

COMMONWEALTH OF KENTUCKY  
BEFORE THE PUBLIC SERVICE COMMISSION

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PUBLIC SERVICE  
COMMISSION

**In the Matter of:**

**APPLICATION OF CUMBERLAND CELLULAR  
PARTNERSHIP FOR ISSUANCE OF A CERTIFICATE  
OF PUBLIC CONVENIENCE AND NECESSITY TO  
CONSTRUCT A CELL SITE (FLATWOOD) IN RURAL  
SERVICE AREA #5 (ADAIR) OF THE COMMONWEALTH  
OF KENTUCKY**

**CASE NO. 2006-00533**

**APPLICATION FOR A CERTIFICATE  
OF PUBLIC CONVENIENCE AND NECESSITY (FLATWOOD)**

Cumberland Cellular Partnership (“Cumberland Cellular”), through counsel, pursuant to KRS 278.020 and 278.040, hereby submits this application for a certificate of public convenience and necessity to construct a cell site to be known as the Flatwood cell site in and for rural service area (“RSA”) #5 of the Commonwealth of Kentucky, namely the counties of Barren, Monroe, Metcalfe, Adair, Cumberland, Russell, Clinton, Wayne, McCreary and Hart, Kentucky.

1. As required by 807 KAR 5:001 Sections 8(1) and (3), and 807 KAR 5:063, Cumberland Cellular states that it is a Kentucky limited liability partnership whose full name and post office address are: Cumberland Cellular Partnership, 2902 Ring Road, Elizabethtown, Kentucky, 42701.
2. Pursuant to 807 KAR § 1 (1)(b), a copy of the applicant’s applications to the Federal Aviation Administration and Kentucky Airport Zoning Commission are Exhibit “A”. Written authorizations from these agencies will be supplied to the Commission upon their approval.
3. Pursuant to 807 KAR 5:063 §1(1)(d), applicant is submitting as Exhibit “B” a geotechnical investigation report, signed and sealed by a professional engineer registered in Kentucky, that includes boring logs, foundation design recommendations, and a finding as to the susceptibility of the area surrounding the proposed site to flood hazard.
4. Pursuant to 807 KAR 5:063 §1(1)(e), clear directions from the county seat to the proposed site, including highway numbers and street names, if applicable, with the telephone number of the person who prepared the directions are Exhibit “C”.

5. Pursuant to 807 KAR 5:063 §1(1)(f), a copy of the lease for the property on which the tower is proposed to be located, is Exhibit “D”.

6. Pursuant to 807 KAR §1(1)(g), experienced personnel will manage and operate the Flatwood cell site. The President of Bluegrass Cellular Inc., Mr. Ron Smith, is ultimately responsible for all construction and operations of the cellular system of Cumberland Cellular, of which system the Flatwood cell site will be a part. Bluegrass Cellular Inc. provides management services to Cumberland Cellular under a management contract, just as it does with three (3) other wireless carriers in the Commonwealth. And, Bluegrass Cellular Inc. has been providing these management services to these other wireless carriers for well over a decade. This extensive management experience with Bluegrass Cellular demonstrates that Bluegrass Cellular Inc.'s management and technical ability to supervise the operations of a wireless carrier.

7. Pursuant to 807 KAR §1(1)(g), Eastpointe Engineering Group, LLC is responsible for the design specifications of the proposed tower (identified in Exhibit “B”).

8. Pursuant to 807 KAR 5:063 §1(1)(h), a site development plan or survey, signed and sealed by a professional engineer registered in Kentucky, that shows the proposed location of the tower and all easements and existing structures within 500 feet of the proposed site on the property on which the tower will be located, and all easements and existing structures within 200 feet of the access drive, including the intersection with the public street system, is Exhibit “B”.

9. Pursuant to 807 KAR 5:063 §1(1)(i), a vertical profile sketch of the tower, signed and sealed by a professional engineer registered in Kentucky, indicating the height of the tower and the placement of all antennas; is Exhibit “B”.

10. Pursuant to 807 KAR 5:063 §1(1)(j), the tower and foundation design plans and a description of the standard according to which the tower was designed, signed and sealed by a professional engineer registered in Kentucky, is Exhibit “B”.

11. Pursuant to 807 KAR 5:063 § 1 (1)(k), a map, drawn to a scale no less than one (1) inch equals 200 feet, that identifies every structure and every owner of real estate within 500 feet of the proposed tower, is Exhibit “E”.

12. Pursuant to 807 KAR 5:063 § 1 (1)(l), applicant’s legal counsel hereby affirms that every person who owns property within 500 feet of the proposed tower has been: (i) notified by certified mail, return receipt requested, of the proposed construction; (ii) given the commission docket number under which the application will be processed; and (iii) informed of his right to request intervention.

13. Pursuant to KRS 278.665(2), applicant’s legal counsel hereby affirms that every person who, according to the records of the property valuation administrator, owns property contiguous to the property where the proposed cellular antenna tower will be located has been: (i) notified by certified mail, return receipt requested, of the proposed construction; (ii) given the commission docket number under which the application will be processed; and (iii) informed of his right to request intervention.

14. Pursuant to 807 KAR 5:063 §1(1)(m), a list of the property owners who received the notice together with copies of the certified letters sent to listed property owners, is Exhibit “F”.

15. Pursuant to 807 KAR 5:063 § 1 (1)(n), applicant’s legal counsel hereby affirms that the Adair County Judge Executive has been: (i) notified by certified mail, return receipt requested, of the proposed construction; (ii) given the commission docket number under which the application will be processed; and (iii) informed of its right to request intervention.

16. Pursuant to 807 KAR 5:063 §1(1)(o), a copy of the notice sent to the Adair County Judge Executive is Exhibit “G”.

17. Pursuant to 807 KAR 5:063 § 1 (1)(p), applicant’s legal counsel hereby affirms that (i) two written notices meeting subsection two (2) of this section have been posted, one in a visible location on the proposed site and one on the nearest public road; and (ii) the notices shall remain posted for at least two weeks after the application has been filed.

18. Pursuant to 807 KAR 5:063 § 1 (2)(a), applicant's legal counsel affirms that:

(a) A written notice, of durable material at least two (2) feet by four (4) feet in size, stating that "***Cumberland Cellular Partnership proposes to construct a telecommunications tower on this site***", including the addresses and telephone numbers of the applicant and the Kentucky Public Service Commission, has been posted and shall remain in a visible location on the proposed site until final disposition of the application; and

(b) A written notice, of durable material at least two (2) feet by four (4) feet in size, stating that "***Cumberland Cellular Partnership proposes to construct a telecommunications tower near this site***", including the addresses and telephone numbers of the applicant and the Kentucky Public Service Commission, has been posted on the public road nearest the site.

A copy of each sign is attached as Exhibit "H"

19. Pursuant to 807 KAR 5:063 § 1 (1)(q), a statement that notice of the location of the proposed construction has been published in a newspaper of general circulation in the county in which the construction is proposed.

20. Pursuant to 807 KAR 5:063 § 1(1)(r), the cell site, which has been selected, is in a relatively undeveloped area in Columbia, Kentucky.

21. Pursuant to 807 KAR 5:063 § 1(1)(s), Cumberland Cellular has considered the likely effects of the installation on nearby land uses and values and has concluded that there is no more suitable location reasonably available from which adequate service to the area can be provided, and that there is no reasonably available opportunity to co-locate. Cumberland Cellular has attempted to co-locate on towers designed to host multiple wireless service providers' facilities or existing structures, such as a telecommunications tower, or another suitable structure capable of supporting the utility's facilities.

22. Pursuant to 807 KAR 5:063 § 1(1)(t), a map of the area in which the tower is proposed to be located, that is drawn to scale and that clearly depicts the search area in which a site should, pursuant to radio frequency requirements, be located is Exhibit "J".

23. Pursuant to KRS 100.987(2)(a), a grid map, that is drawn to scale, that shows the location of all existing cellular antenna towers and that indicates the general position of proposed construction sites for new cellular antenna towers is Exhibit "K".

24. No reasonably available telecommunications tower, or other suitable structure capable of supporting the cellular facilities of Cumberland Cellular and which would provide adequate service to the area exists.

25. Correspondence and communication with regard to this application should be addressed to:

John E. Selent  
**DINSMORE & SHOHL LLP**  
1400 PNC Plaza  
500 West Jefferson Street  
Louisville, KY 40202  
(502) 540-2300  
*selent@dinslaw.com*

WHEREFORE, Cumberland Cellular Partnership requests the Commission to enter an order:

1. Granting a certificate of public convenience and necessity to construct the Flatwood cell site; and
2. Granting all other relief as appropriate.

Respectfully submitted,



---

John E. Selent  
**DINSMORE & SHOHL LLP**  
1400 PNC Plaza  
500 West Jefferson Street  
Louisville, KY 40202  
(502) 540-2300  
(502) 540-2207  
*john.selent@dinslaw.com*

# LUKAS, NACE, GUTIERREZ & SACHS

CHARTERED

1650 TYSONS BOULEVARD, SUITE 1500  
MCLEAN, VIRGINIA 22102  
703 584 8678 • 703 584 8696 FAX

WWW.FCCLAW.COM

RUSSELL D. LUKAS  
DAVID L. NACE  
THOMAS GUTIERREZ\*  
ELIZABETH R. SACHS\*  
GEORGE L. LYON, JR.  
PAMELA L. GIST  
DAVID A. LAFURIA  
B. LYNN F. RATNAVALE\*  
TODD SLAMOWITZ\*  
STEVEN M. CHERNOFF\*

CONSULTING ENGINEERS  
ALI KUZEHKANANI  
LEILA REZANAVAZ  
OF COUNSEL  
JOHN J. MCAVOY\*  
J.K. HAGE III\*  
LEONARD S. KOLSKY\*  
HON. GERALD S. MCGOWAN\*  
TAMARA DAVIS-BROWN\*

\*NOT ADMITTED IN VA

November 17, 2006

Telephone

(703)584-8668

FACSIMILE

(703) 584-8692

## Via Federal Express

Mr. John Houlihan  
Kentucky Airport Zoning Commission  
200 Mero Street  
Frankfort, Kentucky 40622

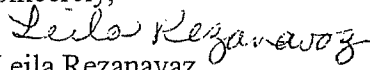
Dear Mr. Houlihan:

Enclosed please find two completed TC 56-50 forms, Application for Permit to Construct or Alter a Structure, for a new tower (Flatwood) near Columbia, Kentucky. The Structure, including top-mounted antennas will have an overall height of 255 feet Above Ground Level.

Enclosed Form TC 56-50 and the attached exhibit include all the pertinent information for this existing tower structure. Also enclosed are copies of the completed FAA Form 7460-1 for the proposed site, a non-reduced 7-1/2' U.S. Geological Survey map indicating the exact location of the site, and a copy of the 1A Certification survey.

Please do not hesitate to contact the undersigned if there are questions regarding this matter.

Sincerely,

  
Leila Rezanavaz  
Consulting Engineer

Enclosures

CC: Scott McCloud

Kentucky Transportation Cabinet, Kentucky Airport Zoning Commission, 125 Holmes Street, Frankfort KY 40622

Kentucky Aeronautical Study Number

APPLICATION FOR PERMIT TO CONSTRUCT OR ALTER A STRUCTURE

1. APPLICANT - Name, Address, Telephone, Fax, etc.

Scott McCloud
Bluegrass Cellular
2902 Ring Road
Elizabethtown, KY 42702
Tel: 270-769-0339
Fax: 270-737-0580

2. Representative of Applicant - Name, Address, Telephone, Fax

Leila Rezanavaz
Lukas, Nace, Gutierrez & Sachs, Chartered
1650 Tysons Blvd., Suite 1500
McLean, VA 22102
T: 703-584-8668

3. Application for: [X] New Construction [ ] Alteration [ ] Existing

4. Duration: [X] Permanent [ ] Temporary (Months \_\_\_\_\_ Days \_\_\_\_\_)

5. Work Schedule: Start 12/20/06 End 12/24/06

6. Type: [X] Antenna Tower [ ] Crane [ ] Building [ ] Power Line
[ ] Landfill [ ] Water Tank [ ] Other

7. Marking/Painting and/or Lighting Preferred:

- [ ] Red Lights and Paint [X] Dual - Red & Medium Intensity White
[ ] White - Medium Intensity [ ] Dual - Red & High Intensity White
[ ] White - High Intensity [ ] Other

8. FAA Aeronautical Study Number 2006-ASO-6739-0E

9. Latitude: 37 ° 3 ' 12 . 31 "

10. Longitude: 85 ° 22 ' 3 . 73 "

11. Datum: [X] NAD 83 [ ] NAD 27 [ ] Other

12. Nearest Kentucky City Columbia County: Adair

13. Nearest Kentucky public use or Military airport:
Columbia-Adair County Airport

14. Distance from #13 to Structure: 2.5 Miles

15. Direction from #13 to Structure: SW

16. Site Elevation (AMSL): 856.6 Feet

17. Total Structure Height (AGL): 255 Feet

18. Overall Height (#16 + #17) (AMSL): 1111.6 Feet

19. Previous FAA and/or Kentucky Aeronautical Study Number(s):
N/A

20. Description of Location: (Attach a USGS 7.5 minute Quadrangle Map or an Airport Layout Drawing with the precise site marked and any certified survey)

Site is located at:

1850 Bliss Road
Columbia, KY 42728

21. Description of Proposal:

Structure: Tower with top-mounted antennas for overall height of 255'.
Max. ERP: 200 Watts
Frequency: Cellular Band B

22. Has a "NOTICE OF CONSTRUCTION OR ALTERATION" (FAA Form 7460-1) been filed with the Federal Aviation Administration?

[ ] No
[X] Yes, When 11/17/06

CERTIFICATION: I hereby certify that all the above statements made by me are true, complete and correct to the best of my knowledge and belief.

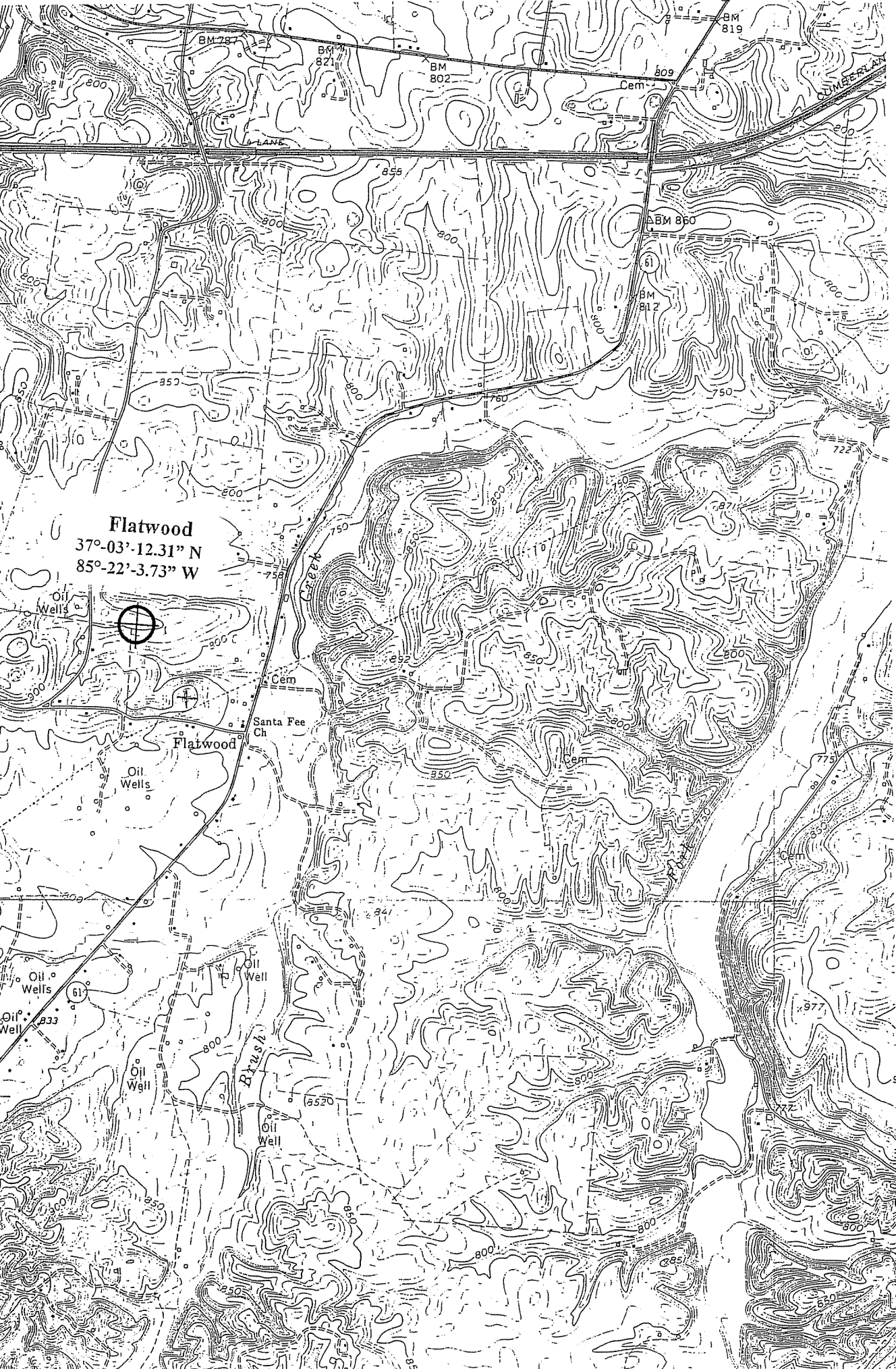
Leila Rezanavaz / Consulting Engineer [Signature] 11/17/06
Printed Name Signature Date

PENALTIES: Persons failing to comply with Kentucky Revised Statutes (KRS 183.861 through 183.990) and Kentucky Administrative Regulations (602 KAR 050: Series) are liable for fines and/or imprisonment as set forth in KRS 183.990(3). Non-compliance with Federal Aviation Administration Regulations may result in further penalties.

Commission Action: [ ] Chairman, KAZC [ ] Administrator, KAZC

[ ] Approved [ ] Disapproved Date

EDMONTON 18 1/4  
GRADYVILLE 3 1/4  
BOWLING GREEN 56 MI.  
EDMONTON 18 MI.  
3958 III SW  
(GRADYVILLE)  
4102  
4101  
2130'  
SPARKSVILLE 2.7 MI.  
4099



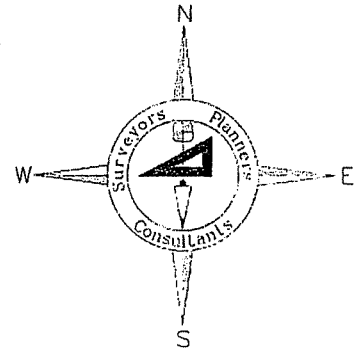
**Flatwood**  
37°-03'-12.31" N  
85°-22'-3.73" W

-3-1  
-Z1-53  
870



# Landmark Surveying Co., Inc.

Darren L. Helms, R.L.S., PRESIDENT  
Dennis N. Helms, R.L.S., VICE PRESIDENT



15 N.E. 3rd Street  
Washington, Indiana 47501  
Phone: 812-257-0950  
Fax: 812-257-0953  
E-mail: landmark@dmrtc.net

## 1A Certification

October 30, 2006

Designation: Flatwood  
Site ID No.: Not Available  
Tower Type: Proposed Self-Support Tower  
Location: 1850 Bliss Road, Columbia, KY 42728

I certify that the latitude, longitude, ground elevation and height of the proposed self-support tower are as follows:

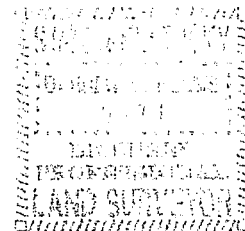
Latitude:	37 degrees 03 minutes 12.31 seconds North	(NAD 1983)
Longitude:	85 degrees 22 minutes 03.73 seconds West	(NAD 1983)
Ground Elevation:	856.6 feet or 261.1 meters	(NAVD 1988)
Proposed Structure Height:	240 feet or 73.2 meters	(above ground level)
Proposed Overall Structure Height:	not available	(above ground level)

The accuracy of the latitude and longitude of the proposed self-support tower is  $\pm 15$  feet or  $\pm 5$  meters. The ground elevation and structure height are accurate to within  $\pm 3$  feet or  $\pm 1$  meter.

The information shown above is based upon field observations made on October 19, 2006 using the National Geodetic Survey monument "Z 225" and the Kentucky State Plane Coordinate System, South Zone, NAD 1983 (1993). The field observations were completed using Sokkia GPS receivers and a Topcon GPT-8005A robotic total station. Geodetic computations were completed using Sokkia's Locus software and Autodesk Land Desktop 3 software.

Landmark Surveying Co., Inc.

Darren L. Helms, Kentucky Professional Land Surveyor No. 3386



**Notice of Proposed Construction or Alteration (7460-1)**

**Project Name:** BLUGR-000054182-06

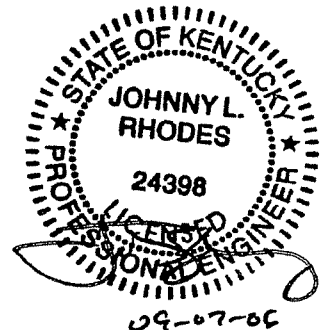
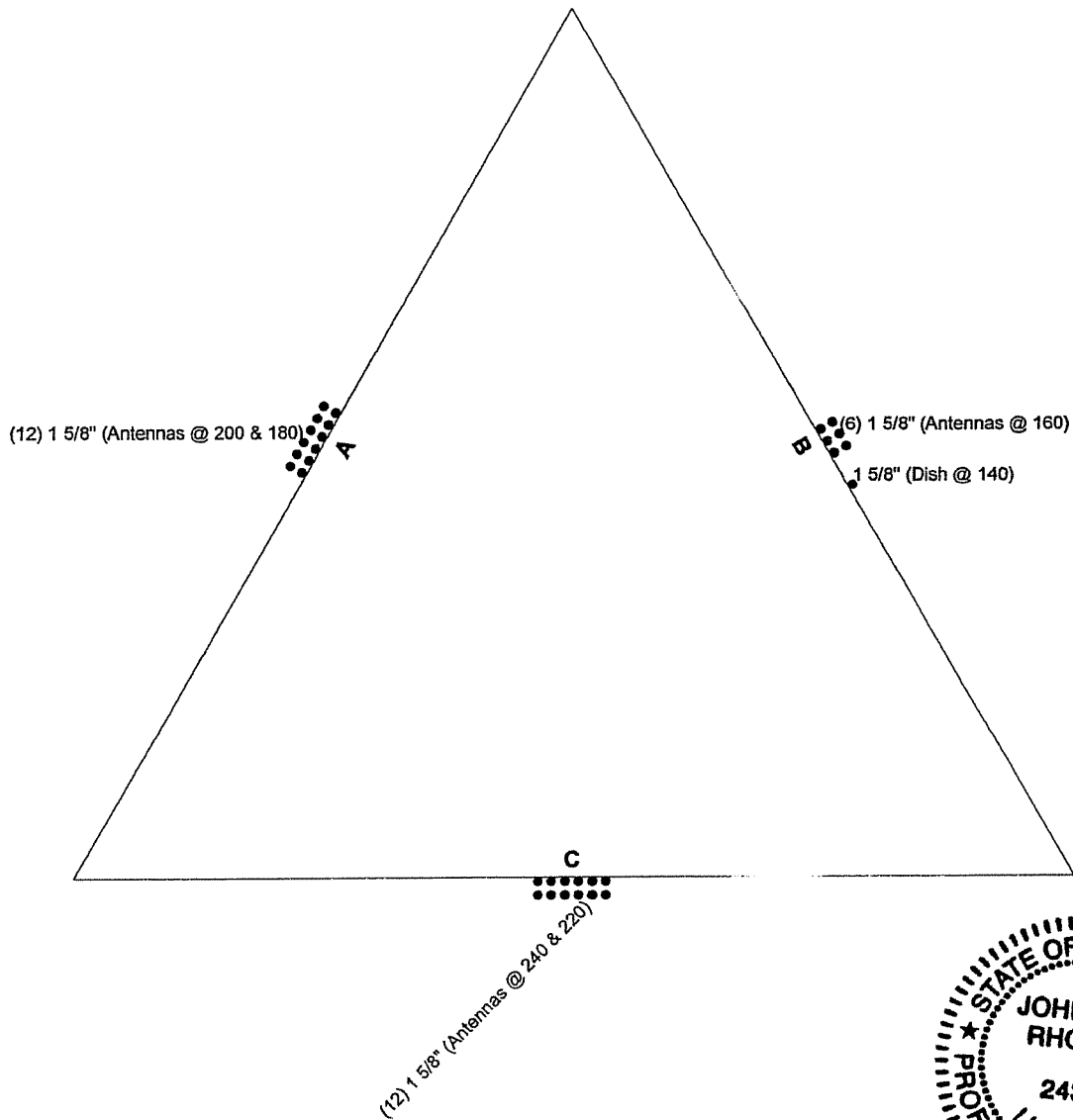
**Sponsor:** Blugrass Cellular, Inc.

**Details for Case : Flatwood**

Show Project Summary

<b>Case Status</b>		<b>Date Accepted:</b> 11/17/2006	
<b>ASN:</b> 2006-ASO-6739-OE		<b>Date Determined:</b>	
<b>Status:</b> Accepted		<b>Letters:</b> None	
<b>Construction / Alteration Information</b>		<b>Structure Summary</b>	
<b>Notice Of:</b> Construction		<b>Structure Name:</b> Flatwood	
<b>Duration:</b> Permanent		<b>Structure Type:</b> Antenna Tower	
<b>if Temporary:</b> Months: Days:		<b>Other:</b>	
<b>Work Schedule - Start:</b> 12/20/2006		<b>FCC Number:</b>	
<b>Work Schedule - End:</b> 12/24/2006		<b>Prior ASN:</b>	
<b>State Filing:</b> Filed with State			
<b>Structure Details</b>		<b>Common Frequency Bands</b>	
<b>Latitude:</b> 37° 3' 12.31" N		<b>Low Freq</b> 824	<b>High Freq</b> 849
<b>Longitude:</b> 85° 22' 3.73" W			<b>Freq Unit</b> MHz
<b>Horizontal Datum:</b> NAD83			<b>ERP</b> 500
<b>Site Elevation (SE):</b> 857 (nearest foot)			<b>ERP Unit</b> W
<b>Structure Height (AGL):</b> 255 (nearest foot)			
<b>Marking/Lighting:</b> Dual-red and medium intensity			
<b>Other:</b>			
<b>Nearest City:</b> Columbia			
<b>Nearest State:</b> Kentucky			
<b>Traverseway:</b> No Traverseway			
<b>Description of Location:</b> Site is located at 1850 Bliss Road Columbia, KY 42728			
<b>Description of Proposal:</b> The tower including top-mounted antennas has an overall Height of 255' AGL.			

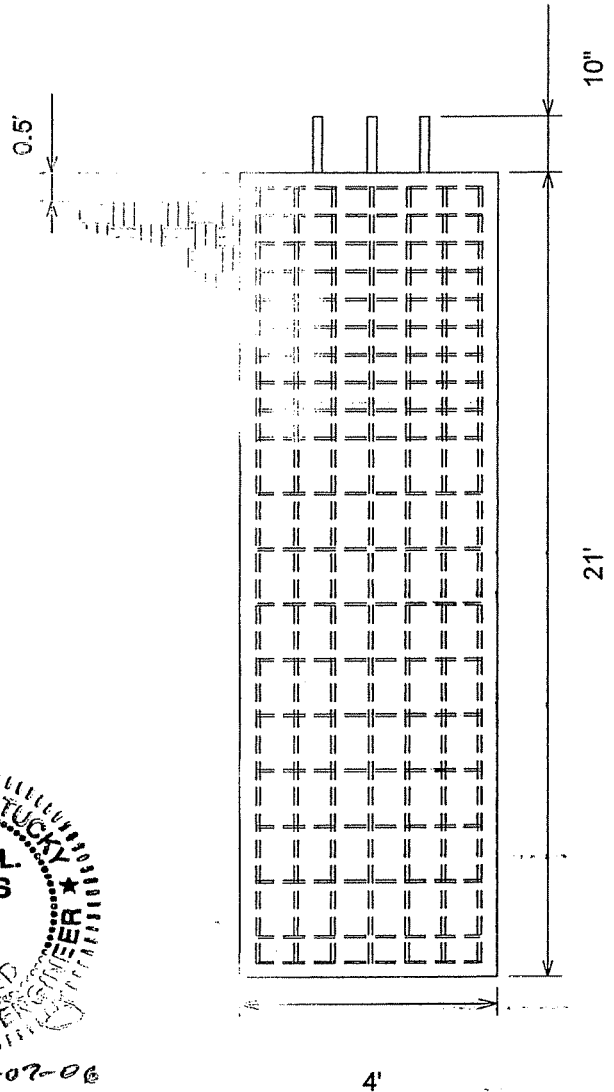




<b>Eastpointe Engineering Group, LLC</b> 4020 Tull Ave. Muskogee, OK 74403 Phone: 918.683.2169 FAX: 918.682.7618	<b>Job: EII Job #2380-Flatwood</b>		
	Project: <b>240° SST/Adair County, KY</b>		
	Client: Bluegrass Cellular	Drawn by: Johnny L. Rhodes, P.E.	App'd:
	Code: TIA-222-G	Date: 09/07/06	Scale: NT
	Path:		Dwg No. E-

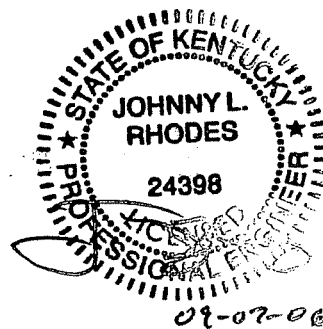
# CAISSON DESIGN

<b>Vertical Bars</b>	(16) #9 bars, 20.5' long
<b>Ties</b>	#5 bars @ 6" c/c for the first 6.5' then 12" c/c thereafter



### General Notes

1. Concrete shall be placed in accordance with ACI318-02, latest revision.
2. Concrete shall have a minimum 28 day compressive strength of 4000 PSI.
3. Rebar to conform to ASTM A615 grade 60.
4. Rebar used for ties may be A615 grade 40.
5. All rebar to have a minimum of 3" clear cover.
6. All exposed concrete corners to have 3/4" chamfer.
7. Bottom and side surfaces to rest on undisturbed soil.
8. Contractor shall be responsible to review and follow all recommendations of the geotechnical report.



### Supplemental Notes

Soil values obtained from Terracon soils report #57067409G Dated 08/16/06  
 Use (6) 1 1/2" Grade 50 Anchor bolts with 60" embedment.

<b>EASTPOINTE ENGINEERING GROUP, LLC</b> 4020 Tull Ave. Muskogee, OK 74403--Phone 918.683.2169--Fax:918.682.7618	<b>Client: Bluegrass Cellular</b>	
	<b>Site: Flatwood</b>	
	<b>Job: 2380</b>	<b>Drawn by: JLR</b>
	<b>Scale: NTS</b>	<b>Date: 09/07/06</b>

**GEOTECHNICAL ENGINEERING REPORT**  
**PROPOSED FLATWOOD TELECOMMUNICATION TOWER**  
**1848 BLISS ROAD**  
**COLUMBIA, KENTUCKY**

**TERRACON PROJECT NO. 57067409G**  
**August 16, 2006**

*Prepared For:*

**BLUEGRASS CELLULAR PARTNERSHIP**  
**Elizabethtown, Kentucky**

*Prepared by:*

**Terracon**  
**Louisville, Kentucky**

**Terracon**

August 16, 2006

Bluegrass Cellular Partnership  
2902 Ring Road  
Elizabethtown, Kentucky 42702

Attention: Mr. Doug Updegraff

**Terracon**  
Consulting Engineers & Scientists

4545 Bishop Lane, Suite 101  
Louisville, Kentucky 40218  
Phone 502.456.1256  
Fax 502.456.1278  
www.terracon.com

**Re: Geotechnical Engineering Report  
Proposed Flatwood Telecommunication Tower  
1848 Bliss Road  
Columbia, Kentucky  
Terracon Project No. 57067409G**

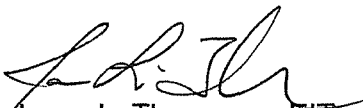

Dear Mr. Updegraff:


The results of our subsurface exploration are attached. The purpose of this exploration was to obtain information on subsurface conditions at the proposed project site and, based on this information, to provide recommendations regarding the design and construction of foundations for the proposed tower.

The design parameters and recommendations within this report apply to the existing planned tower height and adjustments up to 20% increase or decrease in tower height, as long as the type of tower does not change. If changes in the height of the tower dictate a change in tower type (i.e. - monopole to a self-support, self-support to a guyed tower), Terracon should be contacted to evaluate our recommendations with respect to these changes.

We appreciate the opportunity to be of service to you on this project. If you have any questions concerning this report, or if we may be of further service to you in any way, please feel free to contact us.

Sincerely,  
**Terracon**

  
Jason L. Thompson, EIT  
Staff Engineer  
  
Timothy G. LaGrow, P.E.  
Regional Manager

  
Erich J. Hoehler, P.E.  
Kentucky No. 24513  


Attachments: Geotechnical Engineering Report

Copies: (4) Addressee

## **TABLE OF CONTENTS**

Cover Letter .....	i
<b>1.0 INTRODUCTION.....</b>	<b>1</b>
<b>2.0 PROJECT DESCRIPTION.....</b>	<b>1</b>
<b>3.0 EXPLORATION PROCEDURES .....</b>	<b>1</b>
3.1 Field Exploration .....	1
3.2 Laboratory Testing.....	3
<b>4.0 EXPLORATORY FINDINGS .....</b>	<b>3</b>
4.1 Subsurface Conditions.....	3
4.2 Site Geology .....	4
4.3 Groundwater Conditions .....	4
<b>5.0 ENGINEERING RECOMMENDATIONS .....</b>	<b>4</b>
5.1 Tower Foundation.....	5
5.2 Equipment Building Foundations .....	6
5.3 Parking and Drive Areas .....	7
5.4 Site Preparation .....	7
<b>6.0 GENERAL COMMENTS.....</b>	<b>8</b>
<b>APPENDIX</b>	
Boring Location Plan	
Boring Log	
General Notes	
General Notes – Description of Rock Properties	
Unified Soil Classification System	



**GEOTECHNICAL ENGINEERING REPORT**

**PROPOSED FLATWOOD TELECOMMUNICATION TOWER  
1848 BLISS ROAD  
COLUMBIA, KENTUCKY  
TERRACON PROJECT NO. 57067409G  
August 16, 2006**

**1.0 INTRODUCTION**

The purpose of this report is to describe the subsurface conditions encountered in the boring, analyze and evaluate the test data, and provide recommendations regarding the design and construction of foundations and earthwork for the proposed tower. One boring extending to a depth of about 27 feet below the existing ground surface was drilled at the site. An individual boring log and a boring location plan are included with this report.

**2.0 PROJECT DESCRIPTION**

Terracon understands the proposed project will consist of the construction of a 240-foot self supporting telecommunication tower. Exact tower loads are not available, but based on our past experience are anticipated to be as follows:

Vertical Load:	600 kips
Horizontal Shear:	80 kips
Uplift:	500 kips

A small, lightly loaded equipment building will also be constructed. Wall and floor loads for this building are not anticipated to exceed 1 kip per linear foot and 100 pounds per square foot, respectively. Based on information provided by the client and a review of the available United States Geological Survey Topographic map for the area, the site is situated in hilly terrain. Based on the proposed tower construction and the topographic map review, some cut and/or fill, up to ten feet, may be necessary to level the site and reach planned site grades.

**3.0 EXPLORATION PROCEDURES**

**3.1 Field Exploration**

The subsurface exploration consisted of drilling and sampling one boring at the site to a depth of about 27 feet below existing grade. The boring was advanced at the center of the tower, staked by the project surveyor. The approximate ground surface elevation at the boring location was obtained from the provided drawing and is included on the boring log. The location and elevation of the boring should be considered accurate only to the degree implied by the means and methods used to define them.

The boring was drilled with an ATV-mounted rotary drill rig using hollow stem augers to advance the borehole. Representative soil samples were obtained by the split-barrel sampling procedure in general accordance with the appropriate standard. In the split-barrel sampling procedure, the number of blows required to advance a standard 2-inch O.D. split-barrel sampler the last 12 inches of the typical total 18-inch penetration by means of a 140-pound hammer with a free fall of 30 inches, is the standard penetration resistance (SPT) value (N-Value). This value is used to estimate the in-situ relative density of cohesionless soils and the consistency of cohesive soils. The sampling depths, penetration distance, and SPT N-Values are shown on the boring log. The samples were sealed and delivered to the laboratory for testing and classification.

Auger refusal was encountered at a depth of about 17 feet below the existing ground surface. The boring was extended into the refusal materials using a diamond bit attached to the outer barrel of a double core barrel. The inner barrel collected the cored material as the outer barrel was rotated at high speeds to cut the rock. The barrel was retrieved to the surface upon completion of each drill run. Once the core samples were retrieved, they were placed in a box and logged. The rock was later classified by an engineer and the "percent recovery" and rock quality designation (RQD) were determined.

The "percent recovery" is the ratio of the sample length retrieved to the drilled length, expressed as a percent. An indication of the actual in-situ rock quality is provided by calculating the sample's RQD. The RQD is the percentage of the length of broken cores retrieved which have core segments at least 4 inches in length compared to each drilled length. The RQD is related to rock soundness and quality as illustrated below:

**Table 1 – Rock Quality Designation (RQD)**

Relation of RQD and In-situ Rock Quality	
RQD (%)	Rock Quality
90 - 100	Excellent
75 - 90	Good
50 - 75	Fair
25 - 50	Poor
0 -25	Very Poor

A field log of the boring was prepared by a subcontract driller. This log included visual classifications of the materials encountered during drilling as well as the driller's interpretation of the subsurface conditions between samples. The final boring log included with this report represents an interpretation of the driller's field log and a visual classification of the soil samples made by the Geotechnical Engineer.

### **3.2 Laboratory Testing**

The samples were classified in the laboratory based on visual observation, texture and plasticity. The descriptions of the soils indicated on the boring log are in accordance with the enclosed General Notes and the Unified Soil Classification System. Estimated group symbols according to the Unified Soil Classification System are given on the boring log. A brief description of this classification system is attached to this report.

The laboratory testing program consisted of performing water content tests and an Atterberg Limits test on representative soil samples. An unconfined compressive strength test was also performed on a sample of the refusal material. Information from these tests was used in conjunction with field penetration test data to evaluate soil/rock strength in-situ, volume change potential, and soil classification. Results of these tests are provided on the boring log.

Classification and descriptions of rock core samples are in accordance with the enclosed General Notes, and are based on visual and tactile observations. Petrographic analysis of thin sections may indicate other rock types. Percent recovery and RQD were calculated for these samples and are noted at their depths of occurrence on the boring log.

## **4.0 EXPLORATORY FINDINGS**

### **4.1 Subsurface Conditions**

Conditions encountered at the boring location are indicated on the boring log. Stratification boundaries on the boring log represent the approximate location of changes in soil types and the transition between materials may be gradual. Water levels shown on the boring log represent the conditions only at the time of our exploration. Based on the results of the boring, subsurface conditions on the project site can be generalized as follows.

Underlying approximately 2 inches of topsoil our boring encountered fat clay (CH) to an auger refusal depth of about 17 feet below existing grade. The clay exhibited a stiff consistency based on SPT N-Values ranging from 8 to 14 blows per foot.

Below a depth of about 17 feet, rock coring techniques were used to advance the borehole. The core samples recovered consisted of about 2 feet limestone underlain by shale with interbedded limestone. The limestone was very closely to closely jointed, moderately weathered, brownish gray and gray, hard and vuggy. The shale was closely jointed, slightly to moderately weathered, dark gray and hard. The bedrock at the site appears to be relatively continuous based on core recoveries of 92 and 100 percent. The quality of the rock is rated at poor to good based on RQD values of 33 and 80 percent. Considering the height of the tower and the quality of the bedrock, coring operations were terminated at a depth of 27 feet below grade.

## **4.2 Site Geology**

A review of the Geologic Map of the Columbia Quadrangle, Kentucky published by the United States Geological Survey, indicates that the site is underlain by the Fort Payne Formation. The Fort Payne Formation consists of limestone and shale. The limestone is gray, medium to very coarse grained and discontinuous, however in places, it thickens to constitute all of the formation. The shale of the formation is gray and grayish blue-green near limestone, silty and dense and commonly crossbedded. The shale and limestone of the formation can contain some quartz. The Fort Payne Formation can be over 225 feet thick.

It should be noted that the site is underlain by a limestone formation that is highly susceptible to dissolution along joints and bedding planes in the rock mass. This results in voids and solution channels within the rock strata and a highly irregular bedrock surface. The weathering of the bedrock and subsequent collapse or erosion of the overburden into these openings results in what is referred to as a karst topography. Any construction in karst topography is accompanied by some degree of risk for future internal soil erosion and ground subsidence that could affect the stability of the proposed structures. Our review of the available topographic and geologic mapping noted karst topography within a one-mile radius of the property. However, the boring drilled at the site did not disclose any obvious signs of impending overburden collapse.

## **4.3 Groundwater Conditions**

No groundwater was encountered during the auger drilling portion of the borehole. Water was used to advance the borehole during rock coring operations. The introduction of water into the borehole precluded obtaining accurate groundwater level readings at the time of drilling operations. Long term observation of the groundwater level in monitoring wells, sealed from the influence of surface water, would be required to obtain accurate groundwater levels on the site.

It should be recognized that fluctuations of the groundwater table may occur due to seasonal variations in the amount of rainfall, runoff and other factors not evident at the time the boring was performed. Therefore, groundwater levels during construction or at other times in the life of the structure may be higher or lower than the levels indicated on the boring log. The possibility of groundwater level fluctuations should be considered when developing the design and construction plans for the project.

## **5.0 ENGINEERING RECOMMENDATIONS**

Based on the encountered subsurface conditions, the tower can be constructed on drilled piers or a mat foundation. The lightly loaded equipment building can be supported on shallow spread footings. Shallow foundation and drilled pier recommendations are presented in the following paragraphs.

**5.1 Tower Foundation**

**Drilled Pier Alternative:** Based on the results of the boring, the following drilled pier design parameters have been developed:

**Table 2 - Drilled Pier Foundation Design Parameters**

Depth * (feet)	Description **	Allowable Skin Friction (psf)	Allowable End Bearing Pressure (psf)	Allowable Passive Pressure (psf)	Internal Angle of Friction (Degree)	Cohesion (psf)	Lateral Subgrade Modulus (pci)	Strain, $\epsilon_{50}$ (in/in)
0 - 3	Topsoil and Fat Clay	Ignore	Ignore	Ignore	-	-	Ignore	Ignore
3 - 17	Fat Clay	400	Ignore	1,250	0	1,250	100	0.008
17 - 27	Limestone and Shale	3,500	40,000	7,000	0	70,000	3,000	0.00001

\* Pier inspection is recommended to adjust pier length if variable soil/rock conditions are encountered.

\*\* A total unit weight of 120 and 140 pcf can be estimated for the clay and limestone/shale, respectively.

\*\*\* The pier should be embedded a minimum of 3 feet into the limestone/shale to mobilize these higher rock strength parameters. Furthermore, it is assumed the rock socket will be extended using coring techniques rather than blasting/shooting.

The above indicated cohesion, friction angle, lateral subgrade modulus and strain values have no factors of safety, and the allowable skin friction and the passive resistances have factors of safety of 2. The cohesion, internal friction angle, lateral subgrade modulus and strain values given in the above table are based on the boring, published correlation values and Terracon's past experience with similar soil/rock types. These values should, therefore, be considered approximate. To mobilize the higher rock strength parameters, the pier should be socketed at least 3 feet into bedrock. Furthermore, it is assumed that the rock socket is developed using coring rather than blasting techniques. The allowable end bearing pressure provided in the table has an approximate factor of safety of at least 3. Total settlement of drilled piers founded on limestone and designed using the above parameters is not anticipated to exceed 1/2 inch.

The upper 3 feet of topsoil and fat clay should be ignored due to the potential affects of frost action and construction disturbance. To avoid a reduction in uplift and lateral resistance caused by variable bedrock depths and bedrock quality, it is recommended that a minimum pier length and minimum rock socket length be stated on the design drawings. Bedrock was encountered in our boring below a depth of about 17 feet, but could vary between tower legs, or if the tower is moved from the location of our boring. If the tower center is moved from the planned location, Terracon should be notified to review the recommendations and determine whether an additional boring is required. To facilitate pier length adjustments that may be necessary because of variable rock conditions, it is recommended that a Terracon representative observe the drilled pier excavation.

A drilled pier foundation should be designed with a minimum shaft diameter of 30 inches to facilitate clean out and possible dewatering of the pier excavation. Temporary casing may be

required during the pier excavation in order to control possible groundwater seepage and support the sides of the excavation in weak soil zones. Care should be taken so that the sides and bottom of the excavations are not disturbed during construction. The bottom of the shaft should be free of loose soil or debris prior to reinforcing steel and concrete placement.

A concrete slump of at least 6 inches is recommended to facilitate temporary casing removal. It should be possible to remove the casing from a pier excavation during concrete placement provided that the concrete inside the casing is maintained at a sufficient level to resist any earth and hydrostatic pressures outside the casing during the entire casing removal procedure.

**Mat Foundation Alternative:** The mat foundation can be designed using the following natural soil/engineered fill parameters. These parameters are based on the findings of the boring, a review of published correlation values and Terracon's experience with similar soil conditions. These design parameters also assume that the base of the mat foundation will rest on natural soils or well-graded crushed stone that is compacted and tested on a full time basis.

**Table 3 - Mat Foundation Design Parameters**

Depth (feet)	Description	Allowable Contact Bearing Pressure (psf)	Allowable Passive Pressure (psf)	Coefficient of Friction, Tan $\delta$	Vertical Modulus of Subgrade Reaction (pci)
0 - 3	Topsoil and Fat Clay	Ignore	Ignore	-	
$\geq 3$	Fat Clay or Crushed Stone Fill	2,500	Ignore	0.35	125

It is important to note that potentially expansive high plasticity clay was encountered beneath the surficial topsoil to an auger refusal depth of about 17 feet below existing grade. Assuming the concrete mat is at least 2 feet thick with ample steel reinforcement, we anticipate that ground movement associated with shrinkage and swelling of the clay will have minimal influence on the mat foundation. It is however recommended that the mat bear at least 3 feet below final exterior grade to minimize the affects of seasonal changes in soil water content.

To assure that soft soils are not left under the mat foundation, it is recommended that a geotechnical engineer observe the foundation subgrade prior to concrete placement. Provided the above recommendations are followed, total mat foundation settlements are not anticipated to exceed about 1 inch. Differential settlement should not exceed 50 percent of the total settlement.

## 5.2 Equipment Building Foundations

The proposed equipment shed may be supported on shallow footings bearing on stiff natural soils. The equipment building foundations should be dimensioned using a net allowable soil

bearing pressure of 2,000 pounds per square foot (psf). In using net allowable soil pressures for footing dimensioning, the weight of the footings and backfill over the footings need not be considered. Furthermore, the footings should be at least 12 inches wide and a minimum of 2 feet square.

The geotechnical engineer or a qualified representative should observe the foundation excavations to verify that the bearing materials are suitable for support of the proposed loads. If, at the time of such observation, any soft soils are encountered at the design foundation elevation, the excavations should be extended downward so that the footings rest on stiff soils. If it is inconvenient to lower the footings, the proposed footing elevations may be re-established by backfilling after the undesirable material has been removed.

The recommended soil bearing value should be considered an upper limit, and any value less than that listed above would be acceptable for the foundation system. Using the value given, total settlement would be about 1 inch or less with differential settlements being less than 75 percent of total settlement. Footings should be placed at a depth of 2 feet, or greater, below finished exterior grade for protection against frost damage.

### **5.3 Parking and Drive Areas**

The drive that accesses the site will be surfaced with crushed stone. Parking and drive areas that are surfaced with crushed stone should have a minimum thickness of 6 inches and be properly placed and compacted as outlined herein. The crushed stone should meet Kentucky Transportation Cabinet specifications and applicable local codes.

A paved section consisting only of crushed graded aggregate base course should be considered a high maintenance section. Regular care and maintenance is considered essential to the longevity and use of the section. Site grades should be maintained in such a manner as to allow for adequate surface runoff. Any potholes, depressions or excessive rutting that may develop should be repaired as soon as possible to reduce the possibility of degrading the soil subgrade.

### **5.4 Site Preparation**

Site preparation should begin with the removal of any topsoil, loose, soft or otherwise unsuitable materials from the construction area. The geotechnical engineer should evaluate the actual stripping depth, along with any soft soils that require undercutting at the time of construction.

Any fill and backfill placed on the site should consist of approved materials that are free of organic matter and debris. Suitable fill materials should consist of well graded crushed stone below the tower foundation and well graded crushed stone or low plasticity cohesive soil elsewhere. Low-plasticity cohesive soil should have a liquid limit of less than 45 percent and a

plasticity index of less than 25 percent. Based on our limited testing to date, the on site soils are not considered suitable for re-use as fill beneath structures. Offsite materials should be thoroughly tested and evaluated prior to use as fill. Fill should not contain frozen material and it should not be placed on a frozen subgrade.

The fill should be placed and compacted in lifts of 9 inches or less in loose thickness. Fill placed below structures or used to provide lateral resistance should be compacted to at least 98 percent of the material's maximum standard Proctor dry density (ASTM D-698). Fill should be placed, compacted, and maintained at moisture contents within minus 1 to plus 3 percent of the optimum value determined by the standard Proctor test.

The geotechnical engineer should be retained to monitor fill placement on the project and to perform field density tests as each lift of fill is placed in order to evaluate compliance with the design requirements. Standard Proctor and Atterberg limits tests should be performed on the representative samples of fill materials before their use on the site.

## **6.0 GENERAL COMMENTS**

Terracon should be retained to review the final design plans and specifications so comments can be made regarding interpretation and implementation of our geotechnical recommendations in the design and specifications. Terracon also should be retained to provide testing and observation during excavation, grading, foundation and construction phases of the project.

The analysis and recommendations presented in this report are based upon the data obtained from the boring performed at the indicated location and from other information discussed in this report. This report does not reflect variations that may occur across the site, between tower legs or due to the modifying effects of weather. The nature and extent of such variations may not become evident until during or after construction. If variations appear, we should be immediately notified so that further evaluation and supplemental recommendations can be provided.

The scope of services for this project does not include either specifically or by implication any environmental or biological (e.g., mold, fungi, bacteria) assessment of the site or identification or prevention of pollutants, hazardous materials or conditions. If the owner is concerned about the potential for such contamination or pollution, other studies should be undertaken.

This report has been prepared for the exclusive use of our client for specific application to the project discussed and has been prepared in accordance with generally accepted geotechnical engineering practices. No warranties, either express or implied, are intended or made. Site safety, excavation support, and dewatering requirements are the responsibility of others. In the event that changes in the nature, design, or location of the

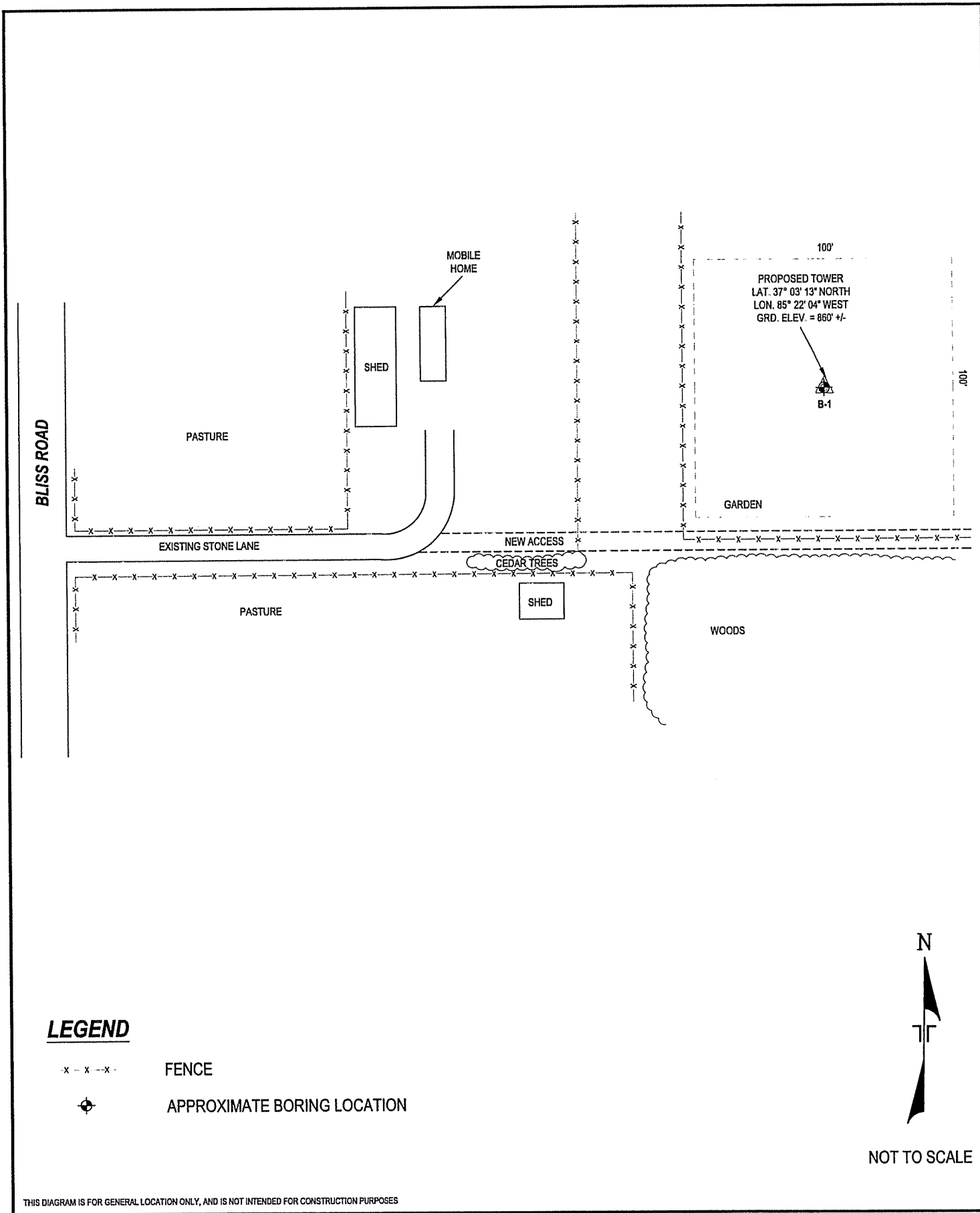


**Proposed Flatwood Telecommunication Tower  
Columbia, Kentucky  
Terracon Project No.: 57067409G  
August 16, 2006**

**Terracon**

project as outlined in this report are planned, the conclusions and recommendations contained in this report shall not be considered valid unless Terracon reviews the changes and either verifies or modifies the conclusions of this report in writing.

## **APPENDIX**



THIS DIAGRAM IS FOR GENERAL LOCATION ONLY, AND IS NOT INTENDED FOR CONSTRUCTION PURPOSES

Project Mngr:	JLT
Drawn By:	RRK
Checked By:	MRF/JLT
Approved By:	JLT

Project No.	57067409G
Scale:	AS SHOWN
File No.	GEO57067409G-1
Date:	AUGUST 2006

**Terracon**  
 Consulting Engineers and Scientists

4545 Bishop Lane, Suite 101      Louisville, KY 40218  
 (407) 843-1311                              (407) 843-1317

**BORING LOCATION DIAGRAM**  
 GEOTECHNICAL EXPLORATION  
 PROPOSED FLATWOOD TELECOMMUNICATION TOWER  
 1848 BLISS ROAD  
 COLUMBIA, KENTUCKY

FIG. No.	1
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# LOG OF BORING NO. B-1

CLIENT <b>Bluegrass Cellular Partnership</b>											
SITE <b>1848 Bliss Road Columbia, Kentucky</b>		PROJECT <b>Proposed Flatwood Telecommunication Tower</b>									
GRAPHIC LOG	DESCRIPTION	DEPTH, ft.	USCS SYMBOL	SAMPLES				TESTS			ATTERBERG LIMITS
				NUMBER	TYPE	RECOVERY, in.	SPT - N BLOWS / ft.	WATER CONTENT, %	DRY UNIT WT pcf	UNCONFINED STRENGTH, psf	
	Approx. Surface Elev.: 860 ft										
0.2	<b>TOPSOIL</b> <b>FAT CLAY</b> , reddish & yellowish brown mottled, stiff	860	CH	1	SS	10	8	26			
		5	CH	2	SS	18	14	34			LL = 72 PL = 36 PI = 36
			CH	3	SS	10	10	41			
		10	CH	4	SS	18	10	27			
		15	CH	5	SS	18	8	33			
17	Auger Refusal at 17 feet, Began Coring	843									
20	<b>LIMESTONE</b> with interbedded shale, very closely to closely jointed, moderately weathered, brownish gray to gray, hard, vuggy	840		6	DB	92%	RQD 33%				
	<b>SHALE</b> , closely jointed, slight to moderate weathering, dark gray, hard										
27	-interbedded limestone from 25 to 26 feet  <b>Boring Terminated at 27 feet</b>	833									

The stratification lines represent the approximate boundary lines between soil and rock types: in-situ, the transition may be gradual.

**WATER LEVEL OBSERVATIONS, ft**

WL	▽		▽
WL	▽		▽
WL	Dry Upon Auger Completion		



BORING STARTED		8-1-06	
BORING COMPLETED		8-1-06	
RIG	CME-550	FOREMAN	MW
APPROVED	JLT	JOB # 57067409G	

BOREHOLE 99 57067409G LOGS.GPJ TERRACON.GDT 8/16/06

## GENERAL NOTES

### DRILLING & SAMPLING SYMBOLS:

SS:	Split Spoon - 1-3/8" I.D., 2" O.D., unless otherwise noted	HS:	Hollow Stem Auger
ST:	Thin-Walled Tube - 2" O.D., unless otherwise noted	PA:	Power Auger
RS:	Ring Sampler - 2.42" I.D., 3" O.D., unless otherwise noted	HA:	Hand Auger
DB:	Diamond Bit Coring - 4", N, B	RB:	Rock Bit
BS:	Bulk Sample or Auger Sample	WB:	Wash Boring or Mud Rotary

The number of blows required to advance a standard 2-inch O.D. split-spoon sampler (SS) the last 12 inches of the total 18-inch penetration with a 140-pound hammer falling 30 inches is considered the "Standard Penetration" or "N-value".

### WATER LEVEL MEASUREMENT SYMBOLS:

WL:	Water Level	WS:	While Sampling	N/E:	Not Encountered
WCI:	Wet Cave in	WD:	While Drilling		
DCI:	Dry Cave in	BCR:	Before Casing Removal		
AB:	After Boring	ACR:	After Casing Removal		

Water levels indicated on the boring logs are the levels measured in the borings at the times indicated. Groundwater levels at other times and other locations across the site could vary. In pervious soils, the indicated levels may reflect the location of groundwater. In low permeability soils, the accurate determination of groundwater levels may not be possible with only short-term observations.

**DESCRIPTIVE SOIL CLASSIFICATION:** Soil classification is based on the Unified Classification System. Coarse Grained Soils have more than 50% of their dry weight retained on a #200 sieve; their principal descriptors are: boulders, cobbles, gravel or sand. Fine Grained Soils have less than 50% of their dry weight retained on a #200 sieve; they are principally described as clays if they are plastic, and silts if they are slightly plastic or non-plastic. Major constituents may be added as modifiers and minor constituents may be added according to the relative proportions based on grain size. In addition to gradation, coarse-grained soils are defined on the basis of their in-place relative density and fine-grained soils on the basis of their consistency.

#### CONSISTENCY OF FINE-GRAINED SOILS

<u>Unconfined Compressive Strength, Qu, psf</u>	<u>Standard Penetration or N-value (SS) Blows/Ft.</u>	<u>Consistency</u>
< 500	<2	Very Soft
500 - 1,000	2-4	Soft
1,001 - 2,000	5-7	Medium Stiff
2,001 - 4,000	8-15	Stiff
4,001 - 8,000	16-30	Very Stiff
8,000+	30+	Hard

#### RELATIVE DENSITY OF COARSE-GRAINED SOILS

<u>Standard Penetration or N-value (SS) Blows/Ft.</u>	<u>Relative Density</u>
0 - 3	Very Loose
4 - 9	Loose
10 - 29	Medium Dense
30 - 49	Dense
50+	Very Dense

#### RELATIVE PROPORTIONS OF SAND AND GRAVEL

<u>Descriptive Term(s) of other constituents</u>	<u>Percent of Dry Weight</u>
Trace	< 15
With	15 - 29
Modifier	> 30

#### GRAIN SIZE TERMINOLOGY

<u>Major Component of Sample</u>	<u>Particle Size</u>
Boulders	Over 12 in. (300mm)
Cobbles	12 in. to 3 in. (300mm to 75 mm)
Gravel	3 in. to #4 sieve (75mm to 4.75 mm)
Sand	#4 to #200 sieve (4.75mm to 0.075mm)
Silt or Clay	Passing #200 Sieve (0.075mm)

#### RELATIVE PROPORTIONS OF FINES

<u>Descriptive Term(s) of other constituents</u>	<u>Percent of Dry Weight</u>
Trace	< 5
With	5 - 12
Modifiers	> 12

#### PLASTICITY DESCRIPTION

<u>Term</u>	<u>Plasticity Index</u>
Non-plastic	0
Low	1-10
Medium	11-30
High	30+

## GENERAL NOTES

### Description of Rock Properties

#### WEATHERING

Fresh	Rock fresh, crystals bright, few joints may show slight staining. Rock rings under hammer if crystalline.
Very slight	Rock generally fresh, joints stained, some joints may show thin clay coatings, crystals in broken face show bright. Rock rings under hammer if crystalline.
Slight	Rock generally fresh, joints stained, and discoloration extends into rock up to 1 in. Joints may contain clay. In granitoid rocks some occasional feldspar crystals are dull and discolored. Crystalline rocks ring under hammer.
Moderate	Significant portions of rock show discoloration and weathering effects. In granitoid rocks, most feldspars are dull and discolored; some show clayey. Rock has dull sound under hammer and shows significant loss of strength as compared with fresh rock.
Moderately severe	All rock except quartz discolored or stained. In granitoid rocks, all feldspars dull and discolored and majority show kaolinization. Rock shows severe loss of strength and can be excavated with geologist's pick.
Severe	All rock except quartz discolored or stained. Rock "fabric" clear and evident, but reduced in strength to strong soil. In granitoid rocks, all feldspars kaolinized to some extent. Some fragments of strong rock usually left.
Very severe	All rock except quartz discolored or stained. Rock "fabric" discernible, but mass effectively reduced to "soil" with only fragments of strong rock remaining.
Complete	Rock reduced to "soil". Rock "fabric" not discernible or discernible only in small, scattered locations. Quartz may be present as dikes or stringers.

#### HARDNESS (for engineering description of rock – not to be confused with Moh's scale for minerals)

Very hard	Cannot be scratched with knife or sharp pick. Breaking of hand specimens requires several hard blows of geologist's pick.
Hard	Can be scratched with knife or pick only with difficulty. Hard blow of hammer required to detach hand specimen.
Moderately hard	Can be scratched with knife or pick. Gouges or grooves to ¼ in. deep can be excavated by hard blow of point of a geologist's pick. Hand specimens can be detached by moderate blow.
Medium	Can be grooved or gouged 1/16 in. deep by firm pressure on knife or pick point. Can be excavated in small chips to pieces about 1-in. maximum size by hard blows of the point of a geologist's pick.
Soft	Can be gouged or grooved readily with knife or pick point. Can be excavated in chips to pieces several inches in size by moderate blows of a pick point. Small thin pieces can be broken by finger pressure.
Very soft	Can be carved with knife. Can be excavated readily with point of pick. Pieces 1-in. or more in thickness can be broken with finger pressure. Can be scratched readily by fingernail.

#### Joint, Bedding and Foliation Spacing in Rock<sup>a</sup>

Spacing	Joints	Bedding/Foliation	
Less than 2 in.	Very close	Very thin	
2 in. – 1 ft.	Close	Thin	
1 ft. – 3 ft.	Moderately close	Medium	
3 ft. – 10 ft.	Wide	Thick	
More than 10 ft.	Very wide	Very thick	

Rock Quality Designator (RQD) <sup>b</sup>		Joint Openness Descriptors	
RQD, as a percentage	Diagnostic description	Openness	Descriptor
Exceeding 90	Excellent	No Visible Separation	Tight
90 – 75	Good	Less than 1/32 in.	Slightly Open
75 – 50	Fair	1/32 to 1/8 in.	Moderately Open
50 – 25	Poor	1/8 to 3/8 in.	Open
Less than 25	Very poor	3/8 in. to 0.1 ft.	Moderately Wide
		Greater than 0.1 ft.	Wide

a. Spacing refers to the distance normal to the planes, of the described feature, which are parallel to each other or nearly so.

b. RQD (given as a percentage) = length of core in pieces 4 in. and longer/length of run.

References: American Society of Civil Engineers. Manuals and Reports on Engineering Practice - No. 56. Subsurface Investigation for Design and Construction of Foundations of Buildings. New York: American Society of Civil Engineers, 1976.  
 U.S. Department of the Interior, Bureau of Reclamation, Engineering Geology Field Manual.

# UNIFIED SOIL CLASSIFICATION SYSTEM

Criteria for Assigning Group Symbols and Group Names Using Laboratory Tests<sup>A</sup>

				Soil Classification	
				Group Symbol	Group Name <sup>g</sup>
Coarse Grained Soils More than 50% retained on No. 200 sieve	Gravels More than 50% of coarse fraction retained on No. 4 sieve	Clean Gravels Less than 5% fines <sup>c</sup>	$Cu \geq 4$ and $1 \leq Cc \leq 3^e$	GW	Well-graded gravel <sup>f</sup>
		Gravels with Fines More than 12% fines <sup>c</sup>	$Cu < 4$ and/or $1 > Cc > 3^e$	GP	Poorly graded gravel <sup>f</sup>
			Fines classify as ML or MH Fines classify as CL or CH	GM GC	Silty gravel <sup>f,g,h</sup> Clayey gravel <sup>f,g,h</sup>
	Sands 50% or more of coarse fraction passes No. 4 sieve	Clean Sands Less than 5% fines <sup>d</sup>	$Cu \geq 6$ and $1 \leq Cc \leq 3^e$	SW	Well-graded sand <sup>i</sup>
		Sands with Fines More than 12% fines <sup>d</sup>	$Cu < 6$ and/or $1 > Cc > 3^e$	SP	Poorly graded sand <sup>i</sup>
			Fines classify as ML or MH Fines Classify as CL or CH	SM SC	Silty sand <sup>g,h,i</sup> Clayey sand <sup>g,h,i</sup>
Fine-Grained Soils 50% or more passes the No. 200 sieve	Silts and Clays Liquid limit less than 50	inorganic	$PI > 7$ and plots on or above "A" line <sup>j</sup>	CL	Lean clay <sup>k,l,m</sup>
		organic	Liquid limit - oven dried < 0.75	OL	Organic clay <sup>k,l,m,n</sup>
			Liquid limit - not dried	OM	Organic silt <sup>k,l,m,o</sup>
	Silts and Clays Liquid limit 50 or more	inorganic	$PI$ plots on or above "A" line	CH	Fat clay <sup>k,l,m</sup>
			$PI$ plots below "A" line	MH	Elastic Silt <sup>k,l,m</sup>
		organic	Liquid limit - oven dried < 0.75	OH	Organic clay <sup>k,l,m,p</sup>
	Liquid limit - not dried	OM	Organic silt <sup>k,l,m,o</sup>		
Highly organic soils	Primarily organic matter, dark in color, and organic odor			PT	Peat

<sup>A</sup>Based on the material passing the 3-in. (75-mm) sieve

<sup>B</sup>If field sample contained cobbles or boulders, or both, add "with cobbles or boulders, or both" to group name.

<sup>C</sup>Gravels with 5 to 12% fines require dual symbols: GW-GM well-graded gravel with silt, GW-GC well-graded gravel with clay, GP-GM poorly graded gravel with silt, GP-GC poorly graded gravel with clay.

<sup>D</sup>Sands with 5 to 12% fines require dual symbols: SW-SM well-graded sand with silt, SW-SC well-graded sand with clay, SP-SM poorly graded sand with silt, SP-SC poorly graded sand with clay

$$^E Cu = D_{60}/D_{10} \quad Cc = \frac{(D_{30})^2}{D_{10} \times D_{60}}$$

<sup>F</sup>If soil contains  $\geq 15\%$  sand, add "with sand" to group name.

<sup>G</sup>If fines classify as CL-ML, use dual symbol GC-GM, or SC-SM.

<sup>H</sup>If fines are organic, add "with organic fines" to group name.

<sup>I</sup>If soil contains  $\geq 15\%$  gravel, add "with gravel" to group name.

<sup>J</sup>If Atterberg limits plot in shaded area, soil is a CL-ML, silty clay.

<sup>K</sup>If soil contains 15 to 29% plus No. 200, add "with sand" or "with gravel," whichever is predominant.

<sup>L</sup>If soil contains  $\geq 30\%$  plus No. 200 predominantly sand, add "sandy" to group name.

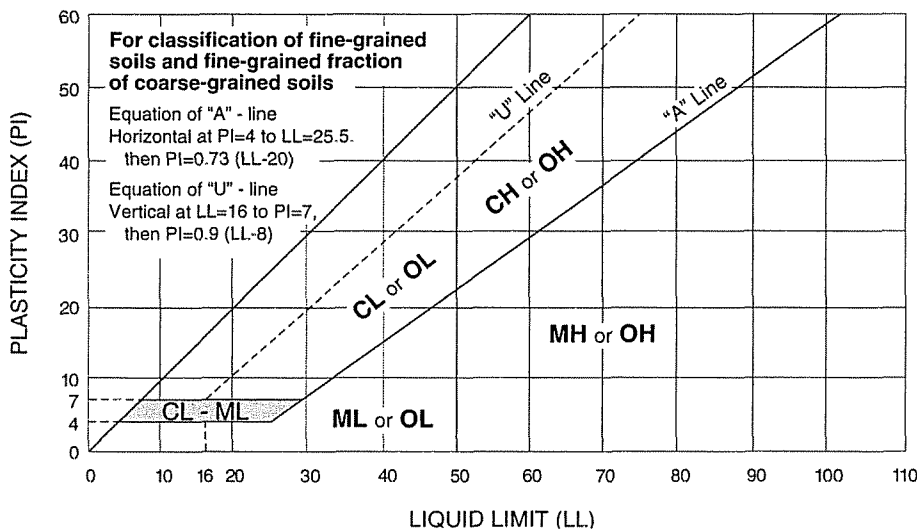
<sup>M</sup>If soil contains  $\geq 30\%$  plus No. 200, predominantly gravel, add "gravelly" to group name.

<sup>N</sup> $PI \geq 4$  and plots on or above "A" line.

<sup>O</sup> $PI < 4$  or plots below "A" line.

<sup>P</sup> $PI$  plots on or above "A" line.

<sup>Q</sup> $PI$  plots below "A" line.







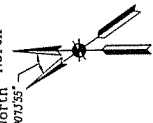






# Site: Flatwood Lease Boundary and Topographic Survey Adair County, Kentucky

Grid  
North  
007155'



**Basics of Bearings**  
This survey was conducted using the National Geodetic Survey datum. All measurements made on October 19, 2009 were made using the National Geodetic Survey datum. The datum is the North American Datum of 1983 (NAD 83). This system is a geoid.

**Tower Location Information**  
Description: Tower  
Location: Flatwood  
Height: 100 ft  
Coordinates: 37°01'13.7" North  
Longitude: 84°54'13.7" West  
Vertical Datum: MVD 1985  
Ground Elevation: 856.6 feet (841 meters)  
Tower ID: 15028435  
Easting: 1,502,843.5 feet (458,048.6 meters)  
Northing: 1,502,843.5 feet (458,048.6 meters)

**Owner Information**  
Owner: The old Margaret Kestner  
Address: Columbia, Kentucky 42728  
Contact Person: Tony Kestner  
Phone: 502-737-4377

**Project Bench Mark**  
Easting: 1,502,843.5 feet (458,048.6 meters)  
Northing: 1,502,843.5 feet (458,048.6 meters)  
Description: A rebar set in the east side of a concrete pad on the east side of the center of the proposed tower.

**Flood Plain Statement**  
According to the FEMA site, this is not a flood plain. However, a flood plain may exist in the immediate vicinity of the site. The surveyor is not responsible for a flood plain area.

**Vegetation Map**  
A map showing the location of the site relative to surrounding roads and landmarks. The site is located on the east side of the center of the proposed tower.

**Directions to Site**  
From Elizabethtown, Kentucky, take I-65 South to Exit 43 and the Cumberland Parkway, take Exit 43 and turn right onto the Cumberland Parkway. The site is located on the east side of the center of the proposed tower.

**Succession Notice**  
The survey is subject to a statement of succession notice. The surveyor is not responsible for a succession notice.

**Other Information**  
The surveyor is not responsible for a succession notice. The surveyor is not responsible for a succession notice.

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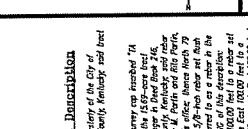
**Other Information**  
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Landmark Surveying Co., Inc.  
1545 Lee Street  
Washington, Indiana 47501  
(317) 257-0500  
Fax: (317) 257-0500  
Project No. 09-10-023



Lease Boundary Survey  
1850 Bliss Road  
Columbia, Kentucky 42728

Blugrass Cellular  
2902 Ring Road  
Elizabethtown, Kentucky 42702

DATE  
REVISIONS

DATE  
DRAWN BY  
CHECKED BY  
PLANNED BY

SHEET NO.  
1

FILE NO.  
Reference

**Lease Boundary and Easement Description**  
A 5/8-inch rebar found with a survey cap marked '74' at the approximate center of the 15.69-acre lot. The rebar is located at the intersection of the east boundary of the lot and the center of the lot. The rebar is located at the intersection of the east boundary of the lot and the center of the lot. The rebar is located at the intersection of the east boundary of the lot and the center of the lot.

**Survey Certification**  
I hereby certify that this plat was prepared from a survey made by me or under my direct supervision and that I am a duly licensed surveyor in the State of Kentucky. I am not aware of any other persons who have been employed by me in the preparation of this survey. This survey was made on October 19, 2009 and it was not obtained. This survey is a lease boundary survey and the accuracy and precision of this survey meets all the requirements of this title.

**Succession Notice**  
The survey is subject to a statement of succession notice. The surveyor is not responsible for a succession notice.

**Other Information**  
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# Site: Flatwood Lease Boundary and Topographic Survey Adair County, Kentucky

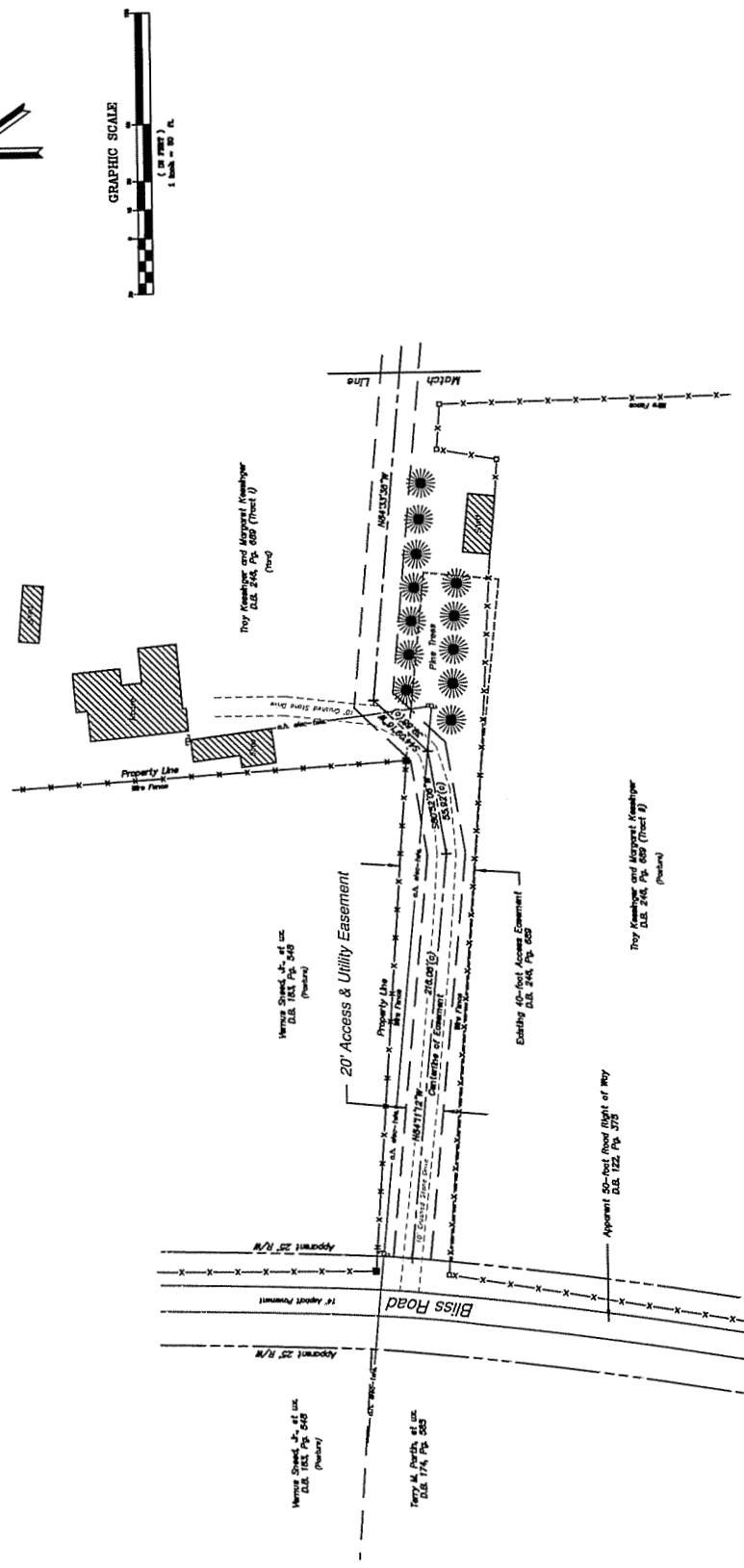
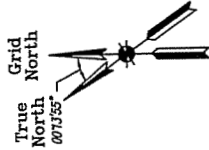
Landmark Surveying Co., Inc.  
15 N.E. 34 Street  
Washington, Kansas 67501  
(913) 237-0950  
Fax: 913-237-0228  
Project No. 04-10-0228



Lease Boundary Survey  
1850 Bliss Road  
Columbia, Kentucky 42728

Bluegrass Cellular  
2902 Ring Road  
Elizabethtown, Kentucky 42702

DATE	
REVISIONS	
CHECKED BY	A. Miller
DRAWN BY	A. Miller
DATE	10-03-08
SHEET NO.	2
OF 2 SHEETS	
FILE NO.	Flatwood.079



**Surveyor's Certification**  
I hereby certify that this plat has been compiled from a survey actually made upon the land described herein and that the same was made on October 20, 2008 by the method of random traverse with azimuths. The unadjusted precision ratio of the traverse was better than 1:60,700 and it was not adjusted. This survey is a class 1 closed traverse and the accuracy and precision of the survey meets all the requirements of this class.

DAVID L. MILLER, P.L.S. 1086

- Legend**
- 5/8" Black S/L Flush With A Survey
  - 5/8" Black S/L Flush - No Cap
  - 5/8" Black S/L Flush - No Cap
  - Wood Corner Post Easement
  - 5/8" Black S/L Flush With A Survey
  - 5/8" Black S/L Flush - No Cap
  - Calculated Position - No Monument
  - +
- Other Boundaries**
- Other Boundaries
  - Right of Way
  - Utility Pole
  - City Anchor
  - Telephone Pole/Field
  - Measured
  - Calculated
  - Set
- Subject Boundaries



NO.	DATE	REVISION

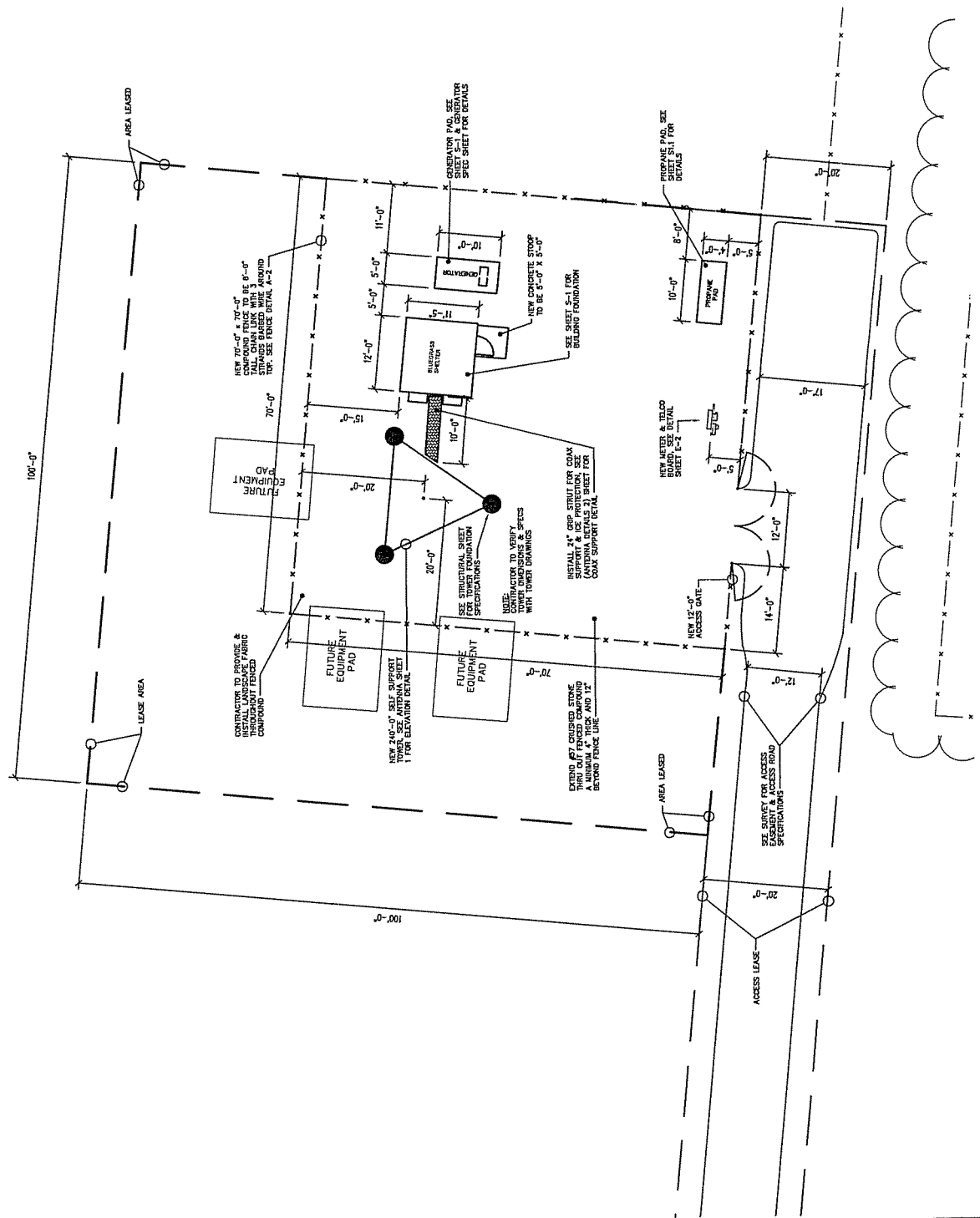
5603 N. JACKSON HWY., FLATWOOD, KY. 42765  
**FLATWOOD**  
**STANDARD CELLULAR, INC.**

LISTED
SCALE:
ISSUE DATE: 11-27-06
DRAWN BY: R. BECKER
SHEET NUMBER: A-1

**GENERAL NOTES:**

- EQUIPMENT PICK-UP AND DELIVERY TO SITE FROM BLUEGRASS CELLULAR STAGING FACILITY TO BE THE CONTRACTOR'S RESPONSIBILITY, INCLUDING CRANE SET, AND ALL COST INCURRED.
- FOR BUILDING AND ALL CONCRETE PAD DETAILS REFER TO STRUCTURALS AND SHEET ST-1
- ALL CONCRETE TO HAVE SPECIFIED COATED SEALANT PER STRUCTURAL RECOMMENDATIONS.
- ANY DAMAGE DUE TO CONSTRUCTION, TO BE REPAIRED OR REPLACED TO ORIGINAL CONDITION. (SUBJECT TO BLUEGRASS CELLULAR'S APPROVAL).
- ANY DAMAGE OF NATURAL SURROUNDINGS, INCLUDING BUT NOT LIMITED TO, GRASS, TREES, LANDSCAPING, ETC., TO BE REPAIRED OR REPLACED TO ORIGINAL CONDITION AT BLUEGRASS CELLULAR'S APPROVAL.
- ROADWAYS TO BE GRADED SMOOTH AND EVEN, REMOVING ALL POTHOLES, ROADS TO HAVE PROPER DRAINAGE AND RUNOFF PER BLUEGRASS CELLULAR'S APPROVAL.
- ANY RELOCATION OF EXISTING UTILITIES TO BE DONE IN ACCORDANCE WITH LOCAL CODES AND RECOMMENDATIONS. CONSULTING ALL UTILITY COMPANIES INVOLVED FOR APPROVAL AND SPECIFICATIONS REQUIRED.
- FOR GRADING DETAILS, SEE GENERAL NOTESHEET
- CONTRACTOR TO FIELD VERIFY ALL TOWER DIMENSIONS WITH TOWER MANUFACTURER PRIOR TO JOB BIDDING OR START OF ANY CONSTRUCTION
- CONTRACTOR RESPONSIBLE FOR APPLYING FOR SERVICE TO SITE AND PAYING ANY FEES REQUIRED FOR PERMITS, HOOKUP, ETC..

**SITE PLAN**  
 SCALE: 1/8" = 1'-0"





BLUEGRASS CELLULAR GENERAL NOTES & ANTENNA SPECS

ALL LINES AND ANTENNAS TO BE PROPERLY MOUNTED TO TOWER OR STRUCTURE PER BLUEGRASS CELLULAR SPECIFICATIONS.

ALL GROUND BARS TO BE INSTALLED AND CAD WELDED TO GROUND FIELD (WHERE REQUIRED) ALL LINES TO BE GROUNDED AT THE TOP AND BASE OF STRUCTURE OR TOWER.

ALL LINES TO BE GROUNDED AT ENTRANCE OF SHELTER BEFORE WAVE GUIDE PORTS. (EXTERIOR OF BUILDING)

LINES ARE TO BE SECURED TO ICE BRIDGE

WAVE-GUIDE BOOTS ARE TO BE INSTALLED ON ALL LINES (BOTH INSIDE AND OUTSIDE)

ALL COAX CONNECTIONS ARE TO BE WEATHER PROOFED. INVENTORY OF ALL MATERIAL IS TO BE DONE PRIOR TO INSTALLATION BY CONTRACTOR. (LIST WILL BE PROVIDED)

ALL TRASH AND REFUGE IS TO BE PROPERLY DISPOSED OF.

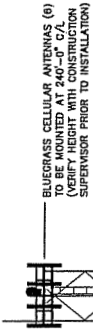
CONTRACTOR TO EXTEND HARDLINES INTO BUILDING 12" & INSTALL POLYPHASERS, PER INSTRUCTION OF PROJECT MANAGER.

CONTRACTORS TO SUPPLY POLYPHASERS OR LIKE UNITS TO BE INSTALLED AND GROUNDED TO GROUND BAR INSIDE BUILDING AT WAVE GUIDE ENTRANCE. GO TO SUPPLY GROUND CABLE & LUGS.

GENERAL CONTRACTOR TO MOUNT ANTENNA MOUNTS AT TOP OF STRUCTURE OR TOWER BY BLUEGRASS CELLULAR SPECIFICATIONS.

ICE BRIDGE TO BE SUPPLIED AND INSTALLED BY GENERAL CONTRACTOR. (Additional Ice Bridge if needed) TRAPEZE KIT TO BE SUPPLIED AND INSTALLED BY GENERAL CONTRACTOR.

CONTRACTOR TO INSTALL GPS BRACKET



TOWER HEIGHT & TYPE

240'-0" SELF SUPPORT TOWER
----------------------------

ANTENNA SPECS

TYPE	SIZE	NUMBER	AZIMUTH	MOUNTING HEIGHT
ANTENNA (PRIMARY)	API3-880-8500 C/L W=10.5 H=10.5 D=4.8	6	10°, 110°, 210°	240'-0" C/L VERIFY WITH CONSTRUCTION SUPERVISOR
ANTENNA (SECONDARY)	ADT-XP			

ANTENNA MOUNTING HARDWARE SPECS

TYPE	SIZE	NUMBER
MOUNT (PRIMARY)	TRI-SECTOR MOUNT	3
MOUNT (SECONDARY)		

ANTENNA TRANSMISSION LINES SPECS

TYPE	SIZE	NUMBER
TRANSMISSION LINE (PRIMARY)	ANDREW	6
TRANSMISSION LINE (SECONDARY)		

DISH SPECS

MICROWAVE/DISH	SIZE	NUMBER	AZIMUTH	MOUNTING HEIGHT
DISH #1	MICROWAVE DISH	1		FIELD VERIFY
DISH #2				

DISH MOUNT SPECS

TYPE	SIZE	NUMBER
MOUNT #1		
MOUNT #2		

DISH TRANSMISSION LINES

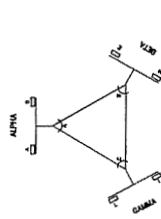
TYPE	SIZE	NUMBER
TRANSMISSION LINE #1	EW 90 Elliptical	1
TRANSMISSION LINE #2		

ANTENNA SYNOPSIS

- ANTENNAS TO HAVE A 1°E
- ANTENNA FREQUENCY 880.00 - 890.00
- MICROWAVE DISH MOUNTED WITH AZIMUTHS AIMED TOWARDS COLUMBIA TOWER. VERIFY HEIGHT & AZIMUTHS PRIOR TO CONSTRUCTION

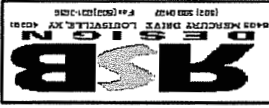
BLUEGRASS CELLULAR MICROWAVE DISH MOUNTS TO BE MOUNTED TO COLUMBIA TOWER. VERIFY HEIGHT WITH CONSTRUCTION SUPERVISOR PRIOR TO INSTALLATION

SELF SUPPORT TOWER



VERIFY ANTENNA ORIENTATION WITH ANTENNA SPECIFICATIONS

SELF SUPPORT TOWER ELEVATION (TYPICAL)



NO.	DATE	REVISION

BLUEGRASS CELLULAR, INC.  
STANDARD CELLULAR SITE  
FLATWOOD  
5603 N. JACKSON HWY., FLATWOOD, KY, 42765

DRAWN BY:	R. BECKER
ISSUE DATE:	11-27-06
SCALE:	LISTED
SHEET NUMBER:	1

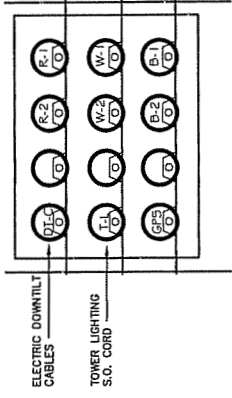




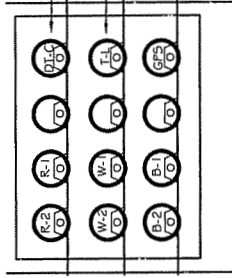
NO.	DATE	REVISION

5603 N. JACKSON HWY., FLATWOOD, KY. 42755  
**FLATWOOD**  
 STANDARD CELLULAR, INC.

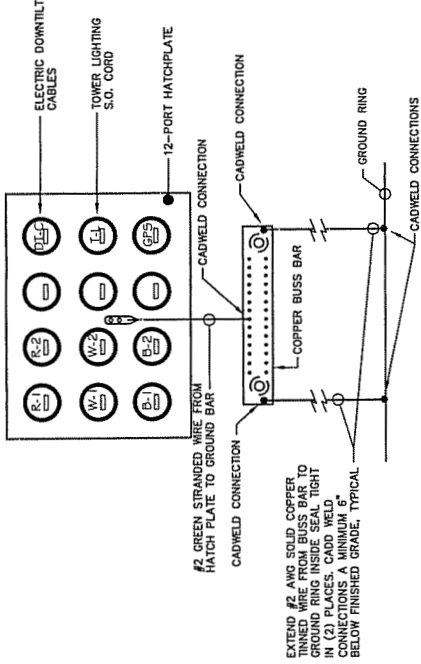
DRAWN BY: R. BECKER	ISSUE DATE: 11-27-06	SCALE: LISTED
SHEET NUMBER ANTENNA DETAILS		2



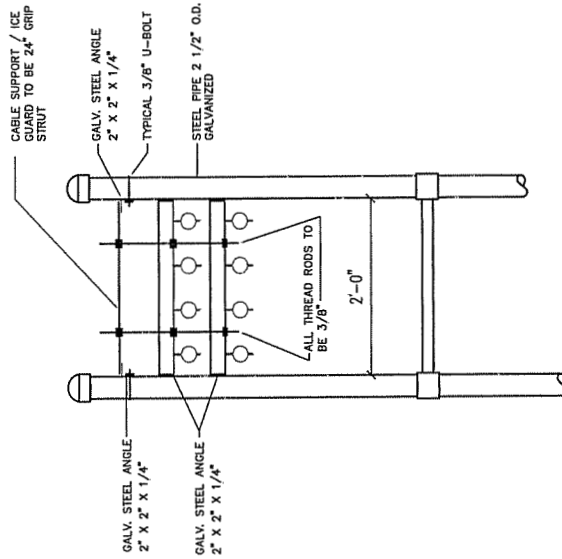
**COAX ENTRY DETAIL POWER SIDE  
(VIEW FROM INSIDE SHELTER)**  
NO SCALE



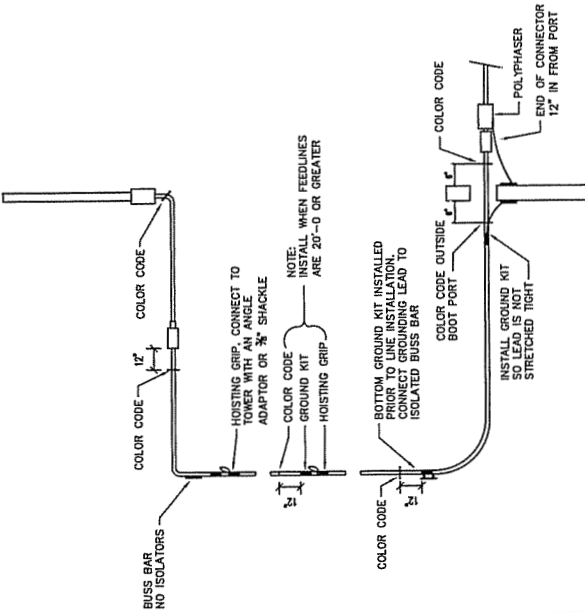
**COAX ENTRY DETAIL A/C SIDE  
(VIEW FROM INSIDE SHELTER)**  
NO SCALE



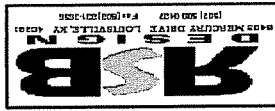
**BOOT PORT GROUNDING DETAIL**  
NO SCALE



**ICE BRIDGE / COAX SUPPORT DETAIL**  
NO SCALE



**COLOR CODING DETAIL**  
NO SCALE

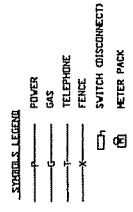


NO.	DATE	REVISION

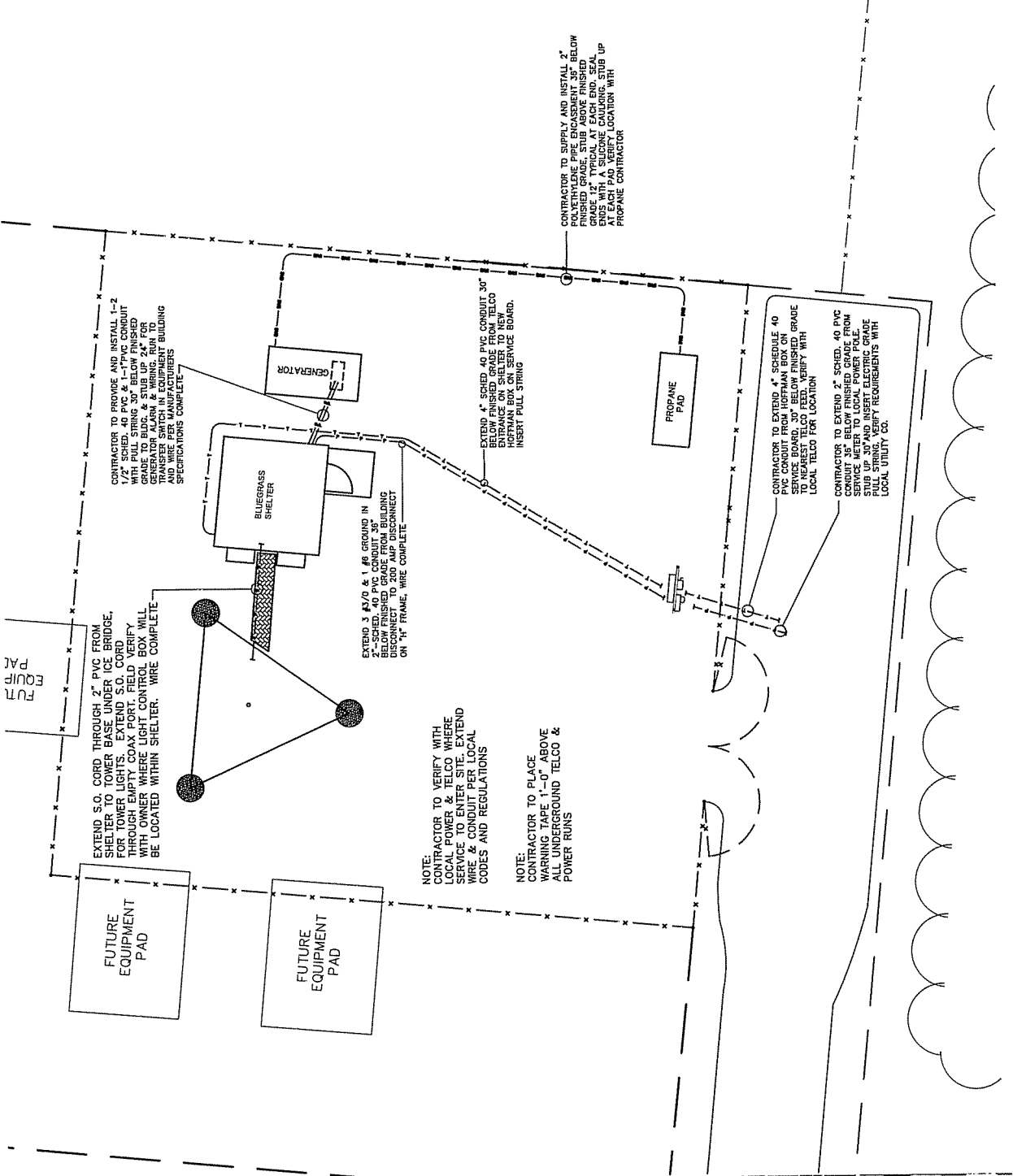
5603 N. JACKSON HWY., FLATWOOD, KY, 42765  
**FLATWOOD**  
 STANDARD CELLULAR SITE  
 DRAWN BY: R. BECKER  
 ISSUE DATE: 11-27-06  
 SCALE: LISTED  
 SHEET NUMBER: E-1

- GENERAL ELECTRICAL NOTES:**
- 1) CONTRACTOR RESPONSIBLE FOR MAKING ALL ARRANGEMENTS WITH THE LOCAL UTILITIES FOR SERVICE AND FEE PAYMENTS REQUIRED TO OBTAIN SERVICE.
  - 2) CONTRACTOR RESPONSIBLE FOR MAKING ALL ARRANGEMENTS WITH THE LOCAL TELEPHONE COMPANY FOR SERVICE AND FEE PAYMENTS REQUIRED TO OBTAIN SERVICE.
  - 3) GROUND RING TO BE CONTAINED WITH IN THE COMPOUNDS FENCED AREA.
  - 4) FENCE TO BE GROUNDED FROM GROUND RING TO ALL CORNER POST & GATES. SPACE FENCE GROUNDED APPROXIMATELY 20'-0" O/C. (CADD YIELD ALL CONNECTIONS)
  - 5) ALL GROUND RING CONNECTIONS TO BE AS CLOSE AS POSSIBLE, SHARP BENDS WILL NOT BE PERMITTED AS WELL AS "T" CONNECTIONS. ALL CONNECTIONS TO HAVE A SWEEPING RADIUS OF 6" MINIMUM. GROUNDING CONFIGURATION TO BE IN PARALLEL.
  - 6) CONTACT POINTS FOR GROUNDING TO BE CLEANED OF ANY RUST, PAINT, DIRT, ETC. TO CREATE A GOOD BOND FOR CONDUCTOR. AREA THAT HAS BEEN CLEANED TO BE RESEALED TO PREVENT RUSTING.
  - 7) PROPERLY GROUND ANY EXPOSED METAL THAT MAY EXIST ON EXTERIOR OF EQUIPMENT SHELTER OR CABINET.
  - 8) WHERE GROUND CONDUCTORS REQUIRE MECHANICAL BONDING, STAINLESS STEEL CONNECTORS ARE REQUIRED AT EACH CONNECTING POINT USING LOCK WASHERS.
  - 9) CONTRACTOR RESPONSIBLE FOR SEEING THAT UTILITY PERSONNEL MAKE THE NECESSARY CONNECTIONS, MAKING SURE THE PERSONNEL MAKE THEM CONNECTED AND WORKING. A TELEPHONE NUMBER FOR THE ALARM MUST BE SUPPLIED.
  - 10) CONTRACTOR RESPONSIBLE FOR MEG TESTING THE SITE AND SUPPLYING OWNER WITH FINAL READINGS IN OWNERS SPECIFICATIONS.

**NOTE:**  
 CONTRACTOR TO PROVIDE WARNING TAPE IN TRENCHES FOR ALL POWER AND TELCO RUNS UNDER GROUND. TAPE TO BE INSTALLED 1'-0" ABOVE CONDUIT RUNS.



**SITE PLAN-ELECTRICAL**  
 SCALE: 3/32" = 1'-0"



**NOTE:**  
 CONTRACTOR TO VERIFY WITH LOCAL POWER & TELCO WHERE SERVICE TO ENTER SITE. EXTEND WIRE & CONDUIT PER LOCAL CODES AND REGULATIONS

**NOTE:**  
 CONTRACTOR TO PLACE WARNING TAPE 1'-0" ABOVE ALL UNDERGROUND TELCO & POWER RUNS

CONTRACTOR TO SUPPLY AND INSTALL 2" POLYETHYLENE PIPE ENCASMENT 30" BELOW FINISHED GRADE. STUB ABOVE FINISHED GRADE. STUB TO BE INSTALLED AT EACH PAD VERIFY LOCATION WITH PROPANE CONTRACTOR

CONTRACTOR TO EXTEND 4" SCHEDULE 40 CONDUIT 30" BELOW FINISHED GRADE TO NEAREST TELCO FEED. VERIFY WITH LOCAL TELCO FOR LOCATION

CONTRACTOR TO EXTEND 2" SCHED. 40 PVC CONDUIT 30" BELOW FINISHED GRADE FROM SERVICE METER TO LOCAL POWER POLE. STUB UP 30" AND INSERT ELECTRIC GRADE WITH LOCAL UTILITY CO.

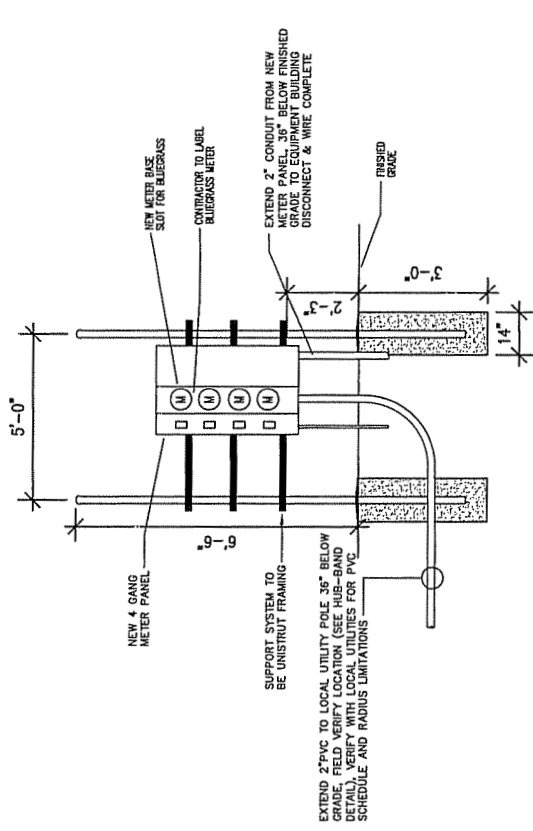
CONTRACTOR TO PROVIDE AND INSTALL 1-2 1/2" SCHED. 40 PVC & 1-1/2" PVC CONDUIT WITH PULL STRING 30" BELOW FINISHED GRADE. STUB ABOVE FINISHED GRADE. STUB TO BE INSTALLED AT EACH PAD VERIFY LOCATION WITH PROPANE CONTRACTOR

EXTEND 3 #2/0 & 1 #6 GROUND IN 1" BELOW FINISHED GRADE FROM BUILDING DISCONNECT TO 200 AMP DISCONNECT ON "H" FRAME. WIRE COMPLETE

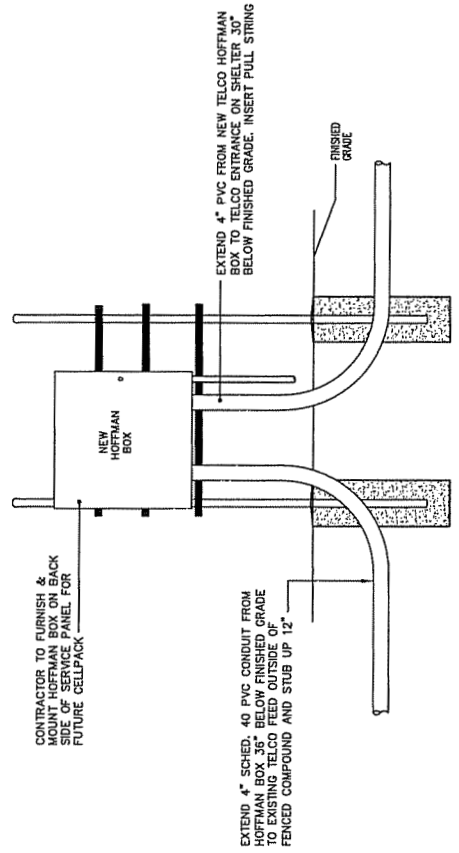
EXTEND 4" SCHED 40 PVC CONDUIT 30" BELOW FINISHED GRADE TO NEAREST HOFFMAN BOX ON SERVICE BOARD. INSERT PULL STRING

EXTEND S.C. CORD THROUGH 2" PVC FROM SHELTER TO TOWER BASE UNDER ICE BRIDGE. FOR TOWER LIGHTS. VERIFY WITH LOCAL UTILITY CO. VERIFY WITH OWNER WHERE LIGHT CONTROL BOX WILL BE LOCATED WITHIN SHELTER. WIRE COMPLETE

NO.	DATE	REVISION

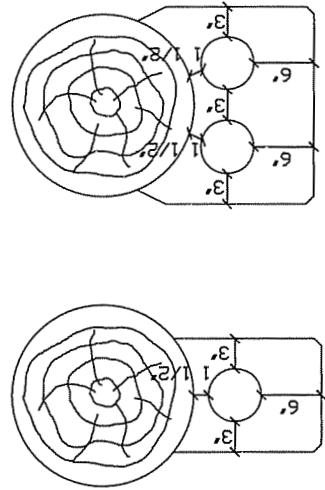


**SERVICE BOARD DETAIL**  
 NO SCALE

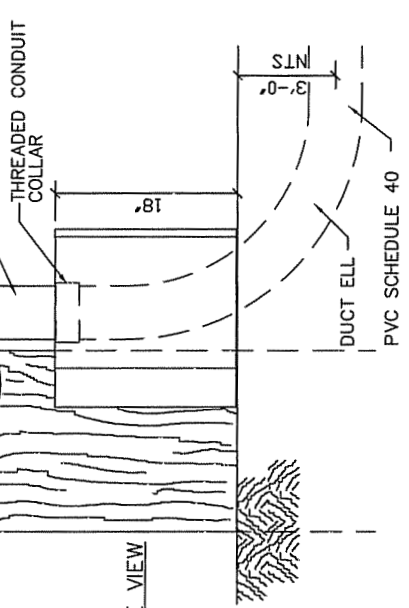


**BACKBOARD DETAIL**  
 NO SCALE

**TOP VIEW**

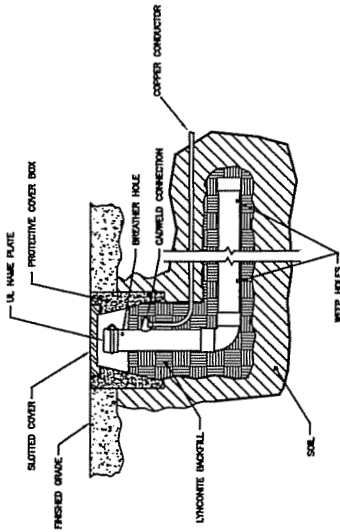


**RIGID (10'-0" U.N.O.)**

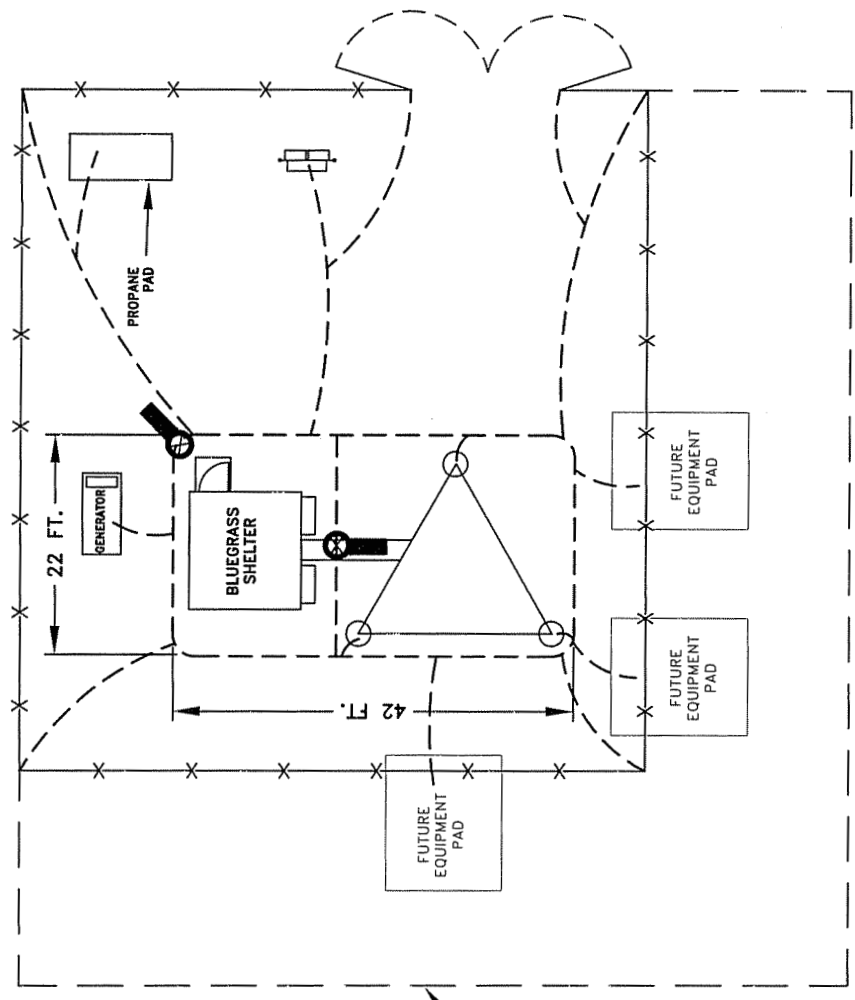


**HUB-BAND DETAIL**  
 NO SCALE

**SIDE VIEW**



**L-SHAPED MODEL**  
 Lyncole XIT Grounding  
 (800) 962-2610  
**DETAIL**



LEASE AREA

**NOTES:**

- BARE #2 TINNED SOLID COPPER CONDUCTOR BURIED 30 IN. BELOW GRADE OR 6 IN. BELOW FROST LINE
- ALL BENDS IN GROUND CONDUCTOR TO BE MADE WITH MIN. 12 IN. RADIUS
- K2L-10CS (SEE DETAIL)



**LYNCOLE**

**TECHNICAL SERVICES**

3547 VOYAGER STREET, SUITE 204  
 TERRANCE, CA. 90503  
 (800)962-2610 FAX (310)214-1114  
 ENGINEERING@LYNCOLE.COM

SOIL DATA PROVIDED BY  
**TERRACON**

CLIENT / END USER  
**BLUEGRASS CELLULAR**

DRAWING PROJECT NAME  
**FLATWOOD TOWER**

TITLE  
**GROUNDING OPTION**

LOCATION: CITY, STATE  
**COLUMBIA, KY**

CALCULATED RESISTANCE  
**< 5 OHMS**

DRAWN BY  
**DCN**

APPROVED BY DATE  
**11/21/06**

REFERENCE NUMBER  
**N/A**

SCALE  
**NONE**

LTS NUMBER  
**060202**



NO.	DATE	REVISION

5603 N. JACKSON HWY., FLATWOOD, KY. 42765  
**FLATWOOD**  
**STANDARD CELLULAR INC.**

DRAWN BY:	R. BECKER
ISSUE DATE:	11-27-06
SCALE:	LISTED
SHEET NUMBER:	E-3

GENERAL ELECTRICAL NOTES:  
 1) CONTRACTOR RESPONSIBLE FOR MAKING ALL ARRANGEMENTS WITH THE LOCAL UTILITIES FOR SERVICE AND FEE PAYMENTS REQUIRED TO OBTAIN SERVICE.  
 2) CONTRACTOR RESPONSIBLE FOR MAKING ALL ARRANGEMENTS WITH THE LOCAL UTILITY COMPANY FOR SERVICE AND FEE PAYMENTS REQUIRED TO OBTAIN SERVICE.  
 3) GROUND RING TO BE CONTAINED WITH IN THE COMPOUNDS FENCED AREA.

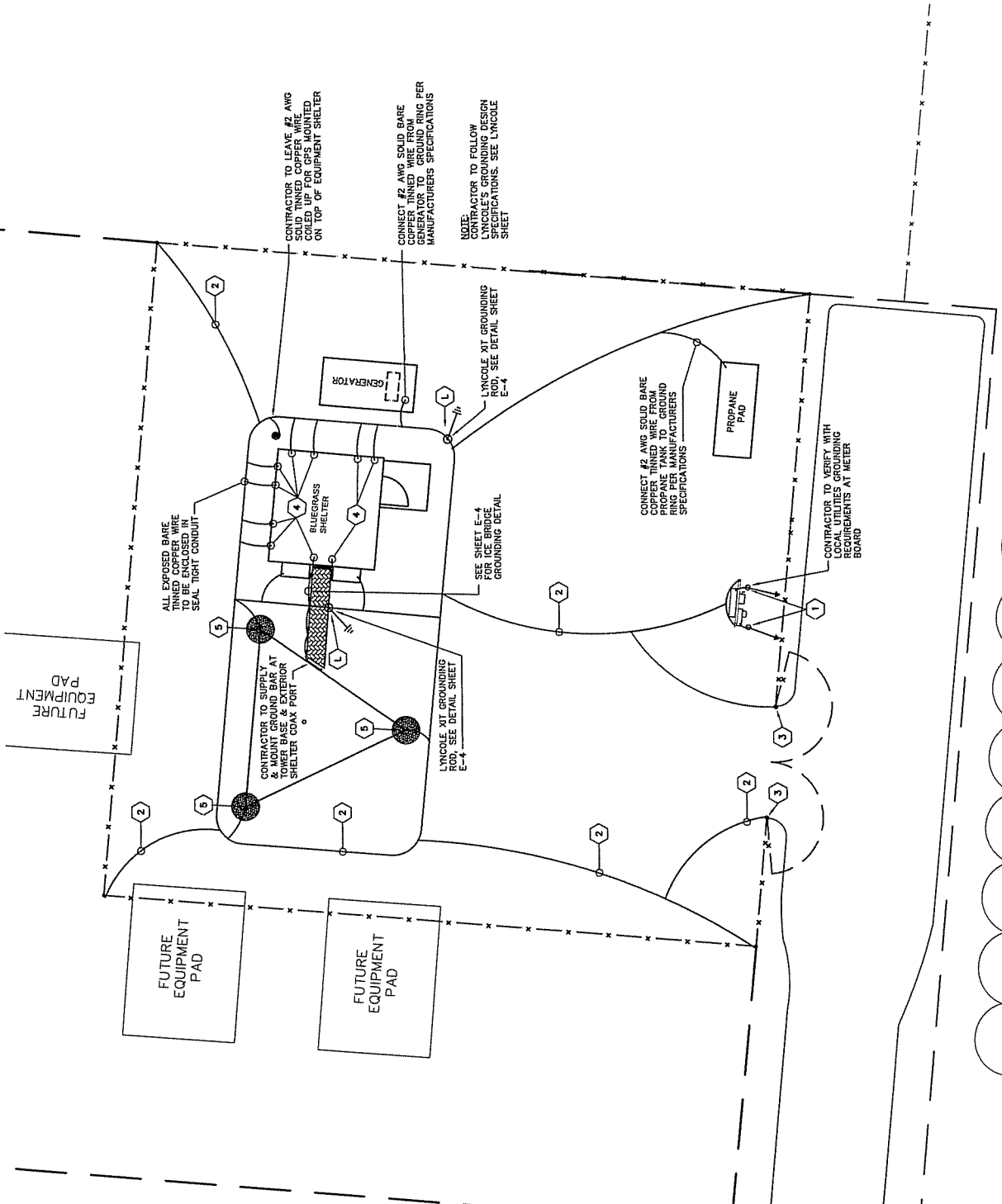
- 4) FENCE TO BE GROUNDED FROM GROUND RING TO ALL CORNER POST & GATES. SPACE FENCE GROUNDED APPROXIMATELY 20'-0" O/C. (CADD YIELD ALL CONNECTIONS)
- 5) ALL GROUND RING CONNECTIONS TO BE AS CLOSE AS POSSIBLE, SHARP BENDS WILL NOT BE PERMITTED AS WELL AS "T" CONNECTIONS. ALL CONNECTIONS TO HAVE A SWEEPING RADIUS OF 6" MINIMUM. GROUNDING CONFIGURATION TO BE IN PARALLEL.
- 6) CONTACT POINTS FOR GROUNDING TO BE CLEANED OF ANY RUST, PAINT, DIRT, ETC. TO CREATE A GOOD BOND FOR CONDUCTOR. AREA THAT HAS BEEN CLEANED TO BE RESEALED TO PREVENT RUSTING.
- 7) PROPERLY GROUND ANY EXPOSED METAL THAT MAY EXIST ON EXTERIOR OF EQUIPMENT SHELTER OR CABINET.
- 8) WHERE GROUND CONDUCTORS REQUIRE MECHANICAL CONNECTIONS, THE CONNECTIONS MUST BE SECURED AT EACH CONNECTING POINT USING LOCK WASHERS.
- 9) CONTRACTOR RESPONSIBLE FOR SEEING THAT UTILITY PERSONNEL MAKE FINAL CONNECTIONS. MAKING SURE THE TOWER ALARM IS CONNECTED TO THE TOWER, A TELEPHONE NUMBER FOR THE ALARM MUST BE SUPPLIED.
- 10) CONTRACTOR RESPONSIBLE FOR MEG TESTING THE SITE AND SUPPLYING OWNER WITH FINAL READINGS IN OWNERS SPECIFICATIONS.

NOTE:  
 CONTRACTOR TO PROVIDE WARNING TAPE IN TRENCHES FOR ALL POWER AND TELCO RUNS UNDER GROUND. TAPE TO BE INSTALLED AT 9" BELOW GRADE.

NOTE:  
 CONTRACTOR TO FOLLOW LYNCOLE'S GROUNDING SPECIFICATIONS WHEN USING THEIR XIT GROUNDING RODS. SEE DETAIL SHEET E-4.

- LEGEND:**
- ① LYNCOLE XIT GROUNDING ROD TO BE INSTALLED WHERE SHOWN AND TO MANUFACTURERS SPECIFICATIONS. (SEE LYNCOLE SPECIFICATIONS)
  - ② BONDED GROUND RODS
  - ③ INSTALLED AND PROVIDE SOLID BASE THINNED COPPER WIRE #2 AWG. GROUND RING BELOW GRADE 30". USE #2 AWG SOLID BASE THINNED COPPER GROUND CONDUCTORS TO BE PARALLEL AND "WELD" CONNECTIONS
  - ④ FERRULE OR STRAP TO BE USED TO PROVIDE A COMMON BOND BETWEEN GATE AND CHAIN LINK FENCE. #2 AWG SOLID COPPER BARE THINNED CONDUCTOR FROM GROUND RING TO FENCE USING SOLID WELD GROUND RING AS DESCRIBED ABOVE.
  - ⑤ BONDED GROUND TO BE PROVIDED TO GROUND RING FOR EACH OF THE FOLLOWING: BUILDING STEEL, HATCH PLATE, EMERGENCY RECEPTACLE, WAKE UP GUIDE STRUCTURE, FRAME WORK, BUILDING DISCONNECT.
  - ⑥ FOR TOWER FRAME GROUNDING, REMOVE GALVANIZED COATING COMPLETELY FROM ALL CONTACT SURFACES. USE #2 AWG SOLID COPPER BARE THINNED COPPER CONDUCTOR TO BE CADD INLEDED APPROXIMATELY 1'-0" ABOVE FOUNDATION OR AT FLANGE IF PROVIDED BY TOWER MANUFACTURER. ALL BONDING POINTS TO BE WELDED TO GROUND RING. RIGHT ANGLES NOT ACCEPTED. ALL BENDS TO BE SWEEPING.

**SITE PLAN-GROUNDING**  
 SCALE: 3/32" = 1'-0"



CONTRACTOR TO LEAVE #2 AWG SOLID BARE COPPER THINNED WIRE FROM GENERATOR TO GROUND RING PER MANUFACTURERS SPECIFICATIONS

NOTE:  
 CONTRACTOR TO FOLLOW LYNCOLE'S GROUNDING DESIGN SPECIFICATIONS. SEE LYNCOLE SHEET

CONNECT #2 AWG SOLID BARE COPPER THINNED WIRE FROM GENERATOR TO GROUND RING PER MANUFACTURERS SPECIFICATIONS

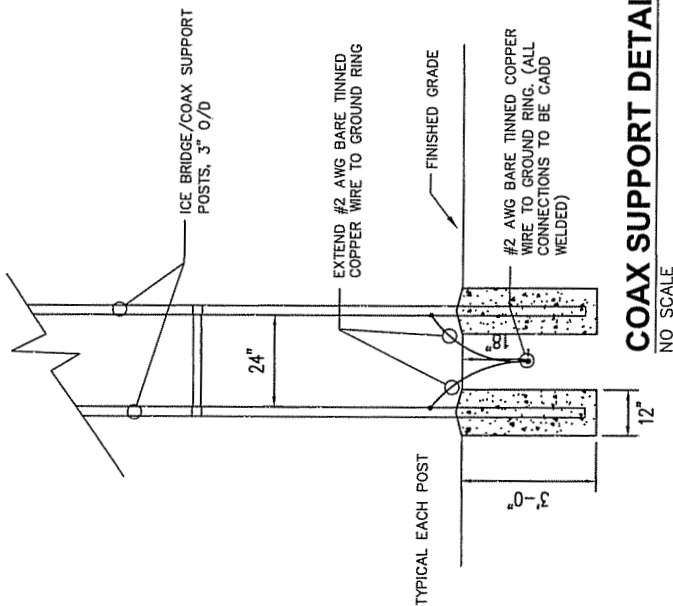
SEE SHEET E-4 FOR ICE BRIDGE GROUNDING DETAIL

CONNECT #2 AWG SOLID BARE COPPER THINNED WIRE FROM GROUND RING TO FUTURE EQUIPMENT PADS PER MANUFACTURERS SPECIFICATIONS

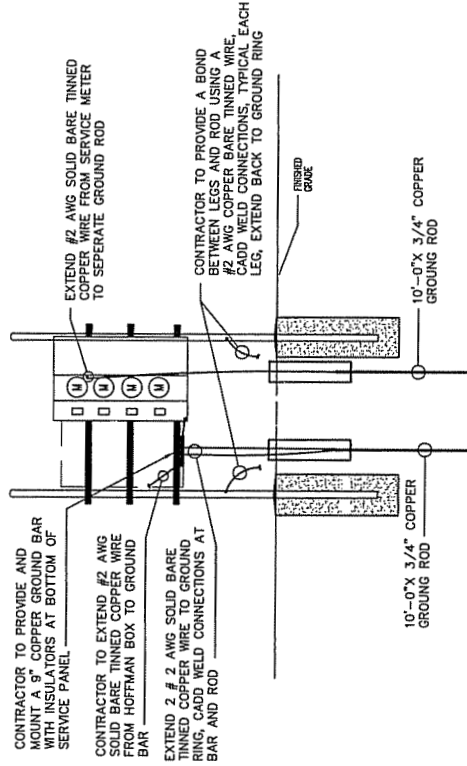
CONTRACTOR TO VERIFY WITH LOCAL UTILITIES GROUNDING REQUIREMENTS AT METER BOARD

NO.	DATE	REVISION

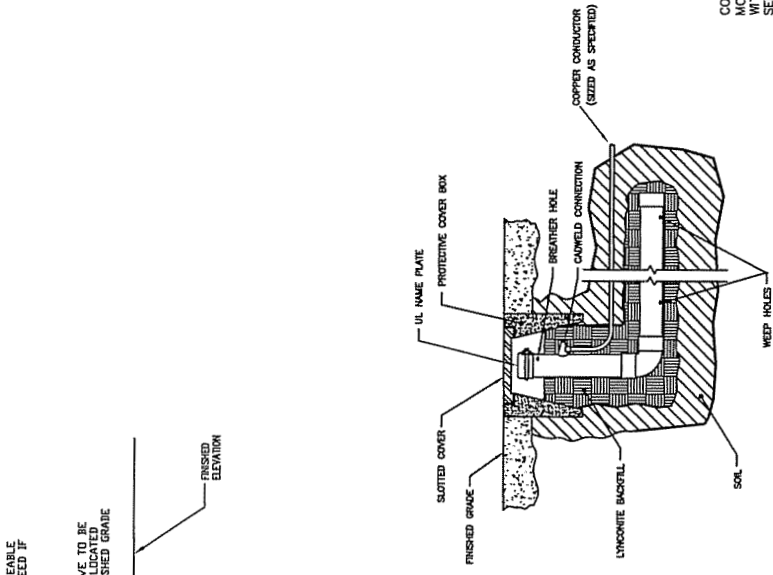
DRAWN BY: R. BECKER	ISSUE DATE: 11-27-06	SCALE: LISTED	SHEET NUMBER: E-4
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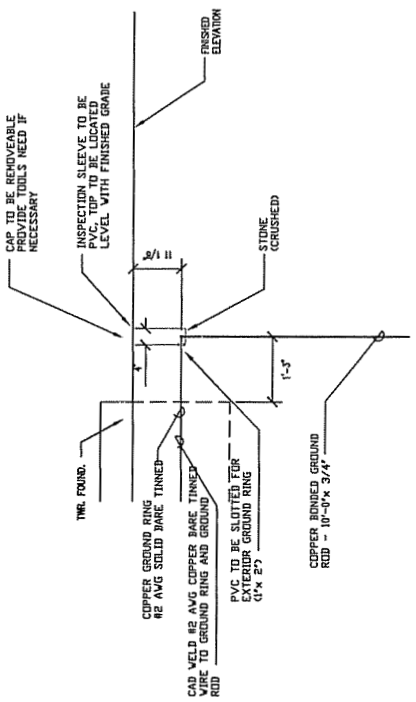
**COAX SUPPORT DETAIL**  
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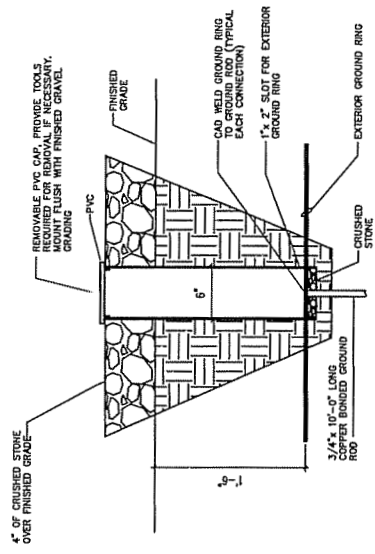
**SERVICE BOARD DETAIL**  
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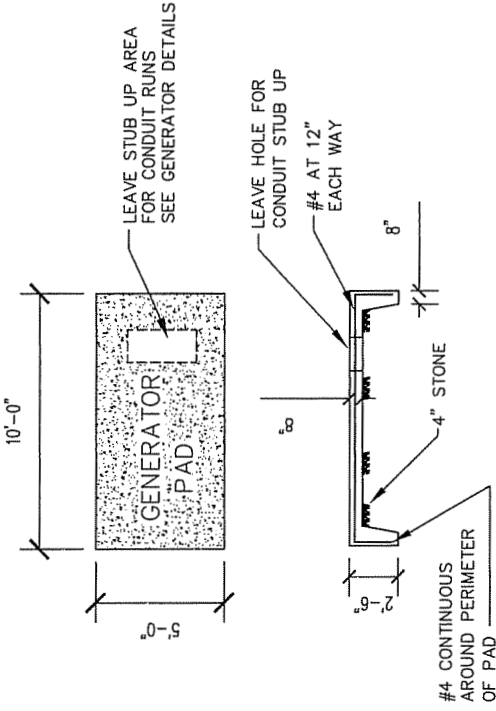
**LYNCOLE XIT ROD DETAIL**  
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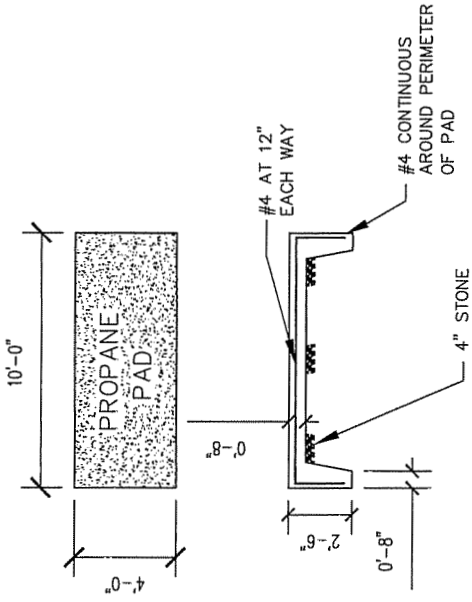
**GROUND ROD DETAIL**  
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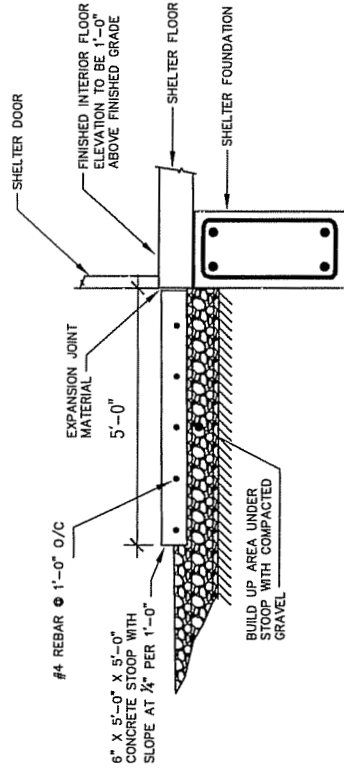
**GROUND SLEEVE DETAIL**  
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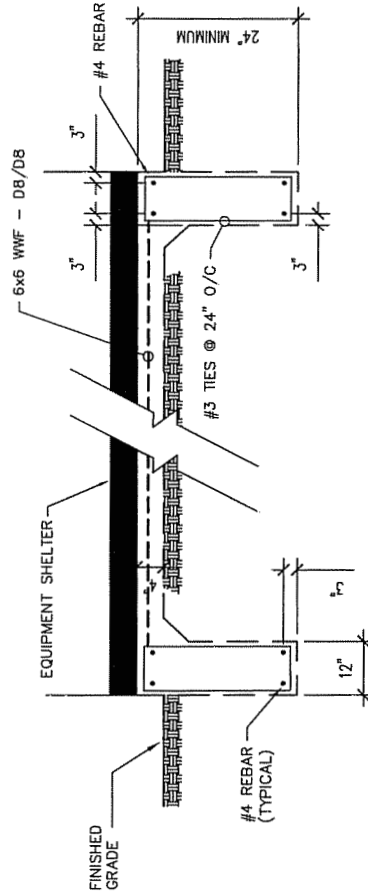
**FOUNDATION DETAIL**  
NO SCALE



**FOUNDATION DETAIL**  
NO SCALE



**CONCRETE STOOP DETAIL**  
NO SCALE



**SHELTER FOUNDATION PLAN**  
NO SCALE



NO.	DATE	REVISION

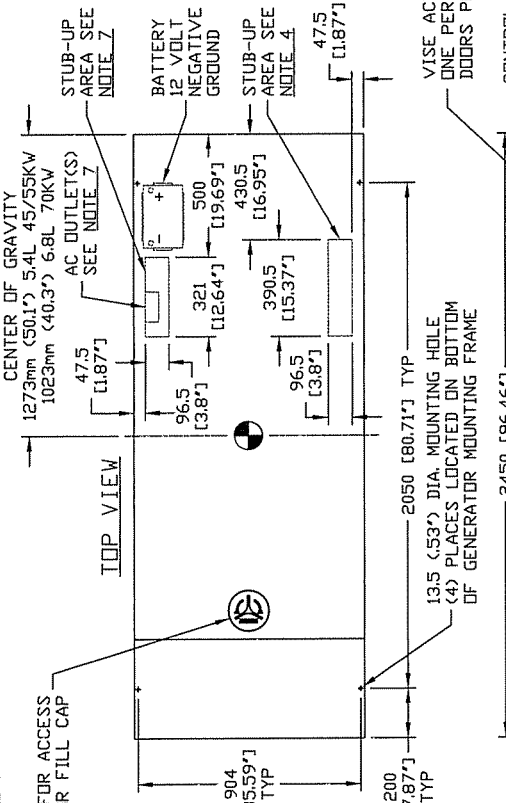
6503 N. JACKSON HWY., FLATWOOD, KY, 42765  
**FLATWOOD**  
 STANDARD CELLULAR SITE  
 BLUEGRASS CELLULAR, INC.

DRAWN BY: R. BECKER  
 ISSUE DATE: 11-27-06  
 SCALE: LISTED  
 SHEET NUMBER: S-1

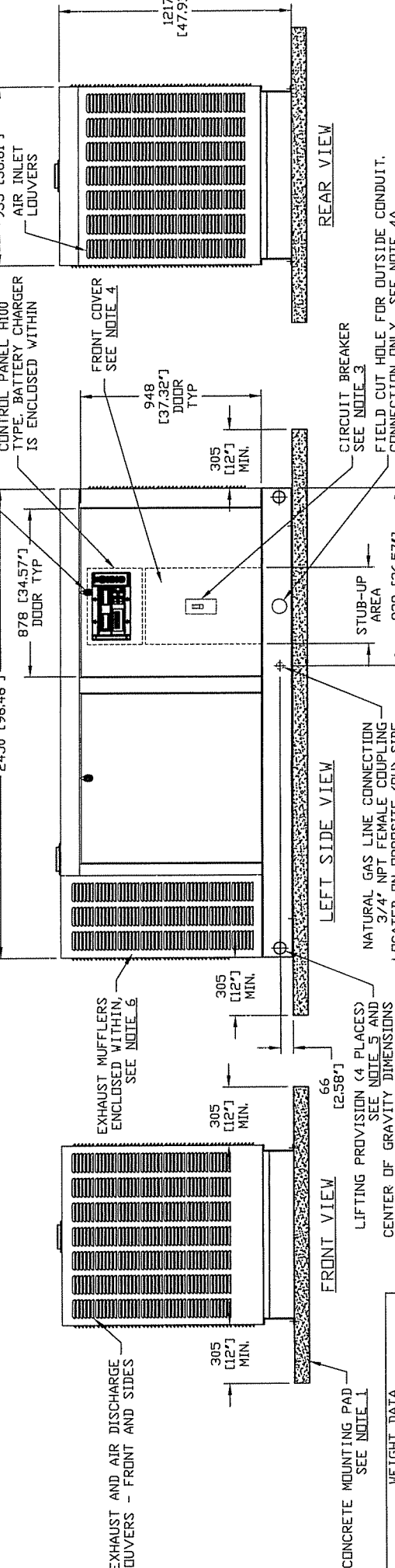
# 0G1407

SERVICE ITEM ACCESSIBILITY CHART	
SERVICE ITEM	5. 4L 45/55KW 6. 8L 70KW
OIL FILL CAP	THRU RIGHT FRONT DOOR
OIL DIP STICK	THRU LEFT FRONT DOOR
OIL FILTER	THRU LEFT FRONT DOOR
OIL DRAIN HOSE	THRU RIGHT FRONT DOOR
RADIATOR DRAIN HOSE	THRU LEFT FRONT DOOR
AIR CLEANER ELEMENT	EITHER FRONT DOOR
SPARK PLUGS	BOTH FRONT DOORS
MUFFLERS	SEE NOTE 6
FAN BELT	EITHER FRONT DOOR
BATTERY	THRU RIGHT REAR DOOR
AC OUTLET(S)	THRU RIGHT REAR DOOR

REFERENCE OWNERS MANUAL FOR PERIODIC REPLACEMENT PART LISTINGS



- NOTES:**
- 1) MINIMUM RECOMMENDED CONCRETE PAD SIZE: 1545 (60.8') WIDE X 3061 (120.5') LONG.
  - 2) GENERATOR MUST BE LOCATED A MINIMUM DISTANCE OF 5 FEET FROM A WALL OR FENCE ALLOW A 5 FOOT MINIMUM PERIMETER OF OPEN SPACE AROUND THE ENTIRE GENERATOR.
  - 3) CIRCUIT BREAKER INFORMATION: SEE SPECIFICATION SHEET WITHIN OWNERS MANUAL.
  - 4) INSIDE STUB-UP AREA FOR AC LOAD LEAD CONDUIT CONNECTION, NEUTRAL CONNECTION, AUXILIARY OUTPUT RELAYS AND ACCESS TO TRANSFER SWITCH CONTROL WIRES. REMOVE COVER FOR ACCESS.
  - 4A) FIELD CUT HOLE IS ONLY REQUIRED FOR MOUNTING OF GENERATOR ON AN EXISTING PAD.
  - 5) REFERENCE OWNERS MANUAL FOR LIFTING WARNINGS.
  - 6) REMOVE EITHER LEFT OR RIGHT HAND SIDE PANEL TO ACCESS EXHAUST MUFFLERS.
  - 7) INSIDE ACCESS TO 120VAC, 20A GFCI OUTLET PREWIRED TO SUPPLY POWER TO BATTERY CHARGER; 5. 4L ONLY; 15A, 240VAC OUTLET FOR ENGINE BLOCK HEATER; 6. 8L ONLY; USE 20A GFCI OUTLET FOR ENGINE BLOCK HEATER.



WEIGHT DATA	
5. 4L 45/55KW	- 895KG (1973 LB)
6. 8L 70KW	- 991KG (2185 LB)
WOODEN SHIPPING SKIDS INCREASE OVERALL WEIGHT 79KG (175LB)	

**INSTALLATION DRAWING**  
5.4L/6.8L IND C3

GENERAC POWER SYSTEMS  
Waukesha  
P.O. BOX 8  
WAUKESHA, WIS. 53187

FILE NAME: 0G1407.DWG  
SCALE: 1 = 20  
FIRST USE INDUSTRIAL QT. SERIES  
DWG NO. 0G1407

SIZE B

REVISION: \*

# INSTALLATION DRAWING



- GENERAL NOTES:**
- 1) THE CONTRACTOR IS RESPONSIBLE FOR EQUIPMENT PICK UP, DELIVERY TO SITE, ERECTION OF TOWER, AND CRANE SET, ALL COSTS ENCURRED.
  - 2) THE CONTRACTOR IS RESPONSIBLE FOR VISITING THE SITE PRIOR TO CONSTRUCTION TO VERIFY THE LOCATION OF ANY UTILITY THAT MIGHT BE LOCATED ON OR AROUND THE COMPOUND THAT COULD INTERFERE.
  - 3) THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING LOCAL AGENCIES NECESSARY FOR INSPECTIONS IF REQUIRED, PLEASE PROVIDE AMPLIFIED NOTICE.
  - 4) THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING PERSONS RESPONSIBLE FOR ANY MATERIALS TESTING, PLEASE PROVIDE AMPLIFIED NOTICE.
  - 5) THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE OWNER WITH FINAL TEST RESULTS ON ALL MATERIALS TESTING. IF ANY PROBLEMS ARE FOUND PRIOR TO FINAL RESULTS PLEASE NOTIFY AEA OR OWNER IMMEDIATELY.
  - 6) THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO ADJOINING PROPERTY, AND REPAIRING OR REPLACING WHAT IS NECESSARY TO OWNERS APPROVAL.
  - 7) THE CONTRACTOR IS TO VERIFY DIMENSIONS ON SITE PRIOR TO CONSTRUCTION STARTING. ANY PROBLEMS OR CHANGE FOUND CONTACT AEA OR OWNER TO VERIFY.
  - 8) THE CONTRACTOR IS RESPONSIBLE FOR ANY TEMPORARY LIGHTING ON THE TOWER AND CONTACTING PROPER AUTHORITY IF ANY LIGHTING IS REQUIRED. ANY LIGHTING TO BE INSTALLED ON TOWER DURING CONSTRUCTION, NOTIFY OWNER WHEN TOWER HAS REACHED FINAL HEIGHT.
  - 9) THE CONTRACTOR IS RESPONSIBLE FOR ALL ON SITE WORK. ALL ON SITE WORK TO BE DONE IN COMPLIANCE WITH OSHA RULES AND REGULATIONS.
  - 10) THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL SITE DRAINAGE, AND PROVIDING SILT AND EROSION CONTROL NECESSARY TO MAINTAIN ANY RUN OFF.
  - 11) THE CONTRACTOR RESPONSIBLE FOR ANY SEED AND STRAW NECESSARY TO DAMAGED AREAS.
  - 12) CONTRACTORS TO GRADE SLOPES OR REPAIR ANY POT HOLES OR OTHER PROBLEMS OF ROAD THAT HAS OCCURRED DURING CONSTRUCTION AT CONTRACTORS EXPERIENCE.

**NOTE:** UPON COMPLETION OF ALL CONSTRUCTION WORK, THE CONTRACTOR WILL BE RESPONSIBLE FOR SUBMITTING CLOSEOUT DOCUMENTATION ON DISK FORMAT ONLY, CONTAINING THE FOLLOWING CLOSE OUT DOCUMENTATION:

- ASBUILT CONSTRUCTION DRAWINGS
- SWEEP TEST
- GROUND TEST USING BLUEGRASS FORM
- ELECTRICAL COMPLIANCE CERTIFICATE (LEGIBLE COPY)
- BUILDING PERMIT
- SITE PHOTOS (ALL SIDES) PREFERABLY ON DISK

**"BEFORE YOU DIG"**

THE CONTRACTORS ATTENTION IS DIRECTED TO THE UTILITY PROTECTION CENTER, PHONE 1-800-752-0007 WHICH WAS ESTABLISHED TO PROVIDE ACCURATE LOCATIONS OF UNDERGROUND UTILITIES. THE CONTRACTOR SHALL NOTIFY THE UTILITY PROTECTION CENTER 48 HOURS IN ADVANCE OF ANY CONSTRUCTION ON THIS PROJECT. ALL NEW SERVICE AND GROUNDING TRENCHES PROVIDE A WARNING TAPE @ 12 INCHES BELOW GRADE.

**GRADING & EXCAVATING NOTES:**

- 1) ANY DAMAGE TO EXISTING UTILITIES, STRUCTURES, OR OTHER AREAS TO BE REPAIRED OR REPLACED TO OWNERS SATISFACTION.
- 2) PREPARATION FOR FILL: REMOVAL OF ALL DEBRIS, WET AND UNSATISFACTORY SOIL MATERIALS, TOPSOIL, VEGETATION, AND HARMFUL MATERIALS. FILLING SHALL BE DONE TO A MINIMUM OF 12" ABOVE FINISHED SURFACES. FILLING SHALL BE BREWING UP OF COMPACTED SOIL GREATER THAN 1 VERTICAL TO 4 HORIZONTAL. SO MATERIAL FOR FILL WILL BOND TO EXISTING SURFACE. WHEN AREA TO RECEIVE FILL HAS A DENSITY LESS THAN REQUIRED, BREAK UP GROUND SURFACE TO DEPTH OF 6" TO 8" TO IMPROVE CONTACT WITH PULVERIZE SOIL AND RECOMPACT TO REQUIRED DENSITY.
- 3) BACK FILLING:
  - EXCAVATED AREA SHALL BE CLEARED FROM STONES OR CLODS OVER 2 1/2" MAXIMUM SIZE.
  - SHALL BE PLACED IN LAYERS OF 6" AND COMPACTED TO A 95% STANDARD PROCTOR, USE A 90 LB. WEIGHT IN GRASSED / UNDESICATED AREAS WHERE REQUIRED.
  - SHALL BE APPROVED MATERIALS CONSISTING OF SANDY CLAY, GRAVEL AND SAND, SOFT SHALE, EARTH OR LOAM. CONSULT WITH ENGINEER PRIOR TO FILL BEING ADDED.
- 4) ALL MATERIAL FOR FILL TO BE APPROVED BY ENGINEER AND ALL COMPACTING TESTS TO BE COMPLETED TO SPECS. ALL COMPACTING RESULTS TO BE TURNED OVER TO OWNER.
- 5) AFTER COMPLETION OF BELOW GRADE EXCAVATING, AREA TO BE CLEARED AND CLEARED OF ANY UNSUITABLE MATERIAL SUCH AS, TRASH, DEBRIS, VEGETATION AND SO FORTH COMPLETE.
- 6) ANY EXCAVATING IN WHICH CONCRETE IS TO BE PLACED AND UNPROZEN SOIL AND BE FREE OF ANY LOOSE MATERIAL AND EXCESS GROUND WATER.
- 7) IF SOUND SOIL IS NOT REACHED AT DESIGNATED EXCAVATION DEPTH, THE POOR SOIL IS TO BE EXCAVATED TO ITS FULL DEPTH AND EITHER REPLACED WITH MECHANICALLY COMPACTED GRANULAR MATERIAL OR THE EXCAVATION TO BE FILLED WITH THE SAME QUALITY MATERIAL AS THAT WHICH WAS EXCAVATED. SEE RECOMMENDATIONS BY THE ENGINEER FOR RECOMMENDATIONS.
- 8) MECHANICALLY COMPACTED GRANULAR MATERIAL OR CONCRETE OF THE SAME QUALITY SPECIFIED FOR THE FOUNDATIONS TO BE USED IF EXCAVATION EXCEEDED THE DEPTH OF THE EXCAVATION. CRUSHED STONE MAY BE USED, STONE IF USED, SHALL NOT BE USED AS COMPLYING CONCRETE THICKNESS. PLEASE CONTACT ENGINEER FOR RECOMMENDATIONS.

**NOTE:** GENERAL CONTRACTOR MUST HAVE A MINIMUM 2 LABORERS ON SITE DURING ANY PHASE OF CONSTRUCTION FOR EMPLOYEE SAFETY PRECAUTIONS.

**NOTE:** THIS SCOPE OF WORK IS A BASIC OUTLINE FOR THE GENERAL CONTRACTOR TO FOLLOW AND DOES NOT EXCLUDE OTHER DUTIES ASSOCIATED WITH THE GENERAL CONTRACTORS RESPONSIBILITIES TO COMPLETE THE CELLULAR SITE. IT IS RECOMMENDED THAT THE DESIGNER CONSULT WITH THE LOCAL AEA PRIOR TO CONSTRUCTION. SEE R5B DESIGN IF SPECIFICATIONS MANUAL IS NEEDED. 502-959-9427

**NOTE:** CONTRACTOR TO SUPPLY AND INSTALL 1-20 GALLON TRASH CAN INSIDE EQUIPMENT SHELTER WITH SUPPLY OF TRASH BAGS IN BOTTOM. (COLOR OPTIONAL)

- INSTALL CONCRETE PADS FOR BUILDING, PROPANE TANK, GENERATOR PAD.
- INSTALL ELECTRIC AND GROUND FIELD FOR COMPOUND.
- EXCAVATION TO COMPOUND TO INCLUDE WEED CONTROL MAT.
- SITE TO HAVE PROPER DRAINAGE & EROSION CONTROL . (CROWNED FORMATION)
- GC WILL BE RESPONSIBLE FOR ALL CRANE OPERATIONS IN ORDER TO SET FIBERON BUILDING. COORDINATE DELIVERY DATE THROUGH BLUEGRASS CELLULAR.
- GC WILL BE RESPONSIBLE FOR REPAIR OF ALL AREAS DISTURBED DURING CONSTRUCTION. (EXCAVATING ISSUES)
- GC WILL BE RESPONSIBLE FOR OFF LOADING AND STACKING OF TOWER WHEN APPLICABLE.
- GC WILL BE RESPONSIBLE FOR MOUNTING ALL LINES AND ANTENNAS.
- GC WILL BE RESPONSIBLE FOR SUPPLYING AND INSTALLING ICE BRIDGE.
- GC WILL BE RESPONSIBLE FOR SCHEDULING PROPANE TANK DELIVERY AND HOOK-UP.
- GC WILL BE RESPONSIBLE FOR CLEANING THE INSIDE OF BUILDING BEFORE I HAND SITE OVER TO OPERATIONS DEPARTMENT. THIS WILL INCLUDE SUPPLYING TRASHCAN, TRASH BAGS, BROOM, AND DOORMAT FOR BUILDING.
- GC WILL BE RESPONSIBLE FOR APPLYING FOR ELECTRICAL SERVICE AND PAYING NECESSARY FEES REQUIRED.
- ALL WAREHOUSE MATERIAL (LINES, ANTENNAS, MOUNTING HARDWARE, GENERATOR, TOWER FOUNDATION KIT, ETC.) WILL NEED TO BE PICKED UP BY GC.
- ALL ALARMS WILL NEED TO BE HOOKED UP BY GC. THIS IS TO INCLUDE GENERATOR ALARM AND TOWER LIGHT ALARM. (TO BLUEGRASS CELLULAR INC. ALARM BLOCK)
- GC WILL BE RESPONSIBLE FOR SCHEDULING GENERATOR START-UP WITH CONTACT SCOTT ANDERSON (EVA/PAR) 502-267-6315
- T1 CONDUIT WILL NEED TO BE PLACED FROM POLE TO BUILDING (IF A MICROVAULT DISH IS USED, THE T1 CONDUIT WILL STILL BE INSTALLED FOR FUTURE USE.)
- GC WILL BE RESPONSIBLE FOR INSTALLATION OF ALL FENCING.
- ALL TRASH AND DEBRIS TO BE REMOVED BY GC
- GC TO SEPARATE ALL MATERIALS & LABOR IN BID.
- CONTRACTOR TO BREAK DOWN BIDS USING THE FOLLOWING LINE ITEMS:
  - ROAD
  - FENCE
  - COMPOUND DEVELOPMENT
  - BUILDING, PROPANE, AND GENERATOR FOUNDATIONS
  - GROUNDING
  - TELCO
  - ELECTRIC
  - BUILDING SET
  - ICE BRIDGE
  - TOWER FOUNDATION
  - TOWER ERECTION
  - LINE INSTALL
  - ANTENNA INSTALL
  - PERMITS

**SYMBOLS LEGEND**

- KEYNOTE**
- INSPEC. SLEEVE / GRIND ROD
  - INSPECTION SLEEVE
  - CAD WELD CONNECTION
  - TRANSFORMER
  - LIGHTNING SUPPRESSOR
  - SWITCH (DISCONNECT)
  - METER PACK
  - POWER
  - GAS LINE
  - WATER LINE
  - SANITARY SEWER
  - TELEPHONE
  - STORM SEWER DRAIN
  - FENCE



NO.	DATE	REVISION

5603 N. JACKSON HWY., FLATWOOD, KY. 42755

**FLATWOOD**

**STANDARD CELLULAR SITE**

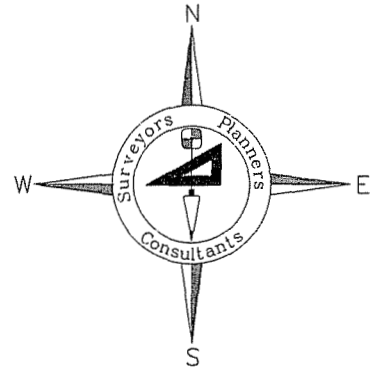
**BLUEGRASS CELLULAR, INC.**

DRAWN BY:	R. BECKER
ISSUE DATE:	11-27-06
SCALE:	LISTED
SHEET NUMBER:	General Notes

# Landmark Surveying Co., Inc.

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Darren L. Helms, R.L.S., PRESIDENT  
Dennis N. Helms, R.L.S., VICE PRESIDENT



15 N.E. 3rd Street  
Washington, Indiana 47501  
Phone: 812-257-0950  
Fax: 812-257-0953  
E-mail: landmark@dmrtc.net

## Directions to the Site From the County Seat of Adair County, Kentucky

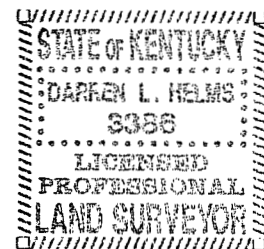
**Flatwood Site**  
**Adair County, Kentucky**

From the Adair County Courthouse in Columbia, Kentucky: travel West on Kentucky Highway 80 for 4.3 miles to Bliss Road; turn left on Bliss Road and travel South, passing under the Cumberland Parkway at 0.4 miles, 1.9 miles in all to a gravel lane on the left or East side of the road; turn left onto the lane and travel East about 600 feet to the tower site.

*Darren L. Helms*

Darren L. Helms, Kentucky Professional Land Surveyor No. 3386

OCT. 30, 2006  
Date



**OPTION TO LEASE AND LEASE AGREEMENT**

I.

**OPTION TO LEASE REAL PROPERTY**

THIS OPTION TO LEASE REAL PROPERTY (the "Option Agreement") is made and entered into this 25 day of May, 2006, by and between Troy Kessinger and Margaret Kessinger, husband and wife whose address is 1848 Bliss Road, Columbia, KY 42728 (the "Optionor (s)") and Cumberland Cellular Partnership, d/b/a Bluegrass Cellular, a Kentucky general partnership with principal office and place of business at 2902 Ring Road, Elizabethtown, KY 42701 (the "Optionee").

**WITNESSETH:**

WHEREAS, the Optionor(s) is the owner of certain real property located in Adair County, Kentucky as more particularly described on Exhibit A attached hereto and incorporated herein by reference (the "Property"); and

WHEREAS, the Optionor(s) wishes to grant to the Optionee, and the Optionee wishes to obtain from the Optionor(s), an option to lease the Property upon the terms and conditions set forth herein;

NOW, THEREFORE, in consideration of the foregoing premises and for other good and valuable consideration, the mutuality, receipt and sufficiency of which are hereby acknowledged, the parties hereto do agree as follows.

Site Name: Flatwood

1. In consideration of **One Thousand Eight Hundred Dollars and Zero Cents (\$1,800.00)** paid by the Optionee to the Optionor(s) (the "Option Consideration"), the receipt of which is hereby acknowledged by the Optionor(s), the Optionor(s) hereby grants to the Optionee an exclusive and irrevocable option to lease the Property (the "Option"), upon the terms and conditions hereinafter set forth, upon the exercise of the Option at any time before 4:00 p.m. prevailing time on 25 Nov 07 (the "Option Period") as set forth in Paragraph 5 thereof.

2. The parties hereto anticipate that the Property comprises approximately a **One Hundred Foot by One Hundred Foot** area, and that a right of way will be given by the Optionor(s) for the purposes of ingress and egress throughout the term of the lease. The Optionee shall obtain an accurate survey of the Property by a registered land surveyor licensed in the Commonwealth of Kentucky at the sole expense of the Optionee. A copy of the survey shall be provided to the Optionor(s). The description of the Property shall include the number of acres determined by the surveyor. The Optionee shall obtain said survey within a reasonable time following the date of the Option Agreement.

3. During the term of the Option, the Optionee may enter onto the Property at its own risk to obtain soil samples and to bore soil for the purposes of determining the suitability of the Property for a communications tower.

4. Upon the Optionee's proper exercise of the Option in accordance with Paragraph 5 hereof, the Optionor(s) shall be deemed to have immediately executed, acknowledged and delivered to the Optionee the Lease Agreement contained in Section II hereof. The description of the Property shall be that determined by the registered land surveyor in accordance with Paragraph 2 hereof.

5. If the Optionee elects to exercise the Option in accordance with the terms hereof, notice of such election shall be deemed sufficient if personally delivered or sent by registered or certified mail, return receipt requested, to the address of the Optionor(s) set forth in Paragraph 14 hereof.
6. The Optionor(s) agrees not to sell, lease or offer for sale or lease the Property during the term of this Option or any renewal or extension of the Option.
7. In the event the Optionee fails to exercise the Option as set forth herein (unless such failure is due to the discovery of a defect in the Property or other matter unsatisfactory to the Optionee), the Optionor(s) shall have the right to retain the Option Consideration.
8. The Optionee may assign this Option with written consent of the Optionor(s), which consent shall not be unreasonably withheld, and upon any assignment such assignee shall have all the rights, remedies and obligations as if it were the original Optionee hereunder. From and after any such assignment, the term "Optionee" shall refer to such assignee.
9. Each party hereto shall bear any and all of its own expenses in connection with the negotiation, execution or settlement of this Option.
10. Risk of loss with respect to the Property during the term of this Option and during the term of the lease shall be upon the Optionor(s). If, during the term of the Option, any portion of the Property shall be acquired by public authority under the right or threat of eminent domain, the Optionee may, at its sole option, either (i) exercise the

Option, and in such event, all sums received from the public authority by the Optionor(s) by reason of the taking of a portion of the Property shall reduce the rent due under the lease, or (ii) terminate this Option and thereupon the Optionor(s) shall be obligated to return to the Optionee the full amount of the Option Consideration previously paid to the Optionor(s) in "good and collected funds."

- 
11. The parties hereto represent to each other that neither has engaged any broker to represent their interests in connection with the transactions contemplated hereby, and each agrees to indemnify the other against any and all claims made by any brokers engaged or purported to be engaged by the other for brokerage commissions or fees in connection with the transactions contemplated hereby.
  12. The Optionor(s) represents, warrants and covenants to the Optionee that the Optionor(s) has not caused or permitted, and shall not cause or permit, and to the best of Optionor(s)' knowledge no other person has caused or permitted any hazardous material (as defined by any applicable federal, state or local law, rule or regulation) to be brought upon, placed, held, located or disposed of at the Property. In the event any such contamination occurs for which the Optionee becomes legally liable, the Optionor(s) shall indemnify the Optionee against all claims, damages, judgments, penalties and costs and expenses, including reasonable attorneys' fees, which Optionee may incur.
  13. This Option Agreement and the rights and obligations of the parties hereto shall be construed in accordance with the laws of the Commonwealth of Kentucky.

Site Name: Flatwood

14. For the purposes of giving notice as permitted or required herein, the address of the Optionor(s) shall be: 1848 Bliss Road, Columbia, KY 42728; the Optionee's address shall be: 2902 Ring Road, Elizabethtown, KY 42701.
15. The Optionee shall have the right, in its sole discretion, to record this Option in the Office of the Clerk of the County Court of Adair County, Kentucky.

## II.

### LEASE AGREEMENT

16. In the event the Optionee elects to exercise the Option to lease the Property, the terms of the Lease Agreement ("Lease Agreement" or "Lease") shall become immediately effective upon such exercise and shall be as follows.
  1. The term of the Lease shall commence on the date that the Optionor(s) receives proper notice that the Optionee has exercised the Option, pursuant to Paragraph 5 therein. The initial term shall expire five (5) year(s) from the commencement date of the Lease Agreement and shall include three (3) additional five (5)-year terms per the Lease Agreement. Optionee may, by providing written notice at least sixty (60) days prior to the expiration of the original or any renewal Lease term, elect to unilaterally terminate this Lease at the end of any original or renewal Lease term. Such notice must be personally delivered or sent via registered or certified mail, return receipt requested, to the address of the Optioner(s) set forth in Paragraph 14 hereof. The Lease amount shall be adjusted at the end of each term by an increase of 12%.

Site Name: Flatwood

2. The Optionee shall pay to the Optionor(s) rent for the Property in the sum of **Four Thousand Eight Hundred Dollars and Zero Cents (\$4,800.00)** yearly, to be paid in advance. All rent payments shall be personally delivered or mailed to the Optionor(s) at the address set forth in Paragraph 14 hereof. Any check payment of the rent due under the Lease shall be payable to the order of Optionor(s).
3. The Optionee shall be entitled to use and occupy the Property for the purpose of erecting, maintaining and operating a communications tower and communications facilities thereon and for all such other uses as Optionee may, in its sole discretion, deem necessary in connection therewith.
4. The Optionor(s) shall be responsible for the payment of all real estate taxes which shall be assessed against the Property during the term of the lease. The Optionee shall pay all charges for heat, water, gas, electricity, sewer use charges and any other utility used or consumed on the Property. The Optionee shall, at its own cost and expense, maintain and keep in full force and effect during the term of the lease public liability insurance with coverage in the amount of at least one million dollars (\$1,000,000.00) per person for bodily injury, disease, or death and shall maintain property insurance on any property the Optionee located on the Property.
5. The Optionee may assign the lease. The Optionee may sublet all or part of the space on the tower or ground space.
6. The Optionor(s) covenants that upon the Optionee's payment of the rent agreed upon herein, as well as Optionee's observing and performing all of the



covenants and conditions contained in the Lease, the Optionee may peacefully and quietly enjoy the Property subject to the terms and conditions set forth in the Lease.

7. The Optionee agrees to maintain an access road in a passable manner for the term of the lease.
8. Licensee's Payment of Taxes, Fees and Assessments. Optionee shall pay directly to the applicable federal, state or local governmental unit or agency ("Governmental Entity") or to Optionor if Optionor is invoiced by such Governmental Entity, all taxes, fees, assessments or other charges assessed by any Governmental Entity directly against Optionee's Equipment and/or Optionee's use of the Facility. Optionee shall also pay to Optionor Optionee's Pro Rata Share of all taxes, fees, assessments or charges including, but not limited to, personal property taxes attributable to Optionee's equipment and antenna(s), municipal franchise fees, use fees, municipal application fees, installation fees and increases thereof. "Pro Rata Share" shall mean the fraction of decimal equivalent of dividing one (1) by the total number of then existing users occupying a tower on the last day of the applicable calendar year.
17. This Option and Lease Agreement contains the entire agreement between the parties hereto and no modification or amendment shall be binding upon any party unless made in writing and signed by each of the parties hereto.

Site Name: Flatwood

18. Upon the termination or other end of this Lease Agreement, Optionee shall have the right to remove any and all of its property (real or personal) from the Property regardless of whether or not such property may be considered a fixture thereto.
  
19. Upon abandonment of the property, Optionee shall have thirty (30) days to dismantle and remove the cellular antenna tower and any/all equipment located on Optionor's property.

[Remainder of Page Intentionally Left Blank]

Site Name: Flatwood

**EXECUTION OF AGREEMENT(S)**

IN WITNESS WHEREOF, the parties hereto have set their hands and affixed their respective seals.

Margaret Kessinger

Date: 5-25-06

Troy Kessinger

Date: 5-25-06

Ron Smith

Date: 5-31-06

("Optionor(s)")

By: Troy and Margaret Kessinger  
Property Owner(s)

("Optionee")

By: Ron Smith  
Authorized Representative

STATE OF KENTUCKY

COUNTY OF Oddair

The foregoing instrument was acknowledged before me this 25 day of May, 2006,  
by Margaret Kessinger to be his/her free act and deed.

Sonji Riddle

NOTARY PUBLIC STATE AT LARGE

My commission expires: 1-8-2007

Site Name: Flatwood

STATE OF KENTUCKY

COUNTY OF Caldair

The foregoing instrument was acknowledged before me this 25 day of May, 2006,  
by Troy Kessinger to be his/her free act and deed.

[Signature]

NOTARY PUBLIC STATE AT LARGE

My commission expires: 1-8-2007

STATE OF Kentucky

COUNTY OF Hardin

The foregoing instrument was acknowledged before me this 31 day of May,  
2006, by Ron Smith, to be his free act and deed.

[Signature]  
NOTARY PUBLIC STATE OF LARGE  
My commission expires: 1-21-09

This instrument prepared by:

[Signature]

John E. Selent

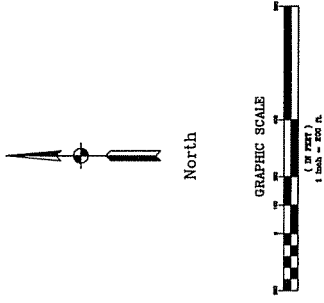
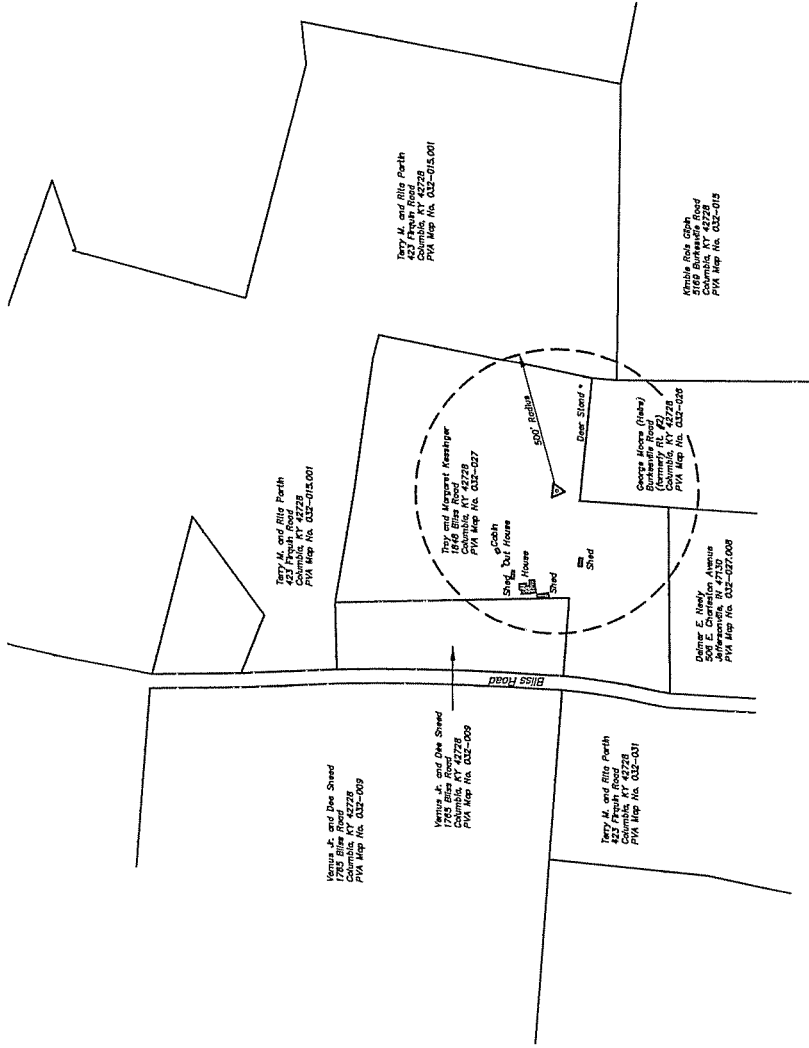
**DINSMORE & SHOHL LLP**

1400 PNC Plaza / 500 West Jefferson Street

Louisville, KY 40202

(502) 540-2300

Site: Flatwood  
 Adair County, Kentucky  
 500-Foot Radius Map for Structures and Landowners



Landmark Surveying Co., Inc.  
 15 N.E. 3rd Street  
 Wichita, Kansas 67201  
 (913) 257-0950  
 Email: landmark@landmark.com  
 Project No. 08-10-028

500-Foot Radius Map  
 1850 Bliss Road  
 Columbia, Kentucky 42728

Bluegrass Cellular  
 2902 Ring Road  
 Elizabethtown, Kentucky 42702

REVISIONS	DATE

DATE	10-30-08
CREATED BY	A. Miller
CHECKED BY	DLH/MS
SHEET NO.	1
OF 1 SHEETS	FILE NO.
Flatwood Radius Map	

**NOTE:**  
 The location of the boundaries shown are approximate, and they are based upon the aerial photographs on file in the office of the Property Valuation Administrator of Adair County, Kentucky.

**SURVEYOR'S CERTIFICATION**  
 I hereby certify that the information shown is correct to the best of my knowledge and it is in accordance with the records found in the office of the Property Valuation Administrator of Adair County, Kentucky on October 18, 2008.

*Darren L. Helms*  
 Darren L. Helms, L.S. 1008  
 OCT. 30, 2008

STATE OF KENTUCKY  
 DARREN L. HELMS  
 3385  
 LICENSED  
 PROFESSIONAL  
 LAND SURVEYOR

Reduced Copy

**COMMONWEALTH OF KENTUCKY**

**BEFORE THE PUBLIC SERVICE COMMISSION**

**In the Matter of:**

**APPLICATION OF CUMBERLAND CELLULAR  
PARTNERSHIP FOR ISSUANCE OF A CERTIFICATE  
OF PUBLIC CONVENIENCE AND NECESSITY TO  
CONSTRUCT A CELL SITE (FLATWOOD) IN RURAL  
SERVICE AREA #5 (ADAIR) OF THE COMMONWEALTH  
OF KENTUCKY**

**CASE NO. 2006-00533**

**AFFIDAVIT OF JOHN E. SELENT**

I, John E. Selent, being duly sworn, depose and state as follows:

1. My name is John E. Selent and I am a member of the Kentucky Bar Association.

I am legal counsel to Cumberland Cellular Partnership and am submitting this affidavit in conjunction with the above referenced matter.

2. In order to demonstrate compliance with 807 KAR 5:063 §1(1)(l), Exhibit 1 identifies, with the exception of those individuals identified in paragraphs 4 and 5, the names of the residents/tenants and property owners within 500 feet of the proposed tower who have been: (i) notified by written notice of the proposed construction, sufficient postage prepaid, by United States Certified Mail, return receipt requested; (ii) given the Commission docket number under which the application will be processed; and (iii) informed of the right to request intervention.


3. Attached as Exhibit 2 is a copy of the United States Certified Mail return receipts that demonstrate proof of service of the written notice of the proposed construction upon the following individuals identified at Exhibit 1 (all of whom have street addresses): (1) Vernus and Dee Sneed; (2) Terry and Rita Partin; (3) Delmer Neely; and (4) Troy and Margaret Kessinger.

4. Affiant attempted to serve written notice of the proposed construction (see Exhibit 1) upon Kimble Rois Gilpin via United States Certified Mail pursuant to 807 KAR 5:063 § 1(l) and (m). Service of the written notice of the proposed construction to Kimble Rois Gilpin was

attempted via United States Certified Mail on December 26, 2006 and January 5, 2007 and notice of the effort to do so was left at Kimble Rois Gilpin's address. Another copy of the written notice of the proposed construction was therefore sent to Kimble Rois Gilpin via United States First Class Mail.

4. Affiant attempted to serve written notice of the proposed construction (see Exhibit 1) upon the heirs of George Moore via United States Certified Mail pursuant to 807 KAR 5:063 § 1(l) and (m). Service of the written notice of the proposed construction to the heirs of George Moore was attempted via United States Certified Mail and was returned marked "Return to Sender - Attempted Not Known - Unable to Forward." Another copy of the written notice of the proposed construction was therefore sent to the heirs of George Moore via United States First Class Mail.

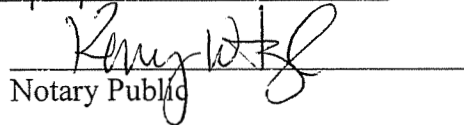
Further Affiant saith not.

  
 \_\_\_\_\_  
 John E. Selent  
 \_\_\_\_\_  
 )  
 )SS:  
 )

COMMONWEALTH OF KENTUCKY )  
 COUNTY OF JEFFERSON )

SUBSCRIBED AND SWORN to before me this 17th day of January, 2007.

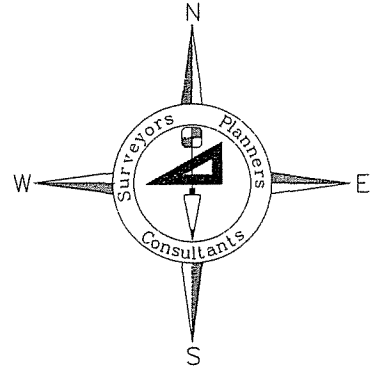
My commission expires: 11/20/07

  
 \_\_\_\_\_  
 Notary Public

# Landmark Surveying Co., Inc.

---

Darren L. Helms, R.L.S., PRESIDENT  
Dennis N. Helms, R.L.S., VICE PRESIDENT



15 N.E. 3rd Street  
Washington, Indiana 47501  
Phone: 812-257-0950  
Fax: 812-257-0953  
E-mail: landmark@dmrtc.net

## Landowner and Adjacent Landowner List

Bluegrass Cellular  
Flatwood Site  
Adair County, Kentucky

Vernus Jr. and Dee Sneed  
1765 Bliss Road  
Columbia, KY 42728

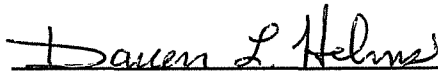
Terry M. and Rita Partin  
423 Firquin Road  
Columbia, KY 42728

George Moore (Heirs)  
Burkesville Road  
(formerly Rt. #2)  
Columbia, KY 42728

Delmer E. Neely  
506 E. Charleston Avenue  
Jeffersonville, IN 47130

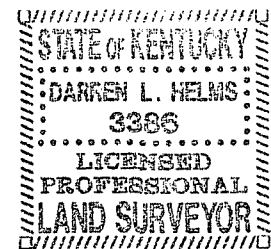
Troy and Margaret Kessinger  
1848 Bliss Road  
Columbia, KY 42728

Kimble Rois Gilpin  
5169 Burkesville Road  
Columbia, KY 42728



Darren L. Helms, Kentucky Professional Land Surveyor No. 3386

OCT. 30, 2006  
Date





December 14, 2006

Delmer E. Neely  
506 E. Charleston Avenue  
Jeffersonville, Indiana 47130

## Public Notice

Cumberland Cellular Partnership is a Kentucky general partnership that markets its services as Bluegrass Cellular. Bluegrass Cellular has been serving Central Kentucky with wireless communications services for over 15 years.

Bluegrass Cellular is applying to the Public Service Commission of the Commonwealth of Kentucky (the "Commission") for a Certificate of Public Convenience and Necessity to construct and a new cell facility to provide cellular telephone service. This facility will include a 240 foot tower to be located at 1850 Bliss Road, Columbia, KY 42728. A map showing the location is attached.

**The Commission invites your comments regarding this proposed construction. Also, the Commission wants you to be aware of your right to intervene in this matter. Your comments and request for intervention should be addressed to:**

**Executive Director's Office  
Public Service Commission of Kentucky  
P.O. Box 615  
Frankfort, Kentucky, 40602.**

**Please refer to case number 2006-00533 in your correspondence.**

Bluegrass Cellular welcomes the opportunity to serve and provide wireless service in your community! (For more information, please check us out online at [www.myblueworks.com](http://www.myblueworks.com))

SENDER: COMPLETE THIS SECTION	COMPLETE THIS SECTION ON DELIVERY
<ul style="list-style-type: none"><li><input checked="" type="checkbox"/> Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.</li><li><input checked="" type="checkbox"/> Print your name and address on the reverse so that we can return the card to you.</li><li><input checked="" type="checkbox"/> Attach this card to the back of the mailpiece, or on the front if space permits.</li></ul>	<p>A. Signature <input checked="" type="checkbox"/> Agent <input checked="" type="checkbox"/> Addressee</p> <p>B. Received by (Printed Name) Delmer Neely</p> <p>C. Date of Delivery</p>
<p>1. Article Addressed to:</p> <p>Delmer E. Neely 506 E. Charleston Avenue Jeffersonville, IN 47130</p>	<p>D. Is delivery address different from item 1? <input type="checkbox"/> Yes If YES, enter delivery address below: <input type="checkbox"/> No</p> <p>3. Service Type <input checked="" type="checkbox"/> Certified Mail <input type="checkbox"/> Express Mail <input type="checkbox"/> Registered <input type="checkbox"/> Return Receipt for Merchandise <input type="checkbox"/> Insured Mail <input type="checkbox"/> C.O.D.</p> <p>4. Restricted Delivery? (Extra Fee) <input checked="" type="checkbox"/> Yes</p>
<p>2. Article Number (Transfer from service label)</p>	<p>7005 3110 0003 8723 7366</p>

December 14, 2006

Terry M. and Rita Partin  
423 Firquin Road  
Columbia, Kentucky 42728

## Public Notice

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Bluegrass Cellular is applying to the Public Service Commission of the Commonwealth of Kentucky (the "Commission") for a Certificate of Public Convenience and Necessity to construct and a new cell facility to provide cellular telephone service. This facility will include a 240 foot tower to be located at 1850 Bliss Road, Columbia, KY 42728. A map showing the location is attached.

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<ul style="list-style-type: none"> <li><input checked="" type="checkbox"/> Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.</li> <li><input checked="" type="checkbox"/> Print your name and address on the reverse so that we can return the card to you.</li> <li><input checked="" type="checkbox"/> Attach this card to the back of the mailpiece or on the front if space permits.</li> </ul>	<p>A. Signature <input type="checkbox"/> Agent <i>Terry M. Partin</i> <input checked="" type="checkbox"/> Addressee</p> <p><input checked="" type="checkbox"/> Received by (Printed Name) C. Date of Delivery <i>TERRY M. PARTIN</i> <i>12-18-06</i></p>
<p>1. Article Addressed to:</p> <p>Terry M. and Rita Partin 423 Firquin Road Columbia, KY 42728</p>	<p>D. Is delivery address different from item 1? <input type="checkbox"/> Yes If YES, enter delivery address below: <input type="checkbox"/> No</p> <p>3. Service Type  <input checked="" type="checkbox"/> Certified Mail <input type="checkbox"/> Express Mail  <input type="checkbox"/> Registered <input type="checkbox"/> Return Receipt for Merchandise  <input type="checkbox"/> Insured Mail <input type="checkbox"/> C.O.D.</p> <p>4. Restricted Delivery? (Extra Fee) <input type="checkbox"/> Yes</p>
<p>2. Article Number (Transfer from service label)</p>	<p>7005 3110 0003 8723 5454</p>

December 14, 2006

Venus Jr. and Dee Sneed  
1765 Bliss Road  
Columbia, Kentucky 42728

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Public Service Commission of Kentucky  
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<p>1. Article Addressed to:</p> <p style="text-align: center;"><i>h</i></p> <p>Venus Jr. and Dee Sneed 1765 Bliss Road Columbia, KY 42728</p>	<p>D. Is delivery address different from item 1? <input type="checkbox"/> Yes If YES, enter delivery address below: <input type="checkbox"/> No</p> <p style="text-align: center;"><i>DEC 21 06</i></p> <p>3. Service Type</p> <p><input checked="" type="checkbox"/> Certified Mail <input type="checkbox"/> Express Mail  <input type="checkbox"/> Registered <input type="checkbox"/> Return Receipt for Merchandise  <input type="checkbox"/> Insured Mail <input type="checkbox"/> C.O.D.</p> <p>4. Restricted Delivery? (Extra Fee) <input type="checkbox"/> Yes</p>
<p>2. Article Number (Transfer from service label)</p>	<p style="text-align: center;">7005 3110 0003 8723 5461</p>

December 14, 2006

Troy and Margaret Kessinger  
1848 Bliss Road  
Columbia, KY 42728

## Public Notice

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Frankfort, Kentucky, 40602.**

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<p>1. Article Addressed to:</p> <p style="text-align: center;">Troy and Margaret Kessinger 1848 Bliss Road Columbia, KY 42728</p>	<p><b>RECEIVED</b> <b>DEC 21 06</b></p> <p>YES, enter delivery address below: <input type="checkbox"/> No</p>
	<p>3. Service Type</p> <p><input checked="" type="checkbox"/> Certified Mail <input type="checkbox"/> Express Mail</p> <p><input type="checkbox"/> Registered <input type="checkbox"/> Return Receipt for Merchandise</p> <p><input type="checkbox"/> Insured Mail <input type="checkbox"/> C.O.D.</p>
<p>2. Article Number (Transfer from service label)</p>	<p>4. Restricted Delivery? (Extra Fee) <input type="checkbox"/> Yes</p> <p style="text-align: center;">7005 3110 0003 8723 7359</p>

December 14, 2006

Kimble Rois Gilpin  
5169 Burkesville Road  
Columbia, KY 42728

## **Public Notice**

Cumberland Cellular Partnership is a Kentucky general partnership that markets its services as Bluegrass Cellular. Bluegrass Cellular has been serving Central Kentucky with wireless communications services for over 15 years.

Bluegrass Cellular is applying to the Public Service Commission of the Commonwealth of Kentucky (the "Commission") for a Certificate of Public Convenience and Necessity to construct and a new cell facility to provide cellular telephone service. This facility will include a 240 foot tower to be located at 1850 Bliss Road, Columbia, KY 42728. A map showing the location is attached.

**The Commission invites your comments regarding this proposed construction. Also, the Commission wants you to be aware of your right to intervene in this matter. Your comments and request for intervention should be addressed to:**

**Executive Director's Office  
Public Service Commission of Kentucky  
P.O. Box 615  
Frankfort, Kentucky, 40602.**

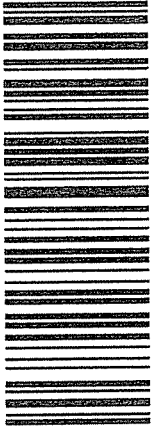
**Please refer to case number 2006-00533 in your correspondence.**

Bluegrass Cellular welcomes the opportunity to serve and provide wireless service in your community! (For more information, please check us out online at [www.myblueworks.com](http://www.myblueworks.com))

255 East Fifth Street, Suite 1900  
Cincinnati, OH 45202

**Dinsmore & Shohl** LLP  
ATTORNEYS

**CERTIFIED MAIL™**



7005 3110 0003 8723 7342

12-18-06

BC

Kimble Rois Gilpin  
5169 Burkesville Road  
Columbia, KY 42728

*C. Buggenheimer*

1ST NOTICE 12-26  
2ND NOTICE 1-5

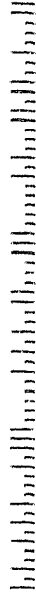
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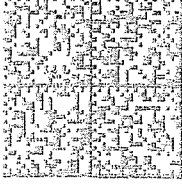
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DEC 14 2006

US POSTAGE

FIRST-CLASS

MAILED FROM 45202

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December 14, 2006

Heirs of George Moore  
C/O Breeding Postmaster  
Breeding, Kentucky 42715

## **Public Notice**

Cumberland Cellular Partnership is a Kentucky general partnership that markets its services as Bluegrass Cellular. Bluegrass Cellular has been serving Central Kentucky with wireless communications services for over 15 years.

Bluegrass Cellular is applying to the Public Service Commission of the Commonwealth of Kentucky (the "Commission") for a Certificate of Public Convenience and Necessity to construct and a new cell facility to provide cellular telephone service. This facility will include a 240 foot tower to be located at 1850 Bliss Road, Columbia, KY 42728. A map showing the location is attached.

**The Commission invites your comments regarding this proposed construction. Also, the Commission wants you to be aware of your right to intervene in this matter. Your comments and request for intervention should be addressed to:**

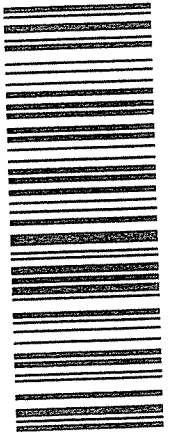
**Executive Director's Office  
Public Service Commission of Kentucky  
P.O. Box 615  
Frankfort, Kentucky, 40602.**

**Please refer to case number 2006-00533 in your correspondence.**

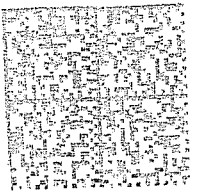
Bluegrass Cellular welcomes the opportunity to serve and provide wireless service in your community! (For more information, please check us out online at [www.myblueworks.com](http://www.myblueworks.com))

255 East Fifth Street, Suite 1900  
Cincinnati, OH 45202

**Dinsmore & Shohl**  
ATTORNEYS LLP



7005 3110 0003 8723 7335



REPOST

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DEC 14 2005

US POSTAGE

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MAIL PERMIT NO. 40202

PHILADELPHIA, PA 19104

*C. Campbell*

Heirs of George Moore  
c/o Breeding Postmaster  
Breeding, KY 42715

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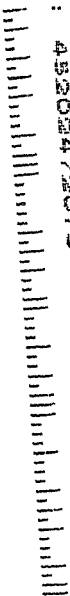
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ATTEMPTED TO FORWARD  
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\*0115-05564-14-45

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**Dinsmore & Shohl** LLP  
ATTORNEYS

Kerry W. Ingle  
(502) 540-2354 (Direct Dial)  
kerry.ingle@dinslaw.com

December 14, 2006

**VIA CERTIFIED MAIL**

Adair County Judge Executive  
One Courthouse Annex  
424 Public Square.  
Columbia, KY 42728

RE: Public Notice - Public Service Commission of Kentucky  
Case No. 2006-00533

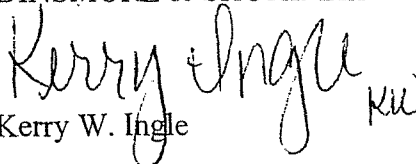
Cumberland Cellular Partnership is applying to the Public Service Commission of Kentucky for a Certificate of Public Convenience and Necessity to propose construction and operation for a new facility to provide cellular radio telecommunications service in rural service area (RSA) #5 in Adair County. The facility will include a 240 ft. tower and an equipment shelter to be located at 1850 Bliss Road, Columbia, KY 42728. A map showing the location of the proposed new facility is enclosed.

The Commission invites your comments regarding the proposed construction. You also have the right to intervene in this matter. **Your initial communication to the Commission must be received by the Commission within 20 days of the date of this letter as shown above.**

Your comments and request for intervention should be addressed to: Executive Director's Office, Public Service Commission, P.O. Box 615, Frankfort, Kentucky 40602. Please refer to case number 2006-00533 in your correspondence.

Very truly yours,

DINSMORE & SHOHL LLP

  
Kerry W. Ingle

Enclosure

SENDER: COMPLETE THIS SECTION	COMPLETE THIS SECTION ON DELIVERY	
<ul style="list-style-type: none"> <li><input checked="" type="checkbox"/> Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.</li> <li><input checked="" type="checkbox"/> Print your name and address on the reverse so that we can return the card to you.</li> <li><input checked="" type="checkbox"/> Attach this card to the back of the mailpiece, or on the front if space permits.</li> </ul>	A. Signature <input checked="" type="checkbox"/> Agent <input checked="" type="checkbox"/> Addressee	
1. Article Addressed to:  <p style="text-align: center;">Adair County Judge Executive            One Courthouse Annex            424 Public Square            Columbia, KY 42728</p>	B. Received by (Printed Name)	C. Date of Delivery
	Is delivery address different from item 1? <input type="checkbox"/> Yes If YES, enter delivery address below: <input type="checkbox"/> No  <div style="text-align: center; border: 1px solid black; padding: 2px;"> <b>RECEIVED</b>  <b>DEC 21 '06</b> </div>	
	3. Service Type: <input checked="" type="checkbox"/> Certified Mail <input type="checkbox"/> Express Mail <input type="checkbox"/> Registered <input type="checkbox"/> Return Receipt for Merchandise <input type="checkbox"/> Insured Mail <input type="checkbox"/> C.O.D.	
	4. Restricted Delivery? (Extra Fee) <input type="checkbox"/> Yes	

Article Number (Transfer from service label) 7005 3110 0000 6683 3322

# **PUBLIC NOTICE**

Cumberland Cellular Partnership,  
proposes to  
construct a cellular  
communications

# **TOWER**

near this site. If you have any  
questions please contact:

Cumberland Cellular  
Partnership  
P.O. Box 5002  
2002 Highway  
Frankfort, KY 40601

Executive Director,  
The Public Service Commission  
211 Tower Boulevard  
P.O. Box 016  
Frankfort, KY 40602

Please refer to P.S.C.

**Case #2006-00533**

in your correspondence.

# **PUBLIC NOTICE**

Cumberland Cellular Partnership  
proposes to  
construct a cellular  
communications

# **TOWER**

on this site. If you have any  
questions please contact:

Executive Director  
Cumberland Cellular Partnership  
P.O. Box 1000  
HARRISBURG, PA 17109  
TEL: 717-634-1111

Please refer to P.S.C.

**Case #2006-00533**

in your correspondence.

AFFIDAVIT OF PUBLICATION

I hereby certify that I am the BOOKKEEPER of

THE ADAIR PROGRESS

the newspaper published in the County of Adair, Kentucky (hereinafter referred to as the "publication area") which has the largest bona fide circulation in said publication area of any newspaper published therein.

I further certify that there is attached hereto a true copy of A Notice Cumberland Cellular Partnership is applying to the Public Service Commission of Kentucky which was published in said newspaper in its regular issue for the Thursday December 28, 2006 and Thursday January 4, 2007

I further certify that said newspaper maintains its principal office in the publication area for the purpose of gathering news and soliciting advertisements and other general business of newspaper publication and has a second-class mailing permit issued for that office. I further certify that said newspaper is published regularly as frequently as once a week for at least fifty weeks during the calendar year, as prescribed by its mailing permit; and it has been so published in the publication area for the immediately preceding two-year period prior to the date of publication hereinbefore referred to.

I further certify that said newspaper is circulated generally in the publication area, maintains a definite price or consideration not less than fifty per cent of its publication price and is paid for by not less than fifty per cent of those to whom distribution is made. I further certify that said newspaper bears a title or name, consists of not less than four pages without a cover, is of a type to which the general public resorts for passing events of a political, religious, commercial and social nature for current happenings, announcements, miscellaneous reading matter, advertisements and other notices and that the news content of said newspaper is at least twenty-five percent of the total column space in more than one-half of the issues during any 12-month period.

I further certify that all of the foregoing facts were true on the date of the publication hereinbefore referred to.

Dated this 10 day of January, 2007

Whitney Keith

Acknowledged before me this 10 day of 2007,

My commission expires 6/23/10.

Melanie Ollrey  
Notary Public, Adair, Kentucky

(Seal of Notary)

# CLASSIFIEDS

## Classifieds

**(PN) Public Notice**

**NOTICE TO CREDITORS**

Administration has been granted by Adair County District Court upon the following estates:

Todd Lee Judd, deceased, Martha Judd, 6373 Elkhorn Rd., Knifley, KY 42753, Administrator.

James Shepherd, deceased, Audrey Pike, 275 Edgar Jessie Rd., Russell Springs, KY 42642, Executor.

Eva Rae Roy, deceased, Charles Roy, 395 Freedom Church Rd., Russell Springs, KY 42642, Administrator.

Jimmy Dale Bledsoe, deceased, Mark D. Antle, 7898 N. Hwy. 55, Jamestown, KY 42629, Administrator.

Lucille Burton, deceased, Lewis Burton, 4553 W. Harriett St., Edinburgh, IN 46124, Executor.

Edna K. Miesse, deceased, Sandra Burris, 2504 Goggin Lane, Danville, KY 40422, Executrix.

Samuel E. Daugherty, deceased, Rex Daugherty, 202 Skyline Drive, Campbellsville, KY 42718, Executor.

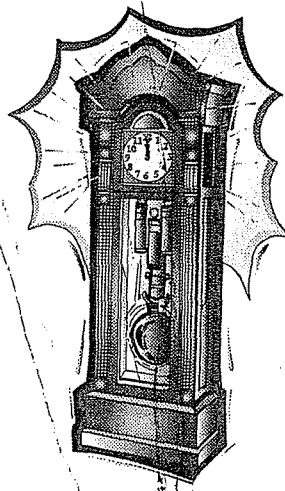
All persons having claims against said estate are notified to present them to the Administrator or Executor verified according to law not later than 6 months from date of this notice.

Dennis Loy, Clerk  
Adair Circuit Court

**(PN) Public Notice**

**NOTICE**

Cumberland Cellular Partnership is applying to the Public Service Commission of Kentucky for a Certificate of Public Convenience and Necessity to construct and operate a new facility to provide cellular radio telecommunications service in rural service area #5 of the Commonwealth of Kentucky (Flatwood Cell Site). The facility is a 240 foot tower and an equipment shelter to be located at 850 Bliss Road, Columbia, Kentucky, 42728. Your comments and requests for intervention should be addressed to: Executive Director's Office, Public Service Commission, Post Office Box 615, 211 Sower Boulevard, Frankfort, Kentucky 40602. Please refer to Case No. 2006-00533 in your correspondence.



**(PN) Public Notice**

**JOIN GREEN COUNTY COUNTRY CLUB!!** Memberships only \$750.00-\$600 if you're under 30!! Car plans available. Howard Moore, 299-5181. [www.greencountygolf.com](http://www.greencountygolf.com)

**(C) Pets for Sale**

**CKC FULL BLOODED GERMAN Rottweiler.** To stud for pick of litter. Call anytime, 585-1721. Leave message, if no answer.

**(F) Help Wanted**

**EPPERSON AIR CONDITIONING, HEATING, PLUMBING, ELECTRIC** is seeking HVAC Mechanics. Call 606-679-7476, 112 W. University Dr., Somerset, KY 42503. EOE & Drug Free Workplace.

**PAINTERS NEEDED, 2 YEARS EXPERIENCE** required. Some scale work. Cook Painting Co. Call 270-465-5778 and leave message.

**(J) Articles For Sale**

**FOR SALE: ALUMINUM SHEETS.** 50¢ each. Can be seen at The Adair Progress' office, 98 Grant Lane, Columbia, Ky.

**TRANSMISSION, 4 CYL, 5 SPEED** manual transmission for 2000 Mit. Eclipse GS model. Less than 3,000 miles. Call 270-384-6471 days; 270-384-9737 nights, ask for Donna.

**FOR SALE: FIBERGLASS CAMPER SHELL.** Gray in color. Log cabin base. \$250.00. 30' x 10' p/u 4 cyl. 5 sp. Many new parts. \$1,000. Call 385-9150.

**20 (10') AND 4 (8') PADDED CHURCH pews.** Excellent cond. Call anytime, 378-1250.

**FOR SALE: ALUMINUM LOW-PROFILE TOOL** box for small pickup. Like new \$150. Mustang seat for Kawasaki 800 Vulcar Classic. Like new, \$250. Call after 5:00 p.m. 384 2255.

**FOR SALE: EAR CORN LARGE AMOUNT** available Days, 634-1045; nights after 6 p.m. 378-5165.

**(Q) Apartments For Rent**

**2 BEDROOM APT. FOR RENT LOCATED IN** Columbia. \$375 month, \$300 deposit. References required. Call 270-384-2961 or cell, 250-1162.

**3 BR DUPLEX AND 3 BR TRAILER;** both all electric; central H/A; appliances; W/D hookups, HUD approved. 270-250-2034 or 270-384-2111.

**(R) House For Rent**

**3 BR HOME, CENTRAL HEAT/AIR, 2 BATHROOMS.** Refrigerator, electric range, dishwasher furnished. Utility room with W/D hookup. 2 large walk-in closets, oak cabinets, eat in kitchen. **No pets.** 2 references. 384-0398.

**(S) Houses For Sale**

**NEWLY REMODELED 2 BEDROOM, 1 BATH.** New hardwood and carpet, custom cabinets, blacktop drive, carport, 24x24 detached garage. Milltown Community on Russell Creek. \$79,400. Call 384-0947.

**(T) Mobile Homes For Rent**

**4 BR 16X80 ON LARGE LOT; ALSO 3 BR trailer;** both have central H/A; appliances, W/D hookups, HUD approved. 270-250-2034 or 270-384-2111.

All real estate advertised herein is subject to the Federal Fair Housing Act, which makes it illegal to advertise any preference, limitation or discrimination based on race, color, religion, sex, handicap, familial status or national origin, or intention to make any such preferences, limitations or discrimination. State laws forbid discrimination in the sale, rental or advertising of real estate based on factors in addition to those protected under federal law. We will not knowingly accept any advertising for real estate which is in violation of the law. All persons are hereby informed that all

**HELP WANTED PERSONAL ASSISTANT/ CAREGIVER NEEDED.**

Good attitude a must, computer skills, light housekeeping, nursing skills a plus, but not necessary. Will train the right individual. Must have own transportation and non-smoker. 8 hours a day-5 days a week. Also looking for weekend help with some qualities. Employment to begin

Give The C  
And Is  
GIVE A SUBSCRIPTION

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**(PN) Public Notice**

**NO TRESPASSING ON SNYDER PROPERTY**, running East North side of Butler Creek and South side of Billy Sullivan Rd. Property consists of approx. 30 acres. Signed Jack Snyder

**(C) Pets for Sale**

**CKC FULL BLOODED GERMAN Rottweiler**. To stud for pick of litter. Call anytime, 585-1721. Leave message, if no answer.

**SPRINGER SPANIEL PUPS**, AKC registered shots and wormed. Family raised good family dog or for hunting. 270-385-9266.

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**20 (10') AND 4 (8') PADDED CHURCH pews**. Excellent cond. Call anytime, 378-1250.

**FOR SALE: EAR CORN. LARGE AMOUNT** available. Days, 634-1045; nights after 6 p.m. 378-5165.

**FOR SALE: 2000 FORD TRACTOR** mowing machine, turning plow. 378-5762.

**FOR SALE: BOWFLEX XTREME 2**, 400 lbs. of resistance. \$700 obo. Call 270-585-2475.

**(N) Yard/Garage Sales**

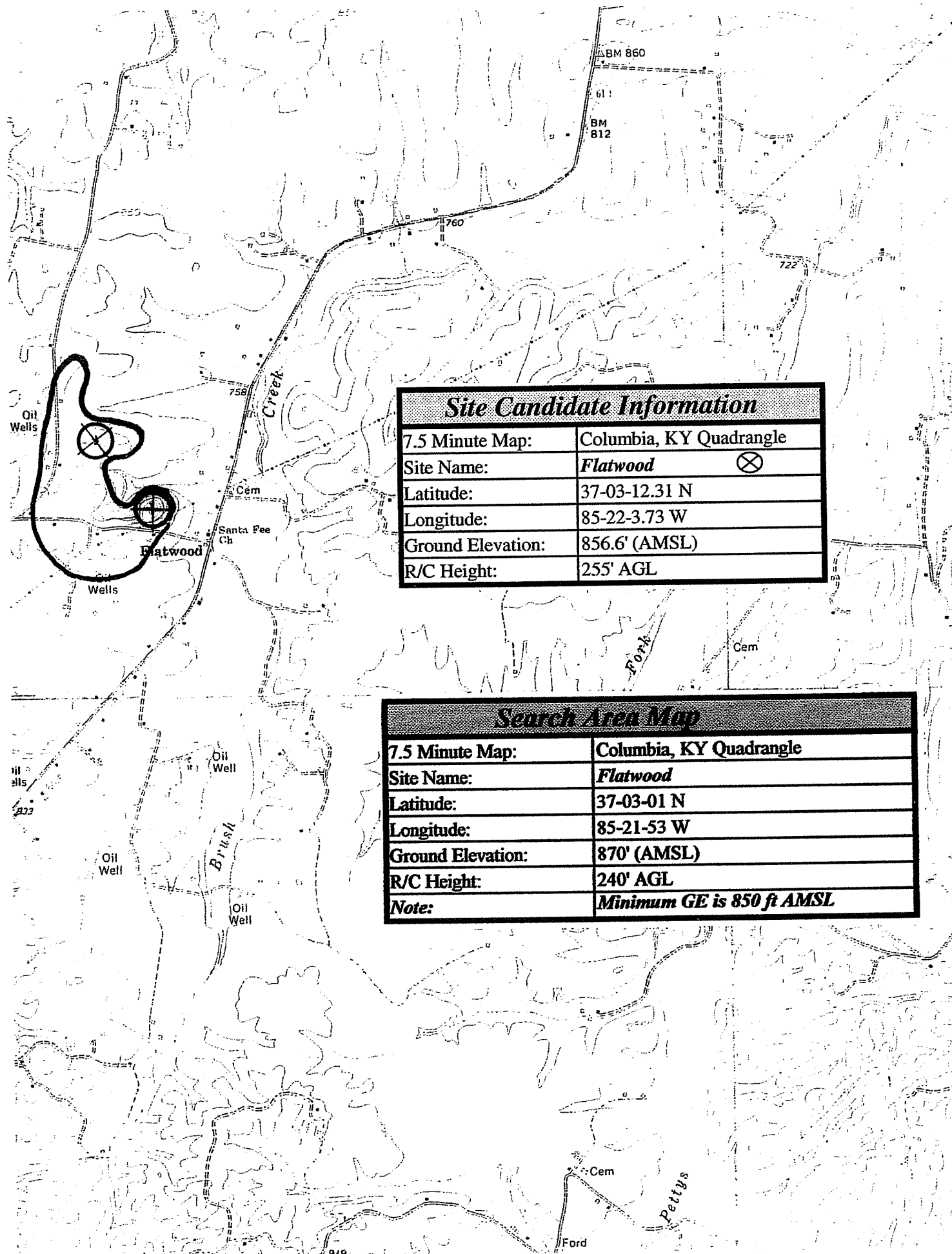
**HUGE GARAGE SALE-BARRY & CHERYL CORBIN**-Held regardless of weather in Large Heated Garage at 140 Short Lane, just off Lampton Lane. Signs posted. Furniture, beds, antique chests, dishes, household decorating items, dolls, American Girl items, toys, games, auto TV and player, designer clothes (Men, Women and teens), ladies sweaters, purses, computer, video game and player, large selection of children books and others. Friday and Saturday, January 5 and 6, time 8:00 a.m. to 2 p.m.

**SOUTHERN KENTUCKY HEARING AID SPECIALIST**  
3007 Edmonton Rd., Glasgow 1-800-359-4768

**ALL PAWS PET SHOP**  
**NEW HOURS!**  
10am-6pm Mon-Sat  
More fish and more pet supplies!  
270-692-1729 ext 21  
877-255-7297  
(877-ALL-PAWS) ext 21  
445 West Walnut Street  
between McDonald's and the Hospital  
on the bypass in Lebanon, Kentucky

**HELP WANTED PERSONAL ASSISTANT/CAREGIVER NEEDED.**  
Good attitude a must, computer skills, light housekeeping, nursing skills a plus, but not necessary. Will train the right individual. Must have own transportation and non-smoker. 8 hours a day-5 days a week. Also looking for weekend help with some qualities. Employment to begin Jan. 5, 2007, in Columbia.  
**Call 615-419-2902**

**GOT JOBS? HELP WANTED in Lebanon, Kentucky**  
Applications/Resumes will be accepted:  
**Wednesday, January 10, 2007 from 10:00 am - 2:00 pm**  
**Campbellsville University Technology Training Center**  
1 University Drive, Campbellsville KY  
**IMMEDIATE JOBS IN LEBANON:**

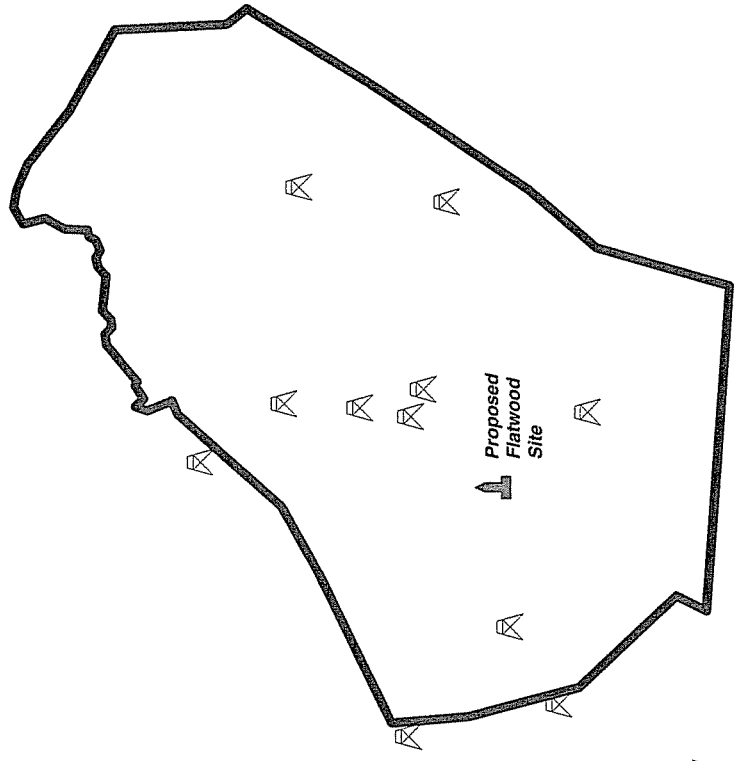


<b>Site Candidate Information</b>	
7.5 Minute Map:	Columbia, KY Quadrangle
Site Name:	<i>Flatwood</i> ⊗
Latitude:	37-03-12.31 N
Longitude:	85-22-3.73 W
Ground Elevation:	856.6' (AMSL)
R/C Height:	255' AGL

<b>Search Area Map</b>	
7.5 Minute Map:	Columbia, KY Quadrangle
Site Name:	<i>Flatwood</i>
Latitude:	37-03-01 N
Longitude:	85-21-53 W
Ground Elevation:	870' (AMSL)
R/C Height:	240' AGL
Note:	<b>Minimum GE is 850 ft AMSL</b>



37°-20'-00" N  
85°-05'-00" W



36°-55'-00" N  
85°-35'-00" W



	Adair County Boundary
	Wireless Tower Locations Registered with the FCC
	Proposed Tower Location
	Tick Marks

Prepared By: LINGS Engineer 12/01/2006

0 5 10



miles

**Information on Towers Registered with the FCC  
in Adair County and 1/2 Mile Area Outside of the County Boundary**

FCC Tower Reg. No.	North Latitude	West Longitude	City, State	Tower Owner
1041289	37-00-07 N	85-19-01 W	Fairplay, KY	Texas Eastern Communications, Inc.
1043061	37-07-32 N	85-18-48 W	Columbia, KY	Bluegrass Cellular
1043978	37-05-53 N	85-19-10 W	Columbia, KY	Cumberland Cellular, Inc.
1044249	37-09-29 N	85-09-50 W	Purdy, KY	Western Kentucky University
1044821	37-06-00 N	85-32-10 W	Columbia, KY	Kentucky Emergency Warning System (KEWS)
1048811	37-04-40.6 N	85-10-27.6 W	Russell Springs, KY	Shoreline Communications, Inc.
1062332	37-10-00 N	85-18-37 W	Adair, KY	American Chesnut Television, Inc.
1228813	37-05-28 N	85-18-3.9 W	Columbia, KY	SBA Properties, Inc.
1242039	37-02-38.7 N	85-27-43.8 W	Edmonton, KY	Bluegrass Cellular
1243210	37-12-42.6 N	85-20-58.8 W	Columbia, KY	C&C Tower Rental, LLC
1252869	37-01-4.3 N	85-30-53.1 W	Edmonton, KY	Shared Towers KY