

COMMONWEALTH OF KENTUCKY  
BEFORE THE PUBLIC SERVICE COMMISSION

RECEIVED

FEB 12 2016

PUBLIC SERVICE  
COMMISSION

In the Matter of:

THE APPLICATION OF )  
NEW CINGULAR WIRELESS PCS, LLC )  
FOR ISSUANCE OF A CERTIFICATE OF PUBLIC ) CASE NO.: 2016-00072  
CONVENIENCE AND NECESSITY TO CONSTRUCT )  
A WIRELESS COMMUNICATIONS FACILITY )  
IN THE COMMONWEALTH OF KENTUCKY )  
IN THE COUNTY OF MORGAN )

SITE NAME: WHEELRIM

\* \* \* \* \*

**APPLICATION FOR  
CERTIFICATE OF PUBLIC CONVENIENCE AND NECESSITY  
FOR CONSTRUCTION OF A WIRELESS COMMUNICATIONS FACILITY**

New Cingular Wireless PCS, LLC, a Delaware limited liability company, d/b/a AT&T Mobility ("Applicant"), by counsel, pursuant to (i) KRS §§ 278.020, 278.040, 278.650, 278.665, and other statutory authority, and the rules and regulations applicable thereto, and (ii) the Telecommunications Act of 1996, respectfully submits this Application requesting issuance of a Certificate of Public Convenience and Necessity ("CPCN") from the Kentucky Public Service Commission ("PSC") to construct, maintain, and operate a Wireless Communications Facility ("WCF") to serve the customers of the Applicant with wireless communications services.

**Applicants state that the within Application is substantially similar to the Application filed by Applicants previously in Case Number 2014-00093. A Certificate of Public Convenience and Necessity was issued for Case Number 2014-00093 on**

**June 2, 2014. The previously proposed tower has not been constructed based upon intervening changes to Applicants' deployment schedule for the subject facility. Applicant AT&T Mobility now requires for the subject facility to be constructed presently to address an existing service need, as discussed further herein.**

In support of this Application, Applicant respectfully provides and states the following information:

1. The complete name and address of the Applicant: New Cingular Wireless PCS, LLC, a Delaware limited liability company, d/b/a AT&T Mobility, having a local address of 601 West Chestnut Street, Louisville, Kentucky 40203.

2. Applicant proposes construction of an antenna tower for communications services, which is to be located in an area outside the jurisdiction of a planning commission, and Applicant submits this application to the PSC for a certificate of public convenience and necessity pursuant to KRS §§ 278.020(1), 278.040, 278.650, 278.665, and other statutory authority.

3. The Certificate of Authority filed with the Kentucky Secretary of State for the Applicant entity was attached to a prior application and is part of the case record for PSC case number 2011-00473 and is hereby incorporated by reference. AT&T Mobility is in good standing in the state in which it is organized and is authorized to transact business in Kentucky.

4. The Applicant operates on frequencies licensed by the Federal Communications Commission ("FCC") pursuant to applicable FCC requirements. A copy of the Applicant's FCC license to provide wireless services is attached to this Application or

described as part of **Exhibit A**, and the facility will be constructed and operated in accordance with applicable FCC regulations.

5. The public convenience and necessity require the construction of the proposed WCF. The construction of the WCF will bring or improve the Applicant's services to an area currently not served or not adequately served by the Applicant by increasing coverage or capacity and thereby enhancing the public's access to innovative and competitive wireless communications services. The WCF will provide a necessary link in the Applicant's communications network that is designed to meet the increasing demands for wireless services in Kentucky's wireless communications service area. The WCF is an integral link in the Applicant's network design that must be in place to provide adequate coverage to the service area.

6. To address the above-described service needs, Applicant proposes to construct a WCF at 3293 Highway 134, Hazel Green, KY 41332 (37° 45' 03.847" North latitude, 83° 15' 17.985" West longitude), on a parcel of land located entirely within the county referenced in the caption of this application. The property on which the WCF will be located is owned by Jason Oney pursuant to a Deed recorded at Deed Book 217, Page 483 in the office of the Morgan County Clerk. The proposed WCF will consist of a 255-foot tall tower, with an approximately 20-foot tall lightning arrestor attached at the top, for a total height of 275-feet. The WCF will also include concrete foundations and a shelter or cabinets to accommodate the placement of the Applicant's radio electronics equipment and appurtenant equipment. The Applicant's equipment cabinet or shelter will be approved for use in the Commonwealth of Kentucky by the relevant building inspector. The WCF

compound will be fenced and all access gate(s) will be secured. A description of the manner in which the proposed WCF will be constructed is attached as **Exhibit B** and **Exhibit C**.

7. A list of utilities, corporations, or persons with whom the proposed WCF is likely to compete is attached as **Exhibit D**, along with a map of suitable scale showing the location of the proposed new construction as well as the location of any like facilities located anywhere within the map area, along with a map key showing the owner of such other facilities.

8. The site development plan and a vertical profile sketch of the WCF signed and sealed by a professional engineer registered in Kentucky depicting the tower height, as well as a proposed configuration for the antennas of the Applicant has also been included as part of **Exhibit B**.

9. Foundation design plans signed and sealed by a professional engineer registered in Kentucky and a description of the standards according to which the tower was designed are included as part of **Exhibit C**.

10. Applicant has considered the likely effects of the installation of the proposed WCF on nearby land uses and values and has concluded that there is no more suitable location reasonably available from which adequate services can be provided, and that there are no reasonably available opportunities to co-locate Applicant's antennas on an existing structure. When suitable towers or structures exist, Applicant attempts to co-locate on existing structures such as communications towers or other structures capable of supporting Applicant's facilities; however, no other suitable or available co-location site was



found to be located in the vicinity of the site.

11. A copy of the Determination of No Hazard to Air Navigation issued by the Federal Aviation Administration ("FAA") is attached as **Exhibit E**.

12. A copy of the Application for Kentucky Airport Zoning Commission ("KAZC") Approval to construct the tower is attached as **Exhibit F**.

13. A geotechnical engineering firm has performed soil boring(s) and subsequent geotechnical engineering studies at the WCF site. A copy of the geotechnical engineering report, signed and sealed by a professional engineer registered in the Commonwealth of Kentucky, is attached as **Exhibit G**. Additionally, a letter signed and stamped by a professional engineer registered in the Commonwealth of Kentucky is attached as **Exhibit G**. The letter describes the impossibility of conducting a full geotechnical investigation without clearing trees and grading the land. The name and address of the geotechnical engineering firm and the professional engineer registered in the Commonwealth of Kentucky who supervised the examination of this WCF site are included as part of this exhibit.

14. Clear directions to the proposed WCF site from the County seat are attached as **Exhibit H**. The name and telephone number of the preparer of **Exhibit H** are included as part of this exhibit.

15. Applicant, pursuant to a written agreement, has acquired the right to use the WCF site and associated property rights. A copy of the agreement or an abbreviated agreement recorded with the County Clerk is attached as **Exhibit I**.

16. Personnel directly responsible for the design and construction of the

proposed WCF are well qualified and experienced. The tower and foundation drawings for the proposed tower submitted as part of **Exhibit C** bear the signature and stamp of a professional engineer registered in the Commonwealth of Kentucky. All tower designs meet or exceed the minimum requirements of applicable laws and regulations.

17. The Construction Manager for the proposed facility is Kyle Ballard and the identity and qualifications of each person directly responsible for design and construction of the proposed tower are contained within **Exhibits B & C**.

18. As noted on the Survey attached as part of **Exhibit B**, the surveyor has determined that the site is not within any flood hazard area.

19. **Exhibit B** includes a map drawn to an appropriate scale that shows the location of the proposed tower and identifies every owner of real estate within 500 feet of the proposed tower (according to the records maintained by the County Property Valuation Administrator). Every structure and every easement within 500 feet of the proposed tower or within 200 feet of the access road including intersection with the public street system is illustrated in **Exhibit B**.

20. Applicant has notified every person who, according to the records of the County Property Valuation Administrator, owns property which is within 500 feet of the proposed tower or contiguous to the site property, by certified mail, return receipt requested, of the proposed construction. Each notified property owner has been provided with a map of the location of the proposed construction, the telephone number and address of the PSC, and has been informed of his or her right to request intervention. A list of the notified property owners and a copy of the form of the notice sent by certified mail

to each landowner are attached as **Exhibit J** and **Exhibit K**, respectively.

21. Applicant has notified the applicable County Judge/Executive by certified mail, return receipt requested, of the proposed construction. This notice included the PSC docket number under which the application will be processed and informed the County Judge/Executive of his/her right to request intervention. A copy of this notice is attached as **Exhibit L**.

22. Notice signs meeting the requirements prescribed by 807 KAR 5:063, Section 1(2) that measure at least 2 feet in height and 4 feet in width and that contain all required language in letters of required height, have been posted, one in a visible location on the proposed site and one on the nearest public road. Such signs shall remain posted for at least two weeks after filing of the Application, and a copy of the posted text is attached as **Exhibit M**. Legal notice regarding the location of the proposed facility has been published in a newspaper of general circulation in the county in which the WCF is proposed to be located.

23. The general area where the proposed facility is to be located is on a mountaintop. No residential structures are located within a 500-foot radius of the proposed tower location.

24. The process that was used by the Applicant's radio frequency engineers in selecting the site for the proposed WCF was consistent with the general process used for selecting all other existing and proposed WCF facilities within the proposed network design area. Applicant's radio frequency engineers have conducted studies and tests in order to develop a highly efficient network that is designed to handle voice and data traffic in the

service area. The engineers determined an optimum area for the placement of the proposed facility in terms of elevation and location to provide the best quality service to customers in the service area. A radio frequency design search area prepared in reference to these radio frequency studies was considered by the Applicant when searching for sites for its antennas that would provide the coverage deemed necessary by the Applicant. A map of the area in which the tower is proposed to be located which is drawn to scale and clearly depicts the necessary search area within which the site should be located pursuant to radio frequency requirements is attached as **Exhibit N**.

25. All Exhibits to this Application are hereby incorporated by reference as if fully set out as part of the Application.

26. All responses and requests associated with this Application may be directed to:

David A. Pike  
Pike Legal Group, PLLC  
1578 Highway 44 East, Suite 6  
P. O. Box 369  
Shepherdsville, KY 40165-0369  
Telephone: (502) 955-4400  
Telefax: (502) 543-4410  
Email: [dpike@pikelegal.com](mailto:dpike@pikelegal.com)

**WHEREFORE**, Applicant respectfully requests that the PSC accept the foregoing Application for filing, and having met the requirements of KRS §§ 278.020(1), 278.650, and 278.665 and all applicable rules and regulations of the PSC, grant a Certificate of Public Convenience and Necessity to construct and operate the WCF at the location set forth herein.

Respectfully submitted,



---

David A. Pike  
Pike Legal Group, PLLC  
1578 Highway 44 East, Suite 6  
P. O. Box 369  
Shepherdsville, KY 40165-0369  
Telephone: (502) 955-4400  
Telefax: (502) 543-4410  
Email: dpike@pikelegal.com  
Attorney for New Cingular Wireless PCS, LLC  
d/b/a AT&T Mobility

## LIST OF EXHIBITS

- A - FCC License Documentation
- B - Site Development Plan:
  - 500' Vicinity Map
  - Legal Descriptions
  - Flood Plain Certification
  - Site Plan
  - Vertical Tower Profile
- C - Tower and Foundation Design
- D - Competing Utilities, Corporations, or Persons List
- E - FAA
- F - Kentucky Airport Zoning Commission
- G - Geotechnical Report
- H - Directions to WCF Site
- I - Copy of Real Estate Agreement
- J - Notification Listing
- K - Copy of Property Owner Notification
- L - Copy of County Judge/Executive Notice
- M - Copy of Posted Notices
- N - Copy of Radio Frequency Design Search Area

**EXHIBIT A**  
**FCC LICENSE DOCUMENTATION**

## ULS License

**AWS (1710-1755 MHz and 2110-2155 MHz) License - WQGA822 - New Cingular Wireless PCS, LLC**

Call Sign	WQGA822	Radio Service	AW - AWS (1710-1755 MHz and 2110-2155 MHz)
Status	Active	Auth Type	Regular
<b>Market</b>			
Market	CMA451 - Kentucky 9 - Elliott	Channel Block	A
Submarket	0	Associated Frequencies (MHz)	001710.00000000-001720.00000000-002110.00000000-002120.00000000

**Dates**

Grant	11/29/2006	Expiration	11/29/2021
Effective	02/12/2014	Cancellation	

**Buildout Deadlines**

1st	2nd
-----	-----

**Notification Dates**

1st	2nd
-----	-----

**Licensee**

FRN	0003291192	Type	Limited Liability Company
-----	------------	------	---------------------------

**Licensee**

New Cingular Wireless PCS, LLC 3300 E. Renner Road, B3132 Richardson, TX 75082 ATTN Reginald Youngblood	P:(855)699-7073 F:(972)907-1131 E:FCCMW@att.com
--	---

**Contact**

AT&T Mobility LLC Michael P Goggin 1120 20th Street, NW - Suite 1000 Washington, DC 20036 ATTN Michael P. Goggin	P:(202)457-2055 F:(202)457-3073 E:michael.p.goggin@att.com
--	--

**Ownership and Qualifications**

Radio Service Type	Mobile
Regulatory Status	Common Carrier Interconnected Yes

**Alien Ownership**

The Applicant answered "No" to each of the Alien Ownership questions.

**Basic Qualifications**

The Applicant answered "No" to each of the Basic Qualification questions.



**Tribal Land Bidding Credits**

This license did not have tribal land bidding credits.

**Demographics**

Race

Ethnicity

Gender

## ULS License

**AWS (1710-1755 MHz and 2110-2155 MHz) License - WQGD755 - New Cingular Wireless PCS, LLC**

Call Sign	WQGD755	Radio Service	AW - AWS (1710-1755 MHz and 2110-2155 MHz)
Status	Active	Auth Type	Regular
<b>Market</b>			
Market	BEA047 - Lexington, KY-TN-VA-WV	Channel Block	C
Submarket	0	Associated Frequencies (MHz)	001730.00000000- 001735.00000000- 002130.00000000- 002135.00000000

**Dates**

Grant	12/18/2006	Expiration	12/18/2021
Effective	12/05/2014	Cancellation	

**Buildout Deadlines**

1st	2nd
-----	-----

**Notification Dates**

1st	2nd
-----	-----

**Licensee**

FRN	0003291192	Type	Limited Liability Company
-----	------------	------	---------------------------

**Licensee**

New Cingular Wireless PCS, LLC 3300 E. Renner Road, B3132 Richardson, TX 75082 ATTN Reginald Youngblood	P:(855)699-7073 F:(972)907-1131 E:FCCMW@att.com
--	---

**Contact**

AT&T Mobility LLC  1120 20th Street, NW - Suite 1000 Washington, DC 20036 ATTN Michael P. Goggin	P:(202)457-2055 F:(202)457-3073 E:michael.p.goggin@att.com
--	--

**Ownership and Qualifications**

Radio Service Type	Mobile
Regulatory Status	Common Carrier    Interconnected    Yes

**Alien Ownership**

The Applicant answered "No" to each of the Alien Ownership questions.

**Basic Qualifications**

The Applicant answered "No" to each of the Basic Qualification questions.

**Tribal Land Bidding Credits**

This license did not have tribal land bidding credits.

**Demographics**

Race

Ethnicity

Gender

## ULS License

**PCS Broadband License - WPOI255 - NEW CINGULAR WIRELESS PCS, LLC**

Call Sign	WPOI255	Radio Service	CW - PCS Broadband
Status	Active	Auth Type	Regular

**Market**

Market	MTA026 - Louisville-Lexington-Evansvill	Channel Block	A
Submarket	19	Associated Frequencies (MHz)	001850.00000000-001865.00000000-001930.00000000-001945.00000000

**Dates**

Grant	05/27/2015	Expiration	06/23/2025
Effective	05/27/2015	Cancellation	

**Buildout Deadlines**

1st	06/23/2000	2nd	06/23/2005
-----	------------	-----	------------

**Notification Dates**

1st	07/07/2000	2nd	02/17/2005
-----	------------	-----	------------

**Licensee**

FRN	0003291192	Type	Limited Liability Company
-----	------------	------	---------------------------

**Licensee**

NEW CINGULAR WIRELESS PCS, LLC 3300 E. Renner Road, B3132 Richardson, TX 75082 ATTN Reginald Youngblood	P:(855)699-7073 F:(972)907-1131 E:FCCMW@att.com
--	---

**Contact**

AT&T MOBILITY LLC Michael P Goggin 1120 20th Street, NW - Suite 1000 Washington, DC 20036 ATTN Michael P. Goggin	P:(202)457-2055 F:(202)457-3073 E:michael.p.goggin@att.com
--	--

**Ownership and Qualifications**

Radio Service Type	Mobile
Regulatory Status	Common Carrier Interconnected Yes

**Alien Ownership**

The Applicant answered "No" to each of the Alien Ownership questions.

**Basic Qualifications**

The Applicant answered "No" to each of the Basic Qualification questions.

**Tribal Land Bidding Credits**

This license did not have tribal land bidding credits.

**Demographics**

Race

Ethnicity

Gender

## ULS License

**Cellular License - KNKN861 - NEW CINGULAR WIRELESS PCS, LLC**

Call Sign	KNKN861	Radio Service	CL - Cellular
Status	Active	Auth Type	Regular

**Market**

Market	CMA451 - Kentucky 9 - Elliott	Channel Block	A
Submarket	0	Phase	2

**Dates**

Grant	08/30/2011	Expiration	10/01/2021
Effective	06/09/2014	Cancellation	

**Five Year Buildout Date**

02/04/1997

**Control Points**

- 1 1650 Lyndon Farms Court, LOUISVILLE, KY  
P: (502)329-4700
- 2 707 CONCORD ROAD, KNOXVILLE, TN

**Licensee**

FRN	0003291192	Type	Limited Liability Company
-----	------------	------	---------------------------

**Licensee**

NEW CINGULAR WIRELESS PCS, LLC 3300 E. Renner Road, B3132 Richardson, TX 75082 ATTN Reginald Youngblood	P:(855)699-7073 F:(972)907-1131 E:FCCMW@att.com
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**Contact**

AT&T MOBILITY LLC Michael P Goggin 1120 20th Street, NW - Suite 1000 Washington, DC 20036 ATTN Michael P. Goggin	P:(202)457-2055 F:(202)457-3073 E:michael.p.goggin@att.com
--	--

**Ownership and Qualifications**

Radio Service Type	Mobile		
Regulatory Status	Common Carrier	Interconnected	Yes

**Alien Ownership**

The Applicant answered "No" to each of the Alien Ownership questions.

**Basic Qualifications**

The Applicant answered "No" to each of the Basic Qualification questions.

**Demographics**

Race

Ethnicity

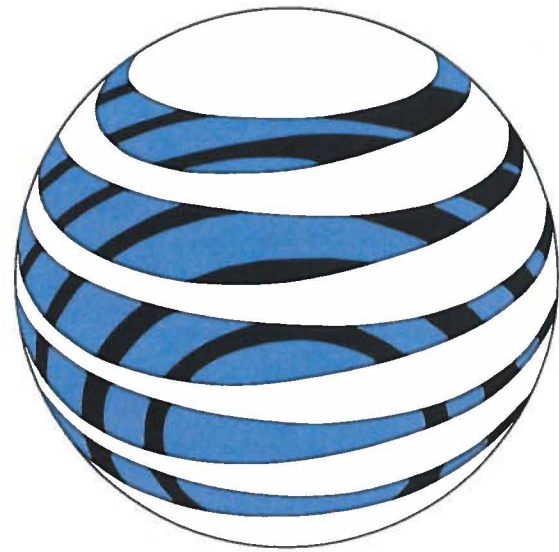
Gender

**EXHIBIT B**

**SITE DEVELOPMENT PLAN:**

**500' VICINITY MAP  
LEGAL DESCRIPTIONS  
FLOOD PLAIN CERTIFICATION  
SITE PLAN  
VERTICAL TOWER PROFILE**





# at&t

# WHEELRIM SITE ID: KYALU6169

3293 HWY 134  
MORGAN COUNTY  
HAZEL GREEN, KENTUCKY 41332

PROPOSED 255' SELF-SUPPORT  
WITH MULTIPLE EQUIPMENT LOCATIONS

### SCOPE OF WORK:

CONSTRUCTION DRAWINGS FOR:  
CONSTRUCTION OF A NEW UNMANNED TELECOMMUNICATIONS FACILITY.

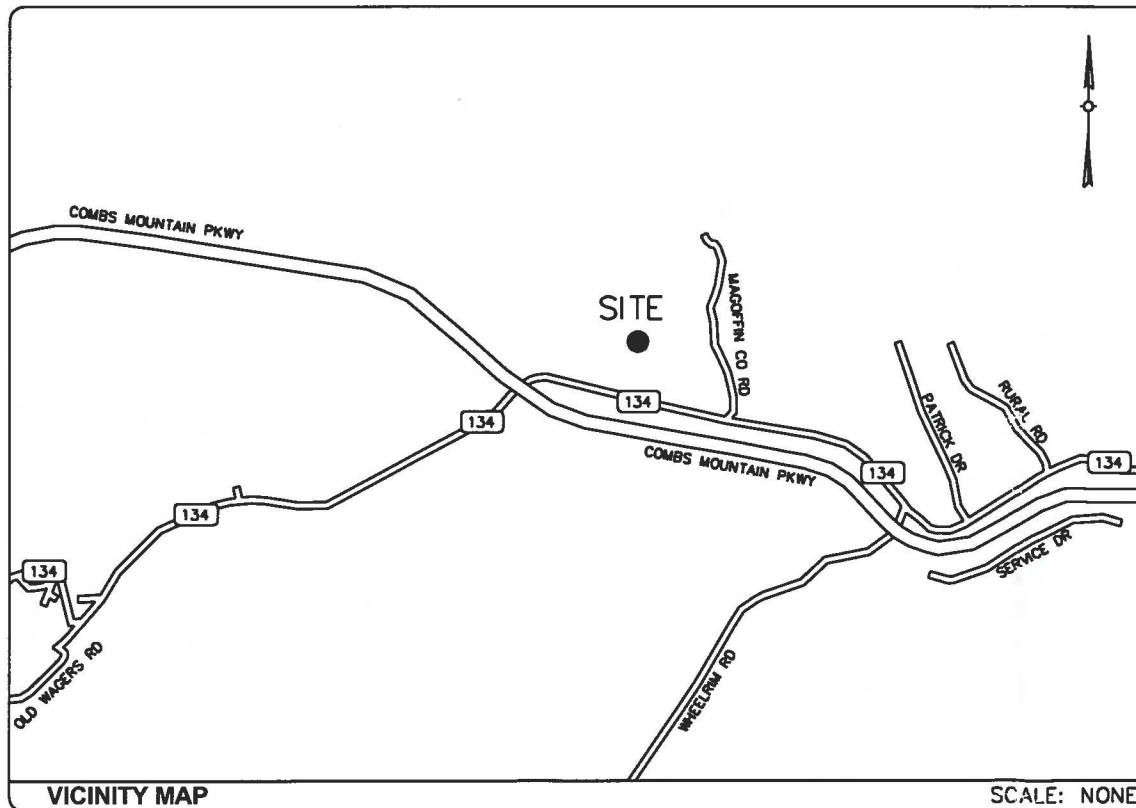
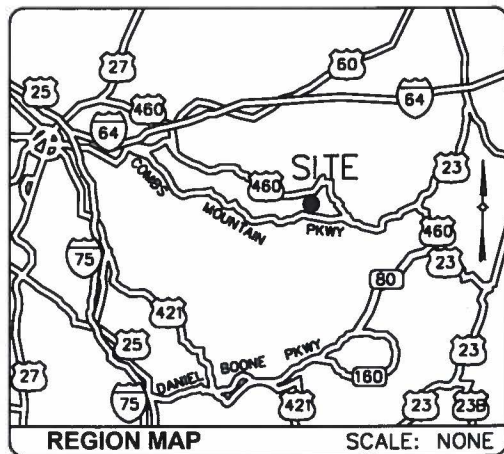
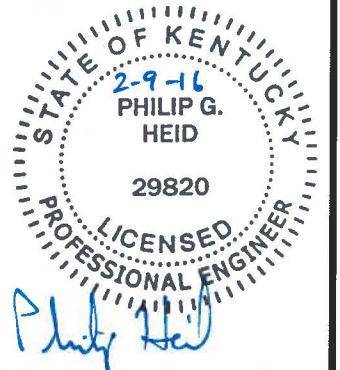
SITE WORK: NEW SELF-SUPPORT TOWER, UNMANNED EQUIPMENT SHELTER AND GENERATOR ON A CONCRETE FOUNDATION, AND UTILITY INSTALLATIONS.

### UTILITY PROTECTION NOTE

THE CONTRACTOR'S ATTENTION IS DIRECTED TO THE UTILITY PROTECTION CENTER, WHICH WAS ESTABLISHED TO PROVIDE ACCURATE LOCATIONS OF UNDERGROUND UTILITIES. THE CONTRACTOR SHALL NOTIFY THE UTILITY PROTECTION CENTER 48 HOURS IN ADVANCE OF ANY CONSTRUCTION ON THIS PROJECT. ALL NEW SERVICE AND GROUNDING TRENCHES PROVIDE A WARNING TAPE @ 12 INCHES ABOVE THE UNDERGROUND INSTALLATION (SEE NEC 300.5).

# #Mastec

**BTM Engineering, Inc.**  
CONSULTING ENGINEERS, LANDSCAPE ARCHITECTS,  
PLANNERS & SURVEYORS  
3001 TAYLOR SPRINGS DRIVE  
LOUISVILLE, KENTUCKY 40220  
PHONE: (502) 459-8402  
FAX: (502) 459-8427



**DIRECTIONS FROM COUNTY SEAT:** FROM WEST LIBERTY AT THE CORNER OF US 460 (MAIN ST) AND US 460/SR 7 (PRESTONSBURG AVE), PROCEED SOUTH ON US 460/SR 7 (PRESTONSBURG AVE) APRX 15.6 MILES TO SR 134 AND TURN RIGHT. CONTINUE ON SR 134 APRX 8.5 MILES TO ACCESS RD ON RIGHT. FOLLOW ACCESS RD TO SITE.

**DIRECTIONS FROM WINCHESTER AT&T MTSO:** STARTING AT 3800 CORPORATE DR WINCHESTER, KY, PROCEED TO THE COMBS MOUNTAIN PKWY FOR APRX 84 MILES TO SR 134 AND TURN LEFT ONTO SR 134. PROCEED ON SR 134 APRX .70 MILES TO ACCESS RD ON RIGHT. FOLLOW ACCESS RD TO SITE.

AT&T \_\_\_\_\_  
MASTEC \_\_\_\_\_ CONSTRUCTION MANAGER  
MASTEC \_\_\_\_\_ SITE ACQUISITION

SIGNATURE BOX

**SITE NAME**  
WHEELRIM  
**SITE ID NUMBER**  
KYALU6169  
**SITE ADDRESS**  
3293 HWY 134  
HAZEL GREEN, KY 41332  
**1A COORDINATES**  
LAT: 37° 45' 03.847"  
LONG: 83° 15' 17.985"  
ELEV: ±1212.2' AMSL (NAVD 88)  
**PROPERTY OWNER**  
JASON ONEY  
3247 HWY 134  
HAZEL GREEN, KY 41332  
PHONE: (606) 495-5452

**APPLICANT**  
AT&T  
601 W. CHESTNUT ST. 1 EAST  
LOUISVILLE, KENTUCKY 40203  
CONTACT: MICHELLE WARD  
PHONE: (502) 779-5950  
**TAX MAP NUMBER**  
N/A  
**PARCEL NUMBER**  
114-00-00-015.00  
**SOURCE OF TITLE**  
DEED BOOK 217, PAGE 483  
**LEASE AREA**  
4,000 SF

PROJECT INFORMATION

SHT NO.	DESCRIPTION
T-1	TITLE SHEET
C-1	500' RADIUS VICINITY MAP
C-1A	500' RADIUS VICINITY MAP
C-2	COMMUNICATIONS SITE SURVEY
C-2A	COMMUNICATIONS SITE SURVEY
Z-2	OVERALL SITE PLAN
Z-2A	OVERALL SITE PLAN (DIMENSIONS)
Z-3	SITE LAYOUT
Z-4	AT&T SHELTER LAYOUT
Z-5	NORTH/SOUTH TOWER ELEVATIONS
Z-6	EAST/WEST TOWER ELEVATIONS

SHEET INDEX

**POLICE DEPARTMENT**  
MORGAN CO SHERIFF  
PHONE: (606) 743-9935

**FIRE DEPARTMENT**  
HAZEL GREEN VOL FD  
PHONE: (606) 662-6605

**ELECTRIC COMPANY**  
LICKING VALLEY RECC  
PHONE: (606) 743-3179  
CONTACT: CUSTOMER SERVICE

**TELEPHONE COMPANY**  
MOUNTAIN TELEPHONE COMPANY  
PHONE: (606) 743-3121  
CONTACT: CUSTOMER SERVICE

CONTACT INFORMATION

**BTM Engineering, Inc.**  
Consulting Engineers, Landscape Architects, Planners & Surveyors  
"Serving the Bluegrass and Beyond"

3001 TAYLOR SPRINGS DRIVE  
LOUISVILLE, KENTUCKY 40220 (502) 459-8402  
459-8402 PHONE (502) 459-8427  
FAX

DESIGN ENGINEER

**BTM Engineering, Inc.**

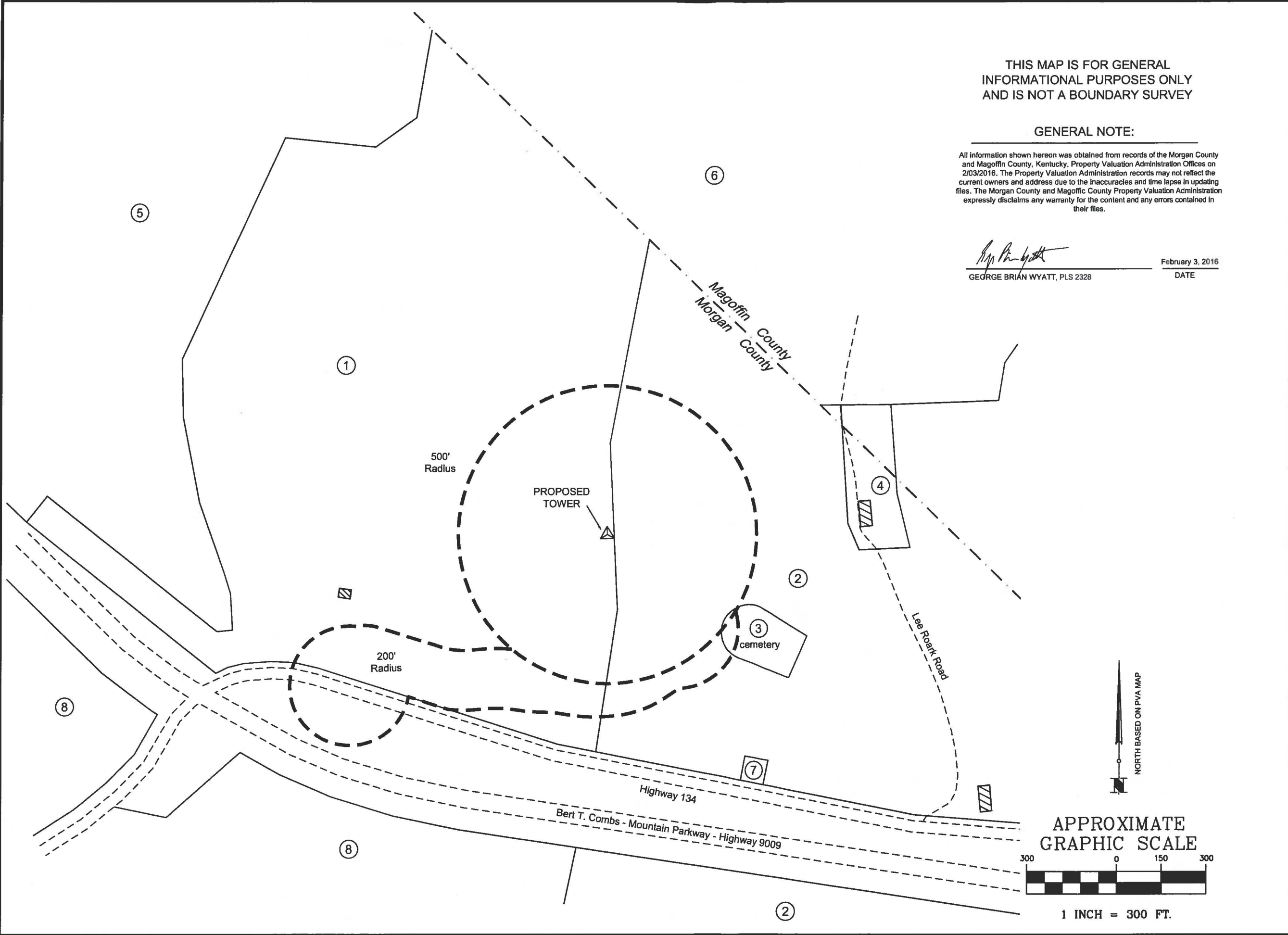
3001 TAYLOR SPRINGS DRIVE  
LOUISVILLE, KENTUCKY 40220  
(502) 459-8402 PHONE  
(502) 459-8427 FAX

SURVEYOR

**SITE NAME:** WHEELRIM  
**SITE NUMBER:** KYALU6169  
**SITE ADDRESS:** 3293 HWY 134  
HAZEL GREEN, KY 41332  
**AREA:** 4,000 SF  
**PROPERTY OWNER:** JASON ONEY  
3721 HWY 134  
HAZEL GREEN, KY 41332  
**TAX MAP #:** N/A **PARCEL NUMBER:** 114-00-00-015.00  
**SOURCE OF TITLE:** DEED BOOK 217 PAGE 483  
**LATITUDE:** N 37° 45' 03.847" **LONGITUDE:** W 83° 15' 17.985"

NO.	BY	DESCRIPTION	REVISIONS		
			DATE	CHK	PGH
1	LMD	ISSUE FOR COMMENT	01/26/16	PGH	PGH
2	LMD	ISSUE FOR COMMENT	02/03/16	PGH	PGH
3	LMD	ISSUE FOR ZONING	02/09/16	PGH	PGH

**TITLE:** TITLE SHEET  
**SHEET:** T-1



THIS MAP IS FOR GENERAL INFORMATIONAL PURPOSES ONLY AND IS NOT A BOUNDARY SURVEY

GENERAL NOTE:

All information shown hereon was obtained from records of the Morgan County and Magoffin County, Kentucky, Property Valuation Administration Offices on 2/03/2016. The Property Valuation Administration records may not reflect the current owners and address due to the inaccuracies and time lapse in updating files. The Morgan County and Magoffin County Property Valuation Administration expressly disclaims any warranty for the content and any errors contained in their files.

*George Brian Wyatt*  
 GEORGE BRIAN WYATT, PLS 2328

February 3, 2016  
 DATE

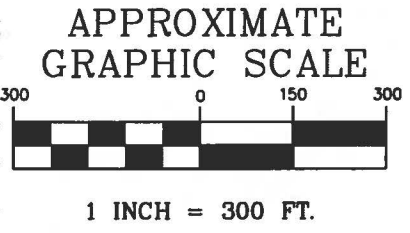
**Mastec**

**BTM Engineering, Inc.**  
 CONSULTING ENGINEERS, LANDSCAPE ARCHITECTS,  
 PLANNERS & SURVEYORS  
 3001 TAYLOR SPRINGS DRIVE  
 LOUISVILLE, KENTUCKY 40220  
 PHONE: (502) 459-8402  
 FAX: (502) 459-8427

STATE of KENTUCKY  
 GEORGE BRIAN WYATT  
 2328  
 LICENSED PROFESSIONAL LAND SURVEYOR

SITE NAME:	WHEELRIM
SITE NUMBER:	KYALU6169
SITE ADDRESS:	3293 HWY 134 HAZEL GREEN, KY 41332
AREA:	4.000
PROPERTY OWNER:	JASON ONEY 3721 HWY 134 HAZEL GREEN, KY 41332
TAX MAP #:	N/A
PARCEL NUMBER:	114-00-00-015.00
SOURCE OF TITLE:	DEED BOOK 217 PAGE 483
LATITUDE:	N 37° 45' 03.847"
LONGITUDE:	W 83° 15' 17.985"

NO.	BY	DESCRIPTION	CHK	
			DATE	PH
1	BW	UPDATE PVA DATA	01/12/16	PH
2	BW	UPDATE PVA DATA	02/03/16	PH



TITLE:  
 500' RADIUS VICINITY MAP

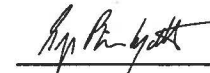
SHEET:  
 C-1



THIS MAP IS FOR GENERAL  
INFORMATIONAL PURPOSES ONLY  
AND IS NOT A BOUNDARY SURVEY

GENERAL NOTE:

All information shown hereon was obtained from records of the Morgan County and Magoffin County, Kentucky, Property Valuation Administration Offices on 2/03/2016. The Property Valuation Administration records may not reflect the current owners and address due to the inaccuracies and time lapse in updating files. The Morgan County and Magoffin County Property Valuation Administration expressly disclaims any warranty for the content and any errors contained in their files.



GEORGE BRIAN WYATT, PLS 2328

February 3, 2016  
DATE

- ① PARCEL NUMBER: 114-00-00-015.00  
Jason Oney  
3721 Highway 134  
Hazel Green, Kentucky 41332
  
- ② PARCEL NUMBER: 129-00-00-003.00  
William & Judy Oney  
3721 Highway 134  
Hazel Green, Kentucky 41332

and

William & Ashley Oney  
3471 Highway 134  
Hazel Green, Kentucky 41332

  
- ③ PARCEL NUMBER: 129-00-00-001.00  
Oney Cemetery - Per PVA, No Information Available  
3721 Highway 134  
Hazel Green, Kentucky 41332
  
- ④ PARCEL NUMBER: 129-00-00-004.00  
Lee & Rissie Roark  
220 Lee Roark Road  
Hazel Green, Kentucky 41332
  
- ⑤ PARCEL NUMBER: 113-00-00-009.00  
Ronald Jay Rudd & Timothy Ray Rudd  
2481 Big Indian Road, SR 743  
Moscow, Ohio 45153
  
- ⑥ PARCEL NUMBER: 002-00-00-004 (Magoffin County)  
Ernie & Sue Ann Alsept  
400 Lee Roark Road  
Hazel Green, Kentucky 41332
  
- ⑦ PARCEL NUMBER: 129-00-00-002.00  
William & Judy Oney  
3721 Highway 134  
Hazel Green, Kentucky 41332
  
- ⑧ PARCEL NUMBER: 114-00-00-014.00  
Dean Family Farms, LLC  
3612 Epperly Drive  
Del City, Oklahoma 73115

# Mastec

**BTM Engineering, Inc.**  
CONSULTING ENGINEERS, LANDSCAPE ARCHITECTS,  
PLANNERS & SURVEYORS  
3001 TAYLOR SPRINGS DRIVE  
LOUISVILLE, KENTUCKY 40220  
PHONE: (502) 459-8402  
FAX: (502) 459-8427



STATE of KENTUCKY  
GEORGE BRIAN  
WYATT  
2328  
LICENSED  
PROFESSIONAL  
LAND SURVEYOR

SITE NAME: WHEELRIM

SITE NUMBER: KYALU6169

SITE ADDRESS: 3293 HWY 134  
HAZEL GREEN, KY 41332

AREA: 4.000

PROPERTY OWNER: JASON ONEY  
3721 HWY 134  
HAZEL GREEN, KY 41332

TAX MAP #: N/A      PARCEL NUMBER: 114-00-00-015.00

SOURCE OF TITLE: DEED BOOK 217 PAGE 483

LATITUDE: N 37° 45' 03.847"      LONGITUDE: W 83° 15' 17.985"

NO.	BY	DESCRIPTION	DATE	CHK		PH	
				12/16	01/16	02/16	03/16
1	BW	UPDATE PVA DATA	01/12/16				
2	BW	UPDATE PVA DATA	02/03/16				

TITLE:  
500' RADIUS  
VICINITY MAP

SHEET:  
C-1A

**LEASE AREA LINE TABLE**

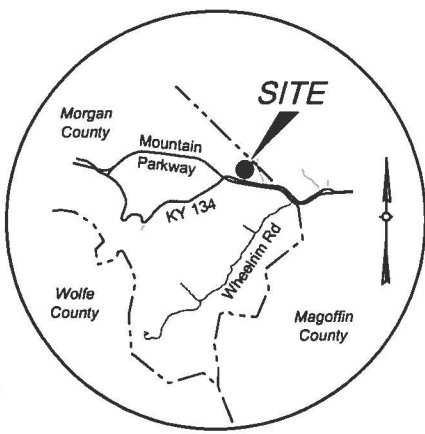
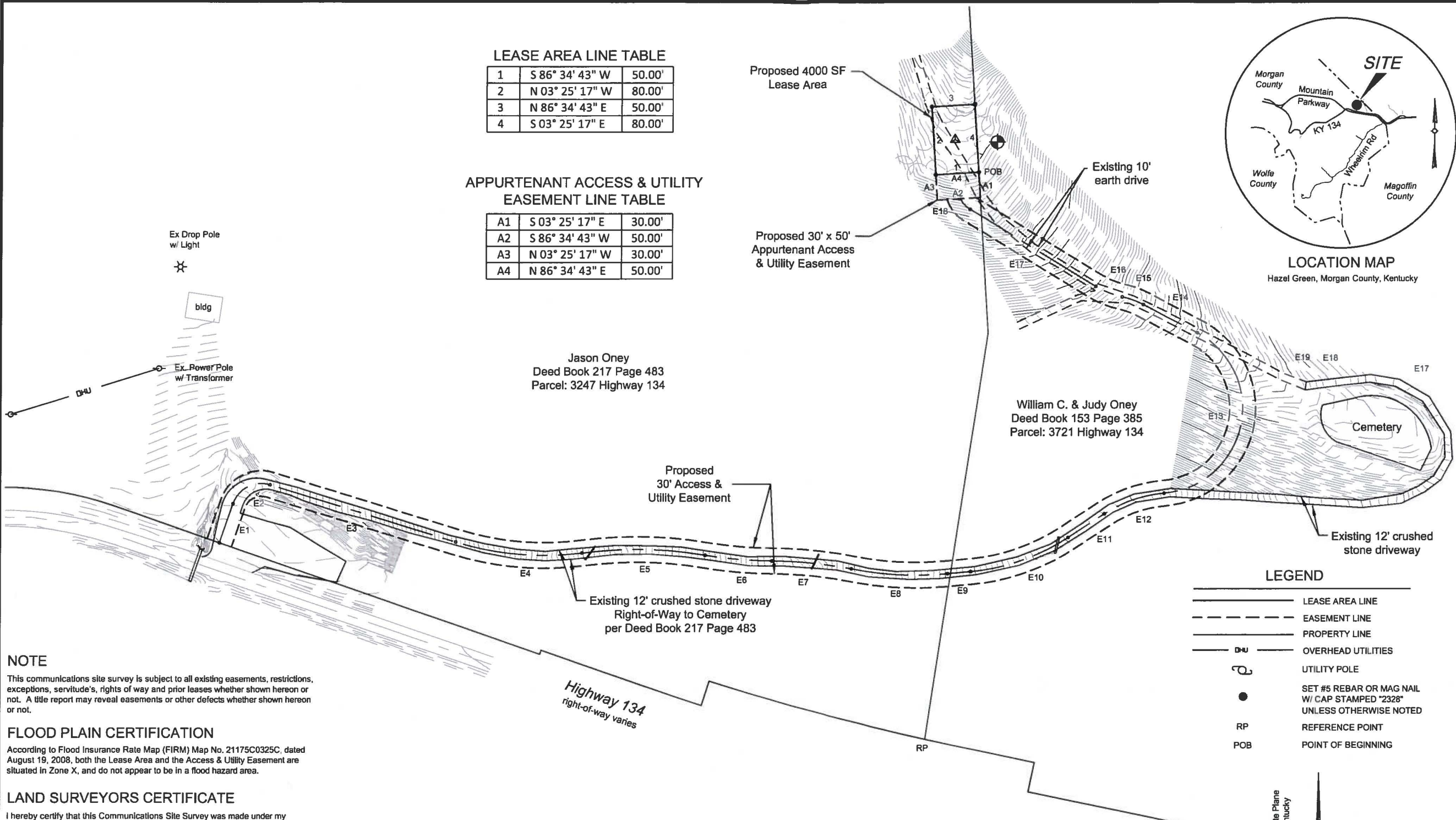
1	S 86° 34' 43" W	50.00'
2	N 03° 25' 17" W	80.00'
3	N 86° 34' 43" E	50.00'
4	S 03° 25' 17" E	80.00'

**APPURTENANT ACCESS & UTILITY EASEMENT LINE TABLE**

A1	S 03° 25' 17" E	30.00'
A2	S 86° 34' 43" W	50.00'
A3	N 03° 25' 17" W	30.00'
A4	N 86° 34' 43" E	50.00'

Jason Oney  
Deed Book 217 Page 483  
Parcel: 3247 Highway 134

William C. & Judy Oney  
Deed Book 153 Page 385  
Parcel: 3721 Highway 134



**LOCATION MAP**  
Hazel Green, Morgan County, Kentucky

**Mastec**  
BTM Engineering, Inc.  
CONSULTING ENGINEERS, LANDSCAPE ARCHITECTS,  
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PHONE: (502) 459-8402  
FAX: (502) 459-8427

STATE OF KENTUCKY  
GEORGE BRIAN WYATT  
2328  
LICENSED PROFESSIONAL  
LAND SURVEYOR

SITE NAME:	WHEELRIM
SITE NUMBER:	KYALU6169
SITE ADDRESS:	3293 HWY 134 HAZEL GREEN, KY 41332
AREA:	4,000
PROPERTY OWNER:	JASON ONEY 3721 HWY 134 HAZEL GREEN, KY 41332
TAX MAP #:	N/A
PARCEL NUMBER:	114-00-00-015.00
SOURCE OF TITLE:	DEED BOOK 217 PAGE 483
LATITUDE:	N 37° 45' 03.847"
LONGITUDE:	W 83° 15' 17.985"

**NOTE**  
This communications site survey is subject to all existing easements, restrictions, exceptions, servitude's, rights of way and prior leases whether shown hereon or not. A title report may reveal easements or other defects whether shown hereon or not.

**FLOOD PLAIN CERTIFICATION**  
According to Flood Insurance Rate Map (FIRM) Map No. 21175C0325C, dated August 19, 2008, both the Lease Area and the Access & Utility Easement are situated in Zone X, and do not appear to be in a flood hazard area.

**LAND SURVEYORS CERTIFICATE**  
I hereby certify that this Communications Site Survey was made under my supervision, and that the angular and linear measurements as witnessed by monuments shown hereon are true and correct to the best of my knowledge and belief. This plat does not represent a boundary survey and is not intended for land transfer.

*George Brian Wyatt*  
GEORGE BRIAN WYATT, PLS 2328  
February 3, 2016  
DATE

OWNER APPROVAL: \_\_\_\_\_ DATE \_\_\_\_\_

OWNER APPROVAL: \_\_\_\_\_ DATE \_\_\_\_\_

CLIENT APPROVAL: \_\_\_\_\_ DATE \_\_\_\_\_

**30' ACCESS & UTILITY EASEMENT CENTERLINE TABLE**

E1	N 18° 58' 39" E	48.64'	
E2	N 63° 06' 24" E	48.74'	R=35.00'
E3	S 72° 45' 52" E	226.28'	
E4	S 85° 01' 32" E	148.66'	R=350.00'
E5	S 88° 57' 46" E	144.78'	R=500.00'
E6	S 85° 06' 51" E	78.04'	R=500.00'
E7	S 84° 16' 22" E	92.67'	R=500.00'
E8	S 87° 09' 22" E	114.11'	R=400.00'
E9	N 84° 38' 36" E	27.04'	
E10	N 70° 38' 55" E	120.92'	R=250.00'
E11	N 56° 39' 13" E	50.45'	
E12	N 71° 00' 09" E	74.35'	R=150.00'
E13	N 11° 27' 50" E	192.14'	R=100.00'
E14	N 62° 25' 25" W	71.66'	
E15	N 70° 00' 00" W	26.37'	R=100.00'
E16	N 68° 01' 25" W	33.19'	R=100.00'
E17	N 58° 28' 16" W	172.96'	
E18	N 42° 11' 09" W	16.83'	R=30.00'

**NOTE**  
THE PROPOSED TOWER CENTERLINE, DENOTED BY THIS SYMBOL IS LOCATED AS FOLLOWS:

NAD 1983  
LATITUDE: 37°45' 03.847"N  
LONGITUDE: 83°15' 17.985"W  
ELEVATION: 1212.2 (NAVD 88)  
STATE PLANE COORDINATE  
NORTHING: 3,806,693.397  
EASTING: 5,642,490.303

BENCHMARK  
NORTH: 3,806,690.62  
EAST: 5,642,539.39  
ELEVATION: 1208.64 (NAVD 88)  
LOCATION: Iron Pin w/Cap

**LEGEND**

- LEASE AREA LINE
- EASEMENT LINE
- PROPERTY LINE
- OVERHEAD UTILITIES
- UTILITY POLE
- SET #5 REBAR OR MAG NAIL W/ CAP STAMPED "2328" UNLESS OTHERWISE NOTED
- REFERENCE POINT
- POINT OF BEGINNING

**APPROXIMATE GRAPHIC SCALE**

1 INCH = 120 FT.

120 0 60 120

**REVISIONS**

NO.	BY	DESCRIPTION	DATE	CHK	PH
1	BW	UPDATE PVA DATA	01/12/16		
2	BW	UPDATE PVA DATA	02/03/16		

TITLE:  
**COMMUNICATIONS SITE SURVEY**

SHEET:  
**C-2**



**LEGAL DESCRIPTIONS**

These are the descriptions of:

A tract of land conveyed to Jason Oney in Deed Book 217 at Page 483, and a tract of land conveyed to William C. and Judy Oney in Deed Book 153 at page 385, in the Office of the County Clerk of Morgan County, Kentucky;

An area to be leased from, and situated entirely within, the Jason Oney tract;

An appurtenant easement for access & utilities, abutting the lease area, situated entirely within, the Jason Oney tract; and

A 30-foot wide easement for access & utilities on, over, and across both the Jason Oney tract and the William C. and Judy Oney tract.

**PARENT TRACT DESCRIPTIONS**

Deed Book 271 Page 483 - Jason Oney:

BEGINNING on the North side of Mountain Parkway at a set stone in the line of Willie Bailey; thence following the Willie Bailey line to the line of Mandy Center; thence with Mandy Center line to the line of Branson Phipps; thence following Bronson Phipp's line to a bridge at Highway 134 at the mouth of Prater Branch; and at the right of way of Mountain Parkway; thence with the right of way of Mountain Parkway to the point of beginning, containing 65 acres, more or less, but to contain all the land described in the within boundary.

There is excepted, retained, and reserved, a right-of-way from the public highway to the Lindon Cemetery, which right-of-way is bounded and described as follows:

Beginning at the point on the right-of-way of KY 134 and Willie Bailey (now W.C. Oney) line, a twelve (12) foot roadway to be used as the right-of-way to the cemetery now in existence. The area reserved for the roadway will be approximately twelve (12) feet wide, and 1,000 feet long, along the W.C. Oney line traveling Northeast to the cemetery. This reservation and exclusion for right-of-way purposes is for the benefit and use of all individuals including, but not limited to, the grantor, her heirs and assigns, who desire to have access to the Lindon Cemetery.

Deed Book 153 Page 385 - William C. and Judy Oney:

BEGINNING at the mouth of a small drain which empties into the Johnson Fork of Licking River at a set stone between a sycamore and a Lynn; thence in a southern direction with the meanders of same to the head of the drain; thence a straight line to the top of the hill to a set stone on Homer Patrick's line, being the ridge between the Johnson Fork and Wheelrim Fork; thence in an eastern direction with the ridge and Homer Patrick's line to Boone Back's line; thence with Boone Back's line to the David Lindon line; thence with David Lindon's line in a northern direction down the hill to the Johnson Fork Creek, opposite the mouth of what is known as the Shop Branch; thence crossing Johnson Fork Creek to the mouth of the Shop Branch; thence up said branch with the meanders of same and David Lindon's line to the top of the hill to a dogwood and oak stump marked as a corner in the line of Mort Lindon tract now owned by First party; thence in a southern direction with the line of the Mort Lindon tract down the hill to Lick Branch; thence continuing with the Mort Lindon line crossing the branch and up the hill to a chestnut; thence continuing with the Mort Lindon line to the top of the hill to a set stone, s corner between the Morth Lindon tract and the Heddy Lindon tract and the Bonny Higgins tract; thence with the Heddy Lindon tract down the center of a spur to a set stone; thence with an agreed line down the point between Logan Lindon and second party hereto to a set stone; thence down the hill a straight line to a marked chestnut; thence a straight line to the beginning.

**DESCRIPTION OF PROPOSED LEASE AREA**

Beginning, for reference, at the southeasterly corner of the Jason Oney tract, as recorded in Deed Book 217 at Page 483, said corner being common with the southwesterly corner of the William C. and Judy Oney tract, as recorded in Deed Book 153 at Page 385, all records of the Morgan County Clerk's Office, said corner also being in the northerly right-of-way line of Highway 134; thence in a northeasterly direction, with Jason Oney's easterly boundary, common with William C. and Judy Oney's westerly boundary, approximately 482 feet to a point; thence continuing with Jason Oney's easterly boundary line, in a northerly direction, approximately 190 feet to the TRUE POINT OF BEGINNING, being an iron pin with cap stamped #2328; thence running on over, and across the lands of the said Jason Oney, South 86 degrees 34 minutes 43 seconds West, a distance of 50.00 feet to an iron pin with cap stamped #2328; thence North 03 degrees 25 minutes 17 seconds West, a distance of 80.00 feet to an iron pin with cap stamped #2328; thence North 86 degrees 34 minutes 43 seconds East, a distance of 50.00 feet to an iron pin with cap stamped #2328; thence South 03 degrees 25 minutes 17 seconds East, a distance of 80.00 feet to the point of beginning, containing 4000.00 square feet, or 0.92 acres.

**DESCRIPTION OF PROPOSED APPURTENANT ACCESS & UTILITY EASEMENT**

Beginning at the southeasterly corner of the above-described Lease Area, thence with Jason Oney's easterly boundary line, common with William C. and Judy Oney's westerly boundary line, South 03 degrees 25 minutes 17 seconds East, a distance of 30.00 feet to a point; thence running on, over, and across the Jason Oney tract, South 86 degrees 34 minutes 43 seconds West, a distance of 50.00 feet to a point; thence North 03 degrees 25 minutes 17 seconds West, a distance of 30.00 feet to the southwesterly corner of the above-described Lease Area, thence with the southerly line of the Lease Area, North 86 degrees 34 minutes 43 seconds East, a distance of 50.00 feet to the point of beginning.

**DESCRIPTION OF PROPOSED 30-FOOT ACCESS & UTILITY EASEMENT**

A 30-foot wide easement for the right to use for access and utilities to the above described Lease Area, said easement being described as follows:

Beginning at a point in the northerly right-of-way line of Highway 134, said point being approximately 860 feet northwest of the southeasterly corner of the Jason Oney tract, as recorded in Deed Book 217 at Page 483, in the Morgan County Clerk's office; thence North 18 degrees 58 minutes 39 seconds East, a distance of 48.64 feet to a point; thence with a curve to the right, of radius 35.00 feet, the chord of which bears North 63 degrees 06 minutes 24 seconds East, a distance of 48.74 feet to a point; thence South 72 degrees 45 minutes 52 seconds East, a distance of 226.28 feet to a point; thence with a curve to the left, of radius 350.00 feet, the chord of which bears South 85 degrees 01 minutes 32 seconds East, a distance of 148.66 feet to a point; thence with a curve to the right, of radius 500.00 feet, the chord of which bears South 88 degrees 57 minutes 46 seconds East, a distance of 144.78 feet to a point; thence with a curve to the left, of radius 500.00 feet, the chord of which bears South 85 degrees 06 minutes 51 seconds East, a distance of 78.04 feet; thence with a curve to the right, of radius 500.00 feet, the chord of which bears South 84 degrees 16 minutes 22 seconds East, a distance of 92.67 feet to a point; thence with a curve to the left, of radius 400.00 feet, the chord of which bears South 87 degrees 09 minutes 22 seconds East, a distance of 114.11 feet to a point; thence North 84 degrees 38 minutes 36 seconds East, crossing the common boundary line between the aforementioned Jason Oney tract and the abutting William C. and Judy Oney tract, as recorded in Deed Book 153 at Page 385, at 3.5 feet, more or less, in all a distance of 27.04 feet to a point; thence with a curve to the left, of radius 250.00 feet, the chord of which bears North 70 degrees 38 minutes 55 seconds East, a distance of 120.92 feet to a point; thence North 56 degrees 39 minutes 13 seconds East, a distance of 50.45 feet to a point; thence with a curve to the right, of radius 150.00 feet, the chord of which bears North 71 degrees 00 minutes 09 seconds East, a distance of 74.35 feet to a point; thence with a curve to the left, of radius 100.00 feet, the chord of which bears North 11 degrees 27 minutes 50 seconds East, a distance of 192.14 feet to a point; thence North 62 degrees 25 minutes 25 seconds West, a distance of 71.66 feet to a point; thence with a curve to the left, of radius 100.00 feet, the chord of which bears North 70 degrees 00 minutes 00 seconds West, a distance of 26.37 feet to a point; thence with a curve to the right, of radius 100.00 feet to a point, the chord of which bears North 68 degrees 01 minutes 25 seconds West, a distance of 33.19 feet to a point; thence North 58 degrees 28 minutes 16 seconds West, crossing the common boundary line between the aforementioned William C. and Judy Oney tract and the abutting Jason Oney at 158 feet, more or less, in all a distance of 172.96 feet to a point; thence with a curve to the right, of radius 30.00 feet, the chord of which bears North 42 degrees 11 minutes 09 seconds West, a distance of 16.83 feet to a point in the southerly boundary of the above-described 30' x 50' Appurtenant Easement.

**TITLE COMMITMENT / SCHEDULE B NOTES**

- Item 1. Taxes, tax liens, tax sales, water rates, sewer and assessments set forth in schedule herein. **BTM did not examine or address this item.**
- Item 2. Mortgages returned herein. (-0-). See Separate Mortgage Schedule. **BTM did not examine or address this item.**
- Item 3. Any state of facts which an accurate survey might show or survey exceptions set forth herein. **The land title lines shown hereon represent those called for in Item 3**
- Item 4. Rights of tenants or person in possession. **BTM did not examine or address this item.**
- Item 7. Right-of-Way and Easement by Betty Jo Cunningham to South Central Bell Telephone Company, dated 7/2/1992 recorded 9/30/1992 in book 159 page 315. **DOES NOT AFFECT the subject property.**
- Item 8. Property is subject to Right-of-Way as set forth in General Warranty Deed by Betty Jo Cunningham, single to Jason Oney, single, dated 2/25/2010 recorded 3/30/2010 in book 217 page 483. **Affects the subject property, and is shown hereon.**
- Item 9. Coal Lease between Myrhine McClure, widow and DMAT Development Co., Inc. dated 6/22/1978 recorded 7/19/1978 in book 70 page 742. **Affects the subject property, but is blanket in nature, and contains no specific items that can be plotted.**
- Item 10. Memorandum of Lease between Jason Oney and Jacqueline R. Oney, husband and wife and New Cingular Wireless PCS, LLC dated 1/15/2014 recorded 1/31/2014 in book 97 page 163. **Affects the subject property, and is shown hereon as Proposed Lease Area, Proposed Appurtenant Access & Utility Easement, and Proposed 30' Access & Utility Easement.**
- Item 11. Affidavit of Non-Development and Non-Payment of Rentals, Royalties, or Shut-In Payments, filed by Jason Oney dated 10/11/2014 recorded 1/20/2015 in book 99 page 725. **Affects the subject property, but is blanket in nature, and contains no specific items that can be plotted.**

**LAND SURVEYORS CERTIFICATE**

I hereby certify that this Communications Site Survey was made under my supervision, and that the angular and linear measurements as witnessed by monuments shown hereon are true and correct to the best of my knowledge and belief. This plat does not represent a boundary survey and is not intended for land transfer.

  
 GEORGE BRIAN WYATT, PLS 2328

February 3, 2016  
 DATE

**Mastec**  
 BTM Engineering, Inc.  
 CONSULTING ENGINEERS, LANDSCAPE ARCHITECTS,  
 PLANNERS & SURVEYORS  
 3001 TAYLOR SPRINGS DRIVE  
 LOUISVILLE, KENTUCKY 40220  
 PHONE: (502) 459-8402  
 FAX: (502) 459-8427

STATE of KENTUCKY  
 GEORGE BRIAN WYATT  
 2328  
 LICENSED PROFESSIONAL LAND SURVEYOR

SITE NAME: WHEELRIM

SITE NUMBER: KYALU6169

SITE ADDRESS: 3293 HWY 134  
 HAZEL GREEN, KY 41332

AREA: 4,000

PROPERTY OWNER: JASON ONEY  
 3721 HWY 134  
 HAZEL GREEN, KY 41332

TAX MAP #: N/A PARCEL NUMBER: 114-00-00-015.00

SOURCE OF TITLE: DEED BOOK 217 PAGE 483

LATITUDE: N 37° 45' 03.847" LONGITUDE: W 83° 15' 17.985"

NO.	BY	DESCRIPTION	DATE	CHK	PH		PH	
					01/12/16	02/03/16		
1	BW	UPDATE PVA DATA						
2	BW	UPDATE PVA DATA						

TITLE: COMMUNICATIONS SITE SURVEY

SHEET:

C-2A





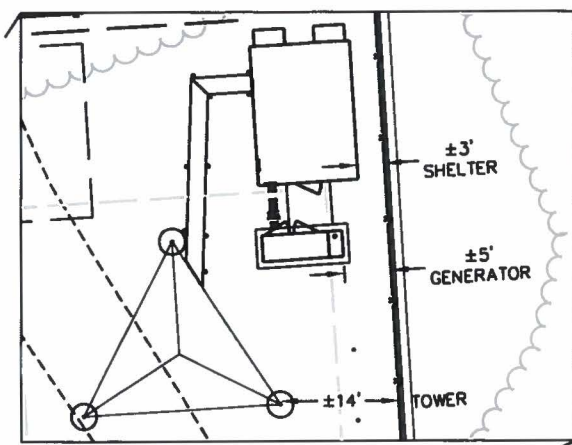
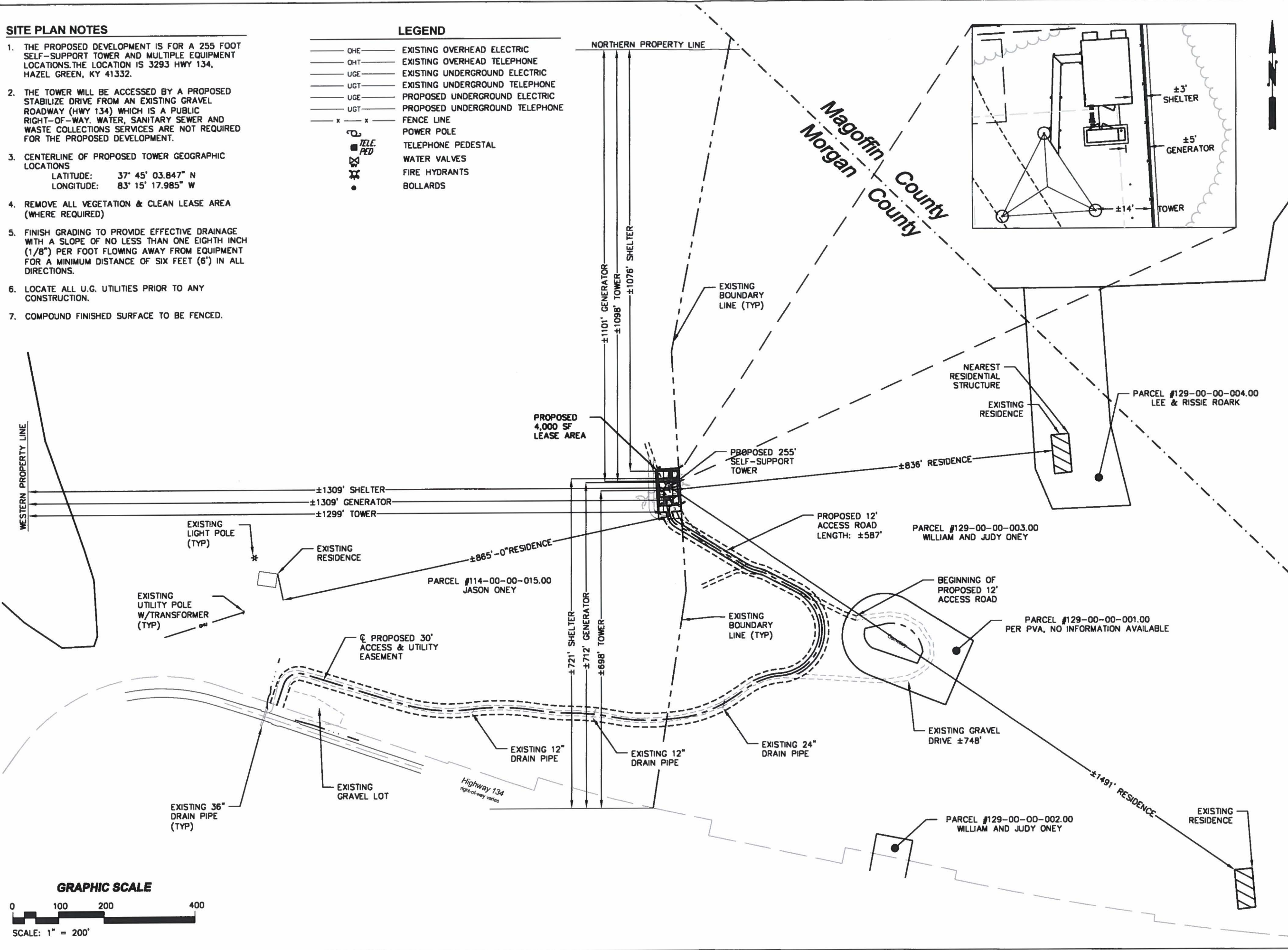


**SITE PLAN NOTES**

1. THE PROPOSED DEVELOPMENT IS FOR A 255 FOOT SELF-SUPPORT TOWER AND MULTIPLE EQUIPMENT LOCATIONS. THE LOCATION IS 3293 HWY 134, HAZEL GREEN, KY 41332.
2. THE TOWER WILL BE ACCESSED BY A PROPOSED STABILIZE DRIVE FROM AN EXISTING GRAVEL ROADWAY (HWY 134) WHICH IS A PUBLIC RIGHT-OF-WAY. WATER, SANITARY SEWER AND WASTE COLLECTIONS SERVICES ARE NOT REQUIRED FOR THE PROPOSED DEVELOPMENT.
3. CENTERLINE OF PROPOSED TOWER GEOGRAPHIC LOCATIONS  
 LATITUDE: 37° 45' 03.847" N  
 LONGITUDE: 83° 15' 17.985" W
4. REMOVE ALL VEGETATION & CLEAN LEASE AREA (WHERE REQUIRED)
5. FINISH GRADING TO PROVIDE EFFECTIVE DRAINAGE WITH A SLOPE OF NO LESS THAN ONE EIGHTH INCH (1/8") PER FOOT FLOWING AWAY FROM EQUIPMENT FOR A MINIMUM DISTANCE OF SIX FEET (6') IN ALL DIRECTIONS.
6. LOCATE ALL U.G. UTILITIES PRIOR TO ANY CONSTRUCTION.
7. COMPOUND FINISHED SURFACE TO BE FENCED.

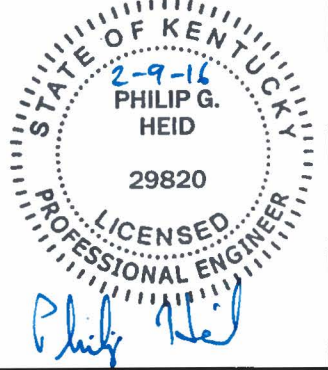
**LEGEND**

- OHE — EXISTING OVERHEAD ELECTRIC
- OHT — EXISTING OVERHEAD TELEPHONE
- UGE — EXISTING UNDERGROUND ELECTRIC
- UGT — EXISTING UNDERGROUND TELEPHONE
- UGE — PROPOSED UNDERGROUND ELECTRIC
- UGT — PROPOSED UNDERGROUND TELEPHONE
- x - x - FENCE LINE
- TELE PED ● TELEPHONE PEDESTAL
- WATER VALVES ○ WATER VALVES
- FIRE HYDRANTS ○ FIRE HYDRANTS
- BOLLARDS ○ BOLLARDS



**#Mastec**

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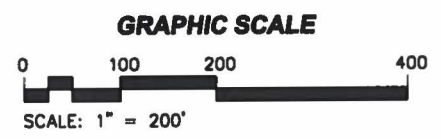


SITE NAME:	WHEELRIM
SITE NUMBER:	KYALU6169
SITE ADDRESS:	3293 HWY 134 HAZEL GREEN, KY 41332
AREA:	4,000 SF
PROPERTY OWNER:	JASON ONEY 3721 HWY 134 HAZEL GREEN, KY 41332
TAX MAP #:	N/A
PARCEL NUMBER:	114-00-00-015.00
SOURCE OF TITLE:	DEED BOOK 217 PAGE 483
LATITUDE:	N 37° 45' 03.847"
LONGITUDE:	W 83° 15' 17.985"

NO.	BY	DESCRIPTION	DATE	REVISIONS		
				CHK	PGH	PGH
1	LMD	ISSUE FOR COMMENT	01/26/16	PGH		
2	LMD	ISSUE FOR COMMENT	02/03/16	PGH		
3	LMD	ISSUE FOR ZONING	02/09/16	PGH		

TITLE:  
**OVERALL SITE PLAN (DIMENSIONS)**

SHEET:  
**Z-2A**



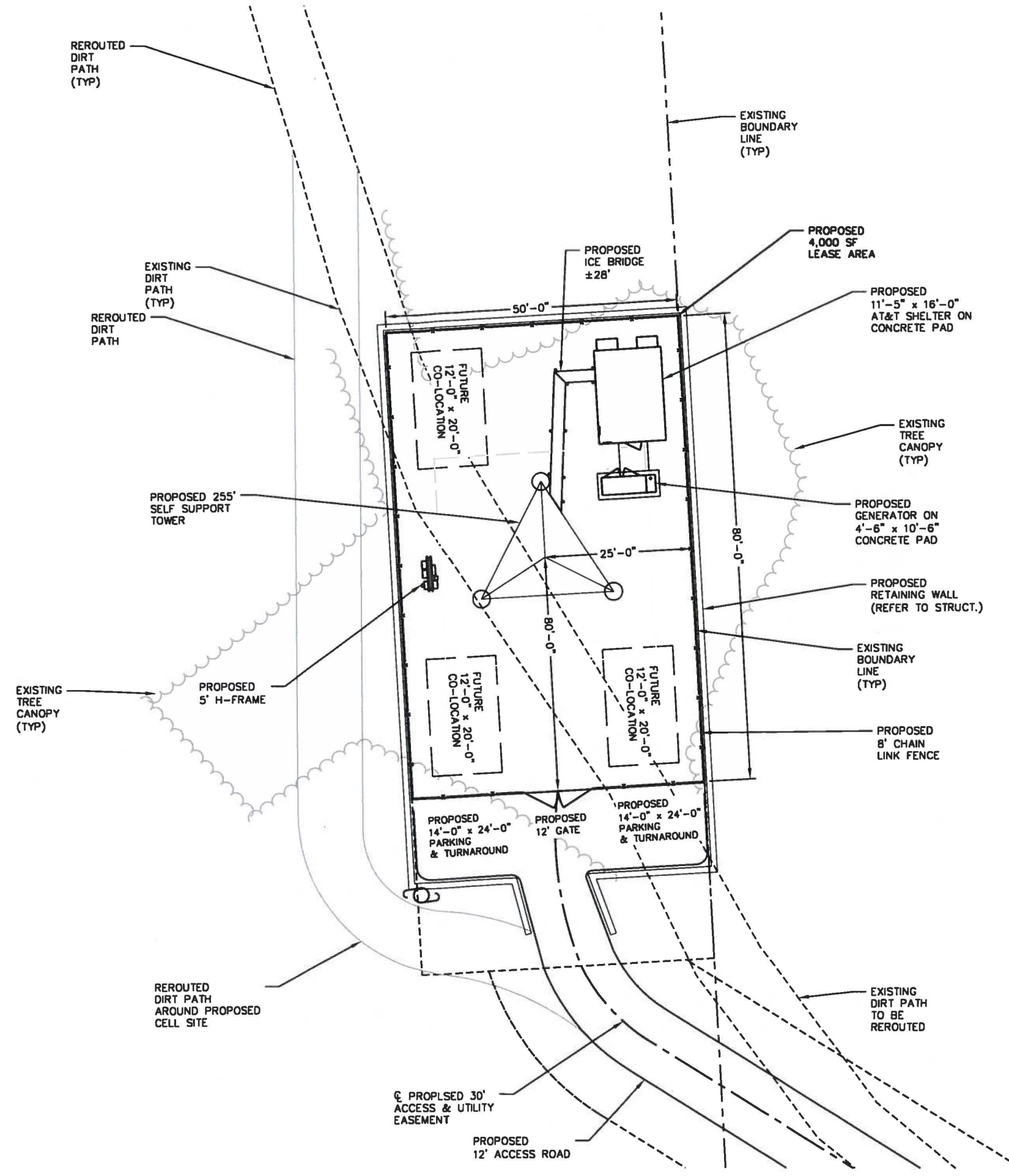
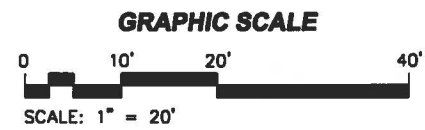


**SITE PLAN NOTES**

1. THE PROPOSED DEVELOPMENT IS FOR A 255 FOOT SELF-SUPPORT TOWER AND MULTIPLE EQUIPMENT LOCATIONS. THE LOCATION IS 3247 HWY 134, HAZEL GREEN, KY 41332.
2. THE TOWER WILL BE ACCESSED BY A PROPOSED STABILIZE DRIVE FROM AN EXISTING GRAVEL ROADWAY (HWY 134) WHICH IS A PUBLIC RIGHT-OF-WAY. WATER, SANITARY SEWER AND WASTE COLLECTIONS SERVICES ARE NOT REQUIRED FOR THE PROPOSED DEVELOPMENT.
3. CENTERLINE OF PROPOSED TOWER GEOGRAPHIC LOCATIONS  
 LATITUDE: 37° 45' 03.847" N  
 LONGITUDE: 83° 15' 17.985" W
4. REMOVE ALL VEGETATION & CLEAN LEASE AREA (WHERE REQUIRED)
5. FINISH GRADING TO PROVIDE EFFECTIVE DRAINAGE WITH A SLOPE OF NO LESS THAN ONE EIGHTH INCH (1/8") PER FOOT FLOWING AWAY FROM EQUIPMENT FOR A MINIMUM DISTANCE OF SIX FEET (6') IN ALL DIRECTIONS.
6. LOCATE ALL U.G. UTILITIES PRIOR TO ANY CONSTRUCTION.
7. COMPOUND FINISHED SURFACE TO BE FENCED.

**LEGEND**

- OHE — EXISTING OVERHEAD ELECTRIC
- OHT — EXISTING OVERHEAD TELEPHONE
- UGE — EXISTING UNDERGROUND ELECTRIC
- UGT — EXISTING UNDERGROUND TELEPHONE
- UGE — PROPOSED UNDERGROUND ELECTRIC
- UGT — PROPOSED UNDERGROUND TELEPHONE
- x — x — FENCE LINE
- ⊙ — POWER POLE
- ⊙ — TELE. PED. — TELEPHONE PEDESTAL
- ⊙ — WATER VALVES
- ⊙ — FIRE HYDRANTS
- — BOLLARDS



**Mastec**

**BTM Engineering, Inc.**  
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 LOUISVILLE, KENTUCKY 40220  
 PHONE: (502) 459-8402  
 FAX: (502) 459-8427

STATE OF KENTUCKY  
 2-9-16  
 PHILIP G. HEID  
 29820  
 LICENSED PROFESSIONAL ENGINEER  
*Philip Heid*

SITE NAME: WHEELRIM

SITE NUMBER: KYALU6169

SITE ADDRESS: 3293 HWY 134, HAZEL GREEN, KY 41332

AREA: 4,000 SF

PROPERTY OWNER: JASON ONEY, 3721 HWY 134, HAZEL GREEN, KY 41332

TAX MAP #: N/A | PARCEL NUMBER: 114-00-00-015.00

SOURCE OF TITLE: DEED BOOK 217 PAGE 483

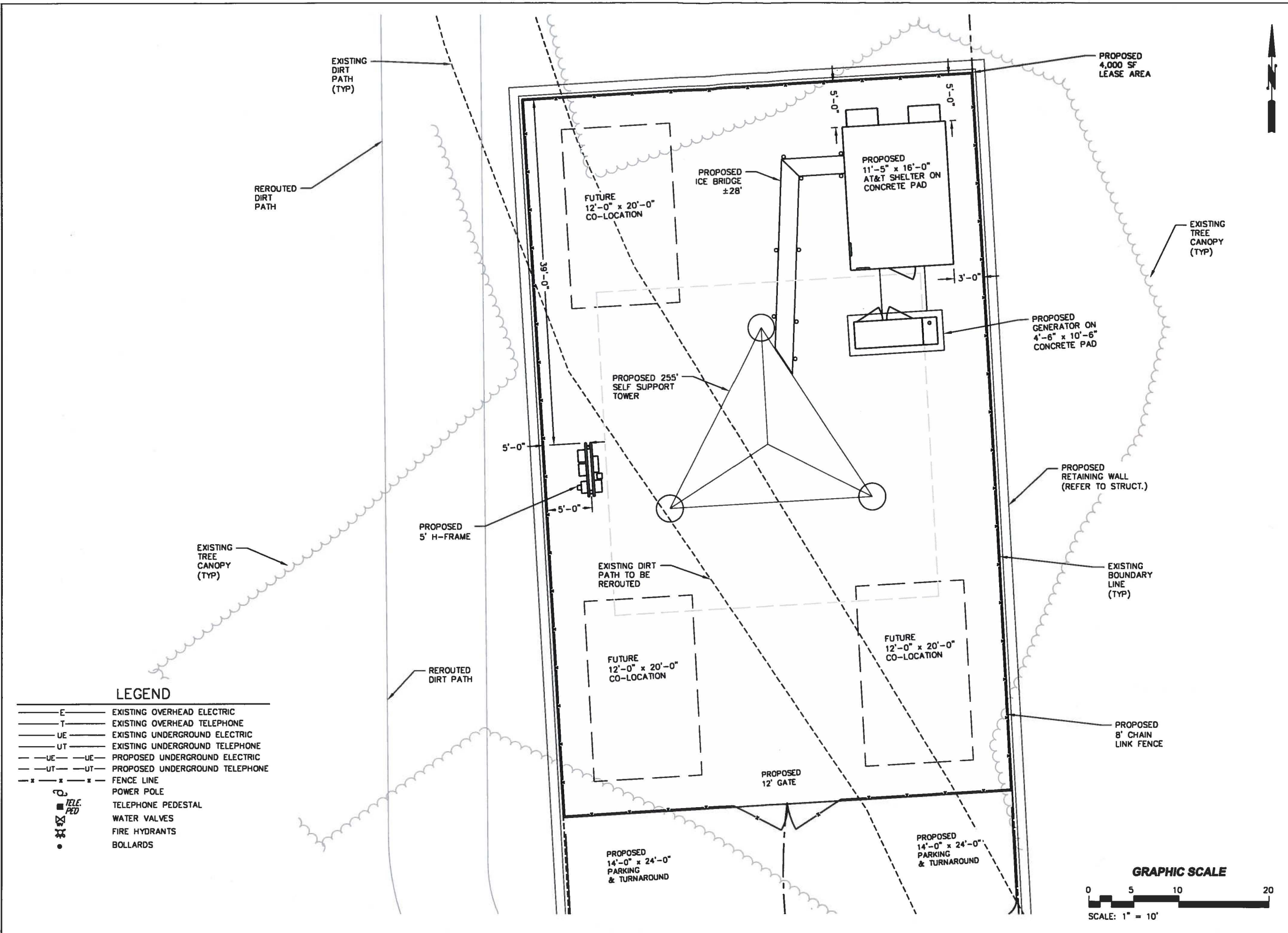
LATITUDE: N 37° 45' 03.847" | LONGITUDE: W 83° 15' 17.985"

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			DATE	CHK	PGH
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2	LMD	ISSUE FOR COMMENT	02/03/16	PGH	PGH
3	LMD	ISSUE FOR ZONING	02/09/16	PGH	PGH

TITLE: **SITE LAYOUT**

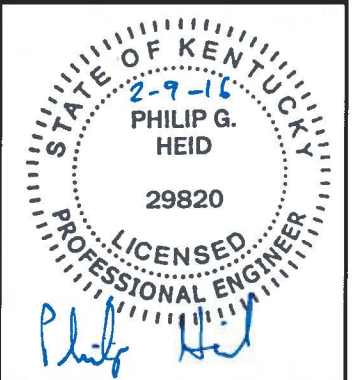
SHEET: **Z-3**





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 LOUISVILLE, KENTUCKY 40220  
 PHONE: (502) 459-8402  
 FAX: (502) 459-8427



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HAZEL GREEN, KY 41332

AREA: 4,000 SF

PROPERTY OWNER: JASON ONEY  
3721 HWY 134  
HAZEL GREEN, KY 41332

TAX MAP #: N/A PARCEL NUMBER: 114-00-00-015.00

SOURCE OF TITLE: DEED BOOK 217 PAGE 483

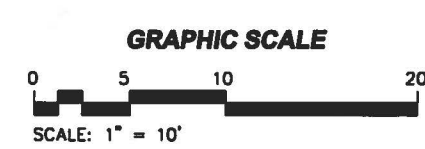
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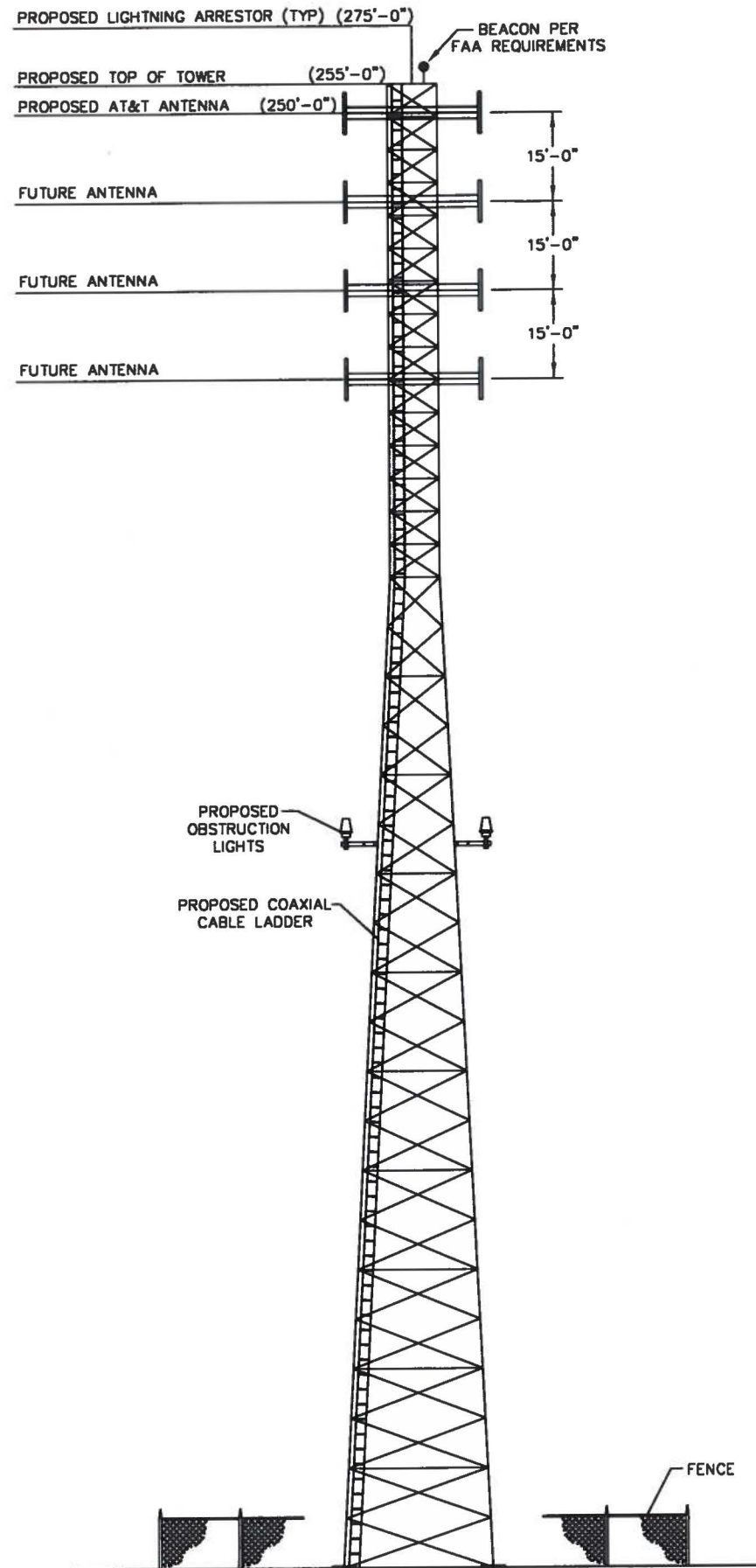
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2	LMD	ISSUE FOR COMMENT	02/03/16	PGH
3	LMD	ISSUE FOR ZONING	02/05/16	PGH

TITLE: AT&T SHELTER LAYOUT

SHEET: Z-4

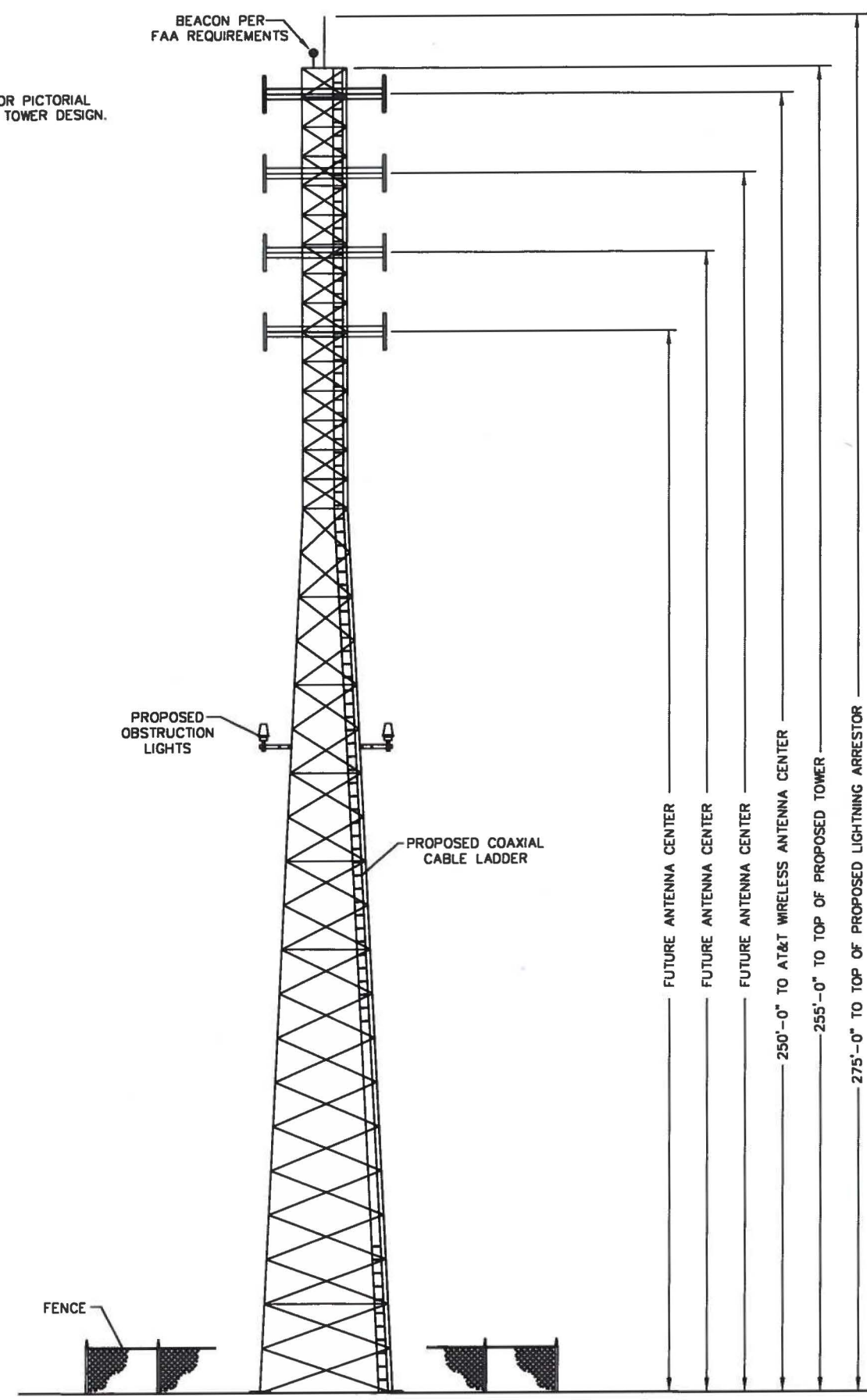
- LEGEND**
- E— EXISTING OVERHEAD ELECTRIC
  - T— EXISTING OVERHEAD TELEPHONE
  - UE— EXISTING UNDERGROUND ELECTRIC
  - UT— EXISTING UNDERGROUND TELEPHONE
  - UE—UE— PROPOSED UNDERGROUND ELECTRIC
  - UT—UT— PROPOSED UNDERGROUND TELEPHONE
  - x-x-x- FENCE LINE
  - POWER POLE
  - TELE. PED. TELEPHONE PEDESTAL
  - WATER VALVES
  - FIRE HYDRANTS
  - BOLLARDS





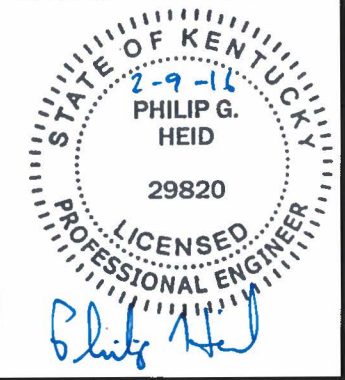
NORTH ELEVATION  
NOT TO SCALE

NOTE:  
THE ELEVATIONS SHOWN ON THIS SHEET ARE FOR PICTORIAL PURPOSES ONLY. REFER TO TOWER PLANS FOR TOWER DESIGN.



SOUTH ELEVATION  
NOT TO SCALE

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 5001 TAYLOR SPRINGS DRIVE  
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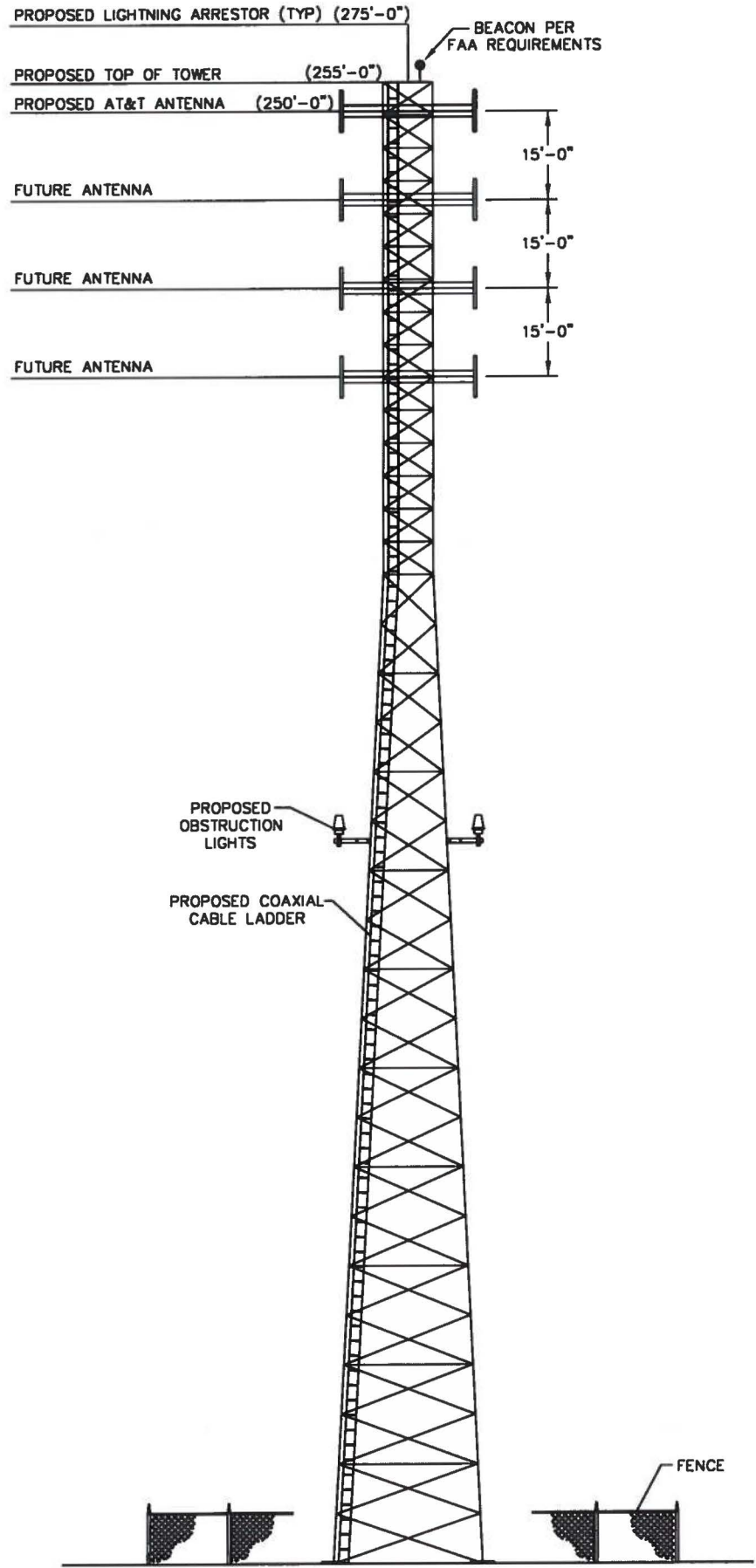
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SITE NUMBER:	KYALU6169
SITE ADDRESS:	3293 HWY 134 HAZEL GREEN, KY 41332
AREA:	4,000 SF
PROPERTY OWNER:	JASON ONEY 3721 HWY 134 HAZEL GREEN, KY 41332
TAX MAP #:	N/A
PARCEL NUMBER:	114-00-00-015.00
SOURCE OF TITLE:	DEED BOOK 217 PAGE 483
LATITUDE:	N 37° 45' 03.847"
LONGITUDE:	W 83° 15' 17.985"

NO.	BY	DESCRIPTION	DATE	CHK	PGH	REVISIONS		
						NO.	DATE	DESCRIPTION
1	LMD	ISSUE FOR COMMENT	01/26/16	PGH				
2	LMD	ISSUE FOR COMMENT	02/03/16	PGH				
3	LMD	ISSUE FOR ZONING	02/09/16	PGH				

TITLE:  
NORTH/SOUTH  
TOWER ELEVATIONS

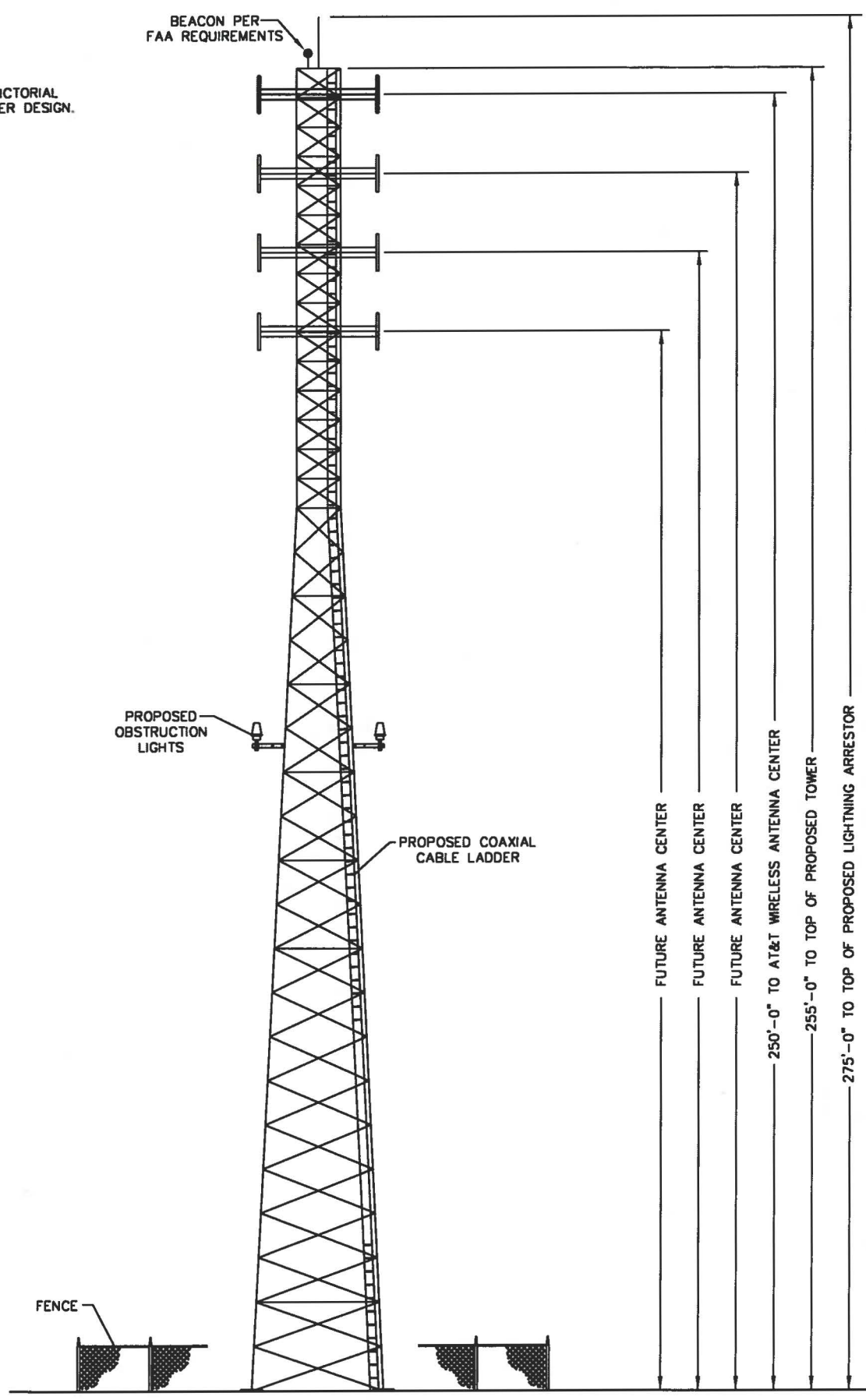
SHEET:  
Z-5





EAST ELEVATION  
NOT TO SCALE

NOTE:  
THE ELEVATIONS SHOWN ON THIS SHEET ARE FOR PICTORIAL PURPOSES ONLY. REFER TO TOWER PLANS FOR TOWER DESIGN.



WEST ELEVATION  
NOT TO SCALE

**Mastec**

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PLANNERS & SURVEYORS  
3001 TAYLOR SPRINGS DRIVE  
LOUISVILLE, KENTUCKY 40220  
PHONE: (502) 459-8402  
FAX: (502) 459-8427



SITE NAME:	WHEELRIM
SITE NUMBER:	KYALU6169
SITE ADDRESS:	3293 HWY 134 HAZEL GREEN, KY 41332
AREA:	4,000 SF
PROPERTY OWNER:	JASON ONEY 3721 HWY 134 HAZEL GREEN, KY 41332
TAX MAP #:	N/A
PARCEL NUMBER:	114-00-00-015.00
SOURCE OF TITLE:	DEED BOOK 217 PAGE 483
LATITUDE:	N 37° 45' 03.847"
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NO.	BY	DESCRIPTION	DATE	CHK	PGH
1	LMD	ISSUE FOR COMMENT	01/26/16	PGH	
2	LMD	ISSUE FOR COMMENT	02/03/16	PGH	
3	LMD	ISSUE FOR ZONING	02/09/16	PGH	

TITLE:  
EAST/WEST  
TOWER ELEVATIONS

SHEET:  
Z-6

**EXHIBIT C**  
**TOWER AND FOUNDATION DESIGN**

# MasTec

Network Solutions

January 26<sup>th</sup>, 2016

Kentucky Public Service Commission  
211 Sower Blvd.  
P.O. Box 615  
Frankfort, KY 40602-0615

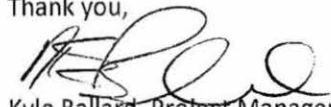
RE: Site Name: Wheelrim  
Proposed Cell Tower  
37-45-3.847 North Latitude, 83-15-17.985 West Longitude

Dear Commissioners:

The Project / Construction Manager for the proposed new communications facility will be Kyle Ballard. His contact information is (703) 627-2919 or [Kyle.Ballard@mastec.com](mailto:Kyle.Ballard@mastec.com).

Kyle has been in the industry completing civil construction and constructing towers since 2013. He has worked at MasTec Network Solutions since 2013 completing project and construction management on new site build projects.

Thank you,



Kyle Ballard, Project Manager - Tennessee/Kentucky Market  
MasTec Network Solutions  
703-627-2919  
[Kyle.Ballard@mastec.com](mailto:Kyle.Ballard@mastec.com)

January 14, 2014

Westower Communications

Attn: John Boud

SUBJECT: Valmont File # 243505  
Model V-27.0 X 255' Self Supporting Tower  
Site Name: Wheelrim-AL6169, KY

Thank you for your inquiry concerning tower design codes and practices as they relate to your requested tower designs.

Valmont Structures has been designing and building guyed and self-supporting towers and monopoles since the early 1950's. During this time, we have sold thousands of towers ranging in height from as little as 50' high to in excess of 1400'. These towers were individually engineered to accommodate the loading requirements imparted by the design wind speed, ice considerations, antenna loading, and other factors dictated by the national code requirements existing at the time the tower was built.

The ANSI/TIA-222-G Standard represents the latest refinement of specific minimum requirements for tower engineers and manufacturers to follow to help assure that the tower structure and its foundations are designed to meet the most realistic conditions for local weather while assuring that the tower is designed to stringent factors of safety. This tower is designed to 90 MPH (no ice) and 30 MPH (3/4" ice) per ANSI/TIA-222-G with Class II, Topographical category 1, Exposure criteria C and a Crest height of 0 feet.

We are aware of few documented instances of a self supporting tower or monopole failure. Self supporting towers and monopoles can be designed such that the most common mode of failure is in the upper middle region of the tower, with the upper portion of the tower remaining connected and "bending and bowing over" against the base of the tower or pole. The fact that the wind is normally greater on the upper portion of the structure contributes to the likelihood of this type of failure. This particular Tower has a theoretical failure at the tower midpoint or above. The predicted mode of wind induced failure would be a buckling of the tower legs at or above the tower midpoint with the top sections of the tower folding over on to the intact base sections. This would then affect a "zero fall zone" at ground level.

Including myself, our site has three licensed Professional Engineers covering a total of 49 states. Valmont Structures is an AISC approved shop. All Valmont Structures welders are AWS and CWB qualified. Our total design, engineer and build process has been quality audited by our customers including public utilities, telephone companies, government agencies, and of course AISC.

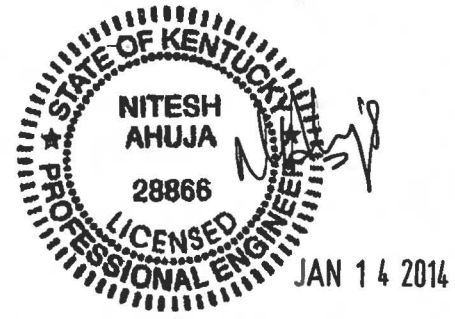
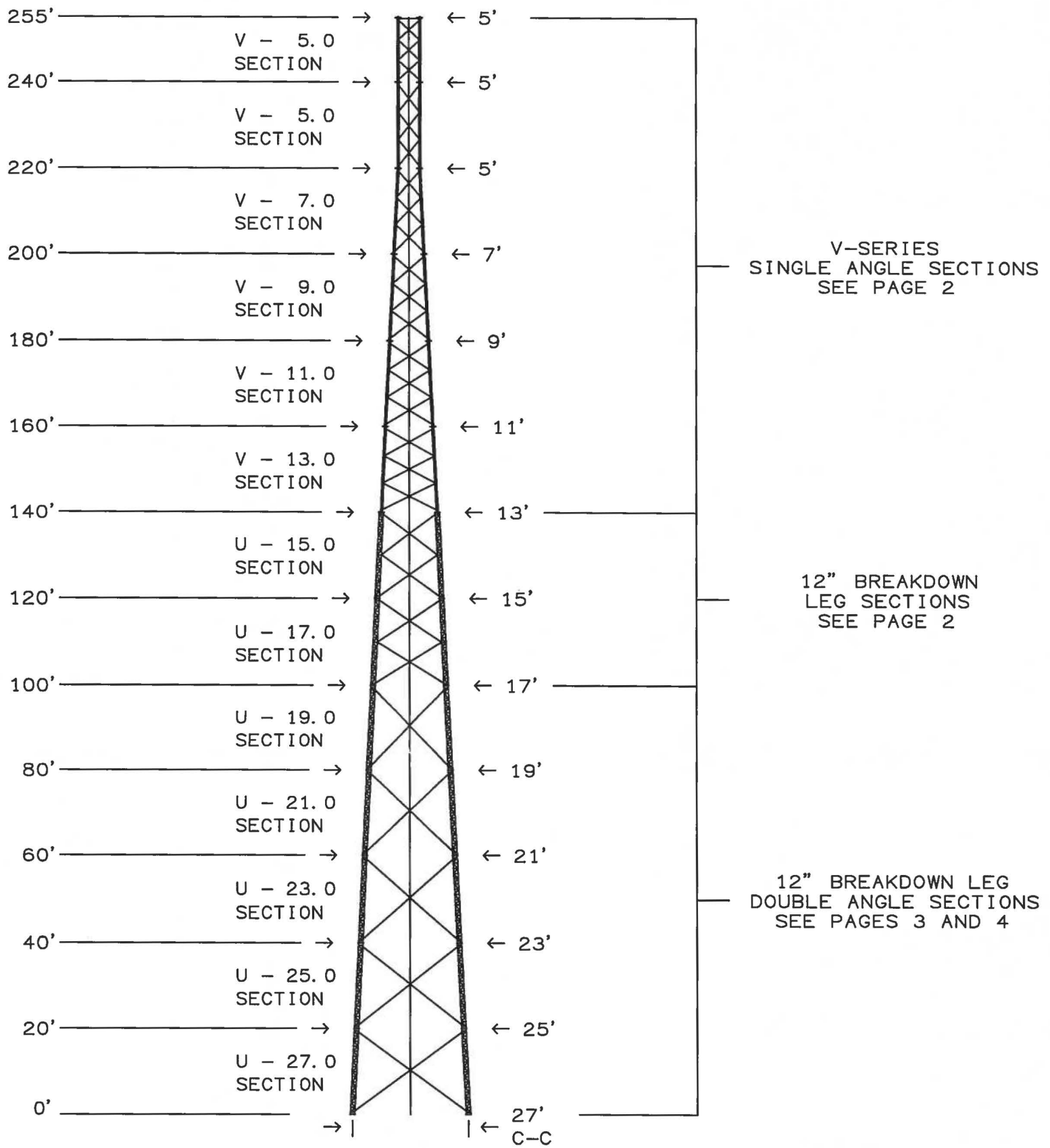
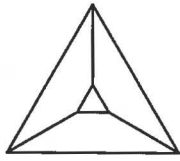
We trust the above and the attached will be helpful to you. If you should need anything else, please let us know at your convenience.

Sincerely,

Nitesh Ahuja, P.E.  
Senior Engineer  
Ext. #5257







Nitesh Ahuja, KY Professional Engineer #28866

				WESTOWER COMMUNICATIONS WHEELRIM AL6169, KY V-27.0 X 255'	
A	UPDATE TITLE BLOCK	SKK	01/14/2014	APPROVED/ENG.	M_S 1/14/2014
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Printed from 252660_010A.DWG - 01/14/2014 09:43 @ 01/14/2014 14:34				ARCHIVE F-1015870	PAGE 1 OF 10



V-SERIES LEG SECTION DATA 140' - 255' ELEVATION

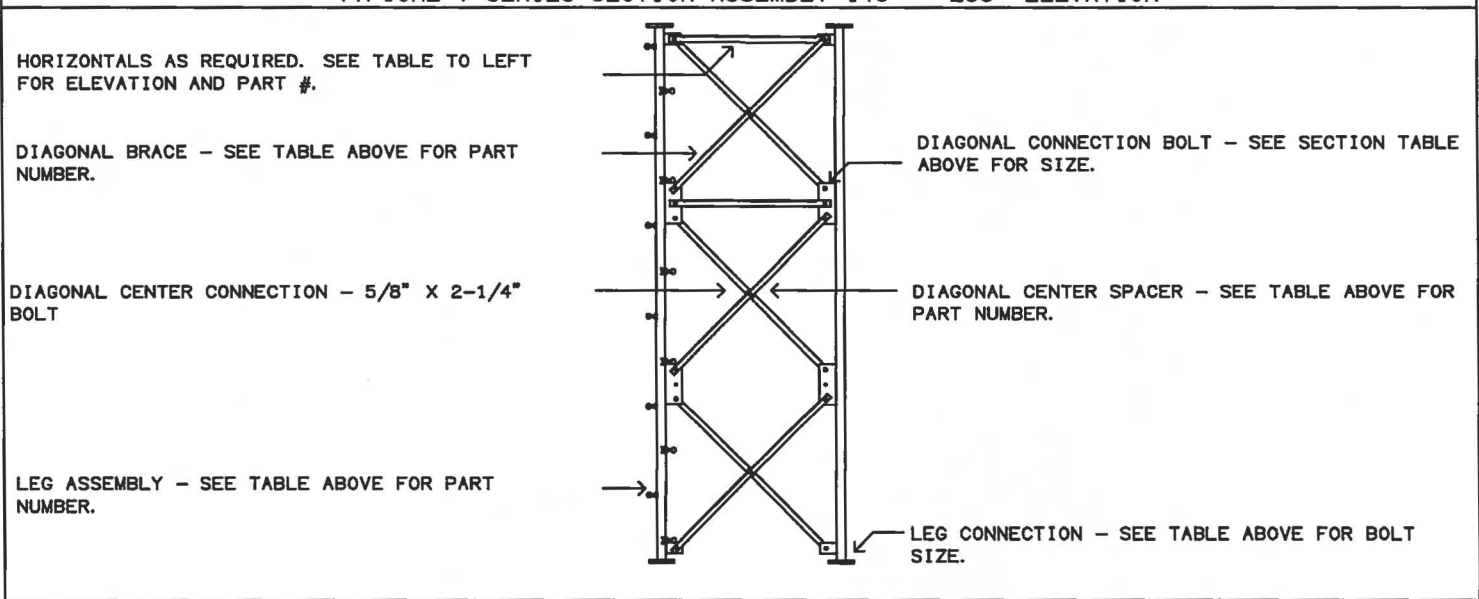
SECTION		LEG										DIAGONAL BRACE					HOR			
#	LENGTH	* WEIGHT	NOM SIZE	WALL	GRADE	CLIMBING		NON-CLIMB		CONNECT BOLT+		PART NUMBER **			ANGLE		CONNECT BOLT		CENTER SPACER	QTY
						QTY	PART#	QTY	PART#	DIAM	LENGTH	#1	#2	#3	FACE	THICK	DIAM	LENGTH		
V- 5.0	15'	734#	2-1/2"	0.203	A572-50	1	226169	2	226170	3/4"	3-1/2"	227077	227077	227077	2"	1/8"	3/4"	2-1/4"	116467	1
V- 5.0	20'	1285#	4"	0.237	A572-50	1	226184	2	226185	3/4"	3-1/2"	227113	227113	227113	2"	3/16"	3/4"	2-1/4"	116467	
V- 7.0	20'	1609#	5"	0.258	A572-50	1	226200	2	226201	3/4"	3-1/2"	226190	226189	231342	2"	3/16"	3/4"	2-1/4"	116467	
V- 9.0	20'	1752#	5"	0.258	A572-50	3	226192			3/4"	3-1/2"	226196	226195	231344	2"	3/16"	3/4"	2-1/4"	116467	
V-11.0	20'	2200#	6"	0.280	A572-50	3	226206			3/4"	3-1/2"	225038	225037	231347	2-1/2"	3/16"	3/4"	2-1/4"	116467	
V-13.0	20'	2490#	6"	0.280	A572-50	3	229377			1"	4-3/4"	227341	226209	231349	2-1/2"	3/16"	3/4"	2-1/4"	116467	

+ AT BOTTOM OF SECTION  
 \* THE WEIGHTS LISTED ARE THEORETICAL. THE ACTUAL WEIGHTS WILL VARY. ALL WEIGHTS SHOULD BE CONFIRMED IN THE FIELD PRIOR TO ERECTION.  
 \*\* PANELS ARE NUMBERED BEGINNING AT THE TOP OF THE SECTION.

HORIZONTAL DATA

HORIZ HT	IN SEC#	HORIZ PART#
255	V- 5.0	227584

TYPICAL V-SERIES SECTION ASSEMBLY 140' - 255' ELEVATION

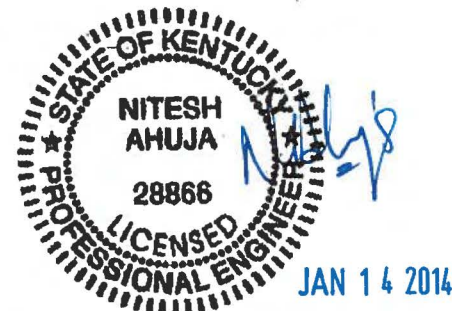
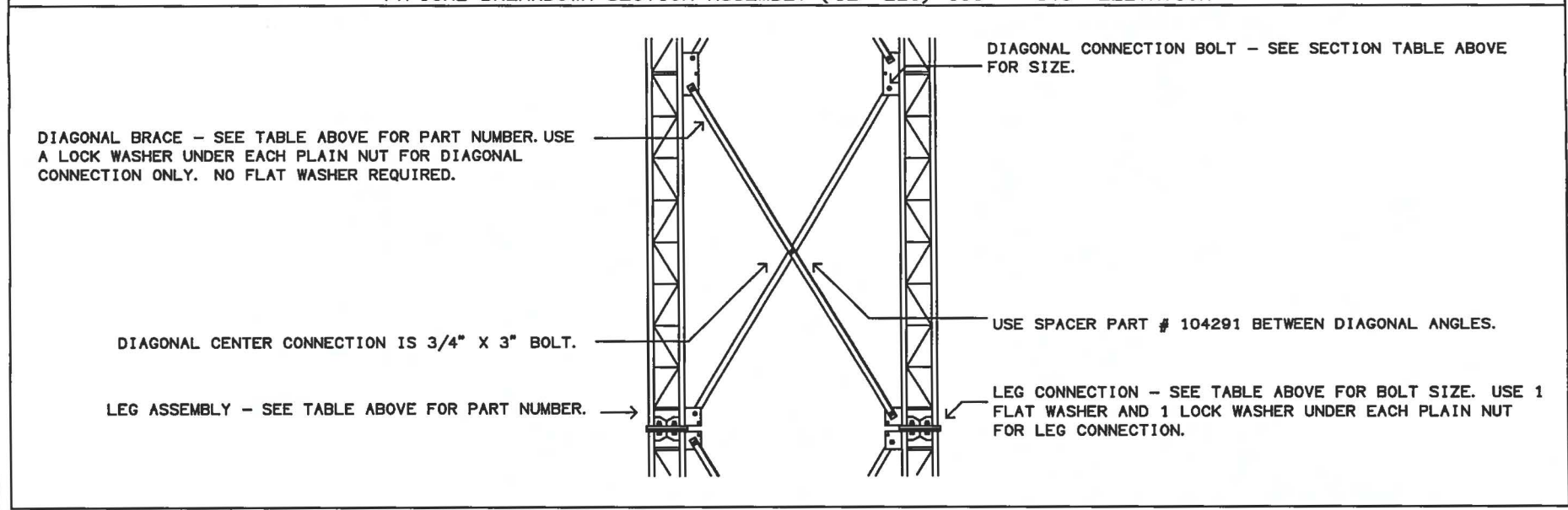


BREAKDOWN SECTION DATA (12" LEG) 100' - 140' ELEVATION

SEC #	SECTION LENGTH	LEG SIZE	LEG PART#	TOP DIAG PART#	BOT DIAG PART#	DIAGONAL ANGLE		SECTION WEIGHT	LEG CONNECT+		DIAG CONNECT	
						FACE	THICK		DIAM	LENGTH	DIAM	LENGTH
U-15.0	20'	1- 3/4"	229588	105579	105582	3"	3/16"	3128#	1"	4-3/4"	1"	2-1/4"
U-17.0	20'	1- 3/4"	229588	105588	127611	3"	5/16"	3710#	1"	4-3/4"	1"	2-1/4"

\* THE WEIGHTS LISTED ARE THEORETICAL. THE ACTUAL WEIGHTS WILL VARY. ALL WEIGHTS SHOULD BE CONFIRMED IN THE FIELD PRIOR TO ERECTION.  
 + USE 1 FLAT WASHER UNDER EACH LOCK WASHER FOR LEG CONNECTION ONLY.

TYPICAL BREAKDOWN SECTION ASSEMBLY (12" LEG) 100' - 140' ELEVATION



Nitesh Ahuja, KY Professional Engineer #28866

WESTOWER COMMUNICATIONS  
 WHEELRIM AL6169, KY  
 V-27.0 X 255'

A	UPDATE TITLE BLOCK	SKK	01/14/2014	APPROVED/ENG.	M_S	1/14/2014	
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Printed from 252660_02@A.DWG - 01/14/2014 09: 43 @ 01/14/2014 14: 34				ARCHIVE	F-1015870	252660	
				ENG. FILE NO.	A-234505-	PAGE	2 OF 10



BREAKDOWN SECTION LEG DATA (12" LEG WITH DOUBLE ANGLES) 0' - 100' ELEVATION

SECTION			LEG		LEG CONNECT @ BOTTOM+			
#	MODEL	LENGTH	WEIGHT*	SIZE	PART #	DIAM	LENGTH	#
5	U-19.0	20'	4069#	2 "	208332	1"	4-3/4"	12
4	U-21.0	20'	4741#	2- 1/4 "	208334	1"	4-3/4"	12
3	U-23.0	20'	4807#	2- 1/4 "	208334	1"	4-3/4"	12
2	U-25.0	20'	4876#	2- 1/4 "	208334	1"	4-3/4"	12
1	U-27.0	20'	5681#	2- 1/4 "	208334			

\* THE WEIGHTS LISTED ARE THEORETICAL. THE ACTUAL WEIGHTS WILL VARY. ALL WEIGHTS SHOULD BE CONFIRMED IN THE FIELD PRIOR TO ERECTION.  
 + QTY IS PER LEG. USE 1 LOCK WASHER AND 1 FLAT WASHER UNDER EACH PLAIN NUT.

BREAKDOWN SECTION DIAGONAL DATA (12" LEG WITH DOUBLE ANGLES) 0' - 100' ELEVATION

SECTION		DIAGONAL PART #			DIAG ANGLE		DIAG END BOLT		DIAG CENTER & SPACER BOLT		CENTER PLATE	SPACER	
#	MODEL	UPPER	LOWER	LONG	FACE	THICK	DIAM	LENGTH	DIAM	LENGTH	PART #	PART #	**
5	U-19.0	215288	215292	215364	3"	3/16"	7/8"	2-1/2"	5/8"	2-1/4"	211833	104291	7
4	U-21.0	215295	215299	215368	3"	3/16"	7/8"	2-1/2"	5/8"	2-1/4"	211833	104291	8
3	U-23.0	215303	215307	215372	3"	3/16"	7/8"	2-1/2"	5/8"	2-1/4"	211833	104291	8
2	U-25.0	215311	215315	215376	3"	3/16"	7/8"	2-1/2"	5/8"	2-1/4"	211833	104291	8
1	U-27.0	215320	215324	215380	3-1/2"	1/4"	7/8"	2-1/2"	5/8"	2-1/4"	211833	104291	8

\* QUANTITY IS PER PANEL PER FACE. USE 1 LOCK WASHER UNDER EACH PLAIN NUT.



Nitesh Ahuja, KY Professional Engineer #28866

WESTOWER COMMUNICATIONS  
 WHEELRIM AL6169, KY  
 V-27.0 X 255'

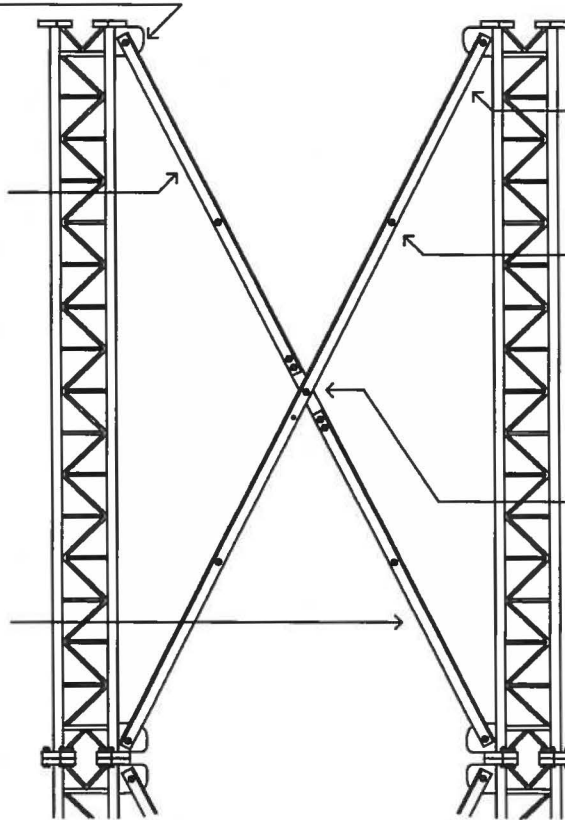
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				ARCHIVE	F-1015870		

TYPICAL BREAKDOWN SECTION ASSEMBLY (12" LEG WITH DOUBLE ANGLES) 0' - 100' ELEVATION

DIAGONAL END BOLTS - SEE DIAGONAL TABLE ON PAGE 3 FOR SIZE. NO FLAT WASHER REQUIRED.

"UPPER" DIAGONAL BRACES (BACK TO BACK ANGLES) - SEE TABLE ON PG. 3 FOR PART #.

"LOWER" DIAGONAL BRACES (BACK TO BACK ANGLES) - SEE TABLE ON PG. 3 FOR PART #.



"LONG" DIAGONAL BRACE (BACK TO BACK ANGLES) - SEE TABLE ON PG. 3 FOR PART #.

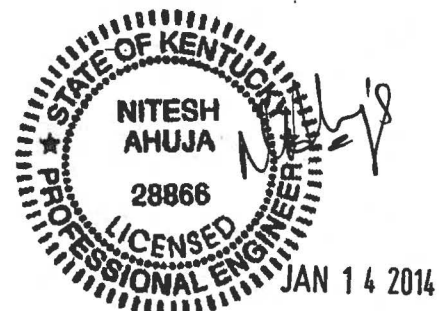
INTERMEDIATE DIAGONAL BOLTS WITH SPACER - SEE TABLE ON PG. 3 FOR SIZE, SPACER PART # AND NUMBER OF LOCATIONS PER PANEL ON EACH FACE. USE 1 SPACER PER BOLT. SEE DRAWING # 214823 FOR DETAILS.

DIAGONAL CENTER PLATE - SEE DIAGONAL TABLE ON PAGE 3 FOR PART # AND BOLT SIZE.

LEG CONNECTION - SEE TABLE ON PAGE 3 FOR BOLT SIZE. USE 1 LOCK WASHER AND 1 FLAT WASHER UNDER EACH PLAIN NUT FOR LEG CONNECTION.

ATTENTION ERECTOR:

- EXTRA CARE MUST BE TAKEN WHEN STANDING BREAKDOWN LEG SECTIONS FROM A FLAT "ASSEMBLY" POSITION ON THE GROUND TO AN UPRIGHT POSITION FOR STACKING. POOR RIGGING AND/OR LIFTING PROCEDURES MAY DAMAGE THE ANGLE BRACES AND/OR BREAKDOWN LEGS. IT IS THE RESPONSIBILITY OF THE TOWER CONTRACTOR TO ENSURE BREAKDOWN LEGS AND ANGLES ARE NOT DAMAGED DURING THE TOWER ASSEMBLY AND ERECTION.
- WHEN LIFTING ("FLYING") SINGLE PANEL TOWER SECTIONS TO PLACE THEM ON PREVIOUSLY ERECTED SECTIONS, A MINIMUM OF TWO (2) FULL SECTIONS (TYPICALLY 40') MUST BE ASSEMBLED TOGETHER TO PROVIDE ADEQUATE STABILITY TO THE TOWER LEGS AND ANGLE BRACES. IT IS THE RESPONSIBILITY OF THE TOWER CONTRACTOR TO ENSURE BREAKDOWN LEGS AND ANGLES ARE NOT DAMAGED DURING THE TOWER ASSEMBLY AND ERECTION.



Nitesh Ahuja, KY Professional Engineer #28866

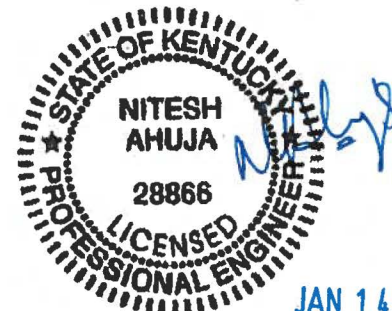
WESTOWER COMMUNICATIONS  
WHEELRIM AL6169, KY  
V-27.0 X 255'

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				DRAWN BY	SKK	DRAWING NO.
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Printed from 252660_04@A.DWG - 01/14/2014 09:43 @ 01/14/2014 14:34				ARCHIVE	F-1015870	PAGE 4 OF 10



GENERAL NOTES

1. TOWER DESIGN CONFORMS TO STANDARD TIA-222-G UTILIZING AN 90 MPH 3-SEC GUST BASIC WIND SPEED WITH A STRUCTURE CLASS OF II, TOPOGRAPHIC CATEGORY OF 1 AND EXPOSURE C CRITERIA WITH NO ICE.  
TOWER DESIGN CONFORMS TO STANDARD TIA-222-G UTILIZING AN 30 MPH 3-SEC GUST BASIC WIND SPEED WITH A STRUCTURE CLASS OF II, TOPOGRAPHIC CATEGORY OF 1 AND EXPOSURE C CRITERIA WITH .75" RADIAL ICE.
  2. NO TWIST AND SWAY LIMITATIONS SPECIFIED OR USED FOR THIS TOWER.
  3. MATERIAL: (A) SOLID RODS TO ASTM A572 GRADE 50. (B) ANGLES TO ASTM A36. (C) PIPE TO ASTM A500 GRADE B. (D) STEEL PLATES TO ASTM A36. (E) CONNECTION BOLTS TO ASTM A325 OR ASTM A449 (Fu=120 KSI AND Fy=92 KSI) AND ANCHOR BOLTS TO ASTM F1554 (Fu=150 KSI AND Fy=105 KSI). (F) TOWER LEG PIPE TO BE ASTM A500 GRADE B/C WITH 50KSI MIN. YIELD STRENGTH
  4. BASE REACTIONS PER TIA-222-G FOR 90 MPH BASIC WIND SPEED WITH NO ICE (REACTIONS INCLUDE TIA-222-G LOAD FACTORS): TOTAL WEIGHT = 68.0 KIPS. MAXIMUM COMPRESSION = 432.0 KIPS PER LEG. MOMENT = 9578.0 KIP-FT. MAXIMUM UPLIFT = 378.0 KIPS PER LEG. MAXIMUM SHEAR = 65.0 KIPS TOTAL.
  5. BASE REACTIONS PER TIA-222-G FOR 30 MPH BASIC WIND SPEED WITH 0.75" RADIAL ICE (REACTIONS INCLUDE TIA-222-G LOAD FACTORS): TOTAL WEIGHT = 218.0 KIPS. MOMENT = 1223.0 KIP-FT. MAXIMUM SHEAR = 8.0 KIPS TOTAL.
  6. FINISH: ALL BOLTS ARE GALVANIZED IN ACCORDANCE WITH ASTM A153 (HOT DIPPED) OR ASTM B695 CLASS 50 (MECHANICAL). ALL OTHER STRUCTURAL MATERIALS ARE GALVANIZED IN ACCORDANCE WITH ASTM 123.
  7. ANTENNAS: 250'-(3) SBNH-1D8585C, (3) SBNH-1D8585C (ANDREW PANELS), (9) ERICSSON RRU11, (3) ANDREW E15Z01P13, (3) RAYCAP DC6-48-60-18-F AND (3) RAYCAP DC2-48-60-0-9F WITH (12) 1-5/8" AND (2) 1/2" LINES ASSUMED  
240'-(3) SBNH-1D8585C, (3) SBNH-1D8585C (ANDREW PANELS), (9) ERICSSON RRU11, (3) ANDREW E15Z01P13, (3) RAYCAP DC6-48-60-18-F AND (3) RAYCAP DC2-48-60-0-9F WITH (12) 1-5/8" AND (2) 1/2" LINES ASSUMED  
230'-(3) SBNH-1D8585C, (3) SBNH-1D8585C (ANDREW PANELS), (9) ERICSSON RRU11, (3) ANDREW E15Z01P13, (3) RAYCAP DC6-48-60-18-F AND (3) RAYCAP DC2-48-60-0-9F WITH (12) 1-5/8" AND (2) 1/2" LINES ASSUMED  
220'-(3) SBNH-1D8585C, (3) SBNH-1D8585C (ANDREW PANELS), (9) ERICSSON RRU11, (3) ANDREW E15Z01P13, (3) RAYCAP DC6-48-60-18-F AND (3) RAYCAP DC2-48-60-0-9F WITH (12) 1-5/8" AND (2) 1/2" LINES ASSUMED
- NOTE: (A) ELEVATIONS ARE TO THE BOTTOM OF THE ANTENNAS EXCEPT FOR MICROWAVE DISHES, WHICH ARE TO THE CENTERLINE. (B) ALL TRANSMISSION LINES MUST BE PLACED ON PIROD SUPPLIED LINE BRACKETS.
8. REMOVE FOUNDATION TEMPLATE PRIOR TO ERECTING TOWER. INSTALL BASE SECTION WITH MINIMUM OF 2" CLEARANCE ABOVE CONCRETE. SEE BASE SECTION PLACEMENT PAGE FOR MORE INFORMATION. PACK NON-SHRINK STRUCTURAL GROUT UNDER BASE SECTION AFTER LEVELING TOWER.
  9. MIN. WELDS 5/16" UNLESS OTHERWISE SPECIFIED. ALL WELDING TO CONFORM TO AWS D1.1 SPECIFICATIONS .
  10. THIS DRAWING DOES NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND HE SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, SEQUENCES AND PROCEDURES.
  11. ALL BOLTS AND NUTS MUST BE IN PLACE BEFORE THE ADJOINING SECTIONS ARE INSTALLED.
  12. ALL STRUCTURAL BOLTS ARE TO BE TIGHTENED TO A SNUG TIGHT CONDITION AS DEFINED BY AISC SPECIFICATION UNLESS OTHERWISE NOTED.
  13. ATTENTION TOWER ERECTOR: COAT ALL BOLT ASSEMBLIES THAT USE PIN LOCK NUTS WITH ZINC RICH COLD GALVANIZING COMPOUND AFTER FINAL TIGHTENING.
  14. TIA-222-G GROUNDING FOR TOWER.
  15. BASED ON THE LOADING LISTED ABOVE, THIS TOWER HAS A THEORETICAL FAILURE POINT AT TOWER MIDPOINT OR ABOVE FOR AN EFFECTIVE "ZERO FALL ZONE" AT GROUND LEVEL.



JAN 14 2014

Nitesh Ahuja, KY Professional Engineer #28866

				WESTOWER COMMUNICATIONS WHEELRIM AL6169, KY V-27.0 X 255'		
A	UPDATE TITLE BLOCK	SKK	01/14/2014	APPROVED/ENG.	M_S	1/14/2014
REV	DESCRIPTION OF REVISIONS	INI	DATE	APPROVED/FOUND.	N/A	
				COPYRIGHT 2014		 1-877-467-4763 Plymouth, IN 1-888-880-9191 Salem, OR STRUCTURES
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FOUNDATION NOTES

1. ULTIMATE SOIL PRESSURE ASSUMED TO BE 5000 PSF. ULTIMATE PASSIVE PRESSURE ASSUMED TO BE 450 LB PCF. THE PURCHASER & OWNER/CONTRACTOR MUST VERIFY THAT THE ACTUAL SITE SOIL PARAMETERS MEET OR EXCEED THE ASSUMED SOIL PARAMETERS PER THIS NOTE AND/OR SHOULD OBTAIN A SOIL REPORT TO DETERMINE THE SOIL CONDITIONS AT THE SITE. FOUNDATION DESIGN MODIFICATIONS MAY BE REQUIRED IN THE EVENT THE ASSUMED SOIL PARAMETERS ARE NOT APPLICABLE FOR THE ACTUAL SUBSURFACE CONDITIONS ENCOUNTERED.
2. CONCRETE TO BE 4000 PSI @ 28 DAYS. REINFORCING BAR TO CONFORM TO ASTM A615 GRADE 60 SPECIFICATIONS. CONCRETE INSTALLATION TO CONFORM TO ACI-318 (2008) BUILDING REQUIREMENTS FOR REINFORCED CONCRETE. ALL CONCRETE TO BE PLACED AGAINST UNDISTURBED EARTH FREE OF WATER AND ALL FOREIGN OBJECTS AND MATERIALS. A MINIMUM OF THREE INCHES OF CONCRETE SHALL COVER ALL REINFORCEMENT. WELDING OF REBAR NOT PERMITTED.
3. A COLD JOINT IS PERMISSIBLE UPON CONSULTATION WITH PIROD. ALL COLD JOINTS SHALL BE COATED WITH BONDING AGENTS PRIOR TO SECOND POUR.
4. ALL FILL SHOULD BE PLACED IN LOOSE LEVEL LIFTS OF NO MORE THAN 12" THICK. FILL MATERIALS SHOULD BE CLEAN AND FREE OF ORGANIC AND FROZEN MATERIALS OR ANY OTHER DELETERIOUS MATERIALS. COMPACT FILL TO 97% OF STANDARD PROCTOR MAXIMUM DRY DENSITY IN ACCORDANCE WITH ASTM D698.
5. BENDING, STRAIGHTENING OR REALIGNING (HOT OR COLD) OF THE ANCHOR BOLTS BY ANY METHOD IS PROHIBITED.
6. CROWN TOP OF FOUNDATION FOR PROPER DRAINAGE.
7. IN THE ABSENCE OF A GEOTECHNICAL REPORT, THE FOLLOWING PRESUMPTIVE SOIL PARAMETERS WERE USED: AN ULTIMATE BEARING PRESSURE OF 5000 PSF, A COHESION OF 1000 PSF, A SOIL UNIT WEIGHT OF 110 PCF, AN ANGLE OF INTERNAL FRICTION OF 0 DEGREES AND NO GROUNDWATER ENCOUNTERED. THESE SOIL PARAMETERS ARE IN COMPLIANCE WITH THE REQUIREMENTS OF ANSI/TIA-222-G-2005 AND CAN BE FOUND IN ANNEX F OF THIS STANDARD.

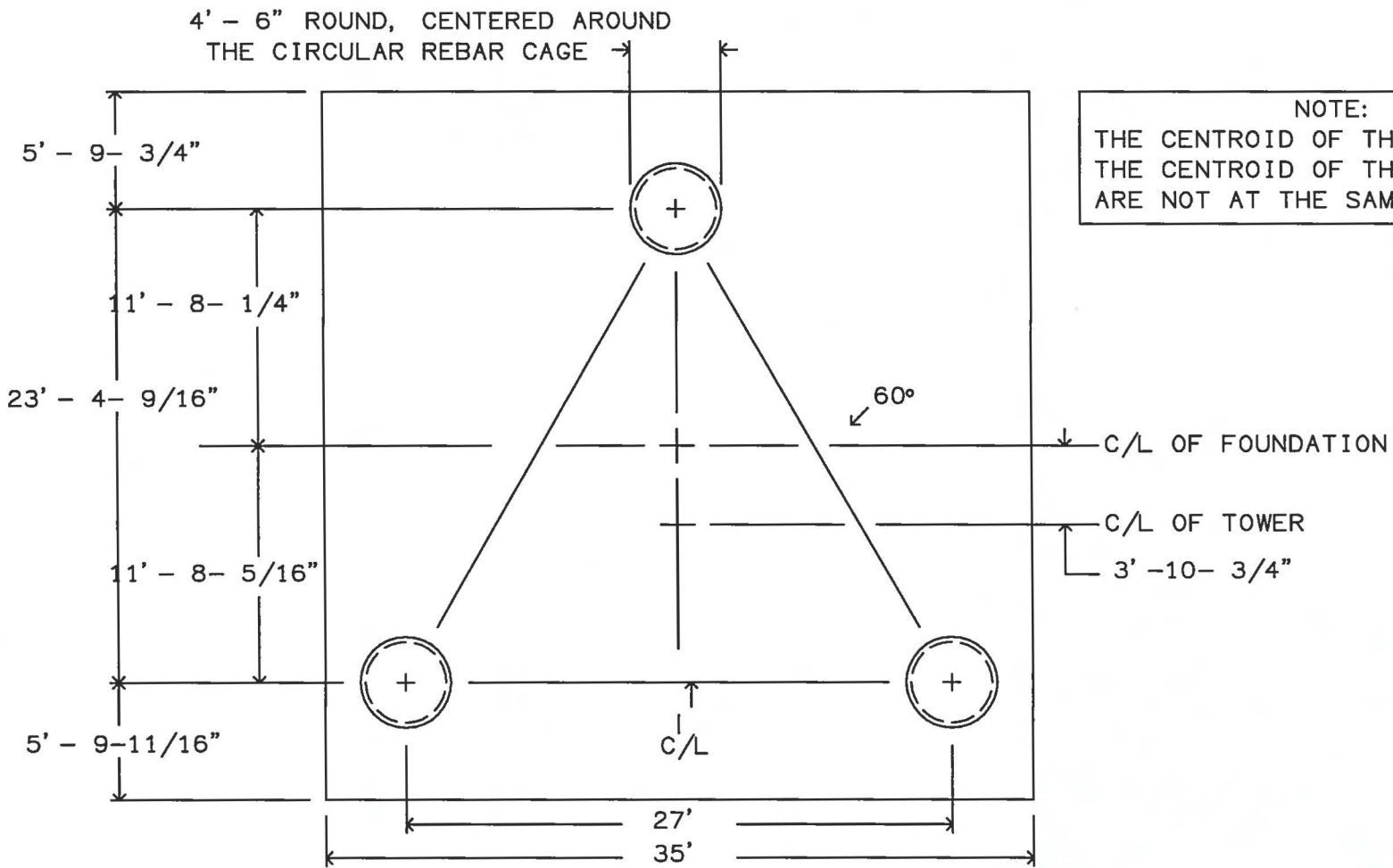


Nitesh Ahuja, KY Professional Engineer #28866

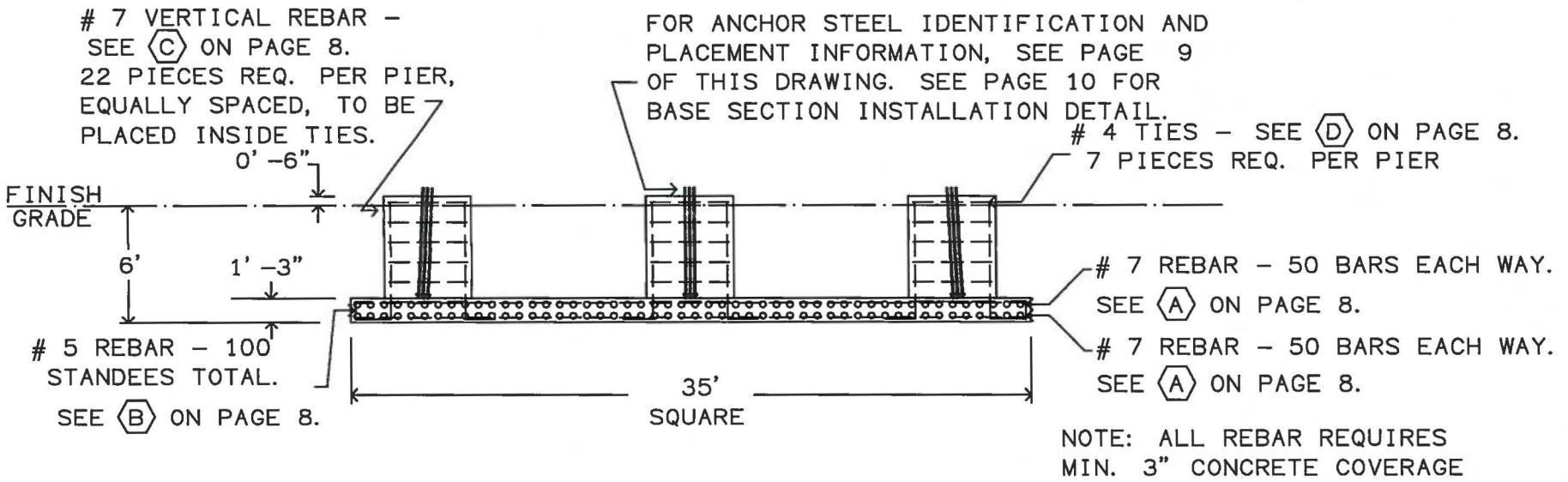
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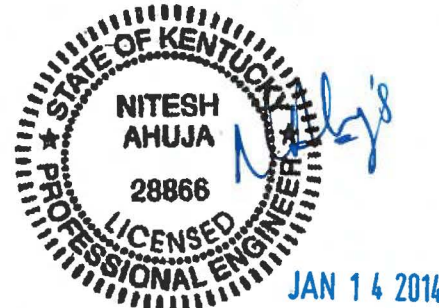


NOTE: THE FOUNDATIONS DEPICTED ON THIS DRAWING WERE DESIGNED PER ASSUMED SOIL PARAMETERS. ALTHOUGH IT IS OUR EXPECTATION THAT THE SOIL WILL EXHIBIT SUFFICIENT STRENGTH TO COMPLY WITH THE ASSUMED STRENGTHS, IT IS POSSIBLE THAT THE SOIL MAY NOT EXHIBIT THE REQUIRED STRENGTHS. THEREFORE, IT IS HIGHLY RECOMMENDED THAT THE ASSUMED PROPERTIES BE CONFIRMED BY A GEOTECHNICAL ENGINEER VIA A SOIL REPORT OR AN ON-SITE INSPECTION DURING INSTALLATION.



**TOWER FOUNDATION**

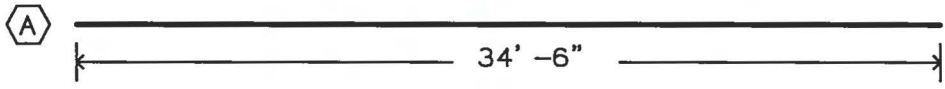
66.0 CUBIC YARDS CONCRETE REQUIRED FOR INSTALLATION SPECIFICATIONS AND ADDITIONAL INFORMATION, SEE PAGE 6 OF THIS DRAWING.



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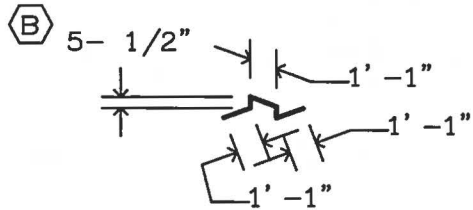
WESTOWER COMMUNICATIONS  
WHEELRIM AL6169, KY  
V-27.0 X 255'

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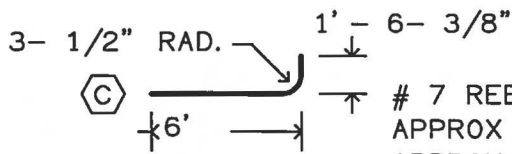


# 7 REBAR - 200 PIECES REQ. TOTAL  
 APPROX WT = 70.5# EACH, 14100# TOTAL

REBAR SUPPORTS MAY CONSIST OF ANY ACCEPTABLE MEANS OF SECURELY SUPPORTING THE TOP REINFORCEMENT GRID ABOVE THE BOTTOM REINFORCEMENT GRID WHILE MAINTAINING A SEPARATION OF 0' -9" (OUTSIDE REBAR TO OUTSIDE REBAR).



# 5 REBAR - 100 PIECES REQUIRED TOTAL  
 TYPE 26 STANDEE PLACED BETWEEN REBAR GRIDS ON NOMINAL 4' SPACING THROUGHOUT  
 APPROX UNBENT LENGTH = 4' - 3- 3/8"  
 APPROX WT = 4.5# EACH, 450# TOTAL



# 7 REBAR - 66 PIECES REQUIRED TOTAL  
 APPROX UNBENT LENGTH = 7' - 4- 7/8"  
 APPROX WT = 15.1# EACH, 997# TOTAL

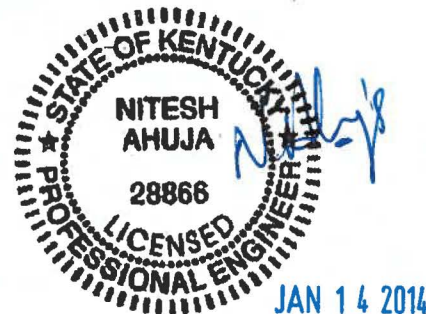


# 4 REBAR - 21 PIECES REQUIRED TOTAL  
 APPROX UNBENT LENGTH = 14' - 1- 3/8"  
 APPROX WT = 9.4# EACH, 197# TOTAL

LAP DIMENSION: 1' - 6- 1/2"  
 PLACE CIRCULAR TIES SO THAT LAPS ON ADJACENT TIES ARE 180 DEGREES APART. PLACE ONE TIE AT TOP OF PAD AND TWO TIES AT TOP OF PIER REBAR. EQUALLY SPACE REMAINING TIES ALONG PIER.

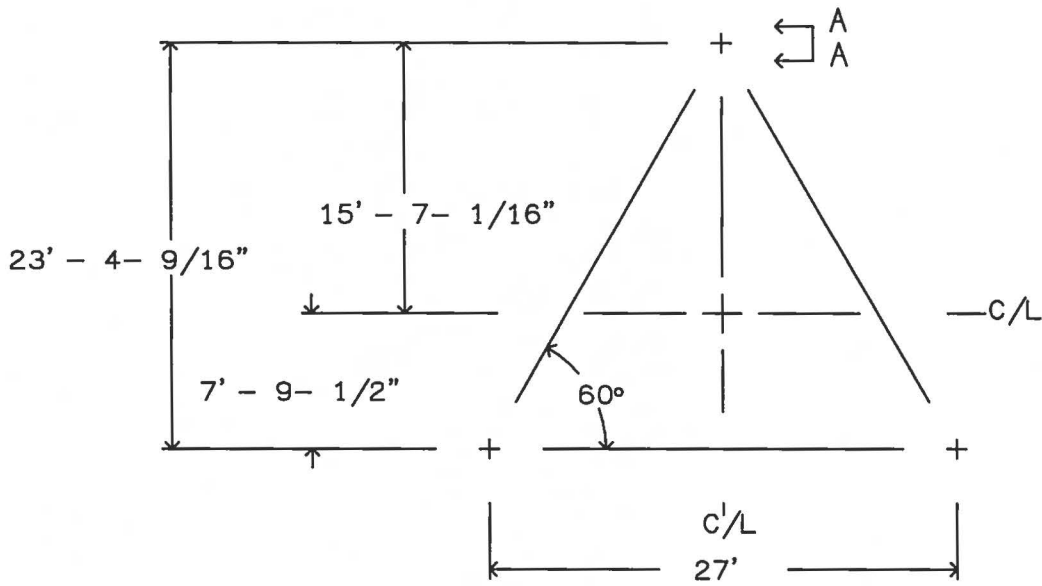
REBAR DETAIL

TOTAL APPROX REBAR WEIGHT = 15744#  
 REINFORCING BAR TO CONFORM TO  
 ASTM A615 GRADE 60 SPECIFICATIONS.



Nitesh Ahuja, KY Professional Engineer #28866

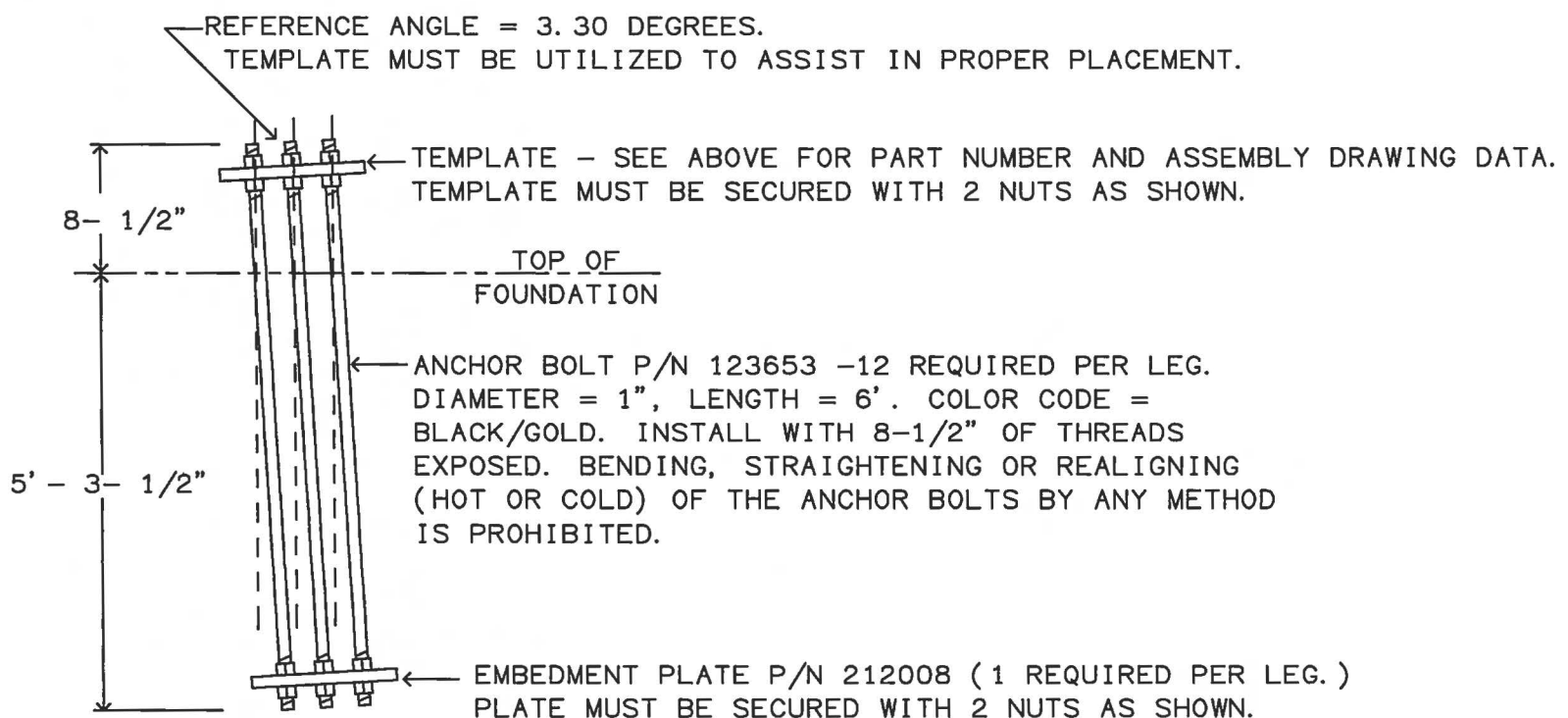
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TEMPLATE ASSEMBLY P/N 216152 INCLUDES CORNER PLATE P/N 211902, IS REQUIRED FOR INSTALLATION AND MUST BE PLACED AS SHOWN. SEE DRAWING # 211875 FOR TEMPLATE ASSEMBLY DETAILS. SEE PAGE 7 FOR TOWER C/L LOCATION RELATIVE TO THE FOUNDATION LAYOUT. TEMPLATE PLACEMENT +/- 3". EACH LEG MUST BE CENTERED IN PIER WITHIN +/- 10% OF PIER DIAMETER. TEMPLATE MUST BE LEVEL +/- 1 DEGREE. INSTALL TEMPLATE WITH SUFFICIENT SPACE BENEATH (2" MINIMUM) TO PERMIT FINISHING OF CONCRETE AND TO FACILITATE TEMPLATE REMOVAL PRIOR TO TOWER ERECTION.

SEE PAGE 10 FOR BASE SECTION INSTALLATION DETAIL.

TOWER ANCHOR STEEL PLACEMENT - TOP VIEW



VIEW A - A - ANCHOR BOLT INSTALLATION DETAIL (NOT TO SCALE)

**ATTENTION CONTRACTOR INSTALLING THE ANCHOR BOLTS!**

1" DIAMETER ANCHOR BOLTS FOR TAPERED TOWER.

VERIFY THE PART NUMBERS AND SIZES FOR ALL COMPONENTS ON THIS PAGE AND PAGE 10.

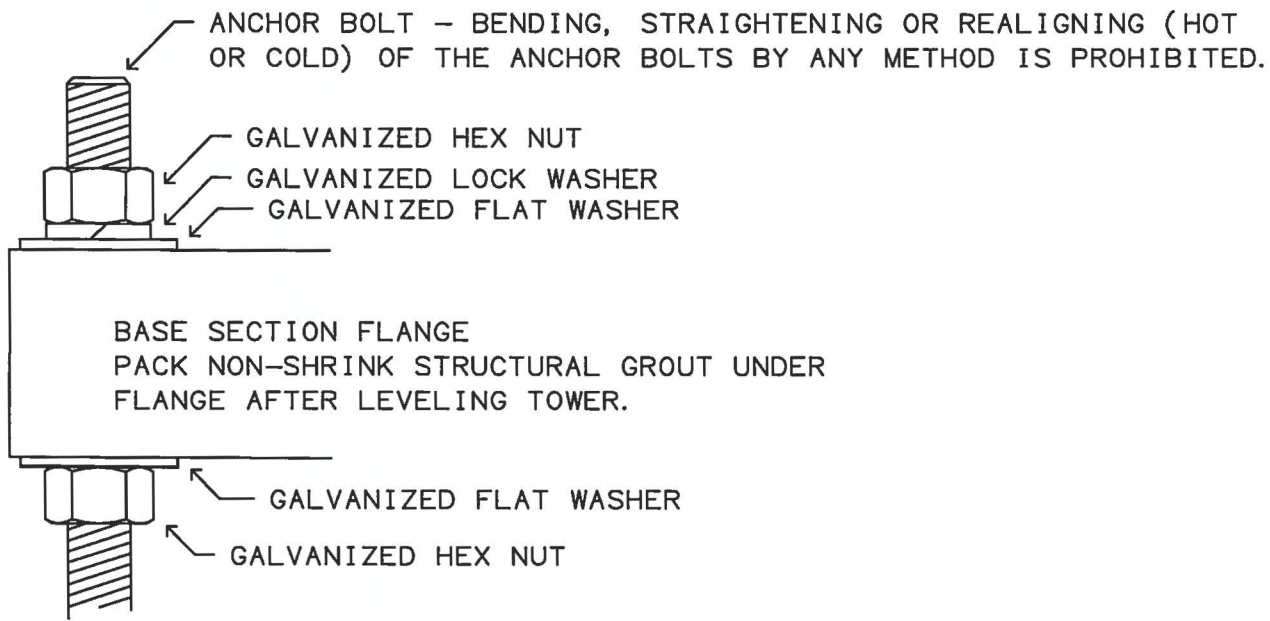
IF THERE ARE ANY DISCREPANCIES, PLEASE NOTIFY PIROD, INC. PRIOR TO INSTALLATION!!



Nitesh Ahuja, KY Professional Engineer #28866

				WESTOWER COMMUNICATIONS WHEELRIM AL6169, KY V-27.0 X 255'			
A	UPDATE TITLE BLOCK	SKK	01/14/2014	APPROVED/ENG.	M_S	1/14/2014	
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BASE SECTION INSTALLATION DETAIL



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**EXHIBIT D**  
**COMPETING UTILITIES, CORPORATIONS, OR PERSONS LIST**

## KY Public Service Commission

### Master Utility Search

- Search for the utility of interest by using any single or combination of criteria.
- Enter Partial names to return the closest match for Utility Name and Address/City/Contact entries.

Utility ID	Utility Name	Address/City/Contact	Utility Type	Status
				<input type="text"/> <input type="button" value="Active"/>
<input type="button" value="Search"/>				

	Utility ID	Utility Name	Utility Type	Class	City	State
<input type="button" value="View"/>	4107900	365 Wireless, LLC	Cellular	D	Atlanta	GA
<input type="button" value="View"/>	4109300	Access Point, Inc.	Cellular	D	Cary	NC
<input type="button" value="View"/>	4108300	Air Voice Wireless, LLC	Cellular	D	Bloomfield Hill	MI
<input type="button" value="View"/>	44451184	Alltel Communications, LLC	Cellular	A	Basking Ridge	NJ
<input type="button" value="View"/>	4107800	American Broadband and Telecommunications Company	Cellular	D	Toledo	OH
<input type="button" value="View"/>	4108650	AmeriMex Communications Corp.	Cellular	B	Roswell	GA
<input type="button" value="View"/>	4105100	AmeriVision Communications, Inc. d/b/a Affinity 4	Cellular	D	Norfolk	VA
<input type="button" value="View"/>	4107400	Bandwidth.com, Inc.	Cellular	B	Raleigh	NC
<input type="button" value="View"/>	4108600	BCN Telecom, Inc.	Cellular	D	Morristown	NJ
<input type="button" value="View"/>	4108750	Blue Jay Wireless, LLC	Cellular	D	Addison	TX
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<input type="button" value="View"/>	4110050	CampusTVs, Inc.	Cellular	C	Weston	MA
<input type="button" value="View"/>	4100700	Cellco Partnership dba Verizon Wireless	Cellular	A	Basking Ridge	NJ
<input type="button" value="View"/>	4106600	Cintex Wireless, LLC	Cellular	D	Rockville	MD
<input type="button" value="View"/>	4101900	Consumer Cellular,	Cellular	A	Portland	OR

		Incorporated				
<a href="#">View</a>	4104900	Credit Union Wireless, LLC	Cellular	D	Salem	OR
<a href="#">View</a>	4106400	Credo Mobile, Inc.	Cellular	A	San Francisco	CA
<a href="#">View</a>	4108850	Cricket Wireless, LLC	Cellular	D	Alpharetta	GA
<a href="#">View</a>	4001900	CTC Communications Corp. d/b/a EarthLink Business I	Cellular	D	Marlborough	MA
<a href="#">View</a>	10640	Cumberland Cellular Partnership	Cellular	A	Elizabethtown	KY
<a href="#">View</a>	4109250	Defense Mobile Corporation	Cellular	D	Westport	CT
<a href="#">View</a>	4101000	East Kentucky Network, LLC dba Appalachian Wireless	Cellular	A	Ivel	KY
<a href="#">View</a>	4002300	Easy Telephone Service Company dba Easy Wireless	Cellular	D	Ocala	FL
<a href="#">View</a>	4109500	Enhanced Communications Group, LLC	Cellular	D	Bartlesville	OK
<a href="#">View</a>	4109050	EOS Mobile Holdings, LLC	Cellular	D	Southlake	TX
<a href="#">View</a>	4105900	Flash Wireless, LLC	Cellular	D	Concord	NC
<a href="#">View</a>	4107100	Flatel Wireless, Inc dba Zing PCS	Cellular	D	Royal Palm Bch	FL
<a href="#">View</a>	4104800	France Telecom Corporate Solutions L.L.C.	Cellular	D	Oak Hill	VA
<a href="#">View</a>	4109350	Global Connection Inc. of America	Cellular	D	Norcross	GA
<a href="#">View</a>	4102200	Globalstar USA, LLC	Cellular	B	Covington	LA
<a href="#">View</a>	4109600	Google North America Inc.	Cellular	C	Mountain View	CA
<a href="#">View</a>	33350363	Granite Telecommunications, LLC	Cellular	D	Quincy	MA
<a href="#">View</a>	4106000	GreatCall, Inc. d/b/a Jitterbug	Cellular	A	San Diego	CA
<a href="#">View</a>	10630	GTE Wireless of the Midwest dba Verizon Wireless	Cellular	A	Basking Ridge	NJ
<a href="#">View</a>	4103100	i-Wireless, LLC	Cellular	A	Newport	KY
<a href="#">View</a>	4109800	IM Telecom, LLC d/b/a Infiniti Mobile	Cellular	C	Tulsa	OK
<a href="#">View</a>	22215360	KDDI America, Inc.	Cellular	C	New York	NY
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<a href="#">View</a>	10681	Kentucky RSA #4 Cellular General	Cellular	A	Elizabethtown	KY
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<a href="#">View</a>	4107300	Lycamobile USA, Inc.	Cellular	D	Newark	NJ
<a href="#">View</a>	4108100	MCC Telephony of the South, LLC	Cellular	D	Mediacom Park	NY
<a href="#">View</a>	4108800	MetroPCS Michigan, LLC	Cellular	A	Bellevue	WA
<a href="#">View</a>	4109650	Mitel Cloud Services, Inc.	Cellular	C	Mesa	AZ
<a href="#">View</a>	4109400	NetZero Wireless, Inc.	Cellular	D	Woodland Hills	CA

<a href="#">View</a>	4202400	New Cingular Wireless PCS, LLC dba AT&T Mobility, PCS	Cellular	A	San Antonio	TX
<a href="#">View</a>	10900	New Par dba Verizon Wireless	Cellular	A	Basking Ridge	NJ
<a href="#">View</a>	4000800	Nextel West Corporation	Cellular	A	Overland Park	KS
<a href="#">View</a>	4104500	Nexus Communications, Inc.	Cellular	D	Columbus	OH
<a href="#">View</a>	4001300	NPCR, Inc. dba Nextel Partners	Cellular	A	Overland Park	KS
<a href="#">View</a>	4001800	OnStar, LLC	Cellular	A	Detroit	MI
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<a href="#">View</a>	4109850	PLATINUMTEL COMMUNICATIONS, LLC d/b/a Care Wireless	Cellular	C	Justice	IL
<a href="#">View</a>	33351182	PNG Telecommunications, Inc. dba PowerNet Global Communications	Cellular	D	Cincinnati	OH
<a href="#">View</a>	4202100	Powertel/Memphis, Inc. dba T-Mobile	Cellular	A	Bellevue	WA
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<a href="#">View</a>	4106300	SI Wireless, LLC	Cellular	A	Carbondale	IL
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<a href="#">View</a>	4200100	Sprint Spectrum, L.P.	Cellular	A	Atlanta	GA
<a href="#">View</a>	4200500	SprintCom, Inc.	Cellular	A	Atlanta	GA
<a href="#">View</a>	4109550	Stream Communications, LLC	Cellular	C	Dallas	TX
<a href="#">View</a>	4202200	T-Mobile Central, LLC dba T-Mobile	Cellular	A	Bellevue	WA
<a href="#">View</a>	4002500	TAG Mobile, LLC	Cellular	D	Carrollton	TX
<a href="#">View</a>	4109700	Telecom Management, Inc. dba Pioneer Telephone	Cellular	C	South Portland	ME
<a href="#">View</a>	4107200	Telefonica USA, Inc.	Cellular	D	Miami	FL
<a href="#">View</a>	4108900	Telrite Corporation dba Life Wireless	Cellular	D	Covington	GA
<a href="#">View</a>	4108450	Tempo Telecom, LLC	Cellular	D	Kansas City	MO
<a href="#">View</a>	4109950	The People's Operator USA, LLC	Cellular	C	New York	NY
<a href="#">View</a>	4109000	Ting, Inc.	Cellular	B	Toronto	ON
<a href="#">View</a>	4103900	Total Call Mobile, Inc.	Cellular	A	Gardena	CA
<a href="#">View</a>	4103300	Touchtone Communications,	Cellular	D	Whippany	NJ

		Inc.				
<a href="#">View</a>	4104200	TracFone Wireless, Inc.	Cellular	D	Miami	FL
<a href="#">View</a>	4002000	Truphone, Inc.	Cellular	D	Durham	NC
<a href="#">View</a>	4105700	Virgin Mobile USA, L.P.	Cellular	A	Atlanta	GA
<a href="#">View</a>	4104100	WDT Wireless Telecommunications, Inc.	Cellular	D	Dallas	TX
<a href="#">View</a>	4200600	West Virginia PCS Alliance, L.C.	Cellular	A	Waynesboro	VA
<a href="#">View</a>	4106500	WiMacTel, Inc.	Cellular	D	Omaha	NE
<a href="#">View</a>	4110100	Windward Wireless LLC	Cellular	C	Suwanee	GA
<a href="#">View</a>	4109900	Wireless Telecom Cooperative, Inc. dba theWirelessFreeway	Cellular	C	Louisville	KY

**EXHIBIT E**  
**FAA**



Mail Processing Center  
Federal Aviation Administration  
Southwest Regional Office  
Obstruction Evaluation Group  
10101 Hillwood Parkway  
Fort Worth, TX 76177

Aeronautical Study No.  
2015-ASO-16279-OE

Issued Date: 11/25/2015

John Monday (LA)  
AT&T  
3300 E. Renner Rd., B3132  
Richardson, TX 75082

**\*\* DETERMINATION OF NO HAZARD TO AIR NAVIGATION \*\***

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure: Antenna Tower Wheelrim - 12674956  
Location: Hazel Green, KY  
Latitude: 37-45-03.84N NAD 83  
Longitude: 83-15-17.98W  
Heights: 1213 feet site elevation (SE)  
275 feet above ground level (AGL)  
1488 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure does not exceed obstruction standards and would not be a hazard to air navigation provided the following condition(s), if any, is(are) met:

As a condition to this Determination, the structure is marked/lighted in accordance with FAA Advisory circular 70/7460-1 K Change 2, Obstruction Marking and Lighting, a med-dual system - Chapters 4,8(M-Dual),&12.

It is required that FAA Form 7460-2, Notice of Actual Construction or Alteration, be e-filed any time the project is abandoned or:

- At least 10 days prior to start of construction (7460-2, Part 1)  
 Within 5 days after the construction reaches its greatest height (7460-2, Part 2)

This determination expires on 05/25/2017 unless:

- (a) the construction is started (not necessarily completed) and FAA Form 7460-2, Notice of Actual Construction or Alteration, is received by this office.
- (b) extended, revised, or terminated by the issuing office.
- (c) the construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the FCC, within 6 months of the date of this determination. In such case, the determination expires on the date prescribed by the FCC for completion of construction, or the date the FCC denies the application.



NOTE: REQUEST FOR EXTENSION OF THE EFFECTIVE PERIOD OF THIS DETERMINATION MUST BE E-FILED AT LEAST 15 DAYS PRIOR TO THE EXPIRATION DATE. AFTER RE-EVALUATION OF CURRENT OPERATIONS IN THE AREA OF THE STRUCTURE TO DETERMINE THAT NO SIGNIFICANT AERONAUTICAL CHANGES HAVE OCCURRED, YOUR DETERMINATION MAY BE ELIGIBLE FOR ONE EXTENSION OF THE EFFECTIVE PERIOD.

This determination is based, in part, on the foregoing description which includes specific coordinates , heights, frequency(ies) and power . Any changes in coordinates , heights, and frequencies or use of greater power will void this determination. Any future construction or alteration , including increase to heights, power, or the addition of other transmitters, requires separate notice to the FAA.

This determination does include temporary construction equipment such as cranes, derricks, etc., which may be used during actual construction of the structure. However, this equipment shall not exceed the overall heights as indicated above. Equipment which has a height greater than the studied structure requires separate notice to the FAA.

This determination concerns the effect of this structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

Any failure or malfunction that lasts more than thirty (30) minutes and affects a top light or flashing obstruction light, regardless of its position, should be reported immediately to (877) 487-6867 so a Notice to Airmen (NOTAM) can be issued. As soon as the normal operation is restored, notify the same number.

A copy of this determination will be forwarded to the Federal Communications Commission (FCC) because the structure is subject to their licensing authority.

If we can be of further assistance, please contact our office at (816) 329-2523. On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2015-ASO-16279-OE.

**Signature Control No: 267806773-273593080**

( DNE )

Steve Phillips  
Specialist

Attachment(s)  
Frequency Data  
Map(s)

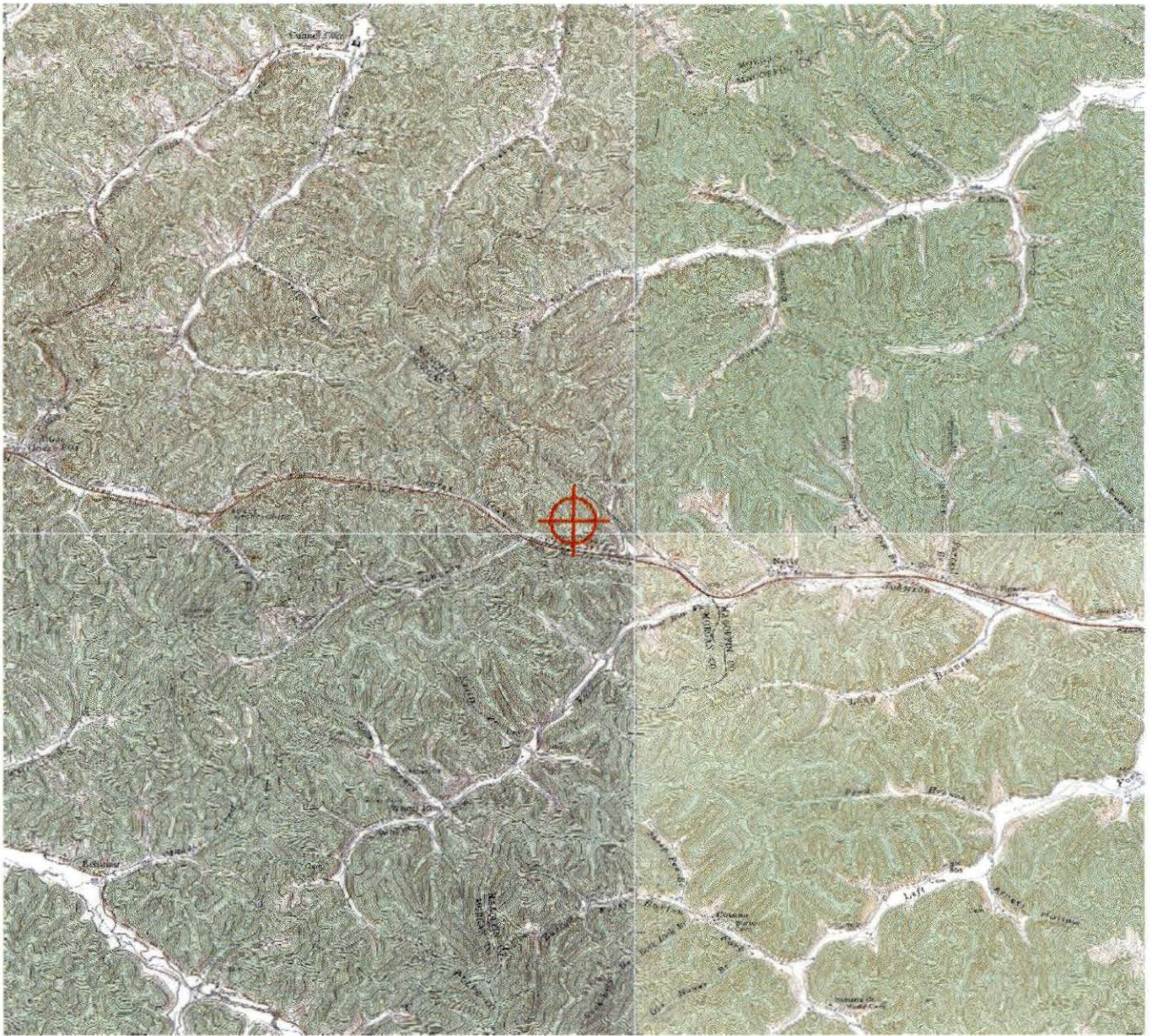
cc: FCC



Frequency Data for ASN 2015-ASO-16279-OE

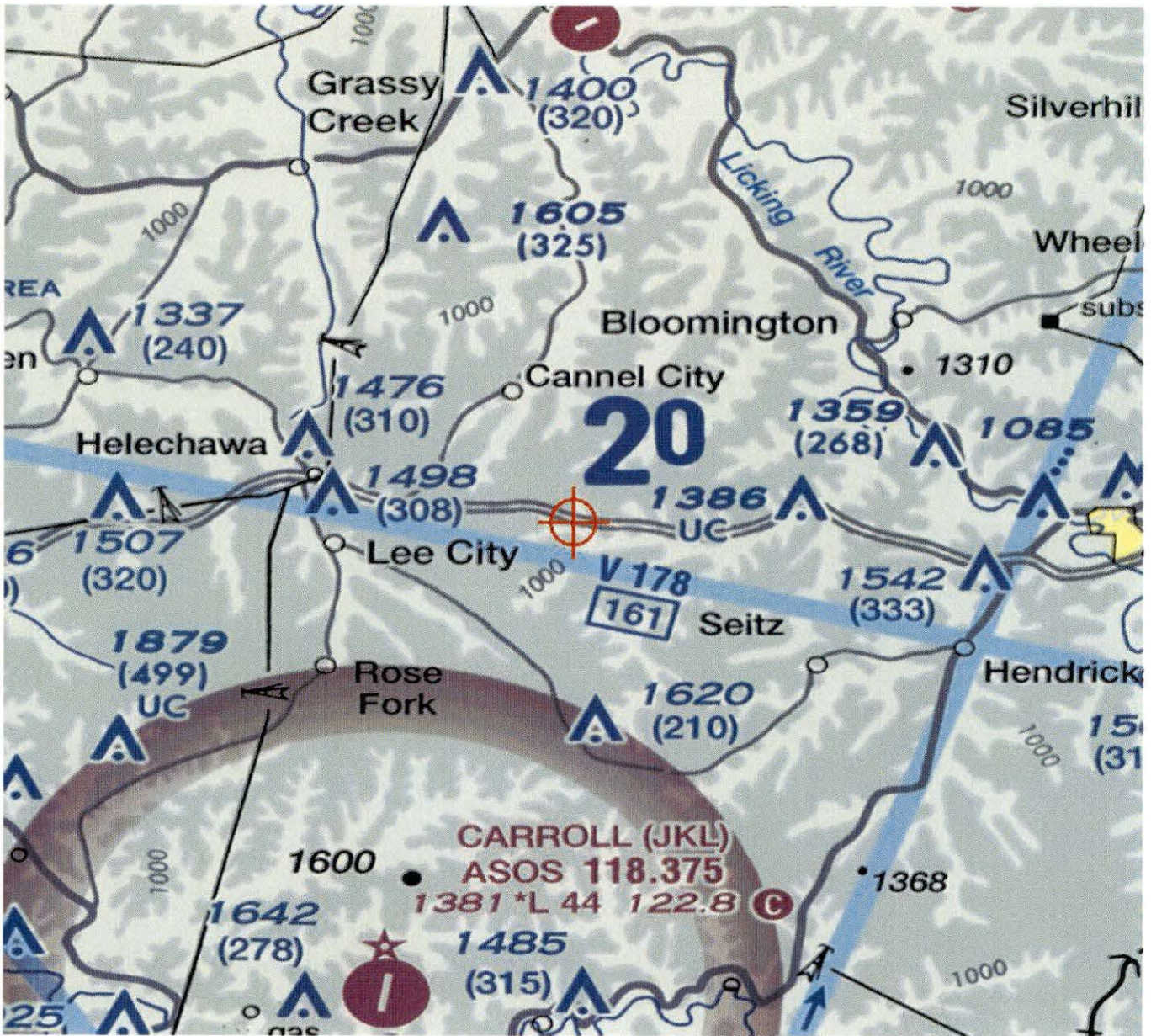
LOW FREQUENCY	HIGH FREQUENCY	FREQUENCY UNIT	ERP	ERP UNIT
698	806	MHz	1000	W
806	824	MHz	500	W
824	849	MHz	500	W
851	866	MHz	500	W
869	894	MHz	500	W
896	901	MHz	500	W
901	902	MHz	7	W
930	931	MHz	3500	W
931	932	MHz	3500	W
932	932.5	MHz	17	dBW
935	940	MHz	1000	W
940	941	MHz	3500	W
1850	1910	MHz	1640	W
1930	1990	MHz	1640	W
2305	2310	MHz	2000	W
2345	2360	MHz	2000	W

TOPO Map for ASN 2015-ASO-16279-OE





Sectional Map for ASN 2015-ASO-16279-OE



**EXHIBIT F**  
**KENTUCKY AIRPORT ZONING COMMISSION**





**KENTUCKY AIRPORT ZONING COMMISSION**

STEVEN BESHEAR  
Governor

90 Airport Road, Bldg 400  
Frankfort, KY 40601  
[www.transportation.ky.gov/aviation](http://www.transportation.ky.gov/aviation)  
502 564-4480

December 21, 2015

APPROVAL OF APPLICATION

APPLICANT:

John Monday  
John Monday  
3300 E. Renner Rd B3132  
Richardson, TX 75082

SUBJECT: AS-088-JKL-2015-096

STRUCTURE: Antenna Tower  
LOCATION: Hazel Green, KY  
COORDINATES: 37° 45' 3.84" N / 83° 15' 17.98" W  
HEIGHT: 275' AGL/1488' AMSL

The Kentucky Airport Zoning Commission has approved your application for a permit to construct 275' AGL/ 1488' AMSL Antenna Tower near Hazel Green, KY 37° 45' 3.84" N / 83° 15' 17.98" W.

This permit is valid for a period of 18 Month(s) from its date of issuance. If construction is not completed within said 18-Month period, this permit shall lapse and be void, and no work shall be performed without the issuance of a new permit.

A copy of the approved application is enclosed for your files.

Medium Dual Obstruction Lighting is required in accordance with 602 KAR 50:100.

A handwritten signature in blue ink, appearing to read "John Houlihan".

John Houlihan  
Administrator



An Equal Opportunity Employer M/F/D



**KENTUCKY AIRPORT ZONING COMMISSION**

STEVEN BESHEAR  
Governor

90 Airport Road, Bldg 400  
Frankfort, KY 40601  
www.transportation.ky.gov/aviation  
502 564-4480

**CONSTRUCTION/ALTERATION STATUS REPORT**

December 21, 2015

AERONAUTICAL STUDY NUMBER: AS-088-JKL-2015-096

John Monday  
John Monday  
3300 E. Renner Rd B3132  
Richardson, TX 75082

This concerns the permit which was issued to you by the Kentucky Airport Zoning Commission on December 21, 2015. This permit is valid for a period of 18 Month(s) from its date of issuance. If construction is not completed within the said 18-Month period, this permit shall lapse and be void, and no work shall be performed without the issuance of a new permit. When appropriate, please indicate the status of the project in the place below and return this letter to John Houlihan, Administrator, Kentucky Airport Zoning Commission, 90 Airport Road, Bldg 400, Frankfort, KY, 40601. 502 564-4480.

STRUCTURE: Antenna Tower  
LOCATION: Hazel Green, KY  
COORDINATES: 37° 45' 3.84" N / 83° 15' 17.98" W  
HEIGHT: 275' AGL /1488' AMSL

**CONSTRUCTION/ALTERATION STATUS**

1. The project ( ) is abandoned. ( ) is not abandoned.
2. Construction status is as follows:  
 Structure reached its greatest height of \_\_\_\_\_ ft. AGL  
 \_\_\_\_\_ ft. AMSL on \_\_\_\_\_ (date).  
 Date construction was completed. \_\_\_\_\_  
 Type of obstruction marking/painting. \_\_\_\_\_  
 Type of obstruction lighting. \_\_\_\_\_  
 As built coordinates. \_\_\_\_\_  
 Miscellaneous Information. \_\_\_\_\_  
 DATE \_\_\_\_\_  
 SIGNATURE/TITLE \_\_\_\_\_





KENTUCKY AIRPORT ZONING COMMISSION

APPLICATION FOR PERMIT TO CONSTRUCT OR ALTER A STRUCTURE

APPLICANT (name) John Monday		PHONE 855-699-7073	FAX 972-907-1131	KY AERONAUTICAL STUDY # AS-088-JKL-2015-096	
ADDRESS (street) 3300 E. Renner Road, B3132		CITY Richardson		STATE TX	ZIP 75082
APPLICANT'S REPRESENTATIVE (name) Roy Johnson		PHONE 502-445-2475	FAX 502-222-4266		
ADDRESS (street) 3605 Mattingly Road		CITY Buckner		STATE KY	ZIP 40010
APPLICATION FOR <input checked="" type="checkbox"/> New Construction <input type="checkbox"/> Alteration <input type="checkbox"/> Existing				WORK SCHEDULE	
DURATION <input checked="" type="checkbox"/> Permanent <input type="checkbox"/> Temporary (months days )				Start End TBD	
TYPE <input type="checkbox"/> Crane <input type="checkbox"/> Building		MARKING/PAINTING/LIGHTING PREFERRED			
<input checked="" type="checkbox"/> Antenna Tower		<input type="checkbox"/> Red Lights & Paint <input type="checkbox"/> White- medium intensity <input type="checkbox"/> White- high intensity			
<input type="checkbox"/> Power Line <input type="checkbox"/> Water Tank		<input checked="" type="checkbox"/> Dual- red & medium intensity white <input type="checkbox"/> Dual- red & high intensity white			
<input type="checkbox"/> Landfill <input type="checkbox"/> Other		<input type="checkbox"/> Other			
LATITUDE 37° 45' 03.84 "		LONGITUDE 83° 15' 17.98 "		DATUM <input checked="" type="checkbox"/> NAD83 <input type="checkbox"/> NAD27	
<input type="checkbox"/> Other					
NEAREST KENTUCKY City Hazel Green County Morgan ✓		NEAREST KENTUCKY PUBLIC USE OR MILITARY AIRPORT 913 West Liberty			
SITE ELEVATION (AMSL, feet) 1213'		TOTAL STRUCTURE HEIGHT (AGL, feet) 275'		CURRENT (FAA aeronautical study #) 2015-ASO-16279-OE	
OVERALL HEIGHT (site elevation plus total structure height, feet) 1488'				PREVIOUS (FAA aeronautical study #) 2013-ASO-7436-OE	
DISTANCE (from nearest Kentucky public use or Military airport to structure) 9.79 NM				PREVIOUS (KY aeronautical study #) AS-088-JKL-2013-142	
DIRECTION (from nearest Kentucky public use or Military airport to structure) South					
DESCRIPTION OF LOCATION (Attach USGS 7.5 minute quadrangle map or an airport layout drawing with the precise site marked and any certified survey.) 1A and Quad attached					
DESCRIPTION OF PROPOSAL AT&T proposes to construct a 255' cell tower with 20' lightning rod for overall height of 275'					
FAA Form 7460-1 (Has the "Notice of Construction or Alteration" been filed with the Federal Aviation Administration?) <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes, when? 10/06/2015					
CERTIFICATION (I hereby certify that all the above entries, made by me, are true, complete, and correct to the best of my knowledge and belief.)					
PENALTIES (Persons failing to comply with KRS 183.861 to 183.990 and 602 KAR 050 are liable for fines and/or imprisonment as set forth in KRS 183.990(3). Noncompliance with FAA regulations may result in further penalties.)					
NAME Michelle Ward	TITLE Sr. Real Estate Mgr	SIGNATURE 		DATE 11/05/15	
COMMISSION ACTION					
<input checked="" type="checkbox"/> Approved <input type="checkbox"/> Disapproved					
SIGNATURE 				DATE 12-21-15	
<input type="checkbox"/> Chairperson, KAZC <input checked="" type="checkbox"/> Administrator, KAZC					



**EXHIBIT G**  
**GEOTECHNICAL REPORT**



## ENVIRONMENTAL CORPORATION OF AMERICA

ENVIRONMENTAL | GEOTECHNICAL | WETLANDS | ECOLOGY | CULTURAL RESOURCES

April 10, 2014

WesTower Communications  
10400 Linn Station Road  
Suite 225  
Louisville, Kentucky 40223

**Attention: Mr. John Boud**

**Subject: Geotechnical Investigation  
AT&T Site KYALU6163 (Wheelrim)  
Off KY Highway 134  
Hazel Green, Morgan County, Kentucky  
ECA Project # P1329**

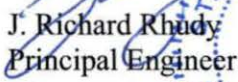
Dear Mr. Boud:

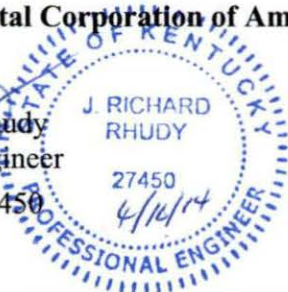
Environmental Corporation of America (ECA) was authorized in October, 2013 to complete the Geotechnical Investigation for the subject Property. We were provided with a survey of the subject Property dated September 3, 2013. The Property is located in a wooded area north of KY Highway 134. The Property includes a proposed 80-foot by 50-foot lease area located in a wooded area and a proposed approximate 2,195-foot long by 30-foot wide access/utility easement. The proposed easement would extend in a north/northeasterly direction off KY Highway 134 until reaching the proposed lease area.


Due to existing steep terrain along the proposed access/utility easement, it would not be possible for a geotechnical drill rig to access the center of the lease area. In order to complete the requested Geotechnical Investigation, tree clearing and considerable grading activities would be necessary.

Please let us know if you have questions or concerns.

Sincerely yours,  
**Environmental Corporation of America**

  
J. Richard Rhudy  
Principal Engineer  
KY Reg. #27450



  
Kelby Williams, EIT  
Project Engineer





# ENVIRONMENTAL CORPORATION OF AMERICA

ENVIRONMENTAL | GEOTECHNICAL | WETLANDS | ECOLOGY | CULTURAL RESOURCES

## Preliminary Geotechnical Investigation

### AT&T Site WHEELRIM

3721 Highway 134  
Hazel Green, Morgan Co., KY

ECA Project No. P-1329



### SUBMITTED TO:

WesTower Communications  
10400 Linn Station Road, Suite 225  
Louisville, KY 40223

### PREPARED BY:

Environmental Corporation of America  
1375 Union Hill Industrial Court, Suite A  
Alpharetta, GA 30004





# ENVIRONMENTAL CORPORATION OF AMERICA

ENVIRONMENTAL | GEOTECHNICAL | WETLANDS | ECOLOGY | CULTURAL RESOURCES

January 8, 2014

WesTower Communications  
10400 Linn Station Road, Suite 225  
Louisville, KY 40223

Attention: Mr. John Boud

Subject: **Report of Preliminary Geotechnical Investigation**  
AT&T Site WHEELRIM  
3721 Highway 134  
Hazel Green, Morgan Co., KY  
ECA Project No. P-1329

Dear Mr. Boud:

Environmental Corporation of America (ECA) is pleased to submit this report of our Preliminary Geotechnical Investigation for the proposed project. Our services were provided as authorized verbally on January 7, 2014.

This report presents a review of the information provided to us, a description of the site and subsurface conditions, and our recommendations. The appendices contain a USGS Topographic Map and USDA Web Soil Survey map and Soil Descriptions for mapped soil types.

## **Purpose and Scope of Work**

The purpose of this effort was to evaluate the likely site conditions so that preliminary foundation design plans can be prepared. No soil borings or testing has been conducted for this report. A final Geotechnical Investigation including borings should be conducted for the proposed tower.

## **Project Information**

We were provided with an undated survey of the Property. The Property is located on a steep wooded hillside north of Highway 134. We understand that plans call for a new 255-foot tall self-supporting lattice tower on the site, approximately as shown on Figure 1.

### Estimated Site and Subsurface Conditions

The topography leading up to the proposed compound is hilly. The elevation at the proposed tower location is about 1,212 feet AMSL. Based on view of the area from Google Earth, the exposed highway cut slopes near the Property exhibit weathered rock and soil with rock lens.

The soil survey shows three potential soil types near the proposed tower location. Descriptions of these soil types are attached. In summary, the general soil profile descriptions include sandstone, shale, or siltstone occurring at depths of from about 4 to 10 feet. Most of the upper rock at these depths is described as “rippable”.

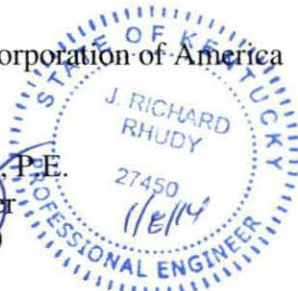
### Recommendations


Based on the anticipated rocky soil and relatively shallow bedrock, the tower will likely be supported on a shallow mat (pad and pier) foundation system. Groundwater will not likely be encountered in foundation excavations. Assuming partially weathered rock at the tower foundation bearing level, a nominal bearing pressure of about 5 kips per square foot is likely appropriate.

We appreciate the opportunity to be of service. Please call us with any questions at (770) 667-2040.

Sincerely,  
Environmental Corporation of America

J. Richard Rhudy, P.E.  
Principal Engineer  
KY Reg. # 27450



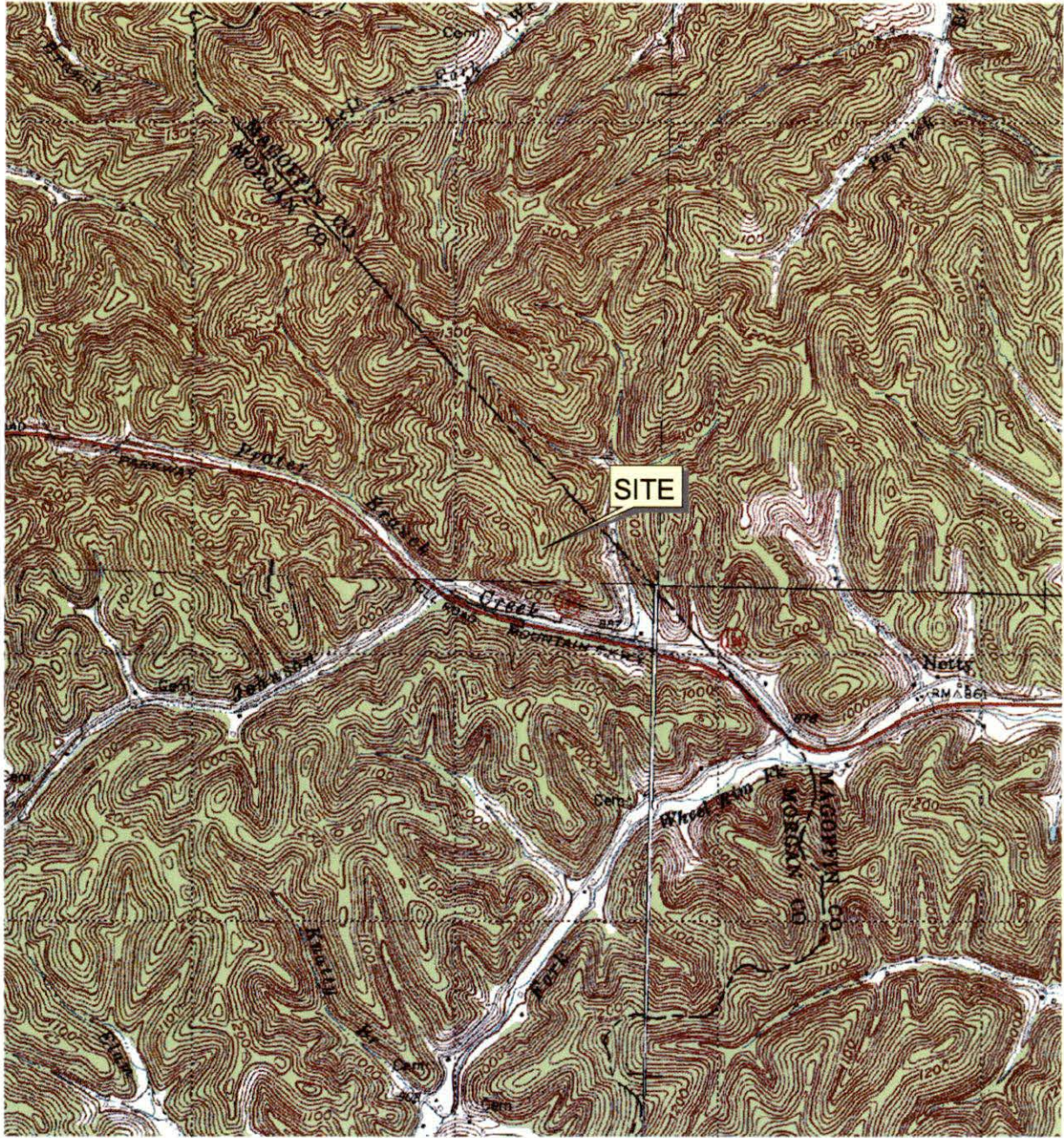
  
Kelby Williams, EIT  
Project Engineer

Appendix A Figure 1 – Topographic Map and Site Survey  
Appendix B Soil Survey and Soil Descriptions

# **APPENDIX A**

## Topographic Map and Site Survey





2000 0 2000 Feet

Source: USGS Topographic Quadrangle Map, 7.5 Minute Series, Cannel City, KY (1965, Revised 1993), White Oak, KY (1965), Lee City, KY (1965), and Seitz, KY (1965, Photoinspected 1976).



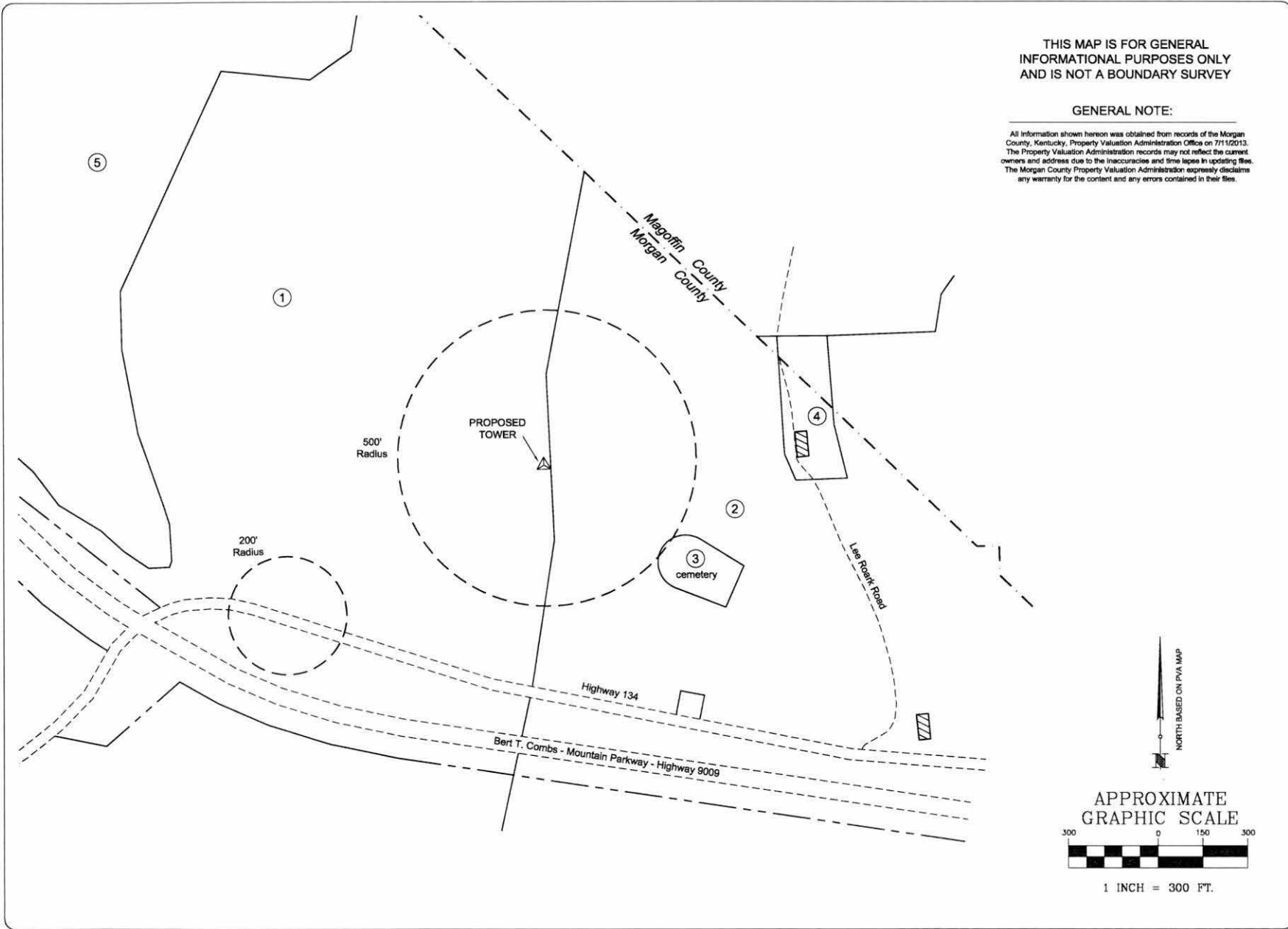
Wheelrim Site  
 3721 Highway 134  
 Hazel Green, Morgan County, Kentucky

Figure 1: Site Location Plan



ECA Proj. #: P-1329





THIS MAP IS FOR GENERAL INFORMATIONAL PURPOSES ONLY AND IS NOT A BOUNDARY SURVEY

**GENERAL NOTE:**

All information shown hereon was obtained from records of the Morgan County, Kentucky, Property Valuation Administration Office on 7/11/2013. The Property Valuation Administration records may not reflect the current owners and address due to the inaccuracies and time lags in updating files. The Morgan County Property Valuation Administration expressly disclaims any warranty for the content and any errors contained in their files.



**BT**  
 BTM ENGINEERING, INC.  
 3001 TAYLOR SPRINGS DRIVE  
 LOUISVILLE, KENTUCKY 40220  
 (502) 459-8402 PHONE  
 (502) 459-8427 FAX

STATE of KENTUCKY  
 GEORGE BRIAN WYATT  
 2328  
 LICENSED PROFESSIONAL LAND SURVEYOR

SITE NAME: WHEELRIM

SITE I.D.: KYALU6163

SITE ADDRESS: 3721 HIGHWAY 134  
 HAZEL GREEN, MORGAN CO., KY 41332

LEASE AREA: 4000 SF

PROPERTY OWNER:  
 JASON ONEY  
 3721 HIGHWAY 134  
 HAZEL GREEN, KY 41332

PARCEL NUMBER: 114-00-00-015.00

SOURCE OF TITLE:  
 DEED BOOK 217 PAGE 483

LATITUDE: 37° 46' 03.847" N  
 LONGITUDE: 83° 16' 17.986" W

NO.	REVISION/ISSUE	DATE
1		
2		
3		
4		
5		

TITLE:  
 500' RADIUS VICINITY MAP

SHEET:  
 C-1

- ① PARCEL NUMBER: 114-00-00-015.00  
Jason Oney  
3247 Highway 134  
Hazel Green, Kentucky 41332
- ② PARCEL NUMBER: 129-00-00-003.00  
William & Judy Oney  
3721 Highway 134  
Hazel Green, Kentucky 41332
- ③ PARCEL NUMBER: 129-00-00-001.00  
Per PVA - No Information Available  
3247 Highway 134  
Hazel Green, Kentucky 41332
- ④ PARCEL NUMBER: 129-00-00-004.00  
Lee & Rissie Roark  
220 Lee Roark Road  
Hazel Green, Kentucky 41332
- ⑤ PARCEL NUMBER: 113-00-00-09.00  
J.C. & Christine Rudd  
Johnson Fork  
Hazel Green, Kentucky 41332

THIS MAP IS FOR GENERAL  
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AND IS NOT A BOUNDARY SURVEY

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BTM ENGINEERING, INC.  
3001 TAYLOR SPRINGS DRIVE  
LOUISVILLE, KENTUCKY 40220  
(502) 459-8402 PHONE  
(502) 459-8427 FAX

STATE of KENTUCKY  
GEORGE BRIAN  
WYATT  
2328  
LICENSED  
PROFESSIONAL  
LAND SURVEYOR

SITE NAME: WHEELRIM

SITE I.D.: KYALU6163

SITE ADDRESS: 3721 HIGHWAY 134  
HAZEL GREEN, MORGAN CO., KY 41332

LEASE AREA: 4000 SF

PROPERTY OWNER: JASON ONEY  
3721 HIGHWAY 134  
HAZEL GREEN, KY 41332

PARCEL NUMBER: 114-00-00-015.00

SOURCE OF TITLE: DEED BOOK 217 PAGE 483

LATITUDE: 37° 45' 03.847" N  
LONGITUDE: 83° 15' 17.985" W

NO.	REVISION/ISSUE	DATE
1		
2		
3		
4		
5		

TITLE: 500' RADIUS  
VICINITY MAP

SHEET: C-1A





BTW ENGINEERING, INC.  
3001 TAYLOR SPRINGS DRIVE  
LOUISVILLE, KENTUCKY 40220  
(502) 459-8402 PHONE  
(502) 459-8427 FAX

STATE of KENTUCKY  
GEORGE BRIAN WYATT  
2328  
LICENSED PROFESSIONAL LAND SURVEYOR

SITE NAME: WHEELRIM

SITE I.D.: KYALL0163

SITE ADDRESS: 3721 HIGHWAY 134  
HAZEL GREEN, MORGAN CO., KY 41332

LEASE AREA: 4000 SF

PROPERTY OWNER:  
JASON ONEY  
3721 HIGHWAY 134  
HAZEL GREEN, KY 41332

PARCEL NUMBER: 114-00-00-015.00

SOURCE OF TITLE:  
DEED BOOK 217 PAGE 483

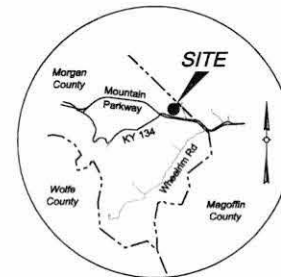
LATITUDE: 37° 45' 03.847" N  
LONGITUDE: 83° 15' 17.985" W

NO.	REVISION/ISSUE	DATE
1		
2		
3		
4		
5		

TITLE:  
COMMUNICATIONS SITE SURVEY

SHEET:

C-2



LOCATION MAP  
Hazel Green, Morgan County, Kentucky

LEGEND

- LEASE AREA LINE
- - - EASEMENT LINE
- \_\_\_ PROPERTY LINE
- OVERHEAD UTILITIES
- DW --- UTILITY POLE
- SET #5 REBAR OR MAG NAIL  
W/ CAP STAMPED "2328"  
UNLESS OTHERWISE NOTED
- RP REFERENCE POINT
- POB POINT OF BEGINNING



APPROXIMATE GRAPHIC SCALE  
1 INCH = 120 FT.

NOTE  
THE PROPOSED TOWER CENTERLINE, DENOTED BY THIS SYMBOL  $\Delta$  IS LOCATED AS FOLLOWS:

NAD 1983  
LATITUDE: 37°45' 03.847"N  
LONGITUDE: 83°15' 17.985"W  
ELEVATION: 1212.2 (NAVD 88)  
STATE PLANE COORDINATE  
NORTHING: 3,906,693.397  
EASTING: 5,642,490.303

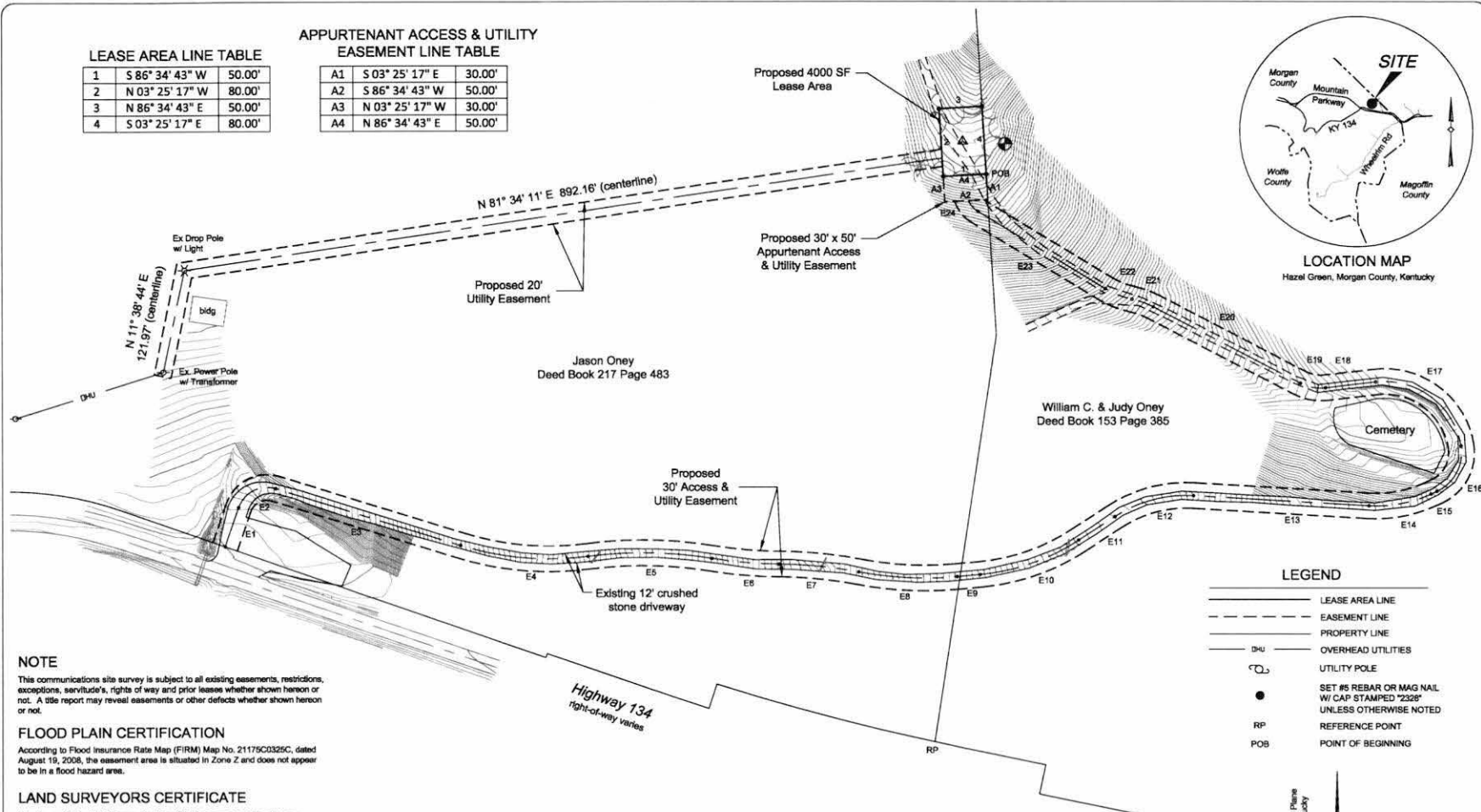
BENCHMARK  
NORTH: 3,906,690.82  
EAST: 5,642,539.39  
ELEVATION: 1208.64 (NAVD 88)  
LOCATION: Iron Pin w/Cap

APPURTENANT ACCESS & UTILITY EASEMENT LINE TABLE

A1	S 03° 25' 17" E	30.00'
A2	S 86° 34' 43" W	50.00'
A3	N 03° 25' 17" W	30.00'
A4	N 86° 34' 43" E	50.00'

LEASE AREA LINE TABLE

1	S 86° 34' 43" W	50.00'
2	N 03° 25' 17" W	80.00'
3	N 86° 34' 43" E	50.00'
4	S 03° 25' 17" E	80.00'



NOTE  
This communications site survey is subject to all existing easements, restrictions, exceptions, servitude's, rights of way and prior leases whether shown hereon or not. A title report may reveal easements or other defects whether shown hereon or not.

FLOOD PLAIN CERTIFICATION  
According to Flood Insurance Rate Map (FIRM) Map No. 21175C0325C, dated August 19, 2008, the easement area is situated in Zone Z and does not appear to be in a flood hazard area.

LAND SURVEYORS CERTIFICATE  
I hereby certify that this Communications Site Survey was made under my supervision, and that the angular and linear measurements as witnessed by monuments shown hereon are true and correct to the best of my knowledge and belief. This plat does not represent a boundary survey and is not intended for land transfer.

GEORGE BRIAN WYATT, PLS 2328	DATE
OWNER APPROVAL:	DATE
OWNER APPROVAL:	DATE
CLIENT APPROVAL:	DATE

30' ACCESS & UTILITY EASEMENT CENTERLINE TABLE

E1	N 18° 58' 39" E	48.64'		
E2	N 63° 06' 24" E	48.74'	R=35.00'	
E3	S 72° 45' 52" E	226.28'		
E4	S 85° 01' 32" E	148.66'	R=350.00'	
E5	S 88° 57' 46" E	144.78'	R=500.00'	
E6	S 85° 06' 51" E	78.04'	R=500.00'	
E7	S 84° 16' 22" E	92.67'	R=500.00'	
E8	S 87° 09' 22" E	114.11'	R=400.00'	
E9	N 84° 38' 36" E	27.04'		
E10	N 70° 38' 55" E	120.92'	R=250.00'	
E11	N 56° 39' 13" E	50.45'		
E12	N 75° 00' 08" E	94.44'	R=150.00'	
E13	S 86° 38' 57" E	204.20'		
E14	N 79° 10' 53" E	73.44'	R=150.00'	
E15	N 65° 00' 42" E	7.64'		
E16	N 27° 52' 37" E	60.37'	R=50.00'	
E17	N 52° 55' 23" W	124.28'	R=90.00'	
E18	S 83° 24' 42" W	58.80'		
E19	N 79° 30' 22" W	29.37'	R=50.00'	
E20	N 62° 25' 25" W	192.86'		
E21	N 70° 00' 00" W	26.37'	R=100.00'	
E22	N 68° 01' 25" W	33.19'	R=100.00'	
E23	N 58° 28' 16" W	172.96'		
E24	N 42° 11' 09" W	16.83'	R=30.00'	

## LEGAL DESCRIPTIONS

These are the descriptions of:

A tract of land conveyed to Jason Oney in Deed Book 217 at Page 483, and a tract of land conveyed to William C. and Judy Oney in Deed Book 153 at page 385, in the Office of the County Clerk of Morgan County, Kentucky;

An area to be leased from, and situated entirely within, the Jason Oney tract;

An appurtenant easement for access & utilities, abutting the lease area, situated entirely within, the Jason Oney tract;

A 30-foot wide easement for access & utilities on, over, and across both the Jason Oney tract and the William C. and Judy Oney tract; and

A 20-foot wide easment for utilities on situated entirely within, the Jason Oney tract.

## PARENT TRACT DESCRIPTIONS

Deed Book 271 Page 483 - Jason Oney:

BEGINNING on the North side of Mountain Parkway at a set stone in the line of Willie Bailey; thence following the Willie Bailey line to the line of Mandy Center; thence with Mandy Center line to the line of Branson Phipps; thence following Bronson Phipp's line to a bridge at Highway 134 at the mouth of Prater Branch; and at the right of way of Mountain Parkway; thence with the right of way of Mountain Parkway to the point of beginning, containing 65 acres, more or less, but to contain all the land described in the within boundary.

Deed Book 153 Page 385 - William C. and Judy Oney:

BEGINNING at the mouth of a small drain which empties into the Johnson Fork of Licking River at a set stone between a sycamore and a Lynn; thence in a southern direction with the meanders of same to the head of the drain; thence a straight line to the top of the hill to a set stone on Homer Patrick's line, being the ridge between the Johnson Fork and Wheelrim Fork; thence in an eastern direction with the ridge and Homer Patrick's line to Boone Back's line; thence with Boone Back's line to the David Lindon line; thence with David Lindon's line in a northern direction down the hill to the Johnson Fork Creek, opposite the mouth of what is known as the Shop Branch; thence crossing Johnson Fork Creek to the mouth of the Shop Branch; thence up said branch with the meanders of same and David Lindon's line to the top of the hill to a dogwood and oak stump marked as a corner in the line of Mort Lindon tract now owned by First party; thence in a southern direction with the line of the Mort Lindon tract down the hill to Lick Branch; thence continuing with the Mort Lindon line crossing the branch and up the hill to a chestnut; thence continuing with the Mort Lindon line to the top of the hill to a set stone, s corner between the Morth Lindon tract and the Heddy Lindon tract and the Bonny Higgins tract; thence with the Heddy Lindon tract down the center of a spur to a set stone; thence with an agreed line down the point between Logan Lindon and second party hereto to a set stone; thence down the hill a straight line to a marked chestnut; thence a straight line to the beginning.

## DESCRIPTION OF PROPOSED LEASE AREA

NOTE: All bearings and distances are based on Grid North, Kentucky State Plane Coordinate System, Single Zone, NAD 1983.

Beginning, for reference, at the southeasterly corner of the Jason Oney tract, as recorded in Deed Book 217 at Page 483, said corner being common with the southwesterly corner of the William C. and Judy Oney tract, as recorded in Deed Book 153 at Page 385, all records of the Morgan County Clerk's Office, said corner also being in the northerly right-of-way line of Highway 134; thence in a northeasterly direction, with Jason Oney's easterly boundary, common with William C. and Judy Oney's westerly boundary, approximately 482 feet to a point; thence continuing with Jason Oney's easterly boundary line, in a northerly direction, approximately 190 feet to the TRUE POINT OF BEGINNING, being an iron pin with cap stamped #2328; thence running on over, and across the lands of the said Jason Oney, South 86 degrees 34 minutes 43 seconds West, a distance of 50.00 feet to an iron pin with cap stamped #2328; thence North 03 degrees 25 minutes 17 seconds West, a distance of 80.00 feet to an iron pin with cap stamped #2328; thence North 86 degrees 34 minutes 43 seconds East, a distance of 50.00 feet to an iron pin with cap stamped #2328; thence South 03 degrees 25 minutes 17 seconds East, a distance of 80.00 feet to the point of beginning, containing 4000.00 square feet, or 0.92 acres.

## DESCRIPTION OF PROPOSED APPURTENANT ACCESS & UTILITY EASEMENT

NOTE: All bearings and distances are based on Grid North, Kentucky State Plane Coordinate System, Single Zone, NAD 1983.

Beginning at the southeasterly corner of the above-described Lease Area, thence with Jason Oney's easterly boundary line, common with William C. and Judy Oney's westerly boundary line, South 03 degrees 25 minutes 17 seconds East, a distance of 30.00 feet to a point; thence running on, over, and across the Jason Oney tract, South 86 degrees 34 minutes 43 seconds West, a distance of 50.00 feet to a point; thence North 03 degrees 25 minutes 17 seconds West, a distance of 30.00 feet to the southwesterly corner of the above-described Lease Area, thence with the southerly line of the Lease Area, North 86 degrees 34 minutes 43 seconds East, a distance of 50.00 feet to the point of beginning.

## DESCRIPTION OF PROPOSED 30-FOOT ACCESS & UTILITY EASEMENT

NOTE: All bearings and distances are based on Grid North, Kentucky State Plane Coordinate System, Single Zone, NAD 1983.

A 30-foot wide easement for the right to use for access and utilities to the above described Lease Area, said easement being described as follows:

Beginning at a point in the northerly right-of-way line of Highway 134, said point being approximately 860 feet northwest of the southeasterly corner of the Jason Oney tract, as recorded in Deed Book 271 at Page 482, in the Morgan County Clerk's office; thence North 18 degrees 58 minutes 39 seconds East, a distance of 48.64 feet to a point; thence with a curve to the right, of radius 35.00 feet, the chord of which bears North 63 degrees 06 minutes 24 seconds East, a distance of 48.74 feet to a point; thence South 72 degrees 45 minutes 52 seconds East, a distance of 228.28 feet to a point; thence with a curve to the left, of radius 350.00 feet, the chord of which bears South 85 degrees 01 minutes 32 seconds East, a distance of 148.66 feet to a point; thence with a curve to the right, of radius 500.00 feet, the chord of which bears South 88 degrees 57 minutes 46 seconds East, a distance of 144.78 feet to a point; thence with a curve to the left, of radius 500.00 feet, the chord of which bears South 85 degrees 06 minutes 51 seconds East, a distance of 78.04 feet; thence with a curve to the right, of radius 500.00 feet, the chord of which bears South 84 degrees 16 minutes 22 seconds East, a distance of 92.67 feet to a point; thence with a curve to the left, of radius 400.00 feet, the chord of which bears South 87 degrees 09 minutes 22 seconds East, a distance of 114.11 feet to a point; thence North 84 degrees 38 minutes 36 seconds East, crossing the common boundary line between the aforementioned Jason Oney tract and the abutting William C. and Judy Oney tract, as recorded in Deed Book 153 at Page 385, at 3.5 feet, more or less, in all a distance of 27.04 feet to a point; thence with a curve to the left, of radius 250.00 feet, the chord of which bears North 70 degrees 38 minutes 55 seconds East, a distance of 120.92 feet to a point; thence North 56 degrees 39 minutes 13 seconds East, a distance of 50.45 feet to a point; thence with a curve to the right, of radius 150.00 feet, the chord of which bears North 75 degrees 00 minutes 08 seconds East, a distance of 94.44 feet to a point; thence South 86 degrees 38 minutes 57 seconds East, a distance of 204.20 feet to a point; thence with a curve to the left, of radius 150.00 feet, the chord of which bears North 79 degrees 10 minutes 53 seconds East, a distance of 73.44 feet to a point; thence North 65 degrees 00 minutes 42 seconds East, a distance of 7.64 feet to a point; thence with a curve to the left, of radius 50.00 feet, the chord of which bears North 27 degrees 52 minutes 37 seconds East, a distance of 60.37 feet to a point; thence with a curve to the left, of radius 90.00 feet, the chord of which bears North 52 degrees 55 minutes 23 seconds West, a distance of 124.28 feet to a point; thence South 83 degrees 24 minutes 42 seconds West, a distance of 58.80 feet to a point; thence with a curve to the right, of radius 50.00 feet, the chord of which bears North 79 degrees 30 minutes 22 seconds West, a distance of 29.37 feet to a point; thence North 62 degrees 25 minutes 25 seconds West, a distance of 192.86 feet to a point; thence with a curve to the left, of radius 100.00 feet, the chord of which bears North 70 degrees 00 minutes 00 seconds West, a distance of 26.37 feet to a point; thence with a curve to the right, of radius 100.00 feet to a point, the chord of which bears North 68 degrees 01 minutes 25 seconds West, a distance of 33.19 feet to a point; thence North 58 degrees 28 minutes 16 seconds West, crossing the common boundary line between the aforementioned William C. and Judy Oney tract and the abutting Jason Oney at 156 feet, more or less, in all a distance of 172.96 feet to a point; thence with a curve to the right, of radius 30.00 feet, the chord of which bears North 42 degrees 11 minutes 09 seconds West, a distance of 16.83 feet to a point in the southerly boundary of the above-described 30' x 50' Appurtenant Easement.

## DESCRIPTION OF PROPOSED 20-FOOT UTILITY EASEMENT

NOTE: All bearings and distances are based on Grid North, Kentucky State Plane Coordinate System, Single Zone, NAD 1983.

A 20-foot wide easement for utilities to the above described Lease Area, said easement being described as follows:

Beginning at an existing LVREC power pole, which is approximately 50 feet south of the residence on the Jason Oney tract, as recorded in Deed Book 217 at Page 483, thence running on, over, and across the Jason Oney tract, North 11 degrees 38 minutes 44 seconds East, a distance of 121.97 feet to a point; thence North 81 degrees 34 minutes 11 seconds East, a distance of 892.16 feet to a point in the westerly line of the above-described Lease Area.

## TITLE COMMITMENT NOTES

Schedule B - Section II



BTW ENGINEERING, INC.  
3001 TAYLOR SPRINGS DRIVE  
LOUISVILLE, KENTUCKY 40220  
(502) 459-8402 PHONE  
(502) 459-8427 FAX



SITE NAME: WHEELRIM

SITE I.D.: KYAL16163

SITE ADDRESS: 3721 HIGHWAY 134  
HAZEL GREEN, MORGAN CO., KY 41332

LEASE AREA: 4000 SF

PROPERTY OWNER: JASON ONEY  
3721 HIGHWAY 134  
HAZEL GREEN, KY 41332

PARCEL NUMBER: 114-00-00-015.00

SOURCE OF TITLE: DEED BOOK 217 PAGE 483

LATITUDE: 37° 45' 03.847" N  
LONGITUDE: 83° 15' 17.9857" W

NO.	REVISION/ISSUE	DATE
1		
2		
3		
4		
5		

TITLE: COMMUNICATIONS  
SITE SURVEY

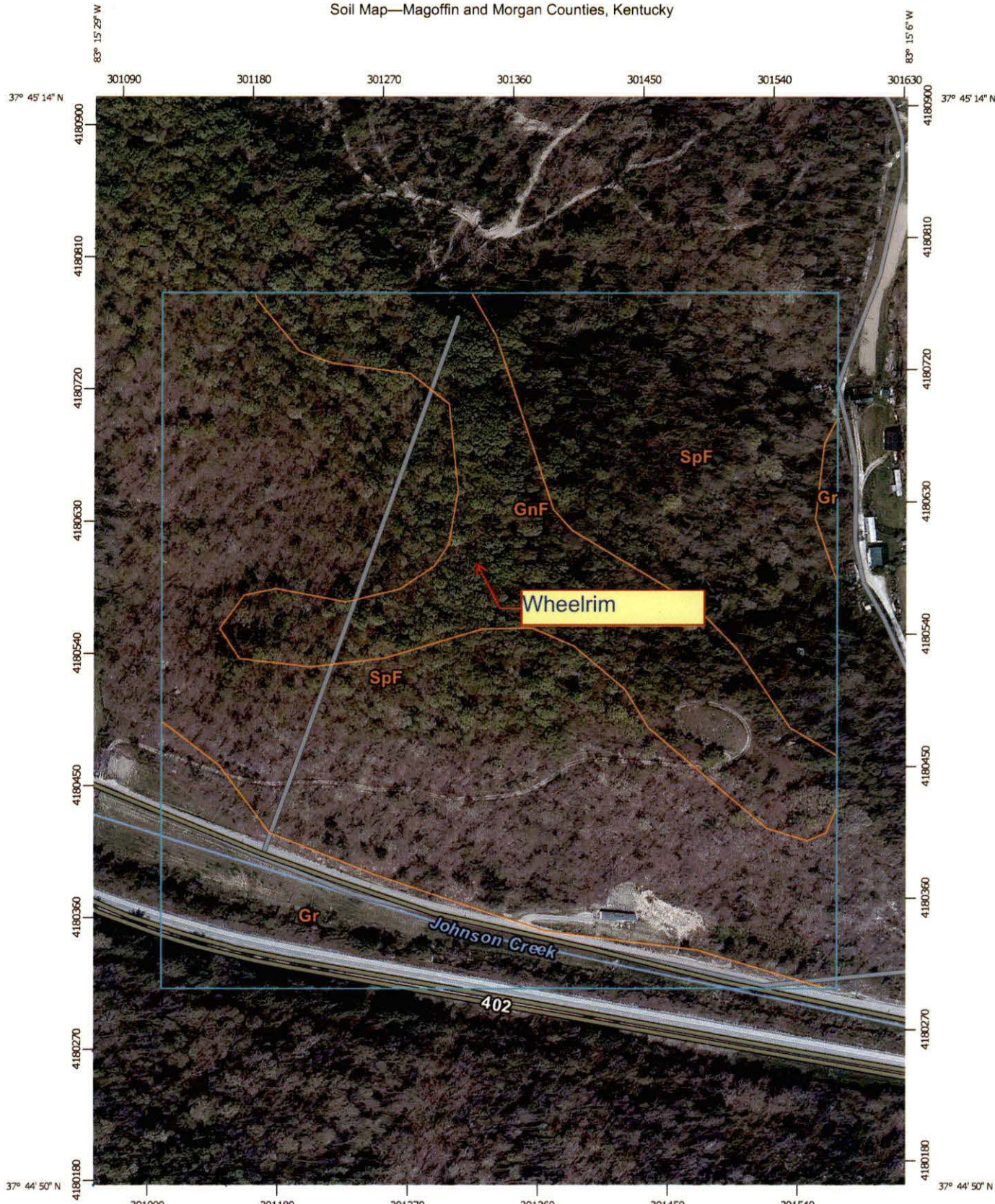
SHEET: C-2A

# **APPENDIX B**

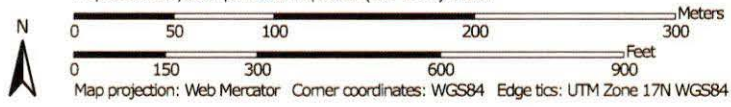
## Soil Survey and Soil Descriptions



Soil Map—Magoffin and Morgan Counties, Kentucky







































Map Scale: 1:3,620 if printed on A portrait (8.5" x 11") sheet.





### MAP LEGEND

<b>Area of Interest (AOI)</b>		 Spoil Area	
 Area of Interest (AOI)		 Stony Spot	
<b>Soils</b>		 Very Stony Spot	
 Soil Map Unit Polygons		 Wet Spot	
 Soil Map Unit Lines		 Other	
 Soil Map Unit Points		 Special Line Features	
<b>Special Point Features</b>		<b>Water Features</b>	
 Blowout		 Streams and Canals	
 Borrow Pit		<b>Transportation</b>	
 Clay Spot		 Rails	
 Closed Depression		 Interstate Highways	
 Gravel Pit		 US Routes	
 Gravelly Spot		 Major Roads	
 Landfill		 Local Roads	
 Lava Flow		<b>Background</b>	
 Marsh or swamp		 Aerial Photography	
 Mine or Quarry			
 Miscellaneous Water			
 Perennial Water			
 Rock Outcrop			
 Saline Spot			
 Sandy Spot			
 Severely Eroded Spot			
 Sinkhole			
 Slide or Slip			
 Sodic Spot			

### MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:24,000.

**Warning:** Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service  
 Web Soil Survey URL: <http://websoilsurvey.nrcs.usda.gov>  
 Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Magoffin and Morgan Counties, Kentucky  
 Survey Area Data: Version 8, Sep 16, 2012

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Apr 18, 2010—Jul 1, 2010

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

## Map Unit Legend

Magoffin and Morgan Counties, Kentucky (KY641)			
Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
GnF	Gilpin-Latham-Marrowbone complex, 20 to 60 percent slopes	10.8	19.6%
Gr	Grigsby sandy loam, 0 to 4 percent slopes, occasionally flooded	7.6	13.8%
SpF	Shelocta-Helechawa-Hazleton complex, 30 to 65 percent slopes, stony	36.6	66.7%
<b>Totals for Area of Interest</b>		<b>54.9</b>	<b>100.0%</b>



LOCATION GILPIN

PA+IN KY MD NC NY OH TN VA WV

Established Series

Rev. WRK-LER-AWD-ART

07/2004

## GILPIN SERIES

The Gilpin series consists of moderately deep, well drained soils formed in residuum of nearly horizontal interbedded shale, siltstone, and some sandstone of the Allegheny Plateau. They are on gently sloping to steep, convex, dissected uplands. Slope ranges from 0 to 70 percent. Permeability is moderate. Mean annual precipitation is 43 inches, and mean annual air temperature is 51 degrees F.

**TAXONOMIC CLASS:** Fine-loamy, mixed, active, mesic Typic Hapludults

**TYPICAL PEDON:** Gilpin channery silt loam on a 3 percent northwest facing slope in cropland. (Colors are for moist soil unless otherwise noted.)

**Ap**--0 to 8 inches; dark grayish brown (10YR 4/2) channery silt loam; weak fine granular structure; friable, slightly sticky and slightly plastic; 20 percent rock fragments of subangular siltstone and shale; moderately acid; abrupt smooth boundary.(6 to 10 inches thick)

**Bt1**--8 to 13 inches; yellowish brown (10YR 5/4) channery silt loam; weak fine and medium subangular blocky structure; friable, slightly sticky and slightly plastic; few distinct clay films on faces of peds and in pores; 25 percent rock fragments of subangular siltstone and shale; moderately acid; gradual wavy boundary.

**Bt2**--13 to 24 inches; yellowish brown (10YR 5/6) channery silt loam; moderate medium subangular blocky structure; friable, slightly sticky and moderately plastic; few distinct clay films on faces of peds and in pores; 30 percent rock fragments of subangular siltstone and shale; very strongly acid; clear wavy boundary. (Combined thickness of the Bt horizon is 12 to 26 inches.)

**C**--24 to 30 inches; brown (10YR 5/3) extremely channery loam; massive; friable, slightly sticky and slightly plastic; few faint clay films and common prominent black coatings on fragments; 60 percent rock fragments of subangular siltstone and shale; very strongly acid; clear wavy boundary. (0 to 10 inches thick)

**R**--30 inches; light olive brown (2.5Y 5/4) fractured, thin bedded, shale and siltstone with silt and clay coatings in fractures; strongly acid.

**TYPE LOCATION:** Indiana County, Pennsylvania; North Mahoning Township, about 1/2 mile southeast of Marchand, on hilltop 500 feet east of Township Road 660. U.S.G.S. Marion Center Topographic Quadrangle. Lat. 40 degrees, 51 minutes, 18 seconds, N. and Long. 79 degrees, 1 minute, 7 seconds W; NAD 1927.

**RANGE IN CHARACTERISTICS:** Solum thickness ranges from 18 to 36 inches. Fractured, bedded and rippable bedrock is at depths of 20 to 40 inches. Rock fragments are mostly angular to subangular channers of shale, siltstone and sandstone and comprise 5 to 40 percent of individual horizons of the solum and 30 to 90 percent of the C horizon. The rock fragment content is less than 35

percent, by volume in the upper 20 inches of the argillic horizon. Reaction ranges from strongly to extremely acid throughout unless limed.

The Ap has hue of 10YR or 2.5Y with value of 3 to 5, and chroma of 2 to 4. Dry values are 6 or 7. The A horizon, where present, has hue of 10YR or 2.5Y with value of 2 to 4, and chroma of 1 to 3. Thickness for the A horizon ranges from 2 to 5 inches. The texture of the Ap or A horizon is silt loam or loam in the fine earth fraction.

Some pedons have E, BE, or BA horizons. These horizons range from 0 to 6 inches thick and have hue of 7.5YR or 10YR, value of 4 to 6, and chroma of 5 to 3. Texture is silt loam or loam in the fine earth fraction.

The Bt horizon has hue of 7.5YR to 2.5Y, value of 4 to 6, and chroma of 4 to 8. Colors tend to become redder with depth. Textures are silt loam, loam, clay loam, or silty clay loam in the fine-earth fraction. Clay films on ped faces, pores and on rock fragments are few or common and faint or distinct.

Some pedons have a BC horizon with colors and textures similar to the C horizon.

The C horizon has hue of 7.5YR to 2.5Y, value of 3 to 5, and chroma of 2 to 6. Texture is silt loam, loam or silty clay loam in the fine-earth fraction.

Some pedons have a Cr horizon.

The R horizon is horizontal interbedded shale, siltstone or fine grained sandstone.

**COMPETING SERIES:** The [Bedington](#), [Clymer](#), [Edgemont](#), [Edneytown](#), [Gladstone](#), [Joana](#), [Millstone](#), [Pigeonroost](#), [Rayne](#), [Shelocta](#), [Syenite](#) and [Wist](#) (T) series are in the same family. [Bedington](#), [Clymer](#), [Edgemont](#), [Joanna](#), [Rayne](#), [Shelocta](#) and [Wist](#) (T) soils have bedrock at more than 40 inches. [Edneytown](#) soils have a Cr horizon at more than 60 inches. [Gladstone](#) soils have granitic gneiss bedrock at 60 inches or more. [Millstone](#) soils have bedrock deeper than 80 inches. [Pigeonroost](#) soils have a Cr horizon within a 20 to 40 inch depth. [Syenite](#) soils have coarse fragments of granite in the control section.

The following series were competing under the old classification. They may compete after they are updated to the 9th Edition of Keys to Soil Taxonomy. The [Albemarle](#), [Arendtsville](#), [Bucks](#), [Butano](#), [Chester](#), [Elsinboro](#), [Eubanks](#), [Ezel](#), [Freehold](#), [Leedsville](#), [Meadowville](#), [Nixon](#), [Pineville](#), and [Quakertown](#) competed under the old classification. Of these only [Butano](#) soils have bedrock at a depth of 20 to 40 inches. [Bertano](#) soils occur in the costal range of mountains of central eastern California with humid mesothermal climate.

**GEOGRAPHIC SETTING:** Gilpin soils are on nearly level to very steep, convex, dissected uplands with slopes of 0 to 70 percent. They developed in residuum weathered from nearly horizontal, interbedded gray and brown acid siltstone, shale and sandstone. The climate is humid temperate with an average annual rainfall of 36 to 50 inches, average annual air temperatures of 46 to 57 degrees F., and a growing season of 120 to 180 days.

**GEOGRAPHICALLY ASSOCIATED SOILS:** These are the [Berks](#), [Blairton](#), [Clymer](#), [Dekalb](#), [Muskingum](#), [Rayne](#), [Shelocta](#), [Upshur](#), [Weikert](#), [Wellston](#), [Westmoreland](#) and [Wharton](#) soils. [Blairton](#), [Cavode](#), [Ernest](#) and [Wharton](#) soils have redoximorphic features in the subsoil. [Berks](#) and [Muskingum](#)

soils do not have argillic horizons. Shelocta, Rayne and Wellston soils are more than 40 inches to rock. Upshur soils have finer textures. Weikert soils have bedrock at 20 inches or less.

**DRAINAGE AND PERMEABILITY:** Well drained. The potential for surface runoff is negligible to high. The permeability is moderate.

**USE AND VEGETATION:** Gilpin soils are mainly used for cropland and pasture. Wooded areas are in mixed hardwoods, mainly oaks.

**DISTRIBUTION AND EXTENT:** Pennsylvania, West Virginia, Ohio, Kentucky, Maryland, New York, North Carolina, Tennessee, Virginia and Indiana. The series is of large extent.

**MLRA SOIL SURVEY REGIONAL OFFICE (MO) RESPONSIBLE:** Morgantown, West Virginia

**SERIES ESTABLISHED:** Indiana County, Pennsylvania, 1931.

**REMARKS:** Diagnostic horizons and features recognized in this pedon are:

- a. Ochric epipedon - the zone from the surface of the soil to a depth of 8 inches (Ap horizon).
- b. Argillic horizon - the zone from 8 to 24 inches (Bt horizon).

The clay mineralogy is mixed, with illite dominant and kaolinite and vermiculite in lesser quantities.

This series is mapped extensively in many states and MLRA's. Data available indicates CEC of superactive, active, and semiactive. Weighted average supports a CEC of active.

**ADDITIONAL DATA:** Characterization sample S61PA-32-56 is from Type Location, and was used as the basis for placing this series in the active CEC class. Also available is S61PA-32-54.

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National Cooperative Soil Survey  
U.S.A.



LOCATION LATHAM

OH+KY WV

Established Series

DDC, SLH/ Rev. MDJ

04/2013

## LATHAM SERIES

**TAXONOMIC CLASS:** Fine, mixed, semiactive, mesic Aquic Hapludults

**TYPICAL PEDON:** Latham silt loam - on a 20 percent north-facing convex slope in a forested area. (Colors are for moist soil unless otherwise stated.)

**Oe**--0 to 5 cm (0 to 2 inches); partly decomposed mixed hardwood leaf litter.

**A**--5 to 10 cm (2 to 4 inches); brown (10YR 4/3) silt loam, light brownish gray (10YR 6/2) dry; moderate fine granular structure; very friable; many fine and very fine roots; 10 percent fragments of siltstone; very strongly acid; clear smooth boundary. (2 to 10 cm thick)

**E**--10 to 25 cm (4 to 10 inches); yellowish brown (10YR 5/4) silt loam; moderate fine subangular blocky structure; firm; many very fine and few fine roots; 10 percent fragments of siltstone; very strongly acid; clear smooth boundary. (0 to 20 cm thick)

**Bt1**--25 to 43 cm (10 to 17 inches); strong brown (7.5YR 5/8) silty clay loam; moderate medium subangular blocky structure; firm; few very fine roots; many faint strong brown (7.5YR 5/6) clay films on faces of peds; 5 percent fragments of siltstone; very strongly acid; clear wavy boundary.

**Bt2**--43 to 61 cm (17 to 24 inches); strong brown (7.5YR 5/6) silty clay; common fine prominent pinkish gray (7.5YR 6/2) iron depletions and common fine distinct yellowish red (5YR 5/8) iron-manganese masses; moderate medium subangular blocky structure; firm; few very fine roots; many distinct pale brown (10YR 6/3) clay films on faces of peds; 5 percent fragments of siltstone; very strongly acid; clear wavy boundary.

**Bt3**--61 to 91 cm (24 to 36 inches); light olive brown (2.5Y 5/4) channery silty clay; many fine prominent pinkish gray (7.5YR 6/2) iron depletions and common fine prominent strong brown (7.5YR 5/8) iron-manganese masses; moderate coarse subangular blocky structure; very firm; few very fine roots; many prominent light brownish gray (2.5Y 6/2) clay films on faces of peds; 3 percent fragments of siltstone and 15 percent fragments of soft shale; very strongly acid; gradual smooth boundary. (Combined thickness of the Bt horizon is 38 to 76 cm)

**Cr**--91 to 116 cm (36 to 46 inches); light olive brown (2.5Y 5/4) and light brownish gray (2.5Y 6/2) soft shale interbedded with thin layers of yellowish brown (10YR 5/6) siltstone.

**TYPE LOCATION:**

County: Pike

State: Ohio

USGS Quadrangle: Waverly North, Ohio

Latitude (Decimal Degrees, NAD 83): 39.152778 N

Longitude (Decimal Degrees, NAD 83): 82.992222 W

Directions to Pedon: About 2 miles north of Waverly, Pee Pee Township, about 5,400 feet north of the intersection of Prussia Road (CR-46) and Denver Road (CR-47) along Prussia Road, then about 810 feet southwest.

**RANGE IN CHARACTERISTICS:**

Depth to the top of the Argillic: 2 to 35 cm (1 to 14 inches)

Depth to the base of the Argillic: 40 to 102 cm (16 to 40 inches)

Solum Thickness: 40 to 102 cm (16 to 40 inches)

Depth to Bedrock: 51 to 102 cm (20 to 40 inches)

Depth Class: Moderately Deep

Depth to Seasonal High Water Table: 35 to 58 cm (14 to 23 inches), January to April

Rock Fragment content: 0 to 14 percent, by volume, in the A and E horizons and 0 to 30 percent, by volume, in the B horizons and substratum

Fine-Earth Fraction: 35 to 55 percent clay in the particle size control section

Soil Reaction: Strongly acid through extremely acid in A and E horizons, and very strongly acid or extremely acid in the Bt, BC, and C horizons, except where limed

Range Of Individual Horizons:

A or Ap horizon:

Color--hue of 10YR; value of 3 through 5; and chroma of 2 through 4

Texture (fine-earth fraction)--silt loam or silty clay loam

E horizon (if it occurs):

Color--hue of 10YR; value of 5 or 6; and chroma of 2 through 4

Texture (fine-earth fraction)--silt loam or silty clay loam

BA or BE horizon (if it occurs):

Color--hue of 10YR or 7.5YR; value of 5 or 6; and chroma of 4 through 6

Texture (fine-earth fraction)--silt loam or silty clay loam

Bt horizon:

Color--hue of 2.5Y through 7.5YR; value of 4 through 6; and chroma of 2 through 8

Texture (fine-earth fraction)--silty clay loam or silty clay

Redoximorphic features--iron masses in shades of red, yellow, or brown and iron depletions in shades of brown, yellow, olive, or gray

BC or C horizon (if it occurs):

Color--hue of 2.5Y or 10YR; value of 5 or 6; chroma of 2 through 6

Texture (fine-earth fraction)--silty clay loam or silty clay

Redoximorphic features--iron masses in shades of red, yellow, or brown and iron depletions in shades of brown, yellow, olive, or gray

**COMPETING SERIES:**

Cruze soils--have a paralithic contact that is greater than 102 centimeters deep.

Flatwoods soils--have a lithic contact between 51 and 102 cm, and have moderately slow

permeability.

Halifax soils--are very deep and formed from igneous and metamorphic rocks.

Kanuga soils--are very deep and have moderately slow permeability.

Keyport soils--are very deep and formed in fluviomarine sediments.

Lackstown soils--are very deep and formed from Triassic rocks.

Zoar soils--are very deep and formed in clayey lacustrine sediments.

#### **GEOGRAPHIC SETTING:**

MLRA(s): 124 (Western Allegheny Plateau), 125 (Cumberland Plateau and Mountains), 126 (Central Allegheny Plateau)

Landscape: Uplands

Landform: Hill and hillslope

Hillslope Profile Position: Backslope, shoulder, or summit

Geomorphic Component: Side slope, nose slope, head slope, or crest

Parent Material: Residuum from soft acid shale; in some areas strata of more resistant bedrock, such as siltstone, are included with the shale

Slope: 0 to 35 percent

Elevation: 150 to 450 meters (490 to 1475 feet)

Frost-Free Period: 176 to 213 days

Mean Annual Air Temperature: 9 to 13 degrees C. (48 to 55 degrees F.)

Mean Annual Precipitation: 1012 to 1270 mm (40 to 50 inches)

#### **GEOGRAPHICALLY ASSOCIATED SOILS:**

Berks soils--occur on well drained summits and upper shoulders that are loamy-skeletal.

Brownsville soils--occur on well drained summits and upper shoulders that are loamy-skeletal and have a lithic contact that is greater than 102 centimeters deep.

Coolville soils--occur on uplands that have a silt mantle and a paralithic contact that is greater than 102 centimeters deep.

Gilpin soils--occur on well drained uplands that are fine-loamy.

Lily soils--occur on well drained uplands that are fine-loamy and siliceous.

Rarden soils--occur on broader summits that have a fine particle-size class and hues redder than 10YR.

Shelocta soils--occur on well drained uplands that are fine-loamy and have a lithic contact that is greater than 102 centimeters deep.

Steinsburg soils--occur on well drained narrow summits and upper shoulders that are dominated by sandstone.

Wharton soils--occur on uplands that are fine-loamy and have a paralithic contact that is greater than 102 centimeters deep.

#### **DRAINAGE AND SATURATED HYDRAULIC CONDUCTIVITY:**

Drainage Class (Agricultural): Moderately well drained

Internal Free Water Occurrence: Thin (30 cm-1 m), shallow (25 cm-50 cm), and common (present 3-6 months)

Flooding Frequency and Duration: None

Ponding Frequency and Duration: None

Index Surface Runoff: Medium through very rapid

Saturated Hydraulic Conductivity: Moderately low and moderately high

Shrink-Swell Potential: Low



**USE AND VEGETATION:**

Major Uses: Hayland, pasture, cropland, and woodland

Dominant Vegetation: Grass-legume hay, corn, wheat, oats, and mixed hardwood trees dominated by oak and maple

**DISTRIBUTION AND EXTENT:**

Distribution: Southeastern Ohio, West Virginia, and northeastern Kentucky; mainly MLRAs 124, 125, and 126

Extent: Large, about 700,000 acres at the time of this revision

**MLRA SOIL SURVEY REGIONAL OFFICE (MO) RESPONSIBLE:** MORGANTOWN, WEST VIRGINIA

**SERIES ESTABLISHED:** Adams County, Ohio, 1932.

**REMARKS:**

Diagnostic horizons and soil characteristics recognized in this pedon are:

Ochric epipedon--the zone from 5 to 25 cm (A and E horizons)

Argillic horizon--the zone from 25 to 91 cm (Bt1, Bt2, Bt3 horizons)

Redoximorphic depletions with chroma 2 or less--the zone from 43 to 91 cm

Paralithic contact--91 cm

Previous revisions: 10/98-AR,DRM

**ADDITIONAL DATA:**

Refer to sample pedon PK-12 (OSD type location) for characterization data, analyzed by The Ohio State University Soil Characterization Laboratory, Columbus, Ohio. Other sampled pedons include 83P0702, 73KY19-42, 69KY-165-075, 69KY-165-076, and 73KY-089-035. These samples were analyzed by the University of Kentucky, Lexington, KY.

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National Cooperative Soil Survey  
U.S.A.

LOCATION MARROWBONE

KY+WV

Established Series

JAK:JMR:JDM

05/2008

## MARROWBONE SERIES

The Marrowbone series consists of moderately deep, well drained soils that formed in loamy residuum or colluvium weathered from interbedded sandstone and siltstone. They are located on hillslopes, mountainsides, nose slopes and ridgetop crests. Slopes range from 8 to 120 percent, but are dominantly 30 to 90 percent.

**TAXONOMIC CLASS:** Coarse-loamy, mixed, semiactive, mesic Typic Dystrudepts

**TYPICAL PEDON:** Marrowbone fine sandy loam - on a 44 percent south facing slope under mixed hardwoods at 1,480 feet elevation. (Colors are for moist soil unless otherwise stated).

**Oi**--1 to 0 inch; loose, undecomposed hardwood leaf litter; moderately acid; abrupt wavy boundary. (0 to 2 inches thick)

**A**--0 to 5 inches; brown (10YR 4/3) fine sandy loam; moderate medium granular structure; very friable; common fine to coarse roots; 10 percent sandstone fragments; moderately acid; clear smooth boundary. (3 to 7 inches thick)

**Bw1**--5 to 10 inches; brown (7.5YR 4/4) loam; moderate medium subangular blocky structure; friable; few fine and medium roots; few thin discontinuous brown (10YR 4/3) organic coatings on faces of peds; 5 percent sandstone fragments; strongly acid; clear smooth boundary.

**Bw2**--10 to 17 inches; strong brown (7.5YR 5/6) fine sandy loam; moderate medium subangular blocky structure; friable; few fine and medium roots; 10 percent sandstone fragments; very strongly acid; clear smooth boundary.

**Bw3**--17 to 23 inches; strong brown (7.5YR 5/6) loam; moderate medium subangular blocky structure; friable; few fine and medium roots; very thin discontinuous silt coatings on faces of peds; 10 percent sandstone fragments; very strongly acid; clear smooth boundary. (Combined thickness of the Bw horizon is 17 to 25 inches)

**BC**--23 to 28 inches; yellowish brown (10YR 5/6) channery loam; common medium distinct strong brown (7.5YR 5/6) and light yellowish brown (2.5Y 6/4) lithochromic mottles; weak medium subangular blocky structure; friable; 20 percent sandstone fragments; strongly acid; abrupt wavy boundary. (0 to 8 inches thick)

**R**--28 inches; olive (5Y 5/3) sandstone.

**TYPE LOCATION:** Pike County, Kentucky; about 7.3 miles south of the community of Zebulon; 1000 yards east of the confluence of Raccoon Creek and Morris Branch in the head of Raccoon Creek

on a south facing hill slope; 37 degrees, 28 minutes, 37 seconds N. Latitude and 82 degrees, 23 minutes, 06 seconds, W. Longitude; USGS Millard Quadrangle; NAD 83.

**RANGE IN CHARACTERISTICS:** Thickness of the solum and depth to rock ranges from 20 to 40 inches. Rock fragments, mostly sandstone or siltstone channers and flagstones, make up 0 to 15 percent of the surface layer and from 0 to 50 percent of individual horizons, but average less than 35 percent in the particle-size control section. Surface stones range from .01 to 15 percent and are commonly associated with sandstone rock outcrops that make up from .1 to 50 percent of mapped areas. Reaction commonly ranges from very strongly acid to moderately acid throughout the profile, but may range from slightly acid to neutral in the upper 10 inches.

The A horizon has hue of 7.5YR to 2.5Y, value of 3 to 5, and chroma of 2 to 4. Fine-earth texture is fine sandy loam, sandy loam, loam, or silt loam. Structure is weak or moderate, fine or medium granular.

The B horizon has hue of 7.5YR to 2.5Y, value of 4 to 6, and chroma of 3 to 8. Fine-earth texture is fine sandy loam, sandy loam, loam, or rarely silt loam. Structure is weak or moderate, fine through coarse subangular blocky or angular blocky. Lithochromic mottles in shades of brown, yellow, or red and in the lower part shades of gray, are common but not required. Neither are the thin silt coatings or clay films.

The C horizon, where present, has hue of 7.5YR to 2.5Y, value of 4 to 6, and chroma of 3 to 8. Fine-earth texture is loamy sand, loamy fine sand, fine sandy loam, sandy loam, loam, silt loam, clay loam, or sandy clay loam. Lithochromic mottles in shades of brown, yellow, red or gray are in some pedons. Silt coatings and clay films are in some pedons. A Cr horizon is in some pedons on more exposed locations or in areas with relatively soft bedrock.

The R horizon is commonly unweathered sandstone or siltstone, but grades to more fractured and weathered conditions on some landforms.

**COMPETING SERIES:** These are the [Bannertown](#), [Cheshire](#), [Devotion](#), [Ditney](#), [Feds creek](#), [Maymead](#), [Mine Run](#) (T) and [Tipsaw](#) series. Bannertown soils are somewhat excessively drained and formed in residuum weathered from felsic metamorphic or igneous parent materials. Cheshire soils are very deep and formed in supraglacial till on uplands. Devotion soils formed in residuum weathered from felsic to intermediate metamorphic or igneous rock with paralithic contact. Ditney soils formed in residuum affected by soil creep that weathered from metasedimentary rock such as arkose, metagraywacke, metasandstone or quartzite. Feds creek soils are deep and formed in colluvium. Maymead soils are very deep, formed in colluvium and contain coarse fragments of feldspathic quartzite, graywacke and arkosic sandstone. The tentative Mine Run Series is somewhat excessively drained and formed in residuum weathered from metamonzonite and gneiss. The Tipsaw series is exclusively over paralithic contact with moderately cemented sandstone interbedded with siltstone and shale.

**GEOGRAPHIC SETTING:** Marrowbone soils are mostly on southern and western hill slopes, mountain sides, nose slopes or narrow ridgetop crests. Slopes are dominantly 30 to 90 percent, but range from 8 to 120 percent. These soils formed in loamy residuum or creeping colluvium weathered from strongly acid through neutral Pennsylvanian aged sandstone or siltstone. Elevation ranges from 800 to about 4,000 feet. Mean annual temperature ranges from 53 to 57 degrees F. with a mean of 56 degrees. The mean annual precipitation ranges from 40 to 49 inches with a mean of about 43 inches.



**GEOGRAPHICALLY ASSOCIATED SOILS:** These are the [Berks](#), [Cloverlick](#), [Cutshin](#), [Dekalb](#), [Feds creek](#), [Gilpin](#), [Guyandotte](#), [Handshoe](#), [Highsplint](#), [Kimper](#), [Latham](#), [Muskingum](#), [Pineville](#), [Rayne](#), [Sharondale](#) and [Shelocta](#) series. Berks, Dekalb, Gilpin, Rayne and Muskingum soils are on ridgetop positions adjacent to or above the Marrowbone soils. All of these soils are moderately deep with the exception of Rayne, which is deep. Berks and Dekalb soils are loamy-skeletal; Gilpin, Muskingum and Rayne soils are fine-loamy; and Latham soils are fine. Gilpin, Latham and Rayne soils have argillic horizons. Cloverlick, Cutshin, Feds creek, Guyandotte, Handshoe, Highsplint, Kimper, Pineville and Shelocta soils are on lower hill slopes and mountain sides. All of these series are deep or very deep. Cloverlick, Guyandotte, Handshoe, Highsplint and Sharondale soils are loamy-skeletal and Cutshin, Kimper, Pineville and Shelocta soils are fine-loamy. Cloverlick, Cutshin, Kimper and Guyandotte soils have umbric surface layers and Sharondale soils have mollic surface layers. Pineville and Shelocta soils have argillic horizons.

**DRAINAGE AND PERMEABILITY:** Well drained. Permeability is moderate or moderately rapid and runoff ranges from low to medium on slopes less than 20 percent and from medium to high on slopes greater than 20 percent.

**USE AND VEGETATION:** Most areas are in secondary growth deciduous forest with mixed stands of white oak, black oak, scarlet oak, chestnut oak, red maple, American beech, shortleaf pine and Virginia pine. Less sloping areas are used for pasture and as sites for homes and gardens.

**DISTRIBUTION AND EXTENT:** Marrowbone soils are in the Allegheny-Cumberland Plateau of eastern Kentucky and West Virginia with possible similar areas in Ohio, Virginia, Indiana and Tennessee. The area is estimated to be of large extent, about 250,000 acres.

**MLRA SOIL SURVEY REGIONAL OFFICE (MO) RESPONSIBLE:** Morgantown, West Virginia

**SERIES ESTABLISHED:** Pike County, Kentucky; 1985. Source of the name is a small community in Pike County.

**REMARKS:** Diagnostic horizons recognized in this pedon are:

Ochric epipedon - 0 to 5 inches (A).

Cambic horizon - 5 to 23 inches (Bw); and 23 to 28 inches (BC).

**ADDITIONAL DATA:** Characterization sample S83KY-195-017 by NSSL. Supplemental data for pedons S83KY-195-014, S82KY-195-018, and S83KY-195-016.

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National Cooperative Soil Survey  
U.S.A.

**EXHIBIT H**  
**DIRECTIONS TO WCF SITE**

Driving Directions to Proposed Tower Site:

1. Beginning at the offices of the Morgan County Clerk, located at 450 Prestonsburg Street in West Liberty, KY, head south on US-460 W / Main Street and travel approximately 4.7 miles.
2. Turn left onto KY-205 S and continue travelling for 8.9 miles.
3. Continue onto KY-191 and travel 2.4 miles.
4. Turn right onto KY-134 and travel 3.2 miles.
5. The entrance to the access drive is at 3293 Highway 134, Hazel Green, KY. Site coordinates are
  - a. 37 deg 45 min 03.847 sec N
  - b. 83 deg 15 min 17.985 sec W



Prepared by:  
Aaron L. Roof  
Pike Legal Group PLLC  
1578 Highway 44 East, Suite 6  
PO Box 369  
Shepherdsville, KY 40165-0369  
Telephone: 502-955-4400 or 800-516-4293



**EXHIBIT I**  
**COPY OF REAL ESTATE AGREEMENT**

3200-PP

LODGED FOR RECORD  
MORGAN COUNTY CLERK

JAN 31 2014  
TIME: 1:45 PM  
RANDY WILLIAMS, CLERK

**MEMORANDUM OF LEASE**

**Prepared by:** *Kit Nickel*  
Kit Nickel  
PBM Wireless  
13714 Smokey Ridge Overlook  
Carmel, IN 46033

**Return to:**  
New Cingular Wireless PCS, LLC  
Attn: Network Real Estate Administration  
575 Morosgo Drive NE,  
Suite 13-F West Tower,  
Atlanta, GA 30324

Re: Cell Site # KYALU6169; Cell Site Name: WHEELRIM  
Fixed Asset # 12674956  
State: KENTUCKY  
County: MORGAN

**MEMORANDUM  
OF  
LEASE**

This Memorandum of Lease is entered into on this 15th day of January, 2014, by and between JASON ONEY AND JACQUELINE R. ONEY, HUSBAND AND WIFE, having a mailing address of 3247 HWY 134, HAZEL GREEN, KY 41322 (hereinafter referred to as "**Landlord**") and New Cingular Wireless PCS, LLC, a Delaware limited liability company, having a mailing address of 575 Morosgo Drive NE, Suite 13-F West Tower, Atlanta, Ga 30324 (hereinafter referred to as "**Tenant**").

1. Landlord and Tenant entered into a certain Option and Lease Agreement ("**Agreement**") on the 15th day of January, 2014, for the purpose of installing, operating and maintaining a communications facility and other improvements. All of the foregoing is set forth in the Agreement.
2. The initial lease term will be five (5) years commencing on the effective date of written notification by Tenant to Landlord of Tenant's exercise of its option, with four (4) successive five (5) year options to renew.

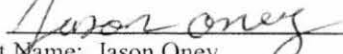
emo - Kit Nickel

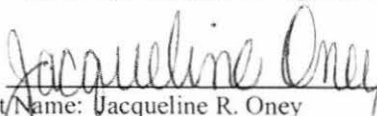
3. The portion of the land being leased to Tenant and associated easements are described in **Exhibit 1** annexed hereto.
4. This Memorandum of Lease is not intended to amend or modify, and shall not be deemed or construed as amending or modifying, any of the terms, conditions or provisions of the Agreement, all of which are hereby ratified and affirmed. In the event of a conflict between the provisions of this Memorandum of Lease and the provisions of the Agreement, the provisions of the Agreement shall control. The Agreement shall be binding upon and inure to the benefit of the parties and their respective heirs, successors, and assigns, subject to the provisions of the Agreement.

**IN WITNESS WHEREOF**, the parties have executed this Memorandum of Lease as of the day and year first above written.

**"LANDLORD"**

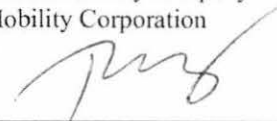
JASON ONEY AND JACQUELINE R. ONEY,  
HUSBAND AND WIFE

By:   
Print Name: Jason Oney  
Its: Owner  
Date: 12-15-13

By:   
Print Name: Jacqueline R. Oney  
Its: Owner  
Date: 12-15-13

**"TENANT"**

New Cingular Wireless PCS, LLC,  
a Delaware limited liability company

By: AT&T Mobility Corporation  
Its: Manager  
By:   
Print Name: Terry R. Kilgore  
Its: Area Manager, C&E  
Date: 1/15/14

[ACKNOWLEDGMENTS APPEAR ON THE NEXT PAGE]



**TENANT ACKNOWLEDGMENT**

STATE OF Georgia )  
 ) ss:  
COUNTY OF Fulton )

On the 15th day of January, 2014, before me personally appeared Terry R. Kilgore, and acknowledged under oath that he ~~she~~ is the Area Mgr - C \* C of AT&T Mobility Corporation, the Manager of New Cingular Wireless PCS, LLC, the Tenant named in the attached instrument, and as such was authorized to execute this instrument on behalf of the Tenant.



Daphne Robertson  
Notary Public: DAPHNE ROBERTSON  
My Commission Expires: 7/5/15

**LANDLORD ACKNOWLEDGMENT**

STATE OF Kentucky )  
 ) ss:  
COUNTY OF Martin )

On the 15<sup>th</sup> day of December, 2013 before me, personally appeared Jason Oney and Jacqueline R. Oney, who acknowledged under oath, that they are the persons named in the within instrument, and that they executed the same in their stated capacity as the voluntary act and deed of the Landlord for the purposes therein contained.

Leslie Allison Russell  
Notary Public: Leslie Allison Russell  
My Commission Expires: July 23, 2016

**EXHIBIT 1**

**DESCRIPTION OF PREMISES**

Page 1 of 5

to the Option and Lease Agreement dated January 15, 2011, by and between JASON ONEY AND JACQUELINE R. ONEY, HUSBAND AND WIFE, as Landlord, and New Cingular Wireless PCS, LLC, a Delaware limited liability company, as Tenant.

The Property is legally described as follows:

BEGINNING on the North side of Mountain Parkway at a set stone in the line of Willie Bailey; thence following the Willie Bailey line to the line of Mandy Center; thence with Mandy Center line to the line of Branson Phipps; thence following Bronson Phipp's line to a bridge at Highway 134 at the mouth of Prater Branch; and at the right of way of Mountain Parkway; thence with the right of way of Mountain Parkway to the point of beginning, containing 65 acres, more or less, but to contain all the land described in the within boundary.

Parcel No. 114-00-00-015.00

**EXHIBIT 1**

**DESCRIPTION OF PREMISES**

Page 2 of 5

The Premises are described as follows:

**DESCRIPTION OF PROPOSED LEASE AREA**

NOTE: All bearings and distances are based on Grid North, Kentucky State Plane Coordinate System, Single Zone, NAD 1983.

Beginning, for reference, at the southeasterly corner of the Jason Oney tract, as recorded in Deed Book 217 at Page 483, said corner being common with the southwesterly corner of the William C. and Judy Oney tract, as recorded in Deed Book 153 at Page 385, all records of the Morgan County Clerk's Office, said corner also being in the northerly right-of-way line of Highway 134; thence in a northeasterly direction, with Jason Oney's easterly boundary, common with William C. and Judy Oney's westerly boundary, approximately 482 feet to a point; thence continuing with Jason Oney's easterly boundary line, in a northerly direction, approximately 190 feet to the TRUE POINT OF BEGINNING, being an iron pin with cap stamped #2328; thence running on over, and across the lands of the said Jason Oney, South 86 degrees 34 minutes 43 seconds West, a distance of 50.00 feet to an iron pin with cap stamped #2328; thence North 03 degrees 25 minutes 17 seconds West, a distance of 80.00 feet to an iron pin with cap stamped #2328; thence North 86 degrees 34 minutes 43 seconds East, a distance of 50.00 feet to an iron pin with cap stamped #2328; thence South 03 degrees 25 minutes 17 seconds East, a distance of 80.00 feet to the point of beginning, containing 4000.00 square feet, or 0.92 acres.

**DESCRIPTION OF PROPOSED APPURTENANT ACCESS & UTILITY EASEMENT**

NOTE: All bearings and distances are based on Grid North, Kentucky State Plane Coordinate System, Single Zone, NAD 1983.

Beginning at the southeasterly corner of the above-described Lease Area, thence with Jason Oney's easterly boundary line, common with William C. and Judy Oney's westerly boundary line, South 03 degrees 25 minutes 17 seconds East, a distance of 30.00 feet to a point; thence running on, over, and across the Jason Oney tract, South 86 degrees 34 minutes 43 seconds West, a distance of 50.00 feet to a point; thence North 03 degrees 25 minutes 17 seconds West, a distance of 30.00 feet to the southwesterly corner of the above-described Lease Area, thence with the southerly line of the Lease Area, North 86 degrees 34 minutes 43 seconds East, a distance of 50.00 feet to the point of beginning.



**EXHIBIT 1**

**DESCRIPTION OF PREMISES**

Page 3 of 5

**DESCRIPTION OF PROPOSED 30-FOOT ACCESS & UTILITY EASEMENT**

NOTE: All bearings and distances are based on Grid North, Kentucky State Plane Coordinate System, Single Zone, NAD 1983.

A 30-foot wide easement for the right to use for access and utilities to the above described Lease Area, said easement being described as follows:

Beginning at a point in the northerly right-of-way line of Highway 134, said point being approximately 860 feet northwest of the southeasterly corner of the Jason Oney tract, as recorded in Deed Book 271 at Page 482, in the Morgan County Clerk's office; thence North 18 degrees 58 minutes 39 seconds East, a distance of 48.64 feet to a point; thence with a curve to the right, of radius 35.00 feet, the chord of which bears North 63 degrees 06 minutes 24 seconds East, a distance of 48.74 feet to a point; thence South 72 degrees 45 minutes 52 seconds East, a distance of 226.28 feet to a point; thence with a curve to the left, of radius 350.00 feet, the chord of which bears South 85 degrees 01 minutes 32 seconds East, a distance of 148.66 feet to a point; thence with a curve to the right, of radius 500.00 feet, the chord of which bears South 88 degrees 57 minutes 46 seconds East, a distance of 144.78 feet to a point; thence with a curve to the left, of radius 500.00 feet, the chord of which bears South 85 degrees 06 minutes 51 seconds East, a distance of 78.04 feet; thence with a curve to the right, of radius 500.00 feet, the chord of which bears South 84 degrees 16 minutes 22 seconds East, a distance of 92.67 feet to a point; thence with a curve to the left, of radius 400.00 feet, the chord of which bears South 87 degrees 09 minutes 22 seconds East, a distance of 114.11 feet to a point; thence North 84 degrees 38 minutes 36 seconds East, crossing the common boundary line between the aforementioned Jason Oney tract and the abutting William C. and Judy Oney tract, as recorded in Deed Book 153 at Page 385, at 3.5 feet, more or less, in all a distance of 27.04 feet to a point; thence with a curve to the left, of radius 250.00 feet, the chord of which bears North 70 degrees 38 minutes 55 seconds East, a distance of 120.92 feet to a point; thence North 56 degrees 39 minutes 13 seconds East, a distance of 50.45 feet to a point; thence with a curve to the right, of radius 150.00 feet, the chord of which bears North 71 degrees 00 minutes 09 seconds East, a distance of 74.35 feet to a point; thence with a curve to the left, of radius 100.00 feet, the chord of which bears North 11 degrees 27 minutes 50 seconds East, a distance of 192.14 feet to a point; thence North 62 degrees 25 minutes 25 seconds West, a distance of 71.66 feet to a point; thence with a curve to the left, of radius 100.00 feet, the chord of which bears North 70 degrees 00 minutes 00 seconds West, a distance of 26.37 feet to a point; thence with a curve to the right, of radius 100.00 feet to a point, the chord of which bears North 68 degrees 01 minutes 25 seconds West, a distance of 33.19 feet to a point; thence North 58 degrees 28 minutes 16 seconds West, crossing the common boundary line between the aforementioned William C. and Judy Oney tract and the abutting Jason Oney at 158 feet, more or less, in all a distance of 172.96 feet to a point; thence with a curve to the right, of radius 30.00 feet, the chord of which bears North 42 degrees 11 minutes 09 seconds West, a distance of 16.83 feet to a point in the southerly boundary of the above-described 30' x 50' Appurtenant Easement.

EXHIBIT 1

DESCRIPTION OF PREMISES

Page 4 of 5

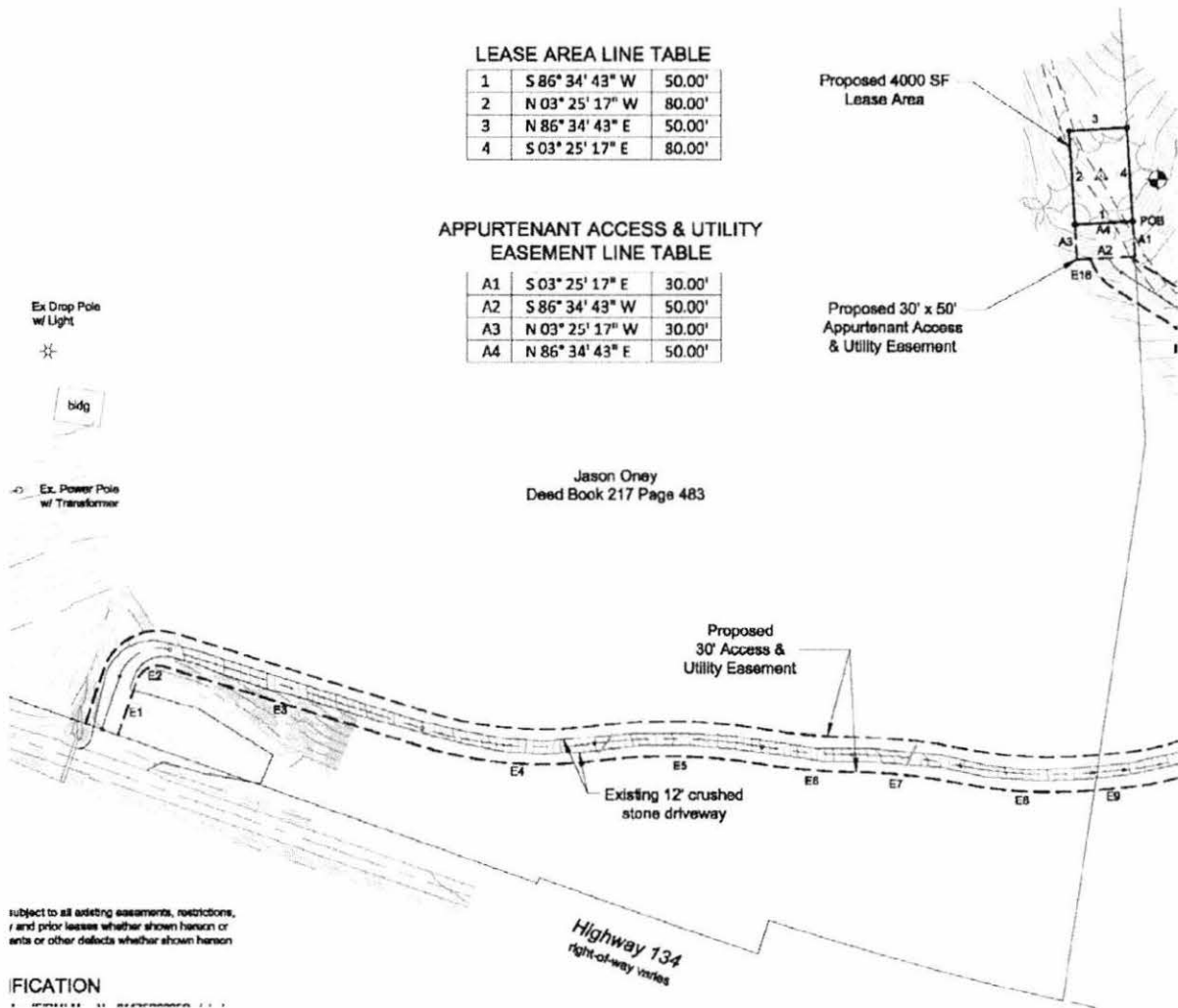
The Premises are described and/or depicted as follows:

LEASE AREA LINE TABLE

1	S 86° 34' 43" W	50.00'
2	N 03° 25' 17" W	80.00'
3	N 86° 34' 43" E	50.00'
4	S 03° 25' 17" E	80.00'

APPURTENANT ACCESS & UTILITY EASEMENT LINE TABLE

A1	S 03° 25' 17" E	30.00'
A2	S 86° 34' 43" W	50.00'
A3	N 03° 25' 17" W	30.00'
A4	N 86° 34' 43" E	50.00'



subject to all existing easements, restrictions,  
and prior leases whether shown hereon or  
not or other defects whether shown hereon

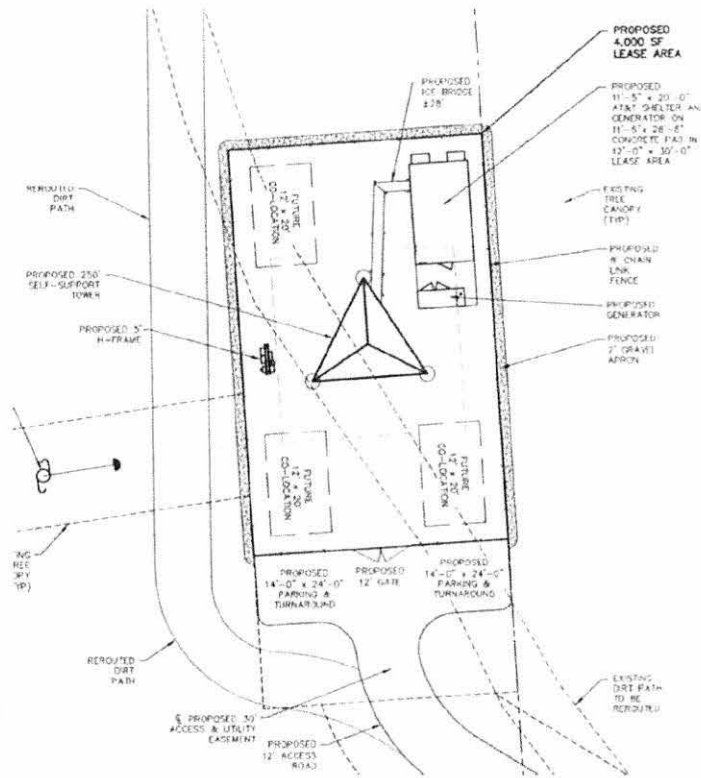
DESCRIPTION

**EXHIBIT 1**

**DESCRIPTION OF PREMISES**

Page 5 of 5

The Premises are described and/or depicted as follows:



**Notes:**

1. THIS EXHIBIT MAY BE REPLACED BY A LAND SURVEY AND/OR CONSTRUCTION DRAWINGS OF THE PREMISES ONCE RECEIVED BY TENANT.
2. ANY SETBACK OF THE PREMISES FROM THE PROPERTY'S BOUNDARIES SHALL BE THE DISTANCE REQUIRED BY THE APPLICABLE GOVERNMENTAL AUTHORITIES.
3. WIDTH OF ACCESS ROAD SHALL BE THE WIDTH REQUIRED BY THE APPLICABLE GOVERNMENTAL AUTHORITIES, INCLUDING POLICE AND FIRE DEPARTMENTS.
4. THE TYPE, NUMBER AND MOUNTING POSITIONS AND LOCATIONS OF ANTENNAS AND TRANSMISSION LINES ARE ILLUSTRATIVE ONLY. ACTUAL TYPES, NUMBERS AND MOUNTING POSITIONS MAY VARY FROM WHAT IS SHOWN ABOVE.

I, Randy Williams, Clerk Morgan County for the county and state aforesaid do hereby certify that the foregoing M.O.E.L. was on the 31 day of Jan 20 14 lodged for record, whereupon the foregoing and this certificate have been duly recorded in my office. Given under my hand this 31st day of Jan 20 14

BY Anthony Succi D.C.  
Randy Williams, Clerk

Misc BK 57 page 163



2600 pp  
LODGED FOR RECORD  
MORGAN COUNTY CLERK  
JAN 31 2014  
TIME: 1:46 PM  
RANDY WILLIAMS, CLERK

Prepared by: *Kit Nickel*  
Kit Nickel  
PBM Wireless  
13714 Smokey Ridge Overlook  
Carmel, IN 46033

Cell Site No.: KYALU6169  
Cell Site Name: Wheelrim  
County: Morgan

Return to:  
New Cingular Wireless PCS, LLC  
Attn: Network Real Estate Administration  
575 Morosgo Drive NE,  
Suite 13-F West Tower,  
Atlanta, GA 30324

enu - Kit Nickel

**EASEMENT AGREEMENT**

This Easement Agreement is made as of the 15th day of January, 2014, by and between William C. Oney and Judy Oney, husband and wife ("Grantor") and NEW CINGULAR WIRELESS PCS LLC, a Delaware limited liability company ("Grantee"), which parties, for and in consideration the mutual agreements and undertakings herein contained, receipt and sufficiency of which valuable consideration is hereby acknowledged, do hereby agree to be bound as follows:

1. **RECITAL.** Grantor is the owner of that certain parcel of land located in Morgan County, Kentucky, of record in Book 153 Page 385 County Clerk's Office for Morgan County, Kentucky, and being known as tax map 129-00-00-003.00, (the "Grantor's Property").

2. **GRANT OF EASEMENT.** Grantor hereby grants and conveys to Grantee, its successors and assigns, an Easement (the "Easement") for the right of access, for ingress and egress and utilities, to and through the Grantor's Property, as more fully described in Exhibit A, attached hereto and incorporated herein, to the areas as leased by Grantee under the Lease. Grantor reserves the right to reroute the Easement, at Grantor's own expense, as long as Grantor does not block access to the communications system or increase the grade. Grantor shall have the mutual right to use of the Easement. Grantee, together with Grantee's successors, sublessees, assigns, contractors, agents and representatives, may use the Easement for purposes of accessing, installing, constructing, maintaining, repairing, operating, altering, inspecting, replacing, removing modifying, substituting, expanding, and relocating a communications service system on the areas as leased by Grantor under the Lease. Grantee will have such access twenty-four hours per day, seven days per week. Grantee to keep and maintain access road in good condition.

3. **PAYMENTS.** Grantee agrees to pay Grantor a one time payment of  , within thirty (30) days after Grantee's execution of this Agreement. Payments shall be made to the address as shown below.

4. **TERM.** The Easement as herein granted herein shall continue for the term of the Lease, and any extensions, options, renewals, replacements or revisions of the Lease (the "Term"). The initial term of the Lease is five years from the Commencement Date as defined therein, and there are options to extend the term for four (4) additional consecutive five year periods, as well as the right of the parties to further extend by agreement. The Easement shall be continuous and irrevocable, and shall run with the land and be binding upon Grantor, and Grantor's successors and assigns, during the entire Term. Upon the end of the Term, the Grantee agrees to execute such documents as the Grantor may reasonably request to confirm the termination. Grantee shall have the right to terminate the Easement upon ninety days written notice to the Grantor at any time from the date of this Agreement for failure to comply with any of the terms or conditions contained herein.

5. **NO PUBLIC USE DEDICATION.** Nothing contained in this Agreement will be deemed to be a dedication of any portion of the Easement to the general public or for the general public or for any public purpose whatsoever, it being the intention that this Agreement will be strictly limited to and for the purposes set forth herein.

6. **INDEMNITY.** Grantee shall indemnify and hold Grantor harmless against any liability or loss from personal injury or property damage resulting from or arising out of the use or occupancy of the Easement by Grantee or its employees or agents, excepting, however, such liabilities and losses as may be due to or caused by the act or omissions of the Grantor or its employees or agents.

7. **NOTICES.** All notices required or permitted hereunder must be in writing and are effective only when deposited in the U. S. Mail, certified and postage prepaid, or when sent via overnight delivery to the following addresses (or such other address as the parties may designate and provide notice of in writing in accordance with the terms and provisions of this paragraph). Notice shall be deemed given upon receipt or upon refusal to accept delivery.

If to Tenant:

New Cingular Wireless PCS, LLC  
Attn: Network Real Estate Administration  
Re: Cell Site #: KYALU6169 Cell Site Name: Wheelrim KY  
Fixed Asset No 12674956  
575 Morosgo Drive  
Suite 13-F West Tower  
Atlanta, GA 30324

With a copy to:

New Cingular Wireless PCS, LLC  
Attn.: AT&T Legal Department - Network  
Re: Cell Site #: KYALU6169; Cell Site Name: Wheelrim KY  
Fixed Asset No: 12674956  
208 S. Akard Street  
Dallas, TX 75202-4206

If to Landlord: William C. Oney and Judy Oney  
3721 Hwy 134  
Hazel Green, KY 41322

8. **ENTIRE AGREEMENT.** This Easement Agreement contains the entire agreement of the parties as to these matters, and any other discussions or writings are merged herein. This Agreement may only be amended by a writing signed by each of the parties, and shall not be amended orally, or by conduct, waiver or estoppel. Time is of the essence under this Agreement.

GRANTOR: William C. Oney and Judy Oney, husband and wife

By: William C. Oney

Name: William C. Oney

Title: Owner

By: Judy Oney

Name: Judy Oney

Title: Owner

GRANTEE: NEW CINGULAR WIRELESS PCS LLC  
a Delaware limited liability company  
By: AT&T Mobility Corporation  
Its: Manager

By: Terry R. Kilgore

Name: Terry R. Kilgore  
Title: Area Manager, C&E



STATE OF KENTUCKY:  
COUNTY OF Magoffin

Personally appeared before me, a Notary Public in and for the above jurisdiction, the within named William C. Oney and Judy Oney, with whom I am personally acquainted (or who was identified to me on the basis of satisfactory evidence), who after being first duly sworn, acknowledged that she was the within named Grantor, and that she executed the foregoing Easement Agreement for the purposes therein contained.

Witness my hand and seal, this the 15<sup>th</sup> day of December, 2013.

NOTARY PUBLIC: Leslie Allison Purcell

My Commission Expires: 7/23/2016

Georgia  
~~STATE OF TENNESSEE:~~  
COUNTY OF WILLIAMSON: Fulton

Before me, a Notary Public in and for the State and County aforementioned, personally appeared Terry R. Kilgore, with whom I am personally acquainted (or proved to me on the basis of satisfactory evidence), and who, upon oath, acknowledged such person to be Area Manager, C&E of New Cingular Wireless PCS LLC, the within named bargainor, a Delaware limited liability company, and that such person as such Area Manager, C&E, executed the foregoing Easement Agreement for the purpose therein contained, by personally signing the name of the limited liability company as – Grantee.

Witness my hand and seal, this the 15<sup>th</sup> day of January, 2014.

NOTARY PUBLIC: Daphne Robertson My Commission Expires: 7/5/15



## EXHIBIT "A"

Page 1 of 2

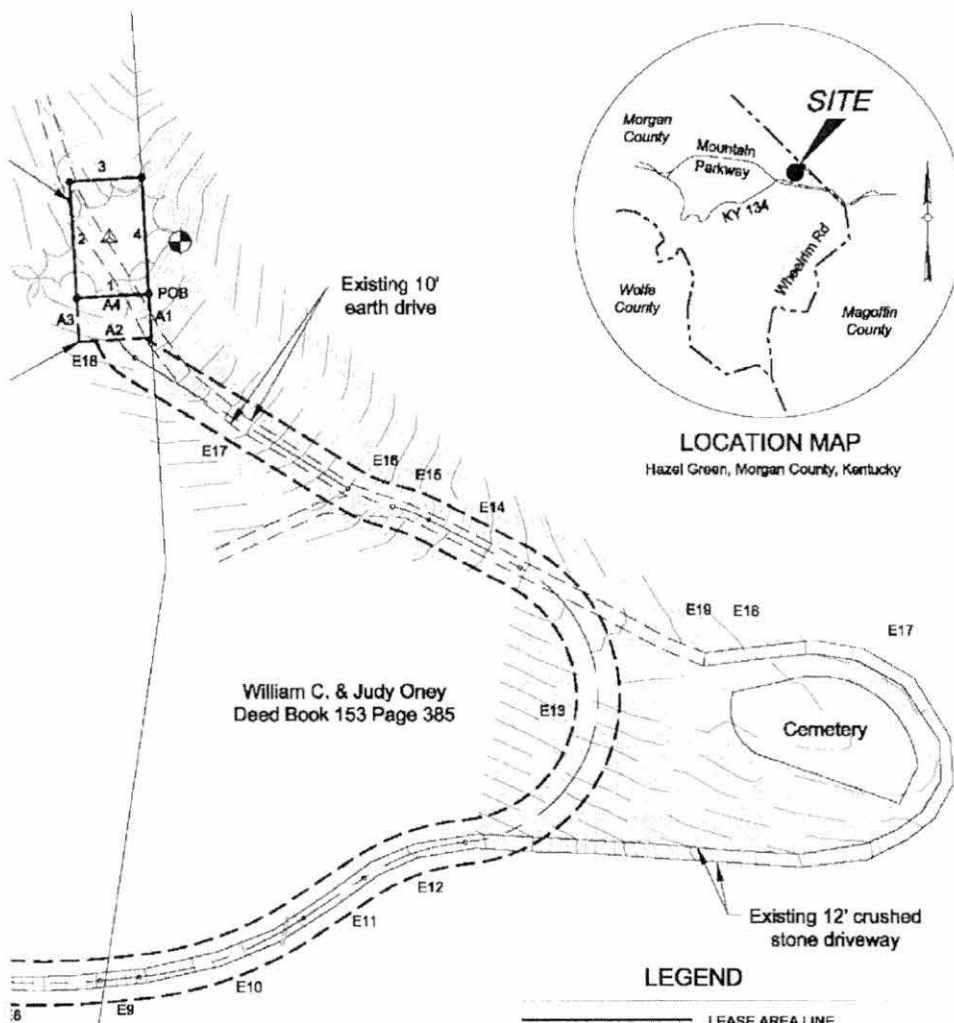
Being an easement, across Grantor's Property, located in Morgan County, Kentucky, and being more specifically described as follows:

Beginning at a point in the northerly right-of-way line of Highway 134, said point being approximately 860 feet northwest of the southeasterly corner of the Jason Oney tract, as recorded in Deed Book 271 at Page 482, in the Morgan County Clerk's office; thence North 18 degrees 58 minutes 39 seconds East, a distance of 48.64 feet to a point; thence with a curve to the right, of radius 35.00 feet, the chord of which bears North 63 degrees 06 minutes 24 seconds East, a distance of 48.74 feet to a point; thence South 72 degrees 45 minutes 52 seconds East, a distance of 226.28 feet to a point; thence with a curve to the left, of radius 350.00 feet, the chord of which bears South 85 degrees 01 minutes 32 seconds East, a distance of 148.66 feet to a point; thence with a curve to the right, of radius 500.00 feet, the chord of which bears South 88 degrees 57 minutes 46 seconds East, a distance of 144.78 feet to a point; thence with a curve to the left, of radius 500.00 feet, the chord of which bears South 85 degrees 06 minutes 51 seconds East, a distance of 78.04 feet; thence with a curve to the right, of radius 500.00 feet, the chord of which bears South 84 degrees 16 minutes 22 seconds East, a distance of 92.67 feet to a point; thence with a curve to the left, of radius 400.00 feet, the chord of which bears South 87 degrees 09 minutes 22 seconds East, a distance of 114.11 feet to a point; thence North 84 degrees 38 minutes 36 seconds East, crossing the common boundary line between the aforementioned Jason Oney tract and the abutting William C. and Judy Oney tract, as recorded in Deed Book 153 at Page 385, at 3.5 feet, more or less, in all a distance of 27.04 feet to a point; thence with a curve to the left, of radius 250.00 feet, the chord of which bears North 70 degrees 38 minutes 55 seconds East, a distance of 120.92 feet to a point; thence North 56 degrees 39 minutes 13 seconds East, a distance of 50.45 feet to a point; thence with a curve to the right, of radius 150.00 feet, the chord of which bears North 71 degrees 00 minutes 09 seconds East, a distance of 74.35 feet to a point; thence with a curve to the left, of radius 100.00 feet, the chord of which bears North 11 degrees 27 minutes 50 seconds East, a distance of 192.14 feet to a point; thence North 62 degrees 25 minutes 25 seconds West, a distance of 71.66 feet to a point; thence with a curve to the left, of radius 100.00 feet, the chord of which bears North 70 degrees 00 minutes 00 seconds West, a distance of 26.37 feet to a point; thence with a curve to the right, of radius 100.00 feet to a point, the chord of which bears North 68 degrees 01 minutes 25 seconds West, a distance of 33.19 feet to a point; thence North 58 degrees 28 minutes 16 seconds West, crossing the common boundary line between the aforementioned William C. and Judy Oney tract and the abutting Jason Oney at 158 feet, more or less, in all a distance of 172.96 feet to a point; thence with a curve to the right, of radius 30.00 feet, the chord of which bears North 42 degrees 11 minutes 09 seconds West, a distance of 16.83 feet to a point in the southerly boundary of the above-described 30' x 50' Appurtenant Easement.

EXHIBIT "A"

Page 2 of 2

The Easement is described and/or depicted as follows:



STATE OF KENTUCKY  
COUNTY OF MORGAN

I, Randy Williams, Clerk Morgan County for the County and State of Kentucky, do hereby certify that the foregoing was on the 31<sup>st</sup> day of July 2014, lodged for record, whereupon the regular and due certificate have been duly recorded in my office. Witness my hand and the seal of said County this 31<sup>st</sup> day of July 2014.  
Randy Williams, Clerk

By [Signature] D.C.

DB 227 page 664



**EXHIBIT J  
NOTIFICATION LISTING**

## Wheelrim Landowner Notice Listing

Jason Oney  
3721 Hwy 134  
Hazel Green, KY 41332

Jason Oney  
3247 Highway 134  
Hazel Green, KY 41332

William & Judy Oney  
3721 Hwy 134  
Hazel Green, KY 41332

Oney Cemetery  
3721 Highway 134  
Hazel Green, KY 41332

Lee & Rissie Roark  
220 Lee Roark Rd.  
Hazel Green, KY 41332

J C & Christene Rudd  
Box 27  
Felicity, OH 45120

William & Ashley Oney  
3471 Hwy 134  
Hazel Green, KY 41332

Ernie & Sue Ann Alsept  
400 Lee Roark Rd.  
Hazel Green, KY 41332

Dean Family Farms LLC  
3612 Epperly Drive  
Del City, OK 73115-3698

Ronald Jay Rudd & Timothy Ray Rudd  
2481 Big Indian Road S RT 743  
Moscow, OH 45153

**EXHIBIT K**  
**COPY OF PROPERTY OWNER NOTIFICATION**



1578 Highway 44 East, Suite 6  
P.O. Box 369  
Shepherdsville, KY 40165-0369  
Phone (502) 955-4400 or (800) 516-4293  
Fax (502) 543-4410 or (800) 541-4410

**Notice of Proposed Construction of  
Wireless Communications Facility  
Site Name: Wheelrim**

Dear Landowner:

New Cingular Wireless PCS, LLC, a Delaware limited liability company, d/b/a AT&T Mobility has filed an application with the Kentucky Public Service Commission ("PSC") to construct a new wireless communications facility on a site located at 3293 Highway 134, Hazel Green, Kentucky 41332 (37°45'03.847" North latitude, 83°15'17.985" West longitude). The proposed facility will include a 255-foot tall antenna tower, plus a 20-foot lightning arrestor and related ground facilities. This facility is needed to provide improved coverage for wireless communications in the area.

This notice is being sent to you because the Morgan County Property Valuation Administrator's records indicate that you may own property that is within a 500' radius of the proposed tower site or contiguous to the property on which the tower is to be constructed. You have a right to submit testimony to the Kentucky Public Service Commission ("PSC"), either in writing or to request intervention in the PSC's proceedings on the application. You may contact the PSC for additional information concerning this matter at: Kentucky Public Service Commission, Executive Director, 211 Sower Boulevard, P.O. Box 615, Frankfort, Kentucky 40602. Please refer to docket number 2016-00072 in any correspondence sent in connection with this matter.

We have attached a map showing the site location for the proposed tower. AT&T Mobility's radio frequency engineers assisted in selecting the proposed site for the facility, and they have determined it is the proper location and elevation needed to provide quality service to wireless customers in the area. Please feel free to contact us toll free at (800) 516-4293 if you have any comments or questions about this proposal.

Sincerely,  
David A. Pike  
Attorney for AT&T Mobility

enclosure



Driving Directions to Proposed Tower Site:

1. Beginning at the offices of the Morgan County Clerk, located at 450 Prestonsburg Street in West Liberty, KY, head south on US-460 W / Main Street and travel approximately 4.7 miles.
2. Turn left onto KY-205 S and continue travelling for 8.9 miles.
3. Continue onto KY-191 and travel 2.4 miles.
4. Turn right onto KY-134 and travel 3.2 miles.
5. The entrance to the access drive is at 3293 Highway 134, Hazel Green, KY. Site coordinates are
  - a. 37 deg 45 min 03.847 sec N
  - b. 83 deg 15 min 17.985 sec W



Prepared by:  
Aaron L. Roof  
Pike Legal Group PLLC  
1578 Highway 44 East, Suite 6  
PO Box 369  
Shepherdsville, KY 40165-0369  
Telephone: 502-955-4400 or 800-516-4293

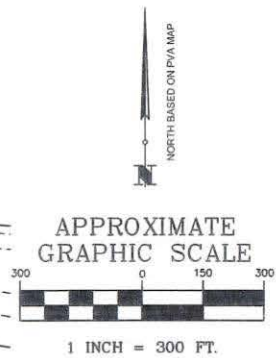
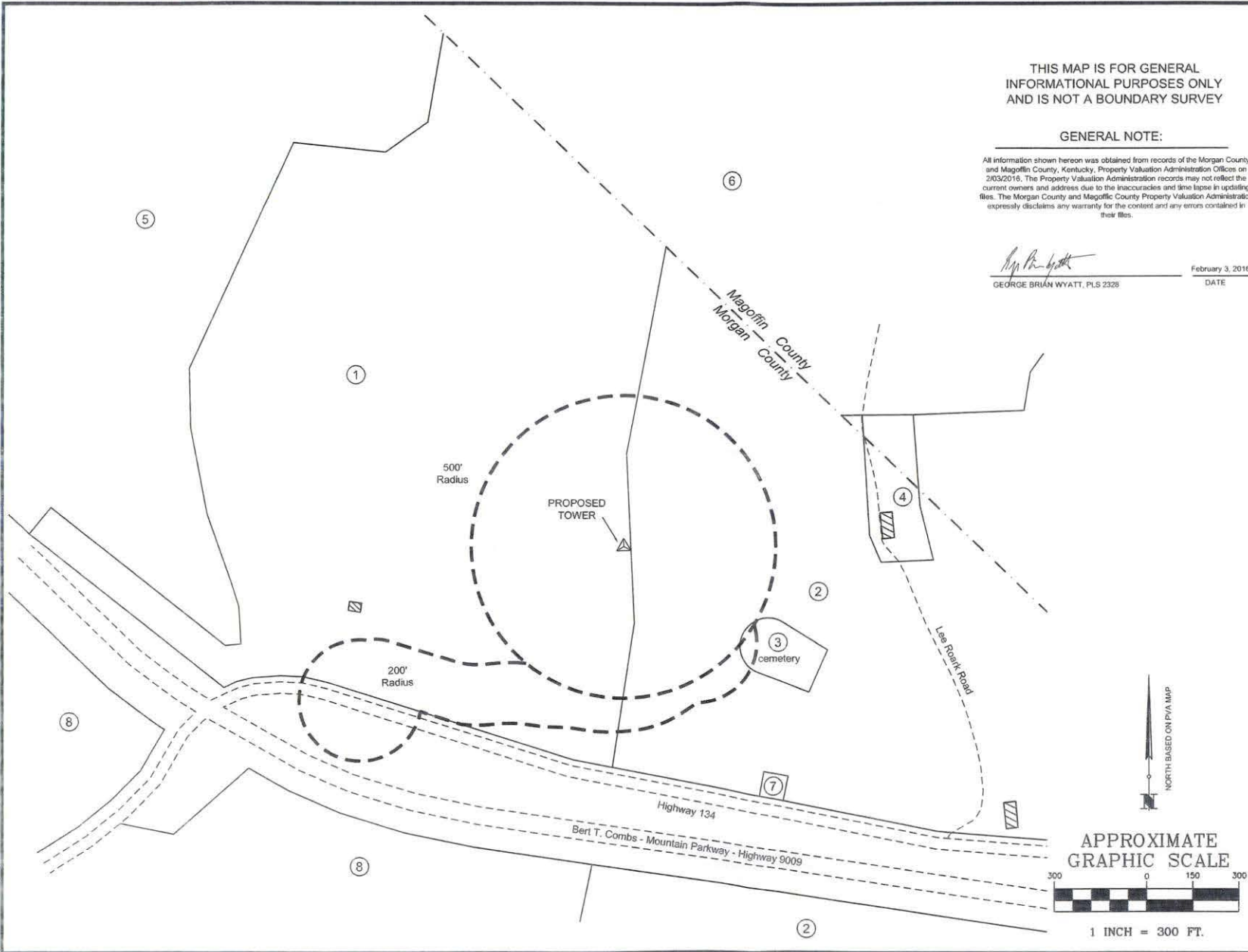
THIS MAP IS FOR GENERAL  
INFORMATIONAL PURPOSES ONLY  
AND IS NOT A BOUNDARY SURVEY

GENERAL NOTE:

All information shown hereon was obtained from records of the Morgan County and Magoffin County, Kentucky, Property Valuation Administration Offices on 2/03/2016. The Property Valuation Administration records may not reflect the current owners and address due to the inaccuracies and time lapse in updating files. The Morgan County and Magoffin County Property Valuation Administration expressly disclaims any warranty for the content and any errors contained in their files.

*George Brian Wyatt*  
GEORGE BRIAN WYATT, PLS 2328

February 3, 2016  
DATE



**Mastec**  
BTM Engineering, Inc.  
CONSULTING ENGINEERS, LANDSCAPE ARCHITECTS,  
PLANNERS & SURVEYORS  
1000 W. LEXINGTON BLVD.  
LOUISVILLE, KENTUCKY 40220  
PHONE: (502) 459-8402  
FAX: (502) 459-8427

STATE OF KENTUCKY  
GEORGE BRIAN WYATT  
2328  
LICENSED PROFESSIONAL  
LAND SURVEYOR

SITE NAME:	WHEELRIM
SITE NUMBER:	KYALU6169
SITE ADDRESS:	3293 HWY 134 HAZEL GREEN, KY 41332
AREA:	4.000
PROPERTY OWNER:	JASON ONEY 3721 HWY 134 HAZEL GREEN, KY 41332
TAX MAP #:	N/A
PARCEL NUMBER:	114-00-00-015.00
SOURCE OF TITLE:	DEED BOOK 217 PAGE 483
LATITUDE:	N 37° 45' 03.847"
LONGITUDE:	W 83° 15' 17.985"

NO.	BY	DESCRIPTION	DATE	CHK
1	BW	UPDATE PVA DATA	01/12/16	PH
2	BW	UPDATE PVA DATA	02/03/16	PH

TITLE:  
500' RADIUS VICINITY MAP

SHEET:  
C-1

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*George Brian Wyatt*

GEORGE BRIAN WYATT, PLS 2326

February 3, 2016  
DATE

- ① PARCEL NUMBER: 114-00-00-015.00  
Jason Oney  
3721 Highway 134  
Hazel Green, Kentucky 41332
- ② PARCEL NUMBER: 129-00-00-003.00  
William & Judy Oney  
3721 Highway 134  
Hazel Green, Kentucky 41332  
  
and  
William & Ashley Oney  
3471 Highway 134  
Hazel Green, Kentucky 41332
- ③ PARCEL NUMBER: 129-00-00-001.00  
Oney Cemetery - Per PVA, No Information Available  
3721 Highway 134  
Hazel Green, Kentucky 41332
- ④ PARCEL NUMBER: 129-00-00-004.00  
Lee & Rissle Roark  
220 Lee Roark Road  
Hazel Green, Kentucky 41332
- ⑤ PARCEL NUMBER: 113-00-00-009.00  
Ronald Jay Rudd & Timothy Ray Rudd  
2481 Big Indian Road, SR 743  
Moscow, Ohio 45153
- ⑥ PARCEL NUMBER: 002-00-00-004 (Magoffin County)  
Ernie & Sue Ann Alsept  
400 Lee Roark Road  
Hazel Green, Kentucky 41332
- ⑦ PARCEL NUMBER: 129-00-00-002.00  
William & Judy Oney  
3721 Highway 134  
Hazel Green, Kentucky 41332
- ⑧ PARCEL NUMBER: 114-00-00-014.00  
Dean Family Farms, LLC  
3612 Epperly Drive  
Del City, Oklahoma 73115

**Mastec**

**BTM Engineering, Inc.**  
CONSULTING ENGINEERS, LANDSCAPE ARCHITECTS,  
SURVEYORS  
3001 TAYLOR SPRINGS DRIVE  
LOUISVILLE, KENTUCKY 40220  
PHONE: (502) 459-4407  
FAX: (502) 459-4407

STATE of KENTUCKY  
GEORGE BRIAN  
WYATT  
2326  
LICENSED  
PROFESSIONAL  
LAND SURVEYOR

SITE NAME: WHEELRM  
SITE NUMBER: KYALU6169  
SITE ADDRESS: 3293 HWY 134  
HAZEL GREEN, KY 41332  
AREA: 4.000  
PROPERTY OWNER: JASON ONEY  
3721 HWY 134  
HAZEL GREEN, KY 41332  
TAX MAP #: N/A PARCEL NUMBER: 114-00-00-015.00  
SOURCE OF TITLE: DEED BOOK 217 PAGE 483  
LATITUDE: N 37° 45' 03.847" LONGITUDE: W 83° 15' 17.985"

NO.	BY	DESCRIPTION	DATE	CHK	REVISIONS	
					PH	PH
1	BM	UPDATE PVA DATA	01/27/16			
2	BM	UPDATE PVA DATA	02/03/16			

TITLE:  
500' RADIUS  
VICINITY MAP

SHEET:  
C-1A

**EXHIBIT L**  
**COPY OF COUNTY JUDGE/EXECUTIVE NOTICE**





1578 Highway 44 East, Suite 6  
P.O. Box 369  
Shepherdsville, KY 40165-0369  
Phone (502) 955-4400 or (800) 516-4293  
Fax (502) 543-4410 or (800) 541-4410

**VIA CERTIFIED MAIL**

Hon. Stanley Franklin  
Morgan County Judge Executive  
450 Prestonsburg Street  
West Liberty, KY 41472

RE: Notice of Proposal to Construct Wireless Communications Facility  
Kentucky Public Service Commission Docket No. 2016-00072  
Site Name: Wheelrim

Dear Judge Franklin:

New Cingular Wireless PCS, LLC, a Delaware limited liability company, d/b/a AT&T Mobility has filed an application with the Kentucky Public Service Commission ("PSC") to construct a new wireless communications facility on a site located at 3293 Highway 134, Hazel Green, Kentucky 41332 (37°45'03.847" North latitude, 83°15'17.985" West longitude). The proposed facility will include a 255-foot tall antenna tower, plus a 20-foot lightning arrester and related ground facilities. This facility is needed to provide improved coverage for wireless communications in the area.

You have a right to submit comments to the PSC or to request intervention in the PSC's proceedings on the application. You may contact the PSC at: Executive Director, Public Service Commission, 211 Sower Boulevard, P.O. Box 615, Frankfort, Kentucky 40602. Please refer to docket number 2016-00072 in any correspondence sent in connection with this matter.

We have attached a map showing the site location for the proposed tower. AT&T Mobility's radio frequency engineers assisted in selecting the proposed site for the facility, and they have determined it is the proper location and elevation needed to provide quality service to wireless customers in the area. Please feel free to contact us with any comments or questions you may have.

Sincerely,

David A. Pike  
Attorney for AT&T Mobility  
enclosure

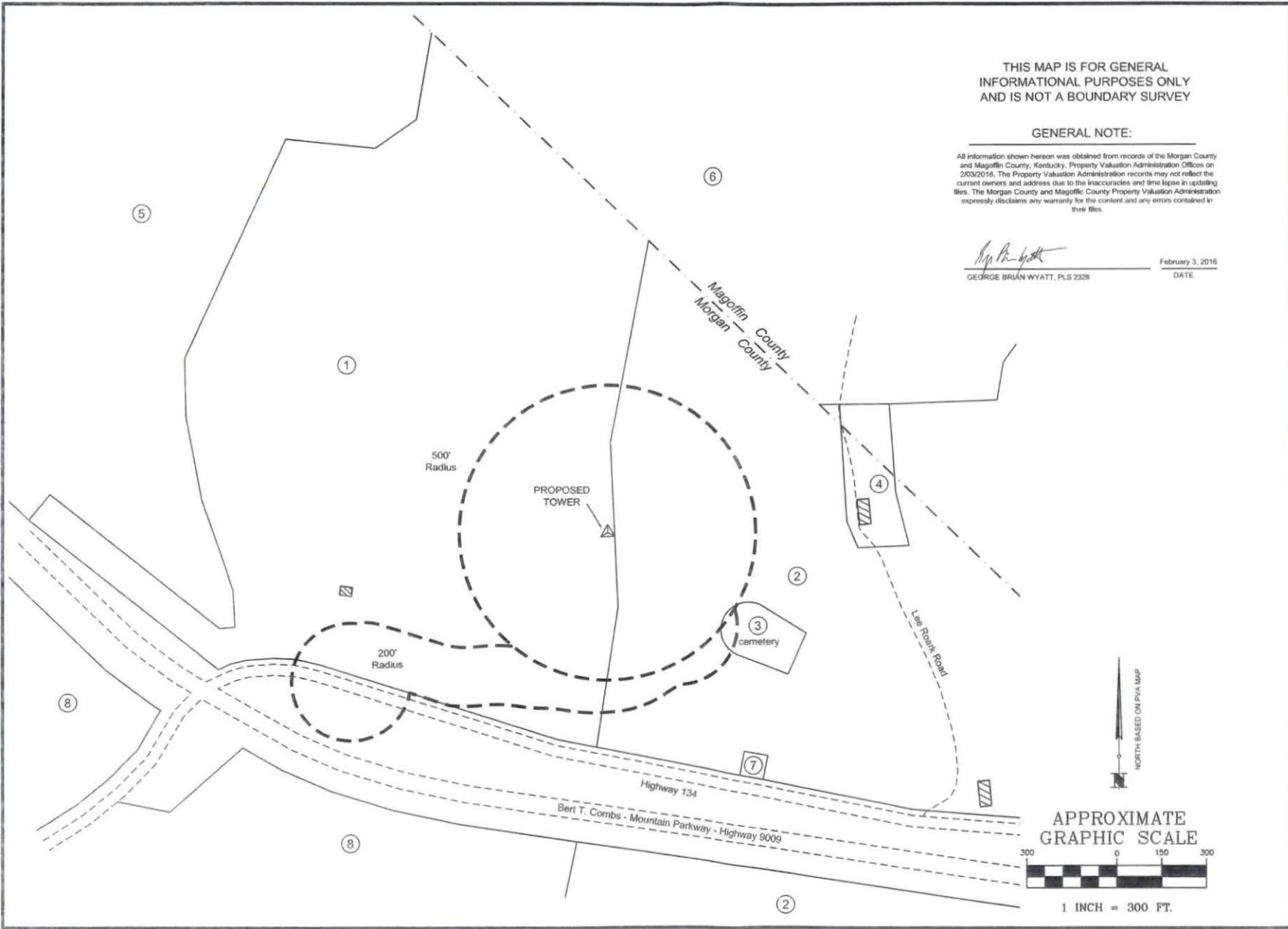
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1. Beginning at the offices of the Morgan County Clerk, located at 450 Prestonsburg Street in West Liberty, KY, head south on US-460 W / Main Street and travel approximately 4.7 miles.
2. Turn left onto KY-205 S and continue travelling for 8.9 miles.
3. Continue onto KY-191 and travel 2.4 miles.
4. Turn right onto KY-134 and travel 3.2 miles.
5. The entrance to the access drive is at 3293 Highway 134, Hazel Green, KY. Site coordinates are
  - a. 37 deg 45 min 03.847 sec N
  - b. 83 deg 15 min 17.985 sec W



Prepared by:  
Aaron L. Roof  
Pike Legal Group PLLC  
1578 Highway 44 East, Suite 6  
PO Box 369  
Shepherdsville, KY 40165-0369  
Telephone: 502-955-4400 or 800-516-4293





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*George Brian Wyatt*

GEORGE BRIAN WYATT, PLS 2328

February 3, 2016  
DATE



**BTM Engineering, Inc.**  
CONSULTING ENGINEERS, LANDSCAPE ARCHITECTS,  
PLANNERS & SURVEYORS  
1000 W. MARKET STREET  
LOUISVILLE, KENTUCKY 40203  
PHONE: (502) 459-8442  
FAX: (502) 459-0477

STATE OF KENTUCKY  
GEORGE BRIAN WYATT  
2328  
LICENSED PROFESSIONAL LAND SURVEYOR

SITE NAME: WHEELRIM

SITE NUMBER: KYALUB169

SITE ADDRESS: 3293 HWY 134  
HAZEL GREEN, KY 41332

AREA: 4.000

PROPERTY OWNER: JASON ONEY  
3721 HWY 134  
HAZEL GREEN, KY 41332

TAX MAP #: N/A PARCEL NUMBER: 114-00-00-015.00

SOURCE OF TITLE: DEED BOOK 217 PAGE 483

LATITUDE: N 37° 45' 03.847" LONGITUDE: W 63° 15' 17.985"

REVISIONS		CHK
NO.	DESCRIPTION	DATE
1	BM UPDATE PVA DATA	01/12/16 PH
2	BM UPDATE PVA DATA	02/03/16 PH

TITLE: 500' RADIUS VICINITY MAP

SHEET: C-1





**EXHIBIT M**  
**COPY OF POSTED NOTICES**



VIA TELEFAX: 606-743-3565

The Licking Valley Courier  
Attn: Greg Kinner  
142 Prestonsburg Street  
P.O. Box 187  
West Liberty, KY 41472

1578 Highway 44 East, Suite 6  
P.O. Box 369  
Shepherdsville, KY 40165-0369  
Phone (502) 955-4400 or (800) 516-4293  
Fax (502) 543-4410 or (800) 541-4410

RE: Legal Notice Advertisement  
Site Name: Wheelrim

Dear Jamie:

Please publish the following legal notice advertisement in the next edition of *The Licking Valley Courier*.

**NOTICE**

**New Cingular Wireless PCS, LLC, a Delaware limited liability company, d/b/a AT&T Mobility has filed an application with the Kentucky Public Service Commission ("PSC") to construct a new wireless communications facility on a site located at 3293 Highway 134, Hazel Green, Kentucky 41332 (37°45'03.847" North latitude, 83°15'17.985" West longitude). You may contact the PSC for additional information concerning this matter at: Kentucky Public Service Commission, Executive Director, 211 Sower Boulevard, P.O. Box 615, Frankfort, Kentucky 40602. Please refer to docket number 2016-00072 in any correspondence sent in connection with this matter.**

After this advertisement has been published, please forward a tearsheet copy, affidavit of publication, and invoice to Pike Legal Group, PLLC, P. O. Box 369, Shepherdsville, KY 40165. Please call me at (800) 516-4293 if you have any questions. Thank you for your assistance.

Sincerely,

Aaron L. Roof  
Pike Legal Group, PLLC

**SITE NAME: WHEELRIM**  
**NOTICE SIGNS**

The signs are at least (2) feet by four (4) feet in size, of durable material, with the text printed in black letters at least one (1) inch in height against a white background, except for the word "**tower**," which is at least four (4) inches in height.

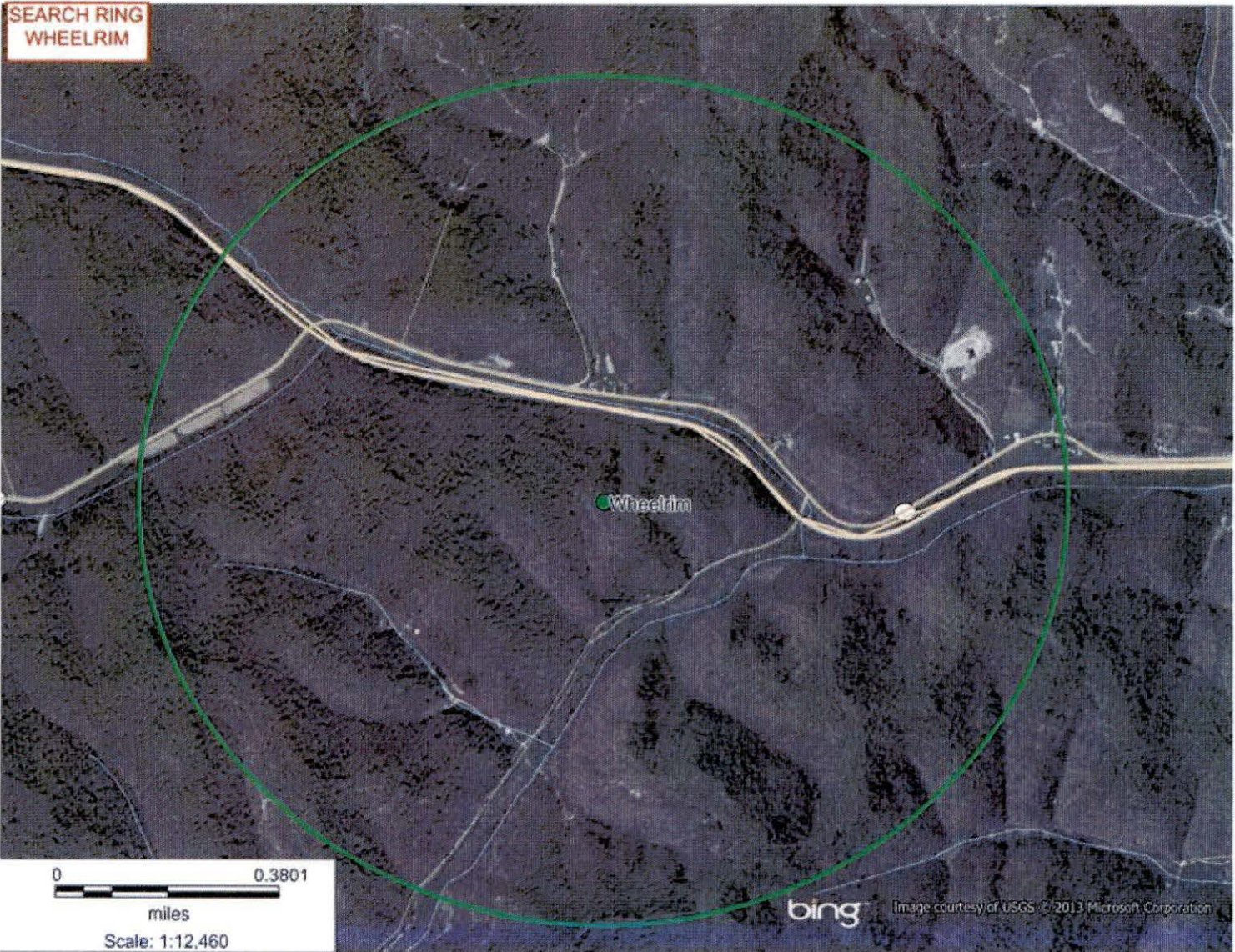
New Cingular Wireless PCS, LLC d/b/a AT&T Mobility proposes to construct a telecommunications **tower** on this site. If you have questions, please contact Pike Legal Group, PLLC, P.O. Box 369, Shepherdsville, KY 40165 (800) 516-4293, or the Executive Director, Public Service Commission, 211 Sower Boulevard, PO Box 615, Frankfort, Kentucky 40602. Please refer to docket number Case No. 2016-00072 in your correspondence.

New Cingular Wireless PCS, LLC d/b/a AT&T Mobility proposes to construct a telecommunications **tower** near this site. If you have questions, please contact Pike Legal Group, PLLC, P.O. Box 369, Shepherdsville, KY 40165 (800) 516-4293, or the Executive Director, Public Service Commission, 211 Sower Boulevard, PO Box 615, Frankfort, Kentucky 40602. Please refer to docket number Case No. 2016-00072 in your correspondence.

**EXHIBIT N**  
**COPY OF RADIO FREQUENCY DESIGN SEARCH AREA**



SEARCH RING  
WHEELRIM



0 0.3801

miles

Scale: 1:12,460

bing

Image courtesy of USGS © 2013 Microsoft Corporation