

**COMMONWEALTH OF KENTUCKY  
BEFORE THE PUBLIC SERVICE COMMISSION**

**RECEIVED**

**FEB 18 2014**

**PUBLIC SERVICE  
COMMISSION**

In the Matter of:

THE APPLICATION OF )  
NEW CINGULAR WIRELESS PCS, LLC )  
FOR ISSUANCE OF A CERTIFICATE OF PUBLIC ) CASE NO.: 2013-00442  
CONVENIENCE AND NECESSITY TO CONSTRUCT )  
A WIRELESS COMMUNICATIONS FACILITY )  
IN THE COMMONWEALTH OF KENTUCKY )  
IN THE COUNTY OF TODD )

SITE NAME: ALLENS TOWER

\*\*\*\*\*

**APPLICATION FOR  
CERTIFICATE OF PUBLIC CONVENIENCE AND NECESSITY  
FOR CONSTRUCTION OF A WIRELESS COMMUNICATIONS FACILITY**

New Cingular Wireless PCS, LLC, a Delaware limited liability company, d/b/a AT&T Mobility ("Applicant"), by counsel, pursuant to (i) KRS §§ 278.020, 278.040, 278.650, 278.665, and other statutory authority, and the rules and regulations applicable thereto, and (ii) the Telecommunications Act of 1996, respectfully submits this Application requesting issuance of a Certificate of Public Convenience and Necessity ("CPCN") from the Kentucky Public Service Commission ("PSC") to construct, maintain, and operate a Wireless Communications Facility ("WCF") to serve the customers of the Applicant with wireless communications services.

In support of this Application, Applicant respectfully provides and states the following information:

1. The complete name and address of the Applicant: New Cingular Wireless

PCS, LLC, a Delaware limited liability company, d/b/a AT&T Mobility, having a local address of 601 West Chestnut Street, Louisville, Kentucky 40203.

2. Applicant proposes construction of an antenna tower for communications services, which is to be located in an area outside the jurisdiction of a planning commission, and Applicant submits this application to the PSC for a certificate of public convenience and necessity pursuant to KRS §§ 278.020(1), 278.040, 278.650, 278.665, and other statutory authority.

3. The Certificate of Authority filed with the Kentucky Secretary of State for the Applicant entity was attached to a prior application and is part of the case record for PSC case number 2011-00473 and is hereby incorporated by reference.

4. The Applicant operates on frequencies licensed by the Federal Communications Commission ("FCC") pursuant to applicable FCC requirements. A copy of the Applicant's FCC license to provide wireless services is attached to this Application or described as part of **Exhibit A**, and the facility will be constructed and operated in accordance with applicable FCC regulations.

5. The public convenience and necessity require the construction of the proposed WCF. The construction of the WCF will bring or improve the Applicant's services to an area currently not served or not adequately served by the Applicant by increasing coverage or capacity and thereby enhancing the public's access to innovative and competitive wireless communications services. The WCF will provide a necessary link in the Applicant's communications network that is designed to meet the increasing demands for wireless services in Kentucky's wireless communications service area. The WCF is an

integral link in the Applicant's network design that must be in place to provide adequate coverage to the service area.

6. To address the above-described service needs, Applicant proposes to construct a WCF at 238 Snardon Mill Road, Guthrie, Kentucky 42234 (36°41'40.67" North latitude, 87°06'57.94" West longitude), on a parcel of land located entirely within the county referenced in the caption of this application. The property on which the WCF will be located is owned by Abe and Joe Miller pursuant to a Deed recorded at Deed Book 163, Page 262 in the office of the Todd County Clerk. The proposed WCF will consist of a 180-foot tall tower, with an approximately 15-foot tall lightning arrestor attached at the top, for a total height of 195-feet. The WCF will also include concrete foundations and a shelter or cabinets to accommodate the placement of the Applicant's radio electronics equipment and appurtenant equipment. The Applicant's equipment cabinet or shelter will be approved for use in the Commonwealth of Kentucky by the relevant building inspector. The WCF compound will be fenced and all access gate(s) will be secured. A description of the manner in which the proposed WCF will be constructed is attached as **Exhibit B** and **Exhibit C**.

7. A list of utilities, corporations, or persons with whom the proposed WCF is likely to compete is attached as **Exhibit D**, along with a map of suitable scale showing the location of the proposed new construction as well as the location of any like facilities located anywhere within the map area, along with a map key showing the owner of such other facilities.

8. The site development plan and a vertical profile sketch of the WCF signed

and sealed by a professional engineer registered in Kentucky depicting the tower height, as well as a proposed configuration for the antennas of the Applicant has also been included as part of **Exhibit B**.

9. Foundation design plans signed and sealed by a professional engineer registered in Kentucky and a description of the standards according to which the tower was designed are included as part of **Exhibit C**.

10. Applicant has considered the likely effects of the installation of the proposed WCF on nearby land uses and values and has concluded that there is no more suitable location reasonably available from which adequate services can be provided, and that there are no reasonably available opportunities to co-locate Applicant's antennas on an existing structure. When suitable towers or structures exist, Applicant attempts to co-locate on existing structures such as communications towers or other structures capable of supporting Applicant's facilities; however, no other suitable or available co-location site was found to be located in the vicinity of the site. A report detailing Applicant's site selection process for the subject site (including documentation as to why co-location is not possible for this site) is attached as **Exhibit E**.

11. A copy of an analysis stating that no notice to the Federal Aviation Administration ("FAA") is required to build a tower on this site is attached as **Exhibit F**.

12. A copy of the Kentucky Airport Zoning Commission ("KAZC") Approval to construct the tower is attached as **Exhibit G**.

13. A geotechnical engineering firm has performed soil boring(s) and subsequent geotechnical engineering studies at the WCF site. A copy of the geotechnical engineering

report, signed and sealed by a professional engineer registered in the Commonwealth of Kentucky, is attached as **Exhibit H**. The name and address of the geotechnical engineering firm and the professional engineer registered in the Commonwealth of Kentucky who supervised the examination of this WCF site are included as part of this exhibit.

14. Clear directions to the proposed WCF site from the County seat are attached as **Exhibit I**. The name and telephone number of the preparer of **Exhibit I** are included as part of this exhibit.

15. Applicant, pursuant to a written agreement, has acquired the right to use the WCF site and associated property rights. A copy of the agreement or an abbreviated agreement recorded with the County Clerk is attached as **Exhibit J**.

16. Personnel directly responsible for the design and construction of the proposed WCF are well qualified and experienced. The tower and foundation drawings for the proposed tower submitted as part of **Exhibit C** bear the signature and stamp of a professional engineer registered in the Commonwealth of Kentucky. All tower designs meet or exceed the minimum requirements of applicable laws and regulations.

17. The Construction Manager for the proposed facility is Ron Rohr, and the identity and qualifications of each person directly responsible for design and construction of the proposed tower are contained in **Exhibits B & C**.

18. As noted on the Survey attached as part of **Exhibit B**, the surveyor has determined that the site is not within any flood hazard area.

19. **Exhibit B** includes a map drawn to an appropriate scale that shows the

location of the proposed tower and identifies every owner of real estate within 500 feet of the proposed tower (according to the records maintained by the County Property Valuation Administrator). Every structure and every easement within 500 feet of the proposed tower or within 200 feet of the access road including intersection with the public street system is illustrated in **Exhibit B**.

20. Applicant has notified every person who, according to the records of the County Property Valuation Administrator, owns property which is within 500 feet of the proposed tower or contiguous to the site property, by certified mail, return receipt requested, of the proposed construction. Each notified property owner has been provided with a map of the location of the proposed construction, the address of the PSC, and has been informed of his or her right to request intervention. A list of the notified property owners and a copy of the form of the notice sent by certified mail to each landowner are attached as **Exhibit K** and **Exhibit L**, respectively.

21. Applicant has notified the applicable County Judge/Executive by certified mail, return receipt requested, of the proposed construction. This notice included the PSC docket number under which the application will be processed and informed the County Judge/Executive of his/her right to request intervention. A copy of this notice is attached as **Exhibit M**.

22. Notice signs meeting the requirements prescribed by 807 KAR 5:063, Section 1(2) that measure at least 2 feet in height and 4 feet in width and that contain all required language in letters of required height, have been posted, one in a visible location on the proposed site and one on the nearest public road. Such signs shall remain posted for at

least two weeks after filing of the Application, and a copy of the posted text is attached as **Exhibit N**. The Applicant has requested publication of legal notice regarding the location of the proposed facility in a newspaper of general circulation in the county in which the WCF is proposed to be located.

23. The general area where the proposed facility is to be located is rural.

24. The process that was used by the Applicant's radio frequency engineers in selecting the site for the proposed WCF was consistent with the general process used for selecting all other existing and proposed WCF facilities within the proposed network design area. Applicant's radio frequency engineers have conducted studies and tests in order to develop a highly efficient network that is designed to handle voice and data traffic in the service area. The engineers determined an optimum area for the placement of the proposed facility in terms of elevation and location to provide the best quality service to customers in the service area. A radio frequency design search area prepared in reference to these radio frequency studies was considered by the Applicant when searching for sites for its antennas that would provide the coverage deemed necessary by the Applicant. A map of the area in which the tower is proposed to be located which is drawn to scale and clearly depicts the necessary search area within which the site should be located pursuant to radio frequency requirements is attached as **Exhibit O**.

25. All Exhibits to this Application are hereby incorporated by reference as if fully set out as part of the Application.

26. All responses and requests associated with this Application may be directed

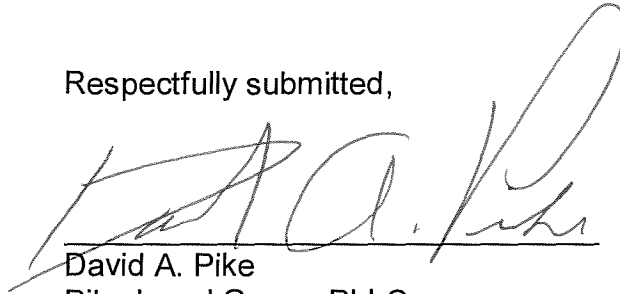
David A. Pike  
Pike Legal Group, PLLC  
1578 Highway 44 East, Suite 6  
P. O. Box 369  
Shepherdsville, KY 40165-0369  
Telephone: (502) 955-4400  
Telefax: (502) 543-4410  
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Patrick W. Turner  
General Attorney-Kentucky  
AT&T Kentucky  
1600 Williams Street  
Suite 5200  
Columbia, South Carolina 29201  
Telephone: (803) 401-2900  
Telefax: (803) 254-1731  
Email: pt1285@att.com



**WHEREFORE**, Applicant respectfully request that the PSC accept the foregoing Application for filing, and having met the requirements of KRS §§ 278.020(1), 278.650, and 278.665 and all applicable rules and regulations of the PSC, grant a Certificate of Public Convenience and Necessity to construct and operate the WCF at the location set forth herein.

Respectfully submitted,

A handwritten signature in black ink, appearing to read "David A. Pike", written over a horizontal line.

David A. Pike  
Pike Legal Group, PLLC  
1578 Highway 44 East, Suite 6  
P. O. Box 369  
Shepherdsville, KY 40165-0369  
Telephone: (502) 955-4400  
Telefax: (502) 543-4410  
Email: dpike@pikelegal.com  
Attorney for New Cingular Wireless PCS, LLC  
d/b/a AT&T Mobility

## LIST OF EXHIBITS

- A - FCC License Documentation
- B - Site Development Plan:
  - 500' Vicinity Map
  - Legal Descriptions
  - Flood Plain Certification
  - Site Plan
  - Vertical Tower Profile
- C - Tower and Foundation Design
- D - Competing Utilities, Corporations, or Persons List and Map of Like Facilities in Vicinity
- E - Co-location Report
- F - FAA
- G - Kentucky Airport Zoning Commission
- H - Geotechnical Report
- I - Directions to WCF Site
- J - Copy of Real Estate Agreement
- K - Notification Listing
- L - Copy of Property Owner Notification
- M - Copy of County Judge/Executive Notice
- N - Copy of Posted Notices
- O - Copy of Radio Frequency Design Search Area

**EXHIBIT A**  
**FCC LICENSE DOCUMENTATION**

ULS License

# Cellular License - KNKN748 - NEW CINGULAR WIRELESS PCS, LLC

**PA** This license has pending applications: 0006003502

Call Sign	KNKN748	Radio Service	CL - Cellular
Status	Active	Auth Type	Regular

### Market

Market	CMA445 - Kentucky 3 - Meade	Channel Block	A
Submarket	0	Phase	2

### Dates

Grant	08/30/2011	Expiration	10/01/2021
Effective	11/24/2012	Cancellation	

### Five Year Buildout Date

01/06/1997

### Control Points

**1** 1650 Lyndon Farms Court, LOUISVILLE, KY  
P: (502)329-4700

### Licensee

FRN	0003291192	Type	Limited Liability Company
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### Licensee

NEW CINGULAR WIRELESS PCS, LLC 2200 N. Greenville Ave, 1W Richardson, TX 75082 ATTN Reginald Youngblood	P:(972)234-7003 F:(972)301-6893 E:FCCMW@att.com
--	---

### Contact

AT&T MOBILITY LLC MICHAEL P GOGGIN 1120 20TH STREET, NW, SUITE 1000 WASHINGTON, DC 20036	P:(202)457-2055 F:(202)457-3073 E:MG7268@ATT.COM
---	--

### Ownership and Qualifications

Radio Service Type Mobile  
Regulatory Status Common Carrier Interconnected Yes

### Alien Ownership

The Applicant answered "No" to each of the Alien Ownership questions.

### Basic Qualifications

The Applicant answered "No" to each of the Basic Qualification questions.

### Demographics

Race		Gender	
Ethnicity			

ULS License

**PCS Broadband License - KNLG230 - New Cingular Wireless PCS, LLC**

Call Sign	KNLG230	Radio Service	CW - PCS Broadband
Status	Active	Auth Type	Regular
<b>Market</b>			
Market	BTA083 - Clarksville, TN-Hopkinsville, KY	Channel Block	F
Submarket	1	Associated Frequencies (MHz)	001890.00000000-001895.00000000-001970.00000000-001975.00000000
<b>Dates</b>			
Grant	04/16/2007	Expiration	04/28/2017
Effective	12/20/2012	Cancellation	
<b>Buildout Deadlines</b>			
1st	04/28/2002	2nd	
<b>Notification Dates</b>			
1st	04/30/2002	2nd	

**Licensee**

FRN	0003291192	Type	Limited Liability Company
-----	------------	------	---------------------------

**Licensee**

New Cingular Wireless PCS, LLC  
 2200 N. Greenville Ave, 1W  
 Richardson, TX 75082  
 ATTN Reginald Youngblood

P:(972)234-7003  
 F:(972)301-6893  
 E:FCCMW@att.com

**Contact**

AT&T Mobility LLC  
 Michael P Goggin  
 1120 20th Street, NW - Suite 1000  
 Washington, DC 20036  
 ATTN Michael P. Goggin

P:(202)457-2055  
 F:(202)457-3073  
 E:michael.p.goggin@att.com

**Ownership and Qualifications**

Radio Service Type Mobile

Regulatory Status Common Carrier Interconnected Yes

**Alien Ownership**

The Applicant answered "No" to each of the Alien Ownership questions.

**Basic Qualifications**

The Applicant answered "No" to each of the Basic Qualification questions.

**Tribal Land Bidding Credits**

This license did not have tribal land bidding credits.

ULS License

**PCS Broadband License - KNLH416 - New Cingular Wireless PCS, LLC**

Call Sign	KNLH416	Radio Service	CW - PCS Broadband
Status	Active	Auth Type	Regular

**Market**

Market	BTA083 - Clarksville, TN-Hopkinsville, KY	Channel Block	D
Submarket	0	Associated Frequencies (MHz)	001865.00000000-001870.00000000-001945.00000000-001950.00000000

**Dates**

Grant	04/25/2007	Expiration	04/28/2017
Effective	03/01/2013	Cancellation	

**Buildout Deadlines**

1st	04/28/2002	2nd	
-----	------------	-----	--

**Notification Dates**

1st	05/01/2002	2nd	
-----	------------	-----	--

**Licensee**

FRN	0003291192	Type	Limited Liability Company
-----	------------	------	---------------------------

**Licensee**

New Cingular Wireless PCS, LLC 2200 N. Greenville Ave, 1W Richardson, TX 75082 ATTN Reginald Youngblood	P:(972)234-7003 F:(972)301-6893 E:FCCMW@att.com
--	---

**Contact**

AT&T Mobility LLC Michael P Goggin 1120 20th Street, NW - Suite 1000 Washington, DC 20036 ATTN Michael P Goggin	P:(202)457-2055 F:(202)457-3073 E:FCCMW@att.com
---	---

**Ownership and Qualifications**

Radio Service Type Mobile

Regulatory Status Common Carrier Interconnected Yes

**Alien Ownership**

The Applicant answered "No" to each of the Alien Ownership questions.

**Basic Qualifications**

The Applicant answered "No" to each of the Basic Qualification questions.

**Tribal Land Bidding Credits**

This license did not have tribal land bidding credits.

ULS License

**PCS Broadband License - KNLH417 - New Cingular Wireless PCS, LLC**

Call Sign	KNLH417	Radio Service	CW - PCS Broadband
Status	Active	Auth Type	Regular

**Market**

Market	BTA083 - Clarksville, TN-Hopkinsville, KY	Channel Block	E
Submarket	0	Associated Frequencies (MHz)	001885.00000000- 001890.00000000 001965.00000000- 001970.00000000

**Dates**

Grant	04/25/2007	Expiration	04/28/2017
Effective	03/01/2013	Cancellation	

**Buildout Deadlines**

1st	04/28/2002	2nd	
-----	------------	-----	--

**Notification Dates**

1st	04/26/2002	2nd	
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**Licensee**

FRN	0003291192	Type	Limited Liability Company
-----	------------	------	---------------------------

**Licensee**

New Cingular Wireless PCS, LLC 2200 N. Greenville Ave, 1W Richardson, TX 75082 ATTN Reginald Youngblood	P:(972)234-7003 F:(972)301-6893 E:FCCMW@att.com
--	---

**Contact**

AT&T Mobility LLC Michael P Goggin 1120 20th Street, NW - Suite 1000 Washington, DC 20036 ATTN Michael P Goggin	P:(202)457-2055 F:(202)457-3073 E:FCCMW@att.com
---	---

**Ownership and Qualifications**

Radio Service Type Mobile

Regulatory Status Common Carrier Interconnected Yes

**Alien Ownership**

The Applicant answered "No" to each of the Alien Ownership questions.

**Basic Qualifications**

The Applicant answered "No" to each of the Basic Qualification questions.

**Tribal Land Bidding Credits**

This license did not have tribal land bidding credits.

ULS License

# PCS Broadband License - WPOI256 - NEW CINGULAR WIRELESS PCS, LLC

Call Sign	WPOI256	Radio Service	CW - PCS Broadband
Status	Active	Auth Type	Regular

**Market**

Market	MTA043 - Nashville	Channel Block	B
Submarket	2	Associated Frequencies (MHz)	001870.00000000-001885.00000000-001950.00000000-001965.00000000

**Dates**

Grant	07/07/2005	Expiration	06/23/2015
Effective	11/24/2012	Cancellation	

**Buildout Deadlines**

1st	06/23/2000	2nd	06/23/2005
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**Notification Dates**

1st	07/07/2000	2nd	02/28/2005
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**Licensee**

FRN	0003291192	Type	Limited Liability Company
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**Licensee**

NEW CINGULAR WIRELESS PCS, LLC 2200 N. Greenville Ave, 1W Richardson, TX 75082 ATTN Reginald Youngblood	P:(972)234-7003 F:(972)301-6893 E:FCCMW@att.com
--	---

**Contact**

AT&T MOBILITY LLC Michael P Goggin 1120 20th Street, NW - Suite 1000 Washington, DC 20036 ATTN Michael P. Goggin	P:(202)457-2055 F:(202)457-3073 E:michael.p.goggin@att.com
--	--

**Ownership and Qualifications**

Radio Service Type Mobile  
Regulatory Status Common Carrier Interconnected Yes

**Alien Ownership**

The Applicant answered "No" to each of the Alien Ownership questions.

**Basic Qualifications**

The Applicant answered "No" to each of the Basic Qualification questions.

**Tribal Land Bidding Credits**

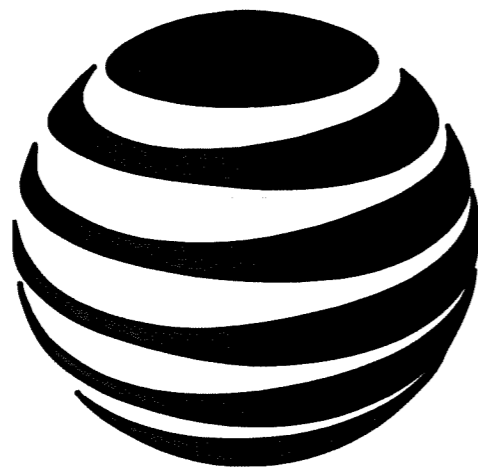
This license did not have tribal land bidding credits.



**EXHIBIT B**

**SITE DEVELOPMENT PLAN:**

**500' VICINITY MAP  
LEGAL DESCRIPTIONS  
FLOOD PLAIN CERTIFICATION  
SITE PLAN  
VERTICAL TOWER PROFILE**



# at&t

SITE NAME: **ALLENS TOWER**      SITE NUMBER: **KYEVU3323**

RAW LAND SITE WITH NEW 180'  
MONOPOLE TOWER WITH A 15' LIGHTNING  
ARRESTOR



Know what's below.  
Call before you dig.

ZONING SHEET INDEX

T1	TITLE SHEET
B-1	SITE SURVEY
B-2	500' RADIUS AND ABBUTER'S MAP
B-3	500' RADIUS AND ABBUTER'S MAP
B-4	500' RADIUS AND ABBUTER'S MAP
A1	SITE PLAN
A2	COMPOUND PLAN
A3	TOWER ELEVATION

CONTACT INFORMATION

**FIRE DEPARTMENT**  
ELKTON FIRE DEPARTMENT  
(270) 265-9877

**POLICE DEPARTMENT**  
ELKTON POLICE DEPARTMENT  
(270) 265-9879

**ELECTRIC COMPANY**  
PENNYRILE ELECTRIC

**TELEPHONE COMPANY**  
BELLSOUTH

BUILDING CODES AND STANDARDS

CONTRACTOR'S WORK SHALL COMPLY WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL CODES AS ADOPTED BY THE LOCAL AUTHORITY HAVING JURISDICTION FOR THE LOCATION.

CONTRACTOR'S WORK SHALL COMPLY WITH THE LATEST EDITION OF THE FOLLOWING STANDARDS:

AMERICAN CONCRETE INSTITUTE 318

AMERICAN INSTITUTE OF STEEL CONSTRUCTION MANUAL OF STEEL CONSTRUCTION

TELECOMMUNICATIONS INDUSTRY ASSOCIATION TIA-222

STRUCTURAL STANDARDS FOR STEEL ANTENNA TOWER AND SUPPORTING STRUCTURES TIA-601.

COMMERCIAL BUILDING GROUNDING AND BONDING REQUIREMENTS FOR TELECOMMUNICATIONS.

INSTITUTE FOR ELECTRICAL AND ELECTRONICS ENGINEERS IEEE-81, IEEE 1100, IEEE C62.41.

ANSI T1.311, FOR TELECOM - DC POWER SYSTEMS - TELECOM, ENVIRONMENTAL PROTECTION

2012 IBC

2011 NEC

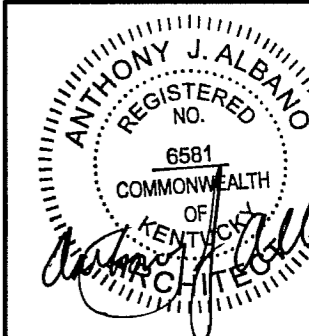
FOR ANY CONFLICTS BETWEEN SECTIONS OF LISTED CODES AND STANDARDS, THE MOST RESTRICTIVE REQUIREMENT SHALL GOVERN.



FMHC DESIGN, INC  
ARCHITECTURE/TELECOMMUNICATIONS  
1700 SHERWIN AVENUE  
DES PLAINES, IL 60018  
TEL: 773-380-3800  
FAX: 773-693-0850

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DRAWN BY : NL

APPROVED BY : AJA

12/18/13 REISSUED FOR ZONING  
08/30/13 ISSUED FOR ZONING

SITE# KYEVU3323  
ALLENS  
TOWER

238 SNARDON MILL ROAD  
GUTHRIE, KY 42234  
TODD COUNTY

SHEET TITLE

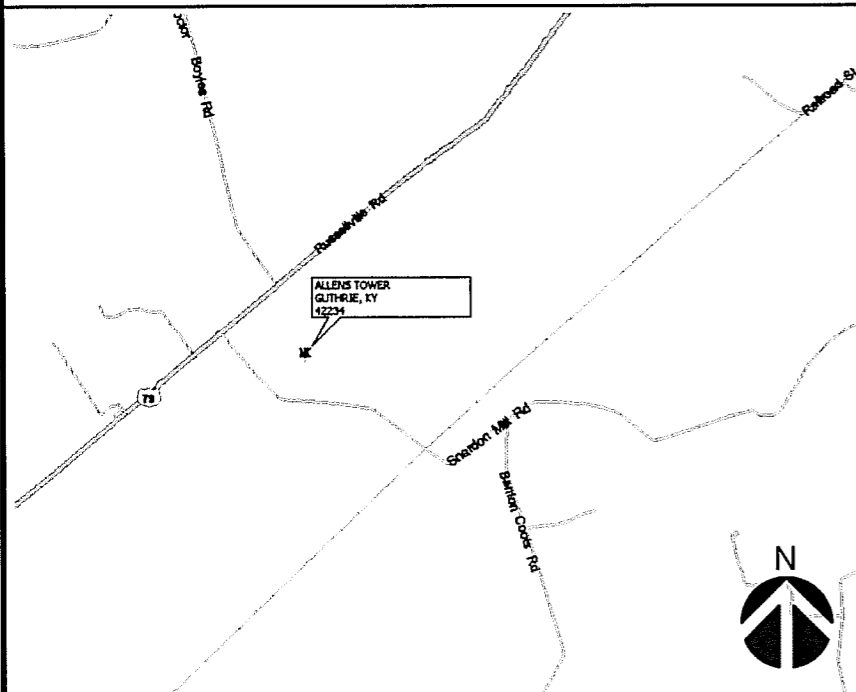
TITLE SHEET

SHEET NUMBER

T1

PROJECT NUMBER : 8207

VICINITY MAP



DRIVE DIRECTIONS

FROM TODD COUNTY COURTHOUSE AT 206 W. McREYNOLDS ST., ELKTON, KY 42220:  
HEAD EAST ON CHURCH HILL LN; TURN LEFT ONTO GOEBEL AVE; TURN RIGHT ONTO SR-102/ ALLENSVILLE ST; BEAR LEFT ONTO SR-102; TURN RIGHT ONTO US-79/ RUSSELLVILLE RD; TURN LEFT ONTO SNARDON MILL RD; ARRIVE 238 SNARDON MILL RD, GUTHRIE, KY 42234

PROJECT INFORMATION

COUNTY: TODD  
GROUND LANDLORD/ SITE ADDRESS: ABE MILLER & JOE MILLER 238 SNARDON MILL ROAD GUTHRIE, KY 42234  
APPLICANT/LESSEE: AT&T MOBILITY FLOOR 1, 601 W CHESTNUT LOUISVILLE, KY 40203-2034  
LATITUDE: 36° 41' 40.67" N  
LONGITUDE: -87° 06' 57.94" W  
GROUND ELEVATION: 586.00' A.M.S.L.

SCOPE OF WORK

CONSTRUCTION DRAWINGS FOR:  
CONSTRUCTION OF A NEW UNMANNED TELECOMMUNICATIONS FACILITY  
SITE WORK:  
UNMANNED PRE-FABRICATED EQUIPMENT SHELTER, ANTENNAS, MONOPOLE, AND UTILITY INSTALLATIONS.

DEPARTMENT	NAME / SIGNATURE	DATE
LAND/TOWER OWNER		
SITE ACQUISITION AGENT		
ZONING/PERMITTING AGENT		
A&E MANAGER		
CONSTRUCTION MANAGER		
RF ENGINEER		

**LEGAL DESCRIPTIONS**

THE FOLLOWING IS A DESCRIPTION OF AN AREA TO BE LEASED FROM THE PROPERTY OF ABE J. MILLER, TRUSTEE OF THE ABE J. MILLER AND ESTHER L. MILLER REVOCABLE TRUST AND JOE MILLER, JR. TRUSTEE OF THE JOE MILLER, JR. AND ELLEN D. MILLER REVOCABLE TRUST, WHICH IS MORE PARTICULARLY DESCRIBED AS FOLLOWS:

**PROPOSED LEASE AREA**

BEGINNING AT A FOUND 8"x8" POST IN THE SOUTHEAST RIGHT-OF-WAY LINE OF US HIGHWAY 79, BEING THE NORTHWEST CORNER OF THE PROPERTY CONVEYED TO CHESTER WAYNE AS RECORDED IN DEED BOOK 132, PAGE 37 IN THE OFFICE OF THE CLERK OF THE COUNTY COURT OF TODD COUNTY, KENTUCKY; THENCE WITH SAID RIGHT-OF-WAY LINE AND THE NORTHWEST PROPERTY LINE OF THE PROPERTY CONVEYED TO ABE J. MILLER, TRUSTEE OF THE ABE J. MILLER AND ESTHER L. MILLER REVOCABLE TRUST AND JOE MILLER, JR. TRUSTEE OF THE JOE MILLER, JR. AND ELLEN D. MILLER REVOCABLE TRUST AS RECORDED IN DEED BOOK 163, PAGE 262 IN THE AFORESAID CLERK'S OFFICE, S 50°55'18" W - 2,059.97' TO A POINT IN THE NORTHEAST RIGHT-OF-WAY LINE OF SNARDON MILL ROAD; THENCE WITH SAID RIGHT-OF-WAY LINE, S 40°27'05" E - 1,350.55' TO A SET 1/2" REBAR CAPPED "PATTERSON PLS 3136"; THENCE TRAVERSING SAID MILLER PROPERTY, N 50°11'19" E - 900.73' TO A SET 1/2" REBAR CAPPED "PATTERSON PLS 3136"; THENCE WITH THE ARC OF A CURVE TO THE RIGHT WITH A RADIUS OF 45.00' AND A CHORD BEARING OF N 85°19'37" E - 51.80' TO A SET 1/2" REBAR CAPPED "PATTERSON PLS 3136"; THENCE WITH THE ARC OF A CURVE TO THE RIGHT WITH A RADIUS OF 45.00' AND A CHORD BEARING OF S 46°41'42" E - 20.00' TO A SET 1/2" REBAR CAPPED "PATTERSON PLS 3136"; THENCE S 33°51'19" E - 66.87' TO A SET 1/2" REBAR CAPPED "PATTERSON PLS 3136"; THENCE WITH THE ARC OF A CURVE TO THE LEFT WITH A RADIUS OF 400.00' AND A CHORD BEARING OF S 44°19'24" E - 145.35' TO A SET 1/2" REBAR CAPPED "PATTERSON PLS 3136"; THENCE N 51°08'50" E - 88.85' TO A SET 1/2" REBAR CAPPED "PATTERSON PLS 3136"; THENCE S 38°51'10" E - 15.00' TO A SET 1/2" REBAR CAPPED "PATTERSON PLS 3136" AND THE TRUE POINT OF BEGINNING OF THE PROPOSED LEASE AREA; THENCE S 38°51'10" E - 100.00' TO A SET 1/2" REBAR CAPPED "PATTERSON PLS 3136"; THENCE S 51°08'50" W - 100.00' TO A SET 1/2" REBAR CAPPED "PATTERSON PLS 3136"; THENCE N 38°51'10" W - 100.00' TO A SET 1/2" REBAR CAPPED "PATTERSON PLS 3136"; THENCE N 51°08'50" E - 100.00' TO THE TRUE POINT OF BEGINNING CONTAINING 10,000 SQUARE FEET AS PER SURVEY BY MARK E. PATTERSON, PLS #3136 WITH POWER OF DESIGN GROUP, LLC DATED AUGUST 13, 2013.

**CENTERLINE PROPOSED 30' ACCESS & UTILITY EASEMENT**

BEGINNING AT A FOUND 8"x8" POST IN THE SOUTHEAST RIGHT-OF-WAY LINE OF US HIGHWAY 79, BEING THE NORTHWEST CORNER OF THE PROPERTY CONVEYED TO CHESTER WAYNE AS RECORDED IN DEED BOOK 132, PAGE 37 IN THE OFFICE OF THE CLERK OF THE COUNTY COURT OF TODD COUNTY, KENTUCKY; THENCE WITH SAID RIGHT-OF-WAY LINE AND THE NORTHWEST PROPERTY LINE OF THE PROPERTY CONVEYED TO ABE J. MILLER, TRUSTEE OF THE ABE J. MILLER AND ESTHER L. MILLER REVOCABLE TRUST AND JOE MILLER, JR. TRUSTEE OF THE JOE MILLER, JR. AND ELLEN D. MILLER REVOCABLE TRUST AS RECORDED IN DEED BOOK 163, PAGE 262 IN THE AFORESAID CLERK'S OFFICE, S 50°55'18" W - 2,059.97' TO A POINT IN THE NORTHEAST RIGHT-OF-WAY LINE OF SNARDON MILL ROAD; THENCE WITH SAID RIGHT-OF-WAY LINE, S 40°27'05" E - 1,350.55' TO A SET 1/2" REBAR CAPPED "PATTERSON PLS 3136" AND THE TRUE POINT OF BEGINNING OF THE CENTERLINE OF THE PROPOSED 30' ACCESS & UTILITY EASEMENT; THENCE WITH SAID CENTERLINE AND TRAVERSING SAID MILLER PROPERTY, N 50°11'19" E - 900.73' TO A SET 1/2" REBAR CAPPED "PATTERSON PLS 3136"; THENCE WITH THE ARC OF A CURVE TO THE RIGHT WITH A RADIUS OF 45.00' AND A CHORD BEARING OF N 85°19'37" E - 51.80' TO A SET 1/2" REBAR CAPPED "PATTERSON PLS 3136"; THENCE WITH THE ARC OF A CURVE TO THE RIGHT WITH A RADIUS OF 45.00' AND A CHORD BEARING OF S 46°41'42" E - 20.00' TO A SET 1/2" REBAR CAPPED "PATTERSON PLS 3136"; THENCE S 33°51'19" E - 66.87' TO A SET 1/2" REBAR CAPPED "PATTERSON PLS 3136"; THENCE WITH THE ARC OF A CURVE TO THE LEFT WITH A RADIUS OF 400.00' AND A CHORD BEARING OF S 44°19'24" E - 145.35' TO A SET 1/2" REBAR CAPPED "PATTERSON PLS 3136"; THENCE N 51°08'50" E - 88.85' TO A SET 1/2" REBAR CAPPED "PATTERSON PLS 3136" AND THE END OF SAID EASEMENT AS PER SURVEY BY MARK E. PATTERSON, PLS #3136 WITH POWER OF DESIGN GROUP, LLC DATED AUGUST 13, 2013.

**CENTERLINE PROPOSED 20' UTILITY EASEMENT**

BEGINNING AT A FOUND 8"x8" POST IN THE SOUTHEAST RIGHT-OF-WAY LINE OF US HIGHWAY 79, BEING THE NORTHWEST CORNER OF THE PROPERTY CONVEYED TO CHESTER WAYNE AS RECORDED IN DEED BOOK 132, PAGE 37 IN THE OFFICE OF THE CLERK OF THE COUNTY COURT OF TODD COUNTY, KENTUCKY; THENCE WITH SAID RIGHT-OF-WAY LINE AND THE NORTHWEST PROPERTY LINE OF THE PROPERTY CONVEYED TO ABE J. MILLER, TRUSTEE OF THE ABE J. MILLER AND ESTHER L. MILLER REVOCABLE TRUST AND JOE MILLER, JR. TRUSTEE OF THE JOE MILLER, JR. AND ELLEN D. MILLER REVOCABLE TRUST AS RECORDED IN DEED BOOK 163, PAGE 262 IN THE AFORESAID CLERK'S OFFICE, S 50°55'18" W - 2,059.97' TO A POINT IN THE NORTHEAST RIGHT-OF-WAY LINE OF SNARDON MILL ROAD; THENCE WITH SAID RIGHT-OF-WAY LINE, S 40°27'05" E - 1,350.55' TO A SET 1/2" REBAR CAPPED "PATTERSON PLS 3136"; THENCE TRAVERSING SAID MILLER PROPERTY, N 50°11'19" E - 900.73' TO A SET 1/2" REBAR CAPPED "PATTERSON PLS 3136"; THENCE WITH THE ARC OF A CURVE TO THE RIGHT WITH A RADIUS OF 45.00' AND A CHORD BEARING OF N 85°19'37" E - 51.80' TO A SET 1/2" REBAR CAPPED "PATTERSON PLS 3136"; THENCE WITH THE ARC OF A CURVE TO THE RIGHT WITH A RADIUS OF 45.00' AND A CHORD BEARING OF S 46°41'42" E - 20.00' TO A SET 1/2" REBAR CAPPED "PATTERSON PLS 3136"; THENCE S 33°51'19" E - 66.87' TO A SET 1/2" REBAR CAPPED "PATTERSON PLS 3136"; THENCE WITH THE ARC OF A CURVE TO THE LEFT WITH A RADIUS OF 400.00' AND A CHORD BEARING OF S 44°19'24" E - 145.35' TO A SET 1/2" REBAR CAPPED "PATTERSON PLS 3136"; THENCE N 51°08'50" E - 88.85' TO A SET 1/2" REBAR CAPPED "PATTERSON PLS 3136" AND THE END OF SAID EASEMENT AS PER SURVEY BY MARK E. PATTERSON, PLS #3136 WITH POWER OF DESIGN GROUP, LLC DATED AUGUST 13, 2013.

**TEMPORARY BENCHMARK**

NORTHING: 3415319.47  
EASTING: 4520754.88  
ELEVATION: 586.48'  
LOCATION: BEING A SET 1/2" REBAR LOCATED IN THE EAST CORNER OF THE PROPOSED LEASE AREA.

**FAA COORDINATE POINT**

NAD 83  
LATITUDE: 36° 41' 40.67"  
LONGITUDE: 87° 06' 57.94"  
NAVD 88  
ELEVATION: 586' AMSL  
NORTHING: 3415327.00  
EASTING: 4520684.66

**FLOOD NOTE**

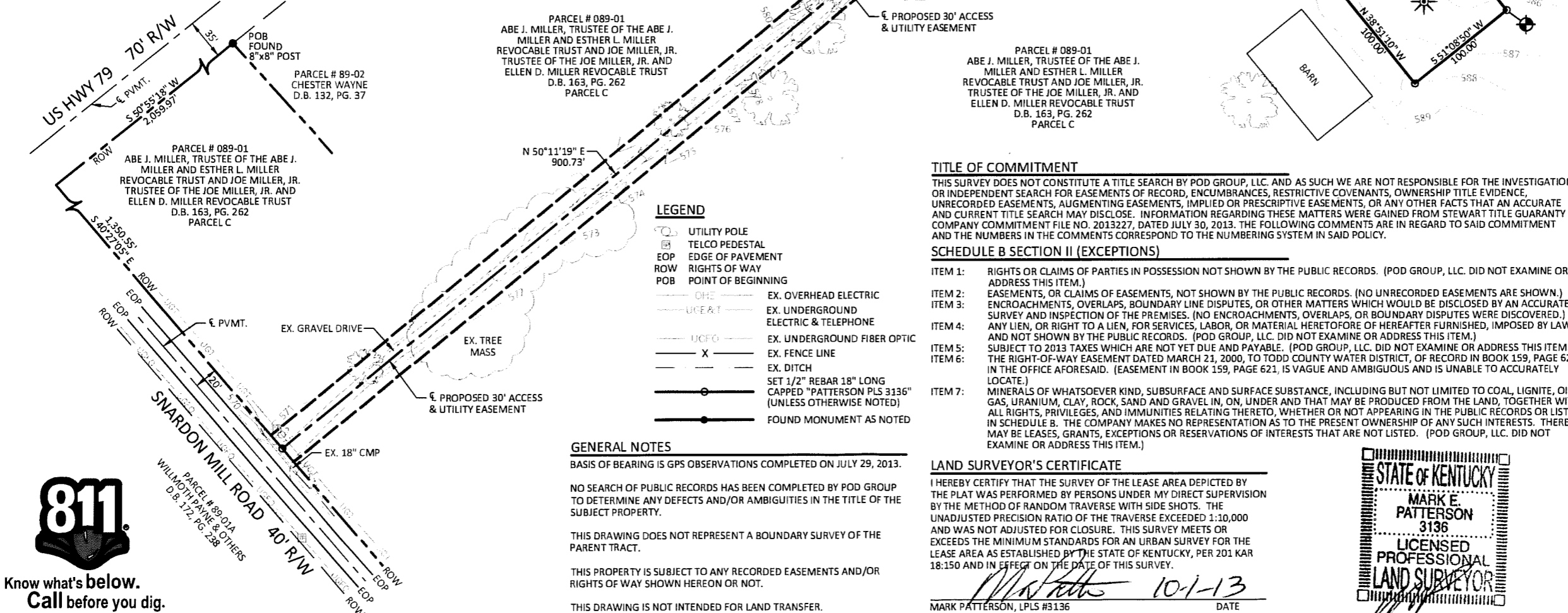
THE PROPOSED LEASE AREA SHOWN HEREON IS NOT LOCATED IN A 100-YEAR FLOOD PLAIN PER FLOOD HAZARD BOUNDARY MAP, COMMUNITY-PANEL NUMBER 21219C0300C, DATED JULY 22, 2010. THE PROPOSED LEASE AREA IS LOCATED IN ZONE X.

**SITE INFORMATION**

TAX PARCEL NUMBER: 089-01  
PROPERTY OWNER: ABE J. MILLER, TRUSTEE OF THE ABE J. MILLER AND ESTHER L. MILLER REVOCABLE TRUST  
4115 PENCHEM ROAD, GUTHRIE, KY 42234  
JOE MILLER, JR. TRUSTEE OF THE JOE MILLER, JR. AND ELLEN D. MILLER REVOCABLE TRUST  
4195 PENCHEM ROAD, GUTHRIE, KY 42234  
SOURCE OF TITLE: D.B. 163, PG. 262 PARCEL C



BASED ON KENTUCKY STATE PLANE SINGLE ZONE AND DETERMINED BY GPS OBSERVATIONS COMPLETED ON JULY 29, 2013



**LEGEND**

- UTILITY POLE
- TELCO PEDESTAL
- EOP EDGE OF PAVEMENT
- ROW RIGHTS OF WAY
- POB POINT OF BEGINNING
- OHE EX. OVERHEAD ELECTRIC
- UC&T EX. UNDERGROUND ELECTRIC & TELEPHONE
- UCFO EX. UNDERGROUND FIBER OPTIC
- X EX. FENCE LINE
- EX. DITCH
- SET 1/2" REBAR 18" LONG CAPPED "PATTERSON PLS 3136" (UNLESS OTHERWISE NOTED)
- FOUND MONUMENT AS NOTED

**GENERAL NOTES**

- BASIS OF BEARING IS GPS OBSERVATIONS COMPLETED ON JULY 29, 2013.
- NO SEARCH OF PUBLIC RECORDS HAS BEEN COMPLETED BY POD GROUP TO DETERMINE ANY DEFECTS AND/OR AMBIGUITIES IN THE TITLE OF THE SUBJECT PROPERTY.
- THIS DRAWING DOES NOT REPRESENT A BOUNDARY SURVEY OF THE PARENT TRACT.
- THIS PROPERTY IS SUBJECT TO ANY RECORDED EASEMENTS AND/OR RIGHTS OF WAY SHOWN HEREON OR NOT.
- THIS DRAWING IS NOT INTENDED FOR LAND TRANSFER.

**TITLE OF COMMITMENT**

THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY POD GROUP, LLC. AND AS SUCH WE ARE NOT RESPONSIBLE FOR THE INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, UNRECORDED EASEMENTS, AUGMENTING EASEMENTS, IMPLIED OR PRESCRIPTIVE EASEMENTS, OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE. INFORMATION REGARDING THESE MATTERS WERE GAINED FROM STEWART TITLE GUARANTY COMPANY COMMITMENT FILE NO. 2013227, DATED JULY 30, 2013. THE FOLLOWING COMMENTS ARE IN REGARD TO SAID COMMITMENT AND THE NUMBERS IN THE COMMENTS CORRESPOND TO THE NUMBERING SYSTEM IN SAID POLICY.

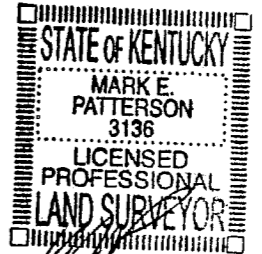
**SCHEDULE B SECTION II (EXCEPTIONS)**

- ITEM 1: RIGHTS OR CLAIMS OF PARTIES IN POSSESSION NOT SHOWN BY THE PUBLIC RECORDS. (POD GROUP, LLC. DID NOT EXAMINE OR ADDRESS THIS ITEM.)
- ITEM 2: EASEMENTS, OR CLAIMS OF EASEMENTS, NOT SHOWN BY THE PUBLIC RECORDS. (NO UNRECORDED EASEMENTS ARE SHOWN.)
- ITEM 3: ENCROACHMENTS, OVERLAPS, BOUNDARY LINE DISPUTES, OR OTHER MATTERS WHICH WOULD BE DISCLOSED BY AN ACCURATE SURVEY AND INSPECTION OF THE PREMISES. (NO ENCROACHMENTS, OVERLAPS, OR BOUNDARY DISPUTES WERE DISCOVERED.)
- ITEM 4: ANY LIEN, OR RIGHT TO A LIEN, FOR SERVICES, LABOR, OR MATERIAL HERETOFORE OR HEREAFTER FURNISHED, IMPOSED BY LAW AND NOT SHOWN BY THE PUBLIC RECORDS. (POD GROUP, LLC. DID NOT EXAMINE OR ADDRESS THIS ITEM.)
- ITEM 5: SUBJECT TO 2013 TAXES WHICH ARE NOT YET DUE AND PAYABLE. (POD GROUP, LLC. DID NOT EXAMINE OR ADDRESS THIS ITEM.)
- ITEM 6: THE RIGHT-OF-WAY EASEMENT DATED MARCH 21, 2000, TO TODD COUNTY WATER DISTRICT, OF RECORD IN BOOK 159, PAGE 621, IN THE OFFICE AFORESAID. (EASEMENT IN BOOK 159, PAGE 621, IS VAGUE AND AMBIGUOUS AND IS UNABLE TO ACCURATELY LOCATE.)
- ITEM 7: MINERALS OF WHATSOEVER KIND, SUBSURFACE AND SURFACE SUBSTANCE, INCLUDING BUT NOT LIMITED TO COAL, LIGNITE, OIL, GAS, URANIUM, CLAY, ROCK, SAND AND GRAVEL IN, ON, UNDER AND THAT MAY BE PRODUCED FROM THE LAND, TOGETHER WITH ALL RIGHTS, PRIVILEGES, AND IMMUNITIES RELATING THERETO, WHETHER OR NOT APPEARING IN THE PUBLIC RECORDS OR LISTED IN SCHEDULE B. THE COMPANY MAKES NO REPRESENTATION AS TO THE PRESENT OWNERSHIP OF ANY SUCH INTERESTS. THERE MAY BE LEASES, GRANTS, EXCEPTIONS OR RESERVATIONS OF INTERESTS THAT ARE NOT LISTED. (POD GROUP, LLC. DID NOT EXAMINE OR ADDRESS THIS ITEM.)

**LAND SURVEYOR'S CERTIFICATE**

I HEREBY CERTIFY THAT THE SURVEY OF THE LEASE AREA DEPICTED BY THE PLAT WAS PERFORMED BY PERSONS UNDER MY DIRECT SUPERVISION BY THE METHOD OF RANDOM TRAVERSE WITH SIDE SHOTS. THE UNADJUSTED PRECISION RATIO OF THE TRAVERSE EXCEEDED 1:10,000 AND WAS NOT ADJUSTED FOR CLOSURE. THIS SURVEY MEETS OR EXCEEDS THE MINIMUM STANDARDS FOR AN URBAN SURVEY FOR THE LEASE AREA AS ESTABLISHED BY THE STATE OF KENTUCKY, PER 201 KAR 18:150 AND IN EFFECT ON THE DATE OF THIS SURVEY.

MARK PATTERSON, LPLS #3136 DATE 10-1-13



**SURVEY**

REV.	DATE	DESCRIPTION
1	09.30.13	ISSUED AS FINAL

**SITE INFORMATION:**

**ALLENS TOWER**

238 SNARDON MILL ROAD  
GUTHRIE, KY 42234

**SITE NUMBER:**

KYEVU3323

POD NUMBER: 13-0761

DRAWN BY: DSR  
CHECKED BY: MEP  
DATE: 08.14.13

**SHEET TITLE:**

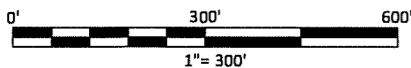
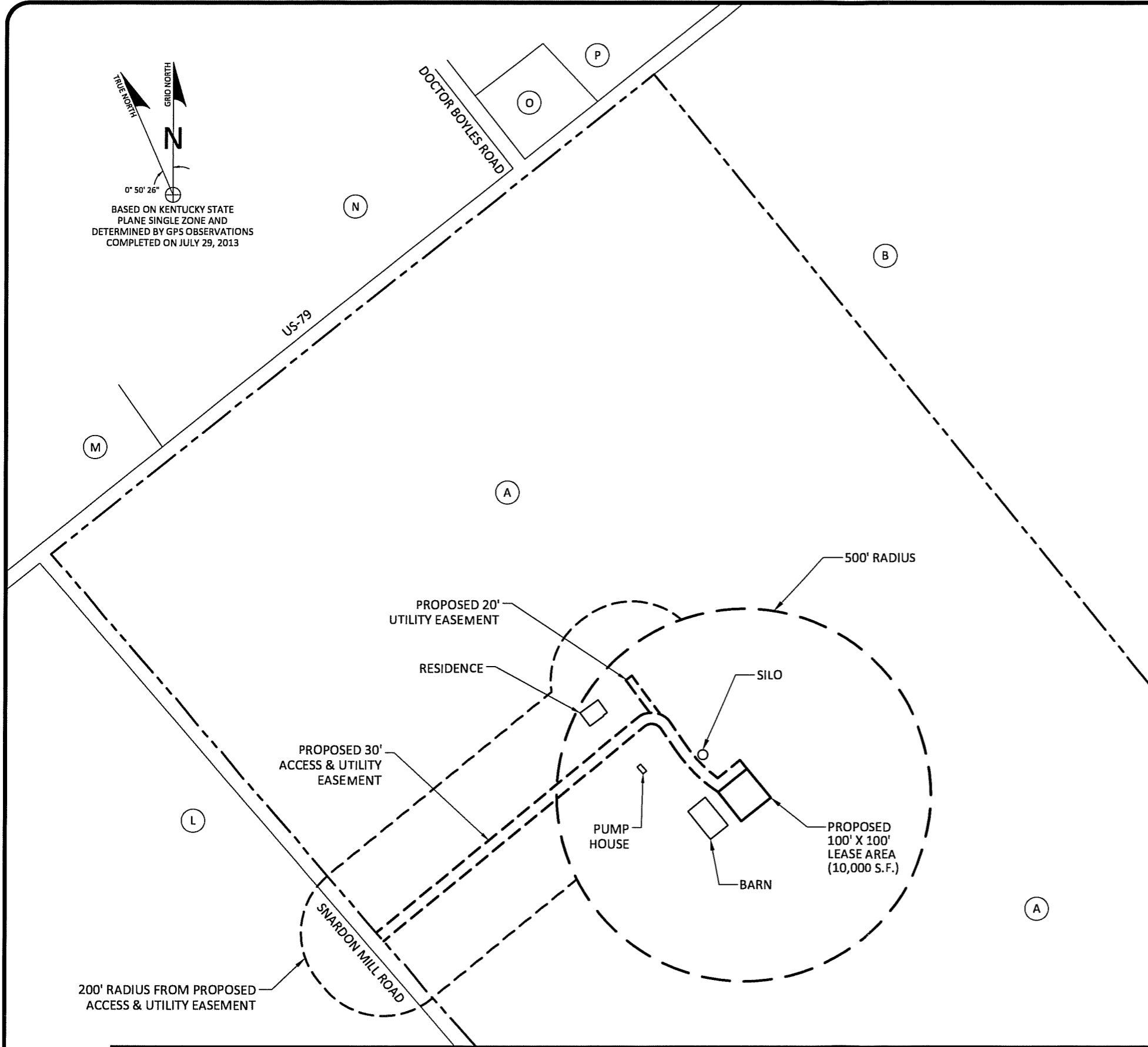
**SITE SURVEY**

**SHEET NUMBER:**

**B-1**



Know what's below.  
Call before you dig.



(A) PARCEL # 089-01  
 ABE J. MILLER, TRUSTEE OF  
 THE ABE J. MILLER AND ESTHER L.  
 MILLER REVOCABLE TRUST AND  
 JOE MILLER, JR., TRUSTEE OF  
 THE JOE MILLER, JR., AND ELLEN  
 D. MILLER REVOCABLE TRUST  
 7377 BRYANT RD  
 FREDERICKTOWN, OH 43019  
 D.B. 163, PG. 262  
 NO ZONING

(B) PARCEL # 089-02  
 WAYNE CHESTER  
 207 MARK DR  
 HOPKINSVILLE, KY 42240  
 D.B. 132, PG. 37  
 NO ZONING

(L) PARCEL # 089-01A  
 WILMOTH PAYNE AND OTHERS  
 338 ALLEN COVE DR  
 SMYRNA, TN 37167  
 D.B. 172, PG. 238  
 NO ZONING

(M) PARCEL # 074-04  
 TOM CAIN  
 721 LAMBERT DR  
 NASHVILLE, TN 37220  
 D.B. 143, PG. 113  
 NO ZONING

(N) PARCEL # 074-03B  
 GLADYS CAIN  
 721 LAMBERT DR  
 NASHVILLE, TN 37220  
 D.B. 143, PG. 113  
 NO ZONING

(D) PARCEL # 088-06C  
 JOHN BRICKEY STOOKSBURY  
 4345 RUSSELLVILLE RD  
 ALLENSVILLE, KY 42204  
 D.B. 167, PG. 108  
 NO ZONING

(P) PARCEL # 088-06  
 JOHN BRICKEY STOOKSBURY  
 4345 RUSSELLVILLE RD  
 ALLENSVILLE, KY 42204  
 D.B. 164, PG. 748  
 NO ZONING

MATCH LINE (SEE SHEET B-4)

MATCH LINE (SEE SHEET B-3)

**GENERAL NOTE:**

- ALL INFORMATION SHOWN HEREON WAS OBTAINED FROM THE RECORDS OF THE TODD COUNTY KENTUCKY PROPERTY VALUATION ADMINISTRATION OFFICE ON 7.29.13 AND VERIFIED VIA ONLINE RECORDS 12.12.13. THE PROPERTY VALUATION ADMINISTRATION RECORDS MAY NOT REFLECT THE CURRENT OWNERS AND ADDRESSES DUE TO THE INACCURACIES AND TIME LAPSE IN UPDATING FILES. THE COUNTY PROPERTY VALUATION ADMINISTRATION EXPRESSLY DISCLAIMS ANY WARRANTY FOR THE CONTENT AND ANY ERRORS CONTAINED IN THEIR FILES
- THIS MAP IS FOR GENERAL INFORMATIONAL PURPOSES ONLY AND IS NOT A BOUNDARY SURVEY



**SURVEY**

REV.	DATE	DESCRIPTION
A	08.28.13	REV'D EASEMENT RADIUS
B	12.12.13	VERIFIED PVA

**SITE INFORMATION:**

**ALLENS TOWER**

238 SNARDON MILL ROAD  
GUTHRIE, KY 42234  
COUNTY: TODD

**SITE NUMBER:**

**KYEVU3323**

POD NUMBER: 13-0762

DRAWN BY: CSA  
CHECKED BY: MEP  
DATE: 08.21.13

**SHEET TITLE:**

**500' RADIUS &  
ABUTTER'S MAP**

**SHEET NUMBER:**

**B-2**



**SURVEY**

REV.	DATE	DESCRIPTION
A	08.28.13	REV'D EASEMENT RADIUS
B	12.12.13	VERIFIED PVA

SITE INFORMATION:

**ALLENS TOWER**

238 SNARDDN MILL ROAD  
GUTHRIE, KY 42234  
COUNTY: TODD

SITE NUMBER:  
**KYEVU3323**

POD NUMBER: 13-0762

DRAWN BY: CSA  
CHECKED BY: MEP  
DATE: 08.21.13

SHEET TITLE:

**500' RADIUS &  
ABUTTER'S MAP**

SHEET NUMBER:

**B-3**

(A) PARCEL # 089-01  
ABE J. MILLER, TRUSTEE OF  
THE ABE J. MILLER AND ESTHER L.  
MILLER REVOCABLE TRUST AND  
JOE MILLER, JR., TRUSTEE OF  
THE JOE MILLER, JR., AND ELLEN D.  
MILLER REVOCABLE TRUST  
7377 BRYANT RD  
FREDERICKTOWN, OH 43019  
D.B. 163, PG. 262  
NO ZONING

(G) PARCEL # 089-07A  
MICHAEL BROOKS ROBERTSON  
179 HIGHLAND RD  
GUTHRIE, KY 42234  
D.B. 171, PG. 588  
NO ZONING

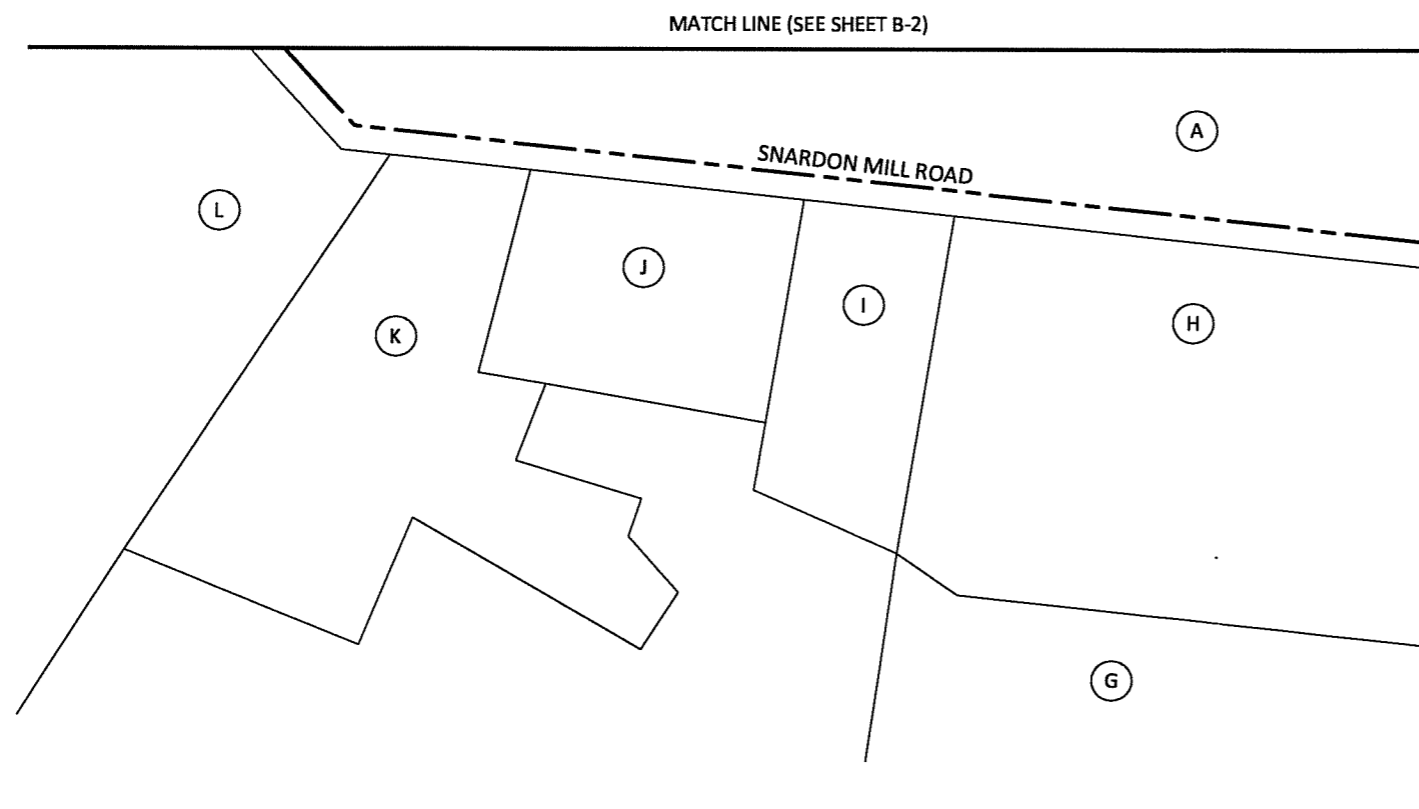
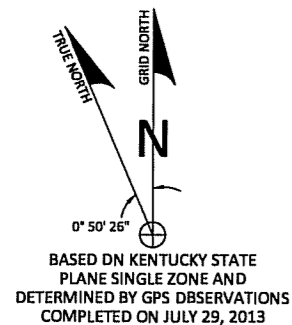
(H) PARCEL # 089-08D  
GLEN STANFORD ROBERTSON TRUST  
1051 SNARDON MILL RD  
ALLENSVILLE, KY 42204  
D.B. 192, PG. 402  
NO ZONING

(I) PARCEL # 089-08B  
STUART AND MANDY ERVIN  
511 SNARDON MILL RD  
ALLENSVILLE, KY 42204  
D.B. 189, PG. 80  
NO ZONING

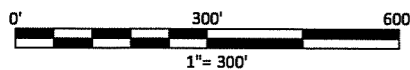
(J) PARCEL # 089-08A  
MICHAEL A AND KUMIKO GARDNER  
453 SNARDON MILL RD  
ALLENSVILLE, KY 42204  
D.B. 173, PG. 335  
NO ZONING

(K) PARCEL # 089-08C  
JOHN AND BRIDGET COOTS  
395 SNARDON MILL RD  
ALLENSVILLE, KY 42204  
D.B. 160, PG. 214  
NO ZONING

(L) PARCEL # 089-01A  
WILMOTH PAYNE AND OTHERS  
338 ALLEN COVE DR  
SMYRNA, TN 37167  
D.B. 172, PG. 238  
NO ZONING

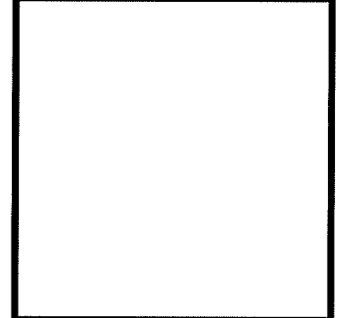


MATCH LINE (SEE SHEET B-4)



**GENERAL NOTE:**

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- THIS MAP IS FOR GENERAL INFORMATIONAL PURPOSES ONLY AND IS NOT A BOUNDARY SURVEY



**SURVEY**

REV.	DATE	DESCRIPTION
A	08.28.13	REV'D EASEMENT RADIUS
B	12.12.13	VERIFIED PVA

SITE INFORMATION:  
**ALLENS TOWER**  
238 SNARDON MILL RDAD  
GUTHRIE, KY 42234  
COUNTY: TODD

SITE NUMBER:  
**KYEVU3323**

POD NUMBER: 13-0762

DRAWN BY: CSA  
CHECKED BY: MEP  
DATE: 08.21.13

SHEET TITLE:

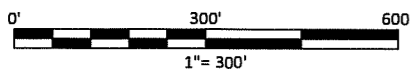
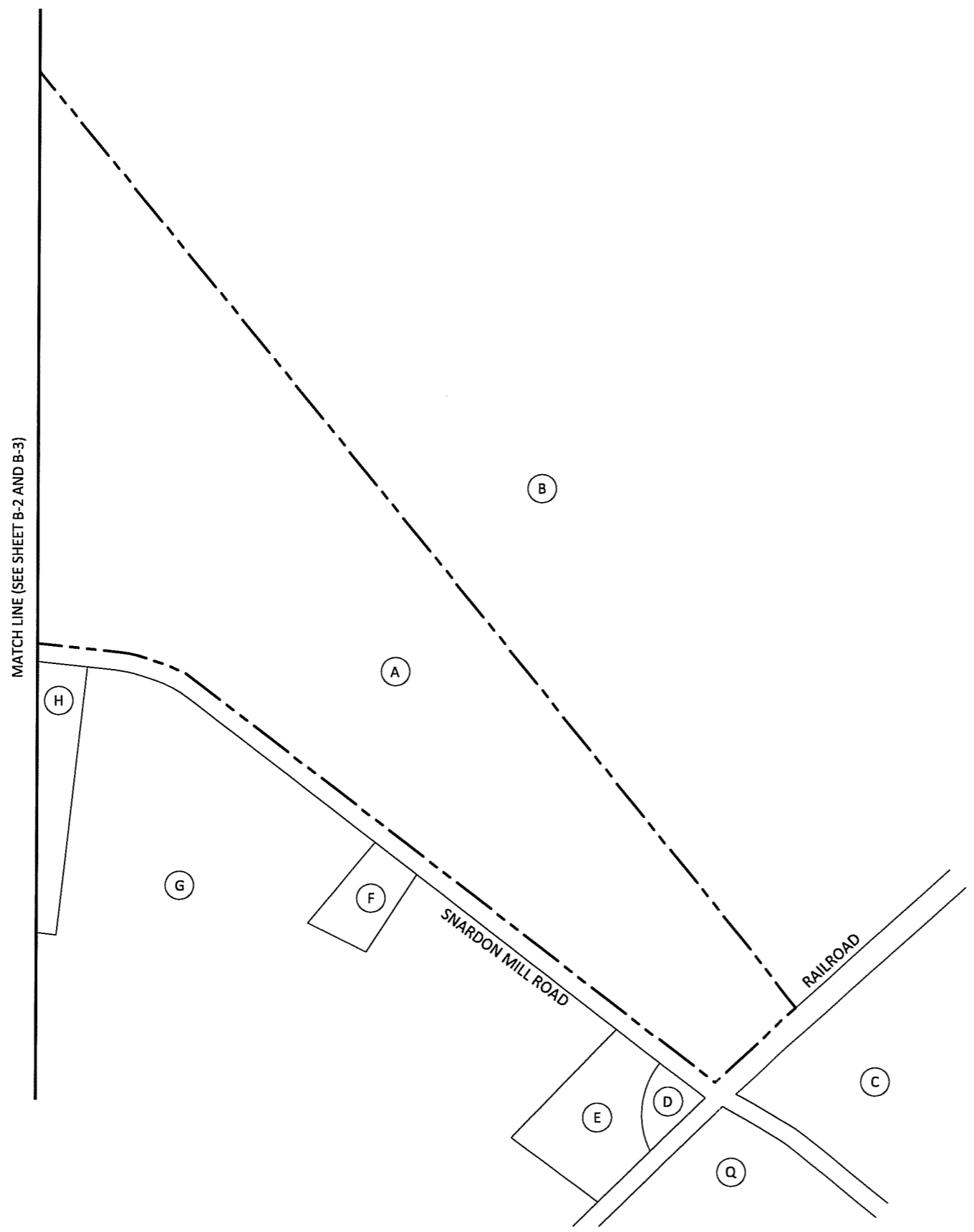
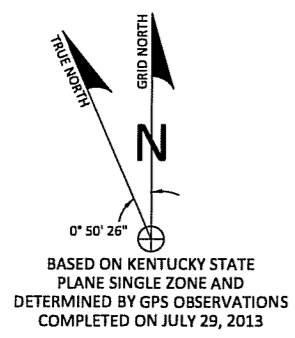
**500' RADIUS &  
ABUTTER'S MAP**

SHEET NUMBER:  
**B-4**

- (A) PARCEL # 089-01  
ABE J. MILLER, TRUSTEE OF  
THE ABE J. MILLER AND ESTHER L.  
MILLER REVOCABLE TRUST AND  
JOE MILLER, JR., TRUSTEE OF  
THE JOE MILLER, JR., AND ELLEN  
D. MILLER REVOCABLE TRUST  
7377 BRYANT RD  
FREDERICKTOWN, OH 43019  
D.B. 163, PG. 262  
NO ZONING
- (B) PARCEL # 089-02  
WAYNE CHESTER  
207 MARK DR  
HOPKINSVILLE, KY 42240  
D.B. 132, PG. 37  
NO ZONING
- (C) PARCEL # 089-03F  
GLEN STANFORD ROBERTSON TRUST  
1051 SNARDON MILL RD  
ALLENSVILLE, KY 42204  
D.B. 192, PG. 402  
NO ZONING
- (D) PARCEL # 089-06  
ROZA E WILLIAMS  
1035 SNARDON MILL RD  
ALLENSVILLE, KY 42204  
D.B. 82, PG. 10  
NO ZONING
- (E) PARCEL # 089-06A  
JERRY W AND SYBLE V WHITTAKER  
1015 SNARDON MILL RD  
ALLENSVILLE, KY 42204  
D.B. 183, PG. 483  
NO ZONING
- (F) PARCEL # 089-07  
JARED AND CASEY ROBERTSON  
869 SNARDON MILL RD  
ALLENSVILLE, KY 42204  
D.B. 190, PG. 532  
NO ZONING
- (G) PARCEL # 089-07A  
MICHAEL BROOKS ROBERTSON  
179 HIGHLAND RD  
GUTHRIE, KY 42234  
D.B. 171, PG. 588  
NO ZONING
- (H) PARCEL # 089-08D  
GLEN STANFORD ROBERTSON  
1051 SNARDON MILL RD  
ALLENSVILLE, KY 42204  
D.B. 192, PG. 402  
NO ZONING
- (Q) PARCEL # 089-10B  
GLEN STANFORD ROBERTSON TRUST  
1051 SNARDON MILL RD  
ALLENSVILLE, KY 42204  
D.B. 192, PG. 340  
NO ZONING

**GENERAL NOTE:**

- ALL INFORMATION SHOWN HEREON WAS OBTAINED FROM THE RECORDS OF THE TODD COUNTY KENTUCKY PROPERTY VALUATION ADMINISTRATION OFFICE ON 7.29.13 AND VERIFIED VIA ONLINE RECORDS 12.12.13. THE PRDPERTY VALUATION ADMINISTRATION RECORDS MAY NOT REFLECT THE CURRENT OWNERS AND ADDRESSES DUE TO THE INACCURACIES AND TIME LAPSE IN UPDATING FILES. THE COUNTY PROPERTY VALUATION ADMINISTRATION EXPRESSLY DISCLAIMS ANY WARRANTY FOR THE CONTENT AND ANY ERRORS CONTAINED IN THEIR FILES
- THIS MAP IS FOR GENERAL INFORMATIONAL PURPOSES ONLY AND IS NOT A BOUNDARY SURVEY



PARCEL # 089-01  
 ABE J. MILLER, TRUSTEE OF THE ABE J. MILLER AND  
 ESTHER L. MILLER REVOCABLE TRUST AND JOE  
 MILLER, JR. TRUSTEE OF THE JOE MILLER, JR. AND  
 ELLEN D. MILLER REVOCABLE TRUST  
 D.B. 163, PG. 262  
 PARCEL C

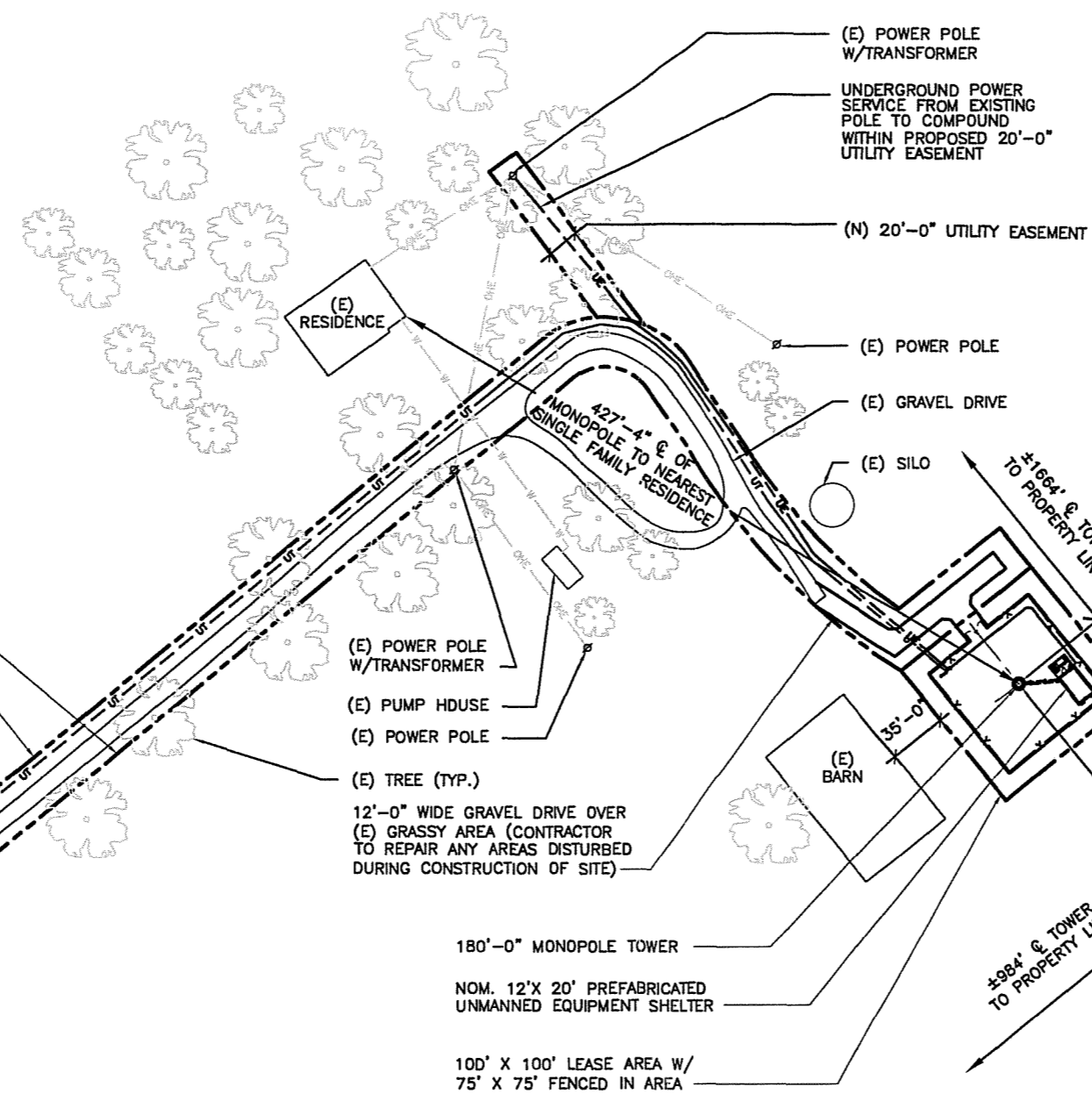
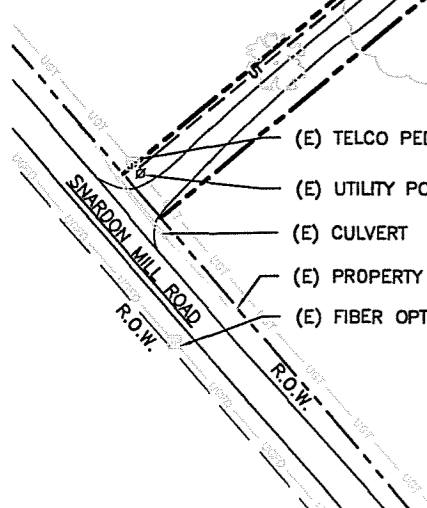
(N) 30'-0" WIDE ACCESS &  
 UTILITY EASEMENT ALONG  
 (E) GRAVEL DRIVE

UNDERGROUND TELCO  
 SERVICE FROM EXISTING  
 TELCO PEDESTAL TO  
 COMPOUND WITHIN  
 PROPOSED 30'-0"  
 UTILITY EASEMENT

(E) GRAVEL DRIVE  
 (E) TREE MASS

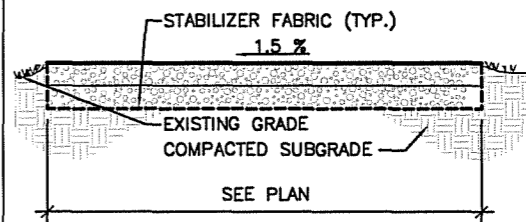
(E) TELCO PEDESTAL  
 (E) UTILITY POLE (TYP.)  
 (E) CULVERT  
 (E) PROPERTY LINE  
 (E) FIBER OPTIC PEDESTAL

PARCEL # 089-01  
 ABE J. MILLER, TRUSTEE OF THE ABE J. MILLER AND  
 ESTHER L. MILLER REVOCABLE TRUST AND JOE  
 MILLER, JR. TRUSTEE OF THE JOE MILLER, JR. AND  
 ELLEN D. MILLER REVOCABLE TRUST  
 D.B. 163, PG. 262  
 PARCEL C



**LEASE AREA**  
 BASE COURSE: 4" MIN.  
 OF COMPACTED CA-6  
 COARSE AGGREGATE.  
 TOP COURSE: 4" MIN.  
 OF COMPACTED CA-7  
 COARSE AGGREGATE.

**ACCESS DRIVE**  
 BASE COURSE: 6" MIN.  
 OF COMPACTED CA-3  
 COARSE AGGREGATE.  
 TOP COURSE: 3" MIN.  
 OF COMPACTED CA-6  
 COARSE AGGREGATE.



**GRAVEL PAVING DETAIL**  
 SCALE: 1/2" = 1'-0" 2

**GENERAL NOTES:**  
 1. ELEVATIONS ARE ABOVE MEAN SEA LEVEL.  
 2. DO NOT SCALE DIMENSIONS FROM THIS DRAWING.  
 3. ALL EXISTING RECORDED EASEMENTS ARE INDICATED ON THIS DRAWING TO THE BEST OF THE ARCHITECT'S KNOWLEDGE PER VISUAL INSPECTION, SURVEY DRAWINGS, AND INFORMATION RECEIVED FROM AT&T.

**BENCHMARK/PROJECT DATUM**  
 LOCATION: BEING A SET 5/8" REBAR LOCATED IN THE EAST CORNER OF THE PROPOSED LEASE AREA. (SEE SURVEY FOR LOCATION)  
 BENCHMARK ELEVATION: 586.48' A.M.S.L.  
 LATITUDE: 36° 41' 40.67" N  
 LONGITUDE: -87° 06' 57.94" W  
 PROJECT DATUM: 586' A.M.S.L. (T/CAISSON = +0.00)

**SITE PLAN**  
 SCALE: 1" = 100'-0" 1

LEGEND		
EXISTING		NEW
— SAS —	SANITARY SEWER	— SAS —
— STS —	STORM SEWER	— STS —
— W —	WATER MAIN	— W —
⊕	SANITARY MANHOLE ELEVATIONS	⊕
⊕	STORM STRUCTURE ELEVATIONS	⊕
---	PROPERTY LINE & R.O.W.	---
---	SURFACE DRAINAGE	---
☆	LIGHT STANDARD	☆
○	STREET LIGHT	○
672.75	SPOT ELEVATION	672.75
672	CONTOUR	672
672	CONTOUR TO BE REGRADED	672
-G-G-	GAS MAIN	-G-G-
⊙	MANHOLE	⊙
⊞	CATCH BASIN	⊞
⊞	FIRE HYDRANT	⊞
---	EASEMENT LINE	---
---	FENCE	---
---UE/UT---	BURIED UTILITY LINE	---UE/UT---
⊕	UTILITY POLE	⊕
— OHE —	OVERHEAD UTILITY LINE	— OHE —
	BUILDING	

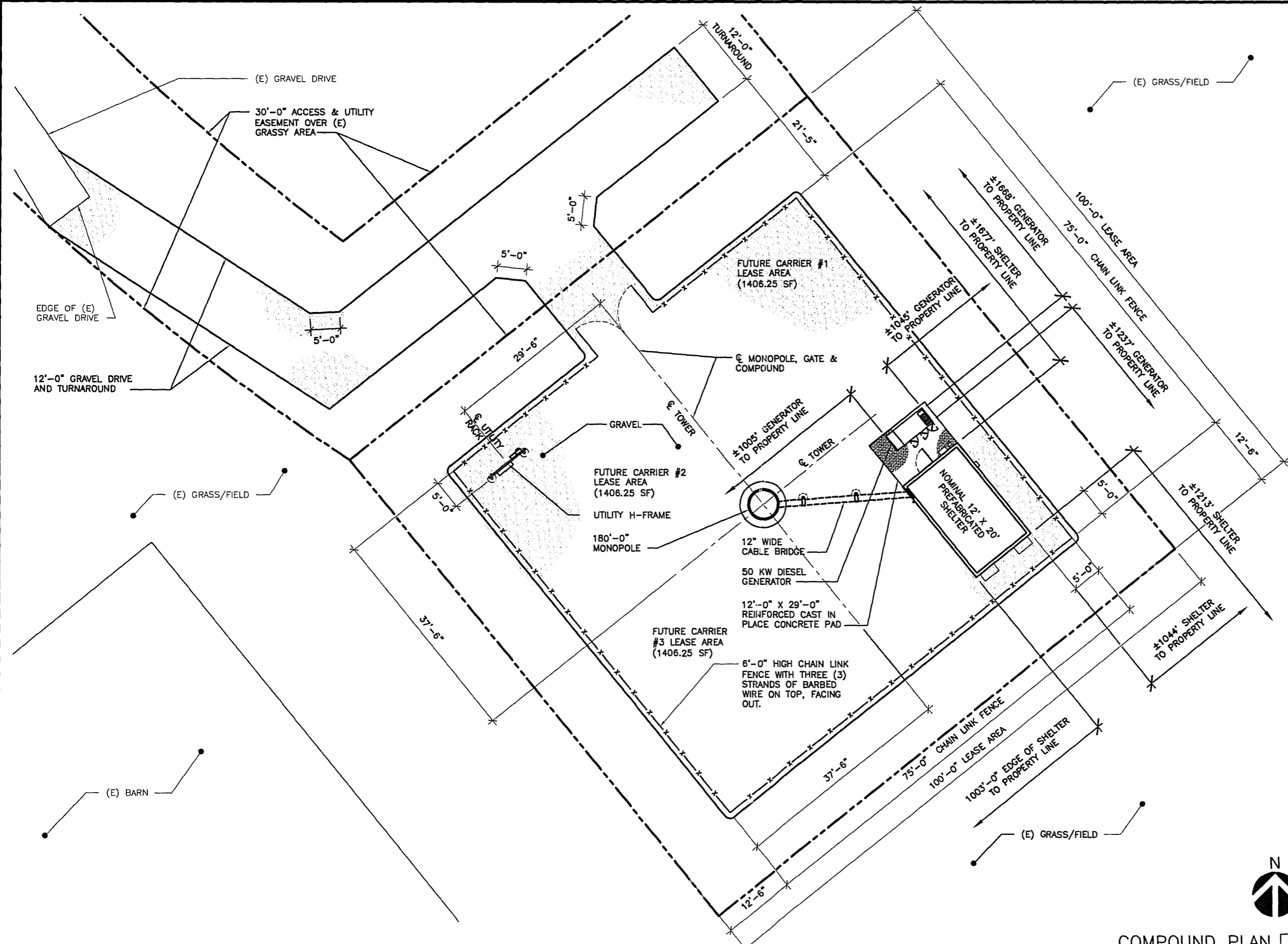
FMHC DESIGN, INC  
 ARCHITECTURE/TELECOMMUNICATIONS  
 1700 SHERWIN AVENUE  
 DES PLAINES, IL 60018  
 TEL: 773-380-3800  
 FAX: 773-693-0850

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 ALL RIGHTS RESERVED, 2013

DRAWN BY : NL  
 APPROVED BY : AJA  
 12/18/13 REISSUED FOR ZONING  
 08/30/13 ISSUED FOR ZONING

**SITE# KYEVU3323**  
**ALLENS TOWER**  
 238 SWARDON MILL ROAD  
 GUTHRIE, KY 42234  
 TODD COUNTY

SHEET TITLE  
**SITE PLAN**  
 SHEET NUMBER  
**A1**  
 PROJECT NUMBER : 8207

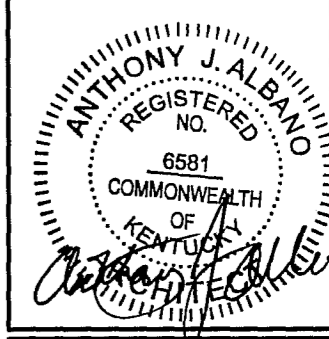


COMPOUND PLAN  
SCALE: 1/16" = 1'-0"



FMHC DESIGN, INC  
ARCHITECTURE/TELECOMMUNICATIONS  
1700 SHERWIN AVENUE  
DES PLAINES, IL 60018  
TEL: 773-380-3800  
FAX: 773-693-0850

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ALL RIGHTS RESERVED, 2013



DRAWN BY : NL  
APPROVED BY : AJA


12/18/13 ISSUED FOR ZONING  
08/30/13 ISSUED FOR ZONING

SITE# KYEVU3323  
ALLENS TOWER  
238 SNARDON MILL ROAD  
GUTHRIE, KY 42234  
TOOD COUNTY

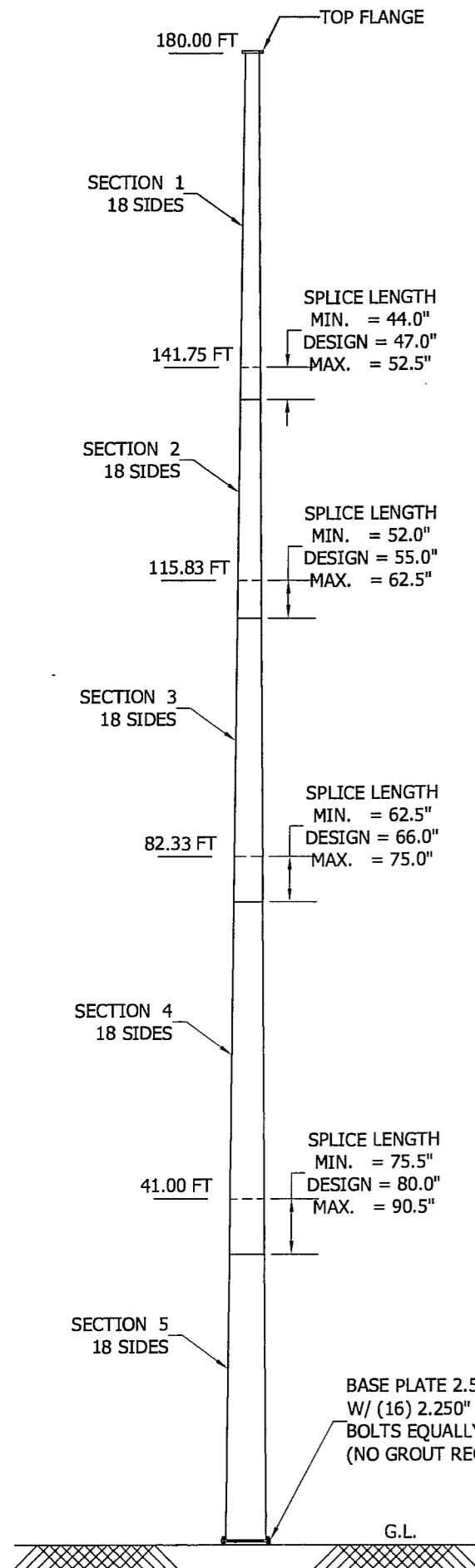
SHEET TITLE  
COMPOUND PLAN

SHEET NUMBER  
**A2**  
PROJECT NUMBER : 8207





**EXHIBIT C**  
**TOWER AND FOUNDATION DESIGN**



DESIGN LOAD		
DESIGN WIND LOAD PER ANSI/TIA-222-G USING THE FOLLOWING DESIGN CRITERIA: BASIC WIND SPEED (NO ICE): 90 MPH (115 MPH ULTIMATE WIND SPEED PER ASCE 7-10) BASIC WIND SPEED (W/ ICE): 30 MPH DESIGN ICE THICKNESS: 0.75" STRUCTURE CLASS: II EXPOSURE CATEGORY: C TOPOGRAPHIC CATEGORY: 1 EARTHQUAKE SPECTRAL RESPONSE ACCELERATION, S <sub>s</sub> : 0.54 THIS POLE IS DESIGNED TO SUPPORT THE FOLLOWING LOADS:		
ELEVATION (FT)	ANTENNA LOAD	LINE SIZE
180.0	105 SQ. FT. EPA LOADING (NO ICE) 176.2 SQ. FT. EPA LOADING (W/ ICE)	(18)1-5/8 in.
170.0	105 SQ. FT. EPA LOADING (NO ICE) 175.8 SQ. FT. EPA LOADING (W/ ICE)	(18)1-5/8 in.
160.0	105 SQ. FT. EPA LOADING (NO ICE) 175.4 SQ. FT. EPA LOADING (W/ ICE)	(18)1-5/8 in.
150.0	105 SQ. FT. EPA LOADING (NO ICE) 175 SQ. FT. EPA LOADING (W/ ICE)	(18)1-5/8 in.

SEE STRESS ANALYSIS FOR A COMPLETE LISTING OF ALL LOADS ON STRUCTURE.

MAXIMUM ADJUSTED FACTORED REACTIONS	
DOWNLOAD =	91.5 KIPS
SHEAR =	38.4 KIPS
O.T.M =	5349.4 FT-KIPS

**GENERAL NOTES**

- ROHN PRODUCTS POLE DESIGNS CONFORM TO ANSI/TIA-222-G UNLESS OTHERWISE SPECIFIED UNDER POLE DESIGN LOADING.
- THE DESIGN LOADING CRITERIA INDICATED HAS BEEN PROVIDED TO ROHN. THE DESIGN LOADING CRITERIA HAS BEEN ASSUMED TO BE BASED ON SITE-SPECIFIC DATA IN ACCORDANCE WITH ANSI/TIA-222-G AND MUST BE VERIFIED BY OTHERS PRIOR TO INSTALLATION.
- ANTENNAS AND LINES LISTED IN POLE DESIGN LOADING TABLE ARE PROVIDED BY OTHERS UNLESS OTHERWISE SPECIFIED.
- POLE MEMBER DESIGN DOES NOT INCLUDE STRESSES DUE TO ERECTION SINCE ERECTION EQUIPMENT AND CONDITIONS ARE UNKNOWN. DESIGN ASSUMES COMPETENT AND QUALIFIED PERSONNEL WILL ERECT THE POLE.
- WORK SHALL BE IN ACCORDANCE WITH ANSI/TIA-222-G, "STRUCTURAL STANDARDS FOR STEEL ANTENNA TOWERS AND ANTENNA SUPPORTING STRUCTURES".
- FIELD CONNECTIONS SHALL BE BOLTED. NO FIELD WELDS SHALL BE ALLOWED.
- STRUCTURAL BOLTS SHALL CONFORM TO ASTM A-325, EXCEPT WHERE NOTED
- A NUT LOCKING DEVICE SHALL BE PROVIDED FOR ALL STRUCTURAL BOLTS ON THE POLE.
- STRUCTURAL STEEL AND CONNECTION BOLTS SHALL BE HOT-DIPPED GALVANIZED AFTER FABRICATION, IN ACCORDANCE WITH ANSI/TIA-222-G.
- ALL HIGH STRENGTH BOLTS ARE TO BE TIGHTENED TO A "SNUGTIGHT" CONDITION AS DEFINED IN THE JUNE 23, 2000, AISC "SPECIFICATION FOR STRUCTURAL JOINTS USING ASTM A325 OR A490 BOLTS". NO OTHER MINIMUM BOLT TENSION OR TORQUE VALUES ARE REQUIRED.
- PURCHASER SHALL VERIFY THE INSTALLATION IS IN CONFORMANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS FOR OBSTRUCTION MARKING AND LIGHTING.
- TOLERANCE ON POLE STEEL HEIGHT IS EQUAL TO PLUS 1% OR MINUS 1/2%.
- DESIGN ASSUMES THAT, AS A MINIMUM, MAINTENANCE AND INSPECTION WILL BE PERFORMED OVER THE LIFE OF THE STRUCTURE IN ACCORDANCE WITH ANSI/TIA-222-G.
- DESIGN ASSUMES LEVEL GRADE AT POLE SITE.
- FOUNDATIONS SHALL BE DESIGNED TO SUPPORT THE REACTIONS SHOWN FOR THE CONDITIONS EXISTING AT THE SITE.
- DESIGN ASSUMES ALL PANEL ANTENNAS WITH MOUNTING FRAMES ARE MOUNTED SYMMETRICALLY.
- DESIGN ASSUMES ALL TRANSMISSION LINES ARE ROUTED INTERNALLY.
- POLE SHAFT CONFORMS TO ASTM A572 GRADE 65. POLE BASE PLATE AND TOP PLATE STEEL CONFORMS TO ASTM A572 GRADE 50. POLE ANCHOR BOLTS CONFORM TO ASTM A615 GRADE 75.

SECTION SCHEDULE						
SEC.	LENGTH (FT)	DIAMETER (IN)		WALL THICK (IN)	F <sub>y</sub> (KSI)	WEIGHT (KIPS)
		BOT.	TOP			
1	42.17	29.579	20.000	0.1875	65.0	2.261
2	30.50	35.083	28.154	0.2500	65.0	2.776
3	39.00	42.241	33.381	0.3125	65.0	5.305
4	48.00	51.111	40.207	0.3750	65.0	9.462
5	41.00	58.000	48.686	0.3750	65.0	10.031

FOR POLYGONAL POLES, DIAMETER IS MEASURED ACROSS FLATS

FILE NO. 208715			
REVISIONS			
REV.	DESCRIPTION	DWN	CHK APP
 PO BOX 5999 PEORIA, IL 61601-5999 TOLL FREE 800-727-ROHN			
THIS DRAWING IS THE PROPERTY OF ROHN. IT IS NOT TO BE REPRODUCED, COPIED OR TRACED IN WHOLE OR IN PART WITHOUT OUR WRITTEN CONSENT.			
<b>AMERICAN TOWER CORPORATION</b> <b>180' TAPERED STEEL POLE DESIGN</b>  <b>ALLENS TOWER, KY</b>			
DWN:	CHK'D:	DATE:	
DWG	HA	Dec/05/2013	
ENG'R:	SHEET #:		
HA			
PRJ. ENG'R:	PRJ. MANG'R:		
DWG			
DRAWING NO:	REV:		
208715-01-D1	0		



11/7/13

RE:

Dear Commissioners:

The construction manager for the proposed new communications facility will be Ron Rohr. His contact information is 740-438-9710. Ron Rohr has been involved in the construction of communications facilities for over 17 years, and general construction for over 20 years.

Some of the notable and most recent projects are:

2010 - Present

American Tower Corporation – Construction Manager

- Successfully led the construction team on the 140 site, Southern Ohio Launch while maintaining a respectful and professional demeanor under difficult circumstances.
- Played a key part in the collaborating efforts to build the scope of work, pricing matrix, and close out documentation on several projects.
- Have cultivated a pool of responsible, dependable and quality driven GC's to work on ATC projects throughout the Midwest and Northeast Region.

1990 – 2009

Superior Concepts – Owner

- Contract Project and Construction Manager to multiple wireless carriers. Work included, but not limited to, permitting all the way through to final construction close outs. Also managed several DAS projects in shopping malls and residential areas.
- Equipment operator, cell site super intendant, regional foreman, etc...
- Carpentry, Construction and Consulting

Accreditations and Licenses

OSHA Electrical Safety  
Vallen Safety Knowledge Systems / Fall Protection  
Builders Exchange of Central Ohio / Estimating & Bid Preparation  
Amphenol Wireless Cable Connector Training  
Commscope Connector Training  
Andrew Connector Training  
Current OSHA Safety Training  
Current Haz Com Training  
FAA/FCC Training

Thank you,

A handwritten signature in black ink, appearing to read 'Ron Rohr'.

Ron Rohr  
Construction Manager



1 Fairholm Avenue  
Peoria, IL 61603 USA  
Phone 309-566-3000  
FAX 309-566-3079

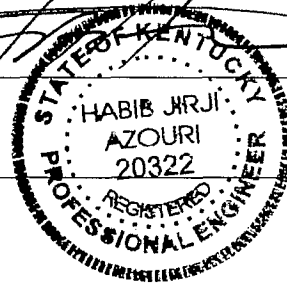
PURCHASER: AMERICAN TOWER CORPORATION  
NAME OF PROJECT: ALLENS TOWER KY 282239, TODD COUNTY, KENTUCKY  
180 FT TAPERED STEEL POLE  
FILE NUMBER: 208715  
DRAWING NUMBER: 208715-01-D1, 208715-01-F1, B010356R10 AND A810214R8

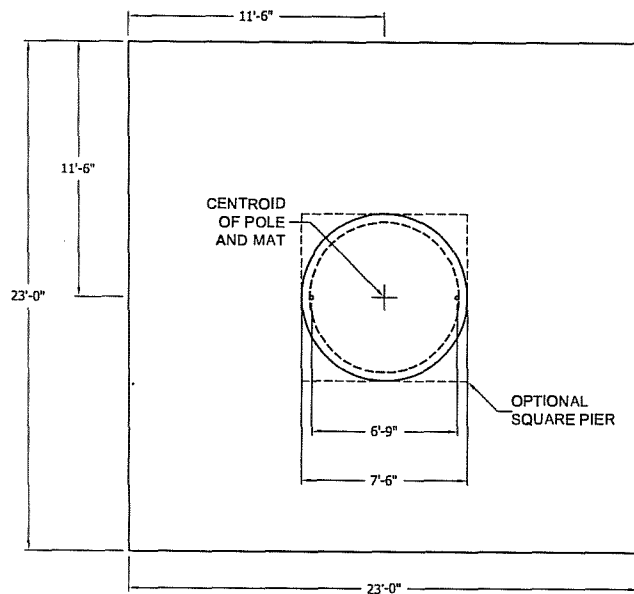
I CERTIFY THAT THE ATTACHED DRAWING AND CALCULATIONS WERE PREPARED UNDER MY SUPERVISION IN ACCORDANCE WITH THE LOADING CRITERIA SPECIFIED BY THE PURCHASER AND THAT I AM A REGISTERED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF KENTUCKY.

CERTIFIED BY: \_\_\_\_\_

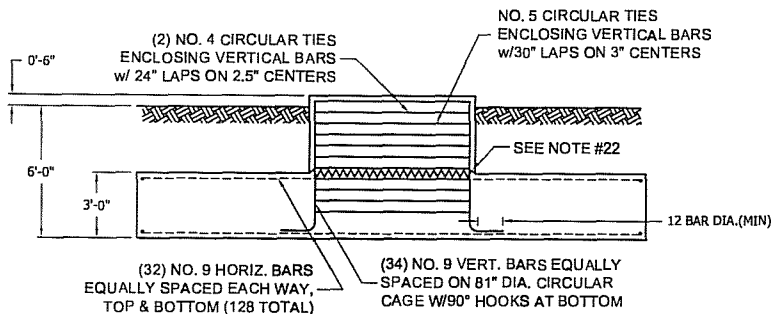
DATE: \_\_\_\_\_

12/11/13





**PLAN VIEW**



**ELEVATION VIEW**

**ADJUSTED FACTORED REACTIONS**

O.T.M. =	5,349.40 FT-K
DOWNLOAD =	91.50 KIPS
SHEAR =	38.40 KIPS

**CONCRETE VOLUME (cu.yds)**

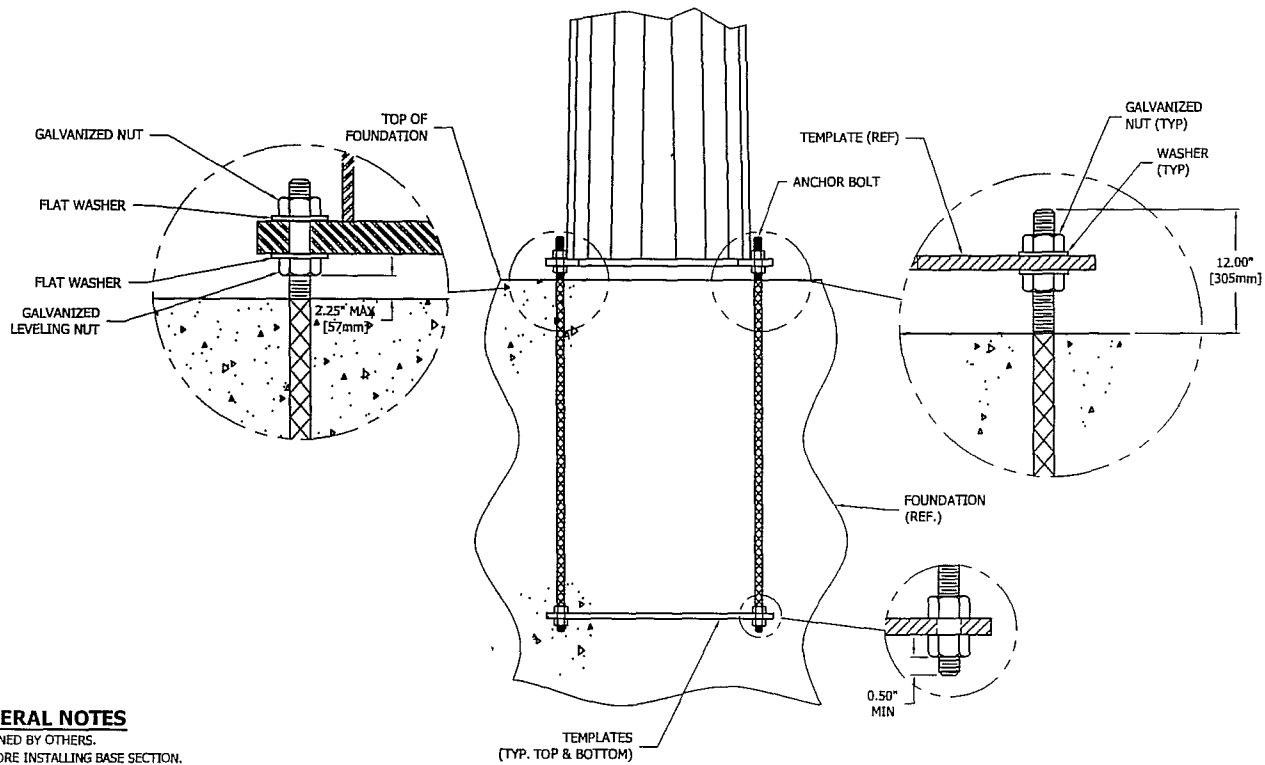
	ROUND SQUARE	
PIER	5.7	7.3
PAD	58.8	58.8
TOTAL	64.5	66.1

**GENERAL NOTES**

- FOUNDATION DESIGN HAS BEEN DEVELOPED IN ACCORDANCE WITH GENERALLY ACCEPTED PROFESSIONAL ENGINEERING PRINCIPLES AND PRACTICES WITHIN THE LIMITS OF THE SUBSURFACE DATA PROVIDED. FOUNDATION DESIGN MODIFICATIONS MAY BE REQUIRED IN THE EVENT THE FOLLOWING DESIGN PARAMETERS ARE NOT APPLICABLE FOR THE SUBSURFACE CONDITIONS ENCOUNTERED.
  - ULTIMATE SOIL BEARING PRESSURE AT 6 FT DEPTH = 8,000 PSF. (ALLOWABLE SOIL BEARING PRESSURE AT 6 FT DEPTH = 4000 PSF.)
  - GROUND WATER TABLE IS AT OR BELOW FOUNDATION DEPTH.
  - MAXIMUM FROST PENETRATION DEPTH LESS THAN FOUNDATION DEPTH.
- WORK SHALL BE IN ACCORDANCE WITH LOCAL CODES, SAFETY REGULATIONS AND UNLESS OTHERWISE NOTED, THE LATEST REVISION OF ACI 318, "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE". PROCEDURES FOR THE PROTECTION OF EXCAVATIONS, EXISTING CONSTRUCTION AND UTILITIES SHALL BE ESTABLISHED PRIOR TO FOUNDATION INSTALLATION.
- CONCRETE MATERIALS SHALL CONFORM TO THE APPROPRIATE STATE REQUIREMENTS FOR EXPOSED STRUCTURAL CONCRETE.
- PROPORTIONS OF CONCRETE MATERIALS SHALL BE SUITABLE FOR THE INSTALLATION METHOD UTILIZED AND SHALL RESULT IN DURABLE CONCRETE FOR RESISTANCE TO LOCAL ANTICIPATED AGGRESSIVE ACTIONS. THE DURABILITY REQUIREMENTS OF ACI 318 CHAPTER 4 SHALL BE SATISFIED BASED ON THE CONDITIONS EXPECTED AT THE SITE. AS A MINIMUM, CONCRETE SHALL DEVELOP A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI IN 28 DAYS.
- MAXIMUM SIZE OF AGGREGATE SHALL NOT EXCEED SIZE SUITABLE FOR INSTALLATION METHOD UTILIZED OR 1/3 CLEAR DISTANCE BEHIND OR BETWEEN REINFORCING. MAXIMUM SIZE MAY BE INCREASED TO 2/3 CLEAR DISTANCE PROVIDED WORKABILITY AND METHODS OF CONSOLIDATION SUCH AS VIBRATING WILL PREVENT HONEYCOMBS OR VOIDS.
- REINFORCEMENT SHALL BE DEFORMED AND CONFORM TO THE REQUIREMENTS OF ASTM A615 GRADE 60 UNLESS OTHERWISE NOTED. SPLICES IN REINFORCEMENT SHALL NOT BE ALLOWED UNLESS OTHERWISE INDICATED.
- WELDING IS PROHIBITED ON REINFORCING STEEL AND EMBEDMENTS.
- MINIMUM CONCRETE COVER FOR REINFORCEMENT SHALL BE 3 INCHES (76 MM) UNLESS OTHERWISE NOTED. APPROVED SPACERS SHALL BE USED TO INSURE A 3 INCH (76 MM) MINIMUM COVER ON REINFORCEMENT.
- CONCRETE COVER FROM TOP OF FOUNDATION TO ENDS OF VERTICAL REINFORCEMENT SHALL NOT EXCEED 3 INCHES (76MM) NOR BE LESS THAN 2 INCHES (51MM).
- FOUNDATION DESIGN ASSUMES STRUCTURAL BACKFILL TO BE COMPACTED IN 8 INCH (200 MM) MAXIMUM LAYERS TO 95% OF MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE CONTENT IN ACCORDANCE WITH ASTM D698. ADDITIONALLY, STRUCTURAL BACKFILL MUST HAVE A MINIMUM COMPACTED UNIT WEIGHT OF 100 POUNDS PER CUBIC FOOT (16 kN/M<sup>3</sup>).
- FOUNDATION DESIGN HAS BEEN BASED ON GEOTECHNICAL REPORT NO. 1305271600 DATED 10/23/13 BY FDH ENGINEERING, INC.
- FOUNDATION DEPTH INDICATED IS BASED ON THE GRADE LINE DESCRIBED IN THE REFERENCED GEOTECHNICAL REPORT. FOUNDATION MODIFICATION MAY BE REQUIRED IN THE EVENT CUT OR FILL OPERATIONS HAVE TAKEN PLACE SUBSEQUENT TO THE GEOTECHNICAL INVESTIGATION.
- FOUNDATION DESIGN ASSUMES LEVEL GRADE AT STRUCTURE SITE.
- FOUNDATION DESIGN ASSUMES THE RECOMMENDATIONS IN THE REFERENCED GEOTECHNICAL REPORT CONCERNING VERIFICATION OF SUBSURFACE CONDITIONS ARE IMPLEMENTED PRIOR TO PLACEMENT OF CONCRETE.
- FOUNDATION INSTALLATION SHALL BE SUPERVISED BY PERSONNEL KNOWLEDGEABLE AND EXPERIENCED WITH THE PROPOSED FOUNDATION TYPE. CONSTRUCTION SHALL BE IN ACCORDANCE WITH GENERALLY ACCEPTED INSTALLATION PRACTICES.
- FOUNDATION DESIGN ASSUMES INSTALLATION PROCEDURES WILL INCORPORATE THE PROCEDURES RECOMMENDED IN THE REFERENCED GEOTECHNICAL REPORT.
- FOUNDATION DESIGN ASSUMES FIELD INSPECTIONS WILL BE PERFORMED TO VERIFY THAT CONSTRUCTION MATERIALS, INSTALLATION METHODS AND ASSUMED DESIGN PARAMETERS ARE ACCEPTABLE BASED ON CONDITIONS EXISTING AT THE SITE.
- FOR FOUNDATION AND ANCHOR TOLERANCES SEE DRAWING A810214.
- LOOSE MATERIAL SHALL BE REMOVED FROM BOTTOM OF EXCAVATION PRIOR TO CONCRETE PLACEMENT. SIDES OF EXCAVATION SHALL BE ROUGH AND FREE OF LOOSE CUTTINGS.
- CONCRETE SHALL BE PLACED IN A MANNER THAT WILL PREVENT SEGREGATION OF CONCRETE MATERIALS, INFILTRATION OF WATER OR SOIL AND OTHER OCCURRENCES WHICH MAY DECREASE THE STRENGTH OR DURABILITY OF THE FOUNDATION.
- CONCRETE PREFERABLY SHALL BE PLACED AGAINST UNDISTURBED SOIL. WHEN FORMS ARE NECESSARY, THEY SHALL BE REMOVED PRIOR TO PLACING STRUCTURAL BACKFILL.
- CONSTRUCTION JOINTS, IF REQUIRED AT THE BASE OF THE PIERS, MUST BE INTENTIONALLY ROUGHENED TO A FULL AMPLITUDE OF 1/4 INCH (6 MM). FOUNDATION DESIGN ASSUMES NO OTHER CONSTRUCTION JOINTS.
- TOP OF FOUNDATION OUTSIDE LIMITS OF ANCHOR BOLTS SHALL BE SLOPED TO DRAIN WITH A FLOATED FINISH. AREA INSIDE LIMITS OF ANCHOR BOLTS SHALL BE LEVEL WITH A SCRATCHED FINISH.
- EXPOSED EDGES OF CONCRETE SHALL BE CHAMFERED 3/4" X 3/4" (19MM X 19MM) MINIMUM.

NOTE: SEE STRUCTURE ASSEMBLY DRAWING FOR FOUNDATION LAYOUT AND ANCHORAGE EMBEDMENT DRAWING NUMBER.

FILE NO.	208715		
REV.	DESCRIPTION	DOWN	CHK
<p style="text-align: center;"><b>ROHN</b> PRODUCTS PO BOX 5999 PEORIA, IL 61601-5999 TOLL FREE 800-727-ROHN</p> <p style="text-align: center;">THIS DRAWING IS THE PROPERTY OF ROHN. IT IS NOT TO BE REPRODUCED, COPIED OR TRACED IN WHOLE OR IN PART WITHOUT OUR WRITTEN CONSENT.</p> <p style="text-align: center;"><b>AMERICAN TOWER</b> MAT W/ RAISED PIER FOUNDATION ALLENS TOWER, KY</p>			
DWN:	DWG	CHK'D:	HA
ENGR:	HA	DATE:	DEC/05/13
PRJ. ENGR:	DWG	PRJ. MANG'R:	SHEET #:
DRAWING NO:	208715-01-F1		REV:
			0



**GENERAL NOTES**

1. POLE ORIENTATION DETERMINED BY OTHERS.
2. REMOVE TOP TEMPLATE BEFORE INSTALLING BASE SECTION.
3. SPECIAL CARE MUST BE TAKEN WHEN LIFTING ANCHOR BOLT CLUSTER IN ORDER TO PREVENT ANCHOR BOLT TEMPLATE DISTORTION.
4. ANCHOR BOLT ASSEMBLY MUST BE ADEQUATELY SUPPORTED AND RESTRAINED TO PREVENT MOVEMENT OF THE CLUSTER DURING CONCRETE INSTALLATION.
5. IT IS THE RESPONSIBILITY OF THE FOUNDATION CONTRACTOR TO VERIFY THAT THE CORRECT ANCHOR BOLT TEMPLATE AND FOUNDATION SHOWN ON RESPECTIVE SITE DRAWINGS ARE BEING USED.

**ANCHOR BOLT TIGHTENING NOTES**

1. NUTS, THREADS AND ALL NUT CONTACT SURFACES MUST BE CLEANED AND LUBRICATED AFTER CONCRETE INSTALLATION AND IMMEDIATELY BEFORE INSTALLATION OF LEVELING AND TOP NUTS. NUTS MUST BE FREE TO MOVE THROUGHOUT THE ENTIRE LENGTH OF THE ANCHOR BOLT THREAD PROJECTION.
2. AFTER LEVELING THE LEVELING NUTS AND SETTING THE BASE PLATE, TOP NUTS MUST BE INSTALLED IN AN INCREMENTAL STAR TIGHTENING SEQUENCE TO A SNUG TIGHT CONDITION FOLLOWED BY TIGHTENING THE LEVELING NUTS IN A SIMILAR PATTERN TO A SNUG TIGHT CONDITION. SNUG TIGHT IS DEFINED BY THE TIGHTNESS OBTAINED WITH THE EFFORT OF ONE PERSON WITH A 12 INCH NOMINAL LENGTH WRENCH.
3. AFTER ALL TOP AND LEVELING NUTS ARE TIGHTENED TO A SNUG TIGHT CONDITION, TOP NUTS SHALL BE FURTHER TIGHTENED IN AN INCREMENTAL STAR PATTERN WITH THE LEVELING NUTS SECURED TO RESULT IN A 1/3 TOP NUT ROTATION FOR ANCHOR BOLTS 1 1/2 INCHES OR LESS IN DIAMETER, OR A 1/6 TOP NUT ROTATION FOR ANCHOR BOLTS GREATER THAN 1 1/2 INCHES IN DIAMETER.

**ANCHOR BOLT INSTALLATION TOLERANCES**

1. CONCRETE DIMENSIONS - PLUS OR MINUS 1" [25mm].
2. DEPTH OF FOUNDATION - PLUS 3" [76mm] OR MINUS 0".
3. DRILLED FOUNDATIONS OUT OF PLUMB - 1.0°.
4. REINFORCING STEEL PLACEMENT - PER A.C.I. 301.
5. PROJECTION OF EMBEDMENTS - PLUS OR MINUS 1/8" [3mm]
6. VERTICAL EMBEDMENTS OUT OF PLUMB - 1/2°.
7. MAXIMUM DISTANCE FROM CENTER LINE OF ANCHOR BOLTS TO CENTERLINE OF FOUNDATION - 1/24 OF PIER DIAMETER UP TO A MAXIMUM OF 2" [50mm].
8. ANCHOR BOLT SPACING - 1/16" [2mm].
9. ANCHOR BOLT CIRCLE ORIENTATION - 1/4°.
10. ANCHOR BOLT CIRCLE DIAMETER - PLUS OR MINUS 1/16" [2mm].

**!! WARNING !!**  
SEE SITE PLAN FOR PROPER ORIENTATION OF ANCHOR BOLTS

**!! WARNING !!**  
PRIOR TO PLACING CONCRETE:

- CHECK THAT THE TEMPLATE ANCHOR BOLT CIRCLE MATCHES THE ANCHOR BOLT CIRCLE SHOWN ON THE STRUCTURE DRAWING.
- CALL ROHN (309)-566-3000 FOR ANY DISCREPANCY.
- AFTER ANCHOR BOLTS ARE INSTALLED AND CONCRETE HAS TAKEN ITS INITIAL SET, ANCHOR BOLTS MUST NOT BE MOVED, BENT OR REALIGNED IN ANY MANNER.

REVISIONS				
REV.	DESCRIPTION	DWN	CHK	APP
10	UPDATE TITLE BLOCK	ZAW	JDM	HA
DATE: 7/25/2013				



PO BOX 5599  
PEORIA, IL 61601-5599  
TOLL FREE 800-727-ROHN

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**ANCHOR BOLT LAYOUT  
DETAILS FOR 18J ANCHOR BOLTS**

DWN:	JDM	CHKD:	MSJ	DATE:	MAR/03/2001
ENGR:	TWS	SHEET #:		1 OF 1	
PRJ. ENGR:		PRJ. MANGR:			
DRAWING NO:	B010356			REV:	10

**FOUNDATION AND ANCHOR TOLERANCES**  
**ALL FOUNDATIONS**

1. CONCRETE DIMENSIONS - PLUS OR MINUS 1" (25mm).
2. DEPTH OF FOUNDATION - PLUS 3" (76mm) OR MINUS 0".
3. DRILLED FOUNDATIONS OUT OF PLUMB - 1.0 DEGREE.
4. REINFORCING STEEL PLACEMENT - PER A.C.I. 301.
5. PROJECTION OF EMBEDMENTS - PLUS OR MINUS 1/8" (3mm).
6. VERTICAL EMBEDMENTS OUT OF PLUMB - 0.5 DEGREE.

**ANCHOR BOLTS**

7. MAXIMUM DISTANCE FROM CENTERLINE OF ANCHOR BOLTS TO CENTERLINE OF FOUNDATION - 1/24 OF PIER DIAMETER UP TO A MAXIMUM OF 2" (51mm).
8. ANCHOR BOLT SPACING - 1/16" (2mm).
9. ANCHOR BOLT CIRCLE ORIENTATION - 0.25 DEGREE.
10. ANCHOR BOLT CIRCLE DIAMETER - PLUS OR MINUS 1/16" (2mm).

**SELF-SUPPORTING TOWERS**

11. FACE SPREAD DIMENSION CENTER TO CENTER OF ANCHOR BOLT CIRCLES - PLUS OR MINUS 1/16" (2mm) OR 1/16" (2mm) PER 20 FT. (6m) OF FACE SPREAD.
12. MAXIMUM DIFFERENCE BETWEEN ANY TWO FOUNDATION ELEVATIONS - 1/2" (13mm).

**GUYED TOWERS**

13. GUY RADIUS - PLUS OR MINUS 5% OF DISTANCE SPECIFIED.
14. ANCHOR ELEVATION - PLUS OR MINUS 5% OF GUY RADIUS.
15. ANCHOR ALIGNMENT (PERPENDICULAR TO GUY RADIUS) - 1.0 DEGREE.
16. ANCHOR ROD SLOPE - PLUS OR MINUS 1.0 DEGREE.
17. ANCHOR ROD ALIGNMENT WITH GUY RADIUS PLUS OR MINUS 1.0 DEGREE.
18. ANCHOR HEAD OUT OF PLUMB - 1.0 DEGREE.
19. GUY INITIAL TENSION - PLUS OR MINUS 10% OF TENSION SPECIFIED.

NOTE: TOLERANCES IN NOTES 13 AND 14 CAN NOT OCCUR SIMULTANEOUSLY

**WARNING!!!**

AFTER ANCHOR BOLTS ARE INSTALLED IN CONCRETE HAS TAKEN ITS INITIAL SET, ANCHOR BOLTS MUST NOT BE MOVED, BENT OR REALIGNED IN ANY MANNER. A NUT LOCKING DEVICE MUST BE INSTALLED ON ALL ANCHOR BOLTS.

FILE NO.				
Standard-SSV				
REVISIONS				
REV.	DESCRIPTION	DWN	CHK	APP
8	REDRAWN TO AUTOCAD	JDA	JDM	HA
DATE: JUN/17/2006				

DWG REFERENCE	



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**FOUNDATION & ANCHOR TOLERANCE**

DWN:	CSR	CHKD:	KTL	DATE:	Sep/25/1987
ENGR:	XK				
DRAWING NO:	A810214			REV:	8





1 Fairholm Avenue  
P.O. Box 5999  
Peoria, IL 61603 USA  
Phone 309-566-3000  
FAX 309-566-3079  
Toll Free 800-727-ROHN

December 11, 2013

American Tower Corporation  
1898 Leland Drive  
Marietta, GA 30067

Attention: Mr. Ron Rohr

Reference: 180' Tapered Steel Pole  
Site # 282239, Allens Tower, Todd County KY  
Rohn File #: 208715

Dear Mr. Ron Rohr:

The referenced pole is designed to meet the specified loading requirements in accordance with the ANSI/TIA/EIA-222-G ANSI/TIA/EIA-222-G-2005 for 90 MPH 3-second wind speed with no ice and 30 MPH 3 second gust wind speed with 0.75 inches radial ice. Structure Class: II; Exposure Category: C; Topographic Category: 1.

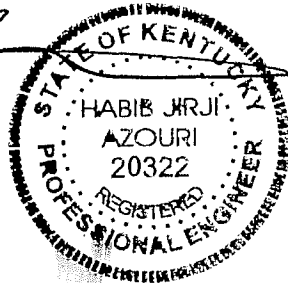
It is our understanding that the design of the referenced pole may require consideration of a contained fall radius in the event a catastrophic wind speed were to result in a failure. Although the pole is not designed to fail, stronger sections than required by analysis are provided in the lower portion of the pole. This would result in an increased safety factor in the lower sections. This design would enable the pole to fail through a combination of bending and buckling in the upper portion of the pole should a catastrophic wind loading occur. Failure in this manner would result in the upper portion of the pole folding over the lower portion resulting in a fall radius equal to 50% of the pole height. The failure mode would theoretically be a local buckling failure involving a crippling of the pole on one side of the pole as opposed to the pole shearing off or completely breaking off and hitting the ground.

Please contact us at your convenience should you have further questions concerning the safety of pole structures or other aspects of pole design.

Sincerely,

A handwritten signature in black ink, appearing to read "Habib Azouri", is written over a circular professional engineer seal.

Habib Azouri, P.E.  
Engineering Manager  
Rohn Products LLC





File: 208715 Site: 1 Cycle: 1 Design: 1 Engineer: don\_g ✓  
 Customer: AMERICAN TOWER CORPORATION ✓  
 Site: ALLENS TOWER, KY ✓  
 Type: POLE-TPR  
 Pole: Tapered Steel

SUMMARY OF ANALYSIS RESULTS

Conditions : 90 mph Basic Wind Speed (no ice) 60 mph Operational  
 : 30 mph Basic Wind Speed (0.75" radial ice)  
 Building Code : EIA Revision G  
 Exposure : C  
 Gust response factor: : 1.10  
 Structural Category : II  
 Topographic Category : 1  
 Natural Frequency : 0.33 cps  
 Resonant Velocity : 4.92 mph  
 Pole Height : 180.00 ft  
 Top Diameter : 20.000 in  
 Bottom Diameter : 58.000 in  
 Embedment Depth : 0.00 ft  
 Pole Shape : 18-sided Polygon  
 Joint Type : Slip  
 Shaft Steel Weight : 29.250 kips

POLE SHAFT PROPERTIES:

Seq	Sect. Length (ft)	Wall Thickness [t] (in)	Mat'l Yield [Fy] (ksi)	Top Diameter [Dt] (in)	Bottom Diameter [Db] (in)	Slip Joint Overlap (in)	Taper (in/ft)	Steel Weight (kips)
1	42.170	0.18750	65	20.000	29.580	47.00	0.2272	2.261
2	30.500	0.25000	65	28.150	35.080	55.00	0.2272	2.776
3	39.000	0.31250	65	33.380	42.240	66.00	0.2272	5.305
4	48.000	0.37500	65	40.210	51.110	80.00	0.2271	9.462
5	41.000	0.37500	65	48.690	58.000		0.2271	9.446

Design Bend Radius = 2.5 inches

POLE SHAFT SECTION MAXIMUM FORCES AND MOMENTS:

Seq	Load Case	At Base of Section					Max. Ratio Actual Allowable [Ftot/Fb]
		Sect. Elev. (ft.)	Axial Load (kips)	Bending Moment (ft-kips)	Horiz. Shear (kips)	Torsion (ft-Kips)	
1	Combo005	137.83	13.9482	586.4263	23.1719	0.0000	0.8789
2	Combo005	111.25	20.2647	1273.4558	25.3213	0.0000	0.9878
3	Combo005	74.08	30.7579	2335.7108	28.5798	0.0000	0.9726
4	Combo005	31.00	46.5956	3703.0350	32.7757	0.0000	0.8879
5	Combo005	0.00	60.0606	5032.5492	35.9997	0.0000	0.9608
DESIGN REACTIONS →			86.0552	5032.5492	36.1620	19.9365	←
OPERATIONAL REACTIONS →			50.6228	1173.5317	8.9694	4.9550	←
ADJUSTED REACTIONS →			91.4739	5349.4398	38.4391	21.1919	←

SECTION PROPERTIES:

Seq	Weight (kips)	Location	Elev (ft)	Diam Across Flats (in)	Wall Thick [t] (in)	[W/t] Ratio	Diam/Thick [D/t] Ratio	Area (in^2)	J (in^4)	I (in^4)
1	2.261	@Top	180.00	20.000	0.1875	13.75	106.67	11.79	1172.4	584.7
		@Splice	141.75	28.690		21.93	153.01	16.96	3490.6	1741.0
		@Bot	137.83	29.580		22.76	157.76	17.49	3828.0	1909.2
2	2.776	@Top	141.75	28.150	0.2500	15.98	112.60	22.14	4365.2	2177.2
		@Splice	115.83	34.040		20.13	136.16	26.81	7754.6	3867.7
		@Bot	111.25	35.080		20.86	140.32	27.64	8492.9	4235.9
3	5.305	@Top	113.08	33.380	0.3125	15.66	106.82	32.80	9084.7	4531.0
		@Splice	79.58	41.620		20.31	133.18	40.97	17708.9	8832.4
		@Bot	74.08	42.240		20.66	135.17	41.59	18518.4	9236.2
4	9.462	@Top	79.00	40.210	0.3750	16.20	107.23	47.41	19058.2	9505.4
		@Splice	37.67	49.600		20.62	132.27	58.59	35962.1	17936.3
		@Bot	31.00	51.110		21.33	136.29	60.39	39374.1	19638.1
5	9.446	@Top	41.00	48.690	0.3750	20.19	129.84	57.50	34004.3	16959.8
		@Bot	0.00	58.000		24.57	154.67	68.59	57692.6	28774.5

Total Shaft Steel Weight = 29.250 kips



ROHN Products LLC.

File: 208715 Site: 1 Cycle: 1 Design: 1 Engineer: don\_g  
 Customer: AMERICAN TOWER CORPORATION  
 Site: ALLENS TOWER  
 Type: POLE-TPR  
 Pole: Tapered Steel

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PROPERTIES:

( @ Max Segment = 5.0 ft)

Node No.	Node Elev. (ft)	Diam. Across Flats (in)	Wall Thick [t] (in)	[W/t] Ratio	Diam/ Thick [D/t] Ratio	Area (in <sup>2</sup> )	J (in <sup>4</sup> )	I (in <sup>4</sup> )
57	180.000	20.00	0.1875	13.75	106.67	11.79	1172.4	584.7
56	176.175	20.87	0.1875	14.57	111.30	12.31	1333.5	665.1
55	172.350	21.74	0.1875	15.39	115.94	12.82	1508.8	752.5
54	168.525	22.61	0.1875	16.21	120.57	13.34	1698.8	847.3
53	164.700	23.48	0.1875	17.02	125.21	13.86	1904.1	949.7
52	160.875	24.35	0.1875	17.84	129.84	14.38	2125.3	1060.0
51	157.050	25.21	0.1875	18.66	134.48	14.89	2363.0	1178.6
50	153.225	26.08	0.1875	19.47	139.11	15.41	2617.8	1305.6
49	149.400	26.95	0.1875	20.29	143.74	15.93	2890.3	1441.5
48	145.575	27.82	0.1875	21.11	148.38	16.44	3181.0	1586.6
47O	141.750	28.69	0.1875	21.93	153.01	16.96	3490.7	1741.0
47I	141.750	28.15	0.2500	15.98	112.60	22.14	4365.3	2177.2
46	137.833	29.04	0.2500	16.60	116.16	22.84	4796.4	2392.2
45	135.633	29.54	0.2500	16.96	118.16	23.24	5050.6	2519.0
44	133.433	30.04	0.2500	17.31	120.16	23.64	5313.7	2650.2
43	131.233	30.54	0.2500	17.66	122.16	24.03	5585.6	2785.9
42	129.033	31.04	0.2500	18.01	124.16	24.43	5866.8	2926.1
41	126.833	31.54	0.2500	18.37	126.16	24.83	6157.2	3070.9
40	124.633	32.04	0.2500	18.72	128.16	25.22	6457.0	3220.5
39	122.433	32.54	0.2500	19.07	130.16	25.62	6766.4	3374.8
38	120.233	33.04	0.2500	19.42	132.16	26.02	7085.6	3534.0
37	118.033	33.54	0.2500	19.78	134.15	26.41	7414.6	3698.1
36O	115.833	34.04	0.2500	20.13	136.15	26.81	7753.7	3867.2
36I	115.833	33.38	0.3125	15.66	106.82	32.80	9084.5	4531.0
35	111.250	34.42	0.3125	16.25	110.15	33.83	9970.1	4972.7
34	108.358	35.08	0.3125	16.62	112.25	34.48	10557.4	5265.6
33	105.467	35.74	0.3125	16.99	114.35	35.13	11167.3	5569.7
32	102.575	36.39	0.3125	17.36	116.45	35.79	11800.2	5885.4
31	99.683	37.05	0.3125	17.73	118.56	36.44	12456.5	6212.8
30	96.792	37.71	0.3125	18.10	120.66	37.09	13136.8	6552.1
29	93.900	38.36	0.3125	18.47	122.76	37.74	13841.4	6903.5
28	91.008	39.02	0.3125	18.84	124.86	38.39	14570.7	7267.2
27	88.117	39.68	0.3125	19.21	126.97	39.04	15325.3	7643.6
26	85.225	40.33	0.3125	19.58	129.07	39.69	16105.5	8032.7
25	82.333	40.99	0.3125	19.95	131.17	40.35	16911.6	8434.8
24O	79.583	41.62	0.3125	20.31	133.17	40.97	17702.9	8829.4
25I	82.333	40.21	0.3750	16.20	107.23	47.41	19057.5	9505.0
24	79.583	40.83	0.3750	16.50	108.89	48.15	19968.2	9959.3
23	76.833	41.46	0.3750	16.79	110.56	48.90	20907.7	10427.8
22	73.250	42.27	0.3750	17.17	112.73	49.87	22174.7	11059.8
21	69.667	43.09	0.3750	17.56	114.90	50.84	23491.9	11716.7
20	66.083	43.90	0.3750	17.94	117.07	51.80	24860.3	12399.2
19	62.500	44.71	0.3750	18.32	119.24	52.77	26280.8	13107.7
18	58.917	45.53	0.3750	18.70	121.41	53.74	27754.5	13842.7
17	55.333	46.34	0.3750	19.09	123.58	54.71	29282.4	14604.8
16	51.750	47.16	0.3750	19.47	125.75	55.68	30865.1	15394.2
15	48.167	47.97	0.3750	19.85	127.92	56.65	32503.9	16211.5
14	44.583	48.78	0.3750	20.23	130.09	57.61	34199.7	17057.3
13	41.000	49.60	0.3750	20.62	132.26	58.58	35953.5	17932.0
12O	37.667	50.35	0.3750	20.97	134.27	59.48	37638.0	18772.2
13I	41.000	48.69	0.3750	20.19	129.84	57.50	34004.0	16959.7
12	37.667	49.45	0.3750	20.55	131.86	58.41	35627.5	17769.5
11	34.333	50.20	0.3750	20.90	133.88	59.31	37301.7	18604.5
10	30.900	50.98	0.3750	21.27	135.96	60.23	39080.1	19491.4
9	27.467	51.76	0.3750	21.64	138.03	61.16	40914.3	20406.3
8	24.033	52.54	0.3750	22.00	140.11	62.09	42804.8	21349.2



ROHN Products LLC.

File: 208715 Site: 1 Cycle: 1 Design: 1 Engineer: don\_g  
Customer: AMERICAN TOWER CORPORATION  
Site: ALLENS TOWER  
Type: POLE-TPR  
Pole: Tapered Steel

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Node No.	Node Elev. (ft)	Diam. Across Flats (in)	Wall Thick [t] (in)	[W/t] Ratio	Diam/Thick [D/t] Ratio	Area (in <sup>2</sup> )	J (in <sup>4</sup> )	I (in <sup>4</sup> )
7	20.600	53.32	0.3750	22.37	142.19	63.02	44752.7	22320.7
6	17.167	54.10	0.3750	22.74	144.27	63.95	46758.7	23321.2
5	13.733	54.88	0.3750	23.10	146.35	64.87	48823.9	24351.2
4	10.300	55.66	0.3750	23.47	148.43	65.80	50948.9	25411.1
3	6.867	56.44	0.3750	23.84	150.51	66.73	53135.1	26501.5
2	3.433	57.22	0.3750	24.20	152.59	67.66	55382.6	27622.4
1	0.000	58.00	0.3750	24.57	154.67	68.59	57692.6	28774.5



ROHN Products LLC.

File: 208715 Site: 1 Cycle: 1 Design: 1 Engineer: don\_g  
 Customer: AMERICAN TOWER CORPORATION  
 Site: ALLENS TOWER  
 Type: POLE-TPR  
 Pole: Tapered Steel

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DISCRETE APPURTENANCE PROPERTIES

Elev. (ft)	Description	Weight		Az.	Offset (in)	EPA		Lines
		W/o Ice (kips)	W/ Ice (kips)			W/o Ice (ft^2)	W/ Ice (ft^2)	
180.0	105 SQ. FT. EPA LOADING (NO ICE) 176.2 SQ. FT. EPA LOADING (W/ ICE)	1.80	4.30	0	10.00	105.00	176.20	(18) 1-5/8 in.
170.0	105 SQ. FT. EPA LOADING (NO ICE) 175.8 SQ. FT. EPA LOADING (W/ ICE)	1.80	4.30	0	11.14	105.00	175.80	(18) 1-5/8 in.
160.0	105 SQ. FT. EPA LOADING (NO ICE) 175.4 SQ. FT. EPA LOADING (W/ ICE)	1.80	4.30	0	12.27	105.00	175.40	(18) 1-5/8 in.
150.0	105 SQ. FT. EPA LOADING (NO ICE) 175.0 SQ. FT. EPA LOADING (W/ ICE)	1.80	4.30	0	13.41	105.00	175.00	(18) 1-5/8 in.

LINEAR APPURTENANCE PROPERTIES

Elev		Description	Weight (lb/ft)	Width	
From (ft)	To (ft)			Round (in)	Flat (in)
0.0	180.0	3/8in Safety Device	0.13	0.38	0.00



# ROHN Products LLC.

File: 208715 Site: 1 Cycle: 1 Design: 1 Engineer: don\_g  
 Customer: AMERICAN TOWER CORPORATION  
 Site: ALLENS TOWER  
 Type: POLE-TPR  
 Pole: Tapered Steel

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## PRESSURES

Seg.	Elev. (ft)	Kz	W/o Ice		With Ice		Operational	
			G <sub>h</sub> qz	Cf	G <sub>h</sub> qz	Cf	G <sub>h</sub> qz	Cf
1-11	178.088	1.429	30.968	0.650	3.441	1.200	12.315	0.650
1-10	174.263	1.423	30.826	0.650	3.425	1.200	12.258	0.650
1-9	170.438	1.416	30.683	0.650	3.409	1.200	12.201	0.650
1-8	166.613	1.409	30.537	0.650	3.393	1.200	12.143	0.650
1-7	162.788	1.402	30.388	0.650	3.376	1.200	12.084	0.650
1-6	158.963	1.395	30.236	0.650	3.360	1.200	12.024	0.650
1-5	155.138	1.388	30.081	0.650	3.342	1.200	11.962	0.650
1-4	151.313	1.381	29.924	0.650	3.325	1.200	11.899	0.650
1-3	147.488	1.374	29.763	0.650	3.307	1.200	11.835	0.650
1-2	143.663	1.366	29.598	0.650	3.289	1.200	11.770	0.650
1-1	139.792	1.358	29.429	0.650	3.270	1.200	11.703	0.650
2-12	139.792	1.358	29.429	0.650	3.270	1.200	11.703	0.650
2-11	136.733	1.352	29.292	0.650	3.255	1.200	11.648	0.650
2-10	134.533	1.347	29.192	0.650	3.244	1.200	11.609	0.650
2-9	132.333	1.343	29.091	0.650	3.232	1.200	11.568	0.650
2-8	130.133	1.338	28.989	0.650	3.221	1.200	11.528	0.650
2-7	127.933	1.333	28.885	0.650	3.209	1.200	11.486	0.650
2-6	125.733	1.328	28.779	0.650	3.198	1.200	11.444	0.650
2-5	123.533	1.323	28.673	0.650	3.186	1.200	11.402	0.650
2-4	121.333	1.318	28.564	0.650	3.174	1.200	11.359	0.650
2-3	119.133	1.313	28.455	0.650	3.162	1.200	11.315	0.650
2-2	116.933	1.308	28.343	0.650	3.149	1.200	11.271	0.650
2-1	113.542	1.300	28.168	0.650	3.130	1.200	11.201	0.650
3-13	113.542	1.300	28.168	0.650	3.130	1.200	11.201	0.650
3-12	109.804	1.291	27.970	0.650	3.108	1.200	11.123	0.650
3-11	106.913	1.284	27.813	0.650	3.090	1.200	11.060	0.650
3-10	104.021	1.276	27.653	0.650	3.073	1.200	10.997	0.650
3-9	101.129	1.269	27.490	0.650	3.054	1.200	10.932	0.650
3-8	98.238	1.261	27.322	0.650	3.036	1.200	10.865	0.650
3-7	95.346	1.253	27.151	0.650	3.017	1.200	10.797	0.650
3-6	92.454	1.245	26.976	0.650	2.997	1.200	10.727	0.650
3-5	89.563	1.237	26.796	0.650	2.977	1.200	10.656	0.650
3-4	86.671	1.228	26.611	0.650	2.957	1.200	10.582	0.650
3-3	83.779	1.219	26.422	0.650	2.936	1.200	10.507	0.650
3-2	80.958	1.211	26.232	0.650	2.915	1.200	10.431	0.650
3-1	78.208	1.202	26.042	0.650	2.894	1.200	10.356	0.650
4-14	80.958	1.211	26.232	0.650	2.915	1.200	10.431	0.650
4-13	78.208	1.202	26.042	0.650	2.894	1.200	10.356	0.650
4-12	75.042	1.191	25.816	0.650	2.868	1.200	10.266	0.650
4-11	71.458	1.179	25.552	0.650	2.839	1.200	10.161	0.650
4-10	67.875	1.166	25.276	0.650	2.808	1.200	10.051	0.650
4-9	64.292	1.153	24.989	0.650	2.777	1.200	9.937	0.650
4-8	60.708	1.139	24.689	0.650	2.743	1.200	9.818	0.650
4-7	57.125	1.125	24.375	0.650	2.708	1.200	9.693	0.650
4-6	53.542	1.110	24.045	0.650	2.672	1.200	9.562	0.650
4-5	49.958	1.094	23.697	0.650	2.633	1.200	9.423	0.650
4-4	46.375	1.077	23.329	0.650	2.592	1.200	9.277	0.650
4-3	42.792	1.059	22.937	0.650	2.549	1.200	9.121	0.650
4-2	39.333	1.040	22.534	0.650	2.504	1.200	8.961	0.650
4-1	36.000	1.021	22.117	0.650	2.457	1.200	8.795	0.650
5-12	39.333	1.040	22.534	0.650	2.504	1.200	8.961	0.650
5-11	36.000	1.021	22.117	0.650	2.457	1.200	8.795	0.650
5-10	32.617	1.000	21.663	0.650	2.407	1.200	8.614	0.650
5-9	29.183	0.977	21.161	0.650	2.351	1.200	8.415	0.650
5-8	25.750	0.951	20.611	0.650	2.290	1.200	8.196	0.650
5-7	22.317	0.923	19.999	0.650	2.222	1.200	7.953	0.650
5-6	18.883	0.891	19.308	0.650	2.145	1.200	7.678	0.650
5-5	15.450	0.854	18.509	0.650	2.057	1.200	7.360	0.650
5-4	12.017	0.850	18.419	0.650	2.047	1.200	7.324	0.650
5-3	8.583	0.850	18.419	0.650	2.047	1.200	7.324	0.650
5-2	5.150	0.850	18.419	0.650	2.047	1.200	7.324	0.650
5-1	1.717	0.850	18.419	0.650	2.047	1.200	7.324	0.650



ROHN Products LLC.

File: 208715 Site: 1 Cycle: 1 Design: 1 Engineer: don\_g
Customer: AMERICAN TOWER CORPORATION
Site: ALLENS TOWER
Type: POLE-TPR
Pole: Tapered Steel

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MOMENTS, FORCES AND DEFLECTIONS

Table with columns: Node, Elev., Axial (kips), Moment (My, Mz in ft-k), Shear (Vy, Vz in kips), Torsion (ft-k), Operational (Deflection in, Twist deg, Sway deg). Rows 1-57.



# ROHN Products LLC.

File: 208715 Site: 1 Cycle: 1 Design: 1 Engineer: don\_g  
 Customer: AMERICAN TOWER CORPORATION  
 Site: ALLENS TOWER  
 Type: POLE-TPR  
 Pole: Tapered Steel

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## ACTUAL AND ALLOWABLE STRESSES

Node	Elevation (ft)	Actual Stresses					Combined [Ftot] (ksi)	Allowable Stress [Fb] (ksi)	Combined Stress Ratio
		Axial [fa] (ksi)	Bending [fb] (ksi)	Shear [fv] (ksi)	Torsion [ft] (ksi)	Combined			
57	180.000	0.417	0.809	0.070	0.039	1.238	82.550	0.0165	
56	176.175	0.212	4.581	0.902	0.000	5.607	82.550	0.0647	
55	172.350	0.295	8.447	1.211	0.000	10.209	82.550	0.1179	
54	168.525	0.412	13.306	1.675	0.000	16.523	82.340	0.1856	
53	164.700	0.427	19.397	1.648	0.000	22.541	81.379	0.2712	
52	160.875	0.560	24.998	2.170	0.000	30.268	80.418	0.3540	
51	157.050	0.610	31.909	2.286	0.000	37.746	79.457	0.4558	
50	153.225	0.647	38.573	2.347	0.000	44.728	78.496	0.5563	
49	149.400	0.779	45.018	2.837	0.000	53.845	77.534	0.6580	
48	145.575	0.795	52.370	2.782	0.000	60.905	76.573	0.7731	
47O	141.750	0.822	58.877	2.732	0.000	67.164	75.612	0.8789	
47I	141.750	0.630	46.195	2.093	0.000	51.207	82.550	0.6310	
46	137.833	0.644	50.764	2.049	0.000	55.608	81.873	0.6984	
45	135.633	0.652	53.097	2.029	0.000	57.867	81.458	0.7339	
44	133.433	0.660	55.275	2.010	0.000	59.974	81.043	0.7676	
43	131.233	0.668	57.309	1.991	0.000	61.942	80.629	0.7997	
42	129.033	0.676	59.210	1.973	0.000	63.780	80.214	0.8303	
41	126.833	0.684	60.986	1.956	0.000	65.498	79.799	0.8594	
40	124.633	0.692	62.648	1.940	0.000	67.103	79.385	0.8873	
39	122.433	0.699	64.201	1.924	0.000	68.604	78.970	0.9139	
38	120.233	0.707	65.655	1.909	0.000	70.007	78.555	0.9394	
37	118.033	0.721	67.015	1.895	0.000	71.327	78.141	0.9639	
36O	115.833	0.756	68.291	1.889	0.000	72.614	77.726	0.9878	
36I	115.833	0.618	57.158	1.544	0.000	60.160	82.550	0.7781	
35	111.250	0.635	59.100	1.516	0.000	62.034	82.290	0.8070	
34	108.358	0.644	60.195	1.502	0.000	63.096	81.854	0.8263	
33	105.467	0.653	61.198	1.489	0.000	64.068	81.418	0.8445	
32	102.575	0.662	62.115	1.477	0.000	64.956	80.982	0.8617	
31	99.683	0.671	62.953	1.465	0.000	65.769	80.546	0.8781	
30	96.792	0.679	63.719	1.453	0.000	66.510	80.110	0.8936	
29	93.900	0.688	64.419	1.442	0.000	67.188	79.674	0.9084	
28	91.008	0.697	65.058	1.432	0.000	67.805	79.238	0.9224	
27	88.117	0.705	65.640	1.422	0.000	68.368	78.802	0.9359	
26	85.225	0.714	66.170	1.413	0.000	68.880	78.366	0.9487	
25	82.333	0.729	66.653	1.403	0.000	69.351	77.930	0.9611	
24O	79.583	0.751	67.072	1.395	0.000	69.769	77.516	0.9726	
25I	82.333	0.620	58.021	1.194	0.000	60.067	82.343	0.7915	
24	79.583	0.639	58.347	1.187	0.000	60.394	81.997	0.7995	
23	76.833	0.654	58.644	1.182	0.000	60.694	81.652	0.8072	
22	73.250	0.665	58.990	1.173	0.000	61.030	81.202	0.8165	
21	69.667	0.675	59.292	1.164	0.000	61.322	80.752	0.8254	
20	66.083	0.685	59.552	1.156	0.000	61.573	80.302	0.8337	
19	62.500	0.695	59.775	1.148	0.000	61.788	79.852	0.8417	
18	58.917	0.705	59.963	1.141	0.000	61.970	79.402	0.8492	
17	55.333	0.715	60.120	1.134	0.000	62.121	78.952	0.8564	
16	51.750	0.725	60.249	1.127	0.000	62.243	78.502	0.8633	
15	48.167	0.735	60.350	1.120	0.000	62.340	78.052	0.8698	
14	44.583	0.744	60.428	1.114	0.000	62.413	77.602	0.8761	
13	41.000	0.760	60.483	1.108	0.000	62.470	77.152	0.8823	
12O	37.667	0.783	60.516	1.102	0.000	62.514	76.733	0.8879	
13I	41.000	0.775	62.782	1.128	0.000	64.830	77.653	0.9097	
12	37.667	0.798	62.780	1.122	0.000	64.838	77.234	0.9149	
11	34.333	0.814	62.764	1.117	0.000	64.824	76.816	0.9199	
10	30.900	0.822	62.730	1.110	0.000	64.785	76.385	0.9247	
9	27.467	0.830	62.681	1.104	0.000	64.731	75.953	0.9294	
8	24.033	0.838	62.616	1.098	0.000	64.661	75.522	0.9338	





ROHN Products LLC.

File: 208715 Site: 1 Cycle: 1 Design: 1 Engineer: don\_g
Customer: AMERICAN TOWER CORPORATION
Site: ALLENS TOWER
Type: POLE-TPR
Pole: Tapered Steel

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Table with 9 columns: Node, Elevation (ft), Axial [fa] (ksi), Bending [fb] (ksi), Shear [fv] (ksi), Torsion [ft] (ksi), Combined [Ftot] (ksi), Allowable Stress [Fb] (ksi), Combined Stress Ratio. Rows 1-7 show stress data for different nodes.



ROHN Products LLC.

File: 208715 Site: 1 Cycle: 1 Design: 1 Engineer: don\_g
Customer: AMERICAN TOWER CORPORATION
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SUMMARY OF BASEPLATE DESIGN

Table with 2 columns: PLATE and ANCHOR BOLTS. Rows include Pole Diameter at Base, Plate Diameter, Plate Thickness, Plate Weight (Black), Fy, Fu, Size, Grade, No. Of Bolts, Bolt Circle, and Fy.

MAXIMUM POLE REACTIONS:

Axial = 86.06 kips
Moment = 5,032.55 ft-kips
Shear = 36.16 kips
Torsion = 19.94 ft-kips

ANCHOR BOLTS:

Axial = 192.2 kips/bolt
Moment = 1.8 in-kips/bolt
Shear = 2.7 kips/bolt

DESIGN STRENGTH:

Axial = 260.0 kips/bolt
Moment = 126.3 in-kips/bolt
Shear = 134.2 kips/bolt

ANCHOR BOLT STRESS RATIO = 0.760 < 1.0 OK

PLATE:

Required Thickness = 2.20 in.

PLATE THICKNESS INTERACTION RATIO = 0.881 < 1.0 OK

MIN. Reinforcing WELD SIZE:

Outside = 0.5000 in.
Inside = 0.5000 in.

Customer: AMERICAN TOWER  
 Project: 180 FT. TAPERED STEEL POLE  
 Site: ALLENS TOWER  
 Engr. File: 208715  
 Build Code: ANSI/TIA-222-G-2005



# Mat Foundation

ver.1.3.9

## Design Parameters

Description	Load Case					Service
	1	2	3	4	5	
Total Moment, ft-kips	5,349.40					1,173.50
Total Shear, kips	38.40					9.00
Total Tower Wt, kips	91.50					50.60
Max. Uplift, kips	n/a					n/a
Shear, kips	N/a					N/a
Max Download, kips	n/a					n/a
Shear	N/a					N/a
Soil L.F.	1.20					1.00
Concrete L.F.	1.20					1.00

Foundation	
Ht. AGL, ft	0.50
Depth, ft.	6.00
Pole	
Butt OD, ft	5.40
Offset, in	.00
Soil	
Blow Count	N/a
Inplace Unit Wt, pcf	110.00
Submerged Unit Wt, pcf	60.00
Friction Angle, $\phi$ , deg.	30.00
Cohesion, ksf	N/a
Uplift Angle, deg.	30.00
Water Depth, ft	None
Ult Bearing Capacity, ksf	✓ 8.00

Mat	
Thickness, ft	3.00
Width, ft	23.00
EA, in	18.00
Batter, in/ft	0.00

Pier	
Height, ft	3.50
Diameter, ft	7.50
No. Piers	1
Shape	Round

Anchor Bolts	
Diameter, in	2.2500
No.	16
Length, in	84.00
Bolt Circle, in	64.75
Projection, in	12.00

Pocket	
Diameter, in	N/a
Thickness, ft	N/a

Concrete	
28 Day Strength, ksi	4.00
Dry Unit Wt, pcf	150.00
Wet Unit Wt, pcf	88.00

Rebar Fy	
Vertical, ksi	60.00
Circular, ksi	60.00
Horizontal, ksi	60.00

## Results

$\phi M_N$  - Parallel Axis                      5,687.4    ft-kips  
 $\phi M_N$  - Diagonal Axis                      5,844.3    ft-kips  
 Moment - Interaction Ratio                      0.984    ✓  
 $\phi V_N$  - Lateral Load                      123.54    kips  
 Lateral Load - Interaction Ratio                      0.311    ✓

Final Mat Dimension        : 23.00 x 23.00 x 3.00 ft. thick w/ (1) 7.50 ft dia. Pier

Final Pocket Dimension    : Pockets not required

Total Volume of Concrete : 64.5 yd<sup>3</sup>

Designed By: DWG  
 Date: 05 Dec,13 @ 09:09 AM

Checked By: HA  
 Date: 12/5/13

Customer: AMERICAN TOWER  
 Project: 180 FT. TAPERED STEEL POLE  
 Site: ALLENS TOWER  
 Engr. File: 208715  
 Build Code: ANSI/TIA-222-G-2005



# Mat Foundation

ver.1.3.9

## Design: Min. Foundation Width

Controlling Load Case: 1 [Wind w/Max. Dead Load]

Foundation Width = 23.00 ft

$M_U = 5,599.0$  ft-kips

	$\phi M_N$ , ft-kips	x, ft	N	$\sigma_{ur}$
Parallel	5,687.4	4.393	0.191	8.00
Diagonal	5,844.3	10.051	0.309	n/a

$\phi M_N = 5,687.43$  ft-kips

IRatio = 0.984

$\phi V_N = 123.54$  kips

IRatio = 0.311

## Mat Design

$\gamma_e = 130.00$  pcf

	x, ft	N	$\sigma_R$ , ksf	Moment, ft-kips			Shear, kips		
				Rt	Lt	$M_U/ft$	Rt	Lt	$V_U/ft$
Parallel	4.676	0.203	5.64	4,485.17	1,478.96	195.01	530.56	256.64	23.07
Diagonal	10.652	0.327	5.34	4,546.23	1,397.54	139.77	526.40	256.64	16.18
Use			5.64			195.01			23.07

⊗ Ultimate soil bearing capacity required

## Punching Shear

	Download			Uplift		
	Interior	Edge	Corner	Interior	Edge	Corner
$b_o$ , ft	36.92	N/a	N/a	N/a	N/a	N/a
$V_{su}$ , psi	188.69	N/a	N/a	N/a	N/a	N/a
$\phi V_c$ , psi	215.03	N/a	N/a	N/a	N/a	N/a
IR	0.88	N/a	N/a	N/a	N/a	N/a

Critical Sections: a = 11.50 ft.

b = 11.50 ft

c = 11.50 ft

g = 11.50 ft (min. of a, b, & c)

## Mat Reinforcement

Min. Steel Area (Strength) = 1.386 in<sup>2</sup>/ft.

Min Steel Area (Temperature) = .389 in<sup>2</sup>/ft.

Height of compression block, x = 3.66 in.

## One-Way Shear

$V_U = 23.07$  kips

$\phi V_c = 40.00$  kips

Min. Slab Thickness = 22.9 in.

32 - #9 Horizontal bars equally spaced @8.71 in., each way, top and bottom.

(Total of 128)

Designed By: DWG  
 Date: 05 Dec,13 @ 09:09 AM

Checked By: HA  
 Date: 12/5/13

Customer: AMERICAN TOWER  
Project: 180 FT. TAPERED STEEL POLE  
Site: ALLENS TOWER  
Engr. File: 208715  
Build Code: ANSI/TIA-222-G-2005



## Mat Foundation

ver.1.3.9

### Pier Design

Controlling Load Case: 1 [Wind w/Max. Dead Load]

C = 91.50 kips	Vc = 38.40 kips	Mc = 5,483.80 ft-kips
T = .00 kips	Vt = .00 kips	Mt = .00 ft-kips
Fy = 60.00 ksi	Fyt = 60.00 ksi	L.F. = 1.00
H = 90.00 in. /	Ds = 81.00 in.	F'c = 4.00 ksi /
U = 1.00	Irs = Round	

\*\*\* NOTE: Pier cross section is Round \*\*\*

### SUMMARY OF ANALYSIS

Minimum area of steel required	= 33.539 in <sup>2</sup>	/ (Rhom in = 0.0053)
Area of steel provided.	= 33.977 in <sup>2</sup>	(Rho actual = 0.0053)
Maximum steel area limit	= 508.939 in <sup>2</sup>	(Rho max = 0.0800)

(34) #9 Vertical Bars equally spaced w/ #5 Circular Ties @ 3" on center.

### CIRCULAR TIE DATA

$V_u < 0.85 * V_c / 2$ , shear reinforcement is not required

Use maximum tie spacing specified in ACI 318,  
Section 7.10.5 for compression reinforcement. /

### DEVELOPMENT LENGTH MODIFIERS FOR BAR DEVELOPMENT

Modifier for tension development = 1.000

Modifier for compression development = 0.613

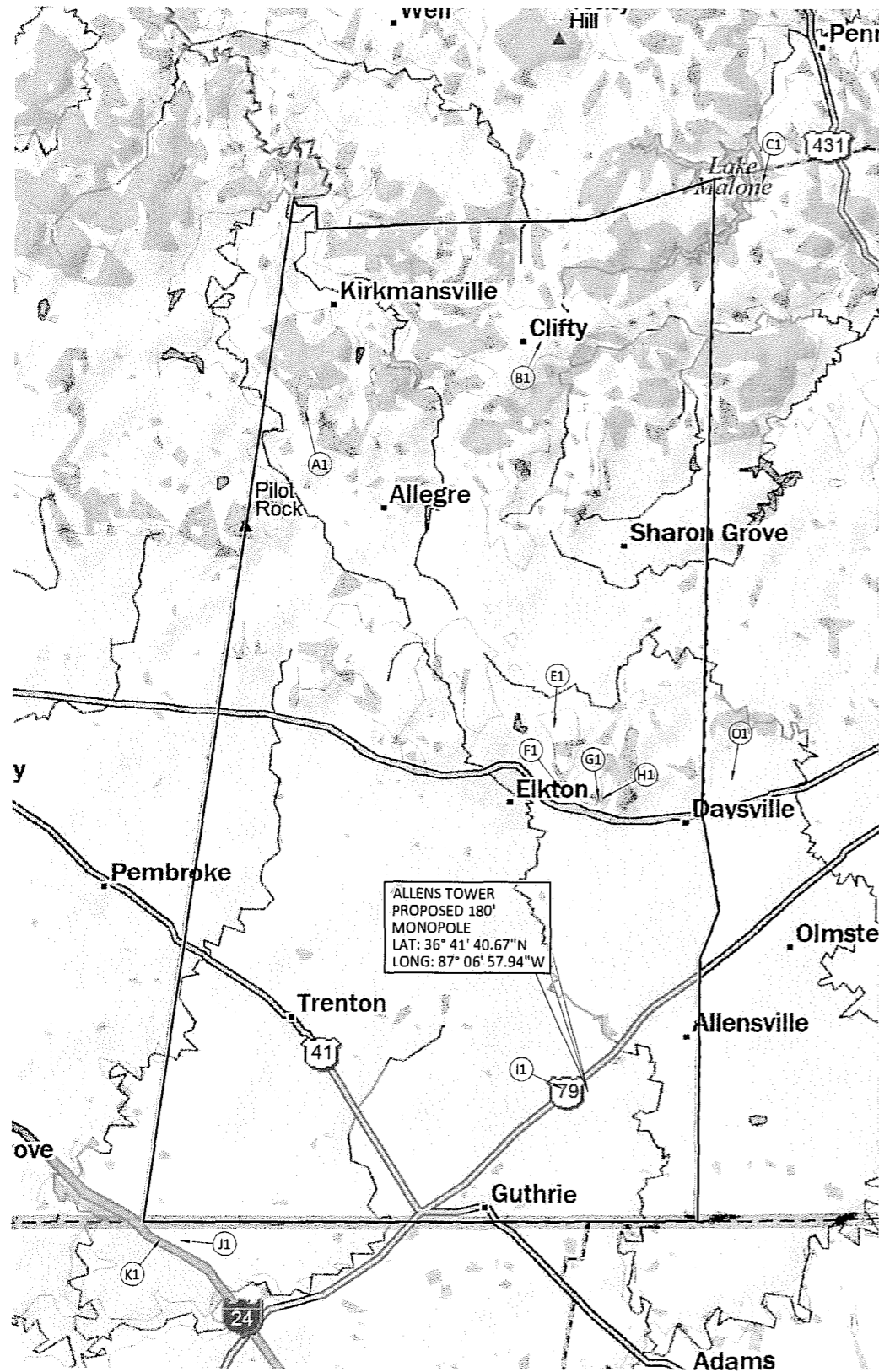
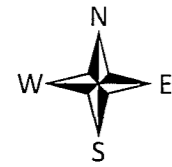
REQUIRED Ld = MODIFIER \* BASIC Ld \* ACI 318 MODIFIERS, (12 in. min.)

Designed By: DWG  
Date: 05 Dec,13 @ 09:09 AM

Checked By: HA  
Date: 12/5/13

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**EXHIBIT D**  
**COMPETING UTILITIES, CORPORATIONS, OR PERSONS LIST**  
**AND MAP OF LIKE FACILITIES IN VICINITY**

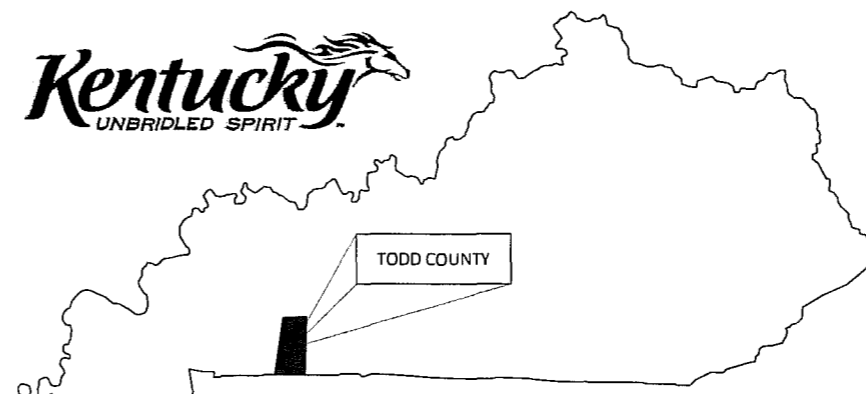


NOTE: TOWERS DEPICTED ARE ALL KNOWN TOWER SITES REGISTERED WITH THE FEDERAL COMMUNICATIONS COMMISSION IN TODD COUNTY, KENTUCKY. USGS 7.5 MINUTE QUADRANGLE: ELKTON, KY

## TODD COUNTY, KENTUCKY AT&T SITE NAME: ALLENS TOWER

### EXISTING TOWER LEGEND

- |    |  |    |  |
|----|--|----|--|
| Ⓐ1 | FCC REGISTRATION #: 1044827<br>LAT: N36° 58' 3.00"<br>LONG: W87° 15' 24.00"  | Ⓔ1 | FCC REGISTRATION #: 1043533<br>LAT: N36° 48' 48.00"<br>LONG: W87° 06' 42.00" |
| Ⓑ1 | FCC REGISTRATION #: 1052933<br>LAT: N36° 59' 46.40"<br>LONG: W87° 08' 24.40" | Ⓕ1 | FCC REGISTRATION #: 1240659<br>LAT: N36° 48' 46.60"<br>LONG: W87° 06' 40.00" |
| Ⓒ1 | FCC REGISTRATION #: 1266950<br>LAT: N37° 03' 33.70"<br>LONG: W87° 01' 50.40" | Ⓖ1 | FCC REGISTRATION #: 1274279<br>LAT: N36° 41' 48.40"<br>LONG: W87° 07' 44.20" |
| Ⓓ1 | FCC REGISTRATION #: 1261471<br>LAT: N36° 49' 14.60"<br>LONG: W87° 02' 42.80" | Ⓗ1 | FCC REGISTRATION #: 1231219<br>LAT: N36° 38' 5.60"<br>LONG: W87° 19' 3.90"   |
| Ⓔ1 | FCC REGISTRATION #: 1065292<br>LAT: N36° 50' 29.00"<br>LONG: W87° 07' 59.00" | Ⓙ1 | FCC REGISTRATION #: 1218387<br>LAT: N36° 38' 8.70"<br>LONG: W87° 19' 41.00"  |
| Ⓕ1 | FCC REGISTRATION #: 1206469<br>LAT: N36° 48' 57.20"<br>LONG: W87° 07' 40.00" |    |  |



### COUNTY TOWER MAP

REV.	DATE	DESCRIPTION
A	12.17.13	ADDRESS
B	12.18.13	TOWER TYPE

#### SITE INFORMATION:

### ALLENS TOWER

238 SNARDON MILL ROAD  
GUTHRIE, KY 42234

SITE NUMBER:  
KYEUV3323

POD NUMBER: 13-0820

DRAWN BY: CSA  
CHECKED BY: MEP  
DATE: 12.18.13

SHEET TITLE:

TOWER GRID MAP

SHEET NUMBER:

C-1

## License Search

**Search Results****Specified Search**State = **Kentucky**County = **TODD**Radio Service = **CL, CW**Status = **Active**Matches **1- 11** (of **11** )

PA = Pending Application(s)  
TP = Termination Pending  
L = Lease

	<b>Call Sign/Lease ID</b>	<b>Name</b>	<b>FRN</b>	<b>Radio Service</b>	<b>Status</b>	<b>Expiration Date</b>
1	<span style="border: 1px solid black; padding: 1px;">PA</span> KNKN748	NEW CINGULAR WIRELESS PCS, LLC	0003291192	CL	Active	10/01/2021
2	<span style="border: 1px solid black; padding: 1px;">PA</span> KNKN867	Kentucky RSA #3 Cellular General Partnership	0001786706	CL	Active	10/01/2020
3	KNLF285 <span style="border: 1px solid black; padding: 1px;">L</span>	WIRELESSCO, L.P.	0002316545	CW	Active	06/23/2015
4	<span style="border: 1px solid black; padding: 1px;">PA</span> KNLF460	Cricket License Company, LLC	0018402123	CW	Active	09/17/2016
5	KNLG230	New Cingular Wireless PCS, LLC	0003291192	CW	Active	04/28/2017
6	KNLH416	New Cingular Wireless PCS, LLC	0003291192	CW	Active	04/28/2017
7	KNLH417	New Cingular Wireless PCS, LLC	0003291192	CW	Active	04/28/2017
8	WPOI256	NEW CINGULAR WIRELESS PCS, LLC	0003291192	CW	Active	06/23/2015
9	WPOK615	Powertel Memphis Licenses, Inc.	0001832807	CW	Active	09/29/2019
10	WPZV472	Bluegrass Wireless LLC	0010698868	CW	Active	06/23/2015
11	WQQQ250	Powertel Memphis Licenses, Inc.	0001832807	CW	Active	04/28/2017

	<b>Call Sign/Lease ID</b>	<b>Name</b>	<b>FRN</b>	<b>Radio Service</b>	<b>Status</b>	<b>Expiration Date</b>
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**EXHIBIT E  
CO-LOCATION REPORT**



February 12, 2014

Public Service Commission  
211 Sower Boulevard  
Frankfort, KY 40602

RE: Alternate Site Analysis Report  
Certificate of Public Convenience and Necessity  
Applicant: AT&T Mobility  
Site Location: 238 Snardon Mill Road, Guthrie, KY 42234  
Site Name: Allens Tower

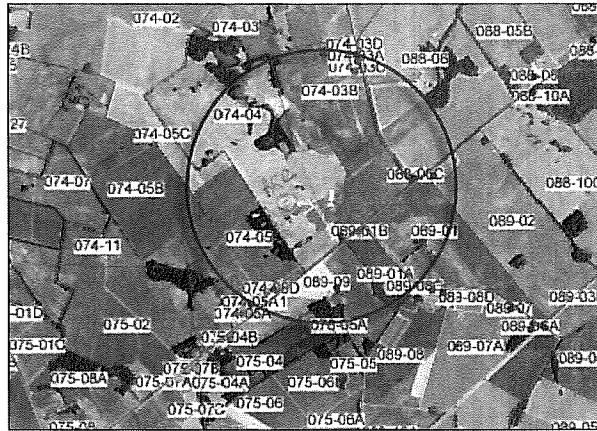
Dear Commissioners:

This report is provided to explain the site development process used by the Applicant to identify the site selected for the new wireless communications facility proposed in the accompanying application for a CPCN.

### **AT&T Mobility Site Development Process**

**Step 1: Problem Identification.** AT&T Mobility radio frequency engineers first identified a growing coverage and/or capacity gap in the area along Highway 79 (Russellville Road) and between Guthrie and Allensville in Todd County, KY.

**Step 2: Search Ring.** To help guide the site development team's task of identifying a suitable location for a new wireless communications facility site, AT&T Mobility's radio frequency engineers identified the geographic area where the antenna site must be located in order to close the gap and issued a map (called a Search Ring) that identified the general area in which a new site must be located. In this instance, the search ring has a radius of .7 miles and is centered on an existing 190' Bluegrass Cellular guyed tower with an address of 4799 Russellville Road, Guthrie, KY. A map of the search ring is shown below:



**Step 3: Co-location Review.** The site development team first reviewed the area within the Search Ring for a suitable tall structure for co-location. In this case, there is an existing Bluegrass Cellular Tower located within the search ring. The only available space on the existing tower is 100-feet (see attached email). This elevation is not sufficient to meet AT&T's radio frequency coverage objectives. Wireless communication is line of site technology and to be effective, any new antenna facility must be at the correct height in order to properly integrate it into the existing network. In this instance, AT&T must locate its antennas at 180-feet to provide the necessary improvements in coverage for this area of Todd County. As a result, the existing tower was not a suitable candidate for co-location. A one mile radius search outside the search ring for collocation opportunities was conducted and no existing structures were found to be suitable for collocation.

**Step 4: Assessment of Suitable Parcels.** Once the site development team determined that there are no available existing tall structures which are available for co-location, we visited the Property Valuation Assessor's Office in Elkton, KY to view a parcel map of the area to identify and assess parcels located within the search area that might be suitable from a land use perspective to host an antenna site. The purpose of the assessment is: (1) to confirm the availability of sufficient land space for the proposed facility; (2) to identify a specific location for the facility on the parcel; (3) to identify any recognized environmental conditions that would disqualify the parcel from consideration; (4) to identify any construction issues that would disqualify the candidate; and, (5) to assess the potential impact of the facility on neighboring properties. In this case, we wanted to find parcels with adequate acreage to buffer the tower from surrounding properties and that also provided sufficient elevation to meet the coverage objectives of the project. We located four potential properties. Inquiry letters were sent to all four property owners. Parcel 074-05 shown above, is owned by Gary and Tamara Cox. It was ruled out because the owners did not respond to our inquiry letter.

**Step 6: Candidate Evaluation and Selection.** After the preliminary site assessments were performed, the site development team evaluated the available candidates based on the availability of ground space, topography, applicable environmental conditions, construction feasibility, the potential impact of the facility on neighboring properties, and radio frequency service needs. In this case, the owner of Parcel 074-03B is Gladys Cain and Parcel 074-04 is her husband, Tom Cain, who is deceased. Both parcels were ruled

out because family members were unable to agree on a lease for a new tower. The remaining two parcels under consideration within the search area were:

- Parcel 089-01, owners are Miller Brothers Farm.
- Parcel 089-09, owner Glynn E. Davis.

The Miller and Davis properties were evaluated by AT&T's radio frequency engineers and chose the Miller Brothers Farm. It provided a higher elevation that would give optimal coverage improvement in this area of Todd County.

**Step 7: Leasing and Due Diligence.** Once a suitable candidate was selected, lease negotiations were commenced and site due diligence steps were performed, as described below.

Leasehold Due Diligence:

- A Title Report was obtained and reviewed to ensure that there are no limitations on the landowner's capacity to lease and to address any title issues.
- A site survey was obtained to identify the location of parcel features, boundaries, easements and other encumbrances revealed by the title search.

Engineering Due Diligence:

- Utility access identified.
- Grounding plan designed.
- Geotechnical soil analysis performed to determine foundation requirements.
- Foundations designed to meet the Kentucky Building Code lateral and subjacent support requirements.
- Site plan developed.

Environmental Due Diligence:

A Phase I Environmental Site Assessment ("ESA") investigation was performed to establish the pre-existing types and amounts of contamination at a site, and to establish that the leaseholder is innocent of liability for the costs of performing environmental cleanup work that might arise from pollution or contamination of the site caused by a third party.

In addition to performing a Phase 1 ESA, the site was also evaluated for potential impacts under the *National Environmental Policy Act* (NEPA), submitted to the State Historic Preservation Office for review of potential impacts to historic structures or districts, and submitted to the registered Tribal Historic Preservation Office so that registered Native American nations had the opportunity to review potential impacts on native religious, ceremonial, or cultural resources.

Federal Regulatory Approvals

- Federal Aviation Administration (“FAA”) compliance.
- Federal Communication Commission (“FCC”) compliance.

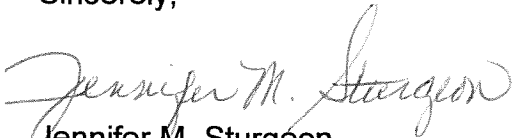
In this case, Mr. Miller wanted the site to be located on the Northeast side of a large barn. This location provides a buffer from Snardon Mill Road and will not have significant impact on their farming operation.

**Step 8: Application.** Once a lease is obtained and all site due diligence is completed, AT&T Mobility prepared and filed the accompanying application for a CPCN to construct, maintain, and operate a communications facility.

### Conclusion

Applicant’s site identification and selection process aims to identify the least intrusive of all the technically feasible parcels in a service need area. In this case, AT&T’s radio frequency engineers considered the two candidates that were interested in a lease agreement and the Miller Brothers Farm property was chosen because it provides optimum coverage. A large barn will shield the site from Snardon Mill Road. The size of the Miller Brothers Farm parcel will provide additional buffering of the site from adjoining property owners. The proposed site is the least intrusive available alternative that also provides optimal coverage improvement to this area of Todd County.

Sincerely,



Jennifer M. Sturgeon  
Site Acquisition Specialist  
FMHC  
2310 Valletta Lane  
Louisville, KY 40205  
502-817-1964

**From:** Jill Vice [<mailto:jvice@bluegrasscellular.com>]

**Sent:** Tuesday, January 07, 2014 2:33 PM

**To:** Jennifer Sturgeon

**Subject:** RE: AT&T Sites

Hi Jennifer –

Hope you stayed warm yesterday!

I have heights for you:

Leitchfield – Denied (Hub site)

Todd South – 100’

Logan South – 145’

Let me know if Todd South and Logan South work for AT&T and I’ll send our revised application.

Jill

**Jill Vice** | Senior Lease & Co-location Administrator  
**Bluegrass Cellular Inc.** | 2902 Ring Rd. | Elizabethtown, KY 42701

Email: [jvice@bluegrasscellular.com](mailto:jvice@bluegrasscellular.com)  
Office: 270.765.6361 x3015 | Fax: 270.737.0580  
Cell:





Cain Property - CAND B

Cain Property - CAND A

Allens Tower Search Ring Center

Bluegrass Cellular Tower

Miller Bros - CAND C

Davis Property - CAND D

Russellville Rd

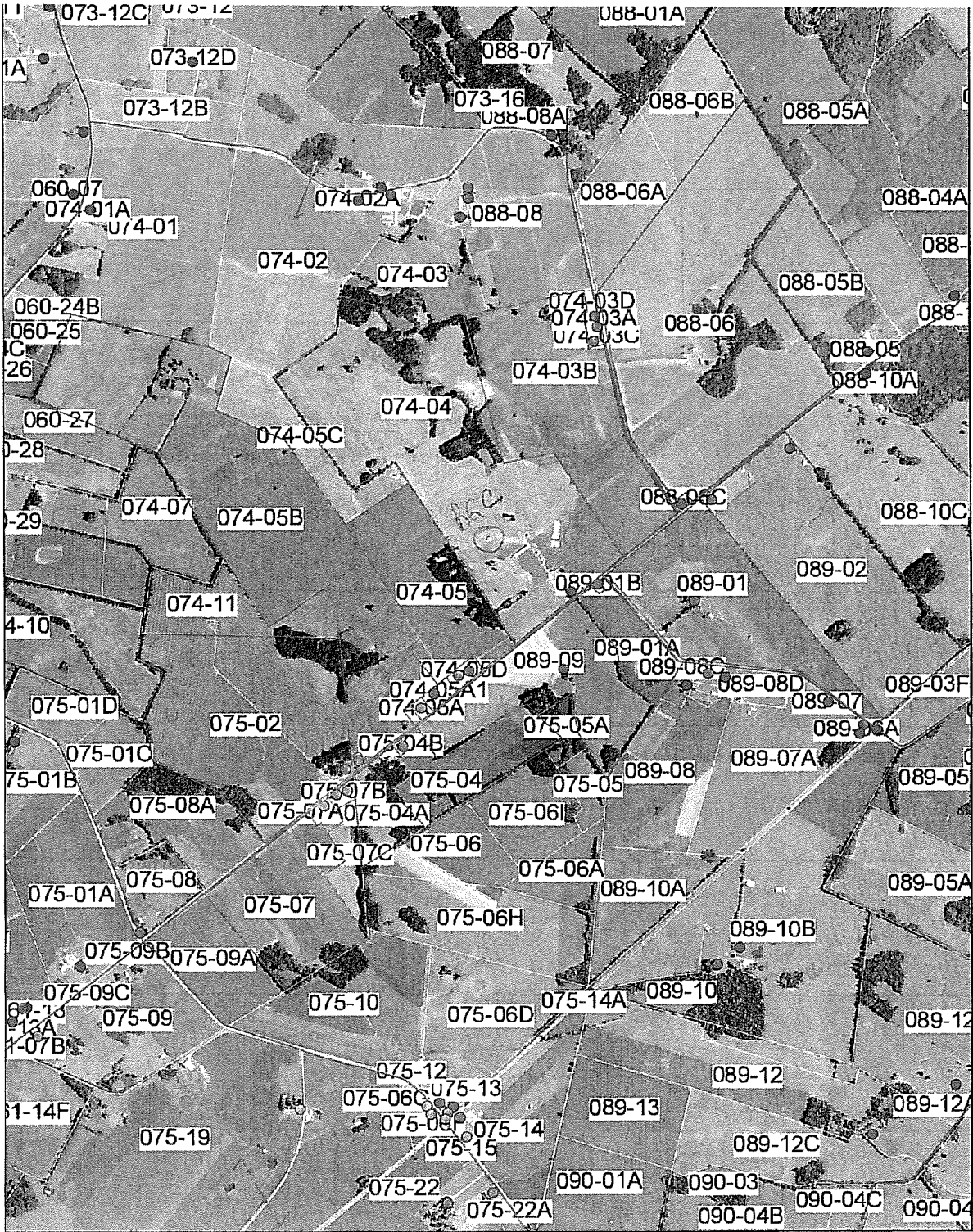
79

© 2013 Google

Image © 2013 DigitalGlobe

Imagery Date: 10/15/2011 36°41'33.24" N 87°07'57.64" W

1008





**EXHIBIT F**  
**FAA**

\*\*\*\*\*  
\* Federal Airways & Airspace \*  
\* Summary Report: New Construction \*  
\* Antenna Structure \*  
\*\*\*\*\*

Airspace User: David Duncan

File: ALLENS-TOWER

Location: Allensville, KY  
Distance: 3.1 Statute Miles  
Direction: 59° (true bearing)

Latitude: 36°-41'-40.67" Longitude: 87°-06'-57.94"

SITE ELEVATION AMSL.....587 ft.  
STRUCTURE HEIGHT.....199 ft.  
OVERALL HEIGHT AMSL.....786 ft.

NOTICE CRITERIA

FAR 77.9(a): NNR (DNE 200 ft AGL)  
FAR 77.9(b): NNR (DNE Notice Slope)  
FAR 77.9(c): NNR (Not a Traverse Way)  
FAR 77.9: NNR (No Expected TERPS® impact with M91)  
FAR 77.9: NNR (No Expected TERPS® impact CKV)  
FAR 77.9(d): NNR (Off Airport Construction)

NR = Notice Required

NNR = Notice Not Required

PNR = Possible Notice Required (depends upon actual IFR procedure)  
For new construction review Air Navigation Facilities at bottom  
of this report.

Notice to the FAA is not required at the analyzed location and height for  
slope, height or Straight-In procedures. Please review the 'Air Navigation'  
section for notice requirements for offset IFR procedures and EMI.

OBSTRUCTION STANDARDS

FAR 77.17(a) (1): DNE 499 ft AGL  
FAR 77.17(a) (2): DNE - Airport Surface  
FAR 77.19(a): DNE - Horizontal Surface  
FAR 77.19(b): DNE - Conical Surface  
FAR 77.19(c): DNE - Primary Surface  
FAR 77.19(d): DNE - Approach Surface  
FAR 77.19(e): DNE - Transitional Surface

VFR TRAFFIC PATTERN AIRSPACE FOR: M91: SPRINGFIELD ROBERTSON COUNTY

Type: A RD: 80618.58 RE: 707.1

FAR 77.17(a) (1): DNE  
FAR 77.17(a) (2): DNE - Greater Than 5.99 NM.  
VFR Horizontal Surface: DNE  
VFR Conical Surface: DNE  
VFR Approach Slope: DNE  
VFR Transitional Slope: DNE

VFR TRAFFIC PATTERN AIRSPACE FOR: CKV: OUTLAW FIELD

Type: A RD: 89575.5 RE: 532.9

FAR 77.17(a) (1): DNE  
 FAR 77.17(a) (2): DNE - Greater Than 5.99 NM.  
 VFR Horizontal Surface: DNE  
 VFR Conical Surface: DNE  
 VFR Approach Slope: DNE  
 VFR Transitional Slope: DNE

TERPS DEPARTURE PROCEDURE (FAA Order 8260.3, Volume 4)  
 FAR 77.17(a) (3) Departure Surface Criteria (40:1)  
 DNE Departure Surface

MINIMUM OBSTACLE CLEARANCE ALTITUDE (MOCA)  
 FAR 77.17(a) (4): DNE - No Airway Found

PRIVATE LANDING FACILITIES  
 No Private Landing Facilities Are Within 6 NM

AIR NAVIGATION ELECTRONIC FACILITIES

APCH	FAC	ST	DIST	DELTA	GRND					
BEAR	IDNT	TYPE	AT	FREQ	VECTOR	(ft)	ELEVA	ST	LOCATION	ANGLE
----	----	----	----	----	----	----	----	----	-----	-----
	HPX	RADAR WXL	Y		287.23	51821	+162	KY	TRENTON	.18
	FKP	LOM	I		280.09	88595	+193	KY	RWY 23 CAMPBELL A	.12
	FK	NDB	I	27	280.11	88626	+193	KY	AIRBE	.12
	CKV	VOR/DME	R	110.6	253.00	90921	+248	TN	CLARKSVILLE	.16
	HOP	RADAR	Y		264.33	107606	+123	KY	CAMPBELL AAF	.07
	No Impact. This structure does not require Notice based upon EMI. The studied location is within 20 NM of a Radar facility. The calculated Radar Line-Of-Sight (LOS) distance is: 66 NM. This location and height is within the Radar Line-Of-Sight.									
	HXW	TACAN	R	NA	266.32	111326	+214	KY	SCREAMING EAGLE	.11
	QOJ	RADAR ARSR	Y	1263.4	150.25	150429	-87	TN	Nashville (Joelto	-.03
	OHX	RADAR WXL	Y		135.18	230280	+110	TN	OLD HICKORY	.03

FCC AM PROOF-OF-PERFORMANCE  
 NOT REQUIRED: Structure is not near a FCC licensed AM radio station Proof-of-Performance is not required. Please review AM Station Report for details.

Nearest AM Station: WEKT @ 13305 meters.

Airspace® Summary Version 13.9.332

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 Copyright © 1989 - 2013

10-29-2013  
 14:10:36

**EXHIBIT G**  
**KENTUCKY AIRPORT ZONING COMMISSION**

**From:** [Houlihan, John \(KYTC\)](mailto:John.Houlihan@kytc.com)  
**To:** [Lottie Thompson](mailto:Lottie.Thompson@fmhc.com)  
**Subject:** RE: KAZC Filings for 4 sites, Allens Tower, KY Oaks, Mall, Leitchfield South& Millers Mill  
**Date:** Thursday, October 31, 2013 8:01:40 AM

---

The above subject does not require a permit from the Kentucky Airport Zoning Commission. The antennas do not exceed any of the following criteria:

**602 KAR 50:030. Jurisdiction of the Kentucky Airport Zoning Commission.**

RELATES TO: KRS 183.861, 183.865, 183.867, 183.870  
STATUTORY AUTHORITY: KRS 183.861

NECESSITY, FUNCTION, AND CONFORMITY: KRS 183.867 specifies that the commission has jurisdiction over zoning for all public use and military airports. This administrative regulation defines the areas over which the Kentucky Airport Zoning Commission has jurisdiction for the purpose of zoning in accordance with KRS Chapter 183 and specifics when the owner or person who has control over a structure which encroaches on the jurisdiction of the Kentucky Airport Zoning Commission shall apply for a permit.

Section 1. The commission has zoning jurisdiction over that airspace over and around the public use and military airports within the Commonwealth which lies above the imaginary surface that extends outward and upward at one (1) of the following slopes:

- (1) 100 to one (1) for a horizontal distance of 20,000 feet from the nearest point of the nearest runway of each public use and military airport with at least one (1) runway 3,200 feet or more in length; or
- (2) Fifty (50) to one (1) for a horizontal distance of 10,000 feet from the nearest point of the nearest runway of each public use and military airport with its longest runway less than 3,200 feet in actual length.

Section 2. The commission has zoning jurisdiction over the use of land and structures within public use airports within the state.

Section 3. The commission has jurisdiction from the ground upward within the limits of the primary and approach surfaces of each public use and military airport as depicted on Airport Zoning Maps approved by the Kentucky Airport Zoning Commission.

Section 4. The commission has jurisdiction over the airspace of the Commonwealth that exceeds 200 feet in height above ground level.

Section 5. The owner or person who has control over a structure which penetrates or will penetrate the airspace over which the commission has jurisdiction shall apply for a permit from the commission in accordance with 602 KAR 50:090. (KAV-9-1; 1 Ky.R. 807; eff. 5-14-75; Am. 2 Ky.R. 306; eff. 3-10-76; 5 Ky.R. 599; eff. 3-7-79; 10 Ky.R. 445; eff. 1-4-84; 14 Ky.R. 267; eff. 9-10-87; 19 Ky.R. 800; eff. 11-4-92; 27 Ky.R. 2228; 2774; eff. 4-9-2001.)

Please keep this email for your records. Thank you.

Kentucky Airport Zoning Commission (KAZC)

John Houlihan, Administrator

90 Airport Road, Building 400

Frankfort, KY 40601

Direct Line 502-564-0310, Cell 502-330-3955, Office 502-564-4480, Fax 502-564-7953

KAZC webpage: <http://transportation.ky.gov/Aviation/Pages/Zoning-Commission.aspx>

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---

**From:** Lottie Thompson [<mailto:lthompson@fmhc.com>]

**Sent:** Wednesday, October 30, 2013 5:55 PM

**To:** Houlihan, John (KYTC)

**Subject:** FW: KAZC Filings for 4 sites, Allens Tower, KY Oaks, Mall, Leitchfield South& Millers Mill

Please see attached four KAZC filing request for sites that did not require FAA/FCC filing.

Thanks,

Lottie Thompson

FMHC Corporation

1700 Sherwin Ave.

Des Plaines, IL 60018

773.380.3871 office

773.341.6071 Cell

[ltompson@fmhc.com](mailto:ltompson@fmhc.com)

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**EXHIBIT H  
GEOTECHNICAL REPORT**



## Geotechnical Evaluation of Subsurface Conditions

### Monopole Tower

Report Prepared for  
**FMHC Corporation**

**Site Name: Allens Tower**  
**Site ID: 143774-A**

238 Snardon Mill Road - Guthrie, KY 42234  
Lat: 36° 41' 40.67"  
Lon: -87° 06' 57.94"

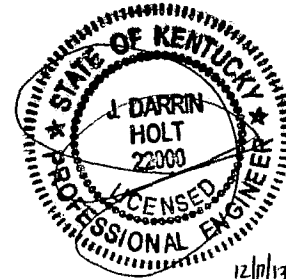
**FDH Project Number 1305271600**

Prepared by:

J. Connor Mueller, E.I.  
Geotechnical Engineer

J. Darrin Holt, PhD, P.E.  
Managing Principal

**FDH Engineering, Inc.**  
6521 Meridien Drive  
Raleigh, NC 27616  
(919)755-1012  
info@fdh-inc.com



10/23/2013





## EXECUTIVE SUMMARY

**Project Location:** 238 Snardon Mill Road – Guthrie, KY 42234  
**Structure Type:** Monopole  
**Site ID/Number:** 143774-A  
**Number of Borings:** One (1)  
**Depth of Borings:** B-1 to 24.5 ft

## INTRODUCTION

FDH Engineering, Inc. understands that a monopole type telecommunication tower will be erected at the aforementioned project site. The authorized subsurface investigation has been completed to evaluate the existing subsurface conditions and their effect on the proposed construction and site development.

## SITE INVESTIGATIONS

The project site is generally flat and exhibits a topographic variation of less than 5.0 ft. Currently, the footprint area of the proposed monopole tower is vacant and covered with grass. The site drainage is surface runoff.

Subsurface conditions were evaluated by obtaining one test boring near the tower's foundation elements base as shown on Figure 1. The boring was sampled at selected intervals using standard penetration test procedures designated in ASTM D-1586, with auger refusal encountered at 24.5 ft below grade. The soil samples were transported to our soil lab and classified according to ASTM D-2487. Additionally, unconfined compressive strength tests have been conducted on selected samples according to the test procedures designated in ASTM D-2166.

The soil samples will be retained in our laboratory for a period of forty-five (45) days, after which, they will be discarded unless other instructions are received as to their disposition.

## SUBSURFACE CONDITIONS

Based on the field boring record and laboratory test results, the subsurface conditions on site can be generalized using the following strata descriptions:

Strata #	Approx. Depth (ft)	General Description
I	0.0 – 18.5	(CL) Firm to very stiff lean clay, trace to some sand, chert pieces, moist
II	18.5 – 23.5	(CL-CH) Stiff lean to fat clay, some silt and sand, chert pieces, moist
III	23.5 – 24.5	(CH) Soft fat clay, some rock fragments, moist
IV	24.5 – 25.0	Probable limestone



## GROUNDWATER

Groundwater was not encountered in the soil boring B-1 at the time of drilling. However, regional groundwater levels will fluctuate with seasonal and climatic changes and may be different at other times. We recommend that FDH be immediately notified if a noticeable change in groundwater occurs from the depths mentioned in this report.

## FOUNDATION RECOMMENDATIONS

The following recommendations are made based on our review of the attached test boring data and laboratory results, along with our past experience with similar projects and subsurface conditions. Ultimate soil strength design parameters are presented on the attached Table 1. The values in this table can be used to evaluate the lateral and bending moment capacity of the soil supporting this foundation. Based on the TIA Standard (TIA-222-G), dated August 2005, the recommended design frost penetration depth to be used for Todd County, Kentucky is 20-inches (1.7 ft).

FDH was not provided with the required foundation capacities at the time of this report. For monopole towers, we anticipate the planned tower foundation will be subjected to relatively high lateral loads and bending moments. Based on our past experience with similar projects and subsurface conditions, we recommend that either a Drilled Shaft (Caisson) or Pad & Pier type foundation be used as the tower foundation. For these foundations, general soil strength design recommendations are given in this report that can be used by the Engineer of Record to determine the foundation sizes once the required foundation capacities are known.

### Drilled Shaft (Caisson) Foundation

Should caisson foundation be used, we recommend the caisson be reinforced with steel to resist and transfer lateral and axial loads. Skin friction and bearing at the tip of the caisson can be used to determine the compressive capacity of the foundation. Figure 2 is a plot of the ultimate skin friction versus depth for caisson diameters ranging from 3.0 ft to 7.0 ft, while Figure 3 shows ultimate end bearing versus depth for the same diameter range. The values in these plots are ultimate values and appropriate factors of safety should be used.

Based on the subsurface soil conditions, excavation for the caisson should be possible using a large, truck-mounted, hydraulic-advanced drill rig. All debris, loose or disturbed soil should be removed from the excavation prior to placing reinforced steel and/or concrete. Reinforcing steel and/or concrete should be placed immediately upon completion of the excavation.

Due to the loose sand and the groundwater encountered at the project site, the excavation may be susceptible to caving. Drilling fluid or casing could be used to assist in keeping the drilled hole open. If casing is used, we recommend it be removed from the excavation as concrete is being placed. Continuous vibration or other approved methods should be used during casing withdrawal to reduce the potential for void-space formation within the concrete. If water is present during concrete placement and/or drilling fluids are used to maintain hole stability, concrete should be pumped or otherwise discharged to the bottom of the hole via a hose or tremie pipe. The end of the hose or tremie pipe must remain below the top surface of any water, drilling fluid and the in-place concrete at all times. Additionally, concrete should be consolidated using vibration methods over the entire length and width of the caisson and the consolidation should be performed only after these fluids are removed and to the extent possible.



Pad & Pier Foundation

Should pad & pier foundation be used, we recommend the pad & pier be reinforced with steel to resist and transfer lateral and axial loads, as well as prevent cracking and shrinkage due to temperature and moisture variations. Based on the subgrade conditions and frost penetration depth of the project site, we recommend the bottom of the pad foundation bears at a depth deeper than 2.0 ft. The tower's foundation capacity can be determined using the soil's bearing capacity, passive pressure resistance, and a sliding friction factor. For these calculations we recommend the following:

- **Net Ultimate Bearing Capacity:**

Pad Dimensions (ft)	Pad Bearing Depth (ft)	Net Ultimate Bearing Capacity (psf)	Sliding Friction Factor
7.5 × 7.5	2.0	6,000	0.30
	4.0	18,500	0.30
	6.0	18,500	0.30
10.0 × 10.0	2.0	6,000	0.30
	4.0	16,000	0.30
	6.0	14,500	0.30
15.0 × 15.0	2.0	5,500	0.30
	4.0	11,000	0.30
	6.0	10,000	0.30
20.0 × 20.0	2.0	4,500	0.30
	4.0	8,500	0.30
	6.0	8,000	0.30

These values are ultimate values and an appropriate factor of safety should be used.

- **Ultimate Passive Pressure vs. Depth:** Shown in Figure 4. This figure contains ultimate values and an appropriate factor of safety should be used. These values have been reduced for frost penetration to a depth of 1.7 ft.

The pad should bear on natural soils or on controlled structural fill placed on acceptable natural soils. The site should be stripped to suitable depths to remove any existing grass, top soil and miscellaneous fill material. Select fill used to elevate the grade and backfill the excavation should consist of clean soils without deleterious inclusions and with maximum 3.0-inch particle size. On-site soils identified as silty sand and clayey sand and silt are acceptable for use as structural fill if the soils are maintained normally at optimum moisture content. Some of these soils may require aeration and drying prior to re-use as structural fill. The select fill material should be placed in maximum of 8.0 inches loose lifts and compacted to a minimum of 95 percent of the maximum dry density as per ASTM D-698. The moisture content should be within -2 to +2 % of optimum moisture.

The pad & pier foundation should be protected from freezing if built during the winter or subject



to freezing temperatures after construction. Groundwater was not encountered within the recommended bearing depth at the project site. However, positive drainage should be provided to prevent rainwater collection in foundation excavations or on subgrades of the construction area either during or after construction. Undercut or excavated areas should be sloped toward a corner to facilitate removal of any collected rainwater or surface runoff.

### Construction Inspection

We recommend that the foundation excavation and fill placement process be monitored by a geotechnical engineer or representative thereof. Geological material variances may occur at project site. Therefore, the soil excavations should be inspected under the supervision of a geotechnical engineer or representative thereof to confirm that the bearing soils are similar to those encountered in our field exploration and that the subgrade has been properly prepared. The geotechnical engineer should be immediately notified should any subsoil conditions be uncovered that will alter the conclusions and recommendations contained in this report. Further investigation and supplemental recommendations may be required if such a condition is encountered.

Samples of the subgrade soil and structural fill material should be obtained prior to compaction operations for laboratory moisture/density testing (Proctor Tests). The tests will then provide a basis for evaluating the in-place density requirements during compaction operations. A qualified soil technician should perform sufficient in-place density tests during the filling operations to verify that proper levels of compaction are being attained.

Prior to placement of concrete, the foundation excavation should be inspected to verify that the excavation is to the proper depth and reinforcing steel is placed as recommended. Concrete cylinders should be made for 7-day and 28-day breaks and the concrete compressive strength should reach the required strengths after curing for designated days.

### **LIMITATIONS**

All opinions and conclusions are considered accurate to a reasonable degree of engineering certainty based upon the evidence available at the time of this report. All opinions and conclusions are subject to revision based upon receipt of new or additional/updated information. All services are provided exercising a level of care and diligence equivalent to the standard and care of our profession. No other warranty or guarantee, expressed or implied, is offered. Our services are confidential in nature and we will not release this report to any other party without the client's consent. The use of this engineering work is limited to the express purpose for which it was commissioned and it may not be reused, copied, or distributed for any other purpose without the written consent of FDH Engineering, Inc.



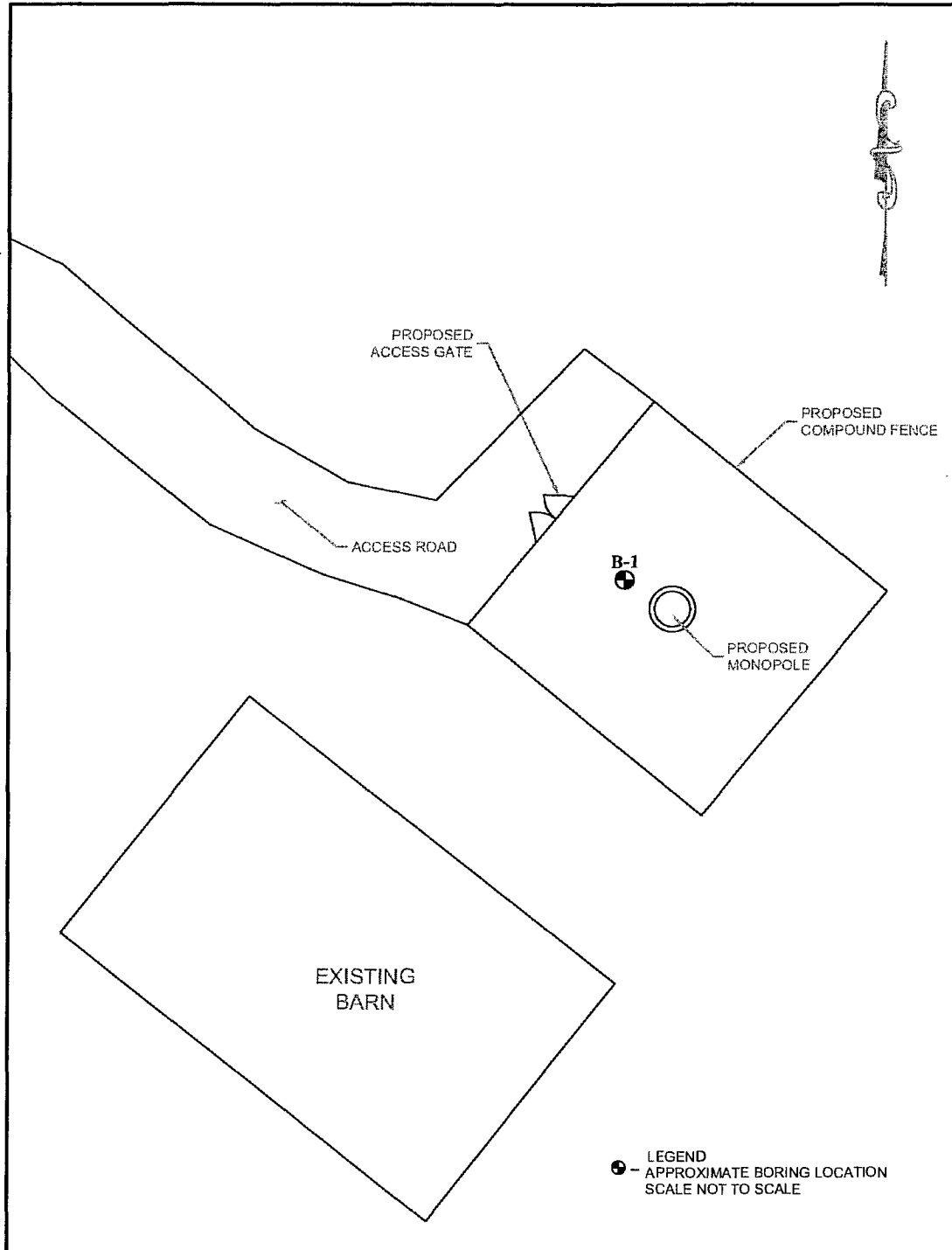
**Table 1**  
**ULTIMATE SOIL STRENGTH PARAMETERS**

**Allens Tower**  
**Site ID: 143774-A**

Boring #	Depth (ft)	Unified Soil Classification	Moist Unit Weight (pcf)	Friction Angle (degrees)	Cohesion (psf)	Modulus (pci)	$E_{50}$
B-1	0.0 – 3.5	CL	115	0	1000	200	0.01
	3.5 – 13.5	CL	120	0	3000	600	0.005
	13.5 – 18.5	CL	115	0	3000	600	0.005
	18.5 – 23.5	CL-CH	115	0	1500	300	0.007
	23.5 – 24.5	CH	100	0	200	40	0.02



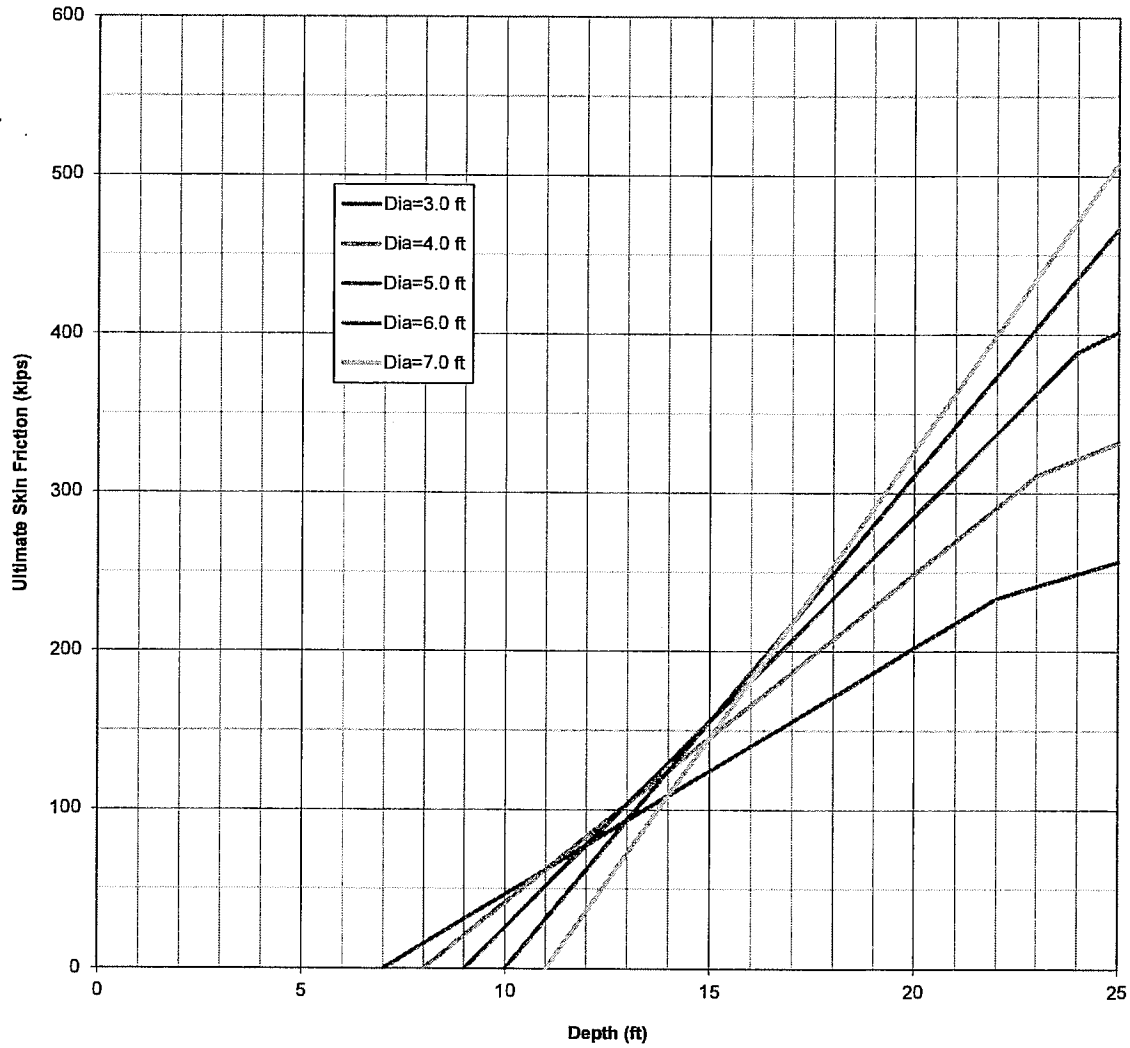
**FIGURE 1: Site Plan – 238 Snardon Mill Road - Guthrie, KY 42234**





**FIGURE 2: ULTIMATE SKIN FRICTION vs. DEPTH**  
Soil Boring B-1

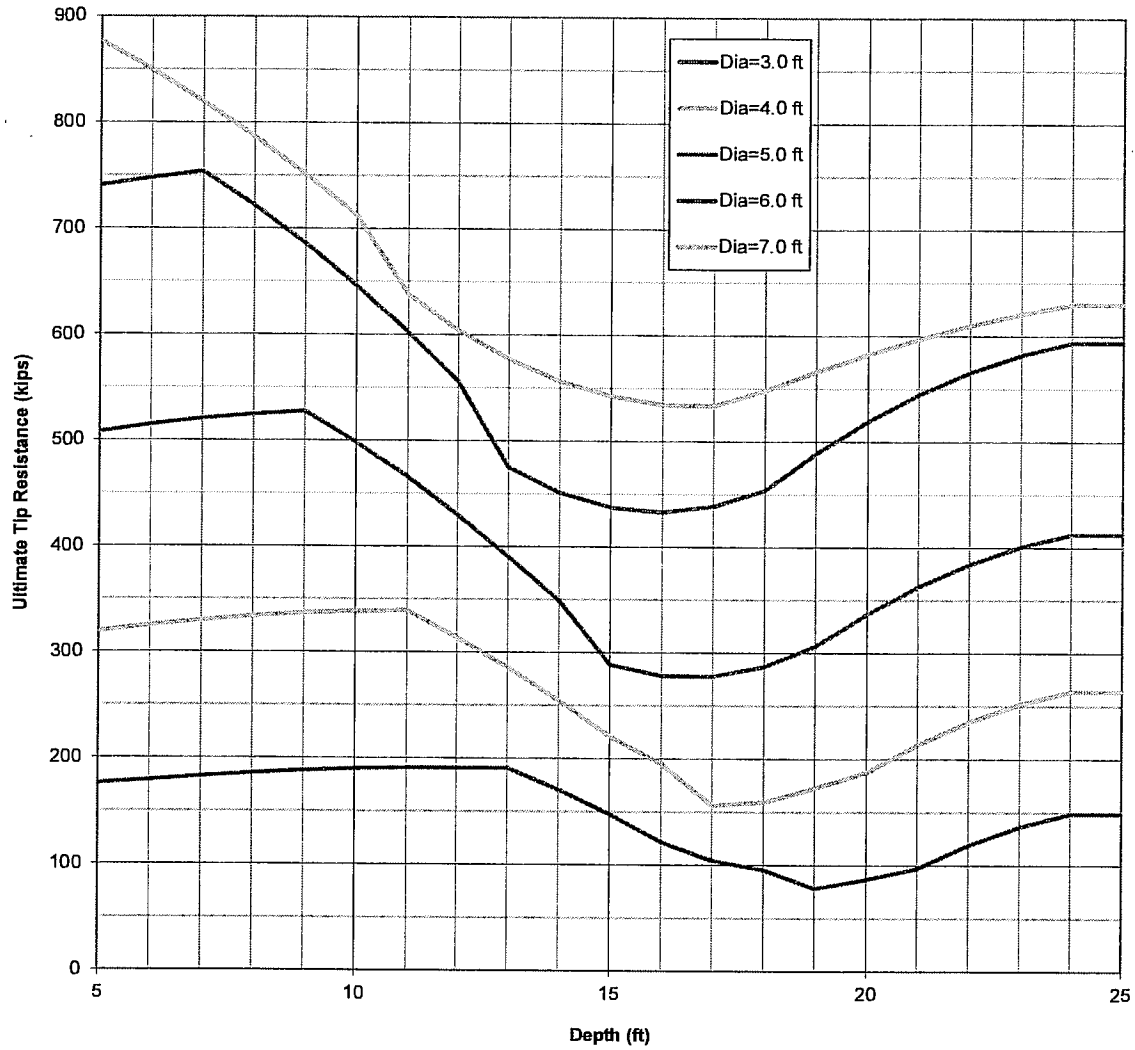
Ignore the top 4.0 ft and the bottom diameter for skin friction  
An appropriate factor of safety should be used with this figure





**FIGURE 3: ULTIMATE TIP RESISTANCE vs. DEPTH**  
Soil Boring B-1

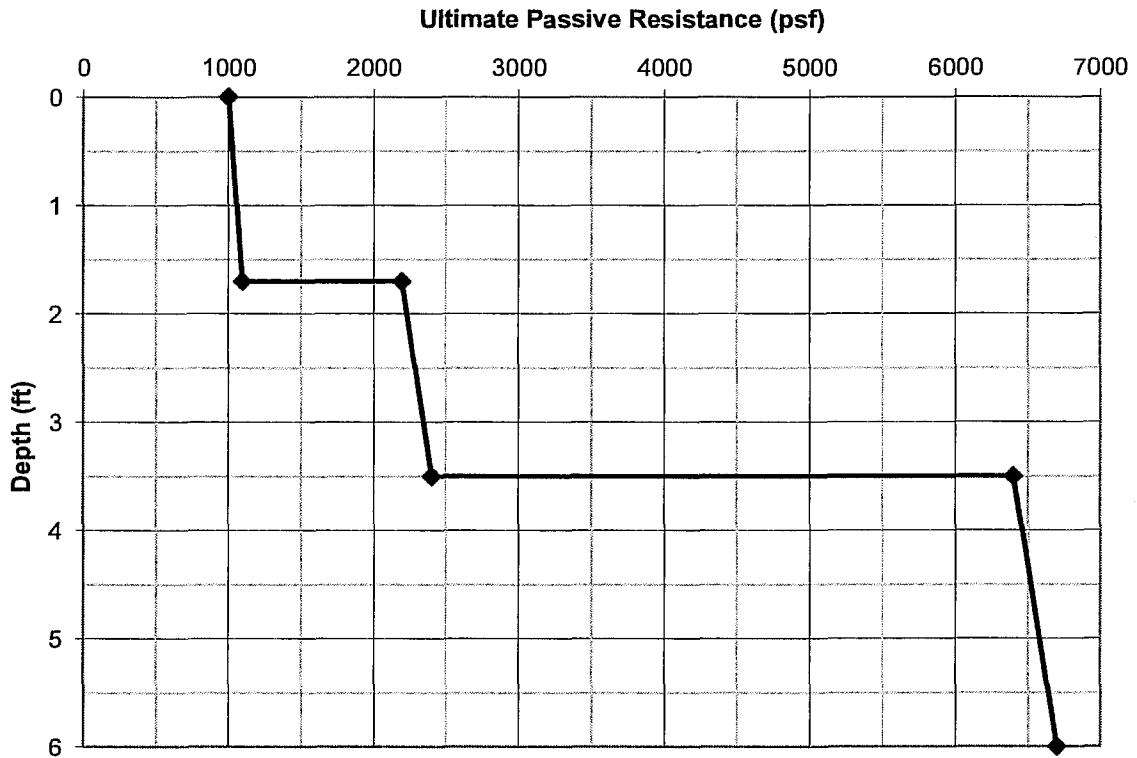
An appropriate factor of safety should be used with this figure







**FIGURE 4: Ultimate Passive Resistance vs. Depth  
Soil Boring B-1**





PROJECT NAME: Allens Tower

PROJECT NUMBER: 1305271600

PROJECT LOCATION: 238 Snardon Mill Road, Guthrie, KY 42234

Boring No.: B-1

CLIENT: FMHC Corporation

PAGE 1 OF 1

DATE DRILLED : 10/10/2013

GROUND WATER LEVELS:

DRILLING METHOD : Hollow Stem Auger

▽ AT TIME OF DRILLING : —

GROUND ELEVATION :

▼ AT END OF DRILLING : —

BORING DEPTH (ft) : 24.5

▽ AFTER DRILLING : —

DEPTH (ft)	MATERIAL DESCRIPTION	SAMPLE TYPE	MATERIAL CLASSIFICATION	Cohesion (tsf)	BLOWS 1st	BLOWS 2nd	BLOWS 3rd	N VALUE	▲ SPT N VALUE ▲													
									10	20	30	40	50	60	70	80	90					
0	LEAN CLAY (CL) - reddish brown, firm, trace to some sand, chert pieces, moist	[Hatched pattern]	CL		2	3	5	8	[SPT N Value Line]													
5	— very stiff								6	8	10	18	[SPT N Value Line]									
									7	8	13	21	[SPT N Value Line]									
10									7	10	15	25	[SPT N Value Line]									
15									4	8	12	20	[SPT N Value Line]									
20	LEAN to FAT CLAY (CL-CH) - reddish yellow, stiff, some silt and sand, chert pieces, moist	[Hatched pattern]	CL		4	5	7	12	[SPT N Value Line]													
	FAT CLAY (CH) - brownish red, soft, moist	[Diagonal lines]	CH		1	2	50/1"	2	[SPT N Value Line]													
25	PROBABLE LIMESTONE								[SPT N Value Line]													
	Refusal at 24.5 feet. Bottom of borehole at 24.5 feet.								[SPT N Value Line]													
30									[SPT N Value Line]													

**EXHIBIT I**  
**DIRECTIONS TO WCF SITE**

### Driving Directions to Proposed Tower Site:

1. Beginning at the offices of the Todd County Circuit Court Clerk, located at 202 E. Washington Street in Elkton, KY, head east on E. Washington St. toward Cs-1016/S. Perry Street.
2. Turn left onto Cs-1016/S. Perry Street and travel approximately 89 feet.
3. Take the 1<sup>st</sup> right onto E. Washington Street and travel approximately 0.2 miles.
4. Turn right onto KY-102 South/Allensville Street and travel approximately 7.5 miles.
5. Turn right onto US-79 S/Russellville Road and travel approximately 2.6 miles.
6. Turn left onto Snardon Mill Road.
7. The site is the parcel immediately on the left after turning onto Snardon Mill Road. The proposed tower will be located behind the barn.
8. site coordinates are
  - a. 36 deg 41 min 40.67 sec N
  - b. 87 deg 06 min 57.94 sec W



Prepared by:  
Aaron L. Roof  
Pike Legal Group PLLC  
1578 Highway 44 East, Suite 6  
PO Box 369  
Shepherdsville, KY 40165-0369  
Telephone: 502-955-4400 or 800-516-4293

**EXHIBIT J**  
**COPY OF REAL ESTATE AGREEMENT**

697

Prepared by:  
Jennifer M. Sturgeon  
FMHC Corporation  
2310 Valletta Lane  
Louisville, KY 40205

Return to:  
575 Morosgo Drive NE  
Suite 13-F West Tower  
Atlanta, GA 30324  
Attn: Network Real Estate Administration

Re: Cell Site #KYEVU3323; Cell Site Name: Allens Tower  
Fixed Asset #10153339  
State: Kentucky  
County: Todd

2013 NOV -4 AM 10:05  
JENNIFER M. STURGEON

**MEMORANDUM  
OF  
LEASE**

This Memorandum of Lease is entered into on this 4<sup>th</sup> day of September, 2013, by and between Abe J. Miller, Trustee of the Abe J. Miller and Esther L. Miller Revocable Trust, having a mailing address of 7377 Bryant Road, Fredericktown, OH 43019 and Joe Miller, Jr., Trustee of the Joe Miller Jr. and Ellen D. Miller Revocable Trust, having a mailing address of 4125 Penchem Road, Guthrie, KY 42234 (hereinafter referred to as "**Landlord**") and New Cingular Wireless PCS, LLC, a Delaware limited liability company, having a mailing address of 575 Morosgo Drive NE, Suite 13-F West Tower, Atlanta, GA 30324 (hereinafter referred to as "**Tenant**").

1. Landlord and Tenant entered into a certain Option and Lease Agreement ("**Agreement**") on the 4<sup>th</sup> day of September, 2013, for the purpose of installing, operating and maintaining a communications facility and other improvements. All of the foregoing is set forth in the Agreement.
2. The initial lease term will be five (5) years commencing on the effective date of written notification by Tenant to Landlord of Tenant's exercise of its option, with four (4) successive five (5) year options to renew.
3. The portion of the land being leased to Tenant and associated easements are described in **Exhibit 1** annexed hereto.
4. This Memorandum of Lease is not intended to amend or modify, and shall not be deemed or construed as amending or modifying, any of the terms, conditions or provisions of the Agreement, all of which are hereby ratified and affirmed. In the event of a conflict between the provisions of this Memorandum of Lease and the provisions of the Agreement, the

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provisions of the Agreement shall control. The Agreement shall be binding upon and inure to the benefit of the parties and their respective heirs, successors, and assigns, subject to the provisions of the Agreement.

**IN WITNESS WHEREOF**, the parties have executed this Memorandum of Lease as of the day and year first above written.

**"LANDLORD"**

Abe J. Miller, Trustee of the Abe J. Miller and Esther L. Miller Revocable Trust and Joe Miller, Jr., Trustee of the Joe Miller Jr. and Ellen D. Miller Revocable Trust

By: Abe J. Miller  
Print Name: Abe J. Miller  
Its: Trustee  
Date: 8-22-13

Joe Miller Jr.  
By: Joe Miller Jr.  
Print Name: Joe Miller, Jr.  
Its: Trustee  
Date: 8-26-13

**"TENANT"**

New Cingular Wireless PCS, LLC,  
a Delaware limited liability company  
By: AT&T Mobility Corporation  
Its: Manager

Daniel Toth  
By: Daniel Toth  
Print Name: Daniel Toth  
Its: Manager Real Estate and Construction  
Date: 9/4/13

[ACKNOWLEDGMENTS APPEAR ON THE NEXT PAGE]

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**TENANT ACKNOWLEDGMENT**

STATE OF TENNESSEE)

) ss:

COUNTY OF WILLIAMSON)

On the 4<sup>th</sup> day of September, 2013, before me personally appeared Daniel Toth, and acknowledged under oath that he is the Manager Real Estate and Construction of AT&T Mobility Corporation, the Manager of New Cingular Wireless PCS, LLC, the Tenant named in the attached instrument, and as such was authorized to execute this instrument on behalf of the Tenant.



Erin Woodard  
Notary Public: Erin Woodard  
My Commission Expires: May 4, 2015

**LANDLORD ACKNOWLEDGMENT**

STATE OF Ohio)

) ss:

COUNTY OF Knox)

On the 22 day of August, 2013, before me personally appeared Abe J. Miller, who acknowledged under oath, that he is the person/officer named in the within instrument, and that he/she executed the same in his/her stated capacity as the voluntary act and deed of Landlord for the purposes therein contained.



SUSAN L. STONE  
NOTARY PUBLIC - OHIO  
MY COMMISSION EXPIRES ON MAY 16, 2015

Abe J. Miller  
Notary Public: Susan L Stone  
My Commission Expires: May 16, 2015

STATE OF KY)

) ss:

COUNTY OF Todd)

On the 26<sup>th</sup> day of August, 2013 before me, personally appeared Joe Miller, Jr., who acknowledged under oath, that she is the person/officer named in the within instrument, and that he/she executed the same in his/her stated capacity as the voluntary act and deed of Landlord for the purposes therein contained.

Joe Miller Jr.  
Umelissa Reding  
Notary Public: \_\_\_\_\_  
My Commission Expires: 11-16-20



700

**EXHIBIT 1**

**DESCRIPTION OF PREMISES**

Page 1 of 2

to the Memorandum of Lease dated Sept 4, 2013, by and between Abe J. Miller, Trustee of the Abe J. Miller and Esther L. Miller Revocable Trust and Joe Miller, Jr., Trustee of the Joe Miller Jr. and Ellen D. Miller Revocable Trust, as Landlord, and New Cingular Wireless PCS, LLC, a Delaware limited liability company, as Tenant.

The Property is legally described as follows:

Beginning at a post in the Southeast right-of-way line of US Highway Number 79, a corner with Wayne Chester, and running South 51 degrees 36 minutes West, 2,061 feet with said right-of-way line to the Northeast right-of-way line of Snardon Road; thence with the Northeast right-of-way line of the Snardon Road (Hwy.105) for the next six (6) calls as follows to a stake: South 43 degrees 11 minutes East, 1,934.4 feet; South 72 degrees 05 minutes East, 111.6 feet; South 85 degrees 58 minutes East, 1,871.5 feet; South 72 degrees 17 degrees 17 minutes East, 121 feet; South 58 degrees 40 minutes East, 204.7 feet; South 54 degrees 35 minutes East, 1,393.3 feet to a point in the Northwest right-of-way line of the L & N Railroad Company; thence a line with said right-of-way; North 47 degrees 01 minute East, 166.43 feet to a point in said right-of-way line; thence North 41 degrees 09 minutes 29 seconds West, 4,906.3 feet to the point of beginning and containing 150 acres, more or less.

Being a portion of the property conveyed to Abe J. Miller, Trustee of the Abe J. Miller and Esther L. Miller Revocable Trust and Joe Miller, Jr., Trustee of the Joe Miller, Jr. and Ellen D. Miller Revocable Trust, by Deed dated May 14, 2002, of record in Book 163, Page 262, in the Office of the Clerk of Todd County, Kentucky (Parcel C of legal description).

The Premises are described and/or depicted as follows:

**See attached survey**



STATE OF KENTUCKY }  
COUNTY OF TODD } Sct

I, Kim Chapman, Clerk of the Todd County Court, certify  
that the foregoing instrument of writing was this day lodged  
in my office for record. At \_\_\_\_\_ M

recorded in Book # 111 Page # 107

Witness my hand this 14 day of NOV 2013

Kim Chapman Clerk T.C.C.

*CK: Connie Smithwick*

**EXHIBIT K  
NOTIFICATION LISTING**

## Allens Tower Landowner Notice Listing

Miller Brothers c/o Abe Miller  
7377 Bryant Road  
Fredericktown, OH 43019

Wayne Chester  
207 Mark Drive  
Hopkinsville, KY 42240

Glen Stanford Robertson Trust  
1051 Snardon Mill Road  
Allensville, KY 42204

Roza E. Williams  
1035 Snardon Mill Road  
Allensville, KY 42204

Jerry W. and Syble V. Whittaker  
1015 Snardon Mill Road  
Allensville, KY 42204

Jared and Casey Robertson  
869 Snardon Mill Road  
Allensville, KY 42204

Michael Brooks Robertson  
179 Highland Road  
Guthrie, KY 42234

Stuart and Mandy Ervin  
511 Snardon Mill Road  
Allensville, KY 42204

Michael A. & Kumiko Gardner  
453 Snardon Mill Road  
Allensville, KY 42204

John and Bridget Coots  
395 Snardon Mill Road  
Allensville, KY 42204

Wilmoth Payne and Others  
338 Allen Cove Drive  
Smyrna, TN 37167

Wilmoth Payne and Others  
338 Alden Cove Drive  
Smyrna, TN 37167

Tom Cain  
721 Lambert Drive  
Nashville, TN 37220

Gladys Cain  
721 Lambert Drive  
Nashville, TN 37220

John Brickey Stooksbury  
4345 Russellville Road  
Allensville, KY 42204

**EXHIBIT L**  
**COPY OF PROPERTY OWNER NOTIFICATION**



1578 Highway 44 East, Suite 6  
P.O. Box 369  
Shepherdsville, KY 40165-0369  
Phone (502) 955-4400 or (800) 516-4293  
Fax (502) 543-4410 or (800) 541-4410

**Notice of Proposed Construction of  
Wireless Communications Facility  
Site Name: Allen Tower**

Dear Landowner:

New Cingular Wireless PCS, LLC, a Delaware limited liability company, d/b/a AT&T Mobility has filed an application with the Kentucky Public Service Commission ("PSC") to construct a new wireless communications facility on a site located at 238 Snardon Mill Road, Guthrie, Kentucky (36°41'40.67" North latitude, 87°06'57.94" West longitude). The proposed facility will include a 180-foot tall antenna tower, plus a 15-foot lightning arrester and related ground facilities. This facility is needed to provide improved coverage for wireless communications in the area.

This notice is being sent to you because the Todd County Property Valuation Administrator's records indicate that you may own property that is within a 500' radius of the proposed tower site or contiguous to the property on which the tower is to be constructed. You have a right to submit testimony to the Kentucky Public Service Commission ("PSC"), either in writing or to request intervention in the PSC's proceedings on the application. You may contact the PSC for additional information concerning this matter at: Kentucky Public Service Commission, Executive Director, 211 Sower Boulevard, P.O. Box 615, Frankfort, Kentucky 40602. Please refer to docket number 2013-00442 in any correspondence sent in connection with this matter.

We have attached a map showing the site location for the proposed tower. AT&T Mobility's radio frequency engineers assisted in selecting the proposed site for the facility, and they have determined it is the proper location and elevation needed to provide quality service to wireless customers in the area. Please feel free to contact us toll free at (800) 516-4293 if you have any comments or questions about this proposal.

Sincerely,  
David A. Pike  
Attorney for AT&T Mobility

enclosure

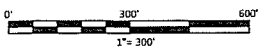
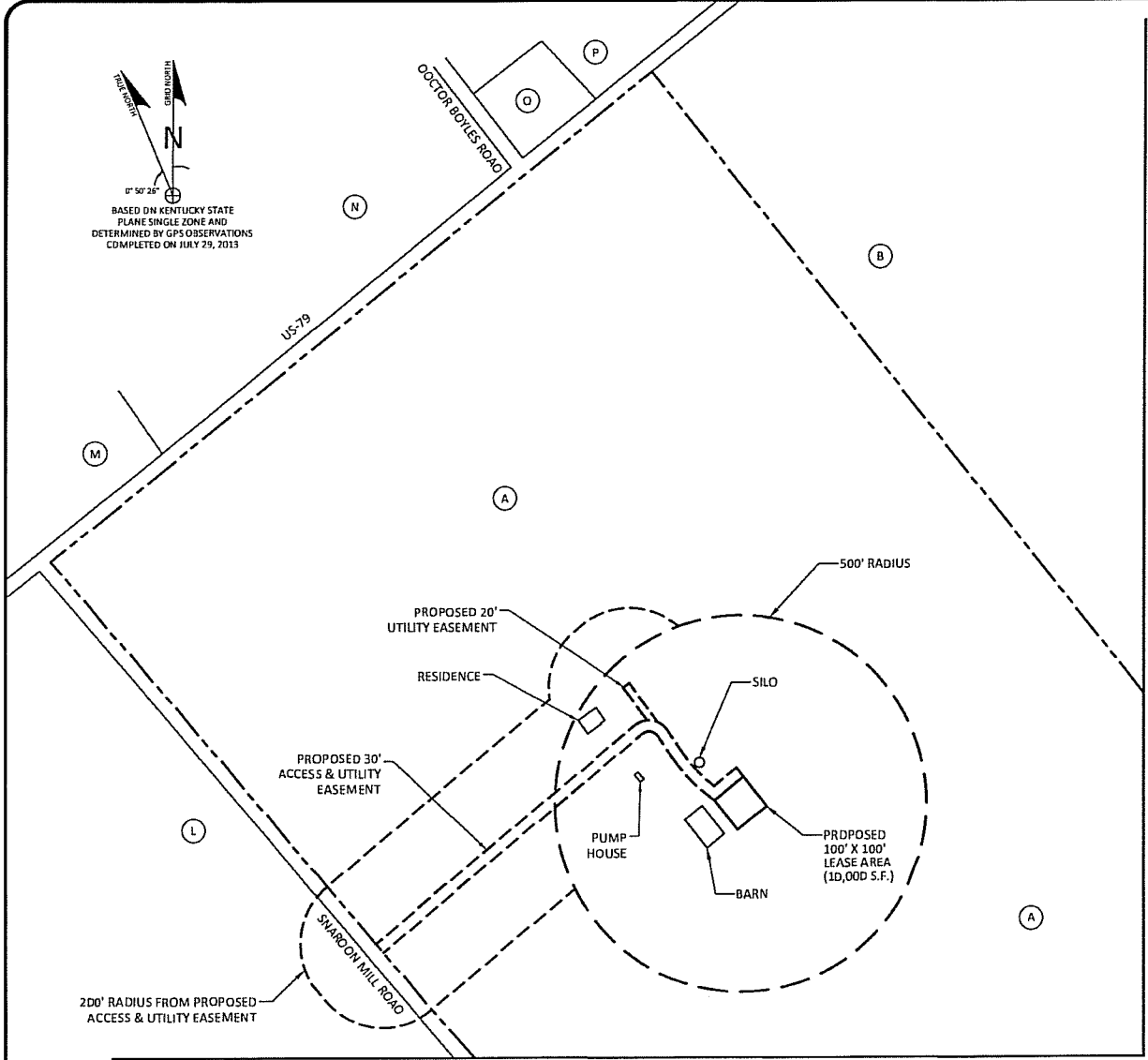


### Driving Directions to Proposed Tower Site:

1. Beginning at the offices of the Todd County Circuit Court Clerk, located at 202 E. Washington Street in Elkton, KY, head east on E. Washington St. toward Cs-1016/S. Perry Street.
2. Turn left onto Cs-1016/S. Perry Street and travel approximately 89 feet.
3. Take the 1<sup>st</sup> right onto E. Washington Street and travel approximately 0.2 miles.
4. Turn right onto KY-102 South/Allensville Street and travel approximately 7.5 miles.
5. Turn right onto US-79 S/Russellville Road and travel approximately 2.6 miles.
6. Turn left onto Sardon Mill Road.
7. The site is the parcel immediately on the left after turning onto Sardon Mill Road. The proposed tower will be located behind the barn.
8. site coordinates are
  - a. 36 deg 41 min 40.67 sec N
  - b. 87 deg 06 min 57.94 sec W



Prepared by:  
Aaron L. Roof  
Pike Legal Group PLLC  
1578 Highway 44 East, Suite 6  
PO Box 369  
Shepherdsville, KY 40165-0369  
Telephone: 502-955-4400 or 800-516-4293






MATCH LINE (SEE SHEET B-3)

MATCH LINE (SEE SHEET B-1)

- (A) PARCEL # 089-01  
ABE J. MILLER, TRUSTEE OF  
THE ABE J. MILLER AND ESTHER L.  
MILLER REV'D CABLE TRUST AND  
JOE MILLER, JR., TRUSTEE OF  
THE JOE MILLER, JR., AND ELLEN  
D. MILLER REV'D CABLE TRUST  
7377 BRYANT RD  
FREDERICKTOWN, OH 43019  
D.B. 163, PG. 262  
NO ZONING
- (B) PARCEL # 089-02  
WAYNE CHESTER  
207 MARK DR  
HOPKINSVILLE, KY 42240  
D.B. 132, PG. 37  
NO ZONING
- (L) PARCEL # 089-01A  
WILMOTH PAYNE AND OTHERS  
33B ALLEN COVE DR  
SMYRNA, TN 37167  
D.B. 172, PG. 238  
NO ZONING
- (M) PARCEL # 074-04  
TOM CAIN  
721 LAMBERT DR  
NASHVILLE, TN 37220  
D.B. 143, PG. 113  
NO ZONING
- (N) PARCEL # 074-03B  
GLADYS CAIN  
721 LAMBERT DR  
NASHVILLE, TN 37220  
D.B. 143, PG. 113  
NO ZONING
- (O) PARCEL # 088-06C  
JOHN BRICKEY STOOKSBURY  
4345 RUSSELLVILLE RD  
ALLENVILLE, KY 42204  
D.B. 167, PG. 108  
NO ZONING
- (P) PARCEL # 088-06  
JOHN BRICKEY STOOKSBURY  
4345 RUSSELLVILLE RD  
ALLENVILLE, KY 42204  
D.B. 164, PG. 748  
NO ZONING

**GENERAL NOTE:**

1. ALL INFORMATION SHOWN HEREON WAS OBTAINED FROM THE RECORDS OF THE TODD COUNTY KENTUCKY PROPERTY VALUATION ADMINISTRATION OFFICE ON 7.29.13. THE PROPERTY VALUATION ADMINISTRATION RECORDS MAY NOT REFLECT THE CURRENT OWNERS AND ADDRESSES DUE TO THE INACCURACIES AND TIME LAPSE IN UPDATING FILES. THE COUNTY PROPERTY VALUATION ADMINISTRATION EXPRESSLY DISCLAIMS ANY WARRANTY FOR THE CONTENT AND ANY ERRORS CONTAINED IN THEIR FILES
2. THIS MAP IS FOR GENERAL INFORMATIONAL PURPOSES ONLY AND IS NOT A BOUNDARY SURVEY

**SURVEY**

REV.	DATE	DESCRIPTION
1	08.28.13	REV'D EASEMENT RADIUS

SITE INFORMATION:

**ALLENS TOWER**

238 SWARROD MILL ROAD  
GUTHRIE, KY 42234

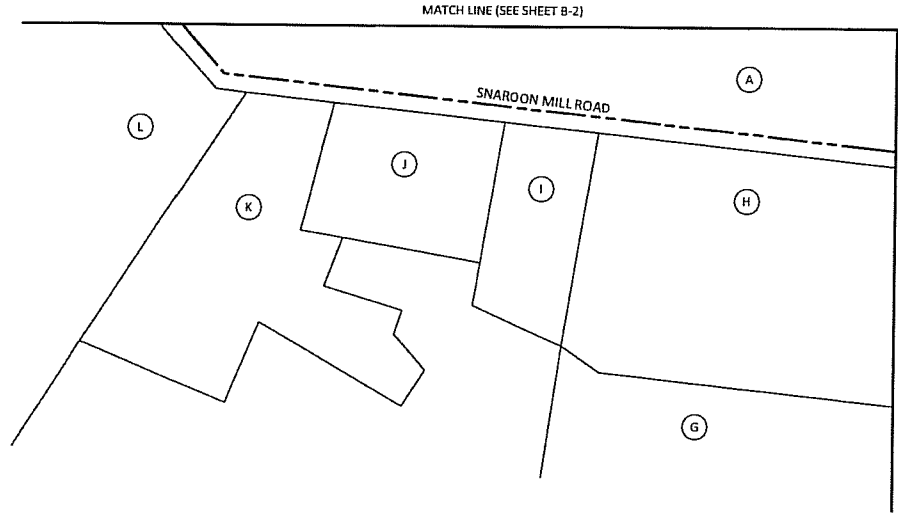
SITE NUMBER:  
**KYEVU3323**

POD NUMBER: 13-0752


DRAWN BY: CSA  
CHECKED BY: MEP  
DATE: 08.21.13

SHEET TITLE:  
**500' RADIUS &  
ABUTTER'S MAP**



SHEET NUMBER:  
**B-2**



- (A) PARCEL # 089-01  
ABE J. MILLER, TRUSTEE OF  
THE ABE J. MILLER AND ESTHER L.  
MILLER REVOCABLE TRUST AND  
JDE MILLER, JR., TRUSTEE OF  
THE JOE MILLER, JR., AND ELLEN D.  
MILLER REVOCABLE TRUST  
7377 BRYANT RD  
FREDERICKTOWN, OH 43019  
D.B. 163, PG. 262  
NO ZONING
- (G) PARCEL # 089-07A  
MICHAEL BROOKS ROBERTSON  
179 HIGHLAND RD  
GUTHRIE, KY 42234  
D.B. 171, PG. 588  
NO ZONING
- (H) PARCEL # 089-08D  
GLEN STANFORD ROBERTSON  
1051 SNARDON MILL RD  
ALLENSVILLE, KY 42204  
D.B. 192, PG. 4D2  
NO ZONING
- (I) PARCEL # 089-088  
STUART AND MANDY ERVIN  
511 SNARDON MILL RD  
ALLENSVILLE, KY 42204  
D.B. 189, PG. 80  
NO ZONING
- (J) PARCEL # 089-08A  
MICHAEL A AND KUMIKO GARONER  
453 SNARDON MILL RD  
ALLENSVILLE, KY 42204  
D.B. 173, PG. 335  
NO ZONING
- (K) PARCEL # 089-08C  
JOHN AND BRIDGETT CODTS  
395 SNARDON MILL RD  
ALLENSVILLE, KY 42204  
D.B. 160, PG. 214  
NO ZONING
- (L) PARCEL # 089-01A  
WILMOTH PAYNE AND OTHERS  
338 ALLEN COVE DR  
SMYRNA, TN 37167  
D.B. 172, PG. 238  
NO ZONING



26 VILLAGE PLAZA  
SHELBYVILLE, KY 40065  
502-437-5232


---

**SURVEY**

REV.	DATE	DESCRIPTION
1	08.28.13	REV'D EASEMENT RADIUS

---

SITE INFORMATION:

**ALLENS TOWER**

238 SNARDON MILL ROAD  
GUTHRIE, KY 42234

---

SITE NUMBER:  
**KYEVU3323**

---

POD NUMBER:	13-0762
DRAWN BY:	CSA
CHECKED BY:	MEP
DATE:	08.21.13

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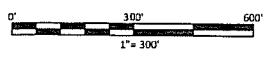
SHEET TITLE:  
**500' RADIUS &  
ABUTTER'S MAP**

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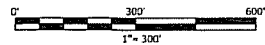
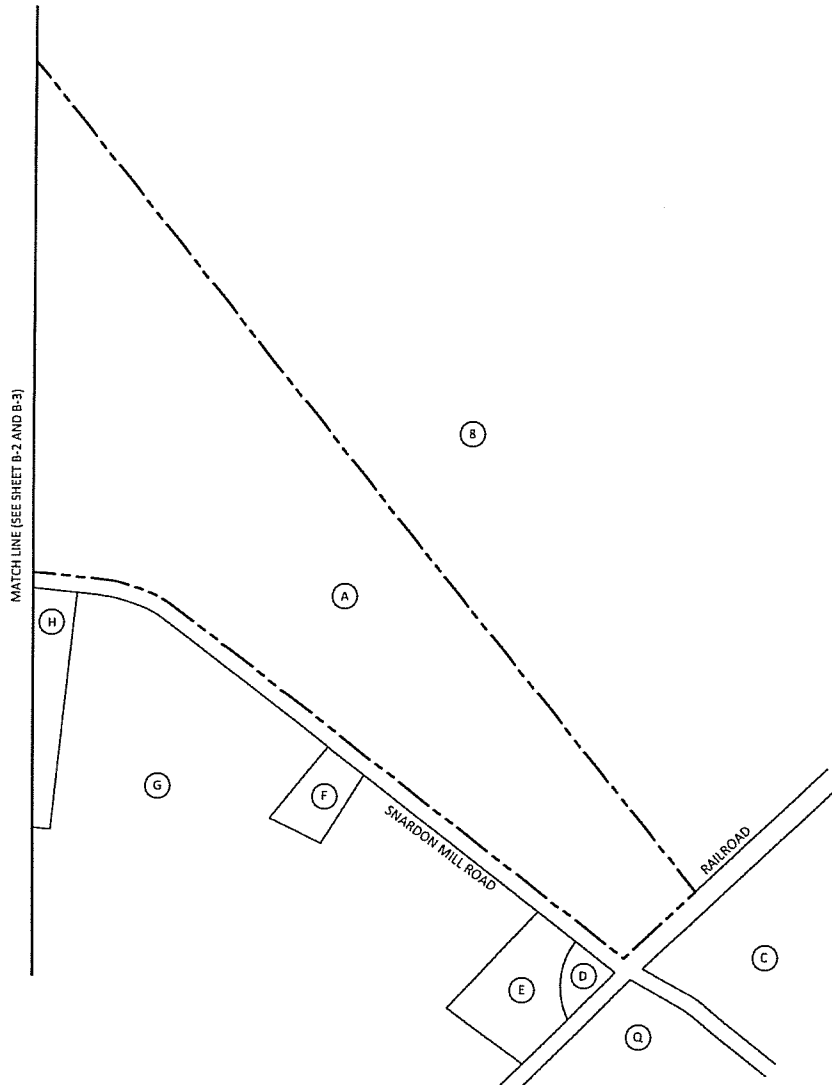
SHEET NUMBER:  
**B-3**

**GENERAL NOTE:**

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- THIS MAP IS FOR GENERAL INFORMATIONAL PURPOSES ONLY AND IS NOT A BOUNDARY SURVEY




BASED ON KENTUCKY STATE  
 PLANE SINGLE ZONE AND  
 DETERMINED BY GPS OBSERVATIONS  
 COMPLETED ON JULY 29, 2013





- (A) PARCEL # 089-01  
 ABE J. MILLER, TRUSTEE OF  
 THE ABE J. MILLER AND ESTHER L.  
 MILLER REVOCABLE TRUST AND  
 JOE MILLER, JR., TRUSTEE OF  
 THE JOE MILLER, JR., AND ELLEN  
 D. MILLER REVOCABLE TRUST  
 7377 BRYANT RD  
 FREDERICKTOWN, OH 43019  
 D.B. 163, PG. 262  
 NO ZDNING
- (B) PARCEL # 089-02  
 WAYNE CHESTER  
 207 MARK DR  
 HOPKINSVILLE, KY 42240  
 D.B. 132, PG. 37  
 NO ZDNING
- (C) PARCEL # 089-03F  
 GLEN STANFORD ROBERTSON  
 1051 SNARDON MILL RD  
 ALLENSVILLE, KY 42204  
 D.B. 192, PG. 402  
 NO ZONING
- (D) PARCEL # 089-06  
 ROZA E WILLIAMS  
 1035 SNARDON MILL RD  
 ALLENSVILLE, KY 42204  
 D.B. B2, PG. 10  
 NO ZDNING
- (E) PARCEL # 089-06A  
 JERRY W AND SYBLE V WHITTAKER  
 1015 SNARDON MILL RD  
 ALLENSVILLE, KY 42204  
 D.B. 183, PG. 483  
 NO ZONING
- (F) PARCEL # 089-07  
 JARED AND CASEY ROBERTSON  
 869 SNARDON MILL RD  
 ALLENSVILLE, KY 42204  
 D.B. 190, PG. 532  
 NO ZONING
- (G) PARCEL # 089-07A  
 MICHAEL BROOKS ROBERTSON  
 179 HIGHLAND RD  
 GUTHRIE, KY 42234  
 D.B. 171, PG. 588  
 NO ZONING
- (H) PARCEL # 089-08D  
 GLEN STANFORD ROBERTSON  
 1051 SNARDON MILL RD  
 ALLENSVILLE, KY 42204  
 D.B. 192, PG. 402  
 NO ZONING
- (Q) PARCEL # 089-108  
 GLEN STANFORD ROBERTSON  
 1051 SNARDON MILL RD  
 ALLENSVILLE, KY 42204  
 D.B. 192, PG. 340  
 NO ZONING

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26 VILLAGE PLAZA  
 SHELBYVILLE, KY 40065  
 502-437-9252

**SURVEY**

REV.	DATE	DESCRIPTION
1	08.28.13	REV'D EASEMENT RADIUS

SITE INFORMATION:

**ALLENS TOWER**

238 SNARDON MILL RDAD  
 GUTHRIE, KY 42234

SITE NUMBER:  
**KYEVU3323**

POD NUMBER: 13-0762

DRAWN BY: CSA  
 CHECKED BY: MEP  
 DATE: 08.21.13

SHEET TITLE:  
**500' RADIUS &  
 ABUTTER'S MAP**

SHEET NUMBER:  
**B-4**

**EXHIBIT M**  
**COPY OF COUNTY JUDGE/EXECUTIVE NOTICE**



1578 Highway 44 East, Suite 6  
P.O. Box 369  
Shepherdsville, KY 40165-0369  
Phone (502) 955-4400 or (800) 516-4293  
Fax (502) 543-4410 or (800) 541-4410

**VIA CERTIFIED MAIL**

Hon. Daryl Greenfield  
Todd County Judge Executive  
P.O. Box 355  
Elkton, KY 42220

RE: Notice of Proposal to Construct Wireless Communications Facility  
Kentucky Public Service Commission Docket No. 2013-00442  
Site Name: Allens Tower

Dear Judge Greenfield:

New Cingular Wireless PCS, LLC, a Delaware limited liability company, d/b/a AT&T Mobility has filed an application with the Kentucky Public Service Commission ("PSC") to construct a new wireless communications facility on a site located at 238 Snardon Mill Road, Guthrie, Kentucky 42234 (36°41'40.67" North latitude, 87°06'57.94" West longitude). The proposed facility will include a 180-foot tall antenna tower, plus a 15-foot lightning arrestor and related ground facilities. This facility is needed to provide improved coverage for wireless communications in the area.

You have a right to submit comments to the PSC or to request intervention in the PSC's proceedings on the application. You may contact the PSC at: Executive Director, Public Service Commission, 211 Sower Boulevard, P.O. Box 615, Frankfort, Kentucky 40602. Please refer to docket number 2013-00442 in any correspondence sent in connection with this matter.

We have attached a map showing the site location for the proposed tower. AT&T Mobility's radio frequency engineers assisted in selecting the proposed site for the facility, and they have determined it is the proper location and elevation needed to provide quality service to wireless customers in the area. Please feel free to contact us with any comments or questions you may have.

Sincerely,

David A. Pike  
Attorney for AT&T Mobility  
enclosure

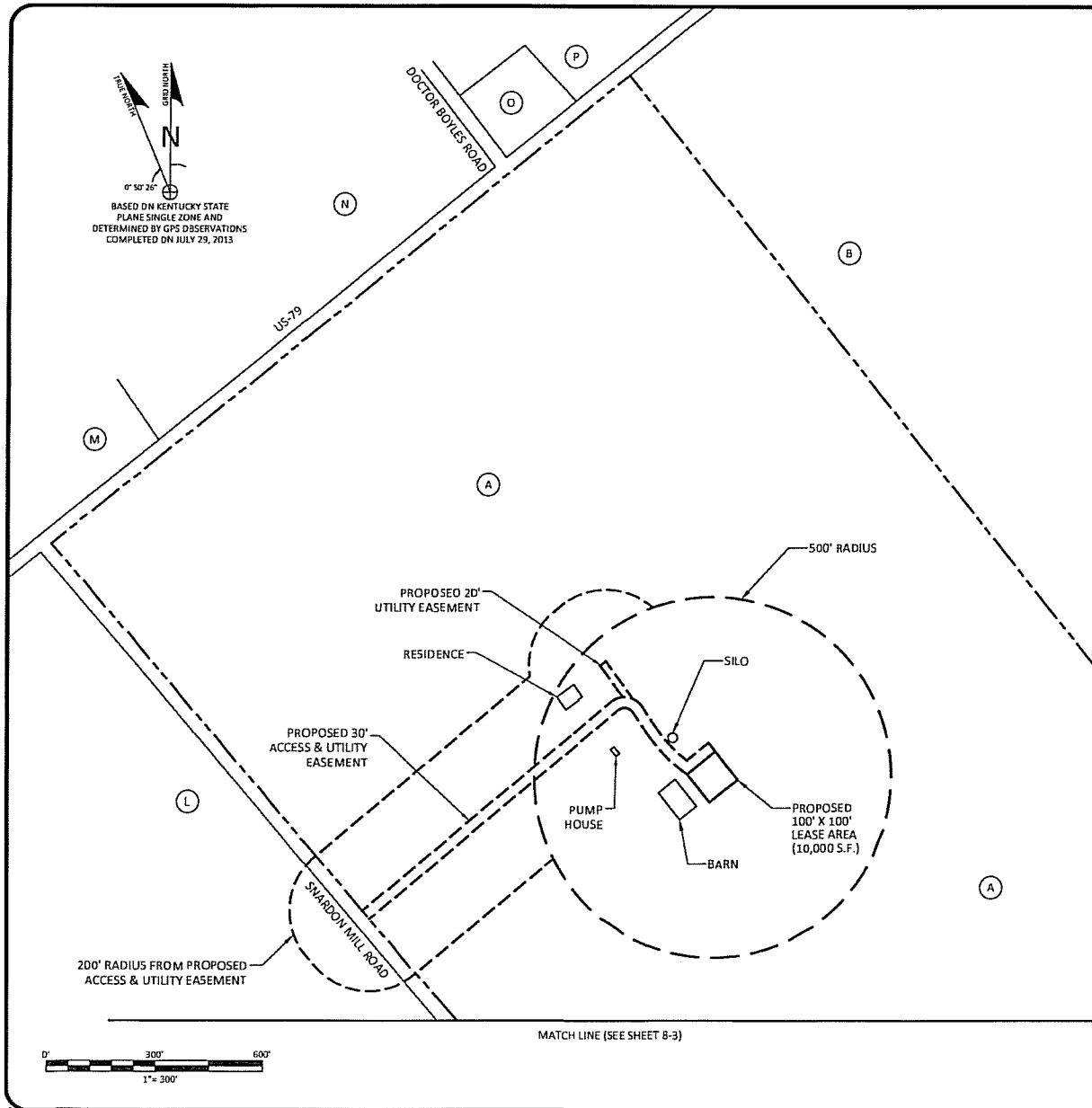
### Driving Directions to Proposed Tower Site:

1. Beginning at the offices of the Todd County Circuit Court Clerk, located at 202 E. Washington Street in Elkton, KY, head east on E. Washington St. toward Cs-1016/S. Perry Street.
2. Turn left onto Cs-1016/S. Perry Street and travel approximately 89 feet.
3. Take the 1<sup>st</sup> right onto E. Washington Street and travel approximately 0.2 miles.
4. Turn right onto KY-102 South/Allensville Street and travel approximately 7.5 miles.
5. Turn right onto US-79 S/Russellville Road and travel approximately 2.6 miles.
6. Turn left onto Sardon Mill Road.
7. The site is the parcel immediately on the left after turning onto Sardon Mill Road. The proposed tower will be located behind the barn.
8. site coordinates are
  - a. 36 deg 41 min 40.67 sec N
  - b. 87 deg 06 min 57.94 sec W



Prepared by:  
Aaron L. Roof  
Pike Legal Group PLLC  
1578 Highway 44 East, Suite 6  
PO Box 369  
Shepherdsville, KY 40165-0369  
Telephone: 502-955-4400 or 800-516-4293

BASED ON KENTUCKY STATE  
 PLANE SINGLE ZONE AND  
 DETERMINED BY GPS OBSERVATIONS  
 COMPLETED ON JULY 29, 2013



(A) PARCEL # 089-01  
 ABE J. MILLER, TRUSTEE OF  
 THE ABE J. MILLER AND ESTHER L.  
 MILLER REVOCABLE TRUST AND  
 JOE MILLER, JR., TRUSTEE OF  
 THE JOE MILLER, JR., AND ELLEN  
 D. MILLER REVOCABLE TRUST  
 7377 BRYANT RD  
 FREDERICKTOWN, OH 43019  
 O.B. 163, PG. 262  
 NO ZONING

(B) PARCEL # 089-02  
 WAYNE CHESTER  
 207 MARK DR  
 HOPKINSVILLE, KY 42240  
 D.B. 132, PG. 37  
 NO ZONING

(L) PARCEL # 089-01A  
 WILKIOTH PAYNE AND OTHERS  
 338 ALLEN COVE DR  
 SMYRNA, TN 37167  
 D.B. 172, PG. 238  
 NO ZONING

(M) PARCEL # 074-04  
 TOM CAIN  
 721 LAMBERT DR  
 NASHVILLE, TN 37220  
 D.B. 143, PG. 113  
 NO ZONING

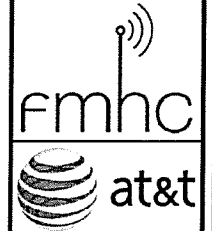
(N) PARCEL # 074-03B  
 GLADYS CAIN  
 721 LAMBERT DR  
 NASHVILLE, TN 37220  
 O.B. 143, PG. 113  
 NO ZONING

(D) PARCEL # 08B-06C  
 JOHN BRICKEY STOOKSBURY  
 4345 RUSSELLVILLE RD  
 ALLENSVILLE, KY 42204  
 O.B. 167, PG. 108  
 NO ZONING

(P) PARCEL # 08B-06  
 JOHN BRICKEY STOOKSBURY  
 4345 RUSSELLVILLE RD  
 ALLENSVILLE, KY 42204  
 O.B. 164, PG. 748  
 NO ZONING

MATCH LINE (SEE SHEET B-1)

MATCH LINE (SEE SHEET B-3)



**SURVEY**

REV.	DATE	DESCRIPTION
1	08.28.13	REV'D EASEMENT RADIUS

**SITE INFORMATION:**

**ALLENS TOWER**

238 SHARDON MILL ROAD  
GUTHRIE, KY 42234

**SITE NUMBER:**

**KYEVU3323**

POD NUMBER: 13-0762

DRAWN BY: CSA  
 CHECKED BY: MEP  
 DATE: 08.21.13

**SHEET TITLE:**

**500' RADIUS &  
 ABUTTER'S MAP**

**SHEET NUMBER:**

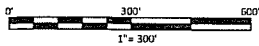
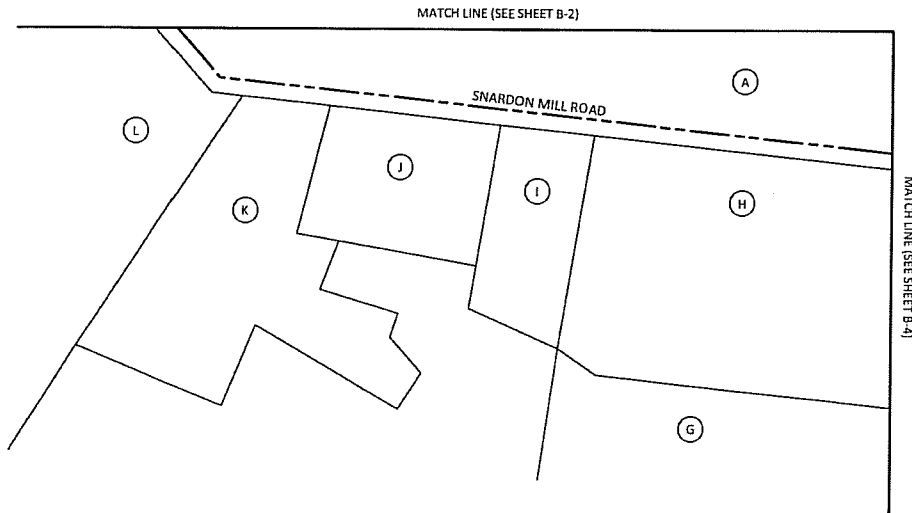
**B-2**

**GENERAL NOTE:**

1. ALL INFORMATION SHOWN HEREIN WAS OBTAINED FROM THE RECORDS OF THE TODD COUNTY KENTUCKY PROPERTY VALUATION ADMINISTRATION OFFICE ON 7.29.13. THE PROPERTY VALUATION ADMINISTRATION RECORDS MAY NOT REFLECT THE CURRENT OWNERS AND ADDRESSES DUE TO THE INACCURACIES AND TIME LAPSE IN UPDATING FILES. THE COUNTY PROPERTY VALUATION ADMINISTRATION EXPRESSLY DISCLAIMS ANY WARRANTY FOR THE CONTENT AND ANY ERRORS CONTAINED IN THEIR FILES
2. THIS MAP IS FOR GENERAL INFORMATIONAL PURPOSES ONLY AND IS NOT A BOUNDARY SURVEY



0° 50' 26"
   
 BASED ON KENTUCKY STATE
   
 PLANE SINGLE ZONE AND
   
 DETERMINED BY GPS OBSERVATIONS
   
 COMPLETED ON JULY 29, 2013



(A) PARCEL # 089-D1  
 ABE J. MILLER, TRUSTEE OF  
 THE ABE J. MILLER AND ESTHER L.  
 MILLER REVOCABLE TRUST AND  
 JOE MILLER, JR., TRUSTEE OF  
 THE JOE MILLER, JR., AND ELLEN D.  
 MILLER REVOCABLE TRUST  
 7377 BRYANT RD  
 FREDERICKTOWN, OH 43019  
 D.B. 163, PG. 262  
 NO ZONING

(G) PARCEL # 089-07A  
 MICHAEL BROOKS ROBERTSON  
 179 HIGHLAND RD  
 GUTHRIE, KY 42234  
 D.B. 173, PG. 588  
 NO ZONING

(H) PARCEL # 089-08D  
 GLEN STANFORD ROBERTSON  
 1051 SNARDON MILL RD  
 ALLENSVILLE, KY 42204  
 D.B. 192, PG. 402  
 NO ZONING

(I) PARCEL # 089-08B  
 STUART AND MANDY ERVIN  
 511 SNARDON MILL RD  
 ALLENSVILLE, KY 42204  
 D.B. 189, PG. 80  
 NO ZONING

(J) PARCEL # 089-08A  
 MICHAEL A AND KUMIKD GARDNER  
 453 SNARDON MILL RD  
 ALLENSVILLE, KY 42204  
 D.B. 173, PG. 335  
 NO ZONING

(K) PARCEL # 089-08C  
 JOHN AND BRIDGETT CODTS  
 395 SNARDON MILL RD  
 ALLENSVILLE, KY 42204  
 D.B. 160, PG. 214  
 NO ZONING

(L) PARCEL # 089-01A  
 WILMOTH PAYNE AND OTHERS  
 338 ALLEN COVE DR  
 SMYRNA, TN 37167  
 D.B. 172, PG. 238  
 NO ZONING

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2. THIS MAP IS FOR GENERAL INFORMATIONAL PURPOSES ONLY AND IS NOT A BOUNDARY SURVEY



**SURVEY**

REV.	DATE	DESCRIPTION
1	08.28.13	REV'D EASEMENT RADIUS

**SITE INFORMATION:**

**ALLENS TOWER**

238 SNARDON MILL ROAD  
GUTHRIE, KY 42234

**SITE NUMBER:**

**KYEVU3323**

POD NUMBER: 13-0762

DRAWN BY: CSA  
 CHECKED BY: MEP  
 DATE: 08.21.13

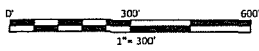
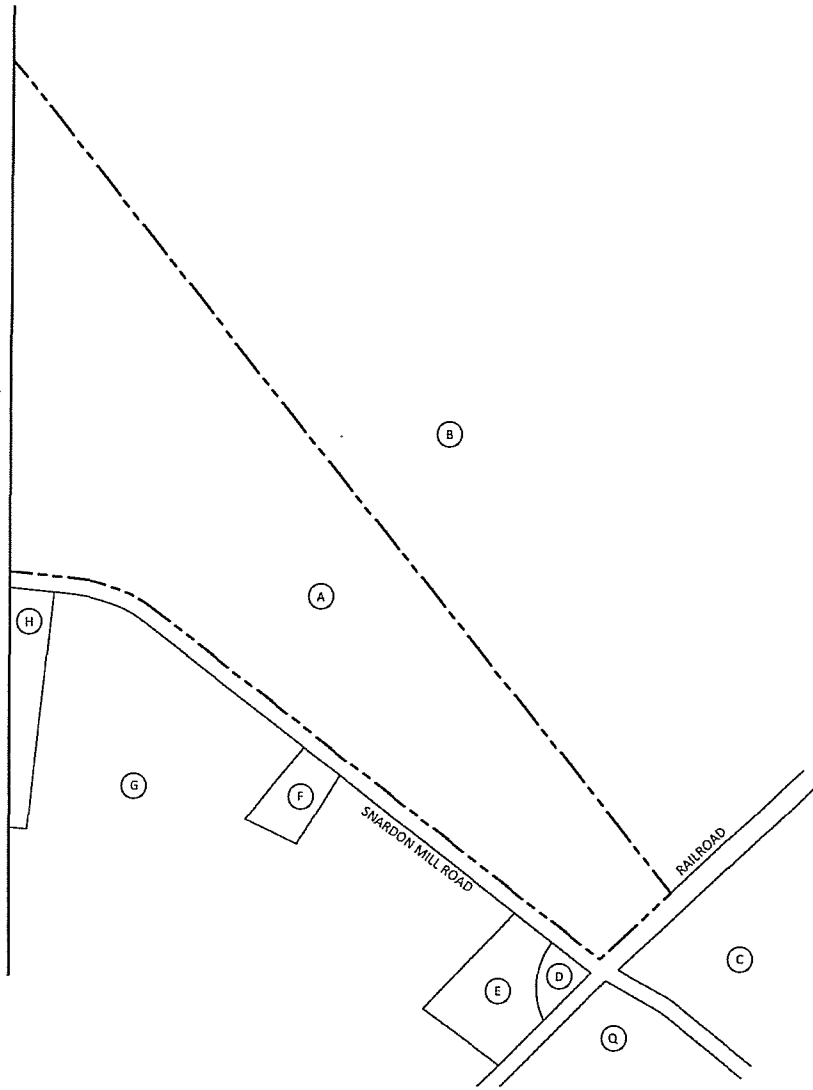
**SHEET TITLE:**

**500' RADIUS &  
ABUTTER'S MAP**

**SHEET NUMBER:**

**B-3**




MATCH LINE (SEE SHEET B-2 AND B-3)



- (A) PARCEL # 089-01  
ABE J. MILLER, TRUSTEE OF  
THE ABE J. MILLER AND ESTHER L.  
MILLER REVOCABLE TRUST AND  
JOE MILLER, JR., TRUSTEE OF  
THE JOE MILLER, JR. AND ELLEN  
D. MILLER REVOCABLE TRUST  
7377 BRYANT RD  
FREDERICKTOWN, OH 43019  
D.B. 163, PG. 262  
NO ZONING
- (B) PARCEL # 089-D2  
WAYNE CHESTER  
207 MARK DR  
HOPKINSVILLE, KY 42240  
D.B. 132, PG. 37  
NO ZONING
- (C) PARCEL # 089-03F  
GLEN STANFORD ROBERTSON  
1051 SNARDON MILL RD  
ALLENSVILLE, KY 42204  
D.B. 192, PG. 402  
NO ZONING
- (D) PARCEL # 089-06  
ROZA E WILLIAMS  
1035 SNARDON MILL RD  
ALLENSVILLE, KY 42204  
D.B. B2, PG. 10  
NO ZONING
- (E) PARCEL # 089-06A  
JERRY W AND SYBLE V WHITTAKER  
1015 SNARDON MILL RD  
ALLENSVILLE, KY 42204  
D.B. 183, PG. 483  
NO ZONING
- (F) PARCEL # 089-07  
JARED AND CASEY ROBERTSON  
869 SNARDON MILL RD  
ALLENSVILLE, KY 42204  
D.B. 190, PG. 532  
NO ZONING
- (G) PARCEL # 089-07A  
MICHAEL BROOKS ROBERTSON  
179 HIGHLAND RD  
GUTHRIE, KY 42234  
D.B. 171, PG. 588  
NO ZONING
- (H) PARCEL # 089-08D  
GLEN STANFORD ROBERTSON  
1051 SNARDON MILL RD  
ALLENSVILLE, KY 42204  
D.B. 192, PG. 402  
NO ZONING
- (Q) PARCEL # 089-10B  
GLEN STANFORD ROBERTSON  
1051 SNARDON MILL RD  
ALLENSVILLE, KY 42204  
D.B. 192, PG. 340  
NO ZONING

**GENERAL NOTE:**

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**SURVEY**

REV.	DATE	DESCRIPTION
1	08.28.13	REV'D EASEMENT RADIUS

**SITE INFORMATION:**

**ALLENS TOWER**

238 SNARDON MILL ROAD  
GUTHRIE, KY 42234

**SITE NUMBER:**  
KYEVU3323

**POD NUMBER:** 13-0762

**DRAWN BY:** CSA  
**CHECKED BY:** MEP  
**DATE:** 08.21.13

**SHEET TITLE:**

**500' RADIUS &  
ABUTTER'S MAP**

**SHEET NUMBER:**

**B-4**

**EXHIBIT N**  
**COPY OF POSTED NOTICES**

**SITE NAME: ALLENS TOWER**  
**NOTICE SIGNS**

The signs are at least (2) feet by four (4) feet in size, of durable material, with the text printed in black letters at least one (1) inch in height against a white background, except for the word "**tower**," which is at least four (4) inches in height.

New Cingular Wireless PCS, LLC d/b/a AT&T Mobility proposes to construct a telecommunications **tower** on this site. If you have questions, please contact Pike Legal Group, PLLC, P.O. Box 369, Shepherdsville, KY 40165 (800) 516-4293, or the Executive Director, Public Service Commission, 211 Sower Boulevard, PO Box 615, Frankfort, Kentucky 40602. Please refer to docket number Case No. 2013-00442 in your correspondence.

New Cingular Wireless PCS, LLC d/b/a AT&T Mobility proposes to construct a telecommunications **tower** near this site. If you have questions, please contact Pike Legal Group, PLLC, P.O. Box 369, Shepherdsville, KY 40165 (800) 516-4293, or the Executive Director, Public Service Commission, 211 Sower Boulevard, PO Box 615, Frankfort, Kentucky 40602. Please refer to docket number Case No. 2013-00442 in your correspondence.

**VIA TELEFAX: 270-265-2571**

The Todd County Standard  
Attn: Sarah Craig  
41 Public Square  
Elkton, KY 42220

RE: Legal Notice Advertisement  
Site Name: Allens Tower

Dear Ms. Craig:

Please publish the following legal notice advertisement in the next edition of *The Todd County Standard*:

**NOTICE**

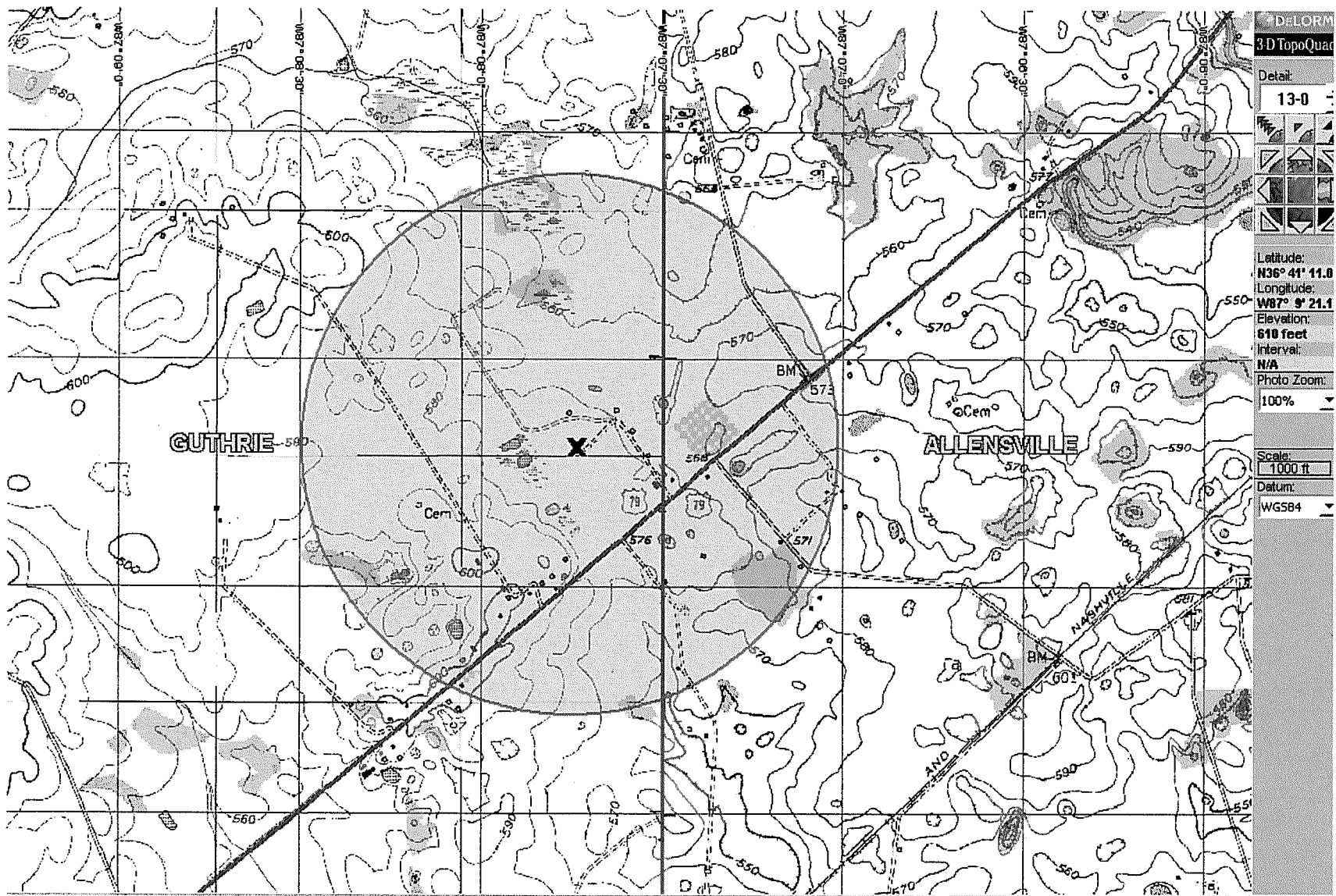
**New Cingular Wireless PCS, LLC, a Delaware limited liability company, d/b/a AT&T Mobility has filed an application with the Kentucky Public Service Commission ("PSC") to construct a new wireless communications facility on a site located at 238 Snardon Mill Road, Guthrie, Kentucky 42234 (36°41'40.67" North latitude, 87°06'57.94" West longitude). You may contact the PSC for additional information concerning this matter at: Kentucky Public Service Commission, Executive Director, 211 Sower Boulevard, P.O. Box 615, Frankfort, Kentucky 40602. Please refer to docket number 2013-00442 in any correspondence sent in connection with this matter.**

After this advertisement has been published, please forward a tearsheet copy, affidavit of publication, and invoice to Pike Legal Group, PLLC, P. O. Box 369, Shepherdsville, KY 40165. Please call me at (800) 516-4293 if you have any questions. Thank you for your assistance.

Sincerely,

Robert W. Grant  
Pike Legal Group, PLLC

**EXHIBIT O**  
**COPY OF RADIO FREQUENCY DESIGN SEARCH AREA**

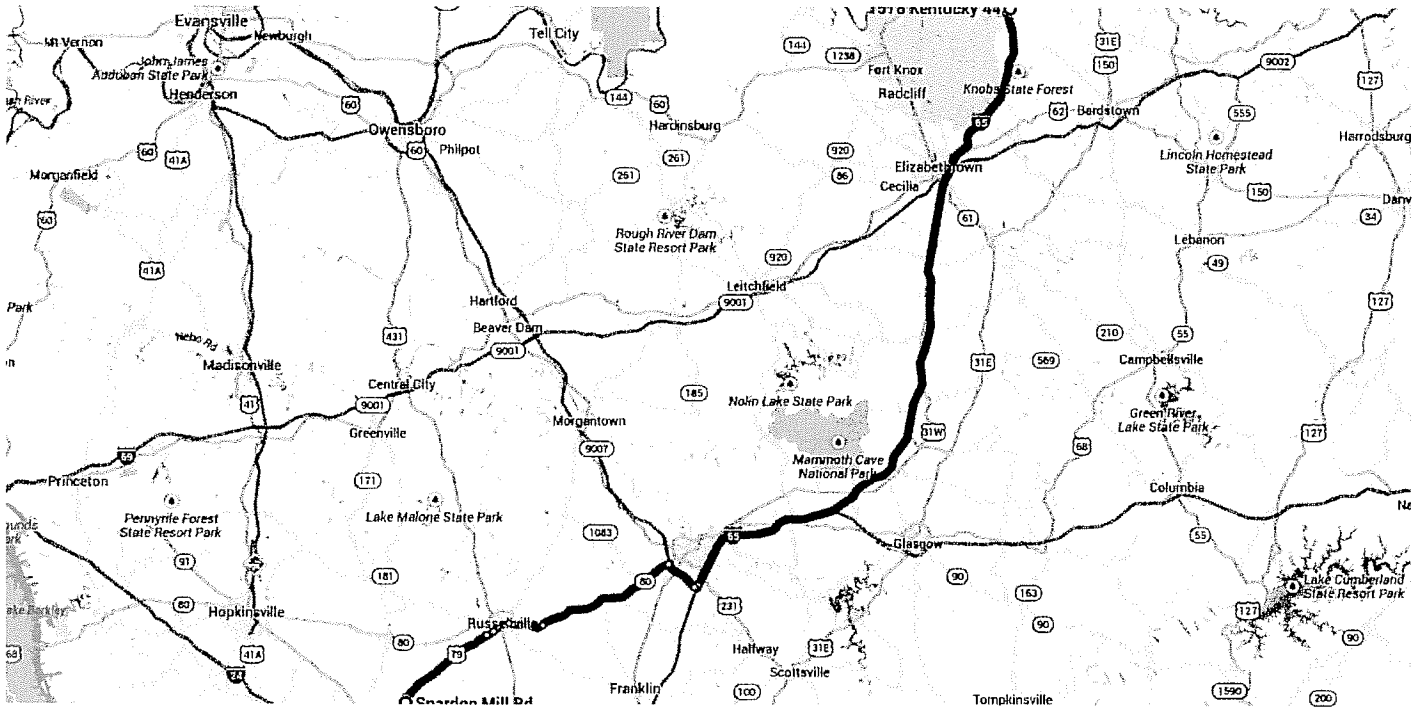


Allens Tower – 36-41-48.4 ; 87-7-44.2



Drive 288 mi, 4 h 25 min

Directions from 1578 Kentucky 44 to 1578 Kentucky 44



**O 1578 Kentucky 44** *PLG*  
Shepherdsville, KY 40165

Get on I-65 S

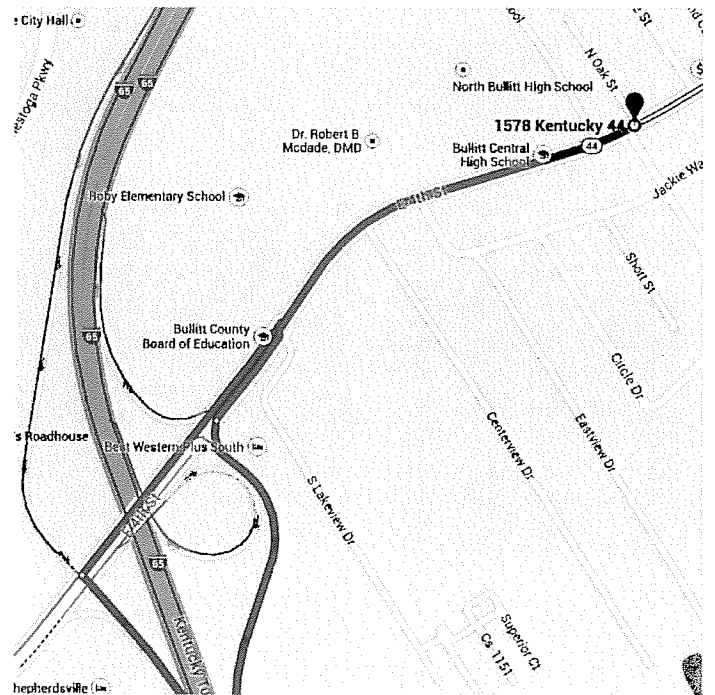
1.0 mi / 2 min

**↑** 1. Head southwest on E 4th St toward Melwood Dr

0.8 mi

**↙** 2. Turn left to merge onto I-65 S

0.3 mi

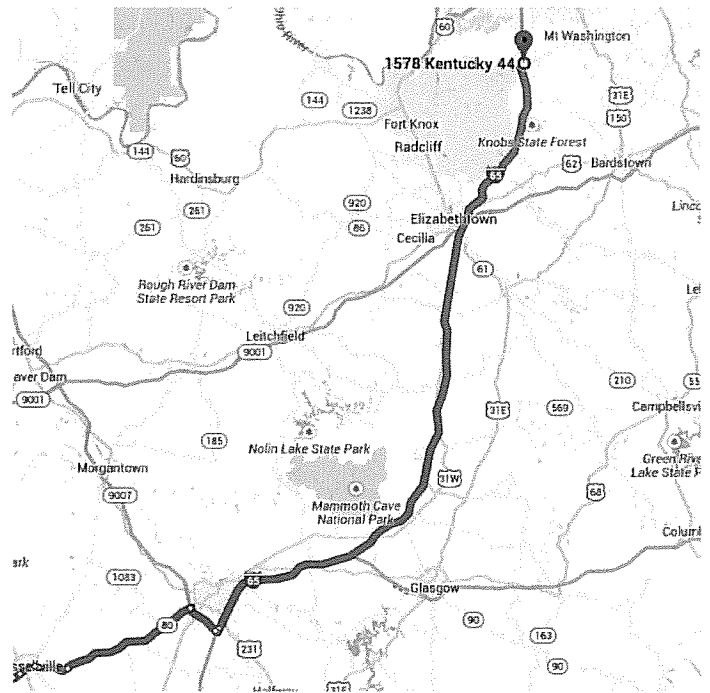


Follow I-65 S to Bowling Green. Take exit 7 from KY-9007 N



101 mi / 1 h 26 min

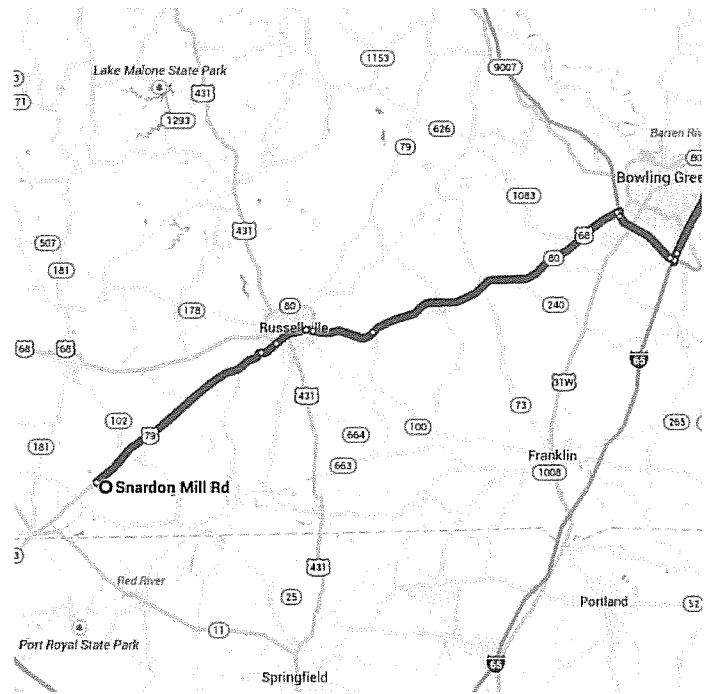
- 3. Merge onto I-65 S 95.4 mi
- 4. Take exit 20 for William H. Natcher Green River Parkway/Kentucky 9007 N toward Bowling Green/Owensboro 0.6 mi
- 5. Merge onto KY-9007 N 4.5 mi
- 6. Take exit 7 for US-68 toward Russellville/Bowling Green 0.3 mi



Continue on KY-80 W/US-68 W. Take US-79 S to Snardon Mill Rd in Todd County

42.1 mi / 45 min

- 7. Turn left onto KY-80 W/US-68 W/Russellville Rd 23.3 mi
  - Continue to follow KY-80 W/US-68 W
- 8. Continue onto Bowling Green Rd 0.5 mi
- 9. Turn left onto E 9th St 3.4 mi
- 10. Continue onto US-79 S/Clarksville Rd 14.2 mi
  - Continue to follow US-79 S
- 11. Turn left onto Snardon Mill Rd 0.7 mi



144 mi / 2 h 13 min

### ○ Snardon Mill Rd

Guthrie, KY 42234

*Allens Tower Site*

Get on KY-9007 S in Bowling Green from US-79 N and KY-80 E/US-68 E

42.1 mi / 45 min

- ↑

 12. Head west on Sardon Mill Rd toward US-79 N/Russellville Rd  
 0.7 mi
- ↘

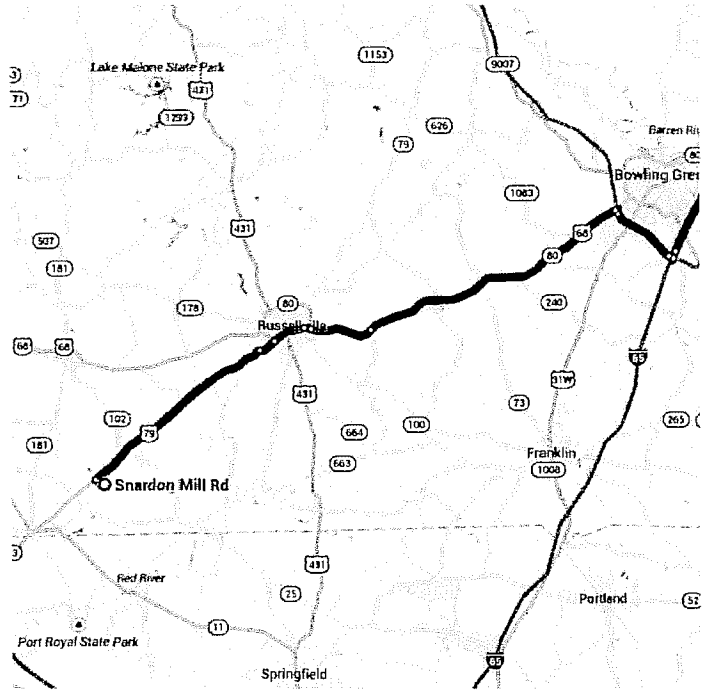
 13. Turn right onto US-79 N/Russellville Rd  
i Continue to follow US-79 N  
 15.4 mi
- ↑

 14. Continue onto W 9th St/Clarksville Rd  
i Continue to follow W 9th St  
 2.2 mi
- ↘

 15. Turn right onto Bowling Green Rd  
 4.7 mi
- ↑

 16. Continue onto KY-80 E/US-68 E  
 18.9 mi
- ⤴

 17. Take the William H. Natcher Pkwy S ramp  
 0.3 mi



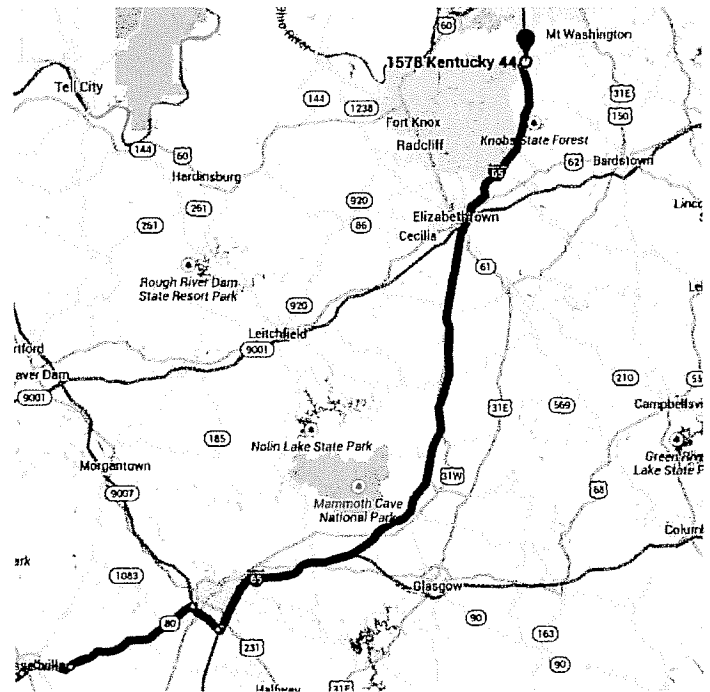
Follow I-65 N to KY-44 E/E 4th St in Shepherdsville. Take exit 117 from I-65 N  
 102 mi / 1 h 26 min

- ⤴

 18. Merge onto KY-9007 S  
 4.8 mi
- ↘

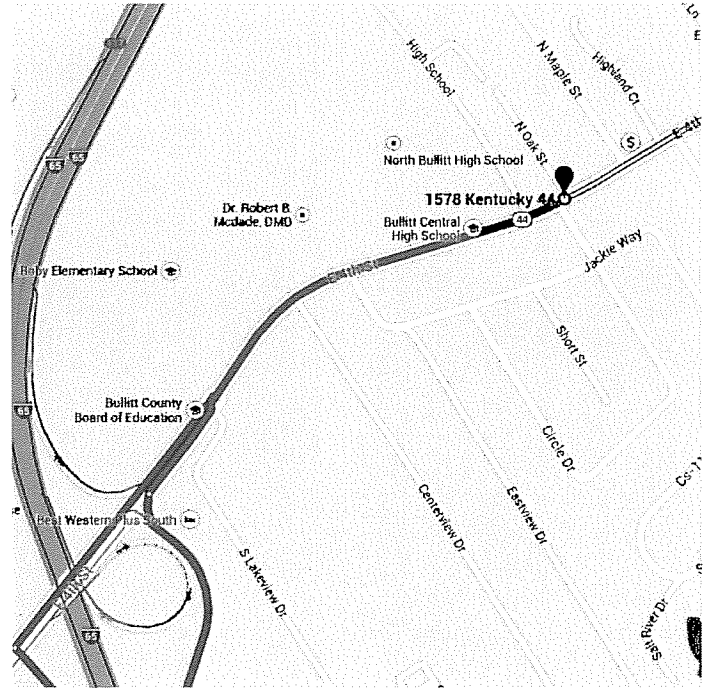
 19. Take the exit onto I-65 N  
 96.3 mi
- ↘

 20. Take exit 117 for KY-44 toward Mt Washington/Shepherdsville  
 0.5 mi



- ↘

 Turn right onto KY-44 E/E 4th St  
i Destination will be on the left  
 0.5 mi / 53 s  
 144 mi / 2 h 12 min



📍
**1578 Kentucky 44**
PLG  
 Shepherdsville, KY 40165

These directions are for planning purposes only. You may find that construction projects, traffic, weather, or other events may cause conditions to differ from the map results, and you should plan your route accordingly. You must obey all signs or notices regarding your route.

Map data ©2014 Google



Russellville Rd

Dr. Boyles Rd

Allens Tower

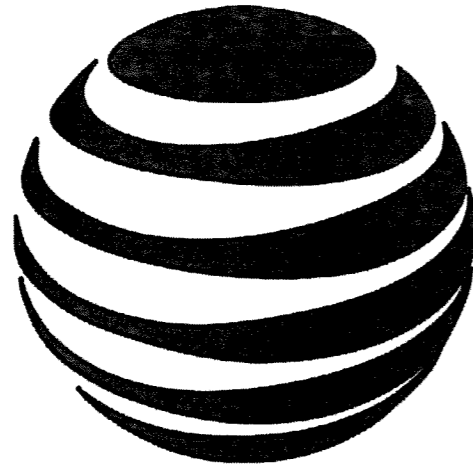
Swardon Mill Rd

© 2013 Google

Google

1998

Imagery Date: 10/7/2013 36°41'44.98" N 87°06'50.04" W elev 570



# at&t

SITE NAME:

SITE NUMBER:

## ALLENS TOWER

## KYEVU3323

RAW LAND SITE WITH NEW 180'  
MONOPOLE TOWER WITH A 15' LIGHTNING  
ARRESTOR



Know what's below.  
Call before you dig.

ZONING SHEET INDEX	
T1	TITLE SHEET
B-1	SITE SURVEY
B-2	500' RADIUS AND ABBUTER'S MAP
B-3	500' RADIUS AND ABBUTER'S MAP
B-4	500' RADIUS AND ABBUTER'S MAP
A1	SITE PLAN
A2	COMPOUND PLAN
A3	TOWER ELEVATION
CONTACT INFORMATION	
<b>FIRE DEPARTMENT</b> ELKTON FIRE DEPARTMENT (270) 265-9877	
<b>POLICE DEPARTMENT</b> ELKTON POLICE DEPARTMENT (270) 265-9879	
<b>ELECTRIC COMPANY</b> PENNYRILE ELECTRIC	
<b>TELEPHONE COMPANY</b> BELLSOUTH	

**BUILDING CODES AND STANDARDS**

CONTRACTOR'S WORK SHALL COMPLY WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL CODES AS ADOPTED BY THE LOCAL AUTHORITY HAVING JURISDICTION FOR THE LOCATION.

CONTRACTOR'S WORK SHALL COMPLY WITH THE LATEST EDITION OF THE FOLLOWING STANDARDS:

- AMERICAN CONCRETE INSTITUTE 318
- AMERICAN INSTITUTE OF STEEL CONSTRUCTION MANUAL OF STEEL CONSTRUCTION
- TELECOMMUNICATIONS INDUSTRY ASSOCIATION TIA-222
- STRUCTURAL STANDARDS FOR STEEL ANTENNA TOWER AND SUPPORTING STRUCTURES TIA-601.

COMMERCIAL BUILDING GROUNDING AND BONDING REQUIREMENTS FOR TELECOMMUNICATIONS.

INSTITUTE FOR ELECTRICAL AND ELECTRONICS ENGINEERS IEEE-81, IEEE 1100, IEEE C62.41.

ANSI T1.311, FOR TELECOM - DC POWER SYSTEMS - TELECOM, ENVIRONMENTAL PROTECTION

2012 IBC

2011 NEC

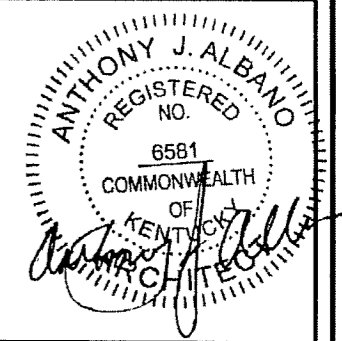
FOR ANY CONFLICTS BETWEEN SECTIONS OF LISTED CODES AND STANDARDS, THE MOST RESTRICTIVE REQUIREMENT SHALL GOVERN.



FMHC DESIGN, INC  
ARCHITECTURE/TELECOMMUNICATIONS  
1700 SHERWIN AVENUE  
DES PLAINES, IL 60018  
TEL: 773-380-3800  
FAX: 773-693-0850

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DRAWN BY : NL

APPROVED BY : AJA


12/18/13 REISSUED FOR ZONING  
08/30/13 ISSUED FOR ZONING

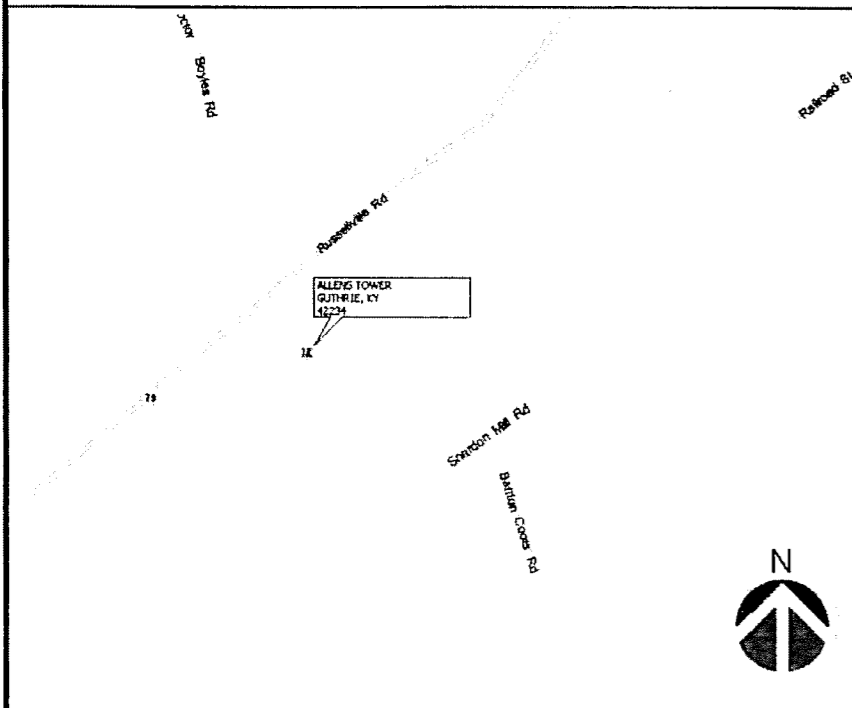
SITE# KYEVU3323  
ALLENS  
TOWER  
238 SNARDON MILL ROAD  
GUTHRIE, KY 42234  
TODD COUNTY

SHEET TITLE  
TITLE SHEET

SHEET NUMBER  
T1

PROJECT NUMBER : B207

**VICINITY MAP**



**DRIVE DIRECTIONS**

FROM TODD COUNTY COURTHOUSE AT 206 W. McREYNOLDS ST., ELKTON, KY 42220;  
HEAD EAST ON CHURCH HILL LN; TURN LEFT ONTO GOEBEL AVE; TURN RIGHT ONTO SR-102/ ALLENSVILLE ST; BEAR LEFT ONTO SR-102; TURN RIGHT ONTO US-79/ RUSSELLVILLE RD; TURN LEFT ONTO SNARDON MILL RD; ARRIVE 238 SNARDON MILL RD, GUTHRIE, KY 42234

**PROJECT INFORMATION**

COUNTY: TODD  
GROUND LANDLORD/SITE ADDRESS: ABE MILLER & JOE MILLER, 238 SNARDON MILL ROAD, GUTHRIE, KY 42234  
APPLICANT/LESSEE: AT&T MOBILITY, FLOOR 1, 601 W CHESTNUT LOUISVILLE, KY 40203-2034  
LATITUDE: 36° 41' 40.67" N  
LONGITUDE: -87° 06' 57.94" W  
GROUND ELEVATION: 586.00' A.M.S.L.

**SCOPE OF WORK**

CONSTRUCTION DRAWINGS FOR:  
CONSTRUCTION OF A NEW UNMANNED TELECOMMUNICATIONS FACILITY  
  
SITE WORK:  
UNMANNED PRE-FABRICATED EQUIPMENT SHELTER, ANTENNAS, MONOPOLE, AND UTILITY INSTALLATIONS.

DEPARTMENT	NAME / SIGNATURE	DATE
LAND/TOWER OWNER		
SITE ACQUISITION AGENT		
ZONING/PERMITTING AGENT		
A&E MANAGER		
CONSTRUCTION MANAGER		
RF ENGINEER		

**LEGAL DESCRIPTIONS**

THE FOLLOWING IS A DESCRIPTION OF AN AREA TO BE LEASED FROM THE PROPERTY OF ABE J. MILLER, TRUSTEE OF THE ABE J. MILLER AND ESTHER L. MILLER REVOCABLE TRUST AND JOE MILLER, JR. TRUSTEE OF THE JOE MILLER, JR. AND ELLEN D. MILLER REVOCABLE TRUST, WHICH IS MORE PARTICULARLY DESCRIBED AS FOLLOWS:

**PROPOSED LEASE AREA**

BEGINNING AT A FOUND 8"x8" POST IN THE SOUTHEAST RIGHT-OF-WAY LINE OF US HIGHWAY 79, BEING THE NORTHWEST CORNER OF THE PROPERTY CONVEYED TO CHESTER WAYNE AS RECORDED IN DEED BOOK 132, PAGE 37 IN THE OFFICE OF THE CLERK OF THE COUNTY COURT OF TODD COUNTY, KENTUCKY; THENCE WITH SAID RIGHT-OF-WAY LINE AND THE NORTHWEST PROPERTY LINE OF THE PROPERTY CONVEYED TO ABE J. MILLER, TRUSTEE OF THE ABE J. MILLER AND ESTHER L. MILLER REVOCABLE TRUST AND JOE MILLER, JR. TRUSTEE OF THE JOE MILLER, JR. AND ELLEN D. MILLER REVOCABLE TRUST AS RECORDED IN DEED BOOK 163, PAGE 262 IN THE AFORESAID CLERK'S OFFICE, S 50°55'18" W - 2,059.97' TO A POINT IN THE NORTHEAST RIGHT-OF-WAY LINE OF SNARDON MILL ROAD; THENCE WITH SAID RIGHT-OF-WAY LINE, S 40°27'05" E - 1,350.55' TO A SET 1/2" REBAR CAPPED "PATTERSON PLS 3136"; THENCE TRaversing SAID MILLER PROPERTY, N 50°11'19" E - 900.73' TO A SET 1/2" REBAR CAPPED "PATTERSON PLS 3136"; THENCE WITH THE ARC OF A CURVE TO THE RIGHT WITH A RADIUS OF 45.00' AND A CHORD BEARING OF N 85°19'37" E - 51.80' TO A SET 1/2" REBAR CAPPED "PATTERSON PLS 3136"; THENCE WITH THE ARC OF A CURVE TO THE RIGHT WITH A RADIUS OF 45.00' AND A CHORD BEARING OF S 46°41'42" E - 20.00' TO A SET 1/2" REBAR CAPPED "PATTERSON PLS 3136"; THENCE S 33°51'19" E - 66.87' TO A SET 1/2" REBAR CAPPED "PATTERSON PLS 3136"; THENCE WITH THE ARC OF A CURVE TO THE LEFT WITH A RADIUS OF 400.00' AND A CHORD BEARING OF S 44°19'24" E - 145.35' TO A SET 1/2" REBAR CAPPED "PATTERSON PLS 3136"; THENCE S 38°51'10" E - 15.00' TO A SET 1/2" REBAR CAPPED "PATTERSON PLS 3136"; THENCE S 51°08'50" E - 88.85' TO A SET 1/2" REBAR CAPPED "PATTERSON PLS 3136"; THENCE S 38°51'10" E - 15.00' TO A SET 1/2" REBAR CAPPED "PATTERSON PLS 3136"; THENCE S 51°08'50" W - 100.00' TO A SET 1/2" REBAR CAPPED "PATTERSON PLS 3136"; THENCE N 38°51'10" W - 100.00' TO A SET 1/2" REBAR CAPPED "PATTERSON PLS 3136"; THENCE N 51°08'50" E - 100.00' TO THE TRUE POINT OF BEGINNING CONTAINING 10,000 SQUARE FEET AS PER SURVEY BY MARK E. PATTERSON, PLS #3136 WITH POWER OF DESIGN GROUP, LLC DATED AUGUST 13, 2013.

**CENTERLINE PROPOSED 30' ACCESS & UTILITY EASEMENT**

BEGINNING AT A FOUND 8"x8" POST IN THE SOUTHEAST RIGHT-OF-WAY LINE OF US HIGHWAY 79, BEING THE NORTHWEST CORNER OF THE PROPERTY CONVEYED TO CHESTER WAYNE AS RECORDED IN DEED BOOK 132, PAGE 37 IN THE OFFICE OF THE CLERK OF THE COUNTY COURT OF TODD COUNTY, KENTUCKY; THENCE WITH SAID RIGHT-OF-WAY LINE AND THE NORTHWEST PROPERTY LINE OF THE PROPERTY CONVEYED TO ABE J. MILLER, TRUSTEE OF THE ABE J. MILLER AND ESTHER L. MILLER REVOCABLE TRUST AND JOE MILLER, JR. TRUSTEE OF THE JOE MILLER, JR. AND ELLEN D. MILLER REVOCABLE TRUST AS RECORDED IN DEED BOOK 163, PAGE 262 IN THE AFORESAID CLERK'S OFFICE, S 50°55'18" W - 2,059.97' TO A POINT IN THE NORTHEAST RIGHT-OF-WAY LINE OF SNARDON MILL ROAD; THENCE WITH SAID RIGHT-OF-WAY LINE, S 40°27'05" E - 1,350.55' TO A SET 1/2" REBAR CAPPED "PATTERSON PLS 3136" AND THE TRUE POINT OF BEGINNING OF THE PROPOSED 30' ACCESS & UTILITY EASEMENT; THENCE WITH SAID CENTERLINE AND TRaversing SAID MILLER PROPERTY, N 50°11'19" E - 900.73' TO A SET 1/2" REBAR CAPPED "PATTERSON PLS 3136"; THENCE WITH THE ARC OF A CURVE TO THE RIGHT WITH A RADIUS OF 45.00' AND A CHORD BEARING OF N 85°19'37" E - 51.80' TO A SET 1/2" REBAR CAPPED "PATTERSON PLS 3136"; THENCE WITH THE ARC OF A CURVE TO THE RIGHT WITH A RADIUS OF 45.00' AND A CHORD BEARING OF S 46°41'42" E - 20.00' TO A SET 1/2" REBAR CAPPED "PATTERSON PLS 3136"; THENCE S 33°51'19" E - 66.87' TO A SET 1/2" REBAR CAPPED "PATTERSON PLS 3136"; THENCE WITH THE ARC OF A CURVE TO THE LEFT WITH A RADIUS OF 400.00' AND A CHORD BEARING OF S 44°19'24" E - 145.35' TO A SET 1/2" REBAR CAPPED "PATTERSON PLS 3136"; THENCE N 51°08'50" E - 88.85' TO A SET 1/2" REBAR CAPPED "PATTERSON PLS 3136" AND THE END OF SAID EASEMENT AS PER SURVEY BY MARK E. PATTERSON, PLS #3136 WITH POWER OF DESIGN GROUP, LLC DATED AUGUST 13, 2013.

**CENTERLINE PROPOSED 20' UTILITY EASEMENT**

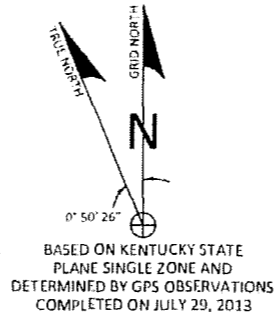
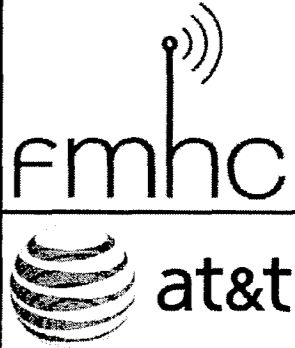
BEGINNING AT A FOUND 8"x8" POST IN THE SOUTHEAST RIGHT-OF-WAY LINE OF US HIGHWAY 79, BEING THE NORTHWEST CORNER OF THE PROPERTY CONVEYED TO CHESTER WAYNE AS RECORDED IN DEED BOOK 132, PAGE 37 IN THE OFFICE OF THE CLERK OF THE COUNTY COURT OF TODD COUNTY, KENTUCKY; THENCE WITH SAID RIGHT-OF-WAY LINE AND THE NORTHWEST PROPERTY LINE OF THE PROPERTY CONVEYED TO ABE J. MILLER, TRUSTEE OF THE ABE J. MILLER AND ESTHER L. MILLER REVOCABLE TRUST AND JOE MILLER, JR. TRUSTEE OF THE JOE MILLER, JR. AND ELLEN D. MILLER REVOCABLE TRUST AS RECORDED IN DEED BOOK 163, PAGE 262 IN THE AFORESAID CLERK'S OFFICE, S 50°55'18" W - 2,059.97' TO A POINT IN THE NORTHEAST RIGHT-OF-WAY LINE OF SNARDON MILL ROAD; THENCE WITH SAID RIGHT-OF-WAY LINE, S 40°27'05" E - 1,350.55' TO A SET 1/2" REBAR CAPPED "PATTERSON PLS 3136"; THENCE TRaversing SAID MILLER PROPERTY, N 50°11'19" E - 900.73' TO A SET 1/2" REBAR CAPPED "PATTERSON PLS 3136"; THENCE WITH THE ARC OF A CURVE TO THE RIGHT WITH A RADIUS OF 45.00' AND A CHORD BEARING OF N 85°19'37" E - 51.80' TO A SET 1/2" REBAR CAPPED "PATTERSON PLS 3136"; THENCE WITH THE ARC OF A CURVE TO THE RIGHT WITH A RADIUS OF 45.00' AND A CHORD BEARING OF S 46°41'42" E - 20.00' TO A SET 1/2" REBAR CAPPED "PATTERSON PLS 3136"; THENCE S 33°51'19" E - 66.87' TO A SET 1/2" REBAR CAPPED "PATTERSON PLS 3136"; THENCE WITH THE ARC OF A CURVE TO THE LEFT WITH A RADIUS OF 400.00' AND A CHORD BEARING OF S 44°19'24" E - 145.35' TO A SET 1/2" REBAR CAPPED "PATTERSON PLS 3136"; THENCE N 51°08'50" E - 88.85' TO A SET 1/2" REBAR CAPPED "PATTERSON PLS 3136" AND THE END OF SAID EASEMENT AS PER SURVEY BY MARK E. PATTERSON, PLS #3136 WITH POWER OF DESIGN GROUP, LLC DATED AUGUST 13, 2013.

**TEMPORARY BENCHMARK**  
 NORTHING: 3415319.47  
 EASTING: 4520754.88  
 ELEVATION: 586.48'  
 LOCATION: BEING A SET 1/2" REBAR LOCATED IN THE EAST CORNER OF THE PROPOSED LEASE AREA

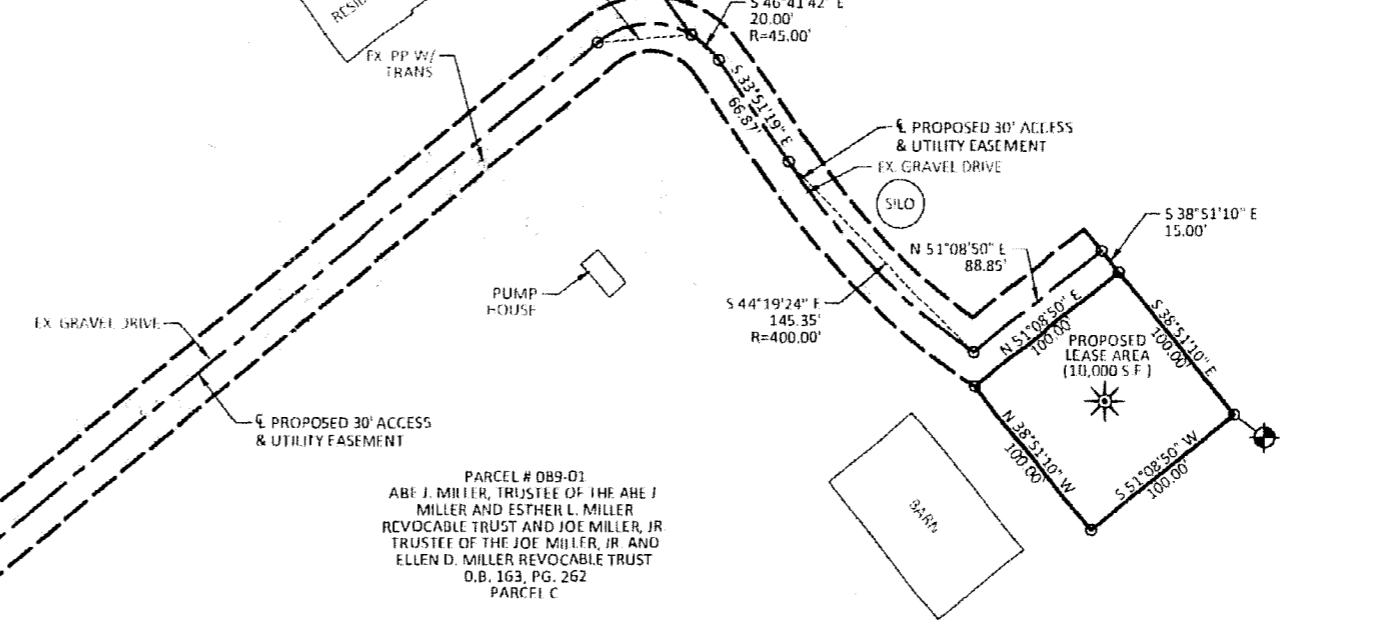
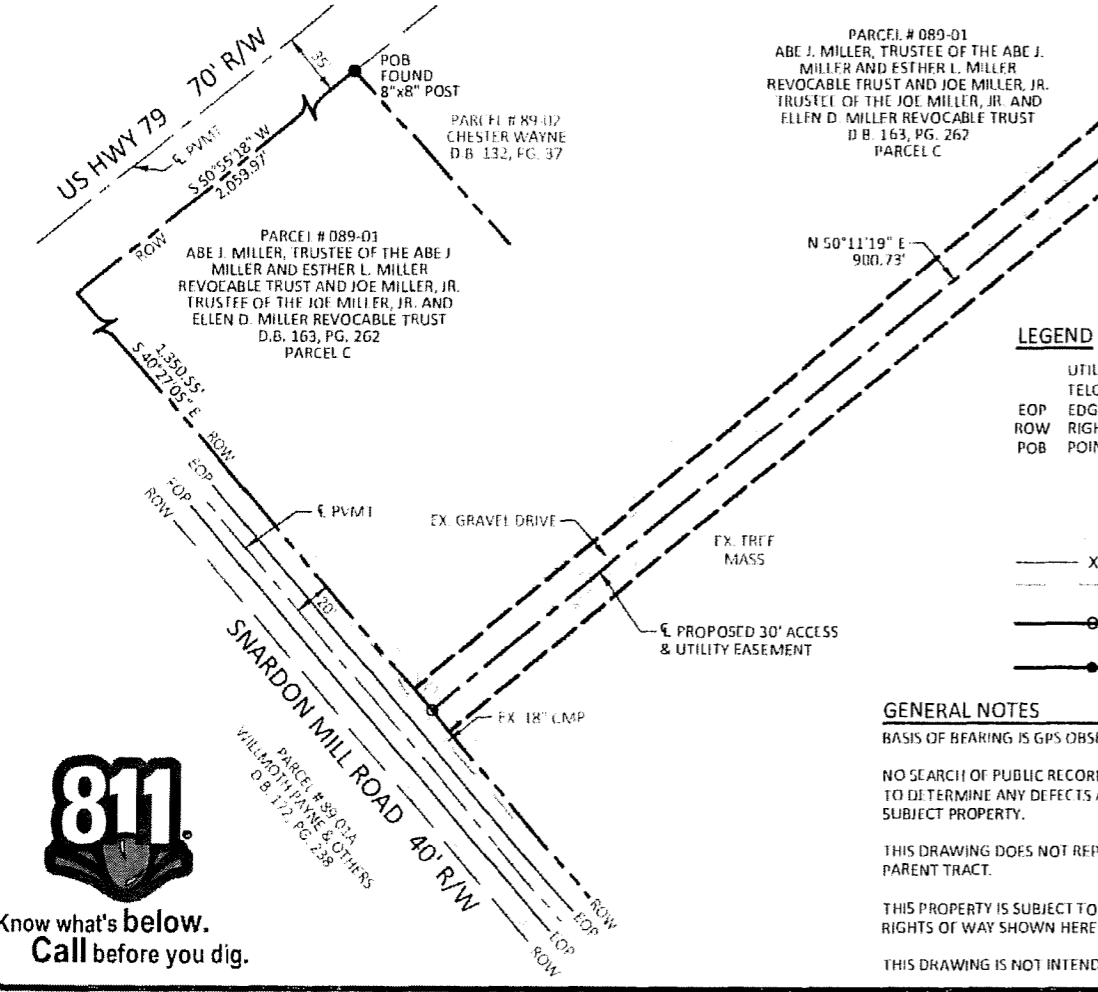
**FAA COORDINATE POINT**  
 NAD 83  
 LATITUDE: 36° 41' 40.67"  
 LONGITUDE: 87° 06' 57.94"  
 NAVD 88  
 ELEVATION: 586' AMSL  
 NORTHING: 3415327.00  
 EASTING: 4520884.66

**FLOOD NOTE**  
 THE PROPOSED LEASE AREA SHOWN HEREON IS NOT LOCATED IN A 100-YEAR FLOOD PLAIN PER FLOOD HAZARD BOUNDARY MAP, COMMUNITY-PANEL NUMBER 21219C0300C, DATED JULY 22, 2010. THE PROPOSED LEASE AREA IS LOCATED IN ZONE X.

**SITE INFORMATION**  
 TAX PARCEL NUMBER 089-01  
 PROPERTY OWNER: ABE J. MILLER, TRUSTEE OF THE ABE J. MILLER AND ESTHER L. MILLER REVOCABLE TRUST  
 4115 PENCHEM ROAD, GUTHRIE, KY 42234  
 JOE MILLER, JR. TRUSTEE OF THE JOE MILLER, JR. AND ELLEN D. MILLER REVOCABLE TRUST  
 4195 PENCHEM ROAD, GUTHRIE, KY 42234  
 SOURCE OF TITLE: D.B. 163, PG. 262 PARCEL C



BASED ON KENTUCKY STATE PLANE SINGLE ZONE AND DETERMINED BY GPS OBSERVATIONS COMPLETED ON JULY 29, 2013



- LEGEND**
- UTILITY POLE
  - TELCO PEDESTAL
  - EOP EDGE OF PAVEMENT
  - ROW RIGHTS OF WAY
  - POB POINT OF BEGINNING
  - EX. OVERHEAD ELECTRIC
  - EX. UNDERGROUND ELECTRIC & TELEPHONE
  - EX. UNDERGROUND FIBER OPTIC
  - EX. FENCE LINE
  - EX. DITCH
  - SET 1/2" REBAR IR LONG CAPPED "PATTERSON PLS 3136" (UNLESS OTHERWISE NOTED)
  - FOUND MONUMENT AS NOTED

**GENERAL NOTES**  
 BASIS OF BEARING IS GPS OBSERVATIONS COMPLETED ON JULY 29, 2013.

NO SEARCH OF PUBLIC RECORDS HAS BEEN COMPLETED BY POD GROUP TO DETERMINE ANY DEFECTS AND/OR AMBIGUITIES IN THE TITLE OF THE SUBJECT PROPERTY.

THIS DRAWING DOES NOT REPRESENT A BOUNDARY SURVEY OF THE PARENT TRACT.

THIS PROPERTY IS SUBJECT TO ANY RECORDED EASEMENTS AND/OR RIGHTS OF WAY SHOWN HEREON OR NOT.

THIS DRAWING IS NOT INTENDED FOR LAND TRANSFER.

**TITLE OF COMMITMENT**

THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY POD GROUP, LLC AND AS SUCH WE ARE NOT RESPONSIBLE FOR THE INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, UNRECORDED EASEMENTS, AUGMENTING EASEMENTS, IMPLIED OR PRESCRIPTIVE EASEMENTS, OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE. INFORMATION REGARDING THESE MATTERS WERE GAINED FROM STEWARD TITLE GUARANTEE COMPANY COMMITMENT FILE NO 2013227, DATED JULY 30, 2013. THE FOLLOWING COMMENTS ARE IN REGARD TO SAID COMMITMENT AND THE NUMBERS IN THE COMMENTS CORRESPOND TO THE NUMBERING SYSTEM IN SAID POLICY.

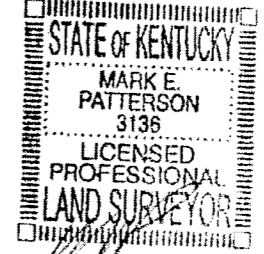
**SCHEDULE B SECTION II (EXCEPTIONS)**

- ITEM 1: RIGHTS OR CLAIMS OF PARTIES IN POSSESSION NOT SHOWN BY THE PUBLIC RECORDS. (POD GROUP, LLC DID NOT EXAMINE OR ADDRESS THIS ITEM.)
- ITEM 2: EASEMENTS, OR CLAIMS OF EASEMENTS, NOT SHOWN BY THE PUBLIC RECORDS. (NO UNRECORDED EASEMENTS ARE SHOWN.)
- ITEM 3: ENCROACHMENTS, OVERLAPS, BOUNDARY LINE DISPUTES, OR OTHER MATTERS WHICH WOULD BE DISCLOSED BY AN ACCURATE SURVEY AND INSPECTION OF THE PREMISES. (NO ENCROACHMENTS, OVERLAPS, OR BOUNDARY DISPUTES WERE DISCOVERED.)
- ITEM 4: ANY LIEN, OR RIGHT TO A LIEN, FOR SERVICES, LABOR, OR MATERIAL HERETOFORE OR HEREAFTER FURNISHED, IMPOSED BY LAW AND NOT SHOWN BY THE PUBLIC RECORDS. (POD GROUP, LLC DID NOT EXAMINE OR ADDRESS THIS ITEM.)
- ITEM 5: SUBJECT TO 2013 TAXES WHICH ARE NOT YET DUE AND PAYABLE. (POD GROUP, LLC DID NOT EXAMINE OR ADDRESS THIS ITEM.)
- ITEM 6: THE RIGHT-OF-WAY EASEMENT DATED MARCH 21, 2000, TO TODD COUNTY WATER DISTRICT, OF RECORD IN BOOK 159, PAGE 621, IN THE OFFICE AFORESAID. (EASEMENT IN BOOK 159, PAGE 621, IS VAGUE AND AMBIGUOUS AND IS UNABLE TO ACCURATELY LOCATE.)
- ITEM 7: MINERALS OF WHATSOEVER KIND, SUBSURFACE AND SURFACE SUBSTANCE, INCLUDING BUT NOT LIMITED TO COAL, LIGNITE, OIL, GAS, URANIUM, CLAY, ROCK, SAND AND GRAVEL IN, ON, UNDER AND THAT MAY BE PRODUCED FROM THE LAND, TOGETHER WITH ALL RIGHTS, PRIVILEGES, AND IMMUNITIES RELATING THERETO, WHETHER OR NOT APPEARING IN THE PUBLIC RECORDS OR LISTED IN SCHEDULE B. THE COMPANY MAKES NO REPRESENTATION AS TO THE PRESENT OWNERSHIP OF ANY SUCH INTERESTS. THERE MAY BE LEASES, GRANTS, EXCEPTIONS OR RESERVATIONS OF INTERESTS THAT ARE NOT LISTED. (POD GROUP, LLC DID NOT EXAMINE OR ADDRESS THIS ITEM.)

**LAND SURVEYOR'S CERTIFICATE**

I HEREBY CERTIFY THAT THE SURVEY OF THE LEASE AREA DEPICTED BY THE PLAT WAS PERFORMED BY PERSONS UNDER MY DIRECT SUPERVISION BY THE METHOD OF RANDOM TRAVERSE WITH SIDE SHOTS. THE UNADJUSTED PRECISION RATIO OF THE TRAVERSE EXCEEDED 1:10,000 AND WAS NOT ADJUSTED FOR CLOSURE. THIS SURVEY MEETS OR EXCEEDS THE MINIMUM STANDARDS FOR AN URBAN SURVEY FOR THE LEASE AREA AS ESTABLISHED BY THE STATE OF KENTUCKY, PER 201 KAR 18:150 AND IN EFFECT ON THE DATE OF THIS SURVEY.

MARK PATTERSON, PLS #3136 DATE 10-1-13



**SURVEY**

REV.	DATE	DESCRIPTION
1	09.30.13	ISSUED AS FINAL

**SITE INFORMATION**  
**ALLENS TOWER**  
 238 SNARDON MILL ROAD  
 GUTHRIE, KY 42234

**SITE NUMBER**  
 KYEVU3323

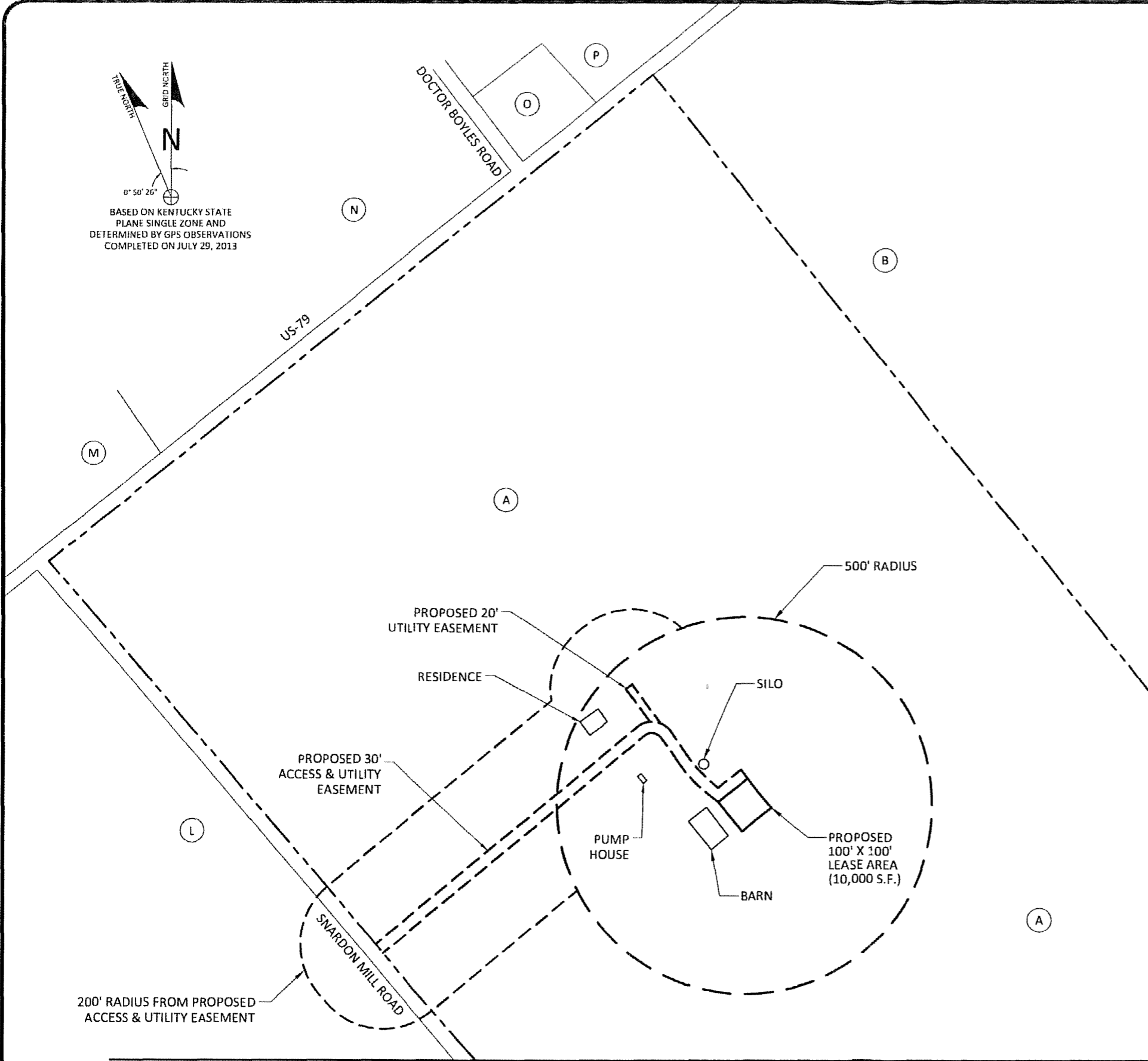
**POD NUMBER:** 13-0761  
**DRAWN BY:** DSR  
**CHECKED BY:** MFP  
**DATE:** 08 14 13

**SHEET TITLE:**  
 SITE SURVEY

**SHEET NUMBER:**  
 B-1



TRUE NORTH  
GRID NORTH  
0° 50' 26"  
BASED ON KENTUCKY STATE  
PLANE SINGLE ZONE AND  
DETERMINED BY GPS OBSERVATIONS  
COMPLETED ON JULY 29, 2013



PARCEL # 089-01  
ABE J. MILLER, TRUSTEE OF  
THE ABE J. MILLER AND ESTHER L.  
MILLER REVOCABLE TRUST AND  
JOE MILLER, JR., TRUSTEE OF  
THE JOE MILLER, JR., AND ELLEN  
D. MILLER REVOCABLE TRUST  
7377 BRYANT RD  
FREDERICKTOWN, OH 43019  
D.B. 163, PG. 262  
NO ZONING

PARCEL # 089-02  
WAYNE CHESTER  
207 MARK OR  
HOPKINSVILLE, KY 42240  
D.B. 132, PG. 37  
NO ZONING

PARCEL # 089-01A  
WILMOTH PAYNE AND OTHERS  
338 ALLEN COVE OR  
SMYRNA, TN 37167  
D.B. 172, PG. 238  
NO ZONING

PARCEL # 074-04  
TOM CAIN  
721 LAMBERT OR  
NASHVILLE, TN 37220  
D.B. 143, PG. 113  
NO ZONING

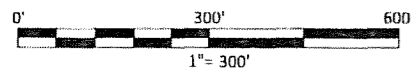
PARCEL # 074-03B  
GLADYS CAIN  
721 LAMBERT OR  
NASHVILLE, TN 37220  
O.B. 143, PG. 113  
NO ZONING

PARCEL # 088-06C  
JOHN BRICKEY STOOKSBURY  
4345 RUSSELLVILLE RO  
ALLENSVILLE, KY 42204  
D.B. 167, PG. 108  
NO ZONING

PARCEL # 088-06  
JOHN BRICKEY STOOKSBURY  
4345 RUSSELLVILLE RO  
ALLENSVILLE, KY 42204  
O.B. 164, PG. 748  
NO ZONING


MATCH LINE (SEE SHEET B-4)

MATCH LINE (SEE SHEET B-3)





**GENERAL NOTE:**

1. ALL INFORMATION SHOWN HEREON WAS OBTAINED FROM THE RECORDS OF THE TODD COUNTY KENTUCKY PROPERTY VALUATION ADMINISTRATION OFFICE ON 7.29.13 AND VERIFIED VIA ONLINE RECORDS 12.12.13. THE PROPERTY VALUATION ADMINISTRATION RECORDS MAY NOT REFLECT THE CURRENT OWNERS AND ADDRESSES DUE TO THE INACCURACIES AND TIME LAPSE IN UPDATING FILES. THE COUNTY PROPERTY VALUATION ADMINISTRATION EXPRESSLY DISCLAIMS ANY WARRANTY FOR THE CONTENT AND ANY ERRORS CONTAINED IN THEIR FILES
2. THIS MAP IS FOR GENERAL INFORMATIONAL PURPOSES ONLY AND IS NOT A BOUNDARY SURVEY



4500 OLD LAGRANGE ROAD  
BUCKNER, KY 40010  
502-437-5252

**SURVEY**

REV.	DATE	DESCRIPTION
A	08.28.13	REV'D EASEMENT RADIUS
B	12.12.13	VERIFIED PVA

SITE INFORMATION:

**ALLENS TOWER**

238 SNARDON MILL ROAD  
GUTHRIE, KY 42234  
COUNTY: TODD

SITE NUMBER:  
**KYEVU3323**

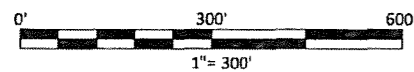
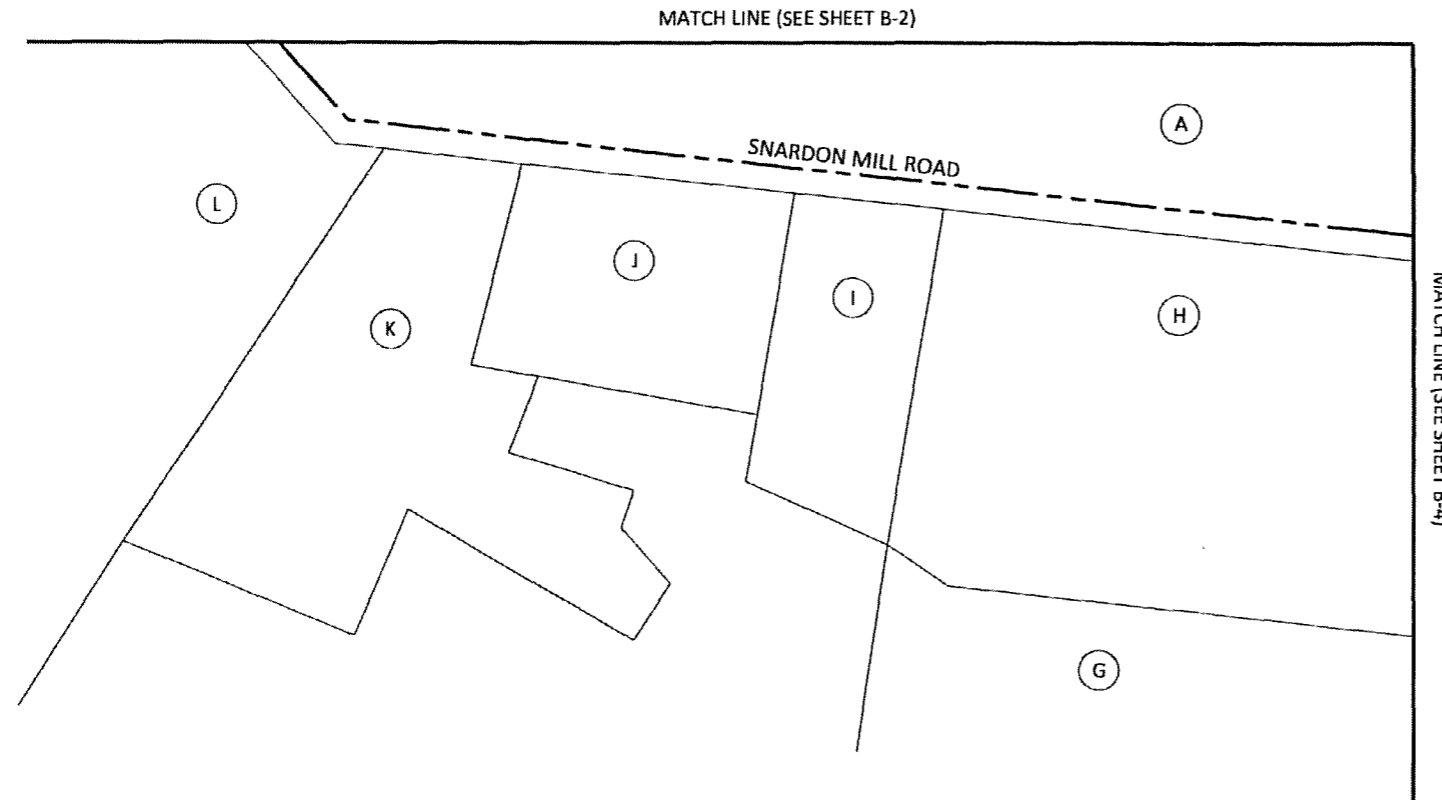
POD NUMBER: 13-0762

DRAWN BY: CSA  
CHECKED BY: MEP  
DATE: 08.21.13

SHEET TITLE:  
**500' RADIUS &  
ABUTTER'S MAP**

SHEET NUMBER:  
**B-2**

0° 50' 26"
   
 TRUE NORTH
   
 GRID NORTH
   
 N
   
 BASED ON KENTUCKY STATE
   
 PLANE SINGLE ZONE AND
   
 DETERMINED BY GPS OBSERVATIONS
   
 COMPLETED ON JULY 29, 2013



(A) PARCEL # 089-01  
 ABE J. MILLER, TRUSTEE OF  
 THE ABE J. MILLER AND ESTHER L.  
 MILLER REVOCABLE TRUST AND  
 JOE MILLER, JR., TRUSTEE OF  
 THE JOE MILLER, JR., AND ELLEN D.  
 MILLER REVOCABLE TRUST  
 7377 BRYANT RD  
 FREDERICKTOWN, OH 43019  
 D.B. 163, PG. 262  
 NO ZONING

(G) PARCEL # 089-07A  
 MICHAEL BROOKS ROBERTSON  
 179 HIGHLAND RD  
 GUTHRIE, KY 42234  
 D.B. 171, PG. 588  
 NO ZONING

(H) PARCEL # 089-08D  
 GLEN STANFORD ROBERTSON TRUST  
 1051 SNARDON MILL RD  
 ALLENSVILLE, KY 42204  
 D.B. 192, PG. 402  
 NO ZONING

(I) PARCEL # 089-08B  
 STUART AND MANDY ERVIN  
 511 SNARDON MILL RD  
 ALLENSVILLE, KY 42204  
 D.B. 189, PG. 80  
 NO ZONING

(J) PARCEL # 089-08A  
 MICHAEL A AND KUMIKO GARDNER  
 453 SNARDON MILL RD  
 ALLENSVILLE, KY 42204  
 D.B. 173, PG. 335  
 NO ZONING

(K) PARCEL # 089-08C  
 JOHN AND BRIDGET COOTS  
 395 SNARDON MILL RD  
 ALLENSVILLE, KY 42204  
 D.B. 160, PG. 214  
 NO ZONING

(L) PARCEL # 089-01A  
 WILMOTH PAYNE AND OTHERS  
 338 ALLEN COVE DR  
 SMYRNA, TN 37167  
 D.B. 172, PG. 238  
 NO ZONING

**GENERAL NOTE:**

1. ALL INFORMATION SHOWN HEREON WAS OBTAINED FROM THE RECORDS OF THE TODD COUNTY KENTUCKY PROPERTY VALUATION ADMINISTRATION OFFICE ON 7.29.13 AND VERIFIED VIA ONLINE RECORDS 12.12.13. THE PROPERTY VALUATION ADMINISTRATION RECORDS MAY NOT REFLECT THE CURRENT OWNERS AND ADDRESSES DUE TO THE INACCURACIES AND TIME LAPSE IN UPDATING FILES. THE COUNTY PROPERTY VALUATION ADMINISTRATION EXPRESSLY DISCLAIMS ANY WARRANTY FOR THE CONTENT AND ANY ERRORS CONTAINED IN THEIR FILES
2. THIS MAP IS FOR GENERAL INFORMATIONAL PURPOSES ONLY AND IS NOT A BOUNDARY SURVEY

1500 OLD LAGRANGE ROAD  
 BUCKNER, KY 40010  
 502-437-5252

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**SURVEY**

REV.	DATE	DESCRIPTION
A	08.28.13	REV'D EASEMENT RADIUS
B	12.12.13	VERIFIED PVA

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SITE INFORMATION:

**ALLENS TOWER**

238 SNARDON MILL ROAD  
GUTHRIE, KY 42234  
COUNTY: TODD

---

SITE NUMBER:  
**KYEVU3323**

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POD NUMBER: 13-0762  
 DRAWN BY: CSA  
 CHECKED BY: MEP  
 DATE: 08.21.13

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SHEET TITLE:  
**500' RADIUS &  
ABUTTER'S MAP**

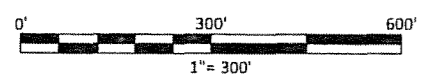
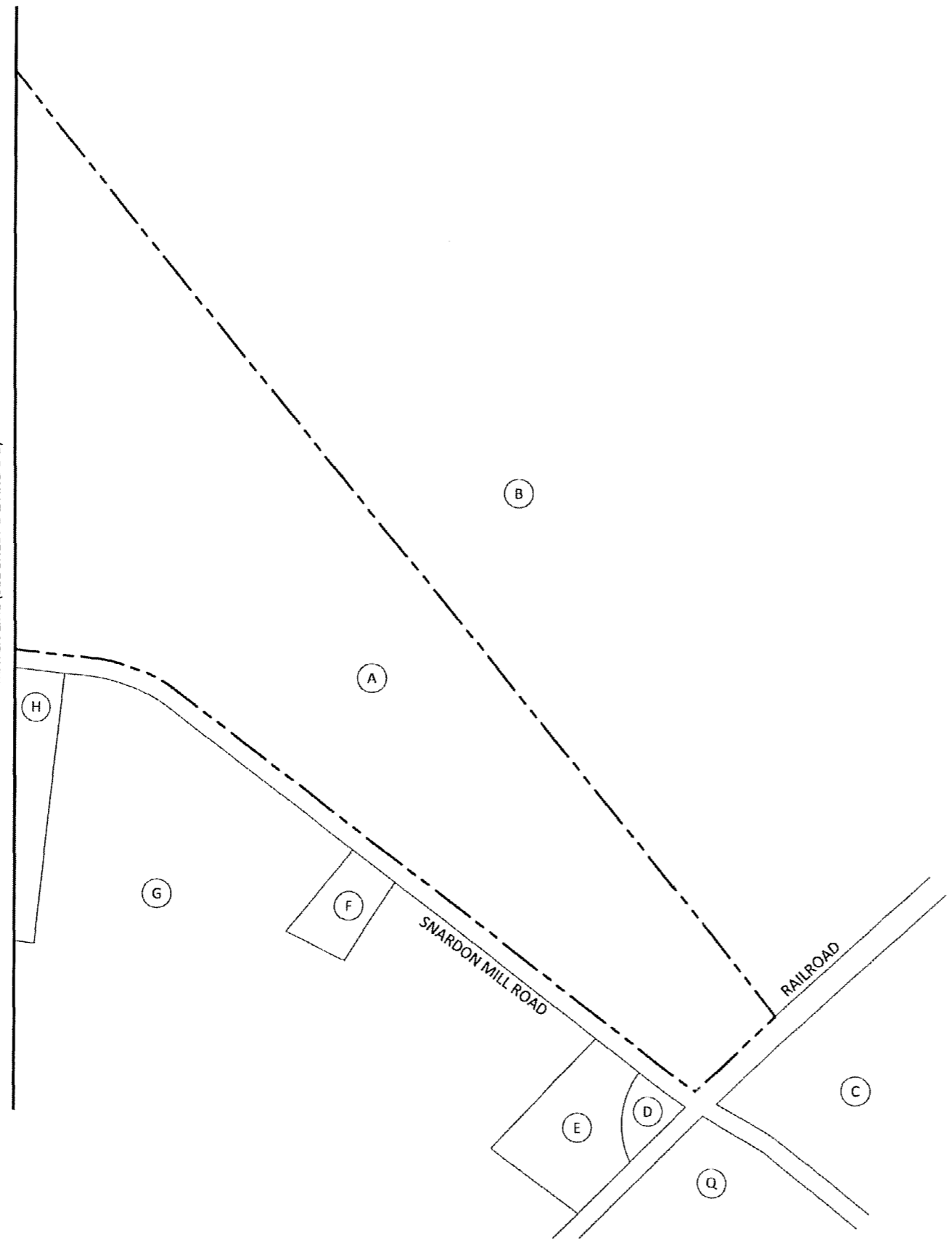
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SHEET NUMBER:  
**B-3**



TRUE NORTH  
 GRID NORTH  
 0° 50' 26"  
 BASED ON KENTUCKY STATE  
 PLANE SINGLE ZONE AND  
 DETERMINED BY GPS OBSERVATIONS  
 COMPLETED ON JULY 29, 2013

MATCH LINE (SEE SHEET B-2 AND B-3)



- (A) PARCEL # 089-01  
 ABE J. MILLER, TRUSTEE OF  
 THE ABE J. MILLER AND ESTHER L.  
 MILLER REVOCABLE TRUST AND  
 JOE MILLER, JR., TRUSTEE OF  
 THE JOE MILLER, JR., AND ELLEN  
 D. MILLER REVOCABLE TRUST  
 7377 BRYANT RD  
 FREDERICKTOWN, OH 43019  
 D.B. 163, PG. 262  
 NO ZONING
- (B) PARCEL # 089-02  
 WAYNE CHESTER  
 207 MARK DR  
 HOPKINSVILLE, KY 42240  
 D.B. 132, PG. 37  
 NO ZONING
- (C) PARCEL # 089-03F  
 GLEN STANFORD ROBERTSON TRUST  
 1051 SNARDON MILL RD  
 ALLENSVILLE, KY 42204  
 D.B. 192, PG. 402  
 NO ZONING
- (D) PARCEL # 089-06  
 ROZA E WILLIAMS  
 1035 SNARDON MILL RD  
 ALLENSVILLE, KY 42204  
 D.B. 82, PG. 10  
 NO ZONING
- (E) PARCEL # 089-06A  
 JERRY W AND SYBLE V WHITTAKER  
 1015 SNARDON MILL RD  
 ALLENSVILLE, KY 42204  
 D.B. 183, PG. 483  
 NO ZONING
- (F) PARCEL # 089-07  
 JARED AND CASEY ROBERTSON  
 869 SNARDON MILL RD  
 ALLENSVILLE, KY 42204  
 D.B. 190, PG. 532  
 NO ZONING
- (G) PARCEL # 089-07A  
 MICHAEL BROOKS ROBERTSON  
 179 HIGHLAND RD  
 GUTHRIE, KY 42234  
 D.B. 171, PG. 588  
 NO ZONING
- (H) PARCEL # 089-08D  
 GLEN STANFORD ROBERTSON  
 1051 SNARDON MILL RD  
 ALLENSVILLE, KY 42204  
 D.B. 192, PG. 402  
 NO ZONING
- (Q) PARCEL # 089-10B  
 GLEN STANFORD ROBERTSON TRUST  
 1051 SNARDON MILL RD  
 ALLENSVILLE, KY 42204  
 D.B. 192, PG. 340  
 NO ZONING

- GENERAL NOTE:**
1. ALL INFORMATION SHOWN HEREON WAS OBTAINED FROM THE RECORDS OF THE TODD COUNTY KENTUCKY PROPERTY VALUATION ADMINISTRATION OFFICE ON 7.29.13 AND VERIFIED VIA ONLINE RECORDS 12.12.13. THE PROPERTY VALUATION ADMINISTRATION RECORDS MAY NOT REFLECT THE CURRENT OWNERS AND ADDRESSES DUE TO THE INACCURACIES AND TIME LAPSE IN UPDATING FILES. THE COUNTY PROPERTY VALUATION ADMINISTRATION EXPRESSLY DISCLAIMS ANY WARRANTY FOR THE CONTENT AND ANY ERRORS CONTAINED IN THEIR FILES
  2. THIS MAP IS FOR GENERAL INFORMATIONAL PURPOSES ONLY AND IS NOT A BOUNDARY SURVEY

4500 OLD LAGRANGE ROAD  
BUCKNER, KY 40010  
502-437-5252

**SURVEY**

REV.	DATE	DESCRIPTION
A	08.28.13	REV'D EASEMENT RADIUS
B	12.12.13	VERIFIED PVA

SITE INFORMATION:

**ALLENS TOWER**

238 SNARDON MILL ROAD  
GUTHRIE, KY 42234  
COUNTY: TODD

SITE NUMBER:  
**KYEVU3323**

POD NUMBER: 13 0762

DRAWN BY: CSA  
 CHECKED BY: MEP  
 DATE: 08.21.13

SHEET TITLE:  
**500' RADIUS &  
ABUTTER'S MAP**

SHEET NUMBER:  
**B-4**

PARCEL # 089-01  
 ABE J. MILLER, TRUSTEE OF THE ABE J. MILLER AND  
 ESTHER L. MILLER REVOCABLE TRUST AND JOE  
 MILLER, JR. TRUSTEE OF THE JOE MILLER, JR. AND  
 ELLEN D. MILLER REVOCABLE TRUST  
 D.B. 163, PG. 262  
 PARCEL C

(N) 30'-0" WIDE ACCESS &  
 UTILITY EASEMENT ALONG  
 (E) GRAVEL DRIVE

UNDERGROUND TELCO  
 SERVICE FROM EXISTING  
 TELCO PEDESTAL TO  
 COMPOUND WITHIN  
 PROPOSED 30'-0"  
 UTILITY EASEMENT

(E) GRAVEL DRIVE

(E) TREE MASS

(E) TELCO PEDESTAL

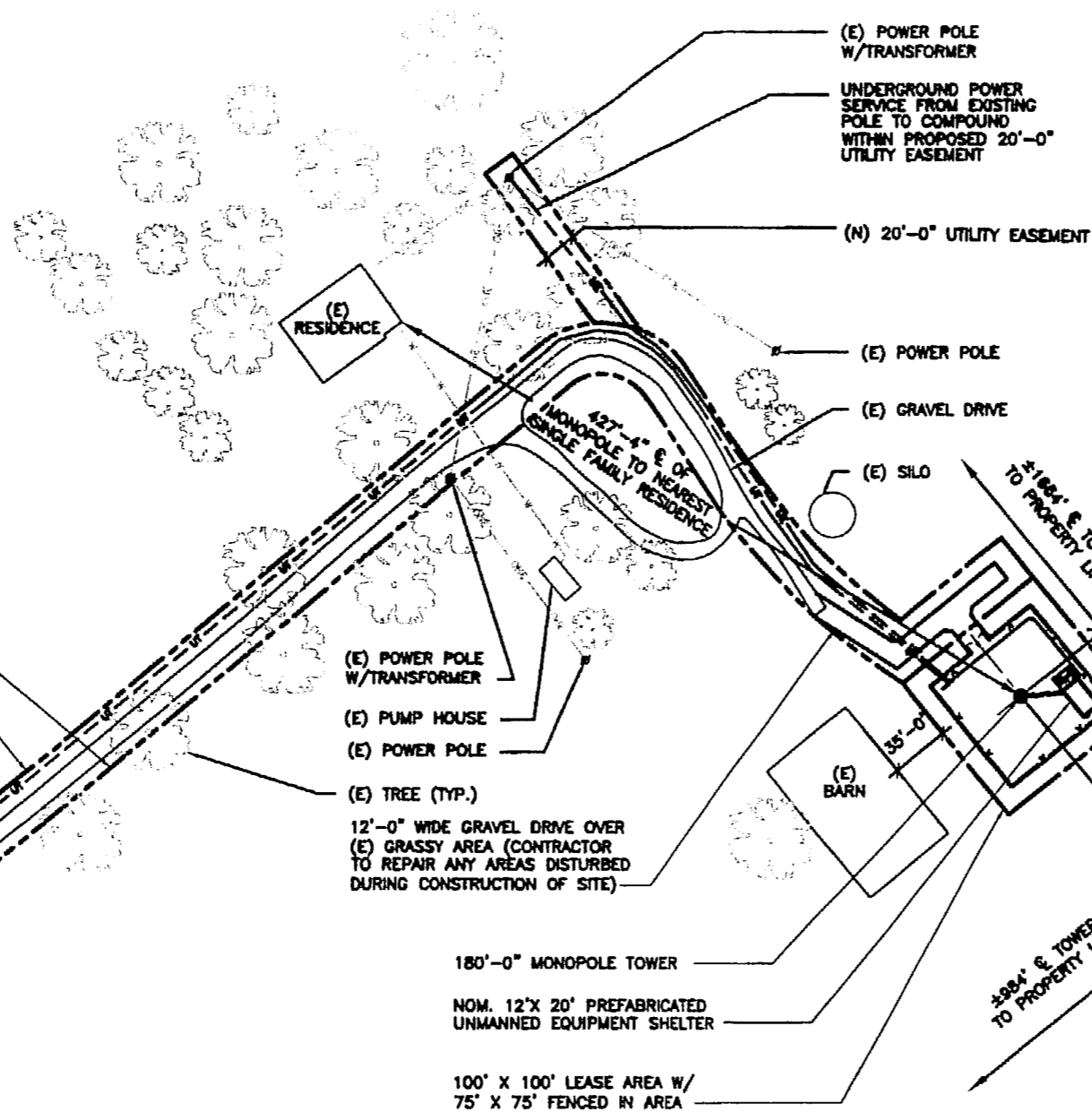
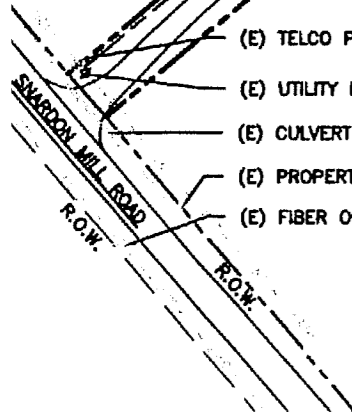
(E) UTILITY POLE (TYP.)

(E) CULVERT

(E) PROPERTY LINE

(E) FIBER OPTIC PEDESTAL

PARCEL # 089-01  
 ABE J. MILLER, TRUSTEE OF THE ABE J. MILLER AND  
 ESTHER L. MILLER REVOCABLE TRUST AND JOE  
 MILLER, JR. TRUSTEE OF THE JOE MILLER, JR. AND  
 ELLEN D. MILLER REVOCABLE TRUST  
 D.B. 163, PG. 262  
 PARCEL C



**LEASE AREA**

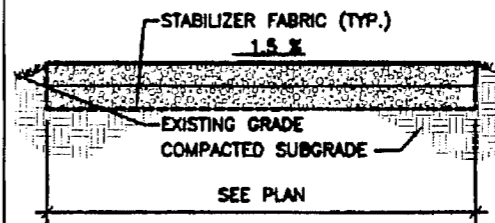
BASE COURSE: 4" MIN.  
 OF COMPACTED CA-6  
 COARSE AGGREGATE.

TOP COURSE: 4" MIN.  
 OF COMPACTED CA-7  
 COARSE AGGREGATE.

**ACCESS DRIVE**

BASE COURSE: 6" MIN.  
 OF COMPACTED CA-3  
 COARSE AGGREGATE.

TOP COURSE: 3" MIN.  
 OF COMPACTED CA-8  
 COARSE AGGREGATE.



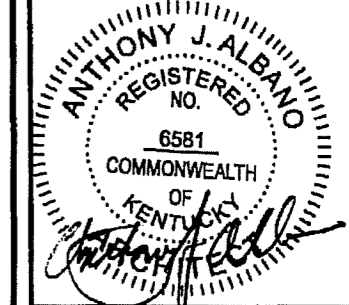
**GRAVEL PAVING DETAIL**  
 SCALE: 1/2" = 1'-0" 2



**FMHC DESIGN, INC**  
 ARCHITECTURE/TELECOMMUNICATIONS  
 1700 SHERWIN AVENUE  
 DES PLAINES, IL 60018  
 TEL: 773-380-3800  
 FAX: 773-883-0850

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DRAWN BY: NL

APPROVED BY: AJA


12/18/13 ISSUED FOR ZONING  
 08/30/13 ISSUED FOR ZONING

**SITE# KYEVU3323**  
**ALLENS TOWER**  
 238 SNARDON MILL ROAD  
 GUTHRIE, KY 42234  
 TODD COUNTY

SHEET TITLE  
**SITE PLAN**

SHEET NUMBER  
**A1**

PROJECT NUMBER: 8207

**GENERAL NOTES:**

- ELEVATIONS ARE ABOVE MEAN SEA LEVEL.
- DO NOT SCALE DIMENSIONS FROM THIS DRAWING.
- ALL EXISTING RECORDED EASEMENTS ARE INDICATED ON THIS DRAWING TO THE BEST OF THE ARCHITECT'S KNOWLEDGE PER VISUAL INSPECTION, SURVEY DRAWINGS, AND INFORMATION RECEIVED FROM AT&T.

**BENCHMARK/PROJECT DATUM**

LOCATION: BEING A SET 5/8" REBAR LOCATED IN THE EAST CORNER OF THE PROPOSED LEASE AREA. (SEE SURVEY FOR LOCATION)

BENCHMARK ELEVATION: 586.48' A.M.S.L.  
 LATITUDE: 36° 41' 40.87" N  
 LONGITUDE: -87° 06' 57.94" W

PROJECT DATUM: 586' A.M.S.L. (T/CAISSON = +0.00)

**SITE PLAN**  
 SCALE: 1" = 100'-0" 1

LEGEND		
EXISTING		NEW
— SAS —	SANITARY SEWER	— SAS —
— STS —	STORM SEWER	— STS —
— W —	WATER MAIN	— W —
⊗	SANITARY MANHOLE ELEVATIONS	⊗
⊗	STORM STRUCTURE ELEVATIONS	⊗
---	PROPERTY LINE	---
---	STORM DRAINAGE	---
*	LIGHT STANDARD	*
○	STREET LIGHT	○
672.75	SPOT ELEVATION	672.75
672	CONTOUR	672
672	CONTOUR TO BE REGRADED	672
-G-G-	GAS MAIN	-G-G-
⊗	MANHOLE	⊗
⊗	CATCH BASIN	⊗
⊗	FIRE HYDRANT	⊗
---	EASEMENT LINE	---
---	FENCE	---
---UE/UT---	BURIED UTILITY LINE	---UE/UT---
⊗	UTILITY POLE	⊗
— OHE —	OVERHEAD UTILITY LINE	— OHE —
	BUILDING	