELBOARD		
		SCH40 RIGID NON-METALLIC CONDUIT		DISCONNECT SWITCH. F DENOTES FUSED
		RADIO BASE STATION		
		RELOCATED		SURFACE MOUNTED PANELBOARD
		RIGID GALVANIZED STEEL CONDUIT	(F)	
		SEPERATE CONDUIT SITE ENGINEERING SPECIFICATIONS	Т	TRANSFORMER
		SWITCH		
		TOWER GROUND BAR	$\Theta$	CHECK METER
		UNFUSED		DEMOTES AND E OR CONSULTIURNING UP
	-	UNDERWRITERS LABORATORIES, CANADA		DENOTES CABLE OR CONDUITTURNING UP
	-	VOLTAGE		
		WATTS	THE PERSON AND A DESCRIPTION OF THE PERSON AND A DESCRIPTION OF THE PERSON AND A DESCRIPTION OF THE PERSON AND A DESCRIPTION AND A DESCRIP	CHANGE IN ELEVATION OF CABLE OR CONDUIT IN PLAN VIEW
	-	WEATHERPROOF		
2	_	TRANSFORMER		DENOTES CABLE OR CONDUITTURNING DOWN
(	-	TRANSMITTER	0	
			۲	GROUND ROD
			ł	LIGHTNING PROTECTION AIR TERMINAL
			—EC—	ETHERNET CABLE
			F	FIBRE CABLE
			—pc—	DC CABLE









# Exhibit D

Structural Design and Foundation Design

1201 S. Sheridan St. South Bend, IN 46619 Phone 800-806-3556 Fax 574-288-5860 E-mail jlambert@nelloinc.com

# Jason Lambert, P.E.

Professional experience	<ul> <li>Responsible for de foundations.</li> </ul>	Nello Corporation <b>Igineering</b> gn of all self-supporting, guyed, esign of all self-supporting, ring functions included design	guyed, and pole							
	02/00 to 08/02	Plymouth, IN								
	Design Engineer									
	<ul> <li>Calculated member capacities for new pipe leg tower line.</li> </ul>									
Education	08/94 to 05/98 BS Civil Engineering	University of Kansas	Lawrence, KS							
	08/98 to 05/00 ME Civil Engineering	Texas A&M University	College Station, TX							
Revietend	06/04 to Present	Posistered in 25 states								

Registered	06/04 to Present	Registered in 35 states
Professional		
Engineer		

# Robert E. Beacom, P.E., S.E.

Senior Design Engineer

Sabre Towers & Poles (Division of Sabre Industries)

Sioux City, IA

# PROFESSIONAL REGISTRATION

## **Registered Professional Engineer or Structural Engineer in 41 states**

- Passed Civil Engineering (P.E.) examination in 2010
- Passed Vertical Component of Structural Engineering (S.E.) examination in 2014
- Passed Lateral Component of Structural Engineering (S.E.) examination in 2015

# PROFESSIONAL EXPERIENCE

## Sabre Industries

9/05 to Present

Sioux City, IA

Senior Design Engineer

- Full responsibility for the design of communication tower and foundations.
- Designed thousands of self-supporting and guyed towers and their foundations (including seismic design, when necessary), for sites in the United States and foreign countries.
- Trained and mentored three entry-level engineers.
- Helped develop spreadsheets to design foundations.

# EDUCATION

## **Iowa State University**

Ames, IA

Bachelor of Science in Civil Engineer, 2005

## 11587 W ATLANTIC BLVD CORAL SPRINGS, FL 954-592-0727.AGRED086@GMAIL.COM

# MAURICIO AGREDO

## TELECOMMUNICATIONS PROJECT MANAGER

- 9 years of wireless/wireline telecommunications experience.
- Improved quality of operations through on-site monitoring and direct supervising.
- Advanced skills with leading knowledge on site development and milestone completion.
- Internal and external resource coordinator for the purpose of streamline operations, functions and support activities.
- Recognized by management for job knowledge, judgment/decision making and adaptability to the industry.

## PROFESSIONAL EXPERIENCE

SBA Communications Corporation, Boca Raton, FL (July 2013 - present)

## **Construction Project Manager-New Tower Development.**

- Successfully managed over 65 new cellphone tower development projects across the US.
- Manage up to 10 sub-contractors working in different new tower builds.
- Order and coordinate utilities to bring power and Telco to raw land sites.
- Quote/ purchase towers from multiple suppliers for new cell site development.
- Interface with customers, subcontractors/ consultants and internal staff members on selected candidate sites within specific geographic areas, which meet engineering and company standards.
- Perform zoning activities and collect required documentation for cellular antennas and communication towers based on municipal codes.
- Obtain all necessary permits needed for tower construction (building/ electrical).
- Handle the RFQ/RFP process for each project.
- Manage the bid call/award/Budgets/PO's/ Job Close Out) procedures for each job.
- Ensure quality construction is being performed within established budget and schedule while retaining customer standards of performance.

Skyhook Telecom, Inc. Coral Springs, FL (August 2011 – July 2012)

## Wireless Construction Manager.

- Direct supervision of electrical, civil and tower crews on multiple cell sites through different markets.
- Involved with the Nokia Siemens-T-Mobile modernization project in the Chicago market.
- Managed all aspects of the Sprint Vision RAN upgrade for over 180 Sprint PCS collocated sites in the FL market.
- In charge of the first and second carrier "4G LTE" equipment installation for over 350 AT&T Wireless sites in the South Florida and North Carolina market.
- Determine materials, labor and construction requirements in order to successfully complete projects.
- Responsible for implementation of company policy for staff supervisors and field personnel required to maintain a safe and clean working environment.
- Direct point of contact with the customer and property owners.
- Review and create spreadsheets in order to track material, job status, personnel to
  present to customers and senior management during daily updates.
- Provide technical know-how to field crews for the installation of RF equipment as well as termination of power connections, Fiber optic and copper communication cable.

Unitek Global Services, Pompano Beach, FL (February 2008 - August 2011)

## Project Manager of the Florida Specialty Services Division.

- Managed Construction Managers and field personnel to accomplish weekly and quarterly goals.
- Developed the specialty services division in order to manage the "Fiber to the Cell Site" project for FPL FiberNet, over 1000 sites for cell phone carriers including: Verizon Wireless, T-Mobile, MetroPCS and Sprint. Exceeding customer forecasted numbers while maintaining an average of 30% GPM.
- Managed the "Florida Fiber Expansion Project" for FPL FiberNet, completing over 30 Riser build outs (Cat5e, Fiber Optic Cable and equipment) in high profile buildings thought Florida.
- Managed all aspects of the "4G Repeater Project" for 45 Sprint/ClearWire to
  optimize their 4G signal inside commercial buildings, malls and Sprint Stores.
- Directed the Hilton HSIA (High Speed Internet Access) project, over 150+ Hotels thought-out the US.
- Review and create spreadsheets in order to track material, job status, personnel and P&L to present to Senior Management and customers in weekly meetings.

2014-2016(expected)

d) Florida Atlantic University

Boca Raton, FL

## **B.B.A** in Management and Marketing.

 Comprehensive course work in Management and Organizational Behavior, Corporate Finance, Communicating Business Information and Operations Management.

2009-2013

Broward College

Coconut Creek, FL

## Associates in Business Administration

- Accomplished coursework in Statistics, Accounting and Economics with emphasis on Business Administration.
- Graduated with a 3.15 GPA.

## SKILLS

- Strong interpersonal, communication and organizational skills
- Solid data collection, analysis and decision-making skills.
- Ability to work simultaneously on multiple tasks with attention to detail and follow up.
- Familiar with internal and external vendor interfaces used for project reporting and forecasting (SharePoint, SRM (Ericsson), CRM, OneVision.
- Fluent in English and Spanish.

Sabre Industries
Towers and Poles

Structural Design Report 150' Monopole Site: Greenup, KY Site Number: KY02128

Prepared for: SBA NETWORK SERVICES INC by: Sabre Towers & Poles TM

Job Number: 131871 Revision A November 9, 2015

Monopole Profile	1
Pole Calculations	2-9



											146' 1.6'' x 12' Elev Description	Tx-Line
											146 (* 112 ) Elev Description @ 50 (180' 300' 150 (1) 200 Sq. Ft. EPA (225 Sq. Ft. Ice EPA)	(12) 1 5/8°
											140 (1) 200 Sq. FL EPA (225 Sq. FL Ice EPA)	(12) 1 5/8"
											138' 1 6' × 12' @ 60' 180' 300' Load Case Reactions	
											Description Axial (kips) Shear (kips) Moment (ft-k) Deflection	n (ft) Sway (deg
											3s Gusted Wind 38.07 34.53 3980.22 15.4	
											3s Gusted Wind 0.9 Dead 28.52 34.45 3900.22 15.0	
	51'-9"										3s Gusted Wind&lee         77.61         4.05         514.94         2.17           Service Loads         31.74         8.59         991.64         3.98	1.72
1	2		5/16		16.5"	28.38"			4270			3.09
											Base Plate Dimensions	
											Shape         Diameter         Thickness         Bolt Circle         Bolt Qty           Round         61.75"         2.25"         56"         14	Bolt Diamete 2.25"
												5.2.3
											Anchor Bolt Dimensions	
											Length         Diameter         Hole Diameter         Weight         Type           84"         2.25"         2.625"         1695.4         A615-75	Finish
												Galv-18"
	1			-0							Notes	
	53'- 6"	18			26.841	39.127	0.2296	A572-65	7494	149	<ul> <li>4) The Monopole was designed for a basic wind speed of 90 my radial ice, and 30 mph with 3/4" of radial ice, in accordance w 222-G, Structure Class II, Exposure Category C, Topographi with a Crest Height of 95'.</li> <li>5) Full Height Step Bolts</li> </ul>	ith ANSI/TIA-
			3/8"	5 6*								
	531 - 3*				37.11*	*6.34			11354		£" : 10.5" x 25.5" ∰ 90" Z70	
											5' 1 10.5' x 25 5' @ 180' 360'	
	Length (II)	Number Of Sides	Thickness (in)	Lap Splice (ft)	Top Diameter (in)	Bottom Diameter (in)	Taper (in/ft)	Grade	Weight (Ibs)	Overall Steel Height (ft)		
1	٢	ž	F	La	Τa	ä	Ta	0	N	ó	Liok	
											Sabre Communications Corporation Job: 131871A	
											Sabre Industries / P.O. Box 658 Customer SBA NETWORK SERVICES INC	
											Towers and Poles Stoux City. IA 51102-0658 Site Name: Graenup, KY KY02128 France (712) 756-0600 Site Name: Graenup, KY KY02128	
											Information contained herein is the vide property of Satze Communications Corporation, constitutes is trade energy as defined by lowa Cude Ch. 550 and analising the reproduced coalist or used in whether is part for any	
											super as any entry of your occur of a bar was not been of a bar of the any open of the	

			1	3187	'1A			
(USA) - Monopole Spatial	Analysis		(c)	201	5	Guyi	mast	Inc.
Tel:(416)736-7453	Fax:(416)736-4372			1	web:ww	w.gu	ymas	t.com
Processed under license	at:							
Sabre Towers and Poles		on:	9	nov	2015	at:	13:	16:50

150' Monopole / Greenup, KY

\* All pole diameters shown on the following pages are across corners. See profile drawing for widths across flats.

POLE GEOMETRY

ELEV	SECTION	No of SIDES	OUTSIDE	THICK -NESS	RESIS *Pn	FANCES	SPLICE	OVERI	AP
ft	in the	52025	in	in	kip	ft-kip	TYPE L	ft	
149.0	•••••			0.312					
	A	18							
101 0				0.312					
101.2			27.88	0.312	2000.1	1112.6			
	A/B	18	78 19	0.375	7477 7	1357 0	SLIP	4.00	1.73
97.2									
	8	18	28.19	0.375	2422.2	1357.0			
				0.375	3313.4	2548.6			
53.2	••••		38.43	0 375	3313 4	2548 6			
	B/C	18					SLIP	5.50	1.7
47 7			38.98	0.375	3348.7	2612.9			
M7./	·····		38.98	0.375	3348.7	2612.9			
	C	18		0.375					
0.0						4025.0			
	SSEMBLY								
ECTION NAME	BASE		TYPE			STH TH	READS IN BASE		ASE
	ft			in			EAR PLAN		_EV ft
A	97.250 47.750	0	A325	0.00	9	2.0		0 97.3	250
В	47.750	0	A325	0.00	9	2.0		0 47.	
С	0.000	0	A325	0.00	9.	2.0		0.0	000
POLE SI	ECTIONS								

NAME	SIDES		* BO1	TOP	NESS	ID	BOI	TOP	GROUN BOT	TOP
		ft	in	in	in	10			001	101
A	18	51.75	28.82	16.75	0.312	1	0	0	0	0
В	18	53.50	39.73	27.25	0.375	2	0	0	0	0
С	18	53.25	50.10	37.68	0.375	3	0	0	0	0

\* - Diameter of circumscribed circle

MATERIAL TYPES

TYPE OF SHAPE	TYPE NO	NO OF ELEM,	OR	IENT	HEIGHT	WIDTH	.THI WEB	CKNESS. FLANGE		ULARITY ECTION. ORIENT
			&	deg	in	in	in	in	AREA	deg
PL PL PL	1 2 3	1 1 1		$0.0 \\ 0.0 \\ 0.0 \\ 0.0$	28.82 39.73 50.10	0.31 0.38 0.38	0.312 0.375 0.375	0.312 0.375 0.375	$0.00 \\ 0.00 \\ 0.00 \\ 0.00$	$0.0 \\ 0.0 \\ 0.0 \\ 0.0$

& - With respect to vertical

MATERIAL	PROPERTIES

MATERIAL	ELASTIC	UNIT	STR	ENGTH	THERMAL
TYPE NO.	MODULUS	WEIGHT	FU	Fy	COEFFICIENT
	KS1	pcf	ksi	ksi	/deg

131871A

1	29000.0	490.0	80.0	65.0	0.00001170
2	29000.0	490.0	80.0	65.0	0.00001170
3	29000.0	490.0	80.0	65.0	0.00001170

\* Only 3 condition(s) shown in full

90 mph wind with no ice. Wind Azimuth: 0.

LC	AD	S	ON	POLE
-				

LOADING CONDITION A

LOAD	ELEV	APPLY LO	ADAT	LOAD	FORC	ES	MOM	ENTS
TYPE		RADIUS	AZI	AZI	HORIZ	DOWN	VERTICAL	TORSNAL
	ft	ft			kip	kip	ft-kip	ft-kip
C	149.000	0.00	0.0	0.0	9.9936	4.8000	0.0000	0.0000
C	147.000	0.00	0.0	0.0	0.0000	2.2015	0.0000	0.0000
C	139.000	0.00	0.0	0.0	0.0000	2.0817	0.0000	0.0000
С	139.000	0.00	0.0	0.0	9.9514	4.8000	0.0000	0.0000
D	149.000	0.00	180.0	0.0	0.0502	0.0732	0.0000	0.0000
D	133.083	0.00	180.0	0.0	0.0502	0.0732	0.0000	0.0000
D	133.083	0.00	180.0	0.0	0.0599	0.0878	0.0000	0.0000
D	117.167	0.00	180.0	0.0	0.0599	0.0878	0.0000	0.0000
D	117.167	0.00	180.0	0.0	0.0699	0.1024	0.0000	0.0000
D	101.250	0.00	180.0	0.0	0.0699	0.1024	0.0000	0.0000
D	101.250	0.00	180.0	0.0	0.0764	0.2427	0.0000	0.0000
D	97.250	0.00	180.0	0.0	0.0764	0.2427	0.0000	0.0000
D	97.250	0.00	180.0	0.0	0.0810	0.1415	0.0000	0.0000
D	82.583	0.00	180.0	0.0	0.0810	0.1415	0.0000	0.0000
D	82.583	0.00	180.0	0.0	0.0916	0.1577	0.0000	0.0000
D	67.917	0.00	180.0	0.0	0.0916	0.1577	0.0000	0.0000
D	67.917	0.00	180.0	0.0	0.1033	0.1738	0.0000	0.0000
D	53.250	0.00	180.0	0.0	0.1033	0.1738	0.0000	0.0000
D	53.250	0.00	180.0	0.0	0,1123	0.3668	0.0000	0.0000
D	47.750	0.00	180.0	0.0	0.1123	0.3668	0.0000	0.0000
D	47.750	0.00	180.0	0.0	0.1185	0.1915	0.0000	0.0000
D	35.812	0.00	180.0	0.0	0.1185	0.1915	0.0000	0.0000
D	35.812	0.70	180.0	0.0	0.1305	0.2047	0.0000	0.0000
D	23.875	0.00	180.0	0.0	0.1305	0.2047	0.0000	0.0000
D	23.875	0.00	180.0	0.0	0.1413	0.2179	0.0000	0.0000
D	11.937	0.00	180.0	0.0	0.1413	0.2179	0.0000	0.0000
D	11.937	0.00	180.0	0.0	0.1652	0.2311	0.0000	0.0000
D	0.000	0.00	180.0	0.0	0.1652	0.2311	0.0000	0.0000

LOADING CONDITION M

90 mph wind with no ice. Wind Azimuth: 0+

LOAD	ELEV	APPLYLO	AD AT	LOAD		EC.		INTS
TYPE		RADIUS	AZI	AZI	HORIZ	DOWN	VERTICAL	TORSNAL
	ft	ft			kip	kip	ft-kip	ft-kip
С	149.000	0.00	0.0	0.0	9.9936	3.6000	0.0000	0.0000
C	147.000	0.00	0.0	0.0	0.0000	1.6511	0.0000	0.0000
C	139.000	0.00	0.0	0.0	0.0000	1.5612	0.0000	0.0000
C	139.000	0.00	0.0	0.0	9.9514	3.6000	0.0000	0,0000
D	149.000	0.00	180.0	0.0	0.0502	0.0549	0.0000	0.0000
D	133.083	0.00	180.0	0.0	0.0502	0.0549	0.0000	0.0000
D	133.083	0.00	180.0	0.0	0.0599	0.0659	0.0000	0.0000
D	117.167	0.00	180.0	0.0	0.0599	0.0659	0.0000	0.0000
D	117.167	0.00	180.0	0.0	0.0699	0.0768	0.0000	0.0000
D	101.250	0.00	180.0	0.0	0.0699	0.0768	0.0000	0.0000
D	101.250	0.00	180.0	0.0	0.0764	0.1820	0.0000	0.0000
D	97.250	0.00	180.0	0.0	0.0764	0.1820	0.0000	0.0000
D	97.250	0.00	180.0	0.0	0.0810	0.1061	0.0000	0.0000
D	82.583	0.00	180.0	0.0	0.0810	0.1061	0.0000	0.0000
D	82.583	0.00	180.0	0.0	0.0916	0.1182	0.0000	0.0000
D	67.917	0.00	180.0	0.0	0.0916	0.1182	0.0000	0.0000
D	67.917	0.00	180.0	0.0	0.1033	0.1304	0.0000	0.0000
D	53.250	0.70	180.0	0.0	0.1033	0.1304	0.0000	0.0000
D	53.250	0.00	180.0	0.0	0.1123	0.2751	0.0000	0.0000
D	47.750	0.00	180.0	0.0	0.1123	0.2751	0.0000	0.0000
D	47.750	0.00	180.0	0.0	0.1185	0.1436	0.0000	0.0000
D	35.812	0.00	180.0	0.0	0.1185	0.1436	0.0000	0.0000
	35.812	0.00	180.0	0.0	0.1305	0.1535	0.0000	0.0000
D	23.875	0.00	180.0	0.0	0.1305	0.1535	0.0000	0.0000
D	23.875	0.00	180.0	0.0	0.1413	0.1634	0.0000	0.0000
	11.937 11.937	0.00	180.0	0.0	0.1413	0.1634	0.0000	0.0000
D	0.000	0.00	180.0	0.0	0.1652 0.1652	0.1733 0.1733	0.0000	0.0000

LOADING CONDITION	Y	
-------------------	---	--

30 mph wind with 0.75 ice. Wind Azimuth: 0+

LOADS ON POLE

LOAD	ELEV	APPLYLO	ADAT	LOAD	FOR	CES	MOME	ENTS
TYPE		RADIUS	AZI	AZI	HORIZ	DOWN	VERTICAL	TORSNAL
	ft	ft			kip	kip	ft-kip	ft-kip
c	149.000	0.00	0.0	0.0	1.0016	18.9812	0.0000	0.0000
C	147.000	0.00	0.0	0.0	0.0000	2.2015	0.0000	0.0000
С	139.000	0.00	0.0	0.0	0.0000	2.0817	0.0000	0.0000
C	139.000	0.00	0.0	0.0	0.9963	18.9346	0.0000	0.0000
D	149.000	0.00	180.0	0.0	0.0077	0.1172	0.0000	0.0000
D	133.083	0.00	180.0	0.0	0.0077	0.1172	0.0000	0.0000
D	133.083	0.00	180.0	0.0	0.0089	0.1396	0.0000	0.0000
D	117.167	0.00	180.0	0.0	0.0089	0.1396	0.0000	0.0000
D	117.167	0.00	180.0	0.0	0.0102	0.1619	0.0000	0.0000
D	101.250	0.00	180.0	0.0	0.0102	0.1619	0.0000	0.0000
D	101.250	0.00	180.0	0.0	0.0110	0.3071	0.0000	0.0000
D	97.250	0.00	180.0	0.0	0.0110	0.3071	0.0000	0.0000
D	97.250	0.00	180.0	0.0	0.0116	0.2091	0.0000	0.0000
D	82.583	0.70	180.0	0.0	0.0116	0.2091	0.0000	0.0000
D	82.583	0.00	180.0	0.0	0.0130	0.2327	0.0000	0.0000
D	67.917	0.00	180.0	0.0	0.0130	0.2327	0.0000	0.0000
D	67.917	0.00	180.0	0.0	0.0145	0.2564	0.0000	0.0000
D	53.250	0.00	180.0	0.0	0.0145	0.2564	0.0000	0.0000
D	53.250	0.00	180.0	0.0	0.0157	0.4547	0.0000	0.0000
D	47.750	0.00	180.0	0.0	0.0157	0.4547	0.0000	0.0000
D	47.750	0.00	180.0	0.0	0.0165	0.2823	0.0000	0.0000
D	35.812	0.00	180.0	0.0	0.0165	0.2823	0.0000	0.0000
D	35.812	0.00	180.0	0.0	0.0181	0.3017	0.0000	0.0000
D	23.875	0.00	180.0	0.0	0.0181	0.3017	0.0000	0.0000
D	23.875	0.00	180.0	0.0	0.0195	0.3202	0.0000	0.0000
D	0.000	0.00	180.0	0.0	0.0226	0.3340	0.0000	0.0000
1929 - 1920 - 1946 - 1920 - 1929 IN	ng kala kana ang tang kana ang ang	tan dan amin'nya ta'ny dia ma any dia ta'	tente anni anto anie tana tinai anto o	en dels 1922 VEZ Ini ani ani	the second second second second sec	aanna kas nanada nad var ian nan aa	i den han bes ann den tas i dei bek bes ang s	ni 426 kanang biri na an ana 1960 n
(USA)	- Monopol	e Spatial				(c)20	15 Guy	ymast Inc.
Tel:(4	416)736-74	53	Fa	x:(416)	736-4372		Web:www.gu	ymast.com
Proces	ssed under	license a	t:					
Sabre	Towers an	alog b				on: 9 no	v 2015 at	: 13:16:50

150' Monopole / Greenup, KY

### MAXIMUM POLE DEFORMATIONS CALCULATED(w.r.t. wind direction)

MAST ELEV ft	DEFLECT HORIZONT ALONG		DOWN	ROTATI TILT . ALONG		TWIST
149.0	15.47A	0.030	2.27A	12.19A	-0.02F	0.00R
133.1	12.27A	0.030	1.61A	11.64A	-0.02F	0.00R
117.2	9.33A	0.020	1.05A	10.18A	-0.02F	0.00R
101.2	6.82A	0.020	0.64A	8.41A	0.020	0.00R
97.2	6.25A	0.020	0.56A	8.03A	0.02U	0.00R
82.6	4.42E	0.010	0.33A	6.59A	0.020	0.00R
67.9	2.92E	0.010	0.17A	5.23E	0.010	0.00R
53.2	1.75E	0.010	0.08A	3.97E	0.010	0.00R
47.7	1.40E	0.000	0.06E	3.52E	0.01U	0.00R
35.8	0.77E	0.000	0.02E	2.55E	0.010	0.00R
23.9	0.33E	0.000	0.01E	1.64E	0.010	0.00R
11.9	0.08E	0.000	0.00E	0.79E	0.00u	0.00R
0.0	0.00A	0.00A	0.00A	0.00A	0.00A	0.00A
	•••••			• • • • • • • • • • • • • • • • • • • •		

MAXIMUM POLE FORCES CALCULATED(w.r.t. to wind direction)

131871A
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MAST ELEV ft	TOTAL AXIAL kip	SHEAR.w.r.t ALONG kip	.WIND.DIR ACROSS kip	MOMENT.w.r. ALONG ft-kip	t.WIND.DIR ACROSS ft-kip	TORSION ft-kip
149.0	18.98 a	10.00 P	0.00 L	0.00 P	-0.01 в	0.00 L
133.1	44.06 a	20.73 P	0.00 L	-246.22 D		0.05 R
	44.06 a 46.29 a	20.73 U 21.67 U	0.00 F 0.00 F	-246.21 C -617,79 D	-0.03 N 0.11 F	0.05 R 0.13 R
117.2	46.28 j	21.67 W	-0.01 L	-617.80 D	0.11 F	0.13 R
101.2	48.86 j	22.77 W		-1005.53 D	0.23 F	0.21 R 0.21 R
07.0	50.09 j	23.16 I		-1105.88 F	2003 1	1942949 //0
97.2	50.09 a	23.24 A	0.14 U	-1105.71 D	0.33 L	0.25 R
82.6	53.16 a	24.42 A		-1485.58 A		0.41 R
67.9	56.57 c	25.81 E	-0.13 F	-1883.02 A	3.87 F	0.59 R
	56.57 с 60.33 с			-1883.01 A -2298.32 A		0.60 R 0.75 R
53.2	60.33 c			-2298.32 A -2298.34 A		0.75 R
47.7	62.83 c	27.90 E			6.40 F	
	62.83 c 66.20 c	27.90 E 29.31 E		-2459.01 A -2817.48 E	6.42 F -8.03 U	0.80 R 0.87 R
35.8	66.20 c	29.32 E	0.18 U	-2817.49 E	-8.03 U	0.87 R
23.9	69.80 c	30.88 E		-3189.91 E	-10.14 U	
	73.66 a			-3189.91 E -3576.83 E		0.92 R 0.95 R
11.9	73.66 c	32.56 E	0.17 U	-3576.82 E	-12.19 U	0.95 R
	77.61 c	34.53 E	0.17 U	-3980.22 E	-14.22 U	0.96 R
base reaction	77.61 c	34.53 E	-0.17 U	3980.22 E	14.22 U	-0.96 R

COMPLIANCE WITH 4.8.2 & 4.5.4

ELEV	AXIAL	BENDING	SHEAR + TORSIONAL	TOTAL	SATISFIED	D/t(w/t)	MAX ALLOWED
ft			1.01102.011112				ALLOPILO
149.00	0.02a	0.00L	0.02P	0.02i	YES	7.55A	45.2
	0.03a	0.42D	0.03P	0.43D	YES	9,61A	45.2
133.08	0.03a	0.420	0.030	0.43D	YES	9.61A	45.2
117.17	0.03a	0.74D	0.030	0.750	YES	11.67A	45.2
117.17	0.03j	0.74D	0.03W	0.75D	YES	11.67A	45.2
101.25	0.02j	0.90D	0.02W	0.91D	YES	13.73A	45.2
	0.02j	0.76D	0.021	0.770	YES	11.15A	45.2
97.25	0.02j	0.78F	0.021	0.79F	YES	11.58A	45.2
91.23	0.02a	0.82D	0.02A	0.82D	YES	11.29A	45.2
07 50	0.02a	0.87A	0.02A	0.88A	YES	12.87A	45.2
82.58	0.02c	0.87A	0.02E	0.88A	YES	12.87A	45.2
67.92	0.02c	0.89A	0.02E	0.90A	YES	14.46A	45.2
67.92	0.02c	0.89A	0.02E	0.90A	YES	14.46A	45.2
53.25	0.02c	0.90A	0.02E	0.91A	YES	16.04A	45.2
22.23	0.02c	11.90A	0.02E	0.91A	YES	16.04A	45.2

	1		

	0.02c	).91A	0.02E	0.92A	YES	16.63A	45.2
47.75	0.02c	0.94A	0.02E	0.95A	YES	16.28A	45.2
35.81	0.02c	0.96E	0.02E	0.96E	YES	17.57A	45.2
	0.02c	0.96E	0.02E	0.96E	YES	17.57A	45.2
	0.02c	0.97E	0.02E	0.98E	YES	18,86A	45.2
23.87	0.02a	0.97E	0.02E	0.98E	YES	18.86A	45.2
11 04	0.02a	0.98E	0.02E	0.99E	YES	20.15A	45.2
11.94	0.02c	0.98E	0.02E	0.99E	YES	20.15A	45.2
0.00	0.02c	0.99E	0.02E	1.00E	YES	21.44A	45.2
0.00							

MAXIMUM LOADS ONTO FOUNDATION(w.r.t. wind direction)

DOWN	SHEAR.w.r.t	.WIND.DIR	MOMENT.w.r.t	.WIND.DIR	TORSION
kip	ALONG kip	ACROSS kip	ALONG ft-kip	ACROSS ft-kip	ft-kip
77.61	34.53	0.17	-3980,22	-14.22	0.96

(USA) - Monopole Spatial Analysis(c)2015Guymast Inc.Tel:(416)736-7453Fax:(416)736-4372web:www.guymast.comProcessed under licens: at:sabre Towers and Poleson: 9 nov 2015 at: 13:16:57

150' Monopole / Greenup, KY

\* Only 1 condition(s) shown in full

LOADING CONDITION A

60 mph wind with no ice. Wind Azimuth: 00

LOADS ON POLE

LOAD	ELEV	APPLYLO	ADAT	LOAD	FORC	ES		ENTS
TYPE		RADIUS	AZI	AZI	HORIZ	DOWN	VERTICAL	TORSNAL
	ft	ft			kip	kip	ft-kip	ft-kip
С	149.000	0.00	0.0	0.0	2.4838	4.0000	0.0000	0.0000
C	147.000	0.00	0.0	0.0	0.0000	1.8346	0.0000	0.0000
C	139.000	0.00	0.0	0.0	0.0000	1.7347	0.0000	0.0000
C	139.000	0.00	0.0	0.0	2.4733	4.0000	0.0000	0.0000
D	149.000	0.00	180.0	0.0	0.0125	0.0610	0.0000	0.0000
D	133.083	0.00	180.0	0.0	0.0125	0.0610	0.0000	0.0000
D	133.083	0.00	180.0	0.0	0.0149	0.0732	0.0000	0.0000
D	117.167	0.00	180.0	0.0	0.0149	0.0732	0.0000	0.0000
D	117.167	0.00	180.0	0.0	0.0174	0.0853	0.0000	0.0000
D	101.250	0.00	180.0	0.0	0.0174	0.0853	0.0000	0.0000
D	101.250	0.00	180.0	0.0	0.0190	0.2023	0.0000	0.0000
D	97.250	0.00	180.0	0.0	0.0190	0.2023	0.0000	0.0000
D	97.250	0.00	180.0	0.0	0.0201	0.1179	0.0000	0.0000
D	82.583	0.00	180.0	0.0	0.0201	0.1179	0.0000	0.0000
D	82.583	0.00	180.0	0.0	0.0228	0.1314	0.0000	0.0000
D	67.917	0.00	180.0	0.0	0.0228	0.1314	0.0000	0.0000
D	67.917	0.00	180.0	0.0	0.0257	0.1449	0.0000	0.0000
D	53.250	0.00	180.0	0.0	0.0257	0.1449	0.0000	0.0000
D	53.250	0.00	180.0	0.0	0.0279	0.3057	0.0000	0.0000
D	47.750	0.00	180.0	0.0	0.0279	0.3057	0.0000	0.0000
D	47.750	0.00	180.0	0.0	0.0294	0.1596	0.0000	0.0000
D	35.812	0.00	180.0	0.0	0.0294	0.1596	0.0000	0.0000
D	35.812	0.00	180.0	0.0	0.0324	0.1706	0.0000	0.0000
D	23.875	0.00	180.0	0.0	0.0324	0.1706	0.0000	0.0000
D	23.875	0.00	180.0	0.0	0.0351	0.1816	0,0000	0.0000
D	11.937	0.00	180.0	0.0	0.0351	0.1816	0.0000	0.0000
D	11.937	0.00	180.0	0.0	0.0411	0.1926	0.0000	0.0000

					1318/1A				
D	0.000	0.00	180.0	0.0	0.0411	0.1926	0.0000	0.0000	

MAST ELEV ft	DEFLECTIO HORIZONTAL ALONG		DOWN	ROTATIO TILT . ALONG	ONS (deg) ACROSS	TWIST
149.0	3.98C	-0.01K	0.15A	3.09C	-0.01ĸ	0.00K
133.1	3.14c	-0.01K	0.11A	2.94c	-0.01K	0.00K
117.2	2.37C	-0.01K	0.07A	2.56C	-0.01ĸ	0.00K
101.2	1.72C	-0.01K	0.04A	2.11C	-0.01K	0.00K
97.2	1.58C	-0.01K	0.04A	2.02C	-0.01K	0.00K
82.6	1.11C	0.00K	0.02A	1.65C	-0.01ĸ	0.00K
67.9	0.73C	0.00K	0.01A	1.31C	0.00ĸ	0.00K
53.2	0.44C	0.00K	0.01A	0.99c	0.00K	0.00K
47.7	0.35C	0.00K	0.00A	0.88C	0.00K	0.00K
35.8	0.19C	0.00K	0.00A	0.64C	0.00K	0.00K
23.9	0.08C	0.00K	0.00A	0.41C	0.00K	0.00K
11.9	0.02C	0.00K	0.00A	0.200	0.00K	0.00K
0.0	0.00A	0.00A	0.00A	0.00A	0.00A	0.00A
	**************					

MAXIMUM POLE DEFORMATIONS CALCULATED(w.r.t. wind direction)

MAXIMUM POLE FORCES CALCULATED(w.r.t. to wind direction)

MAST	TOTAL	ALONG	t.WIND.DIR ACROSS	ALONG	ACROSS	TORSION
ft	kip	kip	kip	ft-kip	ft-kip	ft-kip
149.0	4.00 C	2.48 A	0.00 c	0.00 к	0.00 к	 0.00 к
133.1	12.54 C	5.16 A 	0.00 C	-62.50 D -62.51 К	-0.01 к 0.01 н	0.00 K
117.2	13.70 A 13.70 A	5.39 D 5.39 F	0.00 L 0.00 E	-156.31 D	-0.02 к -0.02 к	-0.01 K
101.2	15.06 A	5.67 F 	0.00 E	-253.53 D -253.55 A	-0.03 к 0.03 с	-0.01 к -0.01 к
97.2	15.87 A 	5.78 L 5.78 C	0.01 E -0.05 κ	-278.61 L	-0.05 к -0.06 к	-0.01 к -0.01 к
82.6	17.60 к  17.60 с	6.07 C	-0.05 к -0.04 к	-373.21 c -373.21 c	0.62 к 0.62 к	-0.04 к -0.04 к
67.9	19.53 с  19.53 с	6.42 C	-0.04 K	-471.78 C	1.20 к 1.20 к	-0.06 к -0.06 к
53.2	21.65 C	6.79 C	-0.04 K	-574.61 C	1.77 к 	-0.07 к -0.07 к
47.7	23.33 C	6.95 C	-0.04 к -0.04 к	-614.40 C	2.00 к 1.99 к	-0.08 K
35.8	25.24 C	7.29 C	-0.04 к -0.04 к	-703.17 C	2.48 к 2.48 к	-0.08 K
23.9	27.27 c	7.68 C	-0.04 к	-795.39 C	2.93 к 2.93 к	-0.09 K
11.9	29.44 C	8.10 C	-0.04 K	-891.37 C	3.39 к 3.39 к	-0.09 K
	31.74 C	8.59 C	-0.04 K	-991.64 C	3.84 K	-0.09 K

base

					131871A		
reaction	31.74 C	-8.59 C	0.04 K	991.64	c -3.84	K	0.09 K

COMPLIANCE WITH 4.8.2 & 4.5.4

31.74 C 8.59 C -0.04 K -991.64 C 3.84 K -0,09 K

ELEV	AXIAL	BENDING	SHEAR +	TOTAL	SATISFIED	D/t(w/t)	MAX
ft			TORSIONAL				ALLOWED
149.00	0.00c	0.00K	0.00A	0.00K	YES	7.55A	45.2
	0.01C	0.11D	0.01A	0.11D	YES	9.61A	45.2
133.08	0.01A	0.11K	0.01D	0.11κ	YES	9.61A	45.2
	0.01A	0.19D	0.010	0.20D	YES	11.67A	45.2
117.17	0.01A	0.19D	0.01F	0.20A	YES	11.67A	45.2
	0.01A	0.23D	0.01F	0.24D	YES	13.73A	45.2
101.25	0.01A	0.19A	0.00L	0.20A	YES	11.15A	45.2
	0.01A	0.20L	0.00L	0.20L	YES	11.58A	45.2
97.25	0.01K	0.21D	0.000	0.21D	YES	11.29A	45.2
	0.01K	0.22C	0.000	0.22C	YES	12.87A	45.2
82.58	0.01c	0.22C	0.00c	0.22C	YES	12.87A	45.2
own order	0.01c	0.22C	0.00c	0.23C	YES	14.46A	45.2
67.92	0.01c	0.22C	0.00c	0.23c	YES	14.46A	45.2
	0.01C	0.23C	0.00C	0.23C	YES	16.04A	45.2
53.25	0.01C	0.23C	0.00c	0.23C	YES	16.04A	45.2
	0.01C	0.23C	0.00C	0.23C	YES	16.63A	45.2
47.75	0.01C	0.24C	0.00c	0.24C	YES	16.28A	45.2
25 01	0.01C	0.24C	0.00C	0.25C	YES	17.57A	45.2
35.81	0.01c	0.24C	0.00c	0.25C	YES	17.57A	45.2
22.07	0.01C	0.24C	0.000	0.25C	YES	18.86A	45.2
23.87	0.01c	1).24C	0.000	0.25C	YES	18.86A	45.2
11 01	0.01C	0.24C	0.00c	0.25C	YES	20.15A	45.2
11.94	0.01C	0.24C	0.00c	0.25C	YES	20.15A	45.2
0.00	0.01C	0.25C	0.00c	0.25C	YES	21.44A	45.2
MAXIMUM	LOADS ONTO I	FOUNDATIO		nd direct	ion)		
DOW!	N SHEAR.W	.r.t.WIND		NT.W.F.t.	VIND.DIR ACROSS	TORSION	

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SO#: 131871A Site Name: Greenup, KY Date: 11/9/2015

# Round Base Plate and Anchor Rods, per ANSI/TIA 222-G

## Pole Data

Diameter:	49.340	in (flat to flat)
Thickness:	0.375	in
Yield (Fy):	65	ksi
# of Sides:	18	"0" IF Round
Strength (Fu):	80	ksi

## **Reactions**

Moment, Mu:	3980.22	ft-kips
Axial, Pu:	38.07	kips
Shear, Vu:	34.53	kips

## Anchor Rod Data

Quantity: Diameter:	14 2.25	in	Anchor Rod Results		
Rod Material:	A615				
Strength (Fu):	100	ksi	Maximum Rod (Pu+ Vu/η):	251.3 Kips	
Yield (Fy):	75	ksi	Allowable Φ*Rnt:	260.0 Kips	(per 4.9.9)
BC Diam. (in):	56	BC Override:	Anchor Rod Interaction Ratio:	96.7% Pass	

## Plate Data

# Base Plate Results

Diameter (in):	61.75	Dia. Override:			
Thickness:	2.25	in	Base Plate (Mu/Z):	37.7 ksi	
Yield (Fy):	50	ksi	Allowable Φ*Fy:	45.0 ksi	(per AISC)
Eff Width/Rod:	11.15	in	Base Plate Interaction Ratio:	83.7% Pass	
Drain Hole:	2.625	in. diameter			
Drain Location:	22.5	in. center of pole to center of drain hole			
Center Hole:	37	in. diameter			

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				PLANS PREPARED FOR:	
FI CHECKLIST		FOUNDATION INSPECTION NOTES:	PLANS PREPARED FOR:		
		GENERAL	CANCELLATION OR DELAYS IN SCHEDULED FI	SBA D	
CONSTRUCTION/INSTALLATION INSPECTIONS AND TESTING REQUIRED (COMPLETED BY EOR)	REPORT ITEM	THE FOUNDATION INSPECTION (FI) IS A VISUAL INSPECTION OF THE FOUNDATION AND A REVEW OF CONSTRUCTION INSPECTIONS AND OTHER REPORTS TO ENSURE THE INSTALLATION WAS CONSTRUCTED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, NAMELY THE FOUNDATION DESIGN DRAMINGS, AS DESIGNED BY THE ENDINEER	IF THE GC AND FI INSPECTOR AGREE TO A DATE ON WHICH THE FI WILL BE CONDUCTED, AND EITHER PARTY CANCELS OR DELAYS, THE OWNER SHALL NOT BE RESPONSIBLE FOR ANY COSTS, FEES, LOSS OF DEPOSITS, AND/OR OTHER PENALTES RELATED TO THE CANCELLATION OR DELAY INCURRED BY EITHER PARTY FOR ANY	8051 CONGRESS AVENUE BOCA RATON, FL 33487-1307 OFFICE: (800) 487-7483	
PRE-CONSTRUCTION		OF RECORD (EOR)	TIME (E.G. TRAVEL AND LODGING, COSTS OF KEEPING EQUIPMENT ON-SITE, ETC.). IF THE OWNER CONTRACTS DIRECTLY FOR A THIRD PARTY FL EXCEPTIONS MAY BE MADE	PROJECT INFORMATION:	
x	FI CHECKLIST DRAWING	THE FI IS TO CONFIRM INSTALLATION CONFIGURATION AND WORKMANSHIP ONLY AND IS NOT A REVIEW OF THE FOUNDATION DESIGN ITSELF, NOR DOES THE FI	IN THE EVENT THAT THE DELAY/CANCELLATION IS CAUSED BY WEATHER OR OTHER CONDITIONS THAT MAY COMPROMISE THE SAFETY OF THE PARTIES INVOLVED.	GREENUP	
X	PACKING SLIPS	INSPECTOR TAKE OWNERSHIP OF THE FOUNDATION DESIGN. OWNERSHIP OF THE FOUNDATION DESIGN DRAWINGS EFFECTIVENESS AND INTEGRITY RESIDES WITH THE EOR AT ALL TIMES.		SITE #: KY02128	
ADDITIONAL TESTING AND INSPECTIONS:		ALL FI'S SHALL BE CONDUCTED BY AN OWNER APPROVED ENGINEERING VENDOR THAT IS APPROVED TO PERFORM WORK FOR THE OWNER.	CORRECTION OF FAILING FI'S IF THE FOUNDATION INSTALLATION WOULD FAIL THE FI ("FAILED FI"), THE GC SHALL WORK WITH THE OWNER TO COORDANATE A REMEDIATION PLAN IN ONE OF TWO WAYS	311 SOUTH LAUREL STREET GREENUP, KY 41144 (GREENUP COUNTY)	
CO	NSTRUCTION	TO ENSURE THAT THE REQUIREMENTS OF THE FLARE MET, IT IS VITAL THAT THE GENERAL CONTRACTOR (GC) AND THE FLINSPECTOR BEGIN COMMUNICATING AND	<ul> <li>CORRECT FAILING ISSUES TO COMPLY WITH THE SPECIFICATIONS CONTAINED IN THE ORIGINAL CONTRACT DOCUMENTS AND COORDINATE A SUPPLEMENT FL</li> </ul>	PLANS PREPARED BY:	
X	CONSTRUCTION INSPECTIONS	COORDINATING AS SOON AS A PO IS RECEIVED. IT IS EXPECTED THAT EACH PARTY WILL BE PROACTIVE IN REACHING OUT TO THE OTHER PARTY IF CONTACT INFORMATION	<ul> <li>DR. WITH THE OWNER'S APPROVAL, THE GC MAY WORK WITH THE EOR TO RE-ANALYZE THE FOUNDATION USING THE AS-BUILT CONDITION.</li> </ul>	PLANS PREPARED DI.	
X	CONTINUOUS FOUNDATION INSPECTIONS	IS NOT KNOWN, CONTACT THE PROJECT CONTACT LISTED ON SHEET T-1.	THE ECONDATION DERAGING CONDITIONS TO CONDITION.		
X	CONCRETE COMP. STRENGTH AND SLUMP	FIINSPECTOR	FI VERIFICATION INSPECTIONS		
NA	GROUT COMP STRENGTH (ASTM C109)	THE FI INSPECTOR IS REQUIRED TO CONTACT THE GC AS SOON AS RECEIVING A PO FOR THE FI TO, AT A MINIMUM:	THE OWNER RESERVES THE RIGHT TO CONDUCT A FEVERIFICATION INSPECTION TO VERIFY THE ACCURACY AND COMPLETENESS OF PREVIOUSLY COMPLETED FEINSPECTION(S) ON FOUNDATION PROJECTS.		
NA	POST INSTALLED ANCHOR ROD VERIFICATION	. REVIEW THE REQUIREMENTS OF THE FI CHECKLIST	ALL VERIFICATION INSPECTIONS SHALL BE HELD TO THE SAME SPECIFICATIONS AND	TOWER ENGINEERING PROFESSIONALS	
NA	BASE PLATE GROUT VERIFICATION	WORK WITH THE GC TO DEVELOP A SCHEDULE FOR ON-SITE FOUNDATION INSPECTIONS.     THE FI INSPECTOR IS RESPONSIBLE FOR COLLECTING ALL GC INSPECTION AND	REQUIREMENTS IN THE CONTRACT DOCUMENTS.	326 TRYON ROAD	
NA	EARTHWORK: LIFT AND DENSITY	TEST REPORTS, REVEWING THE DOCUMENTS FOR ADHERENCE TO THE CONTRACT DOCUMENTS, CONDUCTING THE IN-FIELD INSPECTIONS, AND SUBMITTING THE FI	VERIFICATION INSPECTION MAY BE CONDUCTED BY AN INDEPENDENT INSPECTION FIRM AFTER A FOUNDATION PROJECT IS COMPLETED, AS MARKED BY THE DATE	RALEIGH, NC 27603-5263 OFFICE: (919) 661-6351	
X	CC AS-BUILT DOCUMENTS	REPORT TO THE OWNER.	OF AN ACCEPTED "PASSING FI" OR "PASS AS NOTED FI" REPORT FOR THE ORIGINAL PROJECT	www.tepgroup.net	
ADDITIONAL TESTING AND INSPE	CTIONS:	GENERAL CONTRACTOR	REQUIRED PHOTOS	SEAL: 117	
		THE GC IS REQUIRED TO CONTACT THE FI INSPECTOR AS SOON AS RECEIVING A	BETWEEN THE GC AND THE FI INSPECTOR THE FOLLOWING PHOTOGRAPHS, AT A	Alafanson marson	
POST-CONSTRUCTION		PO FOR THE FOUNDATION INSTALLATION OR TURNKEY PROJECT TO, AT A MINIMUM • REVIEW THE REQUIREMENTS OF THE FI CHECKLIST.	MINIMUM, ARE TO BE TAKEN AND INCLUDED IN THE FI REPORT:	ADDA STAND	
X	FI INSPECTOR REDLINE OR RECORD DRAWING(S)	WORK WITH THE SC TO DEVELOP A SCHEDULE FOR ON-SITE FOUNDATION INSPECTIONS.     BETTER UNDERSTAND ALL INSPECTION AND TESTING REQUIREMENTS.	<ul> <li>PRE-CONSTRUCTION GENERAL SITE CONDITION</li> <li>PHOTOGRAPHS DURING THE CONSTRUCTION AND FOUNDATION INSPECTION:</li> </ul>	GRAHAM M. S.	
NA	POST INSTALLED ANCHOR ROD PULL-OUT TESTING	THE GC SHALL PERFORM AND RECORD THE TEST AND INSPECTION RESULTS IN ACCORDANCE WITH THE REQUIREMENTS OF THE FL CHECKLIST.	RAW MATERIALS     PHOTOS OF ALL CRITICAL DETAILS	ANLINES I	
X	PHOTOGRAPHS		REINFORCING BAR SIZES AND CONFIGURATIONS     ALL RELEVANT MEASUREMENTS     FORM WORK DIMENSIONS AND LOCATIONS	29: 29939	
ADDITIONAL TESTING AND INSPECTIONS:		RECOMMENDATIONS THE FOLLOWING RECOMMENDATIONS AND SUGGESTIONS ARE OFFERED TO ENHANCE	PRE-CONCRETE INSTALLATION PHOTOS     DURING CONCRETE INSTALLATION PHOTOS     POST CONSTRUCTION PHOTOGRAPHS	CENSS CONTRACT	
NOTE: X DENOTES A DOCUMENT NEEDED FOR THE REPORT NA DENOTES A DOCUMENT THAT IS NOT REQUIRED FOR THE REPORT		THE EFFICIENCY AND EFFECTIVENESS OF DELIVERING A FI REPORT: • IT IS SUGGESTED THAT THE GC PROVIDE A MINIMUM OF 5 BUSINESS DAYS NOTICE, PREFERABLY 10, TO THE FI INSPECTOR AS TO WHEN THE SITE WILL BE READY FOR THE FI TO BE CONDUCTED.	FINAL IN FIELD CONDITION	February 25, 2016	
		<ul> <li>THE GC AND FI INSPECTOR COORDINATE CLOSELY THROUGHOUT THE ENTIRE PROJECT.</li> </ul>			
		<ul> <li>WHEN POSSIBLE, IT IS PREFERRED TO HAVE THE GC AND FLINSPECTOR ON-SITE DURING THE FL TO HAVE ANY DEFICIENCIES CORRECTED DURING THE INITIAL FL THEREFORE, THE GC MAY CHOOSE TO COORDINATE THE FL CAREFULLY TO ENSURE ALL CONSTRUCTION FACILITIES ARE AT THEIR DISPOSAL WHEN THE FLINSPECTOR IS ON SITE.</li> </ul>		0 02-23 IG FOUNDATION DRAWNIGS REV DATE ISSUED FOR:	
		IS NO SILE.		DRAWN BY: EAJ CHECKED BY: TRE SHEET TITLE:	
				FOUNDATION	
				INSPECTION	
				CHECKLIST & NOTES	
				SHEET NUMBER: REVISION:	
				N-1 0 TEP #: 64594:33916	

### **GENERAL NOTES:**

- 1. ALL REFERENCES TO THE OWNER IN THESE DOCUMENTS SHALL BE CONSIDERED SBA COMMUNICATIONS OR ITS DESIGNATED REPRESENTATIVE.
- 2. ALL WORK PRESENTED ON THESE DRAWINGS MUST BE COMPLETED BY THE CONTRACTOR UNLESS NOTED OTHERWISE. THE CONTRACTOR MUST HAVE CONSIDERABLE EXPERIENCE IN PERFORMANCE OF WORK SIMILAR TO THAT DESCRIED HEREIN. BY ACCEPTANCE OF THIS ASSIGNMENT, THE CONTRACTOR IS ATTESTING THAT HE DOES HAVE SUFFICIENT EXPERIENCE AND ABULTY. THAT HE IS KNOWLEDGEABLE OF THE WORK TO BE PERFORMED AND THAT HE IS PROPERLY LICENSED AND PROPERLY REGISTERED TO DO THIS WORK IN THE STATE OF KENTUCKY.
- 3. WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE, 2012 EDITION.
- 4. UNLESS SHOWN OR NOTED OTHERWISE ON THE CONTRACT DRAWINGS, OR IN THE SPECIFICATIONS, THE FOLLOWING NOTES SHALL APPLY TO THE MATERIALS LISTED HENEIN, AND TO THE PROCEDURES TO BE USED ON THIS PROJECT
- ALL HARDWARE ASSEMBLY MANUFACTURER'S INSTRUCTIONS SHALL BE FOLLOWED EXACTLY AND SHALL SUPERSEDE ANY CONFLICTING NOTES ENCLOSED HEREIN.
- 6. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE ERECTION PROCEDURE AND SEQUENCE TO INSURE THE SAFETY OF THE STRUCTURE AND IT'S COMPONENT PARTS DURING ERECTION AND/OR FIELD MODIFICATIONS THIS INCLUDES, BUT IS NOT LIMITED TO. THE ADDITION OF TEMPORARY BRACING GUTS OR TIE DOWNS THAT MAY BE NECESSARY SUCH MATERIAL SHALL BE REMOVED AND SHALL REMAIN THE PROPERTY OF THE CONTRACTOR AFTER THE COMPLETION OF THE PROJECT
- 7. ALL DIMENSIONS, ELEVATIONS, AND EXISTING CONDITIONS SHOWN ON THE DRAWINGS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO BECINNING ANY MATERIALS OPDERING, FABRICATION OR CONSTRUCTION WORK ON THIS PROJECT. CONTRACTOR SHALL NOT SCALE CONTRACT DRAWINGS IN LIEU OF FIELD VERIFICATION. ANY DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND THE OWNER'S ENGINEER. THE DISCREPANCIES WUST BE RESOLVED BEFORE THE CONTRACTOR IS TO PROCEED WITH THE WORK. THE CONTRACT DOCUMENTS DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY PESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES. OBSERVATION VISITS TO THE SITE BY THE OWNER AND/OR THE ENGINEER SHALL NOT INCLUDE INSPECTION OF THE PROTECTIVE MEASURES OR THE PROCEDURES.
- 8. ALL MATERIALS AND EQUIPMENT FURNISHED SHALL BE NEW AND OF GOOD QUALITY, FREE FROM FAULTS AND DEFECTS AND IN CONFORMANCE WITH THE CONTRACT DOCUMENTS. ANY AND ALL SUBSTITUTIONS MUST BE PROPERLY APPROVED AND AUTHORIZED IN WRITING BY THE OWNER AND ENGINEER PRIOR TO INSTALLATION THE CONTRACTOR SHALL FURNISH SATISFACTORY EMDENCE AS TO THE KIND AND QUALITY OF THE MATERIALS AND EQUIPMENT BEING SUBSTITUTED.
- 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING, AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR INSURING THAT THIS PROJECT AND RELATED WORK COMPLIES WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL SAFETY CODES AND REQULATIONS GOVERNING THIS WORK.
- 10. ACCESS TO THE PROPOSED WORK SITE MAY BE RESTRICTED. THE CONTRACTOR SHALL COORDINATE INTENDED CONSTRUCTION ACTIVITY, INCLUDING WORK SCHEDULE AND MATERIALS ACCESS, WITH THE RESIDENT LEASING AGENT FOR APPROVAL.
- 11. BILL OF MATERIALS AND PART NUMBERS LISTED ON CONSTRUCTION DRAWINGS ARE INTENDED TO AID CONTRACTOR/OWNER, CONTRACTOR/OWNER SHALL VERIFY PARTS AND QUANTITIES WITH MANUFACTURER PRIOR TO BIDDING AND/OR ODDERING MATERIALS.
- 12. CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS FOR THIS PROJECT FROM ALL APPLICABLE GOVERNMENTAL AGENCIES.
- 1.3 ALL PERMITS THAT MUST BE OBTAINED ARE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR WILL BE RESPONSIBLE FOR ABIDING BY ALL CONDITIONS AND REQUIREMENTS OF THE PERMITS.
- 14. 24 HOURS PRIOR TO THE BEGINNING OF ANY CONSTRUCTION, THE CONTRACTOR MUST NOTIFY THE APPLICABLE JURISDICTIONAL (STATE, COUNTY OR CITY) ENGINEER.
- 15. THE CONTRACTOR SHALL REWORK (DRY, SCARIFY, ETC.) ALL MATERIAL NOT SUITABLE FOR SUB-GRADE IN ITS PRESENT STATE AFTER PEWORKING, IF THE MATERIAL REMAINS UNSUITABLE, THE CONTRACTOR SHALL UNDERCUT THIS MATERIAL AND REPLACE WITH APPROVED MATERIAL ALL SUB-GRADES SHALL BE PROOF-ROLLED WITH A FULLY LOADED TANDEM AXLE DUMP TRUCK PRIOR TO PAVING ANY SOFT MATERIAL SHALL BE REWORKED OF REPLACED.
- 16 THE CONTRACTOR IS REQUIRED TO MAINTAIN ALL PIPES, DITCHES, AND OTHER DRAINAGE STRUCTURES FREE FROM OBSTRUCTION UNTIL WORK IS ACCEPTED BY THE OWNER. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGES CAUSED BY FALURE TO MAINTAIN BRAINAGE STRUCTURE IN OPERABLE CONDITION.
- 17. ALL MATERIALS AND WORKMANSHIP SHALL BE WARRANTED FOR ONE YEAR FROM ACCEPTANCE DATE
- 18. ALL TOWER DIMENSIONS SHALL BE VERIFIED WITH THE PLANS (LATEST REVISION) PRIOR TO COMMENCING CONSTRUCTION. NOTIFY THE ENGINEER IMMEDIATELY IF ANY DISCREPANCIES ARE DISCOVERED. THE OWNER SHALL HAVE A SET OF APPROVED PLANS AVAILABLE AT THE SITE AT ALL TIMES WHILE WORK IS BEING PEPFORMED A DESIGNATED RESPONSIBLE EMPLOYEE SHALL BE AVAILABLE FOR CONTACT. BY GOVERNING ACENCY INSPECTORS.

### FOUNDATION NOTES:

### GENERAL NOTES:

- FOUNDATION INSTALLATION SHALL BE SUPERVISED BY PERSONNEL KNOWLEDGEABLE AND EXPERIENCED WITH THE PROPOSED FOUNDATION TYPE. CONSTRUCTION SHALL BE IN ACCORDANCE WITH GENERALLY ACCEPTED PRACTICES AND IN A GOOD WORKMANLIKE WANNER.
- 2. CONTRACTOR SHALL VERIFY DIMENSIONS WITH ORIGINAL DRAWINGS.
- 3 FOR FOUNDATION AND ANCHOR TOLERANCES, SEE ORIGINAL DRAWINGS.
- 4. FOUNDATION DESIGN ASSUMES LEVEL GRADE AT THE SITE.
- THE FOUNDATION DESIGN IS IN ACCORDANCE WITH GENERALLY ACCEPTED PROFESSIONAL ENGINEERING PRINCIPLES AND PRACTICES WITHIN THE LIMITS OF THE SUBSURFACE DATA PROVIDED.
- 6. FOUNDATION DESIGN MODIFICATIONS MAY BE REQUIRED IN THE EVENT THE DESIGN PARAMETERS ARE NOT APPLICABLE FOR THE SUBSURFACE CONDITIONS ENCOUNTERED DURING CONSTRUCTION.
- THE FOUNDATION DESIGN ASSUMES FIELD INSPECTIONS WILL BE PERFORMED TO VERIFY THAT CONSTRUCTION MATERIALS, INSTALLATION METHODS, AND ASSUMED DESIGN PARAMETERS ARE ACCEPTABLE BASED ON THE CONDITIONS AT THE SITE.
- 8. THE FOUNDATION DESIGN ASSUMES NO CONSTRUCTION JOINTS. HOWEVER, CONSTRUCTION JOINTS SHALL BE PERMITTED UPON APPROVAL BY THE OWNER/ENGINEER.

### EXCAVATION:

- WORK SHALL BE IN ACCORDANCE WITH LOCAL CODES AND SAFETY REGULATIONS. PROCEDURES FOR THE PROTECTION OF EXCAVATIONS, EXISTING CONSTRUCTION, AND UTILITIES SHALL BE ESTABLISHED PRIOR TO BEGINNING WORK.
- INTIMATE CONTACT BETWEEN THE CONCRETE AND THE SOIL WALLS OF THE DRILLED SHAFT IS ESSENTIAL. THE CONCRETE SHALL BE APPROPRIATELY VIBRATED DURING CONSTRUCTION.
- 3 THE SIDES OF THE EXCAVATION SHALL BE ROUGH AND FREE OF LOOSE CUTTINGS
- 4. LOOSE MATERIAL TO BE REMOVED FROM THE BOTTOM OF EXCAVATION PRIOR TO CONCRETE PLACEMENT.
- DRILING FLUID, IF USED, SHALL BE FULLY DISPLACED BY CONCRETE AND SHALL NOT BE DETRIMENTAL TO THE CONCRETE OR SURROUNDING SOIL CONTAMINATED CONCRETE SHALL BE REMOVED AND REPLACED WITH FRESH CONCRETE.

#### **REINFORCING STEEL**

- THE REINFORCING STEEL SHALL CONFORM TO THE REQUIREMENTS OF ASTM A-615, GRADE 60, IT SHALL BE DEFORMED AND SPLICES SHALL NOT BE ALLOWED UNLESS OTHERWISE NOTED.
- 2. WELDING IS PROHIBITED ON REINFORCING STEEL AND EMBEDMENTS.
- REINFORCING CAGES SHALL BE BRACED TO RETAIN PROPER DIMENSIONS DURING HANDLING AND THROUGHOUT PLACEMENT OF CONCRETE. WHEN TEMPORARY CASING IS UTILIZED, BRACING SHALL BE ADEQUATE TO RESIST FORCES OCCURRING FROM FLOWING CONCRETE DURING CASING EXTRACTION.
- 4 SPACERS SHALL BE ATTACHED INTERMITTENTLY THROUGHOUT THE ENTIRE LENGTH OF TIEBACK REINFORCING TO INSURE CONCENTRIC PLACEMENT OF CAGES IN EXCAVATIONS.
- 5. CLASS & LAP SPLICES PER ACI 318. SHALL BE USED TO SPLICE VERTICAL REINFORCING BARS.
- 6. MINIMUM CONCRETE COVER FOR REINFORCEMENT SHALL BE 3" UNLESS OTHERWISE NOTED. APPROVED SPACERS SHALL BE USED TO INSURE A 3" MINIMUM COVER ON REINFORCEMENT.
- 7. THE CONCRETE COVER FROM THE TOP OF THE FOUNDATION TO THE ENDS OF THE VERTICAL REINFORCEMENT SHALL NOT EXCEED 4" NOR BE LESS THAN 2".
- 8. THE CONCRETE COVER FROM THE BOTTOM OF THE FOUNDATION TO THE ENDS OF THE VERTICAL REINFORCEMENT SHALL NOT EXCEED 4" NOR BE LESS THAN 3".

### CONCRETE:

- 1. WORK SHALL BE IN ACCORDANCE WITH THE LATEST REVISION OF THE ACI-318, "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE."
- 2. THE CONCRETE SHALL DEVELOP A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI IN 28-DAYS.
- 3. PROPORTIONS OF CONCRETE MATERIALS SHALL BE SUITABLE FOR THE INSTALLATION METHOD UTILIZED AND SHALL RESULT IN DURABLE CONCRETE FOR RESISTANCE TO LOCAL ANTICIPATED AGGRESSIVE ACTIONS. THE DURABULTY REQUIREMENTS OF ACI-318 SHALL BE SATISFIED BASED ON THE CONDITIONS EXPECTED AT THE SITE.
- 4 CONCRETE SHALL BE PLACED IN A MANNER THAT WILL PREVENT SEGREGATION OF CONCRETE MATERIALS, INFILTRATION OF WATER OR SOIL, AND OTHER OCCURRENCES THAT MAY DECREASE THE STRENGTH OR DURABILITY OF THE FOUNDATION.
- 5 FREE FALL CONCRETE MAY BE USED PROVIDED FALL IS VERTICAL DOWN WITHOUT HITTING THE SIDES OF THE EXCAVATION, FORWMORK, REINFORCING BARS, FORM TIES, CAGE BRACING, OR OTHER DBSTRUCTIONS. UNDER NO CIRCUMSTANCES SHALL CONCRETE FALL THROUGH WATER.
- 6. THE MAXIMUM SIZE OF THE AGGREGATE SHALL NOT EXCEED A SIZE SUITABLE FOR THE INSTALLATION METHOD UTILIZED OR 1/3-CLEAR DISTANCE BEHIND OR BETWEEN PENFORCING. THE MAXIMUM SIZE MAY BE INCREASED TO 2/3-CLEAR DISTANCE PROVIDED WORKABILITY AND METHODS OF CONSOLIDATION SUCH AS VIBRATING WILL PREVENT HOMEYCOMBS AND VOIDS.
- 7. A TEMPORARY PROTECTIVE STEEL CASING WILL BE REQUIRED TO KEEP THE SHAFT OPEN DURING CONSTRUCTION AND INSPECTIONS PRIOR TO PLACING CONCRETE. THIS CASING SHOULD BE EXTRACTED AS THE CONCRETE IS PLACED.







## EXHIBIT E

## List of Utilities, Corporations, or Persons with Whom the Proposed WCF is Likely to Compete



	Call Sign/Lease ID	Name	FRN	Radio Service	Status	Expiration Date
Pending Application	B197	NSAC, LLC	3768553	BR	Active	3/28/2026
	KNLH252	Cellco Partnership (Verizon)	3290673	CW	Active	4/28/2017
Pending Application	KNLH537	SPRINTCOM, INC. (Sprint)	2315950	CW	Active	4/28/2017
in and an and Charles	KNLH538	SunCom Wireless License Company, LLC	3246055	CW	Active	4/28/2017
	WPOJ803	Cellco Partnership (Verizon)	3290673	CW	Active	6/30/2019
Exhibit F

FAA

1



Mail Processing Center Federal Aviation Administration Southwest Regional Office Obstruction Evaluation Group 2601 Meacham Boulevard Fort Worth, TX 76193

Aeronautical Study No. 2015-ASO-6817-OE

Issued Date: 06/12/2015

Clinton Papenfuss SBA Towers 5900 Broken Sound Parkway NW Boca Raton, FL 33487

# **\*\* DETERMINATION OF NO HAZARD TO AIR NAVIGATION \*\***

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure:	Antenna Tower KY 02128-A
Location:	Greenup, KY
Latitude:	38-34-19.42N NAD 83
Longitude:	82-50-27.58W
Heights:	651 feet site elevation (SE)
	200 feet above ground level (AGL)
	851 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure does not exceed obstruction standards and would not be a hazard to air navigation provided the following condition(s), if any, is(are) met:

It is required that FAA Form 7460-2, Notice of Actual Construction or Alteration, be e-filed any time the project is abandoned or:

At least 10 days prior to start of construction (7460-2, Part 1)

X\_\_\_\_ Within 5 days after the construction reaches its greatest height (7460-2, Part 2)

Based on this evaluation, marking and lighting are not necessary for aviation safety. However, if marking/ lighting are accomplished on a voluntary basis, we recommend it be installed and maintained in accordance with FAA Advisory circular 70/7460-1 K Change 2.

This determination expires on 12/12/2016 unless:

- (a) the construction is started (not necessarily completed) and FAA Form 7460-2, Notice of Actual Construction or Alteration, is received by this office.
- (b) extended, revised, or terminated by the issuing office.
- (c) the construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the FCC, within 6 months of the date of this determination. In such case, the determination expires on the date prescribed by the FCC for completion of construction, or the date the FCC denies the application.

NOTE: REQUEST FOR EXTENSION OF THE EFFECTIVE PERIOD OF THIS DETERMINATION MUST BE E-FILED AT LEAST 15 DAYS PRIOR TO THE EXPIRATION DATE. AFTER RE-EVALUATION OF CURRENT OPERATIONS IN THE AREA OF THE STRUCTURE TO DETERMINE THAT NO SIGNIFICANT AERONAUTICAL CHANGES HAVE OCCURRED, YOUR DETERMINATION MAY BE ELIGIBLE FOR ONE EXTENSION OF THE EFFECTIVE PERIOD.

This determination is based, in part, on the foregoing description which includes specific coordinates, heights, frequency(ies) and power. Any changes in coordinates, heights, and frequencies or use of greater power will void this determination. Any future construction or alteration, including increase to heights, power, or the addition of other transmitters, requires separate notice to the FAA.

This determination does include temporary construction equipment such as cranes, derricks, etc., which may be used during actual construction of the structure. However, this equipment shall not exceed the overall heights as indicated above. Equipment which has a height greater than the studied structure requires separate notice to the FAA.

This determination concerns the effect of this structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

Any failure or malfunction that lasts more than thirty (30) minutes and affects a top light or flashing obstruction light, regardless of its position, should be reported immediately to (877) 487-6867 so a Notice to Airmen (NOTAM) can be issued. As soon as the normal operation is restored, notify the same number.

A copy of this determination will be forwarded to the Federal Communications Commission (FCC) because the structure is subject to their licensing authority.

If we can be of further assistance, please contact our office at (816) 329-2523. On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2015-ASO-6817-OE.

Signature Control No: 250579029-255034381 Steve Phillips Specialist

(DNE)

Attachment(s) Frequency Data Map(s)

cc: FCC

# Frequency Data for ASN 2015-ASO-6817-OE

LOW FREQUENCY	HIGH FREQUENCY	FREQUENCY UNIT	ERP	ERP UNIT
698	806	MHz	1000	W
806	824	MHz	500	W
824	849	MHz	500	W
851	866	MHz	500	W
869	894	MHz	500	W
896	901	MHz	500	W
901	902	MHz	7	W
930	931	MHz	3500	W
931	932	MHz	3500	W
932	932.5	MHz	17	dBW
935	940	MHz	1000	W
940	941	MHz	3500	W
1850	1910	MHz	1640	W
1930	1990	MHz	1640	W
2305	2310	MHz	2000	W
2345	2360	MHz	2000	W





# Exhibit G

Kentucky Airport Zoning Commission

-



Think outside the triangle.

3/2/16

Kentucky Airport Zoning Administrator John Houlihan 90 Airport Road Building 400 Frankfort, KY 40601 John.houlihan@ky.gov / 502-564-4480

RE: SBA Tower Airport Zoning Exemption Confirmation (SBA Site KY02128 Greenup)

Site Location: 311 S. Laurel St Greenup, KY 41144 Lat: 38° 34' 19.4200" Long: -82° 50' 27.5800" Site Elevation: 651 Feet AMSL Proposal to replace the existing 90' wood pole with a 150' steel monopole

Dear John,

Per our conversation, this letter requests the Kentucky Airport Zoning Administrator confirm and verify that SBA or its contractors is not required to go through a Kentucky Airport Zoning permit process to replace the existing wireless communication tower at the above-referenced coordinates.

If the above information is correct regarding the Kentucky Airport Zoning permit process please sign below, scan and email back to me at pnichols@pbmws.com, or fax a copy attn: Paul Nichols to 317-203-0735. If you have any questions or need additional information please call me direct at 513-233-1884.

Sincerely,

Paul Vielico

Paul Nichols Site Specialist PBM Wireless Services

Based on the above information SBA or its contractors are not required to go through any additional Zoning permit process for replacing the existing wireless tower as described.

Sign Fint Nome: John Houli

3-3-16 Date

PBM Wireless Services, LLC 8970 Mimosa Lane West Chester OH 45069 – 513-233-1884 – Fax (317) 203-0735

# **Paul Nichols**

From:	Houlihan, John (KYTC) <john.houlihan@ky.gov></john.houlihan@ky.gov>
Sent:	Thursday, March 3, 2016 1:33 PM
To:	Paul Nichols
Subject:	RE: Greenup and Bonita Towers Airport Zoning Exemption
Attachments:	PBM Wireless Services.pdf

Please see above attachment. Thank you

Aeronautical Study Result for Bonita The structure is not in KAZC's jurisdiction and does not require a permit. Structure's Coordinates: 38°22'57.50"N, 82°39'17.74"W Structure's Height :90ft User-submitted ground elevation is 954 ft. DEM's ground elevation is 951.91 ft (KYAPED 5-FT DEM).

Aeronautical Study Result for Greenup The structure is not in KAZC's jurisdiction and does not require a permit. Structure's Coordinates: 38°34'19.42"N, 82°50'27.58"W Structure's Height :150ft User-submitted ground elevation is 651 ft. DEM's ground elevation is 650.73 ft (KYAPED 5-FT DEM).

Kentucky Airport Zoning Commission (KAZC) John Houlihan, Administrator 90 Airport Road, Building 400 Frankfort, KY 40601 Direct Line 502-564-0310, Cell 502-330-3955, Office 502-564-4480, Fax 502-564-7953

KAZC webpage: http://transportation.ky.gov/Aviation/Pages/Zoning-Commission.aspx

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From: Paul Nichols [mailto:pnichols@pbmws.com]
Sent: Thursday, March 03, 2016 11:48 AM
To: Houlihan, John (KYTC) <John.Houlihan@ky.gov>
Subject: RE: Greenup and Bonita Towers Airport Zoning Exemption

Hello John

Per our conversation, please see the attached 2 documents.

Please sign both documents and returning to me preferably via email.

Please reach out with any questions

Thanks Paul

Paul Nichols PBM Wireless Services 513-233-1884 Date: February 19, 2016

Dwayne Lyerly SBA Communications Corporation 5640 Dillard Drive, Suite 101 Cary, NC 27518 Office: (919) 803-3427, Ext. 104 Tower Engineering Professionals, Inc. 326 Tryon Road Raleigh, NC 27603 (919) 661-6351 <u>Geotech@tepgroup.net</u>

Subject: Subsurface Exploration Report

SBA Designation:	Site Number: Site Name:	KY02128 Greenup
Engineering Firm Designation:	TEP Project Number:	64594.39916
Site Data:	311 South Laurel Street, Greenup, H Latitude N38°34' 19.354", Longitud 150 Foot - Proposed Monopole Tow	e W82° 50' 27.671"

Dear Mr. Lyerly,

*Tower Engineering Professionals, Inc. (TEP)* is pleased to submit this "**Subsurface Exploration Report**" to evaluate subsurface conditions in the tower area as they pertain to providing support for the tower foundation.

This report has been prepared in accordance with generally accepted geotechnical engineering practice for specific application to this project. The conclusions in this report are based on the applicable standards of TEP's practice in this geographic area at the time this report was prepared. No other warranty, express or implied, is made.

TEP assumes the current ground surface elevation; tower location and subsequent centerline provided are correct and are consistent with the elevation and centerline to be used for construction of the structure. Should the ground surface elevation be altered and/or the tower location be moved or shifted TEP should be contacted to determine if additional borings are necessary.

The analyses and recommendations submitted herein are based, in part, upon the data obtained from the subsurface exploration. The soil conditions may vary from what is represented in the boring log. While some transitions may be gradual, subsurface conditions in other areas may be quite different. Should actual site conditions vary from those presented in this report, TEP should be provided the opportunity to amend its recommendations as necessary.

We at *Tower Engineering Professionals, Inc.* appreciate the opportunity of providing our continuing professional services to you and SBA Communications Corporation. If you have any questions or need further assistance on this or any other projects please give us a call.

Report Prepared/Reviewed by: Tyrel A. DeShong / John D. Longest, P.E.

Respectfully submitted by:

rew T. Haldane, P.E.



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# 1) PROJECT DESCRIPTION

Based on the preliminary drawings, it is understood a monopole communications tower will be constructed at the referenced site. The structure loads will be provided by the tower manufacturer.

# 2) SITE EXPLORATION

The field exploration included the performance of one soil test boring (B-1) to the auger refusal depth of 19 feet (bgs) adjacent to the existing tower compound. The boring was performed by a track mounted drill rig using continuous flight hollow stem augers to advance the hole. Split-spoon samples and Standard Penetration Resistance Values (N-values) were obtained in accordance with ASTM D 1586 at a frequency of four samples in the top 10 feet and one sample every 5 feet thereafter to auger refusal.

The Split-spoon samples were transported to the TEP laboratory where they were classified by a Geotechnical Engineer in general accordance with the Unified Soil Classification System (USCS), using visual-manual identification procedures (ASTM D 2488).

A Boring Location Plan showing the approximate boring location, a Boring Log presenting the subsurface information obtained and a brief guide to interpreting the boring log are included in the Appendix.

## 3) SITE CONDITIONS

The site is located at 311 South Laurel Street in Greenup, Greenup County, Kentucky. The proposed tower and compound are to be located northeast of an existing wooded area. The ground topography is lightly sloping to moderately sloping.

## 4) SUBSURFACE CONDITIONS

The following description of subsurface conditions is brief and general. For more detailed information, the individual Boring Log contained in Appendix B - Boring Log may be consulted.

#### 4.1) Soil

The USCS classification of the materials encountered in the boring include SW, SC, Decomposed Shale, and Weathered Sandstone. The Standard Penetration Resistance ("N" Values) recorded in the materials ranged from 7 blows per foot of penetration to 50 blows per 2 inches of penetration.

#### 4.2) Rock

Decomposed Shale was encountered at a depth of 10 feet (bgs) in the boring. Weathered Sandstone was encountered at a depth of 15 feet (bgs) in the boring. Refusal of auger advancement was encountered at a depth of 19 feet (bgs) in the boring.

# 4.3) Subsurface Water

Subsurface water was not encountered in the boring at the time of drilling. It should be noted the subsurface water level will fluctuate during the year, due to seasonal variations and construction activity in the area.

# 4.4) Frost

The TIA frost depth for Greenup County, Kentucky is 30 inches.

# 5) TOWER FOUNDATION DESIGN

Based on the boring data, it is the opinion of TEP that a single drilled shaft can be used to support the new tower, however shallow foundation parameters are being provided. If the drilled shaft foundation option is utilized, design of the foundation should be adjusted to terminate in a known material. The following presents TEP's conclusions and recommendations regarding the foundation types.

#### 5.1) Shallow Foundation

The foundation should bear a minimum of 30 inches below the existing ground surface to penetrate the frost depth and with sufficient depth to withstand the overturning of the tower. To resist the overturning moment, the weight of the concrete and any soil directly above the foundation can be used. The values are based on the current ground surface elevation and bearing in undisturbed native soils.

Based on preliminary site information the site is located on lightly to moderately sloping ground, with approximately 4 feet of elevation change across the fenced compound area, and approximately 3 feet of proposed fill at the tower location. It is recommended that foundation designs account for site grades being raised with excavation spoils or that foundation drawings specify minimum embedment depths based on existing site elevations and factor in ground slopes.

Depth		Soil	Static Bearing <sup>1,3</sup>	Cohesion <sup>2</sup>	Friction Angle <sup>2</sup>	Effective Unit	Friction
Тор	Bottom	3011	(psf)	(psf)	(degrees)	Weight (pcf)	Factor
0	2.5	SW	6600	-	38	114	0.47
2.5	5	SC	4675	-	32	110	0.39
5	7.5	SC	12825	-	45	115	0.50
7.5	10	SC	13350	-	45	116	0.50

Table 1 - Shallow Foundation Analysis Parameters - Boring B-1

Notes: 1)

2)

The bearing values provided are net allowable with a minimum factor of safety of 2 with anticipated settlement less than 1 inch. Bearing may be increased by 1/3 for transient loading (e.g. wind or earthquake loading)

These values should be considered ultimate soil parameters

3) The soil values are based on a maximum foundation size of 35 foot squared. If the foundation design size exceeds this dimension TEP should be contacted to re-evaluate soil parameters based on the actual foundation size

# 5.2) Drilled Shaft Foundation

The following values may be used for design of a drilled shaft foundation. TEP recommends the side frictional and lateral resistance values developed in the top section of the caisson for a depth equal to the half the diameter of the caisson or the frost depth, whichever is greater, be neglected in the calculations. The values are based on the current ground surface elevation. New fill materials should not be considered as a contribution to the foundation depth unless compaction test documentation of suitable fill is provided to TEP for review.

Table 2 - Drilled Shaft F	<b>Foundation Analysis</b>	Parameters
---------------------------	----------------------------	------------

Depth		Soil	Static Bearing <sup>1</sup>	Side Frictional Resistance <sup>2</sup>	Cohesion <sup>3</sup>	Friction Angle <sup>3</sup>	Effective Unit	
Тор	Bottom		(psf)	(psf)	(psf)	(degrees)	Weight (pcf)	
0	2.5	SW	4075	20	-	38	114	
2.5	5	SC	2725	70	-	32	110	
5	7.5	SC	25425	170	-	45	115	
7.5	10	SC	34125	240	-	45	116	
10	15	Decomposed Shale <sup>4</sup>	29950	290	-	38	120	
15	19	Weathered Sandstone <sup>4</sup>	67125	490	-	45	125	

Notes: 1)

The bearing values provided are gross allowable with a minimum factor of safety of 2. Bearing may be increased by 1/3 for transient loading (e.g. wind or earthquake loading). If the bearing depth of the foundation is less than 5 diameters below the ground surface the bearing values listed in Table 1 – Shallow Foundation Analysis Parameters should be utilized. Should deeper parameters be necessary for the design of a shallow drilled shaft, TEP should be notified.

2) The side frictional resistance values provided are allowable with a minimum factor of safety of 2. Side frictional resistance values may be increased by 1/3 for transient loading (e.g. wind or earthquake loading)

3) These values should be considered ultimate soil parameters

4) Due to the weathered nature of the rock, cohesion of the rock cannot be relied upon for strength parameters. Indicated layers have been evaluated as a granular material

#### 6) SEISMIC

The Site Class per Section 1613.3.2, of the 2010 International Building Code (2010 IBC) and Chapter 20 of ASCE 7 (2010) based on the site soil conditions is Site Class D.

#### 7) SOIL RESISTIVITY

Soil resistivity was performed at the TEP laboratory in accordance with ASTM G187-05 (Standard Test Method for Measurement of Soil Resistivity Using the Two Electrode Soil Box Method). Test results indicated a result of 6,700 ohms/cm.

# 8) CONSTRUCTION CONSIDERATIONS - SHALLOW FOUNDATION

### 8.1) Excavation

The boring data indicates excavation to the expected subgrade level for the shallow foundation will extend through sand. A large tracked excavator should be able to remove the materials with moderate difficulty. A large tracked excavator with rock teeth and/or a pneumatic hammer will be necessary to remove the materials with difficulty. TEP anticipates the depth to the surface of the rock will vary outside of the boring location. Boulders and bedrock outcroppings are common to this geographic region and may also be encountered in the excavation area.

Excavations should be sloped or shored in accordance with local, state and federal regulations, including OSHA (29 CFR Part 1926) excavation trench safety standards. It is the responsibility of the contractor for site safety. This information is provided as a service and under no circumstance should TEP be assumed responsible for construction site safety.

## 8.2) Foundation Evaluation/Subgrade Preparation

After excavation to the design elevation for the footing, the materials should be evaluated by a Geotechnical Engineer or a representative of the Geotechnical Engineer prior to reinforcement and concrete placement. This evaluation should include probing, shallow hand auger borings and dynamic cone penetrometer testing (ASTM STP-399) to help verify that suitable residual material lies directly under the foundation and to determine the need for any undercut and replacement of unsuitable materials. Loose surficial material should be compacted in the excavation prior to reinforcement and concrete placement to stabilize surface soil that may have become loose during the excavation process. TEP recommends a 6-inch layer of compacted crushed stone be placed just after excavation to aid in surface stability.

#### 8.3) Fill Placement and Compaction

Backfill materials placed above the shallow foundation to the design subgrade elevation should not contain more than 5 percent by weight of organic matter, waste, debris or any otherwise deleterious materials. To be considered for use, backfill materials should have a maximum dry density of at least 100 pounds per cubic foot as determined by standard Proctor (ASTM D 698), a Liquid Limit no greater than 40, a Plasticity Index no greater than 20, a maximum particle size of 4 inches, and 20 percent or less of the material having a particle size between 2 and 4 inches. Because small handheld or walkbehind compaction equipment will most likely be used, backfill should be placed in thin horizontal lifts not exceeding 6 inches (loose).

Fill placement should be monitored by a qualified Materials Technician working under the direction of a Geotechnical Engineer. In addition to the visual evaluation, a sufficient amount of in-place field density tests should be conducted to confirm the required compaction is being attained.

# 8.4) Reuse of Excavated Soil

The sand that meets the above referenced criteria can be utilized as backfill based on dry soil and site conditions at the time of construction.

# 9) CONSTRUCTION CONSIDERATIONS - DRILLED SHAFTS

Based on TEP's experience a conventional drilled shaft rig (Hughes Tool LDH or equivalent) can be used to excavate to the auger refusal depth of TEP's boring. An earth auger can typically penetrate the materials encountered to the auger refusal depth of the boring with moderate to severe difficulty. Materials below the auger refusal depth may require a coring bit or roller-bit to remove the material. Boulders and bedrock outcroppings are sometimes encountered in this geographic region and may be encountered outside of the boring location. Special excavation equipment may be necessary for a shaft greater that 60-inches in diameter. If hole collapse is encountered during construction, the design and geotechnical engineers should be contacted immediately to make any necessary adjustments.

The following are general procedure recommendations in drilled shaft construction using the "dry" method:

- Drilling equipment should have cutting teeth to result in a hole with little or no soil smeared or caked on the sides; a spiral like corrugated side should be produced. The shaft diameter should be at least equal to the design diameter for the full depth.
- The drilled shaft should be drilled to satisfy a plumbness tolerance of 1.5 to 2 percent of the length and an eccentricity tolerance of 2 to 3 inches from plan location.
- 3) Refer to Section 4.3 for subsurface water information. Water will fluctuate during the year and during rain events. Any subsurface water should be removed by pumping, leaving no more than 3 inches in the bottom of the shaft excavation.
- 4) A removable steel casing may be installed in the shaft to prevent caving of the excavation sides due to soil relaxation. Loose soils in the bottom of the shaft should be removed.
- 5) The drilled shaft should be evaluated by the Geotechnical Engineer or their representative to confirm suitable end bearing conditions and to verify the proper diameter and bottom cleanliness. The shaft should be evaluated immediately prior to and during concrete operations.
- 6) The drilled shaft should be concreted as soon as practical after excavation to reduce the deterioration of the supporting soils due to caving and subsurface water intrusion.
- 7) The slump of the concrete is critical for the development of side shear resistance. TEP recommends a concrete mix having a slump of 6 to 8 inches be used with the minimum compressive strength specified by the structural engineer. A mix design incorporating super plasticizer will likely be required to obtain this slump.
- 8) The concrete may be allowed to fall freely through the open area in the reinforcing steel cage provided it is not allowed to strike the reinforcing steel or the casing prior to reaching the bottom of the shaft excavation.
- 9) The protective steel casing should be extracted as concrete is placed. A head of concrete should be maintained above the bottom of the casing to prevent soil and water intrusion into the concrete below the casing.

Due to the sandy soil, the contractor may elect to utilize the "slurry" method for shaft construction. The following are general procedure recommendations in drilled shaft construction using the "slurry" method:



- Slurry drilled shafts are constructed by conventional caisson drill rigs excavating beneath a drilling mud slurry. Typically, the slurry is introduced into the excavation after the groundwater table has been penetrated and/or the soils on the sides of the excavation are observed to be caving-in. When the design shaft depth is reached, fluid concrete is placed through a tremie pipe at the bottom of the excavation.
- 2) The slurry level should be maintained at a minimum of 5 feet or one shaft diameter, whichever is greater, above the subsurface water level.
- 3) Inspection during excavation should include verification of plumbness, maintenance of sufficient slurry head, monitoring the specific gravity, pH and sand content of the drilling slurry, and monitoring any changes in the depth of the excavation between initial approval and prior to concreting.
- 4) A removable steel casing may be installed in the shaft to prevent caving of the excavation sides due to soil relaxation. Loose soils in the bottom of the shaft should be removed.
- 5) The specific gravity or relative density of the drilling mud slurry should be monitored from the initial mixing to the completion of the excavation. An increase in the specific gravity or density of the drilling slurry by as much as 10 percent is indicative of soil particles settling out of the slurry onto the bottom of the excavation. This settling will result in a reduction of the allowable bearing capacity of the bottom of the drilled shaft.
- 6) After approval, the drilled shaft should be concreted as soon as practical using a tremie pipe.
- 7) For slurry drilled shafts, the concrete should have a 6 to 8 inch slump prior to discharge into the tremie. The bottom of the tremie should be set at about one tremie pipe diameter above the excavation. A closure flap at the bottom of the tremie should be used, or a sliding plug introduced into the tremie before the concrete, to reduce the potential for the concrete being contaminated by the slurry. The bottom of the tremie must be maintained in concrete during placement, which should be continuous.
- The protective steel casing should be extracted as concrete is placed. A head of concrete should be maintained above the bottom of the casing to prevent soil and water intrusion into the concrete below the casing.
- Additional concrete should be placed via the tremie causing the slurry to overflow from the excavation in order to reduce the likelihood of slurry pockets remaining in the drilled shaft.

If variability in the subsurface materials is encountered, a representative of the Geotechnical Engineer should verify that the design parameters are valid during construction. Modification to the design values presented above may be required in the field.

150 Ft Monopole Subsurface Exploration Report Project Number 64594.39916 February 19, 2016 KY02128 Greenup Page 9

# **10) SITE PHOTOGRAPHS**



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APPENDIX A

BORING LAYOUT



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APPENDIX B

**BORING LOG** 



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		Email	hone: 9 geotec	h@te			o.net			Greenup		SITE ID. KY02128	TEP 1 645	1 o 10.: 594.3	
		/2016	Ho	ollow		m Au	iger	HOLE S	3 1/4in	CITY, STA	G	reenup, Kentud	cky		
ATE (	COMPLE 2/11	re /2016	HAMMER W	EIGHT/F		1	HAMMER TY		Hammer	TOTAL DE	ртн <b>19.0 FT</b>	DRILL RIG TYPE	7822		
ROU	ND EL.		LOGGED BY	TAD			CHECKED BY		BACKFI			DEPTH/EL. GRO	OUNDWA		
ORIN	G LOCAT	TON	^		nt t	o tho			compound	outun	3	NOLEN	Journe	icu	
SAMPLE NUMBER	SAMPLE LENGTH (INCHES)	BLOW COUNTS (N) REC% / RQD%	ELEVATION (FEET)	DEPTH (FEET)	SAMPLE GRAPHIC	USCS GRAPHIC			PTION AND CLASSIF	ICATION		REMARKS	POCKET PEN TSF	UNCONFINED STRENGTH, PSF	UNIT WEIGHT
S1	18	6-7-8 (15)	-		X		well gra	aded S	n dense, brown, SAND (SW), trac particulate organ	e clay, with	from (	Note: Cobbles 0 feet to 1.5 feet			
S2	18	2-2-5 (7)			X		2.5-5.0: L SAND organic	(SC), I	brown, fine to co ittle gravel, trace ist	parse, clayey e particulate					
<b>S</b> 3	18	5-12-27 (39)		-5	X		5.0-10.0: gravel,	to den partial	ise, no partículat Ily cemented	e organics, no	Driller of we	Note: Fragments			
S4	18	9-17-27 (44)			X							6.5 feet to the end			
S5	18	16-34-43 (77)		- 10	X		10.0-15.0: decom	Very posed	dense, grayish SHALE, moist	brown,					
S6	8	35-50/2"		- 15	X		15.0-19.0: SANDS	Very	dense, gray, we E, trace clay, mo	athered ist					
S7	0	50/0"	_				19.0: Bori feet	ing Te	rminated - Auge	r Refusal at 19					



Tower Engineering Professionals, Inc. 326 Tryon Road Raleigh, NC 27603 Telephone: 919-661-6351 Email: Geotech@tepgroup.net

#### TERMS DESCRIBING CONSISTENCY OR CONDITION

< 4

4 to 10

11 to 30

31 to 50

> 50

COARSE-GRAINED SOILS (major portions retained on No. 200 sieve): includes (1) clean gravel and sands and (2) silty or clayey gravels and sands. Condition is rated according to relative density as determined by laboratory tests or standard penetration resistance tests. SPT Blow Count

**Descriptive Terms** Very Loose Loose Medium Dense Dense Very Dense

FINE-GRAINED SOILS (major portions passing on No. 200 sieve): includes (1) inorganic and organic silts and clays (2) gravelly, sandy, or silty clays, and (3) clayey silts. Consistency is rated according to shearing strength, as indicated by penetrometer readings, SPT blow count, or unconfined compression tests.

**Descriptive Terms SPT Blow Count** Very Soft < 2 Soft 2 to 4 Medium Stiff 5 to 8 Stiff 9 to 15 Very Stiff 16 to 30 Hard > 30

# Key to Soil Symbols and Terms

#### **GENERAL NOTES**

1. Classifications are bases on the Unified Soil Classification System and include consistency, moisture, and color. Field descriptions have been modified to reflect results of laboratory tests where deemed appropriate.

2. Surface elevations are based on topographic maps and estimated locations and should be considered approximate.

3. Descriptions on these boring logs apply only at the specific boring locations and at the time the borings were made. They are not guaranteed to be representative of subsurface condition at other locations or times.

Hard	d	> 30	
	Group Symbols	Typical Names	Sampler Symbols
	GW	Well-graded gravels, gravel-sand mixtures, little or no fines	Split Spoon
0.0	GP	Poorly-graded gravels, little or no fines/sands	Standard Penetration Test (SPT)
000	GM	Silty gravels, gravel-sand-silt mixtures	Pushed Shelby Tube
D B	GC	Clayey gravels, gravel-sand-silt mixtures	Auger Cuttings
	SW	Well-graded sands, gravelly sands, little or no fines	🕅 Grab Sample
	SP	Poorly-graded sands, little or no fines/sands/gravels	Dynamic Cone Penetrometer
	SM	Silty sands, sand-silt mixtures	Hand Auger
	sc	Clayey sands, sand-clay mixtures	Rock Core
	ML	Inorganic silts and very fine sands, rock floor, silty or clayey fine sands or clayey silts with slight plasticity	Log Abbreviations
	CL	Inorganic clays of low to medium plasticity, gravelly clays, sandy clays, silty clays, lean clays	ATD - At Time of Drilling
	OL	Organic silts and organic silty clays of low plasticity	AD - After Drilling EOD - End of Drilling
	МН	Inorganic silts, micaceous or distomaceous fine sandy or silty soils, elastic silts	RMR - Rock Mass Rating
	сн	Inorganic clays of high plasticity, fat clays	WOH - Weight of Hammer WOR - Weight of Rod
	ОН	Organic clays of medium to high plasticity, organic silts	REC - Rock Core Recovery
<u>1</u> <u>1</u> <u>1</u> <u>1</u> <u>1</u>	PT	Peat and other highly organic soils	RQD - Rock Quality Designation
	1		-1

# Information Regarding This Subsurface Exploration Report

The information contained in this report has been specifically tailored to the needs of the client at the time the report was provided, for the specific purpose of the project named in this report. The attached report may not address the needs of contractors, civil engineers, or structural engineers. Anyone other than the named client should consult with the geotechnical engineer prior to utilizing the information contained in the report.

It is always recommended that the full report be read. While certain aspects of the report may seem unnecessary or irrelevant; just as each project and site are unique, so are the subsurface investigation reports and the information contained in them. Several factors can influence the contents of these reports, and the geotechnical engineer has taken into consideration the specific project, the project location, the client's objectives, potential future improvements, etc. If there is any question about whether the attached report pertains to your specific project or if you would like to verify that certain factors were considered in the preparation of this report, it is recommended that you contact the geotechnical engineer.

Geotechnical subsurface investigations often are prepared during the preliminary stages of a project and aspects of the project may change later on. Some changes may require a report revision or additional exploration. Some changes that often need to be brought to the attention of the geotechnical engineer include changes in location, size and/or type of structure, modifications to existing structures, grading around the project site, etc. Some naturally occurring changes can also develop that impact the information contained in this geotechnical report such as earthquakes, landslides, floods, subsurface water levels changing, etc. It is always recommended that the geotechnical be informed of known changes at the project site.

Subsurface exploration reports are generated based on the analysis and professional opinions of a geotechnical engineer based on the results of field and laboratory data. Often subsurface conditions can vary – sometimes significantly – across a site and over short distances. It often is helpful to retain the geotechnical engineer's services during the construction process. Otherwise, the geotechnical cannot assume responsibility or liability for report recommendations which may have needed to change based on changing site conditions or misinterpretation of recommendations.

Geotechnical engineers assemble testing and/or boring logs based on their interpretation of field and laboratory data. Testing and/or boring logs should always be coupled with the subsurface exploration report. The geotechnical engineer and Tower Engineering Professionals cannot be held reliable for interpretations, analyses, or recommendations based solely on the testing and/or boring log if it is independent of the prepared report.

The scope of the subsurface exploration report does not include an assessment or analysis of environmental conditions, determination of the presence or absence of wetlands or hazardous or toxic materials on or below the ground surface. Any notes regarding odors, fill, debris, or anything of that nature are offered as general information for the client, often to help identify or delineate natural soil boundaries.

For additional information, please contact the geotechnical engineer named in the attached report.



# Exhibit I

**Directions to WCF Site** 

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A 1005 Walnut St, Greenup, KY 41144			
B Laurel St, Greenup, KY 41144			
Suggasted mutes Laurel St 2nd St and Seaton Ave			0.7 mile,4 min 1.0 mile,4 min
A1005 Walnut St			
1. Head northwest on Walnut St toward Je	fferson St		
381 ft 2. Continue onto Main St			
0.2 m			
3. Turn left onto Laurel St			
0.5 mi			
BLaurel St			

# Exhibit J

Copy of Real Estate Agreement

mise. 43-150

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#### MEMORANDUM OF LEASE

the <u>1</u> Lease Term The terms of the Lease shall be <u>Five</u> (5) years commencing on the <u>1</u> day of <u>August</u>, 1998 ("Commencement Date") and terminating at midnight on the fifth (5th) anniversary of the Commencement Date ("Initial Term") Lessee has the right under the terms of the Lease to extend the Lease for Four (4) additional Five (5) year terms ("Renewal Terms").

2. <u>Property</u> Subject to the terms of the Lease Lessor has leased to Lessee the real property described in Exhibit "A" attached hereto ("Property") and Lessor has granted unto Lessee for the Initial Term and any Renewal Term an easement for ingress, egress and utilities over that property described in Exhibit "B" attached hereto ("Easement")

Notices. All notices, requests, demands, and other communications to the Lessor or Lessee shall be made at the following addresses

TACK RICE Po Box To3 breenus Ky +1144 Horizon Personal Communications, Incorporated Boil murray, Bosi Broadwall SUN ANTONION 78209

68 East Main Street PO. Box 480 Chillicothe, OH 45601-0480

IN WITNESS WHEREOF, the parties have executed this Memorandum as of the date first set

forth above

LESSOR: Jack Rice Saftym Siles Marray LESSEE:

Horizon Personal Communications, Incorporated

WITNESS Soth Sturf-

WITNESS

By 112 6 / [.A.(1 Title: President

an Ohio corporation

Horizon PCS Memo Lease

1 11/12/96 150 Lee Congriment (Mtg Book 563 Mtg Bh 419+436+453 1 See assignment Mine Bh-44 Pagi-180 12-8-99 above listed documents and an aniendment are assignments and an amenon to mortage not 534-238; (which has been partially raused as to our property by rel. bk 163-32). Not an assignment of This lease. Force assignments / Su Mice BK 48 Pg 329 2.8.04

#### ACKNOWLEDGMENT

State of Ohio ) \$\$ County of Ross )

# Marla K. Eberle Notary Public

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Horizon PCS Memo Lease JS1

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9 2 2 3 3 3 3 3 3 3 3 3 3 3 3 3 3 3 3 3		CKNOWLEDGMEN ORMS	(T		
Acknowledgment for a	n individual actin	g in his own right:			
STATE OF KENTUCKY COUNTY OF Greening. Subsci 4	Befre me	approved person	My, Jack R	ice	
The foregoing instrument	nt was acknowled	ged before me this _	77 day of Lot	, 1992by	
My Commission Expire	: <u>3</u> -28-21	Notary Public	Mar 1	2 <sup>178</sup> Ωc } ≥	J
Acknowledgment for a	corporation:				
STATE OF KENTUCKY COUNTY OF					
The foregoing instrumer	u was acknowledy	ged before me this, a	day of corporation, on	, 19by behalf of the	
My Commission Expire	·				
		Notary Public			
		Notary Public			1
STATE OF TEXAS COUNTY OF LEXAR	an an an				-
BEFORE ME, the u personally appeared GAIL of a Texas Driver's License instrument and acknowled consideration therein express	LYNN LILES M to be the person ged to me that sh essed.	IURRAY, proved to whose name is subs c executed the same	be, through presen cribed to the foreg for the purposes a	ntation oing nd	
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WY DRAMSKH BURNES August 12, 1999	152	Maur tin Notary Public, St Notary's printed	e Holbers ate of Texas name: MARY 3	ANE INBEI	NS.
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#### Exhibit "A"

#### DESCRIPTION FOR TOWER PROPERTY:

All that certain parcel of land situated in Greenup County Kentucky, Located near the Town of Greenup and being part of the lands conveyed to Jack T. Rice of record in Deed Volume 235 Page 443 and described as being a 2.91 ACTC parcel in Deed Volume 140 Page 319, and also known as being part of the Sunset Cemetery Plat as shown in Plat Book 2A Page 147 in the Office of the County Clerk of Greenup County and more particularly described as follows:

Beginning at a 1/2 inch diameter iron pin (set) at the southeast corner of said 2.91 acre parcel.

Thence from said place of beginning and following the boundary line of said 2.91 acre parcel South 81 degrees 11 minutes 37 seconds West 29.35 feet to a 1/2 inch diameter iron pin (set),

thence leaving the boundary line of said 2.91 acre parcel North 48 degrees 25 minutes 58 seconds West 46.90 feet to a 1/2 inch diameter iron pin (set),

thence North 41 degrees 34 minutes 02 seconds East 44.82 feet to a 1/2 inch diameter iron pin (set) on the southerly line of a 20 foot wide roadway,

thence following the southerly line of said 20 foot wide roadway South 48 degrees 25 minutes 58 seconds East 45.00 feet to a 1/2 inch dizmeter iron pin (set) on the easterly boundary line of said 2.91 acre parcel, where a 1/2 inch diameter iron pin (set) at an angle point in the easterly boundary line of said 2.91 acre parcel bears North 01 degree 17 minutes 47 seconds West 20.70 feet,

thence following the easterly boundary line of said 2.91 acre parcel South 01 degree 17 minutes 47 seconds East 30.30 feet to the place of beginning.

Containing 0.057 acre or 2,500 square feet.

Bearings in this description refer to True North as derived from GPS differential positioning. Observation at Latitude (N) 38 degrees 34 minutes 19.4 seconds and Longitude (W) 82 degrees 50 minutes 27.7 seconds.

This description prepared by or under the direction of Jack A. Hamilton, L.S. #2196 after a field survey of the parcel herein described during January 1998.







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#### ASSIGNMENT OF PRIME LEASE

THIS ASSIGNMENT OF PRIME LEASE AGREEMENT ("Agreement") is made and entered into as of the Cast "day of the contract of the con

WHEREAS, Horizon has entered into a ground lease agreement, Option and Lease Agreement or other similar agreement (the "Prime Lease") for the lease of the real property more particularly described in Exhibit "A" attached hereto (the "Property") upon which Horizon has constructed or will construct a tower and related facilities and an easement for ingress, egress and utilities over the real property more particularly described in Exhibit "B" attached hereto (the "Easement");

WHEREAS, pursuant to that certain Asset Purchase Agreement entered into by and between SBA and Horizon on the <u>17th</u> day of <u>August</u>, 1999, Horizon desires to assign the Prime Lease for said site: and

WHEREAS, SBA desires to accept an assignment of the Prime Lease and to thereafter sublease a portion of the space upon the tower facilities to Horizon in accordance with that certain Master Site Lesse Agreement entered into by and between SBA and Horizon on the <u>17th</u> day of <u>August</u>, 1999.

NOW THEREFORE, for and in consideration of the mutual promises outlined herein and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, Horizon and SBA do hereby agree as follows:

 <u>Assignment</u>. Horizon does hereby assign to SBA and SBA shall assume and agree to be bound by the Prime Lease, a memorandum of which has been recorded at Book <u>43</u>.
 Page <u>150</u> in the office of the <u>Clerk of the County Court</u> of <u>Greenup</u> County, <u>Kentucky</u>, through which Horizon has acquired an interest in the real property which is the subject of the Prime Lease together with any Easements to the Property.

2. Covenants of Horizon. Horizon covenants that it:

 (a) unconditionally and absolutely assigns, transfers, sets over and conveys to SBA, all of Horizon's right, title and interest in, to and under the Prime Lease;

(b) shall warrant, indemnify and defend the leasehold title assigned to SBA against the lawful claims of all persons provided that such claim arises as a result of an alleged transfer of Horizon's interest in the Prime Lease, but no further or otherwise except as set forth in the Asset Purchase Agreement, and except to the extent than an interest in real estate is subject to taxes, ordinances and other matters of record; and

counterclaim or cause of action which may presently exist under the Prime Lease.

has no knowledge or notice of any default, defense, offset, claim, dema

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Prepared by and Return to: J. Coloman Prewitt, Esquire Gunstor, Yoakioy, Vuldes-Fauli & Stewart, P.A. 777 South Flagler Drive, Suite 500B West Palm Beach, Florida 13401

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IN WJTNESS WHEREOF, SBA and Horizon have signed this Agreement as of the date and year first above written.

Horizon:

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Greenup

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SBA:

HORIZON PERSONAL COMMUNICATIONS, INC.

By Ingula Name: Joseph Title: Vice Presisiont

SBA TOWERS, INC. VI By: Nal Nan Direto Title:

WITNESSES: 100

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WITNESSES:

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#### ACKNOWLEDGMENT

STATE OF OIIIO

) 88 COUNTY OF ROSS

Before me, a notary public, in and for said county in said state, personally appeared Joseph J. Watson, known to me to be the person who, as Vice-President of Horizon Personal Communications, Inc., an Ohio corporation, executed the foregoing instrument, signed the same, and acknowledged to me that he did so sign said instrument in the name and upon behalf of said corporation as such officer, and the free and corporate act and deed of said corporation; that he was duly authorized thereunto by its board of directors; and that the scal affixed to said instrument is the corporate scal of said corporation. In testimony whereof I have hereunto subscribed my name and affixed my official scal this 2 day of ALPLAN, 1999.



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Juda B Notary Public Step

#### ACKNOWLEDGMENT

STATE OF OHIO

COUNTY OF ROSS

Before me, a notary public, in and for said county in said state, personally appeared Neil Seidman, known to me to be the person who, as Director of Acquisitions and Associate General Counsel of SBA Towers, Inc., a Florida corporation, executed the foregoing instrument, signed the same, and acknowledged to me that he did so sign said instrument in the name and upon behalf of said corporation as such officer, and the free and corporate act and deed of said corporation; that he was duly authorized thereunto by its board of directors; and that the seal affixed to said instrument is the corporate seal of said corporation. In testimony whereof, I have hereunto subscribed my name and affixed my official seal this 22 day of Affir Affire 1999. Fada B Aupp



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### EXHIBIT "A"

### LEGAL DESCRIPTION OF THE PROPERTY AND EASEMENT

#### DESCRIPTION FOR TOWER PROPERTY:

All that certain parcel of land situated in Greenup County Kentucky, located near the Town of Greenup and being part of the lands conveyed to Jack T. Rice of record in Deed Volume 135 page 443 and described as heing a 2.91 acre parcel in Deed Volume 140 Page DIS. and also known as being part of the Sunset Cametery plat as shown in Plat Bock 2A Page 147 in the Office of Libe County Clark of Greenup County and more particularly described as follows:

Seginning at a 1/2 inch diameter iron pin (set) at the southemat corner of smid 2.91 acre parcel.

Thence from said place of beginning and following the boundary line of said 2.91 acre parcel South BI degrees II minutes 37 seconds West 29.35 feet to a 1/2 inch diameter from pla (set),

thence leaving the boundary line of said 2.91 acre parcel North 48 degrees 25 minutes 58 seconds West 46.90 feet to a 1/2 inch diameter iron pin (set),

thence North 41 degrees 34 minutes 02 seconds East 44.82 feet to a 1/2 inch diameter iron pin (set) on the southerly line of a 20 foot wide roadway.

thence following the southerly line of said 20 foot wide roadway South 48 degrees 25 minutes 56 seconds Sast 45.00 feet to a 1/2 loch diameter iron pin (set) on the easterly boundary line of said 2.91 acre parcel, where a 1/2 such diameter iron pin (set) at angle point in the cesterly boundary line of said 2.91 acre parcel bears North 01 degree 17 minutes 47 seconds West 20.70 feet.

thence following the easterly boundary line of said 2.91 actu parcel South 01 degree 17 sinutes 47 seconds East 10 30 feet to the place of beginning.

Containing 0.057 acre or 2,500 square feet.

183

Bearings in this description refer to True Morth as derived from GPS differential puritioning. Observation at Latitude (#) 38 degrees 34 minutes 13.4 seconds and Longitude (%) 62 degrees 30 minutes 27.7 seconds.

This description prepared by or under the direction of Jack A Hamilton, L.S. #2196 after a field survey of the percel herein described during January 1935.

Greenup

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48-330

date of the 99 Year Renewal Term. 'Effective Date' shall be the date the last of Lessor and Lessee execute this Amendment.

2. <u>Rent.</u> Section 14 of the Lease is hereby amended as follows: Lessee shall pay to Lessor a lump sum payment of \$50,600.00 upon full execution of this Amendment which shall represent all rent due Lessor for the balance of the Term including the 99 Year Renewal Term below. This amount shall be in addition to any other rents previously paid to Lessor under the Lease and no further rent shall be due Lessor from Lessee under the Lease.

 Notice. In accordance with Section 27 of the Lease, the notice address for Lessee is hereby amended as follows: SBA Towers, Inc., Attn: Site Administration, 5900 Broken Sound Parkway, Boca Raton, Florida 33487-2797, with notice also to SBA Towers, Inc., Attn: Legal Department, 5900 Broken Sound Parkway, Boca Raton, Florida 33487-2797.

- <u>Assignment</u>. Following any assignment of this Lease by Lessee and assumption of the terms hereof by such assignce, Lessee shall be relieved of all obligations under the Lease.
- 5. Lessee's Right to Termination. The following clause (c) is added to Section 19 of the Lesse: "(e) "Lessee may terminate the Lease at anytime upon sixty (60) days prior notice to Lessor if Lessee clects, in its sole and absolute discretion, to abandon the Lessed Space."
- 8. <u>Cure Period; Default</u>. No party to the Lease shall be in default of the terms thereof until sixty (60) days following the date of the defaulting party's receipt of notice of d fault from the non-defaulting party. In the event such default is not reasonably capable of cure within such sixty (60) day period and such defaulting party promptly and diligently pursues the cure of such default during such cure period, such cure period shall be extended for so long as the defaulting party diligently pursues such cure of a maximum of ninety (90) additional days. Notwithstanding the terms of Section 19(a) of the Lease, in no event shall Lessor be entitled to terminate the Lease as a result of or remedy for any breach or default therounder by Lessee. In the event Lessor fails to comply with the terms of this Lease, Lessee may, in its sole and absolute discretion, cure any such default, and to the extern Lessor agrees to promptly reinburse Lessee for such expenses incured and hereby grants Lessee a period three party in the sole and hereby grants Lessee as promptly reinburse Lessee for such expense incured and hereby grants Lessee as y the party reinburse Lessee's obligation to repay such amounts to Lessee.
- 7. Secured Parties. Lesce may from time to time grant to certain lenders selected by Lessee and its affiliates (the "Lender") a lien on and security interest in Lessee's interest in the Lease and all assets and personal property of Lessee located on the Leased Space, including, but not limited to, all accounts receivable, inventory, goods, machinery and equipment owned by Lessee ("Personal Property") as

SBA Site No. KY2128-A Greenup

BODK MC48 PAGE 330

# 48-331

collateral security for the repayment of any indebtedness to the Lender. Should Lender exercise any rights of Lessee under the Lease, including the right to exercise any renewal option(s) or purchase option(s) set forth in the Lease, Lessor agrees to accept such exercise of rights by Lender as if same had been exercised by Lessee, and Lessee, by signing below, confirms its agreement with this provision. If there shall be a monetary default by Lessee under the Lease, Lessor shall accept the cure thereof by Lender within fifteen (15) days after the expiration of any grace period provided to Lessee under the Leaseto cure such default, prior to terminating the Lease. If there shall be a non-monetary default by Lessee under the Lease, Lessor shall accept the cure thereof by Lender within thirty (30) days after the expiration of any grace period provided to Lessee under the Lease to cure such default, prior to terminating the Lease. Hereafter, the Lease may not be amended in any respect which would be reasonably likely to have a material adverse effect on Lender's interest therein or surrendered, terminated or cancelled, without the prior written consent of Lender. If the Lease is terminated as result of a Lessee default or is rejected in any bankruptcy proceeding, Lessor will enter into a new lease with Lender or its designee on the same terms as the Lease within 15 days of Lender's request made within 30 days of notice of such termination or rejection, provided Lender pays all past due amounts under the Lease. The foregoing is not applicable to normal expirations of the term of the Lease. Lessor hereby agrees to subordinate any security interest, lien, claim or other similar right, including, without limitation, rights of levy or distraint for rent, Lessor may have in or on the Personal Property, whether arising by agreement or by law, to the liens and/or security interests in favor of the Lender, whether currently existing or arising in the future. Nothing contained herein shall be construed to grant a lien upon or security interest in any of Lessor's assets. Simultaneous with any notice of default given to Lessee under the terms of the Lease, Lessor shall deliver of copy of such notice to Lender at an address to be provided by Lessee.

 <u>Amendment</u>. Any further amendment or modification to the Lease shall be in writing and shall require the signature of a representative of Lessee of the level of Vice President or above.

9. <u>Other Terms</u>. All terms not otherwise amended by this Amendment shall remain in fall, force and effect. Lessee and Lessor each acknowledge that the other is not in default under the terms of the Lease. The Lease, Memorandum and this Amendment constitute the entire agreement between the parties with respect to the subject matter thereof. In the event of any conflict between the terms of this Amendment and the terms of the Lease, the terms of this Amendment and the terms of the Lease, the terms of this Amendment shall control. This Amendment shall be recorded in the County in which the leased property is located. Lessor represents, warrants and agrees that it is the sole legal owner of indefeasible and marketable fee simple title to the Leased Space with the right power and authority to enter into this Amendment, and any required consents and authorizations required, in connection with the execution and delivery of this Amendment have been obtained.

SBA Site No. KY2128-A Greenup

BOOK MC4A

PAGE 331

48-332

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THIS AMENDMENT is executed by Lessor and Lessee on the date set forth above.

Signed, Sealed and Delivered in the presence of:

LESSOR: Sal Lynn Murray a. Simmer. The A ry R. Rice e: Linda Rice Letch hie ne: Jack T. Rice 2000 AC

SBA Site No. KY2128-A Greenup

BOOK MC4B PAGE 332

48-333

State of TEXAS County of Bran

The foregoing instrument was acknowledged before me this 11- day of August, 2005, by Gail Lynn Murray.



Bt a. Siraman - Tendrin Notary Public, State of TEXAS

My commission expires: \_\_\_\_6-2-07

State of Kentucky County of Sureaup

The foregoing instrument was acknowledged before me this <u>/5</u> day of August, 2005, by Jerry R. Rice.

Kath abdon Notary Jublic, State of Kentucky

My commission expires: 1-20-08

State of Kentucky County of Assessed

The foregoing instrument was acknowledged before me this 1/5 day of August, 2005, by Linda Rice Letcher.

Kathy abdon Notary Public, State of Kentucky

My commission expires: 1-20-08

State of Kentucky County of Summer

The foregoing instrument was acknowledged before me this \_/Gday of August, 2005, by Jack T. Rice.

Kath Abelon Notary Public, Style of Kentucky

My commission expires: 1-20-08

SBA Site No. KY2128-A Greenup

BOOK MC48

PAGE 333

48-334

- AND

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State of Kentucky County of Streamp

The foregoing instrument was acknowledged before me this <u>As</u> day of August, 2005, by Joy Rice Marshall.

Kathe abdan Notary Public State of Kentucky

My commission expires: 1 -24 - 08

LESSEE:

SBA TOWERS, INC.

art Capte Jul Pontano

By: \_\_\_\_\_\_ Name: Thomas P. Hunt Title: Senior V.P., General Counsel

State of Florida County of Palm Beach

The foregoing instrument was acknowledged before me this Haday of August, 2005, by Thomas P. Hunt, the Senior Vice President and General Counsel of SBA Properties, Inc., a Florida corporation on behalf of the corporation. The above named individual is personally known to me or produced chings of the corporation identification.

Atta MCD rest W Commission + D rest DOTED Jan & 202 Seal/Stamp

Notago Jublic Mia

My commission expires:

SBA Site No. KY2128-A Greenup

BOOK MC48

PAGE 334

# Exhibit K

# **Notification Listing**

Last Name	First Name	Address	City	State	ZIP
Brewer	Tammy Lynn	604 Sycamore St	Greenup	KY	41144
Crump	Maudie	501 Sycamore St	Greenup	KY	41144
Stone	Dorothy	154 Pibb St	Greenup	KY	41144
Worthington	Paul E, Jr., & Francine M	PO Box 464	Greenup	KY	41144
Kentucky Power Co		PO Box 16428	Columbus	ОН	43216
C/O Charlotte Brown	Violet Carter	608 Sycamore St	Greenup	КҮ	41144
Craft	Pamala	506 Sycamore St	Greenup	KY	41144
Andrea Wolfe	Hobart E Marshall	2023 Lois Ave	Greenup	КҮ	41144
Craft	Pamala	400 Sycamore St	Greenup	КҮ	41144
Felty	Jarvey E & Ricca Jane	704 Highland Ave	Greenup	KY	41144
Jack T. Rice, Jerry R. Rice	Richard Fletcher, Lora Helm	PO Box 703	Greenup	KY	41144
Jack T. Rice, Jerry R. Rice	Richard Fletcher, Lora Helm	8051 Broadway, Apt 1	San Antoni	ТΧ	78209
Cemetery	Sunset		Greenup	КҮ	41144

Greenup Notification Letters

\*Note the address for Sunset Cemetery was not available through the Greenup County PVA and could not be verified by the USPS, so no notificaiton was able to be sent.

# Exhibit L

Copy of Property Owner Notifications



### Via Certified Mail Return Receipt Requested

Richard Fletcher, Lora Helms and Gail Murray Jack T. Rice, Jerry R. Rice, Joy Rice Marshall 8051 Broadway, Apt 163 San Antonio, TX 78209 September 28, 2016

Dear Richard Fletcher, Lora Helms and Gail Murray Jack T. Rice, Jerry R. Rice, Joy Rice Marshall,

SBA Towers, LLC is applying to the Kentucky Public Service Commission (the "Commission") for a Certificate of Public Convenience and Necessity to construct and operate a wireless telecommunications facility located at 311 South Laurel Street, Greenup, Kentucky 41144. A map showing the location is attached. The proposed facility will include a 150 foot monopole, plus ground related facilities.

This notice is being sent to you because the Greenup County Property Valuation Administrator's records indicate that you own property that is within a 500' radius of the proposed site <u>OR</u> is contiguous to the property on which the facility is to be constructed.

The Commission welcomes your comments regarding the proposed construction and wants you to be aware of your right to request intervention in the Commission's proceedings on this application. Your comments and request for intervention should be addressed to:

Kentucky Public Service Commission, Executive Director, 211 Sower Boulevard, P.O. Box 615, Frankfort, Kentucky 40602. Please refer to case number 2016-00158 in any correspondence.

Sincerely Vice

Paul Nichols Site Acquisition Specialist agent for SBA Towers, LLC

PBM Wireless S 8970 Mimosa Lane West Chester OH 4504

5000		MAIL RE	CEIPT Coverage Provided)
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ETOL	Sent To Sheet, Apt. No.; or PO Box No City, State, 2/P+4	Jack T. Rice, Jerry R. Ric Marshall, Richard Fletcher and Gail Murra 8051 Broadway Ap San Antonio, TX 78	r, Lora Helms iy t 163



### Via Certified Mail Return Receipt Requested

Richard Fletcher, Lora Helms and Gail Murray Jack T. Rice, Jerry R. Rice, Joy Rice Marshall PO Box 703 Greenup, KY 41144 September 28, 2016

Dear Richard Fletcher, Lora Helms and Gail Murray Jack T. Rice, Jerry R. Rice, Joy Rice Marshall,

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Sincerely

Paul Nichols Site Acquisition Specialist agent for SBA Towers, LLC

PBM Wireles 8970 Mimosa Lane West Chester OH 4

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PS Form 2800, August 2006 See Reverse for Instructions



### Via Certified Mail Return Receipt Requested

Jarvey E & Ricca Jane Felty 704 Highland Ave Greenup, KY 41144

September 28, 2016

Dear Jarvey E & Ricca Jane Felty,

SBA Towers, LLC is applying to the Kentucky Public Service Commission (the "Commission") for a Certificate of Public Convenience and Necessity to construct and operate a wireless telecommunications facility located at 311 South Laurel Street, Greenup, Kentucky 41144. A map showing the location is attached. The proposed facility will include a 150 foot monopole, plus ground related facilities.

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Kentucky Public Service Commission, Executive Director, 211 Sower Boulevard, P.O. Box 615, Frankfort, Kentucky 40602. Please refer to case number 2016-00158 in any correspondence.

Sincerely Rand Mitte	2265	U.S. Postal Service CERTIFIED MAIL RECEIPT (Domestic Mall Only: No Insurance Coverage Provided) For delivery information visit our website at www.usps.com. GREENUP: KY 41144
Paul Nichols Site Acquisition Specialist agent for SBA Towers, LLC	0000 9640	\$3.30     0869       Postage     \$2.70     04       Contilied Pee     \$0.00     04       Return Receipt Fee     \$0.00     Postage       Return Receipt Fee     \$0.00     Hard       Restricted Dalivery Fee     \$0.00     15       Restricted Dalivery Fee     \$0.00     15
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### Via Certified Mail Return Receipt Requested

Pamala Craft 400 Sycamore St Greenup, KY 41144

September 28, 2016

Dear Pamala Craft,

SBA Towers, LLC is applying to the Kentucky Public Service Commission (the "Commission") for a Certificate of Public Convenience and Necessity to construct and operate a wireless telecommunications facility located at 311 South Laurel Street, Greenup, Kentucky 41144. A map showing the location is attached. The proposed facility will include a 150 foot monopole, plus ground related facilities.

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Kentucky Public Service Commission, Executive Director, 211 Sower Boulevard, P.O. Box 615, Frankfort, Kentucky 40602. Please refer to case number 2016-00158 in any correspondence.

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		PS Form 3800, August 20	06 Se	e Reverse for Instructions



### Via Certified Mail Return Receipt Requested

Hobart E Marshall Andrea Wolfe 2023 Lois Ave Greenup, KY 41144

September 28, 2016

Dear Hobart E Marshall Andrea Wolfe,

SBA Towers, LLC is applying to the Kentucky Public Service Commission (the "Commission") for a Certificate of Public Convenience and Necessity to construct and operate a wireless telecommunications facility located at 311 South Laurel Street. Greenup, Kentucky 41144. A map showing the location is attached. The proposed facility will include a 150 foot monopole, plus ground related facilities.

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Kentucky Public Service Commission, Executive Director, 211 Sower Boulevard, P.O. Box 615, Frankfort, Kentucky 40602. Please refer to case number 2016-00158 in any correspondence. **U.S. Postal Service** 

Sincerely

Paul Nichols Site Acquisiticn Specialist agent for SBA Towers, LLC

5 nu. **nu** GREENIE r KY 4114 = \$3.30 98 0869 \$2.70 114 \$0.00 Certified Fee 00 \$0.00 Return Receipt Fee (Endochement Required Postmark 00 \$0.00 Hars \$0.00 stricted Datuses Fas 06 \$0. ō Total Postage & Fee 09/28/2016 \$6 **PBM Wireles** Sent Tr m 8970 Mimosa Lane West Chester OH 4! 1-7 Hobart E Marshall & Andrea Steent, Apt. No.; Wolfe n of PO Box No. 2023 Lois Ave City, State, ZiP+4 Greenup, KY 41144

RECEIPT

RIFIED MAIL



### Via Certified Mail Return Receipt Requested

Pamala Craft 506 Sycamore St Greenup, KY 41144

September 28, 2016

Dear Pamala Craft,

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Kentucky Public Service Commission, Executive Director, 211 Sower Boulevard, P.O. Box 615, Frankfort, Kentucky 40602. Please refer to case number 2016-00158 in any correspondence.

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		PS Form 3800, August 2008	and the second se	See Reverse for Instructions



### Via Certified Mail Return Receipt Requested

Violet Carter C/O Charlotte Brown 608 Sycamore St Greenup, KY 41144

September 28, 2016

Dear Violet Carter C/O Charlotte Brown,

SBA Towers, LLC is applying to the Kentucky Public Service Commission (the "Commission") for a Certificate of Public Convenience and Necessity to construct and operate a wireless telecommunications facility located at 311 South Laurel Street, Greenup, Kentucky 41144. A map showing the location is attached. The proposed facility will include a 150 foot monopole, plus ground related facilities.

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Kentucky Public Service Commission, Executive Director, 211 Sower Boulevard, P.O. Box 615, Frankfort, Kentucky 40602. Please refer to case number 2016-00158 in any correspondence.

Sincerely

Paul Nichols Site Acquisition Specialist agent for SBA Towers, LLC

PBM Wireless 8970 Mimosa Lane West Chester OH 45(

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### Via Certified Mail Return Receipt Requested

Kentucky Power Co PO Box 16428 Columbus, OH 43216

September 28, 2016

Dear Sir or Madam,

SBA Towers, LLC is applying to the Kentucky Public Service Commission (the "Commission") for a Certificate of Public Convenience and Necessity to construct and operate a wireless telecommunications facility located at 311 South Laurel Street, Greenup, Kentucky 41144. A map showing the location is attached. The proposed facility will include a 150 foot monopole, plus ground related facilities.

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Kentucky Public Service Commission, Executive Director, 211 Sower Boulevard, P.O. Box 615, Frankfort, Kentucky 40602. Please refer to case number 2016-00158 in any correspondence.

ERTIFIED MAIL -- RECEIPT Sincerely HE HE nu FOCOLUMBUSY ON 43218 ru \$3.30 **Paul Nichols** 3 0869 92 Postage \$ \$2.70 04 Site Acquisition Specialist \$0.00 Cartified Fee 0000 agent for SBA Towers, LLC \$0.00 Return Receipt Pas \$0.00 reament Reds \$0.00 cled Deli 1090 (Enconsement Regu**nd)** /28/2016 Total Postage & 1984 PBM Wire m Kentucky Power Company 8970 Mimosa Lane West Chester O) mil HIN. ADL NO.: 12 PO Box 16428 or PO Box No. Columbus OH 43216 City. State, ZiP-4



### Via Certified Mail Return Receipt Requested

Paul E, Jr., & Francine M Worthington PO Box 464 Greenup, KY 41144

September 28, 2016

Dear Paul E, Jr., & Francine M Worthington.

SBA Towers, LLC is applying to the Kentucky Public Service Commission (the "Commission") for a Certificate of Public Convenience and Necessity to construct and operate a wireless telecommunications facility located at 311 South Laurel Street, Greenup, Kentucky 41144. A map showing the location is attached. The proposed facility will include a 150 foot monopole, plus ground related facilities.

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U.S. Postal Service

CERTIFIED MAIL RECEIP Sincerely P2 ГЦ ГЦ GREENUP / KY 41144 **Paul Nichols** 0869 \$3.30 -Site Acquisition Specialist \_0 \$2.70 04 =0 \$0,00 agent for SBA Towers, LLC Certified Fee \$0.00 Pastmark 0001 Return Receipt F \$0.00 Hara Approximant Resided \$9.00 lestricied Delivery Fes 040 \$0. 09/28/2016 Total Postaga & Face \$6. **PBM** Wire Sent To 8970 Mimosa Lane West Chester O Paul E Jr., & Francine M et Apt. No.; Worthington or PC Rox No. r PO Box 464 City, State, ZIP+4 Greenup, KY 41144



### Via Certified Mail Return Receipt Requested

Dorothy Stone 154 Pibb St Greenup, KY 41144

September 28, 2016

Dear Dorothy Stone,

SBA Towers, LLC is applying to the Kentucky Public Service Commission (the "Commission") for a Certificate of Public Convenience and Necessity to construct and operate a wireless telecommunications facility located at 311 South Laurel Street, Greenup, Kentucky 41144. A map showing the location is attached. The proposed facility will include a 150 foot monopole, plus ground related facilities.

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### Via Certified Mail Return Receipt Requested

Maudie Crump 501 Sycamore St Greenup, KY 41144

September 28, 2016

Dear Maudie Crump,

SBA Towers, LLC is applying to the Kentucky Public Service Commission (the "Commission") for a Certificate of Public Convenience and Necessity to construct and operate a wireless telecommunications facility located at 311 South Laurel Street, Greenup, Kentucky 41144. A map showing the location is attached. The proposed facility will include a 150 foot monopole, plus ground related facilities.

This notice is being sent to you because the Greenup County Property Valuation Administrator's records indicate that you own property that is within a 500' radius of the proposed site **OR** is contiguous to the property on which the facility is to be constructed.

The Commission welcomes your comments regarding the proposed construction and wants you to be aware of your right to request intervention in the Commission's proceedings on this application. Your comments and request for intervention should be addressed to:

Kentucky Public Service Commission, Executive Director, 211 Sower Boulevard, P.O. Box 615, Frankfort, Kentucky 40602. Please refer to case number 2016-00158 in any correspondence. U.S. Postal Service

Sincerely all!

**Paul Nichols** Site Acquisition Specialist agent for SBA Towers, LLC

111	ED	CERTIFIED MAIL ** RECEIPT (Domestic Mall Only; No Insurance Coverage Provided)			
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our manuas dane west chester of		Sheed, Apt. No.; or (*O Box No. City, States, 20+4	Maudie Crump 501 Sycamore S Greenup, KY 411	St	
		PS Form 3800: August 2006		See Reverse for Instructions	



### Via Certified Mail Return Receipt Requested

Tammy Lynn Brewer 604 Sycamore St Greenup, KY 43144

September 28, 2016

Dear Tammy Lynn Brewer,

SBA Towers, LLC is applying to the Kentucky Public Service Commission (the "Commission") for a Certificate of Public Convenience and Necessity to construct and operate a wireless telecommunications facility located at 311 South Laurel Street, Greenup, Kentucky 41144. A map showing the location is attached. The proposed facility will include a 150 foot monopole, plus ground related facilities.

This notice is being sent to you because the Greenup County Property Valuation Administrator's records indicate that you own property that is within a 500' radius of the proposed site <u>OR</u> is contiguous to the property on which the facility is to be constructed.

The Commission welcomes your comments regarding the proposed construction and wants you to be aware of your right to request intervention in the Commission's proceedings on this application. Your comments and request for intervention should be addressed to:

Kentucky Public Service Commission, Executive Director, 211 Sower Boulevard, P.O. Box 615, Frankfort, Kentucky 40602. Please refer to case number 2016-00158 in any correspondence.

PBM Wirele 8970 Mimosa Lane West Chester OH	and the second	\$6.47 Seni To Street, Ant. No., cr PO Box No. City, State, 2019-4 Greenup, KY 41144
Sincerely Paul Nichols Site Acquisition Specialist agent for SBA Towers, LLC	1070 0000 8640 2197	Certific Mail Only: No Insurance Coverage Provided) For delivary information visit our website at www.usps.com. GREENUP + KY 41144 F A L 44 S F GREENUP + KY 4144 F A L 44 S F GREENUP + KY 4144 F A L 44 S F GREENUP + KY 4144 F A L 44 S F GREENUP + KY 4144 F A L 44 S F GREENUP + KY 4144 F A L 44 S F GREENUP + KY 4144 F A L 44 S F GREENUP + KY 4144 F GREENUP + KY 4144 F A L 44 S F GREENUP + KY 4144 F A L 44 S F GREENUP + KY 4144 F A L 44 S F GREENUP + KY 4144 F A L 44 S F GREENUP + KY 4144 F A L 44 S F GREENUP + KY 4144 F A L 44 S F GREENUP + KY 4144 F A L 44 S F GREENUP + KY 4144 F A L 44 S F GREENUP + KY 4144 F A L 44 S F GREENUP + KY 4144 F A L 44 S F GREENUP + KY 4144 F A L 44 S F GREENUP + KY 4144 F A L 44 S F GREENUP + KY 4144 F A L 44 S F GREENUP + KY 4144 F A L 44 S F GREENUP + KY 4144

# Exhibit M

Copy of County Judge/Executive Notice



Honorable Judge Robert W. Carpenter Greenup County Judge Executive Greenup County Courthouse 301 Main St., Room 102 Greenup, KY 41144

September 28, 2016

### Via Certified Mail Return Receipt Requested

Dear Judge Carpenter

SBA Towers, LLC is applying to the Kentucky Public Service Commission (the "Commission") for a Certificate of Public Convenience and Necessity to construct and operate a wireless telecommunications facility located at 311 South Laurel Street, Greenup, Kentucky 41144. A map showing the location is attached. The proposed facility will include a 150 foot monopole, plus ground related facilities.

You have a right to submit comments regarding the proposed construction to the Commission or to request intervention in the Commission's proceedings on this application.

Your comments and request for intervention should be addressed to: Kentucky Public Service Commission, Executive Director, 211 Sower Boulevard, P.O. Box 615, Frankfort, Kentucky 40602. Please refer to case number 2016-00158 in any correspondence.

**U.S. Postal Service** Sincerely RTIFIED MAIL RECEIPT E E **Paul Nichols** GREENUP + KY Site Acquisition Specialist t E \$3.30 0869 agent for SBA Towers, LLC 04 -0 \$0.00 Confilled Eee 0000 \$0.00 netro A Return Receipt Fee Icreament Required \$0.00 Hare \$0.00 1090 その 28/2016 m ROBERT UDGE -7 PBM Wirele 301 MAIN ST. R or PO Box No 8970 Mimosa Lane West Chester OH GREENUP KY

Exhibit N

Photos of Posted Notices

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### Thursday, September 29, 2016

745. MOTORCYCLES,

HONDA - 2002

Shadow Sabre

18,000 mi., black, lots

of extras, Cobra exhaust,

floor boards, sissy bar,

garage kept, excellent condition, \$2,950 080.

lesrss12@hotmail.com

JAYCO JAY FLIGHT

C.C.

2014, 0 hours, 26 ft. bunkhouse- sleeps 10 -

full size bunk beds-

queen bedroom- heat/

air- couch converts to

bed- booth with table converts to bed electric awning- radio with in-door/outdoor speakers-

hitch & sway bar includ-

ed- electric jack- full bath with tub- NO SLIDE

OUTS- runs on electric/

propane- outdoor show

er- lots of underneath

storage- outdoor mini fridge- 1 TV included-

full kitchen- any extras

bought also includes-

coffee pot-toaster-silver-

ware and caddy- brand

new 10x10 netted gazebo

-sheets- camping cups/

plates/bowls- still can

smell the new inside-

exc. cond. Exc. cond.

\$12,900, 606-232-0603.

comforters

2

750. CAMPER/RV

606-922-6057

ATVS

765. SUV

month

606-922-8131.

CADILLAC ESCALADE

2008, 138,000 miles, perfect condition, 3

\$18,400. Call Gary at

SUBSCRIBE

TODAY!

THE

GREENUP

NEWS

606-473-9851

condition, 3

warranty,

#### 730. AUTOS

CHRYSLER '06 Sebring, 79,000 ml., 4 cylinder, 4 door, very clean. Must see! \$4,495. Call 606-232-6319. CHRYSLER PT CRUISER

CONVERTIBLE 2005. Garage kept. Good condition, 606-324-4793 CHRYSLER-2006 PT Cruiser Limited, low Must miles, loaded. see. \$3,500. Call 606-232-6319.

MINI COOPER - 2002 6-spd. standard, green, excellent condition, 87,000 miles, \$4,450. Call for info, 606-831-7255 or 606-836-6246.

#### 735. BOAT ACCESS. & EQUIPMENT

SEA BREEZE - 18 ft., 125HP Mercury motor, tilt trailer & top, good condition. Reduced to \$950. Call (house) 606-324-3644 or (cell) 606-571-2383.

SEA RAY- 1984 Seville, 19 ft., cuddy cabin, \$3,000, 606-836-4745 or 606-922-6363, See at Boyd County Marine in Cannonsburg.

#### 745: MOTORCYCLES, ATVS

UTILITY TRAILER- New! 6x8, 1600 lb. axle, extra heavy duty frame, can be moved by hand, \$750, 606-928-8067 or 606-923-6248.

is your old car beyond repair? Find a good used car in today's classified section ... Even big business can benefit from a small ad in classified. Call us and we'll show you how an investment in classified pays off.

### LEGAL NOTICE

tent-

Take notice that SBA Towers, LLC, has applied to the Kentucky Public Service Commission (PSC) for a Certificate of Public Convenience and Necessity to construct a Wireless Communications Facility at 311 South Laurel Street, Greenup, Kentucky 41144. Comments can be addressed to the PSC, Executive Director, 211 Sower Blvd., P.O. Box 615, Frankfort, KY 40602, Refer to Case No. 2016-00158.

Published: September 29, 2016

#### **ORDINANCE NO. 8-2016**

AN ORDINANCE FIXING THE TAX RATE FOR THE CITY OF FLATWOODS, KENTUCKY FOR THE TAX YEAR 2016; ESTABLISHING SAID TAX RATE AT \$.3100 FOR EACH \$100.00 OF TAXABLE PROPERTY; ESTABLISHING DUE DATE AND PENALTY AND DISCOUNT RATE AND DATE: AND OTHER MATTERS.

### CERTIFICATION

This is to sortify that this about

## THE GREENUP COUNT

DODGE RAM

### 775. TRUCKS

2003 1500 Fully loaded, 5.7 Liter, Hemi Magnum, SIT 2WD, Quad Cab, 152,000 miles, gold, all power, excellent condition inside and out. Best '03 truck in town! \$7,900, 606-920-9432 No room left in the garage for

Actor

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the car? A call to classified can help.

#### LEGAL NOTICE

On Thursday, October 6, 2016 at 10:00 am the Greenup County Board of Elections will meet to examine the voting machines being used for absentee in-house voting for the General Election which will be held on November 8, 2016. The board will meet in the office of Greenup County Clerk. Pat Hieneman

Greenup County Clerk and Chair, Greenup County Board of Elections

Published: September 29, 2016

#### COMMONWEALTH OF KENTUCKY **GREENUP CIRCUIT COURT** CIVIL ACTION NO. 16-CI-00209 **DIVISION I**

FIRST & PEOPLES BANK AND TRUST COMPANY

PLAINTIFF.

### VS.: NOTICE OF SALE

DONALD K. HARRISON, single

DEFENDANT.

In pursuance to a Judgment and Order of Sale entered in the above styled action on September 6, 2016, I will on October 10, 2016, at the hour of 1:00 p.m., offer for sale at public auction to the highest and best bidder at the main and front door of the Greenup County Courthouse at Greenup, Kentucky, the following described real estate. to-wit:

A certain tract of land lying in Greenup County, Kentucky, and described as follows, to-wit:

Situated in the Town of Greenup and being Lot No. 72 on the plat of said town. Said Lot is bounded on the north by Main Street, on the south by Perry Street, on the east by Walnut Alley and on the west by a vacant lot of John W.H. Warnock.

Being the same real estate conveyed by Jeanette Hatton, married, to Donald K. Harrison and Selene G. Harrison, his wife, by Deed dated June 27, 2001, and recorded in Deed Book 487, Page 163, in the Office of the Greenup County Clerk.

Also the same real estate from Selenc G. Harrison to Donald K. Harrison by Deed recorded in Deed Book 566, Page 484, in the Office of the Greenup County Court Clerk.

The property address is 124 West Main Street, Greenup, Kentucky 41144. The PVA Parcel No. is 138-30-01-020.00.

The above described property shall be sold separately, on terms of cash or on a credit of thirty (30) days. If sold on terms of credit, the purchaser shall be required to make a deposit of

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# Exhibit O

Search Area Map

# HT220 Greenup



Fig. 1 Illustrates the search area that may fulfill coverage objectives.

SITE DESIGN PARAMETERS Engineer: David Mellick		NAME:	Greenup	
		Site ID.:	HT220	
Latitude	38.572070°	Market	Huntington, WV - Ashland, KY	
Longitude	-82.840955°	County	Greenup	
Server RCL	Minimum of 150'	Map Name	Google Earth Oct 8, 2013	
Donor RCL	N/A	Release Date	8/26/2015	
BTS Type	Nokia	Sectors	3	
Elevation	678' AMSL	Priority	2016	
Site Objective along Rt. 2	s: Cover the communities of Greenu	p KY, Haverhill and Franklin	Furnace, OH. Cover homes south	
Comments: W	est Virginia PCS Alliance, L.C. 3	11 S Laurel St., Greenup, K	Y	

RF Manager: