

COMMONWEALTH OF KENTUCKY
BEFORE THE PUBLIC SERVICE COMMISSION

RECEIVED

APR 25 2011

PUBLIC SERVICE
COMMISSION

In the Matter of:

APPLICATION OF KENTUCKY RSA #3
CELLULAR GENERAL PARTNERSHIP FOR
ISSUANCE OF A CERTIFICATE OF PUBLIC
CONVENIENCE AND NECESSITY TO CONSTRUCT
A CELL SITE (JOHNSON CROSSROADS) IN RURAL
SERVICE AREA #3 (GRAYSON) OF THE
COMMONWEALTH OF KENTUCKY

CASE NO. 2011-00090

APPLICATION FOR A CERTIFICATE
OF PUBLIC CONVENIENCE AND NECESSITY (JOHNSON CROSSROADS)

Kentucky RSA #3 Cellular General Partnership ("Kentucky RSA #3"), through counsel, pursuant to KRS 278.020 and 278.040, hereby submits this application for a certificate of public convenience and necessity to construct a cell site to be known as the Johnson Crossroads cell site in and for rural service area ("RSA") #3 of the Commonwealth of Kentucky, namely the counties of Allen, Breckinridge, Butler, Edmonson, Grayson, Hancock, Logan, McLean, Meade, Muhlenberg, Ohio, Simpson, Todd and Warren, Kentucky.

1. As required by 807 KAR 5:001 Sections 8(1) and (3), and 807 KAR 5:063, Kentucky RSA #3 states that it is a Kentucky general partnership whose full name and post office address are: Kentucky RSA #3 Cellular General Partnership, 2902 Ring Road, Elizabethtown, Kentucky, 42701.

2. Pursuant to 807 KAR § 1 (1)(b), a copy of the applicant's applications to the Federal Aviation Administration and Kentucky Airport Zoning Commission are attached as Exhibit "A." Written authorizations from these agencies will be supplied to the Commission upon their approval.

3. Pursuant to 807 KAR 5:063 §1(1)(d), applicant is attaching as Exhibit "B" a geotechnical investigation report, signed and sealed by a professional engineer registered in Kentucky, that includes boring logs, foundation design recommendations, and a finding as to the susceptibility of the area surrounding the proposed site to flood hazard.

4. Pursuant to 807 KAR 5:063 §1(1)(e), clear directions from the county seat to the proposed site, including highway numbers and street names, with the telephone number of the person who prepared the directions are attached as Exhibit “C.”

5. Pursuant to 807 KAR 5:063 §1(1)(f), a copy of the lease for the property on which the tower is proposed to be located is attached as Exhibit “D.”

6. Pursuant to 807 KAR §1(1)(g), experienced personnel will manage and operate the Johnson Crossroads cell site. The President of Bluegrass Cellular Inc., Mr. Ron Smith, is ultimately responsible for all construction and operations of the cellular system of Kentucky RSA # 3 , of which system the Johnson Crossroads cell site will be a part. Bluegrass Cellular Inc. provides management services to Kentucky RSA #3 under a management contract, just as it does with three (3) other wireless carriers in the Commonwealth. And, Bluegrass Cellular Inc. has been providing these management services to these other wireless carriers for well over a decade. This extensive management experience with Bluegrass Cellular demonstrates that Bluegrass Cellular Inc.'s management and technical ability to supervise the operations of a wireless carrier.

7. Pursuant to 807 KAR §1(1)(g), World Tower Company, Inc. is responsible for the design specifications of the proposed tower (identified in Exhibit “B”).

8. Pursuant to 807 KAR 5:063 §1(1)(h), a site development plan and survey, signed and sealed by a professional engineer registered in Kentucky, that shows the proposed location of the tower and all easements and existing structures within 500 feet of the proposed site on the property on which the tower will be located, and all easements and existing structures within 200 feet of the access drive, including the intersection with the public street system is attached as Exhibit “B.”

9. Pursuant to 807 KAR 5:063 §1(1)(i), a vertical profile sketch of the tower, signed and sealed by a professional engineer registered in Kentucky, indicating the height of the tower and the placement of all antennas is attached as Exhibit “B.”

10. Pursuant to 807 KAR 5:063 §1(1)(j), the tower and foundation design plans and a description of the standard according to which the tower was designed, signed and sealed by a professional engineer registered in Kentucky is attached as Exhibit “B.”

11. Pursuant to 807 KAR 5:063 § 1 (1)(k), a map, drawn to a scale no less than one (1) inch equals 200 feet, that identifies every structure and every owner of real estate within 500 feet of the proposed tower is attached as Exhibit “E.”

12. Pursuant to 807 KAR 5:063 § 1 (1)(l), applicant’s legal counsel hereby affirms that every person who owns property within 500 feet of the proposed tower has been: (i) notified by certified mail, return receipt requested, of the proposed construction; (ii) given the commission docket number under which the application will be processed; and (iii) informed of his or her right to request intervention.

13. Pursuant to KRS 278.665(2), applicant’s legal counsel hereby affirms that every person who, according to the records of the property valuation administrator, owns property contiguous to the property where the proposed cellular antenna tower will be located has been: (i) notified by certified mail, return receipt requested, of the proposed construction; (ii) given the commission docket number under which the application will be processed; and (iii) informed of his or her right to request intervention.

14. Pursuant to 807 KAR 5:063 §1(1)(m), a list of the property owners who received the notice together with copies of the certified letters sent to listed property owners is attached as Exhibit “F.”

15. Pursuant to 807 KAR 5:063 § 1 (1)(n), applicant’s legal counsel hereby affirms that the Grayson County Judge Executive has been: (i) notified by certified mail, return receipt requested, of the proposed construction; (ii) given the commission docket number under which the application will be processed; and (iii) informed of its right to request intervention.

16. Pursuant to 807 KAR 5:063 §1(1)(o), a copy of the notice sent to the Grayson County Judge Executive is Exhibit “G.”

17. Pursuant to 807 KAR 5:063 § 1 (1)(p), applicant’s legal counsel hereby affirms that (i) two written notices meeting subsection two (2) of this section have been posted, one in a visible location

on the proposed site and one on the nearest public road; and (ii) the notices shall remain posted for at least two weeks after the application has been filed.

18. Pursuant to 807 KAR 5:063 § 1 (2)(a), applicant's legal counsel affirms that:

(a) A written notice, of durable material at least two (2) feet by four (4) feet in size, stating that "***Kentucky RSA #3 Cellular General Partnership proposes to construct a telecommunications tower on this site,***" including the addresses and telephone numbers of the applicant and the Kentucky Public Service Commission, has been posted and shall remain in a visible location on the proposed site until final disposition of the application;

and

(b) A written notice, of durable material at least two (2) feet by four (4) feet in size, stating that "***Kentucky RSA #3 Cellular General Partnership proposes to construct a telecommunications tower near this site,***" including the addresses and telephone numbers of the applicant and the Kentucky Public Service Commission, has been posted on the public road nearest the site.

A copy of each sign is attached as Exhibit "H."

19. Pursuant to 807 KAR 5:063 § 1 (1)(q), a statement that notice of the location of the proposed construction has been published in a newspaper of general circulation in the county in which the construction is proposed is attached as Exhibit "I."

20. Pursuant to 807 KAR 5:063 § 1(1)(r), the cell site, which has been selected, is in a relatively undeveloped area in Clarkson, Kentucky.

21. Pursuant to 807 KAR 5:063 §1(1)(s), Kentucky RSA #3 has considered the likely effects of the installation on nearby land uses and values and has concluded that there is no more suitable location reasonably available from which adequate service to the area can be provided, and that there is no reasonably available opportunity to co-locate. Kentucky RSA #3 has attempted to co-locate on towers designed to host multiple wireless service providers' facilities or existing structures, such as a telecommunications tower, or another suitable structure capable of supporting the utility's facilities.

22. Pursuant to 807 KAR 5:063 § 1(1)(t), a map of the area in which the tower is proposed to be located, that is drawn to scale and that clearly depicts the search area in which a site should, pursuant to radio frequency requirements, be located is attached as Exhibit "J."

23. Pursuant to KRS 100.987(2)(a), a grid map, that is drawn to scale, that shows the location of all existing cellular antenna towers and that indicates the general position of proposed construction sites for new cellular antenna towers is attached as Exhibit "K."

24. No reasonably available telecommunications tower, or other suitable structure capable of supporting the cellular facilities of Kentucky RSA #3 and which would provide adequate service to the area exists.

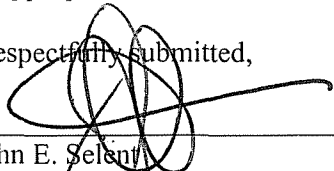
25. Correspondence and communication with regard to this application should be addressed to:

John E. Selent
Holly C. Wallace
DINSMORE & SHOHL LLP
101 S. Fifth Street
Suite 2500
Louisville, KY 40202
(502) 540-2300
(502) 585-2207 (facsimile)
john.selent@dinslaw.com
holly.wallace@dinslaw.com

WHEREFORE, Kentucky RSA #3 Cellular General Partnership requests the Commission to enter an order:

1. Granting a certificate of public convenience and necessity to construct the Johnson Crossroads cell site; and
2. Granting all other relief as appropriate.

Respectfully submitted,



John E. Selent
Holly C. Wallace
DINSMORE & SHOHL LLP
101 S. Fifth Street
Suite 2500
Louisville, KY 40202
(502) 540-2300
(502) 585-2207 (facsimile)
john.selent@dinslaw.com
holly.wallace@dinslaw.com



Federal Aviation Administration

<< OE/AAA

Notice of Proposed Construction or Alteration - Off Airport

Project Name: BLUEG-000170079-11

Sponsor: Bluegrass Cellular, Inc.

Details for Case : Johnson Crossroads

Show Project Summary

Case Status

ASN: 2011-ASO-1715-OE
 Status: Accepted

Date Accepted: 03/18/2011
 Date Determined:
 Letters: None
 Documents: 03/18/2011 20 Survey.pdf

Construction / Alteration Information

Notice Of: Construction
 Duration: Permanent
if Temporary : Months: Days:
 Work Schedule - Start: 05/01/2011
 Work Schedule - End: 05/05/2011
 State Filing: Filed with State

Structure Summary

Structure Type: Antenna Tower
 Structure Name: Johnson Crossroads
 NOTAM Number:
 FCC Number:
 Prior ASN:

Structure Details

Latitude: 37° 25' 27.05" N
 Longitude: 86° 13' 46.74" W
 Horizontal Datum: NAD83
 Site Elevation (SE): 826 (nearest foot)
 Structure Height (AGL): 255 (nearest foot)

* If the entered AGL is a proposed change to an existing structure's height include the current AGL in the Description of Proposal.

Requested Marking/Lighting: Dual-red and medium intensity

Other :

Recommended Marking/Lighting:

Current Marking/Lighting: N/A New Structure

Other :

Nearest City: Clarkson

Nearest State: Kentucky

Description of Location: 2601 St. Augustine Road
 Clarkson, KY 42726

Description of Proposal: proposed Self-supporting tower with top-mounted antennas for overall height of 255'

Common Frequency Bands

Low Freq	High Freq	Freq Unit	ERP	ERP Unit
698	806	MHz	1000	W
806	824	MHz	500	W
824	849	MHz	500	W
851	866	MHz	500	W
869	894	MHz	500	W
896	901	MHz	500	W
901	902	MHz	7	W
930	931	MHz	3500	W
931	932	MHz	3500	W
932	932.5	MHz	17	dBW
935	940	MHz	1000	W
940	941	MHz	3500	W
1850	1910	MHz	1640	W
1930	1990	MHz	1640	W
2305	2340	MHz	2000	W
2345	2360	MHz	2000	W

Specific Frequencies

Kentucky Transportation Cabinet, Kentucky Airport Zoning Commission, 200 Mero Street, Frankfort, KY 40622

Kentucky Aeronautical Study Number

APPLICATION FOR PERMIT TO CONSTRUCT OR ALTER A STRUCTURE

INSTRUCTIONS INCLUDED

1. APPLICANT -- Name, Address, Telephone, Fax, etc.

 Scott McCloud
 Bluegrass Cellular, Inc.
 2902 Ring Road
 Elizabethtown, KY 42702
 T: 270-769-0339 F:270-737-0580

 9. Latitude: 37 ° 25 ' 27 " 05 "

 10. Longitude: 86 ° 13 ' 46 " 74 "

 11. Datum: NAD83 NAD27 Other _____

 12. Nearest Kentucky City: Clarkson County Grayson

 13. Nearest Kentucky public use or Military airport:
Grayson County Airport

 14. Distance from #13 to Structure: 2.4 Miles

 15. Direction from #13 to Structure: NE

 16. Site Elevation (AMSL): 826.00 Feet

 17. Total Structure Height (AGL): 255.00 Feet

 18. Overall Height (#16 + #17) (AMSL): 1,081.00 Feet

 19. Previous FAA and/or Kentucky Aeronautical Study Number(s):
N/A

20. Description of Location: (Attach USGS 7.5 minute Quadrangle Map or an Airport layout Drawing with the precise site marked and any certified survey)

 Site is located at:
 2601 St. Augustine Road
 Clarkson, KY 42726

2. Representative of Applicant -- Name, Address, Telephone, Fax

 Leila Rezanavaz
 Lukas, Nace, Gutierrez & Sachs, LLP
 8300 Greensboro Drive, Suite 1200
 McLean, VA 22102
 T: 703-584-8668 F: 703-584-8694

 3. Application for: New Construction Alteration Existing

 4. Duration: Permanent Temporary (Months _____ Days _____)

 5. Work Schedule: Start 5/1/2011 End 5/5/2011

 6. Type: Antenna Tower Crane Building Power Line
 Landfill Water Tank Other _____

7. Marking/Painting and/or Lighting Preferred:

 Red Lights and Paint Dual - Red & Medium Intensity White
 White - Medium Intensity Dual - Red & High Intensity White
 White - High Intensity Other _____

 8. FAA Aeronautical Study Number 2011-ASO-1715-OE

21. Description of Proposal:

 Structure: Proposed self-supporting tower with top-mounted antennas for overall height of 255' AGL.
 Max. ERP: 250 Watts
 Frequencies: Cellular Band B

22. Has a "NOTICE OF CONSTRUCTION OR ALTERATION" (FAA Form 7460-1) been filed with the Federal Aviation Administration?

 No Yes, When March 18, 2011
CERTIFICATION: I hereby certify that all the above statements made by me are true, complete and correct to the best of my knowledge and belief.

Leila Rezanavaz / Senior Consulting Engineer

3/18/2011

Printed Name and Title

Signature

Date

PENALTIES: Persons failing to comply with Kentucky Revised Statutes (KRS 183.861 through 183.990) and Kentucky Administrative Regulations (602 KAR 050:Series) are liable for fines and/or imprisonment as set forth in KRS 183.990(3). Non-compliance with Federal Aviation Administration Regulations may result in further penalties.

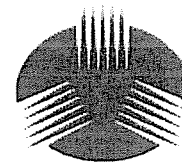
Commission Action:
 Chairman, KAZC

 Administrator, KAZC

 Approved

 Disapproved

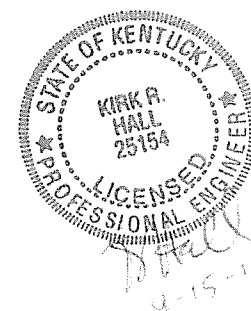
Date _____

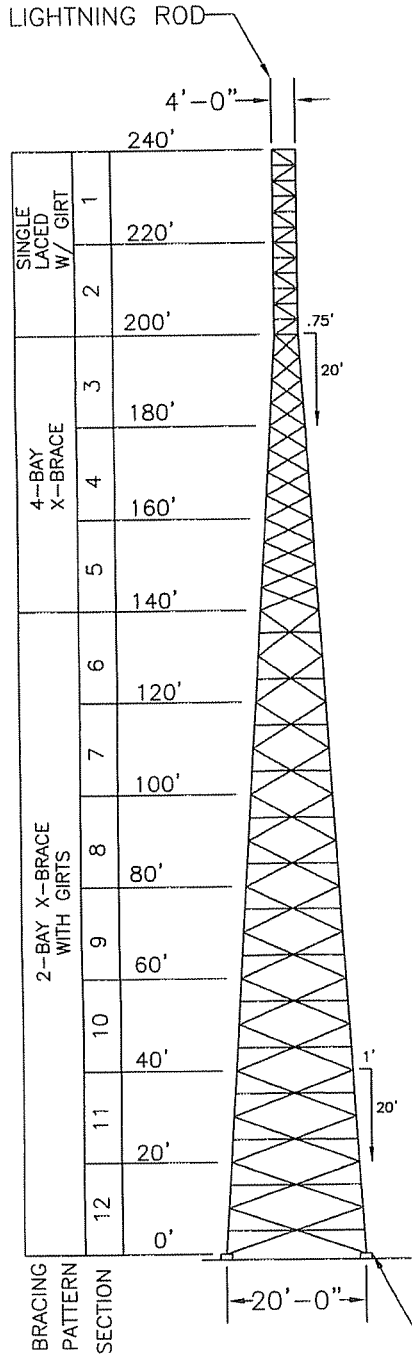


World Tower
COMPANY, INC.

1213 Compressor Drive
P.O. Box 508
Mayfield, KY 42066
270-247-3642
FAX: 270-247-0909
E-mail: worldtower@worldtower.com
Web: www.worldtower.com

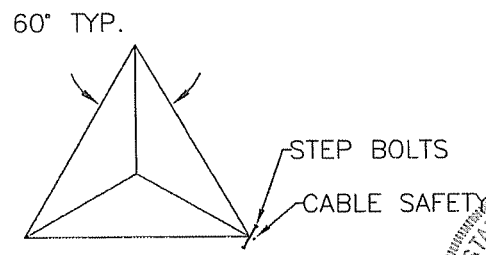
240' MODEL WSST TOWER
FOR: BLUEGRASS CELLULAR
SITE: JOHNSON CROSSROADS
GRAYSON COUNTY, KY
DESIGN PACKAGE





TOWER ELEVATION

ANCHOR BOLTS WITH EMBEDDED PL.



TOWER PLAN

GENERAL NOTES

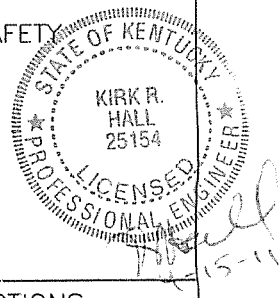
1. TOWER IS DESIGNED TO SUPPORT THE GIVEN LOAD AND MEET THE PROVISIONS OF TIA-222-G FOR A 90 MPH BASIC WIND SPEED WITH NO ICE. TOWER IS ALSO DESIGN FOR A 30 MPH BASIC WIND SPEED WITH 3/4" ICE. STRUCTURE CLASS II, EXP. CAT. C AND TOPO. CAT. 1.
2. WELDED CONNECTIONS SHALL CONFORM TO THE LATEST REVISION OF THE AMERICAN WELDING SOCIETY AWS. D 1.1.
3. TOWER AND ALL FABRICATED ACCESSORIES ARE HOT-DIP GALVANIZED.
4. ALL BOLTS SHALL BE GALVANIZED ACCORDING TO THE STANDARD SPECIFICATION FOR ZINC COATING OF IRON AND STEEL HARDWARE ASTM A153.
5. LEG STEEL IS 50 KSI MIN YIELD SOLID ROUND AND BRACING STEEL IS 36 KSI MIN YIELD SOLID ROUND OR STRUCTURAL ANGLE.
6. ALL STRUCTURAL BOLTS ARE ASTM A325.
7. TOWER IS DESIGNED FOR ALL LINES TO BE MOUNTED ACCORDING TO DRAWING Q11332WG.
8. TOWER SHOULD BE INSPECTED IN ACCORDANCE WITH TIA/EIA-222-G EVERY 5 YEARS.
9. TOWER INSPECTION SHOULD ONLY BE PERFORMED BY EXPERIENCED QUALIFIED PERSONNEL. FOR ASSISTANCE IN PROPER MAINTENANCE OF YOUR TOWER, CALL WORLD TOWER AT 270-247-3642.
10. STEP BOLTS PROVIDED ON ONE LEG FROM 60' TO 240' AND 3 LEGS FROM 0' TO 60'.
11. CABLE SAFETY 0'-240'.

WORLD TOWER

TITLE: 240' MODEL WSST TOWER
 FOR: BLUEGRASS CELLULAR
 SITE : JOHNSON CROSSROADS
 GRAYSON COUNTY, KY

SCALE	NONE	DWN.	LKB	CRD.	DATE 4-13-11
FILE	DWG. NO. Q11332				

BASE REACTIONS	
OTM:	6356.0 FT. KIPS
COMP.	392.0 KIPS
UPLIFT	329.0 KIPS
SHEAR (3 LEGS)	49.0 KIPS
WT. NO ICE	76.0 KIPS
WT. 3/4" ICE	188.0 KIPS

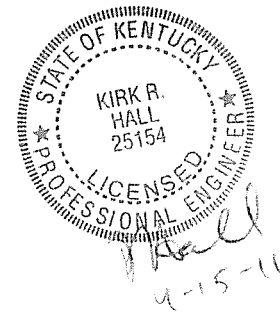


SECTION NO.	LEGS	DIAGONALS	GIRTS	SPLICE BOLTS	DIAG BOLTS	GIRT BOLTS
1	1 1/2	1	1	4- 3/4"	WELDED CONSTRUCTION	
2	2	1 1/8	1			
3	2 1/2	2 X 1/8	2 X 1/8	4-1"	5/8	5/8
4	2 3/4	2 X 1/8	N/A			N/A
5	3	2 X 3/16				
6	3 1/4	2 1/2 X 3/16	2 X 1/8	6-1"		5/8
7	3 1/2	3 X 3/16	2 X 3/16			
8	3 1/2	3 X 3/16	2 1/2 X 3/16		3/4	3/4
9	3 3/4	3 X 1/4	2 1/2 X 3/16	6-1 1/4"		
10	3 3/4	3 X 1/4	3 X 3/16			
11	4	3 1/2 X 1/4	3 X 3/16			
12	4	3 1/2 X 1/4	3 X 3/16	6-1 1/4"		

ANCHOR BOLTS

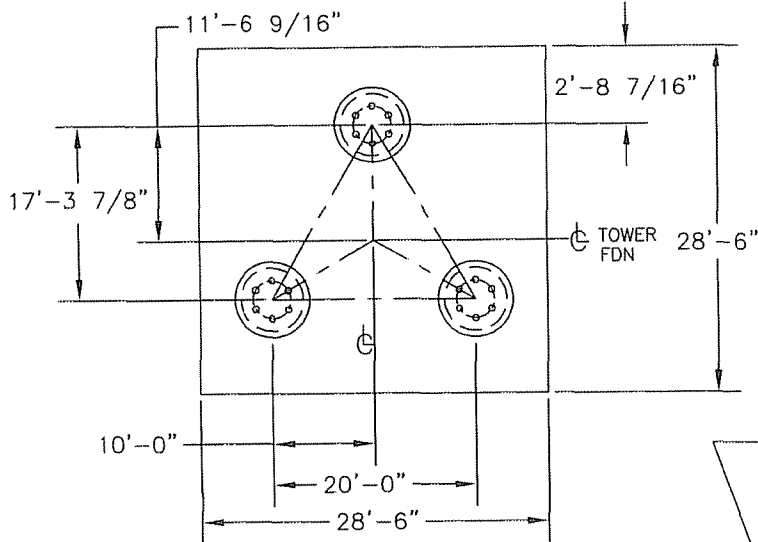
ANTENNA LOADING	
ELEV.	DESCRIPTION
240'	(6) ANTEL RWB 80014/120 ON WD13X53 MOUNT
220'	(6) ANTEL RWB 80014/120 ON WD13X53 MOUNT
200'	(6) ANTEL RWB 80014/120 ON WD13X53 MOUNT
180'	(6) ANTEL RWB 80014/120 ON WD13X53 MOUNT
160'	(6) ANTEL RWB 80014/120 ON WD13X53 MOUNT
140'	6' GRID DISH

LINE



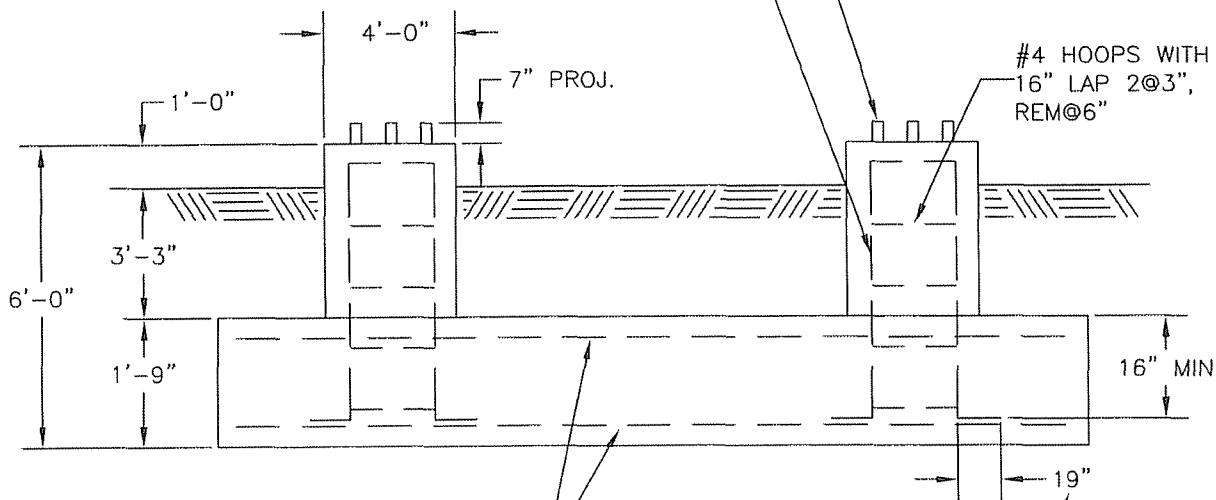
WORLD TOWER
 TITLE: 240' MODEL WSST TOWER
 FOR: BLUEGRASS CELLULAR
 SITE : JOHNSON CROSSROADS
 GRAYSON COUNTY, KY

SCALE NONE DWG. LKB FILE
 CKD. DATE 4-13-11
 DWG. NO. Q11332T



58.6 CU. YDS.
CONCRETE REQ'D.

BASE REACTIONS	
OTM:	6356.0 FT. KIPS
COMP.	392.0 KIPS
UPLIFT	329.0 KIPS
SHEAR (3 LEGS)	49.0 KIPS
WT. NO ICE	76.0 KIPS
WT. 3/4" ICE	188.0 KIPS

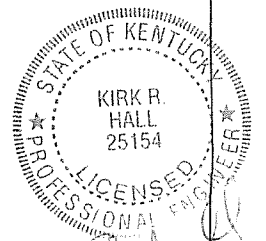


29-#9 REBARS
EACH WAY TOP AND BOTTOM

ROTATE BEND AS NEEDED
TO MAINTAIN 3" CONCRETE
COVER AT EDGE OF FOUNDATION

GENERAL NOTES

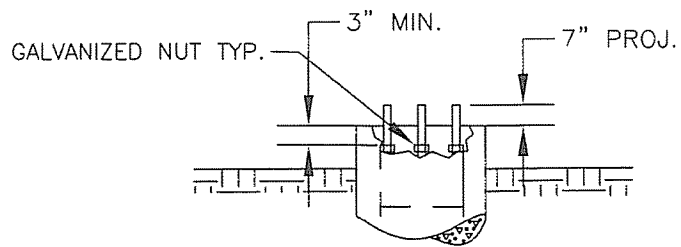
1. CONCRETE TO HAVE 4000 PSI MIN. COMPRESSIVE STRENGTH AFTER 28 DAYS.
2. ALL REINFORCEMENT STEEL IS DEFORMED AND MEETS THE STRENGTH REQUIREMENTS OF ASTM A615 GRADE 60.
3. EMBEDDED STEEL TO HAVE 3" MIN. CONCRETE COVER.
4. FOUNDATION DESIGN IS BASED ON CUSTOMER SUPPLIED SOIL DATA FROM TERRACON. PROJECT NO. 57115005 DATED APRIL 1, 2011.



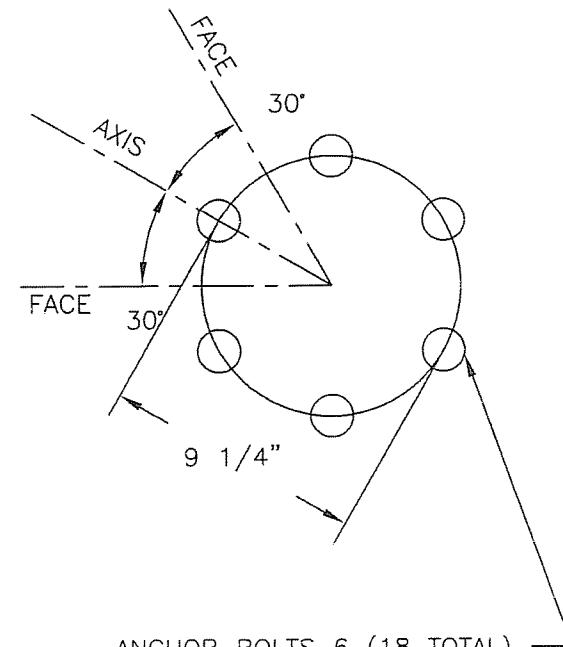
TITLE: FOUNDATION DETAIL
240' MODEL WSST TOWER
FOR: BLUEGRASS CELLULAR
SITE: JOHNSON CROSSROADS
GRAYSON COUNTY, KY

WORLD TOWER

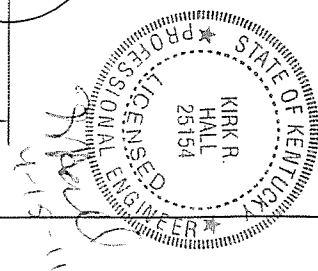
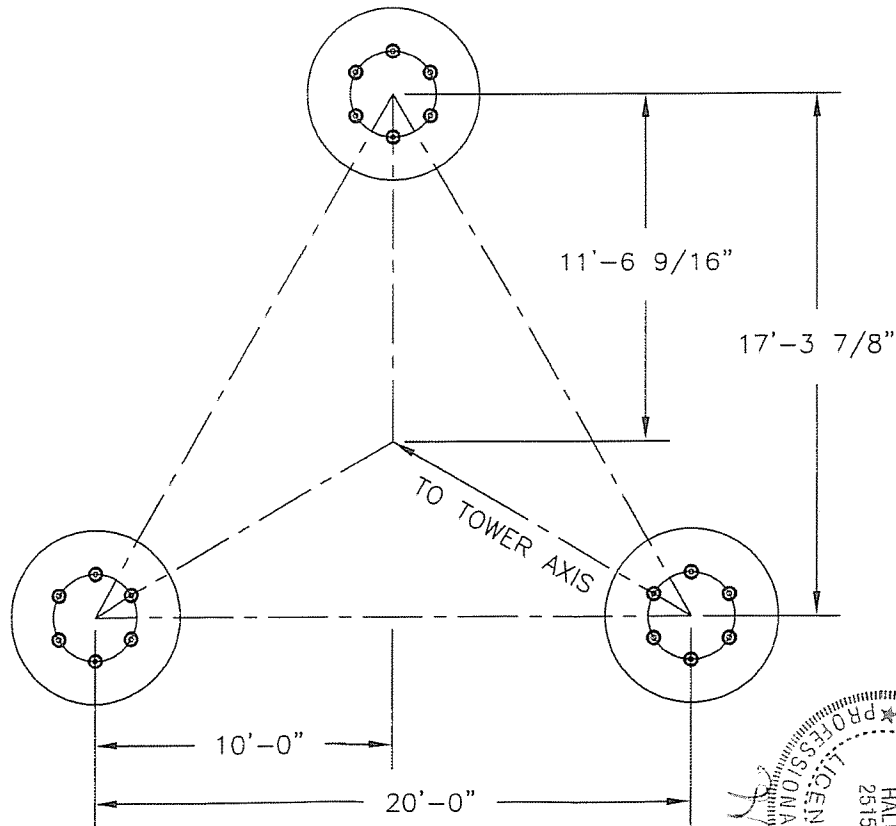
SCALE NONE DWN. LKB CKD. DATE 4-13-11
FILE DWG. NO. Q11332F



PIER ELEVATION



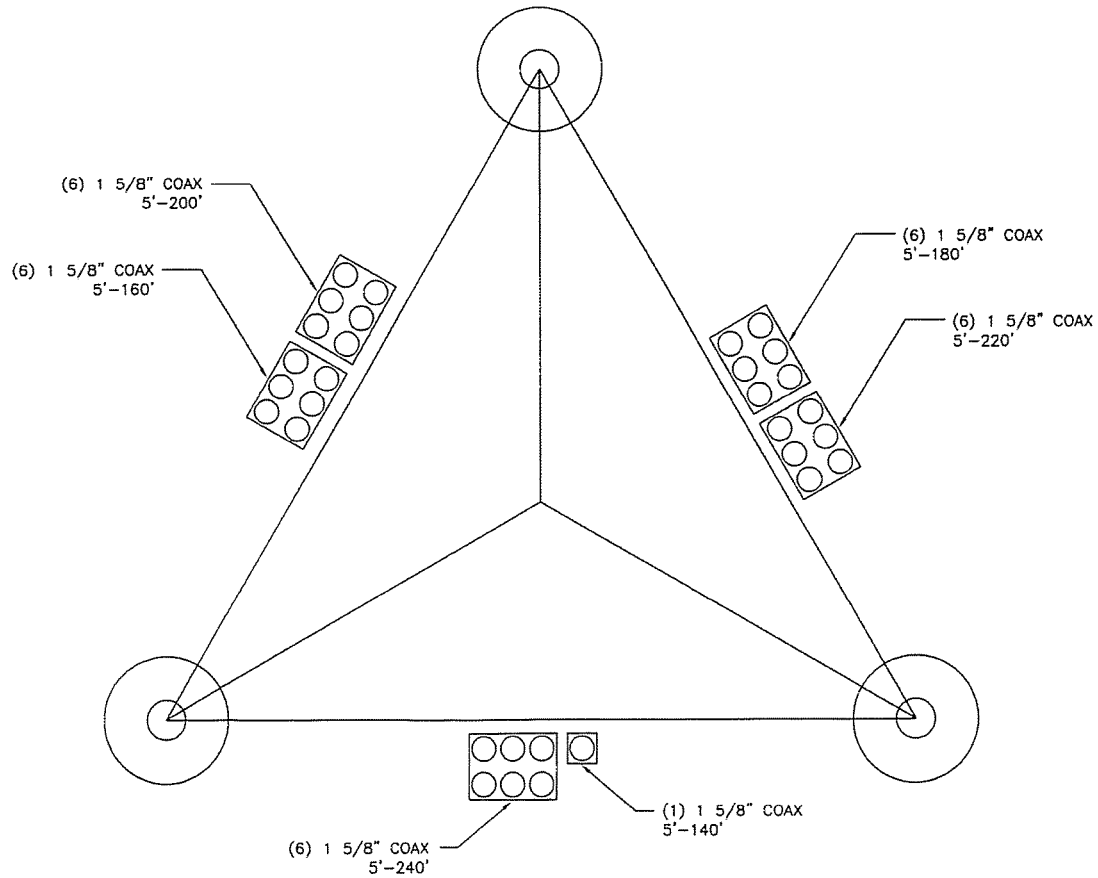
ANCHOR BOLTS 6 (18 TOTAL)
 1 1/4"φ X 72" ASTM A354 GR. BC
 EQUALLY SPACED ON A 9 1/4"
 DIA. BOLT CIRCLE WITH TOP TEMPLATE
 AND EMBEDDED PLATE



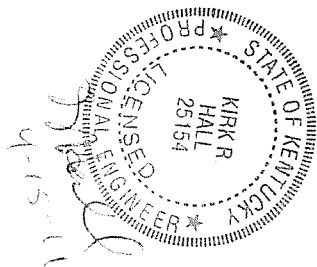
WORLD TOWER

TITLE: ANCHOR BOLT LAYOUT
 240' MODEL WSST TOWER
 FOR: BLUEGRASS CELLULAR
 SITE : JOHNSON CROSSROADS
 GRAYSON COUNTY, KY

SCALE	NONE	DWN.	LKB	CKD.	DATE	4-13-11
FILE					DWG. NO.	Q11332AB



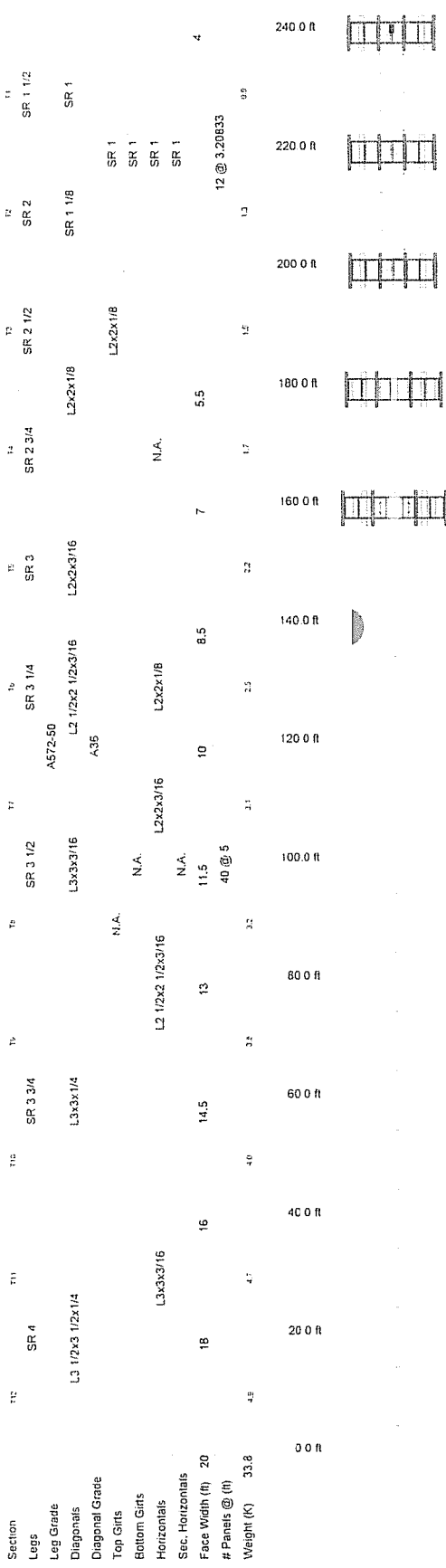
PLAN VIEW



WORLD TOWER

TITLE:
 WAVEGUIDE LOCATION
 240' MODEL WSST TOWER
 FOR: BLUEGRASS CELLULAR
 SITE : JOHNSON CROSSROADS
 GRAYSON COUNTY, KY

SCALE	NONE	DWN.	LKB	CKD.	DATE	4-13-11
FILE					DWG. NO.	Q11332WG



DESIGNED APPURTENANCE LOADING

TYPE	ELEVATION	TYPE	ELEVATION
Flash Beacon Lighting	240	(2) Antel RWB 80014/120 w/ mnt pipe(Panel 96.5"x11.2"x5.9")*	200
WD13X53 Antenna Mounting Frame (w/ 75)*	240	(2) Antel RWB 80014/120 w/ mnt pipe(Panel 96.5"x11.2"x5.9")*	200
WD13X53 Antenna Mounting Frame (w/ 75)*	240	(2) Antel RWB 80014/120 w/ mnt pipe(Panel 96.5"x11.2"x5.9")*	200
WD13X53 Antenna Mounting Frame (w/ 75)*	240	(2) Antel RWB 80014/120 w/ mnt pipe(Panel 96.5"x11.2"x5.9")*	180
(2) Antel RWB 80014/120 w/ mnt pipe(Panel 96.5"x11.2"x5.9")*	240	WD13X53 Antenna Mounting Frame (w/ 75)*	180
(2) Antel RWB 80014/120 w/ mnt pipe(Panel 96.5"x11.2"x5.9")*	240	WD13X53 Antenna Mounting Frame (w/ 75)*	180
WD13X53 Antenna Mounting Frame (w/ 75)*	220	(2) Antel RWB 80014/120 w/ mnt pipe(Panel 96.5"x11.2"x5.9")*	180
WD13X53 Antenna Mounting Frame (w/ 75)*	220	(2) Antel RWB 80014/120 w/ mnt pipe(Panel 96.5"x11.2"x5.9")*	180
(2) Antel RWB 80014/120 w/ mnt pipe(Panel 96.5"x11.2"x5.9")*	220	WD13X53 Antenna Mounting Frame (w/ 75)*	160
(2) Antel RWB 80014/120 w/ mnt pipe(Panel 96.5"x11.2"x5.9")*	220	WD13X53 Antenna Mounting Frame (w/ 75)*	160
WD13X53 Antenna Mounting Frame (w/ 75)*	200	(2) Antel RWB 80014/120 w/ mnt pipe(Panel 96.5"x11.2"x5.9")*	160
WD13X53 Antenna Mounting Frame (w/ 75)*	200	(2) Antel RWB 80014/120 w/ mnt pipe(Panel 96.5"x11.2"x5.9")*	160
WD13X53 Antenna Mounting Frame (w/ 75)*	200	(2) Antel RWB 80014/120 w/ mnt pipe(Panel 96.5"x11.2"x5.9")*	160
WD13X53 Antenna Mounting Frame (w/ 75)*	200	6" Grd Dish	140

MATERIAL STRENGTH

GRADE	Fy	Fu	GRADE	Fy	Fu
A572-50	50 ksi	65 ksi	A36	36 ksi	58 ksi

TOWER DESIGN NOTES

1. Tower is located in Grayson County, Kentucky.
2. Tower designed for Exposure C to the TIA-222-G Standard
3. Tower designed for a 90.00 mph basic wind in accordance with the TIA-222-G Standard.
4. Tower is also designed for a 30.00 mph basic wind with 0.75 in ice. Ice is considered to increase in thickness with height
5. Deflections are based upon a 60.00 mph wind.
6. Tower Structure Class II
7. Topographic Category 1 with Crest Height of 0.00 ft
8. Tower designed for feedlines distributed on 3 tower faces with a max of 6 lines exposed to the wind on any one face
9. Weak link in diagonals from 140' to 120'
10. TOWER RATING: 94.8%

ALL REACTIONS ARE FACTORED

MAX. CORNER REACTIONS AT BASE.
 DOWN: 392 K
 UPLIFT: -329 K
 SHEAR: 32 K

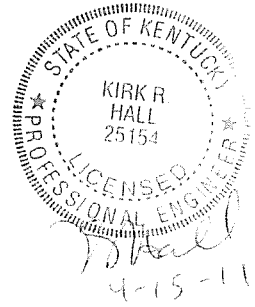
AXIAL
188 K

SHEAR 6 K MOMENT 833 kip-ft

TORQUE 1 kip-ft
 30.00 mph WIND - 0.75 in ICE
 AXIAL 76 K

SHEAR 49 K MOMENT 6356 kip-ft

TORQUE 3 kip-ft
 REACTIONS - 90.00 mph WIND



World Tower Company		Job: 240' Standard WSSST Job Q11-332	
1213 Compressor Drive		Project: Clarkson, Johnson Crossroads, Kentucky	
Mayfield, Kentucky 42066		Client: Bluegrass Cellular	Drawn by: Kirk Hall App'd:
Phone: (270) 247-3642	Code: TIA-222-G	Date: 04/12/11	Scale: NTS
FAX: (270) 247-0909	Path:		Dwg No. E-1

Geotechnical Engineering Report

Proposed 240' Self-Supporting Tower

Site Name: Johnson Crossroads

Clarkson, Grayson County, Kentucky

April 1, 2011

Project No. 57115005

Prepared for:

Kentucky RSA #3 Cellular General Partnership

A Kentucky General Partnership

d/b/a Bluegrass Cellular

Elizabethtown, Kentucky

Prepared by:

Terracon Consultants, Inc.

Louisville, Kentucky

Offices Nationwide
Employee-Owned

Established in 1965
terracon.com

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Geotechnical ■ **Environmental** ■ **Construction Materials** ■ **Facilities**



April 1, 2011

Kentucky RSA #3 Cellular General Partnership
A Kentucky General Partnership d/b/a Bluegrass Cellular
2902 Ring Road
Elizabethtown, Kentucky 42702

Attn: Mr. Doug Updegraff

Re: Geotechnical Engineering Report
Proposed 240' Self-Supporting Tower
Site Name: Johnson Crossroads
Clarkson, Grayson County, Kentucky
Terracon Project No.: 57115005

Dear Mr. Updegraff:

Terracon Consultants, Inc. (Terracon) has completed the geotechnical engineering services for the above referenced project. This report presents the findings of the subsurface exploration and provides geotechnical recommendations concerning earthwork and the design and construction of foundations for the proposed project.

Terracon's geotechnical design parameters and recommendations within this report apply to the existing planned tower height and would apply to adjustments in the tower height, up to a 20% increase or decrease in height, as long as the type of tower does not change. If changes in the height of the tower dictate a change in tower type (i.e. self-support to monopole), Terracon should be contacted to evaluate our recommendations with respect to these changes.

We appreciate the opportunity to be of service to you on this project. If you have any questions concerning this report, or if we may be of further service, please contact us.

Sincerely,
Terracon Consultants, Inc.

M. Todd England
Project Geologist

Robert N. Kennedy, P.E.
Office Manager
Kentucky PE# 23117

Reviewed by: Timothy G. LaGrow, PE – Senior Principal

Copies Addressee: 3 hardy copy and pdf

Terracon Consultants, Inc. 4545 Bishop Lane, Suite 101 Louisville, KY 40218
P [502] 456 1256 F [502] 456 1278 terracon.com

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APPENDIX

- Figure 1 – Boring Location Plan
- Boring Logs
- Field Exploration and Laboratory Testing
- General Notes
- Unified Soil Classification
- General Notes - Sedimentary Rock Classification

**GEOTECHNICAL ENGINEERING REPORT
 PROPOSED 240' SELF-SUPPORTING TOWER
 SITE NAME: JOHNSON CROSSROADS
 CLARKSON, GRAYSON COUNTY, KENTUCKY
 Terracon Project No. 57115005
 April 1, 2011**

1.0 PROJECT INFORMATION

1.1 Project Description

ITEM	DESCRIPTION
Site layout	See Appendix, Figure 1, Boring Location Plan
Site dimensions	About 100 feet by 100 feet
Tower	Self-Supporting, 240 feet tall
Maximum loads	Vertical: 600 kips (assumed) Shear: 80 kips (assumed) Uplift: 500 kips (assumed)
Maximum allowable settlement	1-inch (assumed)
Equipment Building: Maximum loads	Column: 15 kips (assumed) Wall: 1 kip/ft (assumed)
Equipment Building: Maximum allowable settlement	Total Settlement: 1-inch (assumed) Differential Settlement: ¼ inch over 40 feet (assumed)
Grading	Cut: 3 feet (+/-) max (assumed) Fill: 3 feet (+/-) max (assumed)

1.2 Site Location and Description

ITEM	DESCRIPTION
Location	St. Augustine Road, Grayson County, Kentucky Lat./Long.: 37.4241 degrees N / -86.2296 degrees W
Existing improvements	Vacant
Current ground cover	Grass with sporadic trees
Existing topography	The center of the site was located on a topographic high point. The site sloped down in all directions with a total grade change on the order of 3 to 5 feet.

The above presentation of pertinent project information is based on our understanding of the plans and information provided to Terracon Consultants, Inc. (Terracon). If this project information is not consistent with the development plans for the site, please inform us of any discrepancies or change in plans.

2.0 SUBSURFACE CONDITIONS

2.1 Geology

Formation ¹	Description
Tradewater and Caseyville	Shale, siltstone, and thin sandstone beds: light-brown to gray and iron stained.

1. Based on the *Geologic Quadrangle Map of Clarkson, Kentucky*, published by the Kentucky Geological Survey (1963).

2.2 Typical Profile

A soil test boring B-1 was drilled at the approximate center of the planned tower as staked by the owner's representative. In addition, three rock soundings were advanced at the approximate location of the tower legs. Samples of the more competent bedrock materials were obtained from boring B-1 and sounding S-3. Based on the results of the exploration, the subsurface conditions on the project site can be generalized as follows:

Description	Approximate Depth to Bottom of Stratum (feet)	Material Encountered	Consistency/Density
Surface	± ½	Topsoil	N/A
Stratum 1	8 ½	Lean Clay, with Sandstone Fragments	Very Stiff to Hard ¹
Stratum 2	15	Shale, Completely Weathered	Very Soft Rock, Hard Soil
Stratum 3	32 ½	Shale ²	Recovery = 86, to 100% RQD = 28 to 78%
Stratum 4	36	Sandstone ³	Unconfined Compressive Strength = 515 psi

- Standard penetration test (SPT) N-values ranged from 27 to 54 blows per foot (bpf). Auger refusal was encountered at a depth of approximately 15 feet in boring B-1 and was encountered at approximately 31 feet in rock soundings S-1, S-2, and S-3.
- Moderately severe to severe weathering, poor to good RQD, medium hard, very thin to thin bedded; unit weight of approximately 120 pcf.
- Slight weathering, hard, thin to medium bedded; unit weight of approximately 150 pcf.

Specific conditions encountered at the boring and sounding locations are indicated on the attached boring logs. Stratification boundaries on the boring logs represent the approximate location of changes in soil types; in-situ, the transition between materials may be gradual. Further details of the boring and soundings can be found on the boring logs in the Appendix of this report.

2.3 Groundwater

No groundwater was encountered during the auger drilling portion of the borehole. Water was used to advance the borehole during rock coring operations. The introduction of water into the borehole precluded obtaining accurate groundwater level readings at the time of coring operations. Long term observation of the groundwater level in monitoring wells, sealed from the influence of surface water, would be required to obtain accurate groundwater levels on the site.

3.0 RECOMMENDATIONS FOR DESIGN AND CONSTRUCTION

3.1 Geotechnical Considerations

Based on the encountered subsurface conditions, the proposed tower can be founded on either straight shaft drilled piers or a mat foundation. The equipment building may be supported on shallow spread footings. Design recommendations for drilled piers and mat foundation as well as shallow footings for the equipment building are presented in the following paragraphs.

3.2 Foundation Recommendations

3.2.1 Shallow Mat Foundation System

If desired, a mat foundation can be used to support the proposed tower. The mat foundation can be designed using the following natural soil/engineered fill parameters.

Description	Value
Foundation Subgrade ¹	Suitable natural soil or engineered granular fill extending to suitable natural soil
Net allowable bearing pressure ²	3,500 psf
Allowable passive pressure ³	1,500 psf
Coefficient of sliding friction ³	0.35
Minimum embedment below finished grade for frost protection	24 inches
Approximate total settlement ⁴	1 inch

1. A geotechnical engineer should verify footing subgrade prior to concrete placement.
2. Assumes any soft or unsuitable soils, if encountered, will be undercut and replaced with approved engineered granular fill. The recommended net allowable bearing pressure is the pressure in excess of the minimum surrounding overburden pressure at the footing base elevation.
3. The sides of the excavation for the mat foundation must be nearly vertical and the concrete should be placed neat against these vertical faces for the passive earth pressure values to be valid. If the loaded side is sloped or benched, and then backfilled, the allowable passive pressure will be significantly reduced. Passive resistance in the upper 3 feet of the soil profile should be neglected.

Lateral resistance due to friction at the base of the footing should be ignored where uplift also occurs.

4. The foundation settlement will depend upon the variations within the subsurface soil profile, the structural loading conditions, the embedment depth of the footing, the thickness of compacted fill, and the quality of the earthwork operations.

Uplift forces can be resisted by the dead weight of the footing and the effective weight of any soil above the footing. A unit weight of soil not exceeding 115 pcf is appropriate for the on-site soils backfilled above the foundation, assuming that it is compacted to at least 98 percent of standard Proctor maximum dry density (ASTM D-698). A unit weight of 150 pcf could be assumed for mat foundation concrete. The ground surface should be sloped away from the foundation to avoid ponding of water and saturation of the backfill materials.

The base of all foundation excavations should be free of water and loose soil prior to placing concrete. Concrete should be placed soon after excavating to reduce bearing soil disturbance. Should the soils at bearing level become excessively dry, disturbed or saturated, or frozen, the affected soil should be removed prior to placing concrete. Place a lean concrete mud-mat over the bearing soils if the excavations must remain open over night or for an extended period of time. It is recommended that the geotechnical engineer be retained to observe and test the soil foundation bearing materials.

3.2.2 Drilled Pier Foundation System

The proposed tower can be founded on a straight shaft drilled pier foundation system. Based on the results of field and laboratory testing, we have developed the following drilled pier design parameters.

Approximate Depth (feet) ¹	Allowable Skin Friction ² (psf)	Allowable End Bearing Pressure (psf)	Allowable Passive Pressure (psf)	Cohesion (psf)	Internal Angle of Friction (Degrees)	Strain ϵ_{50}	Lateral Subgrade Modulus (pci)
0 – 3	Ignore	Ignore	Ignore	Ignore	Ignore	Ignore	Ignore
Lean Clay 3 – 8 ½	425	3,000	1,500	1,500	--	0.007	120
Weathered Shale 8 ½ - 32 ½	750	5,000	2,500	2,500	--	0.004	500
Sandstone 32 ½ - 36	1,500 ²	10,000	4,000 ²	20,000 ²	--	0.0001	2,400

-
1. Pier observation is recommended to adjust pier length if variable soil and/or rock conditions are encountered. A total unit weight of 115 pcf can be assumed for the clay.
 2. The piers should be embedded a minimum of 3 feet into competent sandstone to mobilize these higher rock strength parameters. Furthermore, it is assumed the rock socket will be extended using coring techniques rather than blasting/shooting.
-

The above indicated cohesion, lateral subgrade modulus and strain values have no factors of safety, and the allowable skin friction and the passive resistances have a factor of safety of about 2. The cohesion, lateral subgrade modulus and strain values given in the above table are based on our boring, published values and our past experience with similar soil and rock types. These values should, therefore, be considered approximate. The allowable end bearing pressure provided in the table has an approximate factor of safety of at least 3. If the drilled piers are designed to bear on shale or sandstone bedrock, settlements are not anticipated to exceed ½ inch.

The upper 3 feet of lean clay should be ignored due to the potential effects of frost action and construction disturbance. To avoid a reduction in lateral and uplift resistance caused by variable subsurface conditions and or bedrock depths, we recommend that drawings instruct the contractor to notify the engineer if subsurface conditions significantly different than encountered in our boring are disclosed during drilled pier installation. Under these circumstances, it may be necessary to adjust the overall length of the pier. To facilitate these adjustments and assure that the piers are embedded in suitable materials, it is recommended that a Terracon representative observe the drilled pier excavations.

If a sandstone bedrock socket is required, it is recommended that a minimum pier length and minimum competent rock socket length be stated on the design drawings. Sandstone bedrock was encountered in our boring below a depth of about 32 ½ feet, but could vary between tower legs or if the tower is moved from the location of our boring, or if significant grade changes occur at the site. If the tower center is moved more than 25 feet, our office should be notified to review our recommendations and determine whether an additional boring is required. To facilitate pier length adjustments that may be necessary because of variable rock conditions, it is recommended that a Terracon representative observe the drilled pier excavation.

Although our boring was able to penetrate the highly weathered shale, there is a possibility that larger diameter drilled pier equipment will refuse on this material at higher elevations than shown in our boring. The contractor should recognize the hardness of the material and be prepared to use rock teeth or other means to extend through these layers.

A drilled pier foundation should be designed with a minimum shaft diameter of 30 inches to facilitate clean out and possible dewatering of the pier excavation. Temporary casing will likely be required during the pier excavation in order to control possible groundwater seepage and support the sides of the excavation in weak soil zones, especially near the soil-shale bedrock interface. Care should be taken so that the sides and bottom of the excavations are not disturbed during construction. The

bottom of the shaft should be free of loose soil or debris prior to reinforcing steel and concrete placement.

A concrete slump of at least 6 inches is recommended to facilitate temporary casing removal. It should be possible to remove the casing from a pier excavation during concrete placement provided that the concrete inside the casing is maintained at a sufficient level to resist any earth and hydrostatic pressures outside the casing during the entire casing removal procedure.

3.2.3 Equipment Building/Cabinet Foundations

Description	Value
Foundation subgrade ¹	Approved native soil or low volume change engineered fill
Net allowable bearing pressure ²	3,000 psf
Minimum footing sizes Isolated: Wall :	2 feet by 2 feet 16 inches wide
Ultimate coefficient of sliding friction	0.35
Minimum embedment below finished grade for frost protection ³	24 inches
Approximate total settlement ⁴	1 inch

1. A geotechnical engineer should verify footing subgrade prior to concrete placement.
2. Assumes any soft or unsuitable soils, if encountered, will be undercut and replaced with approved engineered fill. The recommended net allowable bearing pressure is the pressure in excess of the minimum surrounding overburden pressure at the footing base elevation.
3. For perimeter footing and footings beneath unheated areas.
4. The foundation settlement will depend upon the variations within the subsurface profile, the structural loading conditions, the embedment depth of the footings, the thickness of any compacted fill, and the quality of the earthwork operations.

3.3 Earthwork

Site preparation should begin with removal of topsoil, vegetation, organics and any soft or otherwise unsuitable materials from the entire construction area. We recommend the actual stripping depth along with any soft soils that will require undercutting be evaluated by the geotechnical engineer at the time of construction. Engineered fill should meet the following material property requirements:

Fill Type ¹	USCS Classification	Acceptable Location for Placement ¹
Lean Clay (On-Site Soils)	CL	Beneath equipment building and access road all elevations
Well Graded Granular Material	GW ² , SW, SM, and SC ³	All locations and elevations

Low Volume Change Material ⁴	CL or GW and (LL<50 & PI<22)	Beneath equipment building and access road all elevations
<ol style="list-style-type: none"> 1. Controlled, compacted fill should consist of approved materials that are free of organic matter and debris. Frozen material should not be used, and fill should not be placed on a frozen subgrade. A sample of each material type should be submitted to the geotechnical engineer for evaluation. Any fill to be placed beneath the tower footing should consist of well graded granular material. 2. Similar to KDOT Section 302 for dense graded aggregate or crushed stone base limestone, limestone screenings, or granular material such as sand gravel or crushed stone containing not more than 13% non-plastic fines. 3. Similar to crushed limestone aggregate or limestone screenings or granular material such as sand, gravel or crushed stone (pug mix). 4. Low plasticity cohesive soils or granular soil having at least 18% low plasticity fines. 		

3.3.1 Compaction Requirements

Fill Lift Thickness	9-inches or less in loose thickness
Compaction Requirements ¹	98% of the materials standard Proctor maximum dry density (ASTM D-698)
Moisture Content – Granular Material	Workable moisture levels ²
Moisture Content – Cohesive Soil	Within the range of optimum moisture content to 2% above or 1% below optimum moisture content as determined by the standard Proctor test at the time of placement

1. We recommend that engineered fill be tested for moisture content and compaction during placement. Should the results of the in-place density tests indicate the specified moisture or compaction limits have not been met, the area represented by the test should be reworked and retested as required until the specified moisture and compaction requirements are achieved.
2. Specifically, moisture levels should be maintained low enough to allow for satisfactory compaction to be achieved without the cohesionless fill material pumping when proofrolled.

3.3.2 Construction Considerations

Although the exposed subgrade is anticipated to be relatively stable upon initial exposure, unstable subgrade conditions could develop during general construction operations, particularly if the soils are wetted and/or subjected to repetitive construction traffic. The use of light construction equipment would aid in reducing subgrade disturbance. Should unstable subgrade conditions develop, stabilization measures will need to be employed.

Construction traffic over the completed subgrade should be avoided to the extent practical. The site should also be graded to prevent ponding of surface water on the prepared subgrades or in excavations. If the subgrade should become frozen, desiccated, saturated, or disturbed, the

affected material should be removed or these materials should be scarified, moisture conditioned, and recompactd.

As a minimum, all temporary excavations should be sloped or braced as required by Occupational Health and Safety Administration (OSHA) regulations to provide stability and safe working conditions. Temporary excavations will probably be required during grading operations. The grading contractor, by his contract, is usually responsible for designing and constructing stable, temporary excavations and should shore, slope or bench the sides of the excavations as required, to maintain stability of both the excavation sides and bottom. All excavations should comply with applicable local, state and federal safety regulations, including the current OSHA Excavation and Trench Safety Standards.

The geotechnical engineer should be retained during the construction phase of the project to observe earthwork and to perform necessary tests and observations during subgrade preparation; proof-rolling; placement and compaction of controlled compacted fills; backfilling of excavations into the completed subgrade, and just prior to construction of foundations.

4.0 GENERAL COMMENTS

Terracon should be retained to review the final design plans and specifications so comments can be made regarding interpretation and implementation of our geotechnical recommendations in the design and specifications. Terracon also should be retained to provide observation and testing services during grading, excavation, foundation construction and other earth-related construction phases of the project.

The analysis and recommendations presented in this report are based upon the data obtained from the boring performed at the indicated location and from other information discussed in this report. This report does not reflect variations that may occur across the site, or due to the modifying effects of weather. The nature and extent of such variations may not become evident until during or after construction. If variations appear, we should be immediately notified so that further evaluation and supplemental recommendations can be provided.

The scope of services for this project does not include either specifically or by implication any environmental or biological (e.g., mold, fungi, bacteria) assessment of the site or identification or prevention of pollutants, hazardous materials or conditions. If the owner is concerned about the potential for such contamination or pollution, other studies should be undertaken.

This report has been prepared for the exclusive use of our client for specific application to the project discussed and has been prepared in accordance with generally accepted geotechnical engineering practices. No warranties, either express or implied, are intended or made. Site safety, excavation support, and dewatering requirements are the responsibility of others. In the event that changes in the nature, design, or location of the project as outlined in this report are

Geotechnical Engineering Report
Proposed 240' SST ■ Clarkson, Kentucky
April 1, 2011 ■ Terracon Project Number 57115005



planned, the conclusions and recommendations contained in this report shall not be considered valid unless Terracon reviews the changes and either verifies or modifies the conclusions of this report in writing.

Geotechnical Engineering Report
Proposed 240' SST ■ Clarkson, Kentucky
April 1, 2011 ■ Terracon Project Number 57115005

Terracon

APPENDIX

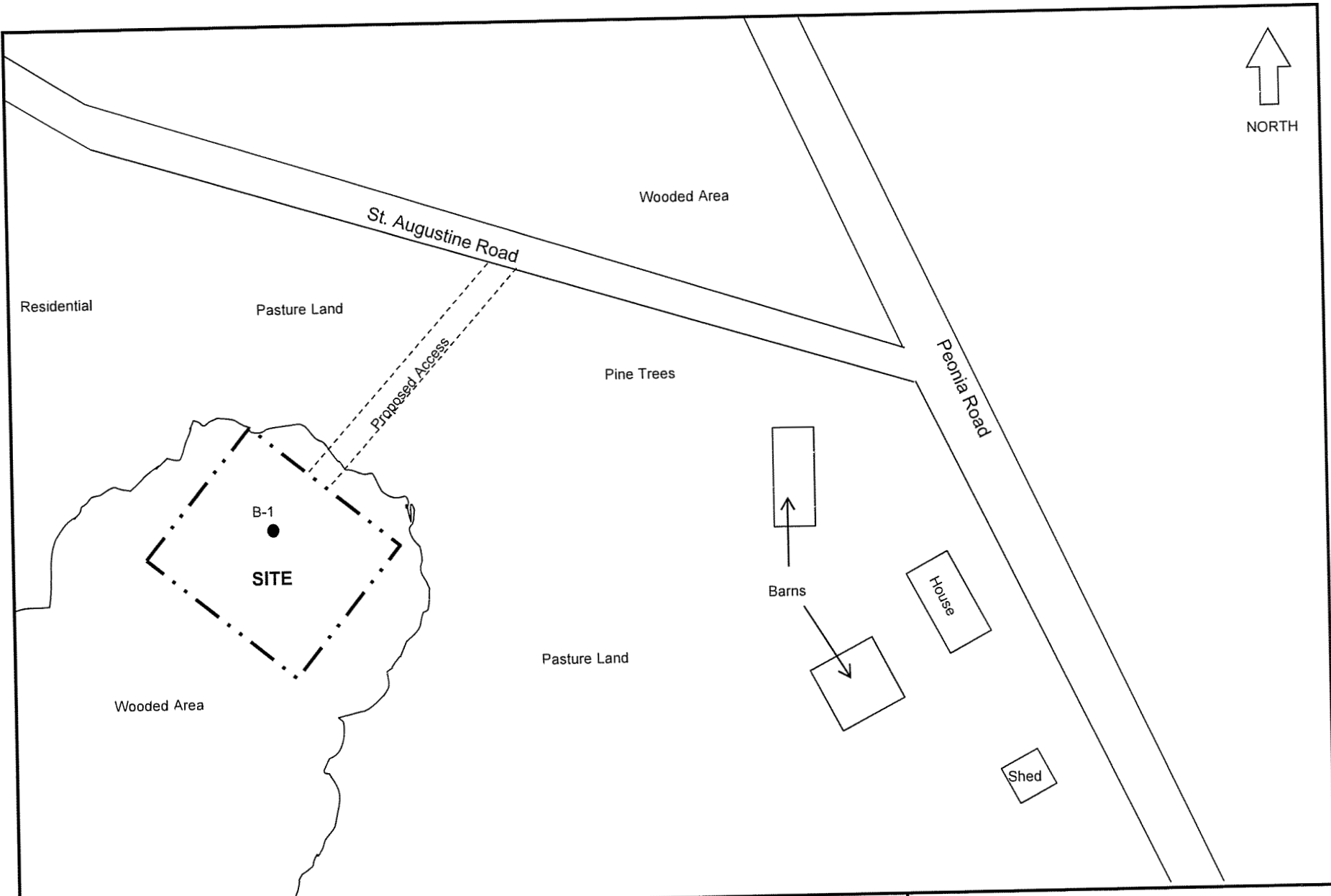
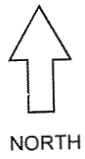


Figure 1
BORING LOCATION DIAGRAM
SCALE: NTS



Bluegrass Cellular
Johnson Crossroads
Clarkson, KY
PROJECT NO. 57117320

LOG OF BORING NO. B-1

CLIENT Bluegrass Cellular		PROJECT 240' Self Support Tower Johnson Crossroads Site								
SITE Clarkson, Kentucky		PROJECT 240' Self Support Tower Johnson Crossroads Site								
GRAPHIC LOG	DESCRIPTION	DEPTH, ft.	SAMPLES				TESTS			
			USCS SYMBOL	NUMBER	TYPE	RECOVERY, in.	SPT - N ** BLOWS / ft.	WATER CONTENT, %	DRY UNIT WT pcf	UNCONFINED STRENGTH, psf
	Approx. Surface Elev.: 826 ft									
0.6	7" TOPSOIL	825.5								
	LEAN CLAY with trace sand and sandstone fragments, orangish brown with oxidation staining, very stiff to hard, moist		CH	1	SS	18	27	14	5000*	LL= 37 PL= 22 PI= 15
			CH	2	SS	16	70	12	5000*	
			CH	3	SS	18	54	13	5000*	
				4	SS	16	76	4	5000*	
				5	SS	0	50/0"		5000*	
8.5	SHALE completely weathered, gray, hard	817.5								
	Auger refusal at 15 feet, began coring			R-1	DB	88%	RQD 43%			
15	SHALE with clay seams, argillaceous, moderately severe to severe weathering, dark gray, medium hard, very thin to thin bedded	811								
				R-2	DB	86%	RQD 28%			
				R-3	DB	100%	RQD 67%			
28	Coring terminated at 28 feet	798								

The stratification lines represent the approximate boundary lines between soil and rock types: in-situ, the transition may be gradual.

*Calibrated Hand Penetrometer
**CME 140H SPT Cathead

WATER LEVEL OBSERVATIONS, ft

WL ∇ N/E	WD ∇
WL ∇	WD ∇
WL	



BORING STARTED		3-17-11	
BORING COMPLETED		3-17-11	
RIG	ATV 550	FOREMAN	MW
APPROVED	MTE	JOB #	57115005

BOREHOLE 99 57115005 BORING LOGS.GPJ TERRACON.GDT 3/31/11

LOG OF BORING NO. S-1

CLIENT Bluegrass Cellular									
SITE Clarkson, Kentucky		PROJECT 240' Self Support Tower Johnson Crossroads Site							
GRAPHIC LOG	DESCRIPTION	DEPTH, ft.	USCS SYMBOL	SAMPLES				TESTS	
				NUMBER	TYPE	RECOVERY, in.	SPT - N BLOWS / ft.	WATER CONTENT, %	DRY UNIT WT pcf
	<u>OVERBURDEN, NO SAMPLES COLLECTED</u>	5							
		10							
		15							
		20							
		25							
		30							
	31								
	Auger refusal at 31 feet								

BOREHOLE 99 57115005 BORING LOGS.GPJ TERRACON.GDT 3/31/11

The stratification lines represent the approximate boundary lines between soil and rock types: in-situ, the transition may be gradual.

WATER LEVEL OBSERVATIONS, ft			
WL	▽ N/E	WD	▽
WL	▽	▽	▽
WL			



BORING STARTED		3-17-11	
BORING COMPLETED		3-17-11	
RIG	ATV 550	FOREMAN	MW
APPROVED	MTE	JOB #	57115005

LOG OF BORING NO. S-2

CLIENT Bluegrass Cellular											
SITE Clarkson, Kentucky		PROJECT 240' Self Support Tower Johnson Crossroads Site									
GRAPHIC LOG	DESCRIPTION	DEPTH, ft.	USCS SYMBOL	SAMPLES				TESTS			
				NUMBER	TYPE	RECOVERY, in.	SPT - N BLOWS / ft.	WATER CONTENT, %	DRY UNIT WT pcf	UNCONFINED STRENGTH, psf	
	<u>OVERBURDEN, NO SAMPLES COLLECTED</u>	5									
		10									
		15									
		20									
		25									
		30									
	31										
	Auger refusal at 31 feet										

The stratification lines represent the approximate boundary lines between soil and rock types: in-situ, the transition may be gradual.

BOREHOLE 99 57115005 BORING LOGS.GPJ TERRACON.GDT 3/31/11

WATER LEVEL OBSERVATIONS, ft			
WL	N/E	WD	
WL			
WL			



BORING STARTED		3-17-11	
BORING COMPLETED		3-17-11	
RIG	ATV 550	FOREMAN	MW
APPROVED	MTE	JOB #	57115005

LOG OF BORING NO. S-3

CLIENT Bluegrass Cellular		PROJECT 240' Self Support Tower Johnson Crossroads Site							
SITE Clarkson, Kentucky									
GRAPHIC LOG	DESCRIPTION	DEPTH, ft.	USCS SYMBOL	SAMPLES				TESTS	
				NUMBER	TYPE	RECOVERY, in.	SPT - N BLOWS / ft.	WATER CONTENT, %	DRY UNIT WT pcf
	<u>OVERBURDEN, NO SAMPLES COLLECTED</u>	5							
		10							
		15							
		20							
		25							
		30							
	Auger refusal at 31 feet, began coring	31							
	SHALE , argillaceous, moderately severe weathering, dark gray, medium hard, very thin to thin bedded	32.5		R-1	DB	93%	RQD 78%		
	SANDSTONE , slight weathering, dark gray, hard, thin to medium bedded Coring terminated at 36 feet	36							515 psi

The stratification lines represent the approximate boundary lines between soil and rock types: in-situ, the transition may be gradual.

BOREHOLE 99-57115005 BORING LOGS.GPJ TERRACON.GDT 3/31/11

WATER LEVEL OBSERVATIONS, ft

WL	▽ N/E	WD	▽
WL	▽	WD	▽
WL		WD	



BORING STARTED		3-17-11	
BORING COMPLETED		3-17-11	
RIG	ATV 550	FOREMAN	MW
APPROVED	MTE	JOB #	57115005

Field Exploration Description

The boring was drilled at the center of the lease area as staked in the field by the owner's representative. The tower center and tower legs were located in the field by a Landmark Surveying Co., Inc. The approximate boring location is shown on the enclosed boring location plan. The surface elevation shown on boring log B-1 was provided by Landmark Surveying Co., Inc.

Drilling was performed using a ATV mounted rotary drill rig. Hollow stem augers were initially used to advance the borehole. A soil sample was initially obtained by the split-barrel sampling procedure. In the split-barrel sampling procedure, the number of blows required to advance a standard 2-inch O.D. split-barrel sampler the last 12 inches of the typical total 18-inch penetration by means of a 140-pound hammer with a free fall of 30 inches, is the standard penetration resistance value (N). This value is used to estimate the in-situ relative density of cohesionless soils and the consistency of cohesive soils. The sampling depths and penetration distance, plus the standard penetration resistance values, are shown on the boring log. The samples were sealed and returned to the laboratory for testing and classification.

Auger refusal was encountered at a depth of about 15 feet in boring B-1 and 31 feet in sounding S-3. Below these depths, the borings were advanced into the refusal materials using a diamond bit attached to the outer barrel of a double core barrel. The inner barrel collected the cored material as the outer barrel was rotated at high speeds to cut the rock. The barrel was retrieved to the surface upon completion of each drill run. Once the core samples were retrieved, they were placed in a box and logged. The rock was later classified by an engineer and the "percent recovery" and rock quality designation (RQD) were determined.

The "percent recovery" is the ratio of the sample length retrieved to the drilled length, expressed as a percent. An indication of the actual in-situ rock quality is provided by calculating the sample's RQD. The RQD is the percentage of the cumulative length of broken cores retrieved which have core segments at least 4 inches in length (discounting mechanical breaks) compared to each drilled length. The percent recovery and RQD are related to rock soundness and quality as illustrated below:

Relation of RQD and In-situ Rock Quality	
RQD (%)	Rock Quality
90 - 100	Excellent
75 - 90	Good
50 - 75	Fair
25 - 50	Poor
0 - 25	Very Poor

A field log of each boring was prepared by the drill crew and includes visual classifications of the materials encountered during drilling as well as the driller's interpretation of the subsurface conditions between samples. The final boring logs included with this report represent an interpretation of the field logs and include modifications based on laboratory observation and tests of the samples.

The soil samples were classified in the laboratory based on visual observation, texture and plasticity. The descriptions of the soils indicated on boring log B-1 are in general accordance with the enclosed General Notes and the Unified Soil Classification System. Estimated group symbols according to the Unified Soil Classification System are given on the boring log. A brief description of this classification system is attached to this report.

Classification and descriptions of rock core samples are in general accordance with the enclosed General Notes, and are based on visual and tactile observations. Petrographic analysis of thin sections may indicate other rock types. Percent recovery and rock quality designation (RQD) were calculated for these samples and are noted at their depths of occurrence on the boring log.

Laboratory Testing

The laboratory testing program consisted of performing water content tests and an Atterberg Limits test on representative soil samples. An unconfined compression test was performed on a rock core sample. Information from these tests was used in conjunction with field penetration test data to evaluate soil strength in-situ, volume change potential, and soil classification. Results of these tests are provided on the boring logs.

GENERAL NOTES

DRILLING & SAMPLING SYMBOLS:

SS:	Split Spoon - 1- ³ / ₈ " I.D., 2" O.D., unless otherwise noted	HS:	Hollow Stem Auger
ST:	Thin-Walled Tube - 2" O.D., unless otherwise noted	PA:	Power Auger
RS:	Ring Sampler - 2.42" I.D., 3" O.D., unless otherwise noted	HA:	Hand Auger
DB:	Diamond Bit Coring - 4", N, B	RB:	Rock Bit
BS:	Bulk Sample or Auger Sample	WB:	Wash Boring or Mud Rotary

The number of blows required to advance a standard 2-inch O.D. split-spoon sampler (SS) the last 12 inches of the total 18-inch penetration with a 140-pound hammer falling 30 inches is considered the "Standard Penetration" or "N-value".

WATER LEVEL MEASUREMENT SYMBOLS:

WL:	Water Level	WS:	While Sampling	N/E:	Not Encountered
WCI:	Wet Cave in	WD:	While Drilling		
DCI:	Dry Cave in	BCR:	Before Casing Removal		
AB:	After Boring	ACR:	After Casing Removal		

Water levels indicated on the boring logs are the levels measured in the borings at the times indicated. Groundwater levels at other times and other locations across the site could vary. In pervious soils, the indicated levels may reflect the location of groundwater. In low permeability soils, the accurate determination of groundwater levels may not be possible with only short-term observations.

DESCRIPTIVE SOIL CLASSIFICATION: Soil classification is based on the Unified Classification System. Coarse Grained Soils have more than 50% of their dry weight retained on a #200 sieve; their principal descriptors are: boulders, cobbles, gravel or sand. Fine Grained Soils have less than 50% of their dry weight retained on a #200 sieve, they are principally described as clays if they are plastic, and silts if they are slightly plastic or non-plastic. Major constituents may be added as modifiers and minor constituents may be added according to the relative proportions based on grain size. In addition to gradation, coarse-grained soils are defined on the basis of their in-place relative density and fine-grained soils on the basis of their consistency.

CONSISTENCY OF FINE-GRAINED SOILS

<u>Unconfined Compressive Strength, Qu, psf</u>	<u>Standard Penetration or N-value (SS) Blows/Ft.</u>	<u>Consistency</u>
< 500	<2	Very Soft
500 – 1,000	2-4	Soft
1,001 – 2,000	5-8	Medium Stiff
2,001 – 4,000	9-15	Stiff
4,001 – 8,000	16-30	Very Stiff
8,000+	31+	Hard

RELATIVE DENSITY OF COARSE-GRAINED SOILS

<u>Standard Penetration or N-value (SS) Blows/Ft.</u>	<u>Relative Density</u>
0 – 4	Very Loose
5 – 10	Loose
11 – 30	Medium Dense
31 – 50	Dense
51+	Very Dense

RELATIVE PROPORTIONS OF SAND AND GRAVEL

<u>Descriptive Term(s) of other constituents</u>	<u>Percent of Dry Weight</u>
Trace	< 15
With	15 – 29
Modifier	> 30

GRAIN SIZE TERMINOLOGY

<u>Major Component of Sample</u>	<u>Particle Size</u>
Boulders	Over 12 in. (300mm)
Cobbles	12 in. to 3 in. (300mm to 75 mm)
Gravel	3 in. to #4 sieve (75mm to 4.75 mm)
Sand	#4 to #200 sieve (4.75mm to 0.075mm)
Silt or Clay	Passing #200 Sieve (0.075mm)

RELATIVE PROPORTIONS OF FINES

<u>Descriptive Term(s) of other constituents</u>	<u>Percent of Dry Weight</u>
Trace	< 5
With	5 – 12
Modifiers	> 12

PLASTICITY DESCRIPTION

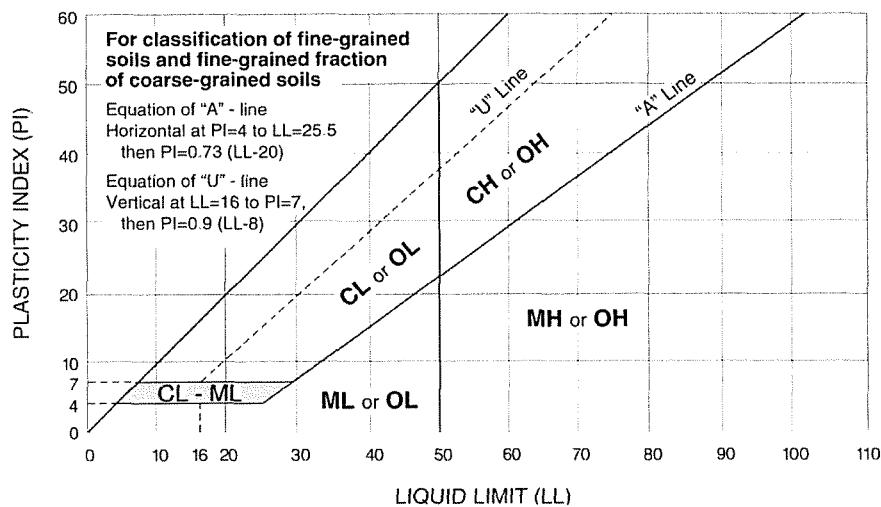
<u>Term</u>	<u>Plasticity Index</u>
Non-plastic	0
Low	1-10
Medium	11-30
High	30+

UNIFIED SOIL CLASSIFICATION SYSTEM

Criteria for Assigning Group Symbols and Group Names Using Laboratory Tests ^A				Soil Classification		
				Group Symbol	Group Name ^B	
Coarse Grained Soils: More than 50% retained on No. 200 sieve	Gravels: More than 50% of coarse fraction retained on No. 4 sieve	Clean Gravels: Less than 5% fines ^C	$Cu \geq 4$ and $1 \leq Cc \leq 3$ ^E $Cu < 4$ and/or $1 > Cc > 3$ ^E	GW	Well-graded gravel ^F	
		Gravels with Fines: More than 12% fines ^C	Fines classify as ML or MH Fines classify as CL or CH	GP	Poorly graded gravel ^F	
		Clean Sands: Less than 5% fines ^D	$Cu \geq 6$ and $1 \leq Cc \leq 3$ ^E $Cu < 6$ and/or $1 > Cc > 3$ ^E	GM	Silty gravel ^{F,G,H}	
		Sands with Fines: More than 12% fines ^D	Fines classify as ML or MH Fines Classify as CL or CH	GC	Clayey gravel ^{F,G,H}	
	Sands: 50% or more of coarse fraction passes No. 4 sieve	Clean Sands: Less than 5% fines ^D	$Cu \geq 6$ and $1 \leq Cc \leq 3$ ^E $Cu < 6$ and/or $1 > Cc > 3$ ^E	SW	Well-graded sand ^I	
		Sands with Fines: More than 12% fines ^D	Fines classify as ML or MH Fines Classify as CL or CH	SP	Poorly graded sand ^I	
		Sands with Fines: More than 12% fines ^D	Fines classify as ML or MH Fines Classify as CL or CH	SM	Silty sand ^{G,H,I}	
		Sands with Fines: More than 12% fines ^D	Fines classify as ML or MH Fines Classify as CL or CH	SC	Clayey sand ^{G,H,I}	
Fine-Grained Soils: 50% or more passes the No. 200 sieve	Silts and Clays: Liquid limit less than 50	Inorganic:	$PI > 7$ and plots on or above "A" line ^J $PI < 4$ or plots below "A" line ^J	CL	Lean clay ^{K,L,M}	
		Organic:	Liquid limit - oven dried Liquid limit - not dried	< 0.75	ML	Silt ^{K,L,M}
		Inorganic:	PI plots on or above "A" line PI plots below "A" line	< 0.75	OL	Organic clay ^{K,L,M,N} Organic silt ^{K,L,M,O}
		Organic:	Liquid limit - oven dried Liquid limit - not dried	< 0.75	CH	Fat clay ^{K,L,M}
	Silts and Clays: Liquid limit 50 or more	Inorganic:	PI plots on or above "A" line PI plots below "A" line	< 0.75	MH	Elastic Silt ^{K,L,M}
		Organic:	Liquid limit - oven dried Liquid limit - not dried	< 0.75	OH	Organic clay ^{K,L,M,P} Organic silt ^{K,L,M,Q}
		Inorganic:	PI plots on or above "A" line PI plots below "A" line	< 0.75	OH	Organic clay ^{K,L,M,P} Organic silt ^{K,L,M,Q}
		Organic:	Liquid limit - oven dried Liquid limit - not dried	< 0.75	OH	Organic clay ^{K,L,M,P} Organic silt ^{K,L,M,Q}
Highly organic soils:	Primarily organic matter, dark in color, and organic odor			PT	Peat	

- ^A Based on the material passing the 3-in. (75-mm) sieve
- ^B If field sample contained cobbles or boulders, or both, add "with cobbles or boulders, or both" to group name.
- ^C Gravels with 5 to 12% fines require dual symbols: GW-GM well-graded gravel with silt, GW-GC well-graded gravel with clay, GP-GM poorly graded gravel with silt, GP-GC poorly graded gravel with clay.
- ^D Sands with 5 to 12% fines require dual symbols: SW-SM well-graded sand with silt, SW-SC well-graded sand with clay, SP-SM poorly graded sand with silt, SP-SC poorly graded sand with clay
- ^E $Cu = D_{60}/D_{10}$ $Cc = \frac{(D_{30})^2}{D_{10} \times D_{60}}$
- ^F If soil contains $\geq 15\%$ sand, add "with sand" to group name.
- ^G If fines classify as CL-ML, use dual symbol GC-GM, or SC-SM.

- ^H If fines are organic, add "with organic fines" to group name.
- ^I If soil contains $\geq 15\%$ gravel, add "with gravel" to group name.
- ^J If Atterberg limits plot in shaded area, soil is a CL-ML, silty clay.
- ^K If soil contains 15 to 29% plus No. 200, add "with sand" or "with gravel," whichever is predominant.
- ^L If soil contains $\geq 30\%$ plus No. 200 predominantly sand, add "sandy" to group name.
- ^M If soil contains $\geq 30\%$ plus No. 200, predominantly gravel, add "gravelly" to group name.
- ^N $PI \geq 4$ and plots on or above "A" line.
- ^O $PI < 4$ or plots below "A" line.
- ^P PI plots on or above "A" line.
- ^Q PI plots below "A" line.



GENERAL NOTES

Description of Rock Properties

WEATHERING

Fresh	Rock fresh, crystals bright, few joints may show slight staining. Rock rings under hammer if crystalline.
Very slight	Rock generally fresh, joints stained, some joints may show thin clay coatings, crystals in broken face show bright. Rock rings under hammer if crystalline.
Slight	Rock generally fresh, joints stained, and discoloration extends into rock up to 1 in. Joints may contain clay. In granitoid rocks some occasional feldspar crystals are dull and discolored. Crystalline rocks ring under hammer.
Moderate	Significant portions of rock show discoloration and weathering effects. In granitoid rocks, most feldspars are dull and discolored; some show clayey. Rock has dull sound under hammer and shows significant loss of strength as compared with fresh rock.
Moderately severe	All rock except quartz discolored or stained. In granitoid rocks, all feldspars dull and discolored and majority show kaolinization. Rock shows severe loss of strength and can be excavated with geologist's pick.
Severe	All rock except quartz discolored or stained. Rock "fabric" clear and evident, but reduced in strength to strong soil. In granitoid rocks, all feldspars kaolinized to some extent. Some fragments of strong rock usually left.
Very severe	All rock except quartz discolored or stained. Rock "fabric" discernible, but mass effectively reduced to "soil" with only fragments of strong rock remaining.
Complete	Rock reduced to "soil". Rock "fabric" not discernible or discernible only in small, scattered locations. Quartz may be present as dikes or stringers.

HARDNESS (for engineering description of rock – not to be confused with Moh's scale for minerals)

Very hard	Cannot be scratched with knife or sharp pick. Breaking of hand specimens requires several hard blows of geologist's pick.
Hard	Can be scratched with knife or pick only with difficulty. Hard blow of hammer required to detach hand specimen.
Moderately hard	Can be scratched with knife or pick. Gouges or grooves to ¼ in. deep can be excavated by hard blow of point of a geologist's pick. Hand specimens can be detached by moderate blow.
Medium	Can be grooved or gouged 1/16 in. deep by firm pressure on knife or pick point. Can be excavated in small chips to pieces about 1-in. maximum size by hard blows of the point of a geologist's pick.
Soft	Can be gouged or grooved readily with knife or pick point. Can be excavated in chips to pieces several inches in size by moderate blows of a pick point. Small thin pieces can be broken by finger pressure.
Very soft	Can be carved with knife. Can be excavated readily with point of pick. Pieces 1-in. or more in thickness can be broken with finger pressure. Can be scratched readily by fingernail.

Joint, Bedding, and Foliation Spacing in Rock ^a

Spacing	Joints	Bedding/Foliation
Less than 2 in.	Very close	Very thin
2 in. – 1 ft.	Close	Thin
1 ft. – 3 ft.	Moderately close	Medium
3 ft. – 10 ft.	Wide	Thick
More than 10 ft.	Very wide	Very thick

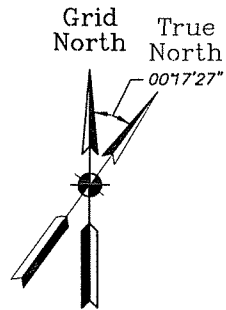
a. Spacing refers to the distance normal to the planes, of the described feature, which are parallel to each other or nearly so.

Rock Quality Designator (RQD) ^a		Joint Openness Descriptors	
RQD, as a percentage	Diagnostic description	Openness	Descriptor
Exceeding 90	Excellent	No Visible Separation	Tight
90 – 75	Good	Less than 1/32 in.	Slightly Open
75 – 50	Fair	1/32 to 1/8 in.	Moderately Open
50 – 25	Poor	1/8 to 3/8 in.	Open
Less than 25	Very poor	3/8 in. to 0.1 ft.	Moderately Wide
		Greater than 0.1 ft.	Wide

a. RQD (given as a percentage) = length of core in pieces 4 in. and longer/length of run.

References: American Society of Civil Engineers. Manuals and Reports on Engineering Practice - No. 56. Subsurface Investigation for Design and Construction of Foundations of Buildings. New York: American Society of Civil Engineers, 1976.
 U.S. Department of the Interior, Bureau of Reclamation, Engineering Geology Field Manual.

Site: Johnson Crossroads Lease Boundary and Topographic Survey Grayson County, Kentucky



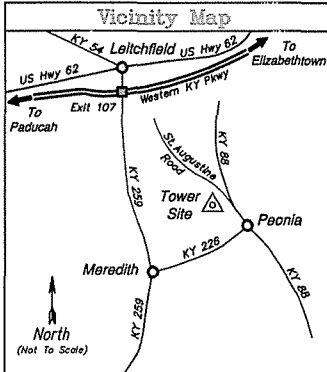
Basis of Bearings
The bearing system of this survey is based upon G.P.S. observations made on February 23, 2011 using the National Geodetic Survey monument "FBN CANNON" and the Kentucky State Plane Coordinate System, South Zone, NAD 83 (2007). This system is grid north.

Tower Location Information
Designation: Johnson Crossroads
Site ID#: None
Horizontal Datum: NAD 83 (2007)
Latitude: 37°25'27.05" North
Longitude: 86°13'46.74" West
Vertical Datum: NAVD 88
Ground Elevation: 826.1 feet (251.80 m)
State Plane Coordinates
Northing: 2,037,935.65 feet (621,164.028 m)
Easting: 1,501,133.51 feet (457,546.409 m)

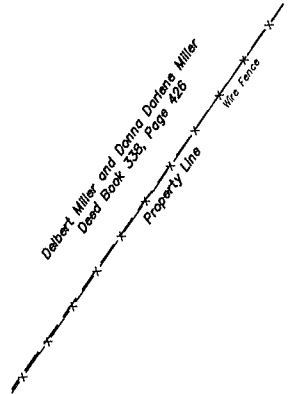
Landowner Information
Landowner: Clyde and Dinah Haycraft
Address: 5235 Peonia Road
Clarkson, Kentucky 42726
Contact Person: Clyde Haycraft
Phone: 270-242-9634 Cell: 270-259-7563
PVA Map No. 103-00-00-012

Project Bench Mark
Northing: 2,037,908 feet (621,156 m)
Easting: 1,501,204 feet (457,568 m)
Elevation: 819.57 feet (249.805 m)
Description: A railroad spike set in the west side of a 12" hickory, 9" above grade. The benchmark is 76 feet southeast of the center of the tower.

Flood Plain Statement
According to the Flood Insurance Rate Map for the Unincorporated Areas of Grayson County, Kentucky, Community Panel No. 210330 0200 B, dated February 15, 1991 the subject site lies with "Other Areas-Zone X" which are areas determined to be outside the 500-year flood plain.

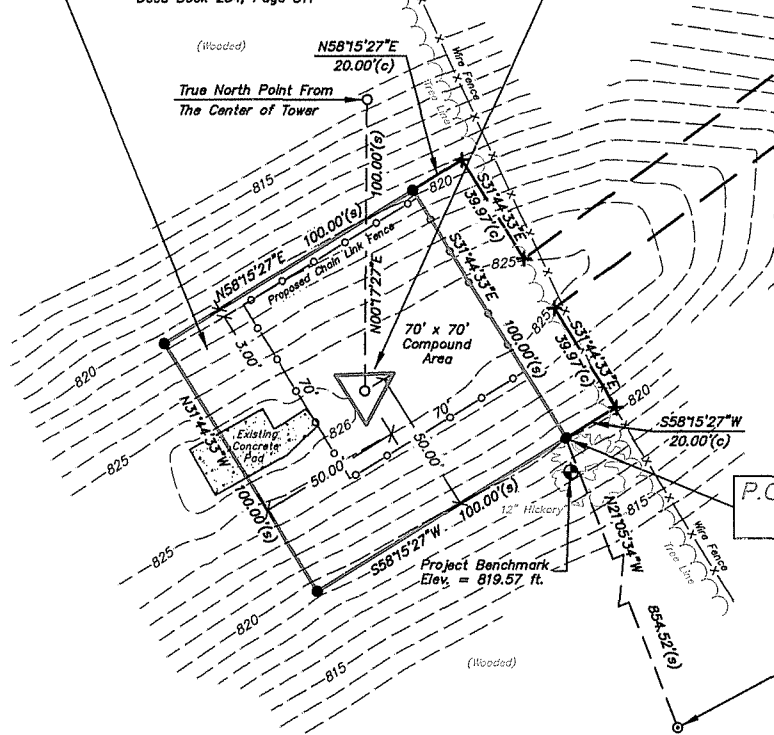


Directions to Site
From Elizabethtown, Kentucky, travel southwest on the Western Kentucky Parkway for about 30 miles to Exit 107 and Kentucky Highway 259 near Leitchfield; turn left onto Kentucky Highway 259 and travel south for 6.1 miles to Kentucky Highway 226 at Meredith; turn left onto Kentucky Highway 226 and travel east for 1.3 miles to Kentucky Highway 88 at Peonia; turn left onto Kentucky Highway 88 and travel north for 0.8 miles to St. Augustine Road; turn left onto St. Augustine Road and travel west for 250 feet to the tower access lane on the left or south side of the road; turn left onto the lane and travel southwest for 600 feet to the tower site on a wooded ridge in a pasture.



Proposed Self-Support Tower
Lat. = 37°25'27.05" North (NAD 1983)
Lon. = 86°13'46.74" West (NAD 1983)
Ground Elev. = 826.1 feet or 251.80 m (NAVD 1988)

Lease Tract
0.230 Acres or 10,000 Sq. Ft.
No Zoning in Grayson County
Clyde Haycraft and Dinah Haycraft
Deed Book 234, Page 511



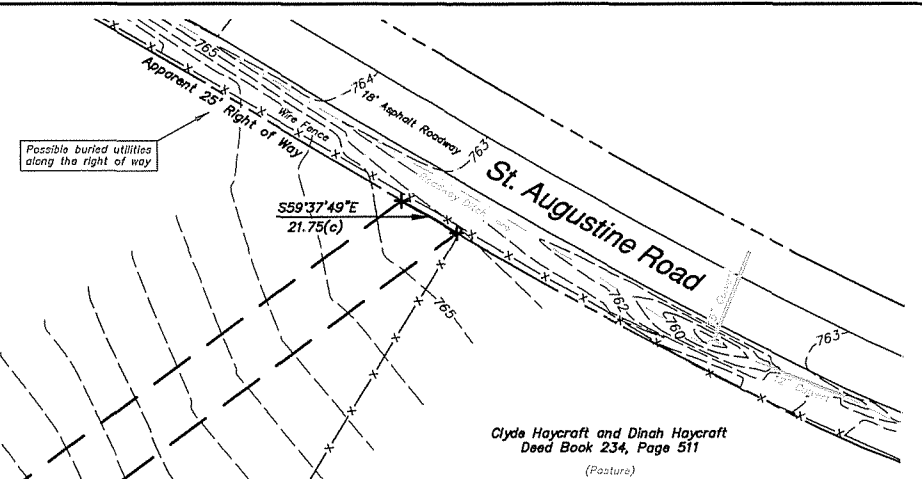
- Surveyor's Notes**
- This survey is subject to a statement of facts which may be disclosed by an Abstract of Title or a Title Commitment Policy. This documentation was not provided by the client.
 - No search of public records has been performed by this firm to determine any defects and/or ambiguities in the title of the parent tract.
 - The utilities shown on this plot may or may not represent all of the utilities located on the subject site. The presence of utilities was determined by a visual inspection of the property surface. No utility locate was called in prior to this survey. It shall be the responsibility of the contractor to locate utilities prior to construction.
 - The topographic information contained on this plot was as requested by the client and may or may not represent all of the topographic features located on the subject property.
 - According to Gary Logsdon, County Judge Executive of the Grayson County, no local planning unit exists which has geographical jurisdiction of the subject tower site. The County Judge Executive's Office may be contacted at (270) 259-3159 for confirmation.
 - The proposed location of the Johnson Crossroads cell site will be located outside of an incorporated city.

P.O.C. of Lease Tract
The west corner of the 10.09-acre tract described in deed to Kenny Meredith and Phyllis Meredith on May 10, 1993 in Deed Book 234, Page 591A in the office of the County Clerk of Grayson County, Kentucky.

P.O.B. of Lease Tract and Easement

- Legend**
- 5/8" Rebar Set Flush With A Survey Cap Inscribed "D.L. Helms PLS 3386"
 - 5/8" Rebar Set Flush - No Cap
 - ⊕ Steel T-Bar Found Exposed 6" With A Survey Cap Inscribed "Survey Point Do Not Disturb RLS 1894"
 - + Calculated Position - No Monument Found or Set
 - Subject Boundaries
 - Subject Easement Boundaries
 - Property Line
 - - - Right of Way
 - ⊙ Utility Pole
 - Guy Anchor
 - ⊞ Telephone Pedestal
 - Utility As Noted
 - (m) Measured
 - (r) Recorded
 - (c) Calculated
 - (s) Set

Reduced Copy



Lease Boundary and Easement Description

A tract of land that is located about 800 feet southwest of the intersection of Kentucky Highway 88 and St. Augustine Road in the Peonia Community of Grayson County, Kentucky; said tract being described as follows:

COMMENCING AT a steel 1-inch bar found exposed 6 inches with a survey cap inscribed "Survey Point Do Not Disturb RLS 1894", which marks the west corner of the 10.09-acre tract described in deed to Kenny Meredith and Phyllis Meredith on May 10, 1993 in Deed Book 234, page 591A in the office of the County Clerk of Grayson County, Kentucky; thence North 21 degrees 05 minutes 34 seconds West 854.52 feet to a 5/8-inch rebar set flush with a survey cap inscribed "D.L. Helms PLS 3386" (referred to as a rebar in the remainder of this description) at the POINT OF BEGINNING of this description; thence South 58 degrees 15 minutes 27 seconds West 100.00 feet to a rebar set flush; thence North 31 degrees 44 minutes 33 seconds West 100.00 feet to a rebar set flush; thence North 58 degrees 15 minutes 27 seconds East 100.00 feet to a rebar set flush; thence South 31 degrees 44 minutes 33 seconds East 100.00 feet to the point of beginning and containing 0.230 acres (10,000 square feet), more or less.

TOGETHER WITH an access and utility easement from the above-described 0.230-acre lease tract to St. Augustine Road; said easement being described as follows: BEGINNING AT a 5/8-inch rebar set flush with a survey cap inscribed "D.L. Helms PLS 3386" at the east corner of the above-described 0.230-acre lease tract; thence North 31 degrees 44 minutes 33 seconds West 100.00 feet to a 5/8-inch rebar set flush with said Helms survey cap at the north corner of the above-described 0.230-acre lease tract; thence North 58 degrees 15 minutes 27 seconds East 20.00 feet; thence South 31 degrees 44 minutes 33 seconds East 39.97 feet; thence North 53 degrees 32 minutes 24 seconds East 578.82 feet to the southwestern right of way of St. Augustine Road (25 feet from the centerline); thence, along said southwestern right of way, South 59 degrees 37 minutes 49 seconds East 21.75 feet; thence South 53 degrees 32 minutes 24 seconds West 589.03 feet; thence South 31 degrees 44 minutes 33 seconds East 39.97 feet; thence South 58 degrees 15 minutes 27 seconds West 20.00 feet to the point of beginning.

The bearing system of these descriptions is based upon the Kentucky State Plane Coordinate System, South Zone, NAD 83 (2007), as determined by G.P.S. observations made on February 23, 2011 using the National Geodetic Survey monument "FBN CANNON".

These descriptions are based upon a survey completed by Landmark Surveying Co., Inc. and certified by Darren L. Helms, P.L.S. 3386, on March 7, 2011. Said survey is hereby referenced and made a part of these descriptions.

SOURCE OF TITLE: Being a portion of and lying entirely within the land described in deed to Clyde Haycraft and Dinah Haycraft on April 28, 1993 in Deed Book 234, page 511 in the office of the County Clerk of Grayson County, Kentucky.

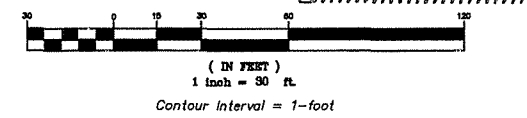
Surveyor's Certification

I hereby certify that this plat has been compiled from a survey actually made upon the ground under my direct supervision on February 23, 2011 by the method of random traverse with sideshots. The unadjusted precision ratio of the traverse was 1:148,500 and it was not adjusted. This survey is a Class B survey and the accuracy and precision of this survey meets all the specifications of this class.

Darren L. Helms
Darren L. Helms, P.L.S. 3386

MARCH 7, 2011
DATE

DARREN L. HELMS
3386
LICENSED PROFESSIONAL LAND SURVEYOR



Landmark Surveying Co., Inc.
15 N.E. 3rd Street
Washington, Indiana 47501
(812) 257-0850
Email: landmark@landmark.net
Project No. 11-02-006
© 2011

Lease Boundary Survey
2601 St. Augustine Road
Clarkson, Kentucky 42726

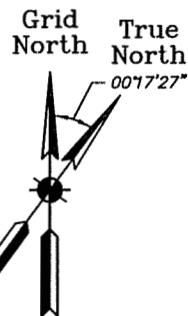
Bluegrass Cellular
2902 Ring Road
Elizabethtown, Kentucky 42701

REVISIONS	DATE

DATE: 3-07-11
DRAWN BY: A. Winkler
CHECKED BY: D.L. Helms

SHEET NO. 1
OF 1 SHEETS
FILE NO. johnson.dwg

Site: Johnson Crossroads Lease Boundary and Topographic Survey Grayson County, Kentucky



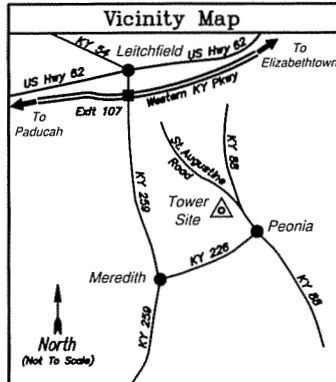
Basis of Bearings
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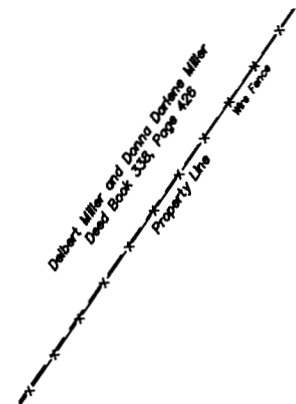
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Flood Plain Statement
According to the Flood Insurance Rate Map for the Unincorporated Areas of Grayson County, Kentucky, Community Panel No. 210330 0200 B, dated February 15, 1991 the subject site lies with "Other Areas-Zone X" which are areas determined to be outside the 500-year flood plain.

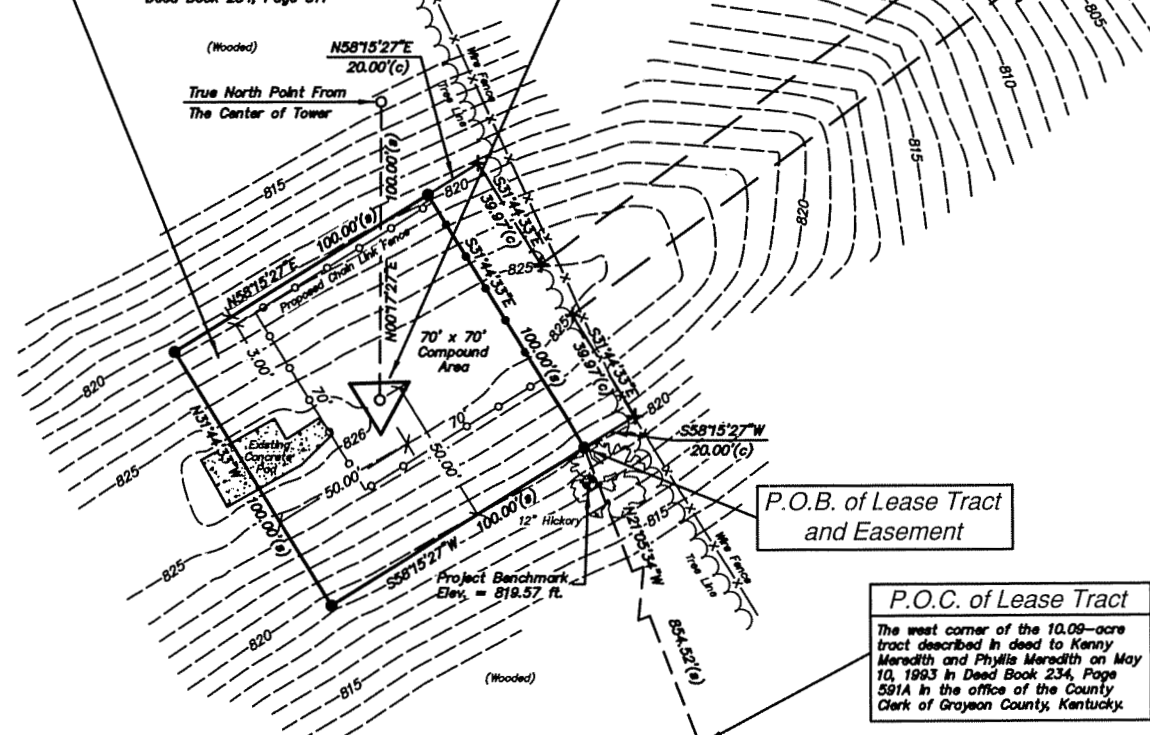


Directions to Site
From Elizabethtown, Kentucky: travel southwest on the Western Kentucky Parkway for about 30 miles to Exit 107 and Kentucky Highway 259 near Leitchfield; turn left onto Kentucky Highway 259 and travel south for 6.1 miles to Kentucky Highway 226 at Meredith; turn left onto Kentucky Highway 226 and travel east for 1.3 miles to Kentucky Highway 88 at Peonia; turn left onto Kentucky Highway 88 and travel north for 0.8 miles to St. Augustine Road; turn left onto St. Augustine Road and travel west for 250 feet to the tower access lane on the left or south side of the road; turn left onto the lane and travel southwest for 600 feet to the tower site on a wooded ridge in a pasture.



Proposed Self-Support Tower
Lat. = 37°25'27.05" North (NAD 1983)
Lon. = 86°13'46.74" West (NAD 1983)
Ground Elev. = 826.1 feet or 251.80 m (NAVD 1988)

Lease Tract
0.230 Acres or 10,000 Sq.Ft.
No Zoning in Grayson County
Clyde Hayercraft and Dinah Hayercraft
Deed Book 234, Page 511



- Surveyor's Notes**
- This survey is subject to a statement of facts which may be disclosed by an Abstract of Title or a Title Commitment Policy. This documentation was not provided by the client.
 - No search of public records has been performed by this firm to determine any defects and/or ambiguities in the title of the parent tract.
 - The utilities shown on this plat may or may not represent all of the utilities located on the subject site. The presence of utilities was determined by a visual inspection of the property surface. No utility locate was called in prior to this survey. It shall be the responsibility of the contractor to locate utilities prior to construction.
 - The topographic information contained on this plat was as requested by the client and may or may not represent all of the topographic features located on the subject property.
 - According to Gary Logsdon, County Judge Executive of the Grayson County, no local planning unit exists which has geographical jurisdiction of the subject tower site. The County Judge Executive's Office may be contacted at (270) 259-3159 for confirmation.
 - The proposed location of the Johnson Crossroads cell site will be located outside of an incorporated city.

- Legend**
- 5/8" Rebar Set Flush With A Survey Cap Inscribed "D.L. Helms PLS 3386"
 - 5/8" Rebar Set Flush - No Cap
 - ⊙ Steel T-Bar Found Exposed 6" With A Survey Cap Inscribed "Survey Point Do Not Disturb RLS 1894"
 - ⊕ Calculated Position - No Monument Found or Set
 - Subject Boundaries
 - - - Subject Easement Boundaries
 - Property Line
 - - - Right of Way
 - ⊕ Utility Pole
 - Guy Anchor
 - ⊕ Telephone Pedestal
 - - - Utility As Noted
 - (m) Measured
 - (r) Recorded
 - (c) Calculated
 - (s) Set

Lease Boundary and Easement Description

A tract of land that is located about 800 feet southwest of the intersection of Kentucky Highway 88 and St. Augustine Road in the Peonia Community of Grayson County, Kentucky; said tract being described as follows:

COMMENCING AT a steel t-bar found exposed 6 inches with a survey cap inscribed "Survey Point Do Not Disturb RLS 1894" which marks the west corner of the 10.09-acre tract described in deed to Kenny Meredith and Phyllis Meredith on May 10, 1993 in Deed Book 234, page 591A in the office of the County Clerk of Grayson County, Kentucky; thence North 21 degrees 05 minutes 34 seconds West 854.52 feet to a 5/8-inch rebar set flush with a survey cap inscribed "D.L. Helms PLS 3386" (referred to as a rebar in the remainder of this description) at the POINT OF BEGINNING of this description; thence South 58 degrees 15 minutes 27 seconds West 100.00 feet to a rebar set flush; thence North 31 degrees 44 minutes 33 seconds West 100.00 feet to a rebar set flush; thence North 58 degrees 15 minutes 27 seconds East 100.00 feet to a rebar set flush; thence South 31 degrees 44 minutes 33 seconds East 100.00 feet to the point of beginning and containing 0.230 acres (10,000 square feet), more or less.

TOGETHER WITH an access and utility easement from the above-described 0.230-acre lease tract to St. Augustine Road; said easement being described as follows: BEGINNING AT a 5/8-inch rebar set flush with a survey cap inscribed "D.L. Helms PLS 3386" at the east corner of the above-described 0.230-acre lease tract; thence North 31 degrees 44 minutes 33 seconds West 100.00 feet to a 5/8-inch rebar set flush with said Helms survey cap at the north corner of the above-described 0.230-acre lease tract; thence North 58 degrees 15 minutes 27 seconds East 20.00 feet; thence South 31 degrees 44 minutes 33 seconds East 39.97 feet; thence North 53 degrees 32 minutes 24 seconds East 578.82 feet to the southwestern right of way of St. Augustine Road (25 feet from the cartline); thence, along said southwestern right of way, South 59 degrees 37 minutes 49 seconds East 21.75 feet; thence South 53 degrees 32 minutes 24 seconds West 589.03 feet; thence South 31 degrees 44 minutes 33 seconds East 39.97 feet; thence South 58 degrees 15 minutes 27 seconds West 20.00 feet to the point of beginning.

The bearing system of these descriptions is based upon the Kentucky State Plane Coordinate System, South Zone, NAD 83 (2007), as determined by G.P.S. observations made on February 23, 2011 using the National Geodetic Survey monument "FBN CANNON".

These descriptions are based upon a survey completed by Landmark Surveying Co., Inc. and certified by Darren L. Helms, P.L.S. 3386, on March 7, 2011. Said survey is hereby referenced and made a part of these descriptions.

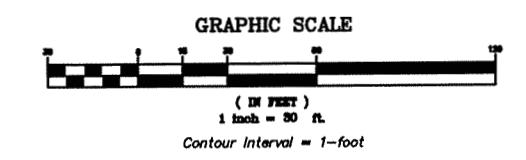
SOURCE OF TITLE: Being a portion of and lying entirely within the land described in deed to Clyde Hayercraft and Dinah Hayercraft on April 28, 1993 in Deed Book 234, page 511 in the office of the County Clerk of Grayson County, Kentucky.

Surveyor's Certification

I hereby certify that this plat has been compiled from a survey actually made upon the ground under my direct supervision on February 23, 2011 by the method of random traverse with sideshots. The unadjusted precision ratio of the traverse was 1:148,500 and it was not adjusted. This survey is a Class B survey and the accuracy and precision of this survey meets all the specifications of this class.

Darren L. Helms, P.L.S. 3386

Date



Landmark Surveying Co., Inc.
15 N.E. 3rd Street
Washington, Indiana 47601
(812) 257-0850
Email: landmark@landmarksurvey.com
Project No. 11-02-0108
© 2011

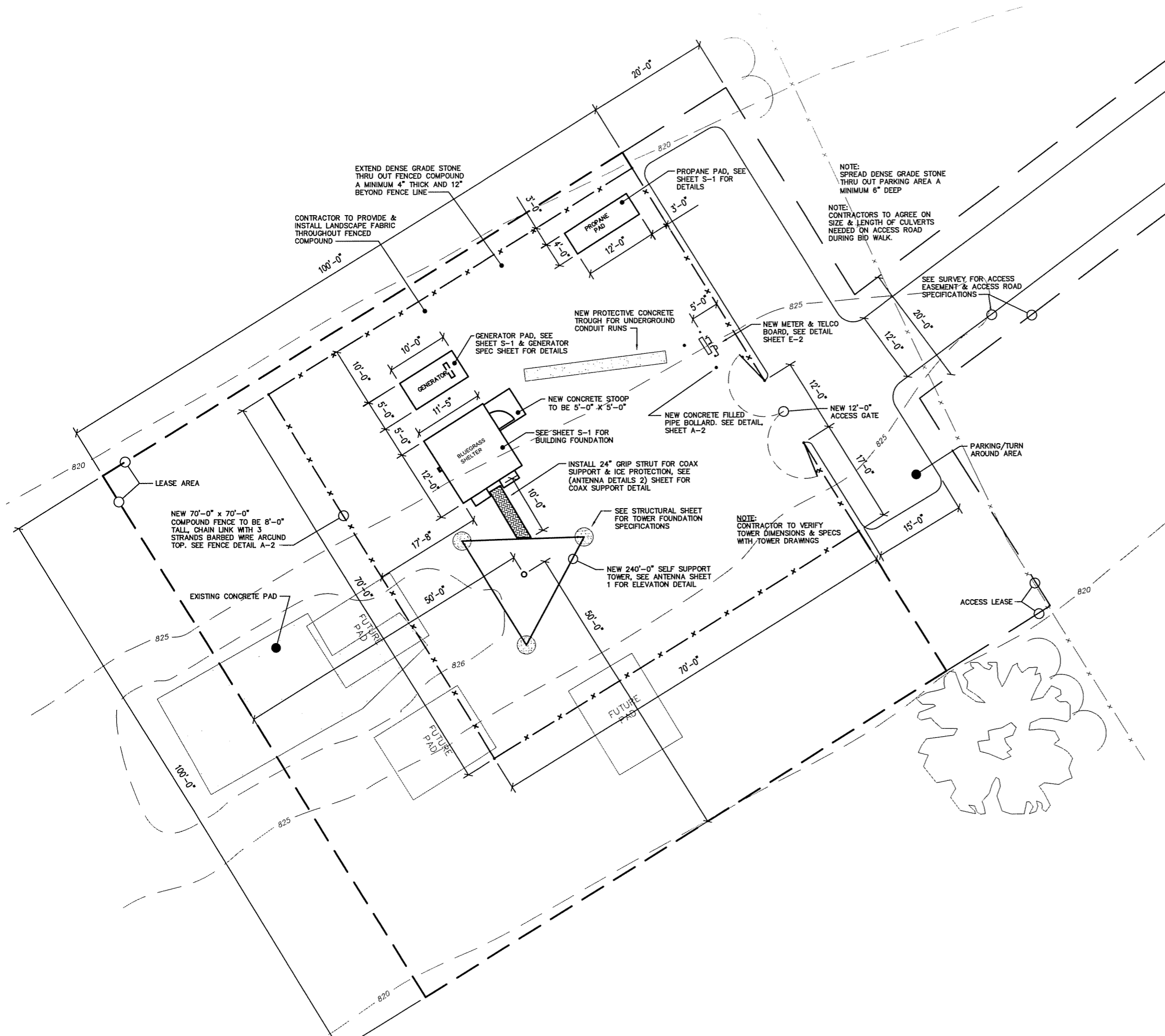
Lease Boundary Survey
2601 St. Augustine Road
Clarkson, Kentucky 42726

Bluegrass Cellular
2902 Ring Road
Elizabethtown, Kentucky 42701

REVISIONS	DATE

DATE: 3-07-11
DRAWN BY: A. Walker
CHECKED BY: D.L. Helms

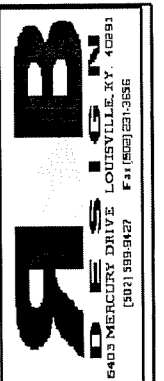
SHEET NO. 1 OF 1 SHEETS
FILE NO. johnson.dwg



GENERAL NOTES:

- 1) EQUIPMENT PICK-UP AND DELIVERY TO SITE FROM BLUEGRASS CELLULAR STAGING FACILITY TO BE THE CONTRACTORS RESPONSIBILITY, INCLUDING CRANE SET, AND ALL COST INCURRED.
- 2) FOR BUILDING AND ALL CONCRETE PAD DETAILS REFER TO STRUCTURALS AND SHEET S1.1
- 3) ANY DAMAGE DUE TO CONSTRUCTION, TO BE REPAIRED OR REPLACED TO ORIGINAL CONDITION. (SUBJECT TO BLUEGRASS CELLULAR'S APPROVAL).
- 4) ANY DAMAGE OF NATURAL SURROUNDINGS, INCLUDING BUT NOT LIMITED TO, GRASS, TREES, LANDSCAPING, ETC.. TO BE REPAIRED OR REPLACED TO ORIGINAL CONDITION AT BLUEGRASS CELLULAR'S APPROVAL.
- 5) ROADWAYS TO BE GRADED SMOOTH AND EVEN, REMOVING ALL POTHOLES. ROADS TO HAVE PROPER DRAINAGE AND RUNOFF PER BLUEGRASS CELLULAR'S APPROVAL.
- 6) ANY RELOCATION OF EXISTING UTILITIES TO BE DONE IN ACCORDANCE WITH LOCAL CODES AND RECOMMENDATIONS, CONSULTING ALL UTILITY COMPANIES INVOLVED FOR APPROVAL AND SPECIFICATIONS REQUIRED.
- 7) FOR GRADING DETAILS, SEE GENERAL NOTESHEET
- 8) CONTRACTOR TO FIELD VERIFY ALL TOWER DIMENSIONS WITH TOWER MANUFACTURER PRIOR TO JOB BIDDING OR START OF ANY CONSTRUCTION
- 9) CONTRACTOR RESPONSIBLE FOR APPLYING FOR SERVICE TO SITE AND PAYING ANY FEES REQUIRED FOR PERMITS, HOOKUP, ETC..

SITE PLAN
SCALE: 1/8" = 1'-0"



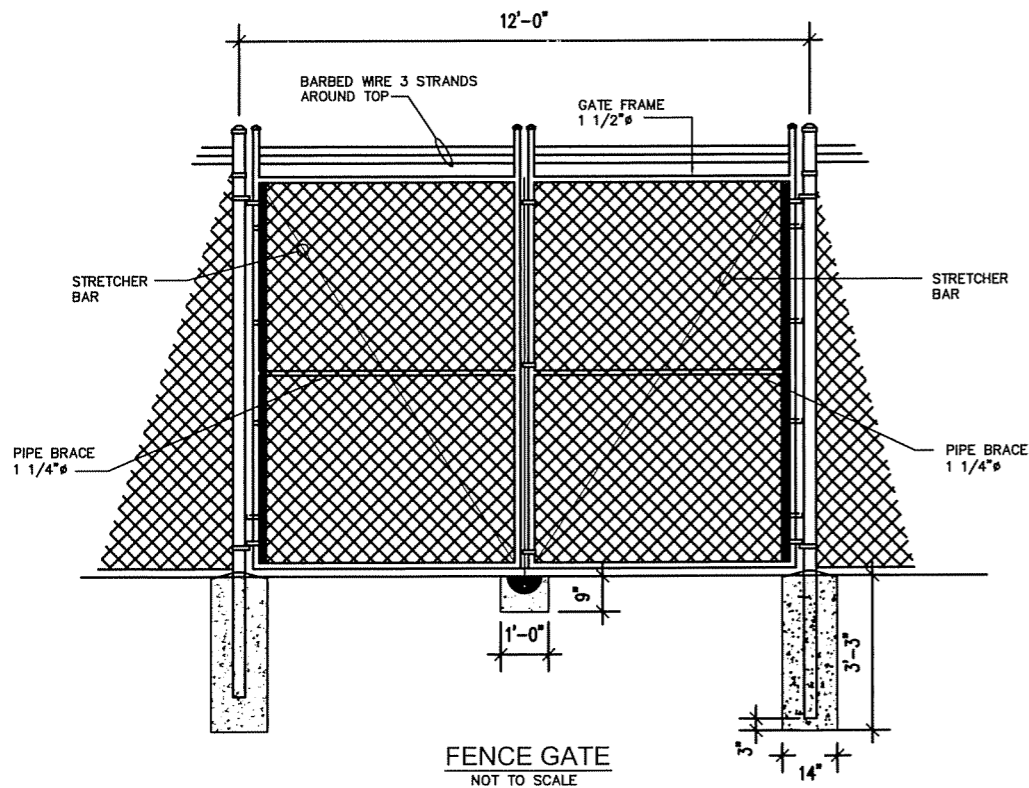
BLUEGRASS CELLULAR, INC.
5403 MERCURY DRIVE
LOUISVILLE, KY. 40293
FAX: (502) 261-3156
(502) 959-9427

NO.	DATE	REVISION

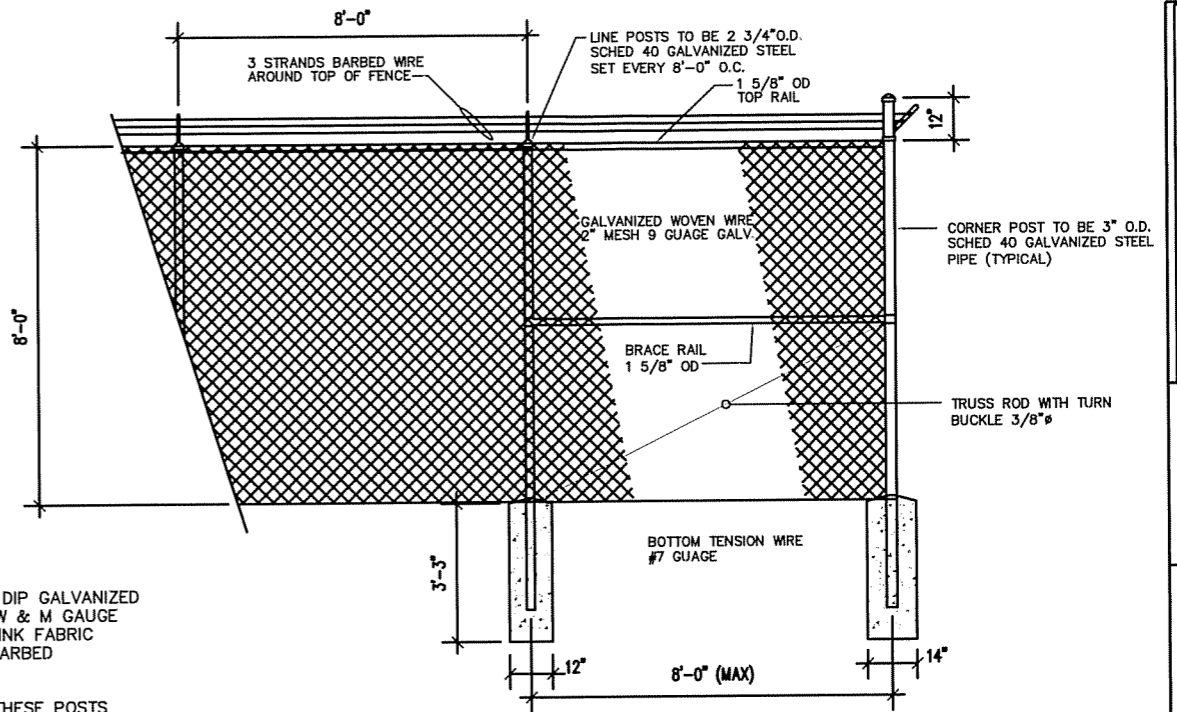
BLUEGRASS CELLULAR, INC.
STANDARD CELLULAR SITE
JOHNSON CROSSROADS
2601 ST. AUGUSTINE RD. CLARKSON, KY. 42726

DRAWN BY: R. BECKER
ISSUE DATE: 3-15-11
SCALE: LISTED

SHEET NUMBER
A-1



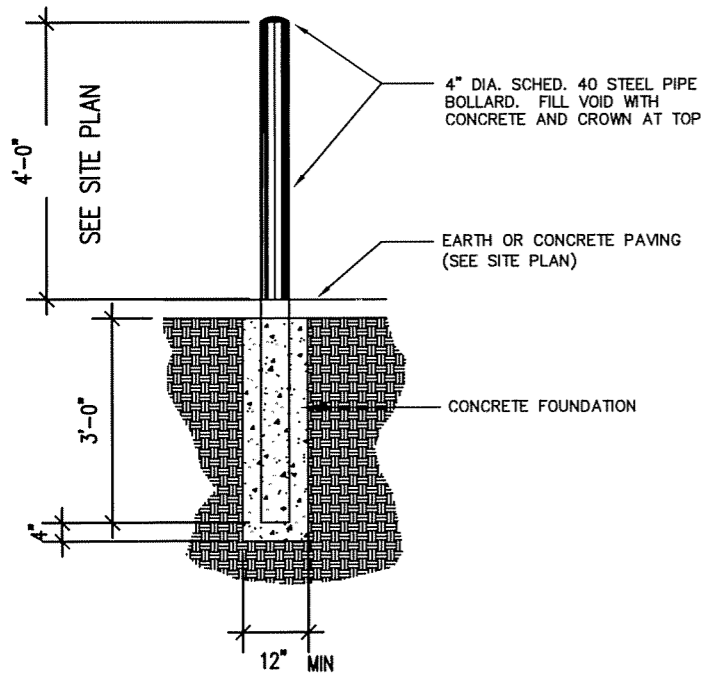
FENCE GATE
NOT TO SCALE



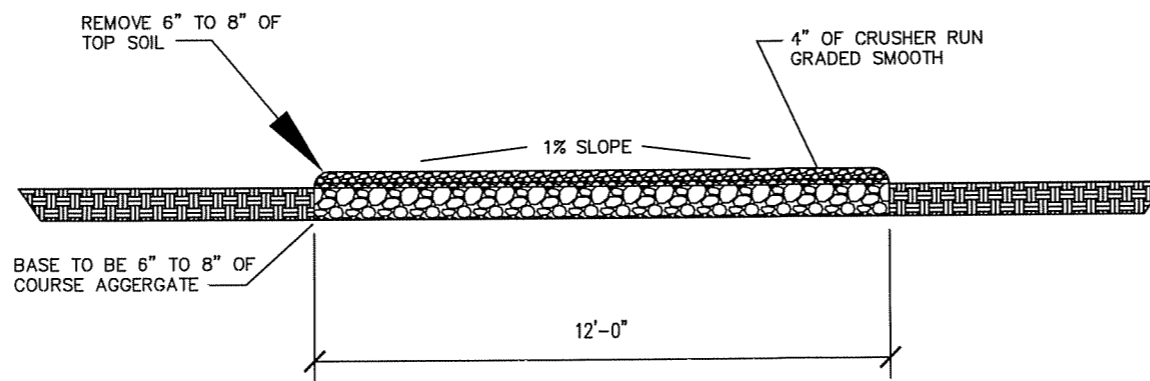
FENCE DETAIL END POLES
NOT TO SCALE

CHAIN LINK FENCING NOTES:

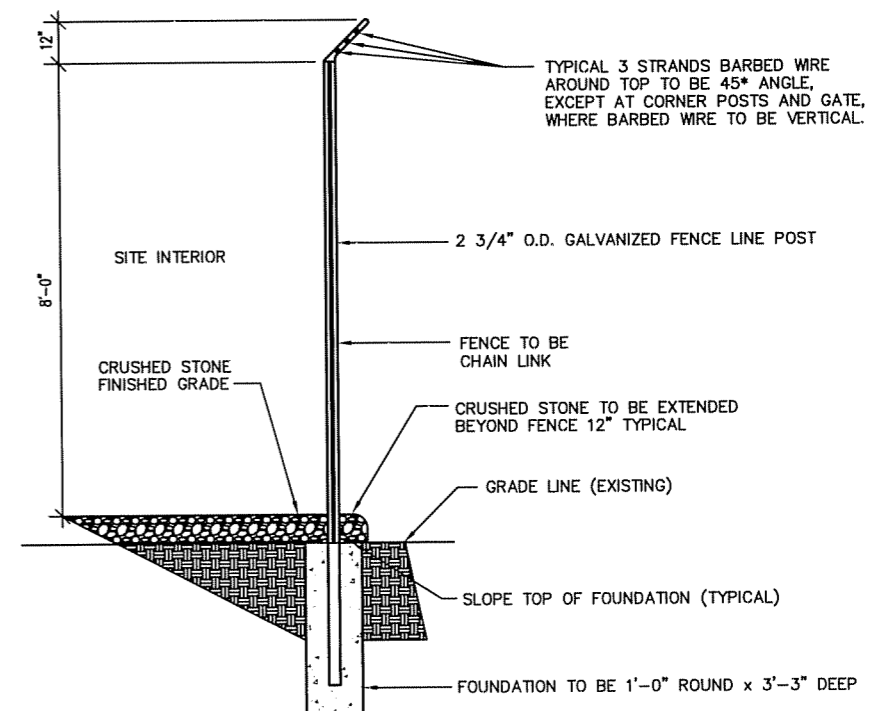
- FABRIC:** THE FABRIC SHALL BE COMPOSED OF INDIVIDUAL HOT DIP GALVANIZED WIRE PICKETS HELICALLY WOUND AND INTERWOVEN FROM NO.9 W & M GAUGE COPPER BEARING STEEL WIRE TO FORM A CONTINUOUS CHAIN LINK FABRIC HAVING A 2" MESH. TOP EDGES SHALL HAVE A TWISTED AND BARBED
- POSTS:** SHALL BE 2 3/4" O.D. SS 40 PIPE HOT GALVANIZED. THESE POSTS SHALL BE SPACED APPROXIMATELY 8'-0" ON CENTERS AND SET FULL 3'-3" IN BELL - SHAPED CONCRETE FOOTING, CROWNED AT TOP TO SHED WATER.
- TOP RAIL:** SHALL BE 1 5/8" O.C. STANDARD PIPE HOT GALVANIZED AND SHALL BE FURNISHED IN RANDOM LENGTHS AVERAGING NOT LESS THAN 20".
- FABRIC TIES:** FOR ATTACHING FABRIC TO LINE POST, TOP RAIL OR TOP WIRE, SHALL BE ALUMINUM STRIP OF WIRE OF APPROVED GAUGE AND DESIGN. USED ON TOP OF RAIL EVERY 24" AND ONE POST EVERY 12".
- EXTENSION ARMS:** CAST STEEL GALVANIZED TO ACCOMODATE 3 STRANDS OF BARB WIRE, SINGLE ARM SLOPED TO 45°, AND VERTICAL ON TOP OF SWING GATES.
- BARBED WIRE (STEEL):** ASTM A121 GALVANIZED STEEL, 12 GAUGE THICK WIRE, 3 STRANDS 4 POINTS AT 3" O.C.
- SWING GATE POSTS:** SHALL BE 3" O.C. STANDARD HOT GALVANIZED, WEIGHING 5.79 LBS. PER FOOT.
- GATES: (a) SWING GATES:** 2" O.C. STANDARD PIPE WITH INTERNAL BRACING OF 1 5/8" O.D. STANDARD PIPE; WELDED AT ALL JOINTS TO PROVIDE RIGID WATERTIGHT CONSTRUCTION. FABRIC SAME AS FENCE.
- FENCE TO BE 100% ERECTED WITHIN TEN(10) DAYS OF COMPLETION OF CONSTRUCTION, IF TIME FRAME CANNOT BE MET, PLEASE NOTIFY PROJECT SUPERVISOR.
- FENCE STOPS TO BE PLACED ON INSIDE OF COMPOUND PER ACCESS GATE SPECIFICATIONS.



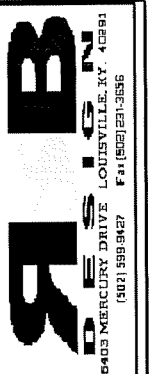
BOLLARD DETAIL
NOT TO SCALE



ROAD DETAIL
NOT TO SCALE



FENCE DETAIL LINE POLES
NOT TO SCALE



BLUEGRASS CELLULAR, INC.
STANDARD CELLULAR SITE
JOHNSON CROSSROADS
2601 ST. AUGUSTINE RD. CLARKSON, KY. 42726

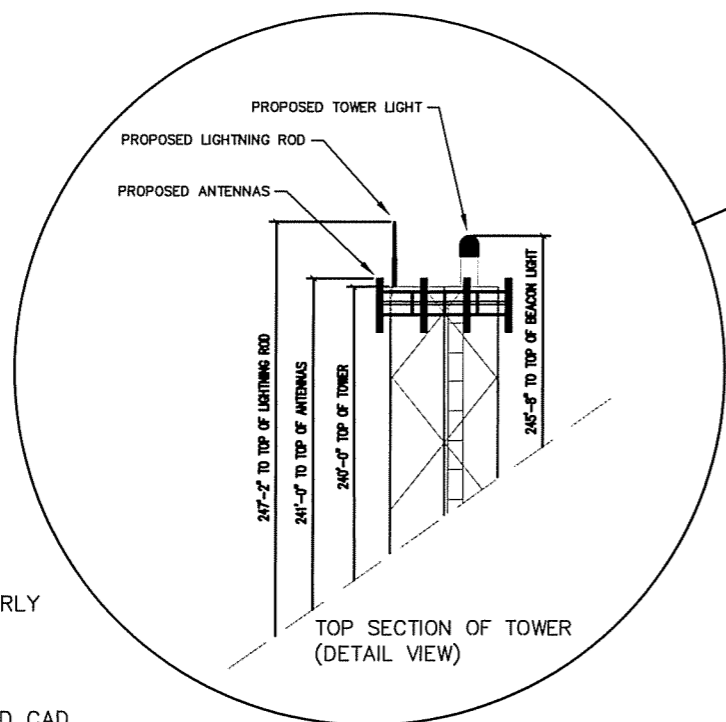
NO.	DATE	REVISION

BLUEGRASS CELLULAR, INC.
STANDARD CELLULAR SITE
JOHNSON CROSSROADS
2601 ST. AUGUSTINE RD. CLARKSON, KY. 42726

DRAWN BY: R. BECKER
ISSUE DATE: 3-15-11
SCALE: LISTED

SHEET NUMBER
A-2

BLUEGRASS CELLULAR GENERAL NOTES & ANTENNA SPECS



BLUEGRASS CELLULAR ANTENNAS (6)
TO BE MOUNTED AT 240'-0" C/L
(VERIFY HEIGHT WITH PROJECT
SUPERVISOR PRIOR TO INSTALLATION)

240'-0" SELF SUPPORT
TOWER

SELF SUPPORT TOWER ELEVATION (TYPICAL)

ALL LINES AND ANTENNAS TO BE PROPERLY MOUNTED TO TOWER OR STRUCTURE PER BLUEGRASS CELLULAR SPECIFICATIONS.

ALL GROUND BARS TO BE INSTALLED AND CAD WELDED TO GROUND FIELD (WHERE REQUIRED)

ALL LINES TO BE GROUNDED AT THE TOP AND BASE OF STRUCTURE OR TOWER.

ALL LINES TO BE GROUNDED AT ENTRANCE OF SHELTER BEFORE WAVE GUIDE PORTS. (EXTERIOR OF BUILDING)

LINES ARE TO BE SECURED TO ICE BRIDGE

WAVE-GUIDE BOOTS ARE TO BE INSTALLED ON ALL LINES (BOTH INSIDE AND OUTSIDE)

ALL COAX CONNECTIONS ARE TO BE WEATHER PROOFED.

INVENTORY OF ALL MATERIAL IS TO BE DONE PRIOR TO INSTALLATION BY CONTRACTOR. (LIST WILL BE PROVIDED)

ALL TRASH AND REFUGE IS TO BE PROPERLY DISPOSED OF.

CONTRACTOR TO EXTEND HARDLINES INTO BUILDING 12" & INSTALL POLYPHASERS AND GROUNDING, PER INSTRUCTION OF PROJECT SUPERVISOR.

GENERAL CONTRACTOR TO MOUNT ANTENNA MOUNTS AT TOP OF STRUCTURE OR TOWER BY BLUEGRASS CELLULAR SPECIFICATIONS.

ICE BRIDGE TO BE SUPPLIED AND INSTALLED BY GENERAL CONTRACTOR. (Additional Ice Bridge if needed)

TRAPEZE KIT TO BE SUPPLIED AND INSTALLED BY GENERAL CONTRACTOR.

CONTRACTOR TO INSTALL GPS BRACKET & ANTENNAS COMPLETE.

CONTRACTOR TO INSTALL LIGHTING SYSTEM PER FAA ADVISORY 70/7460-1K CHANGE 2, OBSTRUCTION MARKING AND LIGHTING, A MED-DUAL SYSTEM - CHAPTERS 4,8(M-DUAL), & 12

TOWER HEIGHT & TYPE

240'-0" SELF SUPPORT TOWER

ANTENNA SPECS

	TYPE	SIZE L x W x D	NUMBER	AZIMUTH	MOUNTING HEIGHT
ANTENNA (PRIMARY)	LBX-9013DS VTM_02DT_0850	L=78.6 W=10.3 D=4.6	6	0*, 120*, 240*	240'-0" C/L <small>VERIFY WITH CONSTRUCTION SUPERVISOR</small>
ANTENNA (SECONDARY)					

ANTENNA MOUNTING HARDWARE SPECS

	TYPE	SIZE	NUMBER
MOUNT (PRIMARY)	TRI-SECTOR MOUNT		3
MOUNT (SECONDARY)			

ANTENNA TRANSMISSION LINES SPECS

	TYPE	SIZE	NUMBER
TRANSMISSION LINE (PRIMARY)	ANDREW	1-5/8"	6
TRANSMISSION LINE (SECONDARY)			

DISH SPECS

	MICROWAVE/DONOR	SIZE	NUMBER	AZIMUTH	MOUNTING HEIGHT
DISH #1					
DISH #2					

DISH MOUNT SPECS

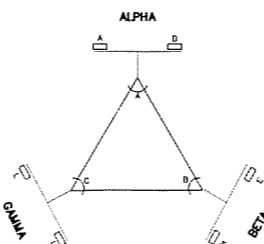
	TYPE	SIZE	NUMBER
MOUNT #1			
MOUNT #2			

DISH TRANSMISSION LINES

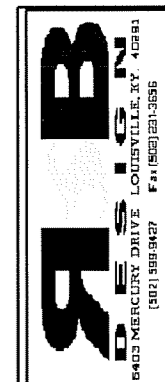
	TYPE	SIZE	NUMBER
TRANSMISSION LINE #1			
TRANSMISSION LINE #2			

ANTENNA SYNOPSIS

- * ANTENNAS TO HAVE A 2*E
- * ANTENNA FREQUENCY 880.00 - 890.00



VERIFY ANTENNA ORIENTATION
WITH ANTENNA SPECIFICATIONS

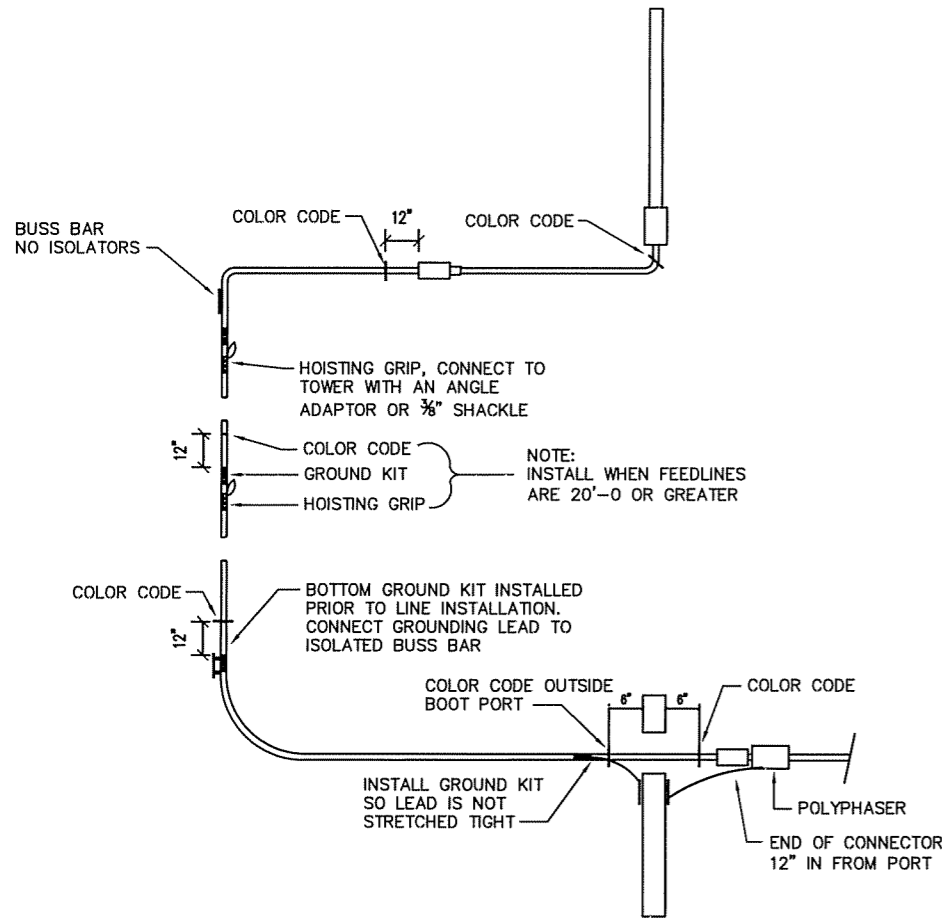


REVISION
DATE
NO.

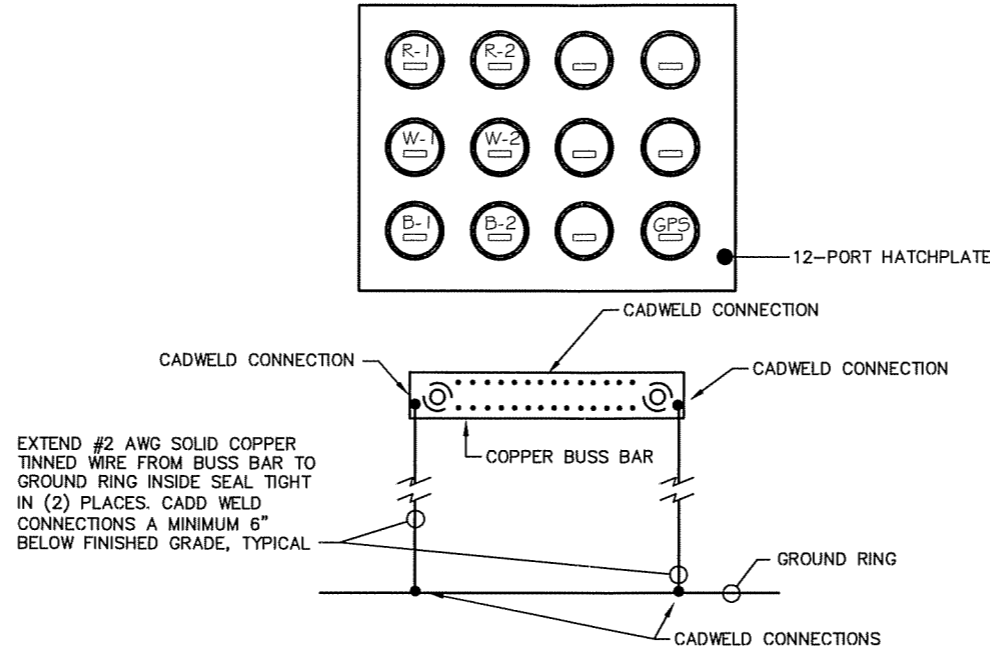
BLUEGRASS CELLULAR, INC.
STANDARD CELLULAR SITE
JOHNSON CROSSROADS
2601 ST. AUGUSTINE RD. CLARKSON, KY. 42726

DRAWN BY: R. BECKER
ISSUE DATE: 3-15-11
SCALE: LISTED

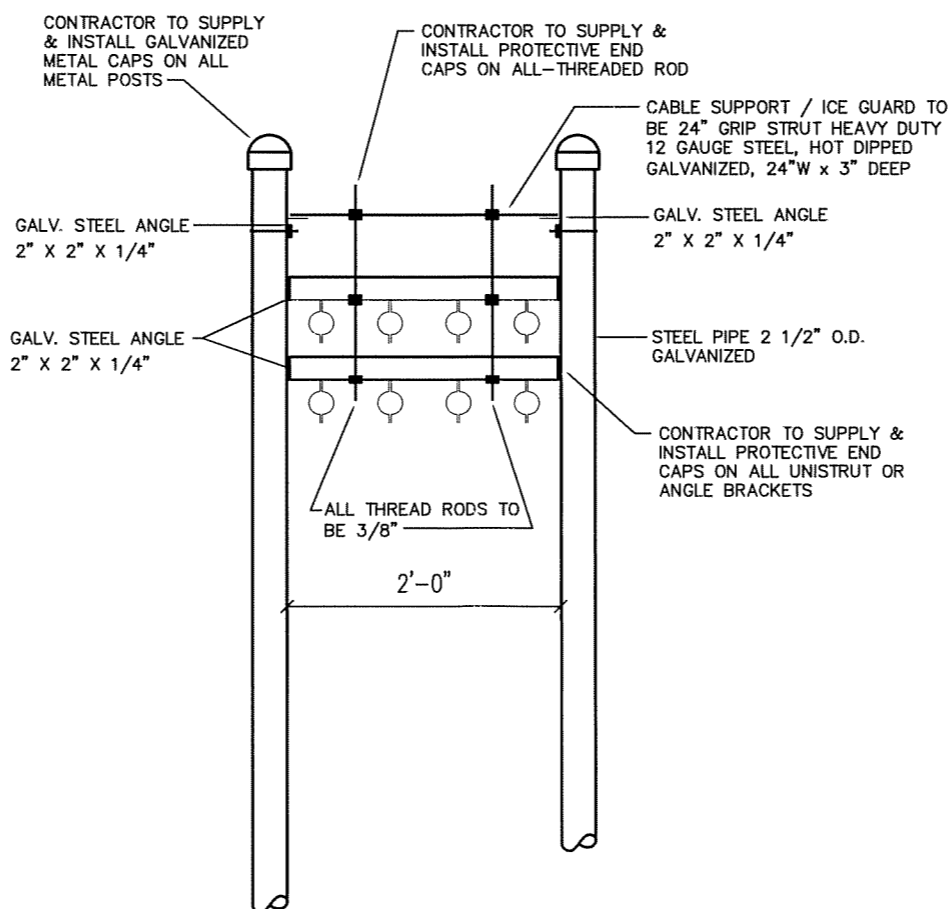
SHEET NUMBER
**ANTENNA
DETAILS**
1



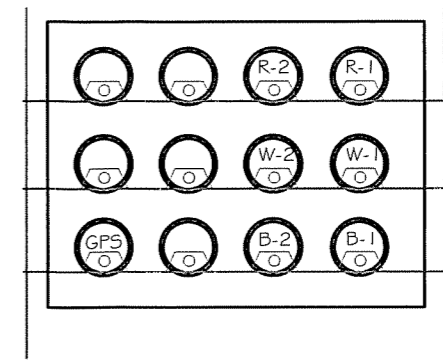
COLOR CODING DETAIL
NO SCALE



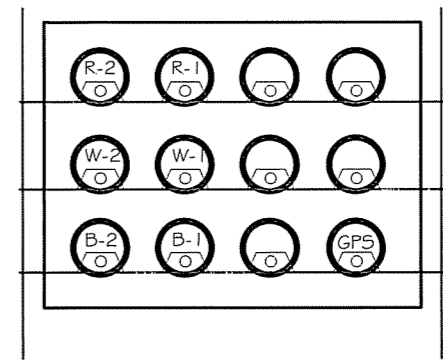
BOOT PORT GROUNDING DETAIL
NO SCALE



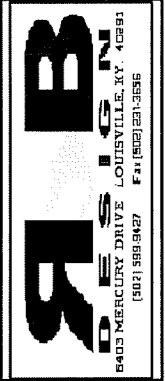
ICE BRIDGE / COAX SUPPORT DETAIL
NO SCALE



COAX ENTRY DETAIL POWER SIDE
(VIEW FROM INSIDE SHELTER)
NO SCALE



COAX ENTRY DETAIL A/C SIDE
(VIEW FROM INSIDE SHELTER)
NO SCALE



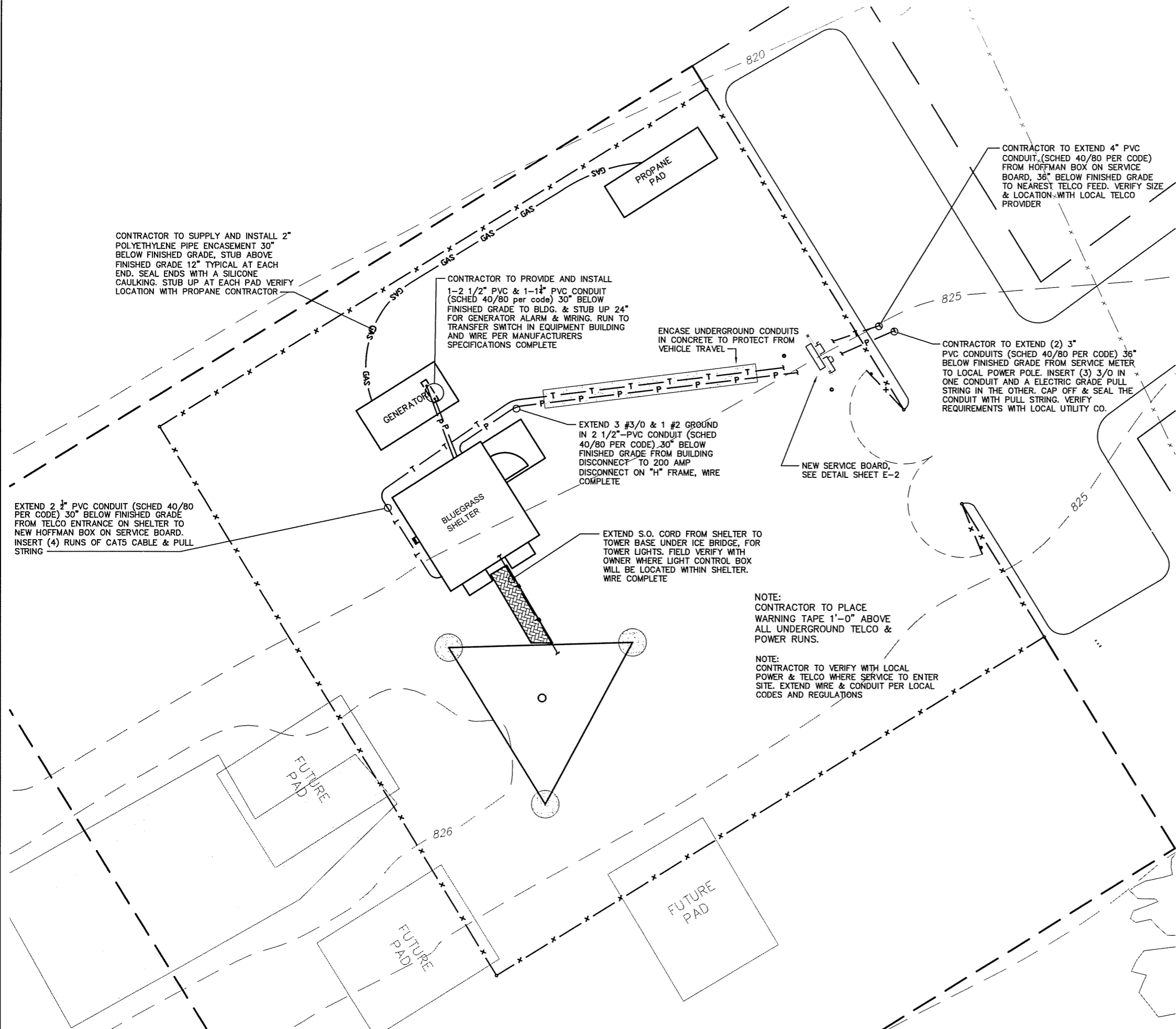
NO.	DATE	REVISION

NO.	DATE	REVISION

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DRAWN BY: R. BECKER
ISSUE DATE: 3-15-11
SCALE: LISTED

SHEET NUMBER
ANTENNA DETAILS
2



- GENERAL ELECTRICAL NOTES:**
- 1) CONTRACTOR RESPONSIBLE FOR MAKING ALL ARRANGEMENTS WITH THE LOCAL UTILITIES FOR SERVICE AND FEE PAYMENTS REQUIRED TO OBTAIN SERVICE.
 - 2) CONTRACTOR RESPONSIBLE FOR MAKING ALL ARRANGEMENTS WITH THE LOCAL TELEPHONE COMPANY FOR SERVICE AND FEE PAYMENTS REQUIRED TO OBTAIN SERVICE.
 - 3) GROUND RING TO BE CONTAINED WITH IN THE COMPOUNDS FENCED AREA.
 - 4) FENCE TO BE GROUNDED FROM GROUND RING TO ALL CORNER POST & GATES. SPACE FENCE GROUNDING APPROXIMATELY 20'-0" O/C. (CAD WELD ALL CONNECTIONS)

5) ALL GROUND RING CONNECTIONS TO BE AS CLOSE AS POSSIBLE, SHARP BENDS WILL NOT BE PERMITTED AS WELL AS "T" CONNECTIONS. ALL CONNECTIONS TO HAVE A SWEEPING RADIUS OF 8" MINIMUM. GROUNDING CONFIGURATION TO BE IN PARALLEL.

6) CONTACT POINTS FOR GROUNDING TO BE CLEANED OF ANY RUST, PAINT, DIRT, ETC. TO CREATE A GOOD BOND FOR CONDUCTOR. AREA THAT HAS BEEN CLEANED TO BE RESEALED TO PREVENT RUSTING.

7) PROPERLY GROUND ANY EXPOSED METAL THAT MAY EXIST ON EXTERIOR OF EQUIPMENT SHELTER OR CABINET.

8) WHERE GROUND CONDUCTORS REQUIRE MECHANICAL BONDING, STAINLESS STEEL CONNECTORS ARE REQUIRED AT EACH CONNECTING POINT USING LOCK WASHERS.

9) CONTRACTOR RESPONSIBLE FOR SEEING THAT UTILITY PERSONNEL MAKE FINAL CONNECTIONS, MAKING SURE THE TOWER ALARM IS CONNECTED AND WORKING. A TELEPHONE NUMBER FOR THE ALARM MUST BE SUPPLIED.

10) CONTRACTOR RESPONSIBLE FOR MEG TESTING THE SITE AND SUPPLYING OWNER WITH FINAL READINGS IN OWNERS SPECIFICATIONS.

11) IF CONDUIT RUNS BURIED LESS THAN REQUIRED DEPTHS, CONTACT BLUEGRASS CELLULAR FOR FURTHER INSTRUCTIONS

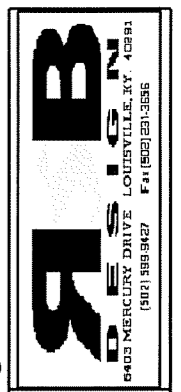
NOTE:
CONTRACTOR TO PROVIDE WARNING TAPE IN TRENCHES FOR ALL POWER AND TELCO RUNS UNDER GROUND. TAPE TO BE INSTALLED 1'-0" ABOVE CONDUIT RUNS. (TAKE PICTURES)

SYMBOLS LEGEND

—P—	POWER
—G—	GAS
—T—	TELEPHONE
—X—	FENCE
⊞	SWITCH (DISCONNECT)
⊞	METER PACK

SITE PLAN- ELECTRICAL

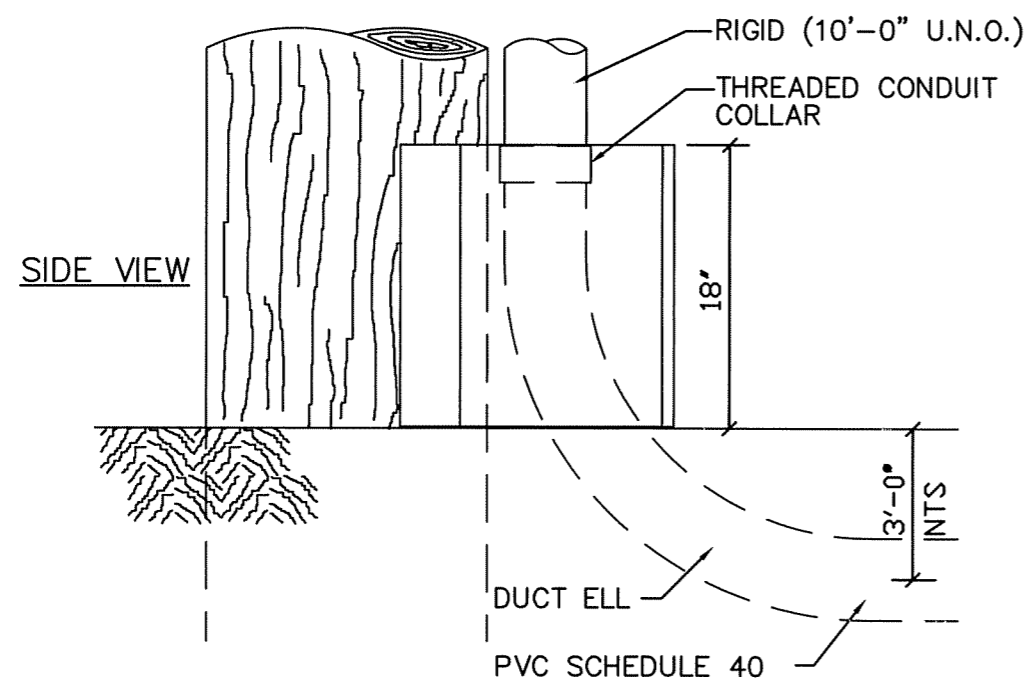
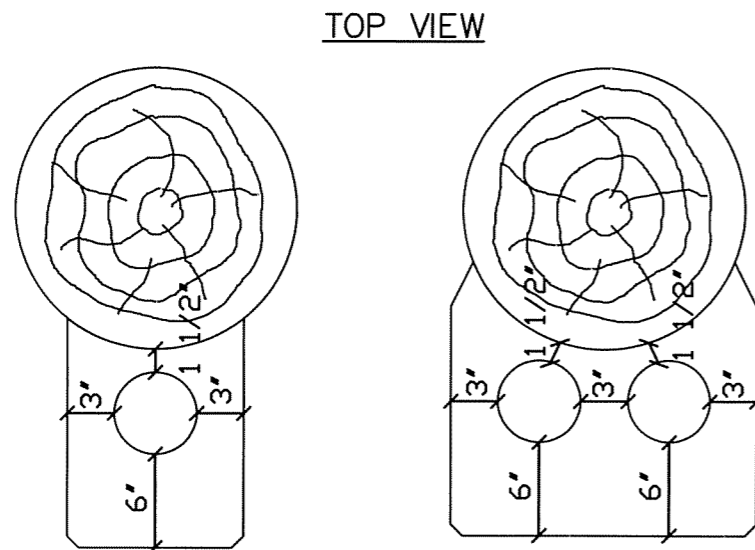
SCALE: 3/32" = 1'-0"



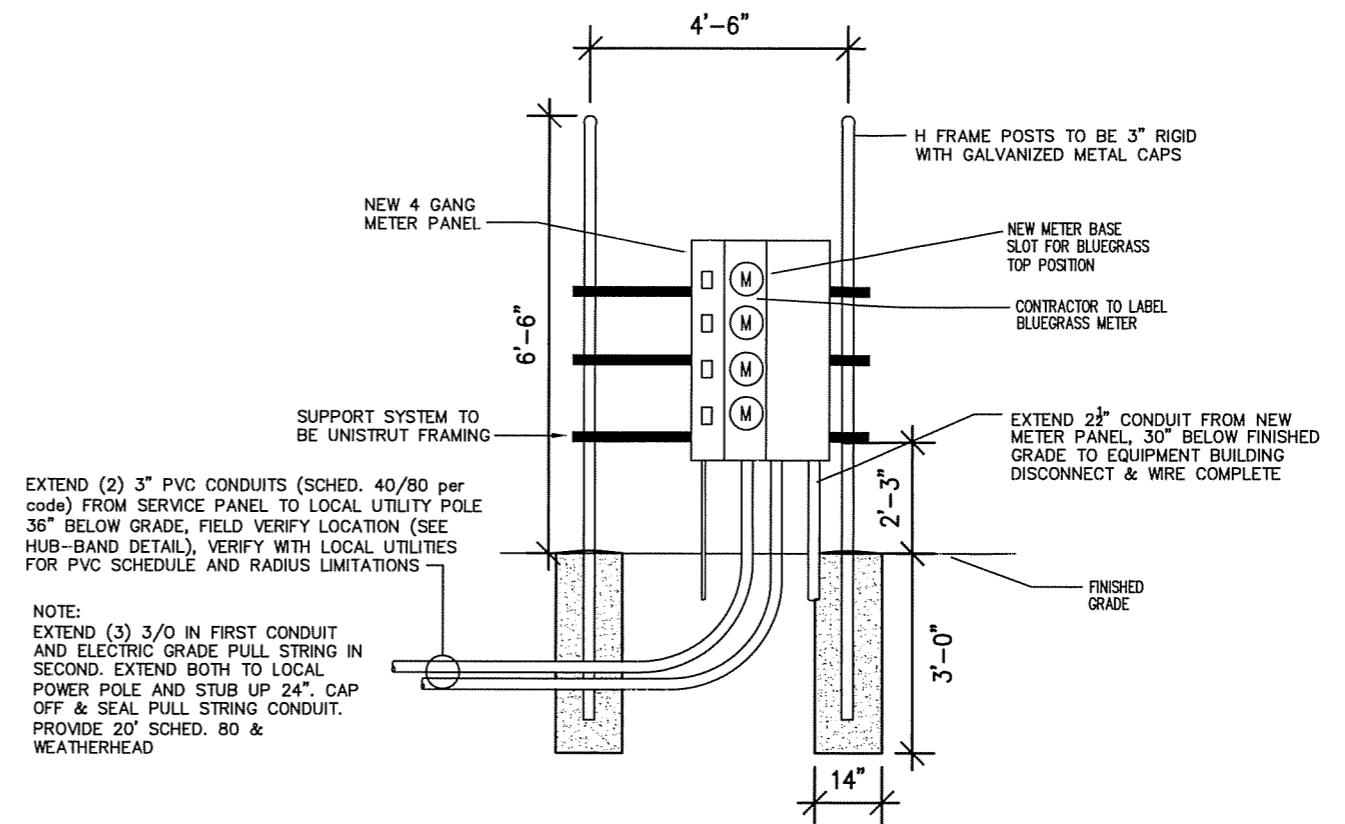
NO.	DATE	REVISION

BLUEGRASS CELLULAR, INC.
STANDARD CELLULAR SITE
JOHNSON CROSSROADS
 2601 ST. AUGUSTINE RD. CLARKSON, KY. 42726

DRAWN BY: R. BECKER	ISSUE DATE: 3-15-11	SCALE: LISTED
SHEET NUMBER		
E-1		



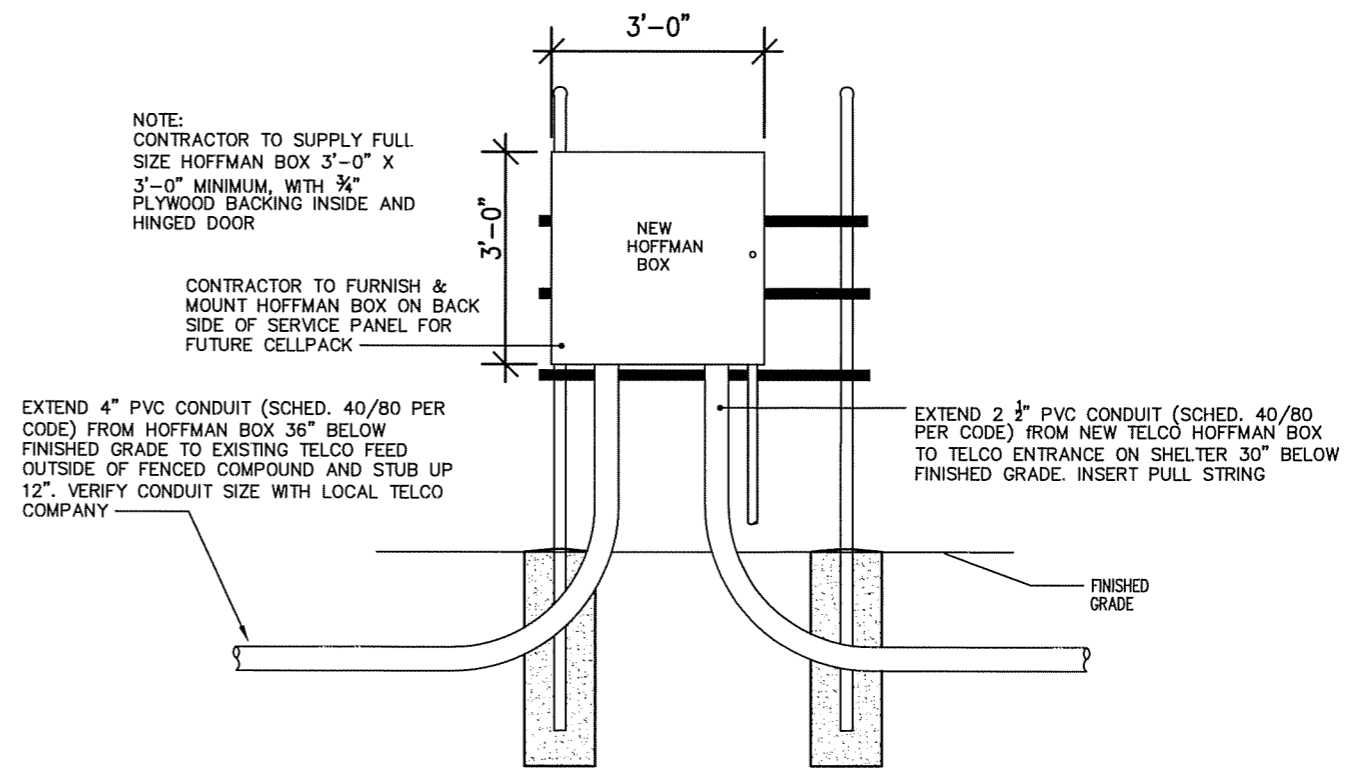
HUB-BAND DETAIL
NO SCALE



EXTEND (2) 3" PVC CONDUITS (SCHED. 40/80 per code) FROM SERVICE PANEL TO LOCAL UTILITY POLE 36" BELOW GRADE, FIELD VERIFY LOCATION (SEE HUB-BAND DETAIL), VERIFY WITH LOCAL UTILITIES FOR PVC SCHEDULE AND RADIUS LIMITATIONS

NOTE:
EXTEND (3) 3/0 IN FIRST CONDUIT AND ELECTRIC GRADE PULL STRING IN SECOND. EXTEND BOTH TO LOCAL POWER POLE AND STUB UP 24". CAP OFF & SEAL PULL STRING CONDUIT. PROVIDE 20' SCHED. 80 & WEATHERHEAD

SERVICE BOARD DETAIL
NO SCALE



BACKBOARD DETAIL
NO SCALE

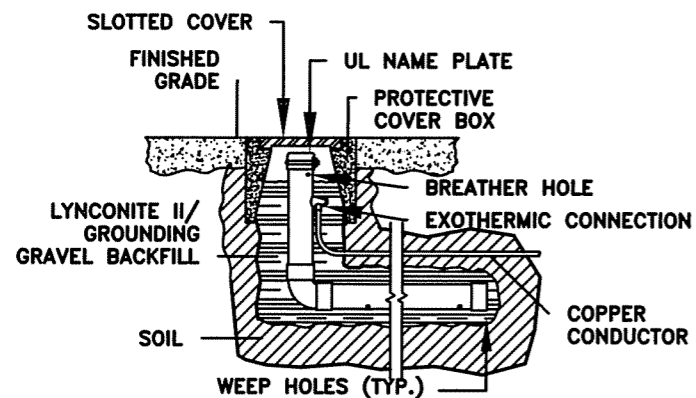
BLUEGRASS CELLULAR, INC.
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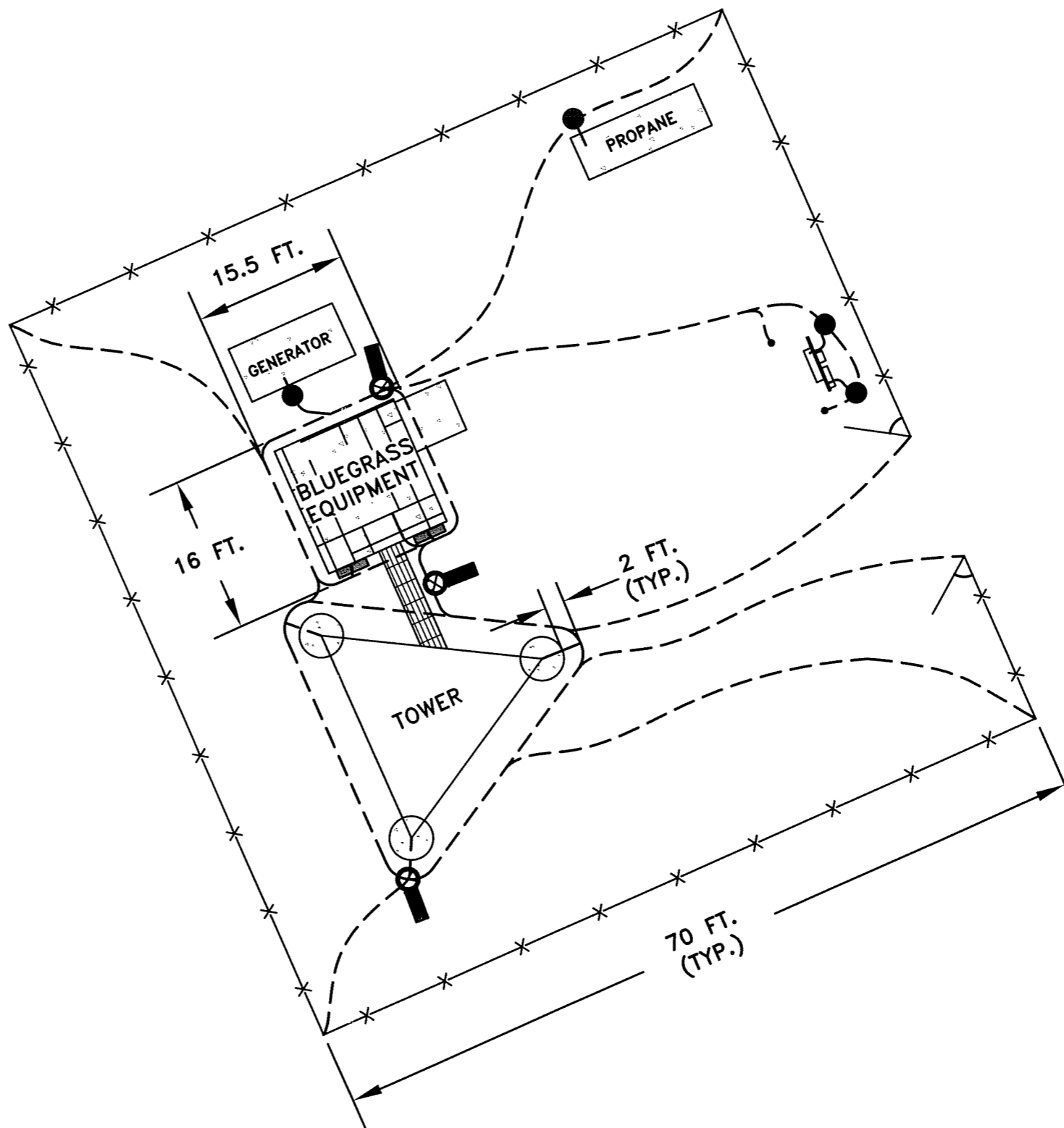
SHEET NUMBER
E-2

CR
ROADS MERCURY DRIVE LOUISVILLE, KY. 40288
(502) 388-9427 FAX (502) 261-3856



L-SHAPE MODEL
LYNCOLE XIT GROUNDING
(800) 962-2610

DETAIL



NOTES:

- x — FENCE LINE
- - - - BARE #2 AWG TINNED SOLID COPPER CONDUCTOR
BURIED 30 IN. BELOW GRADE OR 6 IN. BELOW FROST LINE
- ALL BENDS IN GROUND CONDUCTORS TO BE MADE
WITH 12 IN. RADIUS OR LARGER
- ⊗ K2L-10CS-24 (SEE DETAIL)
- 3/4' X 10' DRIVEN ROD

LYNCOLE		CLIENT / END USER RSB DESIGN / BLUEGRASS CELLULAR	
		DRAWING 1	PROJECT NAME BLUEGRASS - JOHNSON CROSSROADS
TECHNICAL SERVICES		TITLE GROUNDING OPTION	
3547 VOYAGER STREET, SUITE 204 TORRANCE, CA. 90503 (800)962-2610 FAX (310)214-1114 ENGINEERING@LYNCOLE.COM		LOCATION: CITY, STATE CLARKSON, KY	CALCULATED RESISTANCE < 5 OHMS
DRAWN BY PD	APPROVED BY	DATE 03/28/2011	
SOIL DATA PROVIDED BY TERRACON	REFERENCE NUMBER N/A	SCALE NONE	LTS NUMBER 110045



GENERAL ELECTRICAL NOTES:

- 1) CONTRACTOR RESPONSIBLE FOR MAKING ALL ARRANGEMENTS WITH THE LOCAL UTILITIES FOR SERVICE AND FEE PAYMENTS REQUIRED TO OBTAIN SERVICE.
- 2) CONTRACTOR RESPONSIBLE FOR MAKING ALL ARRANGEMENTS WITH THE LOCAL TELEPHONE COMPANY FOR SERVICE AND FEE PAYMENTS REQUIRED TO OBTAIN SERVICE.
- 3) GROUND RING TO BE CONTAINED WITH IN THE COMPOUNDS FENCED AREA.
- 4) FENCE TO BE GROUNDED FROM GROUND RING TO ALL CORNER POST & GATES. SPACE FENCE GROUNDED APPROXIMATELY 20'-0" O/C. (CAD WELD ALL CONNECTIONS)
- 5) ALL GROUND RING CONNECTIONS TO BE AS CLOSE AS POSSIBLE, SHARP BENDS WILL NOT BE PERMITTED AS WELL AS "T" CONNECTIONS. ALL CONNECTIONS TO HAVE A SWEEPING RADIUS OF 8" MINIMUM. GROUNDED CONFIGURATION TO BE IN PARALLEL.
- 6) CONTACT POINTS FOR GROUNDED TO BE CLEANED OF ANY RUST, PAINT, DIRT, ETC. TO CREATE A GOOD BOND FOR CONDUCTOR. AREA THAT HAS BEEN CLEANED TO BE RESEALED TO PREVENT RUSTING.
- 7) PROPERLY GROUND ANY EXPOSED METAL THAT MAY EXIST ON EXTERIOR OF EQUIPMENT SHELTER OR CABINET.
- 8) WHERE GROUND CONDUCTORS REQUIRE MECHANICAL BONDING, STAINLESS STEEL CONNECTORS ARE REQUIRED AT EACH CONNECTING POINT USING LOCK WASHERS.
- 9) CONTRACTOR RESPONSIBLE FOR SEEING THAT UTILITY PERSONNEL MAKE FINAL CONNECTIONS, MAKING SURE THE TOWER ALARM IS CONNECTED AND WORKING. A TELEPHONE NUMBER FOR THE ALARM MUST BE SUPPLIED.
- 10) CONTRACTOR RESPONSIBLE FOR MEG TESTING THE SITE AND SUPPLYING OWNER WITH FINAL READINGS IN OWNERS SPECIFICATIONS.

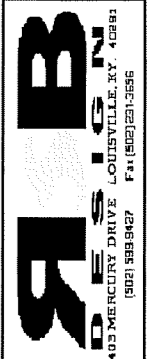
NOTE:
CONTRACTOR TO PROVIDE WARNING TAPE IN ALL POWER & TELCO TRENCHES, 12" ABOVE CONDUIT RUNS, BUT BELOW FINISHED GRADE.

NOTE:
CONTRACTOR TO FOLLOW LYNCOLE'S GROUNDED SPECIFICATIONS WHEN USING THEIR XIT GROUNDED RODS. SEE DETAIL SHEET E-4.

KEYNOTES:

- (L) LYNCOLE XIT GROUNDED ROD TO BE INSTALLED WHERE SHOWN AND TO MANUFACTURERS SPECIFICATIONS. (SEE LYNCOLE SPECIFICATIONS)
- (1) GROUNDED RODS 10'-0" LONG x 3/4" COPPER BONDED GROUNDED RODS
- (2) INSTALL AND PROVIDE SOLID BARE TINNED COPPER WIRE #2 AWG, GROUNDED RING BELOW GRADE 30". USE #2 AWG SOLID BARE TINNED COPPER GROUNDED "TAP" CONNECTING CONDUCTORS. (CONNECTIONS FOR ALL TAP CONDUCTORS TO BE PARALLEL AND "CAD WELD" CONNECTIONS)
- (3) FLEXIBLE GROUNDED STRAP TO BE USED TO PROVIDE A COMMON BOND BETWEEN GATE AND CHAIN LINK FENCE, #2 AWG SOLID COPPER BARE TINNED CONDUCTOR FROM GROUNDED RING TO FENCE USING CAD WELD CONNECTIONS. GROUNDED TAP TO BE PROVIDED ON EACH 4 SIDES TO GROUNDED RING AS DESCRIBED ABOVE.
- (4) BONDED GROUNDED TO BE PROVIDED TO GROUNDED RING FOR EACH OF THE FOLLOWING: BUILDING STEEL, HATCH PLATE, EMERGENCY RECEPTACLE, WAVE GUIDE STRUCTURE, FRAME WORK, BUILDING DISCONNECT.
- (5) FOR TOWER FRAME GROUNDED, REMOVE GALVANIZED COATING COMPLETELY AT SPOT TO "CAD WELD" TO AND CLEAN. #2 AWG SOLID BARE TINNED COPPER CONDUCTOR TO BE CAD WELDED APPROXIMATELY 1'-0" ABOVE FOUNDATION OR AT FLANGE IF PROVIDED BY TOWER MANUFACTURER. EXTEND CONDUCTOR TO GROUNDED RING. RIGHT ANGLES NOT ACCEPTED ALL BENDS TO BE SWEEPING.

SITE PLAN-GROUNDED
SCALE: 3/32" = 1'-0"

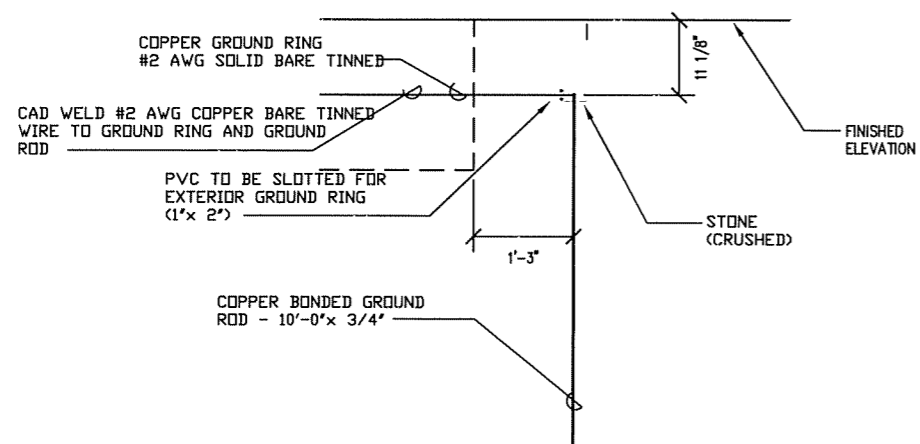


6405 MERCURY DRIVE LOUISVILLE, KY 40290
902 888 8887 Fax 902 888 8888

NO.	DATE	REVISION

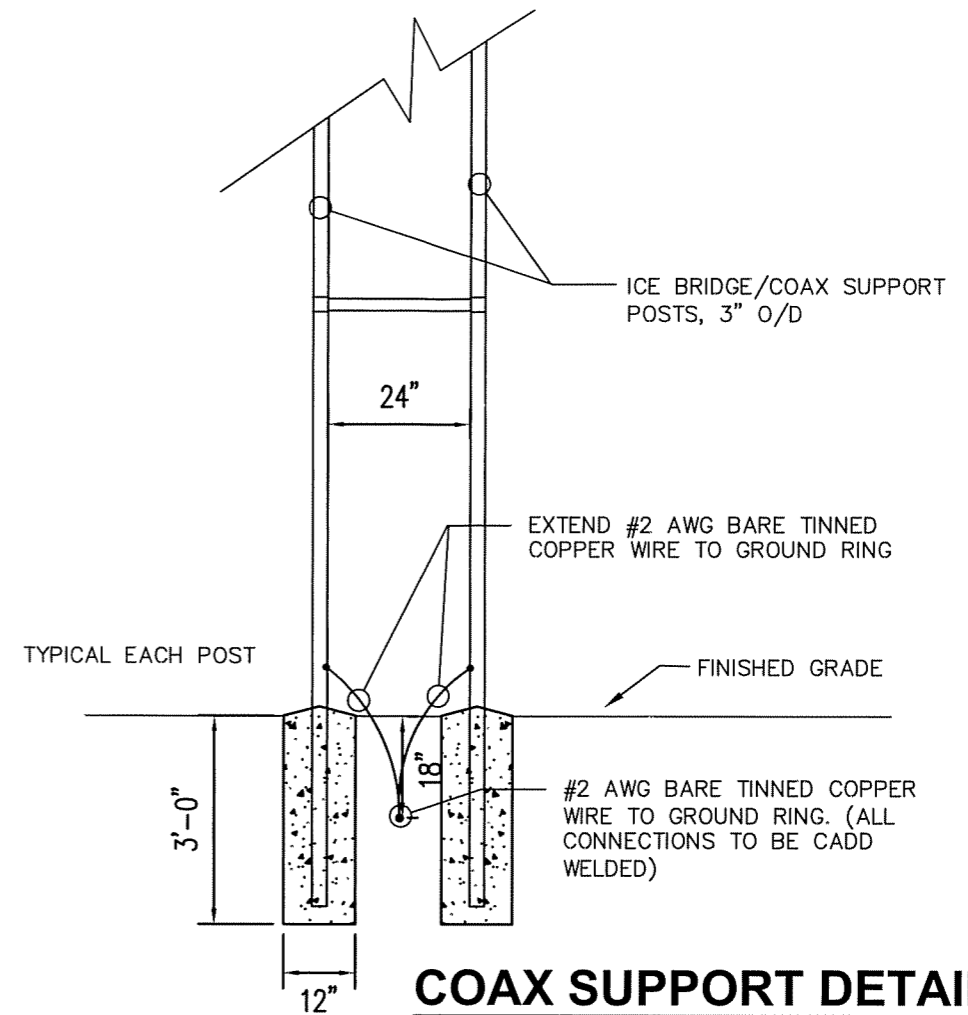
BLUEGRASS CELLULAR, INC.
STANDARD CELLULAR SITE
JOHNSON CROSSROADS
2601 ST. AUGUSTINE RD. CLARKSON, KY. 42726

DRAWN BY: R. BECKER	ISSUE DATE: 3-15-11	SCALE: LISTED
SHEET NUMBER E-3		



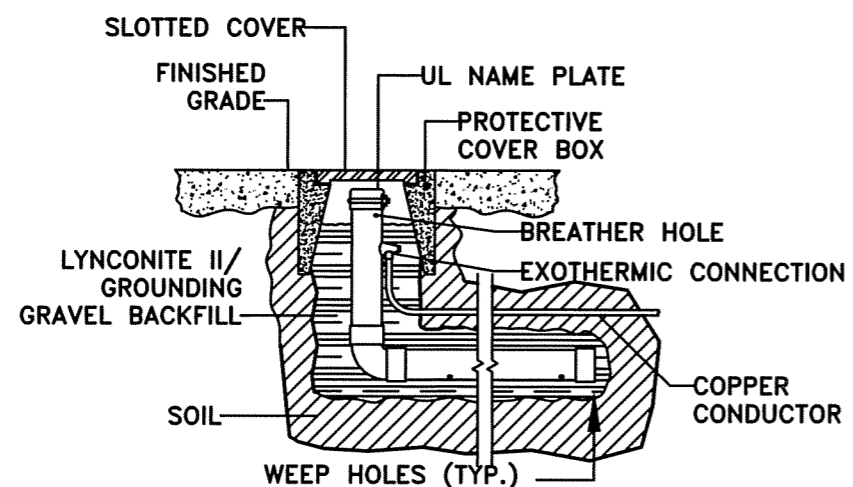
GROUND ROD DETAIL

NO SCALE



COAX SUPPORT DETAIL

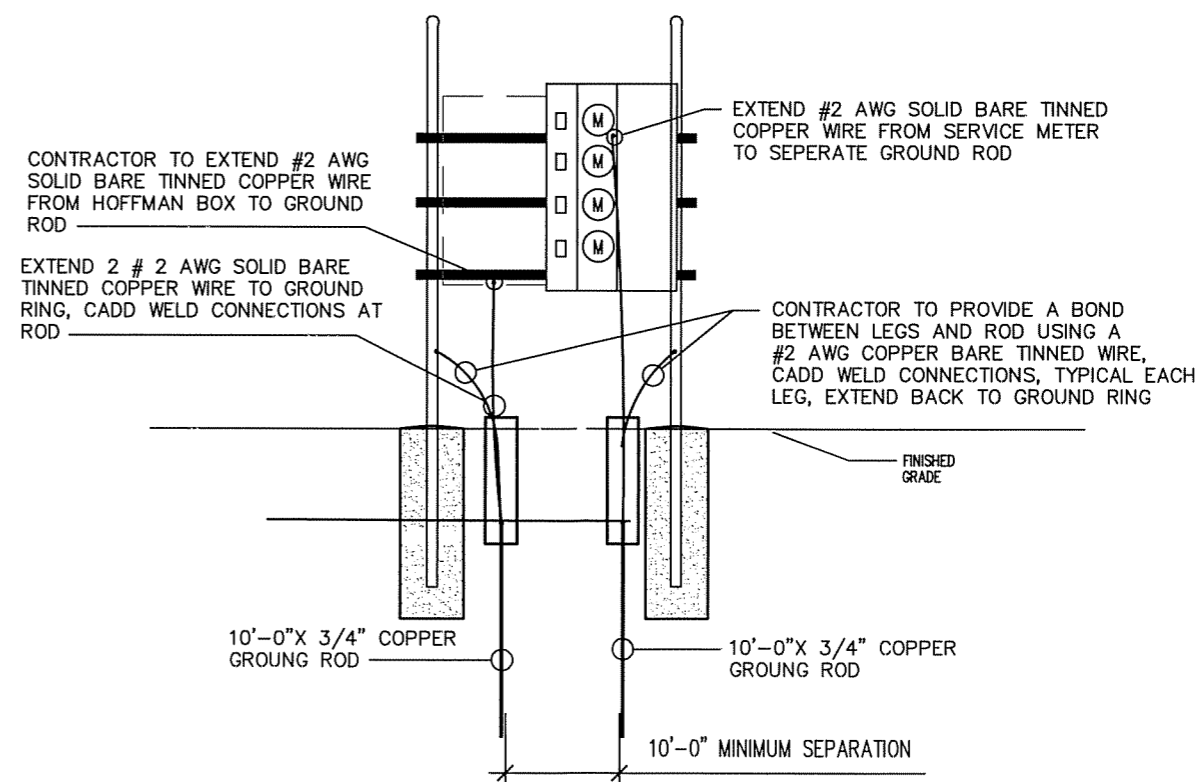
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L-SHAPE MODEL
LYNCOLE XIT GROUNDING
(800) 962-2610

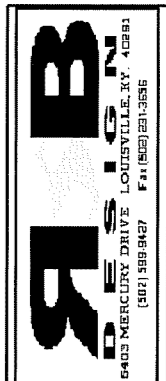
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NO SCALE



SERVICE BOARD DETAIL

NO SCALE

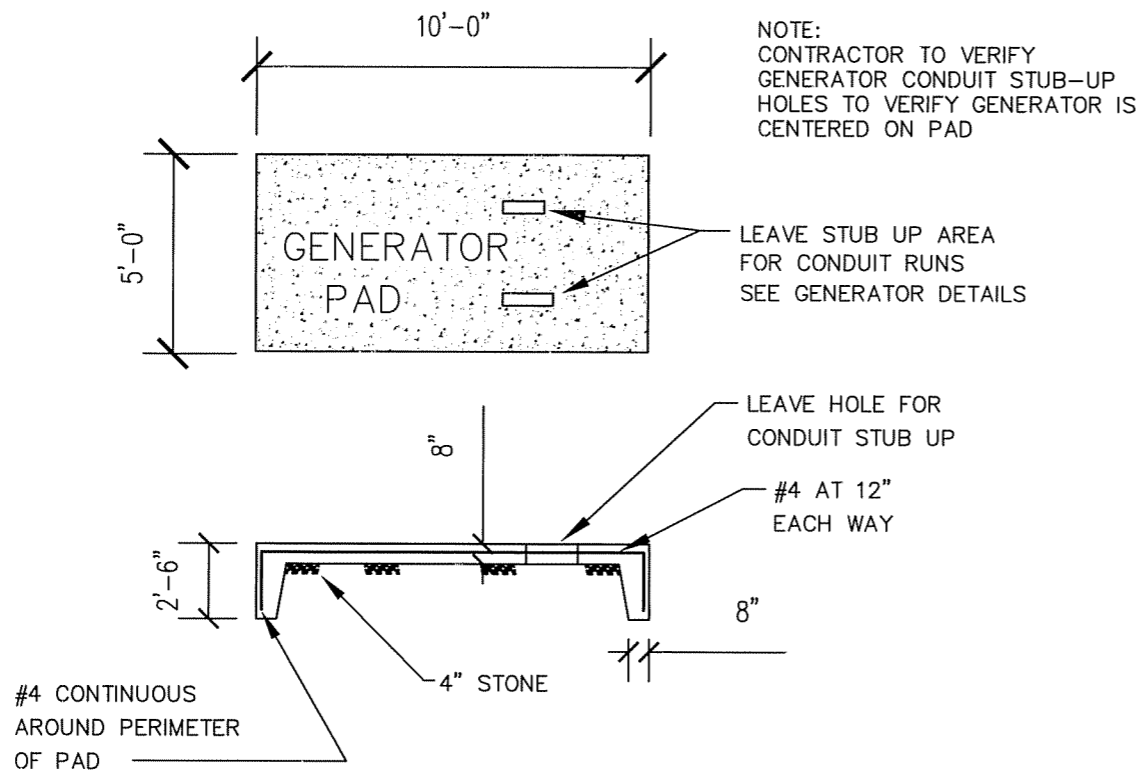


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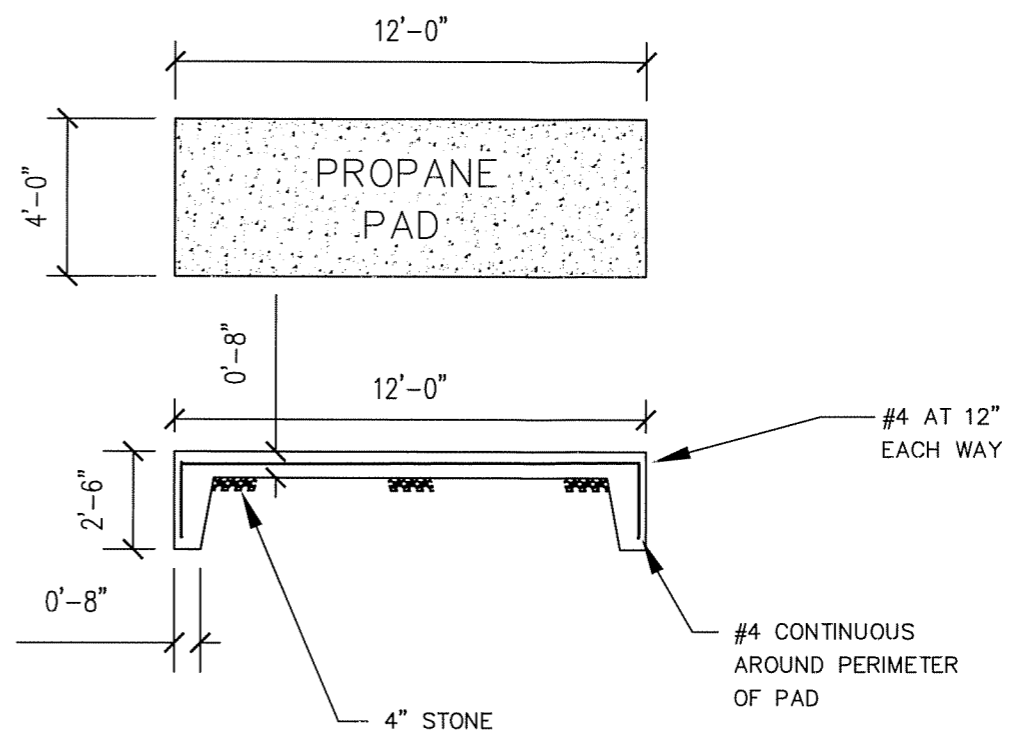
BLUEGRASS CELLULAR, INC.
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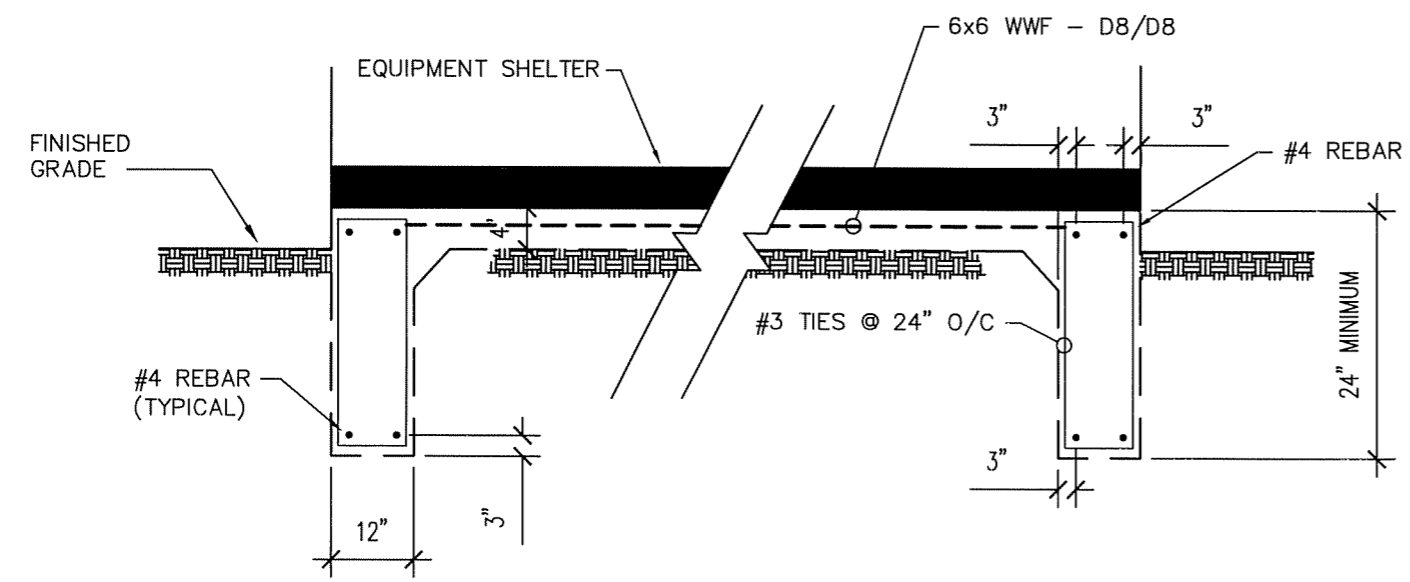
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E-4



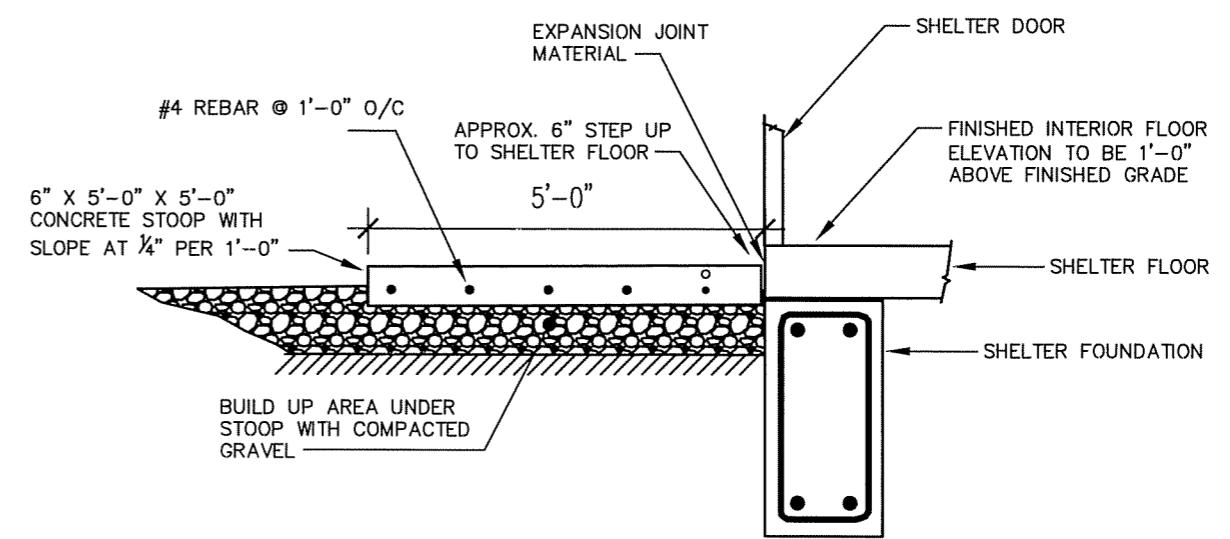
FOUNDATION DETAIL
NO SCALE



FOUNDATION DETAIL
NO SCALE



SHELTER FOUNDATION PLAN
NO SCALE



CONCRETE STOOP DETAIL
NO SCALE

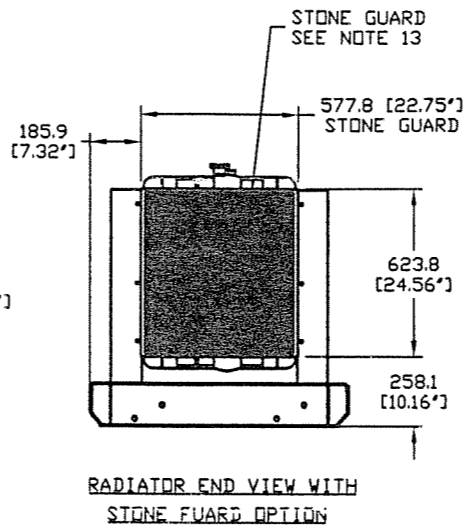
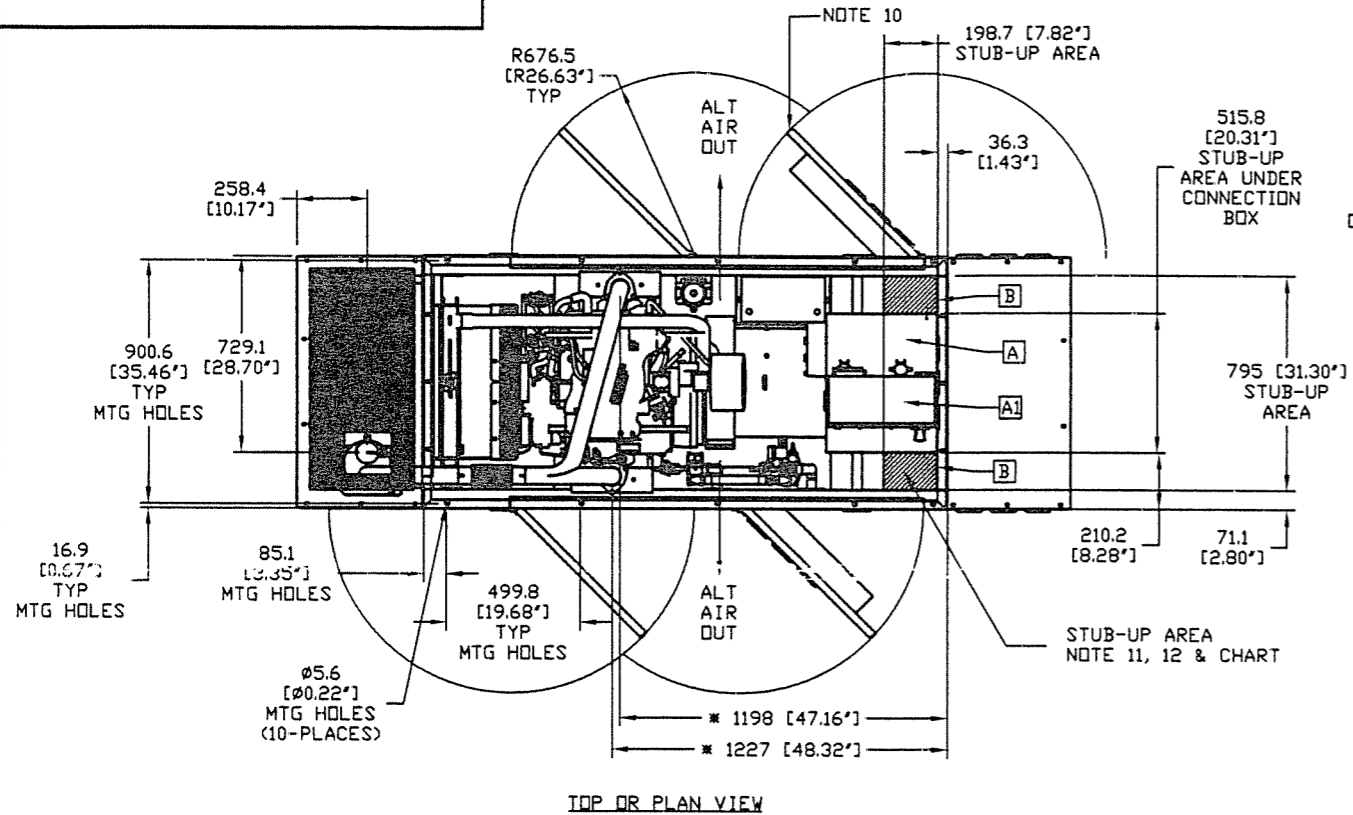
R.B.
REGISTERED PROFESSIONAL ENGINEER
LOUISVILLE, KY. 40299
#4023 MERCURY DRIVE
[502] 985-9427 FAX [502] 251-5556

NO.	DATE	REVISION

BLUEGRASS CELLULAR, INC.
STANDARD CELLULAR SITE
JOHNSON CROSSROADS
2601 ST. AUGUSTINE RD. CLARKSON, KY. 42726

DRAWN BY: R. BECKER	ISSUE DATE: 3-15-11	SCALE: LISTED
SHEET NUMBER		
S-1		

OG7627



RECOMMENDED FUEL/ELECTRICAL STUB-UPS (SEE TOP VIEW)

DESCRIPTION	INSIDE BASE
AC LOAD LEAD CONDUIT (RIGHT) (LEFT)	A A'
ADDITIONAL STUB UP AREA FOR 120VAC GFCI OUTLET, (STANDARD BLOCK HEATER, BATTERY CHARGER, AND OTHER 120 VAC OPTIONS).	B

NOTE:
FUEL SYSTEM SET UP WITH OUTSIDE STUB-UPS (SEE RIGHT SIDE VIEW).

WEIGHT DATA
UNIT: ??? kg [??? lbs.]
STEEL ENCLOSURE: ??? kg [??? lbs.]

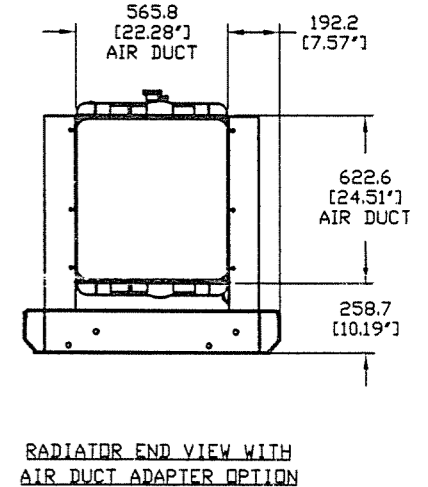
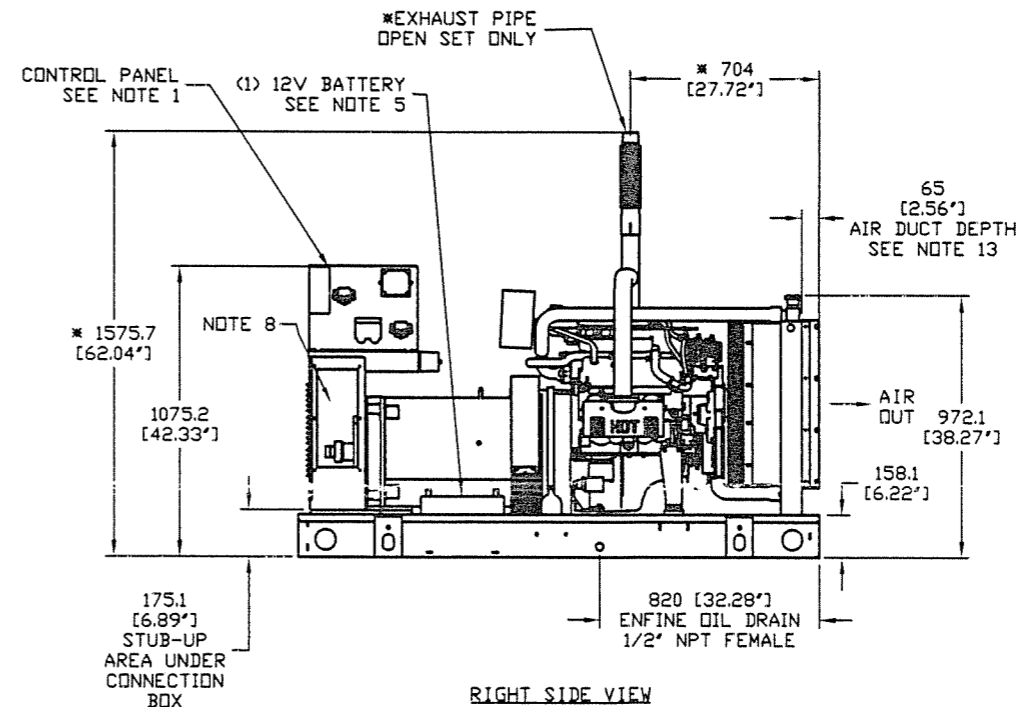
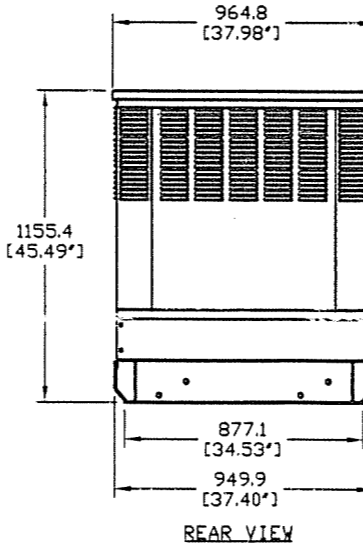
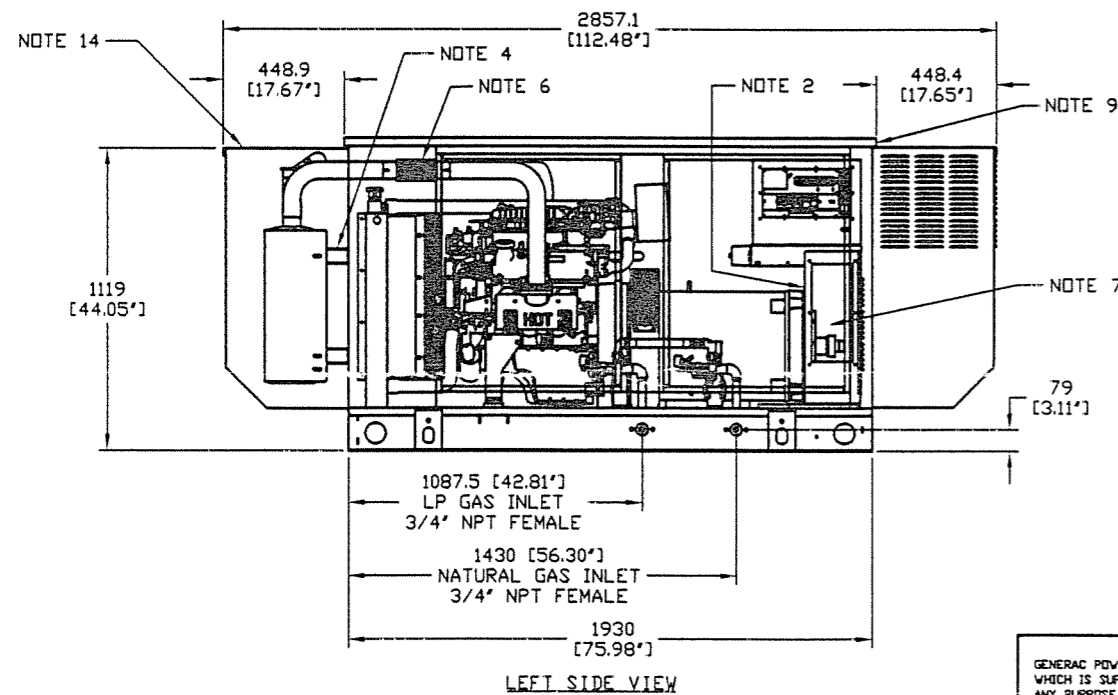
UNITS: mm [INCHES]

ENGINE SERVICE CONNECTIONS

INLET L/P GAS = 3/4" NPT COUPLING
INLET NATURAL GAS = 3/4" NPT COUPLING
OIL DRAIN = 1/2" NPT COUPLING
EXHAUST OUTLET - EXHAUST MANIFOLDS AS SHOWN ON OPEN SET, 3" OD MUFFLER OUTLET WITH ENCLOSURE

NOTES:

- CONTROL PANEL MAY BE ROTATED 180° IN EITHER DIRECTION.
 - STANDARD 20A GFCI DUPLEX OUTLET - 120VAC REQUIRED.
 - CONNECTION POINTS FOR CONTROL WIRES PROVIDED IN AC CONNECTION PANEL.
 - EXHAUST MUFFLER SUPPORT BRACKETS SUPPLIED WITH OPTIONAL ENCLOSURE.
 - 12 VOLT NEGATIVE GROUND SYSTEM.
 - 2.5" I. D. FLEX EXHAUST, STANDARD WITH ENCLOSURE UNITS, OPTIONAL WITHOUT.
 - MAIN LINE CIRCUIT BREAKER (MLCB) AND AC LOAD LEAD CONNECTION.
 - REMOVABLE BLANK PANEL FOR OPTIONAL 2nd MAIN LINE CIRCUIT BREAKER.
 - OPTIONAL ENCLOSURE.
 - DOORS MUST BE ABLE TO OPEN 90 DEG. TO BE REMOVED.
 - STUB-UPS:
STANDARD BASE TANK REQUIRES ALL STUB-UPS TO BE OUTSIDE OR IN THE REAR TANK STUB-UP AREA.
 - A OR A' IS THE STUB UP AREA UNDER THE MLCB, DEPENDING ON CIRCUIT BREAKER LOCATION. AREA B IS STUB UP AVAILABLE FOR UNITS WITH A BASE TANK.
 - STONE GUARD AND AIR DUCT ADAPTER STANDARD WITH OPEN SET ONLY.
 - SEE DRAWING OC3850 FOR DUCT REMOVAL. REMOVAL OF FRONT DUCT WILL PROVIDE ACCESS TO MUFFLER FOR SERVICING.
- *NOTE: DIMENSIONS TO THE CENTER OF EXHAUST FLANGE SHOULD BE USED AS A REFERENCE WHEN EXHAUST SYSTEM IS NOT ORDERED. APPLIES TO OPEN SET ONLY.



APPLICABLE TO 4.5L G3 35, 40 & 45KW

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SG 35, 40, 45 KW (UPSIZED 100 KW)

4.2L DIRECT DRIVE

ACOUSTIC ENCLOSURE

ISSUE DATE: 11/13/07

GENERAC POWER SYSTEMS
Waukesha
P.O. BOX 8
WAUKESHA, WIS. 53187

FILE NAME OG7627-A.DWG SIZE B

SCALE NTS FIRST USE 4.2L G3

DWG NO. REV

OG7627 A

INSTALLATION DRAWING

GENERAL NOTES:

- 1) THE CONTRACTOR IS RESPONSIBLE FOR EQUIPMENT PICK UP DELIVERY TO SITE, ERECTION OF TOWER, AND CRANE SET, ALL COSTS INCURRED.
- 2) THE CONTRACTOR IS RESPONSIBLE FOR VISITING THE SITE PRIOR TO BIDDING AND REVIEWING EXISTING STRUCTURES OR UTILITIES THAT MIGHT BE LOCATED ON OR AROUND THE COMPOUND THAT COULD INTERFERE.
- 3) THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING LOCAL AUTHORITIES NECESSARY FOR INSPECTIONS IF REQUIRED, PLEASE PROVIDE AMPLE NOTICE.
- 4) THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING PERSONS RESPONSIBLE FOR ANY MATERIALS TESTING, PLEASE PROVIDE AMPLE NOTICE.
- 5) THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE OWNER WITH FINAL TEST RESULTS ON ALL MATERIALS TESTING. IF ANY PROBLEMS ARE FOUND PRIOR TO FINAL RESULTS PLEASE NOTIFY A&E OR OWNER IMMEDIATELY.
- 6) THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO ADJOINING PROPERTY, AND REPAIRING OR REPLACING WHAT IS NECESSARY TO OWNERS APPROVAL.
- 7) THE CONTRACTOR IS TO VERIFY DIMENSIONS ON SITE PRIOR TO CONSTRUCTION STARTING, ANY PROBLEMS OR CHANGE FOUND CONTACT A&E OR OWNER TO VERIFY.
- 8) THE CONTRACTOR IS RESPONSIBLE FOR ANY TEMPORARY LIGHTING ON THE TOWER AND CONTACTING PROPER AUTHORITIES IF ANY LIGHTING PROBLEMS OCCUR, ALL FINAL LIGHTING TO BE MOUNTED ON TOWER DURING CONSTRUCTION, NOTIFY OWNER WHEN TOWER HAS REACHED FINAL HEIGHT.
- 9) THE CONTRACTOR IS RESPONSIBLE FOR ALL ON SITE WORK MEANS AND METHODS.
- 10) CONTRACTOR, ANY CONTRACTOR EMPLOYEES OR REPRESENTATIVES, OR SUB-CONTRACTOR, ANY SUB-CONTRACTOR EMPLOYEES OR REPRESENTATIVES, WILL CONFORM TO ALL LAWS AND REGULATIONS APPLICABLE TO THE WORK BEING PERFORMED, INCLUDING BUT NOT LIMITED TO, ALL OCCUPATIONAL SAFETY AND HEALTH ACT ("OSHA") STATUTES AND REGULATIONS AS WELL AS ALL OTHER FEDERAL, STATE AND/OR LOCAL LAWS OR REGULATIONS APPLICABLE TO THE WORK BEING PERFORMED BY CONTRACTOR.
- 11) THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL SITE DRAINAGE, AND PROVIDING SILT AND EROSION CONTROL NECESSARY TO MAINTAIN ANY RUN OFF.
- 12) THE CONTRACTOR IS RESPONSIBLE FOR ALL SEED AND STRAW WORK NECESSARY TO REPAIR DAMAGED AREAS.
- 13) CONTRACTOR TO GRADE SMOOTH OR REPAIR ANY POT HOLES OR DITCHING ON PROPERTY OR ROAD THAT HAS OCCURRED DURING CONSTRUCTION AT CONTRACTORS EXPENSE.
- 14) CONTRACTOR'S RESPONSIBILITIES REGARDING BUILD OUT ON FIBREBOND EQUIPMENT SHELTERS TO INCLUDE:
 - * INSTALLING THE DOOR CANOPY & BOND TO DOOR FRAME
 - * INSTALLING EXTERIOR LIGHT ON WALL DETERMINED BY PROJECT SUPERVISOR AND PHOTOCCELL REQUIREMENTS
 - * INSTALLING INTRUDER ALARMS
 - * CHECK OPERATIONS OF DOOR AND DOOR HARDWARE
 - * ADJUST WEATHERSTRIPPING ON DOORS AS NEEDED
 - * INSPECT ROOF FOR DAMAGE AND POSSIBLE LEAKS
 - * INSPECT INTERIOR FINISH FOR IMPERFECTIONS AND REPAIR AS NEEDED
 - * CHECK OPERATION OF LIGHTS AND ELECTRICAL OUTLETS
 - * INSTALL GUTTER SYSTEM
 - * CHECK OPERATION OF ENVIRONMENTAL CONTROLS AND HVAC UNITS
 - * INSTALL AND PAINT SHELTER TIE-DOWNS TO MATCH
- 15) INSTALL CONCRETE PADS FOR BUILDING, PROPANE TANK, GENERATOR PAD.
- 16) INSTALL ELECTRIC AND GROUND FIELD FOR COMPOUND.

- 17) GC WILL BE RESPONSIBLE FOR ALL CRANE OPERATIONS IN ORDER TO SET FIBREBOND BUILDING. COORDINATE BUILDING DELIVERY DATE THROUGH BLUEGRASS CELLULAR.
- 18) GC WILL BE RESPONSIBLE FOR OFF LOADING AND STACKING OF TOWER WHEN APPLICABLE.
- 19) GC WILL BE RESPONSIBLE FOR MOUNTING ALL LINES AND ANTENNAS.
- 20) GC WILL BE RESPONSIBLE FOR SUPPLYING AND INSTALLING ICE BRIDGE.
- 21) GC WILL BE RESPONSIBLE FOR SCHEDULING PROPANE TANK DELIVERY AND HOOK-UP. PREFERRED SUPPLIERS ARE EMPIRE & AMERIGAS
- 22) GC WILL BE RESPONSIBLE FOR COORDINATING THE CLEANING OF THE INSIDE OF THE BUILDING WITH THE PROJECT SUPERVISOR AFTER THE SITE HAS BEEN TURNED OVER TO THE OPERATIONS DEPARTMENT AND ALL TURN-UP PROCEDURES HAVE BEEN COMPLETED. THIS WILL INCLUDE SUPPLYING A 30 GALLON TRASHCAN, 30 GALLON TRASH BAGS, BROOM, DUST PAN AND DOORMAT FOR BUILDING.
- 23) GC TO VERIFY ALL BLUEGRASS CELLULAR EQUIPMENT DIMENSIONS & SPECIFICATIONS WITH MANUFACTURER'S DRAWINGS, (FIBREBOND, GENERAC, EASTPOINTE ETC.) PRIOR TO CONSTRUCTION. ADDRESS ANY ISSUES WITH PROJECT SUPERVISOR BEFORE WORK BEGINS.
- 24) ALL WAREHOUSE MATERIAL (LINES, ANTENNAS, MOUNTING HARDWARE, GENERATOR, TOWER FOUNDATION KIT, ETC.) WILL NEED TO BE PICKED UP BY GC.
- 25) GC WILL BE RESPONSIBLE FOR SCHEDULING GENERATOR START-UP WITH CONTACT SCOTT ANDERSON (EVAPAR) 502-267-6315
- 26) GC TO LABEL BLUEGRASS CELLULAR METER WITH NAME PLATE ON METER BACKBOARD.
- 27) GC WILL BE RESPONSIBLE FOR INSTALLATION OF ALL FENCING.
- 28) ALL TRASH AND DEBRIS TO BE REMOVED BY GC
- 29) GC WILL BE RESPONSIBLE FOR APPLYING FOR ELECTRICAL SERVICE AND PAYING NECESSARY FEES REQUIRED.
- 30) GC WILL BE RESPONSIBLE FOR SUPPLYING & INSTALLING PROTECTIVE END CAPS ON ANY EXPOSED THREADED ROD OR UNISTRUT USED ON SITE. VERIFY TYPE WITH PROJECT SUPERVISOR PRIOR TO INSTALLATION.
- 31) GC WILL BE RESPONSIBLE FOR HAVING A CERTIFIED ELECTRICIAN HOOK UP THE BATTERIES (IMMEDIATELY) AFTER POWER HAS BEEN TURNED UP AT THE SITE, PREVENTING THE DELAY OF ANY WORK FOR OPERATIONS. THE GENERAL CONTRACTOR MUST NOTIFY THE PROJECT SUPERVISOR IMMEDIATELY AT THIS TIME SO HE CAN COORDINATE A CELL TECH TO BE ONSITE WHEN THIS OCCURS.
- 32) GC WILL BE RESPONSIBLE FOR RUNNING (CAT5) FROM THE GENERATOR ALARM PANEL MOUNTED ON THE SIDE OF THE TRANSFER SWITCH (BY THE CONTRACTOR), THROUGH THE TRANSFER SWITCH AND UP TO THE EXISTING CONDUIT BESIDE THE A/C POWER FAIL RELAY. THE (CAT5) WILL BE PULLED THROUGH EXISTING CONDUIT AROUND THE SHELTER AND EXTENDED TO THE ALARM BLOCK. THERE SHOULD BE A MINIMUM 3'-0" OF (CAT5) LEFT HANGING ON EACH END FOR THE CELL TECH TO HOOK UP THE GENERATOR ALARMS.
- 33) GC MUST SUBMIT A COPY OF THE BUILDING PERMIT AND CONSTRUCTION SCHEDULE TO THE PROJECT SUPERVISOR PRIOR TO RECEIVING (NTP) TO BEGIN CONSTRUCTION (NO EXCEPTIONS).
- 34) GC MUST DISPLAY FCC TOWER REGISTRATION NUMBER AND EMERGENCY PHONE NUMBERS ON 3'-0 X 4'-0" MINIMUM WOODEN BACKBOARD SOMEWHERE ON SITE LOCATION PRIOR TO BREAKING GROUND.









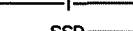
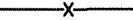





GRADING & EXCAVATING NOTES:

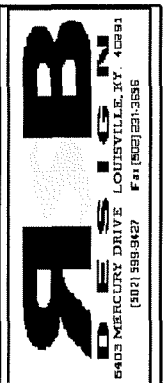
- 1) ANY DAMAGE TO EXISTING UTILITIES, STRUCTURES, ROADS AND PARKING AREAS TO BE REPAIRED OR REPLACED TO OWNERS SATISFACTION.
- 2) PREPARATION FOR FILL: REMOVAL OF ALL DEBRIS, WET AND UNSATISFACTORY SOIL MATERIALS, TOPSOIL, VEGETATION, AND HARMFUL MATERIALS FROM SURFACE OF GROUND PRIOR TO PLOWING, STRIPPING, PLACING FILLS OR BREAKING UP OF SLOPED SURFACES GREATER THAN 1 VERTICAL TO 4 HORIZONTAL SO MATERIAL FOR FILL WILL BOND TO EXISTING SURFACE. WHEN AREA TO RECEIVE FILL HAS A DENSITY LESS THAN REQUIRED, BREAK UP GROUND SURFACE TO DEPTH REQUIRED, AERATE, MOISTURE - CONDITION, OR PULVERIZE SOIL AND RECOMPACT TO REQUIRED DENSITY.
- 3) BACK FILLING:
 - EXCAVATED AREA SHALL BE CLEARED FROM STONES OR CLODS OVER 2 1/2" MAXIMUM DIAMETER
 - SHALL BE PLACED IN LAYERS OF 6" AND COMPACTED TO A 95% STANDARD PROCTOR, USE A 90% PROCTOR IN GRASSED / LANDSCAPED AREAS WHERE REQUIRED.
 - SHALL BE APPROVED MATERIALS CONSISTING OF SANDY CLAY, GRAVEL AND SAND, SOFT SHALE, EARTH OR LOAM. CONSULT WITH OWNER PRIOR TO FILL BEING ADDED.
- 4) ALL MATERIAL FOR FILL TO BE APPROVED BY OWNER AND ALL COMPACTING TEST TO BE COMPLETED TO SPEC'S ALL COMPACTING RESULTS TO BE TURNED OVER TO OWNER.
- 5) AFTER COMPLETION OF BELOW GRADE EXCAVATING, AREA TO BE CLEANED AND CLEARED OF ANY UNSUITABLE MATERIALS, SUCH AS TRASH, DEBRIS, VEGETATION AND SO FORTH.
- 6) ANY EXCAVATING IN WHICH CONCRETE IS TO BE PLACED SHALL BE SUBSTANTIALLY HORIZONTAL ON UNDISTURBED AND UNFROZEN SOIL AND BE FREE OF ANY LOOSE MATERIAL AND EXCESS GROUND WATER.
- 7) IF SOUND SOIL IS NOT REACHED AT DESIGNATED EXCAVATION DEPTH, THE POOR SOIL IS TO BE EXCAVATED TO ITS FULL DEPTH AND EITHER REPLACED WITH MECHANICALLY COMPACTED GRANULAR MATERIAL OR THE EXCAVATION TO BE FILLED WITH THE SAME QUALITY CONCRETE SPECIFIED FOR THE FOUNDATION. PLEASE NOTIFY THE PROJECT SUPERVISOR AND THEY WILL HAVE A 3RD PARTY ENGINEERING FIRM CONTACT YOU WITH RECOMMENDATIONS.
- 8) MECHANICALLY COMPACTED GRANULAR MATERIAL OR CONCRETE OF THE SAME QUALITY SPECIFIED FOR THE FOUNDATIONS TO BE USED IF EXCAVATION EXCEEDED THE OVERALL REQUIRED DEPTH. FOR STABILIZATION OF THE BOTTOM OF THE EXCAVATION, CRUSHED STONE MAY BE USED. STONE, IF USED, SHALL NOT BE USED AS COMPILING CONCRETE THICKNESS. PLEASE NOTIFY THE PROJECT SUPERVISOR AND THEY WILL HAVE A 3RD PARTY ENGINEERING FIRM CONTACT YOU WITH RECOMMENDATIONS.
- 9) EXCAVATION TO COMPOUND TO INCLUDE WEED CONTROL MAT.
- 10) SITE TO HAVE PROPER DRAINAGE & EROSION CONTROL (CROWNED FORMATION)
- 11) GC WILL BE RESPONSIBLE FOR REPAIR OF ALL AREAS DISTURBED DURING CONSTRUCTION. (EXCAVATING ISSUES)

"CALL BEFORE YOU DIG"

THE CONTRACTOR'S ATTENTION IS DIRECTED TO THE UTILITY PROTECTION CENTER, PHONE 811 IN KENTUCKY, WHICH WAS ESTABLISHED TO PROVIDE ACCURATE LOCATIONS OF UNDERGROUND UTILITIES. THE CONTRACTOR SHALL NOTIFY THE UTILITY PROTECTION CENTER 48 HOURS IN ADVANCE OF ANY CONSTRUCTION ON THIS PROJECT. ALL NEW SERVICE AND GROUNDING TRENCHES PROVIDE A WARNING TAPE @ 12 INCHES BELOW GRADE.

SYMBOLS LEGEND

-  KEYNOTE
-  INSPEC. SLEEVE / GRND ROD
-  INSPECTION SLEEVE
-  CAD WELD CONNECTION
-  TRANSFORMER
-  LIGHTNING SUPPRESSOR
-  SWITCH (DISCONNECT)
-  METER PACK
-  POWER
-  GAS LINE
-  WATER LINE
-  SANITARY SEWER
-  TELEPHONE
-  STORM SEWER DRAIN
-  FENCE



REVISION				
DATE				
NO.				

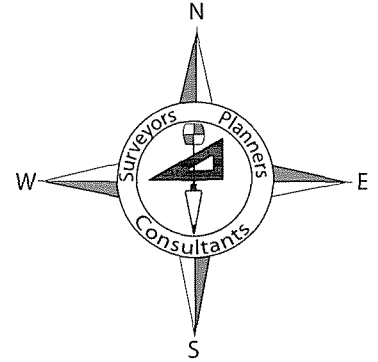
BLUEGRASS CELLULAR, INC.
STANDARD CELLULAR SITE
JOHNSON CROSSROADS
 2601 ST. AUGUSTINE RD. CLARKSON, KY. 42726

DRAWN BY:	R. BECKER
ISSUE DATE:	3-15-11
SCALE:	LISTED

SHEET NUMBER
General Notes

Landmark Surveying Co., Inc.

Darren L. Helms, P.L.S., PRESIDENT
Dennis N. Helms, P.L.S., VICE PRESIDENT



15 N.E. 3rd Street
Washington, Indiana 47501
Phone: 812-257-0950
Fax: 812-257-0953
Email: landmark97@sbcglobal.net

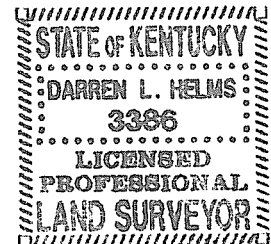
Directions to the Site From the County Seat of Grayson County, Kentucky

Johnson Crossroads Site

From the public square in downtown Leitchfield, Kentucky: travel south on Kentucky Highway 259, passing the Western Kentucky Parkway at 1.0 miles, 7.1 miles in all to Kentucky Highway 226 at Meredith; turn left onto Kentucky Highway 226 and travel east for 1.3 miles to Kentucky Highway 88 at Peonia; turn left onto Kentucky Highway 88 and travel north for 0.8 miles to St. Augustine Road; turn left onto St. Augustine Road and travel west for 250 feet to the tower access lane on the left or south side of the road; turn left onto the lane and travel southwest for 600 feet to the tower site on a wooded ridge in a pasture. The address of the site is 2601 St. Augustine Road, Clarkson, Kentucky 42726.

Darren L. Helms
Darren L. Helms, Kentucky Professional Land Surveyor No. 3386

MARCH 7, 2011
Date



Site Name: Johnson Crossroads

OPTION TO LEASE AND LEASE AGREEMENT

I.

OPTION TO LEASE REAL PROPERTY

THIS OPTION TO LEASE REAL PROPERTY (the "Option Agreement") is made and entered into this 3 day of February 2011, by and between Clyde and Dinah Haycraft, husband and wife, whose address is 5235 Peonia Road, Clarkson, KY 42726 (the "Optionor (s)" and Kentucky RSA 3 Cellular General Partnership, d/b/a Bluegrass Cellular a Kentucky general Partnership with principal office and place of business at 2902 Ring Road, Elizabethtown, KY 42701 (the "Optionee")

WITNESSETH:

WHEREAS, the Optionor(s) is the owner of certain real property located in Grayson County, Kentucky as more particularly described on Exhibit A attached hereto and incorporated herein by reference (the "Property"); and

WHEREAS, the Optionor(s) wishes to grant to the Optionee, and the Optionee wishes to obtain from the Optionor(s), an option to lease the Property upon the terms and conditions set forth herein;

NOW, THEREFORE, in consideration of the foregoing premises and for other good and valuable consideration, the mutuality, receipt and sufficiency of which are hereby acknowledged, the parties hereto do agree as follows.

Site Name: Johnson Crossroads

1. In consideration of **One Thousand Eight Hundred Dollars and Zero Cents (\$1,800.00)** paid by the Optionee to the Optionor(s) (the "Option Consideration"), the receipt of which is hereby acknowledged by the Optionor(s), the Optionor(s) hereby grants to the Optionee an exclusive and irrevocable option to lease the Property (the "Option"), upon the terms and conditions hereinafter set forth, upon the exercise of the Option at any time before 4:00 p.m. prevailing time on 2 February 2012 (the "Option Period") as set forth in Paragraph 5 thereof.
2. The parties hereto anticipate that the Property comprises approximately a **One Hundred Foot by One Hundred Foot** area, and that a right of way will be given by the Optionor(s) for the purposes of ingress and egress throughout the term of the lease. The Optionee shall obtain an accurate survey of the Property by a registered land surveyor licensed in the Commonwealth of Kentucky at the sole expense of the Optionee. A copy of the survey shall be provided to the Optionor(s). The description of the Property shall include the number of acres determined by the surveyor. The Optionee shall obtain said survey within a reasonable time following the date of the Option Agreement.
3. During the term of the Option, the Optionee may enter onto the Property at its own risk to obtain soil samples and to bore soil for the purposes of determining the suitability of the Property for a communications tower.
4. Upon the Optionee's proper exercise of the Option in accordance with Paragraph 5 herof, the Optionor(s) shall be deemed to have immediately executed, acknowledged and delivered to the Optionee the Lease Agreement contained in Section II herof. The description of the Property shall be that determined by the registered land surveyor in accordance with Paragraph 2 herof.

Site Name: Johnson Crossroads

5. If the Optionee elects to exercise the Option in accordance with the terms hereof, notice of such election shall be deemed sufficient if personally delivered or sent by registered or certified mail, return receipt requested, to the address of the Optionor(s) set forth in Paragraph **14** hereof.
6. The Optionor(s) agrees not to sell, lease or offer for sale or lease the Property during the term of this Option or any renewal or extension of the Option.
7. In the event the Optionee fails to exercise the Option as set forth herein (unless such failure is due to the discovery of a defect in the Property or other matter unsatisfactory to the Optionee), the Optionor(s) shall have the right to retain the Option Consideration.
8. The Optionee may assign this Option with written consent of the Optionor(s), which consent shall not be unreasonably withheld, and upon any assignment such assignee shall have all the rights, remedies and obligations as if it were the original Optionee hereunder. From and after any such assignment, the term "Optionee" shall refer to such assignee.
9. Each party hereto shall bear any and all of its own expenses in connection with the negotiation, execution or settlement of this Option.
10. Risk of loss with respect to the Property during the term of this Option and during the term of the lease shall be upon the Optionor(s). If, during the term of the Option, any portion of the Property shall be acquired by public authority under the right or threat of eminent domain, the Optionee may, at its sole option, either (i) exercise the

Site Name: Johnson Crossroads

Option, and in such event, all sums received from the public authority by the Optionor(s) by reason of the taking of a portion of the Property shall reduce the rent due under the lease, or (ii) terminate this Option and thereupon the Optionor(s) shall be obligated to return to the Optionee the full amount of the Option Consideration previously paid to the Optionor(s) in "good and collected funds."

11. The parties hereto represent to each other that neither has engaged any broker to represent their interests in connection with the transactions contemplated hereby, and each agrees to indemnify the other against any and all claims made by any brokers engaged or purported to be engaged by the other for brokerage commissions or fees in connection with the transactions contemplated hereby.
12. The Optionor(s) represents, warrants and covenants to the Optionee that the Optionor(s) has not caused or permitted, and shall not cause or permit, and to the best of Optionor(s)' knowledge no other person has caused or permitted any hazardous material (as defined by any applicable federal, state or local law, rule or regulation) to be brought upon, placed, held, located or disposed of at the Property. In the event any such contamination occurs for which the Optionee becomes legally liable, the Optionor(s) shall indemnify the Optionee against all claims, damages, judgments, penalties and costs and expenses, including reasonable attorneys' fees, which Optionee may incur.
13. This Option Agreement and the rights and obligations of the parties hereto shall be construed in accordance with the laws of the Commonwealth of Kentucky.

Site Name: Johnson Crossroads

14. For the purposes of giving notice as permitted or required herein, the address of the Optionor(s) shall be: 5235 Pconia Road, Clarkson, KY 42726; the Optionee's address shall be: 2902 Ring Road, Elizabethtown, KY 42701. Any inquiry by the Optionor to the Optionee regarding the terms and conditions of the Option Agreement or Lease Agreement, or otherwise related to the Option Agreement or Lease Agreement, shall be made in writing and submitted to the attention of the Optionee's Lease Administrator at the above address.
15. The Optionee shall have the right, in its sole discretion, to record this Option in the Office of the Clerk of the County Court of Grayson County, **Kentucky**.

II.

LEASE AGREEMENT

16. In the event the Optionee elects to exercise the Option to lease the Property, the terms of the Lease Agreement ("Lease Agreement" or "Lease") shall become immediately effective upon such exercise and shall be as follows.
 1. The term of the Lease shall commence on the date that the Optionor(s) receives proper notice that the Optionee has exercised the Option, pursuant to Paragraph 5 therein. The initial term shall expire **five (5) year(s)** from the commencement date of the Lease Agreement and shall include **six (6) additional five (5)-year terms** per the Lease Agreement. Optionee may, by providing written notice at least sixty (60) days prior to the expiration of the original or any renewal Lease term, elect to unilaterally terminate this Lease at the end of any original or renewal Lease term. Such notice must be

Site Name: Johnson Crossroads

personally delivered or sent via registered or certified mail, return receipt requested, to the address of the Optioner(s) set forth in Paragraph 14 hereof. The Lease amount shall be adjusted at the end of each term by an increase of 12%.

2. The Optionee shall pay to the Optionor(s) rent for the Property in the sum of Four Thousand Eight Hundred Dollars and Zero Cents (\$4,800.00) yearly, to be paid in advance. All rent payments shall be personally delivered or mailed to the Optionor(s) at the address set forth in Paragraph 14 hereof. Any check payment of the rent due under the Lease shall be payable to the order of Optionor(s).
3. The Optionee shall be entitled to use and occupy the Property for the purpose of erecting, maintaining and operating a communications tower and communications facilities thereon and for all such other uses as Optionee may, in its sole discretion, deem necessary in connection therewith.
4. The Optionor(s) shall be responsible for the payment of all real estate taxes which shall be assessed against the Property during the term of the lease. The Optionee shall pay all charges for heat, water, gas, electricity, sewer use charges and any other utility used or consumed on the Property. The Optionee shall, at its own cost and expense, maintain and keep in full force and effect during the term of the lease public liability insurance with coverage in the amount of at least one million dollars (\$1,000,000.00) per person for bodily injury, disease, or death and shall maintain property insurance on any property the Optionee located on the Property.

Site Name: Johnson Crossroads

5. The Optionee may assign the lease. The Optionee may sublet all or part of the space on the tower or ground space.
6. The Optionor(s) covenants that upon the Optionee's payment of the rent agreed upon herein, as well as Optionee's observing and performing all of the covenants and conditions contained in the Lease, the Optionee may peacefully and quietly enjoy the Property subject to the terms and conditions set forth in the Lease.
7. The Optionee agrees to maintain an access road in a passable manner for the term of the lease.
8. Optionee's Payment of Taxes, Fees and Assessments. Optionee shall pay directly to the applicable federal, state or local governmental unit or agency ("Governmental Entity") or to Optionor if Optionor is invoiced by such Governmental Entity, all taxes, fees, assessments or other charges assessed by any Governmental Entity directly against Optionee's Equipment and/or Optionee's use of the Facility. Optionee shall also pay to Optionor Optionee's Pro Rata Share of all taxes, fees, assessments or charges including, but not limited to, personal property taxes attributable to Optionee's equipment and antenna(s), municipal franchise fees, use fees, municipal application fees, installation fees and increases thereof. "Pro Rata Share" shall mean the fraction of decimal equivalent of dividing one (1) by the total number of then existing users occupying a tower on the last day of the applicable calendar year.

Site Name: Johnson Crossroads

17. This Option and Lease Agreement contains the entire agreement between the parties hereto and no modification or amendment shall be binding upon any party unless made in writing and signed by each of the parties hereto.
18. Upon the termination or other end of this Lease Agreement, Optionee shall have the right to remove any and all of its property (real or personal) from the Property regardless of whether or not such property may be considered a fixture thereto.
19. Upon abandonment of the property, Optionee shall have thirty (30) days to dismantle and remove the cellular antenna tower and any/all equipment located on Optionor's property.

[Remainder of Page Intentionally Left Blank]

Site Name: Johnson Crossroads

EXECUTION OF AGREEMENT(S)

IN WITNESS WHEREOF, the parties hereto have set their hands and affixed their respective seals.

Clyde Haycraft

Date: 2-1-

Dinah Haycraft

Date: 2/1/11

("Optionor(s)")

By: Clyde Haycraft and Dinah Haycraft
Property Owner(s)

Ron Smith

Date: 2/2/11

("Optionee")

By: Ron Smith
Authorized Representative

STATE OF Mo
COUNTY OF Grayson


The foregoing instrument was acknowledged before me this 1st day of Feb, 2011, by Clyde Haycraft to be his/her free act and deed.

Fatty P. Morrison
NOTARY PUBLIC STATE AT LARGE
My commission expires: 01-30-2014

Site Name: Johnson Crossroads

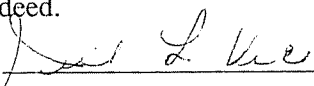
STATE OF Ky
COUNTY OF Lincoln

The foregoing instrument was acknowledged before me this 1st day of Feb,
2011, by Dinah Haycraft to be his/her free act and deed.

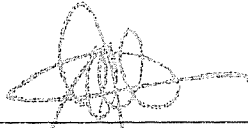

NOTARY PUBLIC STATE AT LARGE
My commission expires: 01-30-2014

STATE OF KENTUCKY
COUNTY OF HARDIN

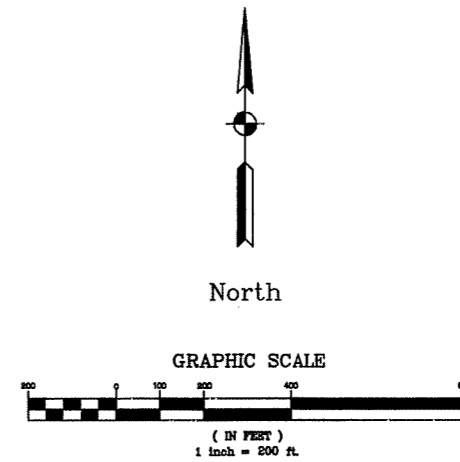
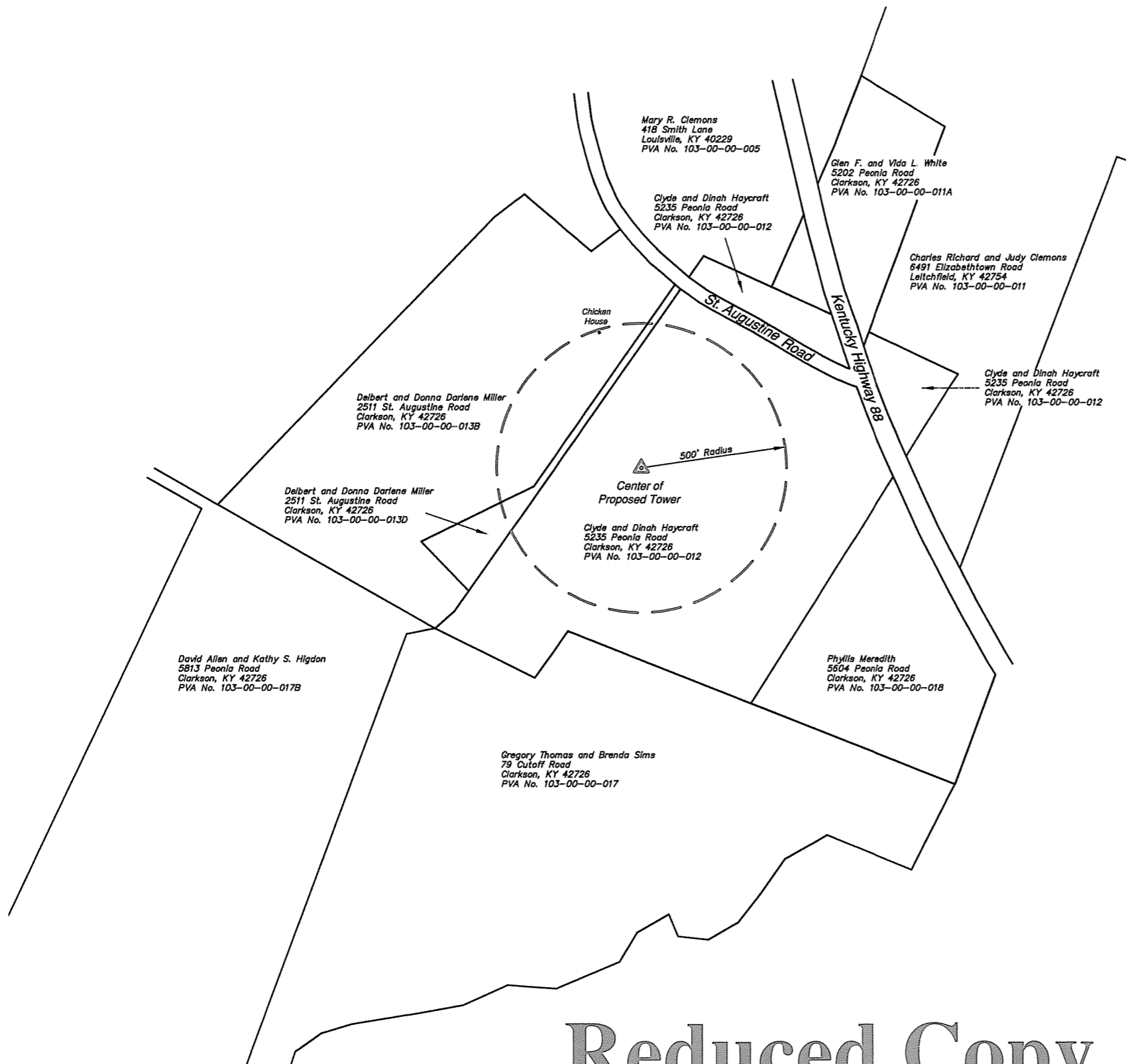
The foregoing instrument was acknowledged before me this 3 day of February,
2011, by **Ron Smith**, to be his free act and deed.


NOTARY PUBLIC STATE AT LARGE
My commission expires: 1-21-13

This instrument prepared by:


John E. Selent
DINSMORE & SHOHL LLP
1400 PNC Plaza
500 West Jefferson Street
Louisville, KY 40202
(502) 540-2300

Site: Johnson Crossroads
500-Foot Radius Map for Structures and Landowners
Grayson County, Kentucky



Note
 The location of the boundaries shown are approximate, and they are based upon aerial photographs and information on file in the office of the Property Valuation Administrator of Grayson County, Kentucky.

Surveyor's Certification
 I hereby certify that the information shown is correct to the best of my knowledge; and it is in accordance with the records found in the office of the Property Valuation Administrator of Grayson County, Kentucky on February 23, 2011.
Darren L. Helms
 Darren L. Helms, P.L.S. 3386
 Date MARCH 7, 2011

STATE OF KENTUCKY
 DARREN L. HELMS
 3386
 LICENSED PROFESSIONAL
 LAND SURVEYOR

Reduced Copy

Landmark Surveying Co., Inc.
 15 N.E. 3rd Street
 Washington, Indiana 47501
 (812) 257-0950
 Email: landmark@landmarksurvey.com
 Project No. 11-02-006
 © 2011

500-Foot Radius Map
 2601 St. Augustine Road
 Clarkson, Kentucky 42726

Bluegrass Cellular
 2902 Ring Road
 Elizabethtown, Kentucky 42701

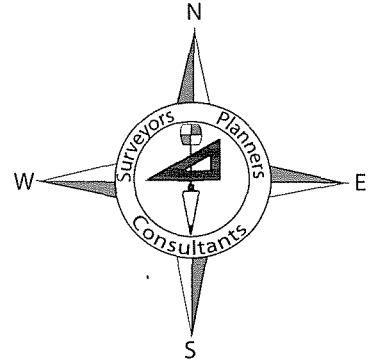
REVISIONS	DATE

DATE 3-07-11	DRAWN BY A. Winkler	CHECKED BY D.L.Helms
-----------------	------------------------	-------------------------

SHEET NO.
 1
 OF 1 SHEETS
 FILE NO.
 johnson-radius.dwg

Landmark Surveying Co., Inc.

Darren L. Helms, P.L.S., PRESIDENT
Dennis N. Helms, P.L.S., VICE PRESIDENT



15 N.E. 3rd Street
Washington, Indiana 47501
Phone: 812-257-0950
Fax: 812-257-0953
Email: landmark97@sbcglobal.net

Landowner and Adjacent Landowner List

Johnson Crossroads Site

Mary R. Clemons
418 Smith Lane
Louisville, KY 40229

Gregory Thomas and Brenda Sims
79 Cutoff Road
Clarkson, KY 42726

Glen F. and Vida L. White
5202 Peonia Road
Clarkson, KY 42726

David Allen and Kathy S. Higdon
5813 Peonia Road
Clarkson, KY 42726

Charles Richard and Judy Clemons
6491 Elizabethtown Road
Leitchfield, KY 42754

Delbert and Donna Darlene Miller
2511 St. Augustine Road
Clarkson, KY 42726

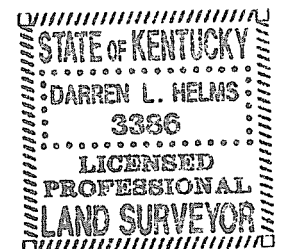
Phyllis Meredith
5604 Peonia Road
Clarkson, KY 42726

Clyde and Dinah Haycraft
5235 Peonia Road
Clarkson, KY 42726

Darren L. Helms

Darren L. Helms, Kentucky Professional Land Surveyor No. 3386

MARCH 7, 2011
Date



March 16, 2011

Mary R. Clemons
418 Smith Lane
Louisville, Kentucky 40229

Public Notice

Kentucky RSA #3 Cellular General Partnership ("Kentucky RSA #3") is a Kentucky general partnership that markets its services as Bluegrass Cellular. Bluegrass Cellular has been serving Central Kentucky with wireless communications services for almost 20 years.

Kentucky RSA #3 is applying to the Public Service Commission of the Commonwealth of Kentucky (the "Commission") for a Certificate of Public Convenience and Necessity to construct a new cell facility to provide cellular telecommunications service in Grayson County. This facility will include a 240-foot tower and an equipment shelter to be located at 2601 St. Augustine Road, Clarkson, Kentucky, 42726. A map showing the location is attached.

The Commission invites your comments regarding this proposed construction. Also, the Commission wants you to be aware of your right to intervene in this matter. Your comments and request for intervention should be addressed to:

**Executive Director's Office
Public Service Commission of the Commonwealth of Kentucky
P.O. Box 615
Frankfort, Kentucky, 40602.**

Please refer to case number 2011-00090 in your correspondence.

Bluegrass Cellular welcomes the opportunity to serve and provide wireless service in your community! (For more information, please check us out online at www.myblueworks.com)

SENDER: COMPLETE THIS SECTION	COMPLETE THIS SECTION ON DELIVERY
<ul style="list-style-type: none">■ Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.■ Print your name and address on the reverse so that we can return the card to you.■ Attach this card to the back of the mailpiece, or on the front if space permits.	A. Signature <input type="checkbox"/> Agent <input checked="" type="checkbox"/> Addressee x <i>Mary R. Clemons</i>
1. Article Addressed to: <i>Mary R. Clemons 418 Smith Lane Louisville, KY 40229</i>	B. Received by (Printed Name) <input type="checkbox"/> Agent <i>MARY R. CLEMONS</i> <input checked="" type="checkbox"/> Addressee C. Date of Delivery <i>3-18-11</i> D. Is delivery address different from item 1? <input type="checkbox"/> Yes If YES, enter delivery address below: <input checked="" type="checkbox"/> No
2. Article Number (Transfer from service label)	3. Service Type <input checked="" type="checkbox"/> Certified Mail <input type="checkbox"/> Express Mail <input type="checkbox"/> Registered <input type="checkbox"/> Return Receipt for Merchandise <input type="checkbox"/> Insured Mail <input type="checkbox"/> C.O.D. 4. Restricted Delivery? (Extra Fee) <input type="checkbox"/> Yes
PS Form 3811, February 2004	7010 1870 0003 6605 1733 Domestic Return Receipt 102595-02-M-1540

March 16, 2011

Glen F. and Vida L. White
5202 Peonia Road
Clarkson, Kentucky 42726

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1. Article Addressed to: <i>Glen F. & Vida L. White 5202 Peonia Rd. Clarkson, KY 42726</i>	D. Is delivery address different from item 1? <input type="checkbox"/> Yes If YES, enter delivery address below: <input type="checkbox"/> No
2. Article Number (Transfer from service label)	3. Service Type <input checked="" type="checkbox"/> Certified Mail <input type="checkbox"/> Express Mail <input type="checkbox"/> Registered <input type="checkbox"/> Return Receipt for Merchandise <input type="checkbox"/> Insured Mail <input type="checkbox"/> C.O.D. 4. Restricted Delivery? (Extra Fee) <input type="checkbox"/> Yes
	7010 1870 0003 6605 1740

March 16, 2011

Charles Richard and Judy Clemons
6491 Elizabethtown Road
Leitchfield, Kentucky 42754

Public Notice

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Public Service Commission of the Commonwealth of Kentucky
P.O. Box 615
Frankfort, Kentucky, 40602.**

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<ul style="list-style-type: none">■ Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.■ Print your name and address on the reverse so that we can return the card to you.■ Attach this card to the back of the mailpiece, or on the front if space permits.	A. Signature <input checked="" type="checkbox"/> <i>Judy Clemons</i> <input type="checkbox"/> Agent <input checked="" type="checkbox"/> Addressee
1. Article Addressed to: <i>Charles Richard + Judy Clemons 6491 Elizabethtown Rd. Leitchfield, KY 42754</i>	B. Received by (Printed Name) C. Date of Delivery <i>Judy Clemons</i>
2. Article Number (Transfer from service label)	D. Is delivery address different from item 1? <input type="checkbox"/> Yes If YES, enter delivery address below: <input checked="" type="checkbox"/> No
PS Form 3811, February 2004	3. Service Type <input checked="" type="checkbox"/> Certified Mail <input type="checkbox"/> Express Mail <input type="checkbox"/> Registered <input type="checkbox"/> Return Receipt for Merchandise <input type="checkbox"/> Insured Mail <input type="checkbox"/> C.O.D. 4. Restricted Delivery? (Extra Fee) <input type="checkbox"/> Yes
	7010 1870 0003 6605 1757 Domestic Return Receipt 102595-02-M-1540

March 16, 2011

Phyllis Meredith
5604 Peonia Road
Clarkson, Kentucky 42726

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Frankfort, Kentucky, 40602.**

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<p>1. Article Addressed to: <i>Phyllis Meredith 5604 Peonia Rd. Clarkson, Kentucky 42726</i></p>	<p>D. Is delivery address different from item 1? <input type="checkbox"/> Yes If YES, enter delivery address below: <input type="checkbox"/> No</p> <p>3. Service Type <input checked="" type="checkbox"/> Certified Mail <input type="checkbox"/> Express Mail <input type="checkbox"/> Registered <input type="checkbox"/> Return Receipt for Merchandise <input type="checkbox"/> Insured Mail <input type="checkbox"/> C.O.D.</p> <p>4. Restricted Delivery? (Extra Fee) <input type="checkbox"/> Yes</p>
<p>2. Article Number (Transfer from service label) <i>7010 1870 0003 6605 1764</i></p>	

March 16, 2011

Gregory Thomas and Brenda Sims
79 Cutoff Road
Clarkson, Kentucky 42726

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Bluegrass Cellular welcomes the opportunity to serve and provide wireless service in your community! (For more information, please check us out online at www.myblueworks.com)

SENDER: COMPLETE THIS SECTION	COMPLETE THIS SECTION ON DELIVERY
<ul style="list-style-type: none">■ Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.■ Print your name and address on the reverse so that we can return the card to you.■ Attach this card to the back of the mailpiece, or on the front if space permits.	<p>A. Signature <input type="checkbox"/> Agent <i>Gregory Sims</i> <input type="checkbox"/> Addressee</p> <p>B. Received by (Printed Name) <input type="checkbox"/> C. Date of Delivery <i>Gregory Sims</i> <i>3-18-11</i></p> <p>D. Is delivery address different from item 1? <input type="checkbox"/> Yes If YES, enter delivery address below: <input type="checkbox"/> No</p>
1. Article Addressed to: <i>Gregory Thomas & Brenda Sims 79 Cutoff Road Clarkson, KY 42726</i>	3. Service Type <input checked="" type="checkbox"/> Certified Mail <input type="checkbox"/> Express Mail <input type="checkbox"/> Registered <input type="checkbox"/> Return Receipt for Merchandise <input type="checkbox"/> Insured Mail <input type="checkbox"/> C.O.D. 4. Restricted Delivery? (Extra Fee) <input type="checkbox"/> Yes
2. Article Number (Transfer from service label)	7010 1870 0003 6603 9267

March 16, 2011

David Allen and Kathy S. Higdon
5813 Peonia Road
Clarkson, Kentucky 42726

Public Notice

Kentucky RSA #3 Cellular General Partnership ("Kentucky RSA #3") is a Kentucky general partnership that markets its services as Bluegrass Cellular. Bluegrass Cellular has been serving Central Kentucky with wireless communications services for almost 20 years.

Kentucky RSA #3 is applying to the Public Service Commission of the Commonwealth of Kentucky (the "Commission") for a Certificate of Public Convenience and Necessity to construct a new cell facility to provide cellular telecommunications service in Grayson County. This facility will include a 240-foot tower and an equipment shelter to be located at 2601 St. Augustine Road, Clarkson, Kentucky, 42726. A map showing the location is attached.

The Commission invites your comments regarding this proposed construction. Also, the Commission wants you to be aware of your right to intervene in this matter. Your comments and request for intervention should be addressed to:

**Executive Director's Office
Public Service Commission of the Commonwealth of Kentucky
P.O. Box 615
Frankfort, Kentucky, 40602.**

Please refer to case number 2011-00090 in your correspondence.

Bluegrass Cellular welcomes the opportunity to serve and provide wireless service in your community! (For more information, please check us out online at www.myblueworks.com)

SENDER: COMPLETE THIS SECTION	COMPLETE THIS SECTION ON DELIVERY
<ul style="list-style-type: none">■ Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.■ Print your name and address on the reverse so that we can return the card to you.■ Attach this card to the back of the mailpiece, or on the front if space permits.	A. Signature <input type="checkbox"/> Agent <input checked="" type="checkbox"/> Addressee
1. Article Addressed to: David Allen & Kathy Higdon 5813 Peonia Rd. Clarkson, KY 42726	B. Received by (Printed Name) Kathy Higdon C. Date of Delivery 3-18-11
2. Article Number (Transfer from service label)	D. Is delivery address different from item 1? <input type="checkbox"/> Yes If YES, enter delivery address below: <input type="checkbox"/> No
PS Form 3811, February 2004	3. Service Type <input checked="" type="checkbox"/> Certified Mail <input type="checkbox"/> Express Mail <input type="checkbox"/> Registered <input type="checkbox"/> Return Receipt for Merchandise <input type="checkbox"/> Insured Mail <input type="checkbox"/> C.O.D. 4. Restricted Delivery? (Extra Fee) <input type="checkbox"/> Yes

7010 1870 0003 6603 9250

March 16, 2011

Delbert and Donna Darlene Miller
2511 St. Augustine Road
Clarkson, Kentucky 42726

Public Notice

Kentucky RSA #3 Cellular General Partnership ("Kentucky RSA #3") is a Kentucky general partnership that markets its services as Bluegrass Cellular. Bluegrass Cellular has been serving Central Kentucky with wireless communications services for almost 20 years.

Kentucky RSA #3 is applying to the Public Service Commission of the Commonwealth of Kentucky (the "Commission") for a Certificate of Public Convenience and Necessity to construct a new cell facility to provide cellular telecommunications service in Grayson County. This facility will include a 240-foot tower and an equipment shelter to be located at 2601 St. Augustine Road, Clarkson, Kentucky, 42726. A map showing the location is attached.

The Commission invites your comments regarding this proposed construction. Also, the Commission wants you to be aware of your right to intervene in this matter. Your comments and request for intervention should be addressed to:

**Executive Director's Office
Public Service Commission of the Commonwealth of Kentucky
P.O. Box 615
Frankfort, Kentucky, 40602.**

Please refer to case number 2011-00090 in your correspondence.

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SENDER: COMPLETE THIS SECTION	COMPLETE THIS SECTION ON DELIVERY	
<ul style="list-style-type: none"> ■ Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired. ■ Print your name and address on the reverse so that we can return the card to you. ■ Attach this card to the back of the mailpiece, or on the front if space permits. 	A. Signature <input checked="" type="checkbox"/> <i>Donna Miller</i> <input type="checkbox"/> Agent <input type="checkbox"/> Addressee	
1. Article Addressed to: <i>Delbert & Donna Darlene Miller 2511 St. Augustine Rd. Clarkson, KY 42726</i>	B. Received by (Printed Name) <i>Darlene Miller</i>	C. Date of Delivery <i>3-18-11</i>
2. Article Number (Transfer from service label)	D. Is delivery address different from item 1? <input type="checkbox"/> Yes If YES, enter delivery address below: <input type="checkbox"/> No 3. Service Type <input checked="" type="checkbox"/> Certified Mail <input type="checkbox"/> Express Mail <input type="checkbox"/> Registered <input type="checkbox"/> Return Receipt for Merchandise <input type="checkbox"/> Insured Mail <input type="checkbox"/> C.O.D. 4. Restricted Delivery? (Extra Fee) <input type="checkbox"/> Yes	
7009 3410 0000 3562 7016		

March 16, 2011

Clyde and Dinah Haycraft
5235 Peonia Road
Clarkson, Kentucky 42726

Public Notice

Kentucky RSA #3 Cellular General Partnership ("Kentucky RSA #3") is a Kentucky general partnership that markets its services as Bluegrass Cellular. Bluegrass Cellular has been serving Central Kentucky with wireless communications services for almost 20 years.

Kentucky RSA #3 is applying to the Public Service Commission of the Commonwealth of Kentucky (the "Commission") for a Certificate of Public Convenience and Necessity to construct a new cell facility to provide cellular telecommunications service in Grayson County. This facility will include a 240-foot tower and an equipment shelter to be located at 2601 St. Augustine Road, Clarkson, Kentucky, 42726. A map showing the location is attached.

The Commission invites your comments regarding this proposed construction. Also, the Commission wants you to be aware of your right to intervene in this matter. Your comments and request for intervention should be addressed to:

**Executive Director's Office
Public Service Commission of the Commonwealth of Kentucky
P.O. Box 615
Frankfort, Kentucky, 40602.**

Please refer to case number 2011-00090 in your correspondence.

Bluegrass Cellular welcomes the opportunity to serve and provide wireless service in your community! (For more information, please check us out online at www.myblueworks.com)

SENDER: COMPLETE THIS SECTION	COMPLETE THIS SECTION ON DELIVERY
<ul style="list-style-type: none">■ Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.■ Print your name and address on the reverse so that we can return the card to you.■ Attach this card to the back of the mailpiece, or on the front if space permits.	<p>A. Signature <input checked="" type="checkbox"/> <i>Dinah Haycraft</i> <input type="checkbox"/> Agent <input type="checkbox"/> Addressee</p> <p>B. Received by (Printed Name) <i>Dinah Haycraft</i></p> <p>C. Date of Delivery <i>3/17/11</i></p> <p>D. Is delivery address different from item 1? <input type="checkbox"/> Yes If YES, enter delivery address below: <input type="checkbox"/> No</p>
1. Article Addressed to: <i>Clyde & Dinah Haycraft 5235 Peonia Rd. Clarkson, KY 42726</i>	3. Service Type <input checked="" type="checkbox"/> Certified Mail <input type="checkbox"/> Express Mail <input type="checkbox"/> Registered <input type="checkbox"/> Return Receipt for Merchandise <input checked="" type="checkbox"/> Insured Mail <input type="checkbox"/> C.O.D. <p>4. Restricted Delivery? (Extra Fee) <input type="checkbox"/> Yes</p>
2. Article Number (Transfer from service label)	7009 3410 0000 3562 7009

Dinsmore & Shohl LLP
ATTORNEYS

Kerry W. Ingle
(502) 540-2354 (Direct Dial)
kerry.ingle@dinslaw.com

March 17, 2011

Via Certified Mail

Gary Logsdon
Grayson County Judge Executive
10 Public Square
Leitchfield, Kentucky 42754

RE: Application of Kentucky RSA #3 Cellular General Partnership d/b/a Bluegrass Cellular for a Certificate of Public Convenience and Necessity to construct a cellular tower to be located at 2601 St. Augustine Road, Clarkson, Grayson County, Kentucky, 42726, before the Public Service Commission of the Commonwealth of Kentucky, Case No. 2011-00090

Dear Judge Logsdon:

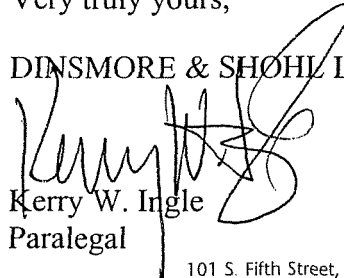
Kentucky RSA #3 Cellular General Partnership ("Kentucky RSA #3") is a Kentucky General Partnership that markets its services as Bluegrass Cellular. Kentucky RSA #3 is applying to the Public Service Commission of the Commonwealth of Kentucky (the Commission") for a Certificate of Public Convenience and Necessity to propose construction and operation for a new facility to provide cellular telecommunications service in rural service area (RSA) #3 in Butler County. The facility will include a 240 ft. tower and an equipment shelter to be located at 2601 St. Augustine Road, Clarkson, Kentucky, 42726. A map showing the location of the proposed new facility is enclosed.

The Commission invites your comments regarding the proposed construction. You also have the right to intervene in this matter.

Your comments and request for intervention should be addressed to: Executive Director's Office, Public Service Commission of the Commonwealth of Kentucky, P.O. Box 615, Frankfort, Kentucky 40602. Please refer to case number 2011-00090 in your correspondence.

Very truly yours,

DINSMORE & SHOHL LLP


Kerry W. Ingle
Paralegal

838519v1

101 S. Fifth Street, Suite 2500 Louisville, KY 40202-3175
502.581.8000 502.581.8111 fax www.dinslaw.com

SENDER: COMPLETE THIS SECTION

COMPLETE THIS SECTION ON DELIVERY

- Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

A. Signature
 X *Carolyn Newton* Agent
 Addressee

B. Received by (Printed Name) *CAROLYN NEWTON* C. Date of Delivery *3-23-11*

D. Is delivery address different from item 1? Yes
 If YES, enter delivery address below: No

1. Article Addressed to:

*Gary Logsdon
 Grayson County Judge Executive
 10 Public Square
 Leitchfield, KY 42754*

3. Service Type
 Certified Mail Express Mail
 Registered Return Receipt for Merchandise
 Insured Mail C.O.D.

4. Restricted Delivery? (Extra Fee) Yes

2. Article Number
 (Transfer from service label)

7010 1870 0003 0714 7266

PUBLIC NOTICE

**Kentucky RSA #3 Cellular
General Partnership proposes
to construct a cellular
communications**

TOWER

**on this site. If you have any
questions please contact:**

**Kentucky RSA #3 Cellular
General Partnership
P. O. Box 5612
2902 Ring Road
Ehrhardtstown, KY 42701**

**Executive Director,
The Public Service Commission
201 Sower Boulevard
P. O. Box 605
Frankfort, KY 40602**

**Please refer to P.S.C.
Case #2011-00090
in your correspondence.**

PUBLIC NOTICE

Kentucky RSA #3 Cellular
General Partnership proposes
to construct a cellular
communications

TOWER

near this site. If you have any
questions please contact:

Kentucky RSA #3 Cellular
General Partnership
P.O. Box 5012
2902 Ding Road
Etrabetsville, KY 42701

Executive Director,
The Public Service Commission
211 South Boulevard
P.O. Box 915
Frankfort, KY 40602

Please refer to P.S.C.
Case #2011-00090
in your correspondence.

PUBLIC NOTICE

Restoring Wet and Upland
General Planting Program
to construct a single
tower structure.

TOWER

On this site if you have any
questions please contact:

David M. Jones	Project Director
601-261-1111	601-261-1111
601-261-1111	601-261-1111
601-261-1111	601-261-1111

Please refer to P.S.C.
Case #2011-00090
in your correspondence.



Affidavit of Advertising

The following newspaper, Grayson County News-Gazette agrees the scheduled Advertising was published in the 3/26& 3/30 edition of the Grayson County News-Gazette.

CLIENT: Dinsmore & Shohl, LLP

Day/Date of Distribution:

3/26/11 & 3/30/11

Zip Codes and/or zones distributed:

42754,42755,42726,42721,42712,40119

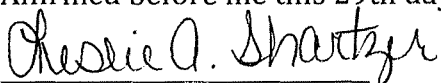
AFFIDAVIT COMPLETED:

Date:3/30/2010 By: Leslie A. Shartzler

Title: Administration

NOTARY INFORMATION:

Affirmed before me this 29th day of November



(Signature)

My commission expires:4/28/2012

NOTARY STAMP:

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3. E-mail: gclassifieds@gcnewsgazette.com
4. Stop by: 40 Public Square
5. Mail: P.O. Box 305, Leitchfield, KY 42755

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2 p.m. Monday
Saturday's paper @
2 p.m. Thursday

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3000 Real Estate Sales Houses For Sale

Trailer #1 For Rent: \$300 mth. Stove & fridge furnished. Deposit & reference required. 879-9128. 3 bdrm. \$325 mth.

Land (Acreage)

Grayson Co. Saltsman Dr. off Blount Rd. 3 acres county water, elect., mobile homes ok, \$7,500. Call 502-361-9970.

3500 Real Estate Rentals

Apartments/ Townhouses

For Rent:
2 bedroom, 1 1/2 bath townhouse. Stove, Refrigerator, Dishwasher. Furnished, Washer/Dryer connections, total electric. Pets under 30 lbs. Allowed call 259-2149 until 4:00 p.m. or 259-5098 after 4:00 p.m.

In LEITCHFIELD - SPECIAL PRICE RENT on Kelly Street-2 bedroom, 1 1/2 bath townhouses with washer & dryer hook-up, stove, refrigerator, dishwasher furnished. Insulated doors & windows. On KU. Call for details 270-259-3114.

Houses For Rent

Embry's Rentals
Homes for rent. 259-3856 or 589-0617.

2 bedroom home in Leitchfield close to businesses, central h/a, fridge, stove, compact washer/dryer included. On K.U. No pets \$400 month. \$300 deposit, call 270-589-1430.

Want to Rent

For Rent:
2 Bedroom 1 Bath Duplex. Stove & Refrigerator. Furnished. Total electric on K.U. Pets under 30 lbs. Allowed. Call 259-2149 until 4:00 p.m. or 259-5098 after 4:00 p.m.

NOW ACCEPTING APPLICATIONS

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DUPLEX**
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Apartments**
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washer/dryer
included
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\$450/month • \$400 deposit
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6000
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Tues-Fri
For application information

**FIND A JOB
OR A NEW
CAREER
IN THE
CLASSIFIEDS**

NOTICE
Kentucky RSA #3 Cellular General Partnership is applying to the Public Service Commission of Kentucky for a Certificate of Public Convenience and Necessity to construct and operate a new facility to provide cellular telecommunications service in rural service area #3 of the Commonwealth of Kentucky (Johnson Crossroads Cell Site). The facility will include a 240 foot tower and an equipment shelter to be located at 2601 St. Augustine Road, Clarkson, Kentucky, 42726. Your comments and requests for intervention should be addressed to: Executive Director's Office, Public Service Commission of the Commonwealth of Kentucky, Post Office Box 615, 211 Sower Boulevard, Frankfort, Kentucky 40602. Please refer to Case No. 2011-00090 in your correspondence.

183099

News & Family
 Missy Mudd — mmudd@gcnwsgazette.com
News & Databook
 Theresa Armstrong — tarmstrong@gcnwsgazette.com
Sports, Obituaries and Church News
 dhw@gnw@gcnwsgazette.com

Hours of Operation
 Monday through Friday 8:00-5:00

\$26 annually.

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Real Estate
 Rentals

Apartments/ Townhouses

For Rent:

2 bedroom, 1 1/2 bath townhouse. Stove, Refrigerator, Dishwasher Furnished, Washer/Dryer connections, total electric. Pets under 30 lbs. Allowed call 259-2149 until 4:00 p.m. or 259-5098 after 4:00 p.m.

In Leitchfield 3 bedroom apt. for rent 1 1/2 bath no pets. HWY 62 call 270-792-8155 or 270-230-0027

CEDAR RIDGE HOMES

For Rent: Apt. and Homes, 2 and 3 Bdrm. Apts., and 3 Bdrm., 2 Bath Homes all in L-field area. Rent To Own Available. Call 589-2151, 589-7132, 589-0927.

Embry's Rentals

Homes for rent. 259-3856 or 589-0617.

Houses for Rent

2 bedroom home in Leitchfield close to businesses, central h/a, fridge, stove, compact washer/dryer included. On K.U. No pets. \$400 month, \$300 deposit, call 270-589-1430.

ROUGH RIVER HOUSE FOR RENT

"New" 3 bedroom, 2 bath, access to lake. \$650.00 call 502-419-7554

SHOP CLASSIFIED

Want to Rent

For Rent:

2 Bedroom 1 Bath Duplex. Stove & Refrigerator Furnished. Total electric on K.U. Pets under 30 lbs. Allowed. Call 259-2149 until 4:00 p.m. or 259-5098 after 4:00 p.m.

For Rent

2 bedroom trailer in the country, with stove, fridge, and well water. Pet restrictions. \$240.00 month. phone (270) 242-7429.

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Tri-Axle Dump Truck Driver with 5 years experience
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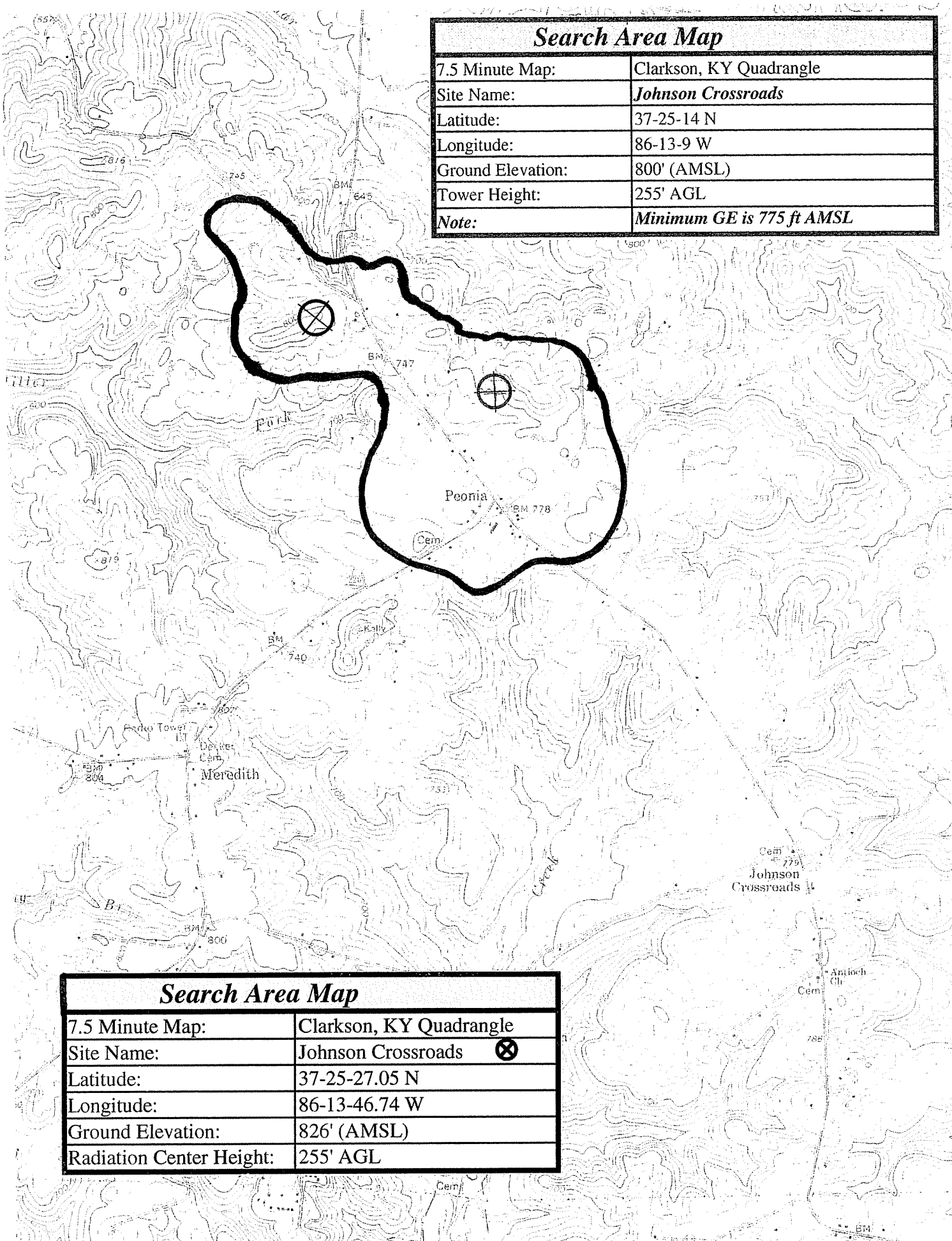
2137 Glen Lily Road
 Bowling Green, KY 42101
www.stewartfrichey.com EOE

SHOP CLASSIFIED

NOTICE

Kentucky RSA #3 Cellular General Partnership is applying to the Public Service Commission of Kentucky for a Certificate of Public Convenience and Necessity to construct and operate a new facility to provide cellular telecommunications service in rural service area #3 of the Commonwealth of Kentucky (Johnson Crossroads Cell Site). The facility will include a 240 foot tower and an equipment shelter to be located at 2601 St. Augustine Road, Clarkson, Kentucky, 42726. Your comments and requests for intervention should be addressed to: Executive Director's Office, Public Service Commission of the Commonwealth of Kentucky, Post Office Box 615, 211 Sower Boulevard, Frankfort, Kentucky 40602. Please refer to Case No. 2011-00090 in your correspondence.


183099





Search Area Map	
7.5 Minute Map:	Clarkson, KY Quadrangle
Site Name:	Johnson Crossroads
Latitude:	37-25-14 N
Longitude:	86-13-9 W
Ground Elevation:	800' (AMSL)
Tower Height:	255' AGL
Note:	Minimum GE is 775 ft AMSL

Search Area Map	
7.5 Minute Map:	Clarkson, KY Quadrangle
Site Name:	Johnson Crossroads ⊗
Latitude:	37-25-27.05 N
Longitude:	86-13-46.74 W
Ground Elevation:	826' (AMSL)
Radiation Center Height:	255' AGL

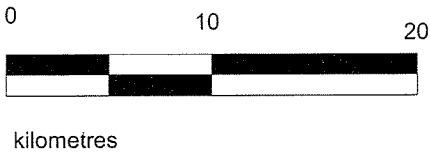
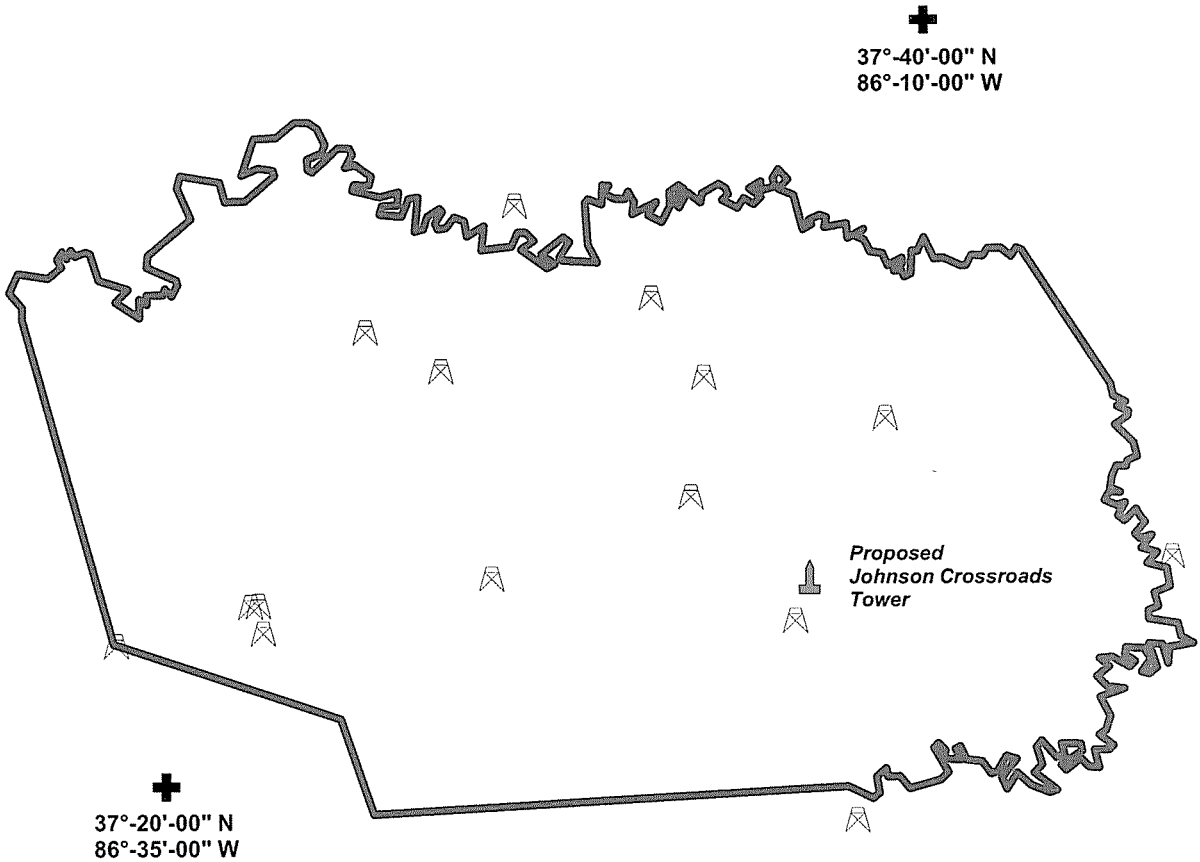
— Grayson County Boundary

 Wireless Tower Locations Registered with the FCC

 Proposed Tower Location

 Tick Marks

Prepared By: LNSG Engineering 3/18/2011



***Information on Towers Registered with the FCC
in Grayson County and 1/2 Mile Area Outside of the County Boundary***

FCC Tower Reg. No.	North Latitude	West Longitude	City, State	Tower Owner
1043035	37-24-41	86-32-12	Caneyville, KY	KENTUCKY RSA 3 CELLULAR GENERAL PARTNERSHIP DBA = BLUEGRASS CELLULAR
1043037	37-27-33	86-17-41	Leitchfield, KY	KENTUCKY RSA 3 CELLULAR GENERAL PARTNERSHIP DBA = BLUEGRASS CELLULAR
1043268	37-30-40	86-17-15	Leitchfield, KY	HERITAGE MEDIA OF KENTUCKY INC
1043431	37-24-42.6	86-31-56.6	Caneyville, KY	NEW CINGULAR WIRELESS PCS, LLC
1044618	37-23-59	86-31-47	Caneyville, KY	KENTUCKY UTILITIES COMPANY
1052138	37-25-58	86-01-49	Millerstown, KY	FM 90.1, INC.
1217206	37-29-36	86-11-16.5	Clarkson, KY	Crown Communication Inc.
1217214	37-25-24.5	86-24-14.9	Millwood, KY	Crown Communication Inc.
1217219	37-23-39.9	86-36-37.8	Morgantown, KY	Crown Communication Inc.
1235514	37-19-5.4	86-12-12.3	Mammoth Cave, KY	Powertel/Memphis, Inc.
1244902	37-31-51.2	86-28-23.9	Short Creek, KY	NEW CINGULAR WIRELESS PCS, LLC
1250554	37-24-17.9	86-14-14.4	Clarkson, KY	Tennessee Valley Authority
1258451	37-32-44.1	86-18-58.4	Leitchfield, KY	KENTUCKY RSA 3 CELLULAR GENERAL PARTNERSHIP DBA = BLUEGRASS CELLULAR
1268314	37-30-50	86-25-54.6	Leitchfield, KY	Mobilitie Investments II, LLC
1268315	37-35-8.1	86-23-28.8	Leitchfield, KY	Mobilitie Investments II, LLC