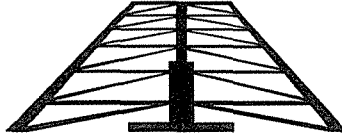


7383 Utica Blvd ~ Lowville, New York 13367 ~ 315-376-3333 ~ FAX 315-376-8139



**Boulevard Properties, L.L.C.**

RECEIVED

MAY 06 2008

PUBLIC SERVICE  
COMMISSION

Friday, May 02, 2008

Beth O'Donnell  
Director  
Public service Commission  
211 Sower Boulevard  
Frankfort, KY 40602-0615

Dear Ms. O'Donnell,

Enclosed, please find one original and four copies of Shared Towers, LLC's application to construct a new Wireless Communications Facility at the following location:

Case# 2008-00092 "Bethel" Chandler Rd; Sharpsburg, KY 40374. Bath County 911 designated as 212 Chandler Rd; Sharpsburg, KY 40374

Please contact me if anything is not in order.

Regards,

A handwritten signature in black ink, appearing to read 'David B. Jantzi', with a stylized flourish at the end.

David B. Jantzi

---

**FOR THE PUBLIC RECORD**

**COMMONWEALTH OF KENTUCKY  
BEFORE THE PUBLIC SERVICE COMMISSION**

RECEIVED

MAY 06 2008

PUBLIC SERVICE  
COMMISSION

IN THE MATTER OF:

APPLICATION OF SHARED TOWERS, LLC. )  
AND AMERICAN CELLULAR, LLC )  
FOR ISSUANCE OF A CERTIFICATE OF PUBLIC )  
CONVIENENCE AND NECESSITY TO CONSTRUCT )  
A WIRELESS COMMUNICATIONS FACILITY AT )  
CHANDLER ROAD )  
SHARPSBURG, KENTUCKY 40374 )  
IN THE WIRELESS COMMUNICATIONS LICENSE AREA )  
IN THE COMMONWEALTH OF KENTUCKY )  
IN THE COUNTY OF BATH )

SITE NAME: BETHEL

PSC CASE # 2008-00092

\*\*\*\*\*

Shared Towers, LLC. As ultimate owner, and American Cellular, LLC, as a licensed public utility in the commonwealth of Kentucky, make this application.

The property on which the Wireless Communications Facility ("WCF") will be built is located at Chandler Road, Sharpsburg, Kentucky 40374. The WCF site is geographically positioned at 38° 16' 0.70" North latitude, 83° 50' 35.54" West longitude.

**COMMONWEALTH OF KENTUCKY  
BEFORE THE PUBLIC SERVICE COMMISSION**

IN THE MATTER OF:

APPLICATION OF SHARED TOWERS, LLC. )  
AND AMERICAN CELLULAR, LLC )  
FOR ISSUANCE OF A CERTIFICATE OF PUBLIC )  
CONVIENCE AND NECESSITY TO CONSTRUCT )  
A WIRELESS COMMUNICATIONS FACILITY AT )  
CHANDLER ROAD )  
SHARPSBURG, KENTUCKY 40374 )  
IN THE WIRELESS COMMUNICATIONS LICENSE AREA )  
IN THE COMMONWEALTH OF KENTUCKY )  
IN THE COUNTY OF BATH )

RECEIVED  
MAY 06 2008  
PUBLIC SERVICE  
COMMISSION

SITE NAME:           BETHEL

\*\*\*\*\*

**UNIFORM APPLICATION: CONFIDENTIAL AND PROPRIETARY**

Shared Towers, LLC. ("Shared Towers"), as ultimate owner, and American Cellular, LLC ("Provider") as a licensed public utility in the Commonwealth of Kentucky, hereinafter jointly referred to as "Applicants", respectfully submit their Application for a Certificate of Public Convenience and Necessity from the Public Service Commission to construct, maintain, and operate a Wireless Communications Facility ("WCF") to serve the customers of the Provider with wireless and telecommunications services, and other wireless service provider collocations in the area described herein.

In support of this Application, the Applicants respectfully provide and state the following information:

1. The complete names and addresses of the Applicants are:

Shared Towers, LLC., a Kentucky Limited Liability Company, having a mailing address of 1390 Chain Bridge Road #40, McLean, Virginia 22101 (703) 893-0806.

American Cellular, LLC, a Delaware Corporation, 3910 South Ave. Youngstown, OH 44512, 73134 having a local address of 124 South Keeneland Drive, Suite 1, Richmond, KY 40475, (606) 544-2355.

2. Shared Towers constructs, owns, manages, maintains, and operates independent communications networks. Shared Towers owns and manages safe, clean and well maintained facilities. Shared Towers facilities do not generate smoke, odors, noise, noxious gases, vibrations, or traffic increase. Shared Towers' facilities will not pollute air, soil, or water, nor will they adversely affect radio or television reception or transmission. A certified copy of the Certificate of a Limited Liability Company issued by the Secretary of State of the State of West Virginia and a copy of the Certificate of Authorization which was issued by the Secretary of State of the Commonwealth of Kentucky for Shared Towers, LLC. are attached or described as part of **Exhibit A**. A copy of the Certificate of Authorization issued by the Secretary of State of the Commonwealth of Kentucky and a copy of the Certificate of Merger issued by the Secretary of State of the State of Delaware for the Provider are attached or described as part of **Exhibit B**.

3. After completion of the proposed WCF, Shared Towers will lease or license space on said tower and the surrounding site so the Provider may locate and operate its facility including all required antennas and appurtenances. The proposed WCF will serve an area completely within the Provider's Federal Communications Commission ("FCC")

licensed service area in the Commonwealth of Kentucky. The Provider is authorized to provide wireless service by the FCC and the PSC. A copy of the Provider's FCC license to provide wireless service is attached to this Application or described as part of **Exhibit C**. Shared Towers has located the proposed site in a manner such that other wireless communications service providers will desire to collocate on said tower, and will endeavor to provide all necessary facilities to make collocation attractive to them.

4. The public convenience and necessity require the construction of the proposed WCF. The construction of the WCF will bring the Provider's services to an area currently not served or not adequately served by the Provider and will thereby enhance the public's access to innovative and competitive wireless telecommunications services. The WCF will provide a necessary link in the Provider's telecommunications network that is designed to meet the increasing demands for wireless services in Kentucky's wireless communications licensed area. The WCF is an integral link in the Provider's network design that must be in place to cover the proposed service area.

5. Shared Towers' construction of the described WCF is desirable because it allows for the collocation of additional wireless service providers within this portion of the Kentucky wireless communications licensed area. These services may include telecommunications, wireless data transfer and internet services, wireless cable, paging systems, 911 service, and other new products currently being developed in the wireless industry. In addition, the WCF will be available for use by governmental agencies and providers of emergency services. The WCF will provide a necessary link in Shared Towers' and the Provider's wireless infrastructure networks, and Shared Towers, as part of its business structure, will diligently pursue and encourage other wireless providers to collocate on the WCF. These services will provide increased competition in the in the local

Kentucky telecommunications market, which will, in turn, promote competitive pricing, quality, and coverage options to users of telecommunications services in this area. Shared Towers' vested interest in the collocation of wireless service providers promotes the same goals for the local consumers.

6. The Applicants propose to construct a WCF at Chandler Road, Sharpsburg, Kentucky 40374 (38° 16' 0.70" North latitude, 83° 50' 35.54" West longitude). In an area located entirely within the county referenced in the caption of this application. The property on which the WCF will be located is owned by Shirley and Elaine Grimes. The proposed WCF will consist of a 305 foot guyed tower with an approximately 6-foot lightning arrester attached to the top, for a total height of 311 feet. The WCF will also include concrete foundations to accommodate the placement of the Provider's proprietary radio electronics equipment. The equipment will be housed in a prefabricated cabinet or shelter that will contain: (i) the transmitting and receiving equipment required to connect the WCF with the Provider's users in Kentucky, (ii) telephone lines that will link the WCF with the Provider's other facilities, (iii) battery back-up that will allow the Provider to operate even after a loss of outside power, and (iv) all other necessary appurtenances. The Provider's equipment cabinet or shelter will be approved for use in the commonwealth of Kentucky by the relevant building inspector. The WCF compound will be fenced and all access gate(s) will be secured. A description of the manner in which the proposed WCF will be constructed is attached as **Exhibit D** and **Exhibit E**. Periodic inspections will be performed on the WCF in accordance with the applicable regulations or requirements of the PSC. The list of competing utilities, corporations, or persons is attached as **Exhibit F**.

7. Reduced copies of the site development plan have been included as **Exhibit D** and **Exhibit E** of this application. A vertical profile sketch of the WCF signed and sealed

by a professional engineer registered in Kentucky depicting the tower height, as well as a proposed configuration for the antennas of the provider and future antenna mounts, has also been included as part of **Exhibit E**. Foundation design plans and a description of the standards according to which the tower was designed signed and sealed by a professional engineer registered in Kentucky is included as part of **Exhibit D**.

8. The Applicants have considered the likely effects of the installation of the proposed WCF on nearby land uses and values and have concluded there is no more suitable location reasonably available from which adequate services can be provided, and that there are no reasonably available opportunities to collocate. The Applicants have attempted to collocate on suitable existing structures such as telecommunications towers or other suitable structures capable of supporting the Provider's facilities. No other suitable and available collocation site was found to be located in the vicinity of the site. Information regarding the Applicants' efforts to achieve collocation in the vicinity are presented as **Exhibit G**.

9. The Applicants have conducted a preliminary aeronautical evaluation for the proposed WCF. The evaluation determined that the proposed structure height at this site meets Federal Aviation Administration ("FAA") Regulation requirements. Furthermore, FAA notice is required for the proposed construction, and lighting or marking requirements may be applicable to this facility. A copy of the FAA Application is attached as **Exhibit H**. Upon receiving a "Determination" from the FAA, the Applicants will forward a copy as a supplement to this Application Proceeding

10. A copy of the Kentucky Airport Zoning Commission ("KAZC") Application for the proposed WCF is attached as **Exhibit I**. Upon receiving authorization from the KAZC,

the Applicants will forward a copy of the determination as a supplement to this Application Proceeding

11. The WCF will be registered with the FCC pursuant to applicable federal requirements. Appropriate required signage will be posted on this site upon receipt of the tower registration number.

12. A geotechnical-engineering firm has performed soil boring(s) and subsequent geotechnical-engineering studies at the WCF site under the supervision of a professional engineer registered in the Commonwealth of Kentucky who specializes in geotechnical engineering, including subsurface exploration. The geotechnical-engineering firm has performed many such studies for the communications industry. A copy of the geotechnical-engineering report and evaluation signed and sealed by a professional engineer registered in the Commonwealth of Kentucky who specializes in geotechnical engineering, including subsurface exploration, is attached as **Exhibit J**. The name and address of the geotechnical-engineering firm and the professional engineer registered in the Commonwealth of Kentucky who supervised the examination of this WCF site are included in **Exhibit J**.

13. Clear directions to the proposed WCF site from the County seat are attached as **Exhibit K**. The name and address of the preparer of **Exhibit K** is included in **Exhibit K**.

14. Shared Towers, pursuant to a written agreement, has acquired the right to use the WCF site and associated property rights. A copy of the agreement or an abbreviated agreement recorded with the County Clerk is attached as **Exhibit L**. Also included as part of **Exhibit L** is the portion of the full agreement demonstrating that in the case of abandonment a method is provided to dismantle and remove the cellular antenna tower .



15. Personnel directly responsible for the design and construction of the proposed WCF are well-qualified and experienced. Nello Corporation (the Tower Manufacturer) performed the tower and foundation design. The Tower Manufacturer is a nationally recognized manufacturer and designer of communication towers. The Tower Manufacturer has designed and installed communications towers throughout North America. The Tower Manufacturer has assigned Daniel Ianello, a professional engineer registered in the commonwealth of Kentucky, to design the Tower for the WCF. The engineer specializes in the design and engineering of guyed, self support and monopole structures, and has extensive experience in the design and construction of projects similar to the Applicants'. These projects include the design of towers and the required foundations of many other wireless facilities. All of the designs have been/will be signed and sealed by Daniel Ianello. The construction of the proposed WCF will be performed by Shared Towers or their agents who are insured and experienced tower erection specialists. The Project Manager, Thomas Roe, will manage the construction of the WCF and the tower erection. Thomas has been erecting towers for the telecommunications industry for over 15 years. All tower designs will meet or exceed applicable laws and regulations.

16. Based on a review of Federal Emergency Management Agency Flood Insurance Rate Maps, the registered land surveyor has certified in **Exhibit M** that the proposed WCF is not located within any flood hazard area.

17. The possibility of high winds has been considered in the design of this tower. The tower has been designed and engineered by professional engineers using computer assistance and the same accepted codes and standards as are typically used for high-rise building construction. The tower has been designed to withstand a wind loading of 70 m.p.h. with ½ inch of radial ice. This tower has been designed in accordance with the

Electronic Industries Association (“EIA”) 222-F 1996 Standards, which have been accepted and approved by ANSI and is a nationally recognized tower design standard. Similarly, the proposed WCF design has been developed with consideration of potential ground shaking based on a negligible seismic zone of 1. Seismic loading is regarded as secondary to the wind loading.

18. The site development plan signed and sealed by a professional engineer registered in Kentucky was prepared by David B. Sharp, and was designed from a survey performed by J.D. Williams Jr.. This site development plan is drawn to a scale of no less than one (1) inch equals 200 feet, and identifies every owner of real estate within 500 feet of the proposed tower (according to the Property Valuation Administrator) and is incorporated in the survey as part of **Exhibit E**. Every structure and every easement within 500 feet of the proposed tower or within 200 feet of the access road including intersection with the public street system is incorporated in the survey as part of **Exhibit E**.

19. Shared Towers, on behalf of itself and the Provider, has notified every person who owns property within 500 feet of the proposed tower by certified mail, return receipt requested, of the proposed construction. Each property owner has been informed of their right to request intervention. A list of the nearby property owners who received the notices, together with copies of the certified letters, are attached as **Exhibit N** and **Exhibit O**, respectively.

20. Shared Towers, on behalf of itself and the Provider, has notified the Bath County Judge Executive by certified mail, return receipt requested, of the proposed construction. This notice informed the Bath County Judge Executive of his/her right to request intervention. A copy of this notice is attached as **Exhibit P**.

21. Two appropriate notice signs measuring at least two (2) feet in height and four (4) feet in width with all required language in letters of required height have been posted in a visible location on the proposed site and on the nearest public road and shall remain posted for at least two (2) weeks after filing of the Application. Copies of the postings are attached as **Exhibit Q**. The location of the proposed facility has been published in a newspaper of general circulation in the county where the WCF is located.

22. The general character of the area in which the WCF is proposed is agricultural and the existing land use of the specific property involved is hillside pasture. The property where WCF is proposed to be constructed is not zoned.

23. The process that was used in selecting the site for the proposed WCF by the Applicants' radio frequency engineers was consistent with the process used for selecting generally all other existing and proposed WCF facilities within the proposed network design area. Before beginning the acquisition process, the Applicants carefully evaluated the location of the required WCF for possible collocation opportunities on existing structures. Radio Frequency Engineers used computer programs to evaluate the most effective coverage design for facilitating collocation potential on the proposed tower. Shared Towers and the Provider's radio frequency engineers have combined their efforts in order to develop a highly efficient network that is designed to serve the Federal Communications Commission licensed territory without extending beyond the Provider's approved boundary. The engineers selected the optimum vicinity in terms of elevation and location to provide the best quality service to customers in the service area. A proposed coverage area was considered by the Applicants when searching for sites that would provide both (i) the coverage deemed necessary by the Provider, and (ii) the coverage deemed necessary by Shared Towers to permit the integration of the proposed WCF into Shared Towers' overall

network design. No suitable towers or existing structures were found in the immediate area which would meet the technical requirements for this element of the telecommunications network. A map of the area in which the tower is proposed to be located which is drawn to scale and clearly depicts the necessary search area within which the site, pursuant to radio frequency requirements, be located is attached as **Exhibit R**.

24. A grid map showing the location of all existing cellular antenna towers that includes the general position of proposed construction sites for new cellular antenna towers within the Commission's jurisdiction and one-half mile outside the boundary of the planning unit's jurisdiction if that area contains either existing or proposed construction sites for cellular antenna towers is attached as **Exhibit S**.

25. All Exhibits to this application are hereby incorporated by reference as if fully set out as part of the Application.

26. All responses and requests associated with this Application may be directed

to:

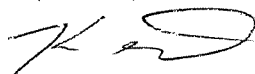
David Jantzi  
Boulevard Properties, LLC  
7383 Utica Blvd.  
Lowville, NY 13367  
Telephone: (315) 523-6258

And

Kamal Doshi  
Shared Towers, LLC  
1390 Chain Bridge Road #40  
McLean, VA 22101

**Wherefore**, the applicants respectfully request that the PSC accept the foregoing Application for filing and having met the requirements of KRS 278.020 and all applicable rules and regulations of the PSC, grant a Certificate of Public Convenience and Necessity to construct and operate the WCF at the location set forth herein for the respective networks in the commonwealth of Kentucky.

Respectfully submitted,

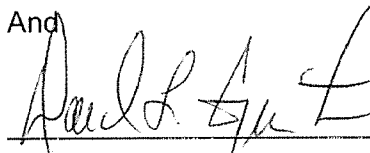


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Kamal Doshi  
Shared Towers, LLC  
1390 Chain Bridge Road #40  
McLean, Virginia 22101  
Telephone: (703) 893-0806



And



---

David L. Ginter  
AT&T Trust  
American Cellular, LLC  
124 S. Keeneland Drive  
Richmond, KY 40475  
(859) 544.5805

## LIST OF EXHIBITS

- A. Certificate of LLC from the State of West Virginia and copy of application for Certificate of Authority to the State of Kentucky for Shared Towers, LLC.
- B. Certificate of Authorization from the State of Kentucky and Certificate of Merger for American Cellular, LLC
- C. Copy of FCC license for American Cellular, LLC
- D. Tower and Foundation Plan
- E. Site Development Plan:
  - Vicinity Map
  - Property Owner Listing
  - 500' Vicinity Map
  - Legal Descriptions
  - Site Plan
  - Vertical Tower Profile
- F. Competing Utilities, Corporations, or Persons List
- G. Collocation Report
- H. Application to FAA
- I. Application to Kentucky Airport Zoning Commission
- J. Geotechnical report
- K. Directions to WCF Site
- L. Copy of Real Estate Agreement
- M. Flood Plain Certification
- N. Certification of Notification
- O. Copy of Property Owner Notification
- P. Copy of County Judge Executive Notice
- Q. Copy of Posting Notices
- R. Copy of Radio Frequency Design Search Area
- S. Tower Map for Subject County

**EXHIBIT A**

**CERTIFICATE OF EXISTANCE**

**AND**

**CERTIFICATE OF LLC FROM THE  
STATE OF WEST VIRGINIA**

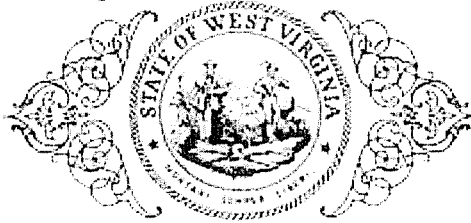
**AND**

**CERTIFICATE OF AUTHORIZATION FROM THE  
COMMONWEALTH OF KENTUCKY**

**FOR SHARED TOWERS, LLC**



# State of West Virginia



## Certificate

*I, Betty Ireland, Secretary of State of the State of West Virginia, hereby certify that*

### SHARED TOWERS, LLC

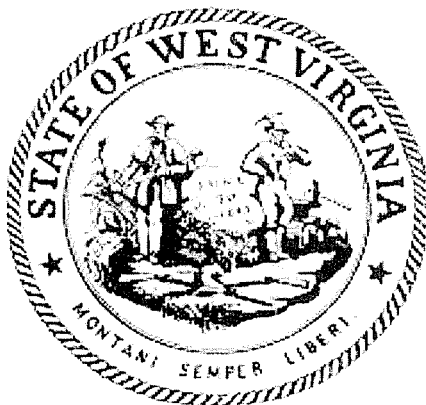
made application to the West Virginia Secretary of State's Office to be a registered limited liability company in the State of West Virginia on October 15, 2007. The application was received and found to conform to law.

The company is filed as an at-will company, for an indefinite period.

I further certify that the company's most recent annual report, as required by West Virginia Code §31B-2-211, has been filed with our office and that a Certificate of Termination has not been issued.

Accordingly, I hereby issue this

### CERTIFICATE OF EXISTENCE



*Given under my hand and the  
Great Seal of the State of  
West Virginia on this day of  
April 3, 2008*

*Betty Ireland*

*Secretary of State*

CM

# State of West Virginia



## Certificate

*I, Betty Ireland, Secretary of State of the State of West Virginia, hereby certify that*

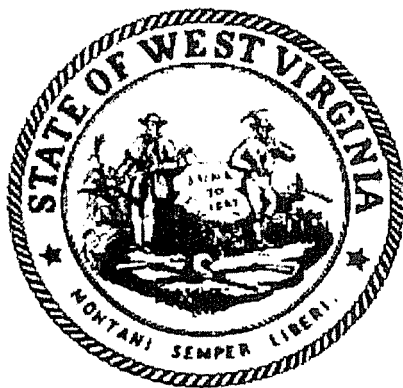
**SHARED TOWERS, LLC**

Control Number: 97520

has filed its "Articles of Organization" in my office according to the provisions of West Virginia Code §§31B-2-203 and 206. I hereby declare the organization to be registered as a limited liability company from its effective date of October 15, 2007 until the expiration of the term or termination of the company.

Therefore, I hereby issue this

### **CERTIFICATE OF A LIMITED LIABILITY COMPANY**



*Given under my hand and the Great Seal of the State of West Virginia on this day of October 15, 2007*

*Betty Ireland*

Secretary of State

Betty Ireland  
Secretary of State  
State Capitol Building  
1900 Kanawha Blvd. East  
Charleston, WV 25305-0770

Penney Barker, Manager  
Corporations Division  
Tel: (304) 558-8000  
Fax: (304) 558-8381  
Hours: 8:30 a.m. - 5:00 p.m. ET

**WEST VIRGINIA  
ARTICLES OF ORGANIZATION  
OF LIMITED LIABILITY COMPANY**

Control # 97520

We, acting as organizers according to West Virginia Code §31B-2-202, adopt the following Articles of Organization for a West Virginia Limited Liability Company:

**1. The name of the West Virginia limited liability**

**company shall be:** [The name must contain one of the required terms such as "limited liability company" or abbreviations such as "LLC" or "PLLC"--see instructions for list of acceptable terms.]

SHARED TOWERS, LLC

**2. The company will be an:**



LLC



professional LLC for the profession of \_\_\_\_\_

**3. The address of the initial designated office of the company in WV, if any, will be:**

[need not be a place of the company's business]

Street: Attn: James B. Crawford, III, 120 N. George Street

City/State/Zip: Charles Town WV 25414

**4. The mailing address of the principal office, if different, will be:**

Street/Box: 1390 Chain Bridge Road #40

City/State/Zip: McLean VA 22101-3904

**5. The name and address of the agent for service of process, if any, is:**

Name: James B. Crawford, III, Attorney-at-Law

Street: 120 N George Street

City/State/Zip: Charles Town WV 25414

The mailing address of the above agent of process, if different, is:

Street/Box: \_\_\_\_\_

City/State/Zip: \_\_\_\_\_

**FILED**

OCT 15 2007

IN THE OFFICE OF  
SECRETARY OF STATE  
WEST VIRGINIA

**6. The name and address of each organizer:**

<u>Name</u>	<u>No. &amp; Street</u>	<u>City, State, Zip</u>
<u>Kamal Doshi</u>	<u>1390 Chain Bridge Road #40</u>	<u>McLean VA 22101-3904</u>
_____	_____	_____
_____	_____	_____

**7. The company will be:**



an at-will company, for an indefinite period.



a term company, for the term of \_\_\_\_\_ years.

FORM 11.07, FR 10/15/2007 694590

8. The Company will be:

**member-managed.** [List the name and address of each member with signature authority, attach an extra sheet if needed]

OR

**manager-managed.** [List the name and address of each manager with signature authority, attach an extra sheet if needed.]

Name Kamal Doshi	Address 1390 Chain Bridge Rd #40	City, State, Zip McLean VA 22101-3904
_____	_____	_____
_____	_____	_____

9. All or specified members of a limited liability company are liable in their capacity as members for all or specified debts, obligations or liabilities of the company.

- NO -- All debts, obligations and liabilities are those of the company.
- YES -- Those persons who are liable in their capacity as members for all debts, obligations or liability of the company have consented to this in writing.

10. The purposes for which this limited liability company is formed are as follows: (Describe the type(s) of business activity which will be conducted, for example, "real estate," "construction of residential and commercial buildings," "commercial printing," "professional practice of architecture.")  
Invest in Commercial Real Estate and related activities and other businesses permitted by law.

11. Other provisions which may be set forth in the operating agreement or matters not inconsistent with law: [See instructions for further information; use extra pages if necessary.]  
Attached.

12. The number of pages attached and included in these Articles is One (1).

13. The requested effective date is:  the date & time of filing  
[Requested date may not be earlier than filing nor later than 90 days after filing.]  
 the following date \_\_\_\_\_ and time \_\_\_\_\_

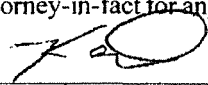
14. Contact and Signature Information:

a. Contact person to reach in case there is a problem with filing: Kamal Doshi

Phone # 703-893-0806

Business email address, if any: kdoshi@sharedtowers.com

b. Signature of: (manager of a manager-managed company, member of a member-managed company, person organizing the company, if the company has not been formed or attorney-in-fact for any of the above.)

Kamal Doshi	Manager	
_____	_____	_____
Name [print or type]	Title/Capacity	Signature

West Virginia  
Articles of Organization  
Of  
Limited Liability Company

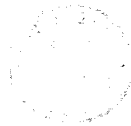
Shared Towers, LLC

Item 11

The company shall indemnify, to the fullest extent permitted or required by the laws of West Virginia, as such laws exist now, or hereafter be amended, its members, managers, appointed directors and appointed officers who are made a party to any proceeding by reason of their office or acts or omissions performed in their official capacity, including but not limited to the cost of independent legal defense.

State of West Virginia  
Office of the Secretary of State

I, Jeffrey Ireland, Secretary of State of West Virginia, do hereby  
certify that this is a true and correct copy of the original record now in  
my official custody as Secretary of State.



Given under my hand and the  
Great Seal of the State of West Virginia

on 4/3/08

*Jeffrey Ireland*

Jeffrey Ireland, Secretary of State

By *Mary Alice*  
Clerk

Notar: This is an official certified copy when signed and in red ink

Commonwealth of Kentucky  
Trey Grayson, Secretary of State

4/1/2008

Division of Corporations  
Business Filings

P. O. Box 718  
Frankfort, KY 40602  
(502) 564-2848  
<http://www.sos.ky.gov>

**Certificate of Authorization**

Authentication Number: 62793  
Jurisdiction: Boulevard Properties  
Visit <http://apps.sos.ky.gov/business/obdb/certvalidate.aspx> to authenticate this certificate.

I, Trey Grayson, Secretary of State of the Commonwealth of Kentucky, do hereby certify that according to the records in the Office of the Secretary of State,  
**SHARED TOWERS, LLC**

, a limited liability company organized under the laws of the state of West Virginia, is authorized to transact business in the Commonwealth of Kentucky and received the authority to transact business in Kentucky on October 16, 2007.

I further certify that all fees and penalties owed to the Secretary of State have been paid; that an application for certificate of withdrawal has not been filed; and that the most recent annual report required by KRS 275.190 has been delivered to the Secretary of State.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my Official Seal at Frankfort, Kentucky, this 1st day of April, 2008.



*Trey Grayson*

Trey Grayson  
Secretary of State  
Commonwealth of Kentucky  
62793/0675851

**EXHIBIT B**

**CERTIFICATE OF AUTHORIZATION FROM THE  
COMMONWEALTH OF KENTUCKY**

**AND**

**CERTIFICATE OF CONVERSION FROM THE  
STATE OF DELAWARE**

**AND**

**CERTIFICATE OF FORMATION**

**FOR AMERICAN CELLULAR, LLC**



Commonwealth of Kentucky  
Trey Grayson, Secretary of State

4/1/2008

Division of Corporations  
Business Filings

P. O. Box 718  
Frankfort, KY 40602  
(502) 564-2848  
<http://www.sos.ky.gov>

**Certificate of Authorization**

Authentication Number: 62794

Jurisdiction: Boulevard Properties

Visit <http://apps.sos.ky.gov/business/obdb/certvalidate.aspx> to authenticate this certificate.

I, Trey Grayson, Secretary of State of the Commonwealth of Kentucky, do hereby certify that according to the records in the Office of the Secretary of State,  
**AMERICAN CELLULAR, LLC**

, a limited liability company organized under the laws of the state of Delaware, is authorized to transact business in the Commonwealth of Kentucky and received the authority to transact business in Kentucky on February 26, 2008.

I further certify that all fees and penalties owed to the Secretary of State have been paid; that an application for certificate of withdrawal has not been filed; and that the most recent annual report required by KRS 275.190 has been delivered to the Secretary of State.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my Official Seal at Frankfort, Kentucky, this 1st day of April, 2008.



*Trey Grayson*

Trey Grayson  
Secretary of State  
Commonwealth of Kentucky  
62794/0686435

# Delaware

PAGE 1

## The First State

I, HARRIET SMITH WINDSOR, SECRETARY OF STATE OF THE STATE OF DELAWARE DO HEREBY CERTIFY THAT THE ATTACHED IS A TRUE AND CORRECT COPY OF THE CERTIFICATE OF CONVERSION OF A DELAWARE CORPORATION UNDER THE NAME OF "AMERICAN CELLULAR CORPORATION" TO A DELAWARE LIMITED LIABILITY COMPANY, CHANGING ITS NAME FROM "AMERICAN CELLULAR CORPORATION" TO "AMERICAN CELLULAR, LLC", FILED IN THIS OFFICE ON THE FIFTEENTH DAY OF JANUARY, A.D. 2008, AT 3:15 O'CLOCK P.M.

AND I DO HEREBY FURTHER CERTIFY THAT THE EFFECTIVE DATE OF THE AFORESAID CERTIFICATE OF CONVERSION IS THE FIFTEENTH DAY OF JANUARY, A.D. 2008, AT 3:45 O'CLOCK P.M.

2222565 8100V

080046471

You may verify this certificate online  
at [corp.delaware.gov/authver.shtml](http://corp.delaware.gov/authver.shtml)



*Harriet Smith Windsor*

Harriet Smith Windsor, Secretary of State

AUTHENTICATION: 6316983

DATE: 01-16-08

State of Delaware  
Secretary of State  
Division of Corporations  
Delivered 03:15 PM 01/15/2008  
FILED 03:15 PM 01/15/2008  
SRV 080046471 - 2222565 FILE

**CERTIFICATE OF CONVERSION OF  
AMERICAN CELLULAR CORPORATION TO BECOME  
A LIMITED LIABILITY COMPANY  
PURSUANT TO SECTION 266 OF  
THE DELAWARE GENERAL CORPORATION LAW**

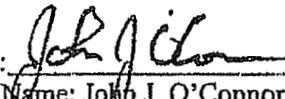
Pursuant to the provisions of Section 266 of the Delaware General Corporation Law and Section 18-214 of the Delaware Limited Liability Company Act, American Cellular Corporation, a Delaware corporation (the "Corporation"), submits the following Certificate of Conversion.

1. The name of the Corporation is American Cellular Corporation.
2. The date on which the Corporation's original Certificate of Incorporation was filed with the Secretary of State is February 21, 1990.
3. The name of the limited liability company into which the Corporation is herein being converted is American Cellular, LLC.
4. The conversion has been approved by written consent of the sole stockholder of the Corporation pursuant to Section 228 of the Delaware General Corporation Law in accordance with the provisions of Section 266 of the Delaware General Corporation Law.
5. The conversion shall be effective at 3:45 p.m. EST on January 15, 2008.

*[Signature on following page]*

IN WITNESS WHEREOF, this Certificate of Conversion of American Cellular Corporation has been executed this 15<sup>th</sup> day of January, 2008.

AMERICAN CELLULAR  
CORPORATION

By:   
Name: John J. O'Connor  
Title: Assistant Secretary

# Delaware

PAGE 2

*The First State*

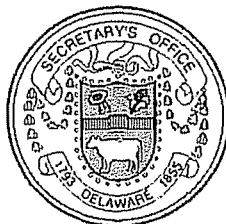
I, HARRIET SMITH WINDSOR, SECRETARY OF STATE OF THE STATE OF DELAWARE DO HEREBY CERTIFY THAT THE ATTACHED IS A TRUE AND CORRECT COPY OF CERTIFICATE OF FORMATION OF "AMERICAN CELLULAR, LLC" FILED IN THIS OFFICE ON THE FIFTEENTH DAY OF JANUARY, A.D. 2008, AT 3:15 O'CLOCK P.M.

AND I DO HEREBY FURTHER CERTIFY THAT THE EFFECTIVE DATE OF THE AFORESAID CERTIFICATE OF FORMATION IS THE FIFTEENTH DAY OF JANUARY, A.D. 2008, AT 3:45 O'CLOCK P.M.

2222565 8100V

080046471

You may verify this certificate online  
at [corp.delaware.gov/authver.shtml](http://corp.delaware.gov/authver.shtml)



*Harriet Smith Windsor*

Harriet Smith Windsor, Secretary of State

AUTHENTICATION: 6316983

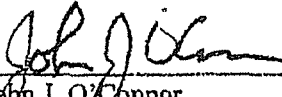
DATE: 01-16-08

State of Delaware  
Secretary of State  
Division of Corporations  
Delivered 03:15 PM 01/15/2008  
FILED 03:15 PM 01/15/2008  
SRV 080046471 - 2222565 FILE

CERTIFICATE OF FORMATION  
OF  
AMERICAN CELLULAR, LLC

1. The name of the limited liability company is American Cellular, LLC.
2. The address of its registered office in the state of Delaware is 2711 Centerville Road, Suite 400, in the City of Wilmington, County of New Castle. The name of its registered agent at such address is Corporation Service Company.
3. This Certificate of Formation shall be effective at 3:45 p.m. EST on January 15, 2008.

IN WITNESS WHEREOF, the undersigned has executed this Certificate of Formation of American Cellular, LLC this 15<sup>th</sup> day of January, 2008.

  
\_\_\_\_\_  
John J. O'Connor  
An Authorized Person

**EXHIBIT C**

**COPY OF FCC LICENSE FOR AMERICAN CELLULAR, LLC**

ULS License

**Cellular License - KNKN939 - American Cellular, LLC**

**PA** This license has pending applications: 0003331947, 0003319338

Call Sign	KNKN939	Radio Service	CL - Cellular
Status	Active	Auth Type	Regular

**Market**

Market	CMA450 - Kentucky 8 - Mason	Channel Block	A
Submarket	0	Phase	2

**Dates**

Grant	10/30/2001	Expiration	10/01/2011
Effective	01/22/2008	Cancellation	

**Five Year Buildout Date**

02/10/1997

**Control Points**

**1** 124 SOUTH KEENELAN DRIVE (Suite 103), MADISON, RICHMOND, KY  
P: (859)544-4804

**Licensee**

FRN	0017334806	Type	Limited Liability Company
-----	------------	------	---------------------------

**Licensee**

American Cellular, LLC	P:(469)229-7422
5601 Legacy Drive, MS: A-3	F:(469)229-7297
Plano, TX 75024	E:Kellye.E.Abernathy@att.com
ATTN Kellye E. Abernathy	

**Contact**

AT&T Mobility LLC	P:(202)457-2055
Michael P Goggin	F:(202)457-3073
1120 Twentieth Street, N.W., Suite 1000	E:mg7268@att.com
Washington, DC 20036	

**Ownership and Qualifications**

Radio Service Type	Mobile
Regulatory Status	Common Carrier Interconnected Yes

**Alien Ownership**

The Applicant answered "No" to each of the Alien Ownership questions.

**Basic Qualifications**

The Applicant answered "No" to each of the Basic Qualification questions.

**Demographics**

Race	
Ethnicity	Gender



**EXHIBIT D**

**TOWER AND FOUNDATION DESIGN**



**N E L L O**  
CORPORATION

211 W. Washington St.  
Suite 2000  
South Bend, IN 46601

(574) 288-3632  
Fax: (574) 288-5860  
[www.nelloinc.com](http://www.nelloinc.com)

April 1, 2008

Mr. Matthew Wallack  
Boulevard Properties  
7383 Utica Blvd.  
Lowville, NY 13367  
[mwallack@bldvlc.com](mailto:mwallack@bldvlc.com)

Re: Nello Tower and Foundation Designs for Kentucky

Dear Mr. Wallack:

This is in response to your inquiry about the design of your towers and foundations being located in Kentucky.

- The tower and foundation designs are reviewed and sealed by a Professional Engineer actively licensed in the State of Kentucky. More specifically, they will be sealed by me (KY PE #21958).
- We use a soil report to design the foundation. The soil report is then referenced in the foundation notes on the tower and foundation drawing.
- The full tower loading and reactions are used for the foundation design. The foundation design reactions are listed on the tower and foundation drawing.

This design criteria will be applied to all of the following sites:

- Joe Lick Knob- Berea, KY
- Bethel- Sharpsburg, KY
- Sharpsburg- Sharpsburg, KY
- Fernleaf- Dover, KY
- Ferndale- Maysville, KY
- Weedonia- Maysville, KY

If you have any other questions or concerns regarding these projects, please contact me by phone at 574-288-3632 ext. 1225 or by e-mail at [dianello@nelloinc.com](mailto:dianello@nelloinc.com).

Sincerely,

Dan Ianello, P.E.  
President



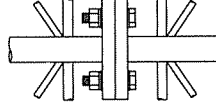
APR 01 2008

Guyed Tower Section Data

Section Number	Bottom Elevation (ft)	Top Elevation (ft)	Model	Face Width (in)	Leg Type	Leg Size (in)	Diagonal Type	Diagonal Size (in)	Section Part Number	Section Weight (lb)	Leg Bolt Qty.	Leg Bolt Diameter (in)	Leg Bolt Length (in)
13	230	250	NGX	33	Solid Round	1 1/2	Solid Round	5/8	110806	740	6	3/4	3 1/4
12	210	230	NGX	33	Solid Round	1 1/2	Solid Round	5/8	105969	720	6	3/4	3 1/4
11	190	210	NGX	33	Solid Round	1 1/2	Solid Round	5/8	105969	720	6	3/4	3 1/4
10	170	190	NGX	33	Solid Round	1 1/2	Solid Round	1/2	107946	650	6	3/4	3 1/4
9	150	170	NGX	33	Solid Round	1 1/2	Solid Round	1/2	105968	640	6	3/4	3 1/4
8	130	150	NGX	33	Solid Round	1 1/2	Solid Round	1/2	105968	640	6	3/4	3 1/4
7	110	130	NGX	33	Solid Round	1 1/2	Solid Round	1/2	107946	650	6	3/4	3 1/4
6	90	110	NGX	33	Solid Round	1 1/2	Solid Round	1/2	105968	640	6	3/4	3 1/4
5	70	90	NGX	33	Solid Round	1 1/2	Solid Round	1/2	105968	640	6	3/4	3 1/4
4	50	70	NGX	33	Solid Round	1 1/2	Solid Round	1/2	107946	650	6	3/4	3 1/4
3	30	50	NGX	33	Solid Round	1 1/2	Solid Round	1/2	105968	640	6	3/4	3 1/4
2	20	30	NGX	33	Solid Round	1 1/2	Solid Round	1/2	110808	300	6	3/4	3 1/4
1	0	20	NGX	33	Solid Round	1 1/2	Solid Round	5/8	109830	810	0	0	0

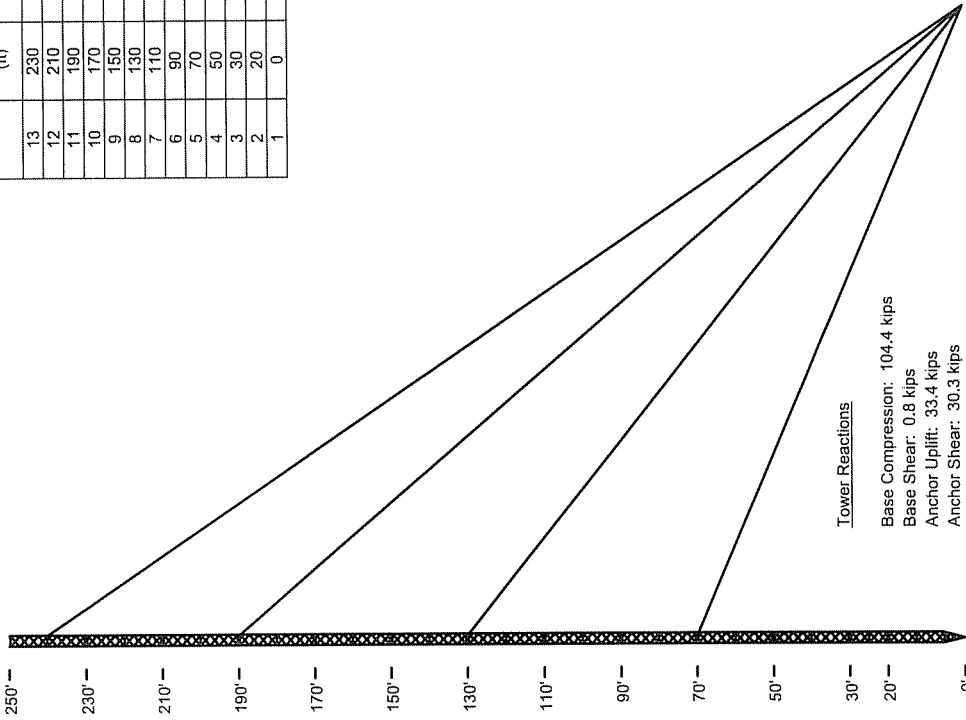
# TYPICAL DESIGN

NOT SITE SPECIFIC



One lockwasher and one plain nut per bolt. See Guyed Tower Section Data table for number of bolts per section.

### NGX Leg Connection Detail



**Tower Reactions**  
 Base Compression: 104.4 kips  
 Base Shear: 0.8 kips  
 Anchor Uplift: 33.4 kips  
 Anchor Shear: 30.3 kips

<b>NELLO CORPORATION</b> 1301 Stehly Drive Nappanee, IN 46550 Bus: (574)773-4827 Fax: (574)773-5840	TITLE: Boulevard Properties NGX 33 x 250'
	ORG. DATE: 6/12/2007 DWG. PROG: v2.04 DWG. NO.: 112906 SHEET: 1 OF 10

DRAWN BY: RCH CHECKED: AJK ENG. APP: DDA	COPYRIGHT NOTICE: This drawing is the property of Nello Corporation and shall not be copied or traced in whole or in part without our written consent.
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REV	BY	DATE	DESCRIPTION

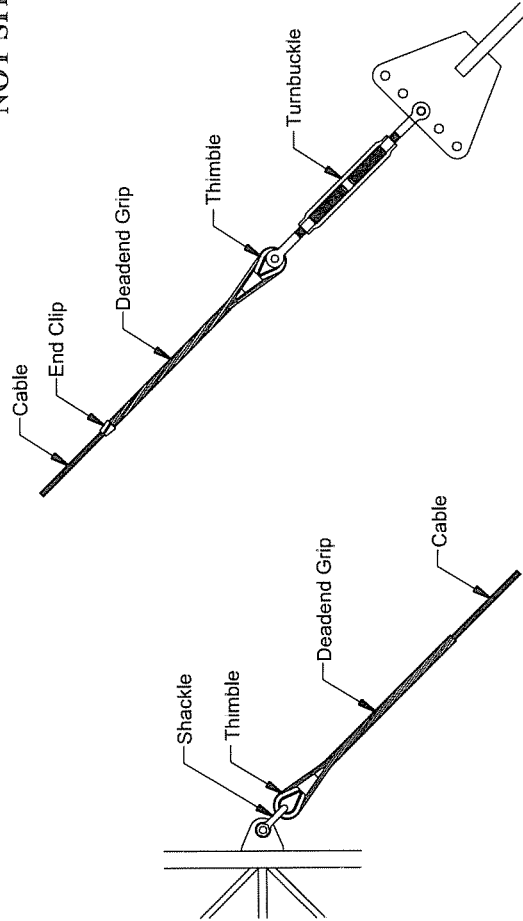
**Guy Cable and Hardware Data**

Elevation (ft)	Cable Size (in)	Cable Type	Lug PN	Lug Hole Diameter (in)	Turnbuckle Size (in)	Shackle Size (in)	Thimble Size (in)	Deadend Grip (in)	End Sleeve (in)	Cut Length, Anchor A (ft)	Cut Length, Anchor B (ft)	Cut Length, Anchor C (ft)	Cut Length, Total (ft)
240	1 1/16	EHS	104865	1 1/16	1	7/8	3/4	1 1/16	1 1/16	324	326	338	988
190	7/16	EHS	104865	1 1/16	7/8	5/8	1/2	7/16	7/16	282	284	294	860
130	3/8	EHS	104865	1 1/16	7/8	5/8	7/16	3/8	3/8	238	239	248	725
70	5/16	EHS	104865	1 1/16	7/8	5/8	7/16	5/16	5/16	205	206	212	623

There are 3 guy cables per level. The cut length is the theoretical chord length plus 8%.

# TYPICAL DESIGN

## NOT SITE SPECIFIC



Guy Hardware Detail:  
Tower Termination

Guy Hardware Detail:  
Anchor Termination

REV	BY	DATE	DESCRIPTION

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DRAWN BY: RCH  
CHECKED: AJK  
ENG. APP: DDA

TITLE: Boulevard Properties NGX 33 x 250'	DWG. NO.: 112906
1301 Stehly Drive Naperville, IN 46550 Bus: (574)773-4827 Fax: (574)773-5840	SHEET: 2 OF 10
ORIG. DATE: 6/1/2007	DWG. PROG: v2.04



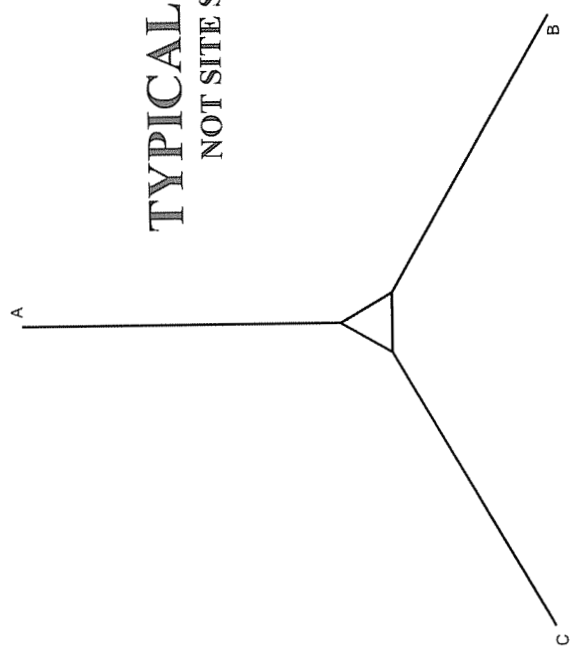
**Maximum Guy Anchor Reactions**


Guy Radius (ft)	Anchor Location	Elevation Change (ft)	Uplift (kips)	Shear (kips)
175	A	-4	31.0	30.3
175	B	-6	31.4	30.3
175	C	-19	33.4	30.3

**Guy Cable Initial Tension at Various Temperatures (lb)**

Guy Elevation (ft)	Anchor Location	0 deg F	20 deg F	40 deg F	60 deg F	80 deg F	100 deg F	120 deg F
240	A	7380	6570	5770	5000	4260	3580	2990
240	B	7380	6570	5770	5000	4260	3580	2990
240	C	7380	6570	5770	5000	4260	3580	2990
190	A	2830	2500	2180	1870	1580	1320	1100
190	B	2830	2500	2180	1870	1580	1320	1100
190	C	2830	2500	2180	1870	1580	1320	1100
130	A	2220	1990	1760	1540	1330	1130	940
130	B	2220	1990	1760	1540	1330	1130	940
130	C	2220	1990	1760	1540	1330	1130	940
70	A	1630	1450	1290	1120	960	810	680
70	B	1630	1450	1290	1120	960	810	680
70	C	1630	1450	1290	1120	960	810	680

**TYPICAL DESIGN  
NOT SITE SPECIFIC**



 <b>NELLO CORPORATION</b> 1301 Stehly Drive Naparuae, IN 46550 Bus: (574)773-4827 Fax: (574)773-5840		TITLE: Boulevard Properties NGX 33 x 250'		DWG NO.: 112906 SHEET: 3 OF 10	
ORG. DATE: 6/12/2007 DWG. PROG: v2.04		DRAWN BY: RCH CHECKED: AJK ENG. APP: DDA		COPYRIGHT NOTICE: This drawing is the property of Nelco Inc. It is not to be reproduced, copied or traced in whole or in part without our written consent.	
REV	BY	DATE	DESCRIPTION		

**Antenna Loading**

Height	Qty.	Description
250'	1	Beacon (12" x 36")
250'	1	4' Lightning Rod
250'	12	8' x 1' x 4" Panel Antenna on 96" Pipe
250'	3	12' KD Sector Frames, No Pipes
240'	12	4' x 1' x 3" Panel Antenna on 48" Pipe
240'	3	12' KD Sector Frames, No Pipes
230'	12	8' x 1' x 4" Panel Antenna on 96" Pipe
230'	3	12' KD Sector Frames, No Pipes
220'	12	4' x 1' x 3" Panel Antenna on 48" Pipe
220'	3	12' KD Sector Frames, No Pipes


**Feedline Loading**

Height	Qty.	Description
0' - 250'	1	1" Conduit
0' - 250'	12	LDf7-50A (1-5/8 FOAM)
0' - 240'	12	LDf7-50A (1-5/8 FOAM)
220' - 230'	12	LDf7-50A (1-5/8 FOAM)
0' - 220'	24	LDf7-50A (1-5/8 FOAM)
0' - 125'	2	LDf5-50A (7/8 FOAM)

**Dish Loading**

Height	Qty.	Description
125'	2	3' Solid Dish

**TYPICAL DESIGN**  
NOT SITE SPECIFIC

 <p><b>NELLO CORPORATION</b> 1301 Stahly Drive Nappanee, IN 46550 Bus: (574)773-4827 Fax: (574)773-5840</p>	<p>TITLE: Boulevard Properties NGX 33 x 250'</p>
<p>DRAWN BY: RCH CHECKED: AJK ENG. APP: DDA</p>	<p>ORIG. DATE: 6/1/2007 DWG. PROG: v2.04</p>
<p>DWG NO: 112906 SHEET: 4 OF 10</p>	


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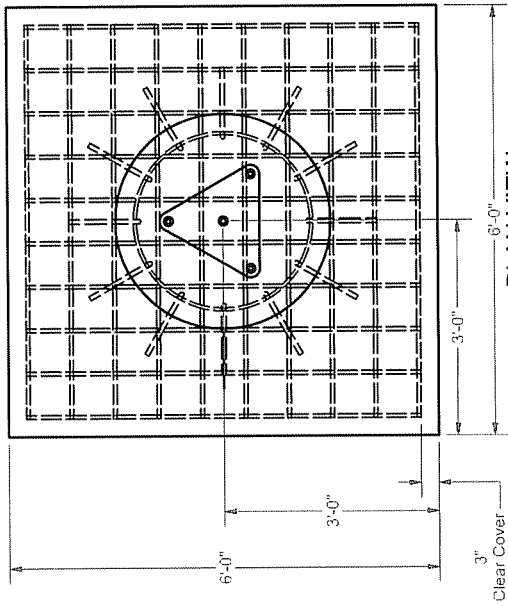
REV	BY	DATE	DESCRIPTION

**Tower Notes:** "Structural Standards for Steel Antenna Towers and Antenna Supporting Structures," for the following loading conditions:

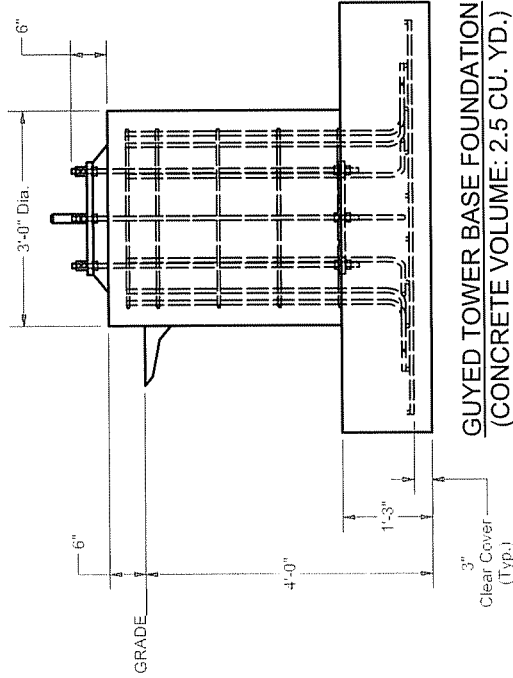
1. Tower is designed per TIA/EIA-222-F, "Structural Standards for Steel Antenna Towers and Antenna Supporting Structures," for the following loading conditions:
  - 70 mph fastest-mile basic wind speed with no ice
  - 70 mph fastest-mile basic wind speed with 1/2 inch radial ice with a 25% reduction in wind loading
  - 70 mph fastest-mile basic wind speed with 1/2 inch radial ice with a 25% reduction in wind loading
2. Tower design loading is assumed to be based on site-specific data and must be verified by others prior to installation.
3. Tower design includes the antennas, dishes, and/or lines listed in the appurtenance loading tables on sheet 4.
4. Antenna mounting pipes may need to be field cut to match the lengths listed in the appurtenance loading tables on sheet 4.
5. Tower member design does not include stresses due to erection since erection equipment and procedures are unknown. Tower installation shall be performed by competent and qualified erectors in accordance with TIA/EIA-222-F and OSHA standards and all applicable building codes.
6. Field connections shall be bolted. No field welds shall be allowed unless otherwise noted.
7. Structural bolts shall conform to ASTM A325, except for 1/2 inch diameter and smaller bolts, which shall conform to ASTM A449 or SAE J429 Grade 5.
8. Structural steel and connection bolts shall be galvanized after fabrication in accordance with TIA/EIA-222-F.
9. All high strength bolts shall be tightened to a "snug tight" condition as defined in the November 13, 1985, AISC "Specification for Structural Joints Using ASTM A325 or A490 Bolts."
10. Tower shall be marked and lighted in conformance with local building codes, FAA regulations, and TIA/EIA-222-F.
11. Tower shall be grounded in conformance with local building codes and TIA/EIA-222-F.
12. Allowable tolerance on as-built tower steel height is plus 1% or minus 1/2%.
13. Maintenance and inspection shall be performed over the life of the structure in accordance with TIA/EIA-222-F.
14. Material specifications:
  - NGX Solid Rod Legs - ASTM A572 Grade 50
  - NGX Solid Rod Bracing - ASTM A36
  - NGX Footpads - ASTM A572 Grade 50
15. Guy cable segments should be cut 8% longer than theoretical chord lengths.
16. Guy anchor location and elevations are based on the site plan provided by McKinney Land Surveying, Inc., dated 04/17/2007.
17. Fill any gap between base plate and top of concrete with non-shrink grout before erecting tower.
18. Concrete contractor shall be responsible for properly aligning anchor bolts and materials before and after placing concrete, regardless of whether an anchor bolt template is provided.
19. Transmission lines shall be stacked so that each carrier has no more than 6 lines exposed to the wind. The first three carriers shall be installed on alternate faces so that the lines are equally distributed around the tower.
20. Transmission lines shall be stacked so that each tower face has no more than 6 lines exposed to the wind.

## TYPICAL DESIGN NOT SITE SPECIFIC

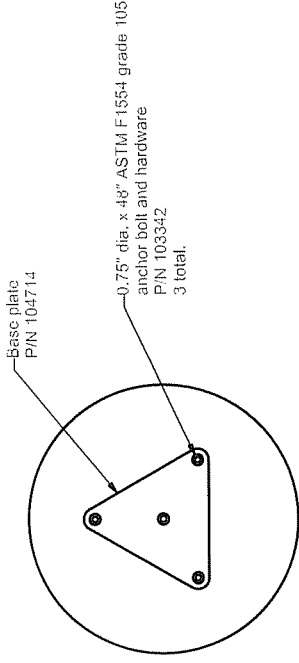
 <b>NELLO CORPORATION</b> 1301 Slatky Drive Nappanee, IN 46550 Bus: (574)773-4827 Fax: (574)773-5840		DWG NO. 112906 SHEET 5 OF 10	
TITLE: Boulevard Properties NGX 33 x 250'		ORIG. DATE: 6/1/2007 DWG. PROG. V2.04	
DRAWN BY: RCH CHECKED: AJK ENG. APP. DDA		COPY/RIGHT NOTICE: This drawing is the property of Nello Inc. It is not to be reproduced, copied or traced in whole or in part without our written consent.	
REV	BY	DATE	DESCRIPTION



PLAN VIEW



GUYED TOWER BASE FOUNDATION  
(CONCRETE VOLUME: 2.5 CU. YD.)



Pack with non-shrink cement type grout with a minimum compressive strength of 5000 psi. Grout must achieve minimum strength prior to erecting tower.

Embedment plate P/N 105016

#5 reinforcing bars, 66.00" long each, equally spaced, 10 per direction, 20 total.

#6 reinforcing bars, 56.37" long bent with 2.250" bend radius and 9.00" long 90 degree standard hook, equally spaced around inside of ties, 12 total.

#4 reinforcing Ties, 114.68" long bent into 30.00" outer diameter circle with 22.00" overlap, top 2 spaced at 5", with the remainder spaced equally to top of pad, 5 total.

	TITLE:	Boulevard Properties NGX 33 x 250'
	1301 Stahly Drive Nappanee, IN 46550 Bus: (574)773-4827 Fax: (574)773-5840	DWG NO.:
	ORIG. DATE:	6/1/2007
	DWG. PROG.	Y2.04
	SHEET:	6 OF 10

ANCHOR STEEL DETAIL

# TYPICAL DESIGN

## NOT SITE SPECIFIC

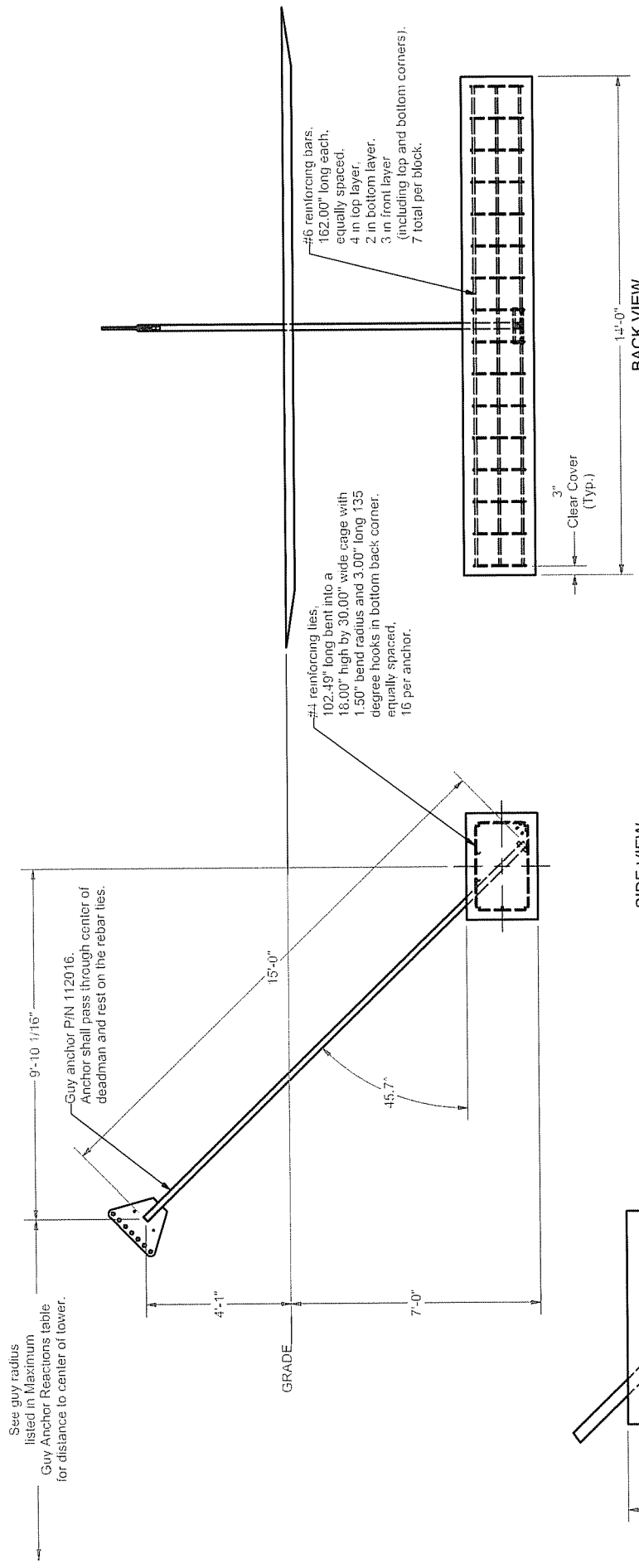
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DESCRIPTION

REV BY DATE





GUYED TOWER DEADMAN ANCHOR A (EAST)  
 (CONCRETE VOLUME:  
 3.1 CU. YD. PER ANCHOR)

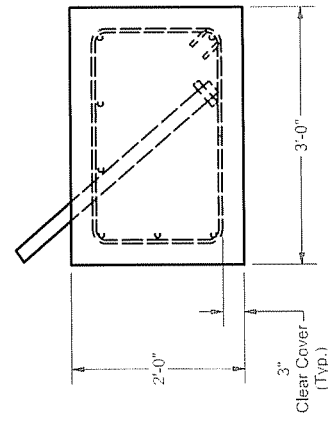
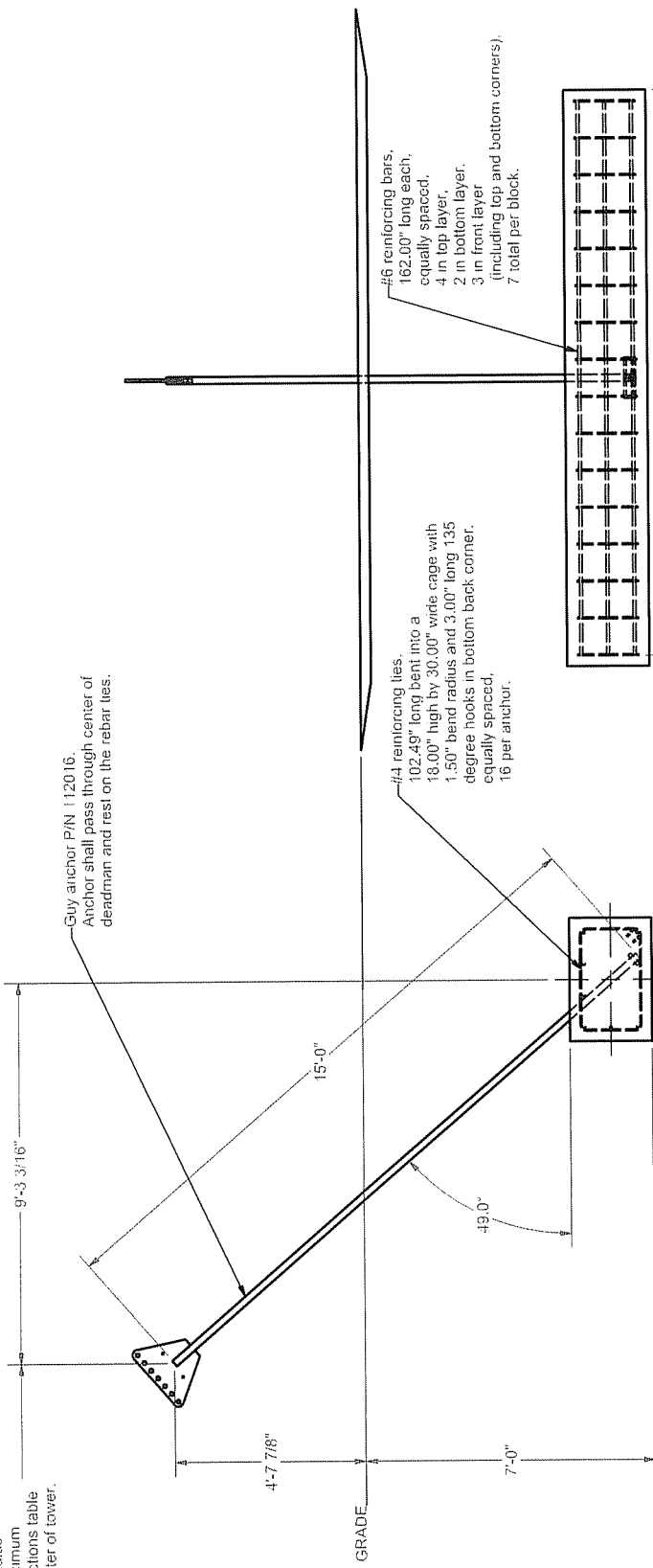
**TYPICAL DESIGN**  
**NOT SITE SPECIFIC**

**NELLO CORPORATION**  
 1301 Stehly Drive  
 Naparree, IN 46550  
 Bus: (874)773-4827  
 Fax: (874)773-5840

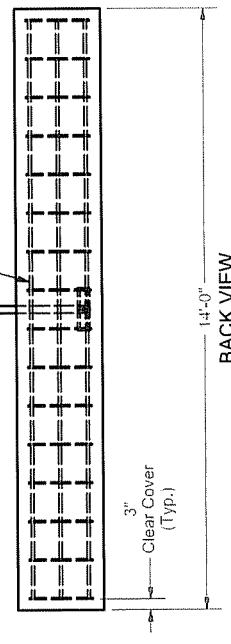
TITLE: Boulevard Properties NGX 33 x 250'	DRAWN BY: RCH	ORIG. DATE: 6/1/2007	DWG. NO.: 112906
	CHECKED: AJK	DWG. PROG. v2.04	SHEET: 7 OF 10
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REV	BY	DATE	DESCRIPTION

See guy radius listed in Maximum Guy Anchor Reactions table for distance to center of tower.



SIDE VIEW



BACK VIEW

GUYED TOWER DEADMAN ANCHOR B (SOUTHWEST)  
 (CONCRETE VOLUME:  
 3.1 CU. YD. PER ANCHOR)

# TYPICAL DESIGN

## NOT SITE SPECIFIC

**NELLO CORPORATION**  
 1301 Slatky Drive  
 Napanee, IN 46550  
 Bus: (574)773-4827  
 Fax: (574)773-5840

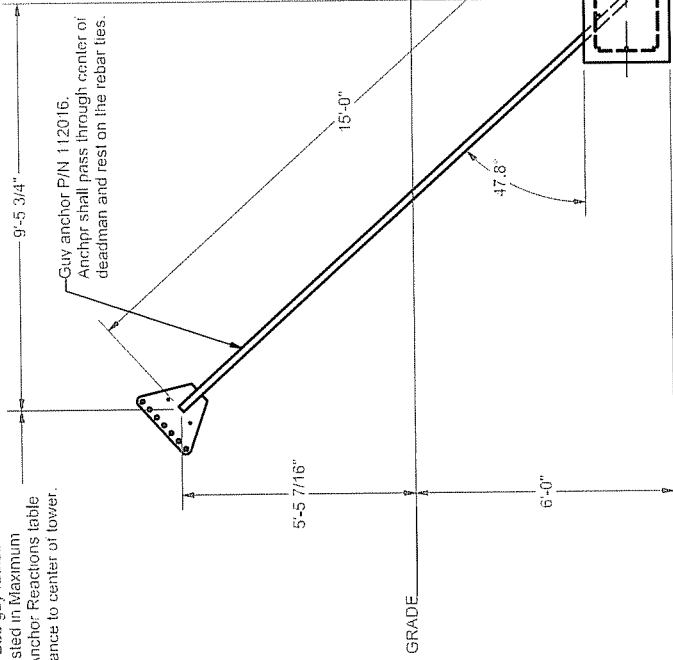
TITLE:  
 Boulevard Properties  
 NGX 33 x 250'

DRAWN BY: RCH	ORIG. DATE: 6/1/2007	DWG. NO: 112906
CHECKED: AJK	DWG. PROG: v2.04	SHEET: 8 OF 10
ENG. APP: DDA		

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REV	BY	DATE	DESCRIPTION

See guy radius listed in Maximum Guy Anchor Reactions table for distance to center of tower.



#6 reinforcing bars, 222.00" long each, equally spaced, 4 in top layer, 2 in bottom layer, 3 in front layer (including top and bottom corners), 7 total per block.

#4 reinforcing ties, 102.49" long bent into a 18.00" high by 30.00" wide cage with 1.50" bend radius and 3.00" long 135 degree hooks in bottom back corner, equally spaced, 20 per anchor.

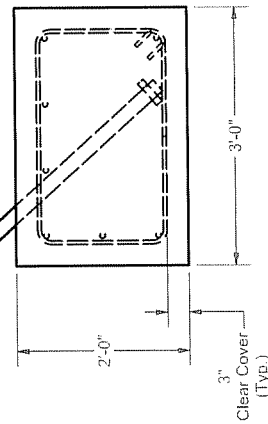
3" Clear Cover (Typ)

19'-0" BACK VIEW

SIDE VIEW

# TYPICAL DESIGN NOT SITE SPECIFIC

**GUYED TOWER DEADMAN ANCHOR C (NORTHWEST)**  
CONCRETE VOLUME:  
4.2 CU. YD. PER ANCHOR



**N**  
**NELLO CORPORATION**  
1301 Stehly Drive  
Naperville, IN 46550  
Bus: (874)773-4827  
Fax: (874)773-5840

TITLE:  
Boulevard Properties  
NGX 33 x 250'

ORIG. DATE: 6/1/2007  
DWG. NO.: 112906  
DWG. PROG. V2.04  
SHEET: 9 OF 10

DRAWN BY: RCH  
CHECKED: AJK  
ENG. APP: DDA

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REV	BY	DATE	DESCRIPTION

**Foundation Notes**

1. This foundation has been designed for the following tower reactions.  
 Base Down Load: 104.4 kips  
 Base Shear Load: 1.0 kips  
 Anchor A Uplift: 31.0 kips  
 Anchor A Shear: 30.3 kips  
 Anchor B Uplift: 31.4 kips  
 Anchor B Shear: 30.3 kips  
 Anchor C Uplift: 33.4 kips  
 Anchor C Shear: 30.3 kips
2. Foundation design based on soil report dated 04/16/2007 by Alt & Wilzig Engineering, Inc., of West Chester, Ohio, project number 07CN0054.
3. A field inspection shall be performed in order to verify that the actual site soil parameters meet or exceed the assumed soil parameters and that the depth of standard foundations are adequate based on the frost penetration and groundwater depth. Local frost depth must be no deeper than the bottom of the base foundation.
4. Reinforcement shall be deformed and conform to the requirements of ASTM A615 Grade 60 unless otherwise noted. Splices in reinforcement shall not be allowed unless otherwise indicated.
5. Welding is prohibited on reinforcing steel and anchorage.
6. Structural backfill must be compacted in 12" loose lifts to a 97% of maximum dry density at optimum moisture content in accordance with ASTM D698. Backfill must be clean and free of organic and frozen soils and foreign materials. Fill should be compacted at water content within 2 percent of optimum.
7. Foundation designs assume level ground at tower site.
8. Loose material shall be removed from bottom of excavation prior to concrete placement.
9. Concrete cover from exposed surface of concrete to surface of reinforcement shall not be less than 3".
10. Concrete and reinforcement installation must conform to ACI 318, "Building Code Requirements for Structural Concrete."
11. Concrete shall develop a minimum compressive strength of 3000 psi in 28 days.
12. Concrete shall be placed as soon as practical after excavating to avoid disturbance of bearing and side wall surfaces.
13. Concrete contractor shall be responsible for properly aligning anchor bolts and materials before and after placing concrete, regardless of whether an anchor bolt template is provided.
14. Positive drainage shall be maintained during construction and throughout the life of the facility to minimize the potential for surface water infiltration.
15. Due to shallow bedrock difficult excavating should be expected and heavy excavating equipment may be required.
16. Water may be encountered at the soil/rock interface. Water shall be removed by sump pump or other methods prior to placing concrete.
17. Base foundation shall bear on shale or sandstone.
18. Anchors A (east) B (southwest) shall be placed entirely with the sandstone layer. Anchor C (northwest) shall be placed entirely within the shale layer.
19. Anchors may be buried deeper to reduce the length of anchor rod protruding from the ground.

# TYPICAL DESIGN NOT SITE SPECIFIC

<b>TITLE:</b> Boulevard Properties NGX 33 x 250'	<b>NELLO CORPORATION</b> 1301 Siahly Drive Nappanee, IN 46550 Bus: (574)773-4827 Fax: (574)773-5840
<b>DRAWN BY:</b> RCH <b>CHECKED:</b> AJK <b>ENG. APP:</b> DDA	<b>DWG NO.:</b> 112906 <b>SHEET:</b> 10 OF 10
<b>ORIG. DATE:</b> 6/1/2007 <b>DWG. PROG.:</b> V2.04	<b>REV</b>   <b>BY</b>   <b>DATE</b>   <b>DESCRIPTION</b>

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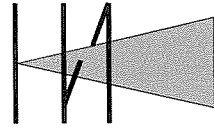
REV	BY	DATE	DESCRIPTION

**EXHIBIT E**

**SITE DEVELOPMENT PLAN**

*VICINITY MAP*  
*PROPERTY OWNER LISTING*  
*500' VICINITY MAP*  
*LEGAL DESCRIPTIONS*  
*SITE PLAN*  
*VERTICAL TOWER PROFILE*

# PROPOSED WIRELESS COMMUNICATIONS FACILITY



## BETHEL SHARED TOWERS, LLC

1390 CHAIN BRIDGE ROAD #40, MCLEAN, VA 22101

UTILITY INFORMATION:

TELEPHONE SERVICE:  
WINDSTREAM  
1-800-843-9214

ELECTRIC SERVICE:  
KENTUCKY UTILITIES  
1-800-383-5582

HANDICAPPED REQUIREMENTS

FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. HANDICAPPED ACCESS NOT REQUIRED

PLUMBING REQUIREMENTS

FACILITY HAS NO PLUMBING

EXISTING PROJECT SITE SUMMARY	
COUNTY:	BATH
SITE COORDINATES:	N 38° 16' 0.70" LAT. W 83° 50' 35.54" LONG.
ELEVATION:	916' AMSL
SITE ADDRESS:	212 CHANDLER ROAD SHARPSBURG, KY 40374
PROPERTY OWNER:	SHIRLEY GRIMES 37 SHILOH ROAD SHARPSBURG, KY 40374
CONTACT NAME:	TOM ROE 7383 UTICA BOULEVARD LOWVILLE, NY 13367
CONTACT TEL. NO.:	518-253-0000
SITE NAME:	BETHEL

SHARED TOWERS, LLC

DATE

REPRESENTATIVE SIGNATURE

OWNER APPROVAL

DATE

REPRESENTATIVE SIGNATURE

DATE	DESCRIPTION	DRAWING INDEX
	TITLE SHEET	
	C1 SURVEYED SITE PLAN	
	C2 OVERALL SITE PLAN AND GENERAL NOTES	
	C3 DETAILED SITE PLAN	
	C4 SECTIONS	
	C5 TOWER ELEVATION, ANTENNA PLAN & ANTENNA SCHEDULE	
	F1 GENERAL FENCING DETAILS AND GENERAL NOTES	
	S1 ICE BRIDGE AND FOUNDATION DETAILS & STRUCTURAL NOTES	
	S2 STRUCTURAL FOUNDATION AND SLAB DETAILS	
	E1 SINGLE LINE DIAGRAM AND ELECTRICAL NOTES	
	E2 GROUNDING SITE PLAN AND GROUNDING RISER DIAGRAM	
	E3 ELECTRICAL DETAILS	

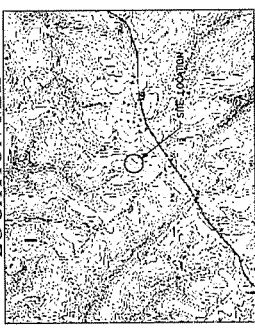
AMERICAN CELLULAR CORPORATION  
CONTACT: RICHARD FENNINGTON  
125 Lakeview Drive, Morgantown, WV 26608  
TEL: (304) 225-2246 FAX: (304) 225-2248  
E-Mail Address: potesta@potesta.com

ANTENNA / TOWER

ENGINEERS / ARCHITECTS

**POTESTA**  
Potesta & Associates, Inc.  
ENGINEERS AND ENVIRONMENTAL CONSULTANTS  
125 Lakeview Drive, Morgantown, WV 26608  
TEL: (304) 225-2246 FAX: (304) 225-2248  
E-Mail Address: potesta@potesta.com

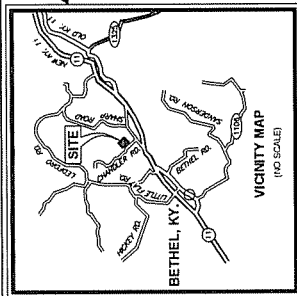
LOCATION MAP



**DIRECTIONS :**  
FROM I-64 E/ I-75 S VIA THE RAMP ON THE LEFT TOWARD KNOXVILLE/ ASHLAND. (2.3 MILES) KEEP LEFT TO TAKE E VIA I-64/ I-75. (0.7 MILES) TAKE RIGHT OFF I-64/ I-75. TAKE THE US-460, KY-11 EXIT, EXIT 110, TOWARD FLEMINGSBURG/ MT. STERLING. (0.2 MILES) TAKE THE RAMP TOWARD FLEMINGSBURG. TURN LEFT ONTO MAYSVILLE RD/ US-460/ KY-11. CONTINUE TO FOLLOW KY-11 (16.4 MILES). TURN LEFT ONTO CHANDLER RD. (1.1 MILES).

PROJECT: **BETHEL**  
SHARPSBURG, KY 40374

DATE: 04/27/09



REV.	DATE	DESCRIPTION

BETHEL  
 212 CHANDLER ROAD  
 SHARPSBURG, KY 40374  
 SURVEYED SITE PLAN

CHECKED BY	DATE
APPROVED BY	DATE
JOB NO.	06-09-02-57

C1

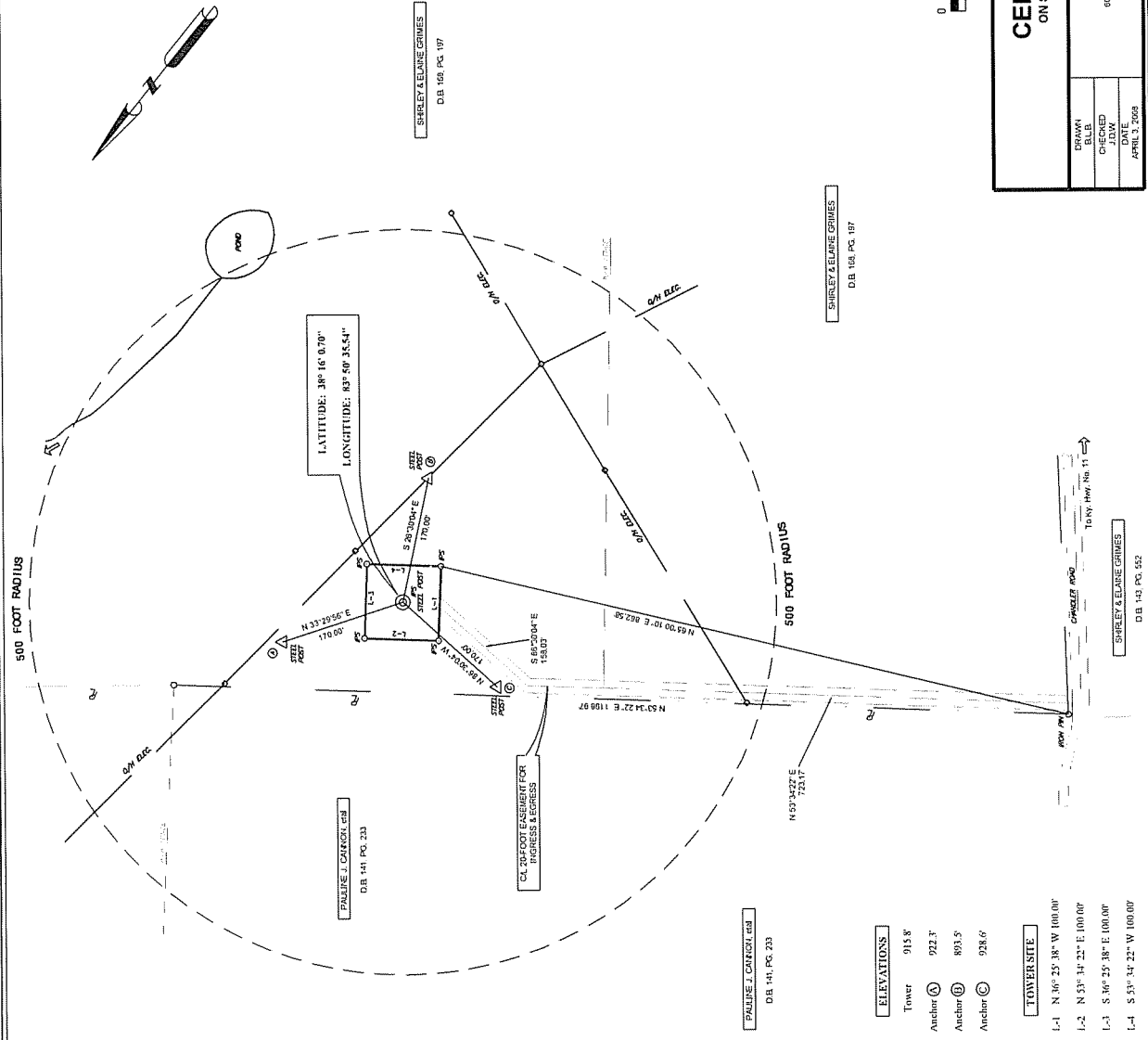
- GENERAL NOTES**
- The property shown herein is not located within any city or county zoning area.
  - Subject property does not lie within a flood zone and/or flood hazard area (No FEMA flood designation has been assigned to same.)
  - Elevations are based on North American Datum of 1983 (NAD 83) datum.
  - Control or reference bearing N 53° 34' 22" E from survey of Param Trail by Roy A. Wright, L.P.S. 2688 on 2-18-91.
  - Electric Service: Fleming-Mason Line, Flemingsburg, KY, Tel: (606) 845-2661 (No pole numbers on poles).
  - Tower property corners and anchor locations are set from point of I.D. caps witnessed w/ steel pins.



**RECORD PLAT**  
**CELL TOWER "BETHEL"**  
 ON SHIRLEY & ELAINE GRIMES PROPERTY  
 BETHEL, KENTUCKY

DESIGNER	SCALE
CHECKED	1" = 100'
DATE	DATE NO.
APRIL 1, 2009	2009-04-01

900 BROADWAY DRIVE, MT. PLEASANT, MISSISSIPPI 38853  
 PHONE: (662) 453-1529 FAX: (662) 453-1529  
 E-MAIL: j.davis@potesta.com



**ELEVATIONS**

Tower	913.8'
Anchor A	922.3'
Anchor B	933.5'
Anchor C	928.6'

**TOWER SITE**

L-1	N 66° 25' 38" W 100.00'
L-2	N 53° 34' 22" E 100.00'
L-3	S 56° 25' 38" E 100.00'
L-4	S 53° 34' 22" W 100.00'

PAULINE J. CARROLL, CEB  
 D.B. 141, PG. 233

PAULINE J. CARROLL, CEB  
 D.B. 141, PG. 233

SHIRLEY & ELAINE GRIMES  
 D.B. 108, PG. 187

SHIRLEY & ELAINE GRIMES  
 D.B. 143, PG. 552

DATE	06/28/08
CREATED	04/24/08
ISSUED	04/24/08
APPROVED	04/24/08
DATE	04/24/08

JOB NO. 06-0302-57

**C2**

REV.	DATE	DESCRIPTION

**GENERAL NOTES**

CONTRACTOR SHALL NOTIFY THE FOLLOWING AT LEAST TWO (2) WORKING DAYS PRIOR TO ANY CONSTRUCTION OPERATIONS ON THE SITE AND ANY OTHER UTILITY COMPANY THAT IS A NON-MEMBER OF THESE SERVICES:

KENTUCKY UNDERGROUND PROTECTION, INC. 1-800-732-6007  
AMERICAN CELLULAR  
DART CENTER, 859-544-5805, F. 859-544-5808, M. 859-544-5000;  
MR. RICHIE FENWICKSON, 859-544-3820  
EMAIL: richie.fenwickson@american.net

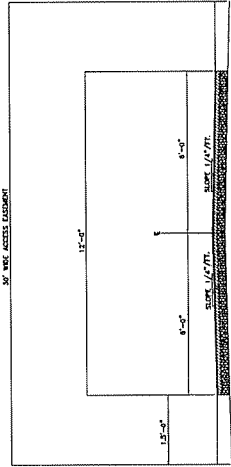
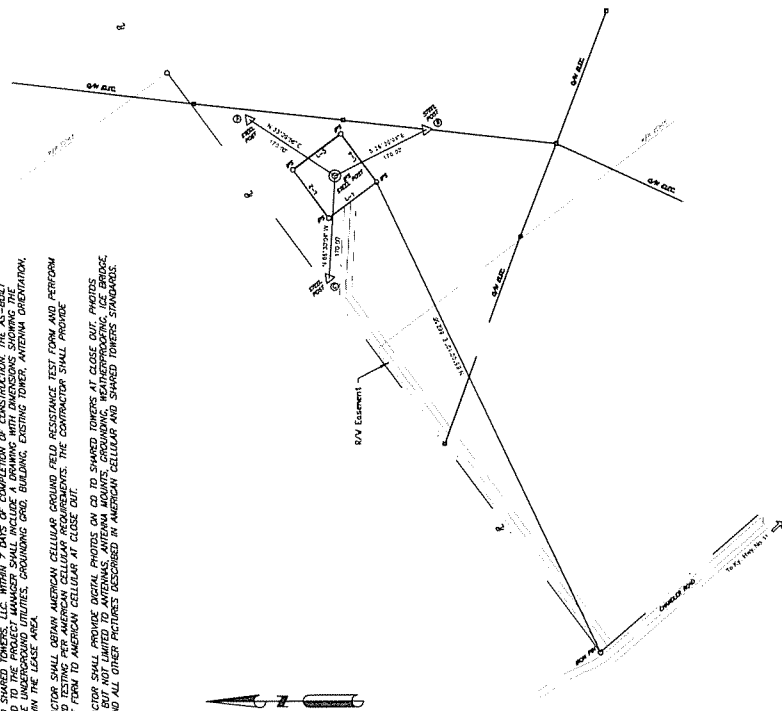
SHARED SITES  
TOW ROAD, P. 315-376-3333; F. 315-376-8139; M. 316-251-2500  
EMAL: tom@hmc.com

1. THE CONTRACTOR SHALL VERIFY ALL EXISTING SITE CONDITIONS, INCLUDING SURVEYING CORNERSTAKES. THE CONTRACTOR IS HEREBY MADE AWARE THAT NO GEOTECHNICAL REPORT HAS BEEN PRODUCED OR USED IN PREPARATION OF THESE DOCUMENTS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH THE DESIGNER TO OBTAIN ALL NECESSARY INFORMATION REGARDING THE SUBSTRATE CONDITIONS AND UNDERGROUND UTILITIES, INCLUDING GRANULAR FILL OR RUBBLE, FILL AREAS, AND THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES. THE CONTRACTOR SHALL OBTAIN PERMISSION FROM ANY OTHER PARTY THAT MAY BE AFFECTED BY THE WORK PRIOR TO THE START OF WORK. THE CONTRACTOR SHALL OBTAIN PERMISSION FROM ANY OTHER PARTY THAT MAY BE AFFECTED BY THE WORK PRIOR TO THE START OF WORK.
2. ALL WORK SHALL BE BASED ON THE MEASUREMENTS AND NOT BASED ON A VISUAL SURVEY.
3. CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO PURCHASE OF MATERIAL AND PRIOR TO ESTIMATING JOB COSTS. IF CONFLICTS ARE OBSERVED NOTIFY ENGINEER IMMEDIATELY.
4. CONTRACTOR SHALL PROVIDE CERTIFIED COPIES OF ALL LABORATORY TESTS TO SHARED OWNERS AT THE COMPLETION OF THE TESTS, SPECIFICALLY CONCRETE COMPRESSIVE STRENGTH AND GEOTECHNICAL RESULTS.
5. EXISTING UTILITIES ARE SHOWN FROM EXISTING PLANS AND ARE NOT NECESSARILY COMPLETE OR ACCURATE. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO ANY WORK. EXISTING UTILITIES DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED OR REPLACED, AS NEEDED, IN LIKE KIND AND CHARACTER, AND AT THE EXISTING GRADE PRIOR TO CONSTRUCTION.
6. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UNDERGROUND UTILITY LINES AND BOUNDARIES PRIOR TO ANY EXCAVATION, AND CONTRACTOR SHALL MAINTAIN DIG IN THE VICINITY OF ALL EXISTING UTILITY LINES.
7. CONTRACTOR SHALL CONCRETE ENCASE ANY EXISTING CONDUITS PASSING UNDER NEW SHEDS. (5" MIN. COVER ALL SIZES, 4000 PSI CONC.)
8. CONTRACTOR SHALL MAINTAIN THE DISTANCE OF 12" BETWEEN EXISTING/NEW TELCO & ELECTRIC CONDUITS UNLESS NOTED OTHERWISE.
9. ALL WORK SHALL BE CONFINED TO THE LEASE AND/OR ACCESS AREAS (EXCEPT GRADING) UNLESS OTHERWISE NOTED OTHERWISE. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES. ALL WORK SHALL BE KEPT IN WRITING PRIOR TO STARTING CONSTRUCTION. AGREEMENTS TO WORK IN THESE AREAS IS BY OTHERS NOT POTESTA & INC. ASSOCIATES.
10. CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFICATION OF ALL GOVERNING AGENCIES THAT REQUIRE SITE INSPECTION OF THE WORK AND/OR SHUTTY NOTIFICATION.
11. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING PROPERTY RESULTING FROM THE CONSTRUCTION OPERATIONS.
12. CONTRACTOR SHALL MAINTAIN ALL EXISTING TRAFFIC CONTROL DEVICES OR GOVERNING LOCAL AGENCY AS REQUIRED.
13. CONTRACTOR SHALL FURNISH, INSTALL, AND MAINTAIN ALL REQUIRED TRAFFIC CONTROL DEVICES IN SLOPED AREAS PRIOR TO THE START OF WORK AND FINISH GRADE THE SITE IN SMOOTH AND CONTINUOUS SLOPES REMOVE EXCESS EXCAVATION FROM THE SITE, AND PROVIDE CLEAN ENGINEERED BACKFILL WHERE REQUIRED FROM OFF SITE.
14. CONTRACTOR SHALL MAINTAIN THE COMPLETION OF WORK BEFORE ALL DEBRIS FROM THE SITE AND AREAS OUTSIDE THE WORK AREA ARE REMOVED AND SEED AND MULCH ALL AREAS DISTURBED (WHERE APPLICABLE).
15. CONTRACTOR SHALL RESTORE ALL EXISTING AREAS WITHIN EXISTING GRADUAL SLOPES TO ORIGINAL CHARACTER AND CHARACTER OF THE ORIGINAL MATERIALS AS NEARLY AS POSSIBLE.
16. IF THE SITE INCLUDES AN EXISTING COMPOUND, THE CONTRACTOR SHALL MAINTAIN THE INTEGRITY AND SECURITY OF THE EXISTING DRIVEWAY COMPOUND AND SHALL RESTORE THE COMPOUND TO ITS ORIGINAL CONDITION UPON COMPLETION OF CONSTRUCTION ACTIVITIES. IF THERE IS A CREDIBLE PROBABILITY THAT THE EXISTING DRIVEWAY COMPOUND WILL BE DAMAGED OR DESTROYED DURING CONSTRUCTION, THE CONTRACTOR SHALL CUT OR TORN THE EXISTING DRIVEWAY COMPOUND WHERE IT IS DAMAGED AND SHALL EXTEND ONE (1) FOOT BEYOND THE BREAK IN ALL DIRECTIONS.
17. CONTRACTOR SHALL BE RESPONSIBLE FOR ATTACHING OR SECURING ANY ACCESSORY OR LOOSE ITEMS THAT ARE SHIPPED WITH THE EQUIPMENT, I.E. TIE DOWN PLATES, ETC., AND SHALL INCLUDE THIS WORK IN THE INDICATED PORTION OF THE BID.
18. ROAD RECONSTRUCTION
19. CONTRACTOR SHALL PROVIDE ALL LABOR EQUIPMENT AND MATERIAL FOR THE PROPER LIFTING AND SETTING OF FOUNDATION. THE EQUIPMENT SHALL BE LIFTED INTO PLACE BY USING A MINIMUM OF FOUR (4) INCH LIFTING STRAPS. EACH STRAP SHALL BE RATED AT 8,000# EACH.
20. TOWER ANALYSES
21. CONTRACTOR SHALL OBTAIN AND SECURE FAMILIAR WITH THIS DOCUMENT AND VERIFY COAX ROUTING AND ALL MOBILE ELEVATIONS.
22. AMERICAN CELLULAR SHALL FURNISH ANTENNA FRAMES, ANTENNAS AND COAX CABLES. CONTRACTOR SHALL INSTALL.
23. CONTRACTOR MATERIAL DELIVERIES
24. CONTRACTOR SHALL COORDINATE WITH OWNER (SHARED OWNERS) ON DELIVERIES OF ALL EQUIPMENT & MATERIAL FURNISHED BY OWNER. CONTRACTOR SHALL BE RESPONSIBLE FOR PACKING OF EQUIPMENT & MATERIAL FROM SHARED OWNERS TO THE SITE. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES. CONTRACTOR SHALL COORDINATE WITH OWNER. CONTRACTOR SHALL SCHEDULE WITH OWNER NOT LESS THAN 24 HOURS IN ADVANCE.

**CLOSE OUT DOCUMENTATION**

1. THE CONTRACTOR SHALL MAINTAIN TWO (2) COMPLETE AS-BUILT SETS OF PLANS AND CONDITIONS, AND SUBMIT SAME TO SHARED OWNERS, LLC, WITHIN 7 DAYS OF COMPLETION OF CONSTRUCTION. THE AS-BUILT SETS SHALL INCLUDE ALL EXISTING AND NEW CONSTRUCTION, INCLUDING EXISTING TOWER, ANTENNA ORIENTATION, AND FENCE WITHIN THE LEASE AREA.
2. THE CONTRACTOR SHALL OBTAIN AMERICAN CELLULAR GROUND FIELD RESISTANCE TEST FORM AND RETURN COMPLETED TEST FORM TO AMERICAN CELLULAR. THE CONTRACTOR SHALL PROVIDE

ALL SITE GROUND TESTING INFORMATION TO AMERICAN CELLULAR. THE CONTRACTOR SHALL PROVIDE THE AS-BUILT SETS TO SHARED OWNERS, LLC, WITHIN 7 DAYS OF COMPLETION OF CONSTRUCTION. THE AS-BUILT SETS SHALL INCLUDE ALL EXISTING AND NEW CONSTRUCTION, INCLUDING EXISTING TOWER, ANTENNA ORIENTATION, AND FENCE WITHIN THE LEASE AREA.



**TYPICAL ROAD SECTION**

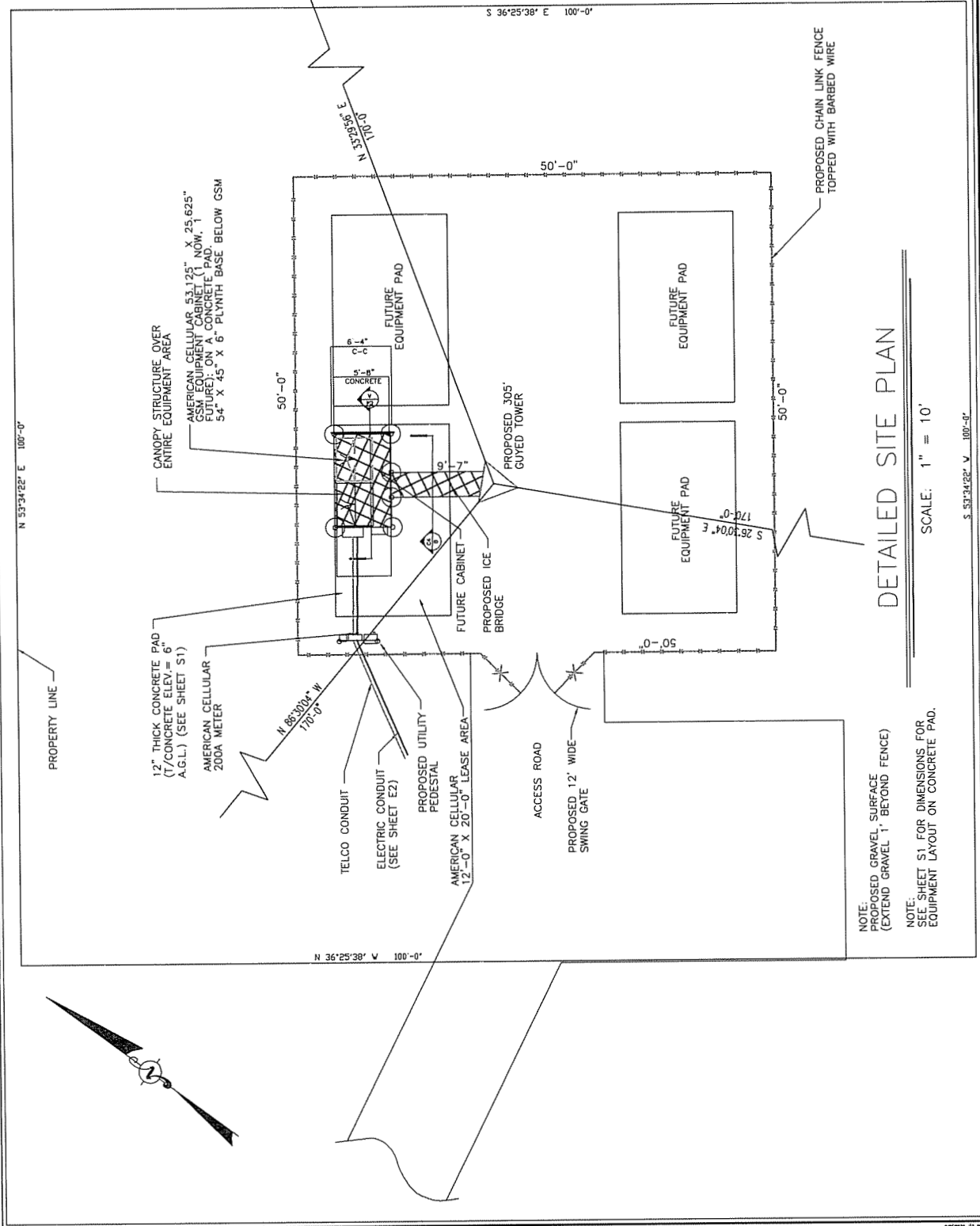


DATE	DESCRIPTION
04/24/03	CREATED
04/24/03	DESIGNED
04/24/03	APPROVED
04/24/03	ISSUED

JOB NO.  
05-0562-57

**C3**

REV.	DATE	DESCRIPTION



**DETAILED SITE PLAN**

SCALE: 1" = 10'

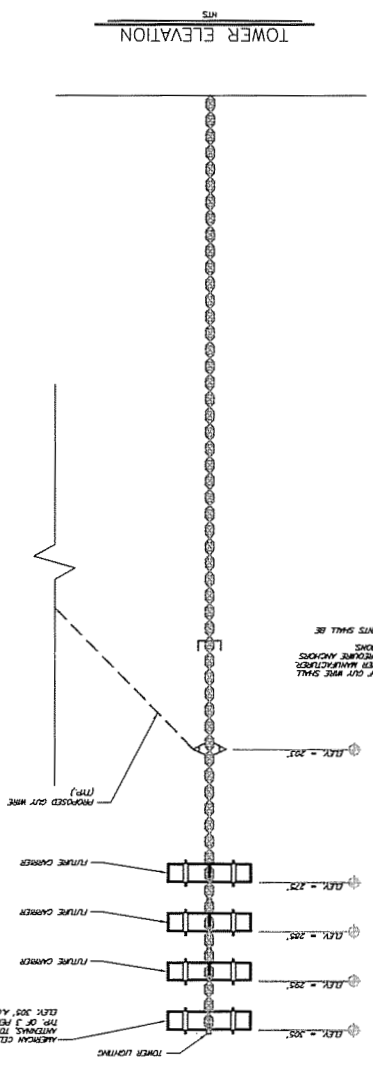
NOTE: PROPOSED GRAVEL SURFACE (EXTEND GRAVEL 1' BEYOND FENCE)

NOTE: SEE SHEET S1 FOR DIMENSIONS FOR EQUIPMENT LAYOUT ON CONCRETE PAD.

PROPOSED GRAVEL SURFACE (EXTEND GRAVEL 1' BEYOND FENCE) SEE SHEET S1 FOR DIMENSIONS FOR EQUIPMENT LAYOUT ON CONCRETE PAD.



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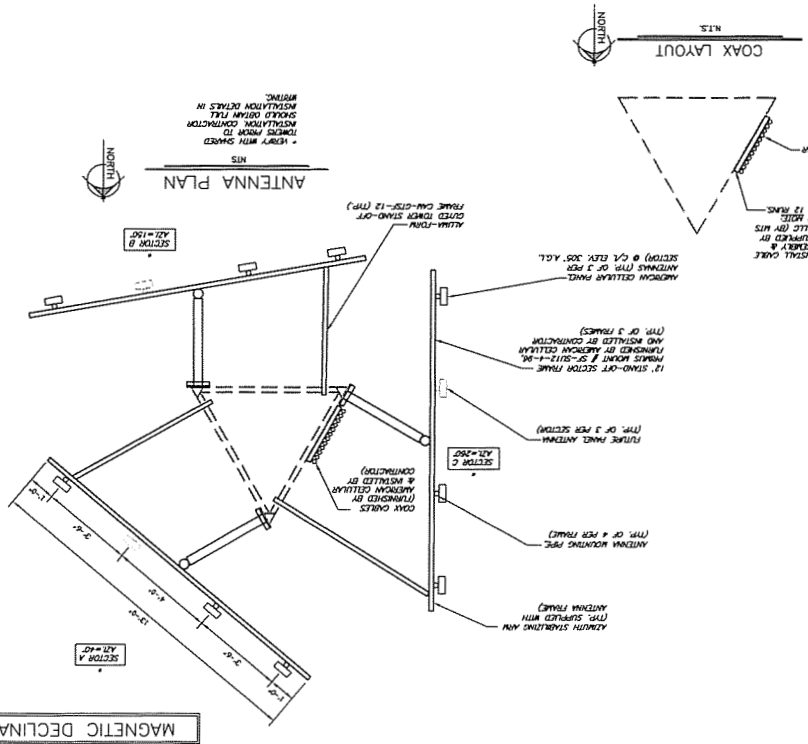
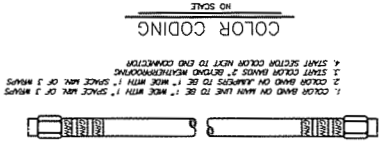


NOTE: COAX SCHEDULE MAY BE ADJUSTED IN THE FIELD PRIOR TO CONSTRUCTION.  
 NOTE: AS HEARD WITH BACK TO TOWER PLACING EQUIPMENT ORIENT.

ANTENNA INFORMATION TO BE PROVIDED BY CELLULORE REPRESENTATIVE AT TIME OF BID-WALK

SECTION	A	B	C
ANTENNA 1	RED, RED, WHITE	BLUE, BLUE, WHITE	GREEN, GREEN, WHITE
ANTENNA 2	RED, WHITE	BLUE, WHITE	GREEN, WHITE
ANTENNA 3	RED, RED	BLUE, BLUE	GREEN, GREEN
ANTENNA 4	OPEN PIPE (RED)	OPEN PIPE (BLUE)	OPEN PIPE (GREEN)

ANTENNA COLOR CODING SCHEDULE



MAGNETIC DECLINATION IS 5.32'

CS

JOB NO.	06-0562-57
DATE	04/24/08
DESIGNED BY	BLB
APPROVED BY	SAB
DATE	04/24/08
DATE	04/24/08

BETHEL  
 212 CHANDLER ROAD  
 SHARPSBURG, KY 40374  
 TOWER ELEVATION, ANTENNA  
 PLAN & ANTENNA SCHEDULE

REV.	DATE	DESCRIPTION

Potesta & Associates, Inc.  
 ENGINEERS AND ENVIRONMENTAL CONSULTANTS  
 126 Laboratory Drive, Middletown, NY 28508  
 TEL: (304) 225-2426 FAX: (304) 225-2426  
 E-Mail Address: potesta@potesta.com

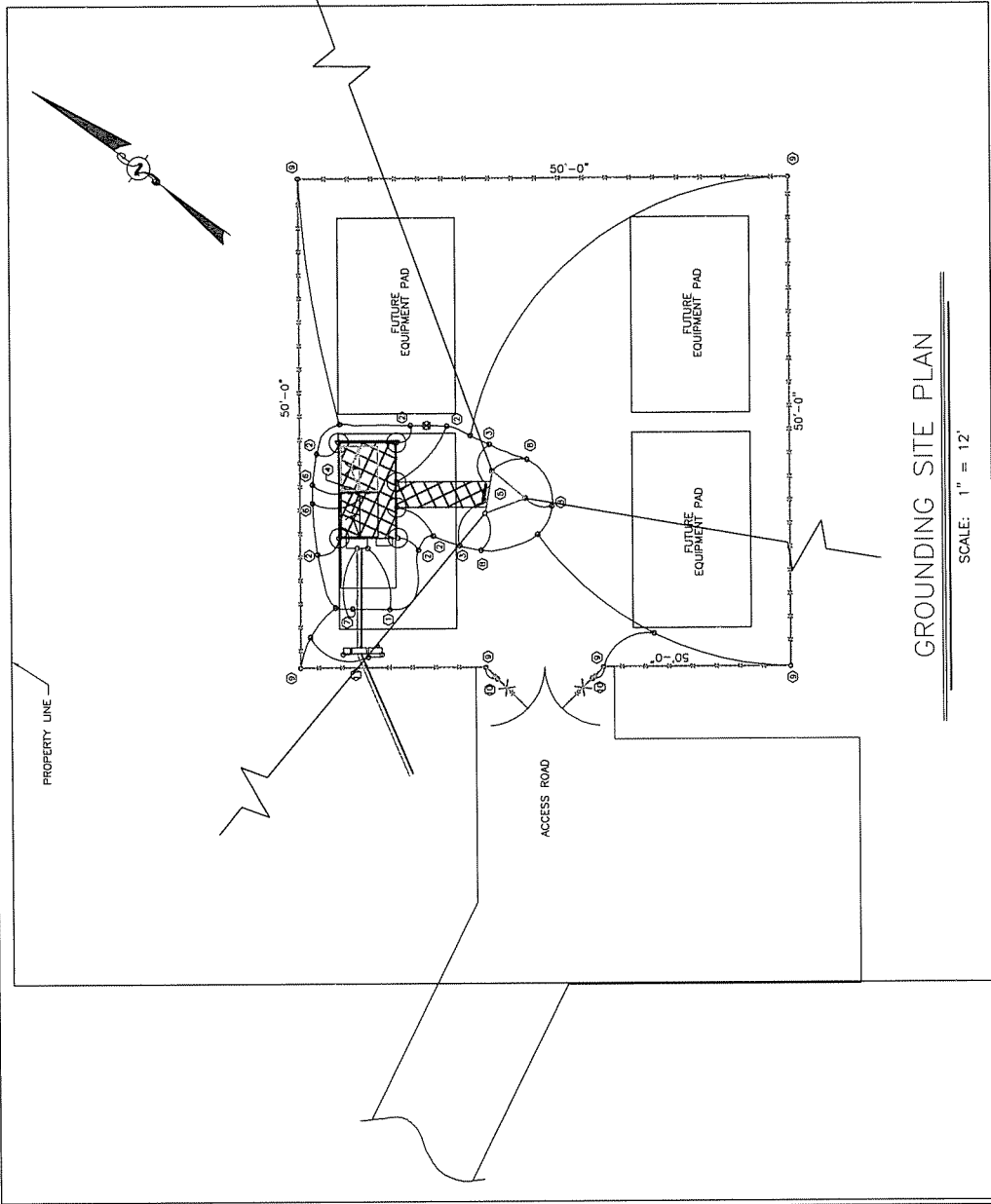
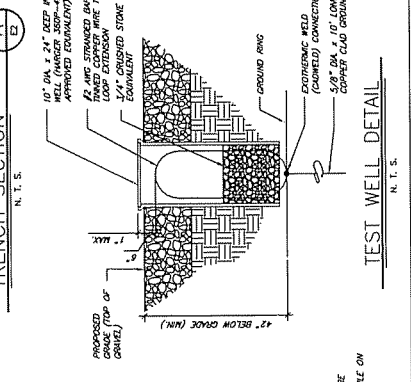
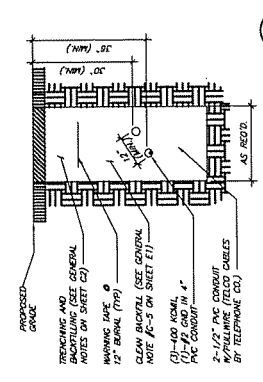
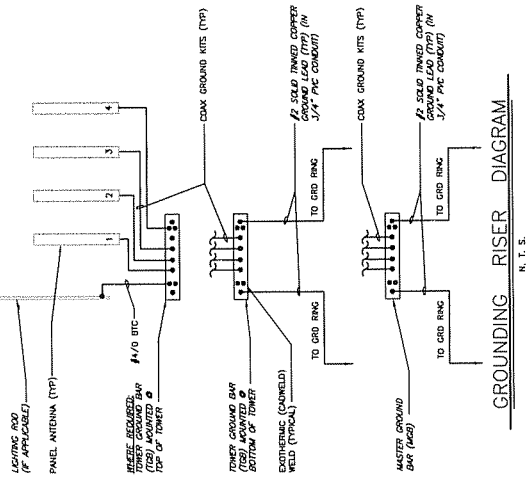




DATE	04/24/08
DESIGNED BY	04/24/08
ISSUED BY	04/24/08
APPROVED BY	04/24/08
JOB NO.	08-290-01-01

**E2**

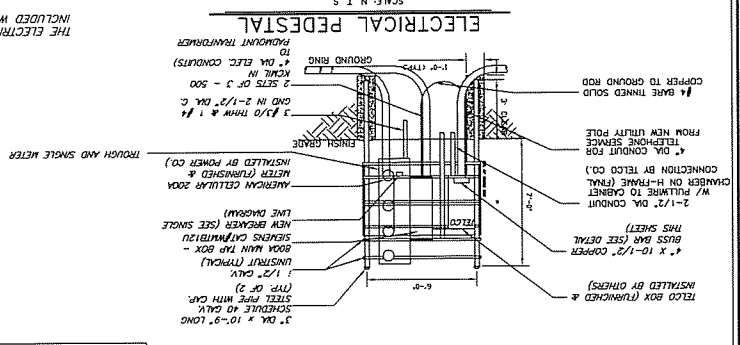
REV.	DATE	DESCRIPTION



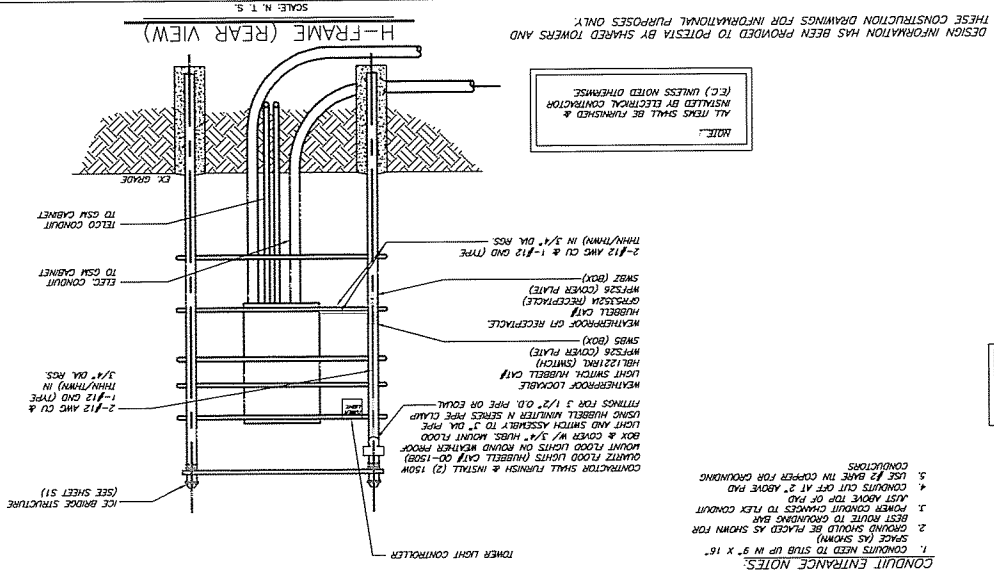
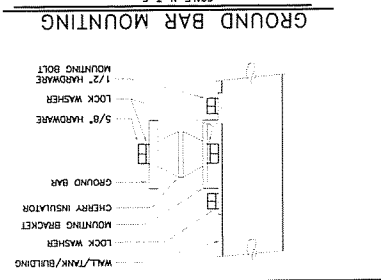
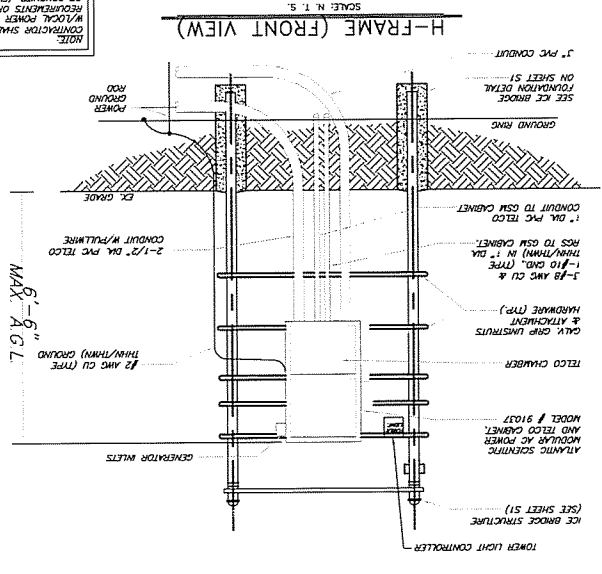
- GROUNDING LEGEND**
- ① BARE TINNED COPPER
  - ② GSN CABINET GROUND LEAD
  - ③ ICE BRIDGE SUPPORT GROUND LEAD
  - ④ GROUND LEADS TO TOWER GROUND BAR
  - ⑤ MASTER GROUND BAR (SEE SHEET E3)
  - ⑥ TOWER GROUND BAR (SEE SHEET E3)
  - ⑦ GROUND LEADS TO MASTER GROUND BAR
  - ⑧ POWER GROUND LEAD
  - ⑨ DISCONNECT SW. GROUND
  - ⑩ FENCE GROUND
  - ⑪ TEST WELL (TYPICAL)
  - ⑫ EXOTHERMIC WELD
  - ⑬ GROUND BAR (TYP.)
- NOTES:**  
 ALL 2# AWG BIC CONDUCTORS SHALL BE COMPRESSION TIGHT AND SHALL BE ASSEMBLED ON SOLID CONNECTIONS.

THE ELECTRICAL DESIGN INFORMATION HAS BEEN PROVIDED TO POTESTA BY CHANDEL TOWERS AND INCLUDED WITH THESE CONSTRUCTION DRAWINGS FOR INFORMATIONAL PURPOSES ONLY.

THE ELECTRICAL DESIGN INFORMATION HAS BEEN PROVIDED TO POTESTA BY SHARED TOWERS AND INCLUDED WITH THESE CONSTRUCTION DRAWINGS FOR INFORMATIONAL PURPOSES ONLY.



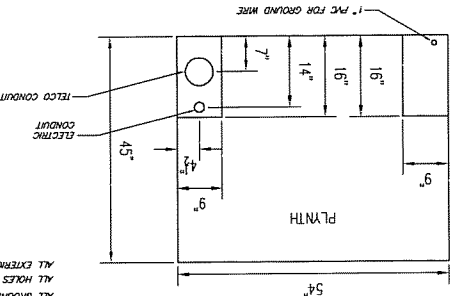
**NOTE:**  
 CONTRACTOR SHALL COORDINATE WITH LOCAL POWER CO. ON ALL CONNECTIONS BY POWER CO. OF CONDUITS (FRAM) REVISIONS OF INSTALLATION



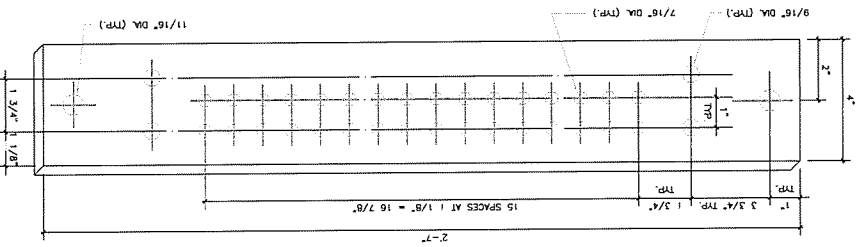
**NOTE:**  
 ALL ITEMS SHALL BE FINISHED & INSTALLED BY ELECTRICAL CONTRACTOR (E.C.) UNLESS NOTED OTHERWISE.

- CONDUIT ENTRANCE NOTES:**
- CONDUITS NEED TO STUB UP W/ 3" X 16" SPOKE (AS SHOWN)
  - GROUND SHOULD BE PLACED AS SHOWN FOR BEST ROUTE TO GROUNDING BAR
  - POWER CONDUIT CHANGES TO REX CONDUIT JUST ABOVE TOP OF FWD
  - CONDUITS CUT OFF AT 2" ABOVE PAD
  - USE #2 BARE TM COPPER FOR GROUNDING CONDUCTORS

CONDUIT ENTRANCE DETAIL SCALE: N. T. S.



MASTER & TOWER GROUND BAR (MGB & TGB) SCALE: N. T. S.



ALL EXTERIOR GROUND BARS SHALL BE CONSTRUCTED FROM 1/4" THICK COPPER PLATE  
 ALL HOLES ARE COUNTERSUNK 1/16"

**E3**  
 JOB NO. 06-0582-57  
 DATE: 04/24/08  
 CHECKED: 04/24/08  
 DESIGNED: 04/24/08  
 DRAWN: 04/24/08  
 212 CHANDLER ROAD  
 SHARPSBURG, KY 40374  
 ELECTRICAL DETAILS

REV.	DATE	DESCRIPTION

**Potesta & Associates, Inc.**  
 ENGINEERS AND ENVIRONMENTAL CONSULTANTS  
 148 Ludlum Drive, Morgantown, WV 26508  
 TEL (304) 252-2848 FAX (304) 252-2848  
 E-Mail: Address: potesta@potesta.com



REV.	DATE	DESCRIPTION

BETHEL  
 212 CHANDLER ROAD  
 SHARPSBURG, KY 40374  
 GENERAL FENCING DETAILS  
 AND GENERAL NOTES

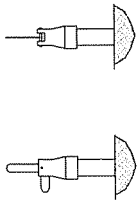
CREATED DATE	DATE
04/24/08	04/24/08
DRAWN BY	04/24/08
DESIGNED BY	04/24/08
APPROVED BY	04/24/08

SCALE: N.T.S.  
 06-0562-57

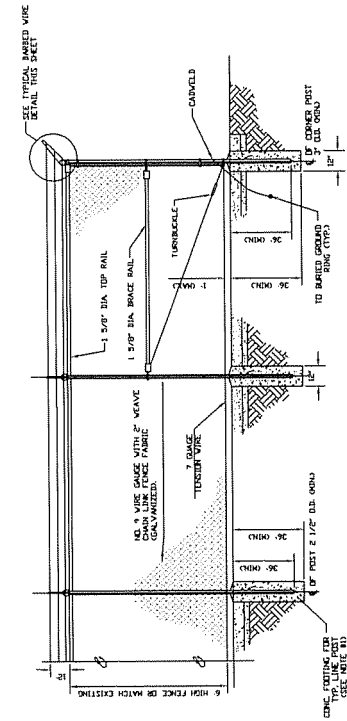
F1

GENERAL FENCING NOTES

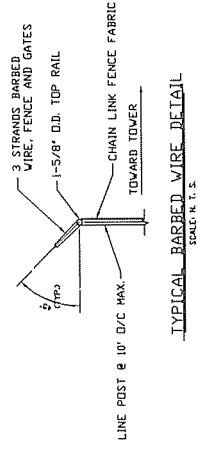
1. BOTTOM OF CONCRETE BASE SHALL BE SET BELOW FROST LINE (SEE LOCAL CODES). CONCRETE BASE IS RECOMMENDED MINIMUM AND SHOULD BE SET TO A MINIMUM OF 4" BELOW FROST LINE. CONCRETE SHALL BE 3000 PSI (MIN.) WITH A 24 DAY STRENGTH.
2. PROVIDE A DIAGONAL BRACE ROD AND TURNBUCKLE, AS SHOWN, AND ON BOTH SIDES OF THE GATE.
3. ALL FENCE AND FABRIC SHALL BE HOT DIPPED GALVANIZED. ALL BARBED WIRE SHALL BE ALUMINUM IOK COATED PER FIG. 4).
4. BOTTOM EDGE OF FENCE FABRIC SHALL BE 1" ABOVE FINISHED GRADE.
5. TERMINAL POSTS SHALL BE 3" O.D. SCH. 40 PIPE AND TOP BALLS SHALL BE 2" O.D. SCH. 20 PPF.
6. SITE FENCE SHALL BE 6'-0" FABRIC W/ BARBED WIRE.
7. FABRIC TO HAVE L20 OZ. ZINC PER SQ. FT.
8. BARBED WIRE TO BE STANDARD GALVANIZED BARBED WIRE.
9. ALL POSTS SHALL BE PLUMB.



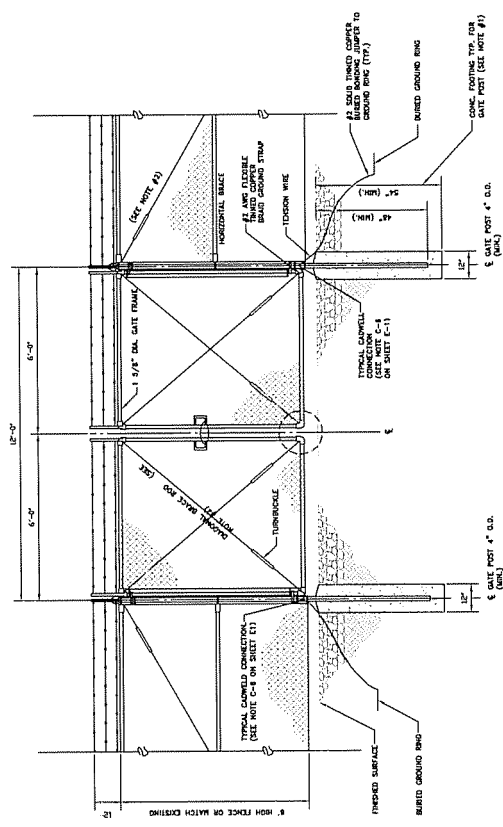
GATE KEEPER DETAIL  
 SEE NOTE #12 THIS SHEET



CHAIN LINK FENCE & POST DETAIL  
 SCALE: N.T.S.



TYPICAL BARBED WIRE DETAIL  
 SCALE: N.T.S.



DOUBLE SWINGING GATE DETAIL  
 SCALE: N.T.S.

NOTE: BEING EACH HORIZONTAL PILE/POSTER TO EACH OTHER AND TO THE VERTICAL PILE WHICH IS BORED TO THE BORED GROUND RING.

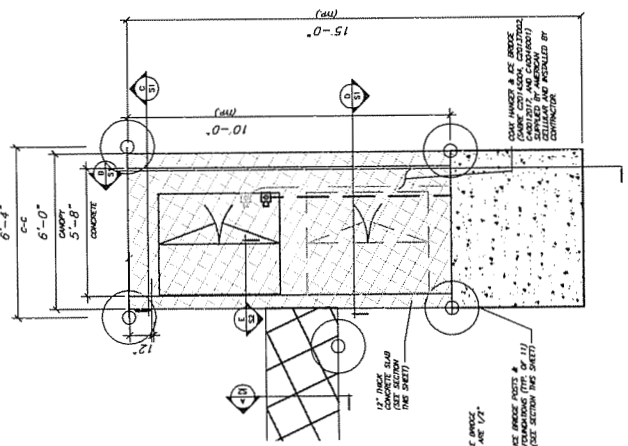
DATE	04/24/08
DESIGNED BY	DA/24/08
DRAWN BY	DA/24/08
CHECKED BY	DA/24/08
DATE	04/24/08

JOB NO.  
 06-0562-57

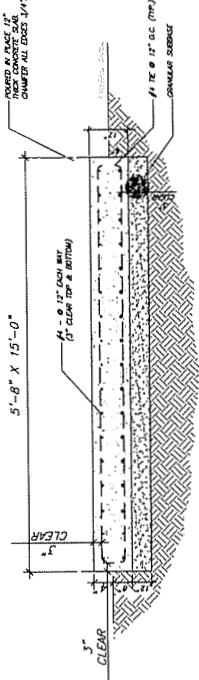
15

**NOTES:**

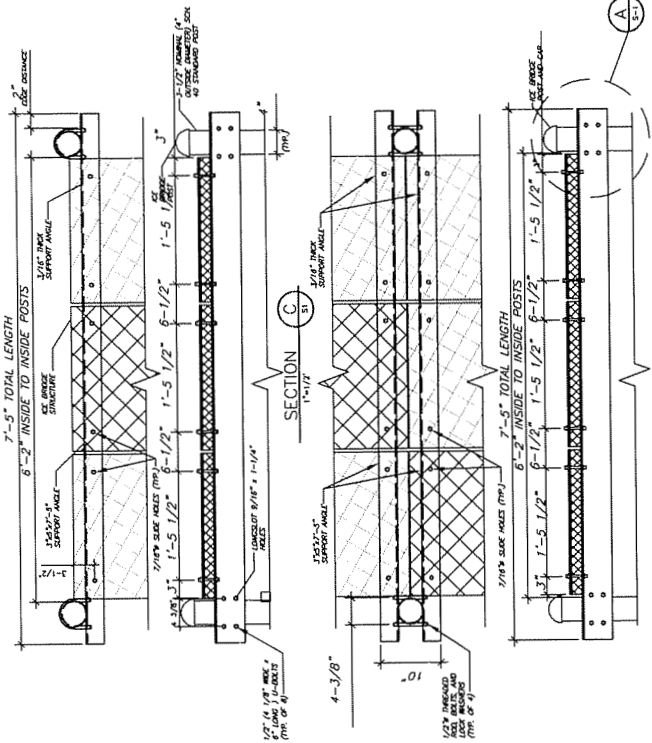
- GENERAL DIMENSIONS  
 THIS STRUCTURE HAS BEEN DESIGNED BY OTHER PROFESSIONALS AT THE REQUEST OF THE CLIENT. THE CONTRACTOR SHALL VERIFY THE DIMENSIONS PROVIDED BY THE CLIENT AND SHALL BE RESPONSIBLE FOR ANY DISCREPANCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES.
- FOUNDATION  
 ALL FOUNDATIONS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL, STATE AND FEDERAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES.
- CONCRETE  
 ALL CONCRETE SHALL BE PLACED AND FINISHED IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL, STATE AND FEDERAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES.
- STEEL  
 ALL STEEL SHALL BE PLACED AND FINISHED IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL, STATE AND FEDERAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES.



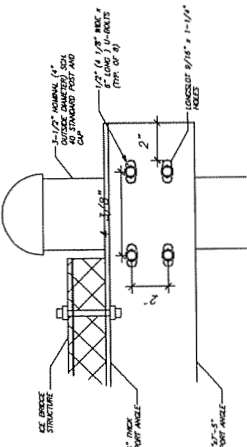
FOUNDATION SITE PLAN  
 1/4" = 1'-0"



SECTION B-B  
 1/4" = 1'-0"



NOTE: ICE BRIDGE HEIGHT IS 10'-0"



DETAIL A-A  
 1/4" = 1'-0"



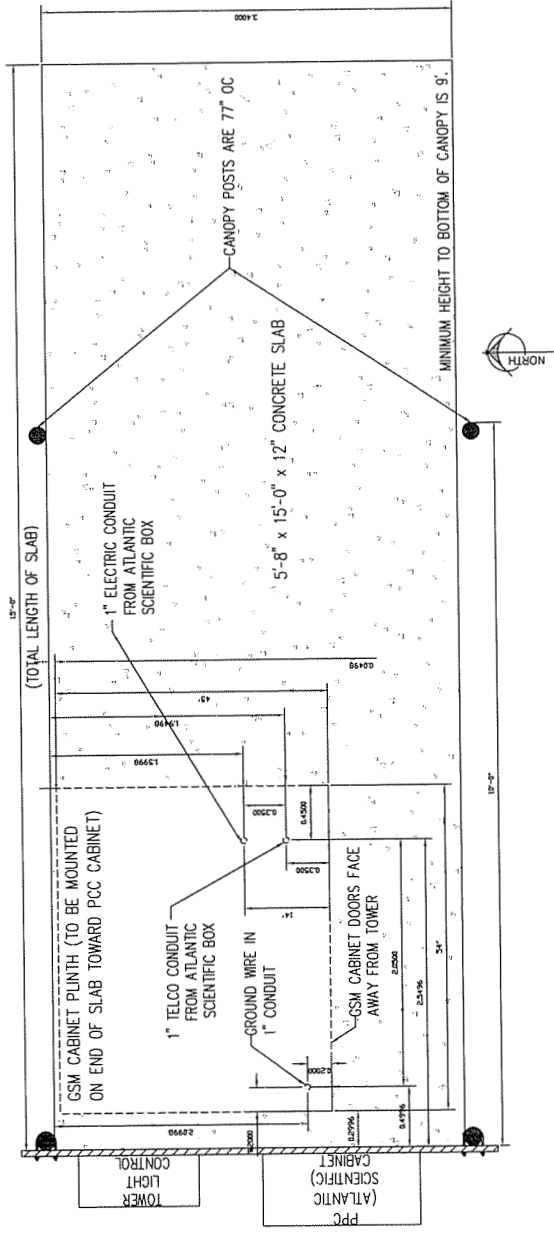
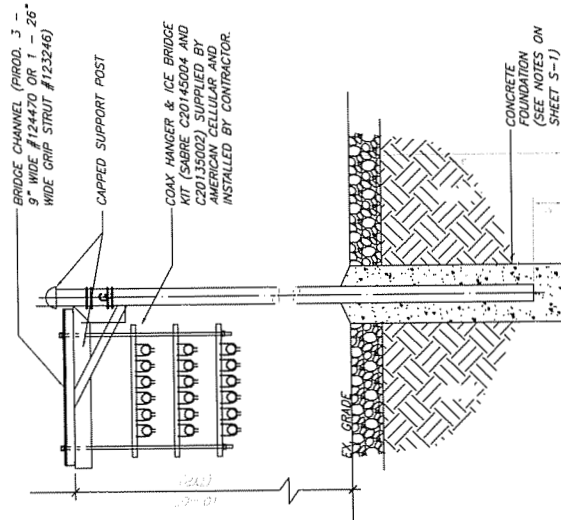
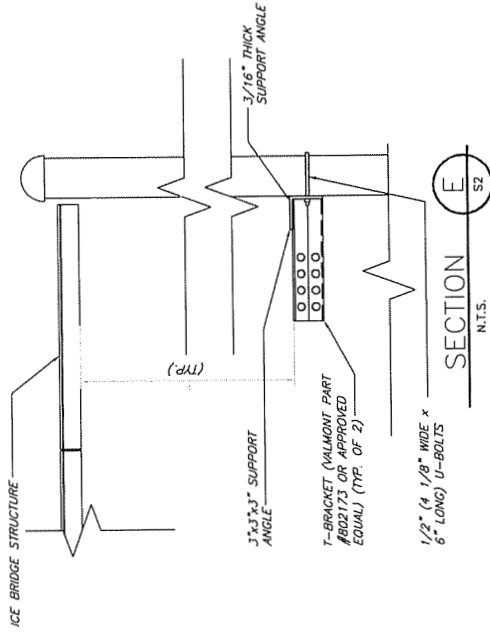
REV.	DATE	DESCRIPTION

BETHEL  
 212 CHANDLER ROAD  
 SHARPSBURG, KY 40374  
 STRUCTURAL  
 FOUNDATION & SLAB DETAILS

DATE	NO.
04/24/04	DESIGNED
04/24/04	DRAWN
04/24/04	APPROVED
04/24/04	DATE

SUB NO.  
 06-0582-57

**S2**



**SLAB & STUB-UP DETAIL C**  
 SCALE = 1/8"=1'-0"

NOTED: - SEE SHEET S1 FOR FOUNDATION DETAILS  
 THE DATE OF THIS SHEET IS 04/24/04

**EXHIBIT F**

**COMPETING UTILITIES, CORPORATIONS, OR PERSONS LIST**

**COMPETING UTILITIES, CORPORATIONS, OR PERSONS LIST:**

- American Towers
- Crown Communications
- SBA
- Verizon
- Cingular/AT&T
- Nextel
- T-Mobil
- Sprint
- Bluegrass Cellular
- Ramcell Cellular

**EXHIBIT G**  
**COLLOCATION REPORT**

**CellularOne**  
*from Dobson Cellular Systems*  
8089 South Avenue  
Boardman, Ohio 44512

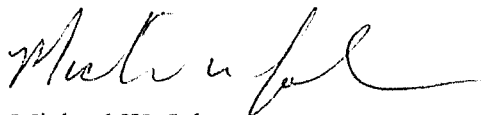
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**Bethel**

*Discussion of site need and configuration*

Currently along Rt. 11 the cellular coverage is poor to no-service between Sharpsburg to Little Flat Rd. causing dropped calls and/or no service. It was determined that a site of 285 ft located at Bethel would fix these coverage issues. Due to the geography of the area, the elevation of the Bethel area would be required thus making it an ideal candidate.

Thank You,



Michael W. Johnson  
Corporate RF Engineer  
Office: (330) 509-6581  
FAX: (330) 502-0586  
Email: [mike.johnson@dobson.net](mailto:mike.johnson@dobson.net)

**CellularOne**  
*from Dobson Cellular Systems*  
8089 South Avenue  
Boardman, Ohio 44512

---


April 17, 2008

To Whom It May Concern:

In regard to the proposed cellular communications site known of "Bethel", this letter will seek to explain co-location issues.

To be able to serve the area, structures in the range of 285 ft above ground level will be required as explained in our "statement of need" document. According to a survey by our site acquisition team and contractor, Shared Towers, LLC, there are simply no tall structures in the area. Therefore, while it is the policy of Dobson Communications/CellularOne to pursue co-location opportunities wherever possible, there are no opportunities in this area. Thus, the construction of new facilities is the only alternative available.

Thank You,



Michael W. Johnson  
Corporate RF Engineer  
Office: (330) 509-6581  
FAX: (330) 502-0586  
Email: [mike.johnson@dobson.net](mailto:mike.johnson@dobson.net)

**EXHIBIT H**  
**APPLICATION TO FAA**

Notice of Proposed Construction or Alteration - Off Airport

**Project Name:** SHARE-000091750-08

**Sponsor:** Shared Towers, L.L.C.

Details for Case : Bethel 2C

Show Project Summary

Case Status

ASN: 2008-ASO-1903-OE  
 Status: Accepted

Date Accepted: 04/04/2008  
 Date Determined:  
 Letters: None

Construction / Alteration Information

Notice Of: Construction  
 Duration: Permanent  
*if Temporary* : Months: Days:  
 Work Schedule - Start: 05/15/2008  
 Work Schedule - End: 10/31/2008  
 State Filing:

Structure Summary

Structure Type: Antenna Tower  
 Structure Name: Bethel 2C  
 FCC Number:  
 Prior ASN: 2008-ASO-824-OE

Structure Details

Latitude: 38° 16' 0.7" N  
 Longitude: 83° 50' 35.54" W  
 Horizontal Datum: NAD83  
 Site Elevation (SE): 916 (nearest foot)  
 Structure Height (AGL): 311 (nearest foot)  
 Marking/Lighting: White-medium intensity  
*Other :*

Nearest City: Sharpsburg  
 Nearest State: Kentucky

Description of Location: 212 Chandler Rd  
 Sharpsburg, KY 40374

Description of Proposal: 305' wireless communications tower w/ 6' lightning rod located within fenced compound. IF DESIRED HEIGHT IS NOT AVAILABLE, PLEASE APPROVE GREATEST POSSIBLE HEIGHT. To replace 2008-ASO-824-OE

Common Frequency Bands

Low Freq	High Freq	Freq Unit	ERP	ERP Unit
806	824	MHz	500	W
824	849	MHz	500	W
851	866	MHz	500	W
869	894	MHz	500	W
896	901	MHz	500	W
901	902	MHz	7	W
930	931	MHz	3500	W
931	932	MHz	3500	W
932	932.5	MHz	17	dBW
935	940	MHz	1000	W
940	941	MHz	3500	W
1850	1910	MHz	1640	W
1930	1990	MHz	1640	W
2305	2310	MHz	2000	W
2345	2360	MHz	2000	W

Specific Frequencies



**EXHIBIT I**

**APPLICATION TO KENTUCKY AIRPORT ZONING COMMISSION**

Kentucky Transportation Cabinet, Kentucky Airport Zoning Commission, 200 Mero Street, Frankfort, KY 40622  
**APPLICATION FOR PERMIT TO CONSTRUCT OR ALTER A STRUCTURE**  
INSTRUCTIONS INCLUDED

Kentucky Aeronautical Study Number

1. APPLICANT -- Name, Address, Telephone, Fax, etc.

Shared Towers, LLC- Kamal Doshi  
1390 Chain Bridge Rd #40  
McLean, VA 22101  
703-893-0806 (phone)  
703-852-7289 (fax)

9 Latitude: 38 ° 16 ' 0 70 "

10 Longitude: 83 ° 50 ' 35 54 "

11 Datum:  NAD83  NAD27  Other \_\_\_\_\_

12. Nearest Kentucky City: SHARPSBURG County BATH

13. Nearest Kentucky public use or Military airport:  
IOB - MT. STERLING/MONTGOMERY COUNTY

14. Distance from #13 to Structure: 14.10 NM

15. Direction from #13 to Structure: NNE

16. Site Elevation (AMSL): 916 Feet

17. Total Structure Height (AGL): 311 Feet

18. Overall Height (#16 + #17) (AMSL): 1227 Feet

19. Previous FAA and/or Kentucky Aeronautical Study Number(s):  
AS-006-M97-08-034

20. Description of Location: (Attach USGS 7.5 minute Quadrangle Map or an Airport layout Drawing with the precise site marked and any certified survey)  
212 CHANDLER RD  
SHARPSBURG, KY 40374

2. Representative of Applicant -- Name, Address, Telephone, Fax

Boulevard Properties, LLC- Matt Wallack  
7383 Utica Blvd  
Lowville, NY 133367  
315-376-3333 (phone)  
315-376-8139 (fax)

3. Application for:  New Construction  Alteration  Existing

4. Duration:  Permanent  Temporary (Months \_\_\_\_\_ Days \_\_\_\_\_)

5. Work Schedule: Start 05/15/2008 End 10/31/2008

6. Type:  Antenna Tower  Crane  Building  Power Line  
 Landfill  Water Tank  Other \_\_\_\_\_

7. Marking/Painting and/or Lighting Preferred:

- Red Lights and Paint
- White - Medium Intensity
- White - High Intensity
- Dual - Red & Medium Intensity White
- Dual - Red & High Intensity White
- Other \_\_\_\_\_

8. FAA Aeronautical Study Number \_\_\_\_\_

21. Description of Proposal:

305' wireless communications tower with 6' lightning rod located within a fenced compound. IF DESIRED HEIGHT IS NOT AVAILABLE, PLEASE APPROVE GREATEST POSSIBLE HEIGHT.  
IF APPROVED, THIS WILL REPLACE PRIOR STUDY AS-006-M97-08-034 WHICH WAS APPROVED BY THE KAZC ON MARCH 18, 2008.

22. Has a "NOTICE OF CONSTRUCTION OR ALTERATION" (FAA Form 7460-1) been filed with the Federal Aviation Administration?

No  Yes, When 4-4-08

**CERTIFICATION:** I hereby certify that all the above statements made by me are true, complete and correct to the best of my knowledge and belief.

Matthew J. Wallack

4-4-08

Printed Name and Title

Signature

Date

**PENALTIES:** Persons failing to comply with Kentucky Revised Statutes (KRS 183.861 through 183.990) and Kentucky Administrative Regulations (602 KAR 050:Series) are liable for fines and/or imprisonment as set forth in KRS 183.990(3). Non-compliance with Federal Aviation Administration Regulations may result in further penalties.

**Commission Action:**

Chairman, KAZC

Administrator, KAZC

Approved

Disapproved

Date \_\_\_\_\_

**EXHIBIT J**  
**GEOTECHNICAL REPORT**

**SUBSURFACE INVESTIGATION &  
FOUNDATION RECOMMENDATIONS**

**PROPOSED BETHEL  
CELL TOWER  
SHARPSBURG, KENTUCKY**

*Prepared for:*

**SHARED TOWERS, L.L.C.  
LOWVILLE, NY**

*Prepared by:*

**ALT & WITZIG ENGINEERING, INC.  
WEST CHESTER, OHIO**

**APRIL 11, 2008**

**PROJECT NO. 08CN0057**



***Alt & Witzig Engineering, Inc.***

6205 Schumacher Park Drive • West Chester, Ohio 45069  
(513) 777-9890 • Fax (513) 777-9070

April 14, 2008

Shared Towers, L.L.C.  
7383 Utica Blvd  
Lowville, NY 13367  
ATTN: Mr. Matthew J. Wallack

RE: Subsurface Investigation &  
Foundation Recommendations  
Proposed Bethel Tower  
Sharpsburg, Kentucky  
Alt & Witzig File: 08CN0057

Gentlemen:

In compliance with your request, we have completed a foundation investigation and evaluation for the above referenced project. It is our pleasure to transmit herewith three (3) copies of our report.

SITE LOCATION:

The site is located in Sharpsburg, Kentucky. Specifically, this site is located on the north side of State Road 11. The general vicinity of the site is shown on the enclosed site location map in the appendix of this report.

The purpose of this subsurface investigation was to determine the various soils profile components, determine the engineering characteristics of the materials encountered, and provide information to be used in preparing foundation designs for the proposed communication tower.

Field Services

The field investigation included reconnaissance of the project site, drilling four (4) soil borings for the tower. Additionally, investigation included performing standard penetration tests, and obtaining soil samples retained in the standard split-spoon sampler. The apparent groundwater level at the boring location was also determined.

The soil borings were performed with a conventional drilling rig equipped with a rotary head. Conventional hollow-stem augers were used to advance the holes. Representative samples were obtained employing split-spoon sampling procedures in accordance with ASTM Procedure D-1586.

During the sampling procedure, standard penetration tests were performed at regular intervals to obtain the standard penetration value of the soil. The standard penetration value is defined as the number of blows of a 140-pound hammer, falling thirty (30) inches, required to advance the split-spoon sampler one (1) foot into the soil. The results of the standard penetration tests indicate the relative density and comparative consistency of the soils, and thereby provide a basis for estimating the relative strength and compressibility of the soil profile components.

In addition samples of the bedrock materials were obtained using rock coring procedures in general accordance with ASTM D-2113. The equipment used to obtain the cores was a conventional "NX" double tube core barrel system with a diamond cutting bit.

#### Laboratory Testing

The types of soils encountered in the borings were visually classified and are described in detail on the boring logs. Representative samples of the soils encountered in the field were placed in sample jars and are now stored in our laboratory. Unless notified to the contrary, all samples will be disposed of after three (3) months.

#### Recommendations for Tower

Information provided by Shared Site, LLC indicates that a guyed cellular tower will be constructed at this site. It is anticipated that the tower will not exceed 285 feet in height. It is anticipated that the structural loads of the tower will be supported by conventional spread footings.

Our borings encountered medium stiff to stiff clay to a depth of six and one-half (6½) to eleven and one-half (11½) feet in the area of the tower. At this depth the borings encountered auger refusal on apparent limestone bedrock. A rock core was performed from 12.1 to 16.3 feet at boring B-4, the center of the proposed tower. The rock core indicated hard limestone. Recovery for the core was 99% with a Rock Quality Designation (RQD) of 67% for the core. This qualifies as good quality bedrock.

The following soil parameters can be used to design a shallow foundation. Due to the seasonal variations in moisture content and freeze thaw cycles, no skin friction or resistance to passive pressure should be considered above three (3) feet.

Borings B-1 and B-4						
Soil Description	Depth Below Existing Grade	Bearing Pressure (psf) SF=3	Dry Density (pcf)	$\phi$	$K_p$	Coefficient of Friction Against Sliding
Clay	4' - 12'	3,000	115	20°	2.0	0.50
Limestone	12' +	30,000	130	38°	4.2	0.70

Boring B-2						
Soil Description	Depth Below Existing Grade	Bearing Pressure (psf) SF=3	Dry Density (pcf)	$\phi$	$K_p$	Coefficient of Friction Against Sliding
Clay	4' - 6½'	3,000	115	20°	2.0	0.50
Limestone	6½' +	30,000	130	38°	4.2	0.70

Boring B-3						
Soil Description	Depth Below Existing Grade	Bearing Pressure (psf) SF=3	Dry Density (pcf)	$\phi$	$K_p$	Coefficient of Friction Against Sliding
Clay	4' - 8'	3,000	115	20°	1.7	0.50
Limestone	8' +	30,000	130	38°	4.2	0.70

Shared Site, L.L.C.  
Bethel Cell Tower  
Alt & Witzig File No.: 08CN0057  
April 14, 2007  
Page 4

A cohesion of 500 psf can be used for the clays encountered at a shallow depth across the site. A cohesion of 1,000 psf can be used for foundations placed into the bedrock at an apparent depth of six and one-half (6½) to eleven and one-half (11½) feet below grade.

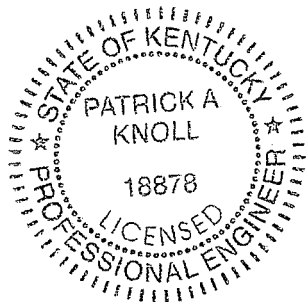
The weight of the backfill above the footings will be used to resist uplift forces; therefore, it is recommended that proper compaction techniques be maintained. It is recommended that a density of 98% maximum dry density in accordance with ASTM D-698 be achieved above the footings to finished grade for all fill. If on-site soils are used, the excavation should be ramped so that a drive or walk-behind sheepfoot can be used to compact the clayey soils.

The groundwater should be anticipated at the soil/rock interface. All borings indicated dry conditions during and upon completion of operations. Also, depending upon the weather conditions while excavations are open, seepage from surface runoff may occur into shallow excavations. Since these foundation materials tend to soften when exposed to free water, every effort should be made to keep the excavations dry should water be encountered.

If we can give further service in these matters, please contact us at your convenience.

Respectfully Submitted,

ALT & WITZIG ENGINEERING, INC.



Handwritten signature of Robert Smith in cursive.

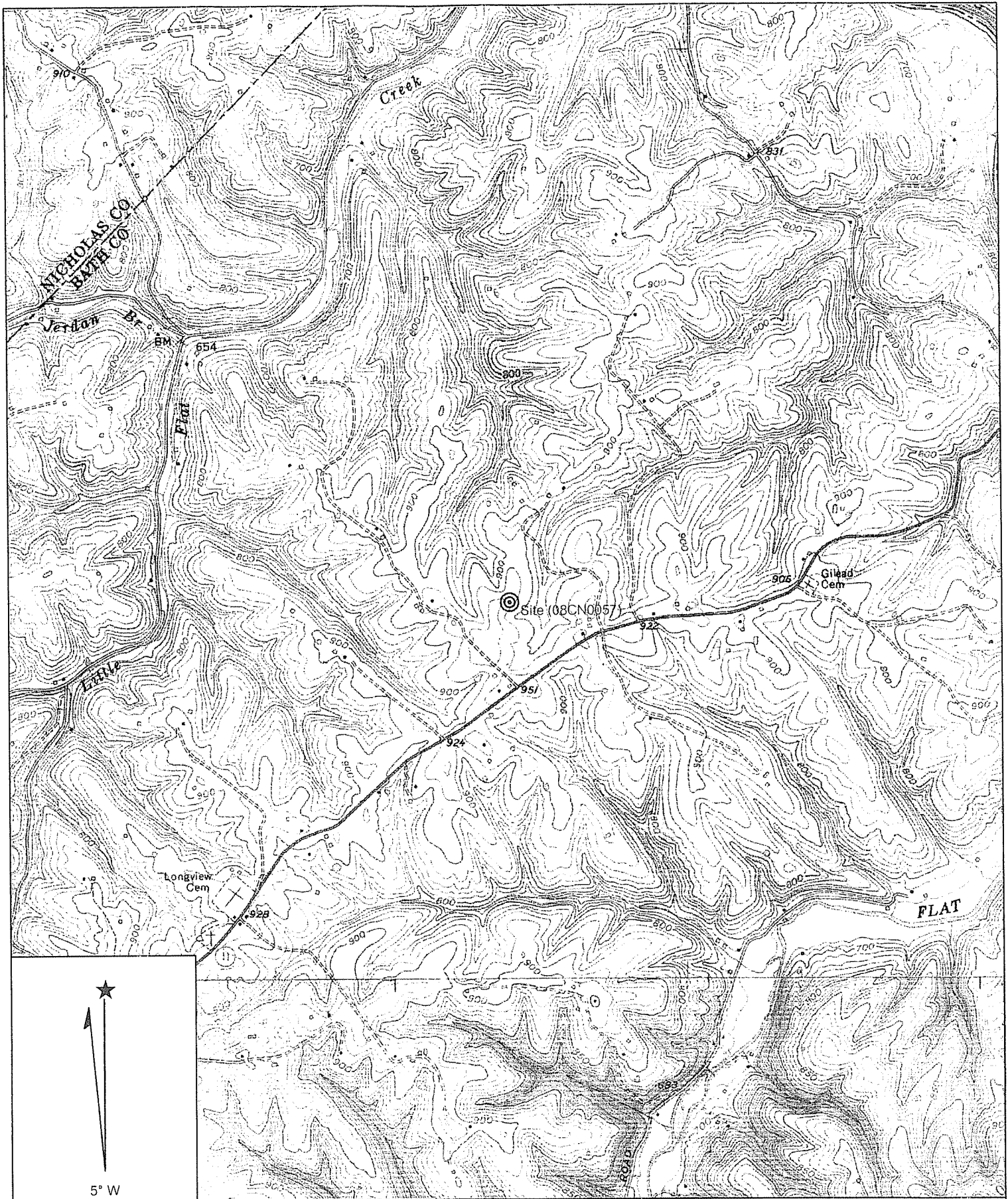
Robert Smith, P.E.  
Project Engineer

Handwritten signature of Patrick A. Knoll in cursive.

Patrick A. Knoll, P.E.



## **APPENDIX**

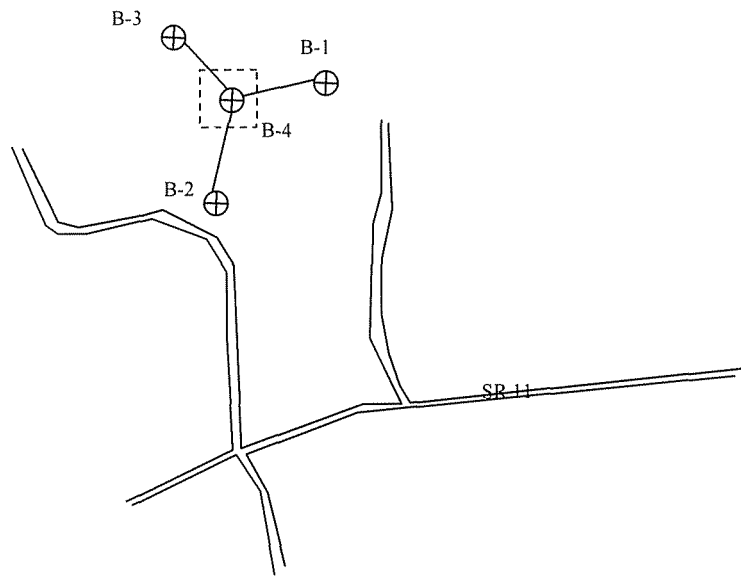


Name: SHERBURNE  
Date: 4/11/2008  
Scale: 1 inch equals 2000 feet

Caption: Site Location Map 08CN0057  
Bethel Tower  
Sharpsburg, Kentucky

# Boring Location Plan

Proposed Cell Tower: Bethel  
Sharpsburg, Kentucky  
Shared Towers, LLC



Not To Scale

**08CN0057**

Boring locations estimated from field notes. A location plan was not provided by the client.



# RECORD OF SUBSURFACE EXPLORATION

**Alt & Witzig Engineering, Inc.**

CLIENT Shared Towers, LLC  
 PROJECT NAME Bethel Tower  
 LOCATION Sharpsburg, Kentucky

Boring # B-1  
 Alt & Witzig File No. 08CN0057

**DRILLING and SAMPLING INFORMATION**

Date Started 4/8/2008 Hammer Wt 140 lbs.  
 Date Completed 4/8/2008 Hammer Drop 30 in.  
 Boring Method HSA Spoon Sampler OD 2 in

STRATA ELEV	SOIL CLASSIFICATION	Depth Scale	Strata Depth	Sample No.	Sample Type	Sampler Graphics	Ground Water	Standard Penetration Test, N - Blows/foot	Qu - tsf Unconfined Compressive Strength	Pp - tsf Pocket Penetrometer	Moisture Content %	Remarks
	0.0-7" Topsoil											
	7"-7.0 Brown Peppered Black Clay	5		1	SS	X		10	2.3	2.0	30.3	
				2	SS	X		11	4.1	3.0	23.9	
	7.0-9.0 Brown Clay and Limestone	7.0		3	SS	X		23		4.5+	23.4	
	9.0-11.5 Brown and Gray Clay with Limestone	9.0		4	SS	X		63		4.5+	14.6	
	Auger Refusal at 11.5 feet	10	11.5									

**Boring Method**  
 HSA - Hollow Stem Augers  
 CFA - Continuous Flight Auger  
 DC - Driving Casing  
 MD - Mud Drilling

**GROUNDWATER**  
 ▽ At Completion Dry ft  
 ▽ After    hours ft.  
 ○ Water on Rods Dry ft  
 C - Boring Caved Depth

**Sample Type**  
 SS - Driven Split Spoon  
 ST - Pressed Shelby Tube  
 CA - Continuous Flight Auger  
 RC - Rock Core  
 CU - Cuttings



# RECORD OF SUBSURFACE EXPLORATION

**Alt & Witzig Engineering, Inc.**

CLIENT Shared Towers, LLC  
 PROJECT NAME Bethel Tower  
 LOCATION Sharpsburg, Kentucky

Boring # B-2  
 Alt & Witzig File No. 08CN0057

**DRILLING and SAMPLING INFORMATION**

Date Started 4/8/2008 Hammer Wt 140 lbs  
 Date Completed 4/8/2008 Hammer Drop 30 in  
 Boring Method HSA Spoon Sampler OD 2 in.

STRATA ELEV.	SOIL CLASSIFICATION	Depth Scale	Strata Depth	Sample No.	Sample Type	Sampler Graphics	Ground Water	Standard Penetration Test, N - Blows/foot	Qu - tsf Unconfined Compressive Strength	Pp - tsf Pocket Penetrometer	Moisture Content %	Remarks
SURFACE ELEVATION												
	0.0-1.0 Topsoil		1.0									
	1.0-5.0 Brown Clay		5.0	1	SS	X		14	4.7	3.8	22.7	
	5.0-6.5 Brown Clay with Limestone Trace Sand		6.5	2	SS	X		50/5"			13.1	
	Auger Refusal at 6.5 feet											

**Boring Method**  
 HSA - Hollow Stem Augers  
 CFA - Continuous Flight Auger  
 DC - Driving Casing  
 MD - Mud Drilling

**GROUNDWATER**  
 ▽ At Completion Dry ft  
 ▽ After    hours ft  
 ○ Water on Rods Dry ft  
 C - Boring Caved Depth

**Sample Type**  
 SS - Driven Split Spoon  
 ST - Pressed Shelby Tube  
 CA - Continuous Flight Auger  
 RC - Rock Core  
 CU - Cuttings



# RECORD OF SUBSURFACE EXPLORATION

**Alt & Witzig Engineering, Inc.**

CLIENT Shared Towers, LLC  
 PROJECT NAME Bethel Tower  
 LOCATION Sharpsburg, Kentucky

Boring # B-3  
 Alt & Witzig File No. 08CN0057

**DRILLING and SAMPLING INFORMATION**

Date Started 4/8/2008 Hammer Wt. 140 lbs.  
 Date Completed 4/8/2008 Hammer Drop 30 in.  
 Boring Method HSA Spoon Sampler OD 2 in

STRATA ELEV	SOIL CLASSIFICATION	Depth Scale	Strata Depth	Sample No.	Sample Type	Sampler Graphics	Ground Water	Standard Penetration Test, N - Blows/foot	Qu - Isf Unconfined Compressive Strength	Pp - Isf Pocket Penetrometer	Moisture Content %	Remarks
	0.0-5" Topsoil											
	5"-4 0 Brown Clay	5	4.0	1	SS	X		11	3.4	3.0	25.4	
	4 0-8 0 Brown Clay and Limestone			2	SS	X		50/3"				
	Auger Refusal at 8 0 feet		8.0	3	SS	X		50/5"				

**Boring Method**  
 HSA - Hollow Stem Augers  
 CFA - Continuous Flight Auger  
 DC - Driving Casing  
 MD - Mud Drilling

**GROUNDWATER**  
 ▽ At Completion Dry ft  
 ▾ After    hours ft  
 ○ Water on Rods Dry ft  
 C - Boring Caved Depth

**Sample Type**  
 SS - Driven Split Spoon  
 ST - Pressed Shelby Tube  
 CA - Continuous Flight Auger  
 RC - Rock Core  
 CU - Cuttings



# RECORD OF SUBSURFACE EXPLORATION

**Alt & Witzig Engineering, Inc.**

CLIENT Shared Towers, LLC  
 PROJECT NAME Bethel Tower  
 LOCATION Sharpsburg, Kentucky

Boring # B-4  
 Alt & Witzig File No. 08CN0057

**DRILLING and SAMPLING INFORMATION**

Date Started 4/8/2008 Hammer Wt 140 lbs.  
 Date Completed 4/8/2008 Hammer Drop 30 in.  
 Boring Method HSA Spoon Sampler OD 2 in.

STRATA ELEV	SOIL CLASSIFICATION	Depth Scale	Strata Depth	Sample No.	Sample Type	Sampler Graphics	Ground Water	Standard Penetration Test, N - Blows/foot	Qu - tsf Unconfined Compressive Strength	Pp - tsf Pocket Penetrometer	Moisture Content %	Remarks
	0.0-5" Topsoil											
	5"-4.0 Brown and Dark Brown Clay	5	4.0	1	SS	X		11	3.3	3.3	28.8	
	4.0-9.0 Brown Clay and Limestone	10	5.0	2	SS	X		50/1"				
	9.0-12.0 Gray Shale and Limestone	10	9.0	3	SS	X		50/4"				
	Boring Terminated at 12.0 feet Rock Core #1	10	12.1	4	SS	X		50/4"				
	12.1-16.3 Fossilized Limestone REC = 98.7% RQD = 67%	10	12.1	5	SS	X		50/1"				
	Terminated at 16.3 feet											

**Boring Method**  
 HSA - Hollow Stem Augers  
 CFA - Continuous Flight Auger  
 DC - Driving Casing  
 MD - Mud Drilling

**GROUNDWATER**  
 ▽ At Completion Dry ft  
 ▽ After    hours ft  
 ○ Water on Rods Dry ft  
 C - Boring Caved Depth

**Sample Type**  
 SS - Driven Split Spoon  
 ST - Pressed Shelby Tube  
 CA - Continuous Flight Auger  
 RC - Rock Core  
 CU - Cuttings

## GENERAL NOTES

### SAMPLE IDENTIFICATION

The Unified Soil Classification System is used to identify the soil unless otherwise noted.

### SOIL PROPERTY SYMBOLS

- N: Standard "N" penetration: Blows per foot of a 140 pound hammer falling 30 inches on a 2 inch O.D. split-spoon.
- Qu: Unconfined compressive strength, TSF
- Qp: Penetrometer value, unconfined compressive strength, TSF
- Mc: Water content, %
- LL: Liquid limit, %
- PL: Plastic limit, %
- Dd: Natural dry density, PCF
- \_\_\_ : Apparent groundwater level at time noted after completion

### DRILLING AND SAMPLING SYMBOLS

- SS: Split-spoon - 1 3/8" I.D., 2" O.D., except where noted
- ST: Shelby tube - 3" O.D., except where noted
- AU: Auger sample
- DB: Diamond bit
- CB: Carbide bit
- WS: Washed sample

### RELATIVE DENSITY AND CONSISTENCY CLASSIFICATION

<u>TERM (NON-COHESIVE SOILS)</u>	<u>BLOWS PER FOOT</u>
Very loose	0 - 4
Loose	5 - 10
Firm	11 - 30
Dense	31 - 50
Very Dense	Over 50

<u>TERM (COHESIVE SOILS)</u>	<u>Qu (TSF)</u>
Very soft	0 - 0.25
Soft	0.25 - 0.50
Medium	0.50 - 1.00
Stiff	1.00 - 2.00
Very Stiff	2.00 - 4.00
Hard	4.00+

### PARTICLE SIZE

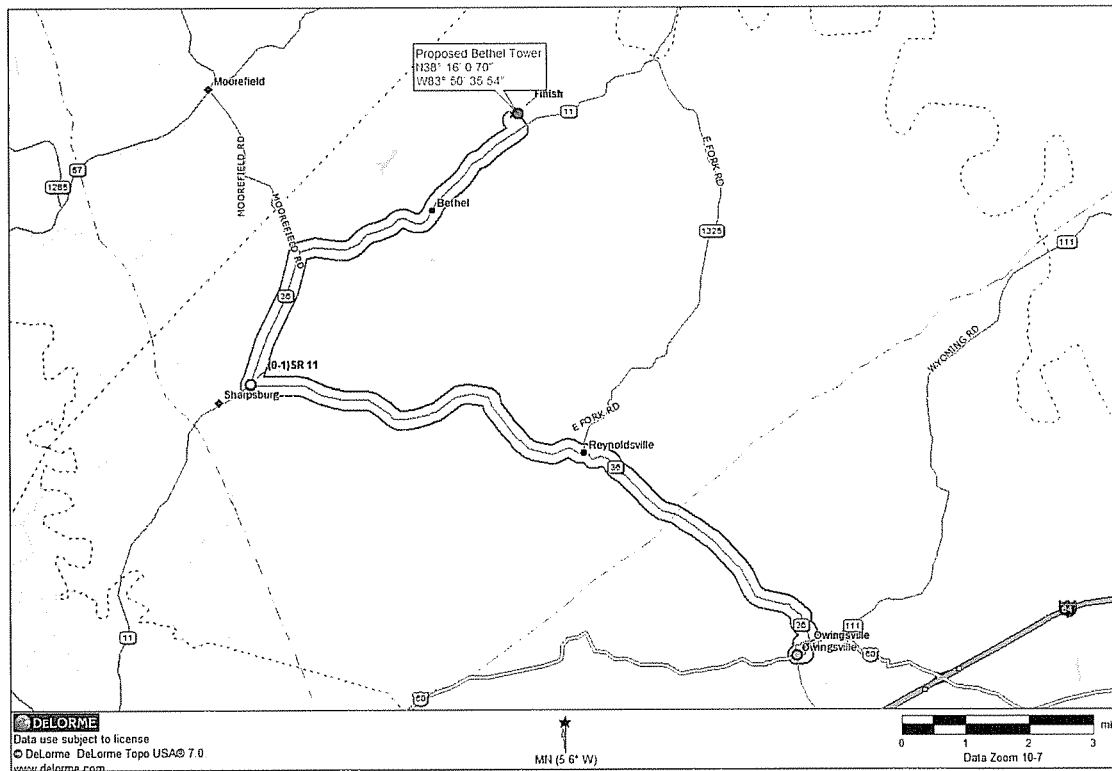
Boulders	8 in.(+)	Coarse Sand	5 mm-0.6 mm	Silt	0.075 mm - 0.005 mm
Cobbles	8 in. - 3 in.	Medium Sand	0.6mm-0.2 mm	Clay	0.005mm(-)
Gravel	3 in. - 5 mm	Fine Sand	0.2mm-0.075 mm		



**EXHIBIT K**

**DIRECTIONS TO WCF SITE**

## WCF LOCATION MAP



## DIRECTIONS TO WCF FROM COUNTY SEAT

From the Bath County Courthouse proceed north on SR 36 approximately 11.2 miles. Turn right on SR 11 and proceed approximately 6.45 miles. Turn left on Chandler Road and proceed approximately .2 miles. WCF access road will be on the right.

These directions were prepared by:

David B. Jantzi  
Boulevard Properties  
7383 Utica Boulevard  
Lowville, NY 13367  
(315) 523-6258

**EXHIBIT L**

**COPY OF REAL ESTATE AGREEMENT**

## SITE LEASE AGREEMENT

Site I. D.: Bethel County: Bath Site Address: Chandler Road, Sharpsburg, Kentucky, 40374

1. **Premises and Use.** In consideration of the expenditures and efforts of lessee to develop and use the premises described below, the undersigned (jointly and severally, the "Owner") hereby leases to Shared Towers, LLC, a West Virginia limited liability company ("Lessee"), or its permitted assignee, the site described below:  
Bethel  
The exclusive right to use and occupy real property, approximately 10,000 square feet of land, as approximately described and shown on Exhibit A, together with non-exclusive easements (a) to a public right of way, for reasonable access, (b) to the appropriate sources of electric and telephone facilities as determined by Lessee, (c) for placement of any supporting guyed wires as reasonably determined by Lessee per good engineering practices (d) to meet fall-zone or set back requirements and (e) temporary staging area for equipment and assembly during construction (collectively, the "Site"). The Site will be used for installing, maintaining and/or operating, a wireless communications and broadcast facility, including, without limitation, antenna towers or poles, guyed wires (if applicable), foundations, utility lines, equipment shelters, ice bridges, radio equipment, antennas, security alarms, cameras, lights, and supporting equipment thereto (collectively, the "Facility"), or for any other use permitted by applicable law. Title to the Facility shall be held by Lessee and the Facility shall remain Lessee's personal property and in no event shall be construed as fixtures.
2. **Term.** The term of this Agreement (the "Initial Term") is five (5) years, starting on the date Lessee signs this Agreement. This Agreement will be automatically renewed for ten (10) additional terms (each a "Renewal Term") of five years each with a [REDACTED] increase in rent at each renewal, unless Lessee provides Owner notice of intention not to renew 90 days prior to the expiration of any term.
3. **Rent.** Beginning with the date upon which construction of the Facility is started or nine (9) months after lease signing, whichever is sooner; rent will be paid quarterly, on the first day of each calendar quarter, at the rate of [REDACTED] per quarter, partial months to be prorated. In the event that three carriers exist on the tower, rent will increase to [REDACTED] per quarter, partial months to be prorated. In the event that four or more carriers exist on the tower, rent will increase to [REDACTED] per quarter, partial months to be prorated. Rents will not be retroactive.
4. **Title, Quiet Possession, and Access.** Owner represents and agrees (a) that it is the owner of the Site pursuant to the instrument set forth on Exhibit A; (b) that the Site is free from all encumbrances except as set forth on Exhibit A, (c) that it has the right to enter into this Agreement; (d) that the person signing this Agreement has the authority to sign; (e) that Lessee, its employees, agents, subcontractors, clients, and invitees are entitled to access to the Site at all times and to the quiet possession of the Site so long as Lessee is not in default beyond the expiration of any cure period; and (f) that Owner will not have unsupervised access to the Site or to the related Facility. Owner further represents, agrees and covenants that during the Initial Term and Renewal Terms of this Agreement Owner will not use, or permit others to use, any part of any real property currently owned, or hereafter acquired, by Owner within two (2) miles of the Site for any type of communication or broadcast tower or otherwise provide advice, services for development of competing properties or release any information about Lessee's business. Owner shall obtain non-disturbance, subordination and attornment agreement from prior lien holders as required by Lessee's title insurance company.
5. **Assignment/Subletting.** Either party may assign or transfer this Agreement with notice to the other party. Upon delivery of such notice the transferor will have no further liability under the Agreement. Lessee shall be allowed to sublet, or otherwise grant use rights to all or any portion of the Site and/or the Facility without the prior written consent of Owner, it being the express intention of Lessee to lease or license antenna, towers, shelters, and related space of the Facility to separate wireless communication carriers and other clients.
6. **Improvements.** Lessee may make such future improvements on or to the Site and Facility as it deems necessary. Owner agrees to cooperate with Lessee with respect to obtaining any required building/zoning approvals for the Site and improvements. Upon termination or expiration of this Agreement, Lessee shall remove the Facility and its other property located upon the Site, excepting the foundation, and will restore the Site to substantially the condition existing at inception of this lease, except for ordinary wear and tear and casualty loss. Lessee shall reimburse Owner any property tax increases directly attributable to Lessee's improvements. Owner shall fully cooperate with Lessee in any available administrative or court appeals of such tax increases.
7. **Compliance with Laws.** Owner represents that Owner's property (including the Site), and all improvements located thereon, are in substantial compliance with building, life/safety, disability and other laws, codes and regulations of applicable governmental authorities. Lessee will substantially comply with all applicable laws relating to its possession and use of the Site.
8. **Utilities.** Lessee will pay for all utility connections to the Site. Owner will cooperate with Lessee in Lessee's efforts to obtain utilities from the most economical source.
9. **Termination.** Lessee may terminate this Agreement at any time by notice to Owner without further liability, if Lessee does not obtain all permits or other approvals (collectively, "approval") required from any municipal and/or governmental

S.G.  
E.G.



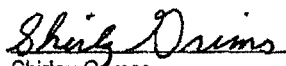
authority or any easements required from any third party to construct/operate the Facility for its intended use, or if any such approval is canceled, expires or is withdrawn or terminated, or if Owner fails to have proper ownership of the Site or authority to enter into this Agreement, or if Lessee, for any other reason, in its sole discretion, determines that it will be unable to use the Site for its intended purpose.

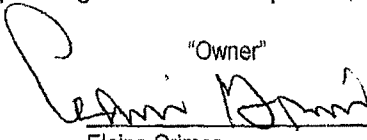
10. **Default.** If either party is in default under this Agreement for a period thirty (30) days following receipt of notice from the non-defaulting party shall have the right to pursue all legal remedies including termination of this Agreement. If a non-monetary default may not reasonably be cured within a thirty (30) day period, this Agreement may not be terminated if the defaulting party commences action to cure the default within such 30 day period and said default is substantially cured within ninety (90) days of the initial notice of default.
11. **Indemnity.** Owner and Lessee each indemnify the other against and hold the other harmless from any and all costs (including reasonable attorneys' fees) and claims of liability or loss which arise out of the use and/or occupancy of the Site or Facility by the direct actions or culpable omissions of the indemnifying party, its employees, agents or independent contractors. This indemnity does not apply to any claims arising from the sole negligence or intentional misconduct or omission of the party seeking indemnification.
12. **Hazardous Substances.** Owner represents that it has no knowledge of any substance, ground contamination, chemical or waste (collectively, "substance") on the Site that is identified as hazardous, toxic or dangerous in any applicable federal, state or local law or regulation. Lessee will not introduce or use any such substance on the Site in violation of any applicable law. Owner shall indemnify Lessee against and hold it harmless from any and all costs (including reasonable attorneys' fees) and claims of liability or loss which arise out of any occurrence or condition causing the presence of any such substance on the Site that occurred prior to the date of this Agreement or is directly attributable to the Owner's use of adjoining premises during the term of this agreement.
13. **Waiver of Owner's Lien.** (a) Owner waives any lien rights it may have concerning the Facility, which is deemed Lessee's personal property and not fixtures, and Lessee has the right to

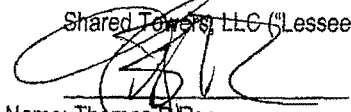
remove the same at any time without Owner's consent. Owner (i) disclaims any interest, now or in the future, in and to the Facility, as fixtures or otherwise; (ii) agrees that the Facility and the leasehold or other use interest of Lessee or its authorized sub lessees or users, shall be exempt from execution, foreclosure, sale, levy, attachment, or distress for any rent due or to become due, and (iii) agrees to provide any such lender with an estoppel statement regarding the above facts, such as the lack of a default hereunder, and any other information or document reasonably requested, such as a non-disturbance, subordination and attornment agreement, within five (5) days of request.

14. **Insurance.** Lessee, at its sole cost and expense, shall upon commencement of construction (upon use of mechanical equipment to disturb the land, but not for taking of soil samples or surveys and measurements) procure and maintain bodily injury and property insurance on the Facility with a combined single limit of at least One Million Dollars (\$1,000,000) per occurrence. A copy of such policy shall be furnished to Owner within 30 days of written request.
15. **Miscellaneous.** (a) This Agreement applies to and binds the heirs, successors, executors, administrators and assigns of the parties to this Agreement; (b) This Agreement is governed by the laws of the State in which the Site is located; (c) This Agreement (including the Exhibits) constitutes the entire agreement between the parties and supersedes all prior agreements; any amendments to this Agreement must be executed by both parties; (e) If any provision of this Agreement is invalid or unenforceable with respect to any party, the remainder of this Agreement, will not be affected and shall remain valid and enforceable to the extent permitted by law; (f) The prevailing party in any action or proceeding in court is entitled to receive its reasonable attorneys' fees and other reasonable enforcement (or, as applicable, defense) costs and expenses; (g) Owner agrees promptly to execute and deliver to Lessee, simultaneously herewith or forthwith hereafter, a recordable Memorandum of this Agreement in the form of Exhibit B; and (h) All notices are effective, on the third business day after their deposit via certified and postage prepaid mail, or, on the next business day after deposit via overnight delivery, to the address below.

This Site Lease Agreement is the complete agreement of the parties, replacing any prior written or verbal agreements.

By:   
 Name: Shirley Grimes  
 Title: Owner  
 Date: March 15, 2008  
 Address: 37 Shiloh Road  
Sharpsburg, KY 40374  
 Tax ID: [REDACTED]  
 Phone: 606-247-5233

"Owner"  
  
 Name: Elaine Grimes  
 Title: Owner  
 Date: March 15, 2008  
 Address: 37 Shiloh Road  
Sharpsburg, KY 40374  
 Tax ID: [REDACTED]  
 Phone: 606-247-5233

"Lessee"  
  
 Name: Thomas B. Roe  
 Title: Site Developer (Subject to Approval)  
 Date: March 15, 2008  
Kamal Doshi, Manager (Final Approval)  
 Date: \_\_\_\_\_  
1390 Chain Bridge Road #40  
McLean, VA 22101 Phone:  
(703)-893-0806

**EXHIBIT A**  
**Site Agreement - Site Description – Permitted Exceptions**

Site Name: **Bethel**

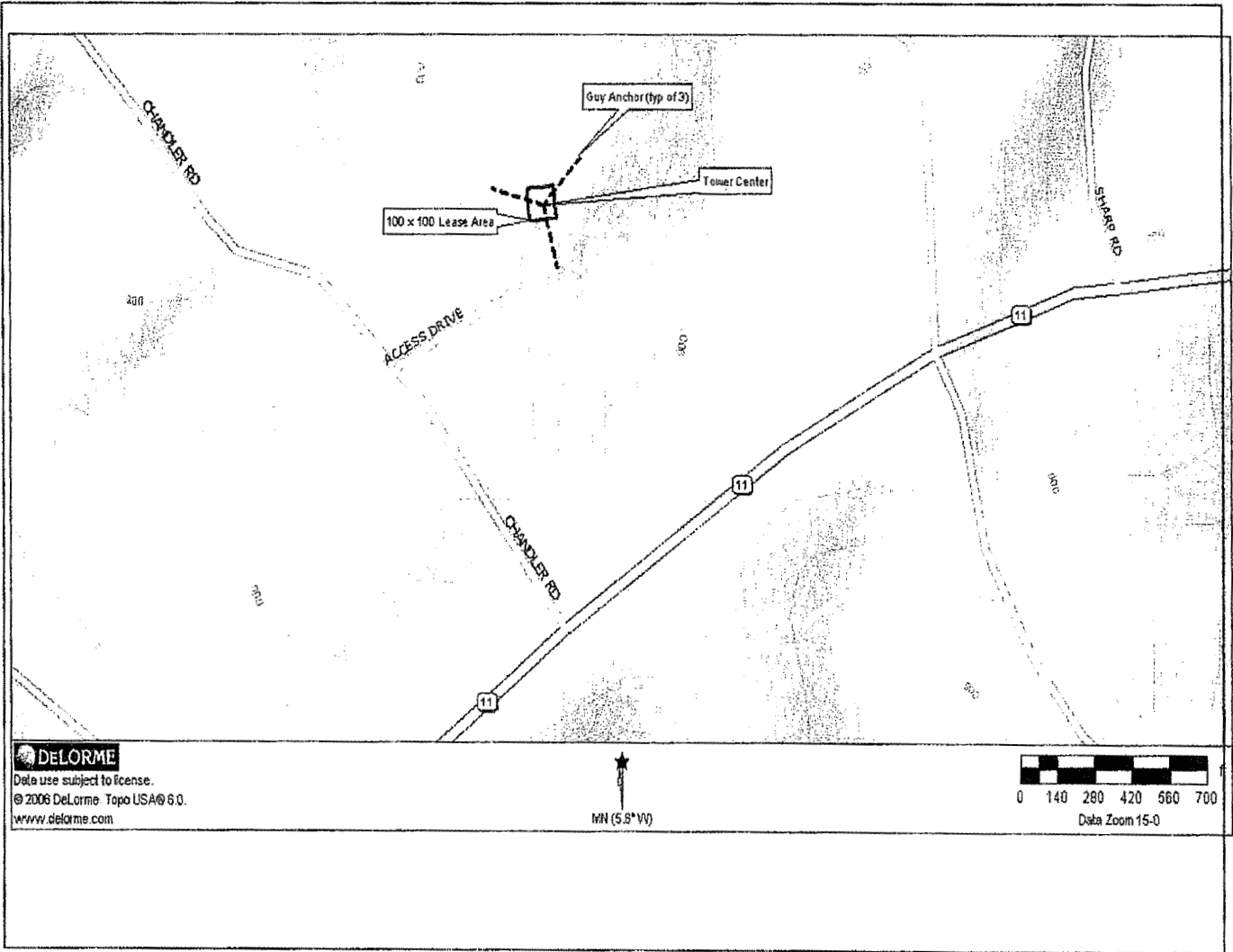
Site I.D.: \_\_\_\_\_

Site situated in the City/Town of Sharpsburg, County of Bath, State of Kentucky commonly described as follows:

Legal Description: A portion of the premises located at address: Chandler Road

more particularly described in Deed to: Shirley & Elaine Grimes dated March 1, 1991 and recorded in Bath County Registry of Deeds at Book \_\_\_\_\_, Page 197. Tax Map 20, Plot 11.02

Sketch of Site:



Permitted Exceptions: None.

**Note:** Owner and Lessee may, at Lessee's option, replace this Exhibit with an exhibit setting forth the legal description of the property on which the Site is located and/or a more detailed survey or drawing depicting the Site.

*S.S.*  
*E.G.*      *[Signature]*

**EXHIBIT M**  
**FLOOD PLAIN CERTIFICATION**

# J. D. WILLIAMS ENGINEERS - SURVEYORS INC.

600 BROOKVIEW DRIVE • MT. STERLING, KENTUCKY 40353  
(859) 498-1929 • FAX: (859) 498-1868

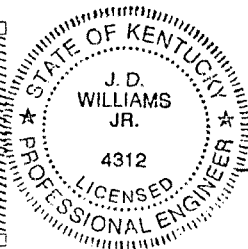
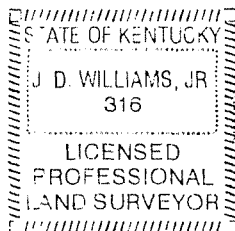
April 2, 2008

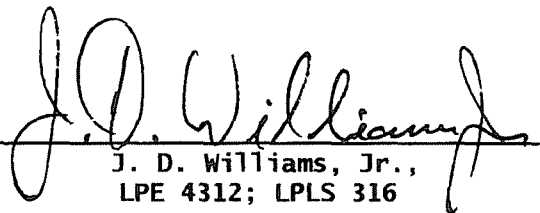
**Shared Sites, LLC.**  
1390 Chain Bridge Road No. 40  
McLean, VA 22101

**Re: Cell Tower "Bethel" Site  
Bath County, Kentucky**

To Whom It May Concern:

I hereby certify that the above named site is located on a high ridge area approximately 1300-feet southeast from the start of a small stream (tributary of Little Flat Creek) with an elevation of 835+/- feet, that said site is 81+/- feet higher in elevation than the starting point of the small stream. I further certify that the site does not lie within a Special Flood Hazard Area ("SFHA") as defined by the Federal Emergency Management Agency.



  
J. D. Williams, Jr.,  
LPE 4312; LPLS 316



**EXHIBIT N**  
**NOTIFICATION LISTING**

## Bethel Certification of Notification

1. Shirley & Elaine Grimes  
37 Shiloh Rd  
Sharpsburg, KY 40374
2. Pauline J. Cannon Et Al  
DBA SB Cannon Farm  
467 N. Hwy 11  
Sharpsburg, KY 40374
3. Ben Allen & Betty Sharp  
1199 N. Hwy 11  
Sharpsburg, KY 40374
4. Fred Razor  
6874 N. Hwy 11  
Sharpsburg, KY 40374
5. Daran Razor  
6804 N. Hwy 11  
Sharpsburg, KY 40374
6. Darrell & Sheila Ovington  
334 Cheyenne Rd  
Sharpsburg, KY 40374
7. William & Phyllis Gillespie  
213 Cheyenne Rd  
Sharpsburg, KY 40374
8. Wesley & Kimole Crouch  
2157 Sanderson Rd  
Sharpsburg, KY 40374
9. The Honorable Walter Shrout  
Bath County Judge Executive  
PO Box 39  
County Courthouse  
Owingsville, KY 40360

**U.S. Postal Service™**  
**CERTIFIED MAIL™ RECEIPT**  
*(Domestic Mail Only; No Insurance Coverage Provided)*

For delivery information visit our website at [www.usps.com](http://www.usps.com)

SHARPSBURG KY 40374  
**OFFICIAL USE**

Postage	\$ 0.41	0367
Certified Fee	\$2.65	
Return Receipt Fee (Endorsement Required)	\$2.15	
Restricted Delivery Fee (Endorsement Required)	\$0.00	
Total Postage & Fees	\$ 5.21	05/02/2008

Sent To *William L Phyllis Bugspie*  
 Street, Apt. No.; or PO Box No. *Unit 213 Cheyenne Rd*  
 City, State, ZIP+4 *Sharpsburg, KY 40374*

PS Form 3800, August 2006 See Reverse for Instructions

7007 3020 0000 1324 0247

**U.S. Postal Service™**  
**CERTIFIED MAIL™ RECEIPT**  
*(Domestic Mail Only; No Insurance Coverage Provided)*

For delivery information visit our website at [www.usps.com](http://www.usps.com)

SHARPSBURG KY 40374  
**OFFICIAL USE**

Postage	\$ 0.41	0367
Certified Fee	\$2.65	04
Return Receipt Fee (Endorsement Required)	\$2.15	
Restricted Delivery Fee (Endorsement Required)	\$0.00	
Total Postage & Fees	\$ 5.21	05/02/2008

Sent To *Wesley & Kimote Couch*  
 Street, Apt. No.; or PO Box No. *2157 Sanderson Rd*  
 City, State, ZIP+4 *Sharpsburg, KY 40374*

PS Form 3800, August 2006 See Reverse for Instructions

7007 3020 0000 1324 0254

**U.S. Postal Service™**  
**CERTIFIED MAIL™ RECEIPT**  
*(Domestic Mail Only; No Insurance Coverage Provided)*

For delivery information visit our website at [www.usps.com](http://www.usps.com)

SHARPSBURG KY 40374  
**OFFICIAL USE**

Postage	\$ 0.41	0367
Certified Fee	\$2.65	
Return Receipt Fee (Endorsement Required)	\$2.15	
Restricted Delivery Fee (Endorsement Required)	\$0.00	
Total Postage & Fees	\$ 5.21	05/02/2008

Sent To *DARAN RAZOR*  
 Street, Apt. No.; or PO Box No. *6804 N. Hwy 11*  
 City, State, ZIP+4 *SHARPSBURG, KY 40374*

PS Form 3800, August 2006 See Reverse for Instructions

7007 3020 0000 1324 0223

**U.S. Postal Service™**  
**CERTIFIED MAIL™ RECEIPT**  
*(Domestic Mail Only; No Insurance Coverage Provided)*

For delivery information visit our website at [www.usps.com](http://www.usps.com)

SHARPSBURG KY 40374  
**OFFICIAL USE**

Postage	\$ 0.41	0367
Certified Fee	\$2.65	
Return Receipt Fee (Endorsement Required)	\$2.15	
Restricted Delivery Fee (Endorsement Required)	\$0.00	
Total Postage & Fees	\$ 5.21	05/02/2008

Sent To *Darrell & Sheila Ovington*  
 Street, Apt. No.; or PO Box No. *334 Cheyenne Rd*  
 City, State, ZIP+4 *Sharpsburg, KY 40374*

PS Form 3800, August 2006 See Reverse for Instructions

7007 3020 0000 1324 0230

**U.S. Postal Service™**  
**CERTIFIED MAIL™ RECEIPT**  
*(Domestic Mail Only; No Insurance Coverage Provided)*

For delivery information visit our website at [www.usps.com](http://www.usps.com)

SHARPSBURG KY 40374  
**OFFICIAL USE**

Postage	\$ 0.41	0367
Certified Fee	\$2.65	
Return Receipt Fee (Endorsement Required)	\$2.15	
Restricted Delivery Fee (Endorsement Required)	\$0.00	
Total Postage & Fees	\$ 5.21	05/02/2008

Sent To *Ben Allen & Betty Sharp*  
 Street, Apt. No.; or PO Box No. *1199 N. Hwy 11*  
 City, State, ZIP+4 *Sharpsburg, KY 40374*

PS Form 3800, August 2006 See Reverse for Instructions

7007 3020 0000 1324 0209

**U.S. Postal Service™**  
**CERTIFIED MAIL™ RECEIPT**  
*(Domestic Mail Only; No Insurance Coverage Provided)*

For delivery information visit our website at [www.usps.com](http://www.usps.com)

SHARPSBURG KY 40374  
**OFFICIAL USE**

Postage	\$ 0.41	0367
Certified Fee	\$2.65	04
Return Receipt Fee (Endorsement Required)	\$2.15	
Restricted Delivery Fee (Endorsement Required)	\$0.00	
Total Postage & Fees	\$ 5.21	05/02/2008

Sent To *FRED RAZOR*  
 Street, Apt. No.; or PO Box No. *6814 N. Hwy 11*  
 City, State, ZIP+4 *SHARPSBURG, KY 40374*

PS Form 3800, August 2006 See Reverse for Instructions

7007 3020 0000 1324 0216

7007 3020 0000 1324 0267

U.S. Postal Service™  
**CERTIFIED MAIL™ RECEIPT**  
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information, visit our website at [www.usps.com](http://www.usps.com)

OWINGSVILLE KY 40360

Postage	\$ 0.41
Certified Fee	\$2.65
Return Receipt Fee (Endorsement Required)	\$2.15
Restricted Delivery Fee (Endorsement Required)	\$0.00
Total Postage & Fees	\$ 5.21

0367  
04  
MAY 02 2008  
Postmark Here  
05/02/2008

Sent To  
**The Honorable Judge Walter Shout** 137th County  
JUDGE EXEC.  
Street, Apt. No.;  
or PO Box No. **DO BOX 39** Courthouse  
City, State, ZIP+4  
**OWINGSVILLE, KY 40360**

PS Form 3800, August 2006 See Reverse for Instructions

7007 3020 0000 1324 0193

U.S. Postal Service™  
**CERTIFIED MAIL™ RECEIPT**  
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information, visit our website at [www.usps.com](http://www.usps.com)

SHARPSBURG KY 40374

Postage	\$ 0.41
Certified Fee	\$2.65
Return Receipt Fee (Endorsement Required)	\$2.15
Restricted Delivery Fee (Endorsement Required)	\$0.00
Total Postage & Fees	\$ 5.21

0367  
04  
MAY 02 2008  
Postmark Here  
05/02/2008

Sent To  
**Pauline J. Cannon DBA SB Cannon Farm**  
Street, Apt. No.;  
or PO Box No. **467 N. Hwy 11**  
City, State, ZIP+4  
**SHARPSBURG, KY 40374**

PS Form 3800, August 2006 See Reverse for Instructions

7007 3020 0000 1324 0278

U.S. Postal Service™  
**CERTIFIED MAIL™ RECEIPT**  
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information, visit our website at [www.usps.com](http://www.usps.com)

SHARPSBURG KY 40374

Postage	\$ 0.41
Certified Fee	\$2.65
Return Receipt Fee (Endorsement Required)	\$2.15
Restricted Delivery Fee (Endorsement Required)	\$0.00
Total Postage & Fees	\$ 5.21

0367  
04  
MAY 02 2008  
Postmark Here  
05/02/2008

Sent To  
**SHIRLEY & ELAINE GRIMES**  
Street, Apt. No.;  
or PO Box No. **37 SHILOH RD**  
City, State, ZIP+4  
**SHARPSBURG, KY 40374**

PS Form 3800, August 2006 See Reverse for Instructions

**EXHIBIT O**

**COPY OF PROPERTY OWNER NOTIFICATION**

Shirley & Elaine Grimes  
37 Shiloh  
Sharpsburg, KY 40374

RE: Public Notice – Kentucky Public Service Commission  
Docket No.: 2008-00092

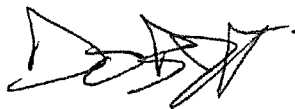
Dear Sir or Madam:

Shared Towers, LLC and American Cellular Corporation are making application to the Kentucky Public Service Commission (PSC) for a Certificate of Public Convenience and Necessity to construct and operate a new facility to provide wireless communication services. The facility will include a 305 foot tower with appurtenances attached to a maximum height of 311 feet, and a ground level equipment shelter(s) to be located at 212 Chandler Rd; Sharpsburg, KY 40374. The PSC regulations dictate that all owners of property within 500' of the proposed wireless facility and all owners of property which adjoins the property on which the wireless facility is proposed, are to be notified in writing. In addition, Shared Sites is required to notify the ranking local government official(s). This notice is being sent to you because you own property within a 500' radius of the proposed tower or own property which adjoins the property on which the tower is proposed.

The Kentucky Public Service Commission invites your comments regarding the proposed construction. You also have the right to intervene in this matter. Your initial communication to the PSC must be received by the PSC within 20 days of the date of the Postal cancellation on the envelope this letter was received in. Your comments and request for intervention should be addressed to: Executive Director's Office, Public Service Commission of Kentucky, 211 Sower Boulevard, Post Office Box 615, Frankfort, KY 40602-0615. Please refer to Docket No.: 2008-00092 in your correspondence.

Please feel free to contact David Jantzi at 315-376-3333, if you have any questions.

Sincerely,



David B Jantzi  
Boulevard Properties, LLC  
Representing:  
Shared Towers, LLC

Pauline J. Cannon  
DBA SB Cannon Farm  
467 N. Hwy 11  
Sharpsburg, KY 40374

RE: Public Notice – Kentucky Public Service Commission  
Docket No.: 2008-00092

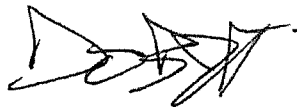
Dear Sir or Madam:

Shared Towers, LLC and American Cellular Corporation are making application to the Kentucky Public Service Commission (PSC) for a Certificate of Public Convenience and Necessity to construct and operate a new facility to provide wireless communication services. The facility will include a 305 foot tower with appurtenances attached to a maximum height of 311 feet, and a ground level equipment shelter(s) to be located at 212 Chandler Rd; Sharpsburg, KY 40374. The PSC regulations dictate that all owners of property within 500' of the proposed wireless facility and all owners of property which adjoins the property on which the wireless facility is proposed, are to be notified in writing. In addition, Shared Sites is required to notify the ranking local government official(s). This notice is being sent to you because you own property within a 500' radius of the proposed tower or own property which adjoins the property on which the tower is proposed.

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Please feel free to contact David Jantzi at 315-376-3333, if you have any questions.

Sincerely,

A handwritten signature in black ink, appearing to read 'David B Jantzi', with a stylized flourish at the end.

David B Jantzi  
Boulevard Properties, LLC  
Representing:  
Shared Towers, LLC

Ben Allen & Betty Sharp  
1199 N. Hwy 11  
Sharpsburg, KY 40374

RE: Public Notice – Kentucky Public Service Commission  
Docket No.: 2008-00092

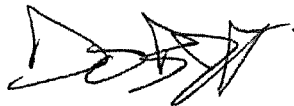
Dear Sir or Madam:

Shared Towers, LLC and American Cellular Corporation are making application to the Kentucky Public Service Commission (PSC) for a Certificate of Public Convenience and Necessity to construct and operate a new facility to provide wireless communication services. The facility will include a 305 foot tower with appurtenances attached to a maximum height of 311 feet, and a ground level equipment shelter(s) to be located at 212 Chandler Rd; Sharpsburg, KY 40374. The PSC regulations dictate that all owners of property within 500' of the proposed wireless facility and all owners of property which adjoins the property on which the wireless facility is proposed, are to be notified in writing. In addition, Shared Sites is required to notify the ranking local government official(s). This notice is being sent to you because you own property within a 500' radius of the proposed tower or own property which adjoins the property on which the tower is proposed.

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Please feel free to contact David Jantzi at 315-376-3333, if you have any questions.

Sincerely,



David B Jantzi  
Boulevard Properties, LLC  
Representing:  
Shared Towers, LLC



Fred Razor  
6874 N. Hwy 11  
Sharpsburg, KY 40374

RE: Public Notice – Kentucky Public Service Commission  
Docket No.: 2008-00092

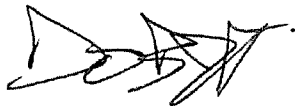
Dear Sir or Madam:

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Please feel free to contact David Jantzi at 315-376-3333, if you have any questions.

Sincerely,



David B Jantzi  
Boulevard Properties, LLC  
Representing:  
Shared Towers, LLC

Daran Razor  
6804 N. Hwy 11  
Sharpsburg, KY 40374

RE: Public Notice – Kentucky Public Service Commission  
Docket No.: 2008-00092

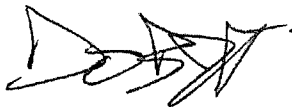
Dear Sir or Madam:

Shared Towers, LLC and American Cellular Corporation are making application to the Kentucky Public Service Commission (PSC) for a Certificate of Public Convenience and Necessity to construct and operate a new facility to provide wireless communication services. The facility will include a 305 foot tower with appurtenances attached to a maximum height of 311 feet, and a ground level equipment shelter(s) to be located at 212 Chandler Rd; Sharpsburg, KY 40374. The PSC regulations dictate that all owners of property within 500' of the proposed wireless facility and all owners of property which adjoins the property on which the wireless facility is proposed, are to be notified in writing. In addition, Shared Sites is required to notify the ranking local government official(s). This notice is being sent to you because you own property within a 500' radius of the proposed tower or own property which adjoins the property on which the tower is proposed.

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Please feel free to contact David Jantzi at 315-376-3333, if you have any questions.

Sincerely,



David B Jantzi  
Boulevard Properties, LLC  
Representing:  
Shared Towers, LLC

Darrell & Sheila Ovington  
334 Cheyenne Rd  
Sharpsburg, KY 40374

RE: Public Notice – Kentucky Public Service Commission  
Docket No.: 2008-00092

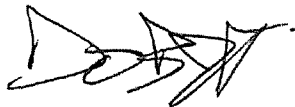
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Please feel free to contact David Jantzi at 315-376-3333, if you have any questions.

Sincerely,

A handwritten signature in black ink, appearing to read "David B Jantzi". The signature is stylized and somewhat cursive.

David B Jantzi  
Boulevard Properties, LLC  
Representing:  
Shared Towers, LLC

Wesley & Kimole Crouch  
2157 Sanderson Rd  
Sharpsburg, KY 40374

RE: Public Notice – Kentucky Public Service Commission  
Docket No.: 2008-00092

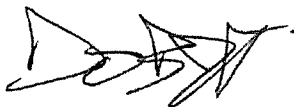
Dear Sir or Madam:

Shared Towers, LLC and American Cellular Corporation are making application to the Kentucky Public Service Commission (PSC) for a Certificate of Public Convenience and Necessity to construct and operate a new facility to provide wireless communication services. The facility will include a 305 foot tower with appurtenances attached to a maximum height of 311 feet, and a ground level equipment shelter(s) to be located at 212 Chandler Rd; Sharpsburg, KY 40374. The PSC regulations dictate that all owners of property within 500' of the proposed wireless facility and all owners of property which adjoins the property on which the wireless facility is proposed, are to be notified in writing. In addition, Shared Sites is required to notify the ranking local government official(s). This notice is being sent to you because you own property within a 500' radius of the proposed tower or own property which adjoins the property on which the tower is proposed.

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Please feel free to contact David Jantzi at 315-376-3333, if you have any questions.

Sincerely,

A handwritten signature in black ink, appearing to read 'D. Jantzi', with a stylized flourish at the end.

David B Jantzi  
Boulevard Properties, LLC  
Representing:  
Shared Towers, LLC

William & Phyllis Gillespie  
213 Cheyenne Rd  
Sharpsburg, KY 40374

RE: Public Notice – Kentucky Public Service Commission  
Docket No.: 2008-00092

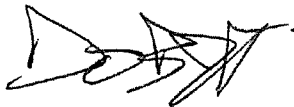
Dear Sir or Madam:

Shared Towers, LLC and American Cellular Corporation are making application to the Kentucky Public Service Commission (PSC) for a Certificate of Public Convenience and Necessity to construct and operate a new facility to provide wireless communication services. The facility will include a 305 foot tower with appurtenances attached to a maximum height of 311 feet, and a ground level equipment shelter(s) to be located at 212 Chandler Rd; Sharpsburg, KY 40374. The PSC regulations dictate that all owners of property within 500' of the proposed wireless facility and all owners of property which adjoins the property on which the wireless facility is proposed, are to be notified in writing. In addition, Shared Sites is required to notify the ranking local government official(s). This notice is being sent to you because you own property within a 500' radius of the proposed tower or own property which adjoins the property on which the tower is proposed.

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Please feel free to contact David Jantzi at 315-376-3333, if you have any questions.

Sincerely,

A handwritten signature in black ink, appearing to read 'D. Jantzi', with a stylized flourish at the end.

David B Jantzi  
Boulevard Properties, LLC  
Representing:  
Shared Towers, LLC

**EXHIBIT P**

**COPY OF JUDGE EXECUTIVE NOTICE**

The Honorable Walter ShROUT  
Bath County Judge Executive  
County Courthouse  
PO Box 39  
Owingsville, KY 40360

RE: Public Notice – Kentucky Public Service Commission  
Docket No.: 2008-00092

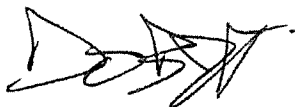
Dear Sir or Madam:

Shared Towers, LLC and American Cellular Corporation are making application to the Kentucky Public Service Commission (PSC) for a Certificate of Public Convenience and Necessity to construct and operate a new facility to provide wireless communication services. The facility will include a 305 foot tower with appurtenances attached to a maximum height of 311 feet, and a ground level equipment shelter(s) to be located at 212 Chandler Rd; Sharpsburg, KY 40374. The PSC regulations dictate that all owners of property within 500' of the proposed wireless facility and all owners of property which adjoins the property on which the wireless facility is proposed, are to be notified in writing. In addition, Shared Sites is required to notify the ranking local government official(s). This notice is being sent to you because you are the Bath County Judge Executive.

The Kentucky Public Service Commission invites your comments regarding the proposed construction. You also have the right to intervene in this matter. Your initial communication to the PSC must be received by the PSC within 20 days of the date of the Postal cancellation on the envelope this letter was received in. Your comments and request for intervention should be addressed to: Executive Director's Office, Public Service Commission of Kentucky, 211 Sower Boulevard, Post Office Box 615, Frankfort, KY 40602-0615. Please refer to Docket No.: 2008-00092 in your correspondence.

Please feel free to contact David Jantzi at 315-376-3333, if you have any questions.

Sincerely,



David B Jantzi  
Boulevard Properties, LLC  
Representing:  
Shared Towers, LLC

**EXHIBIT Q**  
**COPY OF POSTING NOTICES**



**SHARED TOWERS, LLC PROPOSES  
TO CONSTRUCT A TELECOMMUNICATIONS  
TOWER NEAR THIS SITE**

**IF YOU HAVE QUESTIONS PLEASE CONTACT**

David Jantzi (Shared Towers Representative)      Executive Director, Public Service Commission  
1390 Chain Bridge Rd. #40, McLean, VA 22101      OR      211 Sower Boulevard  
315-523-6258      PO Box 615, Frankfort, KY 40602  
Docket# 2008- 00092

**SHARED TOWERS, LLC PROPOSES  
TO CONSTRUCT A TELECOMMUNICATIONS  
TOWER ON THIS SITE**

**IF YOU HAVE QUESTIONS PLEASE CONTACT**

David Jantzi (Shared Towers Representative)      Executive Director, Public Service Commission  
1390 Chain Bridge Rd. #40, McLean, VA 22101      OR      211 Sower Boulevard  
315-523-6258      PO Box 615, Frankfort, KY 40602  
Docket# 2008- 00092

ATTN: Matt  
for 4130

BATH COUNTY NEWS OUTLOOK  
18 WATERS ST  
OWINGSVILLE, KY 40360

TERMINAL ID: 884989321  
MERCHANT #: 323231193992

VISA  
XXXXXXXXXXXXXXXX3169  
SALE  
BATCH: 000023 INVOICE: 023044  
DATE: APR 25, 08 TIME: 13:08  
SQ: 001 AU: NY AUTH NO: 028217

TOTAL \$9.00

CUSTOMER COPY

PUBLIC NOTICE

Shared Towers, LLC proposes to construct a telecommunications tower at 212 Chandler Rd, Sharpsburg, KY 40374. If you have any questions, please contact Tom Roe (Shared Towers representative) at 315-376-3333 or the Public Service Commission of Kentucky at 502-564-3940 and reference Docket #2008-00092.

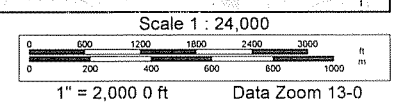
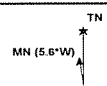
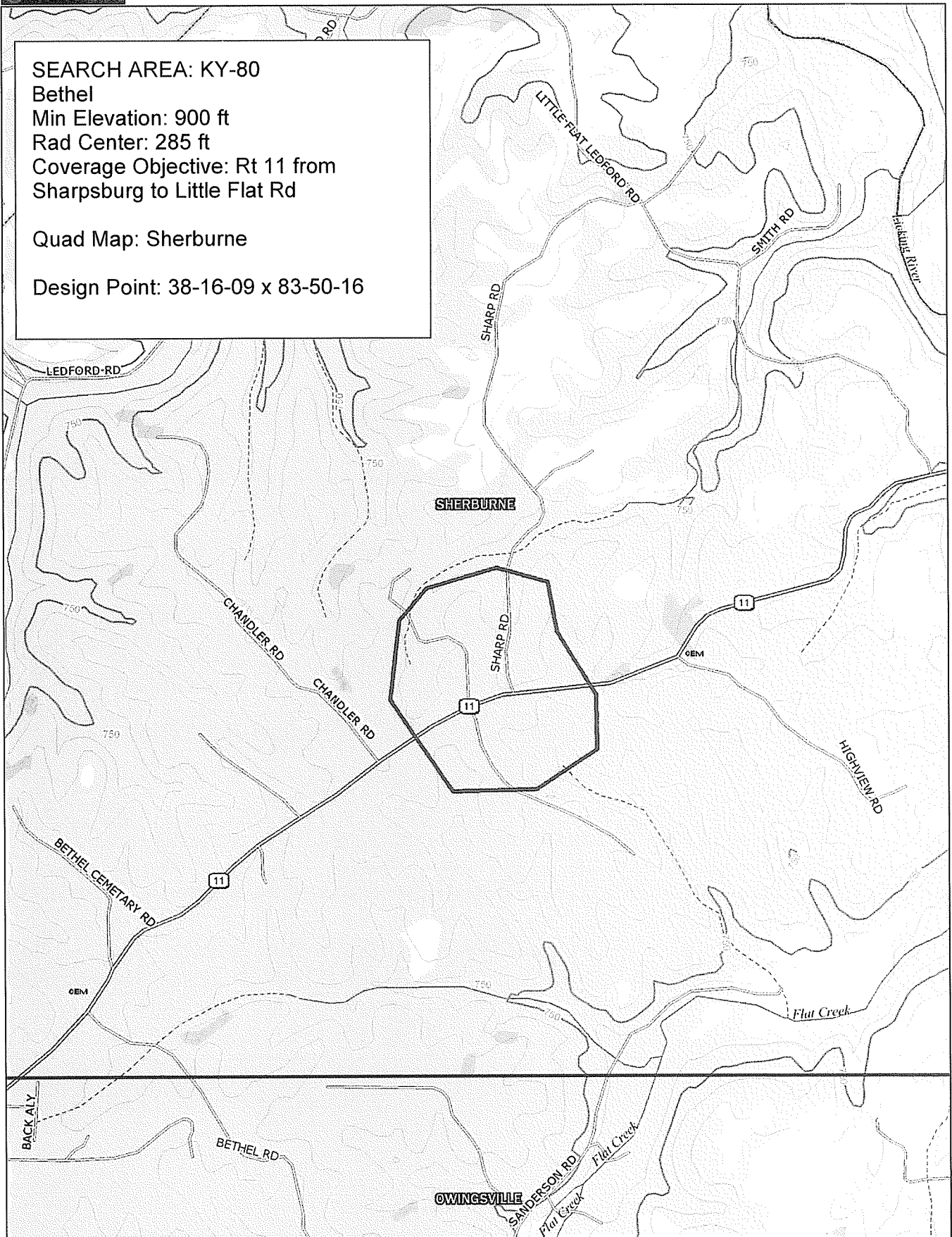
**EXHIBIT R**

**RADIO FREQUENCY DESIGN SEARCH AREA**

SEARCH AREA: KY-80  
 Bethel  
 Min Elevation: 900 ft  
 Rad Center: 285 ft  
 Coverage Objective: Rt 11 from  
 Sharpsburg to Little Flat Rd

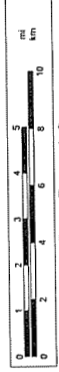
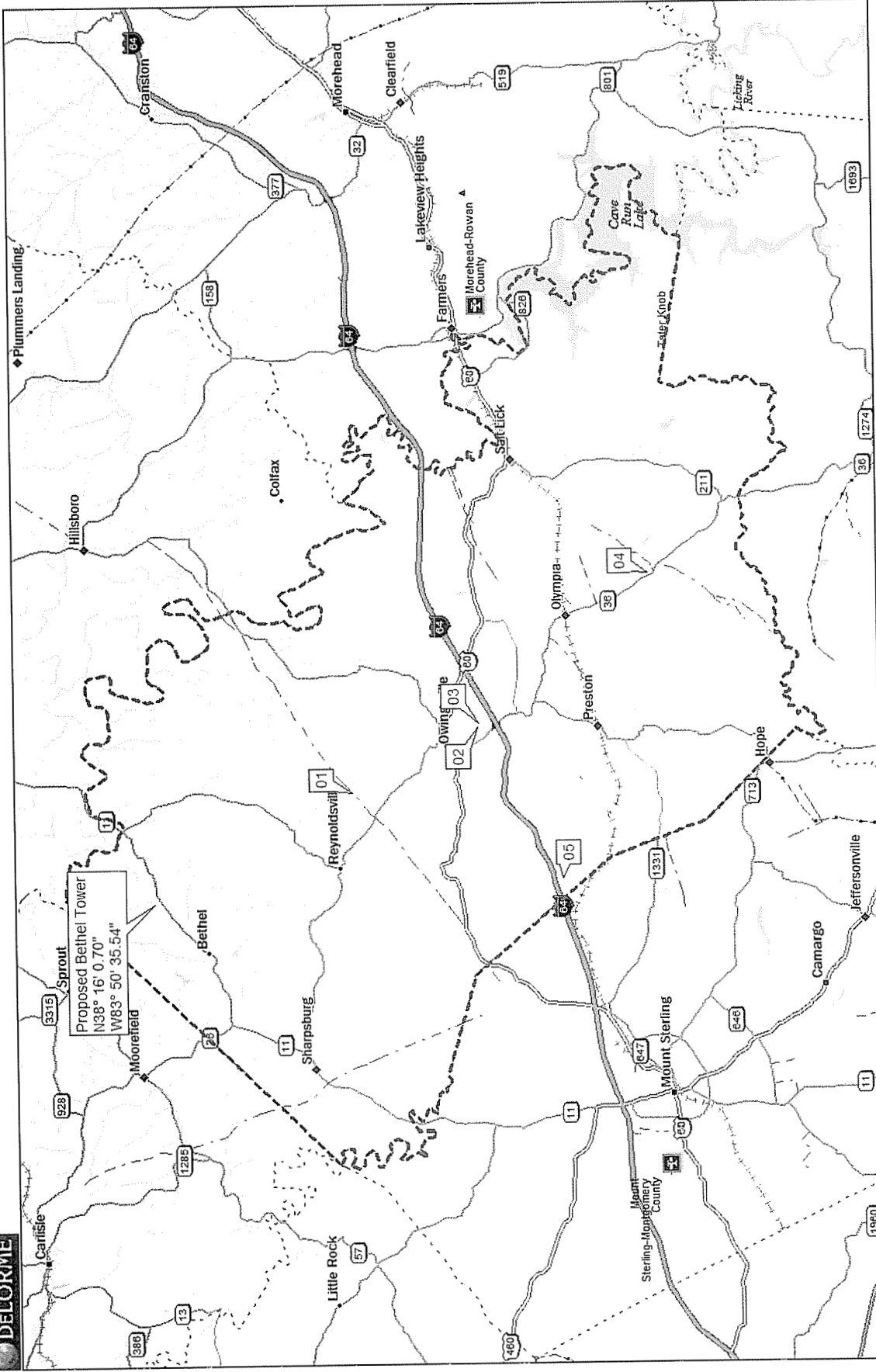
Quad Map: Sherburne

Design Point: 38-16-09 x 83-50-16



**EXHIBIT S**

**TOWER MAP FOR SUBJECT COUNTY**



Data Zoom 9-6

Registration Number	Status	File Number	Owner Name	Latitude/Longitude	Structure City/State	Overall Height (AGL) Meters
1	Constructed	A0337417	TEXAS EASTERN	38-11-08.0N 083-47-11.0W	REYNOLDSVILLE, KY	92.9
2	Constructed	A0455320	Global Tower, LLC	38-08-05.0N 083-45-10.0W	OWINGSVILLE, KY	94.8
3	Constructed	A0572327	NEW CINGULAR WIRELESS	38-08-02.2N 083-45-03.9W	OWINGSVILLE, KY	125
4	Constructed	A0420467	Becraft, Roger	38-03-52.0N 083-40-26.0W	OLYMPIA SPRINGS, KY	91
5	Constructed	A0290972	CROWN CASTLE PT, INC.	38-06-02.8N 083-49-52.9W	Owingsville, KY	83.8

