FOR THE PUBLIC RECORD

RECENTED

COMMONWEALTH OF KENTUCKY BEFORE THE PUBLIC SERVICE COMMISSION MAR **2 0** 2007

PUBLIC SCHVICE COMMISSION

IN THE MATTER OF:

APPLICATION OF SHARED SITES WV, LLC. AND AMERICAN CELLULAR CORPORATION FOR ISSUANCE OF A CERTIFICATE OF PUBLIC CONVIENENCE AND NECESSITY TO CONSTRUCT A WIRELESS COMMUNICATIONS FACILITY AT 227 HORN ROAD RUSSELL SPRINGS, KENTUCKY 42642 IN THE WIRELESS COMMUNICATIONS LICENSE AREA IN THE COMMONWEALTH OF KENTUCKY IN THE COUNTY OF RUSSELL

Case No. 2007-00061

SITE NAME: HORNTOWN SITE NUMBER: KY-150

* * * * * *

Shared Sites WV, LLC. As ultimate owner, and American Cellular Corporation, as a

licensed public utility in the commonwealth of Kentucky, make this application.

The property on which the Wireless Communications Facility ("WCF") will be built is located

at 227 Horn Road, Russell Springs, Kentucky 42642. The WCF site is geographically

positioned at 37° 04' 19.49" North latitude, 84° 59' 59.41" West longitude.

COMMONWEALTH OF KENTUCKY BEFORE THE PUBLIC SERVICE COMMISSION

IN THE MATTER OF:

SITE NAME:

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APPLICATION OF SHARED SITES WV, LLC. AND AMERICAN CELLULAR CORPORATION FOR ISSUANCE OF A CERTIFICATE OF PUBLIC CONVIENENCE AND NECESSITY TO CONSTRUCT A WIRELESS COMMUNICATIONS FACILITY AT 227 HORN ROAD RUSSELL SPRINGS, KENTUCKY 42642 IN THE WIRELESS COMMUNICATIONS LICENSE AREA IN THE COMMONWEALTH OF KENTUCKY IN THE COUNTY OF RUSSELL

HORNTOWN

KY-150

RECEIVED

MAR 202007

PUBLIC SERVICE COMMISSION

Case No. 2007-00061



Shared Sites WV, LLC. ("Shared Sites"), as ultimate owner, and American Cellular Corporation ("Provider") as a licensed public utility in the Commonwealth of Kentucky, hereinafter jointly referred to as "Applicants", respectfully submit their Application for a Certificate of Public Convenience and Necessity from the Public Service Commission to construct, maintain, and operate a Wireless Communications Facility ("WCF") to serve the customers of the Provider with wireless and telecommunications services, and other wireless service provider collocations in the area described herein.

In support of this Application, the Applicants respectfully provide and state the following information:

 The complete names and addresses of the Applicants are: Shared Sites WV, LLC., a Kentucky Limited Liability Company, having a mailing address of 1390 Chain Bridge Road #40, McLean, Virginia 22101 (703) 893-0806.

American Cellular Corporation, a Delaware Corporation, 3910 South Ave. Youngstown, OH 44512, 73134 having a local address of 124 South Keeneland Drive, Suite 1, Richmond, KY 40475, (606) 544-2355.

2. Shared Sites constructs, owns, manages, maintains, and operates independent communications networks. Shared Sites owns and manages safe, clean and well maintained facilities. Shared Sites facilities do not generate smoke, odors, noise, noxious gases, vibrations, or traffic increase. Shared Sites facilities will not pollute air, soil, or water, nor will they adversely affect radio or television reception or transmission. A certified copy of the Certificate of a Limited Liability Company issued by the Secretary of State of the State of West Virginia and a copy of the Certificate of Authorization which was issued by the Secretary of State of the Secretary of State of the Commonwealth of Kentucky for Shared Sites WV, LLC. are attached or described as part of **Exhibit A.** A copy of the Certificate of Authorization issued by the Secretary of State of the Commonwealth of Kentucky and a copy of the Certificate of Merger issued by the Secretary of State of the Commonwealth of Kentucky and a copy of the Certificate of Merger issued by the Secretary of State of the Commonwealth of Kentucky and a copy of the Certificate of Merger issued by the Secretary of State of the Commonwealth of Kentucky and a copy of the Certificate of Merger issued by the Secretary of State of the State of Delaware for the Provider are attached or described as part of **Exhibit B**.

3. After completion of the proposed WCF, Shared Sites will lease or license space on said tower and the surrounding site so the Provider may locate and operate its facility including all required antennas and appurtenances. The proposed WCF will serve an area completely within the Provider's Federal Communications Commission ("FCC")

licensed service area in the Commonwealth of Kentucky. The Provider is authorized to provide wireless service by the FCC and the PSC. A copy of the Provider's FCC license to provide wireless service is attached to this Application or described as part of **Exhibit C**. Shared Sites has located the proposed site in a manner such that other wireless communications service providers will desire to collocate on said tower, and will endeavor to provide all necessary facilities to make collocation attractive to them.

4. The public convenience and necessity require the construction of the proposed WCF. The construction of the WCF will bring the Provider's services to an area currently not served or not adequately served by the Provider and will thereby enhance the public's access to innovative and competitive wireless telecommunications services. The WCF will provide a necessary link in the Provider's telecommunications network that is designed to meet the increasing demands for wireless services in Kentucky's wireless communications licensed area. The WCF is an integral link in the Provider's network design that must be in place to cover the proposed service area.

5. Shared Sites' construction of the described WCF is desirable because it allows for the collocation of additional wireless service providers within this portion of the Kentucky wireless communications licensed area. These services may include telecommunications, wireless data transfer and internet services, wireless cable, paging systems, 911 service, and other new products currently being developed in the wireless industry. In addition, the WCF will be available for use by governmental agencies and providers of emergency services. The WCF will provide a necessary link in Shared Sites' and the Provider's wireless infrastructure networks, and Shared Sites, as part of it's business structure, will diligently pursue and encourage other wireless providers to collocate on the WCF. These services will provide increased competition in the in the local

Kentucky telecommunications market, which will, in turn, promote competitive pricing, quality, and coverage options to users of telecommunications services in this area. Shared Sites' vested interest in the collocation of wireless service providers promotes the same goals for the local consumers.

6. The Applicants propose to construct a WCF at 227 Horn Road, Russell Springs, Kentucky 42642 (37° 04' 19.49" North latitude, 84° 59' 59.41" West longitude). In an area located entirely within the county referenced in the caption of this application. The property on which the WCF will be located is owned by Arvin Ray Wilson and Joyce Wilson. The proposed WCF will consist of a 250 foot guyed tower with an approximately 6foot lightning arrester attached to the top, for a total height of 256 feet. The WCF will also include concrete foundations to accommodate the placement of the Provider's proprietary radio electronics equipment. The equipment will be housed in a prefabricated cabinet or shelter that will contain: (i) the transmitting and receiving equipment required to connect the WCF with the Provider's users in Kentucky. (ii) telephone lines that will link the WCF with the Provider's other facilities, (iii) battery back-up that will allow the Provider to operate even after a loss of outside power, and (iv) all other necessary appurtenances. The Provider's equipment cabinet or shelter will be approved for use in the commonwealth of Kentucky by the relevant building inspector. The WCF compound will be fenced and all access gate(s) will be secured. A description of the manner in which the proposed WCF will be constructed is attached as Exhibit D and Exhibit E. Periodic inspections will be performed on the WCF in accordance with the applicable regulations or requirements of the PSC. The list of competing utilities, corporations, or persons is attached as Exhibit F.

7. Reduced copies of the site development plan have been included as ExhibitD and Exhibit E of this application. A vertical profile sketch of the WCF signed and sealed

by a professional engineer registered in Kentucky depicting the tower height, as well as a proposed configuration for the antennas of the provider and future antenna mounts, has also been included as part of **Exhibit E**. Foundation design plans and a description of the standards according to which the tower was designed signed and sealed by a professional engineer registered in Kentucky is included as part of **Exhibit D**.

8. The Applicants have considered the likely effects of the installation of the proposed WCF on nearby land uses and values and have concluded there is no more suitable location reasonably available from which adequate services can be provided, and that there are no reasonably available opportunities to collocate. The Applicants have attempted to collocate on suitable existing structures such as telecommunications towers or other suitable structures capable of supporting the Provider's facilities. No other suitable and available collocation site was found to be located in the vicinity of the site. Information regarding the Applicants' efforts to achieve collocation in the vicinity are presented as **Exhibit G**.

9. The Applicants have conducted a preliminary aeronautical evaluation for the proposed WCF. The evaluation determined that the proposed structure height at this site meets Federal Aviation Administration ("FAA") Regulation requirements. Furthermore, FAA notice is required for the proposed construction, and lighting or marking requirements may be applicable to this facility. A copy of the FAA Application is attached as **Exhibit H**. Upon receiving a "Determination" from the FAA, the Applicants will forward a copy as a supplement to this Application Proceeding

10. A copy of the Kentucky Airport Zoning Commission ("KAZC") Application for the proposed WCF is attached as **Exhibit I**. Upon receiving authorization from the KAZC,

the Applicants will forward a copy of the determination as a supplement to this Application . Proceeding

11. The WCF will be registered with the FCC pursuant to applicable federal requirements. Appropriate required signage will be posted on this site upon receipt of the tower registration number.

12. A geotechnical-engineering firm has performed soil boring(s) and subsequent geotechnical-engineering studies at the WCF site under the supervision of a professional engineer registered in the Commonwealth of Kentucky who specializes in geotechnical engineering, including subsurface exploration. The geotechnical-engineering firm has performed many such studies for the communications industry. A copy of the geotechnical-engineer registered in the Commonwealth of Kentucky who specializes in geotechnical-engineer registered in the Commonwealth of Kentucky who specializes in geotechnical engineer registered in the Commonwealth of Kentucky who specializes in geotechnical engineering, including subsurface exploration, is attached as **Exhibit J**. The name and address of the geotechnical-engineering firm and the professional engineer registered in the Commonwealth of Kentucky who supervised the examination of this WCF site are included in **Exhibit J**.

13. Clear directions to the proposed WCF site from the County seat are attached as **Exhibit K**. The name and address of the preparer of **Exhibit K** is included in **Exhibit K**.

14. Shared Sites, pursuant to a written agreement, has acquired the right to use the WCF site and associated property rights. A copy of the agreement or an abbreviated agreement recorded with the County Clerk is attached as **Exhibit L**. Also included as part of **Exhibit L** is the portion of the full agreement demonstrating that in the case of abandonment a method is provided to dismantle and remove the cellular antenna tower

15. Personnel directly responsible for the design and construction of the proposed WCF are well-qualified and experienced. World Tower Company, Inc. (the Tower Manufacturer) performed the tower and foundation design. The Tower Manufacturer is a nationally recognized manufacturer and designer of communication towers. The Tower Manufacturer has designed and installed communications towers throughout North America. The Tower Manufacturer has assigned Peter Jernigan and/or Kirk R. Hall, both professional engineers registered in the commonwealth of Kentucky, to design the Tower for the WCF. Both engineers specialize in the design and engineering of guyed, self support and monopole structures, and have extensive experience in the design and construction of projects similar to the Applicants'. These projects include the design of towers and the required foundations of many other wireless facilities. All of the designs have been/will be signed and sealed by Peter Jernigan or Kirk R. Hall. The construction of the proposed WCF will be performed by Shared Sites or their agents who are insured and experienced tower erection specialists. The Project Manager, David Jantzi, will manage the construction of the WCF and the tower erection. David has been erecting towers for the telecommunications industry for over 15 years. All tower designs will meet or exceed applicable laws and regulations.

16. Based on a review of Federal Emergency Management Agency Flood Insurance Rate Maps, the registered land surveyor has certified in **Exhibit M** that the proposed WCF is not located within any flood hazard area.

17. The possibility of high winds has been considered in the design of this tower. The tower has been designed and engineered by professional engineers using computer assistance and the same accepted codes and standards as are typically used for high-rise building construction. The tower has been designed to withstand a wind loading of 70

m.p.h. with ½ inch of radial ice. This tower has been designed in accordance with the Electronic Industries Association ("EIA") 222-F 1996 Standards, which have been accepted and approved by ANSI and is a nationally recognized tower design standard. Similarly, the proposed WCF design has been developed with consideration of potential ground shaking based on a negligible seismic zone of 1. Seismic loading is regarded as secondary to the wind loading.

18. The site development plan signed and sealed by a professional engineer registered in Kentucky was prepared by David B. Sharp, and was designed from a survey performed by Michael E. McKinney. This site development plan is drawn to a scale of no less than one (1) inch equals 200 feet, and identifies every owner of real estate within 500 feet of the proposed tower (according to the Property Valuation Administrator) and is incorporated in the survey as part of **Exhibit E**. Every structure and every easement within 500 feet of the proposed tower or within 200 feet of the access road including intersection with the public street system is incorporated in the survey as part of **Exhibit E**.

19. Shared Sites, on behalf of itself and the Provider, has notified every person who owns property within 500 feet of the proposed tower by certified mail, return receipt requested, of the proposed construction. Each property owner has been informed of their right to request intervention. A list of the nearby property owners who received the notices, together with copies of the certified letters, are attached as **Exhibit N** and **Exhibit O**, respectively.

20. Shared Sites, on behalf of itself and the Provider, has notified the Russell County Judge Executive by certified mail, return receipt requested, of the proposed construction. This notice informed the Russell County Judge Executive of his/her right to request intervention. A copy of this notice is attached as **Exhibit P**.

21. Two appropriate notice signs measuring at least two (2) feet in height and four (4) feet in width with all required language in letters of required height have been posted in a visible location on the proposed site and on the nearest public road and shall remain posted for at least two (2) weeks after filing of the Application. Copies of the postings are attached as **Exhibit Q**. The location of the proposed facility has been published in a newspaper of general circulation in the county where the WCF is located.

22. The property where the WCF is proposed to be constructed is not zoned.

23. The process that was used in selecting the site for the proposed WCF by the Applicants' radio frequency engineers was consistent with the process used for selecting generally all other existing and proposed WCF facilities within the proposed network design Before beginning the acquisition process, the Applicants carefully evaluated the area. location of the required WCF for possible collocation opportunities on existing structures. Radio Frequency Engineers used computer programs to evaluate the most effective coverage design for facilitating collocation potential on the proposed tower. Shared Sites and the Provider's radio frequency engineers have combined their efforts in order to develop a highly efficient network that is designed to serve the Federal Communications Commission licensed territory without extending beyond the Provider's approved boundary. The engineers selected the optimum vicinity in terms of elevation and location to provide the best quality service to customers in the service area. A proposed coverage area was considered by the Applicants when searching for sites that would provide both (i) the coverage deemed necessary by the Provider, and (ii) the coverage deemed necessary by Shared Sites to permit the integration of the proposed WCF into Shared Sites' overall network design. No suitable towers or existing structures were found in the immediate area

which would meet the technical requirements for this element of the telecommunications network. A map of the area in which the tower is proposed to be located which is drawn to scale and clearly depicts the necessary search area within which the site, pursuant to radio frequency requirements, be located is attached as **Exhibit R**.

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24. A grid map showing the location of all existing cellular antenna towers that includes the general position of proposed construction sites for new cellular antenna towers within the Commission's jurisdiction and one-half mile outside the boundary of the planning unit's jurisdiction if that area contains either existing or proposed construction sites for cellular antenna towers is attached as **Exhibit S**.

25. All Exhibits to this application are hereby incorporated by reference as if fully set out as part of the Application.

26. All responses and requests associated with this Application may be directed

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to:

David Jantzi Boulevard Properties, LLC 7383 Utica Blvd. Lowville, NY 13367 Telephone: (315) 523-6258

And

Kamal Doshi Shared Sites WV, LLC 1390 Chain Bridge Road #40 McLean, VA 22101 Wherefore, the applicants respectfully request that the PSC accept the foregoing Application for filing and having met the requirements of KRS 278.020 and all applicable rules and regulations of the PSC, grant a Certificate of Public Convenience and Necessity to construct and operate the WCF at the location set forth herein for the respective networks in the commonwealth of Kentucky.

Respectfully submitted,

Kamal Doshi Shared Sites WV, LLC 1390 Chain Bridge Road #40 McLean, Virginia 22101 Telephone: (703) 893-0806

And

Timothy J. Duffy Chief Technical Officer / Senior Vice President Network Operations & Engineering American Cellular Corporation 14201 Wireless Way Oklahoma City, OK 73134 (405) 529-8660

LIST OF EXHIBITS

- A. Certificate of LLC from the State of West Virginia and copy of application for Certificate of Authority to the State of Kentucky for Shared Sites WV, LLC.
- B. Certificate of Authorization from the State of Kentucky and Certificate of Merger for American Cellular Corporation
- C. Copy of FCC license for American Cellular Corporation
- D. Tower and Foundation Plan
- E. Site Development Plan:

Vicinity Map Property Owner Listing 500' Vicinity Map Legal Descriptions Site Plan Vertical Tower Profile

- F. Competing Utilities, Corporations, or Persons List
- G. Collocation Report
- H. Application to FAA
- I. Application to Kentucky Airport Zoning Commission
- J. Geotechnical report
- K. Directions to WCF Site
- L. Copy of Real Estate Agreement
- M. Flood Plain Certification
- N. Certification of Notification
- O. Copy of Property Owner Notification
- P. Copy of County Judge Executive Notice
- Q. Copy of Posting Notices
- R. Copy of Radio Frequency Design Search Area
- S. Tower Map for Subject County

EXHIBIT A

CERTIFICATE OF LLC FROM THE STATE OF WEST VIRGINIA

AND

CERTIFICATE OF AUTHORITY FROM THE COMMONWEALTH OF KENTUCKY

FOR SHARED SITES WV, LLC



I. Betty Ireland, Secretary of State of the State of West Virginia, hereby certify that

SHARED SITES WV, LLC

Control Number: 90252

has filed its "Articles of Organization" in my office according to the provisions of West Virginia Code §§31B-2-203 and 206. Thereby declare the organization to be registered as a limited liability company from its effective date of December 20, 2006 until the expiration of the term or termination of the company.

Therefore, I hereby issue this

CERTIFICATE OF A LIMITED LIABILITY COMPANY



Given under my hand and the Great Seal of the State of West Virginia on this day of December 20, 2006

Detty Treland

Secretary of State

Commonwealth of Kentucky Trey Grayson Secretary of State

Certificate of Authorization

I, Trey Grayson, Secretary of State of the Commonwealth of Kentucky, do hereby certify that according to the records in the Office of the Secretary of State,

SHARED SITES WV, LLC

, a limited liability company organized under the laws of the state of West Virginia, is authorized to transact business in the Commonwealth of Kentucky and received the authority to transact business in Kentucky on December 20, 2006.

I further certify that all fees and penalties owed to the Secretary of State have been paid; that an application for certificate of withdrawal has not been filed; and that the most recent annual report required by KRS 275.190 has been delivered to the Secretary of State.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my Official Seal at Frankfort, Kentucky, this 7th day of February, 2007.

Certificate Number: 43278 Jurisdiction: Boulevard Properties, LLC Visit <u>http://apps.sos.ky.gov/business/obdb/certvalidate.aspx_to</u> validate the authenticity of this certificate.



Tabr

Trey Grayson Secretary of State Commonwealth of Kentucky 43278/0653332

EXHIBIT B

CERTIFICATE OF AUTHORIZATION FROM THE COMMONWEALTH OF KENTUCKY

AND

CERTIFICATE OF MERGER FROM THE STATE OF DELAWARE

FOR AMERICAN CELLULAR CORPORATION

Commonwealth of Kentucky Trey Grayson Secretary of State

Certificate of Authorization

I, Trey Grayson, Secretary of State of the Commonwealth of Kentucky, do hereby certify that according to the records in the Office of the Secretary of State,

AMERICAN CELLULAR CORPORATION

, a corporation organized under the laws of the state of Delaware, is authorized to transact business in the Commonwealth of Kentucky, and received the authority to transact business in Kentucky on January 20, 2004.

I further certify that all fees and penalties owed to the Secretary of State have been paid; that an application for certificate of withdrawal has not been filed; and that the most recent annual report required by KRS 271B.16-220 has been delivered to the Secretary of State.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my Official Seal at Frankfort, Kentucky, this 13th day of February, 2006.

Certificate Number: 26879 Jurisdiction: Shared Sites, LLC Visit <u>http://apps.sos.ky.gov/business/obdb/certvalidate.aspx_to</u> validate the authenticity of this certificate.



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Trey Grayson Secretary of State Commonwealth of Kentucky 26879/0576718

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Delaware

PAGE 1

The First State

I, HARRIET SMITH WINDSOR, SECRETARY OF STATE OF THE STATE OF DELAWARE, DO HEREBY CERTIFY THE ATTACHED IS A TRUE AND CORRECT COPY OF THE CERTIFICATE OF MERGER, WHICH MERGES:

"ACC OF KENTUCKY LLC", A DELAWARE LIMITED LIABILITY COMPANY, WITH AND INTO "AMERICAN CELLULAR CORPORATION" UNDER THE NAME OF "AMERICAN CELLULAR CORPORATION", A CORPORATION ORGANIZED AND EXISTING UNDER THE LAWS OF THE STATE OF DELAWARE, AS RECEIVED AND FILED IN THIS OFFICE THE THIRTY-FIRST DAY OF DECEMBER, A.D. 2003, AT 10:30 O'CLOCK A.M.

AND I DO HEREBY FURTHER CERTIFY THAT THE EFFECTIVE DATE OF THE AFORESAID CERTIFICATE OF MERGER IS THE THIRTY-FIRST DAY OF DECEMBER, A.D. 2003, AT 11:30 O'CLOCK A.M.

A FILED COPY OF THIS CERTIFICATE HAS BEEN FORWARDED TO THE NEW CASTLE COUNTY RECORDER OF DEEDS.



2222565 8100M

00004555

Harriet Smith Windsor, Secretary of State

Varriet Smith Windson

AUTHENTICATION: 2856461

EXHIBIT C

COPY OF FCC LICENSE FOR AMERICAN CELLULAR

Federal Communications Commission

Wireless Telecommunications Bureau

Radio Station Authorization

LICENSEE NAME: American Cellular Corporation

RONALD L. RIPLEY AMERICAN CELLULAR CORPORATION 14201 WIRELESS WAY OKLAHDMA CITY OK 73134

FCC Registration	• •
Call Sign	File Number
KNKN666	0001571120
CL - Cel	
Market Number	Channel Block
CMA447	. · A

Page 1 of 6

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Kentucky 5 - Barren

Market Name

Grant Date	Effective Date	Expiration Date	Five Yr Build-Out Date	Print Date
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SITE INFORMATION

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Conditions:

Pursuant to Section 309(h) of the Communications Act of 1934, as amended, 47 U.S.C. Section 309(h), this license is subject to the following conditions: This license shall not vest in the licensee any right to operate the station nor any right in the use of the frequencies designated in the license beyond the term thereof nor in any other manner than authorized herein. Neither the license nor the right granted thereunder shall be assigned or otherwise transferred in violation of the Communications Act of 1934, as amended. See 47 U.S.C. Section 310(d). This license is subject in terms to the right of use or control conferred by Section 706 of the Communications Act of 1934, as amended. See 47 U.S.C. Section 606.

EXHIBIT D

TOWER AND FOUNDATION DESIGN



February 13, 2007

Boulevard Properties 7383 Utica Blvd. Lowville, NY 13367

Attn: Mr. Dave Jantzi

Re: lower and Foundation Designs for Kentucky EOM#8959A

Dear Dave.

This letter is in response to your inquiry about the design of your towers and foundations being located in Kentucky.

- The tower and foundation designs are reviewed and sealed by a Professional Engineer actively licensed in the State of Kentucky. More specifically, it is planned that the structural drawings will be sealed by me or Mr. Kirk R. Hall, P.E.
- We use site-specific soils reports (as provided by the tower owner) to design tower foundations. The soils reports are then referenced in the foundation general notes of the structural drawings.
- The full tower loading and reactions are used for the foundation designs. The foundation design reactions are listed on the tower and foundation drawings.

This criteria will be applied to the following proposed sites:

- Crayeraft, Adair County
- Little Clifty, Adair County
- Duff. Lincoln County
- Horntown, Russell County
- Kings Mountain, Lincoln County
- Wilderness Trail. Lincoln County
- Neals Creek, Lincoln County
- Zula, Wayne County
- Cartwright, Clinton County
- Snow, Clinton County
- Greene Grove, Cumberland County

If you have any questions regarding this information, please do not hesitate to contact us at (740) 522-2287 x 356. (1 + 1)

Sincerely.

Pete Jernigan, P.E. TEP #070002.02



Kirk R. Hall, P.E. EOM Civil Structural Group

1984 COFFMAN RD. SUITE C • NEWARK, OH 43055 PHONE: (740) 522-2287 • FAX: (740) 522-4929



WORLD TOWER COMPANY, INC.

1213 Compressor Drive P.O. Box 508 Mayfield, KY 42066 270.247.3642 Fax: 270.247.3509 worldtower@worldtower.com www.worldtower.com

Fabrication, Installation, and Maintenance of TV, AM, FM, & Wireless Communications Towers.

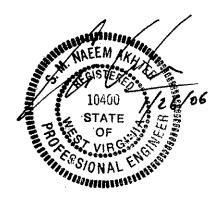


World Tower

1213 Compressor Drive P.O. Box 508 Mayfield, KY 42066 270-247-3642 F.A.X: 270-247-0909 E-mail: <u>worldtower@worldtower.com</u> Web: <u>www.worldtower.com</u>

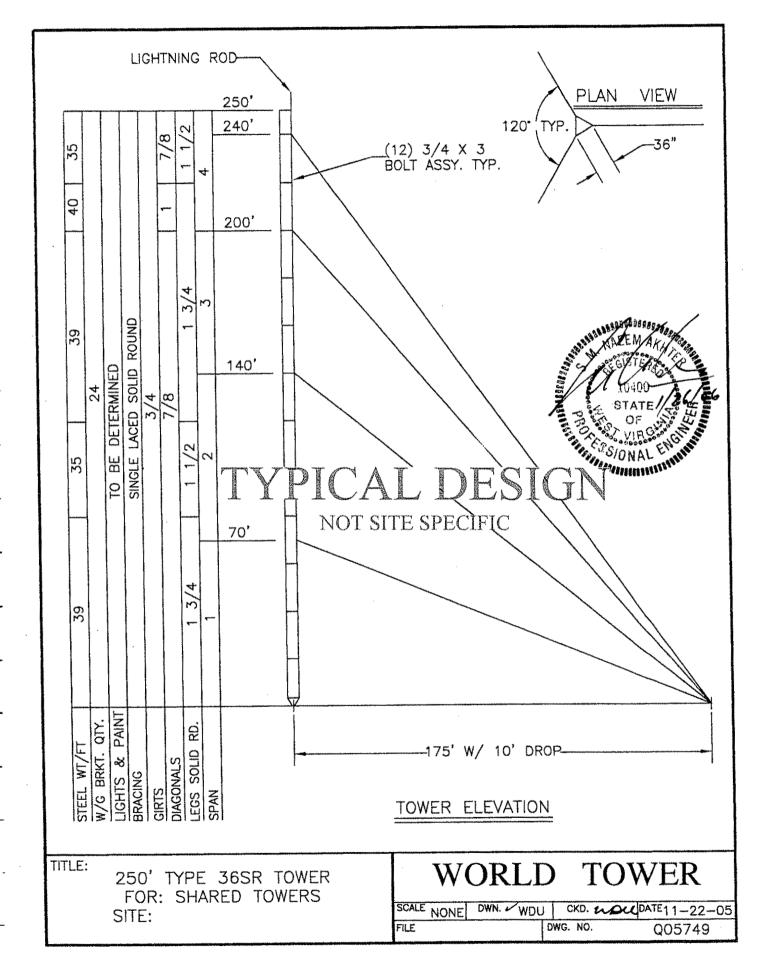
250' TYPE 36SR TOWER FOR: SHARED TOWERS SITE:

DESIGN PACKAGE





Fabrication, Insultation, and Maintenance of TV, AM, FM, & Wireless Communications Towers

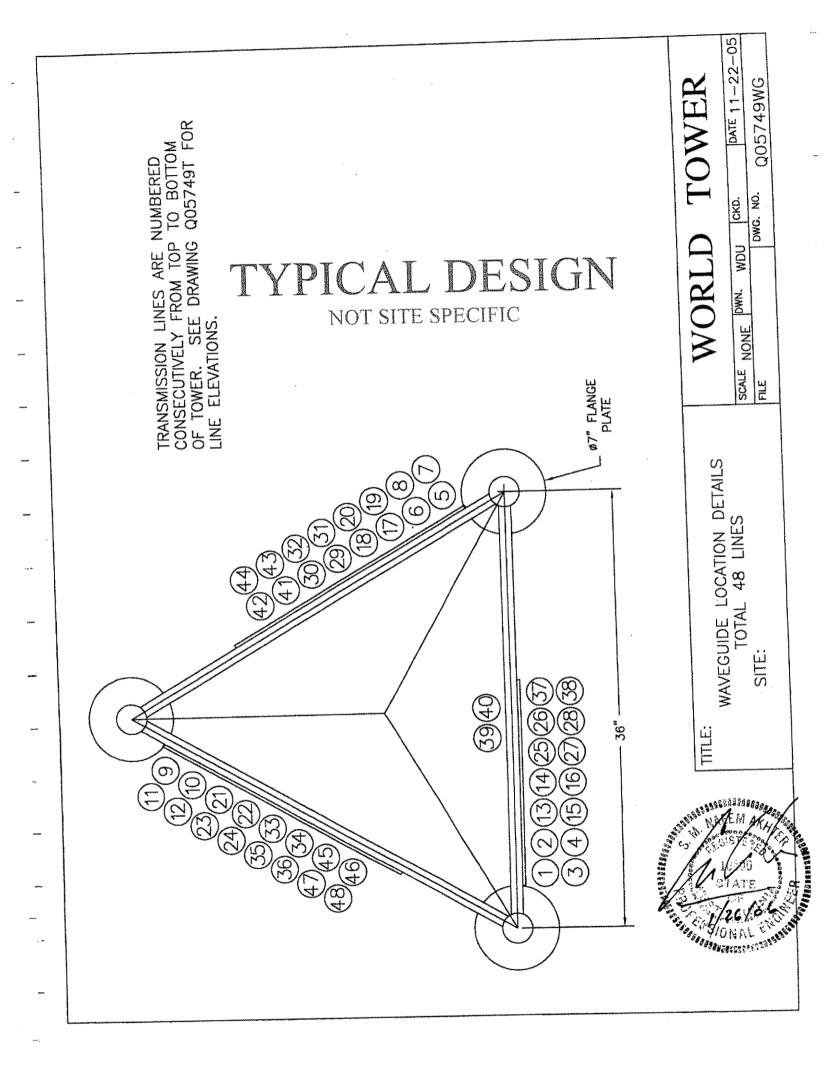


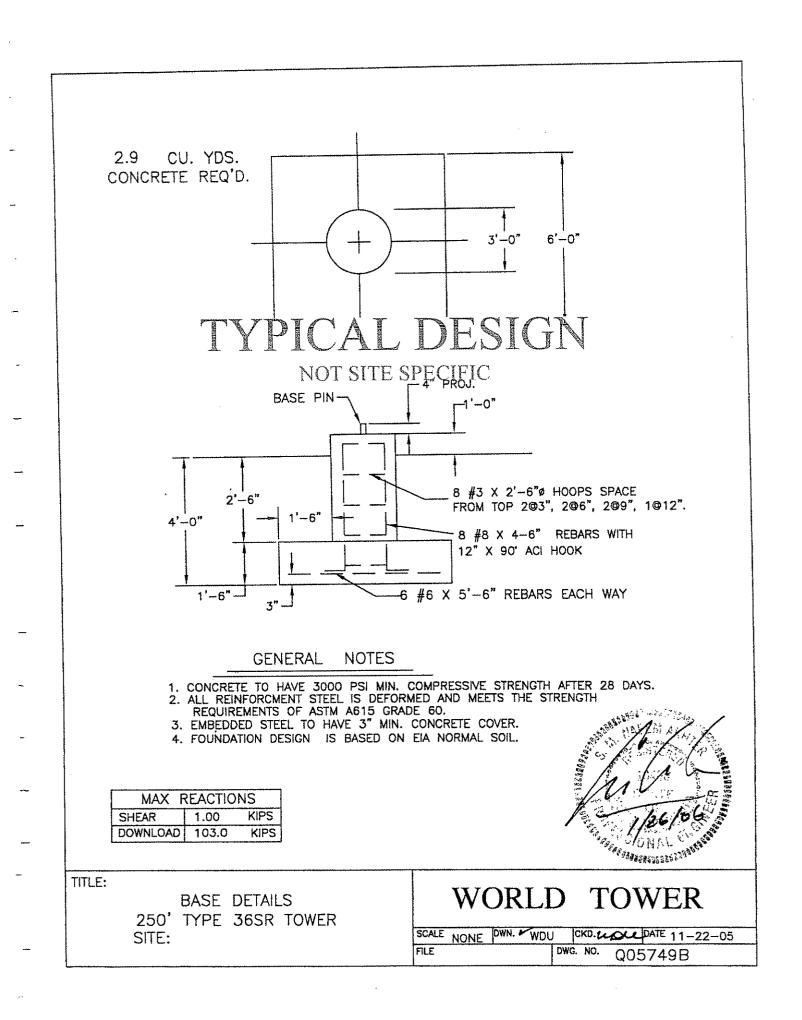
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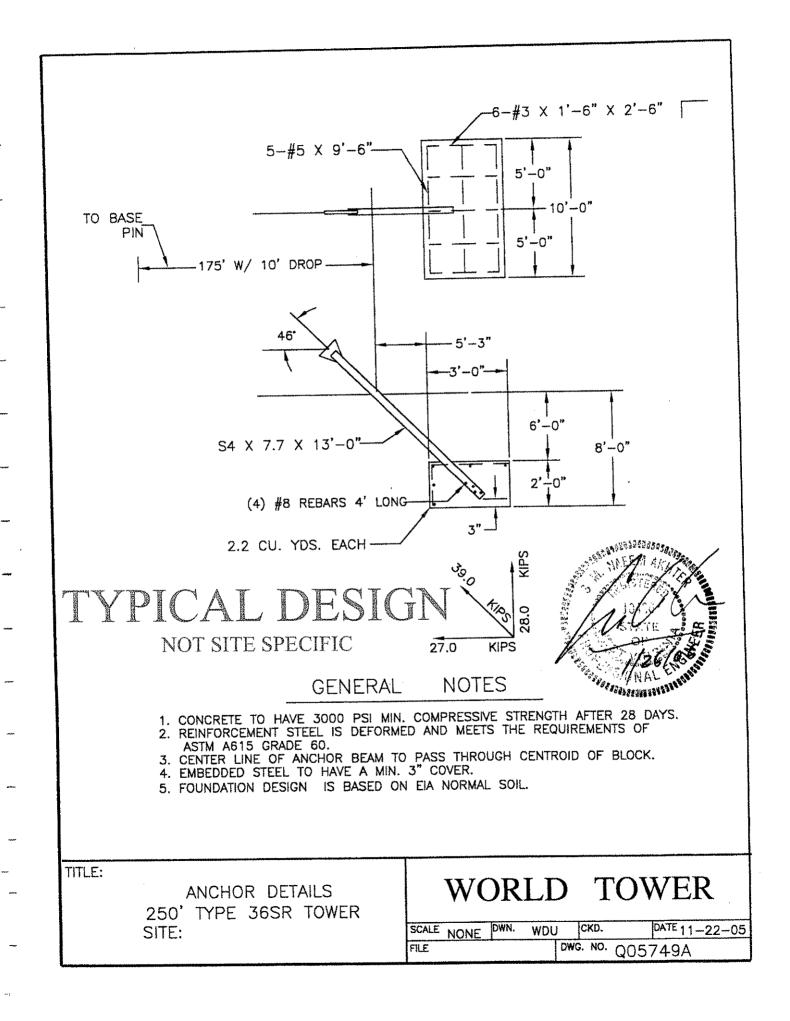
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70' 1. 2. 3. 4. 5. 6. 7. 8. 9. 9. 10	3/8 EHS TOWER IS DE TIA/EIA-222- TOWER IS DI WELDED CON WELDING SOC TOWER AND WITH ASTM A ALL BOLTS S COATING OF LEG STEEL I SOLID ROUNI ALL STRUCTI GUY LENGTH TOWER SECT 0. TOWER SHO 1. TOWER SHO 1. TOWER INS PERSONNEL. TOWER @ 2 250' TY	GE SIGNED TO S F FOR A 70 ESIGNED FOR INECTIONS SH CIETY AWS.D 1 ALL FABRICAT ALL FABRICAT ALL FABRICAT SHALL BE GAL IRON AND ST IS 50 KSI MIN D. URAL BOLTS A IS SHOWN AR TIONS ARE NU DULD BE INSP PECTION SHOU FOR ASSISTA	1500 ENERAL UPPORT THE C MPH BASIC W ALL LINES TO ALL CONFORM .1. ED ACCESSORI VANIZED ACCO EEL HARDWARE I. YIELD SOLID WRE ASTM A325 E CHORD LENC MBERED CONS ECTED IN ACC JLD ONLY BE NCE IN PROPE TOWER	221' NOTES GIVEN LOADS A VIND SPEED WI BE MOUNTED TO THE LATES ES ARE HOT-I RDING TO THE ASTM A153. ROUND AND 5. GTHS PLUS 30 ECUTIVELY FRC ORDANCE WITH PERFORMED B' R MAINTENANC	ND MEET TH NO ICE IN ACCOR IN ACCOR IN ACCOR STANDARI STANDARI BRACING S M BASE T TIA/EIA Y EXPERIE E OF YOU	TOR DANCE NOF NIZED D SPE STEEL TO TOI 222-F NCED IR TON	3/8 PROVISIONS OF 61 MPH WITH E WITH DWG. (THE AMERICAN IN ACCORDAN IN ACCORDAN IN ACCORDAN IS 36 KSI MII P. EVERY 3 YE QUALIFIED WER, CALL WO TO	3/4 x 12 1/2 ICE. 005749WG N ICE ICE ICE ICE ICE ICE ICE ICE

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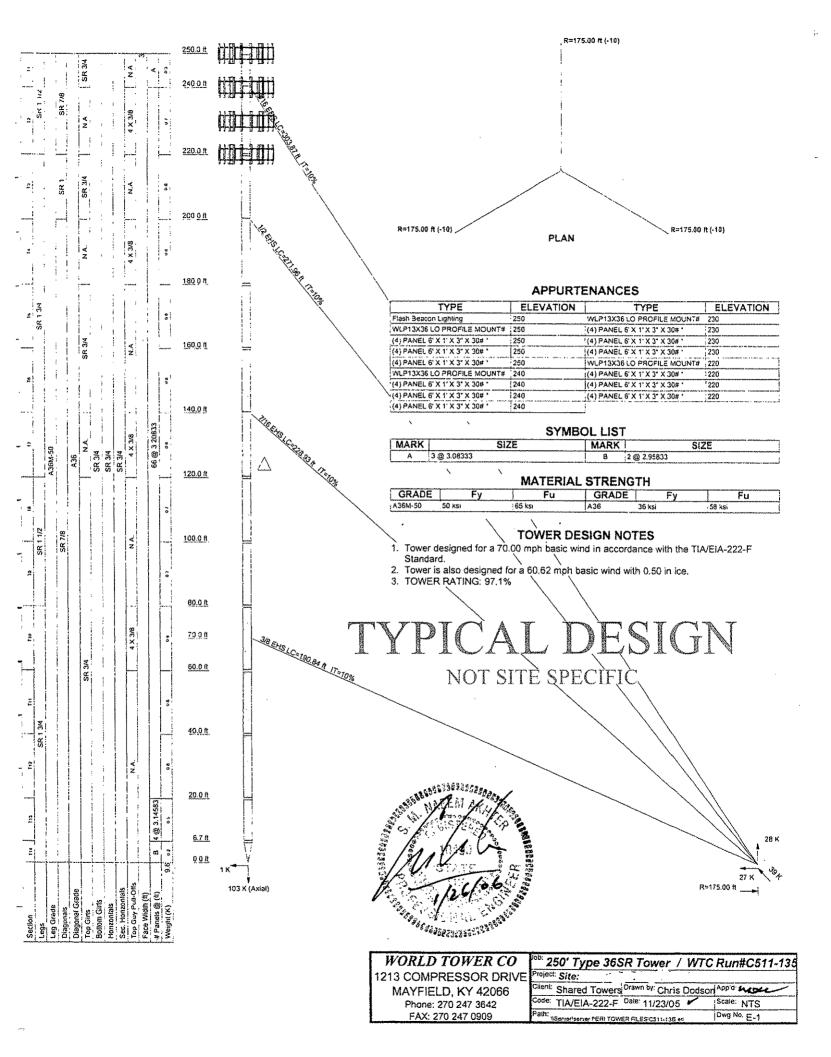
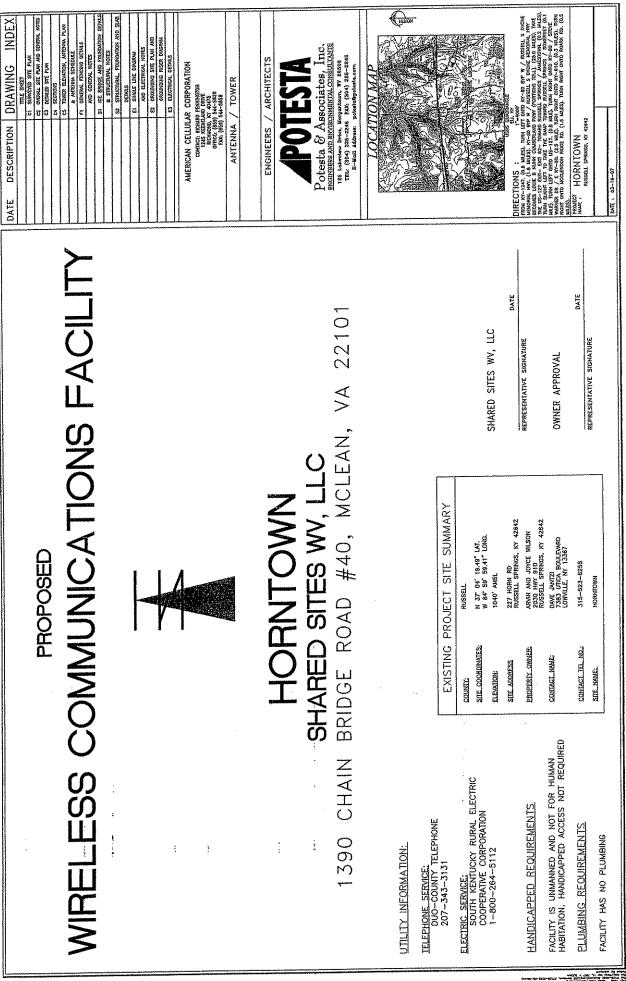
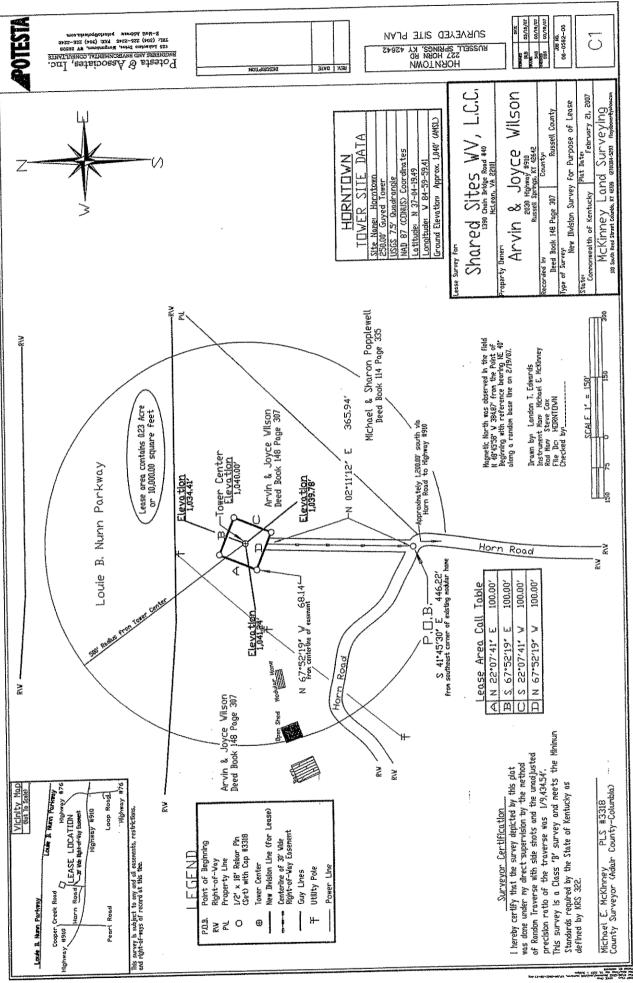


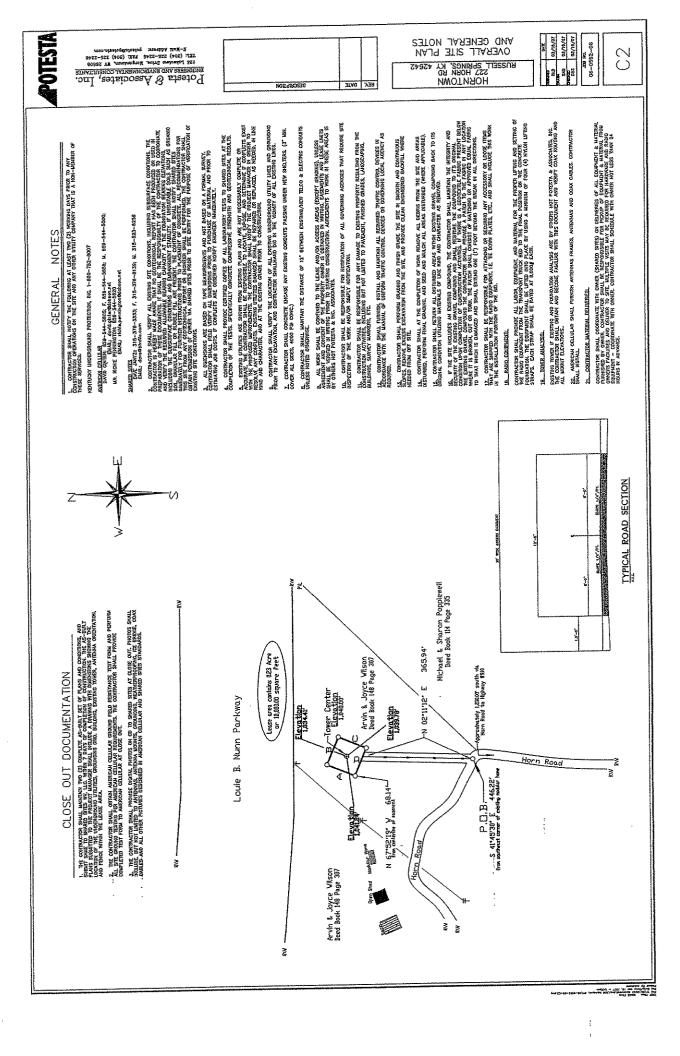
EXHIBIT E

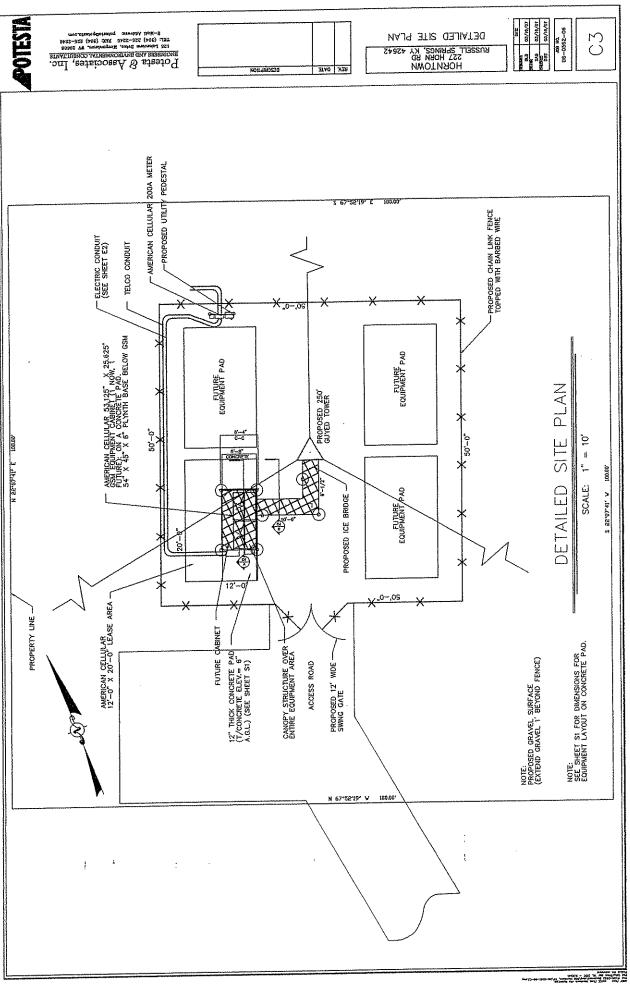
SITE DEVELOPMENT PLAN

VICINITY MAP PROPERTY OWNER LISTING 500' VICINITY MAP LEGAL DESCRIPTIONS SITE PLAN VERTICAL TOWER PROFILE

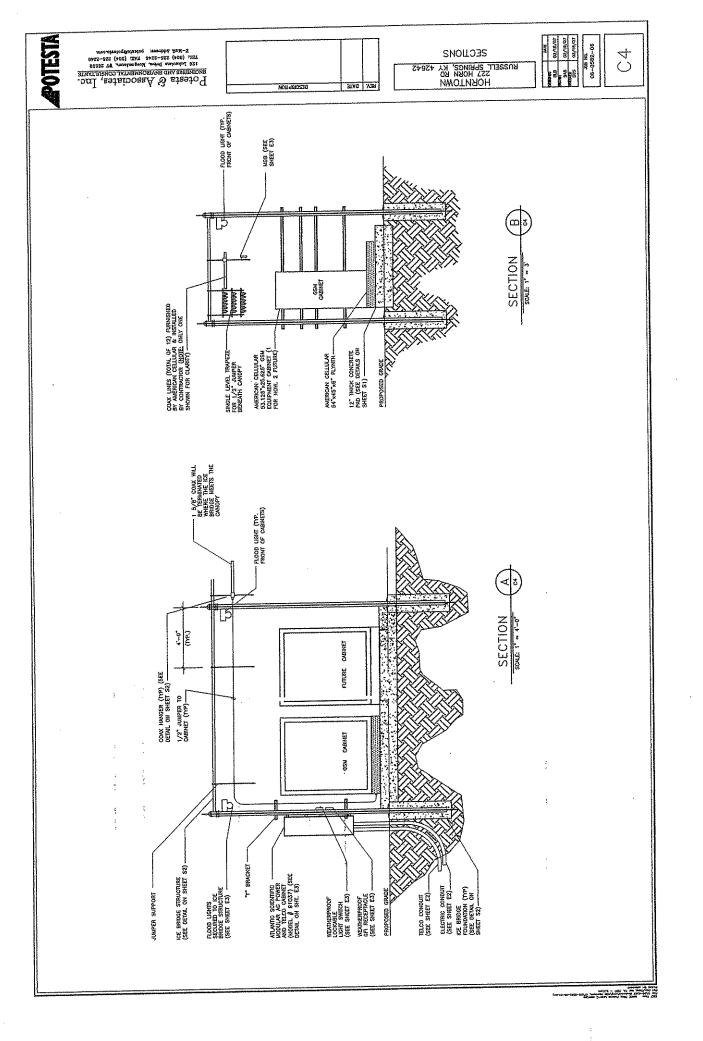


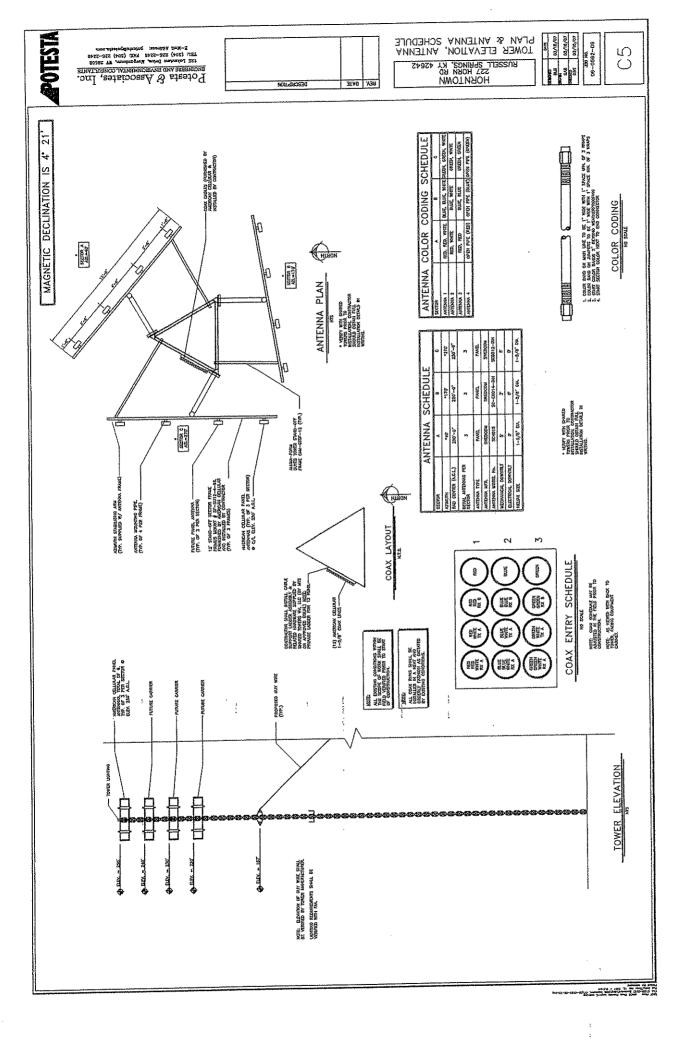


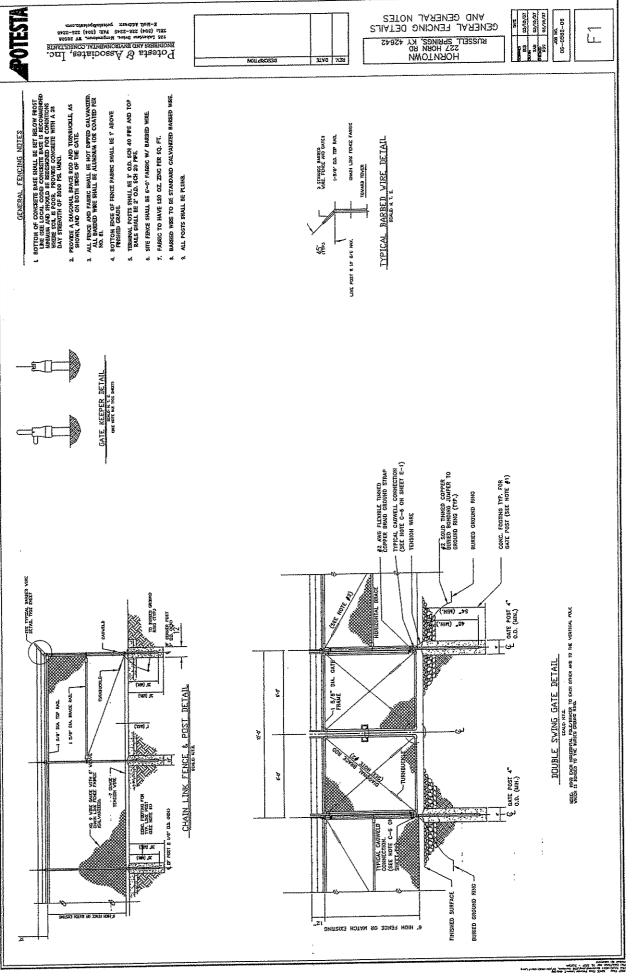




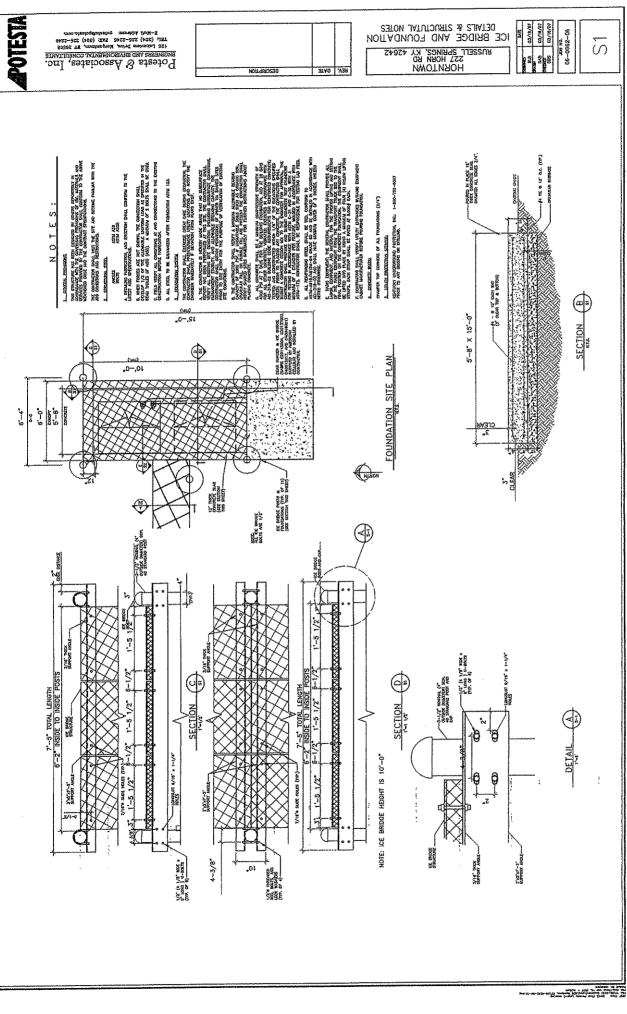
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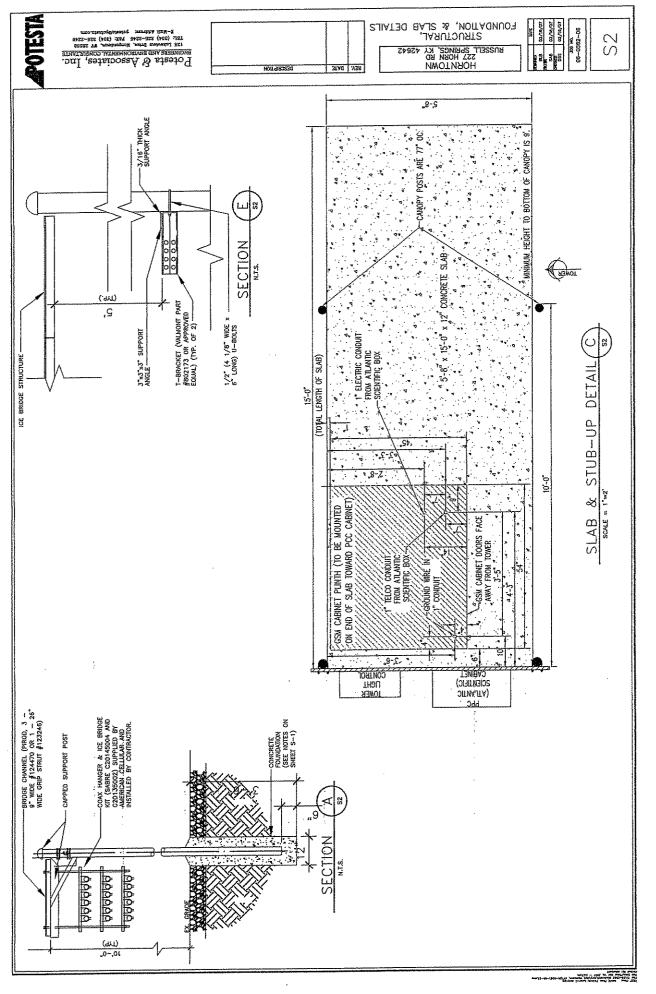


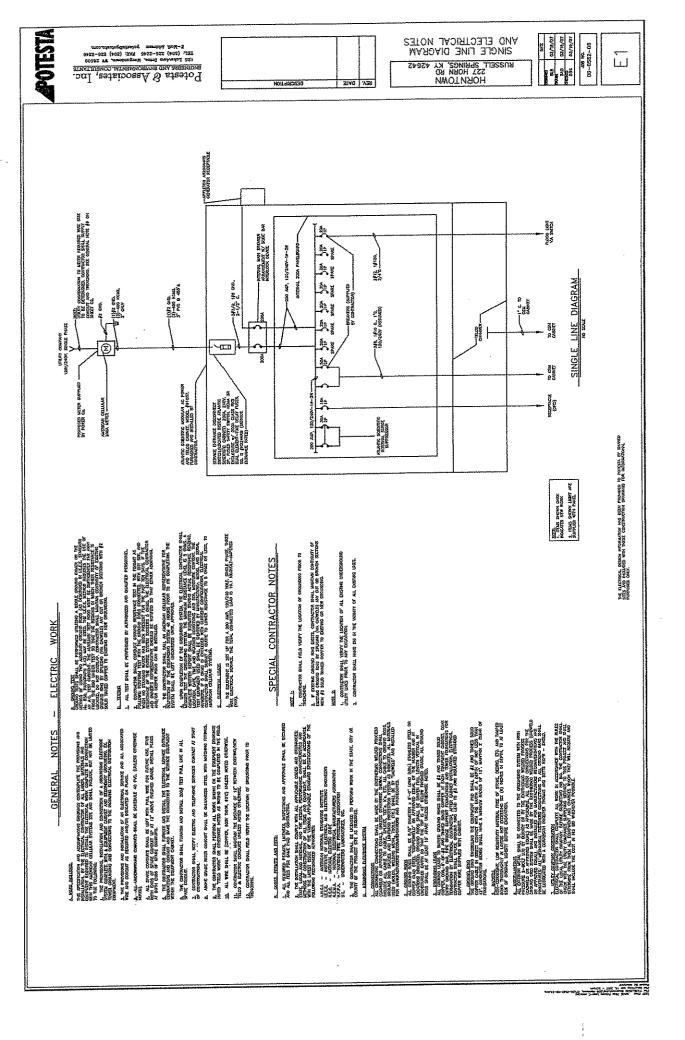


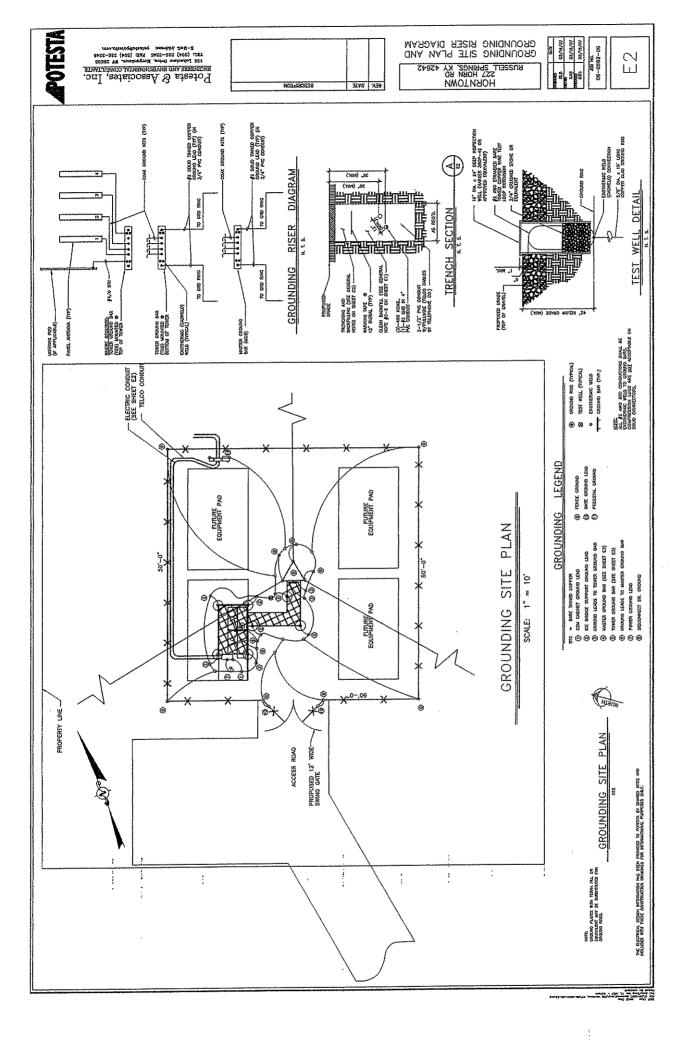


-Com 3-004 48099









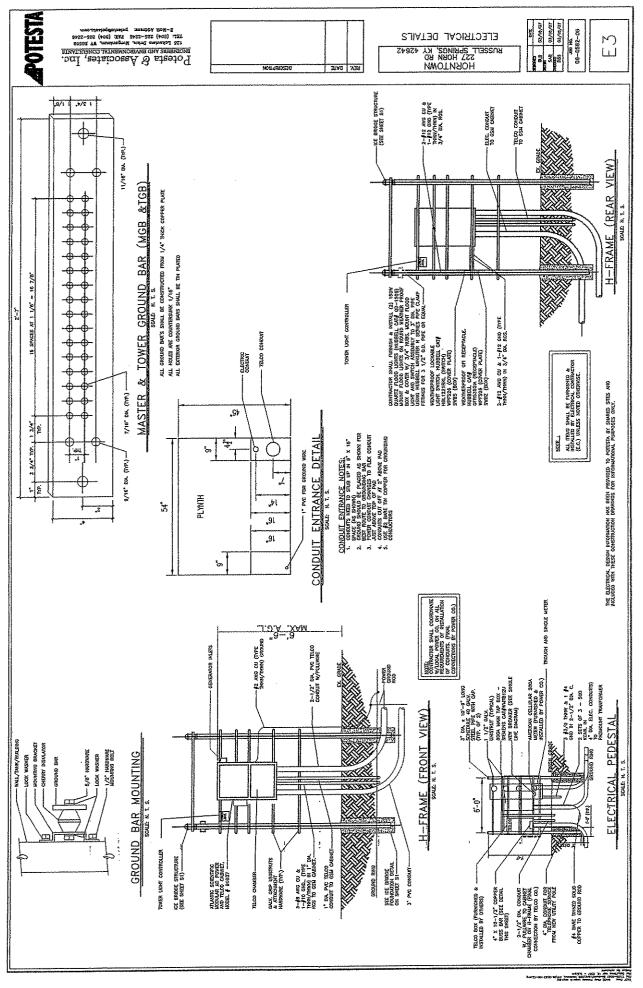


EXHIBIT F

COMPETING UTILITIES, CORPORATIONS, OR PERSONS LIST

COMPETING UTILITIES, CORPORATIONS, OR PERSONS LIST:

- American Towers
- Crown Communications
- SBA
- Verizon
- Cingular/AT&T
- Nextel
- T-Mobil
- Sprint
- Bluegrass Cellular
- Ramcell Cellular

EXHIBIT G

COLLOCATION REPORT

Cellular One

124 S. Keeneland Drive Richmond, KY 40475

859-544-4802		
859-544-5858 FAX	i sa An	e ang a sa ka sa

February 13, 2007

To Whom it may Concern:

In regard to the proposed cellular communications site known as Horntown, KY, this letter will seek to explain co-location issues.

To be able to serve the area, a structure in the realm of 250 ft. above ground level will be required. According to a survey by our site acquisition team, there simply are no tall structures in the area. Therefore, while it is the policy of American Cellular to pursue co-location opportunities wherever possible, there are no opportunities in this area. Thus, the construction of a new tower is the only alternative open to American Cellular.

Sincerely,

Mr Qui Dunn

W. Eric Broviak Regional Rf Engineering Manager



124 S. Keeneland Drive Richmond, KY 40475

859-544-4802 859-544-5858 FAX

 International constraints of the second se Second s

Horntown

Discussion of site need and configuration

Currently, Cellular One coverage along the Cumberland Parkway falls off rapidly east of Russell Springs and west of Nancy. The closest sites are near Russell Springs and Nancy. The distance, coupled with local terrain, blocks any meaningful signal from reaching the area.

The proposed site, along with another 5 miles to the east, fills in the coverage problems noted above extending reliable service along the parkway from Russell Springs to Nancy. This site is closest to Russell Springs. The height is needed to overcome low areas along the drainages in the area that form the upper reaches of Lake Cumberland.

Sincerely,

Bern

W. Eric Broviak Regional Rf Engineering Manager

EXHIBIT H

APPLICATION TO FAA

x * · · ·

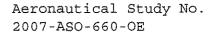
Notice of Proposed Construction or Alteration (7460-1)

Project Name: SHARE-000059496-07 Sponsor: Shared Sites, L.L.C.

Details for Case : HORNTOWN

Show Project Summary

Case Status ASN: 20)07-ASO-6	60-0E	Date Accepted:		02/09/2007	
Status: Ad	cepted		Date Determine	d:		
			Letters:		None	
Construction , Notice Of:	/ Alterat	ion Information Construction	Structure Sum Structure Name		Y Horntown	
Duration:		Permanent	Structure Type:		Antenna Tower	
if Te	mporary	:Months: Days:	Ot	her :		
Work Schedule	- Start:	05/01/2007	FCC Number:			
Work Schedule	- End:	08/30/2007	Prior ASN:			
State Filing:						
Structure Deta Latitude:	ails	37° 4' 19.49'' N		Freq	Freq Unit ERP	· · · · · · · · · · · · · · · · · · ·
Longitude:		84° 59' 59.41" W	806 824	824 849	MHz 500	W W
Horizontal Datu	ım:	NAD83	851 869	866 894		W W
Site Elevation (SE):	1040 (nearest foot)	896 901	901 902	MHz 500	Ŵ
Structure Heigl	nt (AGL):	256 (nearest foot)	930	931	MHz 3500	Ŵ
 Marking/Lighti	ng:	White-medium intensity		932 932.5	MHz 17	W dBW
<u> </u>	- Othe		935 940	940 941		W W
Nearest City:		Russell Springs		1910 1990		W W
Nearest State:		Kentucky	2305	2310 2360	MHz 2000	Ŵ
Traverseway:		No Traverseway				44
Description of Location: Description of Proposal:		227 Horn Rd Russell Springs, KY 42642 250' Wireless Communications tower	Specific Frequ	ienc	les	
		w/ 6' lightning rod located within a fenced compound.	10003001000000000000000000000000000000			





Federal Aviation Administration Air Traffic Airspace Branch, ASW-520 2601 Meacham Blvd. Fort Worth, TX 76137-0520

Issued Date: 03/07/2007

Kamal Doshi Shared Sites, L.L.C. 1390 Chain Bridge Rd #40 McLean, VA 22101

** DETERMINATION OF NO HAZARD TO AIR NAVIGATION **

The Federal Aviation Administration has completed an aeronautical study under the provisions of 49 U.S.C., Section 44718 and, if applicable, Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure:	Antenna Tower
Location:	Russell Springs, KY
Latitude:	37-4-19.49 N NAD 83
Longitude:	84-59-59.41 W
Heights:	256 feet above ground level (AGL)
	1296 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure does not exceed obstruction standards and would not be a hazard to air navigation provided the following condition(s), if any, is(are) met:

As a condition to this Determination, the structure is marked and/or lighted in accordance with FAA Advisory Circular 70/7460-1 K Change 2, Obstruction Marking and Lighting, 24-hr med-strobes - Chapters 4,6(MIWOL),&12.

It is required that the enclosed FAA Form 7460-2, Notice of Actual Construction or Alteration, be completed and returned to this office any time the project is abandoned or:

- ____ At least 10 days prior to start of construction (7460-2, Part I)
- _X__ Within 5 days after the construction reaches its greatest height (7460-2, Part II)

See attachment for additional condition(s) or information.

This determination expires on 09/7/2008 unless:

- (a) extended, revised or terminated by the issuing office.
- (b) the construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the FCC, within 6 months of the date of this determination. In such case, the determination expires on the date prescribed by the FCC for completion of construction, or the date the FCC denies the application.

NOTE: REQUEST FOR EXTENSION OF THE EFFECTIVE PERIOD OF THIS DETERMINATION MUST BE POSTMARKED OR DELIVERED TO THIS OFFICE AT LEAST 15 DAYS PRIOR TO THE EXPIRATION DATE. This determination is based, in part, on the foregoing description which includes specific coordinates, heights, frequency(ies) and power. Any changes in coordinates, heights, and frequencies or use of greater power will void this determination. Any future construction or alteration, including increase to heights, power, or the addition of other transmitters, requires separate notice to the FAA.

This determination does include temporary construction equipment such as cranes, derricks, etc., which may be used during actual construction of the structure. However, this equipment shall not exceed the overall heights as indicated above. Equipment which has a height greater than the studied structure requires separate notice to the FAA.

This determination concerns the effect of this structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

A copy of this determination will be forwarded to the Federal Communications Commission if the structure is subject to their licensing authority.

If we can be of further assistance, please contact our office at (847)294 7575. On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2007-ASO-660-OE.

Signature Control No: 503101-534016

(DNE)

Vivian Vilaro Technician

Attachment(s) Additional Information Frequency Data

7460-2 Attached

Note with Regards to Obstruction Marking & Lighting:

The FAA has no objection to the use of a 24-hour medium intensity white obstruction lighting system (MIWOL) with regards to aviation safety. However, the sponsor should be acutely aware that the nighttime use of a MIWOL system is often very objectionable to citizens who reside in the vicinity of the structure. Serious complaints oftentimes result from the use of this type of lighting system even in rural areas. The FAA does not approve MIWOL systems in or near urban areas or within 3 nautical miles of a public-use airport. Accordingly, should the sponsor wish to utilize one of the alternative lighting systems, such as a medium intensity dual lighting system, the FAA would have no objection.

PLEASE BE ADVISED THAT THERE IS A VERY STRONG POSSIBILITY SOMEONE WILL COMPLAIN ABOUT THIS MIWOL SYSTEM. ALL COMPLAINTS RECEIVED BY THIS OFFICE WILL BE REFERRED DIRECTLY TO YOU.

Frequency Data for ASN 2007-ASO-660-OE

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LOW	HIGH	FREQUENCY		ERP
FREQUENCY	FREQUENCY	UNIT	ERP	UNIT
806	824	MHz	500	W
824	849	MHz	500	W
851	866	MHz	500	W
869	894	MHz	500	W
896	901	- MHz	500	W
901	902	MHz	7	W
930	931	MHz	3500	W
931	932	MHz	3500	W
932	932.5	MHz	17	dbw
935	940	MHz	1000	W
940	941	MHz	3500	W
1850	1910	MHz 1640		W
1930	1990	MHz	MHz 1640	
2305	2310	MHz 2000		W
2345	2360	MHz	2000	W

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EXHIBIT I

APPLICATION TO KENTUCKY AIRPORT ZONING COMMISSION

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20-	ວບຣ	: (Rev.	02/051	

Kentucký -	TC 56-50E (Rev. 02/05)
Kentucky Transportation Cabinet, Kentucky Airport Zoning Commission, 200 Mero S APPLICATION FOR PERMIT TO CONSTRUCT OR ALTER INSTRUCTIONS INCLUDED	
 APPLICANT – Name, Address, Telephone, Fax, etc. Shared Sites WV, LLC- Kamal Doshi 1390 Chain Bridge Rd #40 Mclean, VA 22101 703-893-0806 (phone) 703-852-7289 (fax) Representative of Applicant – Name, Address, Telephone, Fax Boulevard Properties, LLC- Matt Wallack 7383 Utica Blvd Lowville, NY 13367 	9. Latitude: 37 • 19 49 " 10. Longitude: 84 • 59 59 41 " 11. Datum: If NAD83 If NAD27 If Other 12. Nearest Kentucky City: Russell Sprint County Russell 13. Nearest Kentucky public use or Military airport:
315-376-3333 (phone) 315-376-8139 (fax)	15. Direction from #13 to Structure: East
3. Application for: 司 New Construction 下 Alteration 一 Existing	16. Site Elevation (AMSL): 1,040.00 Feet 17. Total Structure Height (AGL): 256.00 Feet
4. Duration: 团 Permanent 同 Temporary (Months Days)	18. Overall Height (#16 + #17) (AMSL): 1.296.00 Feet
5. Work Schedule: Start 01 May 2007 End 30 Aug 2007	19. Previous FAA and/or Kentucky Aeronautical Study Number(s):
 6. Type: P Antenna Tower Crane Building Power Line Chandfill Water Tank Other 7. Marking/Painting and/or Lighting Preferred: Red Lights and Paint P Dual - Red & Medium Intensity White White - Medium Intensity Dual - Red & High Intensity White White - High Intensity Other 	 20. Description of Location: (Attach USGS 7.5 minute Quadrangle Map or an Airport layout Drawing with the precise site marked and any certified survey) 227 Horn Rd Russell Springs, KY 42642
8. FAA Aeronautical Study Number	
21. Description of Proposal: 250' Wireless Communications Tower w/ 6' lightning rod located within	fenced compound
22. Has a "NOTICE OF CONSTRUCTION OR ALTERATION" (FAA Form 7460- 「No 同Yes, When February 09, 2007	1) been filed with the Federal Aviation Administration?
CERTIFICATION: I hereby certify that all the above statements made by meane true, c	omplete and correct to the best of my knowledge and belief.
Matthew J. Wallack Signature	09 Feb 2007 Date
PENALTIES: Persons failing to comply with Kentucky Revised Statutes (KRS 1 050:Series) are liable for fines and/or imprisonment as set forth in KRS 183.990(3 in further penalties.	83.861 through 183.990) and Kentucky Administrative Regulations (602 KAR 3). Non-compliance with Federal Aviation Administration Regulations may result
Commission Action:	irman, KAZC Administrator, KAZC
티 Approved	Date

EXHIBIT J

GEOTECHNICAL REPORT

SUBSURFACE INVESTIGATION & FOUNDATION RECOMMENDATIONS

PROPOSED TOWER HORNTOWN RUSSELL SPRINGS, KENTUCKY

Prepared for:

SHARED SITES, LLC LOWVILLE, NEW YORK

Prepared by:

ALT & WITZIG ENGINEERING, INC. WEST CHESTER, OHIO

FEBRUARY 13, 2007

PROJECT NO. 07CN0024



Alt & Witzig Engineering, Inc. 6205 Schumacher Park Drive • West Chester, Ohio 45069 (513) 777-9890 • Fax (513) 777-9070

February 13, 2007

Shared Sites, L.L.C. 7383 Utica Blvd Lowville, NY 13367 ATTN: Mr. Matthew J. Wallack

RE:

Subsurface Investigation & Foundation Recommendations Tower Site: Horntown Horn Road Russell Springs, Kentucky Alt & Witzig File: 07CN0024

Gentlemen:

In compliance with your request, we have completed a foundation investigation and evaluation for the above referenced project. It is our pleasure to transmit herewith four (4) copies of our report.

SITE LOCATION:

The site is located in Russell Springs, Kentucky. Specifically, this site is located on Horn Road. The general vicinity of the site is shown on the enclosed site location map in the appendix of this report.

The purpose of this subsurface investigation was to determine the various soils profile components, determine the engineering characteristics of the materials encountered, and provide information to be used in preparing foundation designs for the proposed communication tower.

Field Services

The field investigation included reconnaissance of the project site, drilling four (4) soil borings for the tower. Additionally, or investigation included performing standard penetration tests, and obtaining soil samples retained in the standard split-spoon sampler. The apparent groundwater level at the boring location was also determined.

The soil boring was performed with a conventional drilling rig equipped with a rotary head. Conventional hollow-stem augers were used to advance the holes. Representative samples

Shared Sites, LLC Alt & Witzig File No.: 07CN0024 February 13, 2007 Page 2

were obtained employing split-spoon sampling procedures in accordance with ASTM Procedure D-1586.

During the sampling procedure, standard penetration tests were performed at regular intervals to obtain the standard penetration value of the soil. The standard penetration value is defined as the number of blows of a 140-pound hammer, falling thirty (30) inches, required to advance the split-spoon sampler one (1) foot into the soil. The results of the standard penetration tests indicate the relative density and comparative consistency of the soils, and thereby provide a basis for estimating the relative strength and compressibility of the soil profile components.

Laboratory Testing

The types of soils encountered in the borings were visually classified and are described in detail on the boring logs. Representative samples of the soils encountered in the field were placed in sample jars and are now stored in our laboratory. Unless notified to the contrary, all samples will be disposed of after three (3) months.

Recommendations for Tower

Information provided by Shared Site, LLC indicates that a self-supporting cellular tower will be constructed at this site. It is anticipated that the tower will not exceed 250 feet in height. It is anticipated that the structural loads of the tower will be supported by conventional spread footings if possible.

Our borings encountered soft and medium stiff silt and silty clay to the termination or auger refusal depth of our borings at fifteen and one-half $(15\frac{1}{2})$ to twenty-three and one-half $(23\frac{1}{2})$ feet below existing grade.

The following soil parameters can be used to design a shallow foundation. Due to the seasonal variations in moisture content and freeze thaw cycles, no skin friction or resistance to passive pressure should be considered above three (3) feet.

Soil Description	Depth Below Existing Grade	BelowBearingDryExistingPressure (psf)DensitSU-2(pat)		ф	Kp	Coefficient of Friction Against Sliding
Silt and Clay	4'-23'	2,000	110	10°	1.4	0.50
Silty Clay to Shale	23' +	4,000	120	20°	2.0	0.50

Shared Sites, LLC Alt & Witzig File No.: 07CN0024 February 13, 2007 Page 3

The weight of the backfill above the footings will be used to resist uplift forces; therefore, it is recommended that proper compaction techniques be maintained. It is recommended that a density of 98% maximum dry density in accordance with ASTM D-698 be achieved above the footings to finished grade for all fill. If on-site soils are used, the excavation should be ramped so that a drive or walk-behind sheepfoot can be used to compact the clayey soils.

Boring B-4 encountered water at twenty-one (21) feet at completion of the boring and boring B-3 indicated a layer of wet sandy clay at twelve (12) feet below grade. If excavations will penetrate to these depths some difficulty with groundwater should be anticipated. It could be necessary to install "mud mats" nearly simultaneously to prevent softening of the foundation soils due to seepage. This will require a lean concrete mix or concrete to be on site when excavation begins. The thickness of the "mud mat" need only be thick enough to prevent water from penetrating to the foundation soils. Additionally, depending upon the weather conditions while excavations are open, seepage from surface runoff may occur into shallow excavations. Since these foundation materials tend to soften when exposed to free water, every effort should be made to keep the excavations dry should water be encountered. It is especially important to protect these soils from moisture changes due to the mix of silt and clay within the soil matrix they are susceptible to significant strength loss if they become wetted.

Often, because of design and construction details that occur on a project, questions rise concerning the soil conditions. If we can give further service in these matters, please contact us at your convenience.

Respectfully Submitted,

ALT & WITZIG ENGINEERING, INC.

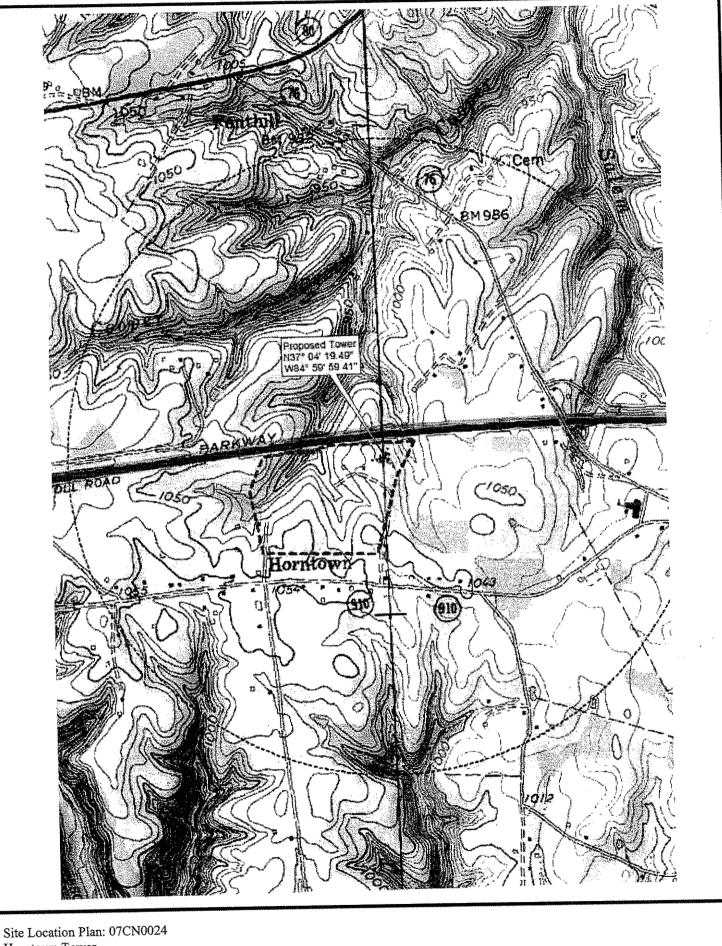
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Rhuf Statt

Robert Smith, Project Engineer

Patrick A. Knoll, P.E.

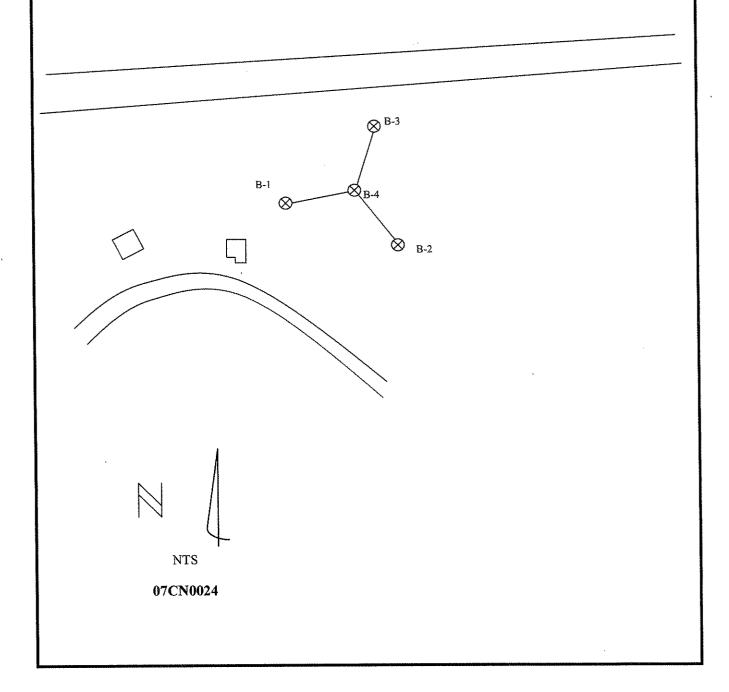
APPENDIX



Horntown Tower Russell Springs, Kentucky

Boring Location Plan

Horntown Tower Russell Springs, Kentucky Shared Sites, LLC



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RECORD OF SUBSURFACE EXPLORATION

Alt & Witzig Engineering, Inc.

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Pf	IENT ROJECT NA DCATION	ME _	Shared Sites, LLC Horntown Guyed Tower Russell Springs, KY									Boring Alt & W		ile No.	B-4 07CN0024
Da	te Completed	2/9/2	007 Hammer Wt. <u>140</u> lbs. 007 Hammer Drop <u>30</u> in.								n Test, N -	Qu - tsf Uncanfined Compressive Strength	strometer		
	STRATA ELEV.		SOIL CLASSIFICATION		ale	əpth	No.	Type	Graphics	Water	Standard Penetration Test, N Blows/foot	Unconfined	Pp - tsf Pocket Penetrometer	Moisture Content %	s S
			SURFACE ELEVATION		Depth Scale	Strata Depth	Sample No.	Sample Type	Sampler Graph	Ground Water	Standard Blows/fo	Qu - tsf I Strength	Pp - tsf F	Moisture	Remarks
Π			0.0-4" Topsoil	Τ											
			4"-4.0 Brownish Gray Silty Clay			4.0	1	ss	X		4		2.5	20.0	
				-	5		2	ss	X		11		3.5	28.5	
					10		3	SS	X		17		2.5	25.9	
			4.0-7.0 Red and Brown Silty Clay some Sand Stone		10		4	SS	X		11		3.0		
			4.0-7.0 Red and blown Sity Clay Some Sand Stone	-	15		5	SS	X		9		2.0		
							6	SS			20				
				-	20	20.0	7	SS			7				
			20.0-23.5 Black and Gray Silty Clay to Shale				8	SS SS		⊻_	10 50/1"				
			Auger Refusal at 23.5 feet			23.5	-		Δ		50/1				
														-	
L C C	<u>Boring M</u> ISA - Hollow S FA - Continuo C - Driving Ca ID - Mud Drillir	em Ai us Flig sing	ht Auger	⊥ ▼ ▼ 0	At Aft Wa	Comp er ater oi	ho n Rod	TER <u>21.0</u> urs s <u>Dr</u> ved D	Ϋ́		ft. it.	1	, I ,,,,,	:	<u>Sample Type</u> SS - Driven Split Spoon ST - Pressed Shelby Tube CA - Continuous Flight Auger RC - Rock Core CU - Cuttings



RECORD OF SUBSURFACE EXPLORATION

Alt & Witzig Engineering, Inc.

i.

CLIENT Shared Sites, LLC													Boring	#		B-3
	OJECT NA		Horntown Guy			-							Alt & W	/itzig F	ile No.	07CN0024
	CATION		Russell Spring			-								-		
						-										
		DR	ILLING and SAMPLIN	G INFORMATION	гт	т <u> </u>	r	1		ГT						1
	e Started		2007	Hammer Wt. <u>140</u> lbs.												
Date	e Completed	2/9/2	2007	Hammer Drop <u>30</u> in.									ive			
Bori	ng Method	HSA	<u></u>	Spoon Sampler OD 2_ in.								Standard Penetration Test, N Blows/foot	Qu - tsf Unconfined Compressive Strength	etrometer		
	STRATA ELEV.			ASSIFICATION		cale	epth	No.	Type	Graphics	Water	d Penetrati oot	Unconfined	Pp - tsf Pocket Penetrometer	Moisture Content %	sy
			SURFAC	E ELEVATION		Depth Scale	Strata Depth	Sample No.	Sample Type	Sampler Graph	Ground Water	Standar Blows/fc	Qu - tsf Strengt	Pp - tsf	Moisture	Remarks
Ħ			0	.0-5" Topsoil	\nearrow											
			5"-4.0 Brown	Gray and Red Silty Clay	-		4.0	1	ss	X		14		4.0	16.4	
					-	5	5	2	ss	X		12		4.0	26.4	
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				rown Wet Sandy Clay with S ind Silt Stone	ilt –	15	15.0	5	ss	Ш		12				
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	C - Driving Ca D - Mud Drillir				.				urs		f				1	RC - Rock Core
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RECORD OF SUBSURFACE EXPLORATION

Alt & Witzig Engineering, Inc.

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	STRATA ELEV.				SSIFICATION			Scale	Depth	No.	: Type	r Graphics	Water	Standard Penetration Test, N ~ Blows/foot	h h	Pp - tsf Pocket Penetrometer	Moisture Content %		irks	
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RECORD OF SUBSURFACE EXPLORATION

Alt & Witzig Engineering, Inc.

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GENERAL NOTES

SAMPLE IDENTIFICATION

The Unified Soil Classification System is used to identify the soil unless otherwise noted.

SOIL PROPERTY SYMBOLS

- N: Standard "N" penetration: Blows per foot of a 140 pound hammer falling 30 inches on a 2 inch O.D. split-spoon.
- Qu: Unconfined compressive strength, TSF
- Qp: Penetrometer value, unconfined compressive strength, TSF
- Mc: Water content, %
- LL: Liquid limit, %
- PL: Plastic limit, %
- Dd: Natural dry density, PCF
- : Apparent groundwater level at time noted after completion

DRILLING AND SAMPLING SYMBOLS

- SS: Split-spoon 1 3/8" I.D., 2" O.D., except where noted
- ST: Shelby tube 3" O.D., except where noted
- AU: Auger sample
- DB: Diamond bit
- CB: Carbide bit
- WS: Washed sample

RELATIVE DENSITY AND CONSISTENCY CLASSIFICATION

TERM (NON-COHESIVE SOILS)	BLOWS PER FOOT
Very loose Loose Firm Dense Very Dense	0 - 4 5 - 10 11 - 30 31 - 50 Over 50
TERM (COHESIVE SOILS)	<u>Qu (TSF)</u>
Very soft Soft Medium Stiff Very Stiff Hard	0 - 0.25 0.25 - 0.50 0.50 - 1.00 1.00 - 2.00 2.00 - 4.00 4.00+
<u>CLE SIZE</u>	· .

PARTICLE SIZE

Boulders	8 in.(+)	Coarse Sand	5 mm-0.6 mm	Silt	0.075 mm - 0.005 mm
	8 in 3 in.	Medium Sand	0.6mm-0.2 mm	Clay	0.005mm(-)
Gravel	3 in 5 mm	Fine Sand	0.2mm-0.075 mm		

GENERAL NOTES

SAMPLE IDENTIFICATION

The Unified Soil Classification System is used to identify the soil unless otherwise noted.

SOIL PROPERTY SYMBOLS

- N: Standard "N" penetration: Blows per foot of a 140 pound hammer falling 30 inches on a 2 inch O.D. split-spoon.
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Apparent groundwater level at time noted after completion

DRILLING AND SAMPLING SYMBOLS

- SS: Split-spoon 1 3/8" I.D., 2" O.D., except where noted
- ST: Shelby tube 3" O.D., except where noted
- AU: Auger sample
- DB: Diamond bit
- CB: Carbide bit
- WS: Washed sample

RELATIVE DENSITY AND CONSISTENCY CLASSIFICATION

TERM (NON-COHESIVE SOILS)	BLOWS PER FOOT
Very loose	0 - 4
Loose	5 - 10
Firm	11 - 30
Dense	31 - 50
Very Dense	Over 50
TERM (COHESIVE SOILS)	<u>Qu (TSF)</u>
Very soft	0 - 0.25
Soft	0.25 - 0.50
Medium	0.50 - 1.00
Stiff	1.00 - 2.00
Very Stiff	2.00 - 4.00
Hard	4.00+

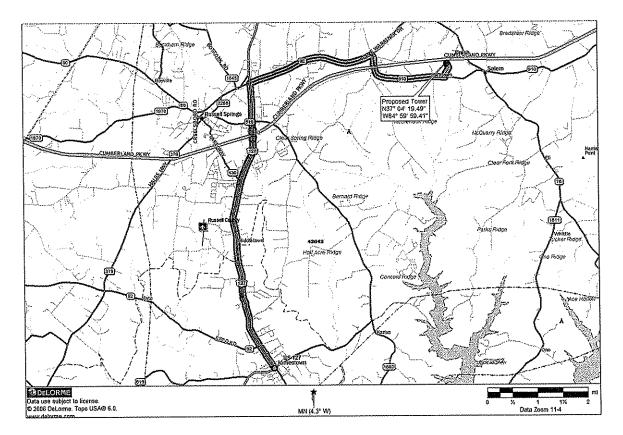
PARTICLE SIZE

Boulders	8 in.(+)	Coarse Sand	5 mm-0.6 mm	Silt	0.075 mm - 0.005 mm
Cobbles	8 in 3 in.	Medium Sand	0.6mm-0.2 mm	Clay	0.005mm(-)
Gravel	3 in 5 mm	Fine Sand	0.2mm-0.075 mm		

EXHIBIT K

DIRECTIONS TO WCF SITE

WCF LOCATION MAP



DIRECTIONS TO WCF FROM COUNTY SEAT

From the Russell County Court House proceed north on US 127 approx. 5.9 miles to the intersection of US 127 and SR 80. Turn east (right) on SR 80 and proceed approx. 2.56 miles to the intersection of SR 80 and SR 910. Turn south (right) on SR 910 and proceed approx. 1.81 miles to the intersection of SR 910 and Horn Road. Turn left on Horn Road and proceed approx. .21 miles to where Horn Road makes a left turn. Tower access drive will proceed straight ahead.

These directions were prepared by:

David B. Jantzi Boulevard Properties 7383 Utica Boulevard Lowville, NY 13367 (315) 523-6258

EXHIBIT L

j...

COPY OF REAL ESTATE AGREEMENT

County: <u>Russell</u> Site Address: <u>Horn Road, Russell Springs, Kentucky, 42642</u> Site I. D.: <u>Horntown</u> Latitude: N37° 04' 19.00" Longitude: W85° 00' 0.00"

 Premises and Use. In consideration of the expenditures and efforts of lessee to develop and use the premises described below, the undersigned (jointly and severally, the "Owner") hereby leases to Shared Sites WV, LLC, a West Virginia limited liability company ("Lessee"), or its permitted assignee, the site described below:

The exclusive right to use and occupy real property, approximately 10,000 square feet of land, as approximately described and shown on Exhibit A, together with non-exclusive easements (a) to a public right of way, for reasonable access, (b) to the appropriate sources of electric and telephone facilities as determined by Lessee, (c) for placement of any supporting guyed wires as reasonably determined by Lessee per good engineering practices (d) to meet fall-zone or set back requirements and (e) temporary staging area for equipment and assembly during construction (collectively, the "Site"). The Site will be used for installing, maintaining and/or operating, a wireless communications and broadcast facility, including, without limitation, antenna towers or poles, guyed wires (if applicable), foundations, utility lines, equipment shelters, ice bridges, radio equipment, antennas, security alarms, cameras, lights, and supporting equipment thereto (collectively, the "Facility"), or for any other use permitted by applicable law. Title to the Facility shall be held by Lessee and the Facility shall remain Lessee's personal property and in no event shall be construed as fixtures.

- 2. Term. The term of this Agreement (the "Initial Term") is five (5) years, starting on the date Lessee signs this Agreement. This Agreement will be automatically renewed for ten (10) additional terms (each a "Renewal Term") of five years each with a % increase in rent at each renewal, unless Lessee provides Owner notice of intention not to renew 90 days prior to the expiration of any term.
- 3. **Rent.** Beginning with the date upon which construction of the Facility is completed; rent will be paid quarterly, on the first day of each calendar quarter, at the rate of **\$**
- 4. Title, Quiet Possession, and Access. Owner represents and agrees (a) that it is the owner of the Site pursuant to the instrument set forth on Exhibit A; (b) that the Site is free from all encumbrances except as set forth on Exhibit A, (c) that it has the right to enter into this Agreement; (d) that the person signing this Agreement has the authority to sign; (e) that Lessee, its employees, agents, subcontractors, clients, and invitees are entitled to access to the Site at all times and to the quiet possession of the Site so long as Lessee is not in default beyond the expiration of any cure period; and (f) that Owner will not have unsupervised access to the Site or to the related Facility. Owner further represents, agrees and covenants that during the Initial Term and Renewal Terms of this Agreement Owner will not use, or permit others to use, any part of any real property currently owned, or hereafter acquired, by Owner

within two (2) miles of the Site for any type of communication or broadcast tower or otherwise provide advice, services for development of competing properties or release any information about Lessee's business. Owner shall obtain nondisturbance, subordination and attornment agreement from prior lien holders as required by Lessee's title insurance company.

- 5. Assignment/Subletting. Either party may assign or transfer this Agreement with notice to the other party. Upon delivery of such notice the transferor will have no further liability under the Agreement. Lessee shall be allowed to sublet, or otherwise grant use rights to all or any portion of the Site and/or the Facility without the prior written consent of Owner, it being the express intention of Lessee to lease or license antenna, towers, shelters, and related space of the Facility to separate wireless communication carriers and other clients.
- 6. Improvements. Lessee may make such future improvements on or to the Site and Facility as it deems necessary. Owner agrees to cooperate with Lessee with respect to obtaining any required building/zoning approvals for the Site and improvements. Upon termination or expiration of this Agreement, Lessee shall remove the Facility and its other property located upon the Site, excepting the foundation, and will restore the Site to substantially the condition existing at inception of this lease, except for ordinary wear and tear and casualty loss. Lessee shall reimburse Owner any property tax increases directly attributable to Lessee's improvements. Owner shall fully cooperate with Lessee in any available administrative or court appeals of such tax increases.
- 7. Compliance with Laws. Owner represents that Owner's property (including the Site), and all improvements located thereon, are in substantial compliance with building, life/safety, disability and other laws, codes and regulations of applicable governmental authorities. Lessee will substantially comply with all applicable laws relating to its possession and use of the Site.
- Utilities. Lessee will pay for all utility connections to the Site. Owner will cooperate with Lessee in Lessee's efforts to obtain utilities from the most economical source.
- 9. Termination. Lessee may terminate this Agreement at any time by notice to Owner without further liability, if Lessee does not obtain all permits or other approvals (collectively, "approval") required from any municipal and/or governmental authority or any easements required from any third party to construct/operate the Facility for its intended use, or if any such approval is canceled, expires or is withdrawn or terminated, or if Owner fails to have proper ownership of the Site or authority to enter into this Agreement, or if Lessee, for any other reason, in its sole discretion, determines that it will be unable to use the Site for its intended purpose.

- 10. Default. If either party is in default under this Agreement for a period thirty (30) days following receipt of notice from the non-defaulting party shall have the right to pursue all legal remedies including termination of this Agreement. If a non-monetary default may not reasonably be cured within a thirty (30) day period, this Agreement may not be terminated if the defaulting party commences action to cure the default within such 30 day period and said default is substantially cured within ninety (90) days of the initial notice of default.
- 11. Indemnity. Owner and Lessee each indemnify the other against and hold the other harmless from any and all costs (including reasonable attorneys' fees) and claims of liability or loss which arise out of the use and/or occupancy of the Site or Facility by the direct actions or culpable omissions of the indemnifying party, its employees, agents or independent contractors. This indemnity does not apply to any claims arising from the sole negligence or intentional misconduct or omission of the party seeking indemnification.
- 12. Hazardous Substances. Owner represents that it has no knowledge of any substance, ground contamination, chemical or waste (collectively, "substance") on the Site that is identified as hazardous, toxic or dangerous in any applicable federal, state or local law or regulation. Lessee will not introduce or use any such substance on the Site in violation of any applicable law. Owner shall indemnify Lessee against and hold it harmless from any and all costs (including reasonable attorneys' fees) and claims of liability or loss which arise out of any occurrence or condition causing the presence of any such substance on the Site that occurred prior to the date of this Agreement or is directly attributable to the Owner's use of adjoining premises during the term of this agreement.
- 13. Waiver of Owner's Lien. (a) Owner waives any lien rights it may have concerning the Facility, which is deemed Lessee's personal property and not fixtures, and Lessee has the right to remove the same at any time without Owner's consent. Owner (i) disclaims any interest, now or in the future, in and to the Facility, as fixtures or otherwise; (ii) agrees that the Facility and the leasehold or other use interest of Lessee or its

authorized sub lessees or users, shall be exempt from execution, foreclosure, sale, levy, attachment, or distress for any rent due or to become due. and (iii) agrees to provide any such lender with an estoppel statement regarding the above facts, such as the lack of a default hereunder, and any other information or document reasonably requested, such as a nondisturbance, subordination and attornment agreement, within five (5) days of request.

- 14. Insurance. Lessee, at its sole cost and expense, shall upon commencement of construction (upon use of mechanical equipment to disturb the land, but not for taking of soil samples or surveys and measurements) procure and maintain bodily injury and property insurance on the Facility with a combined single limit of at least One Million Dollars (\$1,000,000) per occurrence. A copy of such policy shall be furnished to Owner within 30 days of written request.
- 15. Miscellaneous. (a) This Agreement applies to and binds the heirs, successors, executors, administrators and assigns of the parties to this Agreement; (b) This Agreement is governed by the laws of the State in which the Site is located; (c) This Agreement (including the Exhibits) constitutes the entire agreement between the parties and supersedes all prior agreements; any amendments to this Agreement must be executed by both parties; (e) If any provision of this Agreement is invalid or unenforceable with respect to any party, the remainder of this Agreement, will not be affected and shall remain valid and enforceable to the extent permitted by law; (f) The prevailing party in any action or proceeding in court is entitled to receive its reasonable attorneys' fees and other reasonable enforcement (or, as applicable, defense) costs and expenses: (a) Owner agrees promptly to execute and deliver to Lessee, simultaneously herewith or forthwith hereafter, a recordable Memorandum of this Agreement in the form of Exhibit B: and (h) All notices are effective, on the third business day after their deposit via certified and postage prepaid mail. or, on the next business day after deposit via overnight delivery, to the address below.

"Owner"

"Owner"

Shared Sites WV, LLC ("Lessee")

By: Name:	Arvin Ray Wilson	Joyce Wilson	Name:David B. Jantzi
Title:	Owner	Owner	Site Developer (Subject to Approval)
Date:	01/20/2007	01/20/2007	Date:01/20/2007
Address:	2030 Hwy. 910	2030 Hwy. 910	
Tax ID: Phone:			Kamal Doshi, Manager (Final Approval) Date:
			1390 Chain Bridge Road #40 Mclean, VA 22101 Phone:

(703)-893-0806

EXHIBIT A Site Agreement - Site Description – Permitted Exceptions

Site Name: Horntown

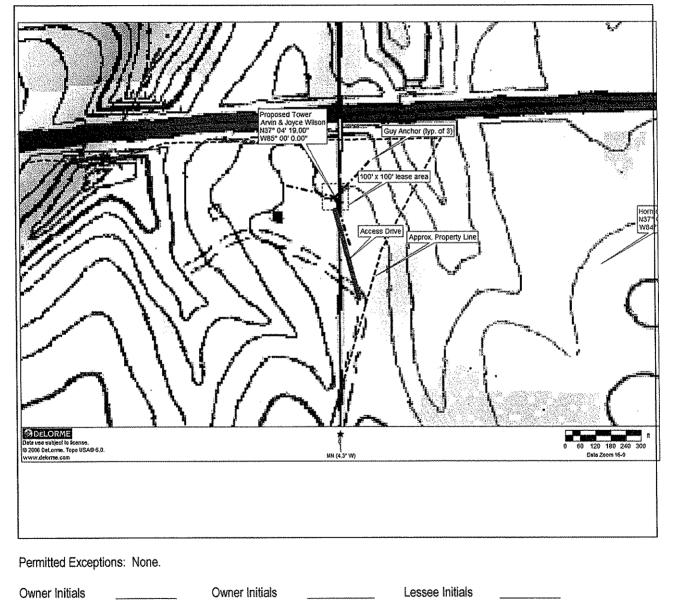
Site I.D.:

Site situated in the City/Town of Russell Springs, County of Russell, State of Kentucky commonly described as follows:

Legal Description: A portion of the premises located at address: Horn Road

more particularly described in Deed to: <u>Arvin Ray Wilson and Joyce Wilson</u> dated <u>04/30/1995</u> and recorded in <u>Russell</u> County Registry of Deeds at Book <u>148</u>, Page<u>307</u>. Tax Map <u>53</u>, Plot <u>77</u>

Sketch of Site:



Note: Owner and Lessee may, at Lessee's option, replace this Exhibit with an exhibit setting forth the legal description of the property on which the Site is located and/or a more detailed survey or drawing depicting the Site.

EXHIBIT M

FLOOD PLAIN CERTIFICATION

McKinney Land Surveying 103 South Reed Street Columbia, KY 42728

.

McKinney Land Surveying

February 5, 2007

To Whom It May Concern:

The "Horntown" site located in Russell County, Kentucky {Proposed for lease by Shared Sites WV, L.L.C., for the purpose of erecting a telecommunications tower} is classified as Zone X. This classification is zoning for an unincorporated area. For more information on this zoning description, please refer to <u>The United States</u> <u>Department of Housing and Urban Authority-Federal Insurance Administration</u>.

Respectfully,

Milael E. McKinney 02/09/07

Michael E. McKinney P.L.S. #3318

EXHIBIT N

:-

NOTIFICATION LISTING

Horntown Certification of Notification

- The Honorable Ronnie McFall Russell County Judge Executive PO Box 397 Jamestown, KY 42629
- Yvonne Popplewell Johnson 4814 S. Hwy 76 Russell Springs, KY 42642
- Doyle Rexroat 1830 Rexroat Lane Russell Springs, KY 42642
- Michael O. & Sharon Popplewell 80 Horn Rd Russell Springs, KY 42642
- Garfield & Alma Gosser 1370 S. Hwy 76 Russell Springs, KY 42642
- Lufern Shepherd 114 Horn Rd Russell Springs, KY 42642

EXHIBIT O

COPY OF PROPERTY OWNER NOTIFICATION

Michael O. & Sharon Popplewell 80 Hron Rdoad Russell Springs, KY 42642

RE: Public Notice – Kentucky Public Service Commission Docket No.: 2007-00061

Dear Sir or Madam:

Shared Sites, LLC and American Cellular Corporation are making application to the Kentucky Public Service Commission (PSC) for a Certificate of Public Convienence and Necessity to construct and operate a new facility to provide wireless communication services. The facility will include a 250-foot tower with appurtenances attached to a maximum height of 256 feet, and a ground level equipment shelter(s) to be located at 227 Horn Road, Russell Springs, KY 42642. This notice is being sent to you because you own property within a 500' radius of the proposed tower or own property which adjoins the property on which the tower is proposed.

The Kentucky Public Service Commission invites your comments regarding the proposed construction. You also have the right to intervene in this matter. Your initial communication to the PSC must be received by the PSC within 20 days of the date of the Postal cancellation on the envelope this letter was received in. Your comments and request for intervention should be addressed to: Executive Director's Office, Public Service Commission of Kentucky, 211 Sower Boulevard, Post Office Box 615, Frankfort, KY 40602-0615. Please refer to Docket No.: 2007-00061 in your correspondence.

Please feel free to contact David Jantzi at 315-376-3333, if you have any questions.

David B. Jantzi Boulevard Properties, LLC Representing: Shared Sites, LLC

Monday, February 26th, 2007

Doyle Rexroat 183 D Rexroat Ln. Russell Springs, KY 42642

RE: Public Notice – Kentucky Public Service Commission Docket No.: 2007-00061

Dear Sir or Madam:

Shared Sites, LLC and American Cellular Corporation are making application to the Kentucky Public Service Commission (PSC) for a Certificate of Public Convienence and Necessity to construct and operate a new facility to provide wireless communication services. The facility will include a 250-foot tower with appurtenances attached to a maximum height of 256 feet, and a ground level equipment shelter(s) to be located at 227 Horn Road, Russell Springs, KY 42642. This notice is being sent to you because you own property within a 500' radius of the proposed tower or own property which adjoins the property on which the tower is proposed.

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David B. Jantzi Boulevard Properties, LLC Representing: Shared Sites, LLC

Yvonne Popplewell Johnson 4814 S. HWY. 76 Russell Springs, KY 42642

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Garfield & Alma Gosser 1370 S. HWY 76 Russell Springs, KY 42642

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Please feel free to contact David Jantzi at 315-376-3333, if you have any questions.

David B. Jantzi Boulevard Properties, LLC Representing: Shared Sites, LLC

LuFern Shepard 114 Horn Rd. Russell Springs, KY 42642

RE: Public Notice – Kentucky Public Service Commission Docket No.: 2007-00061

Dear Sir or Madam:

Shared Sites, LLC and American Cellular Corporation are making application to the Kentucky Public Service Commission (PSC) for a Certificate of Public Convienence and Necessity to construct and operate a new facility to provide wireless communication services. The facility will include a 250-foot tower with appurtenances attached to a maximum height of 256 feet, and a ground level equipment shelter(s) to be located at 227 Horn Road, Russell Springs, KY 42642. This notice is being sent to you because you own property within a 500' radius of the proposed tower or own property which adjoins the property on which the tower is proposed.

The Kentucky Public Service Commission invites your comments regarding the proposed construction. You also have the right to intervene in this matter. Your initial communication to the PSC must be received by the PSC within 20 days of the date of the Postal cancellation on the envelope this letter was received in. Your comments and request for intervention should be addressed to: Executive Director's Office, Public Service Commission of Kentucky, 211 Sower Boulevard, Post Office Box 615, Frankfort, KY 40602-0615. Please refer to Docket No.: 2007-00061 in your correspondence.

Please feel free to contact David Jantzi at 315-376-3333, if you have any questions.

David B. Jantzi Boulevard Properties, LLC Representing: Shared Sites, LLC

Ronnie McFall Judge Executive P.O. Box 397 Jamestown, KY 42629

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David B. Jantzi Boulevard Properties, LLC Representing: Shared Sites, LLC

EXHIBIT P

COPY OF JUDGE EXECUTIVE NOTICE

Ronnie McFall Judge Executive P.O. Box 397 Jamestown , KY 42629

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David B. Jantzi Boulevard Properties, LLC Representing: Shared Sites, LLC

EXHIBIT Q

COPY OF POSTING NOTICES

SHARED SITES WV, LLC PROPOSES TO CONSTRUCT A TELECOMMUNICATIONS TOWER NEAR THIS SITE

IF YOU HAVE QUESTIONS PLEASE CONTACT

David Jantzi (Shared Sites Representative)Executive Director, Pu1390 Chain Bridge Rd. #40, McLean, VA 22101OR211 Sower Boulevard315-523-6258PO Box 615, Frankfor

Executive Director, Public Service Commission 211 Sower Boulevard PO Box 615, Frankfort, KY 40602 Docket# 2007- 00061

SHARED SITES WV, LLC PROPOSES TO CONSTRUCT A TELECOMMUNICATIONS TOWER ON THIS SITE

IF YOU HAVE QUESTIONS PLEASE CONTACT

David Jantzi (Shared Sites Representative)Executive Director, Put1390 Chain Bridge Rd. #40, McLean, VA 22101OR211 Sower Boulevard315-523-6258PO Box 615, Frankford

Executive Director, Public Service Commission 211 Sower Boulevard PO Box 615, Frankfort, KY 40602 Docket# 2007-00061

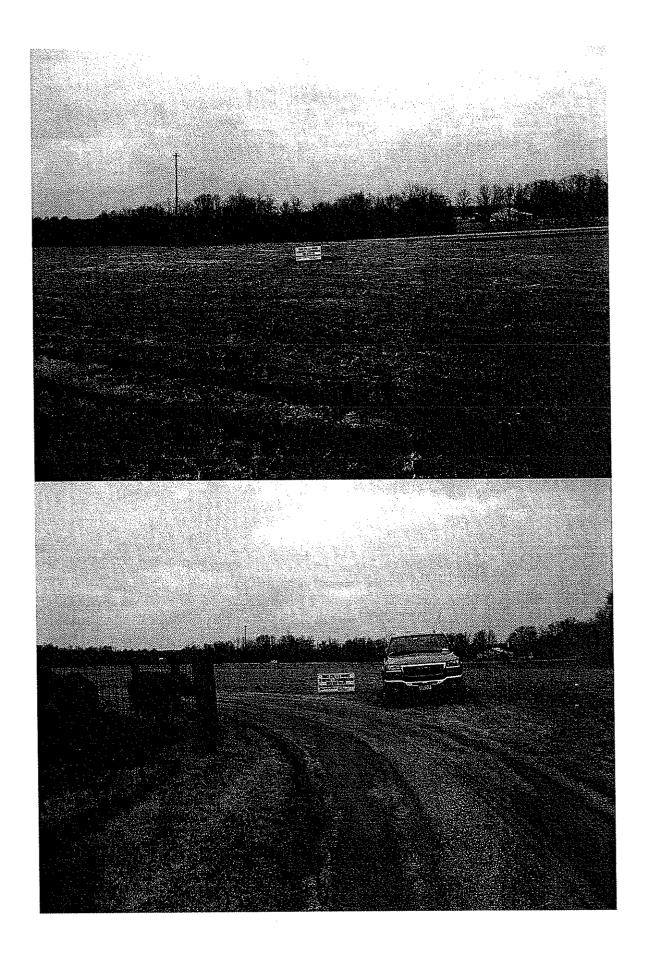


EXHIBIT R

RADIO FREQUENCY DESIGN SEARCH AREA

RF SEARCH AREA

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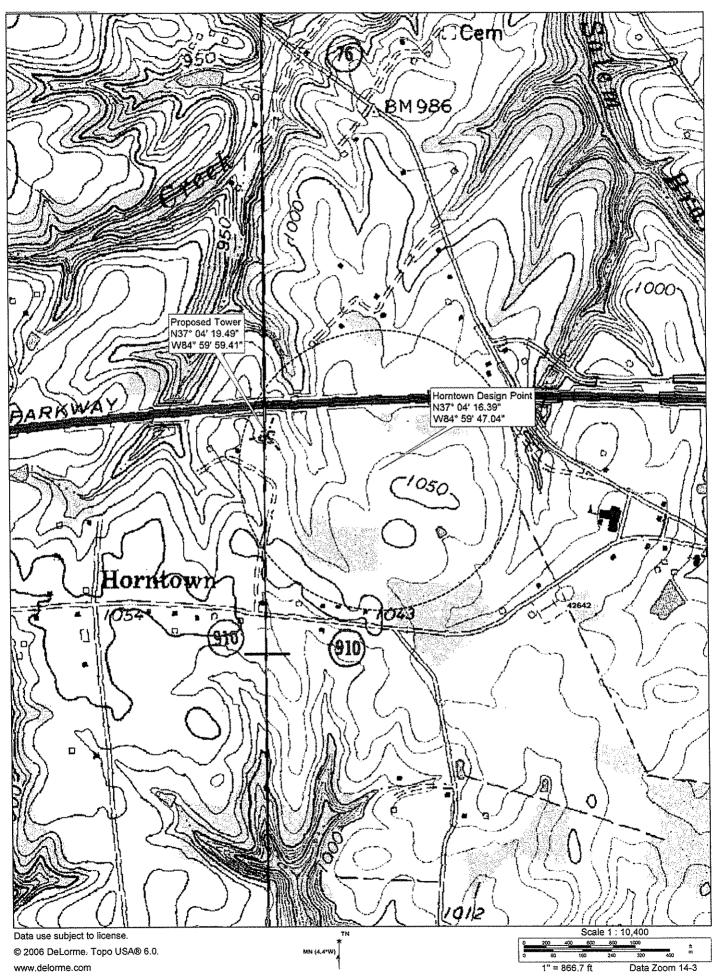
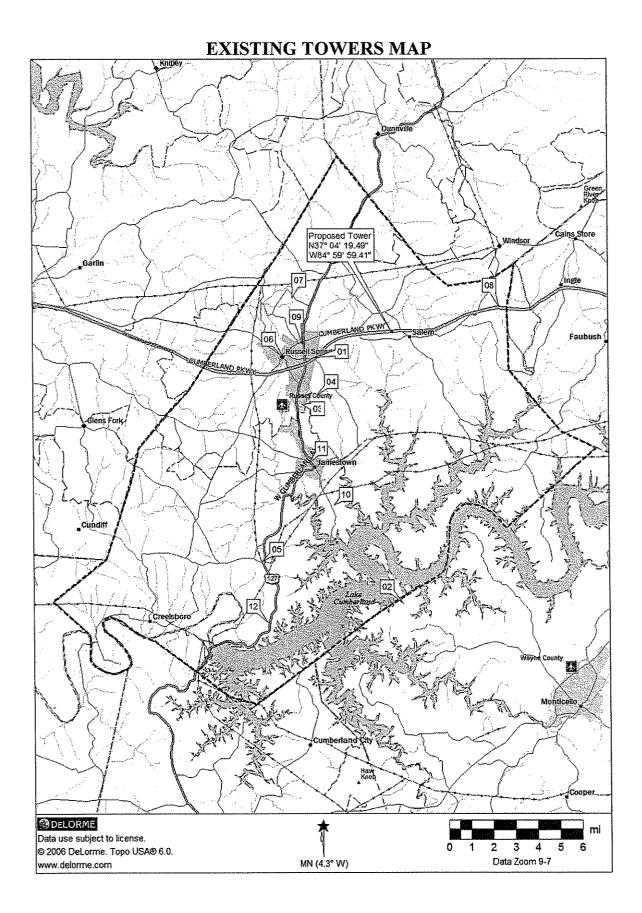


EXHIBIT S

TOWER MAP FOR SUBJECT COUNTY



Overall Height (Feet AGL) 298.8991	421.9366	IUE	8834	133	8584	248.3717	7703	8552	258,8709	918	254,9337
	4 21.	, #VALUE	, 299,	305.133	217.	, 248.	. 348.	, 259.8552	258.	255.918	254,
structure city/State RUSSELL SPRINGS, Y	LL, KY	RUSSELL SPRINGS, (Y	RUSSELL SPRINGS, 299,8834 KY	FREEDOM, KY	RUSSELL SPRINGS. 217.8584 KY	RUSSELL SPRINGS, cy	RUSSELL SPRINGS, 348-7703 «Y	RUSSELL SPRINGS, <y< th=""><th>Jamestown, KY</th><th>Jamestown, KY</th><th>m, KY</th></y<>	Jamestown, KY	Jamestown, KY	m, KY
Structure City/State RUSSELL S KY	PARNELL, KY	RUSSE KY	RUSSE KY	FREED	RUSSE KY	RUSSE KY	RUSSE KY	RUSSE KY	James	James	Freedom, KY
Latitude Longitude 37-03-21.0N 085-03-45.0W	36-53-48.0N 084-59-32.0W	37-01-31.0N 085-04-23.0W	37-01-53.0N 085-03-40,0W	36-55-25.0N 085-06-22.0W	37-03-16.0N 085-05-15.0W	37-05-39.0N 085-04-49.0W	37-05-19.7N 084-54-47.3W	37-03-51.9N 085-04-19.5W	36-57-37.3N 085-02-49.7W	36-59-14.9N 085-04-03.0W	36-53-03.2N 085-06-05.4W
		BERLAND		ATIVE, INC	ERATIVE						
		LAKE CUMI	nc.	ER COOPEI	ONE COOPI	STING INC					artnership
e r, LLC	^{1,1} LLC	VE DBA = ERS	Cellular, I	скү ром	Y TELEPHO	ROADCAS	DWER LLC	OWER LLC	poration	vers LLC	Cellular P
Owner Name Global Tower, LLC	Global Tower, LLC	HOOVER, MAE DBA = LAKE CUMBERLAND BROADCASTERS	Cumberland Cellular, Inc.	EAST KENTUCKY POWER COOPERATIVE, INC	DUO COUNTY TELEPHONE COOPERATIVE CORPORATION, INC.	HAMMOND BROADCASTING INC	HEMPHILL TOWER ULC	HEMPHILL TOWER LLC	Hemphill Corporation	Optasite Towers LLC	Cumberland Cellular Partnership
File Number A0455258	A0455314	A0051620	A0319783	A0052525	A0071259	A0139869	A0497770	A0497773	A0510033	A0528474	A0522114
Status Constructed	Constructed	Constructed	Constructed	Constructed	Constructed	Constructed	Constructed	Constructed	Constructed	Constructed	Constructed
01				-				t			
Registration Number 1013822	1042205	1043881	1043973	104451	<u>1060800</u>	1065125	1232264	1232919	1246930	1249806	1254846
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