COMMONWEALTH OF KENTUCKY

RECEIVED

BEFORE THE PUBLIC SERVICE COMMISSION

MAR 1 8 2011

PUBLIC SERVICE COMMISSION

In the Matter of:

APPLICATION OF KENTUCKY RSA #4 CELLULAR GENERAL PARTNERSHIP FOR ISSUANCE OF A CERTIFICATE OF PUBLIC CONVENIENCE AND NECESSITY TO CONSTRUCT A CELL SITE (MARION WEST) IN RURAL SERVICE AREA #4 (MARION) OF THE COMMONWEALTH OF KENTUCKY

CASE NO. 2011-00011

APPLICATION FOR A CERTIFICATE OF PUBLIC CONVENIENCE AND NECESSITY (MARION WEST)

Kentucky RSA #4 Cellular General Partnership ("Kentucky RSA #4"), through counsel, pursuant to KRS 278.020 and 278.040 and 807 KAR 5:063, hereby submits this application for a certificate of public convenience and necessity to construct and operate a new 240 foot cell tower facility to provide cellular telephone service to be known as the Marion West cell site in and for rural service area ("RSA") #4 of the Commonwealth of Kentucky, namely the counties of Anderson, Green, Hardin, Larue, Marion, Mercer, Nelson, Spencer, Taylor and Washington, Kentucky. The proposed cell tower facility will be located at 883 Howardstown Road, Raywick, Kentucky, 40060.

1. Pursuant to the FCC Order, Docket No. 08-165, dated November 18, 2009, ¶ 32, pp. 11 & 12, the Commission has 150 days to process this application for a certificate of public convenience and necessity to construct a cell tower facility. If the Commission fails to act upon this application within 150 days, then Kentucky RSA #4 may seek redress with the U.S. District Court for the Eastern District of Kentucky.

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In the Matter of: Petition for Declaratory Ruling to Clarify Provisions of Section 332(c)(7)(B) to Ensure Timely Siting Review and to Preempt Under Section 253 State and Local Ordinances that Classify all Wireless Siting Proposals as Requiring a Variance, FCC Order, Docket No. 08-165, November 18, 2009, pp 11 and 12. ("Specifically, we find that a "reasonable period of time" is, presumptively 90 days to process personal wireless service facility siting applications requesting collocations, and, also presumptively, 150 days to process all other applications. Accordingly, if State or local governments do not act upon applications within those timeframes, then a "failure to act" has occurred and personal wireless

- 2. As required by 807 KAR 5:001 Sections 8(1) and (3), and 807 KAR 5:063, Kentucky RSA #4 states that it is a Kentucky general partnership whose full name and post office address are: Kentucky RSA #4 Cellular General Partnership, 2902 Ring Road, Elizabethtown, Kentucky, 42701.
- 3. Pursuant to 807 KAR 5:063 § 1 (1)(b), a copy of the applicant's applications to the Federal Aviation Administration and Kentucky Airport Zoning Commission are Exhibit "A." Written authorizations from these agencies will be supplied to the Commission upon their approval.
- 4. Pursuant to 807 KAR 5:063 §1(1)(d), applicant is submitting as Exhibit "B" a geotechnical investigation report, signed and sealed by a professional engineer registered in Kentucky, that includes boring logs, foundation design recommendations, and a finding as to the susceptibility of the area surrounding the proposed site to flood hazard.
- 5. Pursuant to 807 KAR 5:063 §1(1)(e), clear directions from the county seat to the proposed site, including highway numbers and street names, if applicable, with the telephone number of the person who prepared the directions are Exhibit "C."
- 6. Pursuant to 807 KAR 5:063 §1(1)(f), a copy of the lease for the property on which the tower is proposed to be located, is Exhibit "D."
- Pursuant to 807 KAR 5:063 §1(1)(g), experienced personnel will manage and operate the Marion West cell site. The President of Bluegrass Cellular Inc., Mr. Ron Smith, is ultimately responsible for all construction and operations of the cellular system of Kentucky RSA #4, of which system the Marion West cell site will be a part. Bluegrass Cellular Inc. provides management services to Kentucky RSA #4 under a management contract, just as it does with three (3) other wireless carriers in the Commonwealth. And, Bluegrass Cellular Inc. has been providing these management services to these other wireless carriers for well over a decade. This extensive management experience with

service providers may seek redress in a court of competent jurisdiction within 30 days, as provided in Section 332(c)(7)(B)(v).") See also Order Denying Motion for Reconsideration, issued August 4, 2010.

Bluegrass Cellular demonstrates Bluegrass Cellular Inc.'s management and technical ability to supervise the operations of a wireless carrier.

- 8. Pursuant to 807 KAR 5:063 §1(1)(g), World Tower Company, Inc. is responsible for the design specifications of the proposed tower (identified in Exhibit "B").
- 9. Pursuant to 807 KAR 5:063 §1(1)(h), a site development plan and survey, signed and sealed by a professional engineer registered in Kentucky, that shows the proposed location of the tower and all easements and existing structures within 500 feet of the proposed site on the property on which the tower will be located, and all easements and existing structures within 200 feet of the access drive, including the intersection with the public street system, is Exhibit "B."
- 10. Pursuant to 807 KAR 5:063 §1(1)(i), a vertical profile sketch of the tower, signed and sealed by a professional engineer registered in Kentucky, indicating the height of the tower and the placement of all antennas is Exhibit "B."
- 11. Pursuant to 807 KAR 5:063 §1(1)(j), the tower and foundation design plans and a description of the standard according to which the tower was designed, signed and sealed by a professional engineer registered in Kentucky, is Exhibit "B."
- 12. Pursuant to 807 KAR 5:063 § 1 (1)(k), a map, drawn to a scale no less than one (1) inch equals 200 feet, that identifies every structure and every owner of real estate within 500 feet of the proposed tower, is Exhibit "E."
- 13. Pursuant to 807 KAR 5:063 § 1 (1)(1), applicant's legal counsel hereby affirms that every person who owns property within 500 feet of the proposed tower has been: (i) notified by certified mail, return receipt requested, of the proposed construction; (ii) given the commission docket number under which the application will be processed; and (iii) informed of his right to request intervention.
- 14. Pursuant to KRS 278.665(2), applicant's legal counsel hereby affirms that every person who, according to the records of the property valuation administrator, owns property contiguous to the

property where the proposed cellular antenna tower will be located has been: (i) notified by certified mail, return receipt requested, of the proposed construction; (ii) given the commission docket number under which the application will be processed; and (iii) informed of his right to request intervention.

- 15. Pursuant to 807 KAR 5:063 §1(1)(m), a list of the property owners who received the notice together with copies of the certified letters sent to listed property owners, is Exhibit "F."
- 16. Pursuant to 807 KAR 5:063 § 1 (1)(n), applicant's legal counsel hereby affirms that the Marion County Judge Executive has been: (i) notified by certified mail, return receipt requested, of the proposed construction; (ii) given the commission docket number under which the application will be processed; and (iii) informed of its right to request intervention.
- 17. Pursuant to 807 KAR 5:063 §1(1)(o), a copy of the notice sent to the Marion County Judge Executive is Exhibit "G."
- 18. Pursuant to 807 KAR 5:063 § 1 (1)(p), applicant's legal counsel hereby affirms that (i) two written notices meeting subsection two (2) of this section have been posted, one in a visible location on the proposed site and one on the nearest public road; and (ii) the notices shall remain posted for at least two weeks after the application has been filed.
 - 19. Pursuant to 807 KAR 5:063 § 1 (2)(a), applicant's legal counsel affirms that:
 - (a) A written notice, of durable material at least two (2) feet by four (4) feet in size, stating that "Kentucky RSA #4 Cellular General Partnership proposes to construct a telecommunications tower on this site," including the addresses of the applicant and the Kentucky Public Service Commission, has been posted and shall remain in a visible location on the proposed site until final disposition of the application; and
 - (b) A written notice, of durable material at least two (2) feet by four (4) feet in size, stating that "Kentucky RSA #4 Cellular General Partnership proposes to construct a telecommunications tower near this site," including the addresses of the applicant and the Kentucky Public Service Commission, has been posted on the public road nearest the site.

A copy of each sign is attached as Exhibit "H."

- 20. Pursuant to 807 KAR 5:063 § 1 (1)(q), a statement that notice of the location of the proposed construction has been published in a newspaper of general circulation in the county in which the construction is proposed is attached as Exhibit "I."
- 21. Pursuant to 807 KAR 5:063 § 1(1)(r), the cell site, which has been selected, is in a relatively undeveloped, rural area in Raywick, Kentucky. Existing land uses are characterized as agricultural.
- 22. Pursuant to 807 KAR 5:063 §1(1)(s), Kentucky RSA #4 has considered the likely effects of the installation on nearby land uses and values and has concluded that there is no more suitable location reasonably available from which adequate service to the area can be provided, and that there is no reasonably available opportunity to co-locate. Kentucky RSA #4 has attempted to co-locate on towers designed to host multiple wireless service providers' facilities or existing structures, such as a telecommunications tower, or another suitable structure capable of supporting the utility's facilities.
- 23. Pursuant to 807 KAR 5:063 § 1(1)(t), attached as Exhibit "J" is a map of the area in which the tower is proposed to be located, that is drawn to scale and that clearly depicts the search area in which a site should, pursuant to radio frequency requirements, be located.
- 24. Pursuant to KRS 100.987(2)(a), a grid map, that is drawn to scale, that shows the location of all existing cellular antenna towers and that indicates the general position of proposed construction sites for new cellular antenna towers is Exhibit "K."
- 25. No reasonably available telecommunications tower, or other suitable structure capable of supporting the cellular facilities of Kentucky RSA #4 and which would provide adequate service to the area exists.
- 26. Correspondence and communication with regard to this application should be addressed to:

John E. Selent
Holly C. Wallace
DINSMORE & SHOHL LLP
101 South Fifth Street
Suite 2500
Louisville, KY 40202
(502) 540-2300
john.selent@dinslaw.com
holly.wallace@dinslaw.com

WHEREFORE, Kentucky RSA #4 Cellular General Cellular Partnership requests the

Commission to enter an order:

- 1. Granting a certificate of public convenience and necessity to construct the Marion West cell site; and
 - 2. Granting all other relief as appropriate.

Respectfully submitted,

John E. Selent

Holly C. Wallace

DINSMØRE & SHOHL LLP

101 South Fifth Street

Suite 2500

Louisville, KY 40202

(502) 540-2300

john.selent@dinslaw.com holly.wallace@dinslaw.com

835058v1



Kentucky Transportation Cabinet, Kentucky Airport Zoning Commission, 90 Airport APPLICATION FOR PERMIT TO CONSTRUCT OR ALTER INSTRUCTIONS INCLUDED	
1. APPLICANT Name, Address, Telephone, Fax, etc. Scott McCloud Bluegrass Cellular 2902 Ring Road Elizabethtown, KY 42702 T: 270-769-0339 F:270-737-0580 2. Representative of Applicant Name, Address, Telephone, Fax	9. Latitude: 37 ° 33 ′ 38 67 ″ 10. Longitude: 85 ° 26 ′ 53 21 ″ 11. Datum: NAD83 □ NAD27 □ Other □ 12. Nearest Kentucky City: Raywick County Marion 13. Nearest Kentucky Public Use or Military Airport:
Leila Rezanavaz Lukas, Nace, Gutierrez & Sachs, LLP 8300 Greensboro Drive, Suite 1200 McLean, VA 22102 T: 703-584-8668 F: 703-584-8694	Lebanon-Springfield Airport 14. Distance from #13 to Structure: 12.4 Miles 15. Direction from #13 to Structure: WSW 16. Site Elevation (AMSL): 591.00 Feet
3. Application for: ⊠ New Construction ☐ Alteration ☐ Existing	17. Total Structure Height (AGL): 255.00 Feet
4. Duration: ☐ Permanent ☐ Temporary (MonthsDays) 5. Work Schedule: Start03/01/11 End03/10/11	18. Overall Height (#16 + #17) (AMSL):
6. Type: Antenna Tower Crane Building Power Line Landfill Water Tank Other 7. Marking/Painting and/or Lighting Preferred:	N/A 20. Description of Location: (Attach USGS 7.5 minute Quadrangle Map or an Airport Layout Drawing with the precise site marked and any
☐ Red Lights & Paint ☐ Dual - Red & Medium Intensity White ☐ White - Medium Intensity ☐ Dual - Red & High Intensity White ☐ White - High Intensity ☐ Other	certified survey.) Site is located at: 883 Howardstown Road Raywick, KY 40060
8. FAA Aeronautical Study Number 2011-ASO-439-OE	
21. Description of Proposal: Structure: Proposed self-supporting tower with top-mounted anteni Max. ERP: 250 Watts Frequencies: Cellular Band B	nas for overall height of 255' AGL.
22. Has a "NOTICE OF CONSTRUCTION OR ALTERATION" (FAA Form 7460-1) □ No ⊠Yes, When January 21, 2011	been filed with the Federal Aviation Administration?
CERTIFICATION: I hereby certify that all the above statements made by me are	rue, complete, and correct to the best of my knowledge and belief.
Leila Rezanavaz / Senior Consulting Engineer Printed Name & Title Signature	lezanary 01/21/11 Date
PENALTIES: Persons failing to comply with Kentucky Revised Statutes (KRS 18: 050:Series) are liable for fines and/or imprisonment as set forth in KRS 183.99 result in further penalties.	3.861 through 183.990) and Kentucky Administrative Regulations (602 KAR 0(3). Noncompliance with Federal Aviation Administration Regulations may
Commission Action:	person, KAZC Administrator, KAZC
Approved Disapproved	Date



« OE/AAA

Notice of Proposed Construction or Alteration - Off Airport

Sponsor: Bluegrass Cellular, Inc. Project Name: BLUEG-000165569-11 Details for Case: Marion West Show Project Summary

Case Status	;								
ASN:	2011-ASC	-439-OE			Date Accepted:	01/21/2011			
Status:	Accepted				Date Determined:				
					Letters:	None			
					Documents:	01/21/2011 📆 20	Survey pdf		
						<u> </u>			
Constructio	n / Altera	tion Information			Structure Sumn	nary			
Notice Of:		Construction			Structure Type:	Antenna Tower			
Duration:		Permanent			Structure Name:	Marion West			
if Tem	porary :	Months: Days:			NOTAM Number:				
Work Schedu		03/01/2011			FCC Number:				
Work Schedu	ıle - End:	03/10/2011			Prior ASN:				
State Filing:		Filed with State							
Structure D	etails				Common Freque	ency Bands			
Latitude:				37° 33′ 38.67″ N	Low Freq	High Freq	Freq Unit	ERP	ERP U
Longitude:				85° 26' 53.21" W	698 806	806 824	MHz MHz	1000 500	w
Longnade. Horizontal Di				NAD83	806 824	824 849	MHz	500	W
					851	866	MHz	500	W
Site Elevation				591 (nearest foot)	869	894	MHz	500	W
Structure Hei * If the enter		proposed change to an		255 (nearest foot)	896 901	901 902	MHz MHz	500 7	w
existing stru	cture's heig	ht include the current			930	931	MHz	3500	w
AGL in the De	escription o	f Proposal			931	932	MHz	3500	W
Requested M	arking/Ligh	atina		Dual-red and medium intensity	932	932.5	MHz	17	dBW
vednesten u	ai Kilig/ Ligi	iting.		Dual-Yeu and medium mechany	935	940	MHz	1000	W
			Other:		940 1850	941 1910	MHz MHz	3500 1640	w
Recommende	ed Marking,	Lighting:			1930	1990	MHz	1640	W
Current Mark	(ing/Lightir	ıg:		N/A New Structure	2305	2310	MHz	2000	w
			Other:		2345	2360	MHz	2000	W
Nearest City:	:			Raywick	Carattia Paranta				
Nearest State	e:			Kentucky	Specific Freque	ncies			*
On the Project Summary page upload any certified survey.			Site is located at: 883 Howardstown Road Raywick, KY 40060						
Description o	of Proposal:			Proposed self-supporting tower with top-mounted antennas for overall height of 255' AGL.					



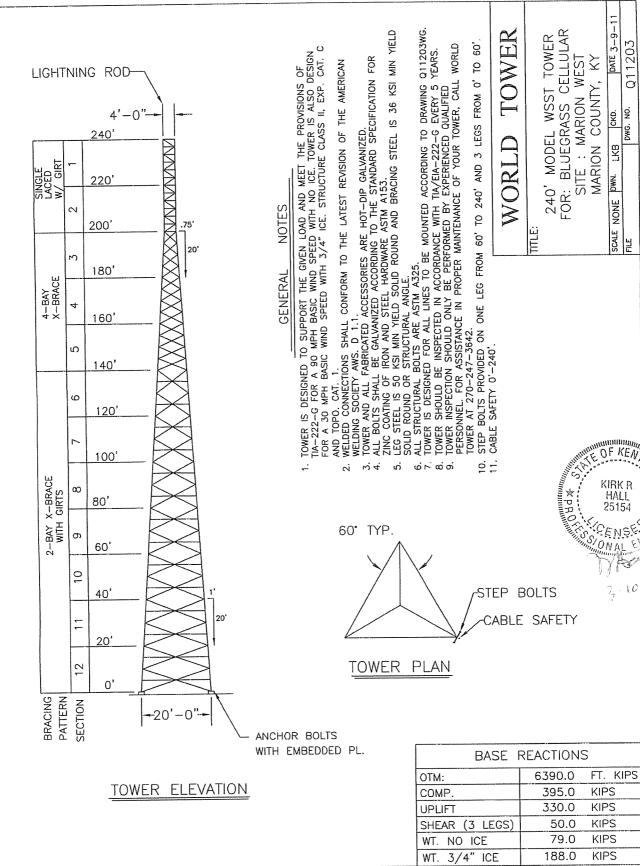
1213 Compressor Drive P.O. Box 508 Mayfield, KY 42066 270-247-3642 FAX: 270-247-0909

E-mail: worldtower@worldtower.com

Web: www.worldtower.com

240' MODEL WSST TOWER FOR: BLUEGRASS CELLULAR SITE: MARION WEST MARION COUNTY, KY DESIGN PACKAGE

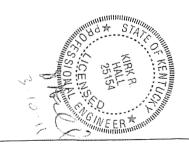




DWG. NO.

SECTION NO.	LEGS	DIAGONALS	GIRTS	SPLICE BOLTS	DIAG BOLTS	GIRT BOLTS	
1	1 1/2	1	1	4- 3/4"	4- 3/4" WELDED CON		
2	2	1 1/8	1		WEEDED CONSTRUCTION		
3	2 1/2	2 X 1/8	2 X 1/8	4-1"	5/8	5/8	
4	2 3/4	2 X 1/8	N/A		N/A		
5	3	2 X 3/16					
6	3 1/4	2 1/2 X 3/16	2 X 1/8	6-1"		5/8	
7	3 1/2	3 X 3/16	2 X 3/16		<u> </u>		
8	3 1/2	3 X 3/16	2 1/2 X 3/16		3/4	3/4	
9	3 3/4	3 X 1/4	2 1/2 X 3/16	6-1 1/4"			
10	3 3/4	3 X 1/4	3 X 3/16				
11	4	3 1/2 X 1/4	3 X 3/16				
12	4	3 1/2 X 1/4	3 X 3/16	6-1 1/4"	•	<u> </u>	
	1			ANCHOR BOLTS			

	ANTENNA LOADING								
ELEV.	DESCRIPTION	LINE							
240'	(6) ANTEL RWB 80014/120 ON WD13X53 MOUNT	6- 1 5/8"							
220′	(6) ANTEL RWB 80014/120 ON WD13X53 MOUNT	6- 1 5/8"							
200'	(6) ANTEL RWB 80014/120 ON WD13X53 MOUNT	6- 1 5/8"							
180'	(6) ANTEL RWB 80014/120 ON WD13X53 MOUNT	6- 1 5/8"							
160'	(6) ANTEL RWB 80014/120 ON WD13X53 MOUNT	6- 1 5/8"							
140'	6' GRID DISH	1- 1 5/8"							

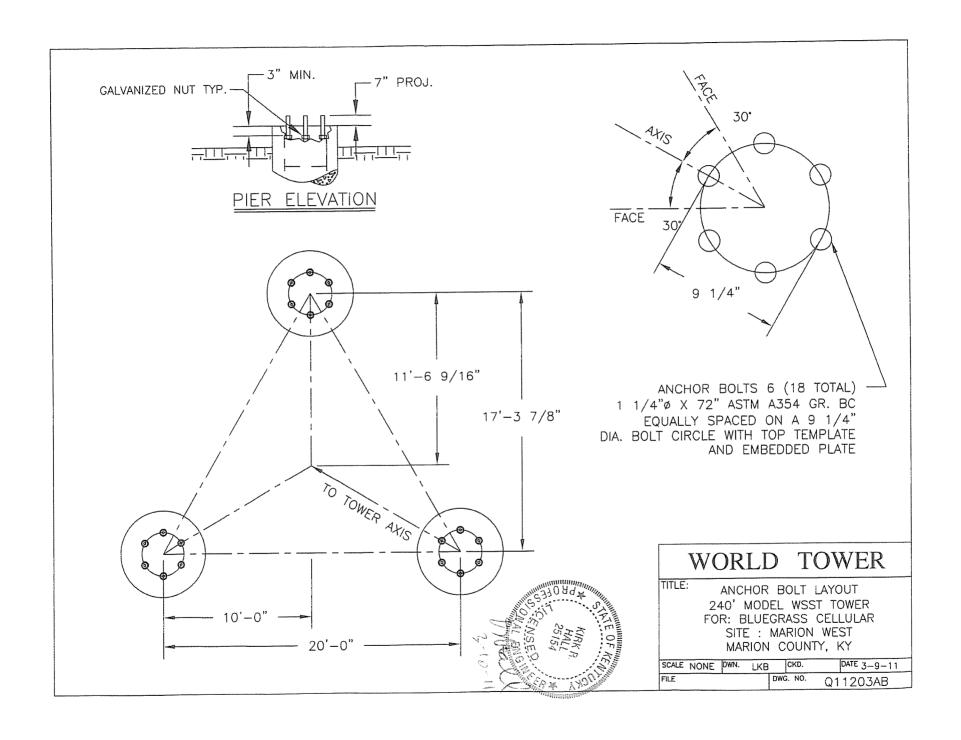


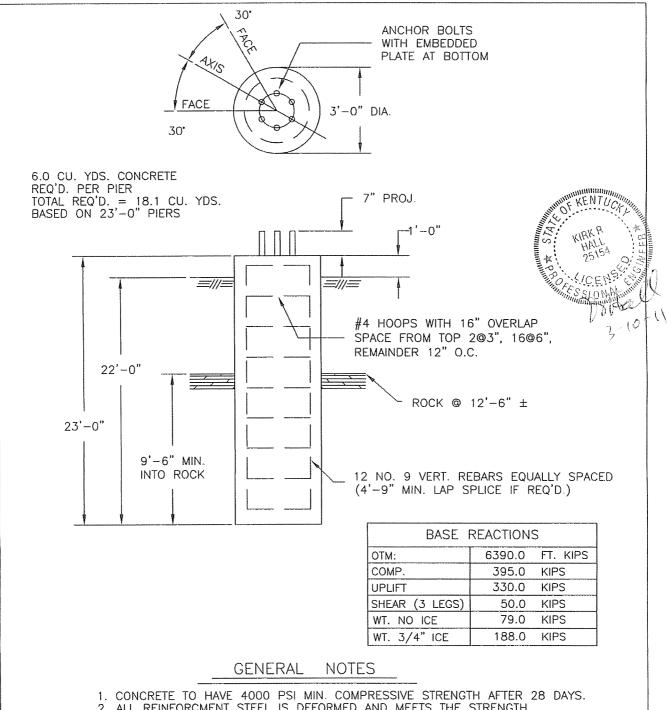
WORLD TOWER

TITLE:

240' MODEL WSST TOWER FOR: BLUEGRASS CELLULAR SITE: MARION WEST MARION COUNTY, KY

SCALE	NONE	DWN.	LKB	CKD.	DATE 3-9-11
FILE	FILE		DWG. NO.	Q11203T	





2. ALL REINFORCMENT STEEL IS DEFORMED AND MEETS THE STRENGTH

REQUIREMENTS OF ASTM A615 GRADE 60.

3. EMBEDDED STEEL TO HAVE 3" MIN. CONCRETE COVER.

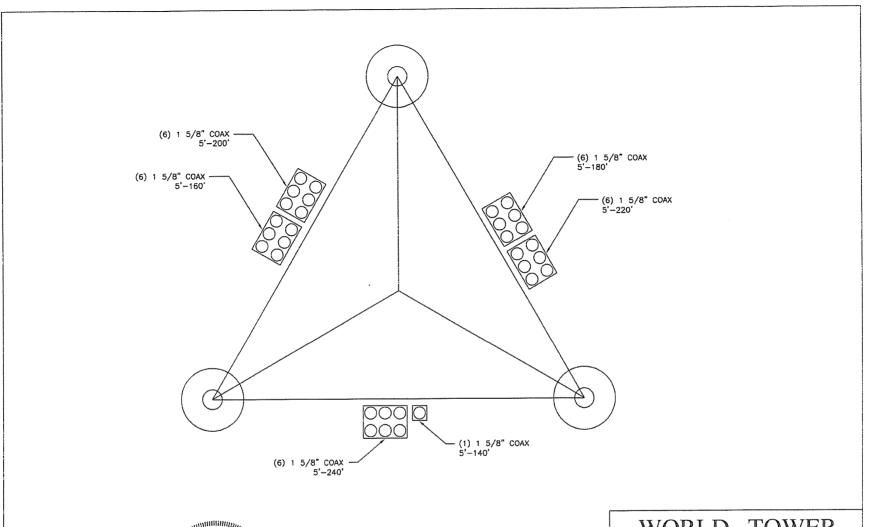
4. FOUNDATION DESIGN IS BASED ON CUSTOMER SUPPLIED SOIL DATA FROM TERRACON PROJECT NO. 57105040 DATED DECEMBER 2, 2010.

TITLE:

FOUNDATION DETAIL 240' MODEL WSST TOWER FOR: BLUEGRASS CELLULAR SITE: MARION WEST MARION COUNTY, KY

WORLD TOWER

SCALE	NONE	DWN.	LKB	C	CKD.		DATE 3-9-11
FILE				DWG.	NO.	Q11	203F





PLAN VIEW

WORLD TOWER

TITLE:

WAVEGUIDE LOCATION 240' MODEL WSST TOWER FOR: BLUEGRASS CELLULAR SITE : MARION WEST MARION COUNTY, KY

SCALE	NONE	DWN.	LKB	CKD.	DATE 3-9-11
FILE				DWG. NO.	Q11203WG

									*1			240 ₋ 0 fl	口
F	SR 1 1/2		03 1							33	6.0		
					5R 1	SR 1	SR 1	SR 1		12 @ 3.20833		220 0 1	I
t	SR 2		SR 1 1/8								1.3		
	12				/8							200.0 ft	П
Ē	SR 2 1/2		1/8		L2x2x1/8						ui.	160 O B	RI
	3/4		L2x2x1/8				نہ		5,5			180.0 ft	
12	SR 2 3/4						N.A.				73	160.0 ft	2000
E	00 00 00		L2x2x3/16						1~		2.2		STEEN STEEN
,-	io.								8.5		•	140.0 ft	h)
ß	SR 3 1/4		L2 1/2x2 1/2x3/16				L2x2x1/8		89		35		¥
	ß	4572-50	12 112)	A36			S		10			120.0 ft	
2		4.					2x2x3/16				3.1		
	SR 3 1/2		L3x3x3/16			Z,	ند	N.A.	11.5	40 @ 5		100 O ft	
45					Z.A.		1/16				3.2		
							L2 1/2x2 1/2x3/16		ţ			80.0 ft	
Ê							บ				3.5		
	SR 3 3/4		L3x3x1/4						14.5			60.0 ft	
710											97		
							/16		16			40 O ft	
111	**		1/2×1/4				L3x3x3/16				6.7	20.0 ft	
	SR 4		L3 1/2x3 1/2x1/4						5			20.0 1	
110									_		6.7	0.0 ft	
c		rade	als	nal Grade	irts	n Girts	ntais	lorizontals	Nidth (ft) 2C	# Panels @ (ft)	1 (K) 33.5		
Section	rens	Leg Gr	Diagor	Diagor	Top Gi	Вопол	Honzo	Sec. H	Face V	# Pane	Weigh		

DESIGNED APPURTENANCE LOADING

TYPE	ELEVATION	TYPE	ELEVATION
Flash Beacon Lighting	240	(2) Antel RWB 80014/120 w/ mnt pipe(Panel 96 5"x11.2"x5 9")*	200
WD13X53 Antenna Mounting Frame (w/ .75)*	240	(2) Antel RWB 80014/120 w/ mnt	200
WD13X53 Antenna Mounting Frame (w/ .75)*	240	pipe(Panel 96.5"x11.2"x5.9")* (2) Antel RWB 80014/120 w/ mnt	200
WD13X53 Antenna Mounting Frame (w/ 75)*	240	pipe(Panel 96 5"x11 2"x5 9")*	
(W 75) (2) Antel RWB 80014/120 w/ mnt	240	WD13X53 Antenna Mounting Frame (w/ .75)*	180
pipe(Panel 96.5"x11.2"x5 9")*	0.10	WD13X53 Antenna Mounting Frame (w/ 75)*	180
(2) Antel RWB 80014/120 w/ mnt. pipe(Panel 96.5"x11 2"x5.9")"	240	WD13X53 Antenna Mounting Frame	180
(2) Antel RWB 80014/120 w/ mnt. pipe(Panel 96 5"x11 2"x5 9")*	240	(w/ .75)* (2) Antel RWB 80014/120 w/ mnt	180
WD13X53 Antenna Mounting Frame (w/ 75)*	220	pipe(Panel 96.5"x11.2"x5.9")*	180
WD13X53 Antenna Mounting Frame	220	(2) Antel RWB 80014/120 w/ mnt pipe(Panel 96 5"x11.2"x5 9")*	180
(w/ 75)* WD13X53 Antenna Mounting Frame	220	(2) Antel RWB 80014/120 w/ mnt pipe(Panel 96.5"x11.2"x5.9")*	180
(w/ .75)*		WD13X53 Antenna Mounting Frame (w/ 75)*	160
(2) Antel RWB 80014/120 w/ mnt pipe(Panel 96.5"x11.2 x5.9")*	220	WD13X53 Antenna Mounting Frame	160
(2) Antel RWB 80014/120 w/ mnt pipe(Panel 96.5"x11.2"x5.9")*	220	(w/ 75)* WD13X53 Antenna Mounting Frame	160
(2) Antel RWB 80014/120 w/ mnl.	220	(w/ .75)*	
pipe(Panel 96.5"x11 2"x5 9")* WD13X53 Antenna Mounting Frame	200	(2) Antel RWB 80014/120 w/ mnt pipe(Panel 96.5"x11.2"x5.9")*	160
(w/ .75)*		(2) Antel RWB 80014/120 w/ mnt. pipe(Panel 96.5"x11.2"x5.9")*	160
WD13X53 Antenna Mounting Frame (w/ .75)*	200	(2) Antel RWB 80014/120 w/ mnt	160
WD13X53 Antenna Mounting Frame (w/ 75)*	200	pipe(Panel 96 5"x11 2"x5 9")* 6 Grid Dish	140

MATERIAL STRENGTH

GRADE	Fy	Fu	GRADE	Fy	Fu
A572-50	50 ksi	65 kei	Δ36	36 kei	59 bei

TOWER DESIGN NOTES

- Tower is located in Marion County, Kentucky.
- Tower designed for Exposure C to the TIA-222-G Standard
- Tower designed for a 90 00 mph basic wind in accordance with the TIA-222-G Standard Tower is also designed for a 30 00 mph basic wind with 0.75 in ice lice is considered to increase in thickness with height.

 Deflections are based upon a 60 00 mph wind
- 6 Tower Structure Class II
- 7 Topographic Category 1 with Crest Height of 0 00 ft 8 Tower is designed for feedlines distributed on 3 tower faces with a maximum of 6 lines exposed to the wind on any one face.
- 9 Weak link in diagonals from 140' to 120' 10 TOWER RATING: 95 5%

ALL REACTIONS ARE FACTORED

MAX CORNER REACTIONS AT BASE

DOWN: 395 K UPLIFT -330 K SHEAR: 32 K

> AXIAL 188 K

SHEAR

MOMENT ₹ 834 kip-ft

TORQUE 1 kip-ft 30.00 mph WIND - 0.75 in ICE AXIAL 79 K

J

SHEAR

MOMENT v 6390 kip-ft

_7 TORQUE 3 kip-ft REACTIONS - 90 00 mph WIND



World Tower Company 1213 Compressor Drive Mayfield, Kentucky 42066 Phone: (270) 247-3642

FAX: (270) 247-0909

^{ob} 240' Standard WSST Job Q11-203

Project Marion West, Kentucky Client: Bluegrass Cellular

Code: TIA-222-G

Drawn by Kirk Hall Scale: NTS Date 03/09/11 Dwg No E-1

App'd:

Path: C \text{\text{Tower\PE} Runs\2011\Q11-203 matter west bluegrass\Q11-203 c

Proposed 240' Self-Supporting Tower

Marion West

Raywick, Marion County, Kentucky

December 2, 2010 Project No. 57105040

Prepared for: Kentucky RSA #4 Cellular General Partnership A Kentucky general partnership d/b/a Bluegrass Cellular Elizabethtown, Kentucky

> Prepared by: Terracon Consultants, Inc. Louisville, Kentucky

Offices Nationwide Employee-Owned Established in 1965 terracon.com



December 2, 2010



Kentucky RSA #4 Cellular General Partnership A Kentucky General Partnership d/b/a Bluegrass Cellular 2902 Ring Road Elizabethtown, Kentucky 42702

Attention: Mr. Doug Updegraff

Regarding: Geotechnical Engineering Report

Proposed 240' Self Supporting Tower

Site Name: Marion West

Raywick, Marion County, Kentucky Terracon Project No.: 57105040

Dear Mr. Updegraff:

Terracon Consultants, Inc. (Terracon) has completed the geotechnical engineering services for the above referenced project. This report presents the findings of the subsurface exploration and provides geotechnical recommendations concerning earthwork and the design and construction of foundations for the proposed project.

Terracon's geotechnical design parameters and recommendations within this report apply to the existing planned tower height and would apply to adjustments in the tower height, up to a 20% increase or decrease in height, as long as the type of tower does not change. If changes in the height of the tower dictate a change in tower type (i.e. self-support to monopole), Terracon should be contacted to evaluate our recommendations with respect to these changes.

We appreciate the opportunity to be of service to you on this project. If you have any questions concerning this report, or if we may be of further service, please contact us.

Sincerely,

Terracon Consultants, Inc.

Matthew R. Haines, E.I.

Staff Engineer

Reviewed by: Timothy G. LaGrow, P.E. - Senior Principal

Nathan H. Bryan, Jr., P. Geotechnical Department Kentucky PE#-27232

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APPENDIX

Boring Location Plan

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Field Exploration and Laboratory Testing

General Notes

Unified Soil Classification

General Notes - Sedimentary Rock Classification

GEOTECHNICAL ENGINEERING REPORT PROPOSED 240' SELF-SUPPORTING TOWER MARION WEST RAYWICK, MARION COUNTY, KENTUCKY

Terracon Project No. 57105040 December 2, 2010

1.0 PROJECT INFORMATION

1.1 Project Description

ITEM	DESCRIPTION				
Site layout	See Appendix, Figure 1, Boring Location Diagram				
Site dimensions	About 100 feet by 100 feet				
Tower	Self-Supporting 240 feet tall				
Maximum loads	Vertical: 600 kips (assumed) Shear: 80 kips (assumed) Uplift: 500 kip-ft (assumed)				
Maximum allowable settlement	1-inch (assumed)				
Equipment Building:	Column: 25 kips (assumed)				
Maximum loads	Wall: 1.5 kips/ft (assumed)				
Equipment Building:	Total Settlement: 1-inch (assumed)				
Maximum allowable settlement	Differential Settlement: ¾ inch over 40 feet (assumed)				
Grading	Less than 2 feet of cut and fill expected				

1.2 Site Location and Description

ITEM	DESCRIPTION			
Location	The project site is located at 883 Howardstown Road, Raywick, Marion County, Kentucky 40060 near Latitude: 37.56186, Longitude: -85.44781			
Existing improvements	Undeveloped grass pasture			
Current ground cover	Grass and weeds			
Existing topography	Relatively level to gently sloping			

The above presentation of pertinent project information is based on our understanding of the plans and information provided to Terracon Consultants, Inc. (Terracon). If this project information is not consistent with the development plans for the site, please inform us of any discrepancies or change in plans.



2.0 SUBSURFACE CONDITIONS

2.1 Geology

FORMATION ¹	DESCRIPTION
New Providence Shale	This formation consists of clay shale which is medium gray, weathers light greenish gray. This formation also contains some interbeds of siltstone and silty shale, with rare thin lenses of weathered crinoidal limestone.
Based on the Geologic Map of F Geological Survey (1969).	Raywick quadrangle, Central Kentucky, published by the Kentucky

2.2 Typical Profile

The boring was drilled at the approximate tower location. Based on the results of our boring, the subsurface conditions on the project site can be generalized as follows:

Description	Approximate Depth to Bottom of Stratum (feet)	Material Encountered	Consistency/Density			
Surface	3/4	Topsoil	N/A			
Stratum 1	121/2	Silt, trace Clay	Stiff to Hard ¹			
0	001/	0:14-4	Recovery = 100%			
Stratum 2	22½	Siltstone	RQD = 80 and 85%			

^{1.} The native silty clay is considered stiff to hard based on measured SPT N-values ranging from 16 to 100+ blows per foot (bpf).

Specific conditions encountered at the boring location are indicated on the attached boring log. Stratification boundaries on the boring log represent the approximate location of changes in soil and rock types; in-situ, the transition between materials may be gradual. Further details of the boring can be found on the boring log in Appendix of this report.

2.3 Groundwater

No groundwater was encountered during the auger drilling portion of the borehole. Water was used to advance the borehole during rock coring operations. The introduction of water into the borehole precluded obtaining accurate groundwater level readings at the time of coring operations. Long term observation of the groundwater level in monitoring wells, sealed from the influence of surface water, would be required to obtain accurate groundwater levels on the site.



3.0 RECOMMENDATIONS FOR DESIGN AND CONSTRUCTION

3.1 Geotechnical Considerations

Based on the encountered subsurface conditions, the proposed tower can be either founded on drilled piers or on a mat foundation. The equipment building may be supported on shallow spread footings. Design recommendations for the tower drilled piers and a mat foundation as well as shallow footings for the equipment building are presented in the following paragraphs.

3.2 Foundation Recommendations

3.2.1 Drilled Pier Foundation System

The proposed tower can be founded on a straight shaft drilled pier foundation system. Based on the results of field and laboratory testing, we have developed the following drilled pier design parameters.

Approximate Depth (feet) 1	Allowable Skin Friction (psf)	Allowable End Bearing Pressure (psf)	Allowable Passive Pressure (psf)	Cohesion (psf)	Internal Angle of Friction (Degrees)	Strain ε ₅₀	Lateral Subgrade Modulus (pci)
0 – 3	Ignore	Ignore	Ignore	Ignore	Ignore	Ignore	Ignore
Silt 3 – 12½	425	Ignore	1500	1500		0.006	125
Siltstone 12½ – 22½	2,500 ²	20,000	5,000 ²	50,000 ²		0.00001	3000

^{1.} Pier observation is recommended to adjust pier length if variable soil/rock conditions are encountered. A total unit weight of 110 and 160 pcf can be assumed for the silt and siltstone, respectively.

The above indicated cohesion, friction angle, lateral subgrade modulus and strain values have no factors of safety, and the allowable skin friction and the passive resistances have a factor of safety of about 2. The cohesion, internal friction angle, lateral subgrade modulus and strain values given in the above table are based on our boring, published values and our past experience with similar soil and rock types. These values should, therefore, be considered approximate. To mobilize the higher rock strength parameters, the piers should be socketed at least 3 feet into bedrock. Furthermore, it is assumed that the rock socket is developed using coring rather than blasting techniques. The allowable end bearing pressure provided in the table has an approximate factor of safety of at least 3. If the drilled piers are designed using the above parameters and bear within the siltstone, settlements are not anticipated to exceed ½ inch.

^{2.} The pier should be embedded a minimum of 3 feet into competent siltstone to mobilize these higher rock strength parameters. Furthermore, it is assumed the rock socket will be extended using coring techniques rather than blasting/shooting.





The upper 3 feet of topsoil and silt should be ignored due to the potential affects of frost action and construction disturbance. To avoid a reduction in uplift and lateral resistance caused by variable bedrock depths and bedrock quality, it is recommended that a minimum pier length and minimum competent rock socket length be stated on the design drawings. Competent rock was encountered in our boring below a depth of about 12½ feet, but could vary between tower legs, if the tower is moved from the location of our boring, or if significant grade changes occur at the site. If the tower center is moved more than 25 feet, our office should be notified to review our recommendations and determine whether an additional boring is required. To facilitate pier length adjustments that may be necessary because of variable rock conditions, it is recommended that a Terracon representative observe the drilled pier excavations.

A drilled pier foundation should be designed with a minimum shaft diameter of 30 inches to facilitate clean out and possible dewatering of the pier excavation. Temporary casing may be required during the pier excavation in order to control possible groundwater seepage and support the sides of the excavation in weak soil zones. Care should be taken so that the sides and bottom of the excavations are not disturbed during construction. The bottom of the shaft should be free of loose soil or debris prior to reinforcing steel and concrete placement.

A concrete slump of at least 6 inches is recommended to facilitate temporary casing removal. It should be possible to remove the casing from a pier excavation during concrete placement provided that the concrete inside the casing is maintained at a sufficient level to resist any earth and hydrostatic pressures outside the casing during the entire casing removal procedure.

3.2.2 Shallow Mat Foundation System

If desired, a mat foundation can be used to support the proposed tower. The mat foundation can be designed using the following natural soil/engineered fill parameters.

DESCRIPTION	VALUE					
Foundation subgrade ¹	Suitable natural soil or engineered granular for extending to suitable natural soil					
Net allowable bearing pressure ²	2,500 psf					
Allowable passive pressure ³	1,250 psf					
Coefficient of sliding friction ³	0.35					
Vertical Modulus of Subgrade Reaction (pci)	100					
Minimum embedment below finished grade for frost protection	18 inches					
Approximate total settlement ⁴	1 inch					

- 1. A geotechnical engineer should verify footing subgrade prior to concrete placement.
- 2. Assumes any soft or unsuitable soils, if encountered, will be undercut and replaced with approved engineered granular fill. The recommended net allowable bearing pressure is the pressure in excess of the minimum surrounding overburden pressure at the footing base elevation.





Continued from previous page

- 3. The sides of the excavation for the spread footing foundation must be nearly vertical and the concrete should be placed neat against these vertical faces for the passive earth pressure values to be valid. If the loaded side is sloped or benched, and then backfilled, the allowable passive pressure will be significantly reduced. Passive resistance in the upper 3 feet of the soil profile should be neglected. Lateral resistance due to friction at the base of the footing should be ignored where uplift also occurs.
- 4. The foundation settlement will depend upon the variations within the subsurface soil profile, the structural loading conditions, the embedment depth of the footing, the thickness of compacted fill, and the quality of the earthwork operations.

Uplift forces can be resisted by the dead weight of the footing and the effective weight of any soil above the footing. A unit weight of soil not exceeding 110 pcf is appropriate for the on-site soils backfilled above the foundation, assuming that it is compacted to at least 95 percent of standard Proctor maximum dry density (ASTM D-698). A unit weight of 150 pcf could be used for reinforced footing concrete. The ground surface should be sloped away from the foundation to avoid ponding of water and saturation of the backfill materials.

The base of all foundation excavations should be free of water and loose soil prior to placing concrete. Concrete should be placed soon after excavating to reduce bearing soil disturbance. Should the soils at bearing level become excessively dry, disturbed or saturated, or frozen, the affected soil should be removed prior to placing concrete. Place a lean concrete mud-mat over the bearing soils if the excavations must remain open over night or for an extended period of time. It is recommended that the geotechnical engineer be retained to observe and test the soil foundation bearing materials.

3.2.3 Equipment Building/Cabinet Foundations

DESCRIPTION	VALUE						
Foundation subgrade ¹	Suitable stable natural soil or low volume change engineered fill						
Net allowable bearing pressure ²	2,500 psf						
Minimum footing sizes Isolated:	2 feet by 2 feet						
Wall :	16 inches wide						
Coefficient of sliding friction	0.35						
Minimum embedment below finished grade for frost protection ³	18 inches						
Approximate total settlement ⁴	1 inch						

- 1. A geotechnical engineer should verify footing subgrade prior to concrete placement.
- Assumes any soft or unsuitable soils, if encountered, will be undercut and replaced with approved engineered fill. The recommended net allowable bearing pressure is the pressure in excess of the minimum surrounding overburden pressure at the footing base elevation.





Continued from previous page

- 3. For perimeter footing and footings beneath unheated areas.
- 4. The foundation settlement will depend upon the variations within the subsurface soil profile, the structural loading conditions, the embedment depth of the footings, the thickness of any compacted fill, and the quality of the earthwork operations.

3.3 Earthwork

Site preparation should begin with removal of topsoil, vegetation, organics and any soft or otherwise unsuitable materials from the entire construction area. We recommend the actual stripping depth along with any soft soils that will require undercutting be evaluated by the geotechnical engineer at the time of construction. Engineered fill should meet the following material property requirements:

Fill Type ¹	USCS Classification	Acceptable Location for Placement ¹			
Silty clay, Lean clay	CL-ML (LL<50 & PI<22)	Beneath equipment building and access road all elevation			
Well graded granular material	GW, SW, SM, and SC ²	All locations and elevations			
On-site soils (Silt, trace clay)	ML ³	Generally not recommended due to moisture sensitivity. However, can be considered beneath equipment building and access road, preferably at least 1 foot below finish grade.			

- Controlled, compacted fill should consist of approved materials that are free of organic matter and debris. Frozen material should not be used, and fill should not be placed on a frozen subgrade. A sample of each material type should be submitted to the geotechnical engineer for evaluation. Any fill to be placed beneath the tower footing should consist of well graded granular material.
- 2. Similar to crushed limestone aggregate or limestone screenings or granular material such as sand, gravel or crushed stone (pug mix).
- 3. If on-site silt is used as fill, difficulties should be expected to achieve compaction. Stringent moisture control techniques will have to be utilized to achieve compaction due to moisture sensitive nature.

3.3.1 Compaction Requirements

Fill Lift Thickness	9-inches or less in loose thickness					
Compaction Requirements ¹	98% of the materials standard Proctor maximum dry density (ASTM D-698)					
Moisture Content – Granular Material	Workable moisture levels ²					
Moisture Content – Cohesive Soil	Within the range of optimum moisture content to 2% above or 1% below optimum moisture content as determined by the standard Proctor test at the time of placement					

1. We recommend that engineered fill be tested for moisture content and compaction during placement. Should the results of the in-place density tests indicate the specified moisture or compaction limits have not been met, the area represented by the test should be reworked and retested as required until the specified moisture and compaction requirements are achieved.

240-Foot Self-Supporting Tower ■ Raywick, Marion County, Kentucky December 2, 2010 ■ Terracon Project No. 57105040



Continued from previous page

2. Specifically, moisture levels should be maintained low enough to allow for satisfactory compaction to be achieved without the cohesionless fill material pumping when proofrolled.

3.3.2 Construction Considerations

Although the exposed subgrade is anticipated to be relatively stable upon initial exposure, unstable subgrade conditions could develop during general construction operations, particularly if the soils are wetted and/or subjected to repetitive construction traffic. The use of light construction equipment would aid in reducing subgrade disturbance. Should unstable subgrade conditions develop, stabilization measures will need to be employed.

Construction traffic over the completed subgrade should be avoided to the extent practical. The site should also be graded to prevent ponding of surface water on the prepared subgrades or in excavations. If the subgrade should become frozen, desiccated, saturated, or disturbed, the affected material should be removed or these materials should be scarified, moisture conditioned, and recompacted.

As a minimum, all temporary excavations should be sloped or braced as required by Occupational Health and Safety Administration (OSHA) regulations to provide stability and safe working conditions. Temporary excavations will probably be required during grading operations. The grading contractor, by his contract, is usually responsible for designing and constructing stable, temporary excavations and should shore, slope or bench the sides of the excavations as required, to maintain stability of both the excavation sides and bottom. All excavations should comply with applicable local, state and federal safety regulations, including the current OSHA Excavation and Trench Safety Standards.

The geotechnical engineer should be retained during the construction phase of the project to observe earthwork and to perform necessary tests and observations during subgrade preparation; proof-rolling; placement and compaction of controlled compacted fills; backfilling of excavations into the completed subgrade, and just prior to construction of foundations.

4.0 GENERAL COMMENTS

Terracon should be retained to review the final design plans and specifications so comments can be made regarding interpretation and implementation of our geotechnical recommendations in the design and specifications. Terracon also should be retained to provide observation and testing services during grading, excavation, foundation construction and other earth-related construction phases of the project.

The analysis and recommendations presented in this report are based upon the data obtained from the boring performed at the indicated location and from other information discussed in this



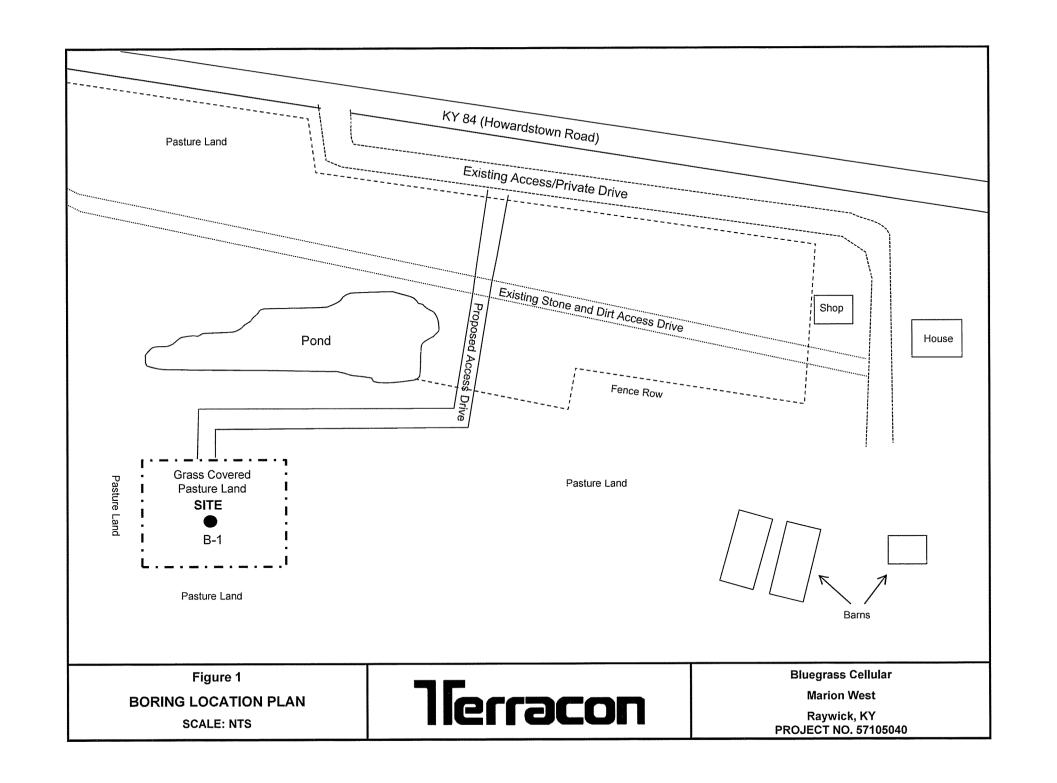


report. This report does not reflect variations that may occur across the site, or due to the modifying effects of weather. The nature and extent of such variations may not become evident until during or after construction. If variations appear, we should be immediately notified so that further evaluation and supplemental recommendations can be provided.

The scope of services for this project does not include either specifically or by implication any environmental or biological (e.g., mold, fungi, bacteria) assessment of the site or identification or prevention of pollutants, hazardous materials or conditions. If the owner is concerned about the potential for such contamination or pollution, other studies should be undertaken.

This report has been prepared for the exclusive use of our client for specific application to the project discussed and has been prepared in accordance with generally accepted geotechnical engineering practices. No warranties, either express or implied, are intended or made. Site safety, excavation support, and dewatering requirements are the responsibility of others. In the event that changes in the nature, design, or location of the project as outlined in this report are planned, the conclusions and recommendations contained in this report shall not be considered valid unless Terracon reviews the changes and either verifies or modifies the conclusions of this report in writing.

APPENDIX



	LOG OF BORING NO. B-1 Page 1 of 1							age 1 of 1				
(CLIENT Kentucky RSA #4 Cellular General Partnership											
Ę	SITE 883 Howardstown Rd			PROJECT 240' Self-Supporting Tower								
ļ	Raywick, Kentucky			I		MAR	/PLES	<u>/larion</u>	Wes	t Site	TESTS	
	GRAPHIC LOG	DESCRIPTION Approx. Surface Elev.: 600 ft	DEPTH, ft.	USCS SYMBOL	NUMBER	TYPE	RECOVERY, in.	SPT - N ** BLOWS / ft.	WATER CONTENT, %	DRY UNIT WT pcf	UNCONFINED STRENGTH, psf	ATTERBERG LIMITS
	J	0.8 9" TOPSOIL 599				•						
		SILT, mottled gray brown, stiff to hard, moist, with trace clay		ML	1	SS	18	16	17		4000*	
			5	ML	2	SS	18	32	18		6000*	LL=34 PL=NP
		with rock fragments at 6 feet	- - -	ML	3	SS	18	32	13		4000*	
				ML	4	SS	4	50/3"				
		12.5 587.5	-									
××××××××××××××××××××××××××××××××××××××	××××××××××××××××××××××××××××××××××××××	Auger refusal at 12.5 feet, began coring SILTSTONE, slightly to moderately weathered, gray, moderately hard, very thin to medium bedded	15—		R-1	DB	100%	RQD 80%		160	1235 psi	
× × × × ×	××××××××××××××××××××××××××××××××××××××		20-		R-2	DB	100%	RQD 85%		160	1835 psi	
X X X	× × × ×	22.5 577.5	_	_								
BOREHOLE 99 57105040 BORING LOGS.GPJ TERRACON GDJ 11/24/10		Coring terminated at 22.5 feet	25—									
80 B EXCE	The betv	stratification lines represent the approximate boundary lines veen soil and rock types: in-situ, the transition may be gradual.	•			.1			*(Calibrat	ed Hand	Penetrometer **Cathead
7.1050		TER LEVEL OBSERVATIONS, ft					BOR	ING S	TARTI	ΞD		11-15-10
66 /	ΛL	Ÿ N/E WD ¥ N/E AB		 .	-	. [ING C	OMPL	ETEC)	11-15-10
	ΛL	V N/E WD V N/E AB TELL	حال	_[JI		RIG		ATV 5		OREMA	
ž /	ΝL						APP	ROVE)	NB J	OB#	57105040

240-Foot Self-Supporting Tower Raywick, Marion County, Kentucky December 2, 2010 Terracon Project No. 57105040



Field Exploration Description

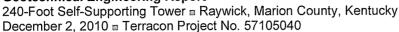
The boring was drilled at the center of the lease area as staked in the field by the owner's representative. The approximate boring location is shown on the enclosed boring location plan. The surface elevation shown on the boring log was obtained from the site data packet provided by Bluegrass Cellular.

Drilling was performed using an ATV drill rig. Hollow stem augers were initially used to advance the borehole. Representative soil samples were obtained by the split-barrel sampling procedures. In the split-barrel sampling procedure, the number of blows required to advance a standard 2-inch O.D. split-barrel sampler the last 12 inches of the typical total 18-inch penetration by means of a 140-pound hammer with a free fall of 30 inches, is the standard penetration resistance value (N). This value is used to estimate the in-situ relative density of cohesionless soils and the consistency of cohesive soils The sampling depths and penetration distance, plus the standard penetration resistance values, are shown on the boring log. The samples were sealed and returned to the laboratory for testing and classification.

Auger refusal was encountered at a depth of about 12½ feet. Below this depth, the boring was advanced into the refusal materials using a diamond bit attached to the outer barrel of a double core barrel. The inner barrel collected the cored material as the outer barrel was rotated at high speeds to cut the rock. The barrel was retrieved to the surface upon completion of each drill run. Once the core samples were retrieved, they were placed in a box and logged. The rock was later classified by an engineer and the "percent recovery" and rock quality designation (RQD) were determined.

The "percent recovery" is the ratio of the sample length retrieved to the drilled length, expressed as a percent. An indication of the actual in-situ rock quality is provided by calculating the sample's RQD. The RQD is the percentage of the cumulative length of broken cores retrieved which have core segments at least 4 inches in length (discounting mechanical breaks) compared to each drilled length. The percent recovery and RQD are related to rock soundness and quality as illustrated below:

Relation of RQD and In-situ Rock Quality					
RQD (%)	Rock Quality				
90 - 100	Excellent				
75 - 90	Good				
50 - 75	Fair				
25 - 50	Poor				
0 -25	Very Poor				





A field log of the boring was prepared by the drill crew. This log included visual classifications of the materials encountered during drilling as well as the driller's interpretation of the subsurface conditions between samples. The final boring log included with this report represents an interpretation of the field log and include modifications based on laboratory observation and tests of the samples.

The soil samples were classified in the laboratory based on visual observation, texture and plasticity. The descriptions of the soils indicated on the boring log are in general accordance with the enclosed General Notes and the Unified Soil Classification System. Estimated group symbols according to the Unified Soil Classification System are given on the boring log. A brief description of this classification system is attached to this report.

Classification and descriptions of rock core samples are in general accordance with the enclosed General Notes, and are based on visual and tactile observations. Petrographic analysis of thin sections may indicate other rock types. Percent recovery and rock quality designation (RQD) were calculated for these samples and are noted at their depths of occurrence on the boring log.

Laboratory Testing

The laboratory testing program consisted of performing water content tests and an Atterberg Limits test on representative soil samples. A calibrated hand penetrometer was used to estimate the approximate unconfined compressive strength of the samples. The calibrated hand penetrometer has been correlated with unconfined compression tests and provides a better estimate of soil consistency than visual examination alone. Results of these tests are provided on the boring log at the appropriate horizon. Two unconfined compression tests were also performed on rock core samples. Results of these tests are provided on the boring log at the appropriate horizon. Information from these tests was used in conjunction with field penetration test data to evaluate soil strength in-situ, volume change potential, and soil classification.

GENERAL NOTES

DRILLING & SAMPLING SYMBOLS:

BS:

Split Spoon - 1-3/8" I.D., 2" O.D., unless otherwise noted	HS:	Hollow Stem Auger
Thin-Walled Tube - 2" O.D., unless otherwise noted	PA:	Power Auger
Ring Sampler - 2.42" I.D., 3" O.D., unless otherwise noted	HA:	Hand Auger
Diamond Bit Coring - 4", N, B	RB:	Rock Bit
	Ring Sampler - 2.42" I.D., 3" O.D., unless otherwise noted	Thin-Walled Tube - 2" O.D., unless otherwise noted PA: Ring Sampler - 2.42" I.D., 3" O.D., unless otherwise noted HA:

The number of blows required to advance a standard 2-inch O.D. split-spoon sampler (SS) the last 12 inches of the total 18-inch

WB:

penetration with a 140-pound hammer falling 30 inches is considered the "Standard Penetration" or "N-value".

WATER LEVEL MEASUREMENT SYMBOLS:

Bulk Sample or Auger Sample

WL:	Water Level	WS:	While Sampling	N/E:	Not Encountered
WCI:	Wet Cave in	WD:	While Drilling		
DCI:	Dry Cave in	BCR:	Before Casing Removal		
AB:	After Boring	ACR:	After Casing Removal		

Water levels indicated on the boring logs are the levels measured in the borings at the times indicated. Groundwater levels at other times and other locations across the site could vary. In pervious soils, the indicated levels may reflect the location of groundwater. In low permeability soils, the accurate determination of groundwater levels may not be possible with only short-term observations.

DESCRIPTIVE SOIL CLASSIFICATION: Soil classification is based on the Unified Classification System. Coarse Grained Soils have more than 50% of their dry weight retained on a #200 sieve; their principal descriptors are: boulders, cobbles, gravel or sand. Fine Grained Soils have less than 50% of their dry weight retained on a #200 sieve; they are principally described as clays if they are plastic, and silts if they are slightly plastic or non-plastic. Major constituents may be added as modifiers and minor constituents may be added according to the relative proportions based on grain size. In addition to gradation, coarse-grained soils are defined on the basis of their in-place relative density and fine-grained soils on the basis of their consistency.

CONSISTENCY OF FINE-GRAINED SOILS

RELATIVE DENSITY OF COARSE-GRAINED SOILS

GRAIN SIZE TERMINOLOGY

PLASTICITY DESCRIPTION

Wash Boring or Mud Rotary

Unconfined Compressive Strength, Qu, psf	Standard Penetration or N-value (SS) Blows/Ft.	Consistency	Standard Penetration or N-value (SS) Blows/Ft.	Relative Density
< 500	<2	Very Soft	0 – 4	Very Loose
500 - 1,000	2-4	Soft	5 – 10	Loose
1,001 - 2,000	5-8	Medium Stiff	11 – 30	Medium Dense
2,001 - 4,000	9-15	Stiff	31 – 50	Dense
4,001 - 8,000	16-30	Very Stiff	51+	Very Dense
8,000+	31+	Hard		•

RELATIVE PROPORTIONS OF SAND AND GRAVEL

Descriptive Term(s) of other constituents	<u>Percent of</u> <u>Dry Weight</u>	<u>Major Component</u> <u>of Sample</u>	Particle Size
Trace	< 15	Boulders	Over 12 in. (300mm)
With	15 – 29	Cobbles	12 in. to 3 in. (300mm to 75 mm)
Modifier	> 30	Gravel	3 in. to #4 sieve (75mm to 4.75 mm)
		Sand	#4 to #200 sieve (4.75mm to 0.075mm)
RELATIVE PROPORTION	S OF FINES	Silt or Clay	Passing #200 Sieve (0.075mm)

Descriptive Term(s) of other constituents	<u>Percent of</u> Dry Weight	PLASTICITY DESCRIPTION		
<u>constituents</u>		<u>Term</u>	Plasticity Index	
Trace	< 5	Non-plastic	0	
With	5 – 12	Low	1-10	
Modifiers	> 12	Medium High	11-30 30+	



UNIFIED SOIL CLASSIFICATION SYSTEM

					5	Soil Classification
Criteria for Assign	ning Group Symbols	and Group Names	s Using Laboratory Test	ts ^A	Group Symbol	Group Name ^B
	Gravels:	Clean Gravels:	Cu ≥ 4 and 1 ≤ Cc ≤ 3 ^E		GW	Well-graded gravel F
	More than 50% of	Less than 5% fines c	Cu < 4 and/or 1 > Cc > 3 E		GP	Poorly graded gravel F
	coarse	Gravels with Fines:	Fines classify as ML or MH		GM	Silty gravel F.G. H
Coarse Grained Soils:	fraction retained on No. 4 sieve	More than 12% fines c	Fines classify as CL or CH		GC	Clayey gravel F.G.H
More than 50% retained on No. 200 sieve	Sands:	Clean Sands:	Cu ≥ 6 and 1 ≤ Cc ≤ 3 ^E		SW	Well-graded sand I
OIT NO. 200 Sieve	50% or more of coarse	Less than 5% fines D	Cu < 6 and/or 1 > Cc > 3 E		SP	Poorly graded sand I
fraction passes	fraction passes	Sands with Fines: More than 12% fines D	Fines classify as ML or MH		SM	Silty sand ^{G,H,I}
	No. 4 sieve		Fines Classify as CL or CH		SC	Clayey sand G.H.I
		Inorganic:	PI > 7 and plots on or above "/	A" line ^J	CL	Lean clay ^{K,L,M}
	Silts and Clays:		PI < 4 or plots below "A" line J		ML	Silt K,L,M
	Liquid limit less than 50	Organic:	Liquid limit - oven dried	. 0.75	75 OL	Organic clay K.L,M,N
Fine-Grained Soils:			Liquid limit - not dried	0.75		Organic silt K.L.M,O
50% or more passes the No. 200 sieve Silts and Clays: Liquid limit 50 or more		Inorganic:	PI plots on or above "A" line		СН	Fat clay ^{K.L.M}
	Silts and Clays:		PI plots below "A" line		МН	Elastic Silt K.L.M
	Liquid limit 50 or more		Liquid limit - oven dried	< 0.75 OH	Organic clay K.L.M.P	
	Organic:	Liquid limit - not dried	20.73	ОП	Organic silt K,L,M,Q	
Highly organic soils:	Primaril	y organic matter, dark in	color, and organic odor		PT	Peat

- ^A Based on the material passing the 3-in. (75-mm) sieve
- ^B If field sample contained cobbles or boulders, or both, add "with cobbles or boulders, or both" to group name.
- ^c Gravels with 5 to 12% fines require dual symbols: GW-GM well-graded gravel with silt, GW-GC well-graded gravel with clay, GP-GM poorly graded gravel with silt. GP-GC poorly graded gravel with clay.
- graded gravel with silt, GP-GC poorly graded gravel with clay.

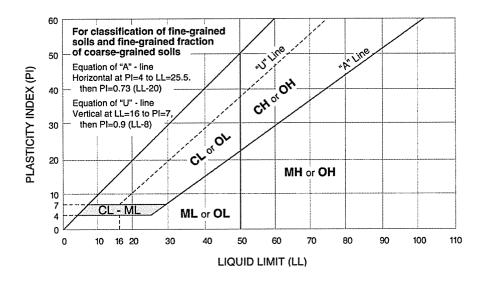
 D Sands with 5 to 12% fines require dual symbols: SW-SM well-graded sand with silt, SW-SC well-graded sand with clay, SP-SM poorly graded sand with silt, SP-SC poorly graded sand with clay

E Cu =
$$D_{60}/D_{10}$$
 Cc = $\frac{(D_{30})^2}{D_{10} \times D_{60}}$

- ^F If soil contains ≥ 15% sand, add "with sand" to group name.
- ^G If fines classify as CL-ML, use dual symbol GC-GM, or SC-SM.

- ^H If fines are organic, add "with organic fines" to group name.
- ¹ If soil contains ≥ 15% gravel, add "with gravel" to group name.
- If Atterberg limits plot in shaded area, soil is a CL-ML, silty clay.
- K If soil contains 15 to 29% plus No. 200, add "with sand" or "with gravel," whichever is predominant.
- gravel," whichever is predominant.

 Let use the soil contains ≥ 30% plus No. 200 predominantly sand, add "sandy" to group name.
- M If soil contains ≥ 30% plus No. 200, predominantly gravel, add "gravelly" to group name.
- N PI ≥ 4 and plots on or above "A" line.
- ^o PI < 4 or plots below "A" line.
- P PI plots on or above "A" line.
- ^Q PI plots below "A" line.



GENERAL NOTES

Description of Rock Properties

WEATHERING

Very severe

Rock fresh, crystals bright, few joints may show slight staining. Rock rings under hammer if crystalline. Fresh

Rock generally fresh, joints stained, some joints may show thin clay coatings, crystals in broken face show Very slight

bright. Rock rings under hammer if crystalline.

Slight Rock generally fresh, joints stained, and discoloration extends into rock up to 1 in. Joints may contain clay. In

granitoid rocks some occasional feldspar crystals are dull and discolored. Crystalline rocks ring under hammer.

Significant portions of rock show discoloration and weathering effects. In granitoid rocks, most feldspars are dull Moderate

and discolored; some show clayey. Rock has dull sound under hammer and shows significant loss of strength as

compared with fresh rock.

Moderately severe All rock except quartz discolored or stained. In granitoid rocks, all feldspars dull and discolored and majority

show kaolinization. Rock shows severe loss of strength and can be excavated with geologist's pick.

Severe All rock except quartz discolored or stained. Rock "fabric" clear and evident, but reduced in strength to strong soil. In granitoid rocks, all feldspars kaolinized to some extent. Some fragments of strong rock usually left.

All rock except quartz discolored or stained. Rock "fabric" discernible, but mass effectively reduced to "soil" with

only fragments of strong rock remaining.

Rock reduced to "soil". Rock "fabric" not discernible or discernible only in small, scattered locations. Quartz may Complete

be present as dikes or stringers.

HARDNESS (for engineering description of rock - not to be confused with Moh's scale for minerals)

Cannot be scratched with knife or sharp pick. Breaking of hand specimens requires several hard blows of Very hard

geologist's pick.

Can be scratched with knife or pick only with difficulty. Hard blow of hammer required to detach hand specimen. Hard

Can be scratched with knife or pick. Gouges or grooves to ¼ in. deep can be excavated by hard blow of point of Moderately hard

a geologist's pick. Hand specimens can be detached by moderate blow.

Can be grooved or gouged 1/16 in. deep by firm pressure on knife or pick point. Can be excavated in small chips Medium

to pieces about 1-in. maximum size by hard blows of the point of a geologist's pick.

Can be gouged or grooved readily with knife or pick point. Can be excavated in chips to pieces several inches in Soft

size by moderate blows of a pick point. Small thin pieces can be broken by finger pressure.

Very soft Can be carved with knife. Can be excavated readily with point of pick. Pieces 1-in. or more in thickness can be

broken with finger pressure. Can be scratched readily by fingernail.

Joint, Bedding, and Foliation Spacing in Rock ^a				
Spacing	Joints	Bedding/Foliation		
Less than 2 in.	Very close	Very thin		
2 in. – 1 ft.	Close	Thin		
1 ft. – 3 ft.	Moderately close	Medium		
3 ft. – 10 ft.	Wide	Thick		
More than 10 ft.	Very wide	Very thick		

a. Spacing refers to the distance normal to the planes, of the described feature, which are parallel to each other or nearly so.

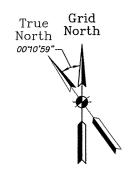
Rock Quality Designator (RQD) ^a		Joint Openness Descriptors		
RQD, as a percentage	Diagnostic description	Openness	Descriptor	
Exceeding 90	Excellent	No Visible Separation	Tight	
90 – 75	Good	Less than 1/32 in.	Slightly Open	
75 – 50	Fair	1/32 to 1/8 in.	Moderately Open	
50 – 25	Poor	1/8 to 3/8 in.	Open	
Less than 25	Very poor	3/8 in. to 0.1 ft.	Moderately Wide	
		Greater than 0.1 ft.	Wide	

a. RQD (given as a percentage) = length of core in pieces 4 in. and longer/length of run.

References: American Society of Civil Engineers. Manuals and Reports on Engineering Practice - No. 56. Subsurface Investigation for Design and Construction of Foundations of Buildings. New York: American Society of Civil Engineers, 1976.

U.S. Department of the Interior, Bureau of Reclamation, Engineering Geology Field Manual.

Site: Marion West Lease Boundary and Topographic Survey Marion County, Kentucky



Basis of Bearings

The bearing system of this survey is based upon G.P.S. observations made on December 9, 2010 using the National Geodetic Survey manument "R 222" and the Kentucky State Plane Coordinate System, South Zone, NAD 83 (2007). This system is grid north.

Tower Location Information

Designation: Marion West
Site ID# None
Horizontal Datum: NAD 83 (2007)
Lotitude: 37'33'38.67' North
Longitude: 85'26'53.21" West
Vertical Datum: NAVD 88
Ground Elevation: 590.9 feet (180.11 m)
State Plane Coordinates
Northing: 2,087,445.17 feet (636,254.560 m)
Easting: 1,727,921.11 feet (526,671.408 m)

Landowner Information

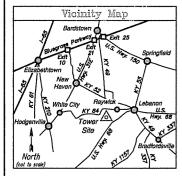
Landowner: Walter E., III and Connie M. Abell Address: 885 Howardstown Road Raywick, Kentucky 40060 Contact Person: Walter E. Abell III Phone: 270–692–2006 Cell: 270–699–1773 PVA Map No. 013–021

Troject Bench Mark

Northing: 2,087,328 feet (636,219 m)
Easting: 1,727,845 feet (526,648 m)
Elevation: 592.81 feet (180.689 m)
Description: A MAG nail set in the east side of a 36" red oak, 6" above grade. The benchmark is approximately 140 feet southwest of the center of the tower.

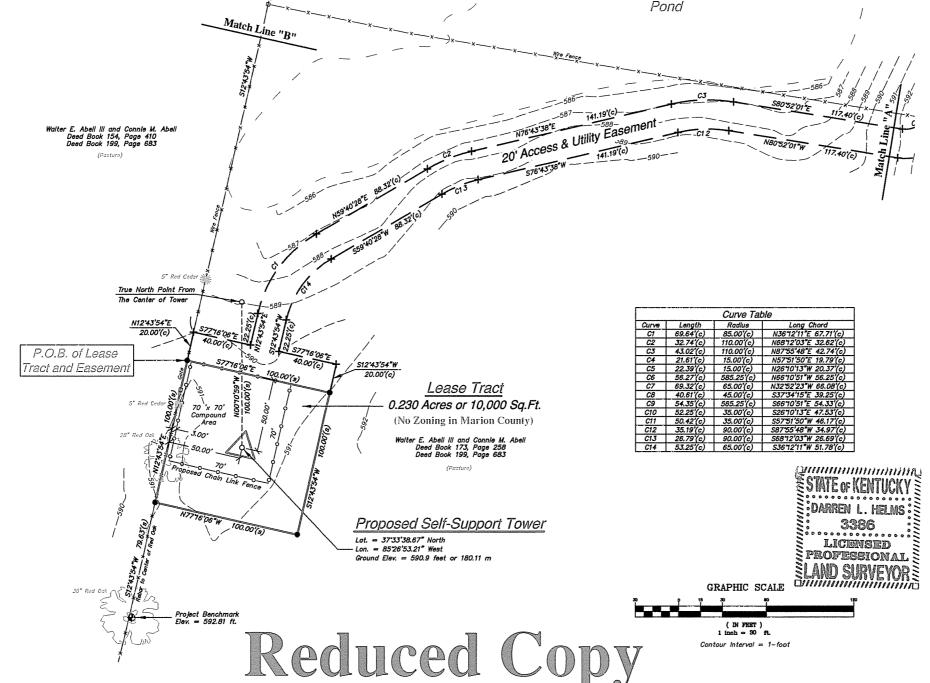
Flood Plain Statement

According to the Flood Insurance Rate Map for Marlon County, Kentucky, Community Panel No. 21155C0140C, dated January 6, 2010, the subject site lies within "Other Areas – Zone X", which is defined as "Area determined to be outside the 0.2% annual chance floodplain."



Directions to Site

From Elizabethtown. Kentucky: travel south on Kentucky Highway 210 to Hodgenville and U.S. Highway 31E for about 5 miles to Kentucky Highway 31E for about 5 miles to Kentucky Highway 84 in White City travel east on Kentucky Highway 84 for 17 miles to a lane on the south side of Kentucky Highway 84 about 1 mile before reaching Roywick; turn right onto the lane a travel southerly for about 1,200 feet to the tower site in a posture.



Surveyor's Notes

- This survey is subject to a statement of facts white may be disclosed by an Abstract of Title or a Title Commitment Policy. This documentation was not provided by the client.
- 2. No search of public records has been performed by this firm to determine any defects and/or ambiguities in the title of the parent tract.
- 3. The utilities shown on this plat may or may not represent all of the utilities located on the subject site. The presence of utilities was determined by a visual inspection of the property surface. No utility locate was called in prior to this survey. It shall be the responsibility of the contractor to locate utilities prior to construction.
- 4. The topographic information contained on this plat was as requested by the client and may or may not represent all of the topographic features located on the subject property.
- 5. According to John G. Mattingly, County Judge Executive of Marion County, no local planning unit exists which has geographical purisdiction of the subject tower site. The County Judge Executive's office may be contacted at 270–692–3451 for confirmation.
- The proposed location of the Marion cell site will be located outside of an incorporated city.

	<u>Legend</u>		
•	5/8" Rebar Set Flush With A Survey		Property or Deed Line
	Cap inscribed "D.L. Helms PLS 3386"		Right of Way
0	5/8" Rebar Set Flush ~ No Cap	Ø	Utility Pole
=	Wood Gate Post	xxxx	Utility As Noted
×	Calculated Position - No Monument	(m)	Measured
^	Found or Set	(r)	Recorded
	Subject Boundaries	(c)	Calculated
	Subject Easement Boundaries	(s)	Set

Lease Boundary and Easement Description

A tract of land that is located about 1 mile west of Raywick and 750 feet south of Kentucky Highway 84 (Howardstown Road) in Marlon County, Kentucky, solid tract being described as follows:

COMMENCING AT a 5/8-inch rebar set flush with a survey cap inscribed D.L. Helms PLS 3386° at the northeast corner of the 84.33-acre tract described in deed to Walter E. Abell III and Connie M. Abell on May 29, 1988 in Deed Book 199, page 683 in the office of the County Clerk of Marion County, Kentucky, said rebar being set 3.8 feet northerly of a wood corner post and being on the southern right of way of the aforesaid highway (30 feet from the centerline); thence along the eastern boundary of said 84.33-acre tract the following two (2) courses: (1) South 11 degrees 11 minutes 13 seconds West 145.06 feet to a wood gate post on the north side of a farm lane and (2) South 12 degrees 43 minutes 54 seconds West 556.42 feet to a rebar set flush with a survey cap inscribed D.L. Helms PLS 3386° (referred to as a rebar in the remainder of this description) on the south side of a wood gate post and being the POINT OF BEGINNING of this description: thence South 77 degrees 16 minutes 06 seconds West 500.40 feet to a rebar set flush; thence South 12 degrees 43 minutes 54 seconds Sest 100.00 feet to a rebar set flush; thence South 12 degrees 43 minutes 54 seconds West 100.00 feet to a rebar set flush, thence North 17 degrees 43 minutes 54 seconds Seconds Sest 100.00 feet to a rebar set flush on the eastern boundary of the aforesaid 84.33-acre tract; thence North 12 degrees 43 minutes 54 seconds East 100.00 feet to the point of beginning and containing 0.230 acres (10,000 square feet), more or less.

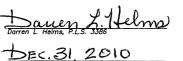
Rush on the eastern boundary of the aforesaid 84.33-acre fract; thence North 12 degrees 43 minutes 54 seconds East 100.00 feat to the point of beginning and containing 0.230 acres (10,000 square feet), more or less. TOGETHER WITH an access and utility easement from the above-described 0.230-acre lease tract to Kentucky Highway 84; said easement being described as follows: BEGINNINIG AT a 5/8-inch rebar set flush with a survey cap inscribed 70.1 Helms PLS 3386° at the northwest corner of the above-described 0.230-acre lease tract; thence North 12 degrees 43 minutes 54 seconds East 20.00 feet; thence North 12 degrees 43 minutes 54 seconds East 20.00 feet; thence North 12 degrees 43 minutes 54 seconds East 22.05 feet; thence North 12 degrees 43 minutes 54 seconds East 22.05 feet; thence North 12 degrees 43 minutes 54 seconds East 22.05 feet; thence North 12 degrees 40 minutes 11 seconds East and a length of 67.71 feet; thence North 59 degrees 20 minutes 11 seconds East and a length of 67.71 feet; thence North 59 degrees 40 minutes 28 seconds East 88.32 feet; thence North 76 degrees 45 minutes 38 seconds East 88.32 feet; thence North 76 degrees 45 minutes 38 seconds East 141.19 feet; thence Easterly 43.02 feet along an arc to the right and having a radius of 110.00 feet and subtended by a long chord having a bearing of North 87 degrees 55 minutes 38 seconds East 141.19 feet; thence Easterly 43.02 feet along an arc to the right and having a radius of 15.00 feet and subtended by a long chord having a bearing of North 87 degrees 55 minutes 48 seconds East and a length of 42.74 feet; thence North 16 degrees 55 minutes 30 seconds East and a length of 18.29 feet; thence North 16 degrees 35 minutes 48 seconds East and a length of 18.29 feet; thence North 16 degrees 35 minutes 48 seconds East and a length of 18.09 feet and subtended by a long chord having a bearing of North 87 degrees 35 minutes 48 seconds East and a length of 18.09 feet; thence North 16 degrees 35 minutes 30 seconds East and a length of 56.25 feet; thence

The bearing system of these descriptions is based upon the Kentucky State Plane Coordinate System, South Zone, NAD 83 (2007), as determined by G.P.S. observations made on December 9, 2010 using the National Geodetic Survey monument "R 222". These descriptions are based upon a survey completed by Landmark Surveying Co., Inc. and certified by Darren L. Helms, P.L.S. 3386, on December 31, 2010. Sold survey is hereby referenced and made a part of these descriptions.

SOURCE OF TITLE: Being a portion of and lying entirely within the land described in deed to Walter E. Abeil III and Connie M. Abell as Parcel I on March 14, 1994 in Deed Book 173, page 258 and on May 29, 1998 in Deed Book 199, page 883; both documents being recorded in the office of the County Clerk of Marion County, Kentucky.

Surveyor's Certification

I hereby certify that this plat has been compiled from a survey actually made upon the ground under my direct supervision on December 9, 2010 by the method of random traverse with sideshots. The unadjusted precision ratio of the traverse was 1:34,400 and it was not adjusted. This survey is a Class B survey and the accuracy and precision of this survey meets all the specifications of this class.



47501 salvet © 2010

mark Surveying Co...
15 N.E. 3rd Street
Washington, Indiana 47501



883 Howardstown Road

Kentucky

Raywick,

Bluegrass Cellular 2902 Ring Road Elizabethtown, Kentucky 42701

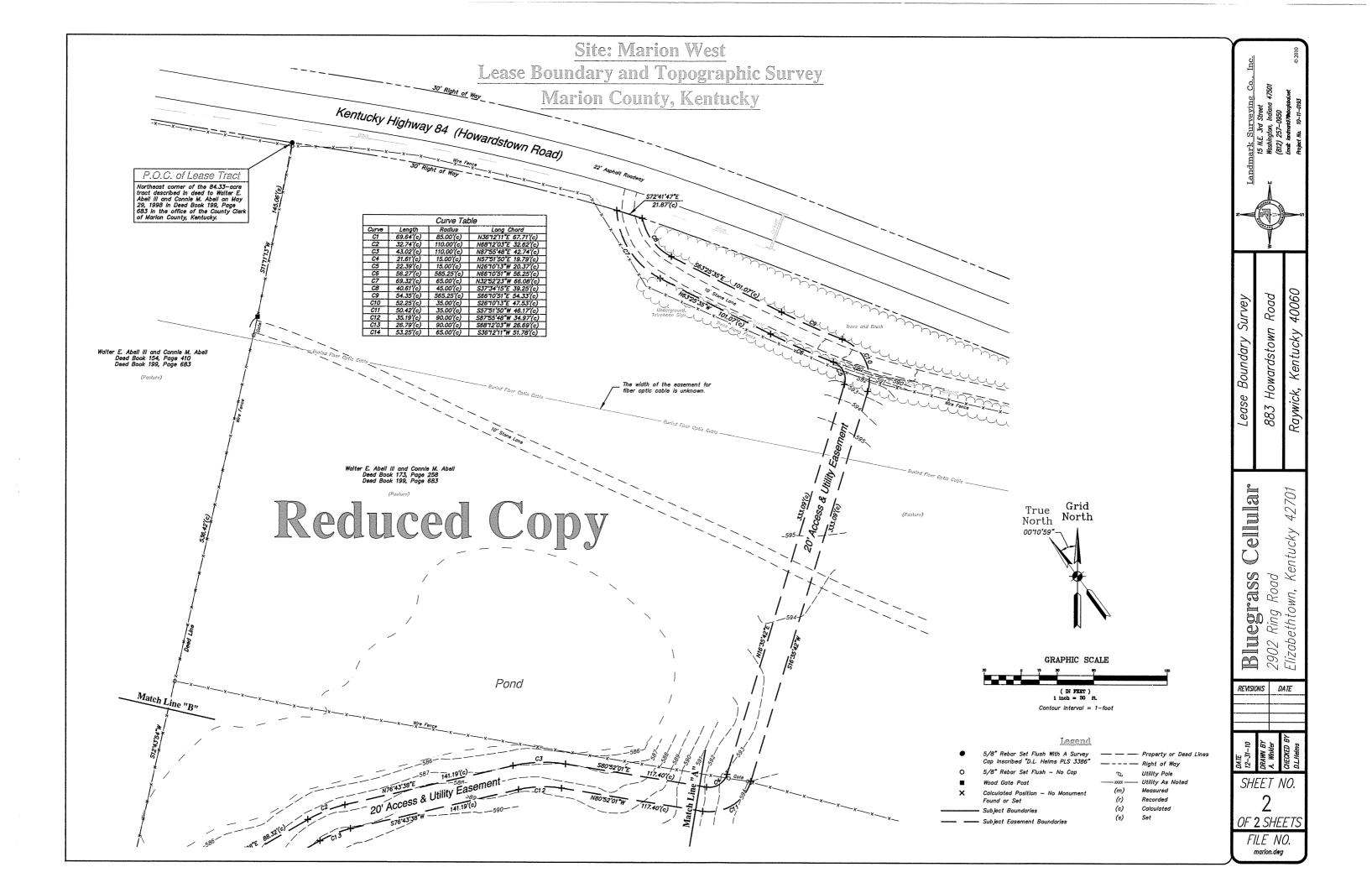
REVISIONS DATE

12–31–10
DRAWN BY
A. Winkler
CHECKED BY
D.L.Helms

SHEET NO.

1
OF 2 SHEETS

FILE NO.





APPROVAL SIGNATURES	
BLUEGRASS CELLULAR PROJECT SUPERVISOR:	
DATE:	The state of the s
CITY REPRESENTATIVE:	
TITLE:	
DATE:	
PROPERTY OWNER/OWNERS:	
DATE:	
TOWER OWNER/OWNERS:	
DATE:	

SITE NAME: MARION WEST

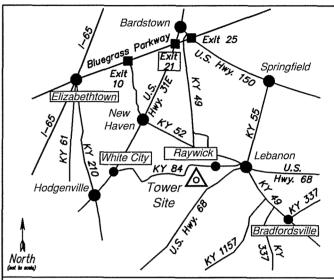
911 ADDRESS: 883 Howardstown Rd. Raywick, KY. 40060

COUNTY: MARION

TOWER LATITUDE & LONGITUDE

N37* 33' 38.67" W85* 26' 53.21"

SHEET INDEX				
SHEET NO.	DESCRIPTION	REVISION		
TITLE SHEET	TITLE SHEET			
SURVEY	SURVEY			
A-1	SITE PLAN			
A-2	FENCE DETAILS			
ANTENNA DETAILS 1	ANT.SPECS/TOWER ELEV.			
ANTENNA DETAILS 2	ANTENNA DETAILS 2			
E-1	SITE PLAN - ELECTRICAL			
E-2	ELECTRICAL DETAILS			
LYNCOLE	LYNCOLE GROUNDING			
E-3	ELEC. PLAN - GROUNDING			
E-4	GROUNDING DETAILS			
S-1	FOUNDATION DETAILS			
GENERATOR DETAIL	GENERATOR DETAIL			
GENERAL NOTES	GENERAL NOTES			



VICINITY MAP NOT TO SCALE DIRECTIONS TO SITE

From Elizabethtown, Kentucky: travel south on Kentucky Highway 210 to Hodgenville and U.S. Highway 31E; travel northeast on U.S. Highway 31E for about 5 miles to Kentucky Highway 84 in White City; travel east on Kentucky Highway 84 for 17 miles to a lane on the south side of Kentucky Highway 84 about 1 mile before reaching Raywick; translation on the lane a travel southerly for turn right onto the lane a travel southerly for about 1,200 feet to the tower site in a pasture.

SITE DATA

PROPERTY OWNER: Walter & Connie Abell 885 Howardstown Rd. (270) 699-1773

TOWER OWNER:

BLUEGRASS CELLULAR (270) 769-0339

POWER COMPANY: INTER-COUNTY ENERGY COOP (859) 236-4561

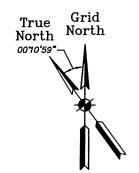
TELEPHONE COMPANY: AT&T

BLUEGRASS PROJECT SUPERVISOR: JEFF BREWER (270) 734-3436



ROBIN BECKER (502)231-3656 OFFICE/FAX

Site: Marion West Lease Boundary and Topographic Survey Marion County, Kentucky



Basis of Bearings

The bearing system of this survey is based upon G.P.S. observations made on December 9, 2010 using the National Geodetic Survey monument "R 222" and the Kentucky State Plane Coordinate System, South Zone, NAD 83 (2007). This system is grid north.

Tower Location Information

Designation: Marion West Site ID#: None Horizontal Datum: NAD 83 (2007) Latitude: 37'33'38.67" North Latitude: 3733'38.67" North Longitude: 85'26'53.21" West Vertical Datum: NAVD 88 Ground Elevation: 590.9 feet (180.11 m) State Plane Coordinates Northing: 2,087,445.17 feet (636,254.560 m) Easting: 1,727,921.11 feet (526,671.408 m)

Landowner Information

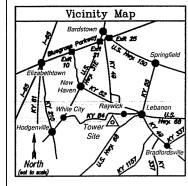
andowner: Walter E., Ill and Connie M. Abei Raywick, Kentucky 40060 Contact Person: Walter E. Abell III Phone: 270-692-2006 Cell: 270-699-1773 PVA Map No. 013-021

Project Bench Mark

Northing: 2,087,328 feet (636,219 m) 1,727,845 feet (526,648 m) 592.81 feet (180.689 m) Description: A MAG nail set in the east sk of a 36" red ook, 6" above grade. The benchmark is approximately 140 feet southwest of the center of the tower.

Flood Plain Statement

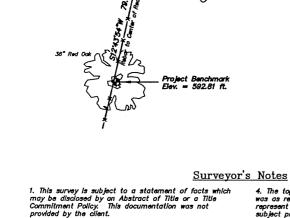
According to the Flood Insurance Rate Map for Marion County, Kentucky, Community Panel No. 21155C0140C, dated January 6, Panel No. 21155U14U.; acted January 6, 2010, the subject site lies within "Other Areas — Zone X", which is defined as "Areas determined to be outside the 0.2% annual chance floodplain."



Directions to Site

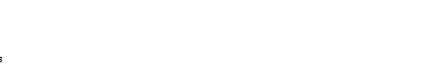
DITECTIONS CO SILE

From Elizabethtown, Kentucky: travel south
on Kentucky Highway 210 to Hodgenville and
U.S. Highway 31E; travel northeast on U.S.
Highway 31E for about 5 miles to Kentucky
Highway 84 in White City; travel east on
Kentucky Highway 84 for 17 miles to a lane
on the south side of Kentucky Highway 84
about 1 mile before reaching Raywick; turn
right onto the lane a travel southerly for
about 1,200 feet to the tower site in a
pasture.



2. No search of public records has been performed by this firm to determine any defects and/or ambiguities in the title of the parent tract.

- 4. The topographic information contained on this plat was as requested by the client and may or may not represent all of the topographic features located on the subject property.
- 5. According to John G. Mattingly, County Judge Executive of Marion County, no local planning unit exists which has geographical jurisdiction of the subject tower site. The County Judge Executive's office may be contacted at 270–692–3451 for confirmation. 3. The utilities shown on this plat may or may not represent all of the utilities located on the subject site. The presence of utilities was determined by a visual inspection of the property surface. No utility locate was called in prior to this survey. It shall be the responsibility of the contractor to locate utilities prior to
 - 6. The proposed location of the Marion cell site will be located outside of an incorporated city.



Legend 5/8" Rebar Set Flush With A Survey Cop Inscribed "D.L. Helms PLS 3386 5/8" Rebar Set Flush - No Can

Found or Set

- Property or Deed Lines ---- Right of Way Utility Pole Utility As Noted Measured Recorded (c) Calculated (s) Set

Lease Boundary and Easement Description

A tract of land that is located about 1 mile west of Raywick and 750 feet

Kentucky, said tract being described as follows:

COMMENCING AT a 5/8-inch rebar set flush with a survey cap inscribed the St.33-acre tract described in deed to Walter E. Abeil III and Connie M. Abeil on May 29, 1998 in Deed Book 199, page 683 in the office of the County Clerk of Marion County, Kentucky, said rebar being set 3.8 feet northerly of a wood corner post and being on the southern right of way of the aforesaid highway (30 feet from the centerline); thence along the eastern boundary of said 84.33-acre tract the following two (2) courses: (1) South 11 degrees 11 minutes 13 seconds West 145.06 feet to a wood gate post on the north side of a form lane and (2) South 12 degrees 43 minutes 54 seconds West 556.42 feet to a rebar set flush with a survey cap inscribed "D.L. Helms PLS 3386" (referred to as a rebar in the remainder of this description) on the south side of a wood gate post and being the POINT OF BEGINNING of this description: thence South 77 degrees 16 minutes 06 seconds East 100.00 feet to a rebar set flush; thence South 77 degrees 16 minutes 06 seconds Sest 100.00 feet to a rebar set flush; thence North 77 degrees 16 minutes 06 seconds West 100.00 feet to a rebar set flush; thence North 12 degrees 43 minutes 54 seconds East 100.00 feet to a rebar set flush; thence North 12 degrees 43 minutes 54 seconds East 100.00 feet to the point of beginning and containing 0.230 acres (10,000 square feet), more or less.

North 12 degrees 43 minutes 54 seconds East 100.00 feet to the point of beginning and containing 0.230 acres (10,000 square feet), more or less.

TOCCTHER WITH an access and utility easement from the above-described 0.230-acre lease tract to Kentucky Highway 84; said easement being described as follows: BEGINNING AT a 578-inch rebar set flush with a survey cap inscribed 0.230-acre lease tract; thence North 12 degrees 43 minutes 54 seconds East 20.00 feet; thence North 12 degrees 16 minutes 06 seconds East 40.00 feet; thence North 12 degrees 43 minutes 54 seconds East 20.20 feet; thence North 12 degrees 43 minutes 54 seconds East 20.20 feet; thence North 12 degrees 40 minutes 54 seconds East 20.20 feet; thence North 12 degrees 40 minutes 10 and 18 a

The bearing system of these descriptions is based upon the Kentucky State Plane Coordinate System, South Zone, NAD 83 (2007), as determined by G.P.S. observations made on December 9, 2010 using the National Geodetic Survey monument "R 222". These descriptions are based upon a survey completed by Landmark Surveying Ca, Inc. and certified by Darren L. Helms, P.L.S. 3386, on December 31, 2010. Sald survey is hereby referenced and made a part of these descriptions.

SOURCE OF TITLE: Being a portion of and lying entirely within the land described in deed to Waiter E. Abeil III and Connie M. Abeil as Parcel I on March 14, 1994 in Deed Book 173, page 258 and on May 29, 1998 in Deed Book 199, page 683; both documents being recorded in the office of the Country Clerk of Marion County, Kentucky.

Surveyor's Certification

I hereby certify that this plat has been compiled from a survey actually made upon the ground under my direct supervision on December 9, 2010 by the method of random traverse with sideshots. The unadjusted precision ratio of the traverse was 1:34,400 and it was not adjusted. This survey is a Class B survey and the accuracy and precision of this survey meets all the specifications of this class.

Darren L. Helms, P.L.S. 3386

Road Howardstown 883

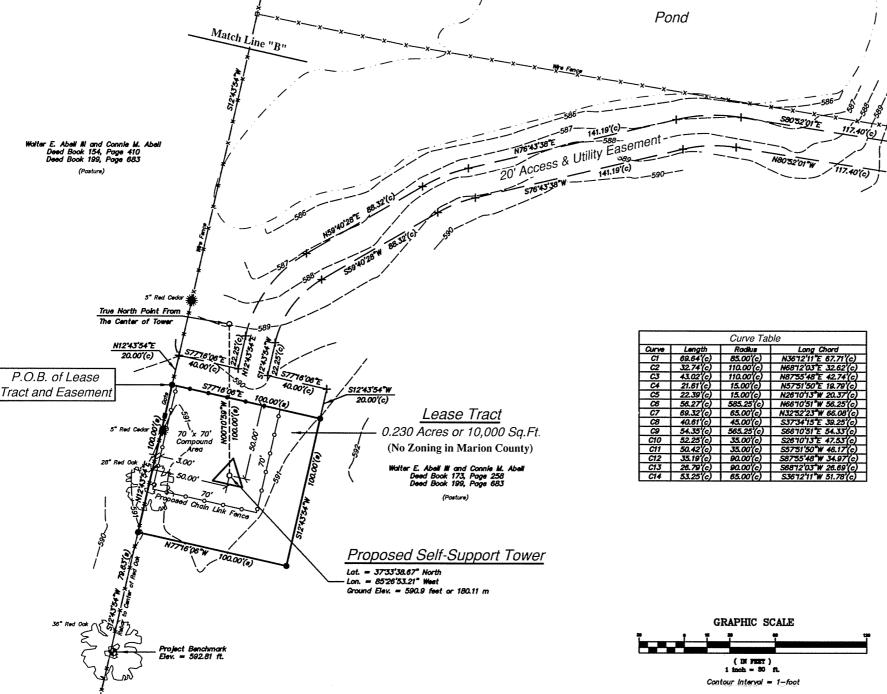
Kentucky

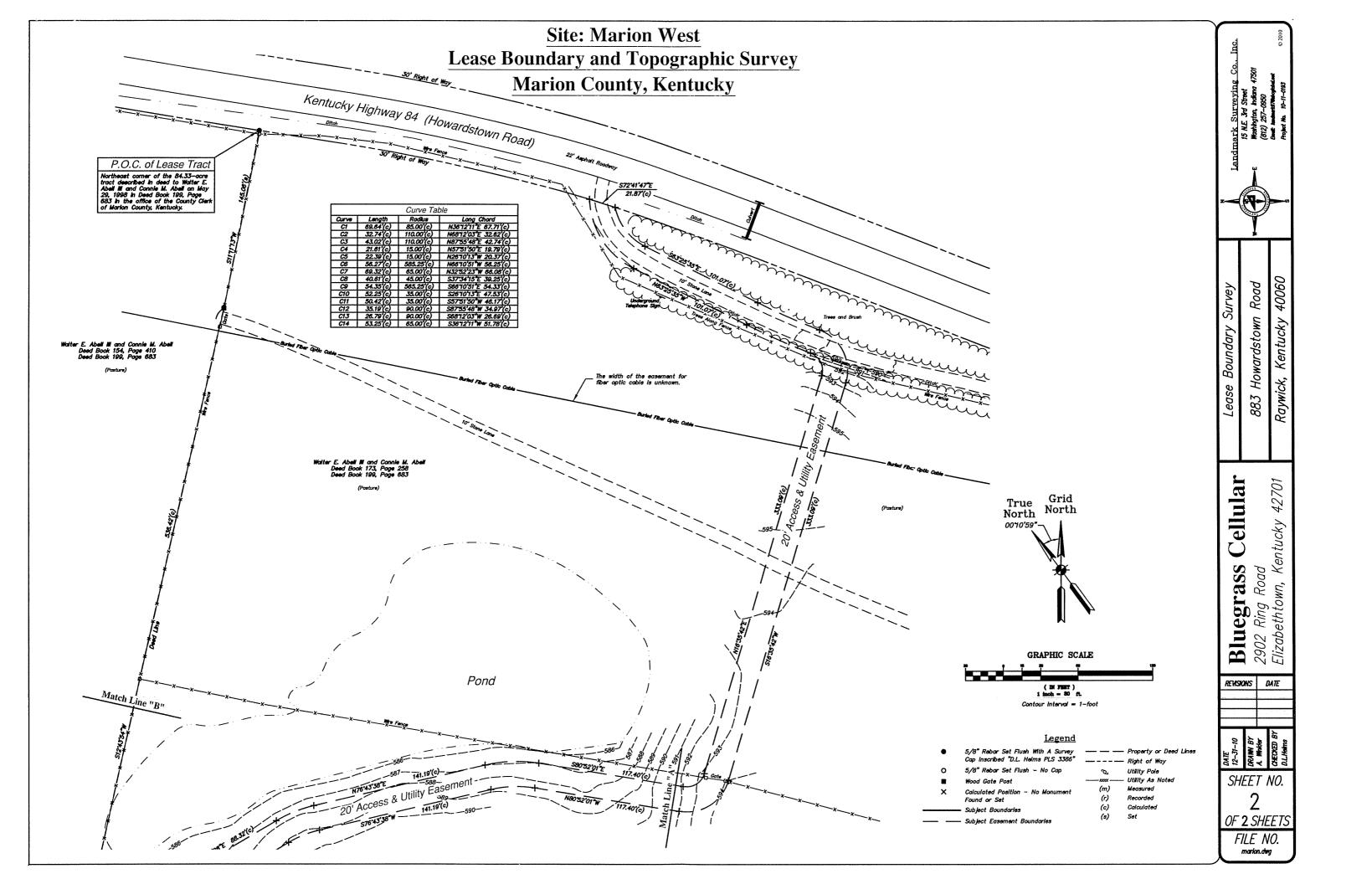
ellular Kentucky egrass 2902 Ring Roa Elizabethtown,

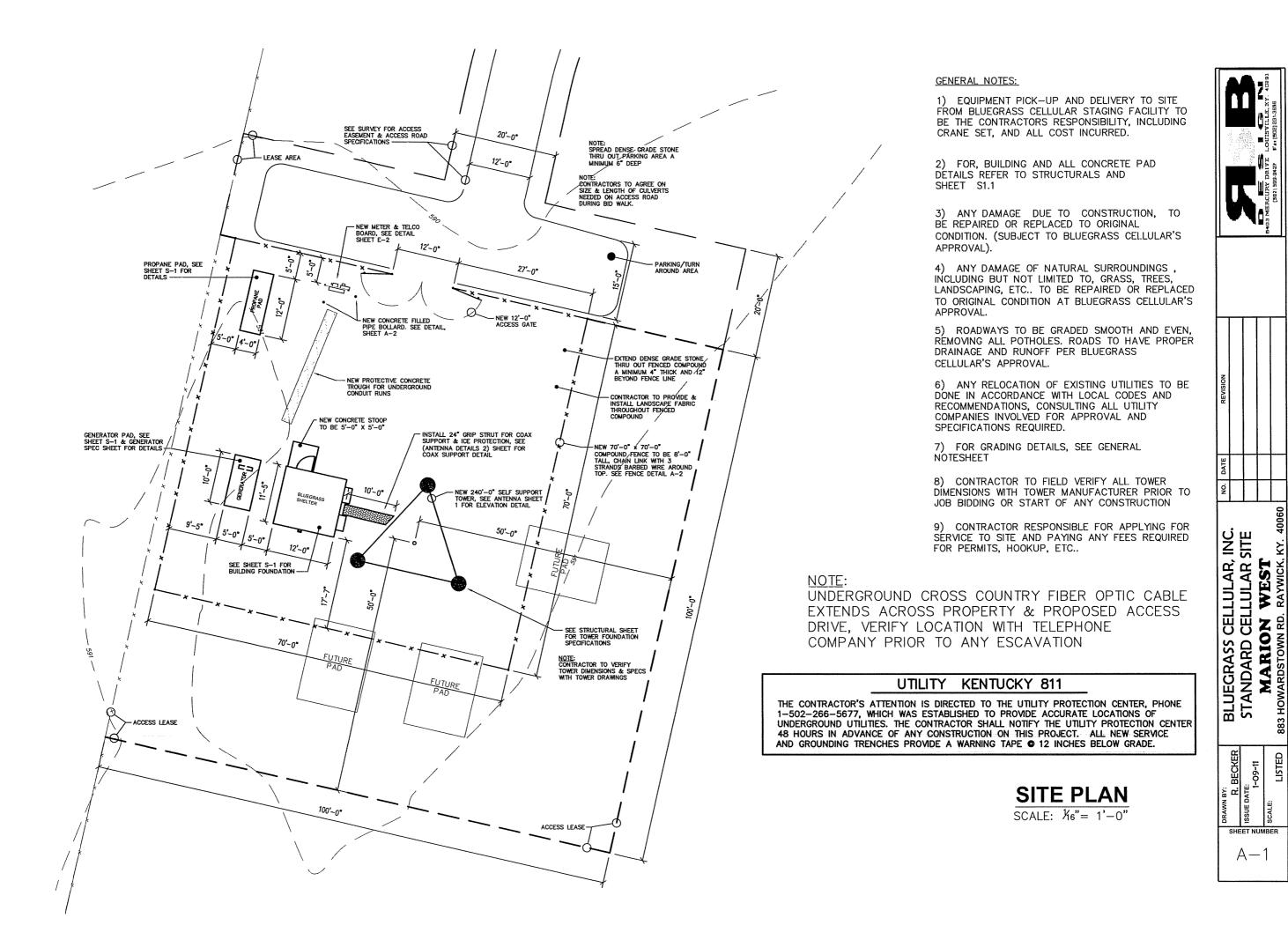
SHEET NO. OF 2 SHEETS FILE NO.

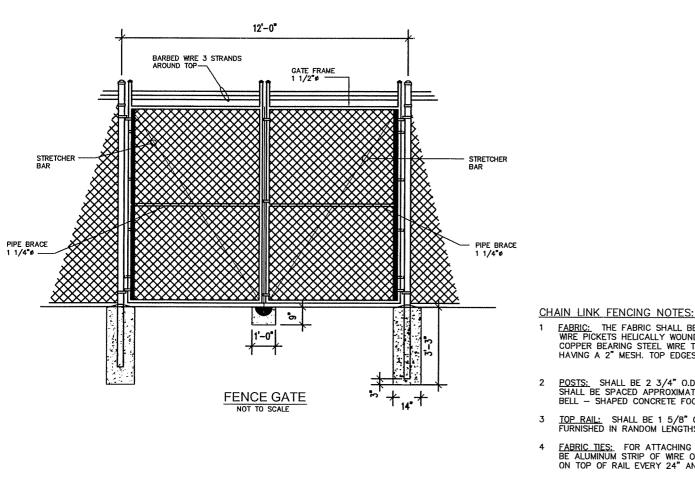
REVISIONS

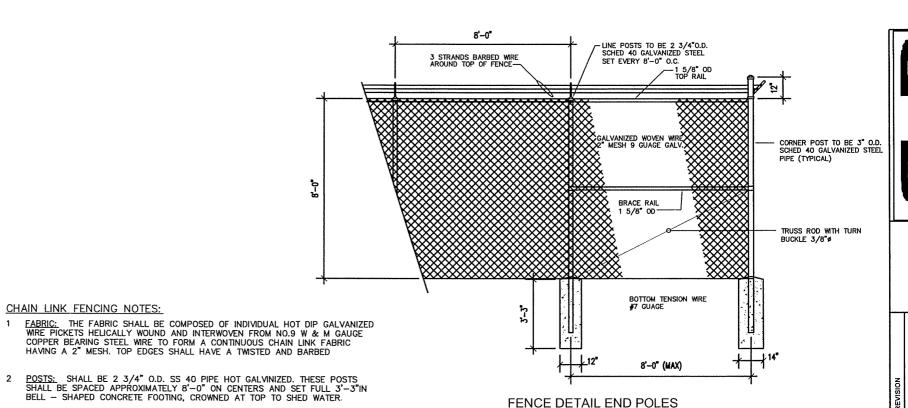
DATE



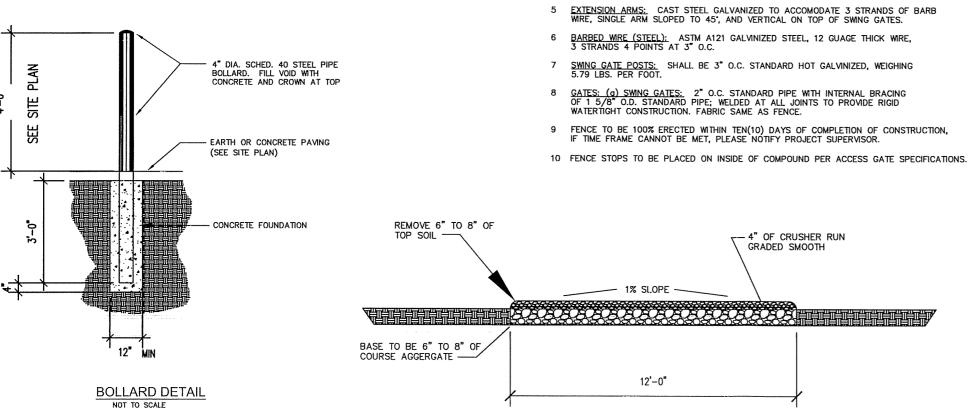








NOT TO SCALE



TOP RAIL: SHALL BE 1 5/8" O.C. STANDARD PIPE HOT GALVANIZED AND SHALL BE FURNISHED IN RANDOM LENGTHS AVRERAGING NOT LESS THAN 20".

<u>FABRIC TIES:</u> FOR ATTACHING FABRIC TO LINE POST, TOP RAIL OR TOP WIRE, SHALL BE ALUMINUM STRIP OF WIRE OF APPROVED GUAGE AND DESIGN. USED ON TOP OF RAIL EVERY 24" AND ONE POST EVERY 12".

ROAD DETAIL NOT TO SCALE

TYPICAL 3 STRANDS BARBED WRE AROUND TOP TO BE 45* ANGLE, EXCEPT AT CORNER POSTS AND GATE, WHERE BARBED WRE TO BE VERTICAL. - 2 3/4" O.D. GALVANIZED FENCE LINE POST SITE INTERIOR FENCE TO BE CHAIN LINK CRUSHED STONE FINISHED GRADE CRUSHED STONE TO BE EXTENDED BEYOND FENCE 12" TYPICAL - GRADE LINE (EXISTING) SLOPE TOP OF FOUNDATION (TYPICAL) FOUNDATION TO BE 1'-0" ROUND x 3'-3" DEEP

SITE SITE

CELLULAR, I CELLULAR SI ON WEST

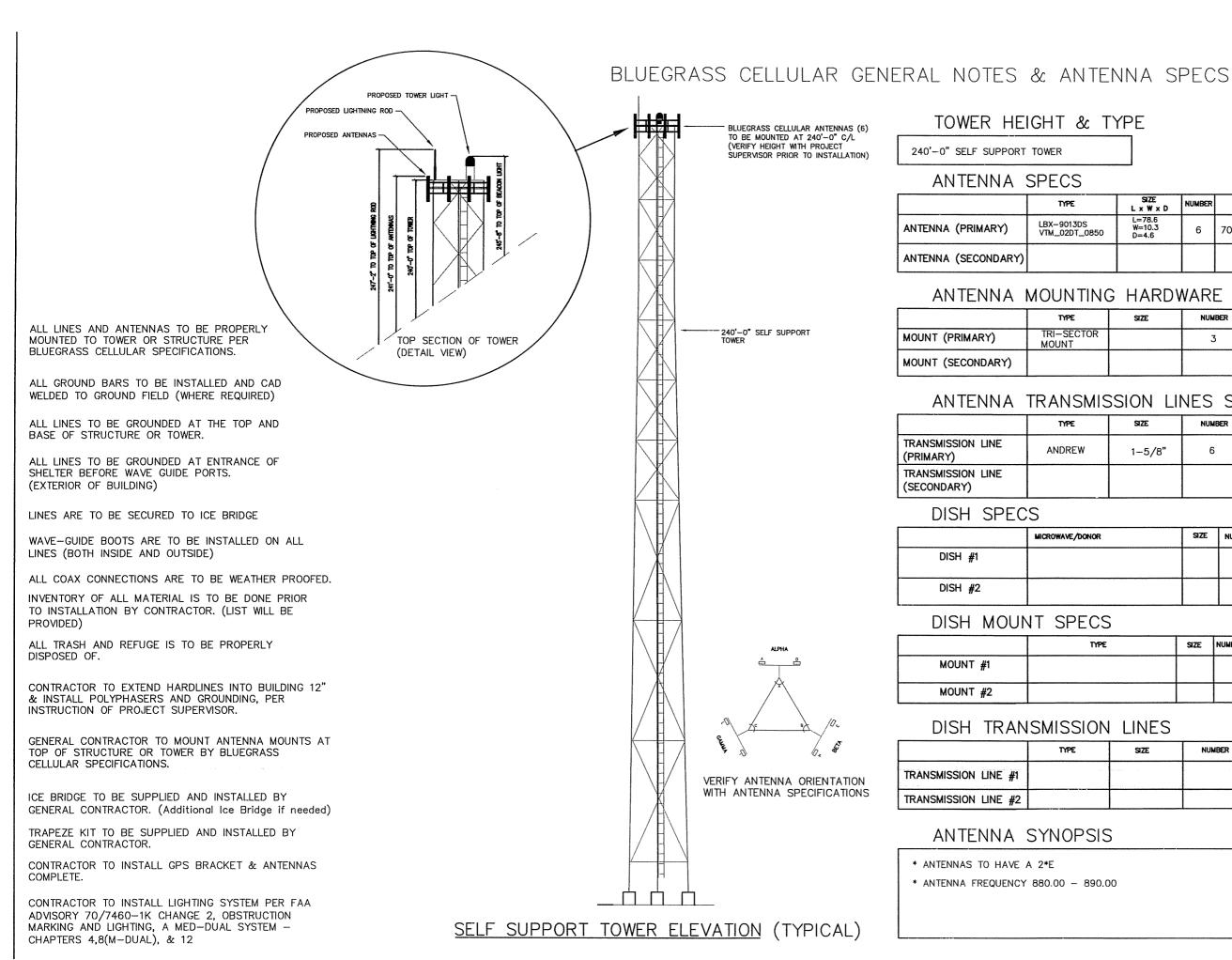
BLUEGRASS (STANDARD (

SHEET NUMBER

A-2

MARION

FENCE DETAIL LINE POLES



TOWER HEIGHT & TYPE

240'-0" SELF SUPPORT TOWER

ANTENNA SPECS

	TYPE	SIZE L x W x D	NUMBER	AZIMUTH	MOUNTING HEIGHT
ANTENNA (PRIMARY)	LBX-9013DS VTM_02DT_0850	L=78.6 W=10.3 D=4.6	6	70*, 180*, 290*	240'~0" C/L VERIFY WITH CONSTRUCTION SUPERVISOR
ANTENNA (SECONDARY)					

ANTENNA MOUNTING HARDWARE SPECS

	TYPE	SIZE	NUMBER
MOUNT (PRIMARY)	TRI-SECTOR MOUNT		3
MOUNT (SECONDARY)			

ANTENNA TRANSMISSION LINES SPECS

	TYPE	SIZE	NUMBER
TRANSMISSION LINE (PRIMARY)	ANDREW	1-5/8"	6
TRANSMISSION LINE (SECONDARY)			

DISH SPECS

	MICROWAVE/DONOR	SIZE	NUMBER	AZIMUTH	MOUNTING HEIGHT
DISH #1					
DISH #2					

DISH MOUNT SPECS

	TYPE	SIZE	NUMBER
MOUNT #1			
MOUNT #2			

DISH TRANSMISSION LINES

	TYPE	SIZE	NUMBER
TRANSMISSION LINE #1			
TRANSMISSION LINE #2			

ANTENNA SYNOPSIS

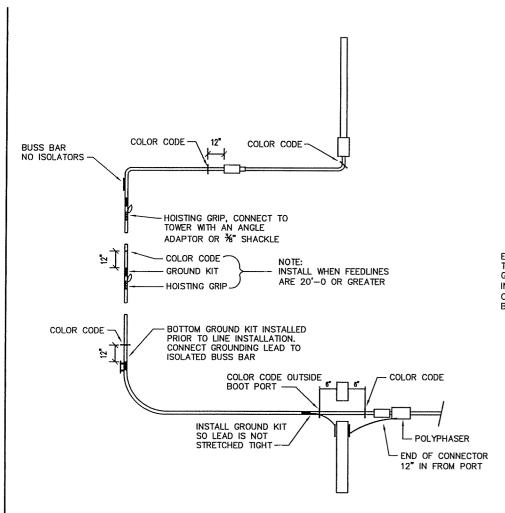
- * ANTENNAS TO HAVE A 2*E
- * ANTENNA FREQUENCY 880.00 890.00



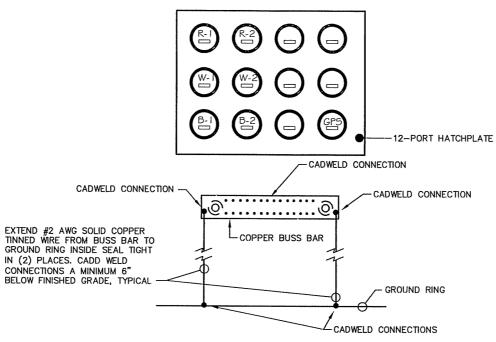


BLUEGRASS CELLULAR, INC. STANDARD CELLULAR SITE MARION WEST

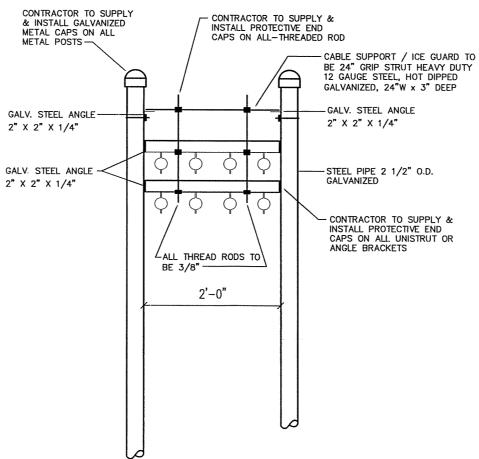
ANTENNA DETAILS



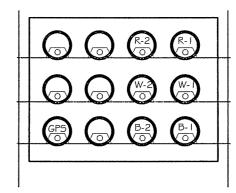
COLOR CODING DETAIL



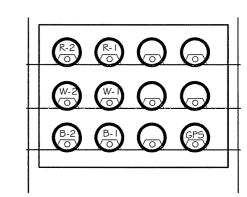
BOOT PORT GROUNDING DETAIL







COAX ENTRY DETAIL POWER SIDE (VIEW FROM INSIDE SHELTER)



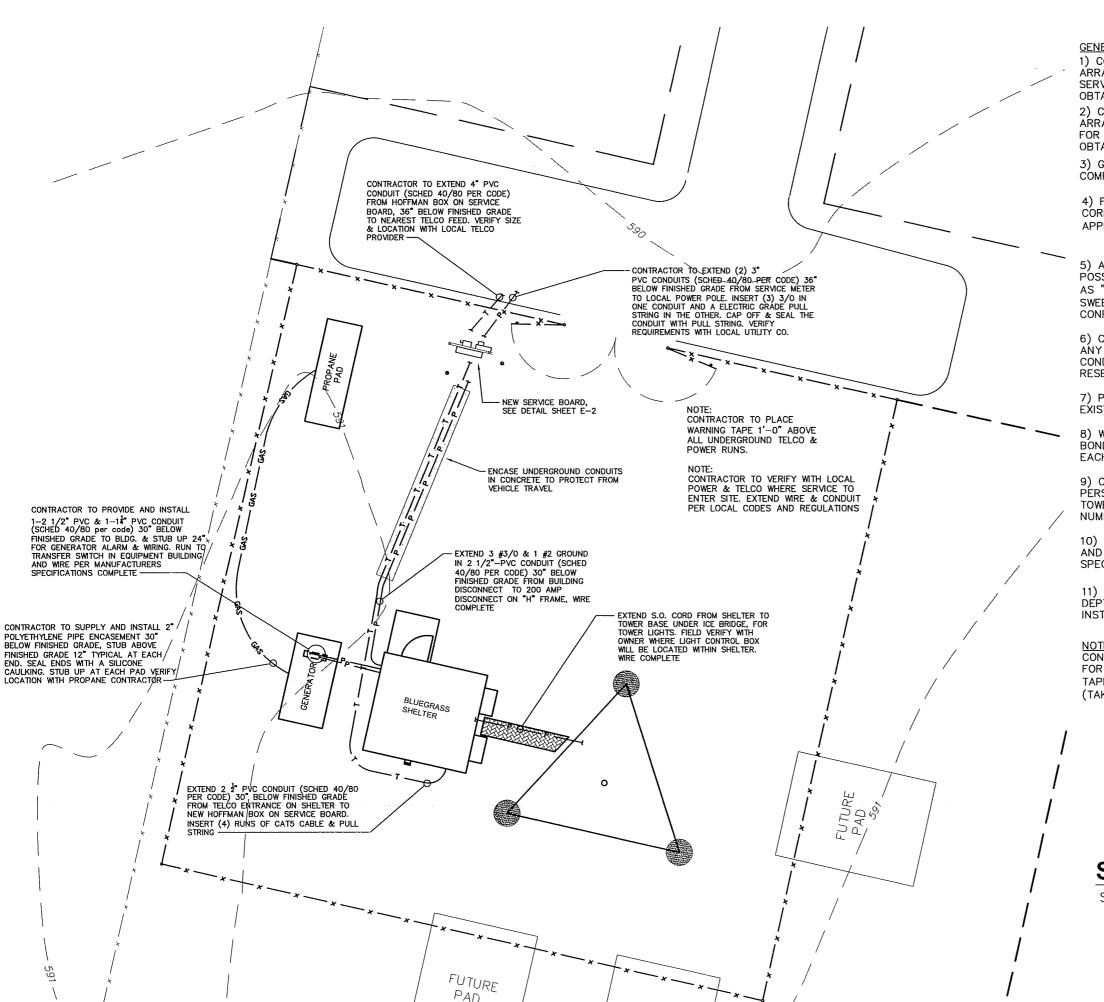
COAX ENTRY DETAIL A/C SIDE (VIEW FROM INSIDE SHELTER) NO SCALE



REVISION			
NO. DATE			
NO.			
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BLUEGRASS CELLULAR, INC.
STANDARD CELLULAR SITE
MARION WEST
883 HOWARDSTOWN RD. RAYWICK, KY. 4000

SHEET NUMBER **ANTENNA** DETAILS



GENERAL ELECTRICAL NOTES:

- 1) CONTRACTOR RESPONSIBLE FOR MAKING ALL ARRANGEMENTS WITH THE LOCAL UTILITIES FOR SERVICE AND FEE PAYMENTS REQUIRED TO OBTAIN SERVICE.
- 2) CONTRACTOR RESPONSIBLE FOR MAKING ALL ARRANGEMENTS WITH THE LOCAL TELEPHONE COMPANY FOR SERVICE AND FEE PAYMENTS REQUIRED TO OBTAIN SERVICE.
- 3) GROUND RING TO BE CONTAINED WITH IN THE COMPOUNDS FENCED AREA. $\label{eq:compound}$
- 4) FENCE TO BE GROUNDED FROM GROUND RING TO ALL CORNER POST & GATES. SPACE FENCE GROUNDING APPROXIMATELY 20'-0" O/C. (CAD WELD ALL CONNECTIONS)
- 5) ALL GROUND RING CONNECTIONS TO BE AS CLOSE AS POSSIBLE, SHARP BENDS WILL NOT BE PERMITTED AS WELL AS "T" CONNECTIONS. ALL CONNECTIONS TO HAVE A SWEEPING RADIUS OF 8" MINIMUM. GROUNDING CONFIGURATION TO BE IN PARALLEL
- 6) CONTACT POINTS FOR GROUNDING TO BE CLEANED OF ANY RUST, PAINT, DIRT, ETC. TO CREATE A GOOD BOND FOR CONDUCTOR. AREA THAT HAS BEEN CLEANED TO BE RESEALED TO PREVENT RUSTING.
- 7) PROPERLY GROUND ANY EXPOSED METAL THAT MAY EXIST ON EXTERIOR OF EQUIPMENT SHELTER OR CABINET.
- 8) WHERE GROUND CONDUCTORS REQUIRE MECHANICAL BONDING, STAINLESS STEEL CONNECTORS ARE REQUIRED AT EACH CONNECTING POINT USING LOCK WASHERS.
- 9) CONTRACTOR RESPONSIBLE FOR SEEING THAT UTILITY PERSONNEL MAKE FINAL CONNECTIONS, MAKING SURE THE TOWER ALARM IS CONNECTED AND WORKING. A TELEPHONE NUMBER FOR THE ALARM MUST BE SUPPLIED.
- 10) CONTRACTOR RESPONSIBLE FOR MEG TESTING THE SITE AND SUPPLYING OWNER WITH FINAL READINGS IN OWNERS SPECIFICATIONS.
- 11) IF CONDUIT RUNS BURIED LESS THAN REQUIRED DÉPTHS, CONTACT BLUEGRASS CELLULAR FOR FURTHER INSTRUCTIONS

CONTRACTOR TO PROVIDE WARNING TAPE IN TRENCHES FOR ALL POWER AND TELCO RUNS UNDER GROUND. TAPE TO BE INSTALLED 1'-0" ABOVE CONDUIT RUNS. (TAKE PICTURES)

POVER GAS TELEPHONE FENCE SVITCH (DISCONNECT) METER PACK

SITE PLAN- ELECTRICAL

SCALE: 3/32" = 1'-0"



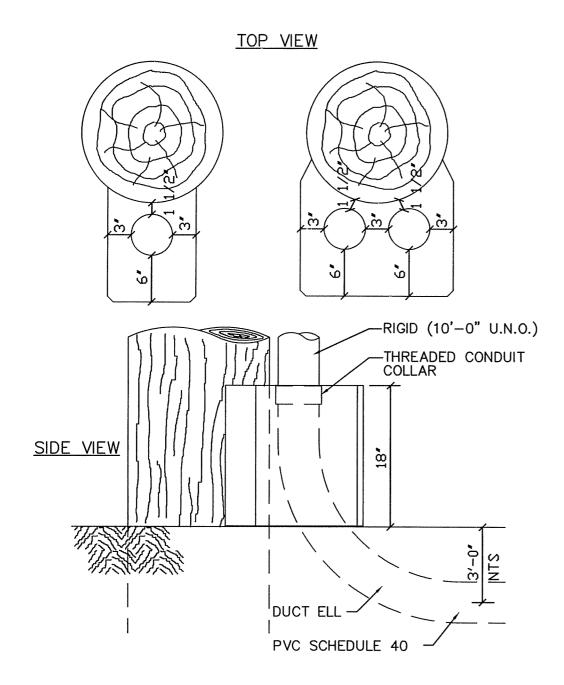


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BLUEGRASS CELLULAR, INC.
STANDARD CELLULAR SITE
MARION WEST
883 HOWARDSTOWN RD. RAYWICK, KY. 4000

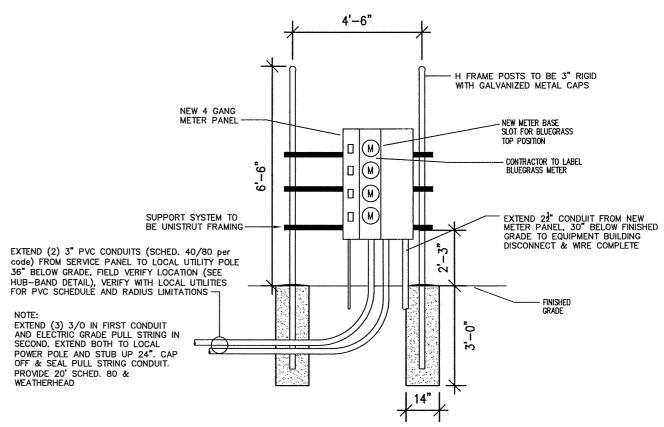
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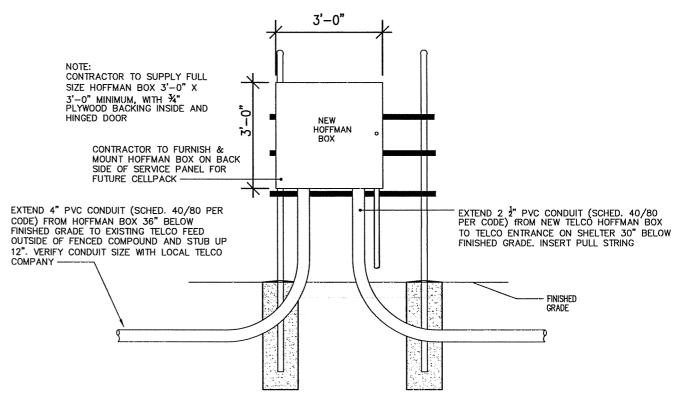
HUB-BAND DETAIL

NO SCALE



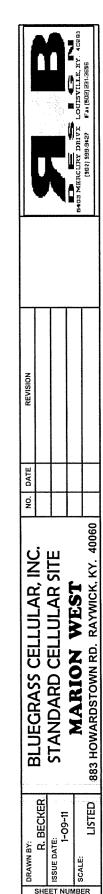
SERVICE BOARD DETAIL

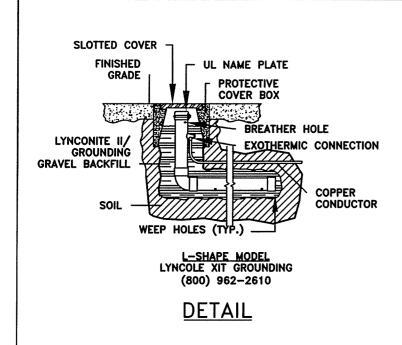
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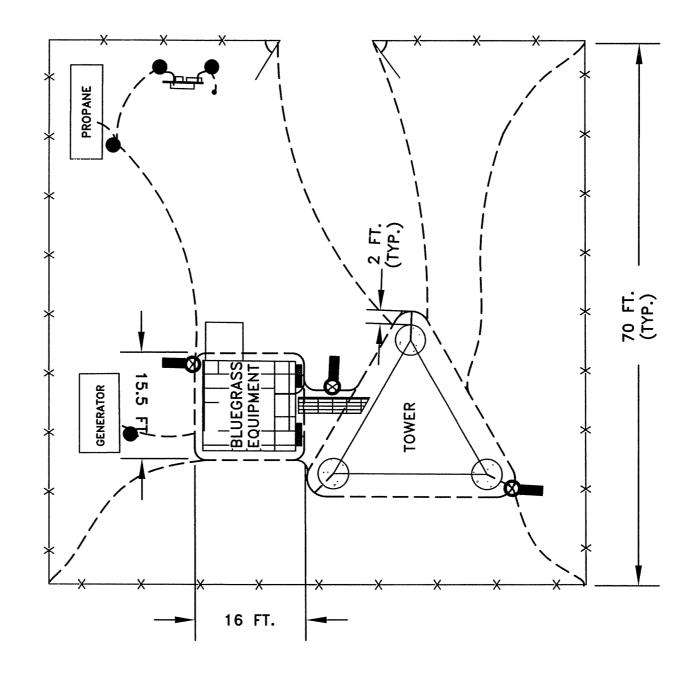


BACKBOARD DETAIL

NO SCALE







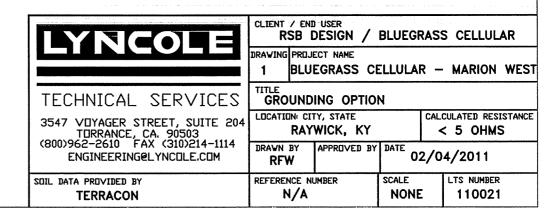
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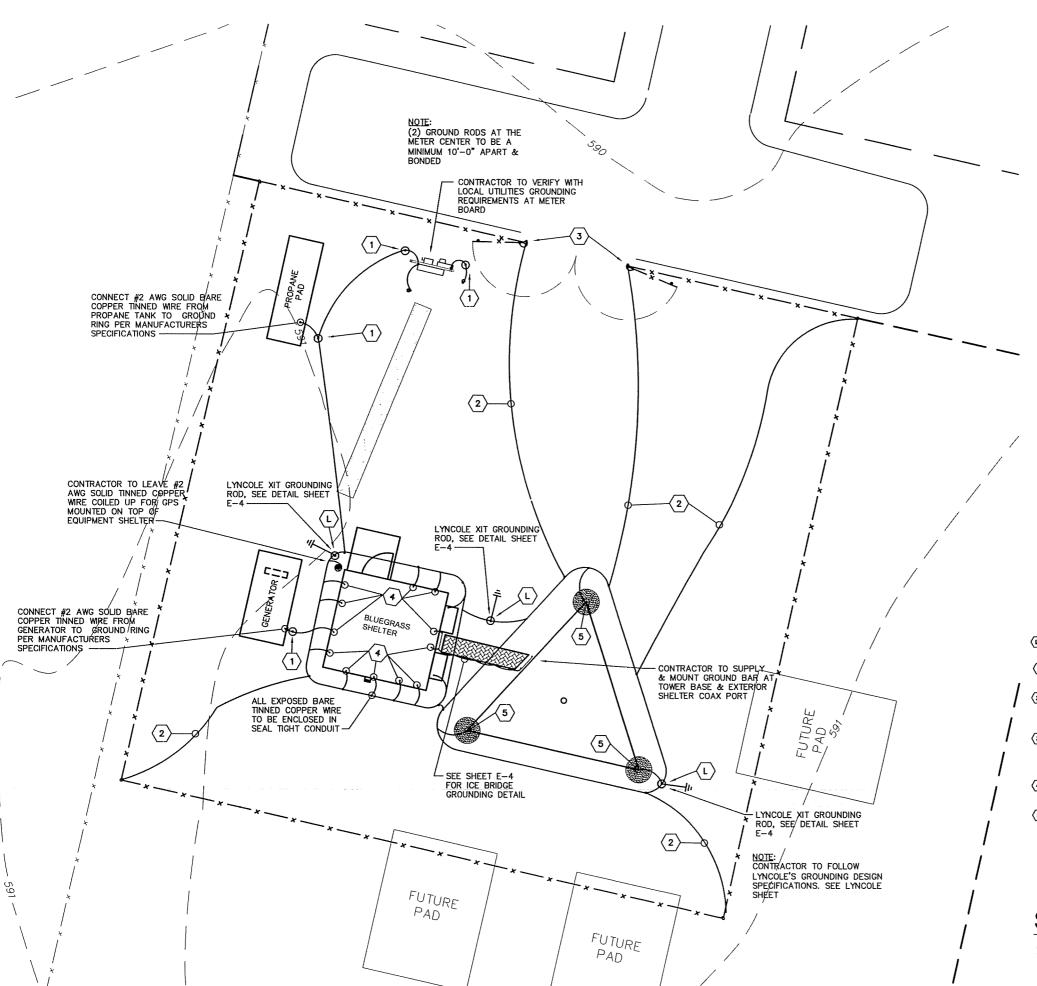
FENCE LINE

BARE #2 AWG TINNED SOLID COPPER CONDUCTOR
BURIED 30 IN. BELOW GRADE OR 6 IN. BELOW FROST LINE
ALL BENDS IN GROUND CONDUCTORS TO BE MADE
WITH 12 IN. RADIUS OR LARGER

K2L-10CS-24 (SEE DETAIL)

3/4' X 10' DRIVEN ROD





GENERAL ELECTRICAL NOTES:

- 1) CONTRACTOR RESPONSIBLE FOR MAKING ALL ARRANGEMENTS WITH THE LOCAL UTILITIES FOR SERVICE AND FEE PAYMENTS REQUIRED TO OBTAIN SERVICE.
- 2) CONTRACTOR RESPONSIBLE FOR MAKING ALL ARRANGEMENTS WITH THE LOCAL TELEPHONE COMPANY FOR SERVICE AND FEE PAYMENTS REQUIRED TO OBTAIN SERVICE.
- 3) GROUND RING TO BE CONTAINED WITH IN THE COMPOUNDS FENCED AREA.
- 4) FENCE TO BE GROUNDED FROM GROUND RING TO ALL CORNER POST & GATES. SPACE FENCE GROUNDING APPROXIMATELY 20'--0" O/C. (CAD WELD ALL CONNECTIONS)
- 5) ALL GROUND RING CONNECTIONS TO BE AS CLOSE AS POSSIBLE, SHARP BENDS WILL NOT BE PERMITTED AS WELL AS "T" CONNECTIONS. ALL CONNECTIONS TO HAVE A SWEEPING RADIUS OF 8" MINIMUM. GROUNDING CONFIGURATION TO BE IN PARALLEL.
- 6) CONTACT POINTS FOR GROUNDING TO BE CLEANED OF ANY RUST, PAINT, DIRT, ETC. TO CREATE A GOOD BOND FOR CONDUCTOR. AREA THAT HAS BEEN CLEANED TO BE RESEALED TO PREVENT RUSTING.
- 7) PROPERLY GROUND ANY EXPOSED METAL THAT MAY EXIST ON EXTERIOR OF EQUIPMENT SHELTER OR CABINET.
- 8) WHERE GROUND CONDUCTORS REQUIRE MECHANICAL BONDING, STAINLESS STEEL CONNECTORS ARE REQUIRED AT EACH CONNECTING POINT USING LOCK WASHERS.
- 9) CONTRACTOR RESPONSIBLE FOR SEEING THAT UTILITY PERSONNEL MAKE FINAL CONNECTIONS, MAKING SURE THE TOWER ALARM IS CONNECTED AND WORKING. A TELEPHONE NUMBER FOR THE ALARM MUST BE SUPPLIED.
- 10) CONTRACTOR RESPONSIBLE FOR MEG TESTING THE SITE AND SUPPLYING OWNER WITH FINAL READINGS IN OWNERS SPECIFICATIONS.

NOTE: CONTRACTOR TO PROVIDE WARNING TAPE IN ALL POWER & TELCO TRENCHES, 12" ABOVE CONDUIT RUNS, BUT BELOW FINISHED GRADE.

NOTE: CONTRACTOR TO FOLLOW LYNCOLES GROUNDING SPECIFICATIONS WHEN USING THEIR XIT GROUNDING RODS. SEE DETAIL SHEET E-4.

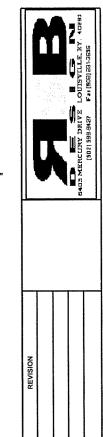
KEYNOTES:

- Lyncole XIT grounding rod to be installed where shown and to manufacturers specifications. (See Lyncole specifications)
- GROUNDING RODS 10'-0" LONG x 3/4" COPPER BONDED GROUND RODS
- (2) INSTALL AND PROVIDE SOLID BARE TINNED COPPER WIRE #2 AWG, GROUND RING BELOW GRADE 30". USE #2 AWG SOLID BARE TINNED COPPER GROUND "TAP" CONNECTING CONDUCTORS. (CONNECTIONS FOR ALL TAP CONDUCTORS TO BE PARALLEL AND "CAD WELD" CONNECTIONS)
- (3) FLEXIBLE GROUNDING STRAP TO BE USED TO PROVIDE A COMMON BOND BETWEEN GATE AND CHAIN LINK FENCE, #2 AWG SOLID COPPER BARE TINNED CONDUCTOR FROM GROUND RING TO FENCE USING CAD WELD CONNECTIONS. GROUND TAP TO BE PROVIDED ON EACH 4 SIDES TO GROUND RING AS DESCRIBED ABOVE.
- (4) BONDED GROUND TO BE PROVIDED TO GROUND RING FOR EACH OF THE FOLLOWING: BUILDING STEEL, HATCH PLATE, EMERGENCY RECEPTACLE, WAVE GUIDE STRUCTURE, FRAME WORK, BUILDING DISCONNECT.
- (B) FOR TOWER FRAME GROUNDING, REMOVE GALVANIZED COATING COMPLETELY AT SPOT TO "CAD WELD" TO AND CLEAN. #2 AWG SOLID BARE TINNED COPPER CONDUCTOR TO BE CAD WELDED APPROXIMATELY 1"-0" ABOVE FOUNDATION OR AT FLANGE IF PROVIDED BY TOWER MANUFACTURER.

 EXTEND CONDUCTOR TO GROUND RING. RIGHT ANGLES NOT ACCEPTED ALL. BENDS TO BE SWEEPING.

SITE PLAN-GROUNDING

SCALE: 3/32" = 1'-0"



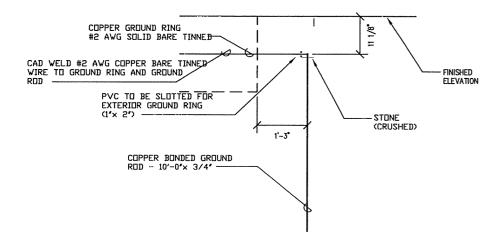
BLUEGRASS CELLULAR, INC. STANDARD CELLULAR SITE MARION WEST

DRAWN BY:

R. BECKER
ISSUE DATE:
1-09-11
SCALE:
LISTED

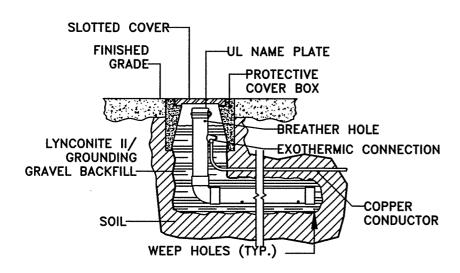
SHEET NUMBER

E-3



GROUND ROD DETAIL

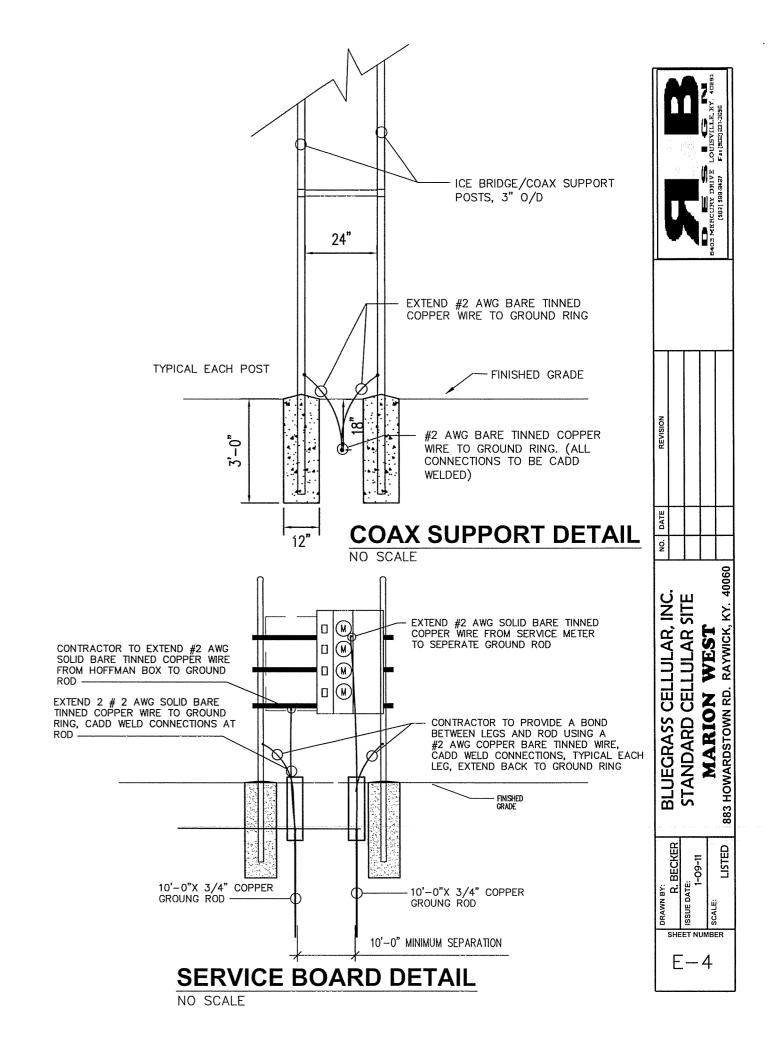
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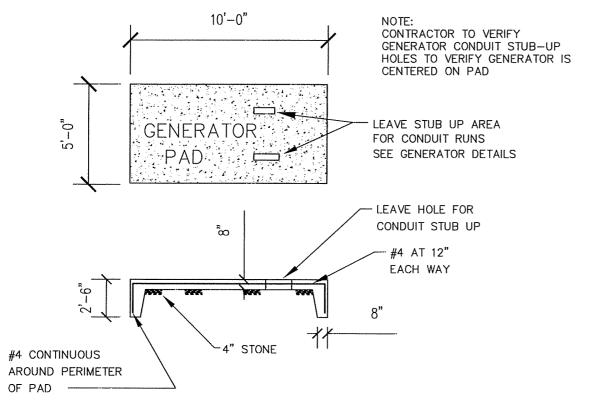


L-SHAPE MODEL LYNCOLE XIT GROUNDING (800) 962-2610

LYNCOLE XIT ROD DETAIL

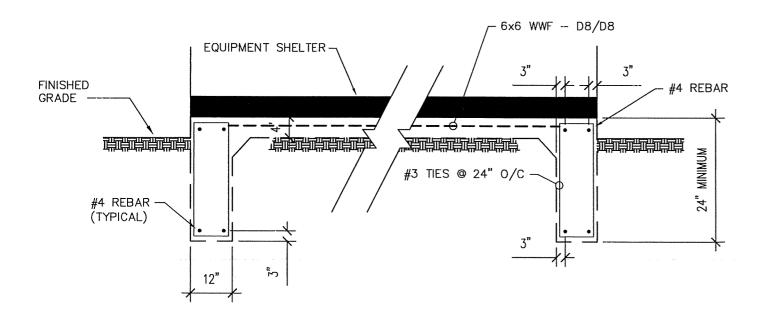
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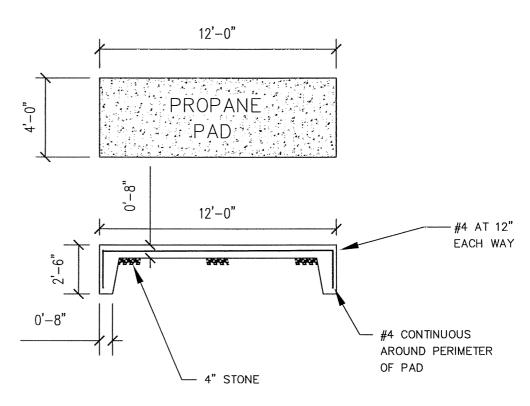
FOUNDATION DETAIL

NO SCALE

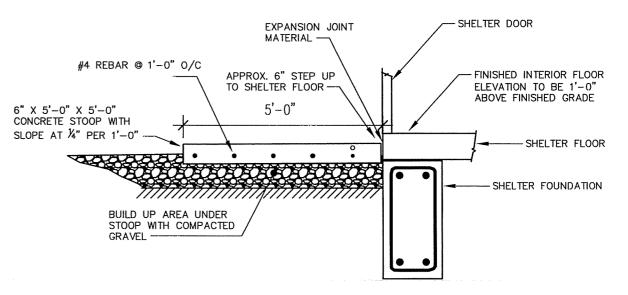


SHELTER FOUNDATION PLAN

NO SCALE

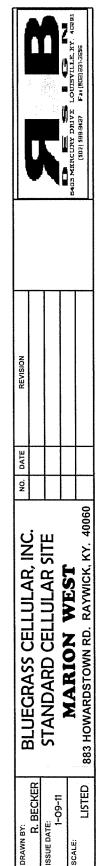




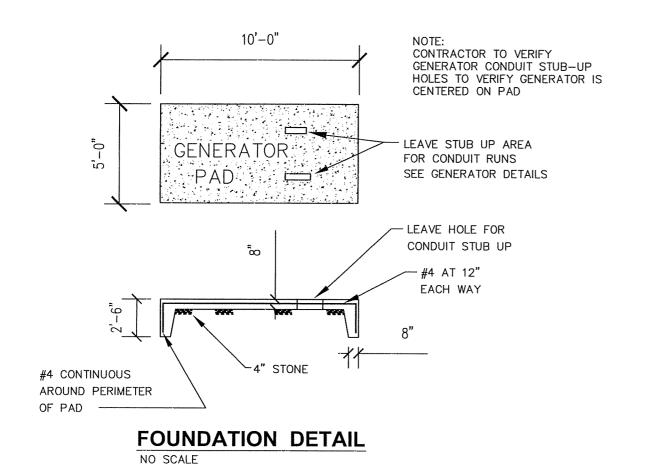


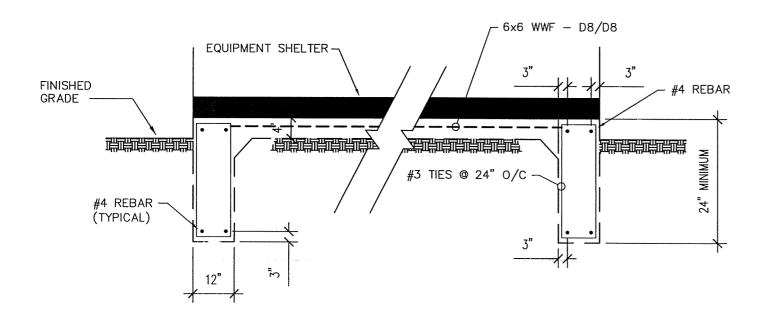
CONCRETE STOOP DETAIL

NO SCALE



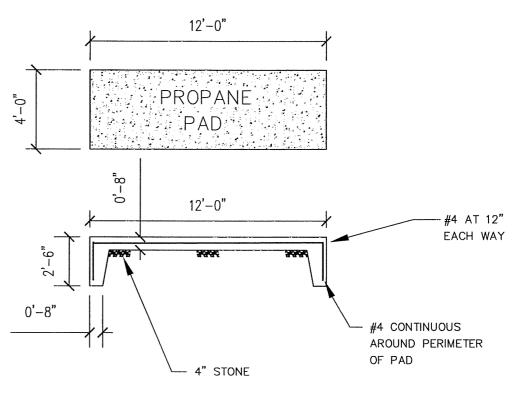
S-1





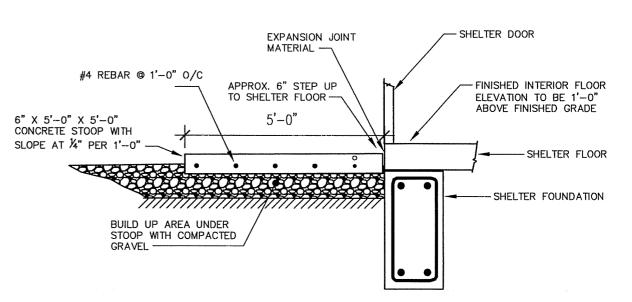
SHELTER FOUNDATION PLAN

NO SCALE



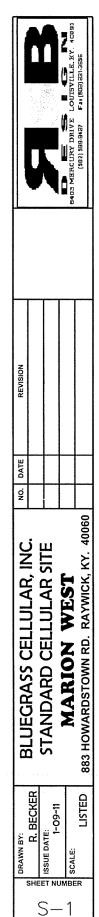
FOUNDATION DETAIL

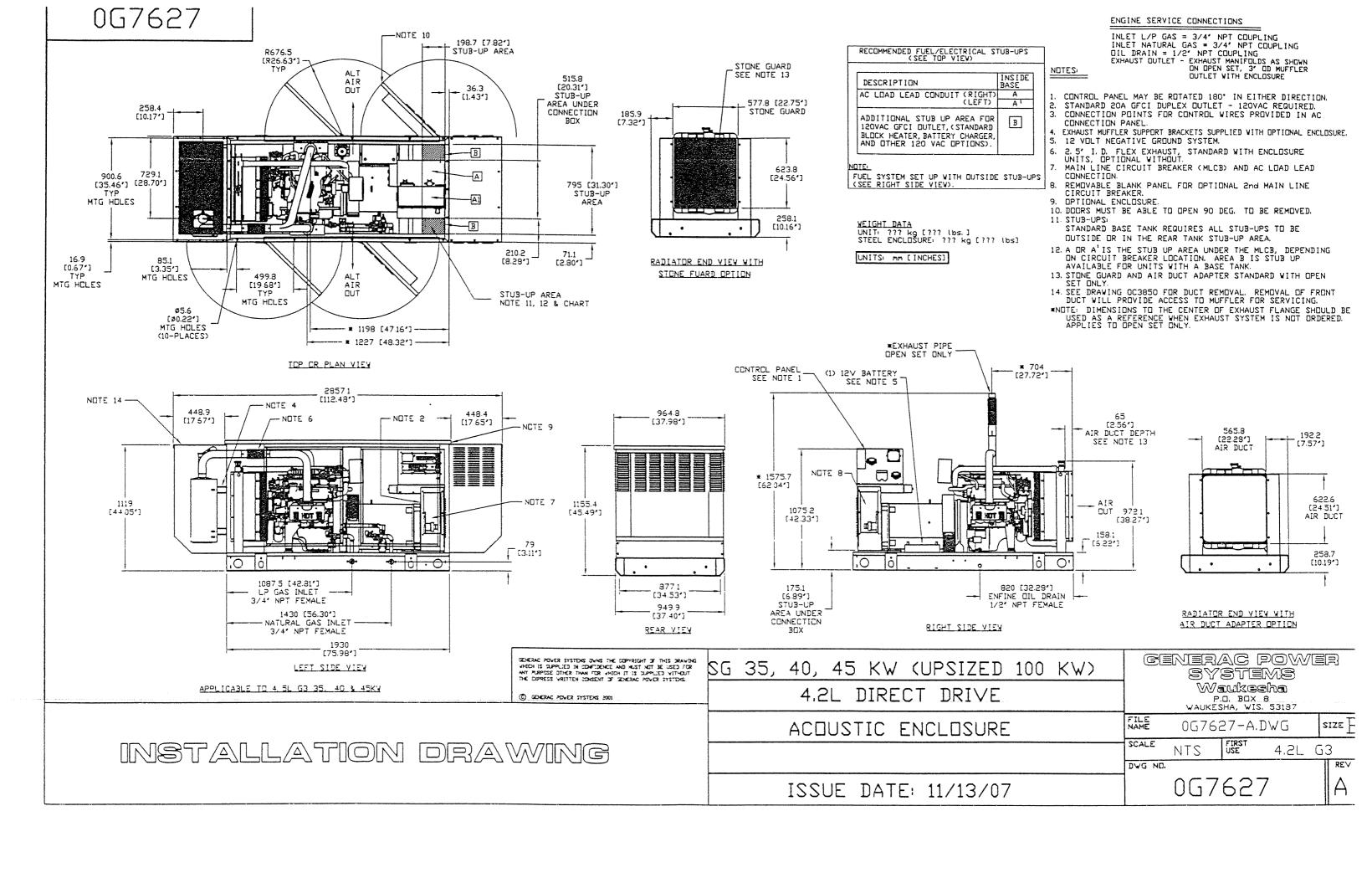
NO SCALE



CONCRETE STOOP DETAIL

NO SCALE





GENERAL NOTES:

- 1) THE CONTRACTOR IS RESPONSIBLE FOR EQUIPMENT PICK UP DELIVERY TO SITE, ERECTION OF TOWER, AND CRANE SET, ALL COSTS
- 2) THE CONTRACTOR IS RESPONSIBLE FOR VISITING THE SITE PRIOR TO BIDDING AND REVIEWING EXISTING STRUCTURES OR UTILITIES THAT MIGHT BE LOCATED ON OR AROUND THE COMPOUND THAT COULD
- 3) THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING LOCAL AUTHORITIES NECESSARY FOR INSPECTIONS IF REQUIRED, PLEASE PROVIDE
- 4) THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING PERSONS RESPONSIBLE FOR ANY MATERIALS TESTING, PLEASE PROVIDE AMPLE
- 5) THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE OWNER WITH FINAL TEST RESULTS ON ALL MATERIALS TESTING. IF ANY PROBLEMS ARE FOUND PRIOR TO FINAL RESULTS PLEASE NOTIFY A&E
- 6) THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO ADJOINING PROPERTY, AND REPAIRING OR REPLACING WHAT IS NECESSARY TO OWNERS APPROVAL.
- 7) THE CONTRACTOR IS TO VERIFY DIMENSIONS ON SITE PRIOR TO CONSTRUCTION STARTING, ANY PROBLEMS OR CHANGE FOUND CONTACT A&E OR OWNER TO VERIFY.
- 8) THE CONTRACTOR IS RESPONSIBLE FOR ANY TEMPORARY LIGHTING ON THE TOWER AND CONTACTING PROPER AUTHORITIES IF ANY LIGHTING PROBLEMS OCCUR, ALL FINAL LIGHTING TO BE MOUNTED ON TOWER DURING CONSTRUCTION, NOTIFY OWNER WHEN TOWER HAS
- 9) THE CONTRACTOR IS RESPONSIBLE FOR ALL ON SITE WORK
- CONTRACTOR, ANY CONTRACTOR EMPLOYEES OR REPRESENTATIVES, OR SUB-CONTRACTOR, ANY SUB-CONTRACTOR EMPLOYEES OR REPRESENTATIVES, WILL CONFORM TO ALL LAWS AND REGULATIONS APPLICABLE TO THE WORK BEING PERFORMED, INCLUDING BUT NOT LIMITED TO, ALL OCCUPATIONAL SAFETY AND HEALTH ACT ("OSHA") STATUTES AND REGULATIONS AS WELL AS ALL OTHER FEDERAL, STATE AND/OR LOCAL LAWS OR REGULATIONS APPLICABLE TO THE WORK BEING PERFORMED BY CONTRACTOR.
- 11) THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL SITE DRAINAGE, AND PROVIDING SILT AND EROSION CONTROL NECESSARY TO MAINTAIN ANY RUN OFF.
- 12) THE CONTRACTOR IS RESPONSIBLE FOR ALL SEED AND STRAW WORK NECESSARY TO REPAIR DAMAGED AREAS.
- 13) CONTRACTOR TO GRADE SMOOTH OR REPAIR ANY POT HOLES OR DITCHING ON PROPERTY OR ROAD THAT HAS OCCURRED DURING CONSTRUCTION AT CONTRACTORS EXPENSE.
- 14) CONTRACTOR'S RESPONSIBILITIES REGARDING BUILD OUT ON FIBREBOND EQUIPMENT SHELTERS TO INCLUDE:
- * INSTALLING THE DOOR CANOPY & BOND TO DOOR FRAME
- * INSTALLING EXTERIOR LIGHT ON WALL DETERMINED BY PROJECT SUPERVISOR AND PHOTOCELL REQUIREMENTS
- * INSTALLING INTRUDER ALARMS
- * CHECK OPERATIONS OF DOOR AND DOOR HARDWARE
- * ADJUST WEATHERSTRIPPING ON DOORS AS NEEDED
- * INSPECT ROOF FOR DAMAGE AND POSSIBLE LEAKS
- * INSPECT INTERIOR FINISH FOR IMPERFECTIONS AND REPAIR AS NEEDED
- CHECK OPERATION OF LIGHTS AND ELECTRICAL OUTLETS
- * INSTALL GUTTER SYSTEM
- * CHECK OPERATION OF ENVIRONMENTAL CONTROLS AND HVAC UNITS
- * INSTALL AND PAINT SHELTER TIE-DOWNS TO MATCH
- 15) INSTALL CONCRETE PADS FOR BUILDING, PROPANE TANK, GENERATOR PAD.
- 16) INSTALL ELECTRIC AND GROUND FIELD FOR COMPOUND.

- 17) GC WILL BE RESPONSIBLE FOR ALL CRANE OPERATIONS IN ORDER TO SET FIBREBOND BUILDING. COORDINATE BUILDING DELIVERY DATE THROUGH BLUEGRASS CELLULAR.
- 18) GC WILL BE RESPONSIBLE FOR OFF LOADING AND STACKING OF TOWER WHEN APPLICABLE.
- 19) GC WILL BE RESPONSIBLE FOR MOUNTING ALL LINES AND ANTENNAS.
- 20) GC WILL BE RESPONSIBLE FOR SUPPLYING AND INSTALLING ICE BRIDGE.
- 21) GC WILL BE RESPONSIBLE FOR SCHEDULING PROPANE TANK DELIVERY AND HOOK-UP. PREFERRED SUPPLIERS ARE EMPIRE & AMERIGAS
- 22) GC WILL BE RESPONSIBLE FOR COORDINATING THE CLEANING OF THE INSIDE OF THE BUILDING WITH THE PROJECT SUPERVISOR AFTER THE SITE HAS BEEN TURNED OVER TO THE OPERATIONS DEPARTMENT AND ALL TURN-UP PROCEDURES HAVE BEEN COMPLETED. THIS WILL INCLUDE SUPPLYING A 30 GALLON TRASHCAN, 30 GALLON TRASH BAGS, BROOM, DUST PAN AND DOORMAT FOR BUILDING.
- 23) GC TO VERIFY ALL BLUEGRASS CELLULAR EQUIPMENT DIMENSIONS & SPECIFICATIONS WITH MANUFACTURER'S DRAWINGS, (FIBREBOND, GENERAC, EASTPOINTE ETC.) PRIOR TO CONSTRUCTION. ADDRESS ANY ISSUES WITH PROJECT SUPERVISOR BEFORE WORK BEGINS.
- 24) ALL WAREHOUSE MATERIAL (LINES, ANTENNAS, MOUNTING HARDWARE, GENERATOR, TOWER FOUNDATION KIT, ETC.) WILL NEED TO BE PICKED UP
- 25) GC WILL BE RESPONSIBLE FOR SCHEDULING GENERATOR START-UP WITH CONTACT SCOTT ANDERSON (EVAPAR) 502-267-6315
- 26) GC TO LABEL BLUEGRASS CELLULAR METER WITH NAME PLATE ON METER BACKBOARD.
- 27) GC WILL BE RESPONSIBLE FOR INSTALLATION OF ALL FENCING.
- 28) ALL TRASH AND DEBRIS TO BE REMOVED BY GC
- 29) GC WILL BE RESPONSIBLE FOR APPLYING FOR ELECTRICAL SERVICE AND PAYING NECESSARY FEES REQUIRED.
- 30) GC WILL BE RESPONSIBLE FOR SUPPLYING & INSTALLING PROTECTIVE END CAPS ON ANY EXPOSED THREADED ROD OR UNISTRUT USED ON SITE. VERIFY TYPE WITH PROJECT SUPERVISOR PRIOR TO INSTALLATION.
- 31) GC WILL BE RESPONSIBLE FOR HAVING A CERTIFIED ELECTRICIAN HOOK UP THE BATTERIES (IMMEDIATELY) AFTER POWER HAS BEEN TURNED UP AT THE SITE, PREVENTING THE DELAY OF ANY WORK FOR OPERATIONS. THE GENERAL CONTRACTOR MUST NOTIFY THE PROJECT SUPERVISOR IMMEDIATELY AT THIS TIME SO HE CAN COORDINATE A CELL TECH TO BE ONSITE WHEN THIS OCCURS.
- 32) GC WILL BE RESPONSIBLE FOR RUNNING (CAT5) FROM THE GENERATOR ALARM PANEL MOUNTED ON THE SIDE OF THE TRANSFER SWITCH (BY THE CONTRACTOR), THROUGH THE TRANSFER SWITCH AND UP TO THE EXISTING CONDUIT BESIDE THE A/C POWER FAIL RELAY. THE (CATS) WILL BE PULLED THROUGH EXISTING CONDUIT AROUND THE SHELTER AND EXTENDED TO THE ALARM BLOCK. THERE SHOULD BE A MINIMUM 3'-0" OF (CATS) LEFT HANGING ON EACH END FOR THE CELL TECH TO HOOK UP THE GENERATOR ALARMS.
- 33) GC MUST SUBMIT A COPY OF THE BUILDING PERMIT AND CONSTRUCTION SCHEDULE TO THE PROJECT SUPERVISOR PRIOR TO RECEIVING (NTP) TO BEGIN CONSTRUCTION (NO EXCEPTIONS).
- 34) GC MUST DISPLAY FCC TOWER REGISTRATION NUMBER AND EMERGENCY PHONE NUMBERS ON 3'-0 X 4'-0" MINIMUM WOODEN BACKBOARD SOMEWHERE ON SITE LOCATION PRIOR TO BREAKING

GRADING & EXCAVATING NOTES:

- ANY DAMAGE TO EXISTING UTILITIES, STRUCTURES, ROADS AND PARKING AREAS TO BE REPAIRED OR REPLACED TO OWNERS SATISFACTION.
- 2) PREPARATION FOR FILL:
 REMOVAL OF ALL DEBRIS, WET AND UNSATISFACTORY SOIL
 MATERIALS, TOPSOIL, VEGETATION, AND HARMFUL MATERIALS
 FROM SURFACE OF GROUND PRIOR TO PLOWING, STRIPPING, PLACING FILLS OR BREAKING UP OF SLOPED SURFACES GREATER THAN 1 VERTICAL TO 4 HORIZONTAL SO MATERIAL FOR FILL WILL BOND TO EXISTING SURFACE. WHEN AREA TO RECEIVE FILL HAS A DENSITY LESS THAN REQUIRED, BREAK UP GROUND SURFACE TO DEPTH REQUIRED, AERATE, MOISTURE — CONDITION, OR PULVERIZE SOIL AND RECOMPACT TO REQUIRED DENSITY.
- 3) BACK FILLING: - EXCAVATED AREA SHALL BE CLEARED FROM STONES OR CLODS OVER 2 1/2" MAXIMUM DIAMETER

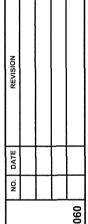
 - SHALL BE PLACED IN LAYERS OF 6" AND COMPACTED TO
 A 95% STANDARD PROCTOR, USCAPED A 90% PROCTOR IN GRASSED / LANDSCAPED AREAS WHERE
- SHALL BE APPROVED MATERIALS CONSISTING OF SANDY CLAY, GRAVEL AND SAND, SOFT SHALE, EARTH OR LOAM. CONSULT WITH OWNER PRIOR TO FILL BEING ADDED.
- 4) ALL MATERIAL FOR FILL TO BE APPROVED BY OWNER AND ALL COMPACTING TEST TO BE COMPLETED TO SPEC'S ALL COMPACTING RESULTS TO BE TURNED OVER TO OWNER.
- 5) AFTER COMPLETION OF BELOW GRADE EXCAVATING, AREA TO BE CLEANED AND CLEARED OF ANY UNSUITABLE MATERIALS, SUCH AS TRASH, DEBRIS, VEGETATION AND SO
- 6) ANY EXCAVATING IN WHICH CONCRETE IS TO BE PLACED SHALL BE SUBSTANTIALLY HORIZONTAL ON UNDISTURBED AND UNFROZEN SOIL AND BE FREE OF ANY LOOSE MATERIAL AND EXCESS GROUND WATER.
- 7) IF SOUND SOIL IS NOT REACHED AT DESIGNATED EXCAVATION DEPTH, THE POOR SOIL IS TO BE EXCAVATED TO ITS FULL DEPTH AND EITHER REPLACED WITH MECHANICALLY COMPACTED GRANULAR MATERIAL OR THE EXCAVATION TO BE FILLED WITH THE SAME QUALITY CONCRETE SPECIFIED FOR THE FOUNDATION. PLEASE NOTIFY THE PROJECT SUPERVISOR AND THEY WILL HAVE A 3RD PARTY ENGINEERING FIRM CONTACT YOU WITH RECOMMENDATIONS.
- 8) MECHANICALLY COMPACTED GRANULAR MATERIAL OR CONCRETE OF THE SAME QUALITY SPECIFIED FOR THE FOUNDATIONS TO BE USED IF EXCAVATION EXCEEDED THE OVERALL REQUIRED DEPTH. FOR STABILIZATION OF THE BOTTOM OF THE EXCAVATION, CRUSHED STONE MAY BE USED. STONE, IF USED, SHALL NOT BE USED AS COMPILING CONCRETE THICKNESS. PLEASE NOTIFY THE PROJECT SUPERVISOR AND THEY WILL HAVE A 3RD PARTY ENGINEERING FIRM CONTACT YOU WITH RECOMMENDATIONS.
- 9) EXCAVATION TO COMPOUND TO INCLUDE WEED CONTROL MAT.
- 10) SITE TO HAVE PROPER DRAINAGE & EROSION CONTROL (CROWNED FORMATION)
- 11) GC WILL BE RESPONSIBLE FOR REPAIR OF ALL AREAS DISTURBED DURING CONSTRUCTION. (EXCAVATING ISSUES)

'CALL BEFORE YOU DIG"

THE CONTRACTOR'S ATTENTION IS DIRECTED TO THE UTILITY PROTECTION CENTER, PHONE 811 IN KENTUCKY, WHICH WAS ESTABLISHED TO PROVIDE ACCURATE LOCATIONS OF UNDERGROUND UTILITIES. THE CONTRACTOR SHALL NOTIFY THE UTILITY PROTECTION CENTER 48 HOURS IN ADVANCE OF ANY CONSTRUCTION ON THIS PROJECT. ALL NEW SERVICE AND GROUNDING TRENCHES PROVIDE A WARNING TAPE • 12 INCHES BELOW GRADE.

SYMBOLS LEGEN	Ω
-	KEYNOTE
←•	INSPEC. SLEEVE / GRND RO
•	INSPECTION SLEEVE
•	CAD WELD CONNECTION
Т	TRANSFORMER
	LIGHTNING SUPPRESSOR
\Box	SWITCH (DISCONNECT)
™	METER PACK
P	POWER
	GAS LINE
W	WATER LINE
ss	SANITARY SEWER
T	TELEPHONE
——SSD	STORM SEWER DRAIN
X	FENCE





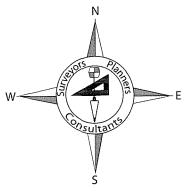
BLUEGRASS CELLULAR, INC. STANDARD CELLULAR SITE MARION WEST

اغم ಜֱ SHEET NUMBER

General Notes

Landmark Surveying Co., Inc.

Darren L. Helms, P.L.S., PRESIDENT Dennis N. Helms, P.L.S., VICE PRESIDENT



15 N.E. 3rd Street Washington, Indiana 47501 Phone: 812-257-0950 Fax: 812-257-0953

Email: landmark97@sbcglobal.net

Directions to the Site From the County Seat of Marion County, Kentucky

Marion West Site

From the intersection of U.S. Highway 68 (Main Street) and Kentucky Highway 49 (Proctor Knott Avenue) in downtown Lebanon, Kentucky: travel northwesterly on Kentucky Highway 49 for 1.3 miles to Kentucky Highway 84, which is immediately after passing the KY 2154 bypass and the Hampton Inn; turn left onto Kentucky Highway 84 and travel west for 10.1 miles to downtown Raywick; continue through Raywick on Kentucky Highway 84 for 0.9 miles to a lane on the south side of Kentucky Highway 84; turn left onto the lane a travel southerly for about 1,200 feet to the tower site in a pasture. The address of the site is 883 Howardstown Road, Raywick, Kentucky 40060.

Darren L. Helms, Kentucky Professional Land Surveyor No. 3386

OPTION TO LEASE AND LEASE AGREEMENT

I.

OPTION TO LEASE REAL PROPERTY

THIS OPTION TO LEASE REAL PROPERTY (the "Option Agreement") is made and entered into this day of ________, 2010, by and between Walter E. Abell, III and Connie M. Abell, whose address is 885 Howardstown Road, Raywick KY 40060 (the "Optionor (s)" and Kentucky RSA 4 Cellular General Partnership, d/b/a Bluegrass Cellular a Kentucky general Partnership with principal office and place of business at 2902 Ring Road, Elizabethtown, KY 42701 (the "Optionee").

WITNESSETH:

WHEREAS, the Optionor(s) is the owner of certain real property located in <u>Marion</u>

County, Kentucky as more particularly described on Exhibit A attached hereto and incorporated herein by reference (the "Property"); and

WHEREAS, the Optionor(s) wishes to grant to the Optionee, and the Optionee wishes to obtain from the Optionor(s), an option to lease the Property upon the terms and conditions set forth herein;

NOW, THEREFORE, in consideration of the foregoing premises and for other good and valuable consideration, the mutuality, receipt and sufficiency of which are hereby acknowledged, the parties hereto do agree as follows.

- In consideration of One Thousand Eight Hundred Dollars and Zero Cents (\$1,800.00) paid by the Optionee to the Optionor(s) (the "Option Consideration"), the receipt of which is hereby acknowledged by the Optionor(s), the Optionor(s) hereby grants to the Optionee an exclusive and irrevocable option to lease the Property (the "Option"), upon the terms and conditions hereinafter set forth, upon the exercise of the Option at any time before 4:00 p.m. prevailing time on 5-1-12 (the "Option Period") as set forth in Paragraph 5 thereof.
- 2. The parties hereto anticipate that the Property comprises approximately a One Hundred Foot by One Hundred Foot area, and that a right of way will be given by the Optionor(s) for the purposes of ingress and egress throughout the term of the lease. The Optionee shall obtain an accurate survey of the Property by a registered land surveyor licensed in the Commonwealth of Kentucky at the sole expense of the Optionee. A copy of the survey shall be provided to the Optionor(s). The description of the Property shall include the number of acres determined by the surveyor. The Optionee shall obtain said survey within a reasonable time following the date of the Option Agreement.
- 3. During the term of the Option, the Optionee may enter onto the Property at its own risk to obtain soil samples and to bore soil for the purposes of determining the suitability of the Property for a communications tower.
- 4. Upon the Optionee's proper exercise of the Option in accordance with Paragraph 5 hereof, the Optionor(s) shall be deemed to have immediately executed, acknowledged and delivered to the Optionee the Lease Agreement contained in Section II hereof. The description of the Property shall be that determined by the registered land surveyor in accordance with Paragraph 2 hereof.

- 5. If the Optionee elects to exercise the Option in accordance with the terms hereof, notice of such election shall be deemed sufficient if personally delivered or sent by registered or certified mail, return receipt requested, to the address of the Optionor(s) set forth in Paragraph 14 hereof.
- 6. The Optionor(s) agrees not to sell, lease or offer for sale or lease the Property during the term of this Option or any renewal or extension of the Option.
- 7. In the event the Optionee fails to exercise the Option as set forth herein (unless such failure is due to the discovery of a defect in the Property or other matter unsatisfactory to the Optionee), the Optionor(s) shall have the right to retain the Option Consideration.
- 8. The Optionee may assign this Option with written consent of the Optionor(s), which consent shall not be unreasonably withheld, and upon any assignment such assignee shall have all the rights, remedies and obligations as if it were the original Optionee hereunder. From and after any such assignment, the term "Optionee" shall refer to such assignee.
- 9. Each party hereto shall bear any and all of its own expenses in connection with the negotiation, execution or settlement of this Option.
- 10. Risk of loss with respect to the Property during the term of this Option and during the term of the lease shall be upon the Optionor(s). If, during the term of the Option, any portion of the Property shall be acquired by public authority under the right or threat of eminent domain, the Optionee may, at its sole option, either (i) exercise the

Option, and in such event, all sums received from the public authority by the Optionor(s) by reason of the taking of a portion of the Property shall reduce the rent due under the lease, or (ii) terminate this Option and thereupon the Optionor(s) shall be obligated to return to the Optionee the full amount of the Option Consideration previously paid to the Optionor(s) in "good and collected funds."

- 11. The parties hereto represent to each other that neither has engaged any broker to represent their interests in connection with the transactions contemplated hereby, and each agrees to indemnify the other against any and all claims made by any brokers engaged or purported to be engaged by the other for brokerage commissions or fees in connection with the transactions contemplated hereby.
- 12. The Optionor(s) represents, warrants and covenants to the Optionee that the Optionor(s) has not caused or permitted, and shall not cause or permit, and to the best of Optionor(s)' knowledge no other person has caused or permitted any hazardous material (as defined by any applicable federal, state or local law, rule or regulation) to be brought upon, placed, held, located or disposed of at the Property. In the event any such contamination occurs for which the Optionee becomes legally liable, the Optionor(s) shall indemnify the Optionee against all claims, damages, judgments, penalties and costs and expenses, including reasonable attorneys' fees, which Optionee may incur.
- 13. This Option Agreement and the rights and obligations of the parties hereto shall be construed in accordance with the laws of the Commonwealth of Kentucky.

- 14. For the purposes of giving notice as permitted or required herein, the address of the Optionor(s)shall be: 885 Howardstown Road, Raywick, KY 40060; the Optionee's address shall be: 2902 Ring Road, Elizabethtown, KY 42701. Any inquiry by the Optionor to the Optionee regarding the terms and conditions of the Option Agreement or Lease Agreement, or otherwise related to the Option Agreement or Lease Agreement, shall be made in writing and submitted to the attention of the Optionee's Lease Administrator at the above address.
- 15. The Optionee shall have the right, in its sole discretion, to record this Option in the Office of the Clerk of the County Court of Marion County, Kentucky.

П.

LEASE AGREEMENT

- 16. In the event the Optionee elects to exercise the Option to lease the Property, the terms of the Lease Agreement ("Lease Agreement" or "Lease") shall become immediately effective upon such exercise and shall be as follows.
 - 1. The term of the Lease shall commence on the date that the Optionor(s) receives proper notice that the Optionee has exercised the Option, pursuant to Paragraph 5 therein. The initial term shall expire five (5) year(s) from the commencement date of the Lease Agreement and shall include six (6) additional five (5)-year terms per the Lease Agreement. Optionee may, by providing written notice at least sixty (60) days prior to the expiration of the original or any renewal Lease term, elect to unilaterally terminate this Lease at the end of any original or renewal Lease term. Such notice must be

personally delivered or sent via registered or certified mail, return receipt requested, to the address of the Optioner(s) set forth in Paragraph 14 hereof. The Lease amount shall be adjusted at the end of each term by an increase of 12%.

- 2. The Optionee shall pay to the Optionor(s) rent for the Property in the sum of Four Thousand Eight Hundred Dollars and Zero Cents (\$4,800.00) yearly, to be paid in advance. All rent payments shall be personally delivered or mailed to the Optionor(s) at the address set forth in Paragraph 14 hereof. Any check payment of the rent due under the Lease shall be payable to the order of Optionor(s).
- 3. The Optionee shall be entitled to use and occupy the Property for the purpose of erecting, maintaining and operating a communications tower and communications facilities thereon and for all such other uses as Optionee may, in its sole discretion, deem necessary in connection therewith.
- 4. The Optionor(s) shall be responsible for the payment of all real estate taxes which shall be assessed against the Property during the term of the lease. The Optionee shall pay all charges for heat, water, gas, electricity, sewer use charges and any other utility used or consumed on the Property. The Optionee shall, at its own cost and expense, maintain and keep in full force and effect during the term of the lease public liability insurance with coverage in the amount of at least one million dollars (\$1,000,000.00) per person for bodily injury, disease, or death and shall maintain property insurance on any property the Optionee located on the Property.

- 5. The Optionee may assign the lease. The Optionee may sublet all or part of the space on the tower or ground space.
- 6. The Optionor(s) covenants that upon the Optionee's payment of the rent agreed upon herein, as well as Optionee's observing and performing all of the covenants and conditions contained in the Lease, the Optionee may peacefully and quietly enjoy the Property subject to the terms and conditions set forth in the Lease.
- 7. The Optionee agrees to maintain an access road in a passable manner for the term of the lease.
- 8. Optionee's Payment of Taxes, Fees and Assessments. Optionee shall pay directly to the applicable federal, state or local governmental unit or agency ("Governmental Entity") or to Optionor if Optionor is invoiced by such Governmental Entity, all taxes, fees, assessments or other charges assessed by any Governmental Entity directly against Optionee's Equipment and/or Optionee's use of the Facility. Optionee shall also pay to Optionor Optionee's Pro Rata Share of all taxes, fees, assessments or charges including, but not limited to, personal property taxes attributable to Optionee's equipment and antenna(s), municipal franchise fees, use fees, municipal application fees, installation fees and increases thereof. "Pro Rata Share" shall mean the fraction of decimal equivalent of dividing one (1) by the total number of then existing users occupying a tower on the last day of the applicable calendar year.

Marion West:

- 17. This Option and Lease Agreement contains the entire agreement between the parties hereto and no modification or amendment shall be binding upon any party unless made in writing and signed by each of the parties hereto.
- 18. Upon the termination or other end of this Lease Agreement, Optionee shall have the right to remove any and all of its property (real or personal) from the Property regardless of whether or not such property may be considered a fixture thereto.
- 19. Upon abandonment of the property, Optionee shall have thirty (30) days to dismantle and remove the cellular antenna tower and any/all equipment located on Optionor's property.

[Remainder of Page Intentionally Left Blank]

EXECUTION OF AGREEMENT(S)

IN WITNESS WHEREOF, the parties hereto have set their hands and affixed their respective seals.

Date: 10-28-10

Date: 10-28-10

Date: 11/1

By: Walter E.Abell III and
Connie M. Abell

By: Ron Smith
Authorized Representative

Connie M. Abell Property Owner(s)

COUNTY OF MAYSION

("Optionor(s)")

The foregoing instrument was acknowledged before me this 2874 day of October 20/0, by Walter E. Abell III to be his/her free act and deed.

NOTARY PUBLIC STATE AT LARGE

("Optionee")

My commission expires: 2-27-20/4

STATE OF KENTUCKY
COUNTY OF MARION
The foregoing instrument was acknowledged before me this Zaday of Deroment,
20/0, by Connie M. Abell to be his/her free act and deed.
NOTARY PUBLIC STATE AT LARGE
My commission expires: 2-27-2014
STATE OF KENTUCKY
COUNTY OF HARDIN
The foregoing instrument was acknowledged before me this day of
2010, by Ron Smith, to be his free act and deed. NOTARY PUBLIC STATE AT LARGE My commission expires: 7-23-13

John K. Selent

DINSMORE & SHOHL LLP

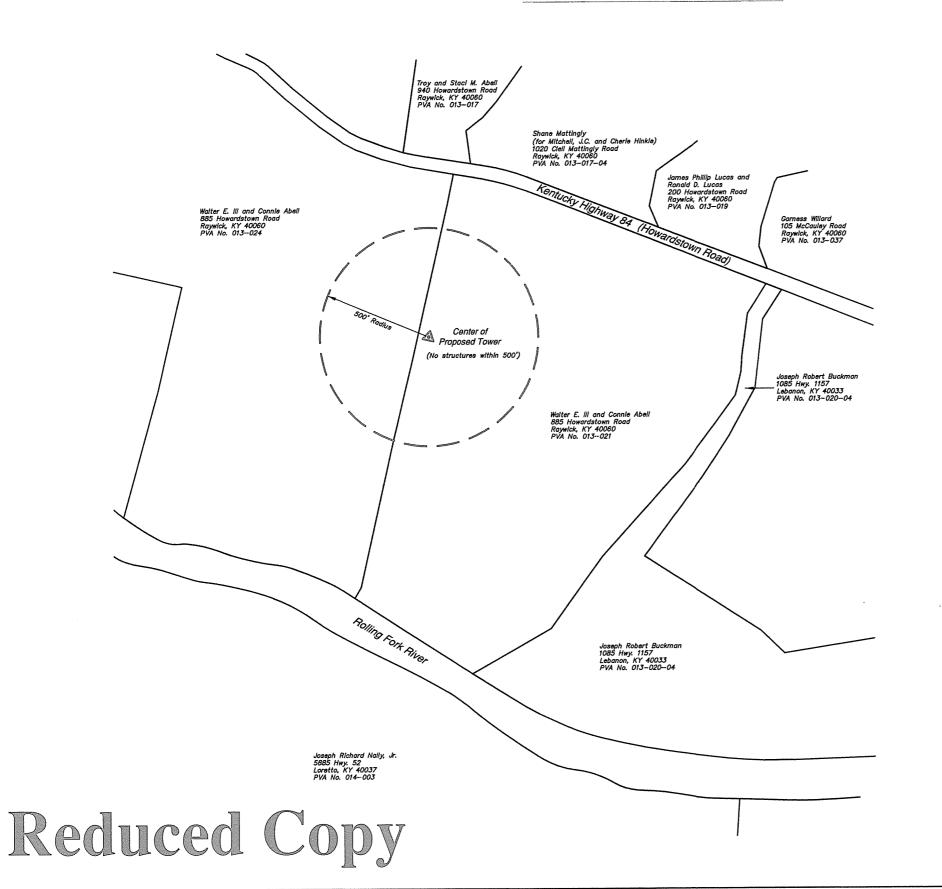
This instrument prepared by:

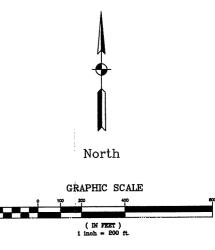
1400 PNC Plaza

500 West Jefferson Street

Louisville, KY 40202 (502) 540-2300

Site: Marion West 500-Foot Radius Map for Structures and Landowners Marion County, Kentucky





Noi

The location of the boundaries shown are approximat and they are based upon aerial photographs and information on file in the office of the Property Valuation Administrator of Marion County, Kentucky.

Surveyor's Certification

I hereby certify that the information shown is correct to the best of my knowledge; and it is in accordance with the records found in the office of the Property Valuation Administrator of Marion County, Kentucky on December 9, 2010.

Darren L. Helms, P.L.S. 3386

DEC. 31, 2010

STATE OF KENTUCKY

STATE OF KENTUCKY

DARREN L. HELMS

3386

LICENSED

PROFESSIONAL

LAND SURVEYOR

Landmark Su	15 N.E. 3rd	: Washington	(812) 257-	Email: fondmon
Z				-

500–Foot Radius Map 883 Howardstown Road Raywick, Kentucky 40060

#2701 Raywick, Ken

Bluegrass Cellular 2902 Ring Road Elizabethtown, Kentucky 42701

REVISIONS	DATE
	_

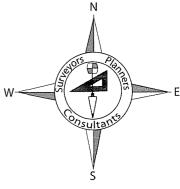
DATE TO DRAWN BY
A. WINNER
A. WINNER
ONECKED BY

OF 1 SHEETS

FILE NO. marion-radius.dwg

Landmark Surveying Co., Inc.

Darren L. Helms, P.L.S., PRESIDENT Dennis N. Helms, P.L.S., VICE PRESIDENT



15 N.E. 3rd Street Washington, Indiana 47501 Phone: 812-257-0950 Fax: 812-257-0953

Email: landmark97@sbcglobal.net

Landowner and Adjacent Landowner List

Marion West Site

Joseph Richard Nally, Jr. 5885 Hwy. 52 Loretto, KY 40037

Joseph Robert Buckman 1085 Hwy. 1157 Lebanon, KY 40033

Garness Willard 105 McCauley Road Raywick, KY 40060

James Phillip Lucas and Ronald D. Lucas 200 Howardstown Road Raywick, KY 40060 Shane Mattingly (for Mitchell, J.C. and Cherie Hinkle) 1020 Clell Mattingly Road Raywick, KY 40060

Troy and Staci M. Abell 940 Howardstown Road Raywick, KY 40060

Walter E. III and Connie Abell 885 Howardstown Road Raywick, KY 40060

Darren L. Helms, Kentucky Professional Land Surveyor No. 3386

Date 2010

STATE OF KENTUCKY

DARREN L. HELMS

3386

LICENSED

PROFESSIONAL

LAND SURVEYOR

Joseph Richard Nally, Jr. 5885 Highway 52 Loretto, Kentucky 40037

Public Notice

Kentucky RSA #4 Cellular General Partnership is a Kentucky general partnership that markets its services as Bluegrass Cellular. Bluegrass Cellular has been serving Central Kentucky with wireless communications services for almost 20 years.

Kentucky RSA #4 Cellular General Partnership is applying to the Public Service Commission of the Commonwealth of Kentucky (the "Commission") for a Certificate of Public Convenience and Necessity to construct and operate a new cell facility to provide cellular telephone service. This facility will include a 240 foot tower and an equipment shelter to be located at 883 Howardstown Road, Raywick, Kentucky, 40060. A map showing the location is attached.

The Commission invites your comments regarding this proposed construction. Also, the Commission wants you to be aware of your right to intervene in this matter. Your comments and request for intervention should be addressed to:

Executive Director's Office
Public Service Commission of Kentucky
P.O. Box 615
Frankfort, Kentucky, 40602.

Please refer to case number 2011-00011 in your correspondence.

Bluegrass Cellular welcomes the opportunity to serve and provide wireless service in your community! (For more information, please check us out online at www.myblueworks.com)

SENDER: COMPLETE THIS SECTION	COMPLETE THIS SECTION ON DELIVERY		
Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired. Print your name and address on the reverse so that we can return the card to you. Attach this card to the back of the mailpiece, or on the front if space permits. 1. Article Addressed to: Seph Cichard Malystr. 5885 Highway 59	A. Signature X		
Loretto, KY 46037	Service Type D Certified Mail □ Express Mail □ Registered □ Return Receipt for Merchandise □ Insured Mail □ C.O.D. 4. Restricted Delivery? (Extra Fee) □ Yes		
2. Article Number (Transfer from service label) 7 1 1 1 8 7	0 0003 0714 7815		
PS Form 3811, February 2004 Domestic Return Receipt2595-02-M-1540			

Joseph Robert Buckman 1085 Highway 1157 Lebanon, Kentucky 40033

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Lebanon, KY 40033	3. Service Type ☐ Certified Mail ☐ Express Mail ☐ Registered ☐ Return Receipt for Merchandise ☐ Insured Mall ☐ C.O.D. 4. Restricted Delivery? (Extra Fee) ☐ Yes
2. Article Number (Transfer from service label) 7010 1870	0003 0714 7808
PS Form 3811. February 2004 Domestic Ret	urn Receipt 102595-02-M-1540

Garness Willard 105 McCauley Road Raywick, Kentucky 40060

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Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired. Print your name and address on the reverse so that we can return the card to you. Attach this card to the back of the mailpiece, or on the front if space permits. 1. Article Addressed to: Car ness Willard US McCauley Rd.	A. Signature Agent Agent Addressee B. Received by (Printed Name) C. Date of Delivery CARNESS WIMMA 120 Wes If YES, enter delivery address below: No
185 McCauley Rd. RayWick, KY 40060	3. Service Type Certified Mail
2. Article Number (Transfer from service label) 7010 187	בפקק 12ס בססס ס
PS Form 3811 February 2004 Domestic Ret	turn Receipt 102595-02-M-1540

James Phillip Lucas and Ronald D. Lucas 200 Howardstown Road Raywick, Kentucky 40060

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Public Service Commission of Kentucky
P.O. Box 615
Frankfort, Kentucky, 40602.

Please refer to case number 2011-00011 in your correspondence.

SENDER: COMPLETE THIS SECTION	COMPLETE THIS SECTION ON DELIVERY
 Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired. Print your name and address on the reverse so that we can return the card to you. Attach this card to the back of the mailpiece, or on the front if space permits. 	A. Signature X Philip Lucas
Article Addressed to:	D. Is delivery address different from item 1? □/Yes′ If YES, enter delivery address below: □ No
James phillip Lucas and	
Ronald D. Lucas	
200 Howardstown Rd.	3. Service Type ☐ Certified Mail ☐ Express Mail
Raywick, KY 40060	☐ Registered ☐ Return Receipt for Merchandise ☐ Insured Mail ☐ C.O.D.
, , , , , , , , , , , , , , , , , , , ,	4. Restricted Delivery? (Extra Fee) ☐ Yes
2. Article Number 7010 18	70 0003 0714 7785

Shane Mattingly (for Mitchell, J.C. and Cherie Hinkle) 1020 Clell Mattingly Road Raywick, Kentucky 40060

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SENDER GOMPLETE THIS SECTION Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired. Print your name and address on the reverse so that we can return the card to you. Attach this card to the back of the mailpiece, or on the front if space permits. Article Addressed to: Share Mating Hinkle	A. Signature A. Signature X Agent Addressee B. Received by (Printed Name) Date of Delivery SHANE MATTINITY OIDS If YES, enter delivery address below:
RayWick, KY 40060	3. Service Type ☐ Certified Mail ☐ Express Mail ☐ Registered ☐ Return Receipt for Merchandise ☐ Insured Mail ☐ C.O.D.
,	4. Restricted Delivery? (Extra Fee)
2. Article Number 7010 187	'D 0003 0714 7778

Troy and Staci M. Abell 940 Howardstown Road Raywick, Kentucky 40060

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Raywick, KY 40060	☐ Insured Mail ☐ C.O.D.	ot for Merchandise
	4. Restricted Delivery? (Extra Fee)	☐ Yes
2. Anicle Number 7010 1870 (Transfer from service label)	0 0003 0714 7761	galantation.
2S Form 3811, February 2004 Domestic Ret	urn Receipt	102595-02-M-1540

Walter E. III and Connie Abell 885 Howardstown Road Raywick, Kentucky 40060

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Frankfort, Kentucky, 40602.

Please refer to case number 2011-00011 in your correspondence.



Home | Help | Sign In

Track & Confirm

<u> Jamas Cartury Salasa</u>

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FAQs

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FORNEYS Kerry W. Ingle 502-540-2354 kerry.ingle@dinslaw.com

January 18, 20100

Via Certified Mail

Hon. John G. Mattingly Marion County Judge Executive 223 North Spalding Avenue, Suite 201 Lebanon, Kentucky 40033

Re:

Application of Kentucky RSA #4 Cellular General Partnership d/b/a Bluegrass Cellular for a Certificate of Public Convenience and Necessity to construct a cellular tower to be located at 883 Howardstown Road, Raywick, Kentucky, 40060, before the Public Service Commission of the Commonwealth of Kentucky, Case No. 2011-00011

Dear Judge Mattingly:

Kentucky RSA #4 Cellular General Partnership is a Kentucky General Partnership that markets its services as Bluegrass Cellular. Kentucky RSA #4 Cellular General Partnership is applying to the Public Service Commission of Kentucky (the "Commission") for a Certificate of Public Convenience and Necessity to propose construction and operation for a new facility to provide cellular radio telecommunications service in rural service area (RSA) #4 in Marion County. The facility will include a 240 ft. tower and an equipment shelter to be located at 883 Howardstown Road, Raywick, Kentucky 40060. A map showing the location of the proposed new facility is enclosed.

The Commission invites your comments regarding the proposed construction. You also have the right to intervene in this matter.

Your comments and request for intervention should be addressed to: Executive Director's Office, Public Service Commission, P.O. Box 615, Frankfort, Kentucky 40602. Please refer to case number 2011-00011.

Very truly yours,

DINSMORE & SHOWDLLP

Kerry W. Ingle

Paralegal

enclosure

1400 PHC Plaza, 500 Wast Jefferson Street Loquisitie. KY: 4020k 502-540-2300 - 502-585-2207 fax. Wash datastaw.com

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 Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired. Print your name and address on the reverse so that we can return the card to you. Attach this card to the back of the mailpiece, or on the front if space permits. 	A. Signature Agent Address B. Received by (Printed Name) C. Date of Delivery address different from item 1? Yes
1. Article Addressed to: Hon. John G. Mattingly Marion County Judge Executive 223 N. Spelding Avenue, Suite 201	If YES, enter delivery address below: ☐ No
223 N. Spalling Avenue, Suite 201- Le banon, KY 40633	3. Service Type Gertified Mail Registered Resturn Receipt for Merchander Insured Mail C.O.D. 4. Restricted Delivery? (Extra Fee)
2. Article Number (Transfer from service label) 7010 187	70 0003 0714 7747
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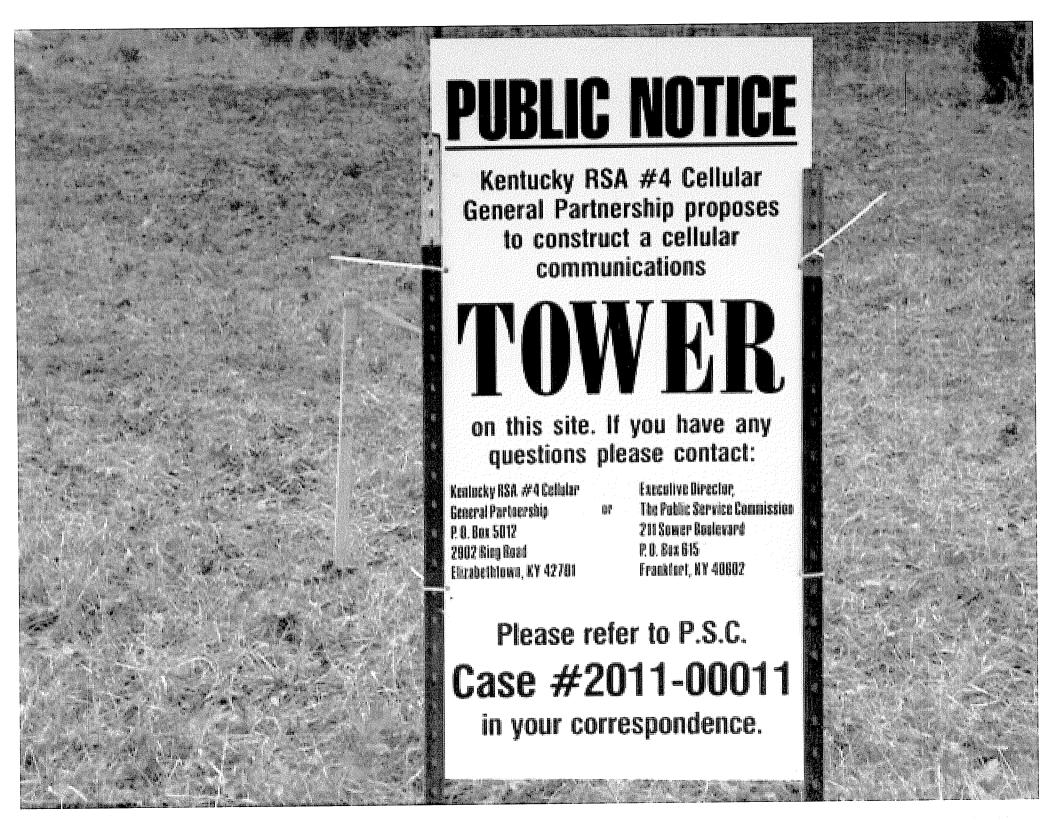
PS Form 3811, February 2004

Domestic Return Receipt

102595-02-M











The Lebanon Enterprise

119 S. Proctor Knott Ave. • Lebanon, KY 40033 Phone: (270) 692-6026 • FAX: (270) 692-2118

Editorial: <u>editor@lebanonenterprise.com</u> • Advertising: <u>mblair@lebanonenterprise.com</u> • Bookkeeping: enugent@lebanonenterprise.com

AFFIDAVIT OF PUBLICATION

The following affidavit is to be executed by an officer of the newspaper attesting publication of legal advertisements as required under an Act of Kentucky Legislature of 1958.

Mary Anne Blair of Lebanon, Kentucky, being first duly sworn, says that she is Advertising Manager of The Lebanon Enterprise, a newspaper published in the State of Kentucky, County of Marion, and having general circulation in the County of Marion, and that the advertisement of which the annexed is a true copy has been published in said newspaper on the following dates, viz January 26 and Feb. 2, 2011.

Mary Anne Blair

Subscribed and sworn to before me, a Notary Public within and for the State and County aforesaid, by Mary Anne Blair to me personally known, this 2nd day of February, 2011. My commission expires the 6th day of February, 2013.

Eva Jo Watson-Nugent

Notary Public, State At Large

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Need A Friend? Adopt A Pet! Marion County Animal Shelter (270)6920464

NOTICE

Kentucky RSA #4 Cellular General Partnership is applying to the Public Service Commission of Kentucky for a Certificate of Public Convenience and Necessity to construct and operate a new facility to provide cellular radio telecommunications service in rural service area #4 of the Commonwealth of Kentucky (Marion West Cell Site). The facility is a 240 foot tower and an equipment shelter to be located at Howardstown Road, Raywick, Kentucky 40060. Your comments and requests for intervention should be addressed to: Executive Director's Office, Public Service Commission, Post Office Box 615, 211 Sower Boulevard, Frankfort, Kentucky 40602. Please refer to Case No. 2011-00011 in your correspondence.

NOTICE

The Lincoln Trail District Board of Health at its last regular meeting on November 30, 2010 approved two ordinances for food service and retail food service establishments in Grayson, Hardin, LaRue, Marion, Meade, Nelson, and Washington Counties.

The first ordinance will require food service and retail food service establishments in the counties listed above to post food inspections within the establishment in a place conspicuous to the general public that is clearly visible upon entry into the establishment, as determined by an agent of the health department, and shall not be removed, defaced, covered or concealed from view of the customer This ordinace shall go into effect on March 1, 2011

The second ordinance will require all food service and retail food service establishments in the counties listed above to have a person in charge at the food establishment during all hours of operation, and that the person in charge shall successfully obtain certification in basic food safety through nationally accredited food safety education programs or local health department courses. This ordinance shall go into effect on September 1, 2011.

You may view these ordinances at Itdhd.ky.gov or for information you may contact Sara Jo Best, Evironmental Director, Lincoln Trail District Health Department, at 270-769-1601

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LINESCORES

SUNDAY

Marion County Youth Basketball League

8- & 9-Year-Old Boys

at St. Charles Middle School
CHAMPIONSHIP GAME

Pistons 43: Ty Walston 4, DeSean Taylor 14, Addison Hardin 1, Owen Mattingly 22, Jacob Hawkins 2.

Pacers 32: Trevor Douglas 17, Travis Wiser 14, Ashton Lanham 1

8- & 9-Year-Old Girls at St. Charles Middle School CHAMPIONSHIP GAME

Sparks 17: Savannah Benningfield 7, Lauren Ferrell 2, Savannah Johnson 3, Abby Scott 5.

Dream 20: Brooke Smith 5, Grace Farmer 1, Carrington McKay 4, Dalyn Spalding 7, Abigal Bramel 2, Shelby Stout 1.

SATURDAY

Marion County Youth Basketball League 8- & 9-Year-Old Boys

at St. Charles Middle School ROUND 1

Pistons 37: DeSean Taylor 11, Christopher Craig 2, Adison Hardin 7, Owen Mattingly 5, Zeke-Scott 1, Trace Mayo 3, Logan Clayton 2, Jacob Hawkins 6.

Suns 13: Conner Cornish 2, Andrew Kelty 1, Davis Rafferty 10.

Sonics 20: Ethan Woods 2, John Adams 9, Koby Scott 3, Tanner Roeder 1, Patrick Edelen 5.

Bulls 30: Ryan Lee Hayes 2, Austin Smith 15, Clay Callahan 10, Andrew Newton 1, Dalton Sallee 2. Knicks 23: Ba Mason Sullivan 9 3, Darren O'Brya Wheatley 2.

Kings 28: Aus Bryce Spalding 6 Cade Thompson 7, Dalton Sibley

Pacers 48: Tra Travis Wiser 14, I 2, Spencer Riggs Gregory Blake 5,

Bucks 26: Bei Jamison Epps 15

RO

Pistons 35: T DeSean Taylor 5. 5, Owen Matting Scott 1, Trace Mi Hawkins 2.

Bulls 26: Zan Chase Miles 3, R Ryan Lee Hayes 6, Clay Callahan

Kings 23: Au Bryce Spalding : Cade Thompsor 8, Channing You

Pacers 33: Tr Travis Wiser 13, 2, Zach Poynter

> 8- & 9-Yea at St. Charles ROL

Sparks 27: S Benningfield 4, 1, Taylor Webb Johnson 6, Abb

Fever 24: Ca 13, Emily Helms Thomas 1, Isabe 1, Jessica Miles Bagwell 1.

Dream 14: E Brooke Smith 4 1, Dalyn Spaldii

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Houchens Food Group Inc., mailing address is P.O. Box 90009, Bowling Green, KY 42101-9009 hereby declares intentions to apply for a Retail Beer License. The business to be licensed will be located at 507 W. Main St., Lebanon, Kentucky 40033, doing business as Save-A-Lot 142.

The CEO is Jimmie Gipson of 700 Church St Bowling Green, KY 42101 and the CFO is J. Gordon Minter of 700 Church St. Bowling Green. 42101.

Any person, association corporation, or body politic may protest the granting of the license(s) by writing the Dept. of Alcoholic Beverage Control, 1003 Twilight Trail, Frankfort, Ky. 40601-8400, within 30 days of this legal publication.

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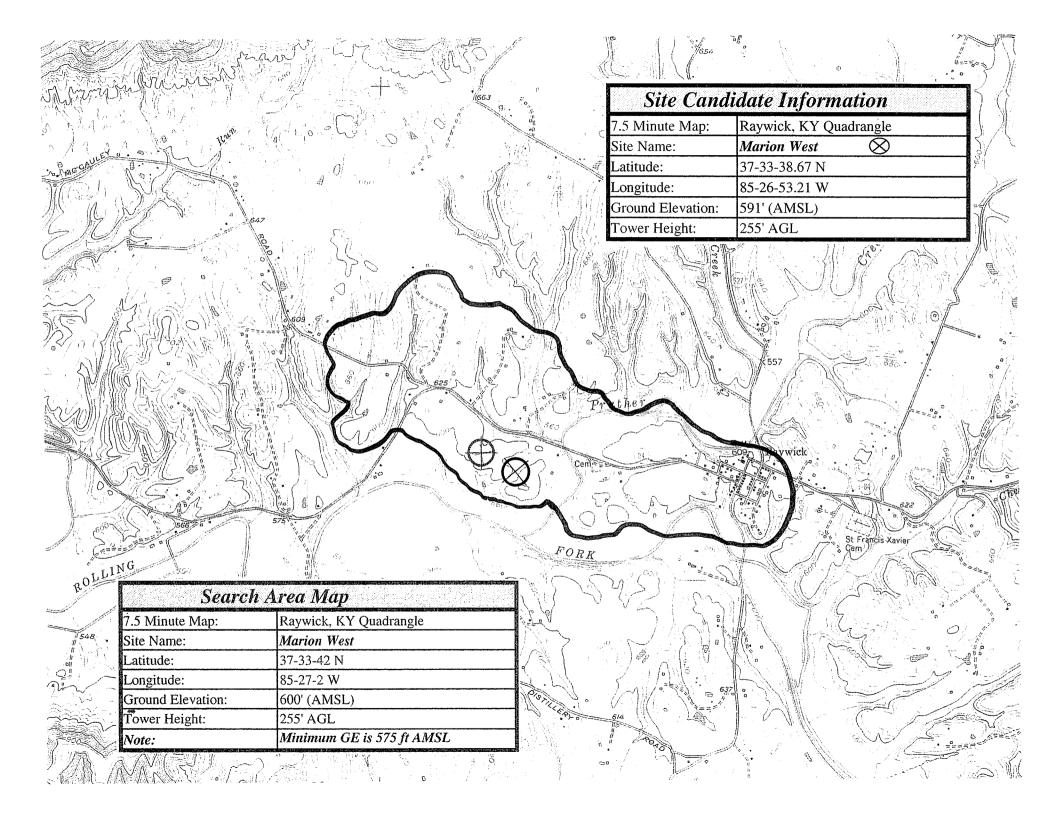
(859) 481-4646

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PUBLIC NOTICE

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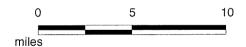
Marion County Boundary

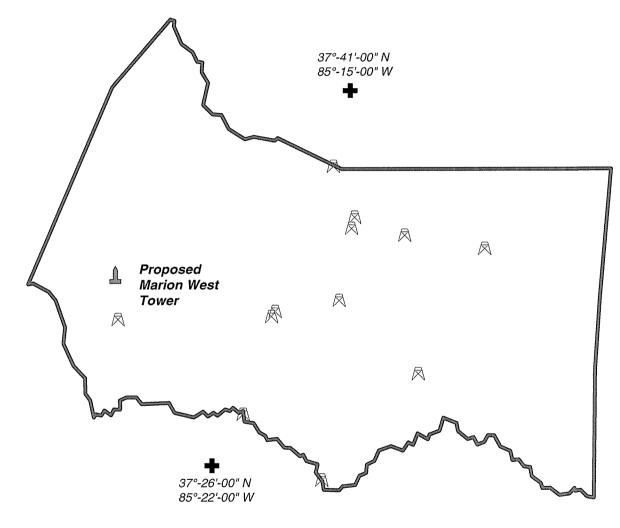
Constructed Wireless Tower
Locations Registered with the FCC

Proposed Tower location

Tick Marks

Prepared By: LNGS Engineering 1/21/2011





Information on Constructed Towers Registered with the FCC in Marion County and 1/2 Mile Area Outside of the County Boundary

FCC Tower Reg. No.	North Lat.	West Lon.	Nearest City	State	Tower Owner	
1043055	37-31-58	85-18-59	Lebanon	KY	KENTUCKY RSA 4 CELLULAR GENERAL PARTNERSHIP DBA = BLUEGRASS CELLULAR	
1044801	37-25-25	85-16-27	Spurlington	KY	KENTUCKY, COMMONWEALTH OF DBA = KY EMERGENCY WARNING SYSTEM KEWS	
1052450	37-28-03	85-20-25	Finley	KY	P & B TOWERS, LLC	
1063302	37-35-12	85-12-15	Lebanon	KY	COMMONWELATH BROADCASTING COPRPORATION DBA = CBC	
1203419	37-32-36	85-15-34	Lebanon	KY	Global Tower, LLC	
1205220	37-31-51	85-26-45	Raywick	KY	Louisville Communications, LLC	
1234007	37-35-55	85-14-47	Lebanon	KY	CBC of Marion Co.	
1238634	37-32-10	85-18-48	Lebanon	KY	Inter County Energy Cooperative Corporation	
1260096	37-37-57.6	85-15-51.8	Springfeild	KY	Shared Towers, LLC	
1261393	37-34-40.5	85-8-12.5	Lebanon	KY	SBA Towers II LLC	
1267688	37-35-28.7	85-14-56.6	Lebanon	KY	Mobilitie Investments II, LLC	
1276116	37-29-39.8	85-11-34.3	Lebanon	KY	KENTUCKY RSA 4 CELLULAR GENERAL PARTNERSHIP DBA = BLUEGRASS CELLULAR	