COMMONWEALTH OF KENTUCKY

RECEIVED

DEC 192006

PUBLIC SERVICE COMMISSION

BEFORE THE PUBLIC SERVICE COMMISSION

In the Matter of:

APPLICATION OF CUMBERLAND CELLULAR
PARTNERSHIP FOR ISSUANCE OF A CERTIFICATE
OF PUBLIC CONVENIENCE AND NECESSITY TO
CONSTRUCT A CELL SITE (ZULA) IN RURAL
SERVICE AREA #5 (WAYNE) OF THE COMMONWEALTH
OF KENTUCKY

CASE NO. 2006-00450

APPLICATION FOR A CERTIFICATE OF PUBLIC CONVENIENCE AND NECESSITY (ZULA)

Cumberland Cellular Partnership ("Cumberland Cellular"), through counsel, pursuant to KRS 278.020 and 278.040, hereby submits this application for a certificate of public convenience and necessity to construct a cell site to be known as the Zula cell site in and for rural service area ("RSA") #5 of the Commonwealth of Kentucky, namely the counties of Barren, Monroe, Metcalfe, Adair, Cumberland, Russell, Clinton, Wayne, McCreary and Hart, Kentucky.

- 1. As required by 807 KAR 5:001 Sections 8(l) and (3), and 807 KAR 5:063, Cumberland Cellular states that it is a Kentucky limited liability partnership whose full name and post office address are: Cumberland Cellular Partnership, 2902 Ring Road, Elizabethtown, Kentucky, 42701.
- 2. Pursuant to 807 KAR § 1 (1)(b), a copy of the applicant's applications to the Federal Aviation Administration and Kentucky Airport Zoning Commission are Exhibit "A". Written authorizations from these agencies will be supplied to the Commission upon their approval.
- 3. Pursuant to 807 KAR 5:063 §1(1)(d), applicant is submitting as Exhibit "B" a geotechnical investigation report, signed and sealed by a professional engineer registered in Kentucky, that includes boring logs, foundation design recommendations, and a finding as to the susceptibility of the area surrounding the proposed site to flood hazard.
- 4. Pursuant to 807 KAR 5:063 §1(1)(e), clear directions from the county seat to the proposed site, including highway numbers and street names, if applicable, with the telephone number of the person who prepared the directions are Exhibit "C".

- 5. Pursuant to 807 KAR 5:063 §1(1)(f), a copy of the lease for the property on which the tower is proposed to be located, is Exhibit "D".
- 6. Pursuant to 807 KAR §1(1)(g), experienced personnel will manage and operate the Zula cell site. The President of Bluegrass Cellular Inc., Mr. Ron Smith, is ultimately responsible for all construction and operations of the cellular system of Cumberland Cellular, of which system the Zula cell site will be a part. Bluegrass Cellular Inc. provides management services to Cumberland Cellular under a management contract, just as it does with three (3) other wireless carriers in the Commonwealth. And, Bluegrass Cellular Inc. has been providing these management services to these other wireless carriers for well over a decade. This extensive management experience with Bluegrass Cellular demonstrates that Bluegrass Cellular Inc.'s management and technical ability to supervise the operations of a wireless carrier.
- 7. Pursuant to 807 KAR §1(1)(g), Tower Innovations, LLC is responsible for the design specifications of the proposed tower (identified in Exhibit "B").
- 8. Pursuant to 807 KAR 5:063 §1(1)(h), a site development plan or survey, signed and sealed by a professional engineer registered in Kentucky, that shows the proposed location of the tower and all easements and existing structures within 500 feet of the proposed site on the property on which the tower will be located, and all easements and existing structures within 200 feet of the access drive, including the intersection with the public street system, is Exhibit "B".
- 9. Pursuant to 807 KAR 5:063 §1(1)(i), a vertical profile sketch of the tower, signed and sealed by a professional engineer registered in Kentucky, indicating the height of the tower and the placement of all antennas; is Exhibit "B".
- 10. Pursuant to 807 KAR 5:063 §1(1)(j), the tower and foundation design plans and a description of the standard according to which the tower was designed, signed and sealed by a professional engineer registered in Kentucky, is Exhibit "B".

- 11. Pursuant to 807 KAR 5:063 § 1 (1)(k), a map, drawn to a scale no less than one (1) inch equals 200 feet, that identifies every structure and every owner of real estate within 500 feet of the proposed tower, is Exhibit "E".
- 12. Pursuant to 807 KAR 5:063 § 1 (1)(1), applicant's legal counsel hereby affirms that every person who owns property within 500 feet of the proposed tower has been: (i) notified by certified mail, return receipt requested, of the proposed construction; (ii) given the commission docket number under which the application will be processed; and (iii) informed of his right to request intervention.
- 13. Pursuant to KRS 278.665(2), applicant's legal counsel hereby affirms that every person who, according to the records of the property valuation administrator, owns property contiguous to the property where the proposed cellular antenna tower will be located has been: (i) notified by certified mail, return receipt requested, of the proposed construction; (ii) given the commission docket number under which the application will be processed; and (iii) informed of his right to request intervention.
- 14. Pursuant to 807 KAR 5:063 §1(1)(m), a list of the property owners who received the notice together with copies of the certified letters sent to listed property owners, is Exhibit "F".
- 15. Pursuant to 807 KAR 5:063 § 1 (1)(n), applicant's legal counsel hereby affirms that the Wayne County Judge Executive has been: (i) notified by certified mail, return receipt requested, of the proposed construction; (ii) given the commission docket number under which the application will be processed; and (iii) informed of its right to request intervention.
- 16. Pursuant to 807 KAR 5:063 §1(1)(o), a copy of the notice sent to the Wayne County Judge Executive is Exhibit "G".
- 17. Pursuant to 807 KAR 5:063 § 1 (1)(p), applicant's legal counsel hereby affirms that (i) two written notices meeting subsection two (2) of this section have been posted, one in a visible location on the proposed site and one on the nearest public road; and (ii) the notices shall remain posted for at least two weeks after the application has been filed.

- 18. Pursuant to 807 KAR 5:063 § 1 (2)(a), applicant's legal counsel affirms that:
 - (a) A written notice, of durable material at least two (2) feet by four (4) feet in size, stating that "Cumberland Cellular Partnership proposes to construct a telecommunications tower on this site", including the addresses and telephone numbers of the applicant and the Kentucky Public Service Commission, has been posted and shall remain in a visible location on the proposed site until final disposition of the application; and
 - (b) A written notice, of durable material at least two (2) feet by four (4) feet in size, stating that "Cumberland Cellular Partnership proposes to construct a telecommunications tower near this site", including the addresses and telephone numbers of the applicant and the Kentucky Public Service Commission, has been posted on the public road nearest the site.

A copy of each sign is attached as Exhibit "H"

- 19. Pursuant to 807 KAR 5:063 § 1 (1)(q), a statement that notice of the location of the proposed construction has been published in a newspaper of general circulation in the county in which the construction is proposed.
- 20. Pursuant to 807 KAR 5:063 § 1(1)(r), the cell site, which has been selected, is in a relatively undeveloped area in Monticello, Kentucky.
- 21. Pursuant to 807 KAR 5:063 §1(1)(s), Cumberland Cellular has considered the likely effects of the installation on nearby land uses and values and has concluded that there is no more suitable location reasonably available from which adequate service to the area can be provided, and that there is no reasonably available opportunity to co-locate. Cumberland Cellular has attempted to co-locate on towers designed to host multiple wireless service providers' facilities or existing structures, such as a telecommunications tower, or another suitable structure capable of supporting the utility's facilities.
- Pursuant to 807 KAR 5:063 § 1(1)(t), a map of the area in which the tower is proposed to be located, that is drawn to scale and that clearly depicts the search area in which a site should, pursuant to radio frequency requirements, be located is Exhibit "J".
- Pursuant to KRS 100.987(2)(a), a grid map, that is drawn to scale, that shows the location of all existing cellular antenna towers and that indicates the general position of proposed construction sites for new cellular antenna towers is Exhibit "K".

24. No reasonably available telecommunications tower, or other suitable structure capable of supporting the cellular facilities of Cumberland Cellular and which would provide adequate service to the area exists.

25. Correspondence and communication with regard to this application should be addressed to:

John E. Selent

DINSMORE & SHOHL LLP

1400 PNC Plaza

500 West Jefferson Street

Louisville, KY 40202

(502) 540-2300

selent@dinslaw.com

WHEREFORE, Cumberland Cellular Partnership requests the Commission to enter an order:

1. Granting a certificate of public convenience and necessity to construct the Zula cell site; and

2. Granting all other relief as appropriate.

Respectfully submitted,

John F. Selent

DINSMORE & SHOHL LLP

1400 RNC Plaza

500 West Jefferson Street

Louisville, KN 40202

(502) 540-2300

(502) 540-2207

john.selent@dinslaw.com

Zula

H OS TONINOS

Kentucky Airport Zoning Commission 200 Mero Street, W3-09-02 Frankfort, Kentucky 40622

TEL - 502-564-4480 FAX - 502-564-7953

October 16, 2006

Bluegrass Cellular Attn: Scott McCloud 2902 Ring Rd. Elizabethtown, KY 42702

RE: 199 foot antenna tower located at 36-46-19.67N / 84-57-43.76W.

This is to inform Bluegrass Cellular the proposed 199 foot antenna tower does not require a permit from the Commission. The antenna is located beyond the 20,000 foot horizontal jurisdiction distance from Wayne Co. Airport (EKQ) and does not exceed 200 above ground level. Enclosed is your application and supporting documents you submitted.

If you have any questions regarding this matter, feel free to call me at (502) 564-9900 Ext. 3854.

Sincerely,

John Houlihan, Administrator

2,19

LUKAS, NACE, GUTIERREZ & SACHS

1650 TYSONS BOULEVARD, SUITE 1500 McLean, Virginia 22102 703 584 8678 • 703 584 8696 FAX

WWW.FCCLAW.COM

RUSSELL D. LUKAS DAVID L. NACE THOMAS GUTIERREZ* ELIZABETH R. SACHS* GEORGE L. LYON, JR PAMELA L. GIST DAVID A. LAFURIA B. LYNN F. RATNAVALE* TODD SLAMOWITZ* STEVEN M. CHERNOFF*

CONSULTING ENGINEERS ALI KUZEHKANANI LEILA REZANAVAZ

OF COUNSEL JOHN J. MCAVOY* J.K. HAGE III* LEONARD S. KOLSKY* HON. GERALD S. MCGOWAN* TAMARA DAVIS-BROWN*

*NOT ADMITTED IN VA

October 6, 2006

(703)584-8668 **FACSIMILE** (703) 584-8692

Via Federal Express

Mr. John Houlihan Kentucky Airport Zoning Commission 200 Mero Street Frankfort, Kentucky 40622

Dear Mr. Houlihan:

Enclosed please find two completed TC 56-50 forms, Application for Permit to Construct or Alter a Structure, for a new tower (Zula) near Monticello, Kentucky. The Structure, including top-mounted antennas will have an overall height of 199 feet Above Ground Level.

Enclosed Form TC 56-50 and the attached exhibit include all the pertinent information for this existing tower structure. Also enclosed are copies of the completed FAA Form 7460-1 for the proposed site, a non-reduced 7-1/2' U.S. Geological Survey map indicating the exact location of the site, and a copy of the 1A Certification survey.

Please do not hesitate to contact the undersigned if there are questions regarding this matter.

Sincerely, Leila Rezanavaz Rezamarz Consulting Engineer

Enclosures

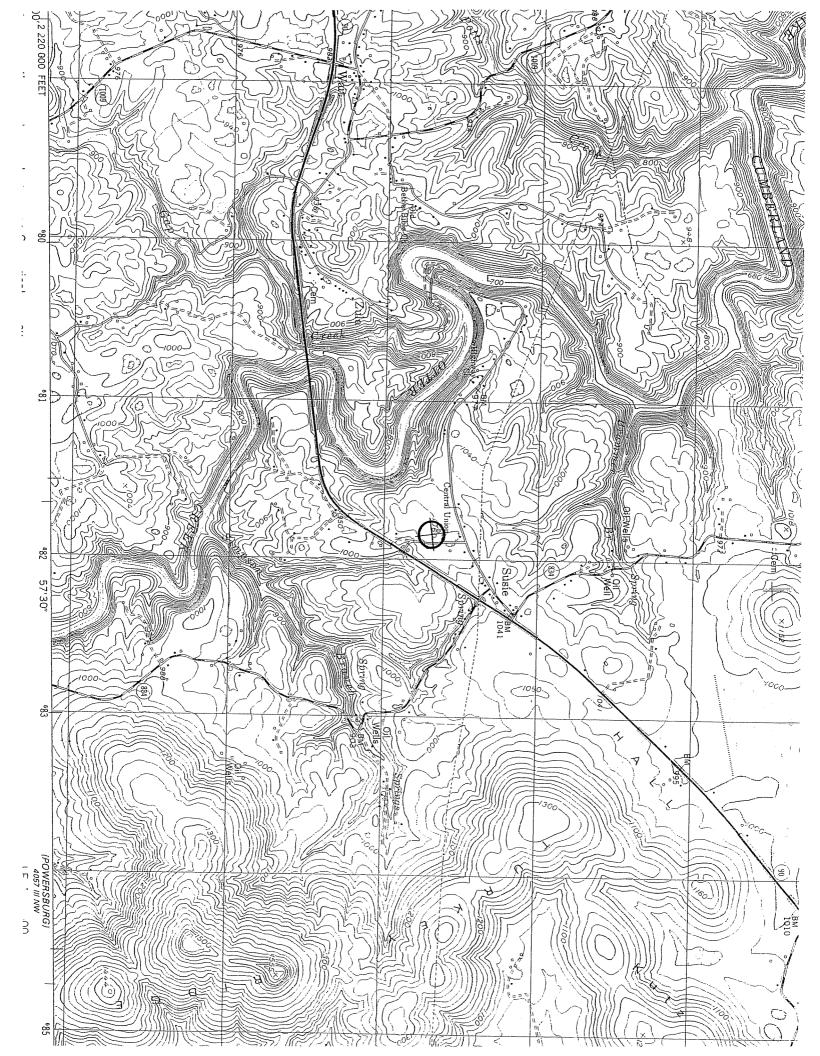
Scott McCloud CC:

Kentucky Transportation Cabinet, Kentucky Airport Zoning Commission, 125 Holmes Street, Frankfort KY 40622

Kentucky Aeronautical Study Number

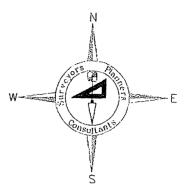
APPLICATION FOR PERMIT TO CONSTRUCT OR ALTER A STRUCTURE

1. APPLICANT - Name, Address, Telephone, Fax, etc. Scott McCloud Bluegrass Cellular 2902 Ring Road Elizabethtown, KY 42702 Tel: 270-769-0339 Fax: 270-737-0580 2. Representative of Applicant - Name, Address, Telephone, Fax Leila Rezanavaz Lukas, Nace, Gutierrez & Sachs, Chartered	9. Latitude: 36 ° 46 ' 19 . 67 " 10. Longitude: 84 ° 57 ' 43 . 76 " 11. Datum: 1 NAD 83 NAD 27 Other 12. Nearest Kentucky City Monticello County: Wayne 13. Nearest Kentucky public use or Military airport: Wayne County Airport 14. Distance from #13 to Structure: 8.2 Miles					
1650 Tysons Blvd., Suite 1500 McLean, VA 22102 T: 703-584-8668 3. Application for. New Construction Alteration Existing	15. Direction from #13 to Structure:					
4. Duration:	18. Overall Height (#16 + #17) (AMSL): 1249 Feet 19. Previous FAA and/or Kentucky Aeronautical Study Number(s): N/A 20. Description of Location: (Attach a USGS 7.5 minute Quadrangle Map or an Airport Layout Drawing with the precise site marked and any certified survey) Site is located at:					
Red Lights and Paint Dual – Red & Medium Intensity White White – Medium Intensity Dual – Red & High Intensity White Route 4 Box 330A Monticello, KY 42633 8. FAA Aeronautical Study Number 2006–ASO–5872–OE						
21. Description of Proposal: Structure: Tower including topmounted antennas for overall height of 199'. Frequencies: Cellular Band B Max. ERP: 200 Watts						
22. Has a "NOTICE OF CONSTRUCTION OR ALTERATION" (FAA Form 7460 been filed with the Federal Aviation Administration?	X Yes, When 10/05/06					
CERTIFICATION: I hereby certify that all the above statements made by me are true, complete and correct to the best of my knowledge and belief. Leila Rezanavaz/ Consulting Engineer Printed Name Signature Date PENALTIES: Persons failing to comply with Kentucky Revised Statutes (KRS 183.861 through 183.990) and Kentucky Administrative Regulations (602 KAR 050: Series) are liable for fines and/or imprisonment as set forth in KRS 183.990(3). Non-compliance with Federal Aviation Administration Regulations may result in further penalties.						
Commission Action: Chairman, KAZO Approved Disapproved	Administrator, KAZC Date					



Landmark Surveying Co., Inc.

Darren L. Helms, R.L.S., PRESIDENT Dennis N. Helms, R.L.S., VICE PRESIDENT



15 N.E. 3rd Street Washington, Indiana 47501 Phone: 812-257-0950 Fax: 812-257-0953 E-mail: landmark@dmrtc.net

1A Certification

September 28, 2006

Designation: Zula

Site ID No.:

Not Available

Tower Type:

Proposed Self-Support Tower

Location:

Route 4 Box 330 A, Monticello, Kentucky 42633

I certify that the latitude, longitude, ground elevation and height of the proposed self-support tower are as follows:

Latitude:

36 degrees 46 minutes 19.67 seconds North

(NAD 1983)

Longitude:

84 degrees 57 minutes 43.76 seconds West

(NAD 1983)

Ground Elevation:

1,050.1 feet or 320.1 meters

(NAVD 1988)

Proposed Structure Height:

240 feet or 73.2 meters

(above ground level)

Proposed Overall Structure Height: not available

(above ground level)

The accuracy of the latitude and longitude of the proposed self-support tower is ± 15 feet or ± 5 meters. The ground elevation and structure height are accurate to within ± 3 feet or ± 1 meter.

The information shown above is based upon field observations made on September 8, 2006 using the National Geodetic Survey monument "U 235 RESET" and the Kentucky State Plane Coordinate System, South Zone, NAD 1983 (1993). The field observations were completed using Sokkia GPS receivers and a Topcon GPT-8005A robotic total station. Geodetic computations were completed using Sokkia's Locus software and Autodesk Land Desktop 3 software.

Landmark Surveying Co., Inc.

Darren L. Helms, Kentucky Professional Land Surveyor No. 3386

Notice of Proposed Construction or Alteration (7460-1)

Project Name: BLUGR-000050901-06 Sponsor: Blugrass Cellular, Inc.

Details for Case: Zula

Show Project Summary

Case Status

ASN: 2006-ASO-5872-OE

Status: Accepted

Date Accepted:

10/05/2006

Date Determined:

Letters:

None

Construction / Alteration Information

Notice Of:

Construction

Structure Name: Zula

Structure Summary

Other:

Common Frequency Bands

High Freq

849

866

894

Duration:

Permanent

Structure Type:

Antenna Tower

Freq Unit ERP

MHz

MHz

MHz

500

500

500

ERP Unit

W

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W

if Temporary : Months: Days:

Work Schedule - Start: 11/25/2006

FCC Number:

Low Freq

824

851

869

Specific Frequencies

Work Schedule - End:

11/30/2006

Prior ASN:

State Filing:

Filed with State

Structure Details

Latitude: Longitude: 36° 46' 19.67" N

84° 57' 43.76" W

Horizontal Datum:

NAD83

Site Elevation (SE):

1050 (nearest foot)

Structure Height (AGL):

199 (nearest foot)

Marking/Lighting:

None

Other:

Nearest City:

Monticello

Nearest State:

Kentucky

Traverseway:

No Traverseway

Description of

Location:

Tower will be located at:

Route 4 Box 330A

Monticello, KY 42633

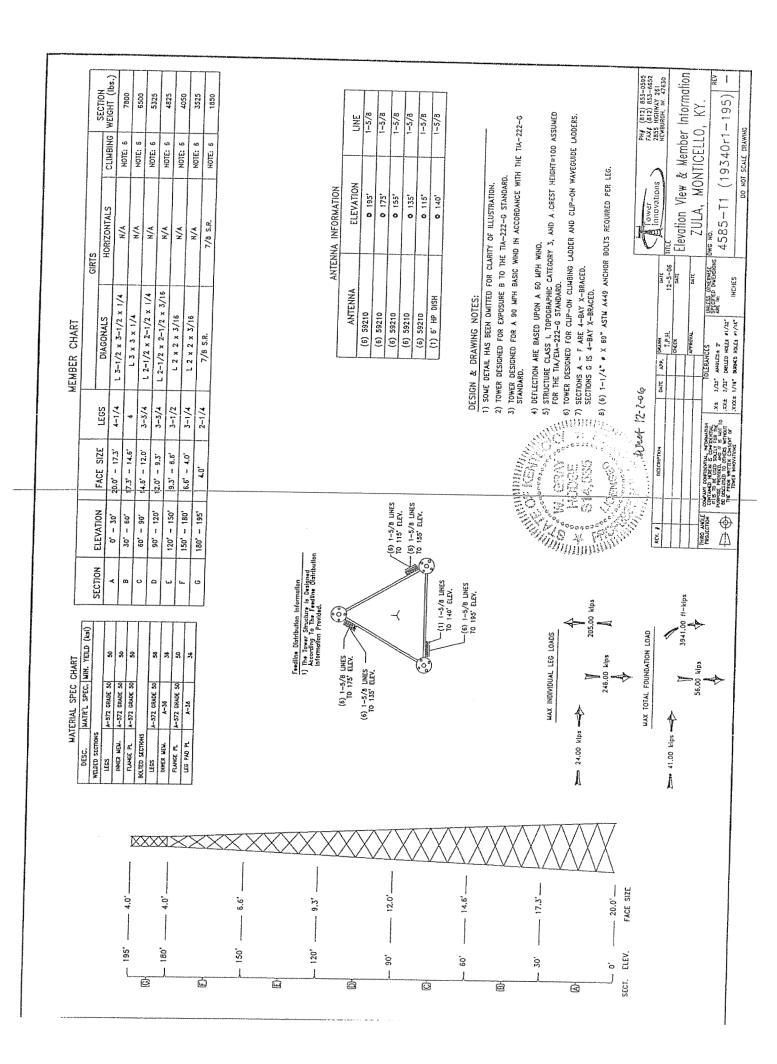
Description of

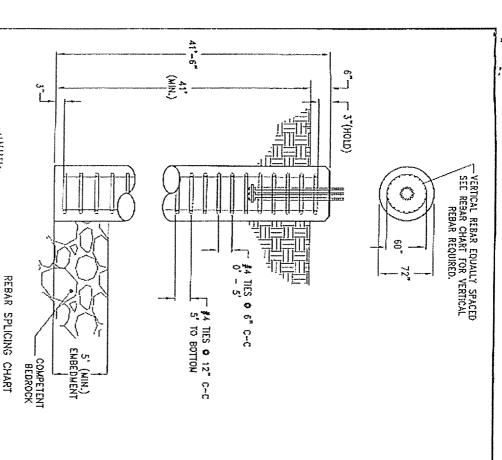
Proposal:

The tower including topmounted antennas will

have and overall height of

199'





REBAR CHART (1)-CAISSON

739'	47	60° s	N/A	#4 GRADE 60	TIES
1312'	32	N/A	41,	#9 GRADE 60	VERTS
I NATOL	Dr. 4. 4. 10000	2000			
10.4	מימים אר היים	ALC ATABA	- SEBAR FENCTINS	REBAR SIZE	KLUAK

REBAR CHART (3)-CAISSONS

TIES	VERTS	REBAR
#4 CRADE 60	#9 GRADE 60	REBAR SIZE
N/A	41.	REBAR LENGTHS
60° ø	H/A	REBAR DIA.
	36	pcs. OF REBAR
2217'	3936'	TOTAL FT

APPROXIMATE CONCRETE REQ'D PER CAISSON = TOTAL CONCRETE = 30 - 1/4YD3 (J)

90 - 3/4

ď

NOTES:

- 1) ALL WORKWANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE LATEST ECHTIONS OF ACI 301 AND ACI318.
- 2) THIS FOUNDATION IS DESIGNED TO CONFORM ACI 318-02 AND ANSI/EIA-222-F STANDARDS UTILIZING THE SOILS REPORT PREPARED BY TERRACON CONSULTING PROJECT \$ 576673976. A COPY SHALL BE PROVIDED TO THE FOUNDATION CONTRACTOR. SOIL CONDITIONS THAT DIFFER FROM THOSE GESCRIBED IN THE REPORT SHALL BE BROUGHT TO THE ATTENTION OF THE RESIDENT ENGINEER/INSFECTOR. ALL CONMENTS OR RECONNERDATIONS REGARDING CONSTRUCTION TESTING OR CONSTRUCTION MONITORING SHALL BE STRUCTLY FOLLOWED.
- 3) ALL CONGRETE SHALL BE 3000 PSI AT 28 DAYS. CYLINDERS SHALL BE PROPERLY CAST WITH COPIES GP THE TEST REPORTS GOING TO THE RESIDENT ENGINEER/INSPECTOR.
- 4) ALL ADMIXTURES MUST BE ADDED SEPARATELY INTO FRESH CONCRETE AND SUFFICIENTLY MIXED. A NON-CORROSIYE CONCRETE SET ACCELERATE MAY BE UTILIZED IN COMPLIANCE WITH ASTM 494 TYPE C. A WATER REDUCING ADMIXTURE MAY BE UTILIZED IN COMPUNANCE WITH ASTM 494 TYPE A.
- 5) ALL BACKFILL SHALL BE PLACED IN 9 INCH LIFTS AND COMPACTED TO A MINIMUM OF 95 PERCENT OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY AS MEASURED BY ASTM D-598 UNLESS MORE STRINGENT COMPACTION IS REQUIRED BY THE SOIL REPORT.
- 6) MINIMUM CONCRETE COVER SHALL BE 3 INCHES UNLESS OTHERWISE HOTEO.
- 7) CROWN TOP OF PIER FOR DRAINAGE AND CHANFER ALL EXPOSED CONCRETE EDGES I INCH.
- 8) SEE TEMPLATE DRAWING & TEMPLATE DESIGN CHART FOR TOWER LAYOUT DIMENSIONS, USE OF TEMPLATE IS REQUIRED TO INSURE PROPER LOCATION AND ORIENTATION OF ANCHOR BOLTS.

BAR SIZE

SPLICE LENGTH

ij

8) DEPTH OF CAISSON MAY VARY DEPENDING ON DEPTH OF COMPETENT BEDROCK, BORINGS SHOW BEDROCK ENCOUNTERED AT 36' BELOW GRADE (SEE SDILS REPORT).

HODGE YENS

TE. The control of th
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2) SPLICE CHART IS BASED ON 3000 PSI CONCRET 3) SPLICE REBAR ONLY WHEN NECESSARY

1) STAGGER ALL SPLICES. SPLICING NOTES:

5

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GEOTECHNICAL ENGINEERING REPORT

ZULA TELECOMMUNICATION TOWER
OLD GLORY LOOP
MONTICELLO, KENTUCKY

TERRACON PROJECT NO. 57067397G August 24, 2006

Prepared For:

BLUEGRASS CELLULAR Elizabethtown, Kentucky

Prepared by:

Terracon

Louisville, Kentucky



August 24, 2006

TECTOCOTI
Consulting Engineers & Scientists

4545 Bishop Lane, Suite 101 Louisville, Kentucky 40218 Phone 502.456.1256 Fax 502.456.1278 www.terracon.com

Bluegrass Cellular 2902 Ring Road Elizabethtown, Kentucky 42702

Attention: Mr. Doug Updegraff

Re: Geotechnical Engineering Report Zula Telecommunication Tower Old Glory Loop Monticello, Kentucky Terracon Project No. 57067397G

Dear Mr. Updegraff:

The results of our subsurface exploration are attached. The purpose of this exploration was to obtain information on subsurface conditions at the proposed project site and, based on this information, to provide recommendations regarding the design and construction of the foundations for the proposed tower.

The design parameters and recommendations within this report apply to the existing planned tower height and adjustments up to 20% increase or decrease in tower height, as long as the type of tower does not change. If changes in the height of the tower dictate a change in tower type (i.e. — monopole to a self-support, self-support to a guyed tower), Terracon should be contacted to evaluate our recommendations with respect to these changes.

We appreciate the opportunity to be of service to you on this project. If you have any questions concerning this report, or if we may be of further service to you in any way, please feel free to contact us.

Erich J. Hoehler:

Kentucky No. 245

Sincerely,

Timothy M. Hitchcock, E.I.T.

Staff Engineer

Timothy G. LaGrow, P.E. Regional Manager

n:\projects\2006\towers\57067397zula\geo57067397G.doc

Attachments: Geotechnical Engineering Report

Copies: (4) Addresse

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APPENDIX

Boring Location Plan Boring Log General Notes General Notes – Description of Rock Properties Unified Soil Classification System

GEOTECHNICAL ENGINEERING REPORT

ZULA TELECOMMUNICATION TOWER OLD GLORY LOOP MONTICELLO, KENTUCKY TERRACON PROJECT NO. 57067397G August 24, 2006

1.0 INTRODUCTION

The purpose of this report is to describe the subsurface conditions encountered in the boring, analyze and evaluate the test data, and provide recommendations regarding the design and construction of the foundations and earthwork for the proposed tower. One boring extending to a depth of about 46 feet below the existing ground surface was drilled at the site. An individual boring log and a boring location plan are included with this report.

2.0 PROJECT DESCRIPTION

Terracon understands the proposed project will consist of the construction of a 240-foot self supporting lattice tower. Exact tower loads are not available, but based on our past experience are anticipated to be as follows:

Vertical Load: 600 kips
Horizontal Shear: 80 kips
Uplift: 500 kips

A small, lightly loaded equipment building will also be constructed. Wall and floor loads for this building are not anticipated to exceed 1 kip per linear foot and 100 pounds per square foot, respectively. The subject site consists of an approximate 100- by 100-foot parcel of agricultural land located on the west side of Old Glory Loop and north of Kentucky State Road 90. At the time of the exploration there was no access road available to the proposed lease area. The site is bound by Central Union Separate Baptist Church to the north; a wheat field to the south and west; and Old Glory Loop followed by a residence and agricultural field to the east. Based on the provided drawings the approximate elevation at the site is EL 1060. We have assumed that less than 3 feet of cut and/or fill will be required to reach the planned site grades.

3.0 EXPLORATION PROCEDURES

3.1 Field Exploration

The subsurface exploration consisted of drilling and sampling one boring at the site to a depth of about 46 feet below existing grade. The boring was advanced at the center of the tower as staked by the project surveyor. The approximate ground surface elevation at the boring location was indicated on the available drawings. The location and elevation of the

Terracon

Zula Telecommunication Tower Monticello, Kentucky Terracon Project No.: 57067397G August 24, 2006

with this report represents an interpretation of the driller's field log and a visual classification of the soil samples made by the Geotechnical Engineer.

3.2 Laboratory Testing

The samples were classified in the laboratory based on visual observation, texture and plasticity. The descriptions of the soils indicated on the boring log are in accordance with the enclosed General Notes and the Unified Soil Classification System. Estimated group symbols according to the Unified Soil Classification System are given on the boring log. A brief description of this classification system is attached to this report.

The laboratory testing program consisted of performing water content tests and an Atterberg Limits test on representative soil samples. Information from these tests was used in conjunction with field penetration test data to evaluate soil strength in-situ, volume change potential, and soil classification. Results of these tests are provided on the boring log.

Classification and descriptions of rock core samples are in accordance with the enclosed General Notes, and are based on visual and tactile observations. Petrographic analysis of thin sections may indicate other rock types. Percent recovery and rock quality designation (RQD) were calculated for these samples and are noted at their depths of occurrence on the boring log.

4.0 EXPLORATORY FINDINGS

4.1 Subsurface Conditions

Conditions encountered at the boring location are indicated on the boring log. Stratification boundaries on the boring log represent the approximate location of changes in soil types and the transition between materials may be gradual. Water levels shown on the boring log represent the conditions only at the time of our exploration. Based on the results of the boring, subsurface conditions on the project site can be generalized as follows.

Underlying approximately 5 inches of topsoil, our boring encountered lean clay (CL) to a depth of about 13½ feet below existing grade. The lean clay exhibited a stiff to very stiff consistency based on SPT N-values ranging from 15 to 25 blows per foot (bpf). Fat Clay (CH) was encountered below the lean clay to a depth of about 33½ feet below existing grade. The fat clay generally exhibited a very stiff to hard consistency based on most SPT N-values ranging from 30 to 50 bpf. The sample obtained at a depth of 28½ to 30 feet was saturated and exhibited a medium stiff consistency based on an SPT N-value of 6 bpf. The SPT N-values obtained below 18½ feet are likely elevated due to the presence of chert fragments in the soil. Highly weathered shale with chert fragments was encountered below the fat clay to an auger refusal depth of about 36 feet below existing grade.

August 24, 2006

Below a depth of about 36 feet, rock coring techniques were used to advance the borehole. The core samples recovered consisted of very slightly weathered, very closely jointed, medium gray and hard limestone. The bedrock at the site appears to be relatively continuous based on a core recovery of 93 percent. The quality of the rock is rated at fair based on a RQD value of 73 percent. Considering the height of the tower and the quality of the bedrock, coring operations were terminated at a depth of 46 feet below grade.

4.2 Site Geology

A review of the Geologic Map of Parnell Quadrangle published by the United States Geological Survey (USGS) indicates that the site is underlain by St. Louis Limestone of the Carboniferous age. The St. Louis Limestone is comprised of limestone interbedded with siltstone in the lower part of the formation. The limestone is described as very dark gray to light-gray and commonly contains abundant amounts of chert. It weathers very dark red to maroon soil with large quantities of white porous chert.

It should be noted that the site is underlain by a limestone formation that is highly susceptible to dissolution along joints and bedding planes in the rock mass. This results in voids and solution channels within the rock strata and a highly irregular bedrock surface. The weathering of the bedrock and subsequent collapse or erosion of the overburden into these openings results in what is referred to as a karst topography. Any construction in karst topography is accompanied by some degree of risk for future internal soil erosion and ground subsidence that could affect the stability of the proposed structures. Our review of the available topographic and geologic mapping noted numerous sinkholes within a 1 mile radius of the site. Furthermore, the boring drilled at the site disclosed limited soil softening with depth, which maybe indicative of karst activity.

4.3 Groundwater Conditions

No groundwater was encountered during the auger drilling portion of the borehole. Water was used to advance the borehole during rock coring operations. The introduction of water into the borehole precluded obtaining accurate groundwater level readings at the time of drilling operations. Long term observation of the groundwater level in monitoring wells, sealed from the influence of surface water, would be required to obtain accurate groundwater levels on the site.

It should be recognized that fluctuations of the groundwater table may occur due to seasonal variations in the amount of rainfall, runoff and other factors not evident at the time the boring was performed. Therefore, groundwater levels during construction or at other times in the life of the structure may be higher or lower than the levels indicated on the boring log. The possibility of groundwater level fluctuations should be considered when developing the design and construction plans for the project.

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5.0 ENGINEERING RECOMMENDATIONS

Based on the encountered subsurface conditions, the tower can be constructed on drilled piers or a mat foundation. The lightly loaded equipment building can be supported on shallow spread footings. Shallow foundation and drilled pier recommendations are presented in the following paragraphs.

5.1 Tower Foundation

Drilled Pier Alternative: Based on the results of the boring, the following drilled pier design parameters have been developed:

Table 2 - Drilled Pier Foundation Design Parameters

Depth * (feet)	Description **	Allowable Skin Friction (psf)	Allowable End Bearing Pressure (psf)	Allowable Passive Pressure (psf)	Internal Angle of Friction (Degree)	Cohesion (psf)	Lateral Subgrade Modulus (pci)	Strain, & ₅₀ (in/in)
0 - 3	Topsoil and Lean Clay	Ignore	Ignore	Ignore	-	-	Ignore	Ignore
3 – 25	Lean to Fat Clay	475	Ignore	2,000	0	2,000	160	0.006
25 – 33½	Fat Clay	300****	Ignore	750	0	750	60	0.01
33½ - 36	Weathered Shale	550	5,000	2,750	0	2,750	225	0.005
36-46	Limestone	5,000***	50,000	10,000***	0	100,000***	3,000	0.00001

^{*} Pier inspection is recommended to adjust pier length if variable soil/rock conditions are encountered.

The above indicated cohesion, friction angle, lateral subgrade modulus and strain values have no factors of safety, and the allowable skin friction and the passive resistances have factors of safety of 2. The cohesion, internal friction angle, lateral subgrade modulus and strain values given in the above table are based on the boring, published correlation values and Terracon's past experience with similar soil/rock types. These values should, therefore, be considered approximate. To mobilize the higher rock strength parameters, the pier should be socketed at least 3 feet into bedrock. Furthermore, it is assumed that the rock socket is developed using coring rather than blasting techniques. The allowable end bearing pressure provided in the table has an approximate factor of safety of at least 3. Total settlement of a drilled pier founded on limestone and designed using the above parameters is not anticipated to exceed ½ inch.

The upper 3 feet of topsoil and lean clay should be ignored due to the potential affects of frost action and construction disturbance. To avoid a reduction in lateral and uplift resistance

^{**} A total unit weight of 120 and 150 pcf can be estimated for the clay and limestone, respectively.

^{***} The pier should be embedded a minimum of 3 feet into limestone to mobilize these higher rock strength parameters. Furthermore, it is assumed the rock socket will be extended using coring techniques rather than blasting/shooting.

^{****} Uplift only if pier is founded on limestone without a rock socket.

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caused by variable subsurface conditions and or bedrock depths, the drawings should instruct the contractor to notify the engineer if subsurface conditions significantly different than encountered in the boring are disclosed during drilled pier installation. Under these circumstances, it may be necessary to adjust the overall length of the pier. To facilitate these adjustments and assure that the pier is embedded in suitable materials, it is recommended that a Terracon representative observe the drilled pier excavation.

If a bedrock socket is required, it is recommended that a minimum pier length and minimum rock socket length be stated on the design drawings. Bedrock was encountered in the boring below a depth of about 36 feet, but could vary between tower legs or if the tower is moved from the location of the boring. If the tower center is moved from the planned location, Terracon should be notified to review the recommendations and determine whether an additional boring is required. To facilitate pier length adjustments that may be necessary because of variable rock conditions, it is recommended that a Terracon representative observe the drilled pier excavation.

Although the boring was able to penetrate the highly weathered shale, there is a possibility that larger diameter drilled pier equipment will refuse on this material, or on chert lenses, at higher elevations than shown in our boring. The contractor should recognize the hardness of the material and be prepared to use rock teeth or other means to extend through these layers.

A drilled pier foundation should be designed with a minimum shaft diameter of 30 inches to facilitate clean out and possible dewatering of the pier excavation. Temporary casing may be required during the pier excavation in order to control possible groundwater seepage and support the sides of the excavation in weak soil zones. Care should be taken so that the sides and bottom of the excavations are not disturbed during construction. The bottom of the shaft should be free of loose soil or debris prior to reinforcing steel and concrete placement.

A concrete slump of at least 6 inches is recommended to facilitate temporary casing removal. It should be possible to remove the casing from a pier excavation during concrete placement provided that the concrete inside the casing is maintained at a sufficient level to resist any earth and hydrostatic pressures outside the casing during the entire casing removal procedure.

Mat Foundation Alternative: The mat foundation can be designed using the following natural soil/engineered fill parameters. These parameters are based on the findings of the boring, a review of published correlation values and Terracons experience with similar soil conditions. These design parameters also assume that the base of the mat foundation will rest on natural soils or well-graded crushed stone that is compacted and tested on a full time basis.

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Table 3 - Mat Foundation Design Parameters

Depth (feet)	Description	Allowable Contact Bearing Pressure (psf)	Allowable Passive Pressure (psf)	Coefficient of Friction, Tan δ	Vertical Modulus of Subgrade Reaction (pci)
0-2	Topsoil and Lean Clays	lgnore	Ignore	-	
≥ 2	Lean to Fat Clay	3,500	Ignore	0.35	150

To assure that soft soils are not left under the mat foundation, it is recommended that a geotechnical engineer observe the foundation subgrade prior to concrete placement. Provided the above recommendations are followed, total mat foundation settlements are not anticipated to exceed about 1 inch. Differential settlement should not exceed 50 percent of the total settlement. Differential settlements could reach 75 percent or more of the total settlement value, depending on the finished grades, any fill placement, and varying bedrock elevations.

5.2 Equipment Building Foundations

The proposed equipment shed may be supported on shallow footings bearing on stiff natural soils. The equipment building foundations should be dimensioned using a net allowable soil bearing pressure of 2,500 pounds per square foot (psf). In using net allowable soil pressures for footing dimensioning, the weight of the footings and backfill over the footings need not be considered. Furthermore, the footings should be at least 12 inches wide and a minimum of 2 feet square.

The geotechnical engineer or a qualified representative should observe the foundation excavations to verify that the bearing materials are suitable for support of the proposed loads. If, at the time of such observation, any soft soils are encountered at the design foundation elevation, the excavations should be extended downward so that the footings rest on stiff soils. If it is inconvenient to lower the footings, the proposed footing elevations may be re-established by backfilling after the undesirable material has been removed.

The recommended soil bearing value should be considered an upper limit, and any value less than that listed above would be acceptable for the foundation system. Using the value given, total settlement would be about 1 inch or less with differential settlements being less than 75 percent of total settlement. Footings should be placed at a depth of 2 feet, or greater, below finished exterior grade for protection against frost damage.

5.3 Parking and Drive Areas

The drive that accesses the site will be surfaced with crushed stone. Parking and drive areas that are surfaced with crushed stone should have a minimum thickness of 6 inches and be properly placed and compacted as outlined herein. The crushed stone should meet Kentucky Transportation Cabinet specifications and applicable local codes.

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A paved section consisting only of crushed graded aggregate base course should be considered a high maintenance section. Regular care and maintenance is considered essential to the longevity and use of the section. Site grades should be maintained in such a manner as to allow for adequate surface runoff. Any potholes, depressions or excessive rutting that may develop should be repaired as soon as possible to reduce the possibility of degrading the soil subgrade.

5.4 Site Preparation

Site preparation should begin with the removal of any topsoil, loose, soft or otherwise unsuitable materials from the construction area. The geotechnical engineer should evaluate the actual stripping depth, along with any soft soils that require undercutting at the time of construction.

Any fill and backfill placed on the site should consist of approved materials that are free of organic matter and debris. Suitable fill materials should consist of well graded crushed stone below the tower foundation and well graded crushed stone or low plasticity cohesive soil elsewhere. Low-plasticity cohesive soil should have a liquid limit of less than 45 percent and a plasticity index of less than 25 percent. The lean clays encountered to a depth of about 13½ feet appear suitable for re-use as structural fill. The fat clays encountered below this depth should be tested further prior to use as structural fill. It is recommended that any on-site or off-site soils be further tested and evaluated prior to use as fill. Fill should not contain frozen material and it should not be placed on a frozen subgrade.

The fill should be placed and compacted in lifts of 9 inches or less in loose thickness. Fill placed below structures or used to provide lateral resistance should be compacted to at least 98 percent of the material's maximum standard Proctor dry density (ASTM D-698). Fill should be placed, compacted, and maintained at moisture contents within minus 1 to plus 3 percent of the optimum value determined by the standard Proctor test.

The geotechnical engineer should be retained to monitor fill placement on the project and to perform field density tests as each lift of fill is placed in order to evaluate compliance with the design requirements. Standard Proctor and Atterberg limits tests should be performed on the representative samples of fill materials before their use on the site.

6.0 GENERAL COMMENTS

Terracon should be retained to review the final design plans and specifications so comments can be made regarding interpretation and implementation of our geotechnical recommendations in the design and specifications. Terracon also should be retained to provide testing and observation during excavation, grading, foundation and construction phases of the project.

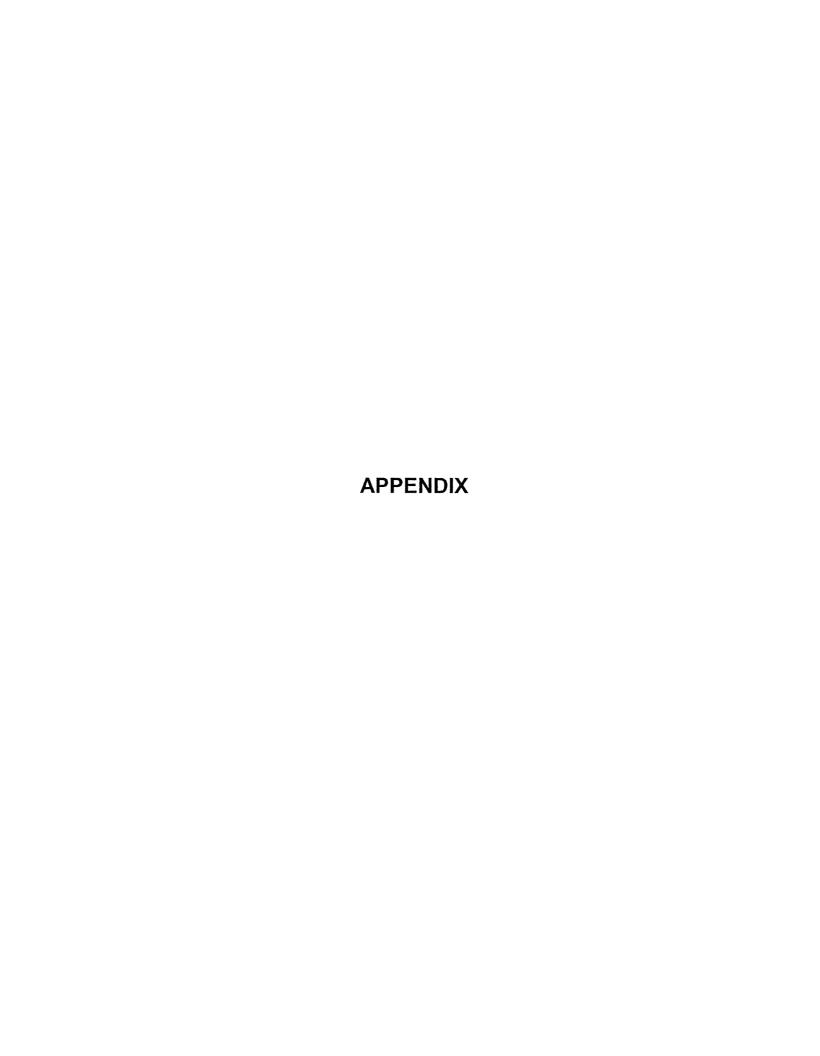
Terracon

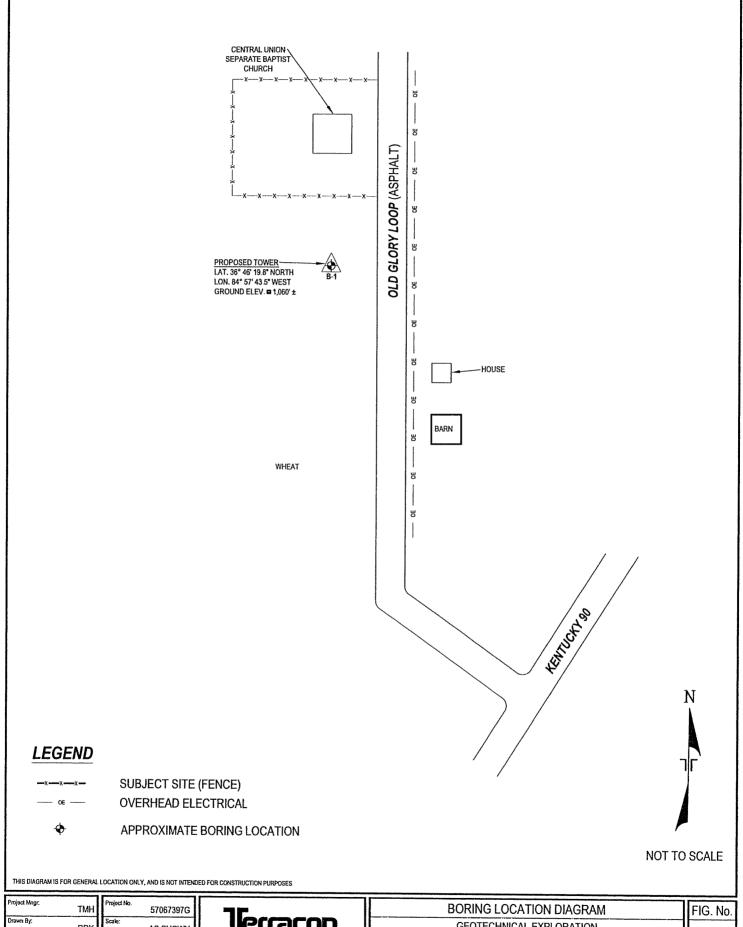
Zula Telecommunication Tower Monticello, Kentucky Terracon Project No.: 57067397G August 24, 2006

The analysis and recommendations presented in this report are based upon the data obtained from the boring performed at the indicated location and from other information discussed in this report. This report does not reflect variations that may occur across the site, between tower legs or due to the modifying effects of weather. The nature and extent of such variations may not become evident until during or after construction. If variations appear, we should be immediately notified so that further evaluation and supplemental recommendations can be provided.

The scope of services for this project does not include either specifically or by implication any environmental or biological (e.g., mold, fungi, bacteria) assessment of the site or identification or prevention of pollutants, hazardous materials or conditions. If the owner is concerned about the potential for such contamination or pollution, other studies should be undertaken.

This report has been prepared for the exclusive use of our client for specific application to the project discussed and has been prepared in accordance with generally accepted geotechnical engineering practices. No warranties, either express or implied, are intended or made. Site safety, excavation support, and dewatering requirements are the responsibility of others. In the event that changes in the nature, design, or location of the project as outlined in this report are planned, the conclusions and recommendations contained in this report shall not be considered valid unless Terracon reviews the changes and either verifies or modifies the conclusions of this report in writing.





	TMH		57067397G		BORING LOCATION DIAGRAM	FIG. No.
Drawn By:	RRK	Scale:	AS SHOWN	llercacon	GEOTECHNICAL EXPLORATION	
Checked By:	MRF/TMH	File No.	57087397G-2	Consulting Engineers and Scientists	ZULA	
Approved By:		Data:		4545 Bishop Lane, Suite 101 Louisville, KY 40218	OLD GLORY LOOP	1 2
	EH	<u></u>	AUGUST 2006	4545 Bishop Lane, Suite 101 Louisville, KY 40218 (407) 843-1311 (407) 843-1317	MONTICELLO, KENTUCKY	4

LOG OF BORING NO. B-1 Page 1 of 1											
CLI	ENT Bluegrass Cellular Partnership										
SIT		PRO	JEC	T							
	Monticello, Kentucky	Zula Telecommunication Tower									
					SAN	MPLES	3		T	TESTS	
GRAPHIC LOG	DESCRIPTION	DEPTH, ft.	USCS SYMBOL	NUMBER	ТҮРЕ	RECOVERY, in.	SPT - N BLOWS / ft.	WATER CONTENT, %	DRY UNIT WT pcf	UNCONFINED STRENGTH, psf	ATTERBERG LIMITS
	0.5 TOPSOIL LEAN CLAY with chert fragments, reddish		CL	1	SS	18	15	22		7500*	
	brown, stiff to very stiff		CL	2	SS	15	23	22		7000*	LL = 43
		5-	CL	3	SS	17	25	21		6500*	PL = 23 PI = 20
		=									
		10	CL	4	SS	12	23	21		6000*	
	10.5										
	FAT CLAY with chert fragments, reddish	15—	СН	5	SS	8	19	26		5500*	
	brown to reddish brown & yellowish brown mottled, hard to medium stiff										
			СН	6	SS	13	50	42		4500*	
					-						
			СН	7	SS	12	23	27			
		=									
		30	СН	8	SS	2	6	35			
	33.5 WEATHERED SHALE & chert	1 =									
	{36} fragments, gray, hard ─── <u>Auger Refusal at 36 feet, Began Coring</u> /	35-	-	9	DB	03%	RQD				
	<u>LIMESTONE</u> , very slightly weathered, very closely jointed, medium gray, hard			3	DB	33 /u	73%				
	very energy journess, medianing gray, maid	40									
74100											
	46 Boring Terminated at 46 feet	45-									
The betw WL WL WL	stratification lines represent the approximate boundary lines veen soil and rock types: in-situ, the transition may be gradual.							*0	alibrate	ed Hand I	Penetrometer
WA	TER LEVEL OBSERVATIONS, ft				T	BOR	NG ST	TARTE	ED.		8-2-06
WL.	Ţ Ţ					BOR	NG C	OMPL	ETED		8-3-06
WL	i i i i i i i i i i i i i i i i i i i	٥l		Jľ		RIG	С	ME-5	50 F	OREMA	W MW
WL.	Dry Upon Auger Completion					APP	ROVE) TN	лн ј	OB # 5	7067397G

GENERAL NOTES

DRILLING & SAMPLING SYMBOLS:

SS:	Split Spoon - 1-3/8" I.D., 2" O.D., unless otherwise noted	HS:	Hollow Stem Auger
ST:	Thin-Walled Tube - 2" O.D., unless otherwise noted	PA:	Power Auger
RS:	Ring Sampler - 2.42" I.D., 3" O.D., unless otherwise noted	HA:	Hand Auger
DB:	Diamond Bit Coring - 4", N, B	RB:	Rock Bit
BS:	Bulk Sample or Auger Sample	WB:	Wash Boring or Mud Rotary

The number of blows required to advance a standard 2-inch O.D. split-spoon sampler (SS) the last 12 inches of the total 18-inch penetration with a 140-pound hammer falling 30 inches is considered the "Standard Penetration" or "N-value".

WATER LEVEL MEASUREMENT SYMBOLS:

WL:	Water Level	WS:	While Sampling	N/E:	Not Encountered
WCI:	Wet Cave in	WD:	While Drilling		
DCI:	Dry Cave in	BCR:	Before Casing Removal		
AB:	After Boring	ACR:	After Casing Removal		

Water levels indicated on the boring logs are the levels measured in the borings at the times indicated. Groundwater levels at other times and other locations across the site could vary. In pervious soils, the indicated levels may reflect the location of groundwater. In low permeability soils, the accurate determination of groundwater levels may not be possible with only short-term observations.

DESCRIPTIVE SOIL CLASSIFICATION: Soil classification is based on the Unified Classification System. Coarse Grained Soils have more than 50% of their dry weight retained on a #200 sieve; their principal descriptors are: boulders, cobbles, gravel or sand. Fine Grained Soils have less than 50% of their dry weight retained on a #200 sieve; they are principally described as clays if they are plastic, and silts if they are slightly plastic or non-plastic. Major constituents may be added as modifiers and minor constituents may be added according to the relative proportions based on grain size. In addition to gradation, coarse-grained soils are defined on the basis of their in-place relative density and fine-grained soils on the basis of their consistency.

CONSISTENCY OF FINE-GRAINED SOILS

RELATIVE DENSITY OF COARSE-GRAINED SOILS

	<u>Standard</u>			
<u>Unconfined</u>	Penetration or		Standard Penetration	
Compressive	N-value (SS)		<u>or N-value (SS)</u>	
Strength, Qu, psf	Blows/Ft.	<u>Consistency</u>	Blows/Ft.	Relative Density
< 500	<2	Very Soft	0 – 3	Very Loose
500 - 1,000	2-4	Soft	4 – 9	Loose
1,001 - 2,000	5-7	Medium Stiff	10 – 29	Medium Dense
2,001 - 4,000	8-15	Stiff	30 – 49	Dense
4,001 - 8,000	16-30	Very Stiff	50+	Very Dense
8,000+	30+	Hard		•

RELATIVE PROPORTIONS OF SAND AND GRAVEL

GRAIN SIZE TERMINOLOGY

Descriptive Term(s) of other constituents	Percent of Dry Weight	Major Component of Sample	Particle Size
Trace	< 15	Boulders	Over 12 in. (300mm)
With	15 – 29	Cobbles	12 in. to 3 in. (300mm to 75 mm)
Modifier	> 30	Gravel	3 in. to #4 sieve (75mm to 4.75 mm)
RELATIVE PROPORTIONS	OF FINES	Sand Silt or Clay	#4 to #200 sieve (4.75mm to 0.075mm) Passing #200 Sieve (0.075mm)

Descriptive Term(s) of other	Percent of Dry Weight	PLASTICITY DESCRIPTION		
<u>constituents</u>	DIY Weight	<u>Term</u>	Plasticity Index	
Trace	< 5	Non-plastic	0	
With	5 – 12	Low	1-10	
Modifiers	> 12	Medium	11-30	
		High	30+	



GENERAL NOTES

Description of Rock Properties

WEATHERING

Fresh Rock fresh, crystals bright, few joints may show slight staining. Rock rings under hammer if crystalline.

Very slight Rock generally fresh, joints stained, some joints may show thin clay coatings, crystals in broken face show

bright. Rock rings under hammer if crystalline.

Slight Rock generally fresh, joints stained, and discoloration extends into rock up to 1 in. Joints may contain clay.

In granitoid rocks some occasional feldspar crystals are dull and discolored. Crystalline rocks ring under

hammer.

Moderate Significant portions of rock show discoloration and weathering effects. In granitoid rocks, most feldspars are

dull and discolored; some show clayey. Rock has dull sound under hammer and shows significant loss of

strength as compared with fresh rock.

Moderately severe All rock except quartz discolored or stained. In granitoid rocks, all feldspars dull and discolored and majority

show kaolinization. Rock shows severe loss of strength and can be excavated with geologist's pick.

Severe All rock except quartz discolored or stained. Rock "fabric" clear and evident, but reduced in strength to

strong soil. In granitoid rocks, all feldspars kaolinized to some extent. Some fragments of strong rock

usually left.

Very severe All rock except quartz discolored or stained. Rock "fabric" discernible, but mass effectively reduced to "soil"

with only fragments of strong rock remaining.

Complete Rock reduced to "soil". Rock "fabric" not discernible or discernible only in small, scattered locations. Quartz

may be present as dikes or stringers.

HARDNESS (for engineering description of rock - not to be confused with Moh's scale for minerals)

Very hard Cannot be scratched with knife or sharp pick. Breaking of hand specimens requires several hard blows of

geologist's pick.

Hard Can be scratched with knife or pick only with difficulty. Hard blow of hammer required to detach hand

specimen.

Moderately hard Can be scratched with knife or pick. Gouges or grooves to ¼ in. deep can be excavated by hard blow of

point of a geologist's pick. Hand specimens can be detached by moderate blow.

Medium Can be grooved or gouged 1/16 in. deep by firm pressure on knife or pick point. Can be excavated in small

chips to pieces about 1-in. maximum size by hard blows of the point of a geologist's pick.

Soft Can be gouged or grooved readily with knife or pick point. Can be excavated in chips to pieces several

inches in size by moderate blows of a pick point. Small thin pieces can be broken by finger pressure.

Very soft Can be carved with knife. Can be excavated readily with point of pick. Pieces 1-in. or more in thickness can

be broken with finger pressure. Can be scratched readily by fingernail.

Joint, Bedding and Foliation Spacing in Rock^a

Spacing	Joints	Bedding/Foliation
Less than 2 in.	Very close	Very thin
2 in. – 1 ft.	Close	Thin
1 ft. – 3 ft.	Moderately close	Medium
3 ft. – 10 ft.	Wide	Thick
More than 10 ft.	Very wide	Very thick

Rock Quality D	esignator (RQD) ^⁰	Joint Openness Descriptors		
RQD, as a percentage	Diagnostic description	Openness	Descriptor	
Exceeding 90	Excellent	No Visible Separation	Tight	
90 – 75	Good	Less than 1/32 in.	Slightly Open	
75 – 50	Fair	1/32 to 1/8 in.	Moderately Open	
50 – 25	Poor	1/8 to 3/8 in.	Open	
Less than 25	Very poor	3/8 in. to 0.1 ft.	Moderately Wide	
		Greater than 0.1 ft.	Wide	

a. Spacing refers to the distance normal to the planes, of the described feature, which are parallel to each other or nearly so.

b. RQD (given as a percentage) = length of core in pieces 4 in. and longer/length of run.

References: American Society of Civil Engineers. Manuals and Reports on Engineering Practice - No. 56. <u>Subsurface Investigation for Design and Construction of Foundations of Buildings.</u> New York: American Society of Civil Engineers, 1976.

U.S. Department of the Interior, Bureau of Reclamation, Engineering Geology Field Manual.



UNIFIED SOIL CLASSIFICATION SYSTEM

Criteria fo	or Assigning Group Symbo	ols and Group Names Us	sing Laboratory Tests ^a		Soil Classification
				Group Symbol	Group Name ^B
Coarse Grained Soils	More than 50% of coarse	Clean Gravels	Cu ≥ 4 and 1 ≤ Cc ≤ 3 ^E	GW	Well-graded gravel ^F
More than 50% retained		Less than 5% fines ^c	Cu < 4 and/or 1 > Cc > 3 ^E	GP	Poorly graded gravel ^f
on No. 200 sieve	No. 4 sieve	Gravels with Fines	Fines classify as ML or MH	GM	Silty gravel ^{FG H}
		More than 12% fines ^c	Fines classify as CL or CH	GC	Clayey gravel ^{F G H}
	Sands	Clean Sands Less than 5% fines ^D	Cu ≥ 6 and 1 ≤ Cc ≤ 3 ^E	sw	Well-graded sand
	50% or more of coarse fraction passes No. 4 sieve		Cu < 6 and/or 1 > Cc > 3 ^E	SP	Poorly graded sand
		Sands with Fines More than 12% fines ^D	Fines classify as ML or MH	SM	Silty sand ^{GH,I}
			Fines Classify as CL or CH	sc	Clayey sand ^{сні}
Fine-Grained Soils	Silts and Clays	inorganic	PI > 7 and plots on or above "A" line	e, CF	Lean clay ^{kım}
50% or more passes the No. 200 sieve	the Liquid limit less than 50		PI < 4 or plots below "A" line ^J	ML	Silt ^{k LM}
		organic	Liquid limit - oven dried < 0.75	5 OL	Organic clay ^{K,t,M,N}
			Liquid limit - not dried	, OE	Organic silt ^K LM0
	Silts and Clays	inorganic	PI plots on or above "A" line	СН	Fat clay ^{ĸĿм}
	Liquid limit 50 or more		PI plots below "A" line	MH	Elastic Silt ^{K,E,M}
		organic	Liquid limit - oven dried	 5 ОН	Organic clay ^{K,LM,P}
			Liquid limit - not dried	, 0,1	Organic silt ^{KLMQ}
Highly organic soils	Primar	ily organic matter, dark in	color, and organic odor	PT	Peat

^ABased on the material passing the 3-in. (75-mm) sieve

^B If field sample contained cobbles or boulders, or both, add "with cobbles or boulders, or both" to group name.

^CGravels with 5 to 12% fines require dual symbols: GW-GM well-graded gravel with silt, GW-GC well-graded gravel with clay, GP-GM poorly graded gravel with silt, GP-GC poorly graded gravel with clay.

^DSands with 5 to 12% fines require dual symbols: SW-SM well-graded sand with silt, SW-SC well-graded sand with clay, SP-SM poorly graded sand with clay

^ECu =
$$D_{60}/D_{10}$$
 Cc = $\frac{(D_{30})^2}{D_{10} \times D_{60}}$

^F If soil contains ≥ 15% sand, add "with sand" to group name.

^GIf fines classify as CL-ML, use dual symbol GC-GM, or SC-SM.

^HIf fines are organic, add "with organic fines" to group name.

¹ If soil contains ≥ 15% gravel, add "with gravel" to group name.

^J If Atterberg limits plot in shaded area, soil is a CL-ML, silty clay.

^KIf soil contains 15 to 29% plus No. 200, add "with sand" or "with gravel," whichever is predominant.

 $^{\rm L}$ If soil contains \geq 30% plus No. 200 predominantly sand, add "sandy" to group name.

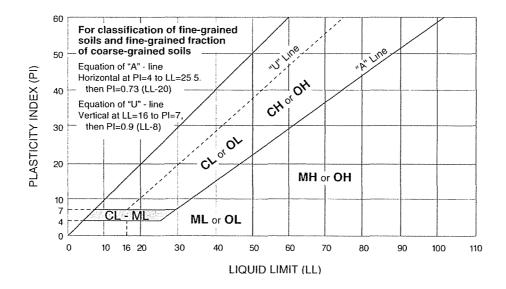
Multiple If soil contains ≥ 30% plus No. 200, predominantly gravel, add "gravelly" to group name.

^NPI ≥ 4 and plots on or above "A" line.

O PI < 4 or plots below "A" line.

PPI plots on or above "A" line.

Q PI plots below "A" line.





The bearing system of this survey is based upon G.P.S. observations made on September 8, 2006 using the National Geodetic Survey monument "U 235 RESET" and the Kentucky State Plane Coordinate System, South Zone, NAD 1983 (1993).
This system is grid north.

Designation: Zula Site ID#: None Horizontal Datum: NAD 1983 (1993) Latitude: 36'46'19.67" North Longitude: 84'57'43.76" West Ground Elevation: 1,050.1 feet (320.1 meters)

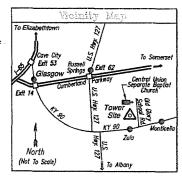
State Plane Coordinates Northing: 1,801,138.63 feet (548,988.15 meters) Easting: 1,871,173.26 feet (570,334.75 meters)

Owner Information

Owner: Bobby E. and Margaret Faye Bertram Address: P.O. Box 315 Alpha, Kentucky 42603 Contact Person: Bobby E. Bertram Phone: (606) 348-5548 PVA Map No. 016-00-00-092.00

Northing: 1,801,007 feet (548,948 meters) 1,871,284 feet (570,369 meters) 1,056.02 feet (321,876 meters) Description: A railroad spike in the northeast side of powerpole #223769, 10" above grade. The pole is approximately 172' southeast of the center of the proposed tower and 15' south at the Harold Atkinson driveway on the east side of Old Glory School Road.

According to the Flood Insurance Rate Map for Wayne County, Kentucky (Unincorporated Areas), Community Panel No. 210348 0075 B. dated September 18, 1985; the subject site lies within Zone C, which is defined as Areas of minimal



From Elizabethtown, Kentucky: take 1-65 South to Exit 43 and the Cumberland Parkway, take the Cumberland Parkway East to Exit 14 and Kentucky Highway 90 in Glasgow; take Kentucky Highway 90 East toward Burkesville and Monticello for about 63 miles to Old Glory School Road (about 3 miles East of the Wayne Co./Clinton Co. line) near the Town of Zula; turn left and travel north on Old Glory School Road for 0.1 miles to the top of the hill and the site on the West side of the road next to the Central Union Separate Baptist Church.

This survey is subject to a statement of facts which may be disclosed by an Abstract of Title or a Title Commitment Policy. This tion was not provided by the

2. No search of public records has been performed by this firm to determine any defects and/or ambiguities in the title of the parent

3. The utilities shown on this plat may or may not represent all of the utilities located on the subject site. The presence of the existing utilities the property surface. No utility locate was called in prior to this survey. It shall be the responsibility of the contractor to locate any utilities present prior to construction.

4. The topographic information contained on this plat was as requested by the client and may or may not represent all of the topographic features located on the subject property

5. According to the County Judge Executives Office, there are no zoning, or tower ordinances in effect in Wayne County. The Judge Executives Office may be contacted at 606-348-4241.

5/8" Rebar Set Flush With A Survey Cap Inscribed *D.L. Helms PLS 3386 5/8" Rebar Set Flush - No Cap 5/8" Rebar Found Flush With A Survey Cop Inscribed "Jim West PLS 2086"

Legeno

Site: Zula

Lease Boundary and Topographic Survey

Wayne County, Kentucky

Road

School

Glory

PIO

Asphalt Parking L

-1042-

-1045

/ S81'07'01"W

20.07'(c)

-581 07'01"W

1100.00'(s)

70' x 70'

Bobby E. Bertram and Margaret Faye Bertram D.B. 308, Pg. 408

-28.39'(s)

Shelter

227.56'(1)

NB1'07'01"E-

True North Point From

Central Union Separate Baptist Church D.B. 308, Pg. 374

NB5'50'35"E

112.05'(m) 112.06'(r)

99.22'(5)

S81 07 01 W

Lease Tract

0.230 Acres or 10,000 Sq.Ft.

No Zoning in Wayne County

Bobby E. Bertram and Margaret Faye Bertram, D.B. 308, Pg. 408

Proposed Self-Support Tower

Ground Elev. = 1.050.1 ft or 320.1 m (NAVD 1988)

Lat. = 36'46'19.67" North (NAD 1983)

Surveyor's Notes

S81 '05'38"W S85'50'35"W

Baptist Church D.B. 102, Pg. 578 D.B. 188, Pg. 72

Church

Calculated Position - No Monument Found or Set Subject Boundaries

Right of Way Ø Utility Pole

Guy Anchor Telephone Pedesta

P.O.C. of Lease Tract and

Southeast corner of the Central Union
Separate Bapitat Church tract, as described in
Deed Book 102, Page 578 and Deed Book 188,
Pags 72, Also, a corner of the 47.44-acre
tract described in deed to Bobby E. Bertram
and Margaret Faye Bertram in Deed Book 308,
Page 408.

Gary R. Ragon and Betty J. Ragon D.B. 259, Pg. 440

Shed

Harold Atkinson and Linda J. Atkinson D.B. 259, Pg. 447

GRAPHIC SCALE

(IN FEET) 1 inch = 50

Contour Interval = 1-foot

) B of Lease Trac

Access & Utility Easement

Measured (r) Recorded (c) Calculated

Reduced Copy

A tract of land that is located about 6 miles Southwesterly of Monticello on Old Glory School Road adjacent to the Central Union Separate Baptist Church near the area reterred to as Zula in Wayne County, Kentucky, said tract being described as

COMMENCING AT a 5/8-inch rebar found flush with a survey cap inscribed "Jim West PLS 2086" on the west boundary of Old Glory School Road (15' from the centerline) at the southeast corner of the tract of land described in deed to the Central Union Separate Baptist Church in Deed Book 102, page 578 and Deed Central chain's Septicle Biglists chairs in Deced Book 188, page 72 in the office of the County Clerk of Wojne County, Kentucky, said rebor also monuments a corner in the eastern boundary of the 47.44—core tract described in deed to Bobby E. Bertram and Margaret Faye Bertram in Deed Book 308, page 408 in said County Clerk's office; thence, along a portion of the eastern boundary of said Bertram tract, South 81 degrees 07 minutes 01 second West 28.39 feet to a 5/8-inch rebar set flush with a survey cap inscribed "D.L. Helms PLS 3386" (referred to as a rebor in the remainder of this description) a the POINT OF BEGINNING of this description: thence South OB degrees 52 minutes 59 seconds East 100.00 feet to a rebar set flush; thence South 81 degrees 07 minutes 01 second West 100.00 feet to a rebar set flush; thence North OB degrees 52 minutes 59 seconds West 100.00 feet to a rebox set flust on a portion of the eastern boundary of said Bertram tract; thence North 81 degrees 07 minutes 01 second East 100.00 feet to the point of beginning and containing 0.230 ocres (10,000 square feet), more or less.

TOGSTHER WITH an occass and utility easement from the above-described 0.230-acre lease tract to Old Glory School Road; said easement being described as follows: BEGINNING AT a 5/8-inch rebar found flush with a survey cop inscribed "Jim West PLS 2086" on the west boundary of Old Glory School Road (15' from the centerline) at the southeast corner of the tract of land described in deed to the Central Union Separate Baptist Church in Deed Book 102, page 578 and Deed Book 188, page 72 in the office of the County Clerk of Wayne County, Kentucky, said rebar also monuments a corner in the eastern boundary of the 47.44-acre tract described in deed to Bobby E. Bertram and Margaret Faye Bertram in Deed Book 308, page 408 in soid County Clerk's office; thence, along the west boundary of soid road, South 04 degrees 07 minutes 39 seconds East 100.35 feet; thence South 81 degrees 07 minutes 101 second West 20.07 feet to 5/8-inch rebor set flush with a survey cap inscribed *D.L. Hetms PLS 3386* at the southeast corner of the above-described 0.230-acre lease tract; thence North 08 degrees 52 minutes 59 seconds West 100.00 feet to a 5/8-inch rebar set flush with said Helms survey cap at the northeast corner of the above—described 0.230-acre lease tract and being on a portion of the eastern boundary of said Bertram tract; thence North 81 degrees 07 minutes 01 second East 28.39 feet to

The bearing system of these descriptions are based upon the Kentucky State Plane Coordinate System, South Zone, NAD 1983 (1993), as determined by G.P.S. Coordinate System, South Zone, NAU 1905 (1995), as determined by C.F.S. observations made on September 8, 2006 using the National Geodetic Survey monument "U 235 RESET". These descriptions are based upon a survey completed by Landmark Surveying Co., Inc. and certified by Darren L. Helms, P.L.S. 3386, on September 28, 2006. This survey is hereby referenced and made a part of these

SOURCE OF TITLE: Being a portion of and lying entirely within the land described in deed to Bobby E. Bertram and Margaret Faye Bertram on December 31, 2004 in Deed Book 308, page 408 in the office of the County Clerk of Wayne County,

Surveyor's Certification

I hereby certify that this plat has been compiled from a survey actually mode upon th ground under my direct supervision on September 8, 2006 by the method of random traverse with sideshots. The unadjusted precision ratio of the traverse was better than 1:27,600 and it was not adjusted. This survey is a Class B survey and the accuracy and precision of this survey meets all the specifications of this class.

SEPT. 28,2006

Սուսաասան ESTATE OF KENTUCKY DARREN L. HELMS 3386 LICENSED FROTEBIONAL ELAND SURVEYORE ດ*ັກກັບການໄດ້ກຳການຄຳຄຳກ*ວ

Lesse Boundary and Basement Description

V 330 Вох 4

42633

Kentucky

Monticello,

Route

42702 Road Ring

DATE

SHEET NO.

REVISIONS

2902

OF 1 SHEETS

Kentucky SS CO

Elizabeth town,

FILE NO.

BLUEGRASS CELLULAR

APPROVAL SIGNATURES	
BLUEGRASS CELLULAR CONSTRUCTION SUPERVISOR:	
DATE:	
CITY REPRESENTATIVE:	
TITLE:	
DATE:	
PROPERTY OWNER/OWNERS:	
DATE:	
TOWER OWNER/OWNERS:	
MET Productions	
DATE:	

SITE NAME: ZULA

911 ADDRESS: Route 4 Box 330-A

Old Glory Rd.

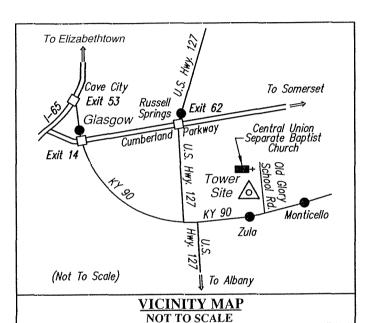
Monticello, KY. 42633

COUNTY: WAYNE

TOWER LATITUDE & LONGITUDE

N 36* 46' 19.67" W 84* 57' 43.76"

SHEET INDEX					
SHEET NO.	DESCRIPTION	REVISION			
TITLE SHEET	TITLE SHEET				
SURVEY	SURVEY				
A-1	SITE PLAN				
A-2	FENCE DETAILS				
ANTENNA DETAILS 1	ANT.SPECS/TOWER ELEV.				
ANTENNA DETAILS 2	ANTENNA DETAILS 2				
E-1	SITE PLAN - ELECTRICAL				
E-2	ELECTRICAL DETAILS				
LYNCOLE	LYNCOLE GROUNDING				
E-3	ELEC. PLAN - GROUNDING				
E-4	GROUNDING DETAILS				
S-1	FOUNDATION DETAILS				
GENERATOR DETAIL	GENERATOR DETAIL				
GENERAL NOTES	GENERAL NOTES				



From Elizabethtown, Kentucky: take I-65 South to Exit 43 and the Cumberland Parkway; take the Cumberland Parkway East to Exit 14 and Kentucky Highway 90 in Glasgow; take Kentucky Highway 90 East toward Burkesville and Monticello for about 63 miles to Old Glory School Road (about 3 miles East of the Wayne Co./Clinton Co. line) near the Town of Zula; turn left and travel north on Old Glory School Road for 0.1 miles to the top of the hill and the site on the West side of the road next to the Central Union Separate Baptist Church.

DIRECTIONS TO SITE

PROPERTY OWNER: BOBBY & MARGARET BERTRAM ALPHA, KY. 42603 (606)348-5548

TOWER OWNER:

BLUEGRASS CELLULAR (270) 769-0339

POWER COMPANY: SO

SOUTH KY. RECC (606) 678-4121

TELEPHONE COMPANY: SOUTH CENTRAL RURAL TELEPHONE

(800)336-4969

BLUEGRASS CONSTRUCTION SUPERVISOR: LEE HILL (270)734–1028

Basis of Bearings

The bearing system of this survey is based upon G.P.S. observations made on September 8, 2006 using the National Geodetic Survey monument "U 235 RESET" and the Kentucky State Plane Coordinate System, South Zone, NAD 1983 (1993) This system is grid north.

Tower Location Information

Designation: Zula Site ID≰ None Horizontal Datum: NAD 1983 (1993) Latitude: 36°46°19.67" North Longitude: 84°57°43.76" West Vertical Datum: NAVD 1988 Ground Elevation: 1,050.1 feet (320.1 meters) State Plane Coordinates
Northing: 1,801,138.63 feet (548,988.15 meters)
Easting: 1,871,173.26 feet (570,334.75 meters)

Owner Information

Owner: Bobby E. and Margaret Faye Bertram Address: P.O. Box 315 Alpha, Kentucky 42603 Contact Person: Bobby E. Bertram Phone: (606) 348–5548 PVA Map No. 016-00-00-092.00

Project Bench Mark **

Northing: 1,801,007 feet (548,948 meters) Easting: 1,871,284 feet (570,369 meters) 1,056.02 feet (321.876 meters) Description. A railrod spike in the northeast side of powerpole #223769, 10" above grade. The pole is approximately 172' southeast of the center of the proposed tower and 15' south of the Horold Atkinson driveway on the east side of Old Glary School Road.

Flood Plain Statement

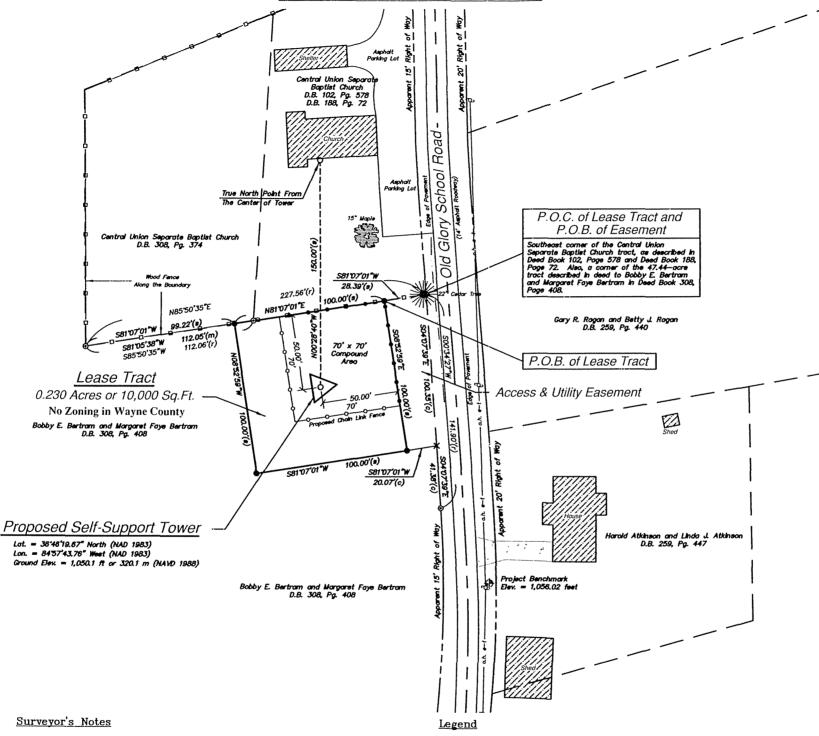
According to the Flood Insurance Rate Map for Wayne County, Kentucky (Unincorporated Areas), Community Panel No. 210348 0075 B, dated September 18, 1985; the subject site lies within Zone "C", which is defined as "Areas of minimal



Directions to Site

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Site: Zula Lease Boundary and Topographic Survey Wayne County, Kentucky



Surveyor's Notes

- 1. This survey is subject to a statement of facts which may be disclosed by an Abstract of Title or a Title Commitment Policy. This documentation was not provided by the
- 2. No search of public records has been per-formed by this firm to determine any defects and/or ambiguities in the title of the parent
- 3. The utilities shown on this plat may or may not represent all of the utilities located on the subject site. The presence of the existing utilities shown was determined by a visual inspection of the property surface. No utility locate was called in prior to this survey. It shall be the responsibility of the contractor to locate any utilities present prior to construction.
- t. The topographic information contained on this plat was as requested by the client and may or may not represent all of the topographic features ocated on the subject property.
- According to the County Judge Executives Office, there are no zoning, or tower ordinances in effect in Wayne County. The Judge Executives Office may be contacted at 606–348–4241.
- 5/8" Rebar Set Flush With A Survey Cap Inscribed D.L. Helms PLS 3386 5/8" Rebar Set Flush - No Cap
 - Calculated Position No Monument

Cap Inscribed "Jim West PLS 2086"

Subject Boundaries ----- Other Boundaries

Right of Way

- ø, Utility Pole
- **Guy Anchor** Ш 5/8" Rebar Found Flush With A Survey
 - Telephone Pedest
 - (m) (r) (c) Measured
 - Recorded Calculated

GRAPHIC SCALE 1 tach = 30 ft. Contour Interval = 1-foot

Lease Boundary and Easement Description

A tract of land that is located about 6 miles Southwesterly of Monticello on Old Clary School Road adjacent to the Central Union Separate Baptist Church near the area referred to as Zula in Wayne County, Kentucky, said tract being described as

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observations made on September 8, 2006 using the National Geodetic Survey
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I hereby certify that this plat has been compiled from a survey actually made upon th round under my direct supervision on September 18, 2006 by the method of random traverse with sideshots. The unadjusted precision ratio of the traverse was better than 1:27,600 and it was not adjusted. This survey is a Class B survey and the accuracy and precision of this survey meets all the specifications of this

Darren L. Helms, P.LS. 3386

Survey 330 Kentucky Box

4-

Boundary 4 Monticello, Route

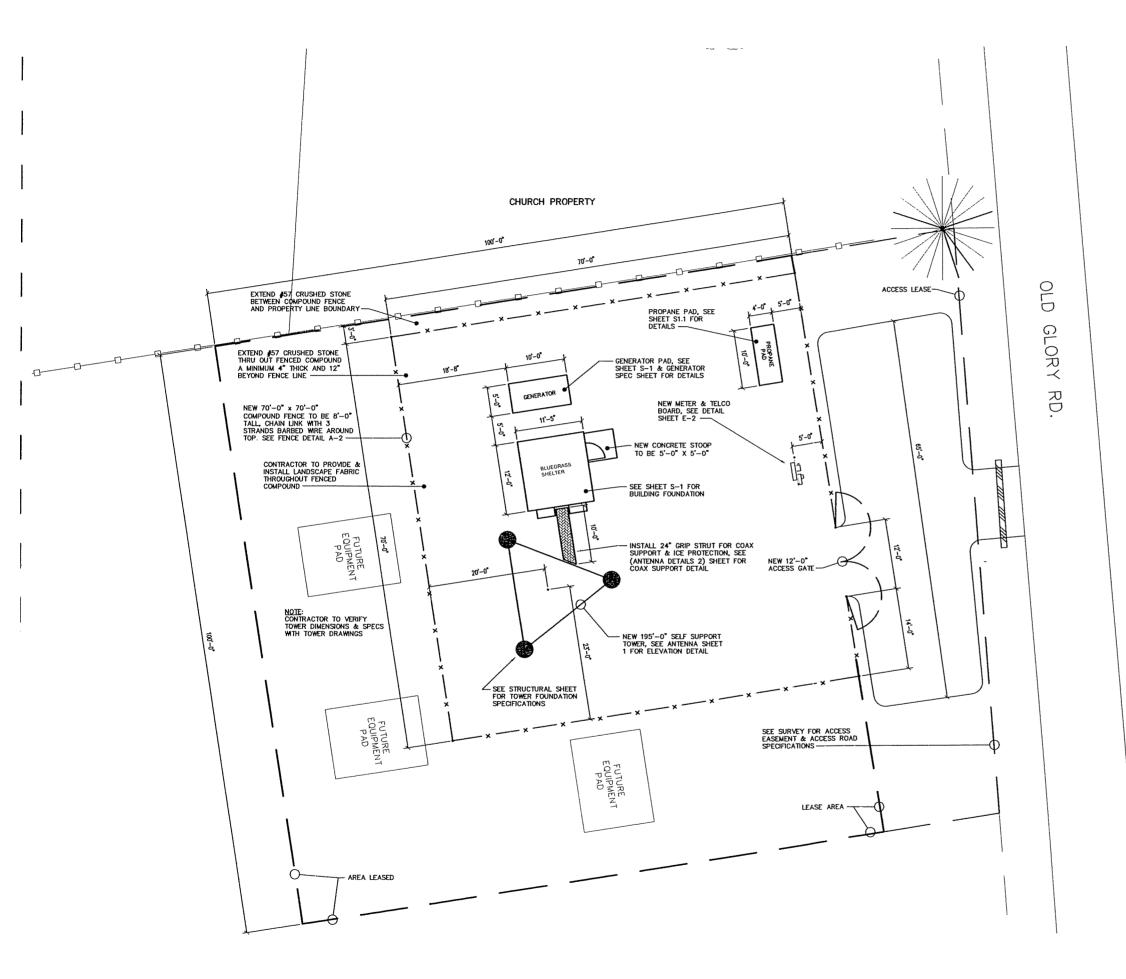
ellula 42, Kentucky ass Road Elizabeth town, Rin 2902

REVISIONS DATE

SHEET NO.

OF 1 SHEETS

FILE NO. zuka.dwg



GENERAL NOTES:

- 1) EQUIPMENT PICK-UP AND DELIVERY TO SITE FROM BLUEGRASS CELLULAR STAGING FACILITY TO BE THE CONTRACTORS RESPONSIBILITY, INCLUDING CRANE SET, AND ALL COST INCURRED.
- 2) FOR, BUILDING AND ALL CONCRETE PAD DETAILS REFER TO STRUCTURALS AND SHEET S1.1
- 3) ALL CONCRETE TO HAVE SPECIFIED COATED SEALANT PER STRUCTURAL RECOMMENDATIONS.
- 4) ANY DAMAGE DUE TO CONSTRUCTION, TO BE REPAIRED OR REPLACED TO ORIGINAL CONDITION. (SUBJECT TO BLUEGRASS CELLULAR'S APPROVAL).
- 5) ANY DAMAGE OF NATURAL SURROUNDINGS , INCLUDING BUT NOT LIMITED TO, GRASS, TREES, LANDSCAPING, ETC.. TO BE REPAIRED OR REPLACED TO ORIGINAL CONDITION AT BLUEGRASS CELLULAR'S APPROVAL.
- 6) ROADWAYS TO BE GRADED SMOOTH AND EVEN, REMOVING ALL POTHOLES. ROADS TO HAVE PROPER DRAINAGE AND RUNOFF PER BLUEGRASS CELLULAR'S APPROVAL.
- 7) ANY RELOCATION OF EXISTING UTILITIES TO BE DONE IN ACCORDANCE WITH LOCAL CODES AND RECOMMENDATIONS, CONSULTING ALL UTILITY COMPANIES INVOLVED FOR APPROVAL AND SPECIFICATIONS REQUIRED.
- 8) FOR GRADING DETAILS, SEE GENERAL NOTESHEET
- 9) CONTRACTOR TO FIELD VERIFY ALL TOWER DIMENSIONS WITH TOWER MANUFACTURER PRIOR TO JOB BIDDING OR START OF ANY CONSTRUCTION
- 10) CONTRACTOR RESPONSIBLE FOR APPLYING FOR SERVICE TO SITE AND PAYING ANY FEES REQUIRED FOR PERMITS, HOOKUP, ETC ..





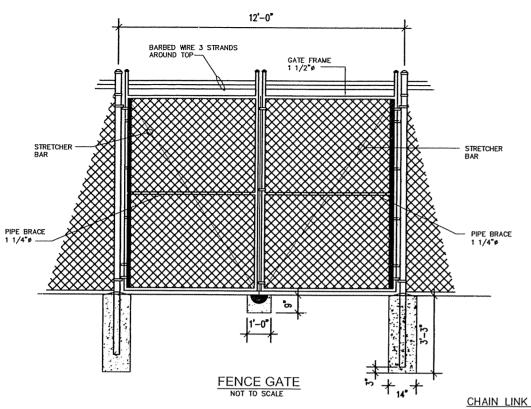
REVISION		
NO. DATE		
Ö.		
Г		

BLUEGRASS CELLULAR, II STANDARD CELLULAR SI **ZULA**5603 N. JACKSON HWY MINFORDANI 1 E KY

SHEET NUMBER

A-1

SITE PLAN SCALE: 1/6"= 1'-0'



SITANDS BARBED WIRE
AROUND TOP OF FENCE—

SCHED 40 GALVANIZED STEEL
SET EVERY 8"-0" O.C.
11 5/6" OD
10P RAIL

CORNER POST TO BE 3" O.D. SCHED 40 GALVANIZED STEEL
PIPE (TYPICAL)

BRACE RAIL
1 5/8" OD

TRUSS ROO WITH TURN
BUCKLE 3/8"s

BOTTOM TENSION WIRE
87 GUAGE

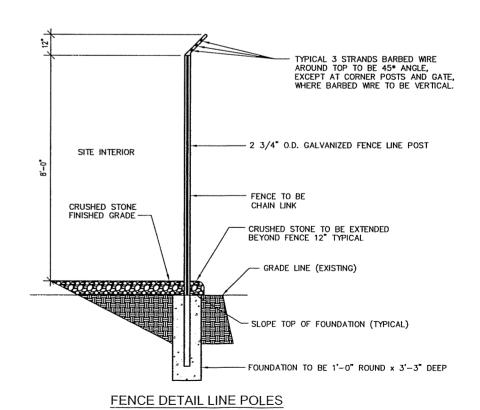
85-0" (MAX)

FENCE DETAIL END POLES

NOT TO SCALE

CHAIN LINK FENCING NOTES:

- 1 <u>FABRIC</u>: THE FABRIC SHALL BE COMPOSED OF INDIVIDUAL HOT DIP GALVANIZED WRE PICKETS HELICALLY WOUND AND INTERWOVEN FROM NO.9 W & M GAUGE COPPER BEARING STEEL WIRE TO FORM A CONTINUOUS CHAIN LINK FABRIC HAVING A 2" MESH. TOP EDGES SHALL HAVE A TWISTED AND BARBED
- 2 POSTS: SHALL BE 2 3/4" O.D. SS 40 PIPE HOT GALVINIZED. THESE POSTS SHALL BE SPACED APPROXIMATELY 8'-0" ON CENTERS AND SET FULL 3'-3"IN BELL SHAPED CONCRETE FOOTING, CROWNED AT TOP TO SHED WATER.
- 3 <u>TOP RAIL:</u> SHALL BE 1 5/8" O.C. STANDARD PIPE HOT GALVANIZED AND SHALL BE FURNISHED IN RANDOM LENGTHS AVRERAGING NOT LESS THAN 20".
- 4 FABRIC TIES: FOR ATTACHING FABRIC TO LINE POST, TOP RAIL OR TOP WIRE, SHALL BE ALUMINUM STRIP OF WIRE OF APPROVED GUAGE AND DESIGN. USED ON TOP OF RAIL EVERY 24" AND ONE POST EVERY 12".
- 5 <u>EXTENSION ARMS:</u> CAST STEEL GALVANIZED TO ACCOMODATE 3 STRANDS OF BARB WRE, SINGLE ARM SLOPED TO 45°, AND VERTICAL ON TOP OF SWING GATES.
- 6 BARBED WIRE (STEEL): ASTM A121 GALVINIZED STEEL, 12 GUAGE THICK WIRE, 3 STRANDS 4 POINTS AT 3" O.C.
- SWING GATE POSTS: SHALL BE 3" O.C. STANDARD HOT GALVINIZED, WEIGHING 5.79 LBS. PER FOOT.
- 3 <u>GATES: (o) SWING GATES:</u> 2" O.C. STANDARD PIPE WITH INTERNAL BRACING OF 1 5/8" O.D. STANDARD PIPE; WELDED AT ALL JOINTS TO PROVIDE RIGID WATERTIGHT CONSTRUCTION. FABRIC SAME AS FENCE.
- 9 FENCE TO BE 100% ERECTED WITHIN TEN(10) DAYS OF COMPLETION OF CONSTRUCTION, IF TIME FRAME CANNOT BE MET, PLEASE NOTIFY PROJECT MANAGER.



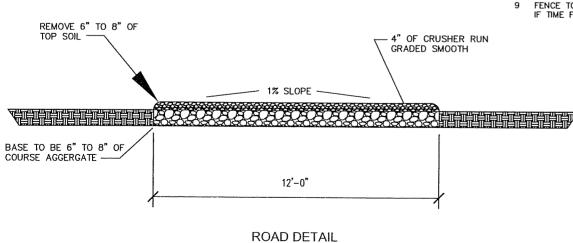
NOT TO SCALE

INC. SITE

BLUEGRASS CELLULAR, IN STANDARD CELLULAR SI **ZULA**

DRAWN BY:
R, BECKER
ISSUE DATE:
7-17-06

A-2



NOT TO SCALE

BLUEGRASS CELLULAR GENERAL NOTES & ANTENNA SPECS

ALL LINES AND ANTENNAS TO BE PROPERLY MOUNTED TO TOWER OR STRUCTURE PER BLUEGRASS CELLULAR SPECIFICATIONS.

ALL GROUND BARS TO BE INSTALLED AND CAD WELDED TO GROUND FIELD (WHERE REQUIRED)

ALL LINES TO BE GROUNDED AT THE TOP AND BASE OF STRUCTURE OR TOWER.

ALL LINES TO BE GROUNDED AT ENTRANCE OF SHELTER BEFORE WAVE GUIDE PORTS. (EXTERIOR OF BUILDING)

LINES ARE TO BE SECURED TO ICE BRIDGE

WAVE-GUIDE BOOTS ARE TO BE INSTALLED ON ALL LINES (BOTH INSIDE AND OUTSIDE)

ALL COAX CONNECTIONS ARE TO BE WEATHER PROOFED.

INVENTORY OF ALL MATERIAL IS TO BE DONE PRIOR TO INSTALLATION BY CONTRACTOR. (LIST WILL BE PROVIDED)

ALL TRASH AND REFUGE IS TO BE PROPERLY DISPOSED OF.

CONTRACTOR TO EXTEND HARDLINES INTO BUILDING 12" & INSTALL POLYPHASERS, PER INSTRUCTION OF PROJECT MANAGER.

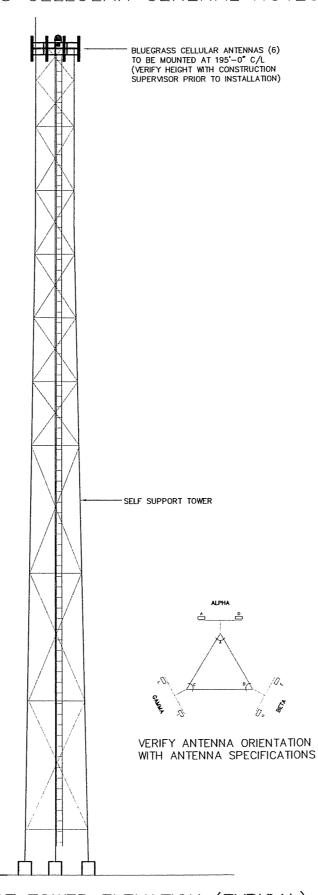
CONTRACTORS TO SUPPLY POLYPHASERS OR LIKE UNITS TO BE INSTALLED AND GROUNDED TO GROUND BAR INSIDE BUILDING AT WAVE GUIDE ENTRANCE. GO TO SUPPLY GROUND CABLE & LUGS.

GENERAL CONTRACTOR TO MOUNT ANTENNA MOUNTS AT TOP OF STRUCTURE OR TOWER BY BLUEGRASS CELLULAR SPECIFICATIONS.

ICE BRIDGE TO BE SUPPLIED AND INSTALLED BY GENERAL CONTRACTOR. (Additional Ice Bridge if needed)

TRAPEZE KIT TO BE SUPPLIED AND INSTALLED BY GENERAL CONTRACTOR.

CONTRACTOR TO INSTALL GPS BRACKET



TOWER HEIGHT & TYPE

195'-0" SELF SUPPORT TOWER

ANTENNA SPECS

	TYPE	SIZE L x W x D	NUMBER	AZIMUTH	MOUNTING HEIGHT
ANTENNA (PRIMARY)	AP13-880-850D ADT-XP	L=78.6 W=10.3 D=4.6	6	35*, 145*, 255*	195'-0" C/L VERIFY WITH CONSTRUCTION SUPERVISOR
ANTENNA (SECONDARY)					

ANTENNA MOUNTING HARDWARE SPECS

	TYPE	SIZE	NUMBER
MOUNT (PRIMARY)	TRI-SECTOR MOUNT		3
MOUNT (SECONDARY)			

ANTENNA TRANSMISSION LINES SPECS

	TYPE	SIZE	NUMBER
TRANSMISSION LINE (PRIMARY)	ANDREW	1-5/8"	6
TRANSMISSION LINE (SECONDARY)			

DISH SPECS

	MICROWAVE/DONOR	SIZE	NUMBER	AZIMUTH	MOUNTING HEIGHT
DISH #1					
DISH #2					

DISH MOUNT SPECS

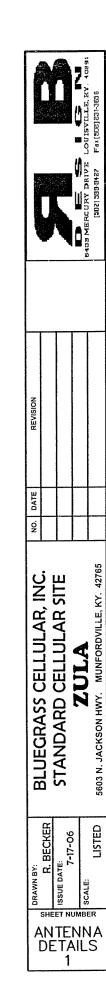
	TYPE	SIZE	NUMBER
MOUNT #1			
MOUNT #2			

DISH TRANSMISSION LINES

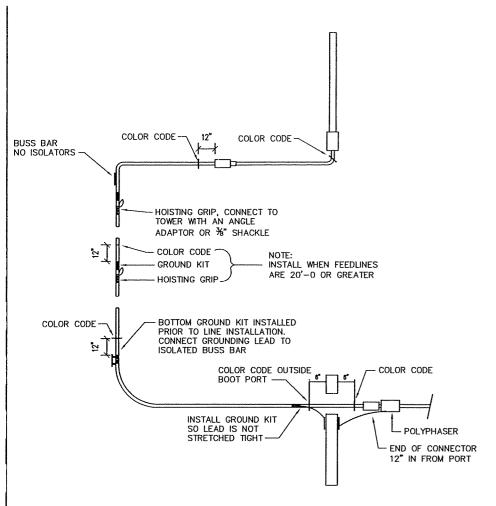
	TYPE	SIZE	NUMBER
TRANSMISSION LINE #1			
TRANSMISSION LINE #2			

ANTENNA SYNOPSIS

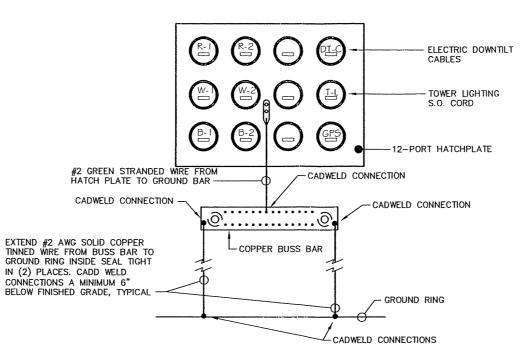
- * ANTENNAS TO HAVE A 1*E X,Y,Z
- * ANTENNA FREQUENCY 880.00 890.00



SELF SUPPORT TOWER ELEVATION (TYPICAL)

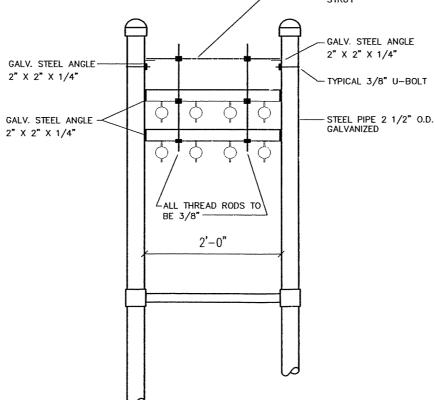


COLOR CODING DETAIL



BOOT PORT GROUNDING DETAIL

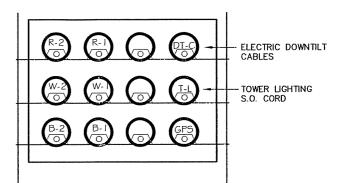




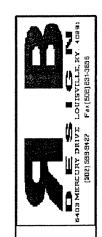
ICE BRIDGE / COAX SUPPORT DETAIL

NO SCALE

COAX ENTRY DETAIL POWER SIDE (VIEW FROM INSIDE SHELTER) NO SCALE



COAX ENTRY DETAIL A/C SIDE (VIEW FROM INSIDE SHELTER)
NO SCALE



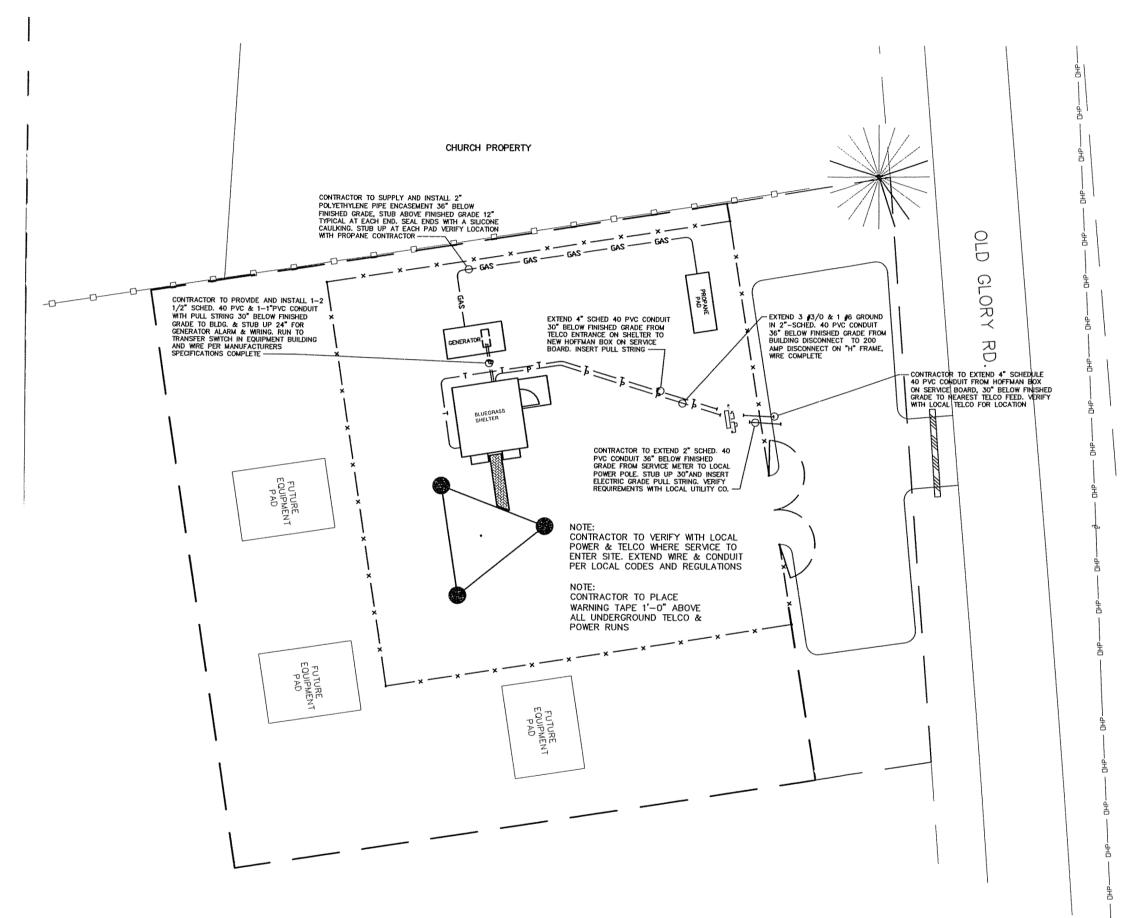


BLUEGRASS CELLULAR, INC. STANDARD CELLULAR SITE **ZULA**

DRAWN BY:

R. BECKER
ISSUE DATE:
7-17-06
SCALE:
LISTED

SHEET NUMBER
ANTENNA
DETAILS
2



GENERAL ELECTRICAL NOTES:

- 1) CONTRACTOR RESPONSIBLE FOR MAKING ALL ARRANGEMENTS WITH THE LOCAL UTILITIES FOR SERVICE AND FEE PAYMENTS REQUIRED TO OBTAIN SERVICE.
- 2) CONTRACTOR RESPONSIBLE FOR MAKING ALL ARRANGEMENTS WITH THE LOCAL TELEPHONE COMPANY FOR SERVICE AND FEE PAYMENTS REQUIRED TO
- 3) GROUND RING TO BE CONTAINED WITH IN THE COMPOUNDS FENCED AREA.
- 4) FENCE TO BE GROUNDED FROM GROUND RING TO ALL CORNER POST & GATES. SPACE FENCE GROUNDING APPROXIMATELY 20'-0" O/C. (CADD WELD ALL CONNECTIONS)
- 5) ALL GROUND RING CONNECTIONS TO BE AS CLOSE AS PÓSSIBLE, SHARP BENDS WILL NOT BE PERMITTED AS WELL AS "T" CONNECTIONS. ALL CONNECTIONS TO HAVE A SWEEPING RADIUS OF 8" MINIMUM. GROUNDING CONFIGURATION TO BE IN PARALLEL.
- 6) CONTACT POINTS FOR GROUNDING TO BE CLEANED OF ANY RUST, PAINT, DIRT, ETC. TO CREATE A GOOD BOND FOR CONDUCTOR. AREA THAT HAS BEEN CLEANED TO BE RESEALED TO PREVENT RUSTING.
- 7) PROPERLY GROUND ANY EXPOSED METAL THAT MAY EXIST ON EXTERIOR OF EQUIPMENT SHELTER OR CABINET.
- 8) WHERE GROUND CONDUCTORS REQUIRE MECHANICAL BONDING, STAINLESS STEEL CONNECTORS ARE REQUIRED AT EACH CONNECTING POINT USING LOCK WASHERS.
- 9) CONTRACTOR RESPONSIBLE FOR SEEING THAT UTILITY PERSONNEL MAKE FINAL CONNECTIONS, MAKING SURE THE TOWER ALARM IS CONNECTED AND WORKING. A TELEPHONE NUMBER FOR THE ALARM MUST BE SUPPLIED.
- 10) CONTRACTOR RESPONSIBLE FOR MEG TESTING THE SITE AND SUPPLYING OWNER WITH FINAL READINGS IN OWNERS

CONTRACTOR TO PROVIDE WARNING TAPE IN TRENCHES FOR ALL POWER AND TELCO RUNS UNDER GROUND. TAPE TO BE INSTALLED 1'-0" ABOVE CONDUIT RUNS.

SYMBOLS LEGEND POWER GAS TELEPHONE - FENCE SWITCH (DISCONNECT) METER PACK

SITE PLAN- ELECTRICAL

SCALE: 1/16" = 1'-0"





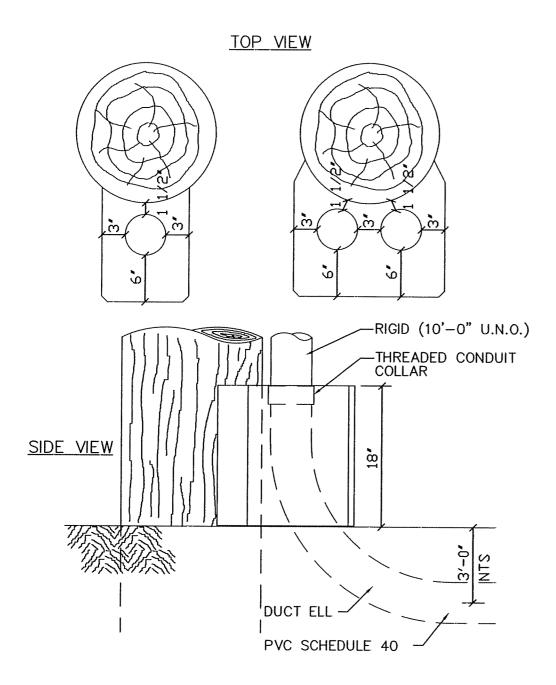
INC. STE

BLUEGRASS CELLULAR, II STANDARD CELLULAR SI **ZULA**

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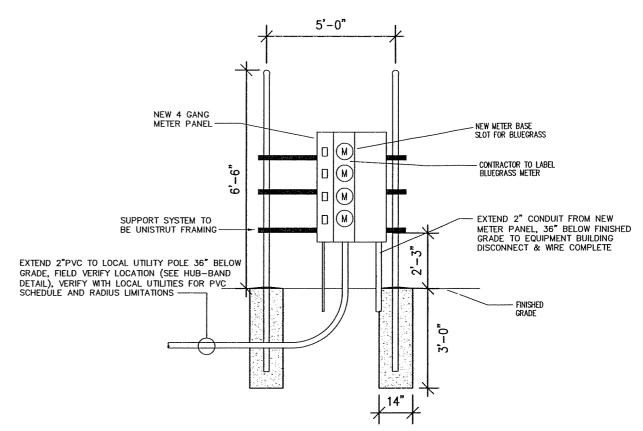
SHEET NUMBER

E-1



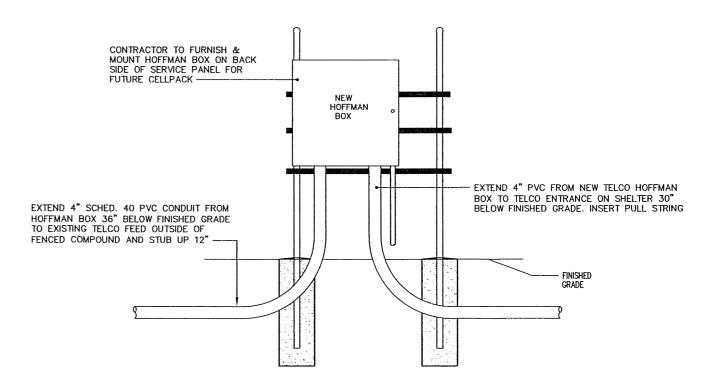
HUB-BAND DETAIL

NO SCALE



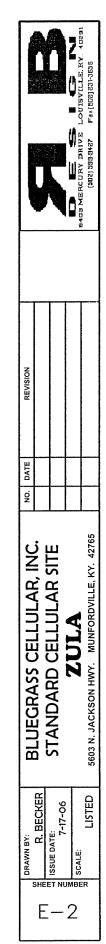
SERVICE BOARD DETAIL

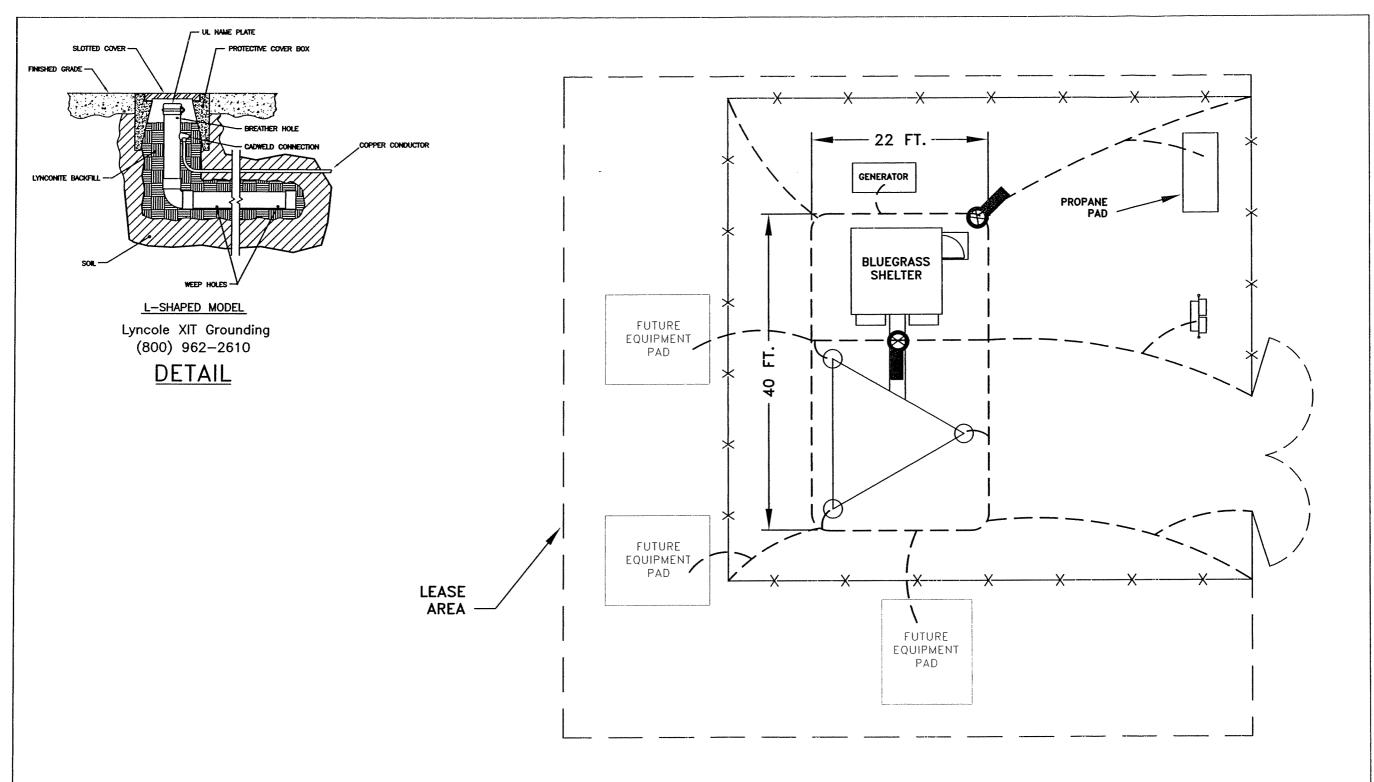
NO SCALE



BACKBOARD DETAIL

NO SCALE





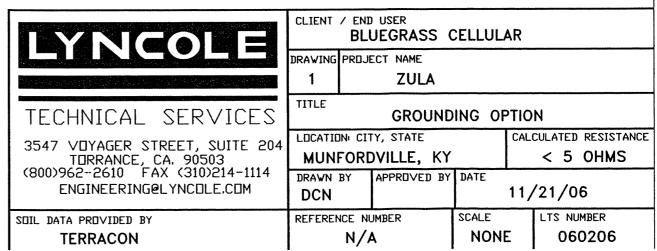
NOTES:

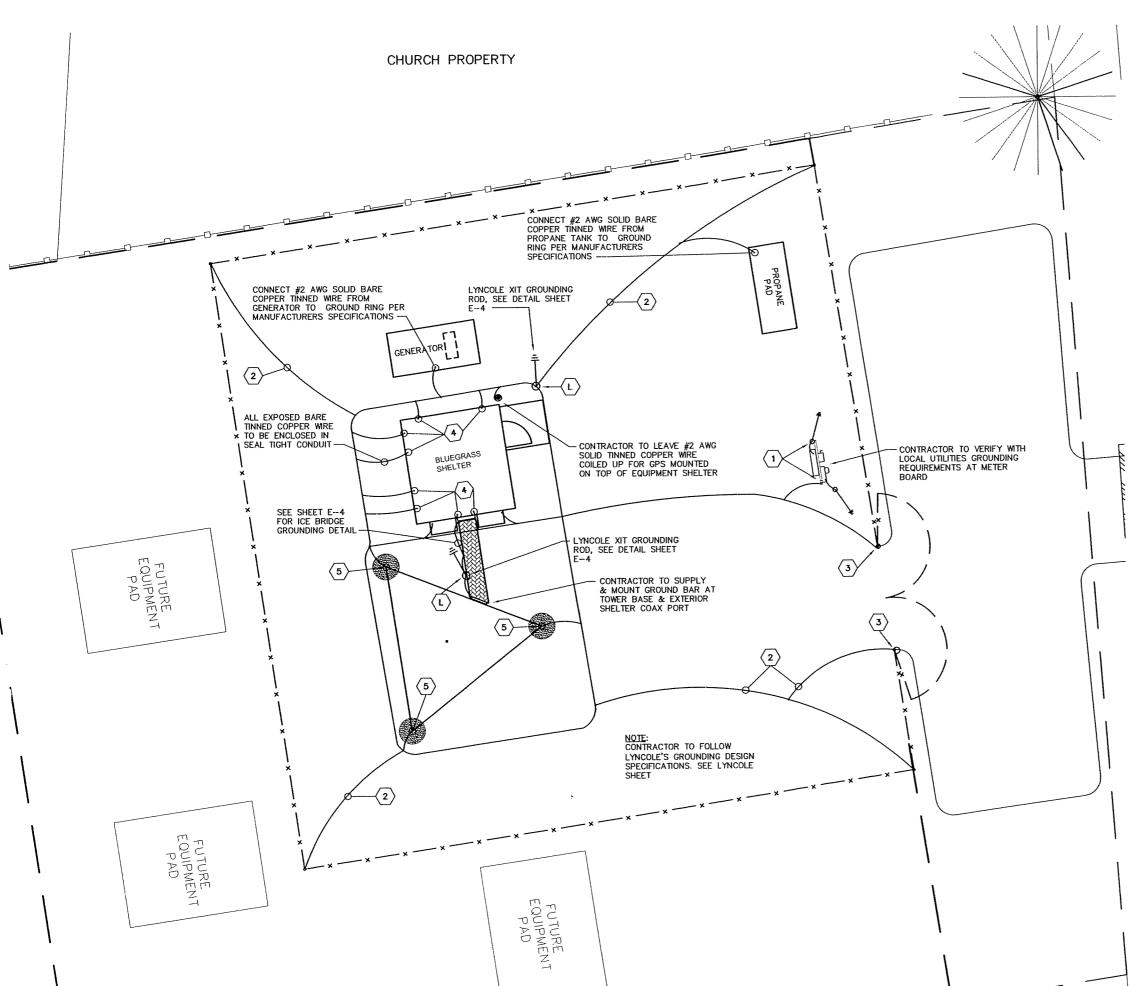
BARE #2 TINNED SOLID COPPER CONDUCTOR BURIED 30 IN. BELOW GRADE OR 6 IN. BELOW FROST LINE

ALL BENDS IN GROUND CONDUCTOR TO BE MADE

K2L-10CS (SEE DETAIL)

WITH MIN. 12 IN. RADIUS





GENERAL ELECTRICAL NOTES:

- 1) CONTRACTOR RESPONSIBLE FOR MAKING ALL ARRANGEMENTS WITH THE LOCAL UTILITIES FOR SERVICE AND FEE PAYMENTS REQUIRED TO
- 2) CONTRACTOR RESPONSIBLE FOR MAKING ALL ARRANGEMENTS WITH THE LOCAL TELEPHONE COMPANY FOR SERVICE AND FEE PAYMENTS REQUIRED TO
- 3) GROUND RING TO BE CONTAINED WITH IN THE COMPOUNDS FENCED AREA.
- 4) FENCE TO BE GROUNDED FROM GROUND RING TO ALL CORNER POST & GATES. SPACE FENCE GROUNDING APPROXIMATELY 20'-0" O/C (CADD WELD ALL CONNECTIONS)
- 5) ALL GROUND RING CONNECTIONS TO BE AS CLOSE AS POSSIBLE, SHARP BENDS WILL NOT BE PERMITTED AS WELL AS "T" CONNECTIONS. ALL CONNECTIONS TO HAVE A SWEEPING RADIUS OF 8" MINIMUM. GROUNDING CONFIGURATION TO BE IN PARALLEL.
- 6) CONTACT POINTS FOR GROUNDING TO BE CLEANED OF ANY RUST, PAINT, DIRT, ETC. TO CREATE A GOOD BOND FOR CONDUCTOR. AREA THAT HAS BEEN CLEANED TO BE RESEALED TO PREVENT RUSTING.
- 7) PROPERLY GROUND ANY EXPOSED METAL THAT MAY EXIST ON EXTERIOR OF EQUIPMENT SHELTER OR CABINET.
- 8) WHERE GROUND CONDUCTORS REQUIRE MECHANICAL BONDING, STAINLESS STEEL CONNECTORS ARE REQUIRED AT EACH CONNECTING POINT USING LOCK WASHERS.
- 9) CONTRACTOR RESPONSIBLE FOR SEEING THAT UTILITY PERSONNEL MAKE FINAL CONNECTIONS, MAKING SURE THE TOWER ALARM IS CONNECTED AND WORKING. A TELEPHONE NUMBER FOR THE ALARM MUST BE SUPPLIED.
- 10) CONTRACTOR RESPONSIBLE FOR MEG TESTING THE SITE AND SUPPLYING OWNER WITH FINAL READINGS IN OWNERS SPECIFICATIONS.

NOTE: CONTRACTOR TO PROVIDE WARNING TAPE IN TRENCHES FOR ALL POWER AND TELCO RUNS UNDER GROUND. TAPE TO BE INSTALLED AT 9" BELOW GRADE.

NOTE:
CONTRACTOR TO FOLLOW LYNCOLES GROUNDING SPECIFICATIONS WHEN USING THEIR XIT GROUNDING RODS. SEE DETAIL SHEET E-4.

- $\begin{picture}(10,0)\put(0,0){\line(10,0){10}}\put(0,0)$
- (1) GROUNDING RODS 10"-0" LONG x 3/4" COPPER BONDED GROUND RODS (TYPICAL) SPACING OF RODS INDICATED ON PLANS. INSPECTION SLEEVE TO
- (2) INSTALL AND PROVIDE SOLID BARE TINNED COPPER WIRE #2 AWG, GROUND RING BELOW GRADE 30". USE #2 AWG SOLID BARE TINNED COPPER GROUND TAP" CONNECTING CONDUCTORS. (CONNECTIONS FOR ALL TAP CONDUCTORS TO BE PARALLEL AND "CAD WELD" CONNECTIONS)
- (3) FLEXIBLE GROUNDING STRAP TO BE USED TO PROVIDE A COMMON BOND BETWEEN GATE AND CHAIN LINK FENCE, #2 AWG SOLID COPPER BARE TINNED CONDUCTOR FROM GROUND RING TO FENCE USING CAD WELD CONNECTIONS. GROUND TAP TO BE PROVIDED ON EACH 4 SIDES TO GROUND RING AS DESCRIBED ABOVE.
- (4) BONDED GROUND TO BE PROVIDED TO GROUND RING FOR EACH OF THE FOLLOWING: BUILDING STEEL, HATCH PLATE, EMERGENCY RECEPTACLE, WAVE GUIDE STRUCTURE, FRAME WORK, BUILDING DISCONNECT.
- (5) FOR TOWER FRAME GROUNDING, REMOVE GALVANIZED COATING COMPLETELY AT SPOT TO "CAD WELD" TO AND CLEAN. #2 AWG SOLID BARE TINNED COPPER CONDUCTOR TO BE CAD WELDED APPROXIMATELY 1'-O" ABOVE FOUNDATION OR AT FLANGE IF PROVIDED BY TOWER MANUFACTURER. EXTEND CONDUCTOR TO GROUND RING. RIGHT ANGLES NOT ACCEPTED ALL BENDS TO BE SWEEPING.

SITE PLAN-GROUNDING

SCALE: 1/16" = 1'-0"



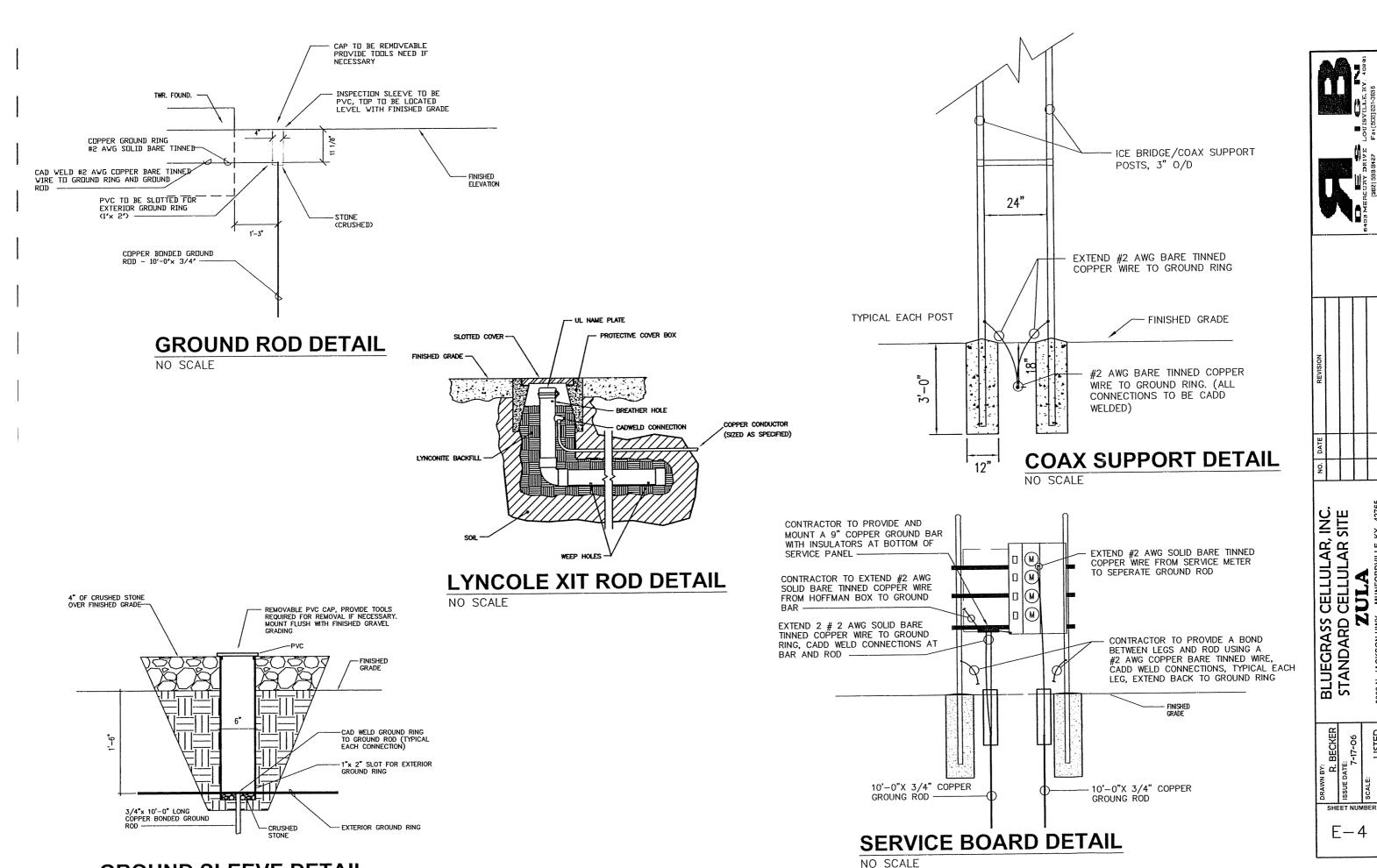
REVISION		
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INC. SITE

BLUEGRASS CELLULAR, II STANDARD CELLULAR SI **ZULA**

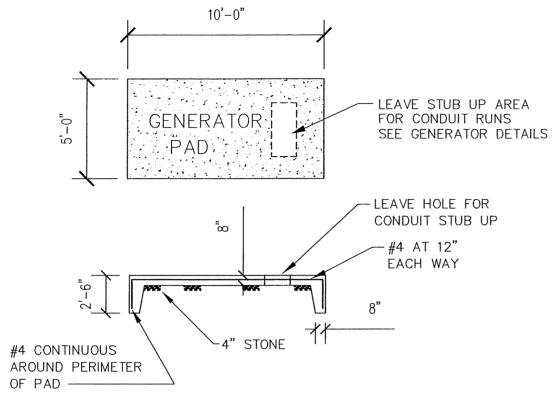
BECKER 7-17-06 R. E SHEET NUMBER

E-3



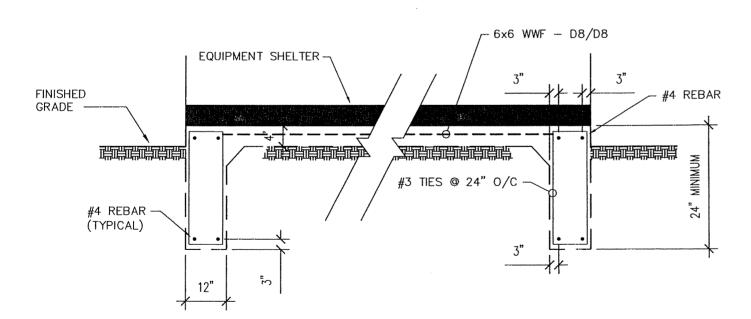
GROUND SLEEVE DETAIL

NO SCALE



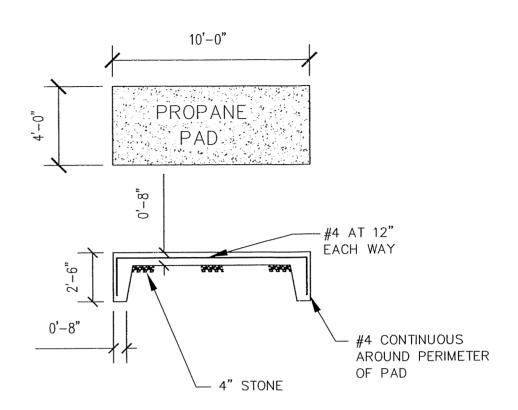
FOUNDATION DETAIL

NO SCALE



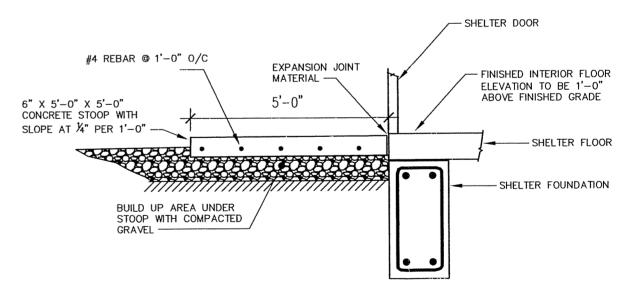
SHELTER FOUNDATION PLAN

NO SCALE



FOUNDATION DETAIL

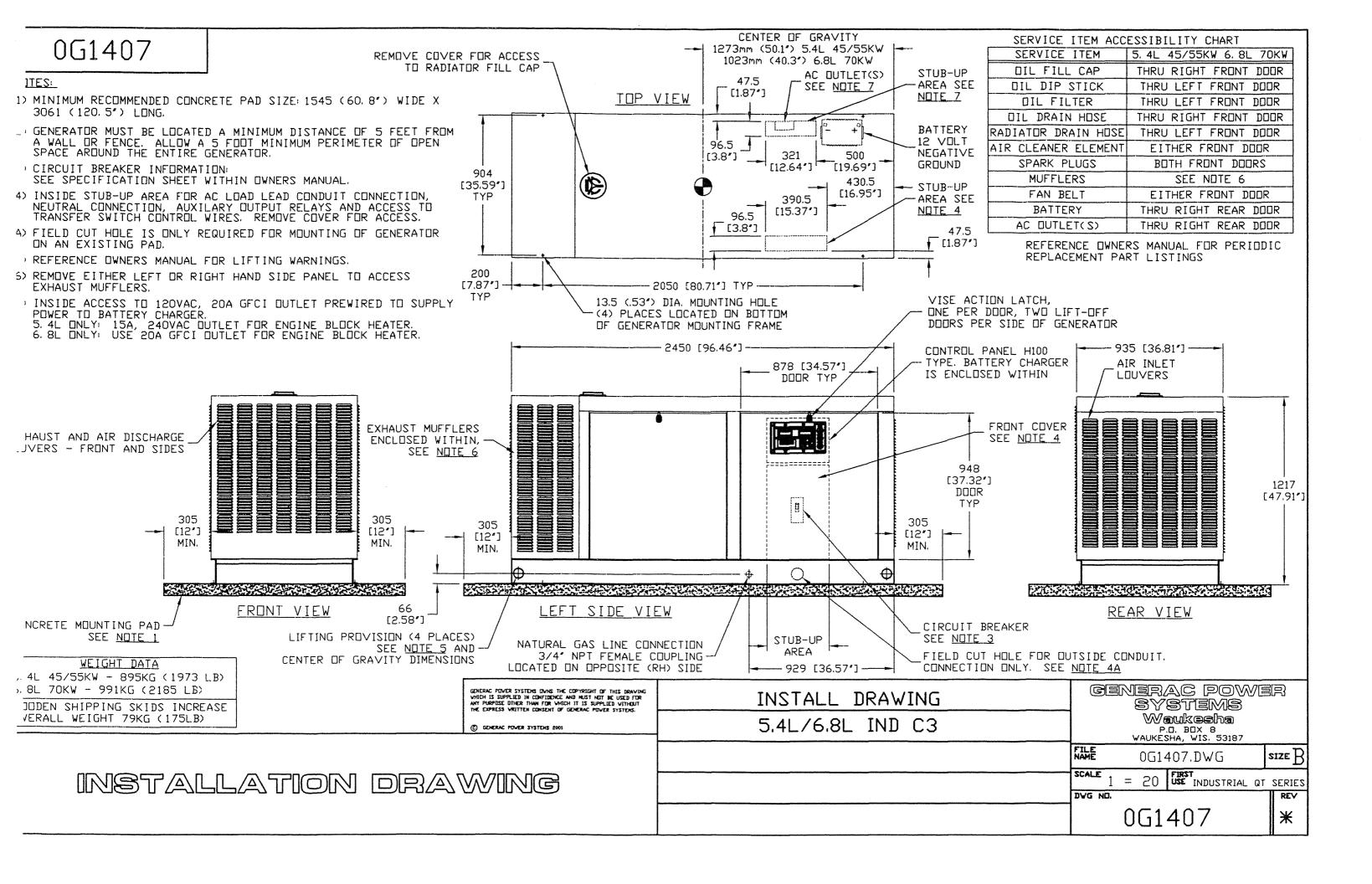
NO SCALE



CONCRETE STOOP DETAIL

NO SCALE





GENERAL NOTES:

- 1) THE CONTRACTOR IS RESPONSIBLE FOR EQUIPMENT PICK UP DELIVERY TO SITE, ERECTION OF TOWER, AND CRANE SET, ALL COSTS FNCURRED.
- 2) THE CONTRACTOR IS RESPONSIBLE FOR VISITING THE SITE PRIOR TO BIDDING AND REVIEWING EXISTING STRUCTORS OR UTILITIES THAT MIGHT BE LOCATED ON OR AROUND THE COMPOUND THAT COULD INTERFERE.
- 3) THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING LOCAL AUTHORITIES NECESSARY FOR INSPECTIONS IF REQUIRED, PLEASE PROVIDE AMPLE NOTICE.
- 4) THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING PERSONS RESPONSIBLE FOR ANY MATERIALS TESTING, PLEASE PROVIDE AMPLE NOTICE.
- 5) THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE OWNER WITH FINAL TEST RESULTS ON ALL MATERIALS TESTING. IF ANY PROBLEMS ARE FOUND PRIOR TO FINAL RESULTS PLEASE NOTIFY A&E OR OWNER IMMEDIATELY
- 6) THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO ADJOINING PROPERTY, AND REPAIRING OR REPLACING WHAT IS NECESSARY TO OWNERS APPROVAL.
- 7) THE CONTRACTOR IS TO VERIFY DIMENSIONS ON SITE PRIOR TO CONSTRUCTION STARTING, ANY PROBLEMS OR CHANGE FOUND CONTACT A&E OR OWNER TO VERIFY.
- 8) THE CONTRACTOR IS RESPONSIBLE FOR ANY TEMPORARY LIGHTING ON THE TOWER AND CONTACTING PROPER AUTHORITY IF ANY LIGHTING PROBLEMS OCCUR, ALL FINAL LIGHTING TO BE MOUNTED ON TOWER DURING CONSTRUCTION, NOTIFY OWNER WHEN TOWER HAS REACHED FINAL HEIGHT.
- 9) THE CONTRACTOR IS RESPONSIBLE FOR ALL ON SITE WORK MEANS AND METHODS, WORK TO BE DONE IN COMPLIANCE WITH OSHA RULES AND REGULATIONS.
- 10) THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL SITE DRAINAGE, AND PROVIDING SILT AND EROSION CONTROL NECESSARY TO MAINTAIN ANY RUN OFF.
- 11) THE CONTRACTOR RESPONSIBLE FOR ANY SEED AND STRAW NECESSARY TO DAMAGED AREAS.
- 12) CONTRACTOR TO GRADE SMOOTH OR REPAIR ANY POT HOLES OR DITCHING ON PROPERTY OR ROAD THAT HAS OCCURRED DURING CONSTRUCTION AT CONTRACTORS EXPIENCE.
- NOTE: UPON COMPLETION OF ALL CONSTRUCTION WORK, THE CONTRACTOR WILL BE RESPONSIBLE FOR SUBMITTING CLOSEOUT DOCUMENTATION ON DISK FORMAT ONLY, CONTAINING THE FOLLOWING CLOSE OUT DOCUMENTATION:
 - ASBUILT CONSTRUCTION DRAWINGS
 - * SWEEP TEST
 - * GROUND TEST USING BLUEGRASS FORM
 - * ELECTRICAL COMPLIANCE CERTIFICATE (LEGIBLE COPY)
 - * BUILDING PERMIT
 - * SITE PHOTOS (ALL SIDES) PREFERABLY ON DISK

"BEFORE YOU DIG"

THE CONTRACTOR'S ATTENTION IS DIRECTED TO THE UTILITY PROTECTION CENTER, PHONE 1-800-752-6007, WHICH WAS ESTABLISHED TO PROMDE ACCURATE LOCATIONS OF UNDERGROUND UTILITIES. THE CONTRACTOR SHALL NOTIFY THE UTILITY PROTECTION CENTER 48 HOURS IN ADVANCE OF ANY CONSTRUCTION ON THIS PROJECT. ALL NEW SERVICE AND GROUNDING TRENCHES PROVIDE A WARNING TAPE © 12 INCHES BELOW GRADE.

GRADING & EXCAVATING NOTES:

- 1) ANY DAMAGE TO EXISTING UTILITIES, STRUCTURES, ROADS AND PARKING AREAS TO BE REPAIRED OR REPLACED TO OWNERS SATISFACTION.
- 2) PREPARATION FOR FILL:
 REMOVAL OF ALL DEBRIS, WET AND UNSATISFACTORY SOIL
 MATERIALS, TOPSOIL, VEGETATION, AND HARMFUL MATERIALS
 FROM SURFACE OF GROUND PRIOR TO PLOWING, STRIPPING,
 PLACING FILLS OR BREAKING UP OF SLOPED SURFACES
 GREATER THAN 1 VERTICAL TO 4 HORIZONTAL SO MATERIAL
 FOR FILL WILL BOND WILL BOND TO EXISTING SURFACE. WHEN
 AREA TO RECEIVE FILL HAS A DENSITY LESS THAN
 REQUIRED, BREAK UP GROUND SURFACE TO DEPTH
 REQUIRED, AERATE, MOISTURE CONDITION, OR PULVERIZE
 SOIL AND RECOMPACT TO REQUIRED DENSITY.
- 3) BACK FILLING:
- EXCAVATED AREA SHALL BE CLEARED FROM STONES OR CLODS OVER 2 1/2" MAXIMUM SIZE.
- SHALL BE PLACED IN LAYERS OF 6" AND COMPACTED TO A 95% STANDARD PROCTOR, USE A 90 PROCTOR IN GRASSED / LANDSCAPED AREAS WHERE REQUIRED.
- SHALL BE APPROVED MATERIALS CONSISTING OF SANDY CLAY, GRAVEL AND SAND, SOFT SHALE, EARTH OR LOAM. CONSULT WITH ENGINEER PRIOR TO FILL BEING ADDED.
- 4) ALL MATERIAL FOR FILL TO BE APPROVED BY ENGINEER AND ALL COMPACTING TEST TO BE COMPLETED TO SPEC'S ALL COMPACTING RESULTS TO BE TURNED OVER TO OWNER.
- 5) AFTER COMPLETION OF BELOW GRADE EXCAVATING, AREA TO BE CLEANED AND CLEARED OF ANY UNSUITABLE MATERIAL SUCH AS, TRASH, DEBRIS, VEGETATION AND SO FORTH COMPLETE.
- 6) ANY EXCAVATING IN WHICH CONCRETE IS TO BE PLACED SHALL BE SUBSTANTIALLY HORIZONTAL ON UNDISTURBED AND UNFROZEN SOIL AND BE FREE OF ANY LOOSE MATERIAL AND EXCESS GROUND WATER.
- 7) IF SOUND SOIL IS NOT REACHED AT DESIGNATED EXCAVATION DEPTH, THE POOR SOIL IS TO BE EXCAVATED TO ITS FULL DEPTH AND EITHER REPLACED WITH MECHANICALLY COMPACTED GRANULAR MATERIAL OR THE EXCAVATION TO BE FILLED WITH THE SAME QUALITY CONCRETE SPECIFIED FOR THE FOUNDATION. PLEASE CONTACT OWNER & ENGINEER FOR RECOMMENDATIONS.
- 8) MECHANICALLY COMPACTED GRANULAR MATERIAL OR CONCRETE OF THE SAME QUALITY SPECIFIED FOR THE FOUNDATIONS TO BE USED IF EXCAVATION EXCEEDED THE OVERALL REQUIRED DEPTH. FOR STABILIZATION OF THE BOTTOM OF THE EXCAVATION, CRUSHED STONE MAY BE USED. STONE, IF USED, SHALL NOT BE USED AS COMPILING CONCRETE THICKNESS. PLEASE CONTACT ENGINEER FOR RECOMMENDATIONS.

NOTE: GENERAL CONTRACTOR MUST HAVE A MINIMUM 2 LABORERS ON SITE DURING ANY PHASE OF CONSTRUCTION FOR EMPLOYEE SAFETY PRECAUTIONS.

NOTE: THIS SCOPE OF WORK IS A BASIC OUTLINE FOR THE GENERAL CONTRACTOR TO FOLLOW AND DOES NOT EXCLUDE OTHER DUTIES ASSOCIATED WITH THE GENERAL CONTRACTORS RESPONSIBILITIES TO COMPLETE THE CELLULAR SITE. IT IS RECOMMENDED THAT THE SPECIFICATIONS MANUAL BE READ PRIOR TO CONSTRUCTION. SEE RSB DESIGN IF SPECIFICATIONS MANUAL IS NEEDED. 502-599-9427

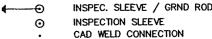
NOTE: CONTRACTOR TO SUPPLY AND INSTALL 1-30 GALLON TRASH CAN INSIDE EQUIPMENT SHELTER WITH SUPPLY OF TRASH BAGS IN BOTTOM. (COLOR OPTIONAL)

- INSTALL CONCRETE PADS FOR BUILDING, PROPANE TANK, GENERATOR PAD.
- * INSTALL ELECTRIC AND GROUND FIELD FOR COMPOUND.
- * EXCAVATION TO COMPOUND TO INCLUDE WEED CONTROL MAT.
- * SITE TO HAVE PROPER DRAINAGE & EROSION CONTROL
- . (CROWNED FORMATION)
- * GC WILL BE RESPONSIBLE FOR ALL CRANE OPERATIONS IN ORDER TO SET FIBREBOND BUILDING. COORDINATE BUILDING DELIVERY DATE THROUGH BLUEGRASS CELLULAR.
- * GC WILL BE RESPONSIBLE FOR REPAIR OF ALL AREAS DISTURBED DURING CONSTRUCTION. (EXCAVATING ISSUES)
- * GC WILL BE RESPONSIBLE FOR OFF LOADING AND STACKING OF TOWER WHEN APPLICABLE.
- * GC WILL BE RESPONSIBLE FOR MOUNTING ALL LINES AND ANTENNAS.
- * GC WILL BE RESPONSIBLE FOR SUPPLYING AND INSTALLING ICE BRIDGE.
- * GC WILL BE RESPONSIBLE FOR SCHEDULING PROPANE TANK DELIVERY AND HOOK-UP.
- * GC WILL BE RESPONSIBLE FOR CLEANING THE INSIDE OF BUILDING BEFORE I HAND SITE OVER TO OPERATIONS DEPARTMENT. THIS WILL INCLUDE SUPPLYING TRASHCAN, TRASH BAGS, BROOM, AND DOORMAT FOR BUILDING.
- * GC WILL BE RESPONSIBLE FOR APPLYING FOR ELECTRICAL SERVICE AND PAYING NECESSARY FEES REQUIRED.
- * ALL WAREHOUSE MATERIAL (LINES, ANTENNAS, MOUNTING HARDWARE, GENERATOR, TOWER FOUNDATION KIT, ETC.) WILL NEED TO BE PICKED UP BY GC.
- * ALL ALARMS WILL NEED TO BE HOOKED UP BY GC, THIS IS TO INCLUDE: GENERATOR ALARM AND TOWER LIGHT ALARM. (TO BLUEGRASS CELLULAR INC. ALARM BLOCK)
- * GC WILL BE RESPONSIBLE FOR SCHEDULING GENERATOR START-UP WITH CONTACT SCOTT ANDERSON (EVAPAR) 502-267-6315
- * T1 CONDUIT WILL NEED TO BE PLACED FROM POLE TO BUILDING. (IF A MICROWAVE DISH IS USED, THE T1 CONDUIT WILL STILL BE INSTALLED FOR FUTURE USE.)
- * GC WILL BE RESPONSIBLE FOR INSTALLATION OF ALL FENCING.
- * ALL TRASH AND DEBRIS TO BE REMOVED BY GC
- * GC TO SEPERATE ALL MATERIALS & LABOR IN BID.
- * CONTRACTOR TO BREAK DOWN BIDS USING THE FOLLOWING LINE ITEMS:
 - * ROAD
 - * FENCE
 - * COMPOUND DEVELOPMENT
 - * BUILDING, PROPANE, AND GENERATOR FOUNDATIONS
 - * GROUNDING
 - * TELCO
 - * ELECTRIC
 - BUILDING SET
 - * ICE BRIDGE
 - * TOWER FOUNDATION
 - * TOWER ERECTION
 - . LINE INSTALL
 - ANTENNA INSTALL
 - PERMITS

SYMBOLS LEGEND

(-)

KEYNOTE



Т

TRANSFORMER

LIGHTNING SUPPRESSOR
SWITCH (DISCONNECT)

M METER PACK

TELEPHONE
SSD-STORM SEWER DRAIN

- FENCE





NO. DATE REVISION

BLUEGRASS CELLULAR, INC. STANDARD CELLULAR SITE ZULA

R. BECKER
SSUE DATE:
7-17-06
SCALE:

General Notes

Landmark Surveying Co., Inc.

Darren L. Helms, R.L.S., PRESIDENT Dennis N. Helms, R.L.S., VICE PRESIDENT



15 N.E. 3rd Street
Washington, Indiana 47501
Phone: 812-257-0950
Fax: 812-257-0953
E-mail: landmark@dmrtc.net

Directions to the Site From the County Seat of Wayne County, Kentucky

Zula Site Wayne County, Kentucky

From the Wayne County courthouse in Monticello, Kentucky: travel West 1 block on Business Kentucky Highway 90 to the intersection of Kentucky Highway 92; turn right onto Kentucky Highway 92 and travel North for 1.35 miles to Kentucky Highway 90; turn left onto Kentucky Highway 90 and travel Southwesterly for 8.3 miles to Old Glory School Road; turn right onto Old Glory School Road and travel North for 0.1 miles to the top of the hill and the site on the West side of the road next to the Central Union Separate Baptist Church.

Darren L. Helms, Kentucky Professional Land Surveyor No. 3386

SEPT. 28, 2004

Date

STATE OF KENTUCKY

DARREN L. HELMS

3386

LICENSED

PROFESSIONAL

LAND SURVEYOR

			•
			,

606-348-2248 Kerry

Site: Zula

OPTION TO LEASE AND LEASE AGREEMENT

I.

OPTION TO LEASE REAL PROPERTY

entered into this 7 day of June, 2006, by and between Bobby E. Bertram and his wife Margaret Faye Bertram whose address is P.O. Box 315, Alpha, Kentucky 42603 (the "Optionor (s)" and Cumberland Cellular Partnership, d/b/a Bluegrass Cellular, a Kentucky general partnership with principal office and place of business at 2902 Ring Road, Elizabethtown, KY 42701 (the "Optionee").

WITNESSETH:

WHEREAS, the Optionor(s) is the owner of certain real property located in Wayne County, **Kentucky** as more particularly described on Exhibit A attached hereto and incorporated herein by reference (the "Property"); and

WHEREAS, the Optionor(s) wishes to grant to the Optionee, and the Optionee wishes to obtain from the Optionor(s), an option to lease the Property upon the terms and conditions set forth herein;

NOW, THEREFORE, in consideration of the foregoing premises and for other good and valuable consideration, the mutuality, receipt and sufficiency of which are hereby acknowledged, the parties hereto do agree as follows.

In consideration of **One Thousand Eight Hundred Dollars and Zero Cents** (\$1,800.00) paid by the Optionee to the Optionor(s) (the "Option Consideration"), the receipt of which is hereby acknowledged by the Optionor(s), the Optionor(s) hereby grants to the Optionee an exclusive and irrevocable option to lease the Property (the "Option"), upon the terms and conditions hereinafter set forth, upon the exercise of the Option at any time before 4:00 p.m. prevailing time on <u>12-7-07</u>, (the "Option Period") as set forth in Paragraph 5 thereof.

One Hundred Foot by One Hundred Foot area, and that a right of way will be given by the Optionor(s) for the purposes of ingress and egress throughout the term of the lease. The Optionee shall obtain an accurate survey of the Property by a registered land surveyor licensed in the Commonwealth of Kentucky at the sole expense of the Optionee. A copy of the survey shall be provided to the Optionor(s). The description of the Property shall include the number of acres determined by the

surveyor. The Optionee shall obtain said survey within a reasonable time following the date of the Option Agreement.

- 3. During the term of the Option, the Optionee may enter onto the Property at its own risk to obtain soil samples and to bore soil for the purposes of determining the suitability of the Property for a communications tower.
- 4. Upon the Optionee's proper exercise of the Option in accordance with Paragraph 5 hereof, the Optionor(s) shall be deemed to have immediately executed, acknowledged and delivered to the Optionee the Lease Agreement contained in Section II hereof. The description of the Property shall be that determined by the registered land surveyor in accordance with Paragraph 2 hereof.
- 5. If the Optionee elects to exercise the Option in accordance with the terms hereof, notice of such election shall be deemed sufficient if personally delivered or sent by registered or certified mail, return receipt requested, to the address of the Optionor(s) set forth in Paragraph 14 hereof.
- 6. The Optionor(s) agrees not to sell, lease or offer for sale or lease the Property during the term of this Option or any renewal or extension of the Option.
- 7. In the event the Optionee fails to exercise the Option as set forth herein (unless such failure is due to the discovery of a defect in the Property or other matter unsatisfactory to the Optionee), the Optionor(s) shall have the right to retain the Option Consideration.
- 8. The Optionee may assign this Option with written consent of the Optionor(s), which consent shall not be unreasonably withheld, and upon any assignment such assignee

shall have all the rights, remedies and obligations as if it were the original Optionee hereunder. From and after any such assignment, the term "Optionee" shall refer to such assignee.

- 9. Each party hereto shall bear any and all of its own expenses in connection with the negotiation, execution or settlement of this Option.
- 10. Risk of loss with respect to the Property during the term of this Option and during the term of the lease shall be upon the Optionor(s). If, during the term of the Option, any portion of the Property shall be acquired by public authority under the right or threat of eminent domain, the Optionee may, at its sole option, either (i) exercise the Option, and in such event, all sums received from the public authority by the Optionor(s) by reason of the taking of a portion of the Property shall reduce the rent due under the lease, or (ii) terminate this Option and thereupon the Optionor(s) shall be obligated to return to the Optionee the full amount of the Option Consideration previously paid to the Optionor(s) in "good and collected funds."
- 11. The parties hereto represent to each other that neither has engaged any broker to represent their interests in connection with the transactions contemplated hereby, and each agrees to indemnify the other against any and all claims made by any brokers engaged or purported to be engaged by the other for brokerage commissions or fees in connection with the transactions contemplated hereby.
- 12. The Optionor(s) represents, warrants and covenants to the Optionee that the Optionor(s) has not caused or permitted, and shall not cause or permit, and to the best of Optionor(s)' knowledge no other person has caused or permitted any hazardous material (as defined by any applicable federal, state or local law, rule or regulation) to

be brought upon, placed, held, located or disposed of at the Property. In the event any such contamination occurs for which the Optionee becomes legally liable, the Optionor(s) shall indemnify the Optionee against all claims, damages, judgments, penalties and costs and expenses, including reasonable attorneys' fees, which Optionee may incur.

- 13. This Option Agreement and the rights and obligations of the parties hereto shall be construed in accordance with the laws of the Commonwealth of Kentucky.
- 14. For the purposes of giving notice as permitted or required herein, the address of the Optionor(s)shall be: P.O. Box 315, Alpha, KY 42603; the Optionee's address shall be: 2902 Ring Road, Elizabethtown, KY 42701.
- 15. The Optionee shall have the right, in its sole discretion, to record this Option in the Office of the Clerk of the County Court of **Wayne** County, **Kentucky**.

II.

LEASE AGREEMENT

- 16. In the event the Optionee elects to exercise the Option to lease the Property, the terms of the Lease Agreement ("Lease Agreement" or "Lease") shall become immediately effective upon such exercise and shall be as follows.
 - 1. The term of the Lease shall commence on the date that the Optionor(s) receives proper notice that the Optionee has exercised the Option, pursuant to Paragraph 5 therein. The initial term shall expire five (5) year(s) from the commencement date of the Lease Agreement and shall include three (3)

additional five (5)-year terms per the Lease Agreement. Optionee may, by providing written notice at least sixty (60) days prior to the expiration of the original or any renewal Lease term, elect to unilaterally terminate this Lease at the end of any original or renewal Lease term. Such notice must be personally delivered or sent via registered or certified mail, return receipt requested, to the address of the Optioner(s) set forth in Paragraph 14 hereof. The Lease amount shall be adjusted at the end of each term by an increase of 12%.

- 2. The Optionee shall pay to the Optionor(s) rent for the Property in the sum of **Four Thousand Eight Hundred Dollars and Zero Cents (\$4,800.00)** yearly, to be paid in advance. All rent payments shall be personally delivered or mailed to the Optionor(s) at the address set forth in Paragraph 14 hereof. Any check payment of the rent due under the Lease shall be payable to the order of Optionor(s).
- 3. The Optionee shall be entitled to use and occupy the Property for the purpose of erecting, maintaining and operating a communications tower and communications facilities thereon and for all such other uses as Optionee may, in its sole discretion, deem necessary in connection therewith.
- 4. The Optionor(s) shall be responsible for the payment of all real estate taxes which shall be assessed against the Property during the term of the lease. The Optionee shall pay all charges for heat, water, gas, electricity, sewer use charges and any other utility used or consumed on the Property. The Optionee shall, at its own cost and expense, maintain and keep in full force and effect during the term of the lease public liability insurance with coverage

in the amount of at least one million dollars (\$1,000,000.00) per person for bodily injury, disease, or death and shall maintain property insurance on any property the Optionee located on the Property.

- 5. The Optionee may assign the lease. The Optionee may sublet all or part of the space on the tower or ground space.
- 6. The Optionor(s) covenants that upon the Optionee's payment of the rent agreed upon herein, as well as Optionee's observing and performing all of the covenants and conditions contained in the Lease, the Optionee may peacefully and quietly enjoy the Property subject to the terms and conditions set forth in the Lease.
- 7. The Optionee agrees to maintain an access road in a passable manner for the term of the lease.
- 8. <u>Licensee's Payment of Taxes, Fees and Assessments</u>. Optionee shall pay directly to the applicable federal, state or local governmental unit or agency ("Governmental Entity") or to Optionor if Optionor is invoiced by such Governmental Entity, all taxes, fees, assessments or other charges assessed by any Governmental Entity directly against Optionee's Equipment and/or Optionee's use of the Facility. Optionee shall also pay to Optionor Optionee's Pro Rata Share of all taxes, fees, assessments or charges including, but not limited to, personal property taxes attributable to Optionee's equipment and antenna(s), municipal franchise fees, use fees, municipal application fees, installation fees and increases thereof. "Pro Rata Share" shall mean the fraction of decimal equivalent of dividing one (1) by the total

number of then existing users occupying a tower on the last day of the applicable calendar year.

- 17. This Option and Lease Agreement contains the entire agreement between the parties hereto and no modification or amendment shall be binding upon any party unless made in writing and signed by each of the parties hereto.
- 18. Upon the termination or other end of this Lease Agreement, Optionee shall have the right to remove any and all of its property (real or personal) from the Property regardless of whether or not such property may be considered a fixture thereto.
- 19. Upon abandonment of the property, Optionee shall have thirty (30) days to dismantle and remove the cellular antenna tower and any/all equipment located on Optionor's property.

[Remainder of Page Intentionally Left Blank]

EXECUTION OF AGREEMENT(S)

IN WITNESS WHEREOF, the parties	hereto have set their hands and affixed their
respective seals. Margaret Faye Bertran	
Date: 6-7-06 Bobby E. Bertlam	
Date: 6 - 4-0 6	Date: 6-12-06
("Optionor(s)")	("Optionee")
By: Bobby E and Mangaret Fage Bertram Property Owner(s)	By: Ron Smith Authorized Representative Cumberland Cellular Partnership
STATE OF Kuntucky	
COUNTY OF Line you	
The foregoing instrument was acknowledg	ed before me this $\frac{7^{11}}{1}$ day of $\frac{1}{1}$ day of $\frac{1}{1}$. 2006,
o)	to be morner free det and deed.
_4	Nesty m. Holey
	TARY PUBLIC STATE AT LARGE

My commission expires: 7-2-08

STATE OF Frentucky
COUNTY OF Wayne
The foregoing instrument was acknowledged before me this 7th day of June, 2006, by Bolly Margaret Dog Butam to be his/her free act and deed.
- Capping - The capping control to so morner the detailed decar.
- Mesty M. Goley
NOTARY PUBLIC STATE AT LARGE
My commission expires: 7-2-08
STATE OF KENTUCKY
COUNTY OF HARDIN
COUNTY OF HARDIN
The foregoing instrument was acknowledged before me this 12 day of,
2006, by Ron Smith , to be his free act and deed.
Juil Vice
NOTARY PUBLIC STATE OF LARGE
My commission expires: 1-21-09
This instrument prepared by:

John E. Selent

DINSMORE & SHOHL LLP

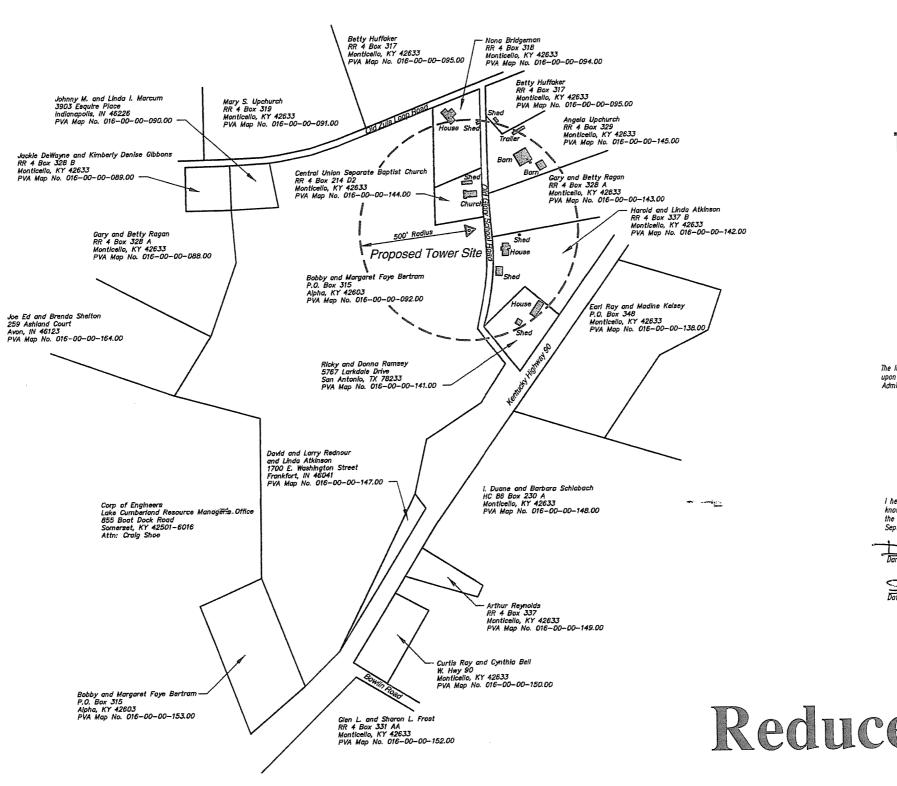
1400 PNC Plaza

500 West Jefferson Street

Louisville, KY 40202

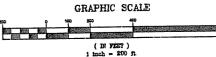
(502) 540-2300

Site: Zuia Wayne County, Kentucky 500-Foot Radius Map for Structures and Landowners





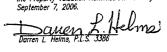
North



The location of the boundaries shown are approximate, and they are based upon the aerial photographs on file in the office of the Property Valuation Administrator of Wayne County, Kentucky.

Surveyor's Certification

I hereby certify that the information shown is correct to the best of my knowledge; and it is in accordance with the records found in the office of the Property Voluation Administrator of Wayne County, Kentucky on September 7, 2006.



SEPT. 28, ZOOG

STATE OF KENTUCKY

DARREN L. HELMS

2356

LICENBED

EPROFESSIONAL

Reduced Copy



42633 Мар \checkmark 330 Radius Вох 500-foot 4

Kentucky Route

42702 Cellular Kentucky Bluegrass (2902 Ring Road Elizabethtown, Ker

DATE REVISIONS

SHEET NO.

OF 1 SHEETS FILE NO.

zula radius.dwg

COMMONWEALTH OF KENTUCKY

BEFORE THE PUBLIC SERVICE COMMISSION

In the Matter of:

APPLICATION OF CUMBERLAND CELLULAR
PARTNERSHIP FOR ISSUANCE OF A CERTIFICATE
OF PUBLIC CONVENIENCE AND NECESSITY TO
CONSTRUCT A CELL SITE (ZULA) IN RURAL
SERVICE AREA #5 (WAYNE) OF THE COMMONWEALTH
OF KENTUCKY

CASE NO. 2006-00450

AFFIDAVIT OF JOHN E. SELENT

I, John E. Selent, being duly sworn, depose and state as follows:

- 1. My name is John E. Selent and I am a member of the Kentucky Bar Association.

 I am legal counsel to Cumberland Cellular Partnership and am submitting this affidavit in conjunction with the above referenced matter.
- 2. In order to demonstrate compliance with 807 KAR 5:063 §1(1)(1), Exhibit 1 identifies, with the exception of those individuals identified in paragraphs 4 and 5, the names of the residents/tenants and property owners within 500 feet of the proposed tower who have been:

 (i) notified by written notice of the proposed construction, sufficient postage prepaid, by United States Certified Mail, return receipt requested; (ii) given the Commission docket number under which the application will be processed; and (iii) informed of the right to request intervention.
- 3. Attached as Exhibit 2 is a copy of the United States Certified Mail return receipts that demonstrate proof of service of the written notice of the proposed construction upon (all of whom have street addresses): (1) the Corp of Engineers; (2) David and Larry Rednour and Linda Atkinson; (3) Joe and Brenda Shelton; and (4) Johnny and Linda Marcum. (See Exhibit 1.)
- 4. Attached as Exhibit 3 is a copy of the United States Express Mail return receipt that demonstrates proof of service of the written notice of the proposed construction upon (all of whom have P.O. Box addresses, and not street addresses): (1) Bobby and Margaret Bertram; (2)

Harold and Linda Atkinson; (3) Curtis and Cynthia Bell; (4) Nona Bridgeman; (5) Central Union Separate Baptist Church; (6) Glen and Sharon Frost; (7) Jackie and Kimberly Gibbons; (8) Betty Huffaker (9) Earl and Madine Kelsey; (10) Gary and Betty Ragan; (11) Arthur Reynolds; (12) Duane and Barbara Schlabach; (13) Angela Upchurch; and (14) Mary Upchurch. The addresses for these individuals are P.O. Boxes and therefore cannot be served by United States Certified Mail in compliance with 807 KAR 5:063 § 1(1) and (m). (See Exhibit 1.)

5. Affiant attempted to serve written notice of the proposed construction (see Exhibit 1) upon Ricky and Donna Ramsey (who have a street address and not a P.O. Box address) via United States Certified Mail pursuant to 807 KAR 5:063 § 1(1) and (m). Service of the written notice of the proposed construction to Mr. and Mrs. Ramsey was attempted via United States Certified Mail on October 26, 2006 and notice of the effort to do so was left at the Ramsey's address. As of today's date, Mr. and Mrs. Ramsey have neither physically claimed nor been served with written notice of the proposed construction via United States Certified Mail.

Further Affiant saith not.

John/E. Selle

)SS

COMMONWEALTH OF KENTUCKY

COUNTY OF JEFFERSON

SUBSCRIBED AND SWORN to before me this

day of December, 2006.

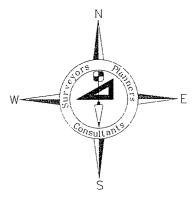
My commission expires:

Notary Public

•		

Landmark Surveying Co., Inc.

Darren L. Helms, R.L.S., PRESIDENT Dennis N. Helms, R.L.S., VICE PRESIDENT



15 N.E. 3rd Street
Washington, Indiana 47501
Phone: 812-257-0950
Fax: 812-257-0953
E-mail: landmark@dmrtc.net

Landowner and Adjacent Landowner List

Bluegrass Cellular Zula Site Wayne County, Kentucky

Harold and Linda Atkinson RR 4 Box 337 B Monticello, KY 42633

Curtis Ray and Cynthia Bell W. Hwy 90 Monticello, KY 42633

Bobby and Margaret Faye Bertram P.O. Box 315 Alpha, KY 42603

Nona Bridgeman RR 4 Box 318 Monticello, KY 42633

Central Union Separate Baptist Church RR 4 Box 214 D2 Monticello, KY 42633

Glen L. and Sharon L, Frost RR 4 Box 331 AA Monticello, KY 42633 Jackie DeWayne and Kimberly Denise Gibbons RR 4 Box 328 B Monticello, KY 42633

Betty Huffaker RR 4 Box 317 Monticello, KY 42633

Earl Ray and Madine Kelsey P.O. Box 348 Monticello, KY 42633

Johnny M. and Linda I. Marcum 3903 Esquire Place Indianapolis, IN 46226

Gary and Betty Ragan RR 4 Box 328 A Monticello, KY 42633

Ricky and Donna Ramsey 5767 Larkdale Drive San Antonio, TX 78233 David and Larry Rednour and Linda Atkinson 1700 E. Washington Street Frankfort, IN 46041

Arthur Reynolds RR 4 Box 337 Monticello, KY 42633

I. Duane and Barbara Schlabach HC 86 Box 230 A Monticello, KY 42633

Joe Ed and Brenda Shelton 259 Ashland Court Avon, IN 46123

Angela Upchurch RR 4 Box 329 Monticello, KY 42633

Mary S. Upchurch RR 4 Box 319 Monticello, KY 42633

Corp of Engineers Lake Cumberland Resource Manager's Office 855 Boat Dock Road Somerset, KY 42501-6016 Attn: Craig Shoe

Darren L. Helms, Kentucky Professional Land Surveyor No. 3386

SEPT. 28, 2006

*սուուուուուու*ն STATE OF KENTUCKY DARREN L. HELMS 3386 LICENSED PROFESSIONAL SLAND SURVEYOR

	·aj	

October 23, 2006

Corp of Engineers
Lake Cumberland Resource Manager's Office
Attn: Craig Shoe
855 Boat Dock Road
Somerset, KY 42501-6016

Public Notice

Cumberland Cellular Partnership is a Kentucky general partnership that markets its services as Bluegrass Cellular. Bluegrass Cellular has been serving Central Kentucky with wireless communications services for over 15 years.

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The Commission invites your comments regarding this proposed construction. Also, the Commission wants you to be aware of your right to intervene in this matter. Your comments and request for intervention should be addressed to:

Executive Director's Office
Public Service Commission of Kentucky
P.O. Box 615
Frankfort, Kentucky, 40602.

Please refer to case number 2006-00450 in your correspondence.

Bluegrass Cellular welcomes the opportunity to serve and provide wireless service in your community! (For more information, please check us out online at www.myblueworks.com)

SENDER: COMPLETE THIS SECTION	COMPLETE THIS SECTION ON DELIVERY	
 Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired. Print your name and address on the reverse so that we can return the card to you. Attach this card to the back of the mailpiece, or on the front if space permits. 	A. Signature A. Signature A. Signature A. Signature A. Agent A. Agent B. Received by (Printed Name) C. Date of Delivery C. Date of Delivery D. Is delivery aridress different from item 12. Yes	
Article Addressed to:	D. Is delivery address different from item 1? If YES, enter delivery address below: No	
Corp of Engineers		
Lake Cumberland Resource Manager's		
Attn: Craig Shoe		
855 Boat Dock Road	3. Service Type	
Somerset, KY 42501-6016	☑ Certified Mail ☐ Express Mail	
	☐ Registered ☐ Return Receipt for Merchandise ☐ Insured Mall ☐ C.O.D.	
	4. Restricted Delivery? (Extra Fee)	
2. Article Number 7006 215 (Transfer from service label)	0 0005 6274 8014	
PS Form 3811. February 2004 Domestic Retu	Irn Receipt 102595-02-M-1540	

David and Larry Rednour and Linda Atkinson 1700 E. Washington Street Frankfort, IN 46041

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SENDER: COMPLETE THIS SECTION	COMPLETE THIS SECTION ON DELIVERY	
Complete items 1, 2, and 3. Also complete item 1 if Restricted Delivery is desired. Pr ur name and address on the reverse so that we can return the card to you. Attach this card to the back of the mailpiece, or on the front if space permits.	A. Signature X. Such Catherine B. Received by (Printed Name) C. Date of Delivery D. Is delivery address different from item 1?	
Article Addressed to:	If YES, enter delivery address below: □ No	
David and Larry Rednour and Linda Atkinson		
1700 E. Washington Street Frankfort, IN 46041	3. Service Type Z-Certified Mail Express Mail Registered Return Receipt for Merchandise	
	☐ Insured Mail ☐ C.O.D. 4. Restricted Delivery? (Extra Fee) ☐ Yes	
2. Article Number 7006 21. (Transfer from service label)	5D DDD5 6274 8D45	
PS Form 3811, February 2004 Domestic Ref	urn Receipt 102595-02-M-1540	

Joe Ed and Brenda Shelton 259 Ashland Court Avon, IN 46123

Public Notice

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Frankfort, Kentucky, 40602.

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SENDER: COMPLETE THIS SECTION	COMPLETE THIS SECTION ON DELIVERY
Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired. Print your name and address on the reverse so that we can return the card to you. Attach this card to the back of the mailpiece, or on the front if space permits.	A. Signature Agent Addressee B. Received by (Printed Name) C. Date of Delivery D. Is delivery address different from item 1?
1. Article Addressed to: Joe Ed and Brenda Shelton 259 Ashland Court	If YES, enter delivery address below: 🛚 No
Avon, IN 46123	3. Service Type A Certified Mall
2. Article Number 7006 2150 (Transfer from service label)	0005 6274 8038
PS Form 3811, February 2004 Domestic Retu	urn Receipt 102595-02-W-1540

Johnny M. and Linda I. Marcum 3903 Esquire Place Indianapolis, IN 46226

Public Notice

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Public Service Commission of Kentucky
P.O. Box 615
Frankfort, Kentucky, 40602.

Please refer to case number 2006-00450 in your correspondence.

ender: complete this section	COMPLETE THIS SECTION ON DELIVERY
Complete Items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired. Print your name and address on the reverse so that we can return the card to you. Attach this card to the back of the mailpiece, or on the front if space permits. Article Addressed to: Johnny M. and Linda I. Marcum 3903 Esquire Place	A. Signature M. Agent Addressee B. Received by (Pinted Name) C. Date of Delivery D. Is delivery address different from Item 1? If YESzenter delivery address below: OCT 2.5 2006
Indianapolis, IN 46226	3. Service Type 2. Certified Mail
	☐ Insured Mail ☐ C.O.D. 4. Restricted Delivery? (Extra Fee) ☐
2. Article Number 700L C	1250 0005 6274 8052
PS Form 3811, February 2004 Domestic Re	eturn Receipt 102595-02-M-1540

Bobby and Margaret Faye Bertram P.O. Box 315 Alpha, KY 42603

Public Notice

Cumberland Cellular Partnership is a Kentucky general partnership that markets its services as Bluegrass Cellular. Bluegrass Cellular has been serving Central Kentucky with wireless communications services for over 15 years.

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Please refer to case number 2006-00450 in your correspondence.



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Search Results

Label/Receipt Number: EV82 2884 367U S Status: Delivered

Your item was delivered at 9:47 AM on November 24, 2006 in ALPHA, KY 42603. The item was signed for by S 7.

Additional Details >) (Return to USPS.com Home >)

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Notification Options

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Get current event information or updates for your item sent to you or others by email. (Go>)

Proof of Delivery

Verify who signed for your item by email, fax, or mail. (60>)



Harold and Linda Atkinson RR 4 Box 337 B Monticello, KY 42633

Public Notice

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Frankfort, Kentucky, 40602.

Please refer to case number 2006-00450 in your correspondence.



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Track & Confirm

Search Results

Label/Receipt Number: EV83 2373 031U S

Status: Delivered

Your item was delivered at 8:18 am on October 24, 2006 in MONTICELLO, KY 42633. The item was signed for by M ROBERSS.

Additional Details > | Return to USPS.com Home > |

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Proof of Delivery

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POSTAL INSPECTORS Preserving the Trust

Curtis Ray and Cynthia Bell RR 4 Box 336 Monticello, KY 42633

Public Notice

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Public Service Commission of Kentucky
P.O. Box 615
Frankfort, Kentucky, 40602.

Please refer to case number 2006-00450 in your correspondence.



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Track & Confirm

Search Results

Label/Receipt Number: EV83 2373 045U S Status: Delivered

Your item was delivered at 12:32 pm on October 24, 2006 in MONTICELLO, KY 42633. The item was signed for by C BELL.

(Additional Details >) (Return to USPS.com Home >)

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Notification Options

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Proof of Delivery

Verify who signed for your item by email, fax, or mail. Go >



POSTAL INSPECTORS
Preserving the Trust

Nona Bridgeman RR 4 Box 318 Monticello, KY 42633

Public Notice

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Frankfort, Kentucky, 40602.

Please refer to case number 2006-00450 in your correspondence.



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Track & Confirm

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Label/Receipt Number: EV83 2373 014U S Status: Delivered

Your item was delivered at 10:37 am on October 24, 2006 in MONTICELLO, KY 42633. The item was signed for by A UPCHURCH.

Additional Details >) (Return to USPS.com Home >)

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Notification Options

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Proof of Delivery

Verify who signed for your item by email, fax, or mail. + 60 >



October 23, 2006

Central Union Separate Baptist Church RR 4 Box 214 D2 Monticello, KY 42633

Public Notice

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Public Service Commission of Kentucky
P.O. Box 615
Frankfort, Kentucky, 40602.

Please refer to case number 2006-00450 in your correspondence.



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Track & Confirm

Search Results

Label/Receipt Number: EV83 2372 932U S

Status: Delivered

Track & Confirm

Your item was delivered at 9:46 am on October 24, 2006 in

MONTICELLO, KY 42633. The item was signed for by B MCLENDOM.

(Additional Details > | Return to USPS.com Home > |

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Notification Options

Track & Confirm by email

Get current event information or updates for your item sent to you or others by email. (Go>)

Proof of Delivery

Verify who signed for your item by email, fax, or mail. 60 >



Glen L. and Sharon L. Frost RR 4 Box 331 AA Monticello, KY 42633

Public Notice

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Public Service Commission of Kentucky
P.O. Box 615
Frankfort, Kentucky, 40602.

Please refer to case number 2006-00450 in your correspondence.



Track & Confirm

Track & Confirm

Search Results

Label/Receipt Number: EV83 2372 946U S

Status: Delivered

Your item was delivered at 12:14 pm on October 24, 2006 in MONTICELLO, KY 42633. The item was signed for by G FROST. Track & Confirm

Enter Label/Receipt Number.

(Additional Details >) (Return to USPS.com Home >)

Notification Options

Track & Confirm by email

Get current event information or updates for your item sent to you or others by email. (Go >)

Proof of Delivery

Verify who signed for your item by email, fax, or mail. Go >



Jackie DeWayne and Kimberly Denise Gibbons RR 4 Box 328 B Monticello, KY 42633

Public Notice

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P.O. Box 615
Frankfort, Kentucky, 40602.

Please refer to case number 2006-00450 in your correspondence.



Track & Confirm

Track & Confirm

Search Results

Label/Receipt Number: EV83 2372 950U S

Status: Delivered

Track & Confirm Enter Label/Receipt Number.

Your item was delivered at 4:04 pm on October 25, 2006 in MONTICELLO, KY 42633. The item was signed for by K GIBBONS.

(Additional Details > | Return to USPS.com Home >)

Notification Options

Track & Confirm by email

Get current event information or updates for your item sent to you or others by email. (Gas)

Proof of Delivery

Verify who signed for your item by email, fax, or mail. Go >



POSTAL INSPECTORS Preserving the Trust

Betty Huffaker RR 4 Box 317 Monticello, KY 42633

Public Notice

Cumberland Cellular Partnership is a Kentucky general partnership that markets its services as Bluegrass Cellular. Bluegrass Cellular has been serving Central Kentucky with wireless communications services for over 15 years.

Bluegrass Cellular is applying to the Public Service Commission of the Commonwealth of Kentucky (the "Commission") for a Certificate of Public Convenience and Necessity to construct and a new cell facility to provide cellular telephone service. This facility will include a 199 foot tower to be located at Route 4, Box 330 A, Monticello, Kentucky, 42633. A map showing the location is attached.

The Commission invites your comments regarding this proposed construction. Also, the Commission wants you to be aware of your right to intervene in this matter. Your comments and request for intervention should be addressed to:

Executive Director's Office
Public Service Commission of Kentucky
P.O. Box 615
Frankfort, Kentucky, 40602.

Please refer to case number 2006-00450 in your correspondence.



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POSTAL INSPECTORS
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Earl Ray and Madine Kelsey P.O. Box 348 Monticello, KY 42633

Public Notice

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POSTAL INSPECTORS Preserving the Trust

Gary and Betty Ragan RR4 Box 328 A Monticello, KY 42633

Public Notice

Cumberland Cellular Partnership is a Kentucky general partnership that markets its services as Bluegrass Cellular. Bluegrass Cellular has been serving Central Kentucky with wireless communications services for over 15 years.

Bluegrass Cellular is applying to the Public Service Commission of the Commonwealth of Kentucky (the "Commission") for a Certificate of Public Convenience and Necessity to construct and a new cell facility to provide cellular telephone service. This facility will include a 199 foot tower to be located at Route 4, Box 330 A, Monticello, Kentucky, 42633. A map showing the location is attached.

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Public Service Commission of Kentucky
P.O. Box 615
Frankfort, Kentucky, 40602.

Please refer to case number 2006-00450 in your correspondence.



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POSTAL INSPECTORS Preserving the Trust

Arthur Reynolds RR 4 Box 337 Monticello, KY 42633

Public Notice

Cumberland Cellular Partnership is a Kentucky general partnership that markets its services as Bluegrass Cellular. Bluegrass Cellular has been serving Central Kentucky with wireless communications services for over 15 years.

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Public Service Commission of Kentucky
P.O. Box 615
Frankfort, Kentucky, 40602.

Please refer to case number 2006-00450 in your correspondence.



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POSTAL INSPECTORS Preserving the Trust

I. Duane and Barbara Schlabach HC 86 Box 230 A Monticello, KY 42633

Public Notice

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Public Service Commission of Kentucky
P.O. Box 615
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Please refer to case number 2006-00450 in your correspondence.

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POSTAL INSPECTORS
Preserving the Trust

Angela Upchurch RR 4 Box 329 Monticello, KY 42633

Public Notice

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Public Service Commission of Kentucky
P.O. Box 615
Frankfort, Kentucky, 40602.

Please refer to case number 2006-00450 in your correspondence.



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POSTAL INSPECTORS Preserving the Trust

Mary S. Upchurch RR 4 Box 319 Monticello, KY 42633

Public Notice

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Frankfort, Kentucky, 40602.

Please refer to case number 2006-00450 in your correspondence.



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Ricky and Donna Ramsey 5767 Larkdale Drive San Antonia, TX 78233

Public Notice

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Executive Director's Office Public Service Commission of Kentucky P.O. Box 615 Frankfort, Kentucky, 40602.

Please refer to case number 2006-00450 in your correspondence.



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- Unclaimed, November 25, 2006, 12:11 pm, SAN ANTONIO, TX
- Notice Left, October 26, 2006, 2:00 pm, SAN ANTONIO, TX 78233

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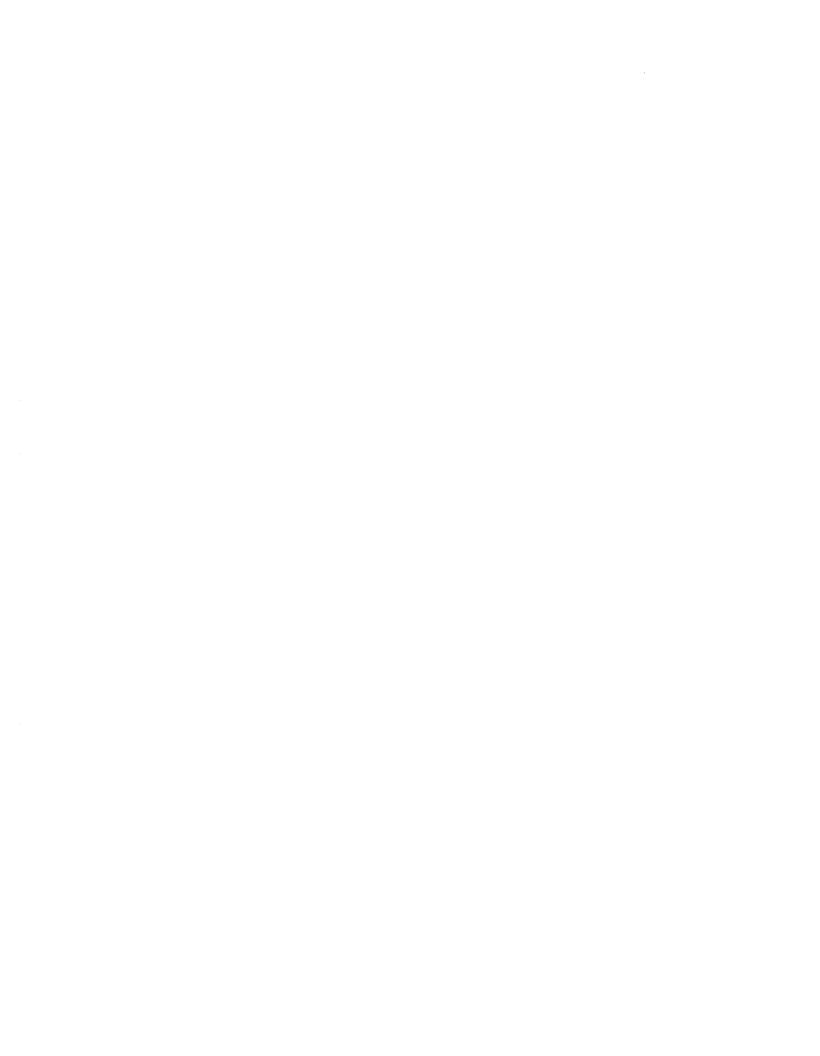
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Dinsmore&Shohlup

513-977-8457 carrie.justice@dinslaw.com

October 23, 2006

Via Certified Mail 7005 1160 0004 8598 8444 Wayne County Judge Executive Courthouse 109 North Main Street Monticello, Kentucky 42633

> Public Notice - Public Service Commission of Kentucky RE: Case No. 2006-00450

Cumberland Cellular Partnership is applying to the Public Service Commission of Kentucky (the Commission") for a Certificate of Public Convenience and Necessity to propose construction and operation for a new facility to provide cellular radio telecommunications service in rural service area (RSA) #5 in Wayne County. The facility will include a 199 ft. tower and an equipment shelter to be located at Route 4, Box 330 A, Monticello, Kentucky, 42633. A map showing the location of the proposed new facility is enclosed.

The Commission invites your comments regarding the proposed construction. You also have the right to intervene in this matter.

Your comments and request for intervention should be addressed to: Executive Director's Office, Public Service Commission, P.O. Box 615, Frankfort, Kentucky 40602. Please refer to case number 2006-00450 in your correspondence.

Very truly yours,

DINSMORE & SHOHL LLP

Paralegal

enclosure

CDJ

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Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired. E Print your name and address on the revenue or on the front if space permits. Attach this card to the back of the mailpie. 1. Article Addressed to: Wayne County Judge Executive Courthouse 109 North Main Street Monticello, Kentucky 42633	A. Signature A. Signature Ce, B. Received by (Printed Name). D. Is delivery address different from item 1? Yes If YES, enter delivery address below: No 3. Service Type Certified Mail Express to
PS Form 3811, February 2004 Domestic Return	Insured Mail A. Restricted Delivery? (Extra C.O.D. A. Restricted Delivery? (Extra C.O.D.)
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orland Cellular Partr proposes to construct a cellular

near this site. If you have any questions please confact:

Please refer to P.S.D.

Wayne County

The Outlook

109 East Columbia Avenue • P.O. Box 432 Monticello, KY 42633 • Phone (606) 348-3338 • Fax (606) 348-8848 Melinda Jones, President & Publisher

Newspaper Affadavit

	nnly swear that	e Wayne County Outlo from my own persona advertisement of:		
Dinomore	E Shohl -	Public Notice	Case Do.	2006-00450
was inserted on th	ne following date	s in this newspaper:		
Date	<u>Page</u>	<u>Column</u>		
10-25-06	26A	5		
10-25-06	138	5		
	Melinda	Mus Publisher		
Subscribed and	sworn before xpires9-3	e me this <u>20</u> , 13 2006, A.D. 28-09	rd	day of

Notary Public

REAL ESTATE FOR SALE

For Sale Good Investment Rental Property: 2 Mobile Homes & Lot. One is 16 x 80. One is 14 x 70. Call (606) 348-7723 for more information.

BLUE WATER HEIGHTS SUBDIVISION Restricted, year round lake view lots.

Beautiful view of Lake Cumberland & breathtaking mountain views. Electric (RECC) & city water.

Call the owners: David or Karen Southwood (606) 348-7324 to purchase.

Lots are ready to build dream homes.

Directions: From Hwy. 90 turn onto Hwy. 92 West & go 1.5 miles, turn right on Hwy. 789. Travel approximately 4 miles, turn right onto David Southwood Road to Blue Water Heights.

CALL KAREN,

(606) 348-7324.

PRICED TO SELL!!

PUBLIC NOTICE

NOTICE

Cumberland Cellular Partnership is applying to the Public Service Commission of Kentucky for a Certificate of Public Convenience and Necessity to construct and operate a new facility to provide cellular radio telecommunications service in rural service area #5 of the Commonwealth of Kentucky (Zula Cell Site). The facility is a 199 foot tower and an equipment shelter to be located at Route 4, Box 330 A, Monticello, Kentucky 42633. Your comments and requests for intervention should be addressed to: Executive Director's Office, Public Service Commission, Post Office Box 615, 211 Sower Bouleyard, Frankfort, Kentucky 40602. Please refer to Case No. 2006-00450 in your correspondence.

YARD SALES

HUGE INSIDE MOVING &
GARAGE SALE
Thurs., Fri. & Sat.
10 a.m-4 p.m.
213 Walnut Street

Bedding, Dishes, Women's, Men's & Girl's Clothes, Lots of Household & Baby Items

> Subscribe to The Wayne County Outlook.

erland District Board of Health OF PUBLIC HEARING

e Cumberland District Board of Health will hold a public hearing in urrent lot size regulation of 15,000 square feet for the installation of ll lots created, sectioned, or platted off after January 1, 2007 shall . Lots intended for construction of a home or a building for human n of 22,000 square feet of 'suitable' or 'provisionally suitable' area cy On-Site Sewage Disposal Systems Regulation 902 KAR 10:085. s) shall be dependent upon meeting the conditions specified in the conditions specified in Section 4 subsections B, C, D, and E of of the minimum square footage requirements is to protect public

any home or building intended for human habitation shall have a the owner, builder, or developer to accompany the site application. ne location of the following: bedrooms(s), laundry room(s), plan shall be required at time of site application. This Lake Cumberland District which includes: Adair, Casey, McCreary, Pulaski, Russell, Taylor, and Wayne Counties.

ne public hearing is scheduled at 7:00 p.m., November 14, 2006 at t Health Department Administrative Office located at let, KY.

vill be accepted until close of business Monday, November 13, s to Stuart Spillman, Pulaski County Health Center, 45 Roberts

ded regulation are available for review at the Pulaski County t., Somerset, KY 42501.

w.wcoutlook.com

Scaring away tooth decay

Halloween can be a fun and exciting time for children, however the main culprit that causes this fun and excitement are the nonstop treats and candy.

It is important for parents to keep their children safe during this holiday, but it is also wise to keep an eye on what children are consuming while also making sure dental

hygiene is practiced.

"There are several tips parents should consider while helping their child maintain proper oral health during this holiday," said Cliff Maesaka, D.D.S. and Delta Dental Plan of Kentucky President. "One very popular strategy in keeping a child's dental health in check is to set up a candy 'bank,' establishing when the 'bank' will be open and allowing only two to three pieces of candy at a time."

Other suggestions include:

• Serve a healthy dinner before trick-or-treating; sometimes a nourishing meal can leave less room for junk food.

• Consider giving out sugar free treats or even toothbrushes, toothpaste or floss to other trick-or-treaters.

• After eating candy, parents can give their child a piece of cheese, fruits, vegetables, water or milk to wash away sugar from teeth.

 Make sure your child brushes and flosses twice a day and before bedtime.

Lastly, and most importantly, be sure and inspect a child's candy for loose or torn wrappers. If you suspect candy has been tampered with, discard immediately.

It is almost impossible to restrict a child from eating candy during Halloween. Least harmful to the teeth are candies that can be chewed up, swallowed quickly or ones that melt in your mouth, such as chocolates.

Halloween does not have to be a scary time for children's teeth. Following the proper guidelines while brushing and flossing at least twice a day is sure to scare away tooth

For more information on children's oral health, please contact Delta Dental at (502) 736-5000 or log on to www.deltadentalky.com.

RIDAL DSTATE FOR SALE

BLUE WATER HEIGHTS SUBDIVISION Restricted, year round lake view lots.

Beautiful view of Lake Cumberland & breathtaking mountain views. Electric (RECC) & city water.

Call the owners: David or Karen Southwood (606) 348-7324 to purchase.

Lots are ready to build dream homes. Directions: From Hwy. 90 turn onto Hwy. 92 West & go 1.5 miles, turn right on Hwy. 789. Travel approximately 4 miles, turn right onto David Southwood Road to Blue Water Heights. CALL KAREN. (606) 348-7324. PRICED TO SELL!!

BERVICES

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PUBLIC NOTICE

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COMMONWEALTH OF KENTUCKY WAYNE CIRCUIT COURT CASE NO. 06-CI-00226 US BANK, N.A., AS TRUSTEE, PLAINTIFF VS.

BRIAN J. REYNOLDS UNKNOWN SPOUSE OF BRIAN J. REYNOLDS; UNKNOWN SPOUSE (IF ANY) OF SHERRY L. REYNOLDS; AREA BANK D/B/A AREA MORTGAGE COMPANY, WHOLLY ACQUIRED BY BRANCH BANKING AND TRUST COMPANY;

AND BRANCH BANKING AND TRUST COMPANY, DEFENDANTS NOTICE OF MASTER COMMISSIONER'S SALE

Pursuant to a Judgment and Order of Sale entered on October 11, 2006, by the Wayne Circuit Court in Civil Action No. 06-CI-00226, I will sell at public auction, to the highest and best bidder, a certain tract or parcel of land, lying and being in Wayne County, Kentucky, and bounded and described as follows, to-wit:

Beginning at a stake at the Sloan Road; thence South 34 West 6 poles to a stake; thence South 32 West 11 poles to a stake, Lenora Frye's Corner; thence with Frye's line North 86-2/3 West 97 poles to two sourwoods at the top of a hill: thence North 47 East 58 poles to a large sandstone; thence North 39-1/2 East 9-1/2 poles to a chestnut oak at the South end of a ledge rock; thence South 85 East 20 poles with the fence to a chestnut oak; thence South 73 East 28 poles with the fence to a gum; thence East 18 poles with the fence to a rock at the Sloan Road; thence in a southerly direction 29 poles with the road to the beginning. Containing 32.3 acres, more or less.

BEING, THE SAME PROP-ERTY conveyed to Brian J. Reynolds and his wife, Sherry L. Reynolds, by virtue of a deed from Jimmy Black and his wife, Vickie Black, dated April 28, 2000, filed May 11, 2000, recorded in Deed Book 278, Page 118, County Clerk's Office, Wayne County, Kentucky; AND FURTHER conveyed to Brian J. Reynolds, an unmarried person, by virtue of a deed from Sherry L. Reynolds, no status given, dated July 22, 2005, filed July 29, 2005, recorded in Deed Book 311, Page 700, County Clerk's Office,

Wayne County, Kentucky

ADVERTISEMENT FOR BID

NOTICE TO BID

The Wayne County Fiscal Court will hold a pre-bid meeting November 2 at 4 p.m. in the small courtroom in the Wayne County Courthouse for cleanup of the following Kentucky Pride Fund cleanups: Morrows dumpsite Landing Road, Kelly Lane Road, Kelly Lane/Spann Hill Road, Kelly Lane/Spann Hill Site #2, Twyford Road Hwy. 833. For more information contact Andrew Parmley, Solid Waste Coordinator at (606) 307-5065 or (606) 348-8522. Any contractors planning on submitting a bid must attend this meeting. Bids are to be submitted at the Wayne County Judge Executive's office no later than 4 p.m. on Wednesday, November 8

The Wayne County Fiscal Court may consider informal any bid not submitted in accordance with the provisions of this advertisement and may waive any informalities or may reject any and/or all bids and specifically reserves the right to accept what they consider and determine to be the best bid(s).

Bid will be let at the Wayne County Fiscal Court meeting on Thursday, November 9, 2006 at 6 p.m. pending the final approval of the Pride Office at Center for Rural Development.

SEALED BIDS

The Wayne County Board of Education will be selling the following vehicle. Sealed bids will be accepted in the Office of the Superintendent, 534 Albany Road, Monticello, KY until 1:00 p.m. November 13, 2006, at which time they will be opened. Bids will be awarded at the November regular Board of Education meeting. The following vehicle can be seen at the Wayne County School Bus Garage, 220 East Highway 90 Bypass, between the hours of 8:00 a.m. and 4:00 p.m. The Wayne County Board of Education reserves the right to reject any and/or all bids.

Chevrolet Blazer. 1979 CKL189F1498809

ADMINISTRATORS NOTICE

WAYNE DISTRICT COURT CASE # 06-P-00013

Notice is hereby given that Lewis Allen Upchurch, Executor of the Last Will and Testament of Dora A. Morgan filed his final settlement in said estate on the 25th day of October 2006 and that such settlement was directed to lie over for exceptions as required by

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Search Area Map 7.5 Minute Map: Parnell, KY Quadrangle Site Name: Zula Latitude: 36-46-09 N Longitude: 84-57-50 W Ground Elevation: 1040' (AMSL) R/C Height: 240' AGL	Candida Map: F	Ground Elevation: 1050' (AMSL) R/C Height: 199' AGL	Zulla Solo Solo Solo Solo Solo Solo Solo S	Conut on the second of the sec
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Information on Towers Registered with the FCC in Wayne County and 1/2 Mile Area Outside of the County Boundary

ECC Tower Bed	North	Most		
No.	Latitude	Longitude	City, State	Tower Owner
1004214	36-48-34	84-50-46	Monticello, KY	Cumberland Cellular Partnership
1008398	36-48-36	84-50-49	Monticello, KY	Staples Jr, BDA=WKYM FM
1042205	36-53-48	84-59-32	Parnell, KY	Global Tower, LLC
1043974	36-48-58	84-51-7	Monticello, KY	Monticello Wayne Co. Telecommunications Board
1044810	36-50-40	84-46-27	Parkers, KY	Kentucky Commonwealth DBA= KEWS
1059114	36-50-14.3	84-51-49.8	Monticello, KY	Staples Jr, BDA=WFLW FM
1065830	36-48-29	84-50-46	Monticello, KY	Monticello Wayne Co. Media Inc. DBA= WMKZ FM
1200492	36-53-50	84-57-27	Monticello, KY	Cumberland Cellular Partnership
1203422	36-57-6.3	84-49-13.8	Monticello, KY	Global Tower, LLC
1238700	36-53-52.1	84-47-2.5	Monticello, KY	Diamond Towers, LLC.

