

CASE

NUMBER:

99-029

INDEX FOR CASE: 99-029
POWERTEL/KENTUCKY, INC.

Construct

CELL SITE - 4400 PARALEE DRIVE - JEFFERSON

IN THE MATTER OF THE APPLICATION OF CROWN COMMUNICATIONS
INC. AND POWERTEL/KENTUCKY, INC. FOR ISSUANCE OF A
CERTIFICATE OF PUBLIC CONVENIENCE AND NECESSITY TO CONSTRUCT
A WIRELESS COMMUNICATIONS FACILITY AT 4400 PARALEE DRIVE
IN THE BASIC TRADING AREA
IN THE COMMONWEALTH OF KENTUCKY
IN THE COUNTY OF JEFFERSON
SITE NAME: SOUTH PARKLAND

SEQ NBR	ENTRY DATE	REMARKS
M0002	12/22/98	LAWRENCE YOUNG CITIZEN-LETTER OF CONCERN TO CELL TOWER
0001	01/29/99	Application.
0002	02/03/99	Acknowledgement letter.
M0003	02/04/99	LAWRENCE YOUNG CITIZEN-LETTER OF CONCERN TO PLACEMENT OF TOWER
M0001	02/16/99	NORMAN GRAHAM CROWN COMMUNICATIONS-SUPPLEMENT TO APPLICATION
0003	02/24/99	Deficiencies cured letter
0004	03/19/99	Interest & Concern response to Lawrence Young; req. to intervene may be filed.
0005	06/28/99	Order directing applicants to report by 8/12/99 on negotiations.
0006	09/16/99	Reminder letter; response to 6/28 Order is now due 9/23.
M0004	10/12/99	NORMAN GRAHAM CROWN COMMUNICAITONS-MOTION FOR EXTENSION OF TIME
0007	10/21/99	Order granting extension of time entered, information now due 10/27/99.
M0005	10/25/99	NORMAN GRAHAM CROWN COMMUNICATIONS-MOTION TO WITHDRAW APPLICATION
0008	11/02/99	Final Order withdrawing application from docket.



COMMONWEALTH OF KENTUCKY
PUBLIC SERVICE COMMISSION

730 SCHENKEL LANE
POST OFFICE BOX 615
FRANKFORT, KY. 40602
(502) 564-3940

CERTIFICATE OF SERVICE

RE: Case No. 99-029
POWERTEL/KENTUCKY, INC.

I, Stephanie Bell, Secretary of the Public Service Commission, hereby certify that the enclosed attested copy of the Commission's Order in the above case was served upon the following by U.S. Mail on November 2, 1999.

See attached parties of record.

Stephanie D. Bell
Secretary of the Commission

SB/hv
Enclosure

John Binkley
General Manager
Crown Communications Inc.
11001 Bluegrass Parkway
Suite 330
Louisville, KY. 40299

Honorable W. Brent Rice
Counsel for Powertel/Kentucky, Inc.
McBrayer, McGinnis,
Leslie & Kirkland
163 W. Short Street
Lexington, KY. 40507 1361

Honorable Norman W. Graham
Counsel for Crown Communications
Wyatt, Tarrant & Combs
500 West Jefferson Street
Louisville, KY. 40202

Ms. Charon Harris
Director, Regulatory Matters
GTE Wireless of the Midwest
1 GTE Place
MC GA3B1REG
Alpharetta, GA. 30004 8511

COMMONWEALTH OF KENTUCKY
BEFORE THE PUBLIC SERVICE COMMISSION

In the Matter of:

APPLICATION OF CROWN)
COMMUNICATION AND)
POWERTEL/KENTUCKY, INC. FOR)
ISSUANCE OF A CERTIFICATE OF)
PUBLIC CONVENIENCE AND)
NECESSITY TO CONSTRUCT A)
WIRELESS COMMUNICATIONS)
FACILITY AT 4400 PARALEE DRIVE IN)
THE BASIC TRADING AREA IN THE)
COMMONWEALTH OF KENTUCKY IN)
THE COUNTY OF JEFFERSON)
SITE NAME: SOUTH PARKLAND)
SITE NUMBER: 239KYD)

CASE NO. 99-029

O R D E R

On October 25, 1999, Crown Communication Inc. ("Crown") requested to withdraw its application for a certificate to construct the South Parkland site. In support of its Motion, Crown states that it has made co-location arrangements in the area.

The Commission, having reviewed the Motion and having been otherwise sufficiently advised, HEREBY ORDERS that this application is withdrawn and removed from the Commission's docket.

Done at Frankfort, Kentucky, this 2nd day of November, 1999.

By the Commission

ATTEST:


Executive Director

WYATT, TARRANT & COMBS

CITIZENS PLAZA

LOUISVILLE, KENTUCKY 40202-2898

502 589-5235

FAX: 502 589-0309

1700 LEXINGTON FINANCIAL CENTER
LEXINGTON, KY 40507-1748
606 233-2012

TAYLOR-SCOTT BUILDING
FRANKFORT, KY 40601-1807
502 223-2104

ELSBY BUILDING
NEW ALBANY, IN 47150-3440
812 945-3561

1500 NASHVILLE CITY CENTER
NASHVILLE, TN 37219-1750
615 244-0020

29 MUSIC SQUARE EAST
NASHVILLE, TN 37203-4322
615 255-6161

313 E. MAIN STREET, SUITE 1
HENDERSONVILLE, TN 37075-2546
615 822-8822

6075 POPLAR AVENUE, SUITE 650
MEMPHIS, TN 38119-4721
901 537-1000

10368 WALLACE ALLEY STREET, SUITE 6
KINGSPORT, TN 37663-3977
423 279-1825

WRITER'S DIRECT DIAL NUMBER

502 562-7544

October 22, 1999

RECEIVED
OCT 25 1999
PUBLIC SERVICE
COMMISSION

Ms. Helen C. Helton
Executive Director
Public Service Commission
P.O. Box 615
730 Schenkel Lane
Frankfort, KY 40602

Re: Case No. 99-029

Dear Ms. Helton:

Enclosed please find five (5) copies (original plus 4) of the motion to be filed in the above-referenced case. Please call me at (502) 562-7544 if additional information is requested or required.

Sincerely yours,

WYATT, TARRANT & COMBS



Norman W. Graham

NWG:nja
Enclosures
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COMMONWEALTH OF KENTUCKY
BEFORE THE PUBLIC SERVICE COMMISSION

RECEIVED
OCT 25 1999
PUBLIC SERVICE
COMMISSION

In the matter of)
)
APPLICATION OF CROWN COMMUNICATION INC.)
AND POWERTEL/KENTUCKY, INC. FOR ISSUANCE)
OF A CERTIFICATE OF PUBLIC CONVENIENCE)
AND NECESSITY TO CONSTRUCT A WIRELESS)
COMMUNICATIONS FACILITY)
AT 4400 PARALEE DRIVE)
IN THE BASIC TRADING AREA)
IN THE COMMONWEALTH OF KENTUCKY)
IN THE COUNTY OF JEFFERSON)
SITE NAME: SOUTH PARKLAND)
SITE NUMBER: 239KYD)

CASE NO.: 99-029

MOTION TO WITHDRAW APPLICATION

Crown Communication Inc. ("Crown"), by counsel, respectfully moves the Public Service Commission of Kentucky to grant this Motion to Withdraw the Application for a Certificate of Public Convenience and Necessity for the site referenced above.

In support of this Motion, Crown states that subsequent to the filing of this Application Crown has been able to make arrangements for the location of its carrier client's facilities on alternate locations through co-location opportunities. Consequently, Crown wishes to withdraw this Application with the right to resubmit it if the facility becomes necessary in the future.

CROWN COMMUNICATION INC.



Norman W. Graham, Esq.
WYATT, TARRANT & COMBS
500 West Jefferson Street
Louisville, KY 40202
(502) 562-7544

CERTIFICATE OF SERVICE

I hereby certify that a copy of this filing was mailed by U.S. mail, postage prepaid, to: W. Brent Rice, Esq., 163 W. Short Street, Lexington, Kentucky 40507-1361, and to Ms. Charon Harris, 1 GTE Place MC GA3B1REG, Alpharetta, Georgia 30004-8511 on October 22, 1999.



Norman W. Graham, Esq.
WYATT, TARRANT & COMBS
500 West Jefferson Street
Louisville, KY 40202
(502) 562-7544

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COMMONWEALTH OF KENTUCKY
PUBLIC SERVICE COMMISSION

730 SCHENKEL LANE
POST OFFICE BOX 615
FRANKFORT, KY. 40602
(502) 564-3940

October 21, 1999

To: All parties of record

RE: Case No. 99-029

We enclose one attested copy of the Commission's Order in
the above case.

Sincerely,

A handwritten signature in black ink that reads "Stephanie Bell".

Stephanie Bell
Secretary of the Commission

SB/sh
Enclosure

John Binkley
General Manager
Crown Communications Inc.
11001 Bluegrass Parkway
Suite 330
Louisville, KY 40299

Honorable W. Brent Rice
Counsel for Powertel/Kentucky, Inc.
McBrayer, McGinnis,
Leslie & Kirkland
163 W. Short Street
Lexington, KY 40507 1361

Honorable Norman W. Graham
Counsel for Crown Communications
Wyatt, Tarrant & Combs
500 West Jefferson Street
Louisville, KY 40202

Ms. Charon Harris
Director, Regulatory Matters
GTE Wireless of the Midwest
1 GTE Place
MC GA3B1REG
Alpharetta, GA 30004 8511

COMMONWEALTH OF KENTUCKY
BEFORE THE PUBLIC SERVICE COMMISSION

In the Matter of:

APPLICATION OF CROWN COMMUNICATION INC.)
AND POWERTEL/KENTUCKY, INC. FOR ISSUANCE)
OF A CERTIFICATE OF PUBLIC CONVENIENCE)
AND NECESSITY TO CONSTRUCT A WIRELESS)
COMMUNICATIONS FACILITY AT 4400 PARALEE) CASE NO.
DRIVE IN THE BASIC TRADING AREA IN THE) 99-029
COMMONWEALTH OF KENTUCKY IN THE)
COUNTY OF JEFFERSON)
SITE NAME: SOUTH PARKLAND)
SITE NUMBER: 239KYD)

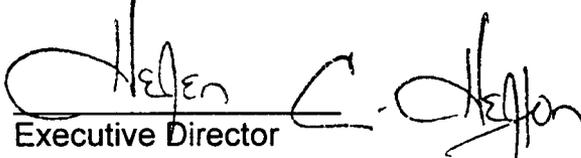
O R D E R

Crown Communication Inc. having moved for an extension of time until October 27, 1999 in which to respond to the Commission's June 25, 1999 Order and the Commission finding good cause, IT IS HEREBY ORDERED that the motion is granted.

Done at Frankfort, Kentucky, this 21st day of October, 1999.

By the Commission

ATTEST:


Executive Director

WYATT, TARRANT & COMBS

CITIZENS PLAZA

LOUISVILLE, KENTUCKY 40202-2898

502 589-5235

FAX: 502 589-0309

1700 LEXINGTON FINANCIAL CENTER
LEXINGTON, KY 40507-1746
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MEMPHIS, TN 38119-4721
901 537-1000

10368 WALLACE ALLEY STREET, SUITE 8
KINGSPORT, TN 37683-3977
423 279-1825

WRITER'S DIRECT DIAL NUMBER

502 562-7544

October 12, 1999

Ms. Helen C. Helton
Executive Director
Public Service Commission
P.O. Box 615
730 Schenkel Lane
Frankfort, KY 40602

Re: ^{99.089}
Case No. 98-007

Dear Ms. Helton:

Enclosed please find five (5) copies (original plus 4) of the motion to be filed in the above-referenced case. Please call me at (502) 562-7544 if additional information is requested or required.

Sincerely yours,

WYATT, TARRANT & COMBS



Norman W. Graham

NWG:nja

Enclosures

::ODMA\PCDOCS\LOU_BUS\10034435\1

RECEIVED
OCT 12 1999
PUBLIC SERVICE
COMMISSION

COMMONWEALTH OF KENTUCKY
BEFORE THE PUBLIC SERVICE COMMISSION

RECEIVED
OCT 12 1999
PUBLIC SERVICE
COMMISSION

In the matter of)
)
APPLICATION OF CROWN COMMUNICATION INC.)
AND POWERTEL/KENTUCKY, INC. FOR ISSUANCE)
OF A CERTIFICATE OF PUBLIC CONVENIENCE)
AND NECESSITY TO CONSTRUCT A WIRELESS)
COMMUNICATIONS FACILITY)
AT 4400 PARALEE DRIVE)
IN THE BASIC TRADING AREA)
IN THE COMMONWEALTH OF KENTUCKY)
IN THE COUNTY OF JEFFERSON)
SITE NAME: SOUTH PARKLAND)
SITE NUMBER: 239KYD)

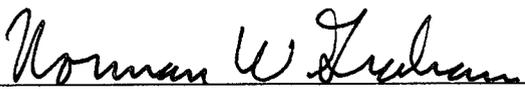
CASE NO.: 99-029

MOTION FOR EXTENSION OF TIME

Crown Communication Inc. ("Crown"), by counsel, respectfully moves the Public Service Commission of Kentucky to grant this motion for an extension of time to respond to the Commissioner's's Order dated June 25, 1999, up to and through October 27, 1999.

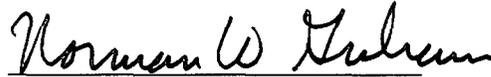
In support of this motion, Crown states that all of the various radio frequency requirements of Powertel and GTE Wireless and other potential carriers of a consolidated location need to be taken into consideration before negotiations can be conducted with the other tower owner. Consequently, Crown wishes to obtain additional time to take such factors into consideration.

CROWN COMMUNICATION INC.


Norman W. Graham, Esq.
WYATT, TARRANT & COMBS
500 West Jefferson Street
Louisville, KY 40202
(502) 562-7544

CERTIFICATE OF SERVICE

I hereby certify that a copy of this filing was mailed by U.S. mail, postage prepaid, to:
W. Brent Rice, Esq., 163 W. Short Street, Lexington, KY 40507-1361 and to Ms. Charon Harris, 1
GTE Place MC GA3B1REG, Alpharetta, GA 30004-8511 on October 12, 1999.



Norman W. Graham, Esq.
WYATT, TARRANT & COMBS
500 West Jefferson Street
Louisville, KY 40202
(502) 562-7544



COMMONWEALTH OF KENTUCKY
PUBLIC SERVICE COMMISSION
730 SCHENKEL LANE
POST OFFICE BOX 615
FRANKFORT, KENTUCKY 40602
www.psc.state.ky.us
(502) 564-3940
Fax (502) 564-3460

Ronald B. McCloud, Secretary
Public Protection and
Regulation Cabinet

Helen Helton
Executive Director
Public Service Commission

Paul E. Patton
Governor

September 16, 1999

To: All parties of record

Re: Case No. 99-029

Dear Ms. Harris and Gentlemen:

On June 28 the Commission issued an Order in the above case directing you to file certain information no later than August 12. As of this date this information has not been filed. Please file the requested information no later than September 23.

Any questions concerning this matter should be directed to Kyle Willard of my staff at (502) 564-3940, extension 418.

Sincerely,

A handwritten signature in black ink that reads "Stephanie Bell".

Stephanie Bell
Secretary of the Commission

hv



AN EQUAL OPPORTUNITY EMPLOYER M/F/D



COMMONWEALTH OF KENTUCKY
PUBLIC SERVICE COMMISSION

730 SCHENKEL LANE
POST OFFICE BOX 615
FRANKFORT, KY. 40602
(502) 564-3940

June 28, 1999

To: All parties of record

RE: Case No. 99-029

We enclose one attested copy of the Commission's Order in
the above case.

Sincerely,

Stephanie Bell

Stephanie Bell
Secretary of the Commission

SB/hv
Enclosure

John Binkley
General Manager
Crown Communications Inc.
11001 Bluegrass Parkway
Suite 330
Louisville, KY 40299

Honorable W. Brent Rice
Counsel for Powertel/Kentucky, Inc.
McBrayer, McGinnis,
Leslie & Kirkland
163 W. Short Street
Lexington, KY 40507 1361

Honorable Norman W. Graham
Counsel for Crown Communications
Wyatt, Tarrant & Combs
500 West Jefferson Street
Louisville, KY 40202

Ms. Charon Harris
Director, Regulatory Matters
GTE Wireless of the Midwest
1 GTE Place
MC GA3B1REG
Alpharetta, GA 30004 8511

COMMONWEALTH OF KENTUCKY
BEFORE THE PUBLIC SERVICE COMMISSION

In the Matter of:

APPLICATION OF CROWN COMMUNICATION INC.)
AND POWERTEL/KENTUCKY, INC. FOR)
ISSUANCE OF A CERTIFICATE OF PUBLIC)
CONVENIENCE AND NECESSITY TO CONSTRUCT)
A WIRELESS COMMUNICATIONS FACILITY AT)
4400 PARALEE DRIVE IN THE BASIC TRADING)
AREA IN THE COMMONWEALTH OF KENTUCKY)
IN THE COUNTY OF JEFFERSON)
SITE NAME: SOUTH PARKLAND)
SITE NUMBER: 239KYD)

CASE NO. 99-029

O R D E R

On February 16, 1999, Crown Communication Inc. ("Crown") and Powertel/Kentucky, Inc. (collectively, the "Applicants") filed an application seeking a Certificate of Public Convenience and Necessity to construct and operate a wireless telecommunications facility. Pursuant to KRS 278.650, the Applicants submitted an application to the Louisville and Jefferson County Planning Commission ("Planning Commission") for Community Facility Review for the proposed construction. The Planning Commission denied the proposed construction citing non-compliance with various Comprehensive Plan guidelines and failure, pursuant to local Development Code, to demonstrate that co-location on existing structures cannot be accommodated. Specifically, the Planning Commission determined that co-location on a nearby antenna tower owned or controlled by GTE Wireless had not been fully investigated.

The Applicants filed a statement in support of their request to override the Planning Commission's recommendation advising this Commission that no acceptable alternative sites exist. As evidenced by exhibits to the application, Crown attempted to negotiate an arrangement with GTE Wireless in which a new tower would be constructed to replace the existing GTE Wireless antenna tower. GTE Wireless could not agree to the proposal as offered due to corporate funding difficulties. However, GTE Wireless advised Crown that it was open to considering other offers that would not require investment by GTE Wireless.

The Commission finds that further investigation of consolidating the Applicants' and GTE Wireless's facilities is warranted. Accordingly, the Applicants should report to the Commission, within 45 days of the date of this Order, whether a reasonable arrangement can be negotiated for the construction of a facility for the joint purposes of the affected parties. If an agreement cannot be negotiated, the Applicants should inform the Commission of the specific elements of the agreement that cannot be resolved.

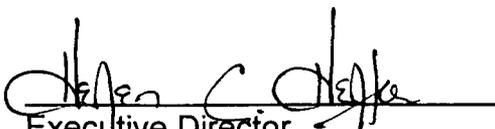
The Commission will forward a copy of this Order to GTE Wireless for the purpose of notifying it of the Commission's decision.

The Commission, having been sufficiently advised, HEREBY ORDERS that additional information be provided as described herein.

Done at Frankfort, Kentucky, this 28th day of June, 1999.

By the Commission

ATTEST:


Executive Director



COMMONWEALTH OF KENTUCKY
PUBLIC SERVICE COMMISSION
730 SCHENKEL LANE
POST OFFICE BOX 615
FRANKFORT, KENTUCKY 40602
www.psc.state.ky.us
(502) 564-3940
Fax (502) 564-3460

Paul E. Patton
Governor

Ron McCloud, Secretary
Public Protection and
Regulation Cabinet

March 19, 1999

Honorable Lawrence I. Young
Romines Weis & Young
Attorneys at Law
2000 Citizens Plaza
500 West Jefferson Street
Louisville, Kentucky 40202

Re: Case No. 99-029

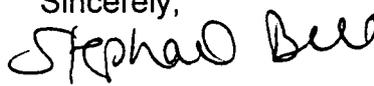
Dear Mr. Young:

This is in response to your letters received December 22, 1998 and January 4, 1999 concerning the above case. Your letter is being treated as an official protest and will be placed in the case file. The Commission will carefully analyze this case before rendering its decision.

If you wish to participate in the proceeding, including any hearing which may be held, you must file a motion to intervene with the Commission. Attached is a copy of Commission regulations concerning intervention. If you request limited intervention and your request is granted, you will receive copies of all Commission Orders entered in this case. You will not, however, be served with filed testimony, exhibits, pleadings, correspondence or other documents submitted by the parties. If you wish such information, you must request and be granted full intervention. If you are granted intervention and wish to request a hearing, you should file such a request with Helen C. Helton, the Commission's Executive Director.

The Attorney General's Office for Rate Intervention, which represents consumers' interests, may be able to assist you. You may contact them at (502) 696-5453 to inquire whether there will be a representative from that office participating in this case.

Thank you for your interest and concern in this matter.

Sincerely,

Stephanie Bell
Secretary of the Commission

hv
Attachment



AN EQUAL OPPORTUNITY EMPLOYER M/F/D

99-029

ROMINES, WEIS & YOUNG

ATTORNEYS AT LAW
2000 CITIZENS PLAZA
500 WEST JEFFERSON STREET
LOUISVILLE, KENTUCKY 40202
TELEPHONE (502) 587-8822
FACSIMILE (502) 568-3600

THIRD STREET OFFICE:
SUITE 162
5330-A SOUTH THIRD STREET
LOUISVILLE, KENTUCKY 40204
TELEPHONE: (502) 366-8704

STEVEN R. ROMINES
MARK A. WEIS
LAWRENCE I. YOUNG

December 30, 1998

Executor Director's Office
Public Service Commission of Kentucky
P.O. Box 615
Frankfort, Kentucky 40602

RECEIVED
JAN 04 1999
PUBLIC SERVICE
COMMISSION

RE: Case No. ~~98-216~~
Written Objection

Dear Sir or Madam:

This will follow our previous objections filed on December 21, 1998. Please let this letter reiterate our concerns.

This letter is being written in opposition to the 180 foot self-supporting tower by Crown Communications Inc. CMD is run by President, Mack Dickerson, and is the entity that owns the property located adjacent to the proposed site for the radio tower. CMD and Mack Dickerson are developing the property between Arnoldtown Road and Dixie Highway as residential, single home properties. An additional radio tower in the area would not only detract from the aesthetic beauties offered in the Hardwood Forest Subdivision and Waverley Park area, but would certainly economically harm CMD Development and Mack Dickerson.

The proposed site for this project is 4400 Paralee Drive. This road will eventually be used as ingress and egress to the residential community being developed by CMD Development and Mack Dickerson. Certainly, a residential community of the stature of Hardwood Forest would not want a 180 foot high radio tower at the entrance to its subdivision. CMD Development and Mack Dickerson have been developing this property since 1988 long before Crown Communications Inc., or any other communications company who decided to place radio towers in the area.

I believe it has been demonstrated that there is already a GTE Wireless tower that would support a 150 foot tower that has been proposed and rejected by the applicant. We believe that this location or a location closer to Riverport would be more beneficial to the community that is being developed in the area.

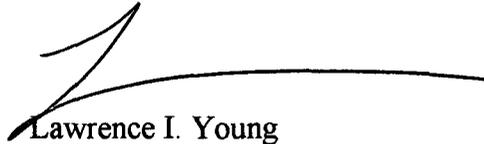
Executor Director's Office
Public Service Commission of Kentucky
December 30, 1998
Page 2

CMD Development and Mack Dickerson have worked long and hard on developing an upper level residential community in the southend of Louisville. Homes in the Hardwood Forest Subdivision are valued in excess of \$250,000.00 and eventually the development will hold more than 350 homes. The home buyers in this area as well as the developer have purchased their lots and the property because of the aesthetic beauty of Waverley Park, the Bobby Nichols golf course and the surrounding wooded areas. The addition of another radio tower to this area would detract significantly from the aesthetic beauty and from the advancement of the residential community of that area.

For these reasons, the land owner, CMD Development, by and through its President, Mack Dickerson, object to the applicant's proposed use of the property located at 4400 Paralee Drive.

Sincerely,

ROMINES WEIS & YOUNG



Lawrence I. Young

LIY/cw

cc: Mack Dickerson

99-029

RECEIVED
DEC 22 1998
PUBLIC SERVICE
COMMISSION

ROMINES, WEIS & YOUNG
ATTORNEYS AT LAW
2000 CITIZENS PLAZA
500 WEST JEFFERSON STREET
LOUISVILLE, KENTUCKY 40202
TELEPHONE (502) 587-8822
FACSIMILE (502) 568-3600

THIRD STREET OFFICE:
SUITE 162
5330-A SOUTH THIRD STREET
LOUISVILLE, KENTUCKY 40204
TELEPHONE: (502) 366-8704

STEVEN R. ROMINES
MARK A. WEIS
LAWRENCE I. YOUNG

December 21, 1998

Executor Director's Office
Public Service Commission of Kentucky
P.O. Box 615
Frankfort, Kentucky 40602

RE: Case No. ~~98-216~~
Written Objection

Dear Sir or Madam:

This letter is being written in opposition to the 180 foot self-supporting tower by Crown Communications Inc. CMD is run by President, Mack Dickerson, and is the entity that owns the property located adjacent to the proposed site for the radio tower. CMD and Mack Dickerson are developing the property between Arnoldtown Road and Dixie Highway as residential, single home properties. An additional radio tower in the area would not only detract from the aesthetic beauties offered in the Hardwood Forest Subdivision and Waverley Park area, but would certainly economically harm CMD Development and Mack Dickerson.

The proposed site for this project is 4400 Paralee Drive. This road will eventually be used as ingress and egress to the residential community being developed by CMD Development and Mack Dickerson. Certainly, a residential community of the stature of Hardwood Forest would not want a 180 foot high radio tower at the entrance to its subdivision. CMD Development and Mack Dickerson have been developing this property since 1988 long before Crown Communications Inc., or any other communications company who decided to place radio towers in the area.

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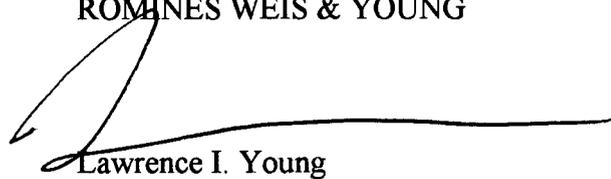
Executor Director's Office
Public Service Commission of Kentucky
December 21, 1998
Page 2

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For these reasons, the land owner, CMD Development, by and through its President, Mack Dickerson, object to the applicant's proposed use of the property located at 4400 Paralee Drive.

Sincerely,

ROMNES WEIS & YOUNG



Lawrence I. Young

LIY/cw

cc: Mack Dickerson



COMMONWEALTH OF KENTUCKY
PUBLIC SERVICE COMMISSION

730 SCHENKEL LANE
POST OFFICE BOX 615
FRANKFORT, KY. 40602
(502) 564-3940

February 24, 1999

Aaron Johnson
Zoning Manager
Crown Communications Inc.
Commonwealth Business Center
11001 Bluegrass Parkway, Suite 330
Louisville, KY. 40299

Honorable W. Brent Rice
Counsel for Powertel/Kentucky, Inc.
McBrayer, McGinnis,
Leslie & Kirkland
163 W. Short Street
Lexington, KY. 40507 1361

Honorable Norman W. Graham
Counsel for Crown Communications
Wyatt, Tarrant & Combs
500 West Jefferson Street
Louisville, KY. 40202

RE: Case No. 99-029
POWERTEL/KENTUCKY, INC.

The Commission staff has reviewed your response of February 16, 1999 and has determined that your application in the above case now meets the minimum filing requirements set by our regulations. Enclosed please find a stamped filed copy of the first page of your filing. This case has been docketed and will be processed as expeditiously as possible.

If you need further information, please contact my staff at 502/564-3940.

Sincerely,
Stephanie Bell

Stephanie Bell
Secretary of the Commission

SB/hv
Enclosure

99-00069

WYATT, TARRANT & COMBS

CITIZENS PLAZA

LOUISVILLE, KENTUCKY 40202-2898

502 589-5235

FAX: 502 589-0309

1700 LEXINGTON FINANCIAL CENTER
LEXINGTON, KY 40507-1746
606 233-2012

TAYLOR-SCOTT BUILDING
FRANKFORT, KY 40601-1807
502 223-2104

ELSBY BUILDING
NEW ALBANY, IN 47150-3440
812 945-3561

1500 NASHVILLE CITY CENTER
NASHVILLE, TN 37219-1750
615 244-0020

29 MUSIC SQUARE EAST
NASHVILLE, TN 37203-4322
615 255-6161

313 E. MAIN STREET, SUITE 1
HENDERSONVILLE, TN 37075-2546
615 822-8822

6075 POPLAR AVENUE, SUITE 650
MEMPHIS, TN 38119-4721
901 537-1000

10368 WALLACE ALLEY STREET, SUITE 6
KINGSPORT, TN 37663-3977
423 279-1825

WRITER'S DIRECT DIAL NUMBER

502 562-7544

January 29, 1999

Ms. Helen C. Helton
Executive Director
Public Service Commission
P.O. Box 615
730 Schenkel Lane
Frankfort, KY 40602

FILED

FEB 16 1999

PUBLIC SERVICE
COMMISSION

RECEIVED

JAN 29 1999

PUBLIC SERVICE
COMMISSION

Re: Case No. 99-029

Dear Ms. Helton:

Enclosed please find five (5) copies (original plus 4) of documents to be filed in the above-referenced case, and one (1) set of large-scale drawings. Please call me at (502) 562-7544 if additional information is requested or required.

Sincerely yours,

WYATT, TARRANT & COMBS



Norman W. Graham

NWG:nja
Enclosures
E:NWG:HELTON.LTR.WPD

WILLARD
Legal

● ●

WYATT, TARRANT & COMBS

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423 279-1825

WRITER'S DIRECT DIAL NUMBER

502 562-7544

February 15, 1999

Ms. Helen C. Helton
Executive Director
Public Service Commission
P.O. Box 615
730 Schenkel Lane
Frankfort, KY 40602

RECEIVED
FEB 16 1999
PUBLIC SERVICE
COMMISSION

Re: Case No. 99-029

Dear Ms. Helton:

Enclosed please find five (5) copies (original plus 4) of documents to be filed in the above-referenced case. Please call me at (502) 562-7544 if additional information is requested or required.

Sincerely yours,

WYATT, TARRANT & COMBS

Norman W. Graham

Norman W. Graham

NWG:nja
Enclosures
E:\NWG\HELTON.LTR.WPD

COMMONWEALTH OF KENTUCKY
BEFORE THE PUBLIC SERVICE COMMISSION

RECEIVED

FEB 16 1999

PUBLIC SERVICE
COMMISSION

In the matter of)
)
APPLICATION OF CROWN COMMUNICATION INC.)
AND POWERTEL/KENTUCKY, INC. FOR ISSUANCE)
OF A CERTIFICATE OF PUBLIC CONVENIENCE)
AND NECESSITY TO CONSTRUCT A WIRELESS)
COMMUNICATIONS FACILITY)
AT 4400 PARALEE DRIVE)
IN THE BASIC TRADING AREA)
IN THE COMMONWEALTH OF KENTUCKY)
IN THE COUNTY OF JEFFERSON)
SITE NAME: SOUTH PARKLAND)
SITE NUMBER: 239KYD)

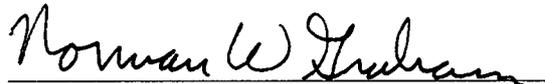
CASE NO.: 99-029

SUPPLEMENT TO APPLICATION

The applicant hereby submits to the Public Service Commission the following items of required information to supplement the application received by the Commission on January 29, 1999:

1. Statement in Support of Request to Override the Planning Commission's recommendation of denial.
2. Copies of all documents submitted to the Louisville and Jefferson County Planning Commission, plus minutes of the Planning Commission's actions and the transcript of the Planning Commission Public Hearing of December 3, 1998.
3. Copy of letter confirming transmittal of the Statement of Support to the Planning Commission and interested parties.

CROWN COMMUNICATIONS INC.



Norman W. Graham, Esq.
WYATT, TARRANT & COMBS
500 West Jefferson Street
Louisville, KY 40202
(502) 562-7544

**CROWN COMMUNICATION INC.
JEFFERSON COUNTY, KENTUCKY**

**STATEMENT IN SUPPORT OF REQUEST
TO OVERRIDE DECISION OF
THE PLANNING COMMISSION**

Case No. 99-029

The applicants, Crown Communication Inc. and Powertel/Kentucky, Inc., in accordance with the provisions of 807 KAR 5:063, Section 3, hereby request that the Public Service Commission override the decision of the Louisville and Jefferson County Planning Commission ("**Planning Commission**") on the basis that there is no acceptable alternative site.

The reasons there are no acceptable alternative sites are:

1. No opportunities exist for co-location on existing structures.
2. No acceptable alternate site is available for a new facility.

A. Description of Site.

The site is located on a wooded 28-acre tract that was formerly part of the Waverly Hills Sanatorium property, a facility for the care and treatment of polio patients during the 1920's and 1930's. The Sanatorium has been closed for some 50 years and is in ruins and has been partially demolished. The Sanatorium property originally contained some 130 acres, which has been sold-off in 3 parcels. To the west and north is a wooded, undeveloped 40-acre tract and to the south and east is a wooded, undeveloped 60-acre tract (both of these adjoining tracts with the subject site were originally part of the Sanatorium property). Farther to the east is Waverly Park which comprises several hundred acres. To the south and southeast is the Bobby Nichols Golf Course, a municipal golf course. To the northeast is wooded recreational property owned by Jewish Community Center. (See attached map at Exhibit A.) The subject site is zoned OR-3, Office/Residential. This property was rezoned several years ago pursuant to a plan to renovate the former hospital property as multi-family development, which was never carried out.

B. Co-Location Investigation.

A co-location statement was filed with the Planning Commission which identified all existing co-location structures within a one and one-half mile radius of the proposed facility (a radius dictated by the Planning Commission - the applicant's actual search ring was much smaller). A copy of the co-location statement with a map showing the locations of these existing structures is attached to this Statement in Support for convenience at Exhibit B.

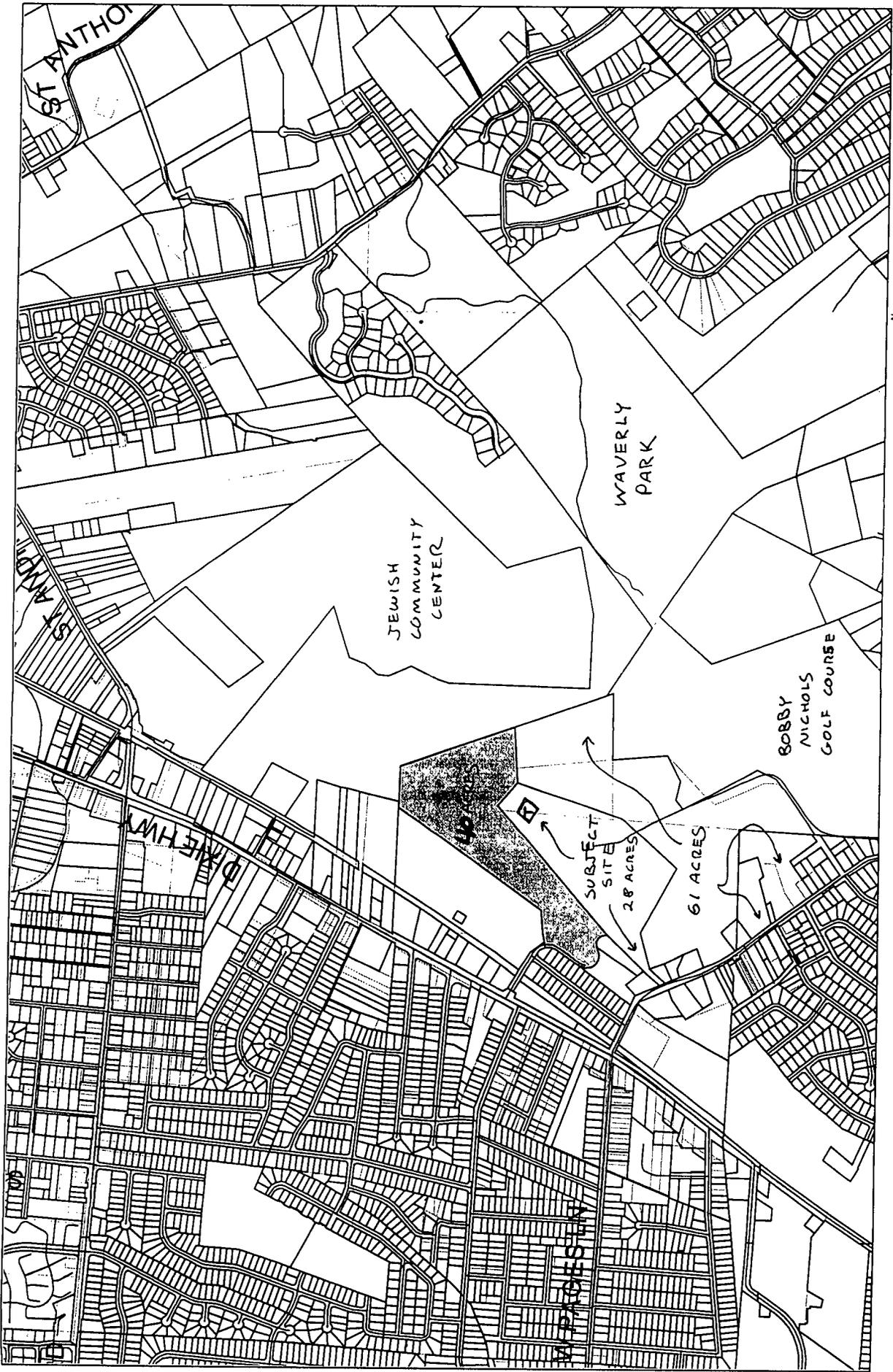
One existing structure is a 400-foot tower owned by Jefferson County for Police/Fire/EMS purposes. This tower was, in fact, the first choice of Powertel in part because of its superior ground elevation (760' versus 602' for the proposed tower) and location. Despite numerous efforts by applicant Crown and by applicant Powertel to obtain space on this tower, the request was rejected by Jefferson County on several grounds, including that all space on the tower was taken or was reserved for specified county requirements, and that the tower could not support the weight of cellular equipment without structural enhancement. The Planning Commission did not seek to compel the applicants to co-locate on this tower.

The other co-location opportunity is a GTE Wireless tower which is approximately 150 feet in height. As indicated in the co-location statement, this site is not suitable for co-location because the existing tower is not of sufficient height to provide an antenna platform for any additional carriers and the compound is not of sufficient size to accommodate additional carriers. Nonetheless, two months prior to the public hearing before the Planning Commission, applicant Crown submitted a request to GTE Wireless for permission to co-locate on the existing tower. A copy of this letter is attached at Exhibit C. No response was forthcoming from GTE. This is not particularly objectionable or surprising since the existing tower was clearly (to those familiar with the technical requirements of the industry) constructed only with the intention of accommodating one carrier. The Planning Commission denied the request exclusively on the basis that Crown should and could enter into an agreement with GTE to tear down and reconstruct its existing tower. (See Planning Commission Transcript, a copy of which is attached hereto at Exhibit D, Pg. 26-38.) In satisfaction of that request, a letter was sent to GTE dated December 11, 1998, requesting permission to replace GTE's tower with a taller tower that could accommodate additional carriers. GTE responded by letter dated January 8, 1999, rejecting this request. (The letter of request and response are attached hereto at Exhibit E.)

C. Alternate Site Analysis.

The proposed site is a unique location. The facility is located within a large, wooded (28-acre) tract surrounded by a small number of large, wooded tracts. The terrain is also very hilly, which limits the appropriate locations for tower facilities within the search area because of the need to locate on the higher elevations. The facility cannot be moved very far in either direction as the consequence of the requirement of having this facility communicate with existing Powertel equipment on the adjoining cell sites which are primarily co-locations on existing structures. A map showing the relationship of the proposed facility with adjoining Powertel cell sites was submitted to the Planning Commission, a copy of which is attached hereto as Exhibit F for convenience. As indicated on the map, the adjoining cell site link to the east is a water tank co-location, to the north a Bell South co-location, to the southwest a Bell South co-location, to the northwest a Bell South co-location. The property owner to the east and south, which perhaps could have been an acceptable alternate site, wrote a letter to the Planning Commission objecting to the proposal. The county owns much of the adjoining property to the east and south and has, likewise, rejected opportunities to locate on this property. Therefore, there are no alternate sites within the search ring which can accommodate the proposed equipment.

PVA PUBLIC ACCESS INFORMATION SYSTEM
DENISE HARPER ANGEL
PROPERTY VALUATION ADMINISTRATOR



300 0 300 Feet



The property data included herein was digitized from PVA block maps and adjusted to planimetric features. The property data does not supersede deed records and should not be used for purposes other than general property reference and identification.

Copyright 1998, Louisville and Jefferson County Metropolitan Sewer District and Louisville Water Co.

Memorandum

VIA: Han

To: File

From: Aaron Johnson

CC: John J. Lyons, Jr.

Date: 06/29/98

Re: Collocation Statement for 239ky

File,

Alt. Site C1: A GTE Wireless tower 150' in height within a 60' x 40' compound. This facility is located at 4400 Paralee Drive, Louisville, Kentucky 40272. This facility is located on the same property as the proposed facility.

The referenced site at 4400 Paralee Drive is not suitable for collocation for the following reasons:

- The existing tower or facility is not of sufficient height to meet the applicant's engineering requirements.
- The facility's compound is not sufficient in size to accommodate additional carriers.

Alt. Site C-2: A Jefferson County Lattice tower 400' in height within a 40' x 65' compound. This facility is located at Waverly Hills Park off Arnoldtown Road, Louisville, Kentucky.

The referenced site at Waverly Hills Park off Arnoldtown Road is not suitable for collocation for the following reasons:

- This tower was primarily built for County public uses. We have made many efforts to collocate on this tower, but have met resistance by the County emergency services. Additionally, according to the original tower design specifications, it is already at structural capacity.

TEA GROUP INCORPORATED - Commonwealth Business Center, 11001 Bluegrass Parkway, Suite 330,
Louisville, Kentucky 40299

*Proprietary, Restricted & Confidential
Pursuant to Company Instructions*

239KY - South Parkland



© 1997 DeLorme. Street Atlas USA

Mag 15.00
 Mon Jun 29 10:02 1998
 Scale 1:15,625 (at center)

1000 Feet

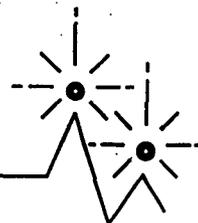
500 Meters

- | | | | |
|---|---------------------------|---|------------------|
|  | Local Road |  | Locale |
|  | US Highway |  | Water |
|  | Interstate/Limited Access |  | River/Canal |
|  | Major Connector |  | Park/Reservation |



CROWN[®]

COMMUNICATIONS



Thursday, October 01, 1998

Amy Stemle
GTE Wireless / Contel Cellular
652 South 3rd Street
Louisville, KY 40202

Certified Mail Return Receipt Requested #: Z 306 891 893

RE: Your Site at 4400 Paralee Drive, Louisville, KY 40272
Our Site #: 239KY

Dear Amy,

Pursuant to zoning requirements by the Louisville and Jefferson County Planning Commission, please consider this a formal request for your company to consider allowing Powertel to Co-locate on your existing 150' tower at the Waverly Sanatorium property off Dixie Hwy, Louisville, Kentucky 40272. Powertel will require a radio transmission center at a minimum height of 180' in order to cover this area.

Please respond to this request within the next ten days. Thank you for your anticipated cooperation.

Sincerely,

Aaron Johnson
Site Acquisition & Zoning Manager
Crown Communication Inc.

Is your RETURN ADDRESS completed on the reverse side?

SENDER:

- Complete items 1 and/or 2 for additional services. **230KJ**
- Complete items 3, 4a, and 4b.
- Print your name and address on the reverse of this form so that we can return this card to you.
- Attach this form to the front of the mailpiece, or on the back if space does not permit.
- Write "Return Receipt Requested" on the mailpiece below the article number.
- The Return Receipt will show to whom the article was delivered and the date delivered.

I also wish to receive the following services (for an extra fee):

- Addressee's Address
- Restricted Delivery

Consult postmaster for fee.

3. Article Addressed to:

Amy Stemle
 GTE Wireless / Contel Cellular
 652 South 3rd Street
 Louisville, KY 40202



4a. Article Number

2300291893

4b. Service Type

- Registered
- Express Mail
- Return Receipt for Merchandise
- Certified
- Insured
- COD

7. Date of Delivery

10-2-98

5. Received By: (Print Name)

6. Signature: (Addressee or Agent)

X *Dariusz Kulis*

8. Addressee's Address (Only if requested and fee is paid)

PS Form 3811, December 1994

Domestic Return Receipt

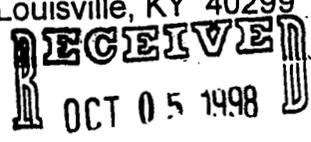
UNITED STATES POSTAL SERVICE



First-Class Mail
 Postage & Fees Paid
 USPS
 Permit No. G-10

● Print your name, address, and ZIP Code in this box ●

Crown Communication Inc.
 11001 Bluegrass Parkway
 Suite 330
 Louisville, KY 40299



LOUISVILLE AND JEFFERSON COUNTY
PLANNING COMMISSION
514 WEST LIBERTY STREET
THURSDAY DECEMBER 3, 1998 - 1:00 P.M.

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DOCKET: 4-29-98 & 9-36-84

REPORTER: WENDY L. McLAUGHLIN

RECEIVED
DEC 1 1998
Planning & Development Services

LOUISVILLE LEGAL REPORTERS
Suite 420
730 West Main Street
Louisville, KY 40202
(502) 589-9002

ORIGINAL

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A P P E A R A N C E S

PLANNING COMMISSION
CHAIRMAN DULWORTH

MR. CRAWFORD	MR. SERAPHINE
MR. ADAMS	MS. SPALDING-FERRELL
MR. TRAUGHBER	MR. HERRON
MR. THIENEMAN	

STAFF

MR. HULEFELD	MR. THOMAS
MS. BILITSKI	MS. BARLOW
MR. BLEDSOE	MS. FOSTER
MR. LUTZ	

1 CHAIRMAN DULWORTH: The first item in new
 2 business is 4-28-98 and 9-36-84. Crown
 3 Communications the request is a revised detailed
 4 district development plan and cellular tower.
 5 Jack.

6 MR. RUF: Thank you Mr. Chairman. The
 7 communities facilities review request under
 8 4-29-98 involves an application for 180 foot tall
 9 self supporting lattice tower capable of
 10 accommodating at least four different cellular
 11 providers a lightening rod will further extend the
 12 height 20 feet for a total of 200 feet, this is on
 13 the site of the Old Waverly Hills hospital.

14 The planning commissions charge in these
 15 circumstances is to ascertain wether or not the
 16 proposal is in agreement with the comprehensive
 17 plan and zoning regulations. With regard to the
 18 zoning district regulations section 8.2B
 19 is the applicable section and it appears that the
 20 proposal is in accordance with most of the section
 21 with the except for two circumstances, one being
 22 the pictorial representations from all directions
 23 and the other being landscaping of the site the
 24 applicant has requested a waiver of landscaping.

1 avoiding the creation of nuisances or taking on
 2 measures as necessary to make sure that a proposed
 3 development or community facility is not a
 4 nuisance to surrounding areas. The height of the
 5 tower in addition to it being on a hillside may
 6 create a visual intrusion into the area so the
 7 applicant should address this issue specifically
 8 with regard to these guidelines.

9 In addition guidelines F-2 and F-3 are
 10 concerned with the location of community
 11 facilities and are perhaps most applicable to the
 12 applicants statement dealing with potential
 13 co-location sites as well as alternate sites
 14 co-location sites with existing structures where
 15 they might put antenna in lieu of constructing a
 16 new tower. Alternate sites, would be sites-- as
 17 alternates to this one or construction of a new
 18 tower. And the Planning Commission must evaluate
 19 the acceptability of the reasons presented as they
 20 are attached to your staff report, as submitted to
 21 the staff.

22 Based upon all the evidence and testimony
 23 presented and submitted to the commission the
 24 commission must determine if the proposal is in

1 Two pictorials have been submitted and
 2 the applicant has indicated that the existing
 3 vegetation as well as the topography of the site
 4 make pictorials for other directions at the given
 5 distances basically irrelevant because they would
 6 not really show anything that would be relevant or
 7 give you any further insight into how the tower
 8 might appear.

9 The applicants reason for the landscape
 10 waiver are also the topography and the dense
 11 vegetation surrounding the site. In the staff
 12 report I noted that at the time of the report
 13 lighting of the tower had not been finalized
 14 between the writing of the report today I have
 15 recieved documentation that the FAA at this time
 16 does not require any lighting of the tower and the
 17 FAA would have to order lightening subsequently if
 18 there were to be any any lighting of this tower.

19 With regard to the comprehensive plan the
 20 proposal does appear to comply with numerous of
 21 the guidelines of the comprehensive plan there are
 22 some specific ones that we've asked the applicant
 23 to address through. In particular Utilities
 24 guidelines U-5, U-6, R-1, and F-5 deal with

1 accordance with the comprehensive plan and zoning
 2 regulations the planning commission must issue its
 3 final decision by December 7, 1998 or the proposal
 4 will presume to have been approved by law. I do
 5 want to make one other note while we're on 4-29-94
 6 and that this proposal was deemed accepted on
 7 October 8th which was prior to the commission
 8 adopting a resolution requesting voluntary
 9 withholding of any future application so this
 10 request was filed prior to the adoption of that
 11 resolution by the commission.

12 The last item I need to address is the
 13 fact that this is on the site of a plan certain
 14 rezoning from 1984 in effect the plan submitted in
 15 84 has expired in our terminal if you were to
 16 approve the tower you would need to approve the
 17 revised district development plan to approve that
 18 construction. The balance of the site at this
 19 time the applicant has indicated he is proposing
 20 no further development on, because the Waverly
 21 Hills Hospital is a designated historic site
 22 Jefferson County Historic Preservation requests
 23 review of any plans associated with the hospital
 24 structures we have suggested two binding elements

1 be attached to the action that might happen on the
2 revised development plan under 9-36-84. I will be
3 happy to answer any questions you might have.

4 CHAIRMAN DULWORTH: Any questions from the
5 Commission.

6 MR. RUF: I did forget one thing you
7 should have before you a letter we recieved in
8 opposition from an attorney representing CMD and
9 Mac Dickerson as entities involved in developing
10 property between Arnold Town Road and Dixie
11 Highway registering their opposition to the tower
12 request.

13 MR. GRAHAM: Good afternoon members of the
14 commission for the record I'm Norm Graham Wyatt,
15 Terrant & Combs 500 West Jefferson Street
16 Louisville, KY 40202.

17 I'd just like to reaffirm Mr. Ruf's
18 statement that no lighting would be required
19 righting on this tower that is pursuant to the FAA
20 approval letter which states as such. I'd like to
21 hand out a couple of handouts I've got copies for
22 each of you. The purpose of this handout is just
23 to give you an update on a handout which I gave
24 you on your very first cell tower case back in

1 north on an existing Bell South Tower, and to the
2 northwest an existing Bell South tower and to the
3 southwest an existing Bell South tower.

4 I am also told and there are other people
5 that can provide this information to you in more
6 detailed form but something like 29 of the 34 or
7 so existing Bell South facilities in our community
8 have more than two carriers on them. In interest
9 of efficiency I'm going to had out all my
10 submittals at one and I'll just run through them
11 and explain to you what they are.

12 First I'm submitting a letter from the
13 engineering company which is representing Tri-tel
14 corporation and some of you may have had
15 conversations with your staff representative Mr.
16 Ruf I'm sure that Tri-tel has probably been in
17 contact with Mr. Ruf already and can demonstrate
18 that they coming and will require facilities for
19 their equipment. Also I am submitting a letter
20 from GTE which I'll get to in a minute GTE does
21 have one site near ours and which we have sent
22 them a letter requesting collocation on that and
23 we did not receive a response to that letter.
24 there's also a memorandum to the file based on a

1 March and that handout identified what the FCC
2 licences were and who owned them and how many cell
3 tower companies were coming. I have marked up
4 that report to show you who is what, of course
5 there will be we have six cellular telephone
6 companies GTE, Bell South and Sprint are of course
7 already here and have their equipment in the air
8 the companies that are in the process of coming
9 are Powertel, Nexttell and Tri-tell. The
10 commission has regularly preached co-location as
11 you will see in a minute in my opinion the
12 commission is preaching to the choir to the
13 companies in that regard as you will see in fact
14 the industry has substantially incorporated
15 collocating into the efforts into bring these
16 companies into the area. For example, page two is
17 a map which shows the cell site which communicate
18 with the proposed cell site for today for Powertel
19 which by is one of the confirmed carriers on this
20 tower. As you can see the Powertel map identifies
21 the proposed new site with their number
22 LKY056043. As you can see each adjoining cell
23 site that this site would communicate with is a
24 collocation, to the east on a water tank, to the

1 conversation I had with Mark Adams Crown
2 Communication has pursued collocation on the
3 existing county tower out there in addition
4 Powertel one of out three customers on this site
5 has also pursued collocation on the existing
6 county tower and have been rejected. I spoke
7 about that with Mr. Adams who suggested that
8 perhaps he could get further along than I could
9 with it and was unable to do so largely because
10 the existing county tower according to the people
11 are responsible for that tower is already loaded
12 up and cannot accommodate any more facilities.

13 MR. ADAMS: For the record I would like
14 to clarify that I did address that with Jefferson
15 County Police and there is not available capacity
16 to service these carries over on the county tower.

17 CHAIRMAN DULWORTH: Mr. Graham, on the
18 face of it without further testimony it seems like
19 this probably is an appropriate site given the
20 characteristics, the big hill, unimproved land but
21 I am concerned about the future again this does
22 seem like an appropriate site and I can see the
23 demand for this site exceeding maybe even your
24 current requirements. You're saying you've

1 contracted for how many people.
 2 MR. GRAHAM: Three, Powertel which of
 3 course as you know are in the process of
 4 implementing their network as we speak, Nexttel
 5 which is a little bit further behind, and the
 6 letter I submitted which is Tri-tel which will be
 7 the last and final phone company who have
 8 indicated to us that this is one of the sites they
 9 want.

10 CHAIRMAN DULWORTH: How many more will
 11 this tower how old.

12 MR. GRAHAM: I don't know if it will hold
 13 anymore I think it will accommodate at least
 14 three.

15 MR. BINKLEY: For the record my name is
 16 John Binkley my address is 11001 Bluegrass Parkway
 17 suite 330 Louisville Kentucky 40299. The
 18 currently tower design that Crown has for this
 19 location is a 180 foot self supporting tower which
 20 is designed to carry four full 12 panel antenna
 21 arrays in addition to microwave. Many times the
 22 towers that are designed this strong we will be
 23 able to continue to find room for antennas above
 24 and beyond that but that is the initial design

1 you will see antenna at 180, 165, 150 and then if
 2 you know the additional position would be 135
 3 microwave dishes below that we have flexible tower
 4 segments to add what isn't required when for that
 5 future tenant.

6 CHAIRMAN: Are all of your lattice towers
 7 capable of being added on to.

8 MR. BINKLEY: To a certain degree. The
 9 majority of them our engineering department is
 10 comfortable that 20 to 40 feet can be added on to
 11 those facilities without much difficulty at all.

12 MR. HERRON: My question is for Mr.
 13 Grahm.

14 MR. THIENEMAN: Mr. Binkley in regards to
 15 the opposition letter on the tower being in front
 16 of where the subdivision is going to be has that
 17 been addressed or have you looked at that?

18 A. Well, Mr. Dickerson I was just informed
 19 by our site acquisition agent who was working on
 20 this project he is present in the audience today.
 21 Crown was negotiating a lease with Mr. Dickerson
 22 to put the tower on his property and due to the
 23 limited accessibility to get to the top of his
 24 property, the number of trees and vegetation that

1 load capability we are also able to add tower
 2 segments to the top of this facility in the event
 3 that in the future somebody else needs room that
 4 is not available. Our compound that we have got
 5 an easement for is large enough that in the event
 6 one day this tower is overloaded and there is not
 7 other thing we can do with it to accommodate more
 8 antennas we would have enough room to replace and
 9 reorganize the site to put in an even stronger err
 10 and taller facility to accommodate future growth
 11 well beyond the next 10 or 20 years.

12 CHAIRMAN: How many carriers can you put
 13 on this 180 foot tower if you maxed it out.

14 MR. BINKLEY: Our design is for 5
 15 different tenants with full antenna arrays and
 16 most of them do not usually go to that full
 17 antennae array for years.

18 CHAIRMAN: And if you wanted to add a
 19 segment how tall would that be and how many
 20 additional carriers could you put on that.

21 MR. BINKLEY: You would be able add
 22 segments in either 10 or 20 foot sections this
 23 particular facilities we're planning for 15 foot
 24 separation ray between the companies antennas so

1 would need to be constructed through we opted to
 2 go with this particular site because we do not
 3 have to effect any existing tree masses, similar
 4 to other two alternate sites we looked at the
 5 roadway that we would have had to cut in would
 6 have required removing a lot of the existing tree
 7 mass and we felt that by utilizing existing access
 8 ways we would be able to mitigate further impact
 9 to the community.

10 MR. ADAMS: Mr. Binkley, can you respond
 11 to the GTE wireless tower that there is already
 12 one available can you respond to that.

13 MR. BINKLEY: Well the GTE tower could
 14 probably be thrown into same category as your
 15 Waverly Park Emergency Tower. The one
 16 disadvantage that the GTE tower has is it's not
 17 400 feet tall which would provide plenty of
 18 vertical spacing for the number of antennas that
 19 are needed in the area. The GTE is a 150 foot
 20 tower and all of anchoring tenants require height
 21 in excess of 150 feet or right at the 150 feet
 22 level which would create interference problems
 23 ultimately the GTE tower would have a very
 24 difficult time being extended to these heights

1 that are required for the other phone companies as
2 well as carrying the antenna load so you have both
3 a height and a structural problem with the GTE
4 facility expanding to accommodate the demand for
5 antenna space in that area.

6 MR. HERRON: Let me ask the question that
7 I always ask why don't you work with GTE to
8 construct a new tower on it's existing site.

9 MR. BINKLEY: Well, that question we
10 anticipated and we would also offer the
11 opportunity to Jefferson County the Waverly Park
12 Site is the preferred location for the companies
13 in this area and I would return that question to
14 you, is Jefferson County ready to work with us to
15 replace and upgrade that 400 foot tower.

16 MR. HERRON: You didn't you answer my
17 question, sir. I want you to answer my question.

18 MR. BINKLEY: Sir, we have presented a
19 letter to GTE they have not respond about
20 accommodating antennae at additional height. In
21 my experience it is very rare that a carrier will
22 go to that additional expense on there own.

23 MR. HERRON: Well, let me ask the question
24 again, for the third time: Does your letter to

1 put a tower anywhere within the 130 acres because
2 there's only a few high elevations where it's
3 really efficient.

4 CHAIRMAN: What's been GTE's policy on
5 collocation as I recall I don't think they've been
6 to cooperative with us.

7 MR. BINKLEY: GTE just like Bell South
8 does have a marking representative to market their
9 towers for collocation currently it's my
10 understand that GTE and I have visually verified
11 that GTE has collocated a large number of carriers
12 on their facilities. Many times however when a
13 future tenant to collocate asks GTE about the
14 facility because of their future antenna needs or
15 their expansion antenna growth their tower is not
16 going to be structurally capable so in the event
17 that GTE may be turning away customers it would be
18 because the structural capabilities of their
19 facilities are not strong enough, because 10 years
20 ago or 5 years ago they weren't expecting this
21 boom of competition to enter into the market so
22 they were designed not to suport.

23 CHAIRMAN: Now you guys, Crown you all
24 just build towers you don't provide any service.

1 GTE contain any reference to working to reduce
2 their tower take it out build a new tower to
3 accommodate both operations.

4 MR. BINKLEY: No, our letter does not.

5 MR. SERAPHINE: What was the date of your
6 letter to GTE.

7 MR. BINKLEY: October 1.

8 CHAIRMAN: Now, is the GTE tower on top of
9 the hill or below.

10 MR. GRAHAM: It is very close to our tower
11 and just so you have a picture of area this tower
12 site is on a 28 acre site that was a part of the
13 Waverly Hills Sanatorium site which was originally
14 130 acres. This is a 28 acre site in the middle
15 of it immediately to the west is another 40 acre
16 site that was another part of the 130 acres that
17 Mr. Dickerson owns and that is undeveloped at this
18 time as well, to the east, excuse me the Dickerson
19 site is to the west and it's a 60 acre site, to
20 the east is a 40 acre site which is the last
21 remaining parcel of the sanitorium site. So you
22 have, I mean, this tower site is basically within
23 130 acres which are at present undeveloped. Now
24 there a number of hills on there so you just can't

1 MR. BINKLEY: That is correct. Crown
2 tries to identify areas where there's limited
3 infrastructure available, we anticipate a high
4 demand for service and coverage in the area and
5 those are the areas where we begin planning and I
6 believe this plan started two years ago now that
7 we've been working in Jefferson County to identify
8 locations where we can build a facility that will
9 hold three carriers and our business plan has been
10 very successful.

11 CHAIRMAN: Do you all do business with all
12 providers.

13 MR. BINKLEY: We have been working with
14 every company in the State of Kentucky which goes
15 well beyond the the six that can provide service
16 in Louisville for the last two years and our
17 communications are open from the minute they walk
18 into the market and we provided them with
19 coordinate lists of all the Crown and Bell South
20 facilities and just like the marketing firm for
21 GTE has thrown all of coordinates out in front of
22 and the carriers their cooperation begins in the
23 planning and the design stage of their network
24 they really do look at every existing tower every

1 a existing roof top and water tank and they try
2 to collocate as many places as possible especially
3 in the state of Kentucky where a local and a state
4 zoning process can take as much as 18 months to
5 two years for approval.

6 MR. SPALDING-FERRELL: Are all four of
7 carriers that you indicated you have commitments
8 from them that they would collocate.

9 MR. BINKLEY: We have three companies that
10 we are working with our tower is designed to hold
11 four plus a microwave tenant which could easily
12 become another cellular phone company or wireless
13 data company as wireless data is moving into this
14 area and deploying antennas. The three carriers
15 that we have the commitments from are in various
16 stages of the processing of their applications for
17 example tri-tel just showed up we anticipate they
18 would need this site and we're anticipating their
19 application to go on it and the letter indicates
20 that.

21 MR. RUF: Very quickly two items. First
22 of all I would like to confirm that staff is aware
23 of that there have been some collocations on the
24 part of GTE, I couldn't give you a number but I am

1 lessees of your tower vying for the same
2 locations.

3 MR. BINKLEY: Not at this time, sir.

4 CHAIRMAN: Any further questions? You
5 ready to wrap up Mr. Graham.

6 MR. GRAHAM: Yeah, just in the interest of
7 going quickly I will refer to my collocation
8 statements and the organizations statements filed
9 with the application. There are only two location
10 opportunities one is the county tower and the
11 other is the GTE tower which we have discussed the
12 alternate sites that were investigated because of
13 big size of properties there aren't many that can
14 accommodate us this is really the only feasible
15 site except for the county site which is probably
16 the most desirable. The adjoining 40 acre site
17 and the other adjoining 60 acre site didn't
18 indicate a desire to have our facility on their
19 property.

20 One final thing this is just to give you
21 a feel for how high this tower would be. The
22 county tower is located at an elevation of 760
23 feet and it's a 400 foot tower that means that the
24 top of that tower is an elevation of 1160 feet

1 aware that there have been some. Secondly, I had
2 a question for you Mr. Binkley the letter from
3 tri-tel indicates they are looking at a design
4 height of 165 feet another letter indicates I
5 believe Powertel is interested in a 180 feet of
6 the three carrier that you're talking with are any
7 of them competing for the same location on the
8 tower such that if you committed to one and
9 another one feels like they need that same height
10 are they going to a back saying well that tower
11 isn't going to work for us.

12 MR. BINKLEY: Well, the beauty of a Crown
13 facility is we get to basically have the ultimate
14 approval of where antennas are added for example
15 should Nexttel confirm that 180 feet is where they
16 would like to direct their Omni directional
17 antennas we could locate them at at the 180 foot
18 level perhaps with Powertel use some filters to
19 mitigate the potential interference because one is
20 PCS and one is in the SMR band wave. There's
21 enough separation in that band width that we can
22 in some cases collocate multiple carriers at the
23 same level.

24 MR. RUF: So you don't have potential

1 which is very high, that's one of the reasons it
2 can be seen from quite a distance away. Our tower
3 is on an adjoining hill the elevation is 600 feet
4 and the tower is maximum of 200 feet tall which
5 means that our maximum elevation would be
6 approximately 800 feet which is almost 400 feet
7 lower than the county tower, so where the county
8 tower can be seen from a long distance away ours
9 won't because it's a much shorter much less
10 obtrusive facility I just thought I'd let you
11 know.

12 MR. THIENEMAN: Mr. Graham how close is
13 this to the existing 150 foot tower.

14 MR. GRAHAM: I don't know exactly but it's
15 on the same same tract.

16 MR. THIENEMAN: An acre or yards.

17 Mr. Graham: It's more than 30 feet as the
18 paper quoted today. It would have to be because
19 our lease is at least 100 feet so it would need to
20 be at least 80 feet away at the very minimum. I
21 check that.

22 CHAIRMAN DULWORTH: Any further
23 questions? Thank you Mr. Graham. Does anybody
24 else want to speak in favor of this proposal. We

1 have one person signed up in opposition Janice
 2 Trent. I'm sorry, Mr. Whitty did you want to
 3 speak?
 4 MR. WHITTY: Paul Whitty 3300 National
 5 City tower on behalf of Powertel which as you know
 6 has a letter of intent signed with Crown
 7 Communication to be on this tower it's an
 8 important one for Powertel. We have launched our
 9 system on November 23 it was a network design with
 10 the assumption that Waverly EMS tower would be
 11 available we were rather surprised that it was not
 12 available to us so this was our alternative, so,
 13 now we do need this site. We have network
 14 surrounding this that comprised almost entirely of
 15 collocation there is only one site we have that
 16 communicates with this, which is the Greenfield
 17 site that's what we call the what Zern Hill site
 18 off Southern Parkway.
 19 It is important for Powertel to have this
 20 site we couldn't collocate on the GTE because of
 21 it's height and because it's already very close to
 22 another collocation we have so it wouldn't work
 23 for us so we hope that you would consider this
 24 application very carefully because there are

1 of the hill and little shops there's all kinds of
 2 feasibilities (sic) but we do not want to look at a
 3 tower up there and I assume a tower with lights on
 4 it. There is a lot of dense vegetation between
 5 all of us but as I said the GTE tower is visible
 6 and this one would be more visible and we are all
 7 opposed, thank you.
 8 CHAIRMAN DULWORTH: Does anybody else want
 9 to speak in opposition to this proposal? Mr.
 10 Graham you want to rebut?
 11 MR. GRAHAM: I suppose no site is
 12 absolutely perfect for a cell tower but this one
 13 does have the benefit of being in a wooded area so
 14 there is substantial tree coverage particular for
 15 the lower elevations of the tower. Also I'm sorry
 16 I don't know exactly where Bridgegate subdivision
 17 is but I know it must be at least a quarter to a
 18 half a mile away from this particular facility.
 19 So that I don't dispute in anyway that the
 20 facility is probably visible but you would have to
 21 look for it. It is not close to or domineer over
 22 any existing residences and therefore I don't
 23 think it would create an unnecessary nuisance
 24 these facilities are a necessary part of modern

1 consequences of denial of this proposal that will
 2 flow to the other carriers which may be required
 3 to bring in applications for additional towers and
 4 will all know that the intent of regulation is to
 5 reduce the proliferation of these towers.
 6 CHAIRMAN: Quick question I don't know if
 7 you know this. GTE tower is it a lattice or a
 8 monopole.
 9 MR. WHITTY: I don't know the answer to
 10 that.
 11 MS. TRENT: My name is Janice Trent I live
 12 at 3511 Gateview Place in Bridge Gate subdivision
 13 and I have names of other residents and we are all
 14 opposed to the construction of this tower. The
 15 GTE tower is visible to our subdivision because we
 16 are also built on a hill it's very visible to our
 17 subdivision and this tower being even taller would
 18 be even more visible and I cannot comprehend a
 19 tower that tall without some kind of light to warn
 20 an airplane. There are many possibilities for
 21 that area up there if they just thought about.
 22 As far as Waverly Hills being a historic
 23 site it's in complete shambles there's no hope for
 24 that, there could be a restaurant built at the top

1 life.
 2 MR. ADAMS: Mr. Graham, will you agree to
 3 contact GTE and make them the same offer you made
 4 the county of reconstructing that tower for them?
 5 I know you all had offered to reconstruct the
 6 county tower are you all agreeable to make that
 7 same contact with GTE?
 8 MR. BINKLEY: Um, that effort would end up
 9 being counterproductive to our business case.
 10 MR. HERRON: What does that mean.
 11 MR. BINKLEY: Well, we're in the business
 12 of constructing multiple carrier facilities to
 13 provide business opportunity for Crown in this
 14 community to help the community to limit tower
 15 proliferation. We have an agreement with Bell
 16 South that allows us to work very closely with
 17 them and I think that trying to get to close to
 18 GTE at this point would probably conflict out
 19 agreements that we have in place and could be
 20 detrimental to the business case and the
 21 significant investment we've made in getting this
 22 far for this facility.
 23 CHAIRMAN DULWORTH: You mean you all can't
 24 rent to GTE.

1 MR. BINKLEY: Oh, no in fact GTE is a
2 customer of ours and Bell South is a tenant on GTE
3 towers in Jefferson County as well, but going to
4 GTE to rebuild there structure for them would not
5 allow an opportunity for us to have a business
6 case or a business presence.

7 CHAIRMAN DULWORTH: Well, if I understand,
8 the request is take there's down and you all
9 reconstruct yours up to a 180 feet and then rent
10 it out to all these other people and give GTE a
11 spot.

12 MR. BINKLEY: We could write a letter to
13 GTE and offer them the opportunity to locate their
14 equipment on our tower and in that case turn there
15 tower down.

16 CHAIRMAN: Is that what you're requesting
17 commissioner.

18 MR. ADAMS: Well, more than that because
19 they've got some available capacity on their tower
20 today so they're not going to agree to looseing
21 capacity that already exists.

22 MR. BINKLEY: Well, it's certainly a
23 difficult question to answer because they do have
24 that asset out there all ready and it is suitable

1 companies work. You better believe that Powertel,
2 Nexttell Tri-Tel that everybody has already
3 negotiated with GTE about locating there equipment
4 on the GTE tower. And if Powertel tells you that
5 they couldn't get on there tower it means they
6 couldn't get on there tower.

7 MR. HERRON: Let me turn the question
8 around instead of locating on their tower I'll ask
9 it for the fourth time lets take their tower down
10 build up a new tower, how do you respond to that.

11 MR. GRAHAM: Um, I think one of reasons
12 you've had to ask the questions four times is
13 because the answer is, no; and nobody wants to
14 come out and say that.

15 MR. HERRON: I guess, I don't understand
16 what part of no I don't understand. So give me the
17 answer that you want to give me besides no. I
18 understand no.

19 MR. BINKLEY: We'd like to replace the
20 Jefferson County tower sir that is a key location
21 that would limit.

22 MR. HERRON: You keep spinning the
23 question sir I understand what you're saying but
24 you're not answering my question.

1 for their needs and the additional expense or cost
2 would be a decision that GTE would be asked to
3 make.

4 MR. ADAMS: I think it's worth exploring
5 the possible of eliminating that tower and
6 reconstructing one that would meet your needs and
7 their needs and the future needs of the community.

8 MR. BINKLEY: The tower we're constructing
9 may meet their needs however, their engineering I
10 was looking at the pictures it does appear to be a
11 pretty considerable distance away from our tower
12 they would need to make a lot of decisions but we
13 would extend the invitation for them to relocate
14 their equipment to our tower.

15 CHAIRMAN DULWORTH: What's the action date
16 on this.

17 MR. RUF: December 7th, Monday.

18 MR. HERRON: If we defer Jack do we stop
19 the toll on December 7th.

20 MR. RUF: December 7th if you have not
21 acted by statute the request will be deemed
22 approved.

23 MR. GRAHAM: While you're pondering let me
24 address the practical procedures of how these

1 MR. BINKLEY: Well this is our only
2 opportunity to rebut. Are you willing to allow us
3 to do that with your facility?

4 MR. HERRON: I asked my questions first
5 you have not given me an answer, is the answer
6 still no.

7 MR. BINKLEY: We will write a letter to
8 GTE and ask them to move their equipment to our
9 proposed tower.

10 MR. HERRON: That's what Mr. Adams was
11 asking you, thank you.

12 MR. SERAPHINE: Have you ever in Jefferson
13 County say anywhere Crown builds have you ever
14 done this go into GTE or one of these other
15 supplier who supply not only the service but the
16 tower, have you ever gone in and rebuilt the tower
17 some place and said well share the business, or
18 we'll share the profit because that's basically
19 what we're getting down to. You all are in the
20 business of providing the space on the tower you
21 don't sell the service; what I'm asking have you
22 all ever done this anywhere else in Jefferson or
23 county or anywhere else.

24 MR. BINKLEY: We have two towers in

1 Jefferson County that are owned by our marketing
 2 partner Bell South mobility where we are extending
 3 them by as much as 15 to 20 feet to accommodate
 4 Powertel so they do not need to build a new tower
 5 in the area. We have in many communities all over
 6 the country worked with local 911 emergency
 7 providers, fire departments, to replace existing
 8 infrastructure, market that new infrastructure
 9 that we've constructed and create a revenue
 10 opportunity for both the community and for Crown.
 11 We have also had to build new towers right next to
 12 Crown towers and take the Crown towers down and
 13 that is certainly something that has been done and
 14 has been pursued by our organization, yes, sir.
 15 MR. SERAPHINE: So you have done it before
 16 so it's a possibility you might be able to do it
 17 with GTE.
 18 MR. BINKLEY: And it's a very good
 19 possibility that their could be a number of other
 20 tower modifications here in Jefferson County
 21 should everything keep going on the very
 22 cooperative path that we're on.
 23 CHAIRMAN DULWORTH: Any further questions
 24 from the commission? If not we'll move into

1 consideration of docket 4-29-98 & 9-36-84.
 2 MR. HERRON: Mr. Chairman, I move deferral
 3 on the case knowing that the nothing clock is told
 4 because I would like to see a letter back from GTE
 5 on the question that we've been trying to get them
 6 to answer.
 7 CHAIRMAN DULWORTH: But we won't have a
 8 meeting before --
 9 MR. HERRON: I'll remove my motion then.
 10 CHAIRMAN DULWORTH: Can we structure this
 11 in a way I personally like the location and I
 12 think that this company is a tower provider not a
 13 service provider and it seems to me that their
 14 tower is going to be capable of handling more
 15 carriers in the future and that ultimately gets to
 16 I believe our goal which is to eliminate the
 17 proliferation of towers in the community. But, I
 18 believe there are unanswered questions here
 19 particularly in regards to the GTE tower extension
 20 of it maybe moving them, or taking their spot or
 21 something like that.
 22 Can we structure a motion either way I
 23 guess, at this point where there could be heavier
 24 consideration to find out exactly what GTE's plans

1 are and if it can be moved or if their tower can
 2 even be extended or something like that make a
 3 recommendation to the PSC that they further delve
 4 into this in area.
 5 MR. RUF: My observation would be that
 6 perhaps the best thing might be to structure your
 7 motion to request the public service commission
 8 pursue that opportunity during their review of
 9 this installation.
 10 MR. HERRON: I'll make that motion Mr.
 11 Chairman to approve with the proviso that the
 12 Public Service Commission ask those questions that
 13 we've been trying to get answers to.
 14 CHAIRMAN DULWORTH: Are we clear on the
 15 questions Jack.
 16 MR. RUF: I believe so the questions would
 17 be, you would like one tower up there either Crown
 18 going where GTE is reconstructing or putting GTE
 19 on this site and taking down the GTE tower.
 20 MR. HERRON: Preferably the former if you
 21 get my drift.
 22 MR. TRAUGHBER: As the new guy on the
 23 block approval of the plan should mean approval of
 24 the landscape waiver as well?

1 CHAIRMAN: We have what two requests
 2 4-29-98 is the actual is that the detailed
 3 district development plan or is that the cell
 4 tower?
 5 MR. RUF: 4-29 is the cell tower and you
 6 would need to be specify whether or not you want
 7 to wave the landscaping requirements of the
 8 community facility review section as applicable to
 9 this tower as part of your motion.
 10 CHAIRMAN DULWORTH: On 9-36.
 11 MR. RUF: On 4-29.
 12 MR. HERRON: I don't want to waive any
 13 landscape requirements. I'll amend my motion to
 14 make sure the landscape requirements are not
 15 waived I want the landscape requirements kept.
 16 CHAIRMAN DULWORTH: Yeah, I agree with
 17 that.
 18 MR. TRAUGHBER: So the message then this
 19 commission is sending by voting yes on this motion
 20 extends to The Public Service Commission is that
 21 we recommend this site provided that they're able
 22 to secure an agreement with GTE. is that what this
 23 motion means.
 24 CHAIRMAN DULWORTH: No, I don't believe

1 that we're in that position.
 2 MR. TRAUGHBER: So, what we're sending on
 3 to the Public Service Commission is a
 4 recommendation to allow this tower to be built
 5 that's what an affirmative vote means.
 6 CHAIRMAN DULWORTH: The recommendation
 7 yes, sir. In my mind, it has to do more with the
 8 future development patterns of towers in this
 9 community and I think that this individual
 10 applicant has demonstrated that they can provide
 11 the tower space necessary to accommodate multiple
 12 carriers and that's how I'm justifying it in my
 13 mind.
 14 MR. TRAUGHBER: So the conclusion then is
 15 that if an agreement is not reached with GTE this
 16 tower is fine, is what we're saying with this
 17 motion.
 18 CHAIRMAN: Yes, sir. Motion to approve
 19 is there a second.
 20 MR. ADAMS: Mr. Chairman I'd like to move
 21 denial just because I think that's going to really
 22 reduce the potential of being able to work with
 23 GTE on this, I don't think that is going to get
 24 Crown and GTE to really sit down and hammer this

1 more carriers on one tower and we don't know that
 2 is the fact with GTE.
 3 MR. ADAMS: Well, if they reconstruct a
 4 tower similar to this in the same vicinity the
 5 ground elevation is very similar to the ground
 6 elevation at this site they'll be able to provide
 7 the available capacity and more at that GTE site.
 8 It is there it's just a matter of Crown and GTE
 9 working together.
 10 CHAIRMAN DULWORTH: Are we missing an
 11 opportunity to eliminate proliferation of towers?
 12 That would be my only response. Motion to deny
 13 has been made and seconded any further discussion?
 14 All those in favor? 1, 2, 3, 4, 5, 6. All those
 15 opposed? One opposition and one abstention? I'm
 16 sorry I thought you were raising your hand.
 17 MS. SPALDING-FERRELL: If we don't act on
 18 this or we defer it it's deemed approved is that
 19 correct?
 20 CHAIRMAN DULWORTH: Yes, that is correct.
 21 Right.
 22 MS. SPALDING FERRELL: So, if we deny it
 23 what's going to happen? You know, I mean
 24 something going to happen it's going to go to PSC

1 issue out which is basically to share the cost and
 2 share the revenue. If I thought it would I would
 3 have seconded Bill's motion but just because they
 4 haven't been able to work this out and haven't
 5 proposed reconstructed GTE's tower I'm going to
 6 move denial based on U-5, U-6, F-2 and F-3.
 7 MR. SERAPHINE: SECOND.
 8 CHAIRMAN DULWORTH: Okay, we have a motion
 9 to deny that's been made and seconded. The reason
 10 I was delaying there was because we really hadn't
 11 concluded the motion to approve but it obviously
 12 died without a second.
 13 I agree, I know exactly what you're
 14 saying but my opinion is that down the road number
 15 one, we really don't have much communication with
 16 GTE I can't recall them ever coming before this
 17 commission.
 18 MR. HERRON: They've been here on some
 19 joint ventures.
 20 CHAIRMAN: Right. And therefore we really
 21 have no opportunity a forum to sit down and
 22 possibly work something out with them and work
 23 with them. Number two, I believe that this
 24 applicant has demonstrated that they can provide

1 anyway.
 2 CHAIRMAN DULWORTH: Correct. Well, we
 3 only have recommendation authority. Okay. Motion
 4 to approve the motion and I assume the motion to
 5 denied had the same request on there, that they
 6 work with GTE.
 7 MR. HERRON: The same questions have to be
 8 asked at the public hearing at the PSC on our
 9 recommendation.
 10 CHAIRMAN DULWORTH: Okay. The detailed
 11 district development docket 9-36-84 we have a
 12 motion; Commissioner Adams a motion to deny the
 13 detailed district development plan?
 14 MR. ADAMS: Yes.
 15 CHAIRMAN DULWORTH: Do we have a second?
 16 SECOND
 17 CHAIRMAN: All those in favor?
 18 Passes unanimously.
 19
 20
 21
 22
 23
 24

1
 2 STATE OF KENTUCKY)
 3 COUNTY OF JEFFERSON)
 4 I, WENDY L. McLAUGHLIN, Notary Public in
 5 and for the State of Kentucky at Large, do hereby
 6 certify that the foregoing testimony was taken
 7 before me at the time and place as stated in the
 8 caption; that the said proceedings were taken down
 9 by me in stenographic notes and afterwards
 10 transcribed under my direction; that it is a true,
 11 complete and correct transcript of the said
 12 proceedings so had; that the appearances were as
 13 stated in the caption.

14 WITNESS MY SIGNATURE this the *10th* day
 15 of *Dec*, 1998.

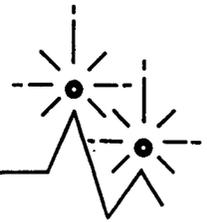
16 MY COMMISSION EXPIRES: April 28, 1999.

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Wendy L. McLaughlin
 WENDY L. McLAUGHLIN
 Court Reporter and Notary
 Public, State at Large



CROWN[®]
COMMUNICATIONS



December 11, 1998

Mr. Michael A. Sandifer
Manager, Property Management
GTE Wireless
3100 West End Ave., Suite 700
Nashville, TN 37203

RE: Tower Replacement Proposal

SENT VIA CERTIFIED MAIL

Dear Mr. Sandifer:

On December 3, 1998, Crown Communication Inc. (Crown) appeared at a public hearing before the Jefferson County Planning and Zoning Commission. This hearing was scheduled to review our Community Facility Review application for a 180' self-supporting lattice tower, located at 38-07-46 latitude & 85-50-27 longitude. This site is approximately 300' from an existing GTE Wireless (GTE) 150' lattice tower. The address of the property on which the GTE site is located is 4400 Paralee Drive, Louisville, KY 40272.

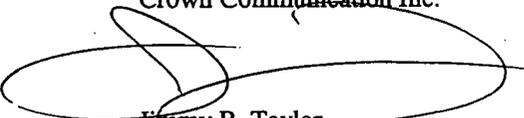
I am writing at the request of the Planning and Zoning Commission to offer a proposal which would result in the construction of a "New" tower to provide service for both Crown and GTE customers. The proposal is as follows;

- Crown and GTE would jointly construct the New 180' tower at the Crown location referenced above.
- Crown and GTE would pay on a 50/50 basis all development costs associated with the New tower.
- Crown will construct, operate and maintain the New tower on behalf of both parties.
- GTE will relocate its equipment and any existing tenants to the New tower at GTE's sole cost and expense.
- GTE will remove its existing tower at GTE's sole cost and expense.
- GTE will pay to a joint account (as Lessee on the New tower), monthly rent equal to GTE's current ground rent.
- Crown and GTE will split all revenue and expenses generated on the New tower on a 50/50 basis.
- Crown will obtain a release from BellSouth Mobility with respect to any restrictive covenants contained in the Crown/BellSouth Marketing Agreement.
- In the event a Formal Agreement is not reached between GTE and Crown within 30 days following GTE's receipt of this letter, Crown will assume GTE has rejected this proposal.

I appreciate your time and consideration of this matter. Please contact me or John Binkley immediately should you have any questions or concerns related to this matter. We can be reached by calling 502-240-0044.

Sincerely,

Crown Communication Inc.


Jimmy R. Taylor
Vice President

Crown Communication Inc. • Crown Network Systems, Inc. • Crown Mobile Systems, Inc.

Reply to: 11001 Bluegrass Parkway • Commonwealth Business Center - Suite 330 • Louisville, KY 40299 • Phone: (502) 240-0044 • Fax: (502) 240-0045

Headquarters in Pittsburgh, PA

USA Headquarters • Southpointe • 375 Southpointe Blvd. • Canonsburg, PA 15317 • Phone: (724) 416-2000 • Fax (724) 416-2200



Wireless

Friday, January 08, 1999

3100 West End Avenue
Suite 700
Nashville, TN 37203-1343

VIA OVERNIGHT MAIL

Mr. Jimmy R. Taylor
Crown Communications
11001 Bluegrass Parkway
Suite 330
Louisville, KY 40299

Re: Tower Replacement Proposal dated December 11, 1998

Dear Mr. Taylor:

I am in receipt of your letter dated December 11th, regarding Crown's proposal for replacing GTE's existing "Dixie Highway tower facility" in Louisville, a copy of which is attached. I have reviewed the proposal you offered and regret to inform you that GTE Wireless can not agree to your offer as proposed.

GTE Wireless is committed to proactive collocation in the industry and this is evident by the hundreds of sites in which GTE Wireless has already leased for collocation. Additionally, GTE Wireless recognizes that the collocation practice creates a "win-win" solution for carriers and municipalities alike. As you know, carriers generally receive funding to further their network deployment and expand their coverage "footprint" based on anticipated and current subscriber demand. Because of this, it is difficult to divert funding to relocate existing facilities and risk any reduction, or possible loss, of service coverage to our customers. With GTE Wireless's 1999 budget constraints now playing a much larger role than in the past, GTE Wireless can not agree to your offer. GTE Wireless is open to considering offers that do not require an investment from GTE Wireless or which risk degradation of service. If you are willing to present other offers, I assure you we will give them immediate and serious consideration.

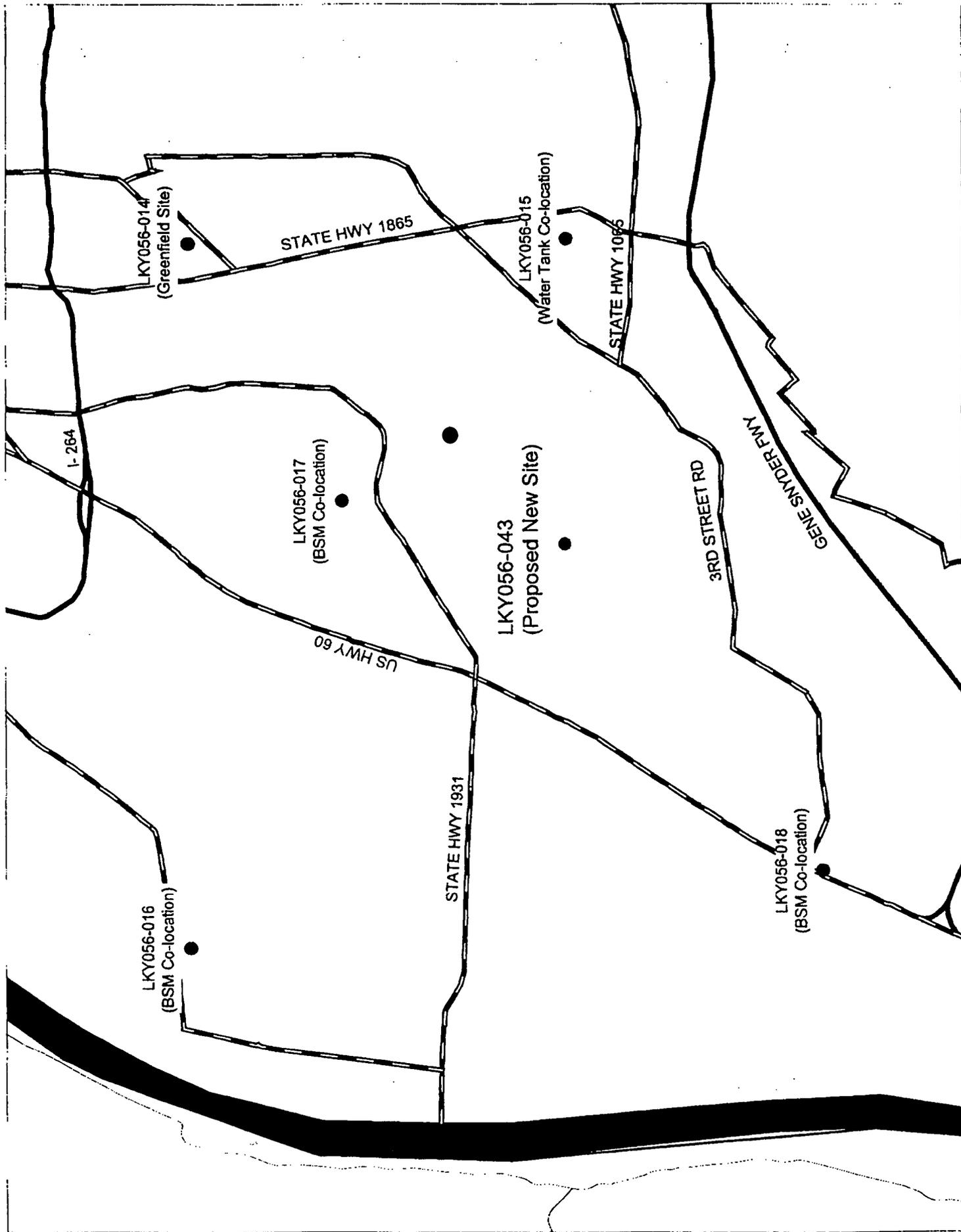
In the meantime, should you have any questions or comments, please do not hesitate to call me at 615-386-5153.

Respectfully,

Michael A. Sandifer
Manager - Property Management

Cc: Amy Stemle,
Jack Ruf

Exhibit F



KENTUCKY PUBLIC SERVICE COMMISSION

CASE NO. 99-029

**DOCUMENTS FILED IN
LOUISVILLE AND JEFFERSON COUNTY
PLANNING COMMISSION
DOCKET NO. 4-29-98**

Application for COMMUNITY FACILITY REVIEW - SECTION 8.2B.

Project name: SOUTH PARKLAND TOWER
Project address: 4400 PARALEE DRIVE, LOUISVILLE, KY zip code 40272
Owner name(s): DIXIE DEVELOPMENT CORP. phone # N/A
Contact person: 1) Norm Graham 2) John J. Lyons, Jr. phone # 1) 562-7544
500 W. Jefferson St. 11001 Bluegrass Parkway, Ste. 330 2) 240-0044
address: Louisville, KY 40202 Louisville, KY 40299 =
Project tax block: 1041 and lot no.(s) 135
The property is located in (complete or check as appropriate): the incorporated City of _____
or unincorporated Jefferson County.

Submit four (4) sets of plans, two of these must have the appropriate agency stamps.

Describe this proposal in detail addressing the requirements of Section 8.2 Community Facility Review (parking requirements, building setback requirements and signage), and Article 12 Landscaping and Land Use Buffers. Be sure to include: the proposed use; site size: the size in square feet, height, and number of stories of all buildings; the number of existing, proposed and required parking spaces; the height and area of all proposed signage, for schools: the number of classrooms and the seating capacity of the auditorium. This information may be provided below or on the site plan. An additional sheet of paper may be attached as needed. _____

See Attached Plans and Documentation

Division of Planning and Development Services
531 Court Place, Suite 900
Louisville, Kentucky 40202-3396
Phone: (502) 574 6230 Fax: (502) 574 8129

August 1995

Date _____

E:\NWG\PARKLAND.APP.WPD

Docket No. _____

**CROWN COMMUNICATION INC.
JEFFERSON COUNTY, KENTUCKY
COMMUNITY FACILITIES REVIEW**

JUSTIFICATION STATEMENT

SITE: 239KY

The applicant, Crown Communication Inc. ("Crown"), hereby requests approval for a wireless communications facility under the Community Facility Review provisions contained in Section 8.2(B) of the Zoning District Regulations (the "Regulations").

I. EXPLANATION OF PROPOSAL.

A. Purpose of Request.

Crown constructs, owns, maintains and operates an independent network of wireless communications towers, upon which Crown leases or licenses space for the placement of transmitting and receiving equipment to direct providers of the various types of wireless communications services. Crown locates its proposed sites and designs its facilities with the objectives of providing an integrated, comprehensive network so that multiple wireless communications service providers will desire to locate on each tower. Crown further endeavors to provide all necessary facilities to make collocation attractive to such providers.

The Crown network promotes the introduction of new wireless communications providers into the service area who are not currently serving the area, and the expansion of existing providers, thereby enhancing the public's access to innovative and competitive wireless telecommunications services. This will include additional wireless telephone providers (i.e. PCS and CMRS), wireless data transfer and Internet service providers, as well as other new services and products being developed in the wireless industry. These new services will provide increased competition in the Kentucky telecommunications market, promoting price, quality and coverage advantages to telecommunications consumers, benefit consumers through a broader choice of providers and services, and also provide for the introduction into the community of new high technology communications services comparable to those being implemented in other major American cities.

The inevitable increase in the need to find suitable locations for transmitting and receiving equipment as a consequence of the growth in the wireless telecommunications industry would otherwise mean a corresponding proliferation of communications towers. The Crown network, however, allows Crown to take advantage of collocation opportunities, thereby minimizing the anticipated proliferation of towers.

The tower proposed in this request is a necessary and essential piece of the Crown network that must be in place to cover the proposed service area. A copy of Crown's annual plan, identifying the sites within the network, is attached.

Crown has a commitment from NEXTEL West Corp. ("NEXTEL") for the location of NEXTEL's Commercial Mobile Radio Services ("CMRS") which includes its digital wide area Specialized Mobile Radio ("SMR") services (also known as "ESMR") and traditional SMR services on the proposed tower. A copy of the NEXTEL letter of commitment is submitted with this application. NEXTEL is the holder of an FCC license, a copy of which is also submitted herewith. The Kentucky Public Service Commission has previously adopted an order authorizing NEXTEL to provide ESMR services in Kentucky pursuant to its Order in Case No. 97-395. -

Crown also has a commitment from Powertel/Kentucky, Inc. ("Powertel") for the placement of Powertel's Personal Communications Services ("PCS") transmitting and receiving equipment on the proposed tower. A copy of the Powertel letter of commitment is submitted with this application. Powertel is the holder of an FCC PCS license, a copy of which is also submitted herewith. The Kentucky Public Service Commission, pursuant to its Order in Case No. 97-384, granted to Powertel a Certificate of Public Convenience and Necessity authorizing Powertel to operate a PCS network within Kentucky.

The proposed tower is located in such a manner that other wireless communications services providers will desire to locate on the proposed tower as well.

B. Description of Request.

Crown proposes to construct a wireless telecommunications facility and tower on property located at 4400 Paralee Drive, Louisville, Kentucky. The property is currently zoned R-4.

The improvements will consist of one 180 foot, self-supporting tower with appurtenances attached to a maximum height of 200 feet, plus a concrete foundation or foundations to accommodate the placement of radio electronics equipment. Typically, the equipment is housed in a pre-fabricated shelter containing the transmitting and receiving equipment, connections to wireline telephone connections and power, and battery back-up that allows the various carriers to operate after a loss of outside power, and all other necessary appurtenances. The site plan indicates the tower location, size and location of the initial equipment shelter, plus the areas for future expansion to accommodate additional carriers. The site, including the ground-based equipment shelters, is appropriately screened from adjoining properties in accordance with Article 12, as shown on the plan.

C. Site Selection.

The proposed tower site was selected following an analysis of the network design area by Crown's radio frequency engineers. The engineers select the optimum vicinity for the propagation of multiple radio signal types, considering elevation and location to provide the best quality service. This research generates a network of designated search areas. Within these search areas tower locations must be obtained to accomplish adequate radio frequency coverage over the network, while

minimizing the number of required facilities. For each search area, Crown identifies the most likely candidates for a tower location. Before starting its acquisition process, the search area is evaluated for the existence of other towers currently existing that could provide collocation opportunities.

With respect to the proposed tower, there are no existing towers or suitable structures within the designated search area adequate to fulfill the objectives of the Crown network or satisfy the requirements of both the NEXTEL and Powertel system because a request for collocation on the county-owned tower has been rejected because the tower is fully utilized with existing and proposed equipment for public requirements and cannot accommodate additional equipment loading. In addition, there are no alternative sites within the search area which are as suitable or desirable as well. For a more detailed discussion of these matters please refer to the Collocation/Alternative Site Statement included with this application.

In conclusion, Crown believes that the proposed site is the optimum site within the designated search area and there are no alternative sites known to them.

D. Tower Design.

The tower has been designed and engineered by professional engineers using computer assistance and the accepted codes and standards typically used for high-rise building construction, to withstand a wind loading of 70 miles per hour, using the Uniform Building Code of 1991. The tower has been designed in accordance with Electronic Industries Association 222-S Standards, which have been accepted and approved by American National Standards Institute ("ANSI") and is a nationally recognized tower design standard. Even if the tower should fall, it would not damage any occupied buildings. In the event of failure of the tower mast, all of the debris will most likely lie within a circle whose center is the tower base and whose radius is not more than 60% of the tower height. There are 0 structures within that distance.

II. **COMPLIANCE WITH COMPREHENSIVE PLAN.**

The host property is the grounds of the former Waverly Hills Sanitarium. The site is well situated for a wireless tower because it is at a relatively high elevation in a extensively wooded area and is very far from residences, commercial developments and other areas of dense development and consequently is not readily accessible to public review.

The proposal complies with the Jefferson County Comprehensive Plan. The following describes the characteristics or features of the proposal which cause it to comply with the Comprehensive Plan. Following each statement is a reference to the applicable guideline which pertains to that characteristic or feature. When a particular guideline is not addressed in the following description, it is because that guideline is not applicable to this request.

A. Environmental Guidelines.

The site does not have environmental limitations (E-1). It is not located in either the floodway or floodway fringe (E-2/E-3), it does not impact any natural stream channels (E-5), it does

not contain unstable or wet soils (E-12). Steep slopes are nearby but the confined area of disturbance does not request special construction practices (E-10, E-11). The construction of the improvements will require minimal grading, cutting or filling on the site (E-7).

Crown facilities do not generate smoke, odor, gas or any other direct source of air pollution. The facility is unmanned, and except for one or two visits a month by maintenance personnel, it will not generate traffic or other indirect source of air pollution (E-14, E-15, E-16). The facility does not generate any noise (E-18).

B. Utility Guidelines.

The proposal provides for the expansion of telecommunications utility services. A high quality, reliable communications system is an essential part of the public infrastructure.

The proposal does not require sanitary sewer or water supply (U-1, U-3, U-4). The site plan includes adequate driveways and parking areas for maintenance and repair. The proposal will have minimal negative visual impacts, because the tower is thin, it will be painted light blue or gray, it will not impede solar access or have a shadow impact, and it will not have a wind impact. It is appropriately screened from the street level so that it will not create any nuisances upon surrounding land uses (U-5, U-6).

C. Transportation Guidelines.

The proposal has adequate access from public streets. It is visited only once or twice per month by maintenance personnel. Appropriate access and parking spaces are provided for this purpose (T-1, T-7, T-8, T-11).

D. Residential Guidelines.

The existence of wireless communications towers is a necessary aspect of the development of wireless communications services. Many of these services benefit not just businesses and government, but the residential and individual user as well. Consequently, it is frequently necessary to locate such services in or near residential neighborhoods. Wireless communications can be a valuable aid in emergencies and during natural disaster relief efforts, particularly when conventional landline telephone service is not operational. Also, wireless communications can enhance the trend toward flexible communications that enable the public to correspond with the workplace from home, reducing the burden on roads and other public facilities. Such facilities may, in fact, contribute to a lessening of population density to the extent it enables the public to live and work in nearly any location. The proposed tower will not have an adverse impact on residential neighborhoods (R-1).

E. Community Facility Guidelines.

The objective of Crown Communication is to provide a network for providers of wireless communications services. Currently, there are minimal collocation sites providing this service. There are various types of communications services which have not yet entered the City of

Louisville market , their license from the FCC requires them to do so within a determined period after issuance of the license. Providers cannot meet the FCC requirements without being able to provide coverage across the entire community. Consequently, the proposed facility is in an area with a demonstrated need for it, the facility will avoid duplicative services in the form of a proliferation of towers, and the location and design, including landscaping have been implemented to mitigate and buffer adverse impacts on surrounding land uses (F-1, F-2).

III. COMPLIANCE WITH ZONING DISTRICT REGULATIONS.

A. Zoning District Regulations.

As shown on the plan, the proposal complies with all minimum yard requirements, density restrictions, off-street parking and signage requirements and all other applicable provisions.

B. Article 12 (Landscaping).

The site is located on a large tract in a remote, densely wooded area. Accordingly, the applicant requests a waiver of the CFR provision requiring complete compliance with Article 12, as shown on the site plan.

E:\NWG\CROWN239.STA (09/09/98 1:59 PM)



January 7, 1998

Commonwealth of Kentucky
Public Service Commission
730 Shenckel Lane
P.O. Box 615
Frankfort, KY 40602

RE: Crown Communication Inc.

Dear Sirs:

Please be advised that Crown Communication Inc. ("Crown") is authorized to make applications in the name of Nextel West Corporation ("Nextel"), as co-applicant, to the Public Service Commission of Kentucky for Certificates of Public Convenience and Necessity pursuant to KRS 278.020 (1) for the construction of wireless communications facilities in the Commonwealth of Kentucky.

Crown is erecting a wireless communications network in the Commonwealth of Kentucky. Nextel is licensed by the Federal Communications Commission to provide wireless services in Kentucky and plans to locate its facilities on the Crown Network.

Sincerely,

A handwritten signature in cursive script, appearing to read "Patrick O'Connell".

By: Patrick O'Connell

Its: Site Development Manager



April 2, 1998

Mr. Jack Dulworth, Chairman
Louisville and Jefferson County Planning Commission
531 Court Place, Suite 900
Louisville, Kentucky 40202

RE: Crown Communication Inc.

Dear Mr. Dulworth:

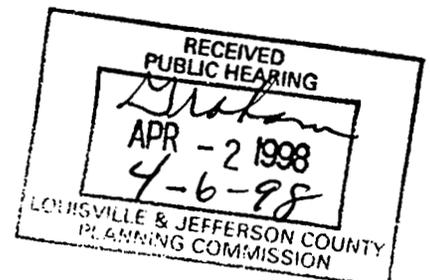
I am writing on behalf of Powertel/Kentucky Inc. in reference to the applications currently being submitted by Crown Communications Inc. to the Louisville and Jefferson County Planning Commission.

Powertel is an FCC licensed Personal Communication Services Company with multi-state operations which is currently actively engaged in extending its wireless telephone facilities into the Kentucky market.

Powertel has been working closely with representatives of Crown to complete plans and agreements to locate a significant amount of its required antennas and equipment on facilities proposed by Crown.

Sincerely,

Carolyn V. Wilkinson
Director of Site Development



10172 Linn Station Road ■ Louisville, KY ■ 502.327.0902

RADIO STATION LICENSE

Licensee Name: NEXTEL WEST CORP
 DBA NEXTEL COMMUNICATIONS
 Radio Service: YX TRUNKED SMRS
 Call Sign: WNVH606
 Frequency Advisory No./Service Area:

File Number: 9606D043399

License Issue Date: 10/16/1997
 License Expiration Date: 07/22/2001

Pages -XXXXXX

971017F 57 1 1A

NEXTEL WEST CORP DBA
 NEXTEL COMMUNICATIONS
 1505 FARM CREDIT DR
 MCLEAN VA 22102

REGULATORY STATUS: CHRS

Station Technical Specifications

FCC I.O.	Frequencies (MHz)	Station Class	No. of Units	Emission Designator	Output Power (Watt)	E.R.P. (Watt)	Ground Elev	Ant. Hgt. To Tip	Antenna Latitude	Antenna Longitude
G:	851.00000 866.00000	FB2J	400	20K0F2D 20K0W7W 20K0F3E	100.000	1000				
	806.00000 821.00000	FX1J	9999	20K0F2D 20K0W7W 20K0F3E	35.000	35.000				
	806.00000 821.00000	40	9999	20K0F2D 20K0W7W 20K0F3E	35.000	35.000				

AREA OF OPERATION
 SITE G: KY STATEWIDE

CONTROL POINTS: M
 CONTROL POINT PHONE: 703-394-3000

SPECIAL COND: SEE ATTACHED #35; SP: AUTHORIZES USE OF ONLY THOSE DISCRETE FREQUENCIES ALREADY GRANTED TO THE LICENSEE AND LIMITS OPERATION TO EXISTING SERVICE AREAS WHERE THE LICENSEE HOLDS AUTHORIZATION FOR THE FREQUENCIES. SUCH AUTHORIZATION IS SUBJECT TO CHANGE OR TO CANCELLATION IN ITS ENTIRETY AT ANY TIME BY THE COMMISSION.

STATION CLASS SUFFIX C = INTERCONNECT
 STATION CLASS SUFFIX J = TEMPORARY WITH INTERCONNECT
 STATION CLASS SUFFIX K = STAND-BY WITH INTERCONNECT
 STATION CLASS SUFFIX L = ITINERANT WITH INTERCONNECT

The latitude/longitude are authorized in North American Datum 1927 (NAD27). Additionally, the antenna height to tip, ground elevation, AAT and area of operation units are authorized in metric.

EMISSION DESIGNATOR(S) CONVERTED TO CONFORM TO DESIGNATOR(S) SET OUT IN PART 2 OF THE COMMISSION'S RULES.

PAGE 1 OF 1



FEDERAL COMMUNICATIONS COMMISSION

This authorization becomes invalid and must be returned to the Commission if the stations are not placed in operation within eight months, unless an extension of time has been granted. EXCEPTIONS: 1) 800 MHz trunked and certain 800 MHz station licenses cancel automatically if not constructed within 1 year 2) IVDS authorizations automatically cancel if service is not made available in accordance with Section 35.833(e) of the Commission's Rules 3) There are no time limitations for placing GMRS stations in operation.



United States of America
Federal Communications Commission

RADIO STATION AUTHORIZATION

Commercial Mobile Radio Services

Personal Communications Service - Broadband

POWERTEL PCS, INC.
ATTN: ALLEN SMITH
1233 O.G. SKINNER DRIVE
WEST POINT, GA 31833

Call Sign: **KNLG209**
Market: **B263**
LOUISVILLE, KY
Channel Block: **D**
File Number: **00098-CW-L-97**

The licensee hereof is authorized, for the period indicated, to construct and operate radio transmitting facilities in accordance with the terms and conditions hereinafter described. This authorization is subject to the provisions of the Communications Act of 1934, as amended, subsequent Acts of Congress, international treaties and agreements to which the United States is a signatory, and all pertinent rules and regulations of the Federal Communications Commission, contained in the Title 47 of the U.S. Code of Federal Regulations.

Initial Grant Date **April 28, 1997**
Five-year Build Out Date **April 28, 2002**
Expiration Date **April 28, 2007**

CONDITIONS :

Pursuant to Section 309(h) of the Communications Act of 1934, as amended, (47 U.S.C. § 309(h)), this license is subject to the following conditions: This license does not vest in the licensee any right to operate a station nor any right in the use of frequencies beyond the term thereof nor in any other manner than authorized herein. Neither this license nor the right granted thereunder shall be assigned or otherwise transferred in violation of the Communications Act of 1934, as amended (47 U.S.C. § 151, et seq.). This license is subject in terms to the right of use or control conferred by Section 706 of the Communications Act of 1934, as amended (47 U.S.C. § 606).

Conditions continued on Page 2.

WAIVERS :

No waivers associated with this authorization.

RECEIVED

APR 30 1997

DEVELOPMENT SERVICES

DOCKET NO. 0 - 19 - 98

CONDITIONS:

This authorization is subject to the condition that, in the event that systems using the same frequencies as granted herein are authorized in an adjacent foreign territory (Canada/United States), future coordination of any base station transmitters within 72 km (45 miles) of the United States/Canada border shall be required to eliminate any harmful interference to operations in the adjacent foreign territory and to ensure continuance of equal access to the frequencies by both countries.

This authorization is subject to the condition that the remaining balance of the winning bid amount will be paid in accordance with Part 1 of the Commission's rules, 47 C.F.R. Part 1.

RECEIVED

APR 30 1998

PERFORMANCE
DEVELOPMENT SERVICES

DOCKET NO. 04 - 19 - 98

CNA INSURANCE COMPANIES

CNA Plaza, Chicago, Illinois 60685

PERFORMANCE BOND

KNOW ALL MEN BY THESE PRESENTS: That we Crown Communication Inc.
Penn Center West III, Ste 229
Pittsburgh, PA 15276, Principal,
and Continental Casualty Company, Surety, are held and firmly bound
unto Louisville & Jefferson County
531 Court Place, Ste 900, Louisville, Kentucky 40202, Obligee,
in the sum of Eighty-five thousand dollars and no cents
Dollars (\$ 85,000.00)

for the payment of which we bind ourselves, our legal representatives, successors and assigns, jointly and severally, firmly by these presents.

WHEREAS, Principal has entered into a contract with Obligee, dated December 31, 1997
for demolition of towers

copy of which contract is by reference made a part hereof.

NOW, THEREFORE, if Principal shall faithfully perform such contract or shall indemnify and save harmless the Obligee from all cost and damage by reason of Principal's failure so to do, then this obligation shall be null and void; otherwise it shall remain in full force and effect.

Any suit under this bond must be instituted before the expiration of two (2) years from the date on which final payment under the contract falls due.

No right of action shall accrue on this bond to or for the use of any person or corporation other than the Obligee named herein or the heirs, executors, administrators or successors of the Obligee.

Signed, sealed, and dated December 31, 1997

(Principal)
CROWN COMMUNICATION INC.
By: [Signature] (Seal)
Jon A. Alaghi, VP
(Surety)

CONTINENTAL CASUALTY COMPANY
By: [Signature] (Seal)
Marlene Wardle Attorney-in-Fact

G-105570-A

CNA

For All the Commitments You Make

Know All Men By These Presents, THE CONTINENTAL CASUALTY COMPANY, an Illinois corporation, NATIONAL FIRE INSURANCE COMPANY OF HARTFORD, a Connecticut corporation, AMERICAN CASUALTY COMPANY OF READING, PENNSYLVANIA, a Pennsylvania corporation (herein collectively called "the CNA Surety Companies"), are duly organized and existing corporations having their principal offices in the City of Chicago, and State of Illinois, and that they do by virtue of the signature and seals herein affixed hereby make, constitute and appoint Thomas L. Stein, Marlene Wardle, Individually

of Pittsburgh, Pennsylvania

their true and lawful Attorney(s)-in-Fact with full power and authority hereby conferred to sign, seal and execute for and on their behalf bonds, undertakings and other obligatory instruments of similar nature

- In Unlimited Amounts -

and to bind them thereby as fully and to the same extent as if such instruments were signed by a duly authorized officer of their corporations and all the acts of said Attorney, pursuant to the authority hereby given are hereby ratified and confirmed.

This Power of Attorney is made and executed pursuant to and by authority of the By-Laws and Resolutions, printed on the reverse hereof, duly adopted, as indicated, by the Boards of Directors of the corporations.

In Witness Whereof, the CNA Sureties Companies have caused these presents to be signed by their Group Vice President and their corporate seals to be hereto affixed on this 29th day of May, 1997.



CONTINENTAL CASUALTY COMPANY
NATIONAL FIRE INSURANCE COMPANY OF HARTFORD
AMERICAN CASUALTY COMPANY OF READING, PENNSYLVANIA

M.C. Vonnahme

Group Vice President

State of Illinois, County of Cook, ss:

On this 29th day of May, 1997, before me personally came

M. C. Vonnahme, to me known, who, being by me duly sworn, did depose and say: that he resides in the Village of Darien, State of Illinois; that he is a Group Vice President of CONTINENTAL CASUALTY COMPANY, NATIONAL FIRE INSURANCE COMPANY OF HARTFORD, and AMERICAN CASUALTY COMPANY OF READING, PENNSYLVANIA described in and which executed the above instrument; that he knows the seals of said corporations; that the seals affixed to the said instrument are such corporate seals; that they were so affixed pursuant to authority given by the Boards of Directors of said corporations and that he signed his name thereto pursuant to like authority, and acknowledges same to be the act and deed of said corporations.



My Commission Expires June 5, 2000

Eileen T. Pachuta

Notary Public

CERTIFICATE

I, Robert E. Ayo, Assistant Secretary of CONTINENTAL CASUALTY COMPANY, NATIONAL FIRE INSURANCE COMPANY OF HARTFORD, and AMERICAN CASUALTY COMPANY OF READING, PENNSYLVANIA do hereby certify that the Power of Attorney herein above set forth is still in force, and further certify that the By-Law and Resolution of the Board of Directors of each corporation printed on the reverse hereof are still in force. In testimony whereof I have hereunto subscribed my name and affixed the seals of the said corporations this 31 day of December, 1997.



CONTINENTAL CASUALTY COMPANY
NATIONAL FIRE INSURANCE COMPANY OF HARTFORD
AMERICAN CASUALTY COMPANY OF READING, PENNSYLVANIA

Robert E. Ayo

Assistant Secretary



OFFICE OF THE SECRETARY OF STATE

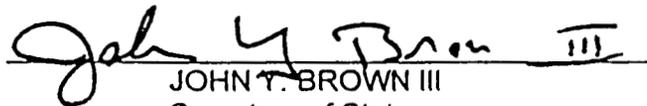
FOREIGN CORPORATION
CERTIFICATE OF AUTHORIZATION

I, JOHN Y. BROWN III, Secretary of State of the Commonwealth of Kentucky, do hereby certify that according to the records in the Office of the Secretary of State,
CROWN COMMUNICATION INC.

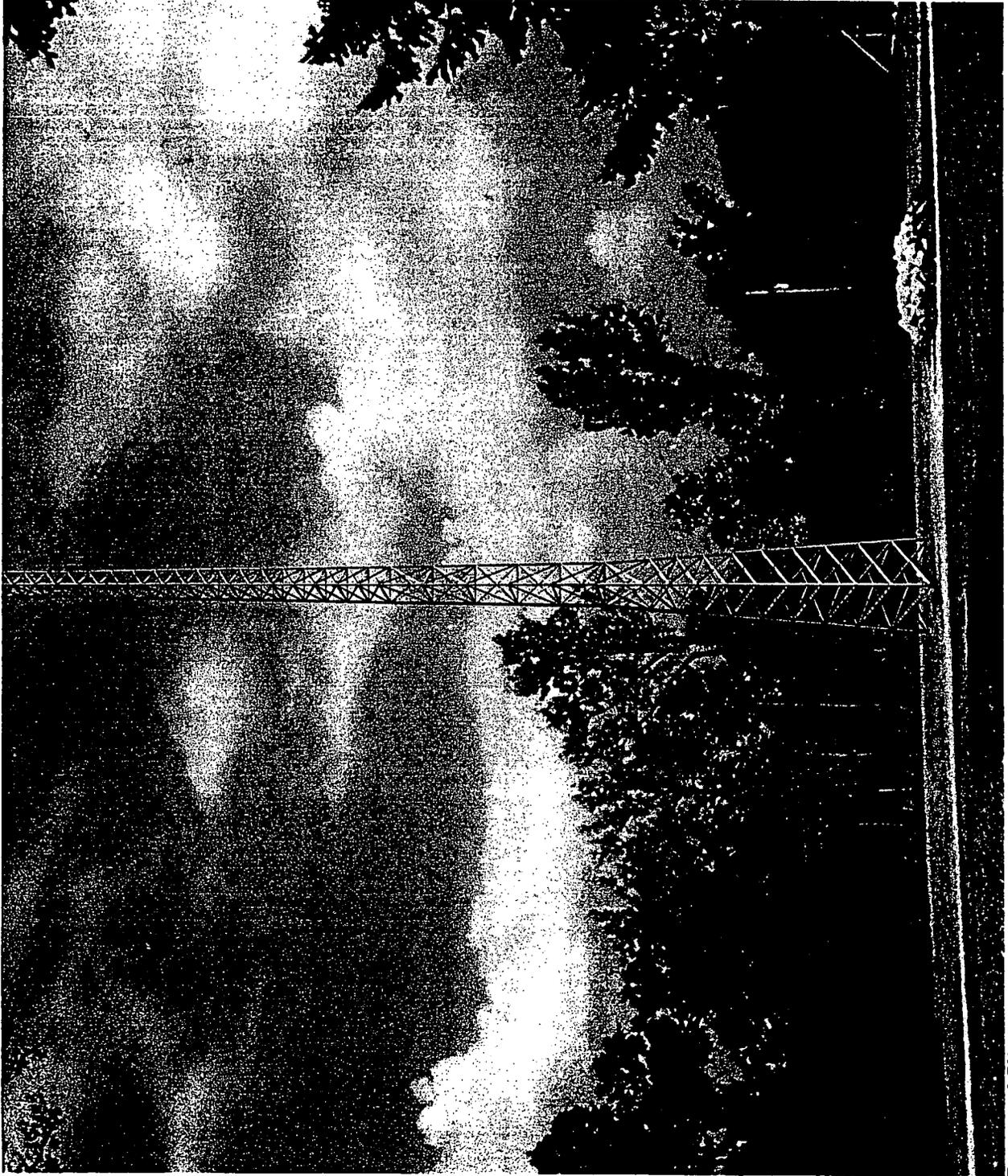
is a corporation organized and existing under the laws of the state or country of
DELAWARE; that was first authorized to transact business in the Commonwealth of Kentucky on AUGUST 12, 1997.

I further certify that all fees and penalties owed to the Secretary of State have been paid to date; that an Application for Certificate of Withdrawal has not been filed; and that the most recent annual report required by KRS Chapter 271B.16-220 or 273.3671 has been delivered to the Secretary of State on behalf of said corporation.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my Official Seal, at Frankfort, Kentucky, this 4TH day of DECEMBER, 19 97.


JOHN Y. BROWN III
Secretary of State
Commonwealth of Kentucky

Crown Communications, Inc. - South Parkland 239KY



Proposed Site



Existing Conditions

Tower Type:
Self-supporting

Tower Height:
180'

Distance From Tower:
240'

Direction:
North

Camera Lens:
28 mm

Project Location:
South Parkland
Louisville, Kentucky

Crown Communications, Inc. - South Parkland 239KY



Existing Conditions

Tower Type:
Self-supporting

Tower Height:
180'

Distance From Tower:
240'

Direction:
Northwest

Camera Lens:
28 mm

Project Location:
South Parkland
Louisville, Kentucky

Proposed Site

CROWN COMMUNICATION INC.

ECHO 239KY

Elevations

Attached are photo renderings viewing the proposed site towards the North and Northwest. The subject property is located at the top of a small knoll in a densely wooded area with sharp elevation drop-offs on the north, west and east sides. Accordingly, the only photographs that could be obtained were from the southerly direction looking toward the north across the turn-around area.

WYATT, TARRANT & COMBS

CITIZENS PLAZA

LOUISVILLE, KENTUCKY 40202-2898

502 589-5235

FAX: 502 589-0309

1700 LEXINGTON FINANCIAL CENTER
LEXINGTON, KY 40507-1746
606 233-2012

TAYLOR-SCOTT BUILDING
FRANKFORT, KY 40601-1807
502 223-2104

50 EAST RIVERCENTER BLVD., SUITE 810
COVINGTON, KY 41011-1663
606 655-9700

ELSBY BUILDING
NEW ALBANY, IN 47150-3440
812 945-3561

1500 NASHVILLE CITY CENTER
NASHVILLE, TN 37219-1750
615 244-0020

29 MUSIC SQUARE EAST
NASHVILLE, TN 37203-4322
615 255-6161

313 E. MAIN STREET, SUITE 1
HENDERSONVILLE, TN 37075-2546
615 822-8822

6075 POPLAR AVENUE, SUITE 650
MEMPHIS, TN 38119-4721
901 537-1000

10368 WALLACE ALLEY STREET, SUITE 6
KINGSPORT, TN 37663-3977
423 279-1625

WRITER'S DIRECT DIAL NUMBER

502 562-7544

September 10, 1998

Mr. Jack Ruf
Planning Manager
Louisville and Jefferson County
Planning Commission
531 Court Place, Suite 900
Louisville, Kentucky 40202

Re: **CERTIFICATION OF COMPLIANCE WITH FCC REGULATIONS**
Docket No. _____-98
Crown Communication "South Parkland" Tower

Dear Mr. Ruf:

This letter addresses the provisions of Section 8.2.B.2.i, concerning certification that the facility complies with FCC regulations concerning radio frequency emissions.

Crown Communication will permit only entities holding valid FCC licenses to locate transmitting or receiving equipment on the tower facility described in Docket No. _____-98.

Crown further agrees that prior to the installation of service facilities on the tower, including the facilities of the license holder addressed in the application, Crown will submit a copy of the tenant's current FCC license with a statement from such license holder that it is in compliance with all FCC regulations, including those pertaining to radio frequency emissions.

The foregoing statements may be included as conditions of approval.

Sincerely,

WYATT, TARRANT & COMBS



Norman W. Graham

NWG:nja

E:\NWG\RUF-FCC.LTR

Memorandum

VIA: Han

To: File

From: Aaron Johnson

CC: John J. Lyons, Jr.

Date: 06/29/98

Re: Collocation Statement for 239ky

File,

Alt. Site C1: A GTE Wireless tower 150' in height within a 60' x 40' compound. This facility is located at 4400 Paralee Drive, Louisville, Kentucky 40272. This facility is located on the same property as the proposed facility.

The referenced site at 4400 Paralee Drive is not suitable for collocation for the following reasons:

- The existing tower or facility is not of sufficient height to meet the applicant's engineering requirements.
- The facility's compound is not sufficient in size to accommodate additional carriers.

Alt. Site C-2: A Jefferson County Lattice tower 400' in height within a 40' x 65' compound. This facility is located at Waverly Hills Park off Arnoldtown Road, Louisville, Kentucky.

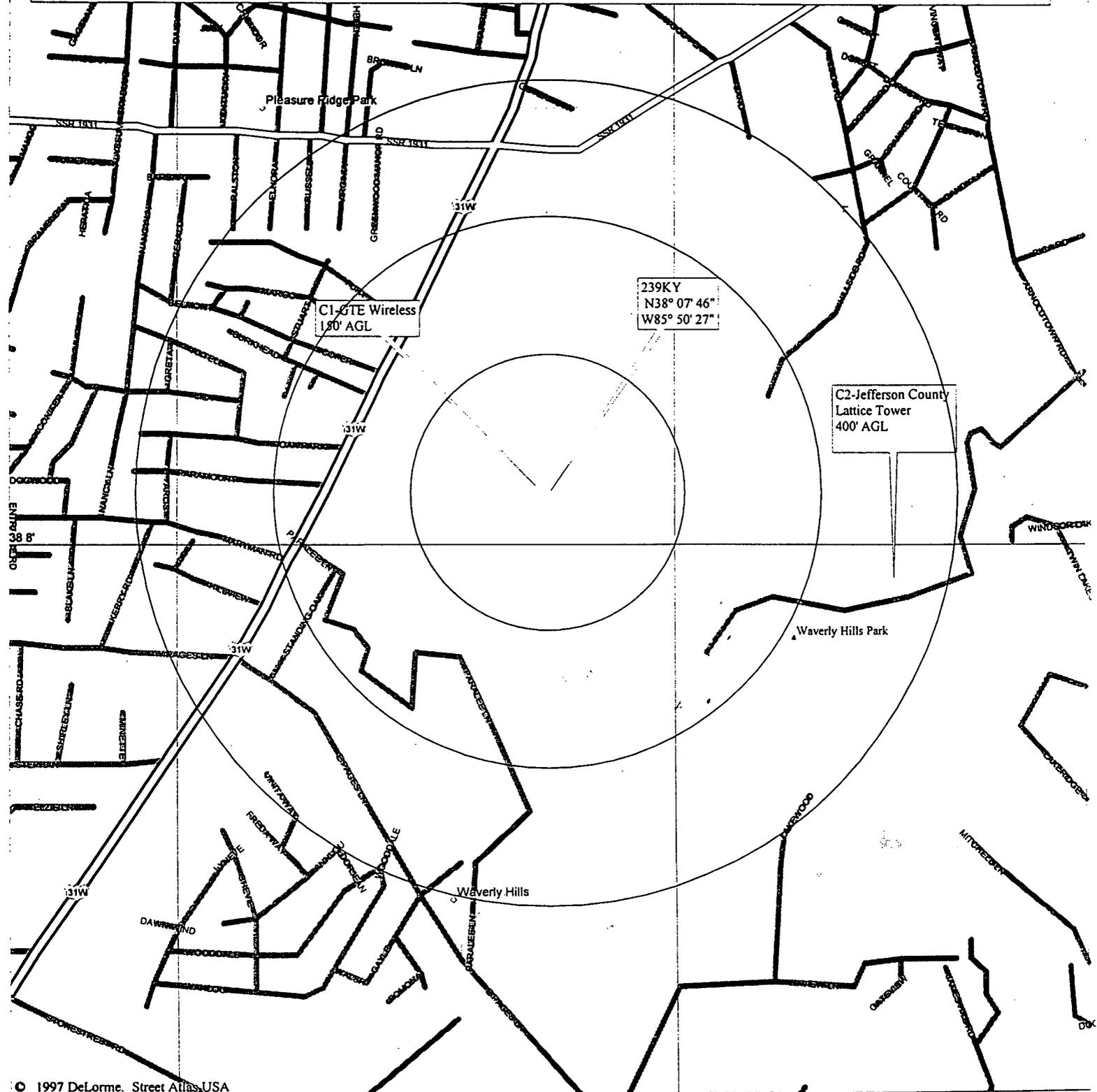
The referenced site at Waverly Hills Park off Arnoldtown Road is not suitable for collocation for the following reasons:

- This tower was primarily built for County public uses. We have made many efforts to collocate on this tower, but have met resistance by the County emergency services. Additionally, according to the original tower design specifications, it is already at structural capacity.

TEA GROUP INCORPORATED - Commonwealth Business Center, 11001 Bluegrass Parkway, Suite 330,
Louisville, Kentucky 40299

*Proprietary, Restricted & Confidential
Pursuant to Company Instructions*

239KY - South Parkland

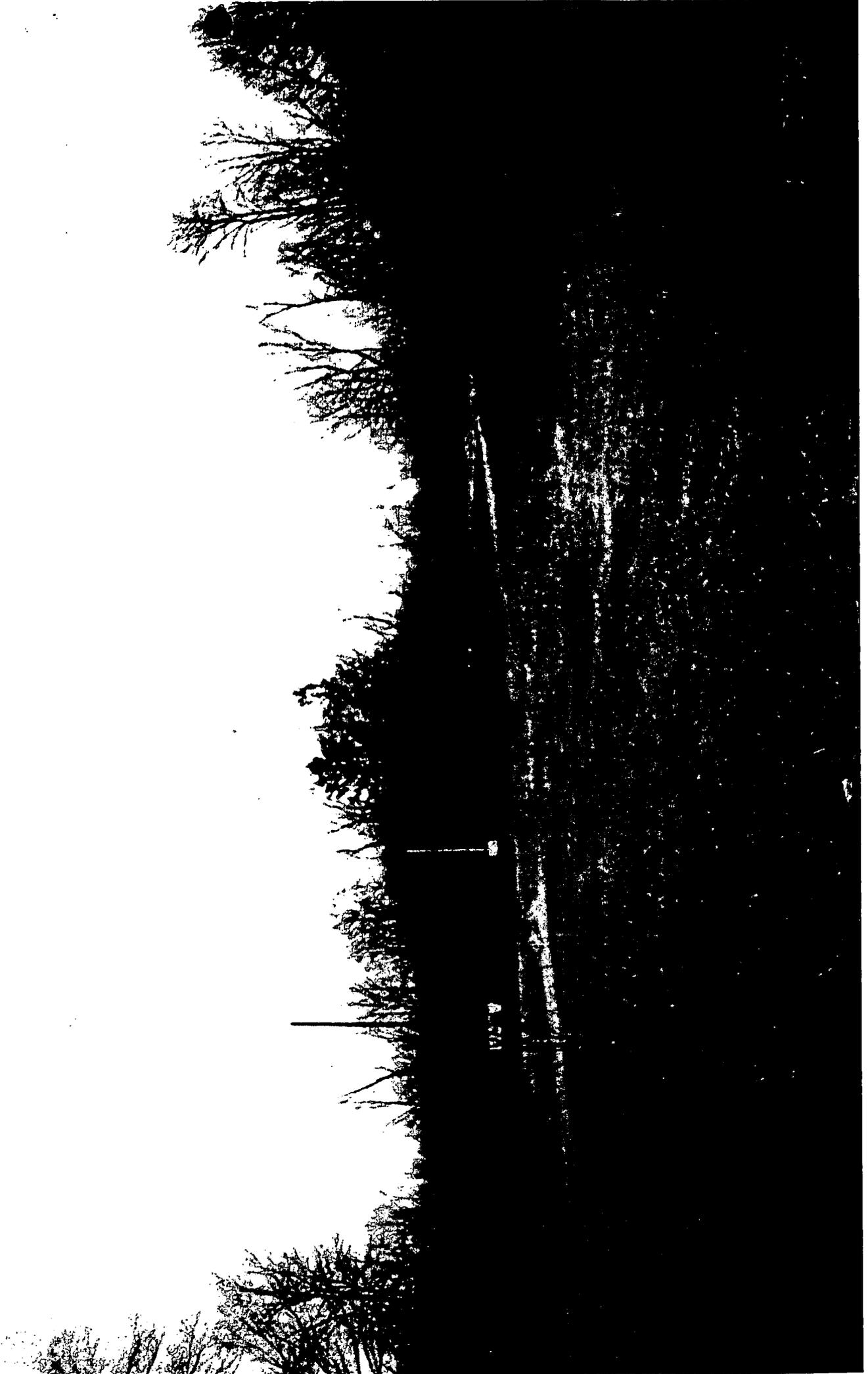


© 1997 DeLorme. Street Atlas USA

Mag 15.00
 Mon Jun 29 10:02 1998
 Scale 1:15,625 (at center)
 1000 Feet
 500 Meters

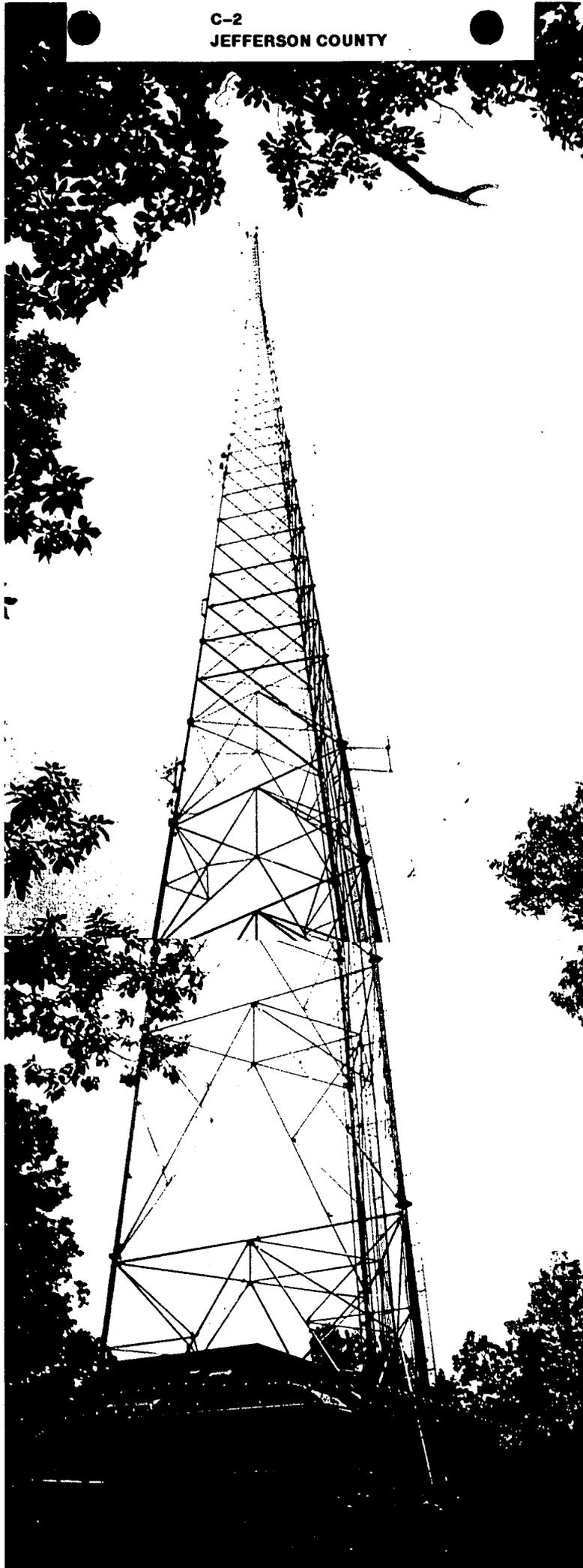
- Local Road
- US Highway
- Interstate/Limited Access
- Major Connector
- Park/Reservation
- Locale
- Water
- River/Canal

C-1
GTE WIRELESS



C-1
GTE WIRELESS





C-2
JEFFERSON COUNTY



CROWN COMMUNICATION INC.

MEMORANDUM

TO: FILE
FROM: AARON JOHNSON
SUBJECT: ALTERNATE SITES; 239KYD
DATE: 5/26/98

The following sites were investigated as potential alternate sites:

Hardwood Forest Subdivision

Address: Hardwood Forest Drive

Owner: CMD Development / Mack Dickerson

Reason for Rejection: No feasible access to hilltop overlooking the hwy.

This possibility was rejected due to the extreme road engineering needed to get to the top of the hill.

Land off of St. Andrews Church road.

Address: off St. Andrews Church road, Louisville, KY, 40272

Owner: 5 owners - the largest owner is The Jewish Federation.

Reason for Rejection: Limited area available

This possibility was rejected due to the road construction difficulties, and the lack of usable space on the ridgeline.

NOTICE OF FILING (MAIL)

[Date]

[Addressee]

Re: Docket No. _____

Subject: Community Facilities Review -- Wireless Communications Tower

Premises affected: 4400 Paralee Drive in unincorporated Jefferson County

Dear [Name of Addressee]

Crown Communication Inc. has filed a request with the Louisville and Jefferson County Planning Commission (the "Commission") under the provisions of Section 8.2B of the Development Code for All of Jefferson County, Kentucky (the "Code"), for Community Facilities Review of a wireless communications tower to be located on property at 4400 Paralee Drive, Louisville, Kentucky. The request consists of a 180' self-supporting tower with appurtenances attached up to a maximum height of 200', plus a ground level equipment shelter. A copy of the site plan justification statement filed with the request is attached.

This notice is being sent to you as an adjoining property owner, a property owner within 500 feet of the tower, or as an official of a governmental jurisdiction within which this site is located, as specified in the Code.

Information about this request may be obtained from the applicant by contacting Mr. John J. Lyons, Jr., Crown Communication Inc., 11001 Bluegrass Parkway, Suite 330, Louisville, Kentucky 40299, at (502) 240-0044. Please refer to our Site No. 239KY when making inquiry of the applicant.

Information about the Commission's review of this request may be obtained by calling the Commission at (502) 574-6230. Please refer to Docket No. _____ when making inquiry of the Commission. You may submit testimony to the Planning Commission either in writing or by appearance at any committee or Commission meeting scheduled for review of this request.

Sincerely,

CROWN COMMUNICATION INC.

John J. Lyons, Jr., Project Manager

**NOTIFICATION LIST
CROWN COMMUNICATION INC.
ECHO 239KY**

Dixie Development Corp.
P.O. Box 16189
Louisville, KY 40256

Todd Clifford
Elizabeth Clifford
P.O. Box 301
Simpsonville, KY 40067

Mack Dickerson
3939 Birksville Road
Glasgow, KY 42141



JEFFERSON COUNTY, KENTUCKY
DEPARTMENT OF PLANNING AND ENVIRONMENTAL MANAGEMENT
DIVISION OF PLANNING AND DEVELOPMENT SERVICES

Thursday, September 10, 1998

RECEIVED FROM:

AARON C. JOHNSON
1922 ELKS BLUFF DRIVE
Louisville KY 40220

Receipt Number: 2001033

Docket Number: 4-29-98

Zoning Fees: \$750.00
Minor Plat Fees: \$0.00
County Clerk Fees: \$0.00
Subscriptions: \$0.00
Plan/Map Copies: \$0.00
Certifications: \$0.00

Subdivision Fees: \$0.00
Landscape Fees: \$0.00
BOZA Fees: \$0.00
Development Code Book: \$0.00
Update Service: \$0.00
Miscellaneous: \$0.00

Total Fees Due: \$750.00

Amount of Cash Received: \$0.00

Amount of Check Received: \$750.00

Check Number: 1026

Signature: _____

Mark D. Barry

Date: _____

9/10/98

WYATT, TARRANT & COMBS

CITIZENS PLAZA

LOUISVILLE, KENTUCKY 40202-2898

502 589-5235

FAX: 502 589-0309

1700 LEXINGTON FINANCIAL CENTER
LEXINGTON, KY 40507-1746
606 233-2012

TAYLOR-SCOTT BUILDING
FRANKFORT, KY 40601-1807
502 223-2104

80 EAST RIVERCENTER BLVD., SUITE 810
COVINGTON, KY 41011-1683
606 655-9700

ELSBY BUILDING
NEW ALBANY, IN 47150-3440
812 945-3561

1500 NASHVILLE CITY CENTER
NASHVILLE, TN 37219-1750
615 244-0020

29 MUSIC SQUARE EAST
NASHVILLE, TN 37203-4322
615 255-6161

313 E. MAIN STREET, SUITE 1
HENDERSONVILLE, TN 37075-2546
615 822-8822

6075 POPLAR AVENUE, SUITE 650
MEMPHIS, TN 38119-4721
901 537-1000

10368 WALLACE ALLEY STREET, SUITE 6
KINGSPORT, TN 37663-3977
423 279-1825

WRITER'S DIRECT DIAL NUMBER

502 562-7544

November 12, 1998

Mr. Chris French, Planner I
Louisville and Jefferson County
Planning Commission
531 Court Place, Suite 900
Louisville, KY 40202

Re: **LIGHTING REQUIREMENT**
Docket No. 4-29-98

Dear Mr. French:

This is to provide you with the specifications with respect to the anticipated lighting for the South Parkland tower.

The FAA does not require obstruction lighting unless a tower (including appurtenances) exceeds an overall height of 200 feet. Since the proposed tower will not exceed 200 feet, no obstruction lighting will be required. Although the FAA reserves the right to require lighting for shorter structures, such lighting will not be installed without notification to the Louisville and Jefferson County Planning Commission.

The FAA application has previously been submitted with a request for omission of marking/lighting.

Sincerely yours,

WYATT, TARRANT & COMBS



Norman W. Graham

NWG:nja
E:\NWG\FRENCH2.LTR.WPD

WYATT, TARRANT & COMBS

CITIZENS PLAZA

LOUISVILLE, KENTUCKY 40202-2898

502 589-5235

FAX: 502 589-0309

1700 LEXINGTON FINANCIAL CENTER
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502 223-2104

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NEW ALBANY, IN 47150-3440
812 945-3561

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615 244-0020

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NASHVILLE, TN 37203-4322
615 255-6161

313 E. MAIN STREET, SUITE 1
HENDERSONVILLE, TN 37075-2546
615 822-8822

6075 POPLAR AVENUE, SUITE 650
MEMPHIS, TN 38119-4721
901 537-1000

10368 WALLACE ALLEY STREET, SUITE 6
KINGSDRIFT, TN 37663-3977
423 279-1825

WRITER'S DIRECT DIAL NUMBER

502 562-7544

November 12, 1998

Mr. Chris French, Planner I
Louisville and Jefferson County
Planning Commission
531 Court Place, Suite 900
Louisville, KY 40202

Re: **LANDSCAPE WAIVER**
Docket No. 4-29-98

Dear Mr. French:

The applicant requests deletion of the landscaping requirements, on the grounds that the site is in a secluded area and visibility of the lower elevations of the tower is impossible.

Sincerely yours,

WYATT, TARRANT & COMBS



Norman W. Graham

NWG:nja
E:\NWG\FRENCH3.LTR.WPD

WYATT, TARRANT & COMBS

CITIZENS PLAZA

LOUISVILLE, KENTUCKY 40202-2898

502 589-5235

FAX: 502 589-0309

1700 LEXINGTON FINANCIAL CENTER
LEXINGTON, KY 40507-1748
606 233-2012

TAYLOR-SCOTT BUILDING
FRANKFORT, KY 40601-1807
502 223-2104

50 EAST RIVERCENTER BLVD., SUITE 810
COVINGTON, KY 41011-1683
606 655-9700

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NEW ALBANY, IN 47150-3440
812 945-3561

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615 244-0020

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NASHVILLE, TN 37203-4322
615 255-6161

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HENDERSONVILLE, TN 37075-2546
615 822-8822

6075 POPLAR AVENUE, SUITE 650
MEMPHIS, TN 38119-4721
901 537-1000

10368 WALLACE ALLEY STREET, SUITE 6
KINGSPORT, TN 37683-3977
423 279-1825

WRITER'S DIRECT DIAL NUMBER

502 562-7544

November 12, 1998

Mr. Jack Ruf
Planning Manager
Louisville and Jefferson County
Planning Commission
531 Court Place, Suite 900
Louisville, Kentucky 40202

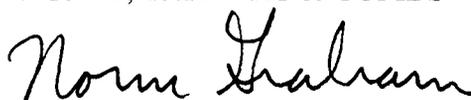
Re: **CERTIFICATION OF POSTING OF FILING**
Docket No. 4-29-98
Crown Communication "South Parkland" Tower

Dear Jack:

I hereby certify that the two (2) Notices of Filing required to be posted at the subject site in the form and content required by Section 8.2.B.1.a(3), were posted on September 25, 1998, in compliance with said regulation.

Sincerely,

WYATT, TARRANT & COMBS



Norman W. Graham

NWG:nja
E:\NWG\RUF-CERT.LTR

WYATT, TARRANT & COMBS

CITIZENS PLAZA

LOUISVILLE, KENTUCKY 40202-2898

502 589-5235

FAX: 502 589-0309

1700 LEXINGTON FINANCIAL CENTER
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MEMPHIS, TN 38119-4721
901 537-1000

10368 WALLACE ALLEY STREET, SUITE 6
KINGSPORT, TN 37683-3977
423 279-1825

WRITER'S DIRECT DIAL NUMBER

502 562-7544

November 12, 1998

Mr. Jack Ruf
Louisville and Jefferson County
Planning Commission
531 Court Place, Suite 900
Louisville, KY 40202

Re: **ATTORNEY CERTIFICATION OF MAILING OF NOTICE OF FILING**
Docket No. 4-29-98
Crown Communication "South Parkland" Tower

Dear Mr. Ruf:

Attached is a copy of the form of the notice of filing of Docket No. 4-29-98, including a copy of the attachments mailed with each notice.

I hereby certify that the notices with attachments were mailed by First Class Mail to those individuals required to be notified by Section 8.2.B.1.a.(1) of the Zoning District Regulations. Also attached is a mailing list indicating the names and addresses of each party to whom notices were sent, which notices were mailed on October 20, 1998.

Records maintained by the Property Valuation Administrator were relied upon to determine the identity and addresses of the required adjoining property owners, and the names and addresses of the applicable governmental officials were obtained from the Division of Planning and Development Services.

Sincerely,

WYATT, TARRANT & COMBS



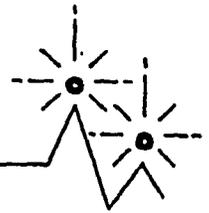
Norman W. Graham

NWG:nja
Attachment
E:\NWG\PLANCOM.LT2



CROWN[®]

COMMUNICATIONS



October 20, 1998

Dixie Development Corp.
P.O. Box 16189
Louisville, KY 40256

Re: Docket No: 4-29-98
Our Site #: 239KY
Subject: Community Facility Review – Wireless Communications Tower.

Premises affected: 4400 Paralee Dr., Louisville, KY an unincorporated portion of Jefferson County.

Dixie Development Corp:

Crown Communications Inc. has filed a request with the Louisville and Jefferson County Planning Commission (the "Commission") under the provisions of Section 8.2B of the Development Code for All of Jefferson County, Kentucky (the "Code"), for Community Facilities Review of a wireless communications tower to be located on property at 4400 Paralee Dr., Louisville, KY. The request consists of a 180 foot self-supporting tower with appurtenances attached up to a maximum height of 205 feet, plus a ground level equipment shelter. A copy of the site plan and justification statement filed with the request is attached.

This notice is being sent to you as an adjoining property owner, a property owner within 500 feet of the tower, or as an official of a governmental jurisdiction within which this site is located, as specified in the Code.

Information about this request may be obtained from the applicant by contacting Mr. Aaron Johnson, Crown Communication Inc., 11001 Bluegrass Parkway, Suite 330, Commonwealth Business Center, Louisville, Kentucky 40299, at (502) 240-0044. Please refer to Site No. 239KY when making inquiry of the applicant.

Information about the Commission's review of this request may be obtained by calling the Commission at (502) 574-6230. Please refer to Docket No. 4-29-98 when making inquiry of the Commission. You may submit testimony to the Planning Commission either in writing or by appearance at any committee or Commission meeting scheduled for review of this request.

Sincerely,

Aaron Johnson
Site Acquisition / Zoning Manager
Crown Communication Inc.

**CROWN COMMUNICATION INC.
JEFFERSON COUNTY, KENTUCKY
COMMUNITY FACILITIES REVIEW**

JUSTIFICATION STATEMENT

SITE: 239KY

The applicant, Crown Communication Inc. ("**Crown**"), hereby requests approval for a wireless communications facility under the Community Facility Review provisions contained in Section 8.2(B) of the Zoning District Regulations (the "Regulations").

I. EXPLANATION OF PROPOSAL.

A. Purpose of Request.

Crown constructs, owns, maintains and operates an independent network of wireless communications towers, upon which Crown leases or licenses space for the placement of transmitting and receiving equipment to direct providers of the various types of wireless communications services. Crown locates its proposed sites and designs its facilities with the objectives of providing an integrated, comprehensive network so that multiple wireless communications service providers will desire to locate on each tower. Crown further endeavors to provide all necessary facilities to make collocation attractive to such providers.

The Crown network promotes the introduction of new wireless communications providers into the service area who are not currently serving the area, and the expansion of existing providers, thereby enhancing the public's access to innovative and competitive wireless telecommunications services. This will include additional wireless telephone providers (i.e. PCS and CMRS), wireless data transfer and Internet service providers, as well as other new services and products being developed in the wireless industry. These new services will provide increased competition in the Kentucky telecommunications market, promoting price, quality and coverage advantages to telecommunications consumers, benefit consumers through a broader choice of providers and services, and also provide for the introduction into the community of new high technology communications services comparable to those being implemented in other major American cities.

The inevitable increase in the need to find suitable locations for transmitting and receiving equipment as a consequence of the growth in the wireless telecommunications industry would otherwise mean a corresponding proliferation of communications towers. The Crown network, however, allows Crown to take advantage of collocation opportunities, thereby minimizing the anticipated proliferation of towers.

The tower proposed in this request is a necessary and essential piece of the Crown network that must be in place to cover the proposed service area. A copy of Crown's annual plan, identifying the sites within the network, is attached.

Crown has a commitment from NEXTEL West Corp. ("NEXTEL") for the location of NEXTEL's Commercial Mobile Radio Services ("CMRS") which includes its digital wide area Specialized Mobile Radio ("SMR") services (also known as "ESMR") and traditional SMR services on the proposed tower. A copy of the NEXTEL letter of commitment is submitted with this application. NEXTEL is the holder of an FCC license, a copy of which is also submitted herewith. The Kentucky Public Service Commission has previously adopted an order authorizing NEXTEL to provide ESMR services in Kentucky pursuant to its Order in Case No. 97-395.

Crown also has a commitment from Powertel/Kentucky, Inc. ("Powertel") for the placement of Powertel's Personal Communications Services ("PCS") transmitting and receiving equipment on the proposed tower. A copy of the Powertel letter of commitment is submitted with this application. Powertel is the holder of an FCC PCS license, a copy of which is also submitted herewith. The Kentucky Public Service Commission, pursuant to its Order in Case No. 97-384, granted to Powertel a Certificate of Public Convenience and Necessity authorizing Powertel to operate a PCS network within Kentucky.

The proposed tower is located in such a manner that other wireless communications services providers will desire to locate on the proposed tower as well.

B. Description of Request.

Crown proposes to construct a wireless telecommunications facility and tower on property located at 4400 Paralee Drive, Louisville, Kentucky. The property is currently zoned R-4.

The improvements will consist of one 180 foot, self-supporting tower with appurtenances attached to a maximum height of 200 feet, plus a concrete foundation or foundations to accommodate the placement of radio electronics equipment. Typically, the equipment is housed in a pre-fabricated shelter containing the transmitting and receiving equipment, connections to wireline telephone connections and power, and battery back-up that allows the various carriers to operate after a loss of outside power, and all other necessary appurtenances. The site plan indicates the tower location, size and location of the initial equipment shelter, plus the areas for future expansion to accommodate additional carriers. The site, including the ground-based equipment shelters, is appropriately screened from adjoining properties in accordance with Article 12, as shown on the plan.

C. Site Selection.

The proposed tower site was selected following an analysis of the network design area by Crown's radio frequency engineers. The engineers select the optimum vicinity for the propagation of multiple radio signal types, considering elevation and location to provide the best quality service. This research generates a network of designated search areas. Within these search areas tower locations must be obtained to accomplish adequate radio frequency coverage over the network, while

minimizing the number of required facilities. For each search area, Crown identifies the most likely candidates for a tower location. Before starting its acquisition process, the search area is evaluated for the existence of other towers currently existing that could provide collocation opportunities.

With respect to the proposed tower, there are no existing towers or suitable structures within the designated search area adequate to fulfill the objectives of the Crown network or satisfy the requirements of both the NEXTEL and Powertel system because a request for collocation on the county-owned tower has been rejected because the tower is fully utilized with existing and proposed equipment for public requirements and cannot accommodate additional equipment loading. In addition, there are no alternative sites within the search area which are as suitable or desirable as well. For a more detailed discussion of these matters please refer to the Collocation/Alternative Site Statement included with this application.

In conclusion, Crown believes that the proposed site is the optimum site within the designated search area and there are no alternative sites known to them.

D. Tower Design.

The tower has been designed and engineered by professional engineers using computer assistance and the accepted codes and standards typically used for high-rise building construction, to withstand a wind loading of 70 miles per hour, using the Uniform Building Code of 1991. The tower has been designed in accordance with Electronic Industries Association 222-S Standards, which have been accepted and approved by American National Standards Institute ("ANSI") and is a nationally recognized tower design standard. Even if the tower should fall, it would not damage any occupied buildings. In the event of failure of the tower mast, all of the debris will most likely lie within a circle whose center is the tower base and whose radius is not more than 60% of the tower height. There are 0 structures within that distance.

II. **COMPLIANCE WITH COMPREHENSIVE PLAN.**

The host property is the grounds of the former Waverly Hills Sanitarium. The site is well situated for a wireless tower because it is at a relatively high elevation in a extensively wooded area and is very far from residences, commercial developments and other areas of dense development and consequently is not readily accessible to public review.

The proposal complies with the Jefferson County Comprehensive Plan. The following describes the characteristics or features of the proposal which cause it to comply with the Comprehensive Plan. Following each statement is a reference to the applicable guideline which pertains to that characteristic or feature. When a particular guideline is not addressed in the following description, it is because that guideline is not applicable to this request.

A. Environmental Guidelines.

The site does not have environmental limitations (E-1). It is not located in either the floodway or floodway fringe (E-2/E-3), it does not impact any natural stream channels (E-5), it does

not contain unstable or wet soils (E-12). Steep slopes are nearby but the confined area of disturbance does not request special construction practices (E-10, E-11). The construction of the improvements will require minimal grading, cutting or filling on the site (E-7).

Crown facilities do not generate smoke, odor, gas or any other direct source of air pollution. The facility is unmanned, and except for one or two visits a month by maintenance personnel, it will not generate traffic or other indirect source of air pollution (E-14, E-15, E-16). The facility does not generate any noise (E-18).

B. Utility Guidelines.

The proposal provides for the expansion of telecommunications utility services. A high quality, reliable communications system is an essential part of the public infrastructure.

The proposal does not require sanitary sewer or water supply (U-1, U-3, U-4). The site plan includes adequate driveways and parking areas for maintenance and repair. The proposal will have minimal negative visual impacts, because the tower is thin, it will be painted light blue or gray, it will not impede solar access or have a shadow impact, and it will not have a wind impact. It is appropriately screened from the street level so that it will not create any nuisances upon surrounding land uses (U-5, U-6).

C. Transportation Guidelines.

The proposal has adequate access from public streets. It is visited only once or twice per month by maintenance personnel. Appropriate access and parking spaces are provided for this purpose (T-1, T-7, T-8, T-11).

D. Residential Guidelines.

The existence of wireless communications towers is a necessary aspect of the development of wireless communications services. Many of these services benefit not just businesses and government, but the residential and individual user as well. Consequently, it is frequently necessary to locate such services in or near residential neighborhoods. Wireless communications can be a valuable aid in emergencies and during natural disaster relief efforts, particularly when conventional landline telephone service is not operational. Also, wireless communications can enhance the trend toward flexible communications that enable the public to correspond with the workplace from home, reducing the burden on roads and other public facilities. Such facilities may, in fact, contribute to a lessening of population density to the extent it enables the public to live and work in nearly any location. The proposed tower will not have an adverse impact on residential neighborhoods (R-1).

E. Community Facility Guidelines.

The objective of Crown Communication is to provide a network for providers of wireless communications services. Currently, there are minimal collocation sites providing this service. There are various types of communications services which have not yet entered the City of

Louisville market , their license from the FCC requires them to do so within a determined period after issuance of the license. Providers cannot meet the FCC requirements without being able to provide coverage across the entire community. Consequently, the proposed facility is in an area with a demonstrated need for it, the facility will avoid duplicative services in the form of a proliferation of towers, and the location and design, including landscaping have been implemented to mitigate and buffer adverse impacts on surrounding land uses (F-1, F-2).

III. COMPLIANCE WITH ZONING DISTRICT REGULATIONS.

A. Zoning District Regulations.

As shown on the plan, the proposal complies with all minimum yard requirements, density restrictions, off-street parking and signage requirements and all other applicable provisions.

B. Article 12 (Landscaping).

The site is located on a large tract in a remote, densely wooded area. Accordingly, the applicant requests a waiver of the CFR provision requiring complete compliance with Article 12, as shown on the site plan.

E:\NWG\CROWN239.STA (09/09/98 1:59 PM)

**NOTIFICATION LIST
CROWN COMMUNICATION INC.
ECHO 239KY**

Dixie Development Corp.
P.O. Box 16189
Louisville, KY 40256

Clifford Todd
Elizabeth Todd
P.O. Box 301
Simpsonville, KY 40067

Mack Dickerson
3939 Birksville Road
Glasgow, KY 42141

Sheri Renfro
Cleo Renfro
4711 E. Pages Lane
Louisville, KY 40272

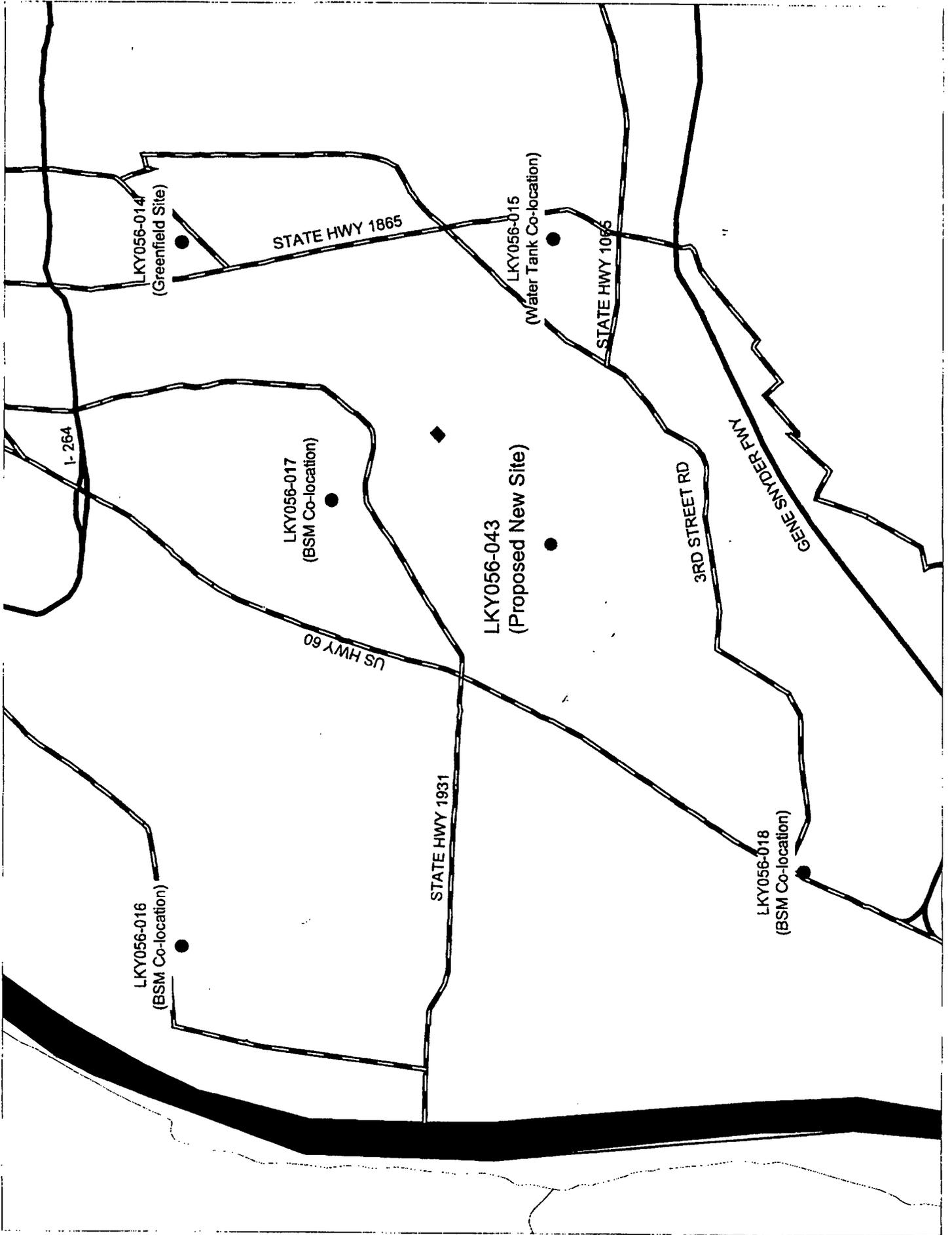
Keith Lewis
Jennifer Lewis
4609 E. Pages Lane
Louisville, KY 40272

Bruce Hollis
Kelly Hollis
4700 E. Pages Lane
Louisville, KY 40272

Louisville & Jefferson Co Bd Health
ATTN: Bill Chamberlain
400 E. Gray Street
Louisville, KY 40202

DARRYL T. OWENS
"C" DISTRICT COMMISSIONER
527 WEST JEFFERSON ST.
LOUISVILLE, KY 40202

Tim Shaw
Roxanne Shaw
4600 E. Pages Lane
Louisville, KY 40272



Whalen & Company, Inc.
1512 Crums Lane, 4th Floor, Louisville, KY 40216
(502) 449-6640
(502) 449-0208 (FAX)

December 1, 1998

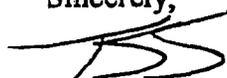
John S. Binkley
Market Manager
Crown Communications
11001 Bluegrass Parkway
Louisville, Kentucky 40299

Dear Mr. Binkley:

I am writing to express interest on behalf of Tritel Communications in Crown Communications' proposed facility (Crown # 239KY) located at 4400 Paralee Drive in Louisville, Kentucky. Coordinates for this site are 38, 07, 46 and 85, 60, 27. Tritel's radio frequency engineers have determined that a height of 165 feet would be necessary in order to integrate your proposed facility into Tritel's design.

You can look forward to my submission of an application to co-locate on the above-mentioned facility.

Sincerely,

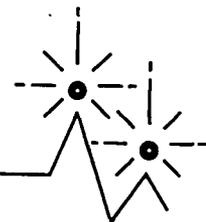


Terry Shumate



CROWN[®]

COMMUNICATIONS



Thursday, October 01, 1998

Amy Stemle
GTE Wireless / Contel Cellular
652 South 3rd Street
Louisville, KY 40202

Certified Mail Return Receipt Requested #: Z 306 891 893

RE: Your Site at 4400 Paralee Drive, Louisville, KY 40272
Our Site #: 239KY

Dear Amy,

Pursuant to zoning requirements by the Louisville and Jefferson County Planning Commission, please consider this a formal request for your company to consider allowing Powertel to Co-locate on your existing 150' tower at the Waverly Sanatorium property off Dixie Hwy, Louisville, Kentucky 40272. Powertel will require a radio transmission center at a minimum height of 180' in order to cover this area.

Please respond to this request within the next ten days. Thank you for your anticipated cooperation.

Sincerely,


Aaron Johnson
Site Acquisition & Zoning Manager
Crown Communication Inc.

Is your RETURN ADDRESS completed on the reverse side?

SENDER:

- Complete items 1 and/or 2 for additional services. **230KY**
- Complete items 3, 4a, and 4b.
- Print your name and address on the reverse of this form so that we can return this card to you.
- Attach this form to the front of the mailpiece, or on the back if space does not permit.
- Write "Return Receipt Requested" on the mailpiece below the article number.
- The Return Receipt will show to whom the article was delivered and the date delivered.

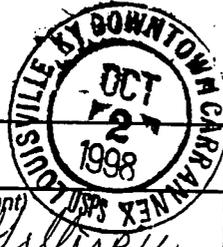
I also wish to receive the following services (for an extra fee):

1. Addressee's Address:
 2. Restricted Delivery

Consult postmaster for fee.

3. Article Addressed to:

Amy Stemle
 GTE Wireless / Contel Cellular
 652 South 3rd Street
 Louisville, KY 40202



4a. Article Number

2306891893

4b. Service Type

- Registered Certified
 Express Mail Insured
 Return Receipt for Merchandise COD

7. Date of Delivery

10-2-98

5. Received By: (Print Name)

6. Signature: (Addressee or Agent)

X *Darius Gillespie*

8. Addressee's Address (Only if requested and fee is paid)

PS Form 3811, December 1994

Domestic Return Receipt

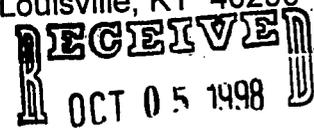
UNITED STATES POSTAL SERVICE



First-Class Mail
 Postage & Fees Paid
 USPS
 Permit No. G-10

• Print your name, address, and ZIP Code in this box •

Crown Communication Inc.
 11001 Bluegrass Parkway
 Suite 330
 Louisville, KY 40299



MEMORANDUM

TO: CROWN - WAVERLY PARK FILE
FROM: NWG
DATE: June 30, 1998
RE: Telephone Conference with Mark Adams

Mark Adams has pursued the issue of co-location on the existing 400' tower owned by the County with various County government officials. The bottom line is that the tower is barely adequate from a wind-loading point of view. Two additional 8' dishes have been approved for the tower, which have not yet been installed, which more or less brings it to capacity from a wind-loading standpoint. Mark Adams felt that the neighborhood had been substantially opposed, and from a public relations standpoint, it would not be realistic to open up the tower to commercial wireless communications providers at this time. Mark agreed that it would be counterproductive to pursue this matter further. He suggested that we revisit this issue at a future time when the tower needs to be upgraded.

SOUTH HARKLAW
Federal Aviation Administration
Southern Region
Air Traffic Division, ASO-520
P. O. Box 20636
College Park, GA 30320

Address: _____
Construction Start Date: _____
Approved by: _____
Greatest Height Reached Date: _____
Approved by: _____

ACKNOWLEDGEMENT OF NOTICE OF PROPOSED CONSTRUCTION OR ALTERATION

CITY	STATE	LATITUDE/LONGITUDE		MSL	AGL	AMSL
PRAIRIE VILLAGE	KY	38-07-46.00	085-50-27.00	602	185	787

CROWN COMMUNICATION, INC.
KRISTEN WEIDE
375 SOUTHPOINTE BLVD.
CANONSBURG, PA 15317

AERONAUTICAL STUDY
No: 98-ASO-4489-OE

Type Structure: ANTENNA TOWER SEE PAGE 2

The Federal Aviation Administration hereby acknowledges receipt of notice dated 06/25/98 concerning the proposed construction or alteration contained herein.

The proposed structure does not require notice to the FAA.

Obstruction marking and lighting are not necessary.

If the structure is subject to the licensing authority of the FCC, a copy of this acknowledgement will be sent to that Agency.

SIGNED *Rebecca A. Colvert* Specialist, Airspace Branch
Rebecca A. Colvert (404) 305-5585 *SLF*

ISSUED IN: College Park, Georgia 08/11/98

Frequency Band

Effective Radiated Power

33-54 MHz	100 Watts
72-73 MHz	100 Watts
144-162 MHz	250 Watts
220-222 MHz	100 Watts
450-502 MHz	250 Watts
806-880 MHz	250 Watts
890-960 MHz	500 Watts
1.5 GHz	100 Watts
2.5 GHz	100 Watts
5-6.5 GHz	100 Watts
10-11 GHz	100 Watts
18 GHz	100 Watts
21 GHz	100 Watts
24 GHz	100 Watts
38 GHz	100 Watts

CROWN COMMUNICATION INC.

CELLULAR RADIO TELEPHONE

1981

A 25 MHZ GTE MOBILNET (CELLULAR ONE)*

B 25 MHZ KENTUCKY GGSA (BELL SOUTH)*

SMR

1979/1993

800 MHZ SMR

900 MHZ SMR

14 MHZ + 5 MHZ NEXTEL°

5*

PCS

1994-1996

A 30 MHZ AT&T WIRELESS°

B 30 MHZ WIRELESSCO, LP (SPRINT)*

C 30 MHZ NEXT WAVE PERSONAL

D 10 MHZ POWERTEL KENTUCKY°

E 10 MHZ POWERTEL KENTUCKY°

F 10 MHZ MERCURY PCS

20 MHZ UNLICENSED

TRITEL

6*

3

4*



ROMINES, WEIS & YOUNG

ATTORNEYS AT LAW
2000 CITIZENS PLAZA
500 WEST JEFFERSON STREET
LOUISVILLE, KENTUCKY 40202
TELEPHONE (502) 587-8822
FACSIMILE (502) 568-3600

THIRD STREET OFFICE:
SUITE 162
5330-A SOUTH THIRD STREET
LOUISVILLE, KENTUCKY 40204
TELEPHONE: (502) 366-8704

STEVEN R. ROMINES
MARK A. WEIS
LAWRENCE I. YOUNG

November 30, 1998

Department of Planning and Environmental Management
Division of Planning and Developmental Services
531 Court Place, Suite 900
Louisville, Kentucky 40202

RE: Docket No. 9-36-84 & 4-29-98
Written Objection

RECEIVED
DEC 01 1998
LOUISVILLE AND JEFFERSON COUNTY
PLANNING COMMISSION

Dear Sir or Madam:

This letter is being written in opposition to the 180 foot self-supporting tower by Crown Communications Inc. CMD is run by President, Mack Dickerson, and is the entity that owns the property located adjacent to the proposed site for the radio tower. CMD and Mack Dickerson are developing the property between Arnoldtown Road and Dixie Highway as residential, single home properties. An additional radio tower in the area would not only detract from the aesthetic beauties offered in the Hardwood Forest Subdivision and Waverley Park area, but would certainly economically harm CMD Development and Mack Dickerson.

The proposed site for this project is 4400 Paralee Drive. This road will eventually be used as ingress and egress to the residential community being developed by CMD Development and Mack Dickerson. Certainly, a residential community of the stature of Hardwood Forest would not want a 180 foot high radio tower at the entrance to its subdivision. CMD Development and Mack Dickerson have been developing this property since 1988 long before Crown Communications Inc., or any other communications company who decided to place radio towers in the area.

I believe it has been demonstrated that there is already a GTE Wireless tower that would support a 150 foot tower that has been proposed and rejected by the applicant. We believe that this location or a location closer to Riverport would be more beneficial to the community that is being developed in the area.

CMD Development and Mack Dickerson have worked long and hard on developing an upper level residential community in the southend of Louisville. Homes in the Hardwood Forest Subdivision are valued in excess of \$250,000.00 and eventually the development will hold more

4-29-98 & 9-36-84

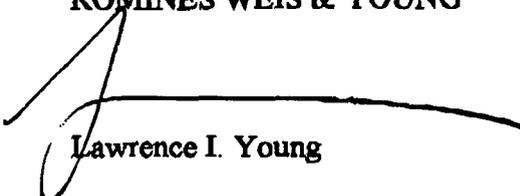
Department of Planning and Environmental Management
Division of Planning and Developmental Services
November 30, 1998
Page 2

than 350 homes. The home buyers in this area as well as the developer have purchased their lots and the property because of the aesthetic beauty of Waverley Park, the Bobby Nichols golf course and the surrounding wooded areas. The addition of another radio tower to this area would detract significantly from the aesthetic beauty and from the advancement of the residential community of that area.

For these reasons, the land owner, CMD Development, by and through its President, Mack Dickerson, object to the applicant's proposed use of the property located at 4400 Paralee Drive.

Sincerely,

ROMINES WEIS & YOUNG



Lawrence I. Young

LIY/cw

cc: Mack Dickerson

4-29-98 5 9-36-84

PLANNING COMMISSION MINUTES

DECEMBER 3, 1998

DOCKET NOS. 4-29-98 and 9-36-84

NEW BUSINESS

Public Hearing and Consideration of Cases

Project Name: Crown Communication Inc. - South Parkland

Location: 4400 Paralee Drive

**Applicant: Crown Communication Inc. and Dixie Development, Inc.
by Robert Alberhasky, Pres.**

**Request: Revised Detailed District Development Plan and Cellular
Tower**

Staff Case Managers: Jack Ruf, AICP, and Chris French, Planner I

The following spoke in favor of this request:

Norm Graham, Wyatt, Tarrant & Combs, 500 West Jefferson Street, Louisville,
Kentucky 40202.

John Binkley, 11001 Bluegrass Parkway, Louisville, Kentucky 40299.

Paul Whitty, 3300 National City Tower, Louisville, Kentucky 40202.

The following spoke in opposition:

Janice Trent, 3511 Gateview Place, Louisville, Kentucky 40272.

In a business session conducted subsequent to the public hearing, the
Commission took the following action:

A motion was made by Commissioner Herron, to DEFER until Crown
Communication send a letter to GTE offering the opportunity to co-locate on their
tower. Subsequently, because of the 60 day review period, Commissioner Herron
withdrew this motion.

PLANNING COMMISSION MINUTES

DECEMBER 3, 1998

DOCKET NOS. 4-29-98 and 9-36-84

A motion was made by Commissioner Herron to approve the proposal with no waiver of the landscaping requirements and to urge the Public Service Commission to require Crown Communication to pursue an agreement with GTE wireless to rebuild the GTE tower to accommodate all carriers or, in the alternative, to move GTE Wireless' facilities to the Crown Communication tower and dismantle the GTE Wireless tower.

The motion died from a lack of a second.

On a motion by Commissioner Adams the following resolution was adopted:

WHEREAS, The Commission finds from the evidence and testimony presented at the public hearing that the proposal to construct an antenna tower for cellular communication services violates Comprehensive Plan Utility Guidelines U-5 and U-6, Residential Guideline R-1, and Community Facilities Guidelines F-2, F-3 and F-5 because the potential adverse impacts on surrounding areas cannot be adequately mitigated to avoid detracting from the character of the neighborhood; other facilities exist nearby where the tower could be located and establish a single co-location site

WHEREAS, The Commission finds that the applicant has not sufficiently pursued the co-location site; that such pursuit is necessary to accomplish the Comprehensive Plan objectives of using measures to reduce the visual intrusion of such construction, of promoting a visually pleasing environment, and to ensure continued cooperation among providers;

WHEREAS, The Commission finds the proposed construction is not in accordance with Section 8.2, B. of the Development Code for Louisville and Jefferson County that specifically emphasizes that co-location of service facilities is preferred; the Commission has determined that a similar cellular tower is located rear of this tower; sufficient effort to use or improve the existing tower has not been shown; therefore, the applicant has not worked diligently or shown a willingness to co-locate in the area;

WHEREAS, The Commission finds from the evidence in the file and presented at the public hearing that the proposal is not in accordance with the Comprehensive Plan nor with applicable portions of the Development Code for Louisville and Jefferson County; now, therefore, be it

PLANNING COMMISSION MINUTES

DECEMBER 3, 1998

DOCKET NOS. 4-29-98 and 9-36-84

RESOLVED, That the Louisville and Jefferson County Planning Commission does hereby **DENY THE PROPOSAL TO CONSTRUCT AN ANTENNA TOWER FOR CELLULAR TELECOMMUNICATIONS** at 4400 Paralee Drive (Docket No. 4-29-98) and suggests that Crown Communication work out issues with GTE Wireless to either locate GTE'S antenna on the Crown proposal or to reconstruct the tower at the GTE site as a co-location site for multiple users.

The vote was as follows:

YES: Commissioners Herron, Adams, Crawford, Seraphine, Spalding-Ferrell, Thieneman and Traughber.

NO: Commissioner Dulworth.

NOT PRESENT FOR THIS CASE AND NOT VOTING: Commissioner Cash.

ABSTAINING: No one.

On a further motion by Commissioner Adams, the following resolution was unanimously adopted:

WHEREAS, The Commission has denied the proposal to construct an antenna tower for cellular telecommunications at 4400 Paralee Drive;

NOW, THEREFORE BE IT RESOLVED, That the Louisville and Jefferson County Planning Commission does hereby **DENY THE REVISED DETAILED DISTRICT PLAN** for **DOCKET NO. 9-36-84**.

The vote was as follows:

YES: Commissioners Herron, Adams, Crawford, Seraphine, Spalding-Ferrell, Dulworth, Thieneman and Traughber.

NO: No one.

NOT PRESENT FOR THIS CASE AND NOT VOTING: Commissioner Cash.

ABSTAINING: No one.

PRELIMINARY STAFF REPORT

Public Hearing Date: Dec. 3, 1998

**DOCKET NO. 4-29-98 and Revised
Detailed Development Plan for
9-36-84**

Applicant: Crown
Communication Inc.
and Nextel West
Corp.

Jurisdiction: Jefferson County.

Request Community
Facilities review at
4400 Paralee Drive.

Existing Use: Vacant.

Zoning: OR-3.

Proposed Use: Antenna tower for
cellular
telecommunications
or personal
communications
services

Surrounding Land Use and Zoning:

North - Unimproved; R-4.

South - Vacated Waverly Hills hospital; OR-3.

East - Unimproved; R-4.

West - Unimproved; R-4.

PRELIMINARY STAFF ANALYSIS.

The applicant proposes to construct a 180' tall self supporting lattice tower capable of accommodating at least four different cellular providers. A lightning rod will extend up to 20 feet above the top of the tower. The site is a portion of the old Waverly Hills hospital site. While the surrounding land is mostly unimproved, this is a hill that can be seen from developed areas in all directions.

The Planning Commission must ascertain whether or not this proposal is in agreement with the Comprehensive Plan and the zoning regulations.

Zoning Regulations

Section 8.2, B. is the applicable section of the zoning regulations. It appears that the proposal is in accordance with this section except for the required pictorial representations from all directions, proposed lighting of the tower, and landscaping of the site. Two pictorials were submitted, but the applicant states that the surrounding topography and dense vegetation preclude photographs from all but the south of the tower. The location on a hill and the surrounding dense vegetation are the applicant's reasons for requesting a landscape waiver on this site. Lighting of the tower has not been specified.

Comprehensive Plan

While this proposal appears to comply with many of the Guidelines of the Comprehensive Plan, it appears that the following Guidelines deserve specific attention by the Planning Commission in this case.

Utilities Guidelines U-5 and U-6 require that all reasonable measures be taken to prevent utility installations from creating nuisances to the surrounding area. Designing to reduce the visual intrusion and minimizing negative visual impacts are specifically addressed as issues in these Guidelines. In addition to any lighting of the tower, the height of the tower may create a visual intrusion in this area, especially being on a hill visible from all directions. The Commission must determine if the applicant is taking all reasonable measures to lessen any negative visual impacts of the proposal.

These same visual impacts appear to be applicable to consideration of Guidelines R-1 and F-5. These two Guidelines are concerned with protecting neighborhoods from adverse impacts and with designing, to the extent possible, so that the exterior of the structure will not detract from the character of the immediate neighborhood. In addition to the proposed single family subdivision adjacent to the site, residential uses are located to the south and west beyond the Pages Lane and Dixie Highway. A 180' tower will generally be visible from these residential developments.

In addition, Guidelines F-2 and F-3 address the location of community facilities. The applicant has suggested that other locations were investigated as required by Section 8.2, B., 1., b., (3) and (4). A copy of the applicant's alternate site and co-location statements are attached. The Planning Commission must evaluate the acceptability of the reasons given by the applicant for not selecting alternate sites or co-location possibilities.

Based upon all evidence and testimony presented and submitted to the Planning Commission, the Planning Commission must determine if the proposal is in accordance with the Comprehensive Plan and zoning regulations. The Planning Commission must issue its final decision by December 7, 1998, or the proposal is presumed to have been approved.

Docket No. 4-29-98 and Revised Detailed Plan for 9-36-84

Revise Plan 9-36-84:

1. A subdivision case Docket No. 10-38-98, Nichols View has been submitted for review by the TRC Committee. This subdivision contains a portion of the OR-3 zoned property, which was rezoned under Docket No. 9-36-84. A revised detailed district development plan is required for this portion of the OR-3, also.
2. Also, for the remainder of the OR-3 property, which contains the old hospital structures, a revised detailed plan must be submitted for any development proposed in the future. A binding element to that effect is suggested so that there is no misunderstanding.
3. Jefferson County Historic Preservation requests review of any plans associated with the hospital structures.

PROPOSED BINDING ELEMENTS:

1. No development of the balance of the site shall be permitted without approval of a revised detailed district development plan by the Planning Commission. No office space shall be allowed. Businesses within any subsequently approved multi-family residential structures shall be for the convenience of the residents alone.
2. Any revised detailed district development plan shall be submitted to Jefferson County Historic Preservation for review and comment prior to being submitted to the Planning Commission.

CROWN COMMUNICATION INC.

MEMORANDUM

TO: FILE
FROM: AARON JOHNSON
SUBJECT: ALTERNATE SITES; 239KYD
DATE: 5/26/98

The following sites were investigated as potential alternate sites:

Hardwood Forest Subdivision

Address: Hardwood Forest Drive

Owner: CMD Development / Mack Dickerson

Reason for Rejection: No feasible access to hilltop overlooking the hwy.

This possibility was rejected due to the extreme road engineering needed to get to the top of the hill.

Land off of St. Andrews Church road.

Address: off St. Andrews Church road, Louisville, KY 40272

Owner: 5 owners - the largest owner is The Jewish Federation.

Reason for Rejection: Limited area available

This possibility was rejected due to the road construction difficulties, and the lack of usable space on the ridgeline.

RECEIVED

01/10

Department of Planning

5-26-98

REC'D
SEP 1 1998
TELECOMMUNICATIONS
DEPARTMENT

Memorandum

VIA: Han

To: File

From: Aaron Johnson

CC: John J. Lyons, Jr.

Date: 06/29/98

Re: Collocation Statement for 239ky

File,

Alt. Site C1: A GTE Wireless tower 150' in height within a 60' x 40' compound. This facility is located at 4400 Paralee Drive, Louisville, Kentucky 40272. This facility is located on the same property as the proposed facility.

The referenced site at 4400 Paralee Drive is not suitable for collocation for the following reasons:

- The existing tower or facility is not of sufficient height to meet the applicant's engineering requirements.
- The facility's compound is not sufficient in size to accommodate additional carriers.

Alt. Site C-2: A Jefferson County Lattice tower 400' in height within a 40' x 65' compound. This facility is located at Waverly Hills Park off Arnoldtown Road, Louisville, Kentucky.

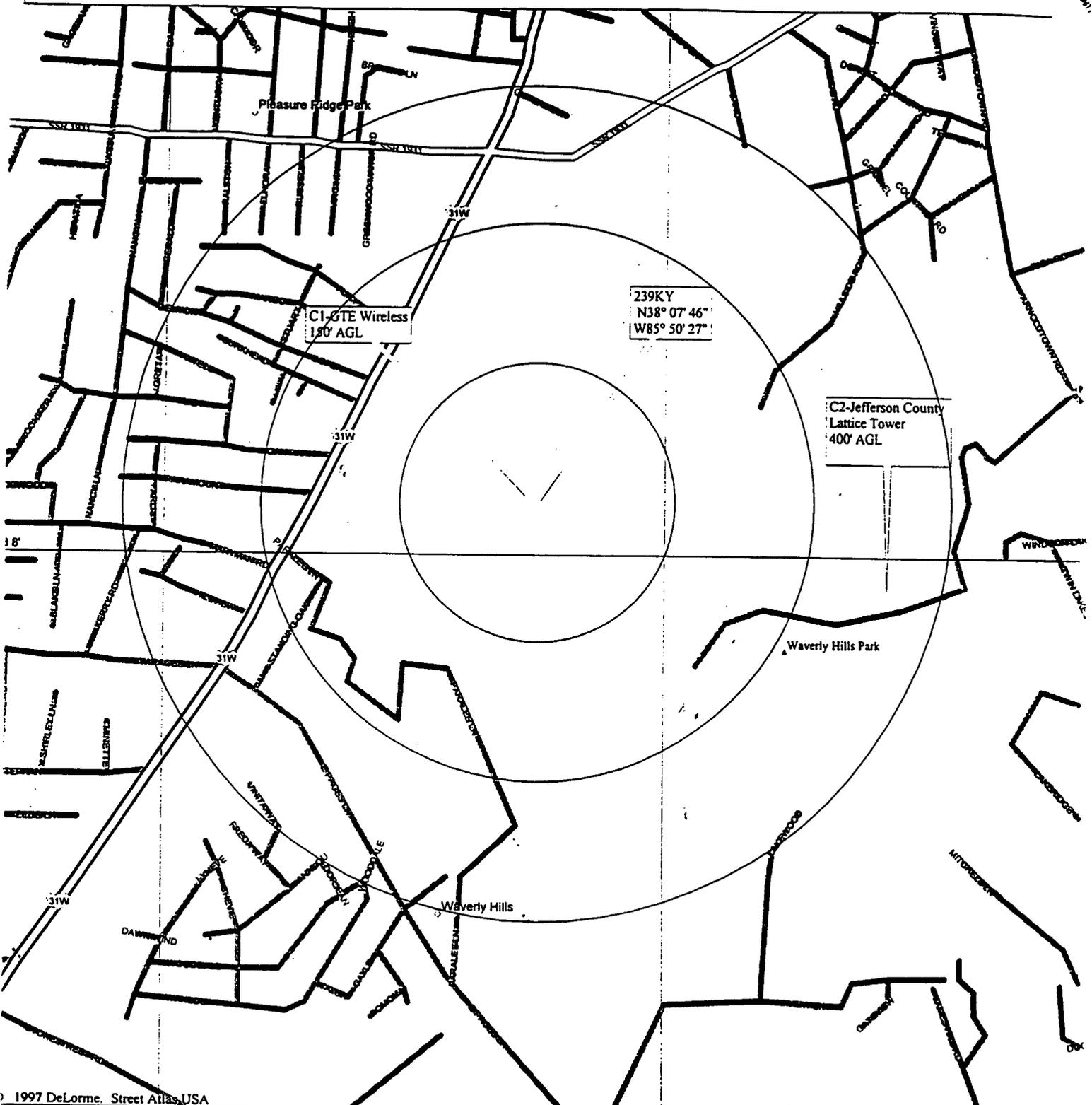
The referenced site at Waverly Hills Park off Arnoldtown Road is not suitable for collocation for the following reasons:

- This tower was primarily built for County public uses. We have made many efforts to collocate on this tower, but have met resistance by the County emergency services. Additionally, according to the original tower design specifications, it is already at structural capacity.

TEA GROUP INCORPORATED - Commonwealth Business Center, 11001 Bluegrass Parkway, Suite 330,
Louisville, Kentucky 40299

*Proprietary, Restricted & Confidential
Pursuant to Company Instructions*

239KY - South Parkland



© 1997 DeLorme. Street Atlas USA

Agg 15.00
 on Jun 29 10:02 1998
 Scale 1:15,625 (at center)
 1000 Feet
 500 Meters

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|--|---------------------------|--|-------------|
| | Local Road | | Locale |
| | US Highway | | Water |
| | Interstate/Limited Access | | River/Canal |
| | Major Connector | | |
| | Park/Reservation | | |

RECEIVED

SEP 10
 DEVELOPMENT

LD&T MINUTES

NOVEMBER 12, 1998

DOCKET NO. 9-36-84 and 4-29-98 (Jefferson County)

Project Name: Crown Communication Inc. – South Parkland
Location: 4400 Paralee Drive
Applicant: Crown Communication Inc. and Dixie Development, Inc. by Robert Alberhasky, Pres.
Request: Revised Detailed District Development Plan and Cellular Tower.

Staff Case Manager: Chris French, Planner I and Jack Ruf, AICP.

PRINCIPAL ISSUES: REVISED GENERAL DISTRICT DEVELOPMENT PLAN

1. This is a revised portion of the detailed district development plan to add a cellular tower and related structures to the northern portion of the OR-3 zoned property. The proposed tower will be 180 feet in height with a lightning rod on top. **This case was deferred from the October 22, 1998 LD&T meeting.**
2. A subdivision case Docket No. 10-38-98, Nichols View has been submitted for review by the TRC Committee. This subdivision contains a portion of the OR-3 zoned property, which was rezoned under Docket No. 9-36-84. A revised detailed district development plan is required for this portion of the OR-3, also.
3. Also, for the remainder of the OR-3 property, which contains the old hospital structures, a revised detailed plan must be submitted for any development proposed in the future. A binding element to that effect is suggested so that there is no misunderstanding.
4. **Jefferson County Historic Preservation requests review of any plans associated with the hospital structures.**
5. **Are the hospital structures being used for any activities currently?**

DISCUSSION

This proposal was deferred at the October 22, 1998, Land Development and Transportation Committee Meeting to allow the Committee to decide if a public hearing should be held or docketed for Business Session. Staff informed the Committee that certifications were received concerning the posting of property and sending of notices. The applicant has requested a landscape waiver.

LD&T MINUTES

NOVEMBER 12, 1998

DOCKET NO. 9-36-84 and 4-29-98 (Jefferson County)

5. The applicant has addressed two alternate sites. One was in the Hardwood Forest Subdivision. This site was rejected because of the applicant's position that extreme road engineering is needed to get to the top of the hill. The other site is property off St. Andrews Church Road. The applicant rejected this site due to road construction difficulties and the lack of usable space on the ridgeline.
6. Pictorial representations from two vantage points have been submitted. The applicant states that the site is surrounded by a heavily wooded area with sharp elevation drop-offs that preclude photographs from all but the south of the tower location.
7. The landscaping of the base facilities is shown outside the applicant's easement area. Documentation on the applicant's right to use this area is needed.
8. Lighting of the tower is not sufficiently specified for review against the regulations.

✓
Lawrence Young, Aaron Johnson, John Binkley, Norm Graham, Bohn Bonkley, Brett Peterman and Carolyn Wilkin were present.

LD&T MINUTES

OCTOBER 22, 1998

DOCKET NO. 9-36-84 and 4- 29-98 (Jefferson County)

Project Name: Crown Communication Inc. – South Parkland
Location: 4400 Paralee Drive
Applicant: Crown Communication Inc. and Dixie Development, Inc. by Robert Alberhasky, Pres.
Request: Revised Detailed District Development Plan and Cellular Tower.

Staff Case Manager: Chris French, Planner I and Jack Ruf, AICP.

PRINCIPAL ISSUES: REVISED GENERAL DISTRICT DEVELOPMENT PLAN

1. This a revised portion of the detailed district development plan to add a cell tower and related structures to the northern portion of the OR-3 zoned property. The proposed tower shall be 180 feet in height.
2. A subdivision case Docket No. 10-38-98, Nichols View has been submitted for review by the TRC Committee. This subdivision contains a portion of the OR-3 zoned property, which was rezoned under Docket No. 9-36-84. A revised detailed district development plan is required for this portion of the OR-3.
3. Also, the remainder of the OR-3 property, which contains the old hospital structures, must submit a revised detailed plan for any development proposed in the future.
4. The cell tower lease lot requires a minor plat to create the lot lines and access as shown on the development plan.

PROPOSED BINDING ELEMENTS:

1. No development of the balance of the site shall be permitted without approval of a revised detailed district development plan by the Planning Commission.
2. If the cell tower site is approved by the Planning Commission, then a minor plat must be approved to create the lot lines and access as shown on the revised plan. The recorded instrument must be submitted to the Planning Commission prior to transmittal of the plan to Jefferson County Code Enforcement.
3. Any business operated on the site shall be for the convenience of the residents of the structures and no outside advertising will be permitted. No commercial office space will be permitted.

LD&T MINUTES

OCTOBER 22, 1998

DOCKET NO. 9-36-84 and 4- 29-98 (Jefferson County)

PRINCIPAL ISSUES Docket No. 4-29-98:

1. Today's review is for the technical review and to determine whether or not the Committee believes a public hearing is necessary for this request. The 60-day review time expires on December 7, 1998, (a Monday).
2. The site is located on property zoned OR-3 and is also a Plan Certain site for which a revised plan has been submitted. This is the old Waverly Hills Hospital site. A 180' self-supporting lattice tower with a 20' lightning rod atop is proposed. The tower is designed to accommodate antennae for at least four providers along with the attendant equipment structures. Access is shown through an access easement from East Pages Lane.
3. The necessary certifications of mailed notice and sign posting have not been submitted.
4. The applicant has identified two existing towers in the area as possible co-location opportunities. One is a Jefferson County tower in Waverly Hills Park. This tower is already committed for antennae up to its structural design capacity. The other tower is a GTE wireless tower nearby that is a 150' self-supporting lattice tower. The applicant contends that this tower is not of sufficient height to meet their needs and the facility's compound is not sufficient in size to accommodate additional carriers.
5. The applicant has addressed two alternate sites. One was in the Hardwood Forest Subdivision. This site was rejected because of the applicant's position that extreme road engineering is needed to get to the top of the hill. The other site is property off St. Andrews Church Road. The applicant rejected this site due to road construction difficulties and the lack of usable space on the ridgeline.
6. Pictorial representations from two vantage points have been submitted. The applicant states that the site is surrounded by a heavily wooded area with sharp elevation drop-offs that preclude photographs from all but the south of the tower location.
7. The landscaping of the base facilities is shown outside the applicant's easement area. Documentation on the applicant's right to use this area is needed.

LD&T MINUTES

OCTOBER 22, 1998

DOCKET NO. 9-36-84 and 4- 29-98 (Jefferson County)

8. Lighting of the tower is not sufficiently specified for review against the regulations.

DISCUSSION:

The applicant is proposing a maximum height of 200 feet so that it will not be required to be lighted. The applicant has not received a response from FAA regarding the lighting of this tower.

The applicant's representative stated that they made several efforts to co-locate on other towers in the area but were unsuccessful. The water tank will be removed and the water company is unsure at this time whether it will be rebuilt. The Water Company has denied the applicant's request to locate a tower at that location. GTE has denied the applicant's request to rebuild their structures for co-location.

The applicant's representative stated that the proposed tower is one of two that is necessary to cover the Waverly Hills Park area.

Commissioner Herron was concerned that the cellular tower companies have not submitted a list of the locations of their towers within the community to City and County Public Works so that their locations can be identified on a map. He directed staff to notify all the cellular tower companies in writing to submit this information in writing to the Works Departments so that it can be plotted on a LOJIC map.

The applicant's representative indicated the annual plan which is filed in January shows the accurate location of all of their facilities that were proposed. He discussed efforts and the number of co-locations that they are presently negotiating and agreements between BellSouth and Crown Communications to co-locate.

The applicant(s) and/or representative(s) were provided a copy of the proposed comments and given the opportunity to discuss them.

On a motion by Commissioner Cash, the following resolution was unanimously adopted:

RESOLVED, That the Land Development and Transportation Committee does hereby **SCHEDULE** this request for additional review by the LD&T Committee on November 12, 1998 and will determine whether a public hearing should be

LD&T MINUTES

OCTOBER 22, 1998

DOCKET NO. 9-36-84 and 4- 29-98 (Jefferson County)

scheduled at that time.

Aaron Johnson, John Binkley, Norm Graham and Carolyn Wilkinson were present.

LOUISVILLE AND JEFFERSON COUNTY
PLANNING COMMISSION
514 WEST LIBERTY STREET
THURSDAY DECEMBER 3, 1998 - 1:00 P.M.

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DOCKET: 4-29-98 & 9-36-84

REPORTER: WENDY L. McLAUGHLIN

RECEIVED
DEC 11 1998
Planning & Development Services

LOUISVILLE LEGAL REPORTERS
Suite 420
730 West Main Street
Louisville, KY 40202
(502) 589-9002

ORIGINAL

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I N D E X

A P P E A R A N C E S

PLANNING COMMISSION
CHAIRMAN DULWORTH

MR. CRAWFORD	MR. SERAPHINE
MR. ADAMS	MS. SPALDING-FERRELL
MR. TRAUGHBER	MR. HERRON
MR. THIENEMAN	

STAFF

MR. HULEFELD	
MS. BILITSKI	MR. THOMAS
MR. BLEDSOE	MS. BARLOW
MR. LUTZ	MS. FOSTER

1 CHAIRMAN DULWORTH: The first item in new
2 business is 4-28-98 and 9-36-84. Crown
3 Communications the request is a revised detailed
4 district development plan and cellular tower.
5 Jack.

6 MR. RUF: Thank you Mr. Chairman. The
7 communities facilities review request under
8 4-29-98 involves an application for 180 foot tall
9 self supporting lattice tower capable of
10 accommodating at least four different cellular
11 providers a lightening rod will further extend the
12 height 20 feet for a total of 200 feet, this is on
13 the site of the Old Waverly Hills hospital.

14 The planning commissions charge in these
15 circumstances is to ascertain wether or not the
16 proposal is in agreement with the comprehensive
17 plan and zoning regulations. With regard to the
18 zoning district regulations section 8.2B
19 is the applicable section and it appears that the
20 proposal is in accordance with most of the section
21 with the except for two circumstances, one being
22 the pictorial representations from all directions
23 and the other being landscaping of the site the
24 applicant has requested a waiver of landscaping.

1 avoiding the creation of nuisances or taking on
2 measures as necessary to make sure that a proposed
3 development or community facility is not a
4 nuisance to surrounding areas. The height of the
5 tower in addition to it being on a hillside may
6 create a visual intrusion into the area so the
7 applicant should address this issue specifically
8 with regard to these guidelines.

9 In addition guidelines F-2 and F-3 are
10 concerned with the location of community
11 facilities and are perhaps most applicable to the
12 applicants statement dealing with potential
13 co-location sites as well as alternate sites
14 co-location sites with existing structures where
15 they might put antenna in lieu of constructing a
16 new tower. Alternate sites, would be sites-- as
17 alternates to this one or construction of a new
18 tower. And the Planning Commission must evaluate
19 the acceptability of the reasons presented as they
20 are attached to your staff report, as submitted to
21 the staff.

22 Based upon all the evidence and testimony
23 presented and submitted to the commission the
24 commission must determine if the proposal is in

1 Two pictorials have been submitted and
2 the applicant has indicated that the existing
3 vegetation as well as the topography of the site
4 make pictorials for other directions at the given
5 distances basically irrelevant because they would
6 not really show anything that would be relevant or
7 give you any further insight into how the tower
8 might appear.

9 The applicants reason for the landscape
10 waiver are also the topography and the dense
11 vegetation surrounding the site. In the staff
12 report I noted that at the time of the report
13 lighting of the tower had not been finalized
14 between the writing of the report today I have
15 recieved documentation that the FAA at this time
16 does not require any lighting of the tower and the
17 FAA would have to order lightening subsequently if
18 there were to be any any lighting of this tower.

19 With regard to the comprehensive plan the
20 proposal does appear to comply with numerous of
21 the guidelines of the comprehensive plan there are
22 some specific ones that we've asked the applicant
23 to address through. In particular Utilities
24 guidelines U-5, U-6, R-1, and F-5 deal with

1 accordance with the comprehensive plan and zoning
2 regulations the planning commission must issue its
3 final decision by December 7, 1998 or the proposal
4 will presume to have been approved by law. I do
5 want to make one other note while we're on 4-29-94
6 and that this proposal was deemed accepted on
7 October 8th which was prior to the commission
8 adopting a resolution requesting voluntary
9 withholding of any future application so this
10 request was filed prior to the adoption of that
11 resolution by the commission.

12 The last item I need to address is the
13 fact that this is on the site of a plan certain
14 rezoning from 1984 in effect the plan submitted in
15 84 has expired in our terminal if you were to
16 approve the tower you would need to approve the
17 revised district development plan to approve that
18 construction. The balance of the site at this
19 time the applicant has indicated he is proposing
20 no further development on, because the Waverly
21 Hills Hospital is a designated historic site
22 Jefferson County Historic Preservation requests
23 review of any plans associated with the hospital
24 structures we have suggested two binding elements

1 be attached to the action that might happen on the
2 revised development plan under 9-36-84. I will be
3 happy to answer any questions you might have.

4 CHAIRMAN DULWORTH: Any questions from the
5 Commission.

6 MR. RUF: I did forget one thing you
7 should have before you a letter we recieved in
8 opposition from an attorney representing CMD and
9 Mac Dickerson as entities involved in developing
10 property between Arnold Town Road and Dixie
11 Highway registering their opposition to the tower
12 request.

13 MR. GRAHAM: Good afternoon members of the
14 commission for the record I'm Norm Graham Wyatt,
15 Terrant & Combs 500 West Jefferson Street
16 Louisville, KY 40202.

17 I'd just like to reaffirm Mr. Ruf's
18 statement that no lighting would be required
19 righting on this tower that is pursuant to the FAA
20 approval letter which states as such. I'd like to
21 hand out a couple of handouts I've got copies for
22 each of you. The purpose of this handout is just
23 to give you an update on a handout which I gave
24 you on your very first cell tower case back in

1 north on an existing Bell South Tower, and to the
2 northwest an existing Bell South tower and to the
3 southwest an existing Bell South tower.

4 I am also told and there are other people
5 that can provide this information to you in more
6 detailed form but something like 29 of the 34 or
7 so existing Bell South facilities in our community
8 have more than two carriers on them. In interest
9 of efficiency I'm going to had out all my
10 submittals at one and I'll just run through them
11 and explain to you what they are.

12 First I'm submitting a letter from the
13 engineering company which is representing Tri-tel
14 corporation and some of you may have had
15 conversations with your staff representative Mr.
16 Ruf I'm sure that Tri-tel has probably been in
17 contact with Mr. Ruf already and can demonstrate
18 that they coming and will require facilities for
19 their equipment. Also I am submitting a letter
20 from GTE which I'll get to in a minute GTE does
21 have one site near ours and which we have sent
22 them a letter requesting collocation on that and
23 we did not receive a response to that letter
24 there's also a memorandum to the file based on a

1 March and that handout identified what the FCC
2 licences were and who owned them and how many cell
3 tower companies were coming. I have marked up
4 that report to show you who is what, of course
5 there will be we have six cellular telephone
6 companies GTE, Bell South and Sprint are of course
7 already here and have their equipment in the air
8 the companies that are in the process of coming
9 are Powertel, Nexttell and Tri-tell. The
10 commission has regularly preached co-location as
11 you will see in a minute in my opinion the
12 commission is preaching to the choir to the
13 companies in that regard as you will see in fact
14 the industry has substantially incorporated
15 collocating into the efforts into bring these
16 companies into the area. For example, page two is
17 a map which shows the cell site which communicate
18 with the proposed cell site for today for Powertel
19 which by is one of the confirmed carriers on this
20 tower. As you can see the Powertel map identifies
21 the proposed new site with their number
22 LKY056043. As you can see each adjoining cell
23 site that this site would communicate with is a
24 collocation, to the east on a water tank, to the

1 conversation I had with Mark Adams Crown
2 Communication has pursued collocation on the
3 existing county tower out there in addition
4 Powertel one of out three customers on this site
5 has also pursued collocation on the existing
6 county tower and have been rejected. I spoke
7 about that with Mr. Adams who suggested that
8 perhaps he could get further along than I could
9 with it and was unable to do so largely because
10 the existing county tower according to the people
11 are responsible for that tower is already loaded
12 up and cannot accommodate any more facilities.

13 MR. ADAMS: For the record I would like
14 to clarify that I did address that with Jefferson
15 County Police and there is not available capacity
16 to service these carries over on the county tower.

17 CHAIRMAN DULWORTH: Mr. Graham, on the
18 face of it without further testimony it seems like
19 this probably is an appropriate site given the
20 characteristics, the big hill, unimproved land but
21 I am concerned about the future again this does
22 seem like an appropriate site and I can see the
23 demand for this site exceeding maybe even your
24 current requirements. You're saying you've

1 contracted for how many people.
 2 MR. GRAHAM: Three, Powertel which of
 3 course as you know are in the process of
 4 implementing their network as we speak, Nexttel
 5 which is a little bit further behind, and the
 6 letter I submitted which is Tri-tel which will be
 7 the last and final phone company who have
 8 indicated to us that this is one of the sites they
 9 want.

10 CHAIRMAN DULWORTH: How many more will
 11 this tower how old.

12 MR. GRAHAM: I don't know if it will hold
 13 anymore I think it will accommodate at least
 14 three.

15 MR. BINKLEY: For the record my name is
 16 John Binkley my address is 11001 Bluegrass Parkway
 17 suite 330 Louisville Kentucky 40299. The
 18 currently tower design that Crown has for this
 19 location is a 180 foot self supporting tower which
 20 is designed to carry four full 12 panel antenna
 21 arrays in addition to microwave. Many times the
 22 towers that are designed this strong we will be
 23 able to continue to find room for antennas above
 24 and beyond that but that is the initial design

1 you will see antenna at 180, 165, 150 and then if
 2 you know the additional position would be 135
 3 microwave dishes below that we have flexible tower
 4 segments to add what isn't required when for that
 5 future tenant.

6 CHAIRMAN: Are all of your lattice towers
 7 capable of being added on to.

8 MR. BINKLEY: To a certain degree. The
 9 majority of them our engineering department is
 10 comfortable that 20 to 40 feet can be added on to
 11 those facilities without much difficulty at all.

12 MR. HERRON: My question is for Mr.
 13 Graham.

14 MR. THIENEMAN: Mr. Binkley in regards to
 15 the opposition letter on the tower being in front
 16 of where the subdivision is going to be has that
 17 been addressed or have you looked at that?

18 A. Well, Mr. Dickerson I was just informed
 19 by our site acquisition agent who was working on
 20 this project he is present in the audience today.
 21 Crown was negotiating a lease with Mr. Dickerson
 22 to put the tower on his property and due to the
 23 limited accessibility to get to the top of his
 24 property, the number of trees and vegetation that

1 load capability we are also able to add tower
 2 segments to the top of this facility in the event
 3 that in the future somebody else needs room that
 4 is not available. Our compound that we have got
 5 an easement for is large enough that in the event
 6 one day this tower is overloaded and there is not
 7 other thing we can do with it to accommodate more
 8 antennas we would have enough room to replace and
 9 reorganize the site to put in an even stronger err
 10 and taller facility to accommodate future growth
 11 well beyond the next 10 or 20 years.

12 CHAIRMAN: How many carriers can you put
 13 on this 180 foot tower if you maxed it out.

14 MR. BINKLEY: Our design is for 5
 15 different tenants with full antenna arrays and
 16 most of them do not usually go to that full
 17 antennae array for years.

18 CHAIRMAN: And if you wanted to add a
 19 segment how tall would that be and how many
 20 additional carriers could you put on that.

21 MR. BINKLEY: You would be able add
 22 segments in either 10 or 20 foot sections this
 23 particular facilities we're planning for 15 foot
 24 separation ray between the companies antennas so

1 would need to be constructed through we opted to
 2 go with this particular site because we do not
 3 have to effect any existing tree masses, similar
 4 to other two alternate sites we looked at the
 5 roadway that we would have had to cut in would
 6 have required removing a lot of the existing tree
 7 mass and we felt that by utilizing existing access
 8 ways we would be able to mitigate further impact
 9 to the community.

10 MR. ADAMS: Mr. Binkley, can you respond
 11 to the GTE wireless tower that there is already
 12 one available can you respond to that.

13 MR. BINKLEY: Well the GTE tower could
 14 probably be thrown into same category as your
 15 Waverly Park Emergency Tower. The one
 16 disadvantage that the GTE tower has is it's not
 17 400 feet tall which would provide plenty of
 18 vertical spacing for the number of antennas that
 19 are needed in the area. The GTE is a 150 foot
 20 tower and all of anchoring tenants require height
 21 in excess of 150 feet or right at the 150 feet
 22 level which would create interference problems
 23 ultimately the GTE tower would have a very
 24 difficult time being extended to these heights

1 that are required for the other phone companies as
 2 well as carrying the antenna load so you have both
 3 a height and a structural problem with the GTE
 4 facility expanding to accommodate the demand for
 5 antenna space in that area.

6 MR. HERRON: Let me ask the question that
 7 I always ask why don't you work with GTE to
 8 construct a new tower on it's existing site.

9 MR. BINKLEY: Well, that question we
 10 anticipated and we would also offer the
 11 opportunity to Jefferson County the Waverly Park
 12 Site is the preferred location for the companies
 13 in this area and I would return that question to
 14 you, is Jefferson County ready to work with us to
 15 replace and upgrade that 400 foot tower.

16 MR. HERRON: You didn't you answer my
 17 question, sir. I want you to answer my question.

18 MR. BINKLEY: Sir, we have presented a
 19 letter to GTE they have not respond about
 20 accommodating antennae at additional height. In
 21 my experience it is very rare that a carrier will
 22 go to that additional expense on there own.

23 MR. HERRON: Well, let me ask the question
 24 again, for the third time: Does your letter to

1 put a tower anywhere within the 130 acres because
 2 there's only a few high elevations where it's
 3 really efficient.

4 CHAIRMAN: What's been GTE's policy on
 5 collocation as I recall I don't think they've been
 6 to cooperative with us.

7 MR. BINKLEY: GTE just like Bell South
 8 does have a marking representative to market their
 9 towers for collocation currently it's my
 10 understand that GTE and I have visually verified
 11 that GTE has collocated a large number of carriers
 12 on their facilities. Many times however when a
 13 future tenant to collocate asks GTE about the
 14 facility because of their future antenna needs or
 15 their expansion antenna growth their tower is not
 16 going to be structurally capable so in the event
 17 that GTE may be turning away customers it would be
 18 because the structural capabilities of their
 19 facilities are not strong enough, because 10 years
 20 ago or 5 years ago they weren't expecting this
 21 boom of competition to enter into the market so
 22 they were designed not to suport.

23 CHAIRMAN: Now you guys, Crown you all
 24 just build towers you don't provide any service.

1 GTE contain any reference to working to reduce
 2 their tower take it out build a new tower to
 3 accommodate both operations.

4 MR. BINKLEY: No, our letter does not.

5 MR. SERAPHINE: What was the date of your
 6 letter to GTE.

7 MR. BINKLEY: October 1.

8 CHAIRMAN: Now, is the GTE tower on top of
 9 the hill or below.

10 MR. GRAHAM: It is very close to our tower
 11 and just so you have a picture of area this tower
 12 site is on a 28 acre site that was a part of the
 13 Waverly Hills Sanatorium site which was originally
 14 130 acres. This is a 28 acre site in the middle
 15 of it immediately to the west is another 40 acre
 16 site that was another part of the 130 acres that
 17 Mr. Dickerson owns and that is undeveloped at this
 18 time as well, to the east, excuse me the Dickerson
 19 site is to the west and it's a 60 acre site, to
 20 the east is a 40 acre site which is the last
 21 remaining parcel of the sanitorium site. So you
 22 have, I mean, this tower site is basically within
 23 130 acres which are at present undeveloped. Now
 24 there a number of hills on there so you just can't

1 MR. BINKLEY: That is correct. Crown
 2 tries to identify areas where there's limited
 3 infrastructure available, we anticipate a high
 4 demand for service and coverage in the area and
 5 those are the areas where we begin planning and I
 6 believe this plan started two years ago now that
 7 we've been working in Jefferson County to identify
 8 locations where we can build a facility that will
 9 hold three carriers and our business plan has been
 10 very successful.

11 CHAIRMAN: Do you all do business with all
 12 providers.

13 MR. BINKLEY: We have been working with
 14 every company in the State of Kentucky which goes
 15 well beyond the the six that can provide service
 16 in Louisville for the last two years and our
 17 communications are open from the minute they walk
 18 into the market and we provided them with
 19 coordinate lists of all the Crown and Bell South
 20 facilities and just like the marketing firm for
 21 GTE has thrown all of coordinates out in front of
 22 and the carriers their cooperation begins in the
 23 planning and the design stage of their network
 24 they really do look at every existing tower every

1 a existing roof top and water tank and they try
2 to collocate as many places as possible especially
3 in the state of Kentucky where a local and a state
4 zoning process can take as much as 18 months to
5 two years for approval.

6 MR. SPALDING-FERRELL: Are all four of
7 carriers that you indicated you have commitments
8 from them that they would collocate.

9 MR. BINKLEY: We have three companies that
10 we are working with our tower is designed to hold
11 four plus a microwave tenant which could easily
12 become another cellular phone company or wireless
13 data company as wireless data is moving into this
14 area and deploying antennas. The three carriers
15 that we have the commitments from are in various
16 stages of the processing of their applications for
17 example tri-tel just showed up we anticipate they
18 would need this site and we're anticipating their
19 application to go on it and the letter indicates
20 that.

21 MR. RUF: Very quickly two items. First
22 of all I would like to confirm that staff is aware
23 of that there have been some collocations on the
24 part of GTE, I couldn't give you a number but I am

1 lessees of your tower vying for the same
2 locations.

3 MR. BINKLEY: Not at this time, sir.

4 CHAIRMAN: Any further questions? You
5 ready to wrap up Mr. Graham.

6 MR. GRAHAM: Yeah, just in the interest of
7 going quickly I will refer to my collocation
8 statements and the organizations statements filed
9 with the application. There are only two location
10 opportunities one is the county tower and the
11 other is the GTE tower which we have discussed the
12 alternate sites that were investigated because of
13 big size of properties there aren't many that can
14 accommodate us this is really the only feasible
15 site except for the county site which is probably
16 the most desirable. The adjoining 40 acre site
17 and the other adjoining 60 acre site didn't
18 indicate a desire to have our facility on their
19 property.

20 One final thing this is just to give you
21 a feel for how high this tower would be. The
22 county tower is located at an elevation of 760
23 feet and it's a 400 foot tower that means that the
24 top of that tower is an elevation of 1160 feet

1 aware that there have been some. Secondly, I had
2 a question for you Mr. Binkley the letter from
3 tri-tel indicates they are looking at a design
4 height of 165 feet another letter indicates I
5 believe Powertel is interested in a 180 feet of
6 the three carrier that you're talking with are any
7 of them competing for the same location on the
8 tower such that if you committed to one and
9 another one feels like they need that same height
10 are they going to a back saying well that tower
11 isn't going to work for us.

12 MR. BINKLEY: Well, the beauty of a Crown
13 facility is we get to basically have the ultimate
14 approval of where antennas are added for example
15 should Nexttel confirm that 180 feet is where they
16 would like to direct their Omni directional
17 antennas we could locate them at at the 180 foot
18 level perhaps with Powertel use some filters to
19 mitigate the potential interference because one is
20 PCS and one is in the SMR band wave. There's
21 enough separation in that band width that we can
22 in some cases collocate multiple carriers at the
23 same level.

24 MR. RUF: So you don't have potential

1 which is very high, that's one of the reasons it
2 can be seen from quite a distance away. Our tower
3 is on an adjoining hill the elevation is 600 feet
4 and the tower is maximum of 200 feet tall which
5 means that our maximum elevation would be
6 approximately 800 feet which is almost 400 feet
7 lower than the county tower, so where the county
8 tower can be seen from a long distance away ours
9 won't because it's a much shorter much less
10 obtrusive facility I just thought I'd let you
11 know.

12 MR. THIENEMAN: Mr. Graham how close is
13 this to the existing 150 foot tower.

14 MR. GRAHAM: I don't know exactly but it's
15 on the same same tract.

16 MR. THIENEMAN: An acre or yards.

17 Mr. Graham: It's more than 30 feet as the
18 paper quoted today. It would have to be because
19 our lease is at least 100 feet so it would need to
20 be at least 80 feet away at the very minimum. I
21 check that.

22 CHAIRMAN DULWORTH: Any further
23 questions? Thank you Mr. Graham. Does anybody
24 else want to speak in favor of this proposal. We

1 have one person signed up in opposition Janice
 2 Trent. I'm sorry, Mr. Whitty did you want to
 3 speak?
 4 MR. WHITTY: Paul Whitty 3300 National
 5 City tower on behalf of Powertel which as you know
 6 has a letter of intent signed with Crown
 7 Communication to be on this tower it's an
 8 important one for Powertel. We have launched our
 9 system on November 23 it was a network design with
 10 the assumption that Waverly EMS tower would be
 11 available we were rather surprised that it was not
 12 available to us so this was our alternative, so,
 13 now we do need this site. We have network
 14 surrounding this that comprised almost entirely of
 15 collocation there is only one site we have that
 16 communicates with this, which is the Greenfield
 17 site that's what we call the what Zern Hill site
 18 off Southern Parkway.
 19 It is important for Powertel to have this
 20 site we couldn't collocate on the GTE because of
 21 it's height and because it's already very close to
 22 another collocation we have so it wouldn't work
 23 for us so we hope that you would consider this
 24 application very carefully because there are

1 of the hill and little shops there's all kinds of
 2 feasibilities (sic) but we do not want to look at a
 3 tower up there and I assume a tower with lights on
 4 it. There is a lot of dense vegetation between
 5 all of us but as I said the GTE tower is visible
 6 and this one would be more visible and we are all
 7 opposed, thank you.
 8 CHAIRMAN DULWORTH: Does anybody else want
 9 to speak in opposition to this proposal? Mr.
 10 Graham you want to rebut?
 11 MR. GRAHAM: I suppose no site is
 12 absolutely perfect for a cell tower but this one
 13 does have the benefit of being in a wooded area so
 14 there is substantial tree coverage particular for
 15 the lower elevations of the tower. Also I'm sorry
 16 I don't know exactly where Bridgegate subdivision
 17 is but I know it must be at least a quarter to a
 18 half a mile away from this particular facility.
 19 So that I don't dispute in anyway that the
 20 facility is probably visible but you would have to
 21 look for it. It is not close to or domineer over
 22 any existing residences and therefore I don't
 23 think it would create an unnecessary nuisance
 24 these facilities are a necessary part of modern

1 consequences of denial of this proposal that will
 2 flow to the other carriers which may be required
 3 to bring in applications for additional towers and
 4 will all know that the intent of regulation is to
 5 reduce the proliferation of these towers.
 6 CHAIRMAN: Quick question I don't know if
 7 you know this. GTE tower is it a lattice or a
 8 monopole.
 9 MR. WHITTY: I don't know the answer to
 10 that.
 11 MS. TRENT: My name is Janice Trent I live
 12 at 3511 Gateview Place in Bridge Gate subdivision
 13 and I have names of other residents and we are all
 14 opposed to the construction of this tower. The
 15 GTE tower is visible to our subdivision because we
 16 are also built on a hill it's very visible to our
 17 subdivision and this tower being even taller would
 18 be even more visible and I cannot comprehend a
 19 tower that tall without some kind of light to warn
 20 an airplane. There are many possibilities for
 21 that area up there if they just thought about.
 22 As far as Waverly Hills being a historic
 23 site it's in complete shambles there's no hope for
 24 that, there could be a restaurant built at the top

1 life.
 2 MR. ADAMS: Mr. Graham, will you agree to
 3 contact GTE and make them the same offer you made
 4 the county of reconstructing that tower for them?
 5 I know you all had offered to reconstruct the
 6 county tower are you all agreeable to make that
 7 same contact with GTE?
 8 MR. BINKLEY: Um, that effort would end up
 9 being counterproductive to our business case.
 10 MR. HERRON: What does that mean.
 11 MR. BINKLEY: Well, we're in the business
 12 of constructing multiple carrier facilities to
 13 provide business opportunity for Crown in this
 14 community to help the community to limit tower
 15 proliferation. We have an agreement with Bell
 16 South that allows us to work very closely with
 17 them and I think that trying to get to close to
 18 GTE at this point would probably conflict out
 19 agreements that we have in place and could be
 20 detrimental to the business case and the
 21 significant investment we've made in getting this
 22 far for this facility.
 23 CHAIRMAN DULWORTH: You mean you all can't
 24 rent to GTE.

1 MR. BINKLEY: Oh, no in fact GTE is a
2 customer of ours and Bell South is a tenant on GTE
3 towers in Jefferson County as well, but going to
4 GTE to rebuild there structure for them would not
5 allow an opportunity for us to have a business
6 case or a business presence.

7 CHAIRMAN DULWORTH: Well, if I understand,
8 the request is take there's down and you all
9 reconstruct yours up to a 180 feet and then rent
10 it out to all these other people and give GTE a
11 spot.

12 MR. BINKLEY: We could write a letter to
13 GTE and offer them the opportunity to locate their
14 equipment on our tower and in that case turn there
15 tower down.

16 CHAIRMAN: Is that what you're requesting
17 commissioner.

18 MR. ADAMS: Well, more than that because
19 they've got some available capacity on their tower
20 today so they're not going to agree to looseing
21 capacity that already exists.

22 MR. BINKLEY: Well, it's certainly a
23 difficult question to answer because they do have
24 that asset out there all ready and it is suitable

1 companies work. You better believe that Powertel,
2 Nexttell Tri-Tel that everybody has already
3 negotiated with GTE about locating there equipment
4 on the GTE tower. And if Powertel tells you that
5 they couldn't get on there tower it means they
6 couldn't get on there tower.

7 MR. HERRON: Let me turn the question
8 around instead of locating on their tower I'll ask
9 it for the fourth time lets take their tower down
10 build up a new tower, how do you respond to that.

11 MR. GRAHAM: Um, I think one of reasons
12 you've had to ask the questions four times is
13 because the answer is, no; and nobody wants to
14 come out and say that.

15 MR. HERRON: I guess, I don't understand
16 what part of no I don't understand. So give me the
17 answer that you want to give me besides no. I
18 understand no.

19 MR. BINKLEY: We'd like to replace the
20 Jefferson County tower sir that is a key location
21 that would limit.

22 MR. HERRON: You keep spinning the
23 question sir I understand what you're saying but
24 you're not answering my question.

1 for their needs and the additional expense or cost
2 would be a decision that GTE would be asked to
3 make.

4 MR. ADAMS: I think it's worth exploring
5 the possible of eliminating that tower and
6 reconstructing one that would meet your needs and
7 their needs and the future needs of the community.

8 MR. BINKLEY: The tower we're constructing
9 may meet their needs however, their engineering I
10 was looking at the pictures it does appear to be a
11 pretty considerable distance away from our tower
12 they would need to make a lot of decisions but we
13 would extend the invitation for them to relocate
14 their equipment to our tower.

15 CHAIRMAN DULWORTH: What's the action date
16 on this.

17 MR. RUF: December 7TH, Monday.

18 MR. HERRON: If we defer Jack do we stop
19 the toll on December 7th.

20 MR. RUF: December 7th if you have not
21 acted by statute the request will be deemed
22 approved.

23 MR. GRAHAM: While you're pondering let me
24 address the practical procedures of how these

1 MR. BINKLEY: Well this is our only
2 opportunity to rebut. Are you willing to allow us
3 to do that with your facility?

4 MR. HERRON: I asked my questions first
5 you have not given me an answer, is the answer
6 still no.

7 MR. BINKLEY: We will write a letter to
8 GTE and ask them to move their equipment to our
9 proposed tower.

10 MR. HERRON: That's what Mr. Adams was
11 asking you, thank you.

12 MR. SERAPHINE: Have you ever in Jefferson
13 County say anywhere Crown builds have you ever
14 done this go into GTE or one of these other
15 supplier who supply not only the service but the
16 tower, have you ever gone in and rebuilt the tower
17 some place and said well share the business, or
18 we'll share the profit because that's basically
19 what we're getting down to. You all are in the
20 business of providing the space on the tower you
21 don't sell the service; what I'm asking have you
22 all ever done this anywhere else in Jefferson or
23 county or anywhere else.

24 MR. BINKLEY: We have two towers in

1 Jefferson County that are owned by our marketing
 2 partner Bell South mobility where we are extending
 3 them by as much as 15 to 20 feet to accommodate
 4 Powertel so they do not need to build a new tower
 5 in the area. We have in many communities all over
 6 the country worked with local 911 emergency
 7 providers, fire departments, to replace existing
 8 infrastructure, market that new infrastructure
 9 that we've constructed and create a revenue
 10 opportunity for both the community and for Crown.
 11 We have also had to build new towers right next to
 12 Crown towers and take the Crown towers down and
 13 that is certainly something that has been done and
 14 has been pursued by our organization, yes, sir.
 15 MR. SERAPHINE: So you have done it before
 16 so it's a possibility you might be able to do it
 17 with GTE.
 18 MR. BINKLEY: And it's a very good
 19 possibility that their could be a number of other
 20 tower modifications here in Jefferson County
 21 should everything keep going on the very
 22 cooperative path that we're on.
 23 CHAIRMAN DULWORTH: Any further questions
 24 from the commission? If not we'll move into

1 consideration of docket 4-29-98 & 9-36-84.
 2 MR. HERRON: Mr. Chairman, I move deferral
 3 on the case knowing that the nothing clock is told
 4 because I would like to see a letter back from GTE
 5 on the question that we've been trying to get them
 6 to answer.
 7 CHAIRMAN DULWORTH: But we won't have a
 8 meeting before --
 9 MR. HERRON: I'll remove my motion then.
 10 CHAIRMAN DULWORTH: Can we structure this
 11 in a way I personally like the location and I
 12 think that this company is a tower provider not a
 13 service provider and it seems to me that their
 14 tower is going to be capable of handling more
 15 carriers in the future and that ultimately gets to
 16 I believe our goal which is to eliminate the
 17 proliferation of towers in the community. But, I
 18 believe there are unanswered questions here
 19 particularly in regards to the GTE tower extension
 20 of it maybe moving them, or taking their spot or
 21 something like that.
 22 Can we structure a motion either way I
 23 guess, at this point where there could be heavier
 24 consideration to find out exactly what GTE's plans

1 are and if it can be moved or if their tower can
 2 even be extended or something like that make a
 3 recommendation to the PSC that they further delve
 4 into this in area.
 5 MR. RUF: My observation would be that
 6 perhaps the best thing might be to structure your
 7 motion to request the public service commission
 8 pursue that opportunity during their review of
 9 this installation.
 10 MR. HERRON: I'll make that motion Mr.
 11 Chairman to approve with the proviso that the
 12 Public Service Commission ask those questions that
 13 we've been trying to get answers to.
 14 CHAIRMAN DULWORTH: Are we clear on the
 15 questions Jack.
 16 MR. RUF: I believe so the questions would
 17 be, you would like one tower up there either Crown
 18 going where GTE is reconstructing or putting GTE
 19 on this site and taking down the GTE tower.
 20 MR. HERRON: Preferably the former if you
 21 get my drift.
 22 MR. TRAUGHBER: As the new guy on the
 23 block approval of the plan should mean approval of
 24 the landscape waiver as well?

1 CHAIRMAN: We have what two requests
 2 4-29-98 is the actual is that the detailed
 3 district development plan or is that the cell
 4 tower?
 5 MR. RUF: 4-29 is the cell tower and you
 6 would need to be specify whether or not you want
 7 to wave the landscaping requirements of the
 8 community facility review section as applicable to
 9 this tower as part of your motion.
 10 CHAIRMAN DULWORTH: On 9-36.
 11 MR. RUF: On 4-29.
 12 MR. HERRON: I don't want to waive any
 13 landscape requirements. I'll amend my motion to
 14 make sure the landscape requirements are not
 15 waived I want the landscape requirements kept.
 16 CHAIRMAN DULWORTH: Yeah, I agree with
 17 that.
 18 MR. TRAUGHBER: So the message then this
 19 commission is sending by voting yes on this motion
 20 extends to The Public Service Commission is that
 21 we recommend this site provided that they're able
 22 to secure an agreement with GTE, is that what this
 23 motion means.
 24 CHAIRMAN DULWORTH: No, I don't believe

1 that we're in that position.

2 MR. TRAUGHBER: So, what we're sending on
3 to the Public Service Commission is a
4 recommendation to allow this tower to be built
5 that's what an affirmative vote means.

6 CHAIRMAN DULWORTH: The recommendation
7 yes, sir. In my mind, it has to do more with the
8 future development patterns of towers in this
9 community and I think that this individual
10 applicant has demonstrated that they can provide
11 the tower space necessary to accommodate multiple
12 carriers and that's how I'm justifying it in my
13 mind.

14 MR. TRAUGHBER: So the conclusion then is
15 that if an agreement is not reached with GTE this
16 tower is fine, is what we're saying with this
17 motion.

18 CHAIRMAN: Yes, sir. Motion to approve
19 is there a second.

20 MR. ADAMS: Mr. Chairman I'd like to move
21 denial just because I think that's going to really
22 reduce the potential of being able to work with
23 GTE on this, I don't think that is going to get
24 Crown and GTE to really sit down and hammer this

1 more carriers on one tower and we don't know that
2 is the fact with GTE.

3 MR. ADAMS: Well, if they reconstruct a
4 tower similar to this in the same vicinity the
5 ground elevation is very similar to the ground
6 elevation at this site they'll be able to provide
7 the available capacity and more at that GTE site.
8 It is there it's just a matter of Crown and GTE
9 working together.

10 CHAIRMAN DULWORTH: Are we missing an
11 opportunity to eliminate proliferation of towers?
12 That would be my only response. Motion to deny
13 has been made and seconded any further discussion?
14 All those in favor? 1, 2, 3, 4, 5, 6. All those
15 opposed? One opposition and one abstention? I'm
16 sorry I thought you were raising your hand.

17 MS. SPALDING-FERRELL: If we don't act on
18 this or we defer it it's deemed approved is that
19 correct?

20 CHAIRMAN DULWORTH: Yes, that is correct.
21 Right.

22 MS. SPALDING FERRELL: So, if we deny it
23 what's going to happen? You know, I mean
24 something going to happen it's going to go to PSC

1 issue out which is basically to share the cost and
2 share the revenue. If I thought it would I would
3 have seconded Bill's motion but just because they
4 haven't been able to work this out and haven't
5 proposed reconstructed GTE's tower I'm going to
6 move denial based on U-5, U-6, F-2 and F-3.

7 MR. SERAPHINE: SECOND.

8 CHAIRMAN DULWORTH: Okay, we have a motion
9 to deny that's been made and seconded. The reason
10 I was delaying there was because we really hadn't
11 concluded the motion to approve but it obviously
12 died without a second.

13 I agree, I know exactly what you're
14 saying but my opinion is that down the road number
15 one, we really don't have much communication with
16 GTE I can't recall them ever coming before this
17 commission.

18 MR. HERRON: They've been here on some
19 joint ventures.

20 CHAIRMAN: Right. And therefore we really
21 have no opportunity a forum to sit down and
22 possibly work something out with them and work
23 with them. Number two, I believe that this
24 applicant has demonstrated that they can provide

1 anyway.

2 CHAIRMAN DULWORTH: Correct. Well, we
3 only have recommendation authority. Okay. Motion
4 to approve the motion and I assume the motion to
5 denied had the same request on there, that they
6 work with GTE.

7 MR. HERRON: The same questions have to be
8 asked at the public hearing at the PSC on our
9 recommendation.

10 CHAIRMAN DULWORTH: Okay. The detailed
11 district development docket 9-36-84 we have a
12 motion; Commissioner Adams a motion to deny the
13 detailed district development plan?

14 MR. ADAMS: Yes.

15 CHAIRMAN DULWORTH: Do we have a second?

16 SECOND

17 CHAIRMAN: All those in favor?

18 Passes unanimously.
19
20
21
22
23
24

WYATT, TARRANT & COMBS

CITIZENS PLAZA

LOUISVILLE, KENTUCKY 40202-2898

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615 822-8822

6075 POPLAR AVENUE, SUITE 650
MEMPHIS, TN 38119-4721
901 537-1000

10368 WALLACE ALLEY STREET, SUITE 6
KINGSPORT, TN 37663-3977
423 279-1825

WRITER'S DIRECT DIAL NUMBER

502 562-7544

February 15, 1999

Ms. Janice Trent
3511 Gateview Place
Louisville, KY 40272

**Re: Planning Commission Docket No. 4-29-98
South Parkland Tower
Crown Communication Inc.**

Dear Ms. Trent:

Attached please find a copy of the Statement in Support of the request to override the decision of the Planning Commission sent to the Kentucky Public Service Commission in regard to the above-referenced Docket Number.

In accordance with the provisions of 807 KAR5:063, Section 3, this is to be sent to the Planning Commission and to all persons who submitted testimony to the Commission during its review.

Sincerely yours,

WYATT, TARRANT & COMBS



Norman W. Graham

NWG:nja
Attachment

E:\NWG\TRENT.LTR.WPD

WYATT, TARRANT & COMBS

CITIZENS PLAZA

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423 279-1825

WRITER'S DIRECT DIAL NUMBER

502 562-7544

February 15, 1999

Mr. Chris French, Planner I
Louisville and Jefferson County
Planning Commission
531 Court Place, Suite 900
Louisville, KY 40202

**Re: Planning Commission Docket No. 4-29-98
South Parkland Tower
Crown Communication Inc.**

Dear Mr. French:

Attached please find a copy of the Statement in Support of the request to override the decision of the Planning Commission sent to the Kentucky Public Service Commission in regard to the above-referenced Docket Number.

In accordance with the provisions of 807 KAR5:063, Section 3, this is to be sent to the Planning Commission and to all persons who submitted testimony to the Commission during its review.

Sincerely yours,

WYATT, TARRANT & COMBS



Norman W. Graham

NWG:nja
Attachment
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WYATT, TARRANT & COMBS

CITIZENS PLAZA

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901 537-1000

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KINGSPORT, TN 37683-3977
423 279-1825

WRITER'S DIRECT DIAL NUMBER

502 562-7544

February 15, 1999

Lawrence I. Young, Esq.
ROMINES, WEIS & YOUNG
500 West Jefferson Street
Louisville, KY 40202

**Re: Planning Commission Docket No. 4-29-98
South Parkland Tower
Crown Communication Inc.**

Dear Mr. Young:

Attached please find a copy of the Statement in Support of the request to override the decision of the Planning Commission sent to the Kentucky Public Service Commission in regard to the above-referenced Docket Number.

In accordance with the provisions of 807 KAR5:063, Section 3, this is to be sent to the Planning Commission and to all persons who submitted testimony to the Commission during its review.

Sincerely yours,

WYATT, TARRANT & COMBS



Norman W. Graham

NWG:nja
Attachment

E:\NWGYOUNG\LTR.WPD



COMMONWEALTH OF KENTUCKY
PUBLIC SERVICE COMMISSION

730 SCHENKEL LANE
POST OFFICE BOX 615
FRANKFORT, KY. 40602
(502) 564-3940

February 3, 1999

Aaron Johnson
Zoning Manager
Crown Communications Inc.
Commonwealth Business Center
11001 Bluegrass Parkway, Suite 330
Louisville, KY. 40299

Honorable W. Brent Rice
Counsel for Powertel/Kentucky, Inc.
McBrayer, McGinnis,
Leslie & Kirkland
163 W. Short Street
Lexington, KY. 40507 1361

Honorable Norman W. Graham
Counsel for Crown Communications
Wyatt, Tarrant & Combs
500 West Jefferson Street
Louisville, KY. 40202

RE: Case No. 99-029
POWERTEL/KENTUCKY, INC.
(Construct) CELL SITE - 4400 PARALEE DRIVE - JEFFERSON

This letter is to acknowledge receipt of initial application in the above case. The application was date-stamped received January 29, 1999 and has been assigned Case No. 99-029. In all future correspondence or filings in connection with this case, please reference the above case number.

If you need further assistance, please contact my staff at 502/564-3940.

Sincerely,

A handwritten signature in cursive script that reads "Stephanie Bell".

Stephanie Bell
Secretary of the Commission

SB/jc

99-00069

WYATT, TARRANT & COMBS

CITIZENS PLAZA

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901 537-1000

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KINGSPORT, TN 37663-3977
423 279-1825

WRITER'S DIRECT DIAL NUMBER

502 562-7544

January 29, 1999

Ms. Helen C. Helton
Executive Director
Public Service Commission
P.O. Box 615
730 Schenkel Lane
Frankfort, KY 40602

FILED

FEB 16 1999

PUBLIC SERVICE
COMMISSION

RECEIVED

JAN 29 1999

PUBLIC SERVICE
COMMISSION

Re: Case No. 99-029

Dear Ms. Helton:

Enclosed please find five (5) copies (original plus 4) of documents to be filed in the above-referenced case, and one (1) set of large-scale drawings. Please call me at (502) 562-7544 if additional information is requested or required.

Sincerely yours,

WYATT, TARRANT & COMBS



Norman W. Graham

NWG:nja
Enclosures
E:\NWGH\ELTON.LTR.WPD

99-00068

COMMONWEALTH OF KENTUCKY
BEFORE THE PUBLIC SERVICE COMMISSION

RECEIVED
JAN 29 1999
PUBLIC SERVICE
COMMISSION

In the matter of)
)
APPLICATION OF CROWN COMMUNICATION INC.)
AND POWERTEL/KENTUCKY, INC. FOR ISSUANCE)
OF A CERTIFICATE OF PUBLIC CONVENIENCE)
AND NECESSITY TO CONSTRUCT A WIRELESS)
COMMUNICATIONS FACILITY)
AT 4400 PARALEE DRIVE)
IN THE BASIC TRADING AREA)
IN THE COMMONWEALTH OF KENTUCKY)
IN THE COUNTY OF JEFFERSON)
SITE NAME: SOUTH PARKLAND)
SITE NUMBER: 239KYD)

CASE NO.: 99-029

APPLICATION

CROWN COMMUNICATION INC. ("CROWN"), as ultimate owner, and POWERTEL/
KENTUCKY, INC. ("POWERTEL"), as a licensed public utility in the Commonwealth of Kentucky,
through counsel, pursuant to (i) KRS 278.020 and the rules and regulations applicable thereto, and (ii) the
Telecommunications Act of 1996, respectfully submit their Application for a Certificate of Public
Convenience and Necessity ("CPCN") from the Public Service Commission of Kentucky
("Commission") to construct, maintain, and operate a Wireless Communications Facility ("WCF") to
serve the customers of POWERTEL's Personal Communication Services ("PCS"), and other wireless
service provider collocations in the area described herein.

In support of this Application, CROWN & POWERTEL (hereinafter referred to as "Applicants"),
respectfully provide and state the following information:

1. The complete name and address of each Applicant is:
 - A. CROWN COMMUNICATION INC., 375 Southpointe Boulevard, Canonsburg,

Pennsylvania 15317, (724) 416-2000, having a local address of Commonwealth Business Center, 11001 Bluegrass Parkway, Suite 330, Louisville, Kentucky 40299, (502) 240-0044.

B. POWERTEL/KENTUCKY, INC., d/b/a POWERTEL, 1233 O.G. Skinner Drive, West Point, Georgia 31833, (706) 645-2000, having a local address of 10172 Linn Station Road, Louisville, Kentucky 40223, (502) 327-6100

2. A. CROWN COMMUNICATION INC. is a Delaware corporation that constructs, owns, maintains, and operates independent communications networks. CROWN owns and manages safe, clean, and well-maintained facilities, which do not generate smoke, odors, noise, noxious gases, vibrations, or increase traffic. CROWN's facilities will not pollute air, soil, or water, nor will they adversely affect radio or television reception or transmission. A certified copy of the Certificate of Authority under the name of CROWN COMMUNICATION INC., issued by the Secretary of State of the Commonwealth of Kentucky, and a certified copy of the Articles of Incorporation issued by the Secretary of State of Delaware are attached hereto as **Exhibit A**.

B. POWERTEL is a Delaware corporation. A certified copy of the Articles of Incorporation of POWERTEL and a certified copy of its Certificate of Authority to transact business in the Commonwealth of Kentucky were provided by POWERTEL to the Commission in Case No. 97-384, in which it applied for a Certificate to provide PCS wireless services. The Commission previously found that POWERTEL has the financial, technical and managerial ability to provide PCS wireless services in its Order in Case No. 97-384, issued on November 10, 1997.

3. After completion of the proposed WCF, CROWN will lease or license space on said tower and the surrounding site so that POWERTEL may locate and operate its PCS facility including all required antennas and appurtenances. The proposed WCF will serve an area completely within

POWERTEL's FCC licensed PCS service area in the Commonwealth of Kentucky. A copy of POWERTEL's FCC license is attached as **Exhibit B**. CROWN has located the proposed site in a manner such that other wireless communications service providers will desire to collocate on said tower, and will endeavor to provide all necessary facilities to make collocation attractive to them.

4. Public convenience and necessity requires the construction of the proposed WCF. The WCF is an integral and necessary link in POWERTEL's network design that must be in place to cover the proposed service area. In addition, at least four (4) of POWERTEL's adjoining WCF sites are collocations on existing facilities, and without the proposed WCF, service cannot be adequately provided without additional facilities.

5. CROWN's construction of the WCF is also required by the public convenience and necessity as it allows for the collocation of additional wireless service providers within the Jefferson county portion of the Kentucky PCS-licensed area. These services may include telecommunications, wireless data transfer and Internet services, wireless cable, paging systems, and other new products currently being developed in the wireless industry. In addition, the WCF will be available for use by governmental agencies and providers of emergency services. The WCF will provide a necessary link in CROWN's wireless network, and CROWN, as part of its business structure, will diligently pursue and encourage other wireless providers to collocate on the WCF. These services will provide increased competition in the South Central Kentucky telecommunications market, which will, in turn, promote competitive pricing, quality, and coverage options to users of telecommunications services in this area. CROWN's vested interest in the collocation of wireless service providers promotes the same goals for the consumers of South Central Kentucky.

6. The Applicants propose to construct a WCF at 4400 Paralee Drive, Louisville, Kentucky,

an area located entirely within the County of Jefferson and POWERTEL's Basic Trading Area in the Commonwealth of Kentucky. The proposed WCF will consist of a 180 foot self-supporting tower, with POWERTEL's antennas attached at a height of 180 feet to the centerline of the antenna, and concrete foundations to accommodate the placement of POWERTEL's proprietary radio electronics equipment. The equipment will be housed in a prefabricated shelter that will contain (i) the transmitting and receiving equipment required to connect the WCF with POWERTEL's PCS users in Kentucky, (ii) telephone lines that will link the WCF with POWERTEL's other facilities, (iii) battery back-up that will allow POWERTEL to operate even after a loss of outside power, and (iv) all other necessary appurtenances. POWERTEL's equipment shelter will be approved for use in the Commonwealth of Kentucky by either the local building inspector or the Kentucky Department of Housing. The WCF compound will be fenced and all access gate(s) will be secured. A description of the manner in which the proposed WCF will be constructed is attached as **Exhibits C and D**, as required by 807 KAR 5:001 Section 9(2)(c). Periodic inspections will be performed on the WCF in accordance with the applicable regulations or requirements of the Commission.

7. The list of competing utilities, corporations, or persons is attached as **Exhibit E**.

8. One (1) original Site Development Plans have been submitted with this Application; a reduced copy of said Site Development Plan has been included as **Exhibit C**. A vertical profile sketch of the WCF depicting both the tower height as well as a proposed configuration for future antenna mounts has also been included as part of **Exhibit C**.

9. A search for nearby towers within a one mile radius of the proposed WCF was conducted for the purpose of collocation. Two tower's were found to be located within this area. Information regarding the nearby towers, photographs, and CROWN's reasons for not utilizing these towers for

collocation are presented as **Exhibit F**.

10. A preliminary aeronautical evaluation was conducted by Kristen Weide. The evaluation determined that a structure height of 200 feet at this site complies with the requirements of Federal Aviation Regulation Part 77, and Federal Communications Commission Part 17. FAA notice is not required for the proposed construction and obstruction marking and lighting are not necessary. A copy of the FAA determination is attached as **Exhibit G**.

11. The Kentucky Airport Zoning Commission (KAZC) has determined that a KAZC permit is not required because the structure does not exceed 200 feet (AGL) at a height of 802 feet (AMSL). A copy of the KAZC determination is attached as **Exhibit H**.

12. Soil boring(s) and subsequent geotechnical-engineering studies of the WCF site were performed by ATC Associates Inc. ("ATC"). ATC has performed hundreds of such studies for the communications industry. ATC's local office is located at 2815 Watterson Trail, Louisville, Kentucky 40299-3868. The Senior Engineer for the WCF site is Michael Ronayne, PE, a registered professional engineer in the Commonwealth of Kentucky. His area of expertise is in the field of geotechnical engineering, including subsurface exploration. A copy of the Report of Geotechnical Exploration dated April 30, 1998 is attached hereto as **Exhibit I**.

13. Clear directions to the proposed site are attached as **Exhibit J**.

14. The property on which the WCF will be located is owned by Dixie Development, Inc., and located at 4400 Paralee Drive, Louisville, Kentucky 40272. Its latitude is 38-07-46 and longitude is 85-50-27. The WCF site and associated property rights have been acquired by CROWN pursuant to an Easement Agreement dated January 12, 1998. A copy of said Easement Agreement is attached as **Exhibit K**.

15. The foundation design for the proposed tower and WCF has been developed by Pirod

Tower, Inc. ("Pirod") utilizing the information provided in ATC's geotechnical report. Personnel directly responsible for the design and construction of the proposed WCF are well-qualified and experienced. Pirod performed the tower and foundation design. Pirod is a nationally recognized manufacturer and designer of communications towers. Since 1950, Pirod has designed and installed communications towers throughout North America, Asia and Africa. The engineer responsible for the design is J. R. Erichsen, PE, a registered professional engineer in the Commonwealth of Kentucky. His specialty is the design and engineering of guyed, self-support and monopole structures. He has served as Professional Engineer on various projects similar to the Applicants's. These projects include the design of towers and the required foundations of many other wireless facilities. All of the designs have been signed and sealed by J. R. Erichsen. The construction of the proposed WCF will be performed by Crown Network Systems, an experienced, bonded, and insured erection company. The CROWN Tower Erection Manager, Harold Harrington, will manage the tower erection as well. Mr. Harrington is a tower installation manager for Crown and has been erecting towers for the telecommunications industry for over 8 years. All tower designs will meet or exceed applicable laws and regulations. Please note that the tower design in **Exhibit D** is for a 190' tower. This is in case we need to add 10' for an additional carrier at a later date. If that possibility ever comes about, we will go through whatever local and state regulatory processes are required to do a tower modification at that time.

16. The site development plan was prepared by Armour Cape & Pond. and was designed from a survey performed by Ogden Environmental. The site development plan includes the proposed WCF layout, access and utility easements, abutting property owners, and all structures located within a 500' radius of the tower location. The site development plan is attached as **Exhibit C**, Pages C-1 and C-2. Based on his review of Federal Emergency Management Agency Flood Insurance Rate Maps, the land

surveyor has noted that this mountaintop does not appear to be located within any flood hazard area.

17. The possibility of high winds has been considered in the design of this tower. The tower has been designed and engineered by professional engineers using computer assistance and the same accepted codes and standards as are typically used for high-rise building construction. The tower has been designed to withstand a wind loading of 70 m.p.h., using the Uniform Building Code of 1991 ("UBC-91") and further modified by the 1993 Administrative Code. This tower has been designed in accordance with the Electronic Industries Association ("EIA") 222-F Standards, which have been accepted and approved by ANSI and is a nationally recognized tower design standard. Similarly, the proposed WCF design has been developed with consideration to potential ground shaking based on a negligible seismic zone of 1. However, seismic loading is regarded as secondary to the wind loading, as described above.

18. A vicinity map, drawn to a scale of no less than one (1) inch equals 200 feet, that identifies every structure and every owner of real estate within 500 feet of the proposed tower is incorporated in the survey and site development plan on Page C-1 of **Exhibit C**.

19. CROWN, on behalf of itself and POWERTEL, has notified every person who owns property within 500 feet of the proposed tower by certified mail, return receipt requested, of the proposed construction, along with the possibility of a temporary site being built while awaiting final zoning approval. Each property owner has been given the docket number under which the proposed Application will be processed and has been informed of his or her right to request intervention. A list of the nearby property owners who received the notices, together with copies of the certified letters, are attached as **Exhibits L and M**, respectively.

20. The proposed WCF will be located at 4400 Paralee Drive, Louisville, Kentucky 40272. Appropriate notice signs measuring two (2) feet in height and four (4) feet in width with the word

'TOWER' in letters at least four (4) inches in height have been posted in a visible location on the proposed site and on the nearest public road and shall remain posted for at least two (2) weeks after filing of the Application. Photos of the postings are attached as **Exhibit N**. The location of the proposed facility has been published in a newspaper of general circulation in Jefferson County, Kentucky. The notice on both the signs and newspaper included the required language stating that the PSC will not consider the land use & values issue when deciding this case.

21. The area in which the WCF is to be constructed is a remote wooded area. The site is a part of what was previously an approximately 130-acre tract that was the Waverly Hills Sanatorium, a 1920's tuberculosis facility that is now abandoned, in ruins, and partially demolished. Of the original 130 acres, the site is now part of a 28-acre tract in the center zoned OR-3 Office Residential, with an undeveloped 40-acre tract to the east and an undeveloped 60-acre tract to the west. There are no residences within a 500-foot radius of the centerline of the proposed tower location.

22. The process that was used in selecting the site for the proposed WCF by the Applicants' radio frequency engineers was consistent with the process used for selecting generally all other existing and proposed WCF facilities within the proposed network design area. Before beginning the acquisition process, the Applicants carefully evaluated the location of the required WCF for possible collocation opportunities on existing structures. Radio frequency engineers used computer programs to evaluate the most effective coverage design for facilitating collocation potential on the proposed tower. CROWN and POWERTEL's radio frequency engineers have combined their efforts in order to develop a highly efficient network that is designed to serve the Federal Communications Commission licensed territory without extending beyond its approved boundary. The engineers selected the optimum vicinity in terms of elevation and location to provide the best quality service to customers in the service area. A proposed

coverage area was considered by the Applicants when searching for sites that would provide both (i) the coverage deemed necessary by POWERTEL, and (ii) the coverage deemed necessary by CROWN to permit the integration of the proposed WCF into CROWN's overall network design. No suitable towers or existing structures were found in the immediate area which would meet the technical requirements for this element of the telecommunications network.

23. The Applicants have considered the likely effects of the installation on nearby land uses and values and have concluded that there is no more suitable location reasonably available from which adequate services can be provided, and that there are no reasonably available opportunities to collocate. The Applicants have attempted to collocate on towers designed to host multiple wireless services provider's facilities or existing structures, such as a telecommunications tower, or another suitable structure capable of supporting POWERTEL's facilities.

24. Photographs of the surrounding area are attached as **Exhibit O**.

25. CROWN, on behalf of itself and POWERTEL, made application for Community Facility Review approval for the WCF from the Louisville and Jefferson County Planning Commission, which application was filed on September 10, 1998, and assigned Docket No. 4-29-98. The Planning Commission conducted a public hearing on December 3, 1998, at the conclusion of which the Planning Commission voted to DISAPPROVE the proposed WCF. A copy of the letter of Jack Ruf, Planning Manager, confirming the disapproval is attached as **Exhibit P**. The Applicant requests that the Commission override the recommendation of the Planning Commission. A statement explaining in detail why there is no acceptable alternate site with supporting documentation, and a copy of all documents submitted to the Planning Commission will be filed by the Applicant as a Supplement to this application.

A copy of the statement with supporting documentation will be sent to the Planning Commission and interested parties.

26. All responses and requests associated with this Application may be directed to:

Aaron Johnson, Zoning Manager
Crown Communication Inc.
Commonwealth Business Center
11001 Bluegrass Parkway, Suite 330
Louisville, Kentucky 40299
(502) 240-0044 x.13

and

W. Brent Rice, Esq.
McBrayer, McGinnis, Leslie & Kirkland
163 W. Short Street
Lexington, KY 40507 - 1361
(606) 231-8780
Counsel for POWERTEL/Kentucky, Inc.

and

Norman W. Graham, Esq.,
Wyatt, Tarrant & Combs
500 West Jefferson Street
Louisville, KY 40202
(502) 562-7544
Counsel for Crown Communication, Inc.

WHEREFORE, the Applicants respectfully request that the Commission accept the foregoing Application for filing, and having met the requirements of KRS 278.020 and all applicable rules and regulations of the Commission, grant a Certificate of Public Convenience and Necessity to construct and operate the WCF at the location set forth herein for the respective networks in the Commonwealth of Kentucky.

Respectfully submitted,

CROWN COMMUNICATIONS INC.

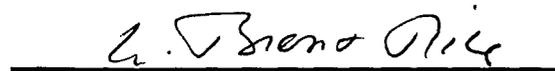
By:



Norman W. Graham, Esq.
Wyatt, Tarrant & Combs
500 West Jefferson Street
Louisville, KY 40202
(502) 562-7544

POWERTEL/Kentucky, Inc.

By:



W. Brent Rice, Esq.
McBrayer, McGinnis, Leslie & Kirkland
163 W. Short Street
Lexington, KY 40507 - 1361
(606) 231-8780

LIST OF EXHIBITS

A – CROWN's Articles of Incorporation & Certificate of Authority

B - Copy of POWERTEL's FCC License

C – Site Development Plan

Vicinity Map	Cover Sheet
Topographic Map	Cover Sheet
Property Owner Listing	Sheet C-1
500' Vicinity Map	Sheet C-2
Legal Descriptions	Sheet C-2
Flood Plain Certification	Sheet C-2
Site Plan	Sheet C-1 & C-2
Vertical Tower Profile	Sheet C-4 & C-5

D – Tower and Foundation Design

E – Competing utilities, corporations, or persons list

F – Collocation report

G – FAA Approval Notice

H– Kentucky Airport Zoning Commission Approval Letter

I – Geotechnical Report

J – Directions to WCF Site

K – Copy of Real Estate Agreement

L – Property Owner Notification List

M – Property Owner Notification Letters

N – Photos of Posting Notice [INTENTIONALLY OMITTED]

O – Photographs of Surrounding Area

P – Planning Commission Decision Letter

EXHIBIT A

**CROWN'S ARTICLES OF INCORPORATION & CERTIFICATE OF
AUTHORITY**

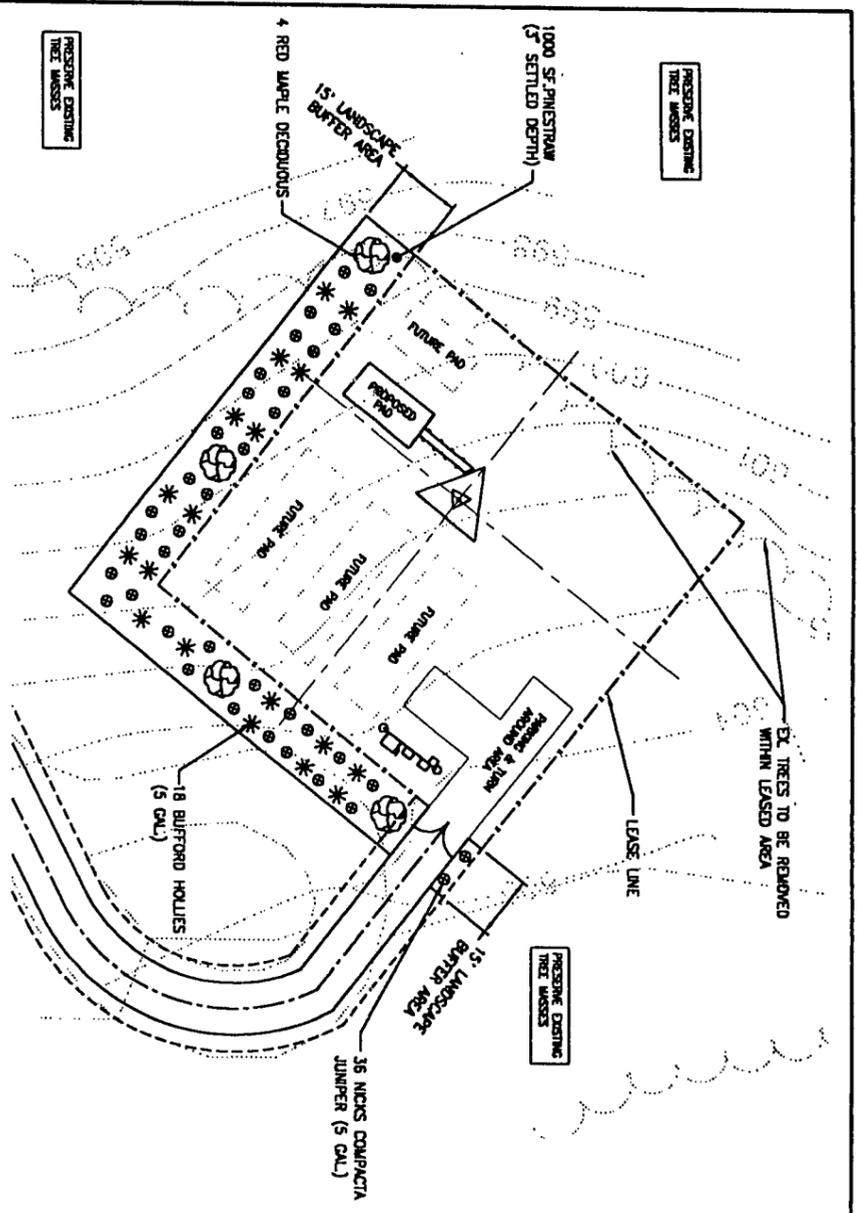
See Exhibit "A" to Case Numbers 97-503 and 97-505 previously filed with the
Public Service Commission.

EXHIBIT B

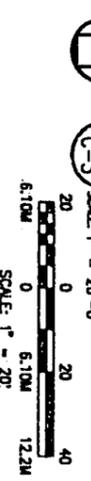
COPY OF POWERTEL'S FCC LICENSE

See Case Number 97-384 previously filed with the Public Service Commission.

NOTE - PROPOSED LANDSCAPE ONLY IF DEEMED APPROPRIATE BY ZONING APPROVAL ENTITIES



1 SITE PLAN AND LANDSCAPING



GENERAL PLANTING NOTES

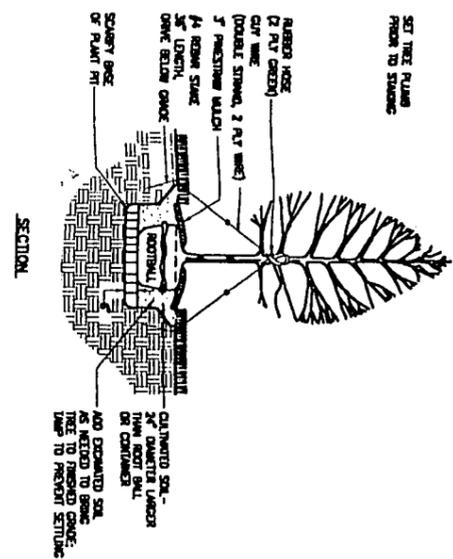
1. ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL, FREE OF PESTS AND DISEASE.
2. ALL PLANTS MUST BE CONTAINER-GROWN OR BALLED AND BURLAPPED AS SPECIFIED.
3. ALL TREES MUST BE STRAIGHT TRUNKED, FULL-HEADED AND MEET ALL REQUIREMENTS SPECIFIED.
4. ALL PLANTS ARE SUBJECT TO THE APPROVAL OF THE ENGINEER'S REPRESENTATIVE BEFORE DURING AND AFTER INSTALLATION.
5. ALL TREES MUST BE CAGED OR STAKED AS SHOWN.
6. ALL PLANTS AND PLANTING AREAS MUST BE COMPLETELY MATCHED AS SPECIFIED.
7. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL MAINTAIN DAMAGE TO ALL UTILITIES DURING COURSE OF THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ALL DAMAGE TO UTILITIES.
8. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS BEFORE PROCEEDING THE WORK.
9. THE CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANTING (INCLUDING, BUT NOT LIMITED TO WATERING, SPRAYING, MULCHING, FERTILIZATION, ETC.) OF PLANTING AREAS AND LAWNS UNTIL THE WORK IS ACCEPTED IN TOTAL, BY THE ENGINEER'S REPRESENTATIVE.
10. THE OWNER AGREES TO PERFORM ALL LANDSCAPE MAINTENANCE (INCLUDING WATERING) THROUGHOUT THE ONE YEAR GUARANTEE PERIOD UNLESS OTHERWISE DETERMINED.
11. THE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE (1) YEAR BEGINNING AT THE DATE OF TOTAL ACCEPTANCE. THE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS BEFORE OR AT THE END OF THE GUARANTEE PERIOD.

PLANT LIST:

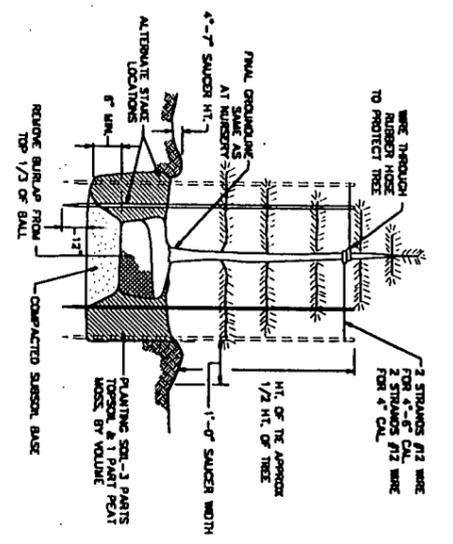
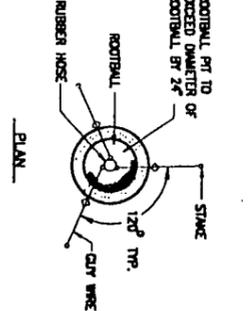
QTY	COMMON NAME	BOTANICAL NAME	SIZE/REMARKS
4	RED MAPLE	ACER RUBRUM	6'-8" TREE 1 1/2" TO 2" CAL.
18	DWARF BURFORD HOLLIES	ILEX BURFORDI 'NANA'	5 GAL. 3'-4" TALL 1" - 1 1/2" CAL.
36	NICKS COMPACTA JUNIPER	JUNIPERUS NICKS COMPACTA	18"-24" HI., 5 GAL.
1000 SF	PINESTRAW MULCH -		4" MUL. HI. AT PLANTING FULL HEALTHY
5	SETTLED LAYER OF CLEAN STRAW		

LANDSCAPE STRIP REQUIREMENTS:

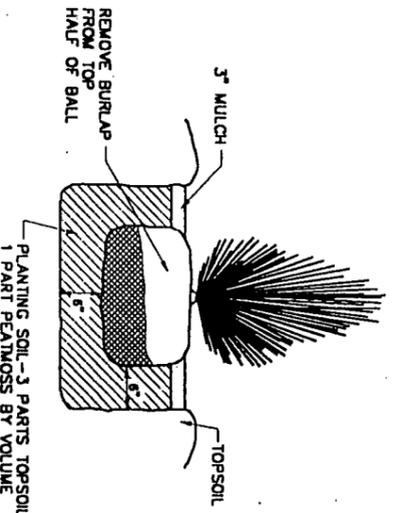
TOTAL LENGTH OF LANDSCAPE STRIP = 200 LF.
 LANDSCAPE STRIP OF 25" WIDE OR LESS - MINIMUM ONE TREE FOR EVERY 50 LF.
 100 LF. DIVIDED BY 50" = 4 TREES.
 4 TREES TOTAL REQUIRED
 TOTAL AREA OF LANDSCAPE STRIP = 3,450 SF.



DECIDUOUS TREE PLANTING & STAKING DETAIL



EVERGREEN TREE PLANTING & STAKING DETAIL



TYPICAL SHRUB PLANTING DETAIL

15' X 100' = 1,500 SF.
 15' X 100' = 1,500 SF.
 3,000 SF.

60% MINIMUM COVERAGE OF AREA TO BE TREES AND SHRUBS;
 40% MAXIMUM COVERAGE OF AREA TO BE GROUND COVER OR MULCH.
 1,500 S.F. X 0.60 = 900 S.F. TOTAL MIN. VEGETATION.
 1,500 S.F. X 0.40 = 600 S.F. TOTAL MAX. MULCH.
 PLANT MATERIALS TO BE USED:
 18- 5 GALLON DWARF BURFORD HOLLIES 50 SF. EACH = 900 SF.
 36 NICKS COMPACTA JUNIPER @ 5" O.C. 25 SF. EACH = 900 SF.
 4 RED MAPLE DECIDUOUS

TOTALS COVERAGE (TREES AND SHRUBS) 1800 SF.
 TOTAL COVERAGE (GROUNDING/MULCH) 1000 SF.
 TREES USED IN LANDSCAPE STRIP = 4
 18- 5 GALLON DWARF BURFORD HOLLIES AT .5 UNITS EACH = 9 UNITS
 REQUIREMENT FOR TREE REPLACEMENT = 3,45 UNITS

CROWN COMMUNICATION INC.
 PENN CENTER WEST III - SUITE 229
 PITTSBURGH
 PENNSYLVANIA 15278
 OFFICE: (412) 788-0906
 FAX: (412) 788-0908

ARMOUR CAPE SPOND
 5500 VESPALE AVENUE SUITE 214
 PITTSBURGH, PA 15214-1177
 FAX (724) 242-0241

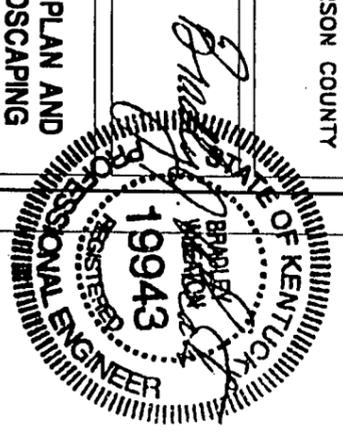
AC&P PROJECT NUMBER: 39825-24
 DRAWN BY: A. TAYLOR
 APPROVED BY: D. DALLMAN

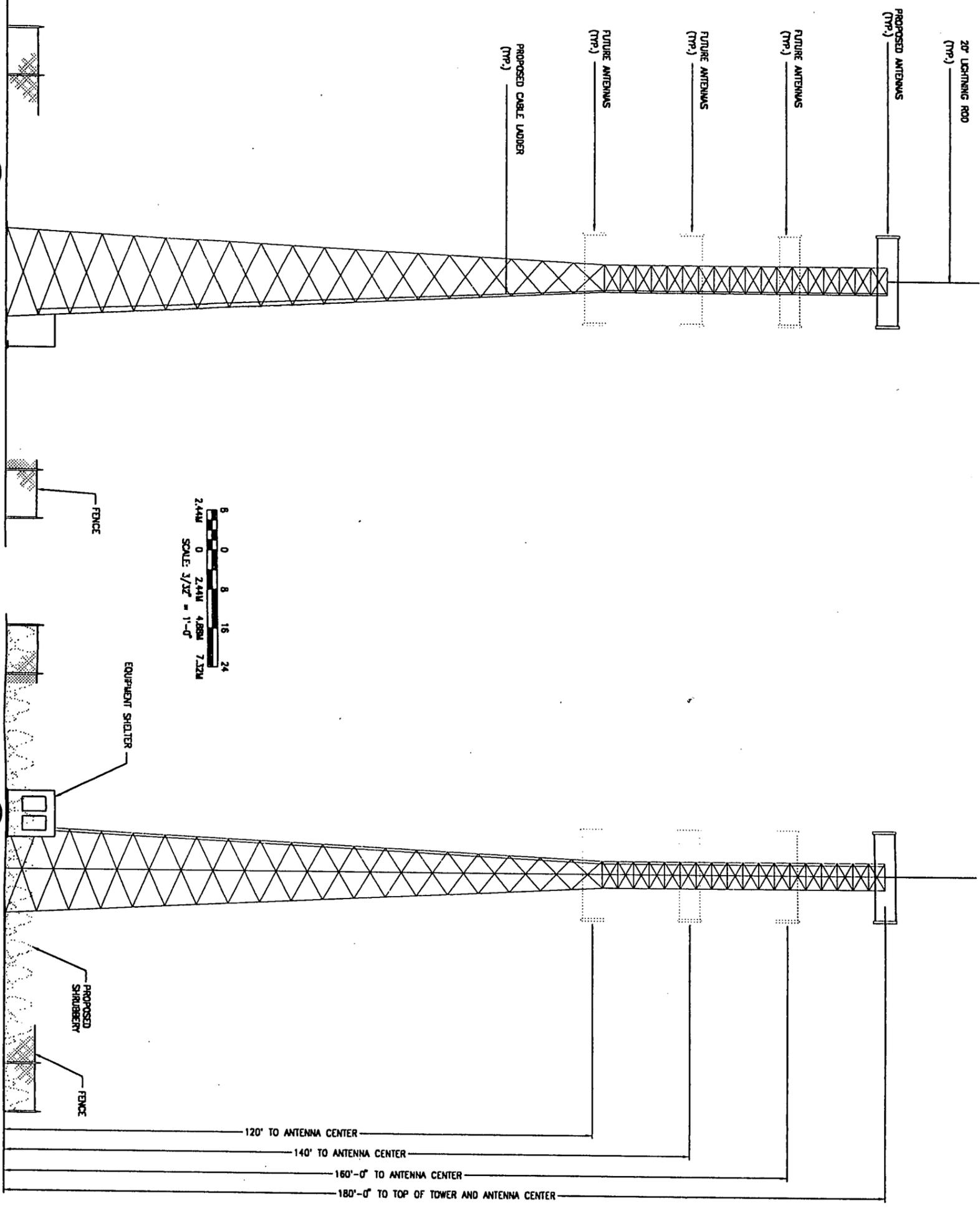
NO.	DATE	REVISION
Δ	06/15/98	ISSUED FOR ZONING
Δ		
Δ		
Δ		
Δ		
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ECHO 239KY-284
 SOUTH-PARKLAND
 4400 PARALEE DR.
 LOUISVILLE, KY 40272
 JEFFERSON COUNTY

SITE PLAN AND LANDSCAPING

C-3





1 NORTH ELEVATION
C-4 SCALE: 3/32" = 1'-0"

2 SOUTH ELEVATION
C-4 SCALE: 3/32" = 1'-0"



120'-0" TO ANTENNA CENTER
140'-0" TO ANTENNA CENTER
160'-0" TO ANTENNA CENTER
180'-0" TO TOP OF TOWER AND ANTENNA CENTER

CROWN
COMMUNICATION INC.
PEN CENTER WEST III - SUITE 229
PITTSBURGH
PENNSYLVANIA, 15276
OFFICE: (412) 788-0906
FAX: (412) 788-0908

ARMOUR
CAPE SPOND
6800 VINCENNES CENTER, SUITE 314
SPRINGFIELD, VA 22151-4117
(703) 429-5180
FAX (703) 429-0011

AC&P PROJECT NUMBER: 39825-24

DRAWN BY: A. TAYLOR

APPROVED BY: D. DALMAN

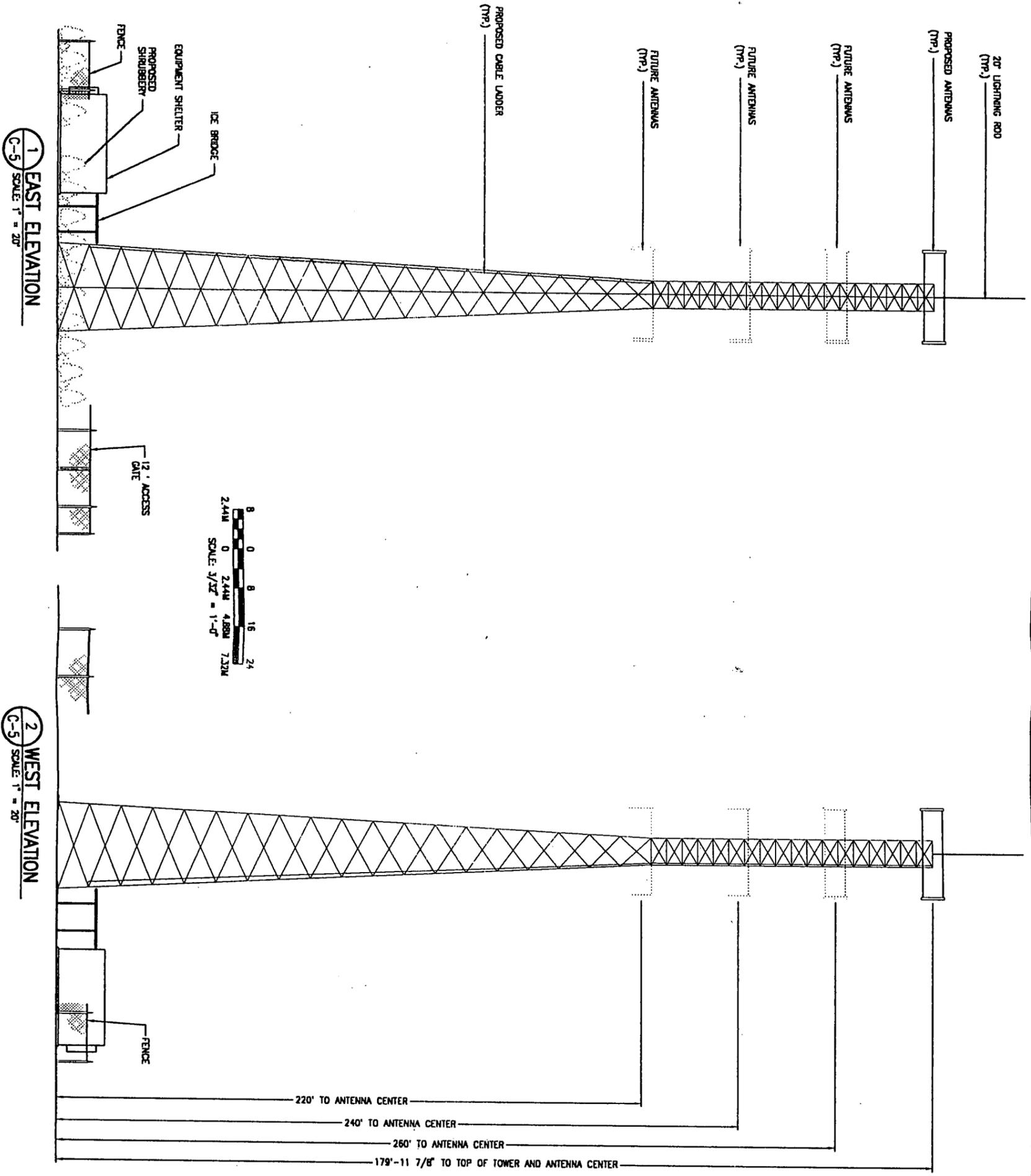
NO.	DATE	REVISION
1	06/15/98	ISSUED FOR ZONING

ECHO 238KY-284
SOUTH PARKLAND
4400 PARALEE DR.
LOUISVILLE, KY 40272
JEFFERSON COUNTY

[Signature]
STATE OF KENTUCKY
REGISTERED PROFESSIONAL ENGINEER
19943

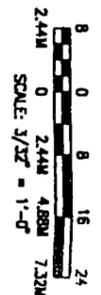
NORTH/SOUTH ELEVATIONS

C-4



1 EAST ELEVATION
C-5 SCALE: 1" = 20'

2 WEST ELEVATION
C-5 SCALE: 1" = 20'



4400 PARALEE DR.
LOUISVILLE, KY 40272
JEFFERSON COUNTY

ECHO 238KY-284
SOUTH PARKLAND

NO.	DATE	REVISION
1	06/15/98	ISSUED FOR ZONING

APPROVED BY: D. DALLMAN

DRAWN BY: A. TANTOR

ACRP PROJECT NUMBER: 39825-24

ARMOUR
CAPE SPOND

5900 VERSAR CENTER, SUITE 234
SPRINGFIELD, VA 22151-4177
(703) 542-5150
FAX (703) 542-2901

CROWN
COMMUNICATION INC.

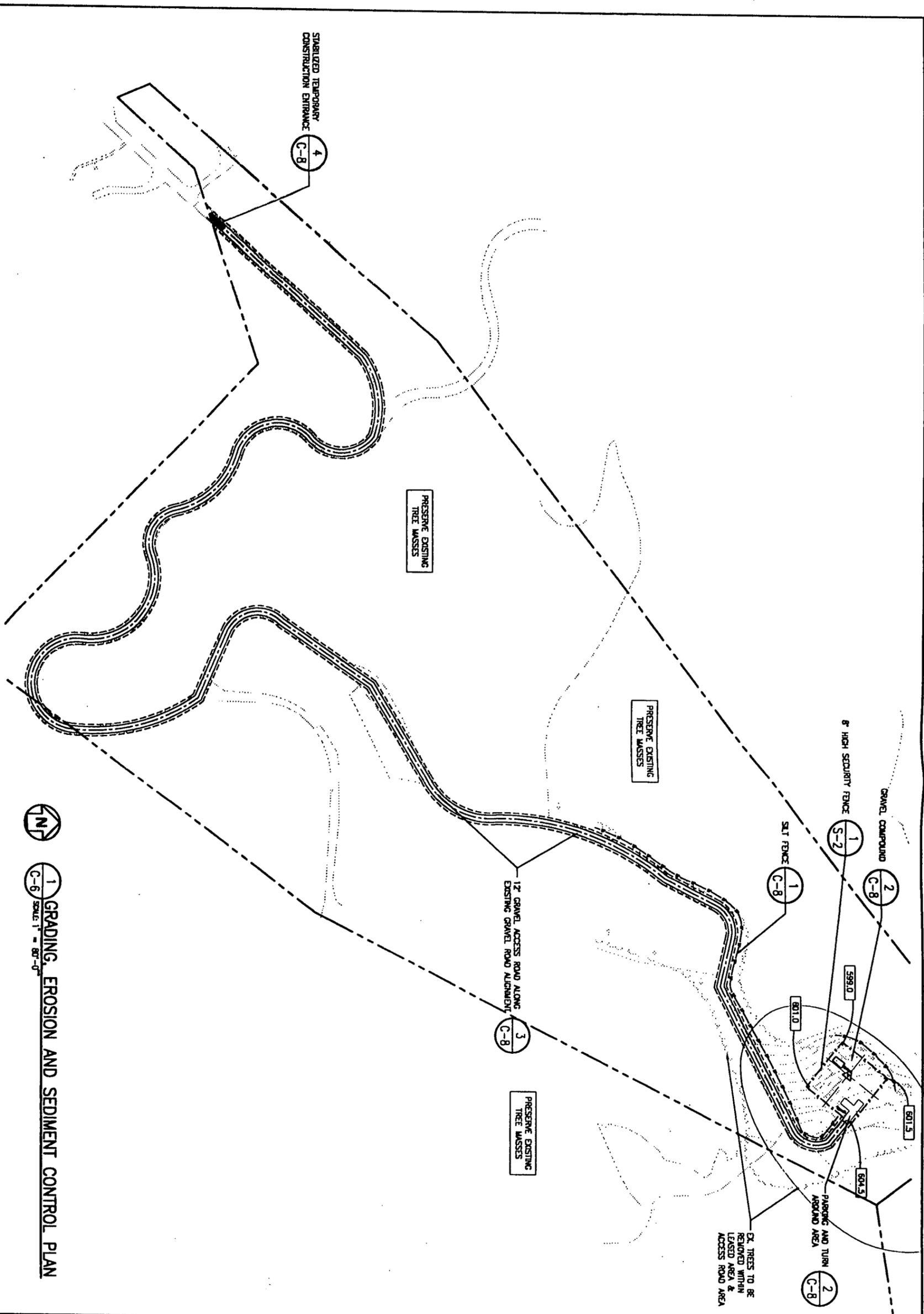
PENN CENTER WEST III - SUITE 229
PITTSBURGH
PENNSYLVANIA, 15276

OFFICE: (412) 788-0905
FAX: (412) 788-0908

EAST/WEST
ELEVATIONS

C-5

Need to see if south portion



CROWN
COMMUNICATIONS INC.
PENN CENTER WEST III - SUITE 229
PITTSBURGH
PENNSYLVANIA, 15276
OFFICE: (412) 788-0905
FAX: (412) 788-0908

ARMOUR
CAPE SPOND

5900 VANDER GREEK SUITE 214
SPRINGFIELD VA 22151-4177
TEL: (703) 422-2100
FAX: (703) 541-0811

ACAP PROJECT NUMBER: 39825-24

DRAWN BY: A. TAYLOR

APPROVED BY: D. DALLMAN

NO.	DATE	REVISION
Δ	06/15/98	ISSUED FOR ZONING
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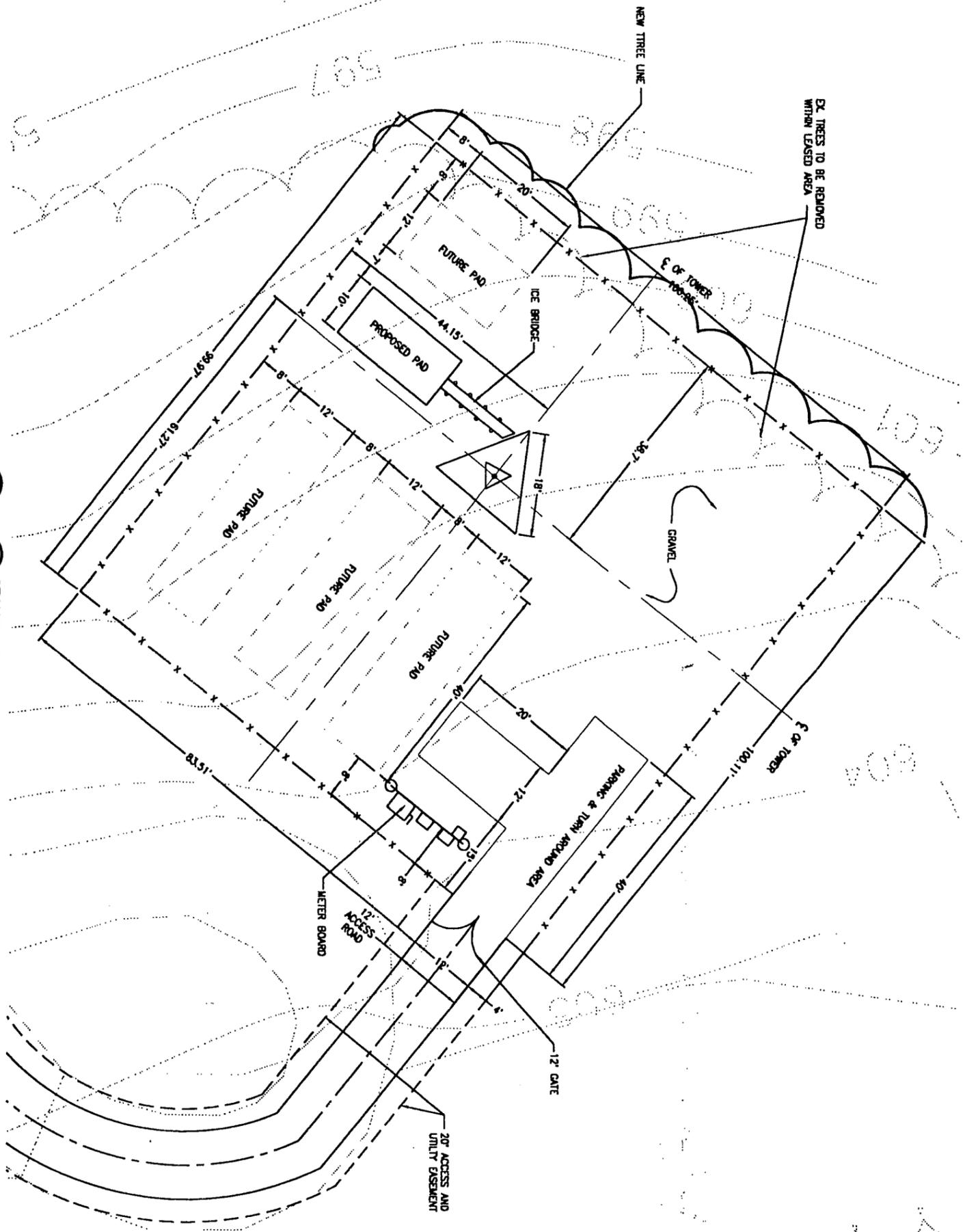
ECHO 238KY-284
SOUTH PARKLAND

4400 PARALEE DR.
LOUISVILLE, KY 40272
JEFFERSON COUNTY



GRADING AND SEDIMENT CONTROL

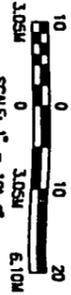
C-6





1 STAKEOUT PLAN

 C-7 SCALE 1" = 10'-0"



 SCALE 1" = 10'-0"



CROWN CORPORATION INC.

 PENN CENTER WEST III - SUITE 229

 PITTSBURGH

 PENNSYLVANIA, 15278

 OFFICE: (412) 788-0906

 FAX: (412) 788-0908

ARMOUR

CAPE SPOND

 5800 ARMOUR CENTER SUITE 224

 SPRINGFIELD, VA 22151-4173

 (703) 542-5180

 FAX (703) 542-2041

ACDP PROJECT NUMBER: 39825-24

 DRAWN BY: A. TAYLOR

 APPROVED BY: D. DALRYMPH

NO.	DATE	REVISION
1	06/15/98	ISSUED FOR ZONING

ECHO 239KY-284

SOUTH PARKLAND

 4400 PARALEE DR.

 LOUISVILLE, KY 40272

 JEFFERSON COUNTY

BRADLEY W. WILSON

 REGISTERED PROFESSIONAL ENGINEER

 19943

STAKEOUT PLAN

C-7

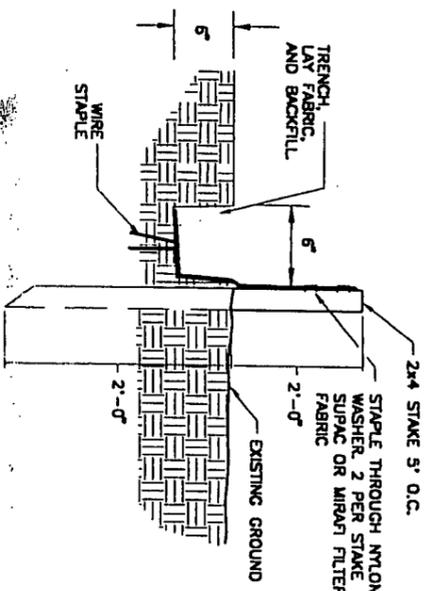


SITE WORK GENERAL NOTES:

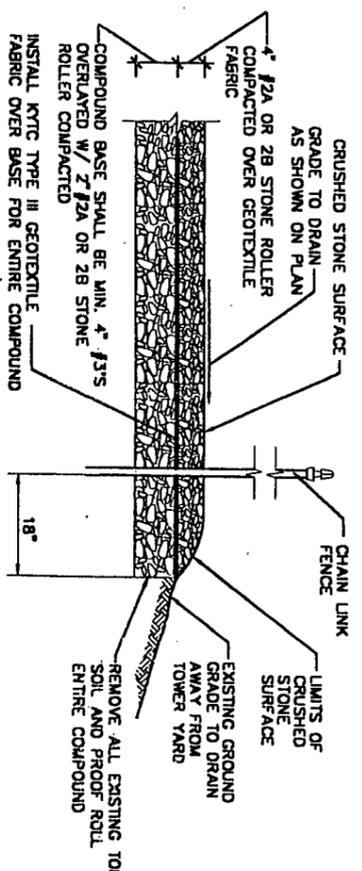
1. ALL SITE WORK SHALL BE AS INDICATED ON THE DRAWINGS AND STIPULATED IN THE SPECIFICATION PROJECT SUMMARY.
2. ALL EXISTING ACTIVE SEWER, WATER, GAS, ELECTRIC AND OTHER UTILITIES WHERE ENCOUNTERED IN THE WORK SHALL BE PROTECTED AT ALL TIMES, AND WHERE REQUIRED FOR THE PROPER EXECUTION OF THE WORK, SHALL BE RELOCATED AS DIRECTED BY OWNER.
3. ALL EXISTING INACTIVE SEWER, WATER, GAS, ELECTRIC, AND OTHER UTILITIES, WHICH INTERFERE WITH THE EXECUTION OF THE WORK, SHALL BE REMOVED AND/OR CAPPED, PLUGGED OR OTHERWISE DISCONTINUED AT POINTS WHICH WILL NOT INTERFERE WITH THE EXECUTION OF THE WORK, SUBJECT TO THE APPROVAL OF THE CONSTRUCTION MANAGER AND UTILITY COMPANY.
4. CONTRACTOR SHALL MINIMIZE DISTURBANCE TO EXISTING SITE DURING CONSTRUCTION.
5. ALL WORK SHALL CONFORM TO KENTUCKY TRANSPORTATION CABINET (KYTC), DEPARTMENT OF HIGHWAY STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION, 1998 EDITION.
6. PRESERVE EXISTING TREE MASSES WHERE APPLICABLE.

EXCAVATION & GRADING NOTES:

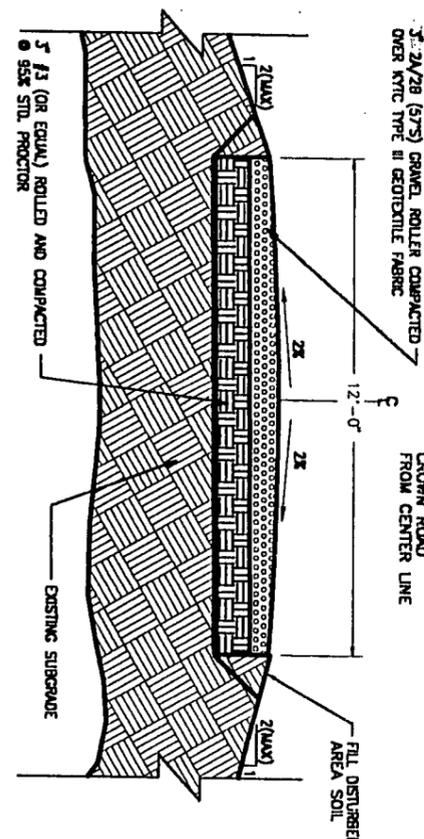
1. CONCRETE FOUNDATIONS SHALL NOT BE PLACED ON ORGANIC MATERIAL. IF SOUND SOIL IS NOT REACHED AT THE DESIGNATED EXCAVATION DEPTH, THE UNSATISFACTORY SOIL SHALL BE EXCAVATED TO ITS FULL DEPTH AND EITHER BE REPLACED WITH MECHANICALLY COMPACTED GRANULAR MATERIAL OR THE EXCAVATION BE FILLED WITH CONCRETE OF THE SAME QUALITY SPECIFIED FOR THE FOUNDATION.
2. ANY EXCAVATION OVER THE REQUIRED DEPTH SHALL BE FILLED WITH OTHER MECHANICALLY COMPACTED GRANULAR MATERIAL OR CONCRETE OF THE SAME QUALITY SPECIFIED FOR THE FOUNDATION. CRUSHED STONE MAY BE USED TO STABILIZE THE BOTTOM OF THE EXCAVATION, IF USED, SHALL NOT BE USED AS COMPILING CONCRETE THICKNESS.
3. AFTER COMPLETION OF THE FOUNDATION AND OTHER CONSTRUCTION BELOW GRADE, AND BEFORE BACKFILLING, ALL EXCAVATIONS SHALL BE CLEAN OF UNSUITABLE MATERIAL SUCH AS VEGETATION, TRASH, DEBRIS, AND SO FORTH.
4. BACKFILLING SHALL:
 - BE APPROVED MATERIALS CONSISTING OF EARTH, LOAM, SANDY CLAY, SAND AND GRAVEL, OR SOFT SHALE;
 - BE FREE FROM CLODS OR STONES OVER 2-1/2" MAXIMUM DIMENSIONS -BE PLACED IN 6" LAYERS AND COMPACTED TO 95% STANDARD PROCTOR EXCEPT IN GRASSED/LANDSCAPED AREAS, WHERE 90% STANDARD PROCTOR IS REQUIRED.
5. PROTECT EXISTING GRAVEL SURFACING AND SUBGRADE IN AREAS WHERE EQUIPMENT LOADS WILL OPERATE. USE PLANKING OR OTHER SUITABLE MATERIALS DESIGNED TO SPREAD EQUIPMENT LOADS. REPAIR DAMAGE TO EXISTING GRAVEL SURFACING OR SUBGRADE WHERE SUCH DAMAGE IS DUE TO THE CONTRACTOR'S OPERATIONS. DAMAGED GRAVEL SURFACING SHALL BE RESTORED TO MATCH THE ADJACENT UNDAUNAGED GRAVEL SURFACING AND SHALL BE OF THE SAME THICKNESS.
6. REPLACE EXISTING GRAVEL SURFACING ON AREAS FROM WHICH GRAVEL SURFACING IS REMOVED DURING CONSTRUCTION OPERATIONS. GRAVEL SURFACING SHALL BE REPLACED TO MATCH EXISTING ADJACENT GRAVEL SURFACING AND SHALL BE OF THE SAME THICKNESS. SURFACES OF GRAVEL SURFACING SHALL BE FREE FROM CORRUPTIONS AND WAVES. EXISTING GRAVEL SURFACING MAY BE EXCAVATED SEPARATELY AND REUSED IF INJURIOUS AMOUNTS OF EARTH, ORGANIC MATTER, OR OTHER DELETERIOUS MATERIALS ARE REMOVED. BEFORE GRAVEL SURFACING IS REPLACED, GRAVEL RESURFACING MATERIAL AS REQUIRED, REQUIRED SUBGRADE ELEVATIONS, AND LOOSE OR DISTURBED MATERIALS SHALL BE THOROUGHLY COMPACTED. DEPRESSIONS IN THE SUBGRADE SHALL BE FILLED AND COMPACTED WITH APPROVED SELECTED MATERIAL. GRAVEL SURFACING MATERIAL MAY BE USED FOR FILLING DEPRESSIONS IN THE SUBGRADE, SUBJECT TO OWNER APPROVAL.
7. DAMAGE TO EXISTING STRUCTURES AND UTILITIES RESULTING FROM CONTRACTOR'S NEGLIGENCE SHALL BE REPAIRED/REPLACED TO OWNER'S SATISFACTION AT CONTRACTOR'S EXPENSE.
8. CONTRACTOR SHALL COORDINATE THE CONSTRUCTION SCHEDULE WITH PROPERTY OWNER SO AS TO AVOID INTERRUPTIONS TO PROPERTY OWNER'S OPERATIONS.
9. ALL CUT AND FILL SLOPES SHALL BE 2 : 1 MAXIMUM, UNLESS OTHERWISE NOTED.
10. ENSURE POSITIVE DRAINAGE FROM SITE AT ALL TIMES. AVOID TRAPPING WATER.
11. ALL WORK SHALL CONFORM TO KENTUCKY TRANSPORTATION CABINET (KYTC), DEPARTMENT OF HIGHWAY STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION, 1998 EDITION.



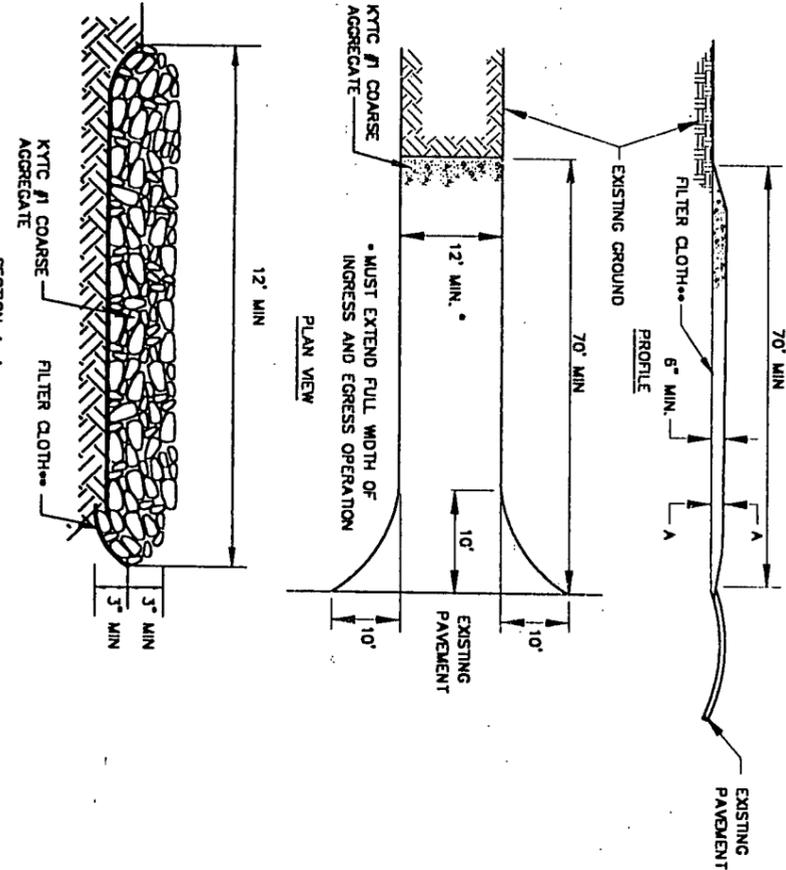
1 SILT FENCE DETAIL
C-B NOT TO SCALE



2 SECTION THROUGH TOWER YARD AND PARKING PAD
C-B NOT TO SCALE



3 SECTION THROUGH GRAVEL ACCESS ROAD
C-B NOT TO SCALE



4 TEMPORARY CONSTRUCTION ENTRANCE
C-B NOT TO SCALE

SECTION A-A
** EXAMPLES OF FILTER CLOTH CAN BE USED ARE
TREVIRA SPUNBOND 1135, MIRAFI 800X OR EQUIVALENT

CROWN
COMMUNICATION INC.
PITTSBURGH
PITTSBURGH, PA 15276
OFFICE: (412) 788-0906
FAX: (412) 788-0908

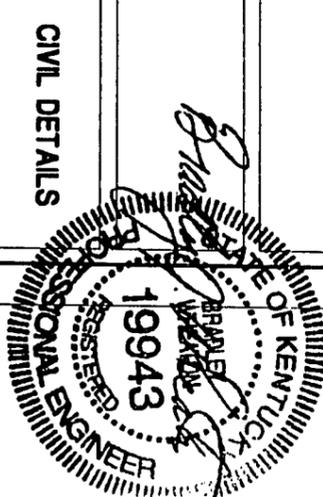
ARMOUR
CAPE SPOND

3600 VESPA ROAD, SUITE 112
PITTSBURGH, PA 15215-4172
(724) 442-5168
FAX (724) 442-5211

AC&P PROJECT NUMBER: 3825-24
DRAWN BY: A. TAYLOR
APPROVED BY: D. DALLMAN

NO.	DATE	REVISION
1	06/15/98	ISSUED FOR ZONING

ECHO 239KY-284
SOUTH PARKLAND
4400 PARALEE DR.
LOUISVILLE, KY 40272
JEFFERSON COUNTY



CIVIL DETAILS

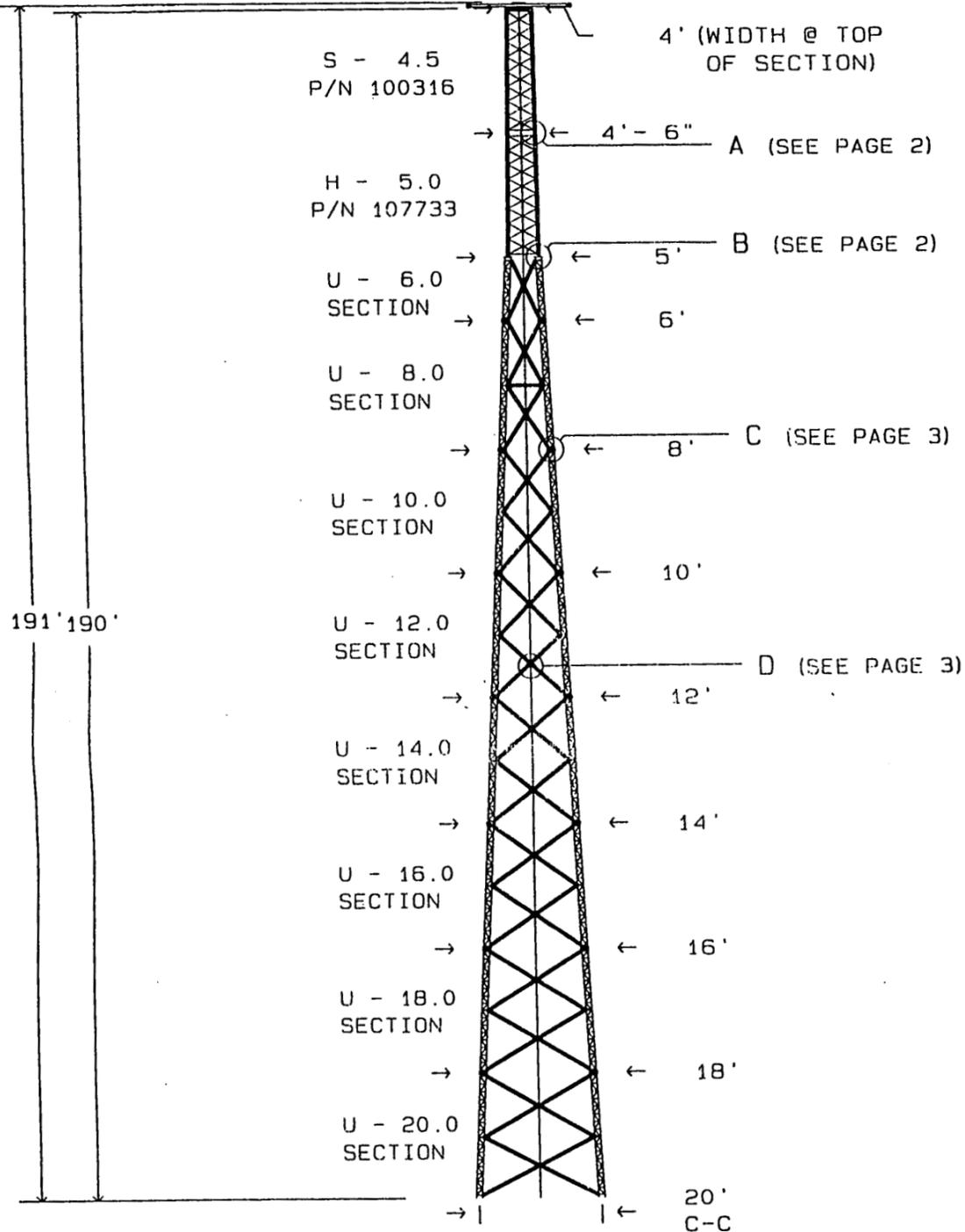
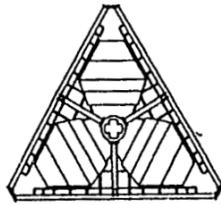
C-8

TOP VIEW
(ENLARGED)

ROTATABLE TOP
(REF ASSEMBLY
DWG # 130555)

SIDE VIEW
(ENLARGED)

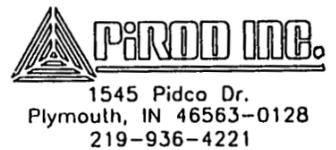
SHOP WELD TOP PLATE P/N
121018 AT TOP OF TOP SECTION.



REVISED 1998

JUN 2 1998

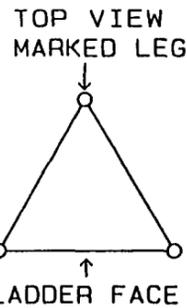
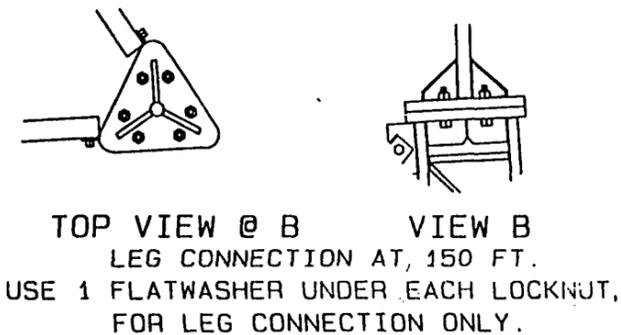
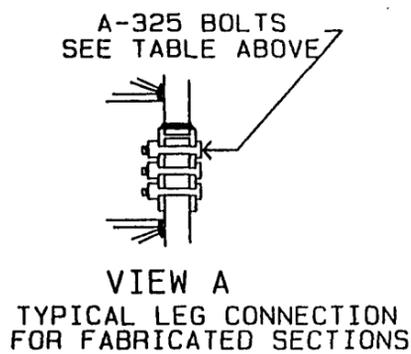
				CROWN COMMUNICATIONS ECHO 239-SOUTH PARKLAND, KY U - 20.0 X 190' SELF-SUPPORTING TOWER	
APPROVED/ENG.		MDB	06/12/1998		
APPROVED/FOUND		N/A			
DRAWN BY		CRF			
From: 75765.DFT - 06/12/98 15:54 > 2039561A.DWG - 06/12/98 15:54		ENG. FILE NO. A-9806103A		DRAWING NO. 203956-B	
Printed: 06/12/98 16:06		ARCHIVE Q-75765		PAGE 1 OF 8	



A	ADDED FOUNDATIONS	MDB	06/12/1998
REV	DESCRIPTION OF REVISIONS	INI	DATE

FABRICATED SECTION DATA 150' - 190' ELEVATION								
SECT LEN	SEC #	SECTION PART#	LEG SIZE	BRACE SIZE	SECT WT.*	BOLTS AT BOTTOM		
						DIAM	LENGTH	#
20'	S- 4.5	100316+	1- 1/2 "	3/4 "	818#	5/8"	4-1/2"	15
20'	H- 5.0	107733	2 "	7/8 "	1273#	1 "	3-1/2"	18

*THE WEIGHTS LISTED ARE THEORETICAL. THE ACTUAL WEIGHTS WILL VARY.
 ALL WEIGHTS SHOULD BE CONFIRMED IN THE FIELD PRIOR TO ERECTION.
 +WELD TOP PLATE P/N 121018 AT TOP OF TOP SECTION.



THE MARKED LEG OF EACH SECTION IS STAMPED WITH THE 6 DIGITS OF THE TOWER SERIAL #. ASSEMBLE THE TOWER WITH MARKED LEGS TOGETHER. THE MARKED LEG MAY ALSO CONTAIN JOINT NUMBERS STARTING WITH 1 AT THE TOP OF THE BASE SECTION. IF SO, ASSEMBLE WITH JOINTS IN THE PROPER SEQUENCE.



				CROWN COMMUNICATIONS ECHO 239-SOUTH PARKLAND, KY U - 20.0 X 190' SELF-SUPPORTING TOWER		 1545 Pidco Dr. Plymouth, IN 46563-0128 219-936-4221
APPROVED/ENG.		MDB		06/12/1998		
APPROVED/FOUND		N/A				
A	ADDED FOUNDATIONS	MDB	06/12/1998	DRAWN BY		CRF
REV	DESCRIPTION OF REVISIONS	INI	DATE	ENG. FILE NO.		A-9806103A
From: 75765.DFT - 06/12/98 15:54 > 2039562A.DWG - 06/12/98 15:54				ARCHIVE		Q-75765
Printed: 06/12/98 16:06				DRAWING NO.		203956-B
				PAGE		2 OF 8

BREAKDOWN SECTION DATA (12" LEG) 0' - 150' ELEVATION

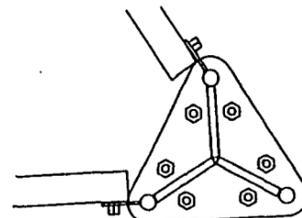
SEC #	SECTION LENGTH	LEG SIZE	LEG PART#	TOP DIAG PART#	BOT DIAG PART#	DIAGONAL ANGLE		QTY	SECTION HOR WEIGHT	LEG CONNECT+		DIAG CONNECT**	
						FACE	THICK			DIAM	LENGTH	DIAM	LENGTH
U- 6.0	10'	1- 1/4"	105244		105556	2-1/2"	3/16"		870#	1 "	3-1/2"	1 "	2-1/4"
U- 8.0	20'	1- 1/4"	105216	105558	105561	2-1/2"	3/16"	1	1812#	1 "	3-1/2"	1 "	2-1/4"
U-10.0	20'	1- 1/2"	105217	105564	105567	2-1/2"	3/16"		2161#	1 "	3-1/2"	1 "	2-1/4"
U-12.0	20'	1- 1/2"	105217	105571	105574	3"	3/16"		2309#	1 "	3-1/2"	1 "	2-1/4"
U-14.0	20'	1- 3/4"	105218	105576	105579	3"	3/16"		2763#	1 "	3-1/2"	1 "	2-1/4"
U-16.0	20'	1- 3/4"	105218	105583	105588	3"	5/16"		3295#	1 "	4-1/2"	1 "	2-1/4"
U-18.0	20'	2 "	105219	128185	128186	3"	5/16"		4034#	1-1/4"	4-1/2"	1-1/4"	2-3/4"
U-20.0	20'	2 "	105219	105598	105601	3-1/2"	5/16"		4415#			1-1/4"	2-3/4"

* THE WEIGHTS LISTED ARE THEORETICAL. THE ACTUAL WEIGHTS WILL VARY. ALL WEIGHTS SHOULD BE CONFIRMED IN THE FIELD PRIOR TO ERECTION.

** SEE ANGLE HORIZONTAL DATA TABLE FOR BOLT SIZE AT LEVELS WITH TYPE 1 HORIZONTALS.

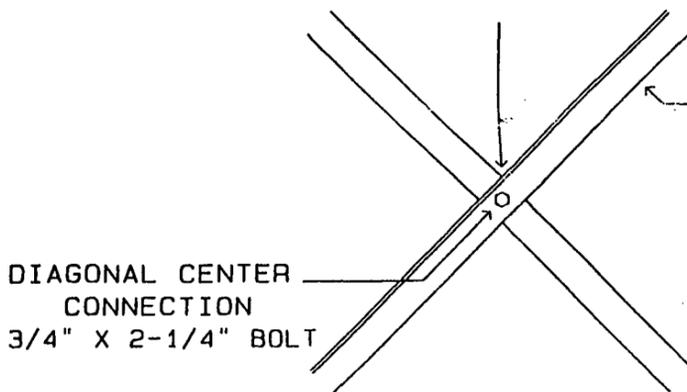
+ USE 1 FLATWASHER UNDER EACH LOCKNUT, FOR LEG CONNECTION ONLY. ALSO USE 1 FLATWASHER UNDER EACH BOLT HEAD WHERE BUSHINGS ARE REQUIRED.

ANGLE HORIZONTAL DATA (12" LEG)					
HORIZ HT	IN SEC#	HORIZ PART#	HORIZ TYPE	BOLTS	
				DIAM	LENGTH
130	U- 8.0	105941	1	1 "	3-1/2"

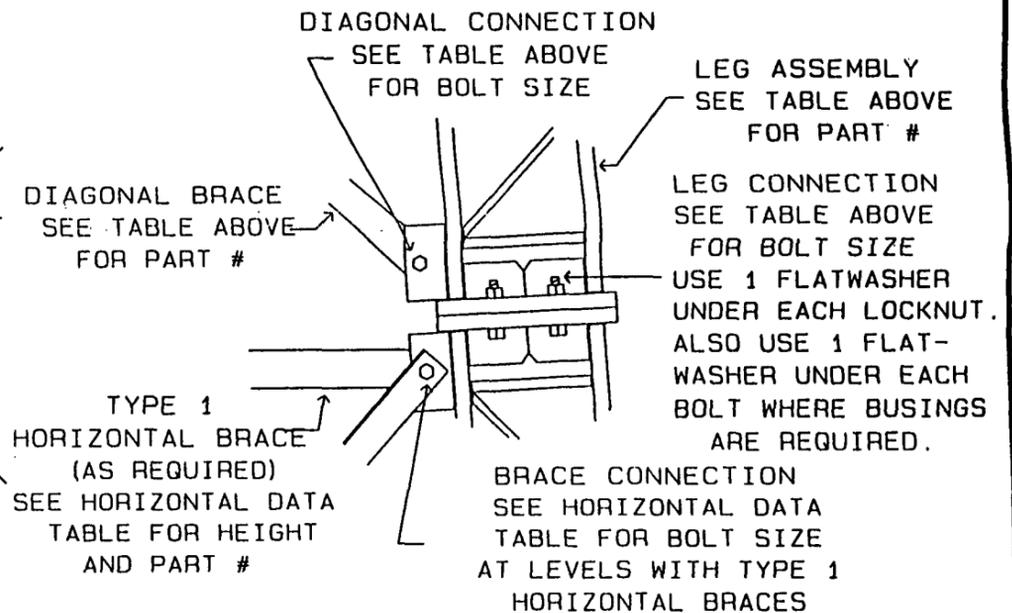


TOP VIEW @ C

USE SPACER #104291 BETWEEN DIAGONALS



VIEW D (SEE PAGE 1 FOR VIEW DEFINITION)
TYPICAL BRACE CONNECTION
#12 SECTIONS



VIEW C
TYPICAL LEG CONNECTION
#12 SECTIONS



JUN 12 1998

CROWN COMMUNICATIONS
ECHO 239-SOUTH PARKLAND, KY
U - 20.0 X 190' SELF-SUPPORTING TOWER



1545 Pidco Dr.
Plymouth, IN 46563-0128
219-936-4221

REV	DESCRIPTION OF REVISIONS	INI	DATE
A	ADDED FOUNDATIONS	MDB	06/12/1998

APPROVED/ENG.	MDB	06/12/1998
APPROVED/FOUND.	N/A	
DRAWN BY	CRF	
ENG. FILE NO.	A-9806103A	
ARCHIVE	Q-75765	

DRAWING NO. 203956-B
PAGE 3 OF 8

From: 75765.DFT - 06/12/98 15:54 > 2039563A.DWG - 06/12/98 15:54
Printed: 06/12/98 16:06

GENERAL NOTES

1. TOWER DESIGN CONFORMS TO STANDARD EIA/TIA-222-F FOR 70 MPH BASIC WIND SPEED WITH .50" RADIAL ICE WITH LOAD DUE TO WIND REDUCED BY 25% WHEN CONSIDERED SIMULTANEOUSLY WITH ICE.
TOWER DESIGN CONFORMS TO STANDARD EIA/TIA-222-F FOR 70 MPH BASIC WIND SPEED WITH NO ICE.
2. MATERIAL: (A) SOLID RODS CONFORM TO ASTM A-572 GRADE 50 REQUIREMENTS.
(B) ANGLES CONFORM TO ASTM A-36 REQUIREMENTS.
(C) PIPE CONFORMS TO ASTM A-53 TYPE E, GRADE B REQUIREMENTS. (MIN YIELD STRENGTH=42 KSI)
(D) ALL STEEL PLATES CONFORM TO ASTM A-36 REQUIREMENTS.
3. BASE REACTIONS PER EIA/TIA-222-F FOR 70 MPH BASIC WIND SPEED WITH NO ICE.
TOTAL WEIGHT = 39.2 KIPS. MAXIMUM COMPRESSION = 279.1 KIPS PER LEG.
MOMENT = 4608.7 KIP-FT. MAXIMUM UPLIFT = 253.0 KIPS PER LEG.
MAXIMUM SHEAR = 45.2 KIPS TOTAL.
4. BASE REACTIONS PER EIA/TIA-222-F FOR 70 MPH BASIC WIND SPEED WITH .50" RADIAL ICE:
TOTAL WEIGHT = 64.4 KIPS. MAXIMUM COMPRESSION = 304.8 KIPS PER LEG.
MOMENT = 4907.0 KIP-FT. MAXIMUM UPLIFT = 261.9 KIPS PER LEG.
MAXIMUM SHEAR = 48.8 KIPS TOTAL.
5. FINISH: HOT DIPPED GALVANIZED AFTER FABRICATTION.
6. ANTENNAS: TOP - TWELVE ALP9212 AND NINE QBB09 ON LOW PROFILE PLATFORM WITH 1 5/8" LINES
170' - TWELVE ALP9212 ON THREE T-FRAME MOUNTS WITH 1 5/8" LINES
150' - TWELVE ALP9212 ON THREE T-FRAME MOUNTS WITH 1 5/8" LINES
130' - TWO 8' HIGH PERFORMANCE DISHES WITH EW53 WAVEGUIDE
100' - TWELVE ALP9212 ON THREE T-FRAME MOUNTS WITH 1 5/8" LINES
7. REMOVE FOUNDATION TEMPLATE PRIOR TO ERECTING TOWER. INSTALL BASE SECTION WITH MINIMUM OF 2" CLEARANCE ABOVE CONCRETE. GROUT NUTS BELOW BASE SECTION WITH NON-SHRINK GROUT AFTER LEVELING TOWER.
8. MIN. WELDS 5/16" UNLESS OTHERWISE SPECIFIED. ALL WELDING TO CONFORM TO AWS SPECIFICATIONS.
9. ALL BOLTS AND NUTS MUST BE IN PLACE BEFORE THE ADJOINING SECTION(S) ARE INSTALLED.
10. ALL A-325 BOLTS SHALL BE PRE-TENSIONED PER AISC SPECIFICATIONS. REFER TO DRAWING # 123107-A ("BOLT PRE-TENSIONING REQUIREMENTS".)
11. EIA GROUNDING FOR TOWER.



				CROWN COMMUNICATIONS ECHO 239-SOUTH PARKLAND, KY U - 20.0 X 190' SELF-SUPPORTING TOWER	
APPROVED/ENG.		MD8	06/12/1998	 1545 Pidco Dr. Plymouth, IN 46563-0128 219-936-4221	
APPROVED/FOUND		N/A			
DRAWN BY		CRF			
A	ADDED FOUNDATIONS	MD8	06/12/1998	ENG. FILE NO.	A-9806103A
REV	DESCRIPTION OF REVISIONS	INI	DATE	ARCHIVE	Q-75765
From: 75765.DFT - 06/12/98 15:54 > 2039564A.DWG - 06/12/98 15:54				DRAWING NO.	203956-B
Printed: 06/12/98 16:06				PAGE	4 OF 8

FOUNDATION NOTES

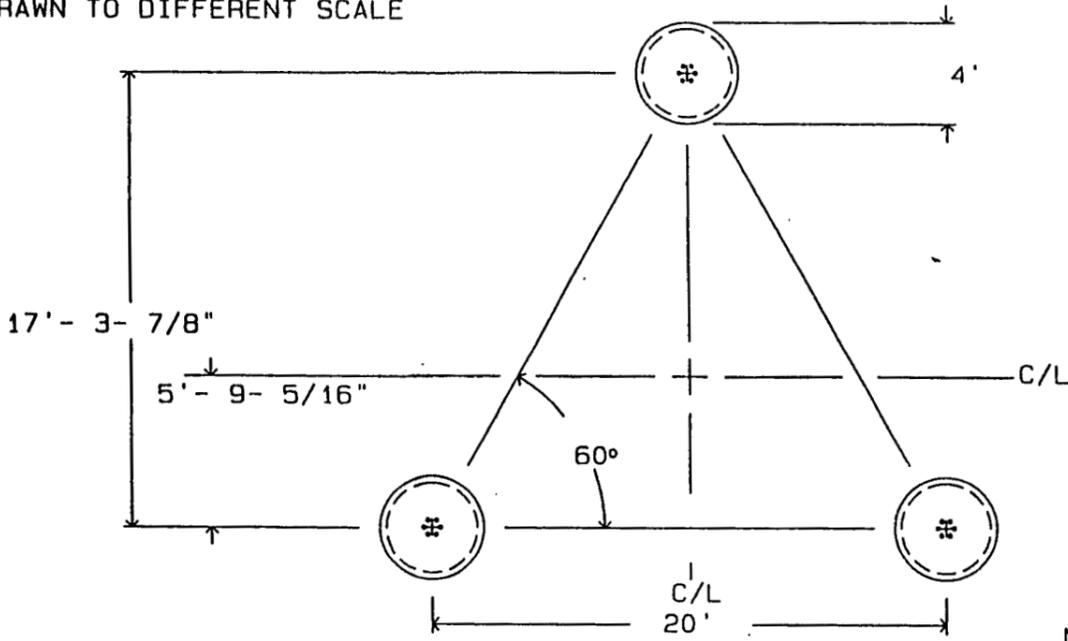
1. SOIL AS PER REPORT BY ATC DATED 4/30/98 (#13800.8G16) .
2. CONCRETE TO BE 3000 PSI @ 28 DAYS. REINFORCING BAR TO CONFORM TO ASTM A615 GRADE 60 SPECIFICATIONS. CONCRETE INSTALLATION TO CONFORM TO ACI-318 BUILDING REQUIREMENTS FOR REINFORCED CONCRETE. ALL CONCRETE TO BE PLACED AGAINST UNDISTURBED EARTH FREE OF WATER AND ALL FOREIGN OBJECTS AND MATERIALS. A MINIMUM OF THREE INCHES OF CONCRETE SHALL COVER ALL REINFORCEMENT. WELDING OF REBAR NOT PERMITTED.
3. A COLD JOINT IS PERMISSIBLE UPON CONSULTATION WITH PIROD. ALL COLD JOINTS SHALL BE COATED WITH BONDING AGENTS PRIOR TO SECOND POUR.
4. ALL REINFORCING STEEL TO BE FORMED INTO A CAGE PRIOR TO SETTING INTO POSITION IN THE EXCAVATED PIER.
5. PERMANENT STEEL CASING SHALL NOT BE USED WITHOUT CONSENT FROM FOUNDATION DESIGNERS.
6. CROWN TOP OF FOUNDATION FOR PROPER DRAINAGE.
7. THE DRILLED PIER MUST PENETRATE AT LEAST 23' INTO ROCK. ROCK IS EXPECTED AT 5'-0" .
8. A TEMPORARY CASING MAY BE REQUIRED WITHIN THE TOP 5'-0" TO CONTROL WATER INFILTRATION.



				CROWN COMMUNICATIONS ECHO 239-SOUTH PARKLAND, KY U - 20.0 X 190' SELF-SUPPORTING TOWER		
				APPROVED/ENG.	MDB	06/12/1998
REV	DESCRIPTION OF REVISIONS	INI	DATE	DRAWN BY	CRF	
A	ADDED FOUNDATIONS	MDB	06/12/1998	ENG. FILE NO. A-9806103A	DRAWING NO. 203956-B	
From: 75765.DFT - 06/12/98 15: 54 > 2039565A.DWG - 06/12/98 15: 54\$				ARCHIVE Q-75765	PAGE 5 OF 8	
Printed: 06/12/98 16: 06						

TOP VIEW

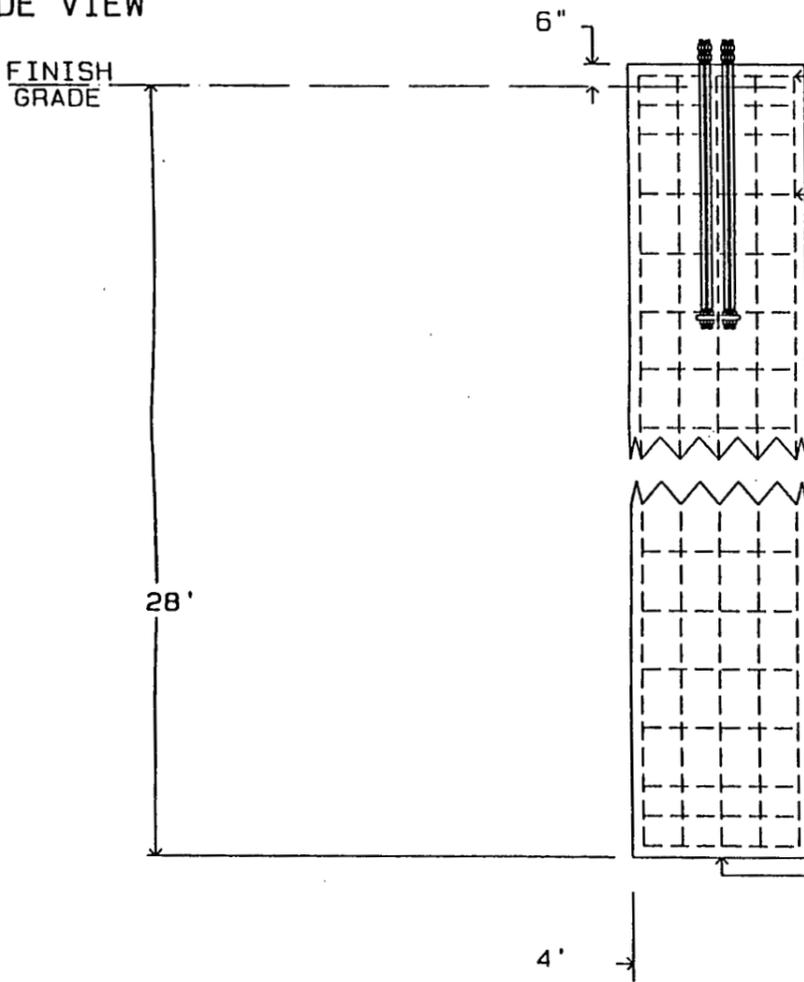
TOP AND SIDE VIEWS ARE DRAWN TO DIFFERENT SCALE



NOTE: ALL REBAR REQUIRES MINIMUM 3" CONCRETE COVERAGE

FOR ANCHOR STEEL IDENTIFICATION AND PLACEMENT INFORMATION, SEE PAGE 8.

SIDE VIEW



FOR DETAIL VIEW OF REBAR CAGE END AREA, SEE (E) ON PAGE 7.

4 HORIZONTAL TIES - SEE (B) ON PAGE 7. 21 PIECES REQUIRED PER PIER, EQUALLY SPACED.

9 VERTICAL REBAR - SEE (A) ON PAGE 7. 14 PIECES REQUIRED PER PIER, EQUALLY SPACED, TO BE PLACED INSIDE TIES.

TOWER FOUNDATION

THREE PIERS REQUIRED
13.3 CUBIC YARDS CONCRETE REQUIRED EACH PIER

FOR INSTALLATION SPECIFICATIONS AND ADDITIONAL INFORMATION, SEE PAGE 5 OF THIS DRAWING.



JUN 2 1998

CROWN COMMUNICATIONS
ECHO 239-SOUTH PARKLAND, KY
U - 20.0 X 190' BASE FOUNDATION

APPROVED/ENG. MDB 06/12/1998

APPROVED/FOUND. JRE 06/12/1998

DRAWN BY CRF

ENG. FILE NO. A-9806103A

ARCHIVE Q-75765



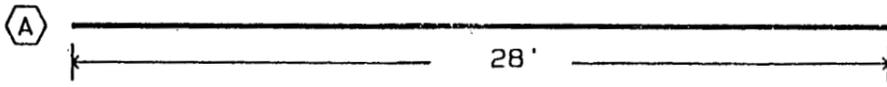
1545 Pidco Dr.
Plymouth, IN 46563-0128
219-936-4221

DRAWING NO. 203956-B

PAGE 6 OF 8

REV	DESCRIPTION OF REVISIONS	INI	DATE
A	ADDED FOUNDATIONS	MDB	06/12/1998

From: 75765.DFT - 06/12/98 15: 54 > 2039566A.DWG - 06/12/98 15: 54\$
Printed: 06/12/98 16: 06



9 REBAR - 42 PIECES REQ. TOTAL
 APPROX WT = 95.2# EACH, 3998# TOTAL

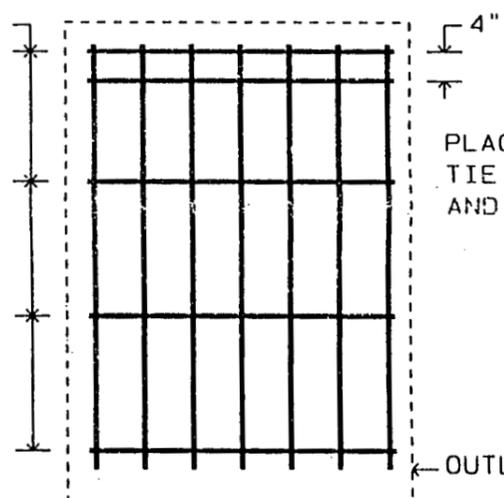


4 REBAR - 63 PIECES REQUIRED TOTAL
 APPROX UNBENT LENGTH = 12'-9-3/8"
 APPROX WT = 8.5# EACH, 536# TOTAL

LAP DIMENSION: 1'-9-3/8"
 PLACE CIRCULAR TIES SO THAT LAPS ON
 ADJACENT TIES ARE 180 DEGREES APART.

PLACE FIRST TIE AT END OF VERTICAL
 BARS (TOP AND BOTTOM) AND CONTINUE
 SPACING AS SHOWN THROUGHOUT PIER.

1'-6"



PLACE AN ADDITIONAL CIRCULAR
 TIE 4" FROM THE END TIE (TOP
 AND BOTTOM) AS SHOWN.

OUTLINE OF CONCRETE PIER

DETAIL OF REBAR CAGE END

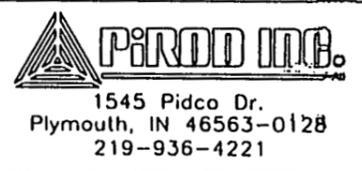
(E)

REBAR DETAIL

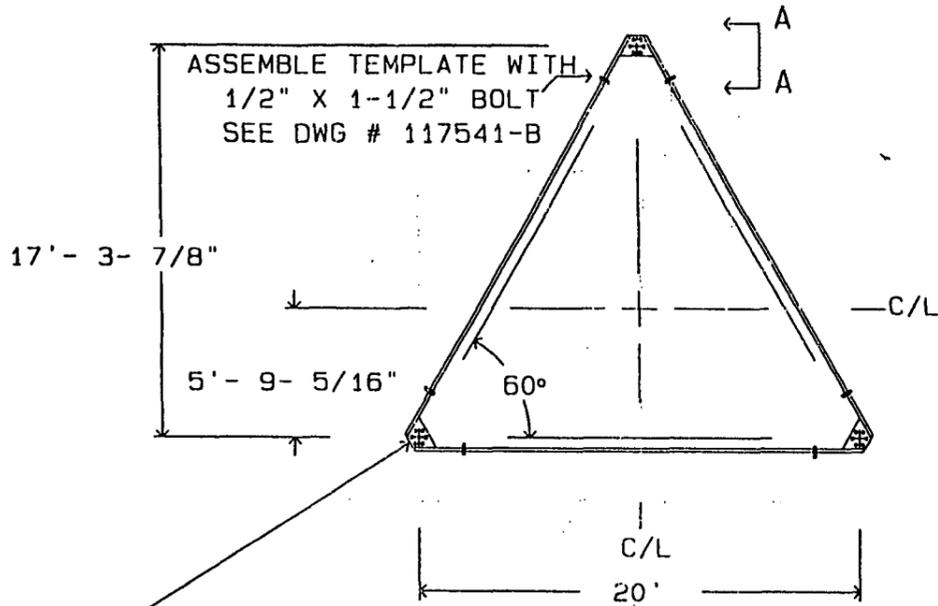
TOTAL APPROX REBAR WEIGHT = 4534#
 REINFORCING BAR TO CONFORM TO
 ASTM A615 GRADE 60 SPECIFICATIONS.



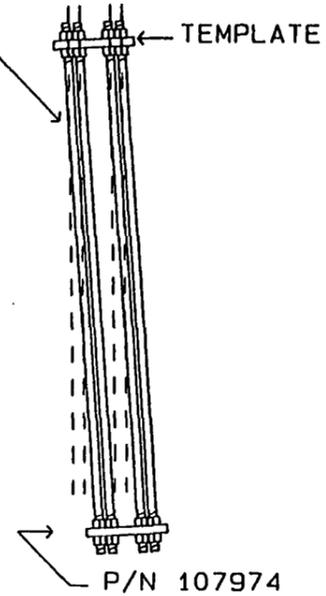
				CROWN COMMUNICATIONS ECHO 239-SOUTH PARKLAND, KY U - 20.0 X 190' REBAR DETAIL	
APPROVED/ENG.		MDB	06/12/1998		
APPROVED/FOUND.		JRE	06/12/1998		
DRAWN BY		CRF			
A	ADDED FOUNDATIONS	MDB	06/12/1998		
REV	DESCRIPTION OF REVISIONS	INI	DATE		
From: 75765.DFT - 06/12/98 15:54 > 2039567A.DWG - 06/12/98 15:54\$1					
Printed: 06/12/98 16:06				ENG. FILE NO. A-9806103A	DRAWING NO. 203956-B
				ARCHIVE Q-75765	PAGE 7 OF 8



EACH LEG MUST BE CENTERED IN PIER
WITHIN +/- 10% OF PIER DIAMETER

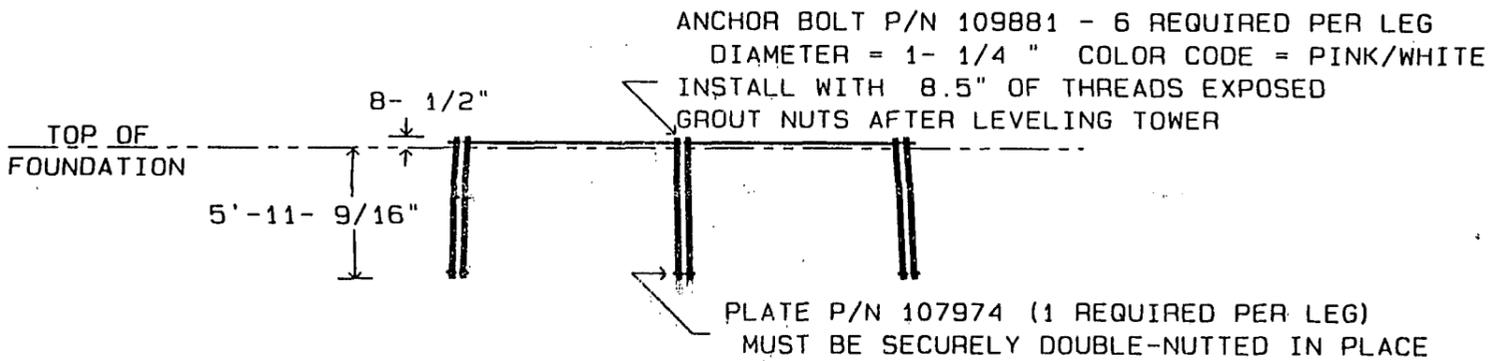


REFERENCE ANGLE = 3.30 DEGREES
TEMPLATE MUST BE UTILIZED TO
INSURE CORRECT PLACEMENT



VIEW A - A

TEMPLATE P/N 117520 IS REQUIRED FOR INSTALLATION. COLOR CODE OF TEMPLATE MUST MATCH COLOR CODE OF ANCHOR BOLTS. TEMPLATE MUST BE SECURELY DOUBLE-NUTTED TO ANCHOR BOLTS DURING CONCRETE INSTALLATION AND MUST BE LEVEL +/- 1/2".
INSTALL TEMPLATE WITH LABEL "UP" FACING UPWARD.
INSTALL TEMPLATE WITH SUFFICIENT SPACE BENEATH TO PERMIT FINISHING OF CONCRETE. AND TO FACILITATE TEMPLATE REMOVAL PRIOR TO TOWER ERECTION.



ATTENTION INSTALLER

1-1/4" DIAMETER ANCHOR STEEL

THE ANCHOR BOLTS PROVIDED FOR THIS PROJECT ARE 1-1/4" DIA. AND COLOR CODED PINK & WHITE. THE CORNER TEMPLATE IS PART NUMBER 117520 FOR A TAPERED TOWER AND SHOULD HAVE SIX 1-9/32" DIA. HOLES ON AN 8" DIA. BOLT CIRCLE. EMBEDMENT PLATES ARE PART NUMBER 107974 WHICH ARE TRIANGULAR AND HAVE SIX 1-5/16" DIA. HOLES ON AN 8" DIA. BOLT CIRCLE.
IF THERE ARE ANY DISCREPANCIES, PLEASE NOTIFY PIROD, INC., PRIOR TO INSTALLATION.

TOWER ANCHOR STEEL PLACEMENT



JUN 12 1998

				CROWN COMMUNICATIONS ECHO 239-SOUTH PARKLAND, KY U - 20.0 X 190' ANCHOR INSTALLATION	
APPROVED/ENG.		MDB	06/12/1998		
APPROVED/FOUND.		JRE	06/12/1998		
A	ADDED FOUNDATIONS	MDB	06/12/1998		
REV	DESCRIPTION OF REVISIONS	INI	DATE	DRAWN BY	CRF
From: 75765.DFT - 06/12/98 15:54 > 2039568A.DWG - 06/12/98 15:54				ENG. FILE NO.	A-9806103A
Printed: 06/12/98 16:06				ARCHIVE	Q-75765
				DRAWING NO.	203956-B
				PAGE	8 OF 8

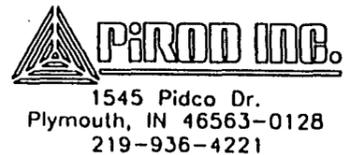


Exhibit E

COMPETING UTILITIES, CORPORATIONS OR PERSONS

- NextWave
- Powertel
- Mercury PCS II
- BellSouth Wireless Cable, Inc.
- BellSouth Mobility, Inc.
- GTE Mobilenet, Inc.
- AT&T Wireless
- SPRINT PCS
- APEX
- SBA
- American Tower

Memorandum

VIA: Han

To: File

From: Aaron Johnson

CC: John J. Lyons, Jr.

Date: 06/29/98

Re: Collocation Statement for 239ky

File,

Alt. Site C1: A GTE Wireless tower 150' in height within a 60' x 40' compound. This facility is located at 4400 Paralee Drive, Louisville, Kentucky 40272. This facility is located on the same property as the proposed facility.

The referenced site at 4400 Paralee Drive is not suitable for collocation for the following reasons:

- The existing tower or facility is not of sufficient height to meet the applicant's engineering requirements.
- The facility's compound is not sufficient in size to accommodate additional carriers.

Alt. Site C-2: A Jefferson County Lattice tower 400' in height within a 40' x 65' compound. This facility is located at Waverly Hills Park off Arnoldtown Road, Louisville, Kentucky.

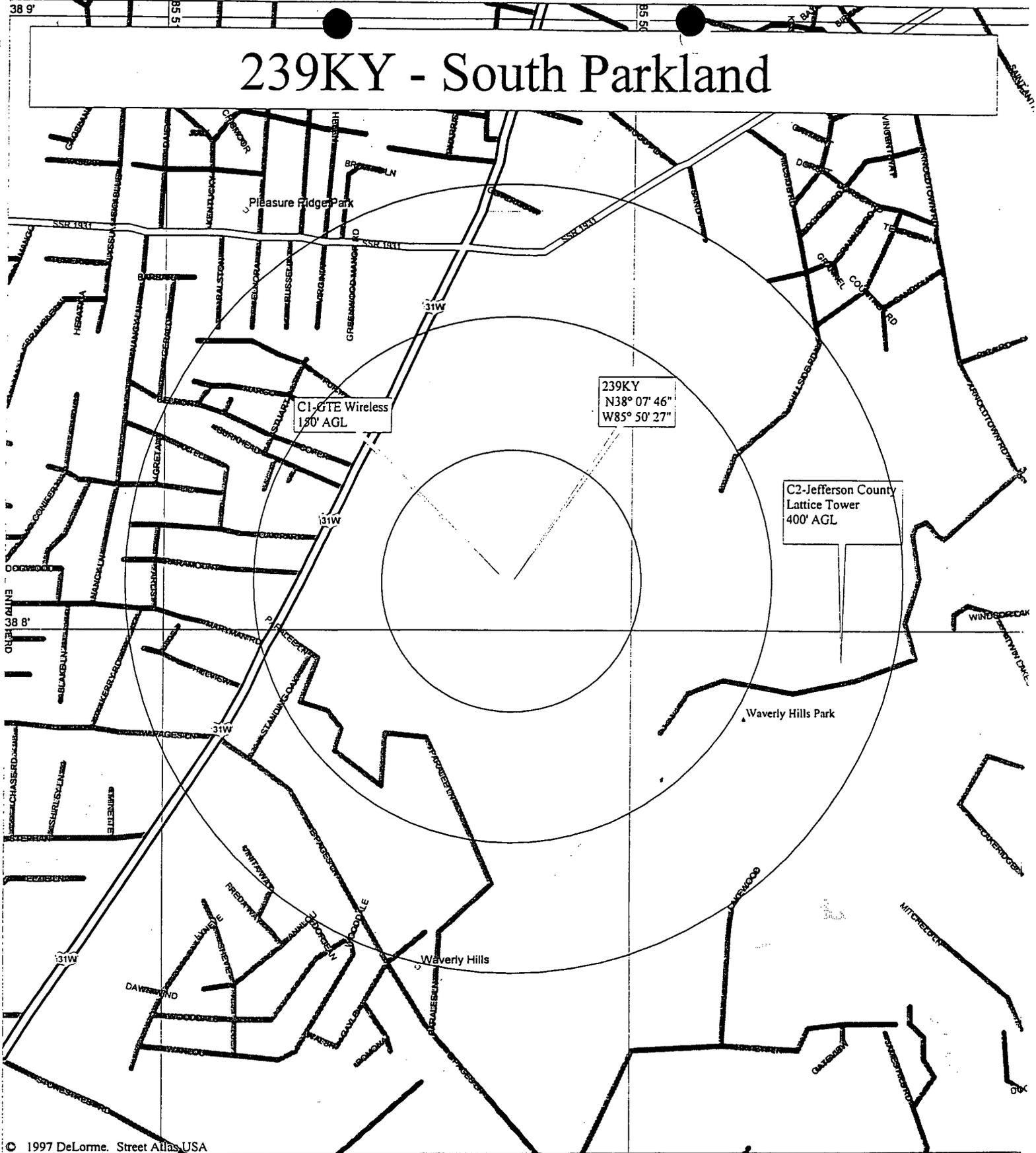
The referenced site at Waverly Hills Park off Arnoldtown Road is not suitable for collocation for the following reasons:

- This tower was primarily built for County public uses. We have made many efforts to collocate on this tower, but have met resistance by the County emergency services. Additionally, according to the original tower design specifications, it is already at structural capacity.

TEA GROUP INCORPORATED - Commonwealth Business Center, 11001 Bluegrass Parkway, Suite 330,
Louisville, Kentucky 40299

*Proprietary, Restricted & Confidential
Pursuant to Company Instructions*

239KY - South Parkland

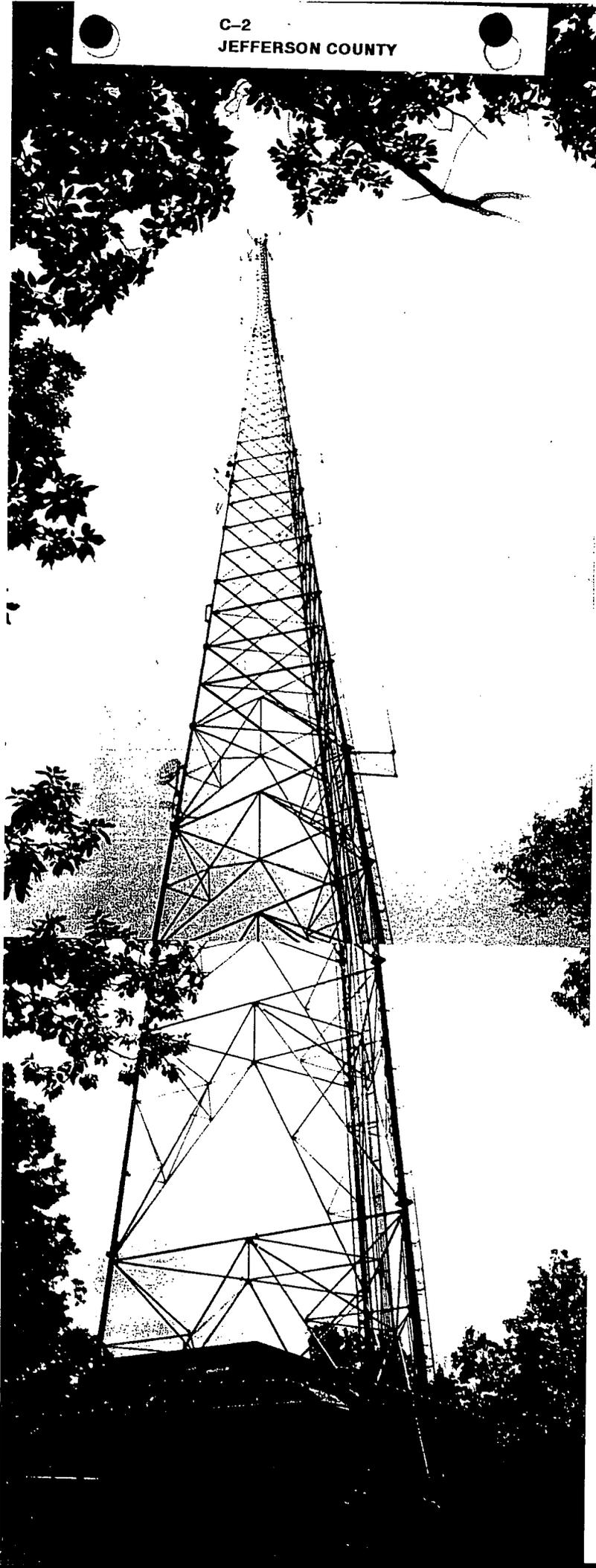


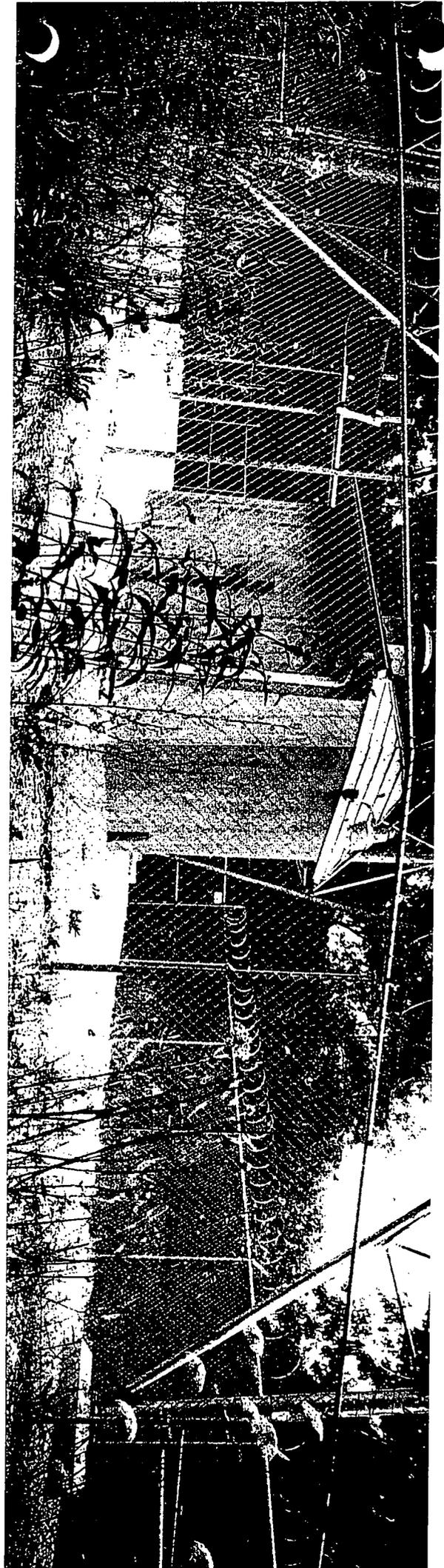
© 1997 DeLorme. Street Atlas USA

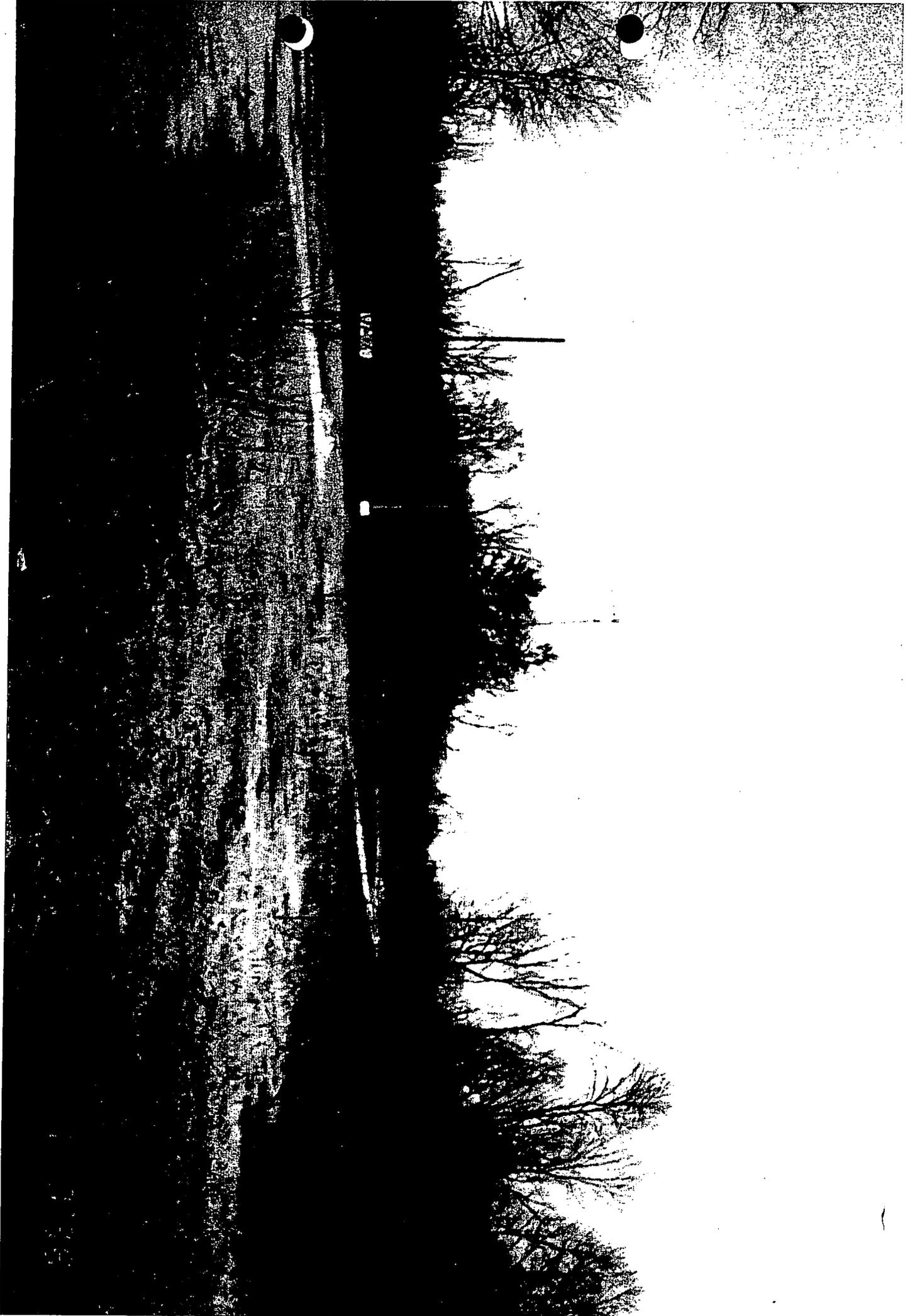
Mag 15.00
 Mon Jun 29 10:02 1998
 Scale 1:15,625 (at center)
 1000 Feet
 500 Meters

- Local Road
- US Highway
- Interstate/Limited Access
- Major Connector
- Park/Reservation
- Locale
- Water
- River/Canal

C-2
JEFFERSON COUNTY







C-1
GTE WIRELESS

C-1
GTE WIRELESS



Exhibit G - FAA Approval Notice

Federal Aviation Administration
Southern Region
Air Traffic Division, ASO-520
P. O. Box 20636
Atlanta, GA 30320

EXISTING STRUCTURE - HEIGHT INCREASE 15'
ACKNOWLEDGEMENT OF NOTICE OF PROPOSED CONSTRUCTION OR ALTERATION

CITY	STATE	LATITUDE/LONGITUDE		MSL	AGL	AMSL
PRAIRIE VILLEGE	KY	38-07-46.00	085-50-27.00	602	200	802

CROWN COMMUNICATION INC.
KRISTEN WEIDE
375 SOUTHPOINTE BLVD.
CANONSBURG, PA 15317

AERONAUTICAL STUDY
No: 98-ASO-7658-OE

Type Structure: ANTENNA TOWER SEE FREQUENCIES ON PAGE 3

The Federal Aviation Administration hereby acknowledges receipt of notice dated 12/16/98 concerning the proposed construction or alteration contained herein.

The proposed structure does not require notice to the FAA.

Obstruction marking and lighting are not necessary.

If the structure is subject to the licensing authority of the FCC, a copy of this acknowledgement will be sent to that Agency.

SIGNED *Mary Z. Mc Burney* Specialist, Airspace Branch
Mary Z. Mc Burney (404) 305-5583. 5583

ISSUED IN: College Park, Georgia 12/29/98

NOTE: SEE PAGE 2 FOR ELECTROMAGNETIC INTERFERENCE CONDITIONAL STATEMENT.

SOUTH BR. 26 LAND



Kentucky Airport Zoning Commission
125 Holmes Street
Frankfort, Kentucky 40622

TE1 - 502-564-4480
FAX - 564-7953

TD-56-50A
Rev. 3-97

July 2, 1998

TO: Crown Communication Inc.
375 Southpointe Boulevard
Cannonsburg, PA 15317

RE: Antenna Tower
AS-056-SDF-98-183

Your application has been returned to you for the reason that you are not required by the Commission regulations to have a permit to construct the structure described in the application.

However, if the height of the structure is increased to exceed 200 feet above ground level or 802 feet above mean sea level then a permit is required.

A handwritten signature in cursive script, appearing to read "R. J. Bland".

Ronald J. Bland
Administrator



GEOTECHNICAL ENGINEERING STUDY

*TEA GROUP INCORPORATED
SOUTH PARKLAND
COMMUNICATIONS TOWER
ECHO# 239KY
LOUISVILLE, KY*

ATC Project No. 13000.8G16

Prepared For:

*TEA Group Incorporated
10400 Linn Station Road, Suite 212
Louisville, Kentucky 40223*

Attention: Mr. John Binkley

VATC ASSOCIATES INC.

ENVIRONMENTAL, GEOTECHNICAL AND MATERIALS PROFESSIONALS

April 30, 1998

TEA Group Incorporated
10400 Linn Station Road, Suite 212
Louisville, Kentucky 40223

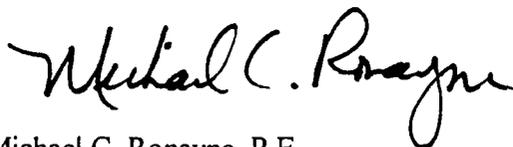
Attention: Mr. John Binkley

Re: Geotechnical Engineering Study
Proposed South Parkland Communications Tower ECHO# 239KY
Louisville, Kentucky
ATC Project No. 13800.8G16

Gentlemen:

Transmitted herewith is our geotechnical engineering report for the referenced project as authorized by Mr. Binkley in accordance with our January 15, 1998 proposal for environmental and geotechnical support services. This report contains our findings, an engineering interpretation of these findings with respect to the available project characteristics, and recommendations to aid design and construction of the tower foundations. We appreciate the opportunity to be of service to you on this project. If you have any questions regarding this report, please contact our office.

Cordially,
ATC Associates Inc.



Michael C. Ronayne, P.E.
Geotechnical Division Manager

Copies submitted: (4) Mr. John Binkley; TEA Group Incorporated



**GEOTECHNICAL ENGINEERING STUDY
SOUTH PARKLAND COMMUNICATIONS TOWER
ECHO# 239KY
EAST PAGES LANE
LOUISVILLE, KENTUCKY**

PREPARED FOR:

**TEA Group Incorporated
10400 Linn Station Road, Suite 212
Louisville, Kentucky 40223**

PREPARED BY:

**ATC Associates Inc.
2815 Watterson Trail
Louisville, Kentucky 40299**

**ATC Project No. 13800.8G16
April 30, 1998**

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APPENDIX

FIELD EXPLORATION
SITE VICINITY
GEOTECHNICAL BORING LOG
SOIL SAMPLE CLASSIFICATION
ROCK CORE CLASSIFICATION
LOG GRAPHICS LEGEND
LABORATORY STUDY

1. PURPOSE AND SCOPE OF STUDY

The purpose of this study was to explore the subsurface conditions at the site and to develop geotechnical engineering recommendations necessary for the design and construction of the project. More specifically the study included:

- test borings to explore the soil and groundwater conditions
- laboratory tests to evaluate the engineering properties of the subsurface materials
- engineering analyses of the field and laboratory data

The recommendations pertaining to design are generally included in Section 4.0. Those pertaining to construction are generally included in Section 5.0. All findings, conclusions and recommendations included herein are subject to the warranty and limitations in Section 6.0.

2. PROJECT CHARACTERISTICS

TEA Group Incorporated is planning to construct a communications tower approximately 1/2 mile northeast of East Pages Lane and 1/3 mile southeast of Dixie Highway (US 31W) in Louisville, Jefferson County, Kentucky. The proposed tower location is shown on the Site Vicinity Map in the Appendix. The proposed tower site is located near the top of a hill on the site of the old Waverly Hills Sanitarium. At the time of our field exploration, the topography was flat in the immediate vicinity of the proposed tower. The ground surface was mainly bare soil with scattered rock fragments and weeds. Several old concrete wall foundations could be seen in the vicinity of the tower center stake, indicating that a structure was located in this area in the past. An existing cellular antenna tower was present to the north of the proposed lease area. Access to the site is along the entry road to the Bobby Nichols Golf Course. This road continues past the golf course and around the old sanitarium to the proposed tower site.

The tower would be a 180' high, self-supporting structure provided by PiRod, Inc. Neither the tower base dimensions nor the foundation design loads had been finalized at the time our study was conducted. However, we expect that the base dimension would probably be on the order of 18 feet for a tower of this type. We assume that the maximum downward force on the tower foundations would be on the order of 180 kips or less.

3. SUBSURFACE CONDITIONS

The USGS Louisville West Geologic Quadrangle Map indicates that the site is underlain by an upper layer of silt and wind blown sand. Bedrock is reported to be the Nancy Member of the Borden Formation. This is a clayey, sandy, silty shale. The soil/bedrock interface associated with this formation is fairly regular.

The subsurface conditions were explored by drilling one test boring at the proposed center of tower location. The Boring Log, which is included in the Appendix, describes the materials and conditions encountered at this location. The general subsurface conditions disclosed by the test boring is discussed below.

Approximately 6 in. of soil and rock fill was encountered at the ground surface. The fill was underlain by silty clay (highly weathered clay shale) that graded to fresh clay shale approximately 5 feet below the existing ground surface. Standard Penetration Test (SPT) N-values exceeded 50 blows per foot in the clay shale. Pocket penetrometer strength values exceeded 4.5 tons per square foot. Auger refusal in clay shale was encountered at 5 feet. A 10 ft. core sample of the refusal material encountered fresh, gray clay shale.

No groundwater was observed during the soil drilling operations. However, the groundwater level is generally not stationary, but will fluctuate seasonally. Water was pumped into the borehole during the core drilling operations, so no data on the groundwater level in the clay shale bedrock formation is available.

4. RESISTIVITY

Resistivity testing was performed at the site. The resistivity values are presented in Table 1.

Spacing	Resistivity (ohm-cm)
5 ft.	10668
10 ft.	13716
20 ft.	14630
40 ft.	15850

5. DESIGN RECOMMENDATIONS

The following design recommendations have been developed on the basis of the previously described project characteristics (Section 2.0) and subsurface conditions (Sections 3.0). This office must be notified if the project description included herein is incorrect, or if the proposed structure location is changed. ATC would then review the new project description to establish if revisions to the following recommendations are necessary.

Several old concrete wall foundations could be seen in the vicinity of the tower center stake, indicating that a structure was located in this area in the past. In addition, approximately 6 in. of soil and rock fill was encountered at the ground surface. **The subgrade below all new foundations, slabs, etc. must be carefully checked at the time of construction to verify that new structures will not be underlain by unsuitable fill material, old foundations, walls, etc.**

In our opinion, either drilled piers bearing on competent clay shale bedrock or shallow foundations bearing on clay shale bedrock may be used to support the proposed tower at this site. Recommended design parameters for both foundation types are presented in Table 2.

Good site drainage must be provided. All pavements, parking areas, and ground surfaces must be sloped to prevent the ponding of surface water adjacent to the tower foundations.

No special provisions regarding groundwater control are considered necessary for the proposed tower foundations.

The Kentucky Building Code places Jefferson County in Earthquake Risk Zone 1. In this system, Zone 3 is the most seismically active while Zone 1 has the lowest earthquake potential. Based on the subsurface conditions encountered at the site, the soil-profile type is S_1 with a corresponding site coefficient value of 1.0.

TABLE 2: RECOMMENDED FOUNDATION DESIGN PARAMETERS FOR SOUTH PARKLAND ECHO#239KY

PARAMETER	SHALLOW FOUNDATIONS	DRILLED PIERS
Allowable Bearing Pressure * Factor of Safety = 3	5 tsf on clay shale bedrock at or below 5' below existing grade	10 tsf on clay shale at or below 5' below existing grade with visual check of the bearing surface (no probe holes)
Expected Settlement (assumed 180 kip load)	0.1 in	0.1 inch
Avg. Frost Penetration Depth	24 inches	24 inches
Max. Frost Penetration Depth	30 inches	30 inches
Unit Weight (in-situ clay shale)	130 pcf	130 pcf
Allowable Passive Pressure for Transient Loads (i.e. wind and earthquake) Factor of Safety = 2	1 tsf from 2.5' to 5' depth below existing grade 5 tsf below 5'	1 tsf from 2.5' to 5' depth below existing grade 5 tsf below 5'
Allowable Skin Friction Factor of Safety = 2.5	0.25 tsf from 2.5' to 5' depth below existing grade 0.5 tsf below 5'	0.25 tsf from 2.5' to 5' depth below existing grade 0.5 tsf below 5'
Angle of Internal Friction	16°	16°
Cohesion	5 tsf	5 tsf
Design Groundwater Level	5'	5'

* - The allowable bearing capacity values are for sustained loading conditions. These values may be increased by a factor of 1.33 for transient loading conditions (i.e. wind and earthquake).

6. CONSTRUCTION RECOMMENDATIONS

Variations in subsurface conditions must be expected during construction. It is therefore recommended the geotechnical engineer be retained by the owner to continuously review the soils-related phases of the project and to correlate the test boring data with the soil conditions encountered during construction.

6.1. SITE ACCESSIBILITY

Accessibility to this site is good. No special conditions were disclosed which would limit the use of construction equipment or concrete trucks as long as the existing road is maintained in its current conditions.

6.2. SUBGRADE PREPARATION

Areas to support foundations must be properly prepared. All topsoil and other unsuitable materials must be removed. Unsuitable materials include frozen soil, soft unstable material and existing fill.

6.3. FOUNDATION EXCAVATIONS

All foundation excavations must be evaluated by the geotechnical engineer or his representative to check the bearing materials will provide suitable foundation support. If unsuitable materials are encountered, appropriate remedial alternatives would be determined by the geotechnical engineer.

If possible, all concrete for foundations should be poured the same day the excavation is made. If this is not practical, the foundation excavation should be adequately protected. Soils exposed in the bases of all excavations must be protected against any detrimental change in conditions such as from disturbance, rain, and freezing. Surface run-off water must be drained away from all excavations and not allowed to pond.

6.4. DRILLED PIERS

We recommend that the geotechnical engineer be retained to continuously observe the pier drilling operations to correlate the test boring data with the bedrock conditions that are encountered during construction. Each pier excavation should be inspected by the geotechnical engineer to check that all unsuitable material is removed and that the pier will be supported on competent bedrock. The base of the drilled pier foundations must be free from all loose rock and debris, and must have a level exposed rock bearing surface.

The base of the pier excavations should be visually checked for suitable bearing conditions. Probe hole testing would not be required.

Groundwater was not encountered during our subsurface exploration. However, natural channels in the rock formation could allow groundwater to flow into the pier excavations. Some seepage into the pier excavations may therefore be experienced, depending on the seasonal conditions. After approval of the bottom, and prior to placing concrete, any water should be pumped out of each pier excavation. All loose soil or rock must also be removed.

All drilled pier construction and inspection operations must be carried out in compliance with OSHA requirements. Drilled pier excavations may require the use of temporary steel casing for OSHA safety reasons and to control seepage and maintain the required pier diameter. The casing should be of sufficient strength to withstand handling stresses, concrete pressure, and surrounding earth and/or fluid pressures.

6.5. CONSTRUCTION DEWATERING

No serious dewatering problems are anticipated. However, some incidental seepage into excavations may be experienced, depending on the seasonal conditions.

7. WARRANTY AND LIMITATIONS OF STUDY

Our professional services have been performed, our findings obtained, and our recommendations prepared in accordance with generally accepted geotechnical engineering principles and practices. This warranty is in lieu of all other warranties, either express or implied. ATC Associates Inc. is not responsible for the independent conclusions, opinions or recommendations made by others based on the field exploration and laboratory test data presented in this report. A geotechnical study is inherently limited since the engineering recommendations are developed from information obtained from test borings that only depict subsurface conditions at the specific locations, times and depth shown on the logs. Soil conditions at other locations may differ from those encountered in the test borings, and the passage of time may cause the soil conditions to change from those described in this report. The nature and extent of variation and change in the subsurface conditions at the site may not become evident until the course of construction. Construction monitoring by the geotechnical engineer or his representative is therefore considered necessary to verify the subsurface conditions and to check that the soils connected construction phases are properly completed. If significant variations or changes are in evidence, it may then be necessary to reevaluate the recommendations of this report. Furthermore, if the project characteristics are altered significantly from those discussed in this report, if the project information contained in this report is incorrect, or if additional information becomes available, a review must be made by this office to determine if any modification in the recommendations will be required.

APPENDIX

FIELD EXPLORATION
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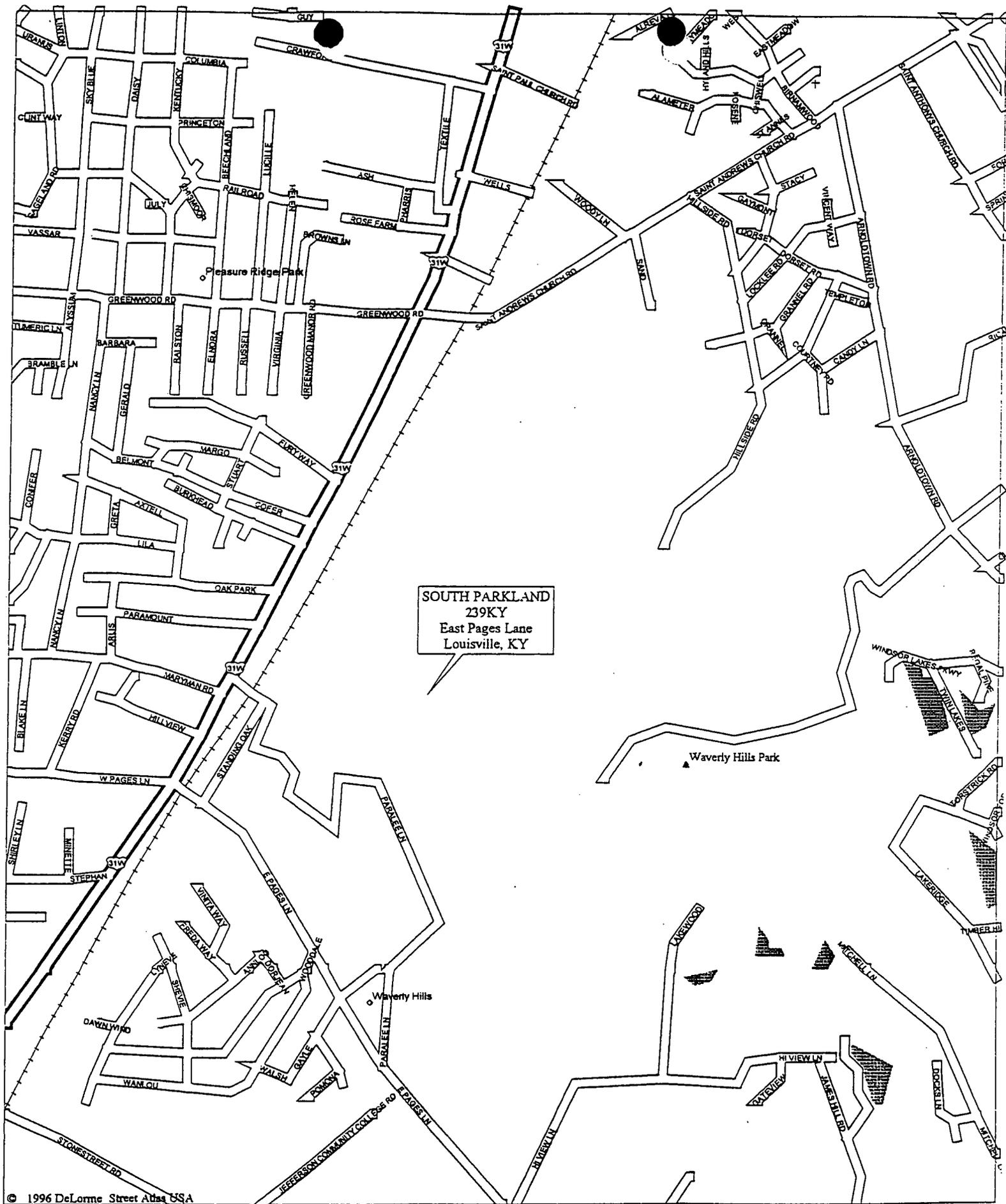
FIELD EXPLORATION

One soil test boring was drilled at the stake which indicated the proposed center of tower location which had been established in the field by the project surveyor. Split spoon samples were obtained by the Standard Penetration Test (SPT) procedure (ASTM D-1586) in the test boring. The boring was extended to auger refusal at 5 feet below existing grade. Representative portions of the soil samples were sealed in glass jars and returned to our laboratory.

A 10 ft. core drilled sample of the refusal material was obtained from the boring using NWD4 double barrel wet rotary coring equipment. The core was retrieved and returned to our laboratory where the refusal material was identified and the core recovery and Rock Quality Designation (RQD) were determined. The RQD is the percentage of the core recovered in hard, sound and naturally unbroken pieces 4 inches or greater in length. The recovery and RQD are related to the soundness and continuity of the refusal material.

The boring log is included below along with a sheet defining the terms and symbols used on the log and an explanation of the Standard Penetration Test (SPT) procedure. The log presents visual descriptions of the soil strata encountered, Unified System soil classifications, groundwater observations, sampling information, laboratory test results, and other pertinent field data and observations.

Resistivity was measured at the site. The Wenner Electrode spacing array was used. With this array, potential electrodes are centered on a transverse line between the current electrodes and an equal spacing between electrodes is maintained.



© 1996 DeLorme Street Atlas USA

SITE VICINITY - SOUTH PARKLAND - 239KY

CLIENT: TEA Group Incorporated
PROJECT: SOUTH PARKLAND Communications Tower 239KY
LOCATION: Louisville, Kentucky

BORING NUMBER: 01
PROJECT NUMBER: 13000.8G16
PROJECT MANAGER: M. Ronayne

Surface Elevation:
Date Started: 4/27/98
Date Completed: 4/27/98

Hammer Weight: 140 lbs.
Hammer Drop: 30 in.
Drill Foreman: P. Castle

Hole Dia.: 7.5 in.
Boring Method: HSA + RC
Supervisor: M. Ronayne

ELEV	MATERIAL DESCRIPTION	LAYER DEPTH & TYPE	DEPTH SCALE	SAMPLE DATA						NOTES
				NO	BLOWS	TYPE	REC	w,%	PP,pcf	
	FILL - silty clay with rock fragments	0.5	0	1	12-50/3"	SPT	78	9.9	4.5	
	SILTY CLAY (CL) (highly weathered CLAY SHALE) - dry, gray		1	2	50/1"	SPT	100	7.2	4.5	
			2	3	50/1"	SPT	100	6.9	4.5	
	CLAY SHALE - fresh, dry, gray	5.0	5							Auger refusal at 5 ft. No groundwater was observed.
	TERMINATED	10.0	10	4	-	RC	100	-	-	DESIGN PARAMETERS clay shale unit wt: 130 pcf max. frost depth: 30 in. avg. frost depth: 24 in. design groundwater level: 5'
			15							
			20							
			25							
			30							
			35							

SOIL SAMPLE CLASSIFICATION

GRANULAR SOILS

(Silt, Sand, Gravel and Combinations)

Density

Very Loose	- 5 blows/ft. or less
Loose	- 6 to 10 blows/ft.
Medium Dense	- 11 to 30 blows/ft.
Dense	- 31 to 50 blows/ft.
Very Dense	- 51 blows/ft. or more

Particle Size Identification

Boulders	- 8 inch diameter or more
Cobbles	- 3 to 8 inch diameter
Gravel	- Coarse - 1 to 3 inch
	Medium - ½ to 1 inch
	Fine - ¼ to ½ inch
Sand	- Coarse - 2.00 mm to ¼ inch
	- Medium - 0.42 to 2.00 mm
	- Fine - 0.074 to 0.42 mm
	- Silt - 0.002 to 0.074 mm
Clay	- less than 0.002 mm

Relative Proportions

	<u>Percent</u>
Trace	1 - 10
Little	11 - 20
Some	21 - 35
And	36 - 50

COHESIVE SOILS

(Clay, Silt and Combinations)

Consistency

Very Soft	- 3 blows/ft. or less
Soft	- 4 to 5 blows/ft.
Medium Stiff	- 6 to 10 blows/ft.
Stiff	- 11 to 15 blows/ft.
Very Stiff	- 16 to 30 blows/ft.
Hard	- 31 blows/ft. or more

Plasticity

Degree of Plasticity	Plasticity Index
None to Slight	0 - 4
Slight	5 - 7
Medium	8 - 22
High to Very High	over 22

Classification on logs are made by visual inspection of samples unless otherwise undicated.

Standard Penetration Test - Driving a 2.0" O.D., 1-3/8" I.D. split-spoon sampler a distance of 12 inches into undisturbed soil with a 140 pound hammer free falling a distance of 30 inches. The sample is initially driven 6 inches to penetrate into undisturbed soil, then the test is performed. The number of hammer blows for seating the spoon and making the test are recorded for each 6 inches of penetration on the boring log (Example: 6-8-9). The standard penetration test N-value can be obtained by adding the last two figures (i.e. 8+9=17 blows/ft.). (ASTM D-1586)

Strata Changes - In the column "Material Description" on the boring log, the horizontal lines represent strata changes. A solid line (—) represents an actually observed change, a dashed line (- - -) represents an estimated change.

Ground Water observations were made at the times indicated. Porosity of soil strata, weather conditions, site topography, etc. may cause changes in the water levels indicated on the logs.



ROCK CORE CLASSIFICATION

CONTINUITY

<u>Description</u>	<u>Core Recoverv. %</u>
Incompetent	0 - 40
Competent	40 - 70
Fairly Continuous	70 - 90
Continuous	90 - 100

ROCK QUALITY (ROD)

<u>Description</u>	<u>ROD. %</u>
Very Poor	0 - 25
Poor	25 - 50
Fair	50 - 75
Good	75 - 90
Excellent	90 - 100

HARDNESS

<u>Description</u>	<u>Definition</u>
Very Soft	Can be broken with fingers
Soft	Can be scratched with fingernail
	Only edges can be broken with fingers
Moderately Hard	Can be easily scratched with knife
	Cannot be scratched with fingernail
Hard	Difficult to scratch with knife
	Hard hammer blow to break specimen
Very Hard	Cannot be scratched with knife
	Several hard hammer blows to break specimen

WEATHERING

<u>Description</u>	<u>Definition</u>
Completely	Rock decomposed to soil
	Rock fabric & structure completely destroyed
Highly	Most minerals are decomposed
	Texture indistinct but fabric preserved
	Strength greatly reduced
Moderately	Discoloration throughout and weaker minerals decomposed
	Texture preserved but strength less than fresh rock
Slightly	Discoloration around open fractures
	Strength preserved
Fresh	No sign of decomposition or discoloration

BEDDING

<u>Description</u>	<u>Thickness. inches</u>
Parting	less than 0.3
Band	0.3 - 2.5
Thin Bed	2.5 - 6.0
Medium Bed	6.0 - 12.0
Thick Bed	12.0 - 36.0
Massive	greater than 36



LOG GRAPHICS LEGEND

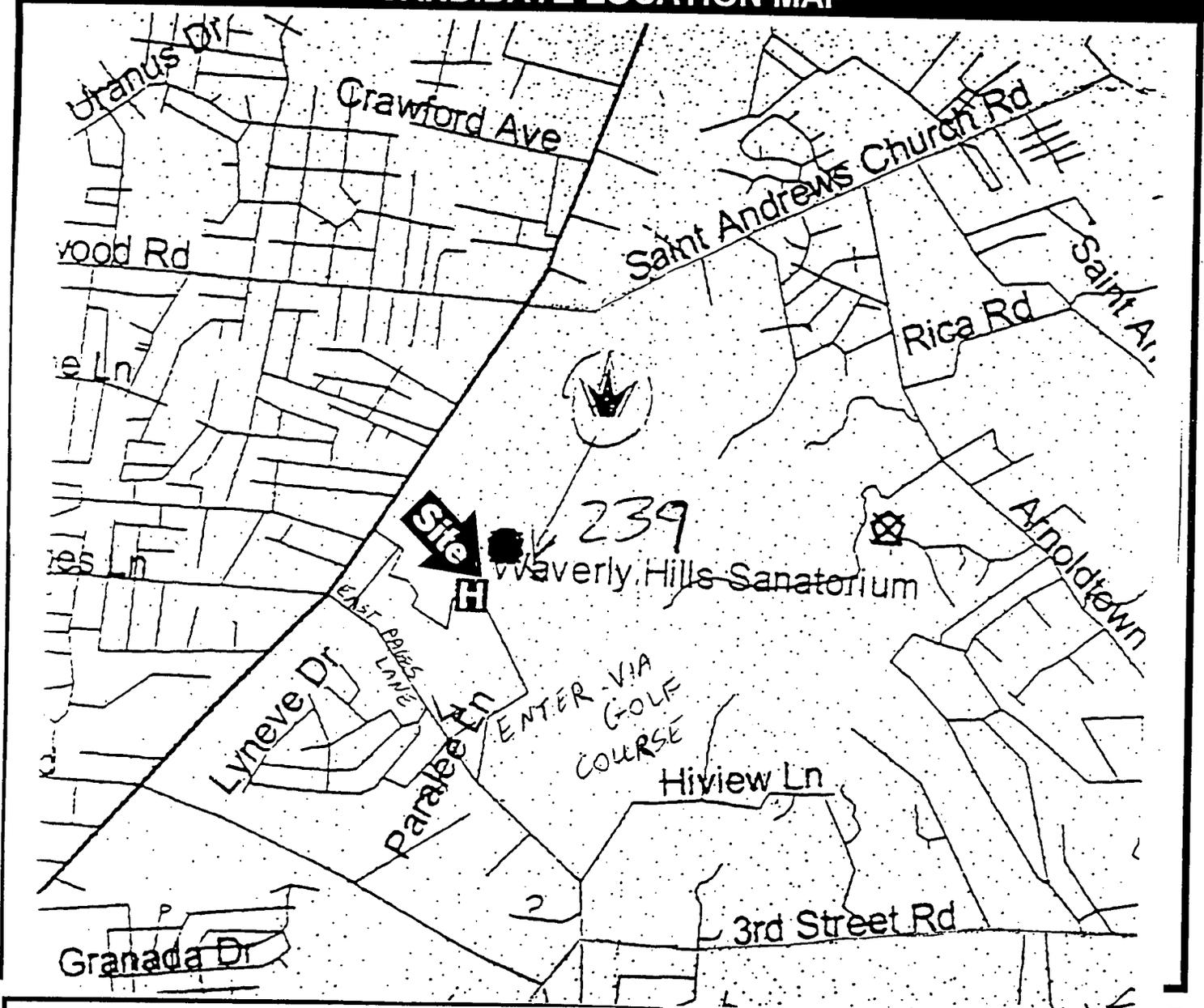
- | | | |
|---|--|--|
| <p> - ASPHALT</p> | <p> - CONCRETE</p> | <p> - TOPSOIL</p> |
| <p> - FILL</p> | <p> - REINFORCED CONCRETE</p> | <p> - ASH/CINDERS</p> |
| <p> - CL, low plasticity clayey soil</p> | <p> - CH, high plasticity clayey soil</p> | <p> - ML, low plasticity inorganic silt</p> |
| <p> - MH, high plasticity inorganic silt</p> | <p> - OL, low plasticity organic soil</p> | <p> - OH, high plasticity organic soil</p> |
| <p> - POSSIBLE FILL - soil not positively classified as natural or man-placed material</p> | <p> - PEAT</p> | <p> - SP, poorly graded sand</p> |
| <p> - SW, well graded sand</p> | <p> - SC, clayey sand</p> | <p> - SM, silty sand</p> |
| <p> - GP, poorly graded gravel</p> | <p> - GW, well graded gravel</p> | <p> - GC, clayey gravel</p> |
| <p> - GM, silty gravel</p> | <p> - glacial TILL</p> | <p> - CL-CH, typical dual soil classification</p> |
| <p> - CLAY SHALE</p> | <p> - SILTSTONE</p> | <p> - SANDSTONE</p> |
| <p> - LIMESTONE</p> | <p> - SHALE</p> | <p> - interbedded LIMESTONE and SHALE</p> |
| <p> - DOLOMITE</p> | <p> - partially weathered rock</p> | <p> - COAL</p> |



LABORATORY STUDY

The split-spoon samples and the rock core samples were inspected and visually classified by a geotechnical engineer in general accordance with the Unified Soil Classification System and the boring logs edited as necessary. To aid in classifying the soil samples and to check the general soil characteristics, natural moisture content and pocket penetrometer tests were performed on selected samples. The results of these tests are included on the boring log.

CANDIDATE LOCATION MAP



SITE ADDRESS 4400 Paralee Drive
 City/Town: Louisville County: Jefferson State: KY Zip: 40272

ACCESS INSTRUCTIONS We need the gate key. Security is always on site
 CONTACT: Bob Alberhasky PHONE: 634-5566

DIRECTIONS TO SITE
 From Louisville Airport :From the Airport, take I-264 West to 31W/60S (Dixie Hwy.) south. Turn left onto East Pages Lane, and then left into the golf course on Paralee Drive. Follow the road as it curves left off the golf course, and through the gate to the abandoned hospital. Turn right around the hospital towards the existing tower. We are about 400' South of the existing tower.

DEED OF EASEMENT AND COVENANTS

THIS DEED OF EASEMENT AND COVENANTS (hereinafter "Deed") is made this the 12th day of JAN., 1998, by and between Dixie Development Inc., whose mailing address is PO Box 16189, Louisville, KY 40256 (hereinafter "Grantor"), and CROWN COMMUNICATION INC., a Delaware corporation, whose mailing address is Penn Center West III, Suite 229, Pittsburgh, PA 15276.

WHEREAS, Grantor is the owner of certain property located in Jefferson County, Kentucky and being further described as follows:

See Exhibit "A".

And being the same property conveyed to Grantors herein by Waverly Land Development, Inc. by deed, dated September 14, 1995, of record in the Jefferson County Clerk's office in Deed Book 6639, Page 793; and

WHEREAS, by this Deed, Grantor grants an exclusive and perpetual easement to Grantor for the construction, installation, maintenance and operation of a communications tower along with an equipment structure or structures and all necessary connecting improvements and appurtenances; and,

WHEREAS, by this Deed, Grantor covenants and restricts his remaining property from the construction, installation or operation of any wireless communications facilities which emit radio frequencies that interfere with Grantee's operations without the prior written consent of Grantee

WITNESSETH

Grantor, for good and valuable consideration, the sufficiency of which is hereto acknowledged, grants and conveys to Grantee, its successors and assigns forever, a perpetual and exclusive easement for the construction, installation, maintenance and

operation of a communications tower along with an equipment structure or structures and all necessary connecting improvements and appurtenances, on that certain portion of Grantor's property located in County, Kentucky, being further described as follows:

See Exhibit "A".

And being the same property conveyed to Grantors herein by Waverly Land Development, Inc. by deed, dated September 14, 1995, of record in the Jefferson County Clerk's office in Deed Book 6639 , Page 793 ; and

TO HAVE AND TO HOLD said easement unto Grantee, its successors and assigns, for the purposes and uses herein designated, with a covenant of GENERAL WARRANTY.

This easement includes an exclusive right to Grantee for ingress and egress seven days a week, twenty-four hours a day by motor vehicle, including but not limited to trucks, for the installation and maintenance of utility wires, poles, cables, conduits and pipes over, under or along the easement.

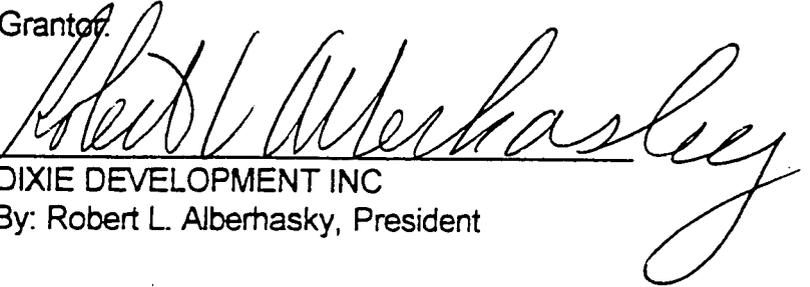
The terms and conditions of this easement are contained in that certain Agreement for Perpetual Easement, dated 1-12-98, by and between the parties hereto and incorporated herewith as part of this deed of easement.

Grantor covenants and restricts his remaining property as described above from the construction, installation or operation of any wireless communications facilities which emit radio frequencies without the prior written consent of Grantee. This is a covenant running with the land for so long as this easement exists.

Grantee shall have a unilateral right to terminate this easement at any time for any reason upon six months written notice to Grantee prior to the date of termination.

IN TESTIMONY WHEREOF, Grantor and Grantee have hereunto signed this deed
of easement, this the date first above written

Grantor:

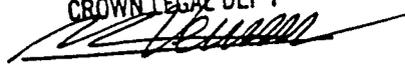

DIXIE DEVELOPMENT INC
By: Robert L. Alberhasky, President

Grantee:


CROWN COMMUNICATION INC.,
By: Robert Crown, President

A.

APPROVED BY
CROWN LEGAL DEPT



STATE OF KENTUCKY
COUNTY OF JEFFERSON

The foregoing instrument was acknowledged before me by Robert L. Alberhasky on this the 12th day of January, 1998.



Notary Public

My commission expires: September 11, 2000

STATE OF PENNSYLVANIA
COUNTY OF ALLEGHENY

The foregoing instrument was acknowledged before me Robert^{A.} Crown, President of Crown Communication Inc., d/b/a Crown Communications, on behalf of the corporation on this the 5TH day of FEBRUARY, 1998,

Roberta D. Beltrame

Notary Public

My commission expires: 06 / 24 / 99

Notarial Seal
Roberta D. Beltrame, Notary Public
Carnegie Boro, Allegheny County
My Commission Expires June 24, 1999

Member, Pennsylvania Association of Notaries

EXHIBIT "A"

RM 06639 0793

THIS DEED made this 14th day of September, 1995, by and between:

WAVERLY LAND DEVELOPING CORPORATION, party of the first part, whose mailing address is: 5117 Euclid Avenue, Louisville, Kentucky 40272 and,

DIXIE DEVELOPMENT, INC., party of the second part, whose mailing address is: 3321 So. Seventh Street Road, P.O. Box 16189, Louisville, Kentucky 40256

WITNESSETH: (The Total Sale Price Being \$80,000.00)

That for a VALUABLE CONSIDERATION paid, the receipt of which is hereby acknowledged, the party of the first part hereby conveys, unto the party of the second part, in fee simple with covenant of GENERAL WARRANTY, the following described real estate situated in Jefferson County, Kentucky, to-wit:

A parcel of land in Jefferson County, Kentucky, designated as Tract 2, minor subdivision plat, of the former Waverly Hills Sanitarium or Woodhaven Medical Center property, as per the survey dated December 31, 1986, and certified by C.B. Moody, which plat was recorded in Deed Book 5646, Page 541, in the Office of the County Court Clerk of Jefferson County, Kentucky, which was corrected and rerecorded in Deed Book 5650, Page 168.

BEING the same property conveyed to the party of the first part by Deed dated December 21, 1986, recorded in Deed Book 5650, Page 168, in the Office of the Clerk aforesaid.

The party of the first part further covenants that it is lawfully seized of the estate hereby conveyed, has full right and power to convey the same, and that said estate is free from all encumbrances except City, State and County taxes due and payable during the year 1995, and thereafter, which the party of the second part hereby assumes and agrees to pay.

PROVIDED, HOWEVER, that this conveyance is made subject to easements and restrictions of record, and first party is conveying in an "as is" condition.

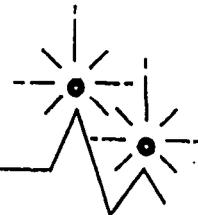
PROVIDED, HOWEVER, that this conveyance is made subject to a Lease Agreement with options between Waverly Land Developing Corporation and Louisville Cellular Telephone Company. The terms and conditions of said lease are fully set forth in the Lease Agreement. It is understood and agreed between first and second parties that all current lease rentals go to the first party. In

NOTIFICATION LIST
CROWN COMMUNICATIONS INC.
ECHO 239KY

Dixie Development Corp. P.O. Box 16189 Louisville, Kentucky 40256	Todd, Clifford & Elizabeth P.O. Box 301 Simpsonville, Kentucky 40067	Dickerson, Mack 3939 Birksville Road Glasgow, Kentucky 42141
---	--	--



CROWN[®]
COMMUNICATIONS



January 28, 1999

Dixie Development Corp.
P.O. Box 16189
Louisville, Kentucky 40256

RE: Public Notice - Public Service Commission of Kentucky
Case No.: 99-029
Our Site No: 239kyd

Dixie Development Corp:

Crown Communication Inc. and Powertel/Kentucky, Inc. have applied to the Public Service Commission of Kentucky for a Certificate of Public Convenience and Necessity to construct and operate a new facility to provide wireless telecommunication services. The facility will include a 180 foot tower, with appurtenances attached to a maximum height of 200 feet, and a ground level equipment shelter to be located at 4400 Paralee Drive, Louisville,, Jefferson County, Kentucky. A map showing the location of the proposed new facility is enclosed. This notice is being sent to you because you own property within a 500' radius of the proposed tower. A temporary tower of shorter stature might be erected at said location while awaiting final PSC approval, and the approved tower is operational.

The Commission invites your comments regarding the proposed construction. You also have the right to intervene in this matter. Your initial communication to the Commission must be received by the Commission within 20 days of the date of this letter as shown above.

The Public Service Commission in its review of the proposed construction shall not consider the character of the general area concerned or the likely effects of the installation on nearby land uses and values, as these matters are decided by the local planning unit.

Your comments and request for intervention should be addressed to: Executive Director's Office, Public Service Commission of Kentucky, Post Office Box 615, Frankfort, Kentucky 40602. Please refer to Case No: 99-029 in your correspondence.

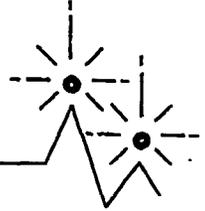
Sincerely,

Aaron Johnson,
Zoning Manager



CROWN[®]

COMMUNICATIONS



January 28, 1999

Todd, Clifford & Elizabeth
P.O. Box 301
Simpsonville, Kentucky 40067

RE: Public Notice - Public Service Commission of Kentucky
Case No.: 99-029
Our Site No: 239kyd

Dear Mr. & Mrs. Clifford:

Crown Communication Inc. and Powertel/Kentucky, Inc. have applied to the Public Service Commission of Kentucky for a Certificate of Public Convenience and Necessity to construct and operate a new facility to provide wireless telecommunication services. The facility will include a 180 foot tower, with appurtenances attached to a maximum height of 200 feet, and a ground level equipment shelter to be located at 4400 Paralee Drive, Louisville, Jefferson County, Kentucky. A map showing the location of the proposed new facility is enclosed. This notice is being sent to you because you own property within a 500' radius of the proposed tower. A temporary tower of shorter stature might be erected at said location while awaiting final PSC approval, and the approved tower is operational.

The Commission invites your comments regarding the proposed construction. You also have the right to intervene in this matter. Your initial communication to the Commission must be received by the Commission within 20 days of the date of this letter as shown above.

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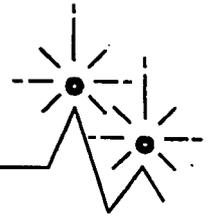
Sincerely,

Aaron Johnson,
Zoning Manager



CROWN[®]

COMMUNICATIONS



January 28, 1999

Dickerson, Mack
3939 Birksville Road
Glasgow, Kentucky 42141

RE: Public Notice - Public Service Commission of Kentucky
Case No.: 99-029
Our Site No: 239kyd

Dear Mr. Dickerson:

Crown Communication Inc. and Powertel/Kentucky, Inc. have applied to the Public Service Commission of Kentucky for a Certificate of Public Convenience and Necessity to construct and operate a new facility to provide wireless telecommunication services. The facility will include a 180 foot tower, with appurtenances attached to a maximum height of 200 feet, and a ground level equipment shelter to be located at 4400 Paralee Drive, Louisville, Jefferson County, Kentucky. A map showing the location of the proposed new facility is enclosed. This notice is being sent to you because you own property within a 500' radius of the proposed tower. A temporary tower of shorter stature might be erected at said location while awaiting PSC approval, and the approved tower is operational.

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The Public Service Commission in its review of the proposed construction shall not consider the character of the general area concerned or the likely effects of the installation on nearby land uses and values, as these matters are decided by the local planning unit.

Your comments and request for intervention should be addressed to: Executive Director's Office, Public Service Commission of Kentucky, Post Office Box 615, Frankfort, Kentucky 40602. Please refer to Case No: 99-029 in your correspondence.

Sincerely,

Aaron Johnson
Zoning Manager

SITE PHOTOS



Looking North from Site

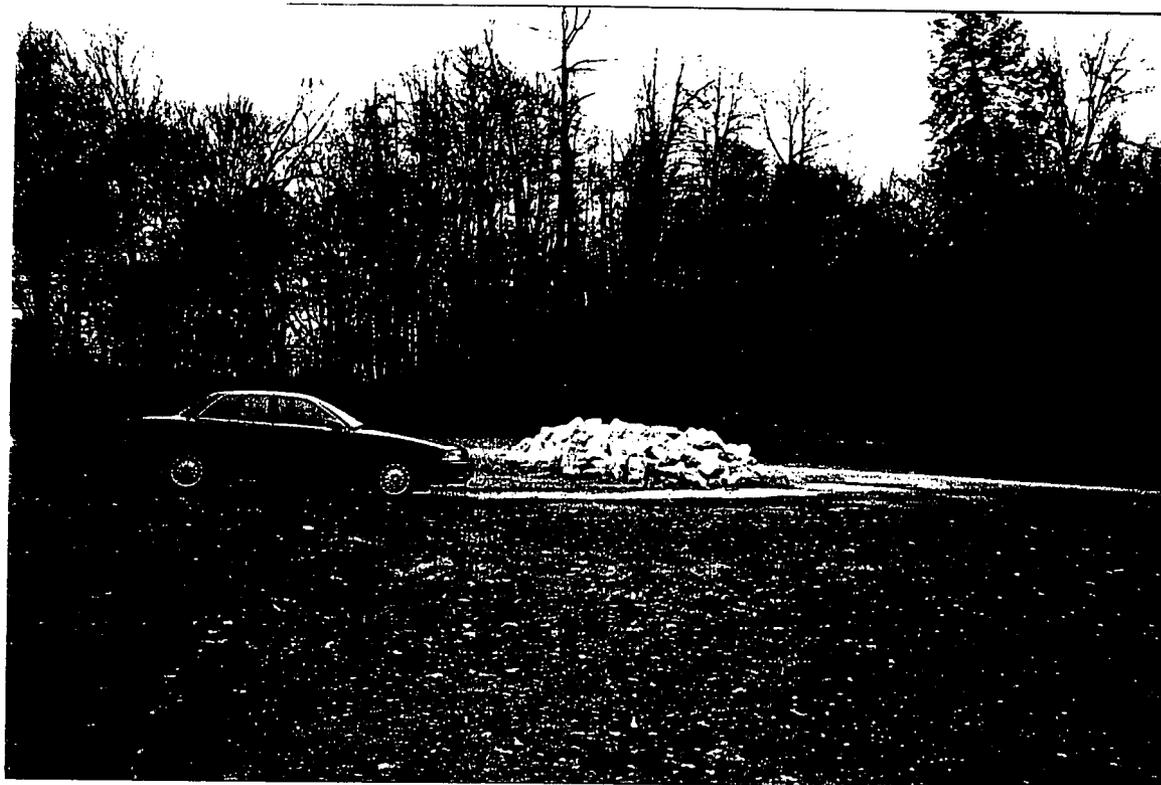


Looking South from Site

SITE PHOTOS



Looking West from Site

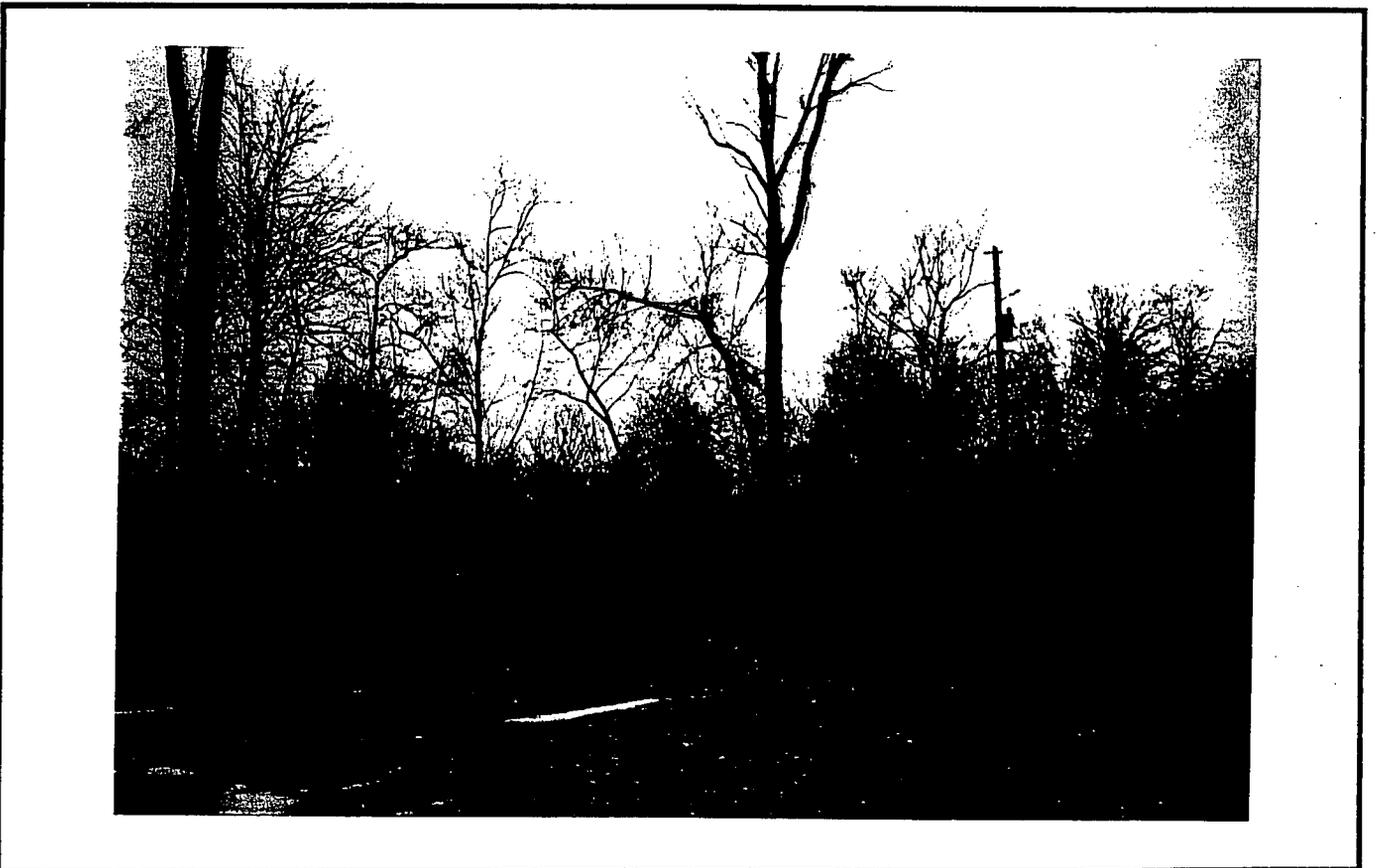


Looking East from Site

SITE PHOTOS



Looking at Nearest Power Source



Looking at Nearest Telco source

SITE PHOTOS



Looking at Access to Site



Looking Opposite Direction at Access



JEFFERSON COUNTY, KENTUCKY
DEPARTMENT OF PLANNING AND ENVIRONMENTAL MANAGEMENT
DIVISION OF PLANNING AND DEVELOPMENT SERVICES

DAVID L. ARMSTRONG
County Judge/Executive

R. WAYNE BENNETT, AICP
Division Director

ADRIAN P. FREUND, AICP
Department Director

December 4, 1998

Mr. Norman W. Graham
Wyatt, Tarrant & Combs
Citizens Plaza
500 W. Jefferson Street
Louisville, Kentucky 40202

Re: Docket No. 4-29-98

Dear Mr. Graham:

You are the contact person for Crown Communication Inc. and Nextel West Corp., in their request for review of a proposal for an antenna tower for cellular communication services to be located at 4400 Paralee Drive (Docket No. 4-29-98). This request was reviewed by the Planning Commission at a public hearing on December 3, 1998. At this meeting, the Planning Commission determined that the proposed construction is neither in accordance with the Comprehensive Plan nor with applicable portions of the Development Code for Louisville and Jefferson County. The Planning Commission, therefore, **disapproved** this proposed construction for the reasons below.

Specifically, the Planning Commission found that this proposed construction violates Comprehensive Plan Guidelines U-5, U-6, R-1, F-2, and F-5 because adequate measures to minimize the visual impact of the structure have not been presented, because acceptable alternate sites are available nearby that were not adequately investigated by the applicant, and because the potential adverse impacts on nearby residential areas have not been adequately mitigated to avoid detracting from the residential character of nearby development.

The Planning Commission further found that this proposed construction is not in accordance with Section 8.2, B. of the Development Code for Louisville and Jefferson County that specifically emphasizes that co-location of service facilities is preferred. Section 8.2, B., 1., b., (3) requires the applicant to demonstrate that co-location on existing structures cannot be accommodated. The Planning Commission has found that

LOUISVILLE AND JEFFERSON COUNTY PLANNING COMMISSION

531 COURT PLACE • SUITE 900
LOUISVILLE, KENTUCKY 40202-3396
Phone 502-574-6230
FAX 502-574-8129



PRINT ON RECYCLED PAPER

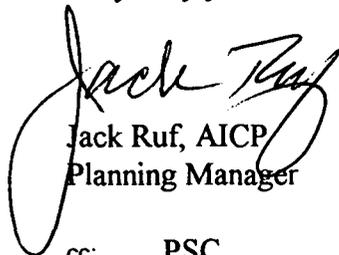
there is an alternate site nearby which better accomplishes the objectives of the Comprehensive Plan and the zoning regulations, particularly that there is a co-location possibility nearby which was not sufficiently investigated.

The more detailed findings of the Planning Commission may be found in their approved minutes of the December 3, 1998.

The entire record upon which the Planning Commission made this determination is on file in our office under the above referenced Docket Number.

Thank you for your cooperation in this review process.

Very truly yours,



Jack Ruf, AICP
Planning Manager

cc: PSC
John Binkley
Jefferson County Code Enforcement
File Docket No. 4-29-98

AC&P PROJECT NUMBER: 39825-24

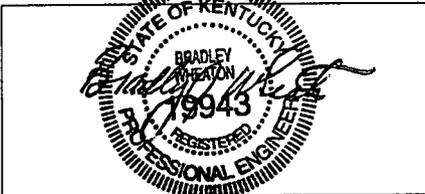
DRAWN BY: A. TAYLOR

APPROVED BY: D. DALLMAN

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△	06/15/98	ISSUED FOR ZONING
NO.	DATE	REVISION

ECHO 239KY-264
SOUTH PARKLAND

4400 PARALEE DR.
LOUISVILLE, KY 40272
JEFFERSON COUNTY



TITLE SHEET

T-1



CROWN
COMMUNICATION INC.

PENN CENTER WEST III - SUITE 229
PITTSBURGH
PENNSYLVANIA, 15276

OFFICE: (412) 788-0906
FAX: (412) 788-0908

ARMOUR
CAPE & POND

6800 VERSAR CENTER, SUITE 234
SPRINGFIELD, VA. 22151-4177
(703) 642-5160
FAX (703) 642-0041

AC&P PROJECT NUMBER: 39825-24

DRAWN BY: A. TAYLOR

APPROVED BY: D. DALLMAN

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△	06/15/98	ISSUED FOR ZONING
NO.	DATE	REVISION

ECHO 239KY-264
SOUTH PARKLAND

4400 PARALEE DR.
LOUISVILLE, KY 40272
JEFFERSON COUNTY

ECHO 239KY-264

SOUTH PARKLAND

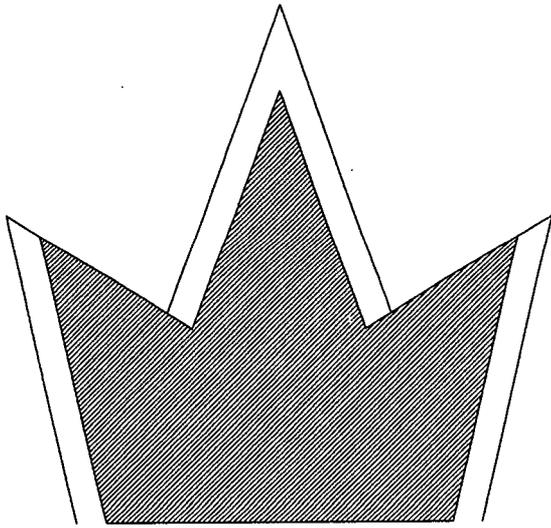
PROPOSED 180'-0" SELF SUPPORTING LAT
AND
PROPOSED EQUIPMENT SHELTER (10'-0" x 20'-

ARCHITECT: ARMOUR CAPE & POND 6800 VERSAR CENTER, SUITE 234 SPRINGFIELD, VA. 22151-4177 (703) 842-5180 FAX (703) 842-0041	MECHANICAL ENGINEER: NOT APPLICABLE
STRUCTURAL ENGINEER: ARMOUR CAPE & POND 6800 VERSAR CENTER, SUITE 234 SPRINGFIELD, VA. 22151-4177 (703) 842-5180 FAX (703) 842-0041	ELECTRICAL ENGINEER: ARMOUR CAPE & POND 6800 VERSAR CENTER, SUITE 234 SPRINGFIELD, VA. 22151-4177 (703) 842-5180 FAX (703) 842-0041
GEOTECHNICAL ENGINEER: OGDEN ENVIRONMENTAL AND ENERGY SERVICES 690 COMMONWEALTH CENTER 11003 BLUEGRASS PKWY. LOUISVILLE, KY. 40299	
CONSULTANT TEAM	

SITE NAME:	SOUTH PARKLAND
SITE NUMBER:	ECHO 239KY-264
SITE ADDRESS:	4400 PARALEE DRIVE LOUISVILLE, KY 40272
PROPERTY OWNER:	DIXIE DEVELOPMENT INC.
APPLICANT:	CROWN COMMUNICATION IN PENN CENTER WEST III SUITE 229 PITTSBURGH, PENNSYLVANIA 15276 OFFICE: (412) 788-0906 FAX: (412) 788-0908
CROWN COMMUNICATION CONTACT PERSON:	JOHN BINKLEY (502) 240-0044
TAX MAP NUMBER:	1041
PARCEL NUMBER:	135
SOURCE OF TITLE:	DEED BOOK 6639 PAGE 79
ZONING DESIGNATION:	R-4
PROJECT SUMMARY	

TAKE I-264 WES TO 31W/60S
S LANE, AND THEN LEFT INTO THE GOLF
OFF THE GOLF COURSE, AND THROUGH
HT AROUND THE HOSPITAL TO THE

SHELTER IS UNMANNED AND NOT FOR
HUMAN HABITATION.



CROWN



COMMUNICATION

ECHO 239KY-264

SOUTH PARKLAND

PROPOSED 180'-0" SELF SUPPORTING LAT

AND

PROPOSED EQUIPMENT SHELTER (10'-0" x 20'-0")

ARCHITECT:

**ARMOUR
CAPE & POND**

6800 VERSAR CENTER, SUITE 234
SPRINGFIELD, VA. 22151-4177
(703) 842-5180
FAX (703) 842-0041

STRUCTURAL ENGINEER:

**ARMOUR
CAPE & POND**

6800 VERSAR CENTER, SUITE 234
SPRINGFIELD, VA. 22151-4177
(703) 842-5180
FAX (703) 842-0041

GEOTECHNICAL ENGINEER:

MECHANICAL ENGINEER:

NOT APPLICABLE

ELECTRICAL ENGINEER:

**ARMOUR
CAPE & POND**

6800 VERSAR CENTER, SUITE 234
SPRINGFIELD, VA. 22151-4177
(703) 842-5180
FAX (703) 842-0041

SITE NAME:

SOUTH PARKLAND

SITE NUMBER:

ECHO 239KY-264

SITE ADDRESS:

4400 PARALEE DRIVE
LOUISVILLE, KY 40272

PROPERTY OWNER:

DIXIE DEVELOPMENT INC.

APPLICANT:

CROWN COMMUNICATION IN
PENN CENTER WEST III
SUITE 229
PITTSBURGH, PENNSYLVANI
15276

OFFICE: (412) 788-0906

FAX: (412) 788-0908

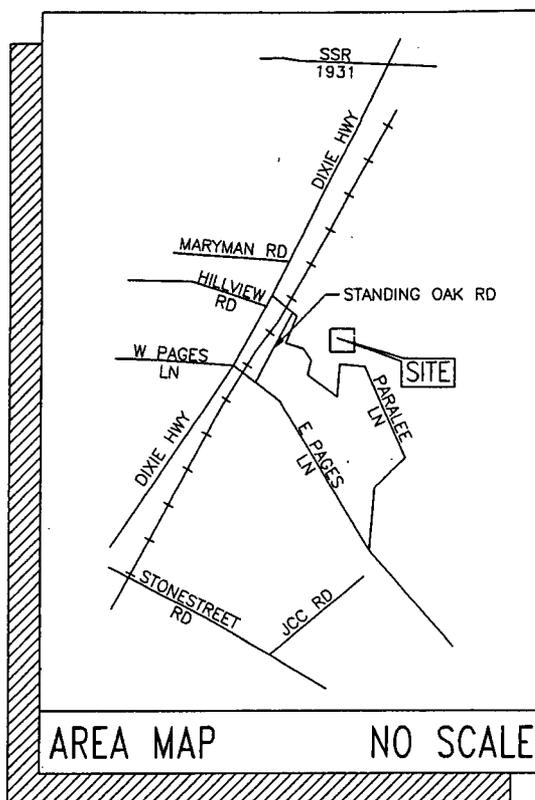
CROWN COMMUNICATION

CONTACT PERSON: JOHN BINKLEY

(502) 949-9944

PROPOSED

PROPOSED EQL



AREA MAP NO SCALE

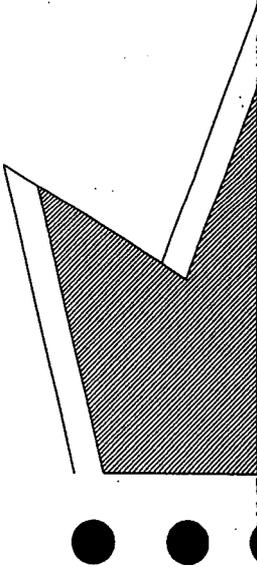
ARCHITECT
**AR
CAPE**
6800 WESS
SPRINGFIELD
MO
FAX 1

STRUCTURE
**AR
CAPE**
6800 WESS
SPRINGFIELD
MO
FAX 1

GEOTECH
OGDEN
AND EN
690 COA
11003
LOUIS

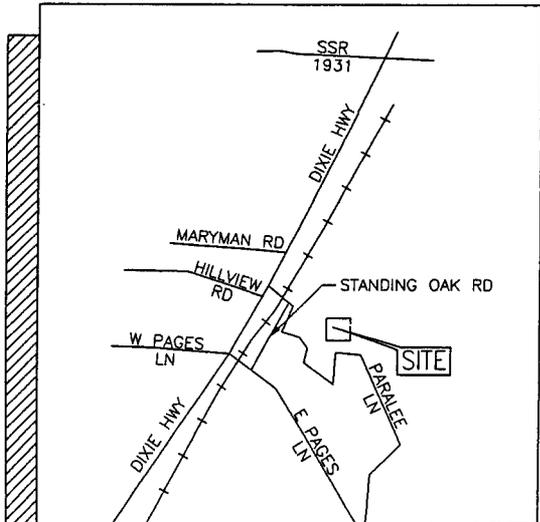
CONS

DIRECTIONS TO SITE: FROM LOUISVILLE AIRPORT: TAKE I-264 WEST TO 31W/60S (DIXIE HWY.) SOUTH. TURN LEFT ONTO EAST PAGES LANE, AND THEN LEFT INTO COURSE. FOLLOW THE ROAD AS IT CURVES LEFT OFF THE GOLF COURSE, AND THE GATE TO THE ABANDONED HOSPITAL. TURN RIGHT AROUND THE HOSPITAL TO EXISTING TOWER.



PROPOSED

PROPOSED EQL



ARCHITECT
**AR
CAPE**
6800 VERSA
SPRINGFIELD
TX
FAX ()

STRUCTURAL
**AR
CAPE**
6800 VERSA
SPRINGFIELD
TX
FAX ()

GEOTECHNICAL

11003 BLUEGRASS PARKWAY #690

LOUISVILLE, KY 40299

OFFICE: (502) 267-0700

FAX: (502) 267-5900

ECHO NUMBER:

239KY-60

SITE NAME:

SOUTH PARKLAND

SITE ADDRESS:

4400 PARALEE DR.
LOUISVILLE, KY 40272

AREA:

LEASE AREA =

9991.77 S.F.

0.229 Ac.

PROPERTY OWNER:

DIXIE DEVP. CORP.
4400 PARALEE DR.
LOUISVILLE, KY 40272

TAX MAP NUMBER:

BLOCK 1041

PARCEL NUMBER:

135

SOURCE OF TITLE:

DEED BOOK 6639
PAGE 793

DWG BY:

CJS

CHKD. BY:

JH

DATE:

5/29/98

PROJECT NUMBER:

7-4312-1000-0003

SHEET 1 OF 2

REVISIONS:

MINOR MARKUPS - 4/20

C1

CL
2

(A) DIXIE DEVP. CORP.
4400 PARALEE DR.
LOUISVILLE, KY 40272
D.B. 6639 PG. 793
LOT 135 BLOCK 1041
ZONING R-4

(B) TONY & ELIZABETH CLIFFORD
8101 DIXIE HWY.
LOUISVILLE, KY 40272
D.B. 5522 PG. 441
LOT 108 BLOCK 1041
ZONING R-4

(C) MACK DICKERSON
13 DIXIE HWY.
LOUISVILLE, KY 40272
D.B. 5646 PG. 759
LOT 134 BLOCK 1041
ZONING R-4



PENN CENTER WEST III - SUITE 229
PITTSBURGH
PENNSYLVANIA, 115278
OFFICE: (412) 788-0908
FAX: (412) 788-0908

OGDEN



ENVIRONMENTAL AND ENERGY SERVICES

11003 BLUEGRASS PARKWAY #690
LOUISVILLE, KY 40299
OFFICE: (502) 267-0700
FAX: (502) 267-5800

ECHO NUMBER:

239KY-60

SITE NAME:

SOUTH PARKLAND

SITE ADDRESS:

4400 PARALEE DR.
LOUISVILLE, KY 40272

AREA:

LEASE AREA =
9991.77 S.F.
0.229 Ac.

PROPERTY OWNER:

DIXIE DEVP. CORP.
4400 PARALEE DR.
LOUISVILLE, KY 40272

TAX MAP NUMBER:

BLOCK 1041

PARCEL NUMBER:

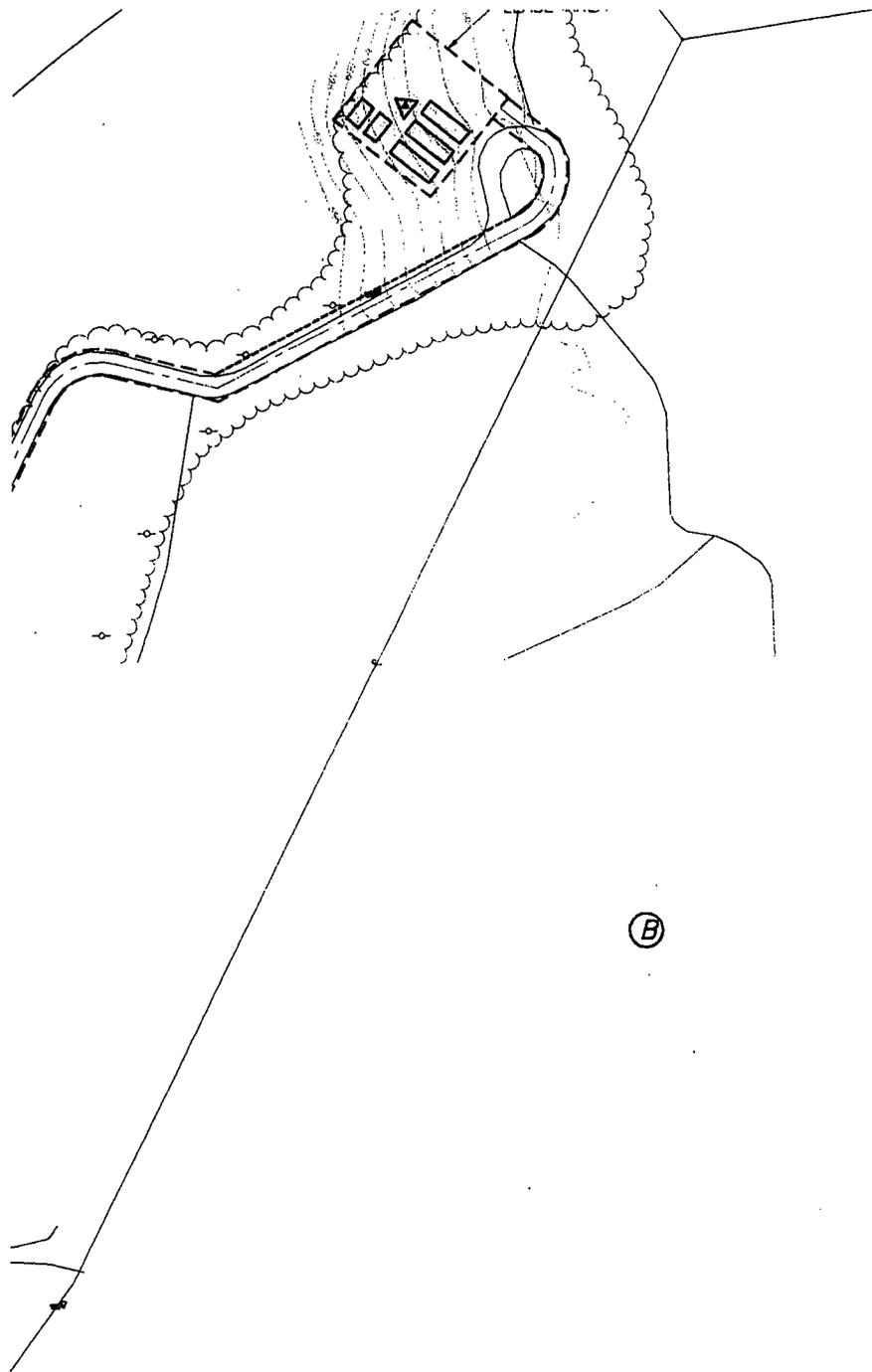
135

SOURCE OF TITLE:

DEED BOOK 6639
PAGE 793

DWG BY:

CJS



VICINITY AREA MAP



GRAPHIC SCALE



(IN FEET)
1 inch = 100 ft.

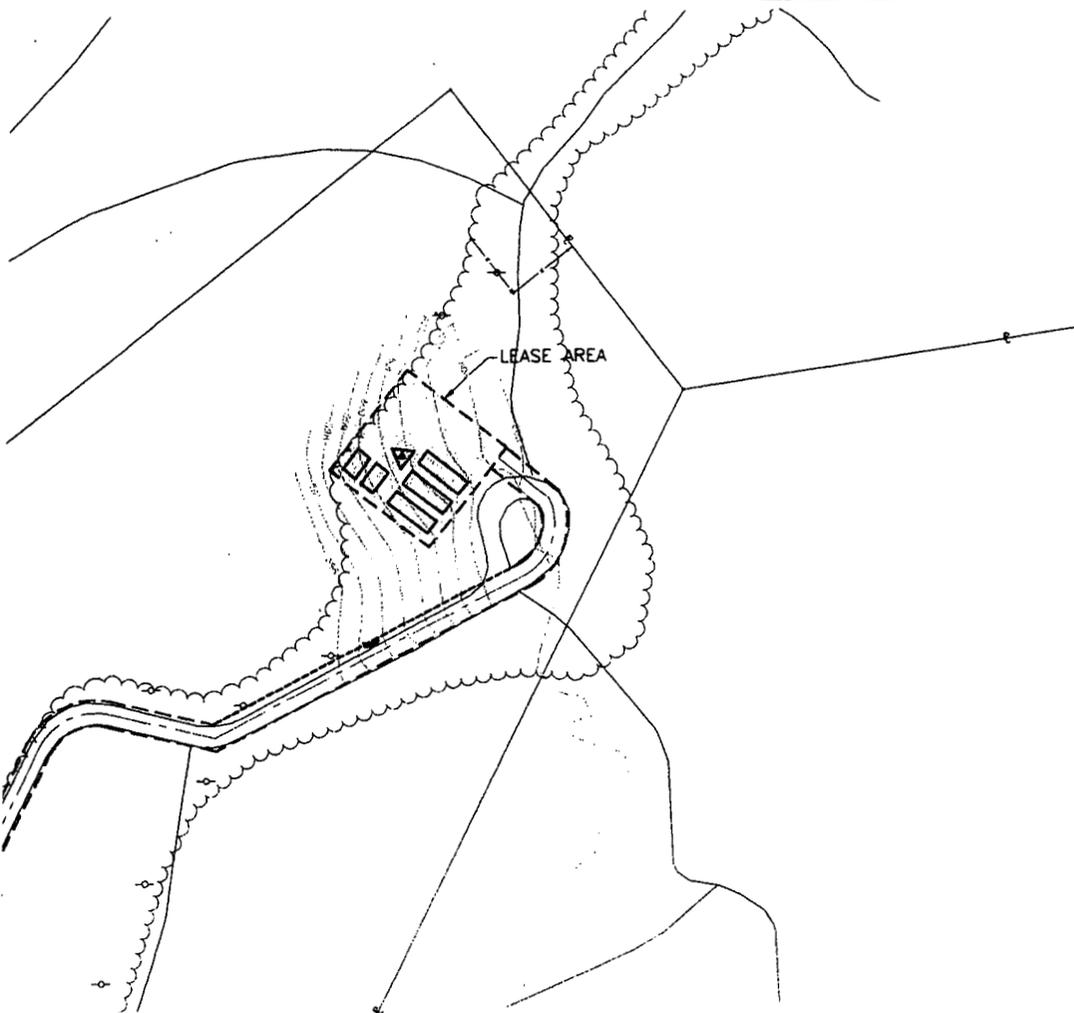
SHEET 1		SHEET 2	
	VICINITY & 500' STRUCTURAL MAP		LEASE AREA
	ABUTTING PROPERTY OWNERS		500' RADIUS
	VICINITY MAP		LEGAL DESCRIPTION
			ACCESS EASEMENT

 2

(A) DIXIE DEVP. CORP.
4400 PARALEE DR.
LOUISVILLE, KY 40
D.B. 6639 PG. 793
LOT 135 BLOCK 10
ZONING R-4

(B) TONY & ELIZABETH
8101 DIXIE HWY.
LOUISVILLE, KY 40
D.B. 5522 PG. 44
LOT 108 BLOCK 10
ZONING R-4

(C) MACK DICKERSON
13 DIXIE HWY.
LOUISVILLE, KY 40
D.B. 5646 PG. 75
LOT 134 BLOCK 10
ZONING R-4



(B)

©

Ⓐ

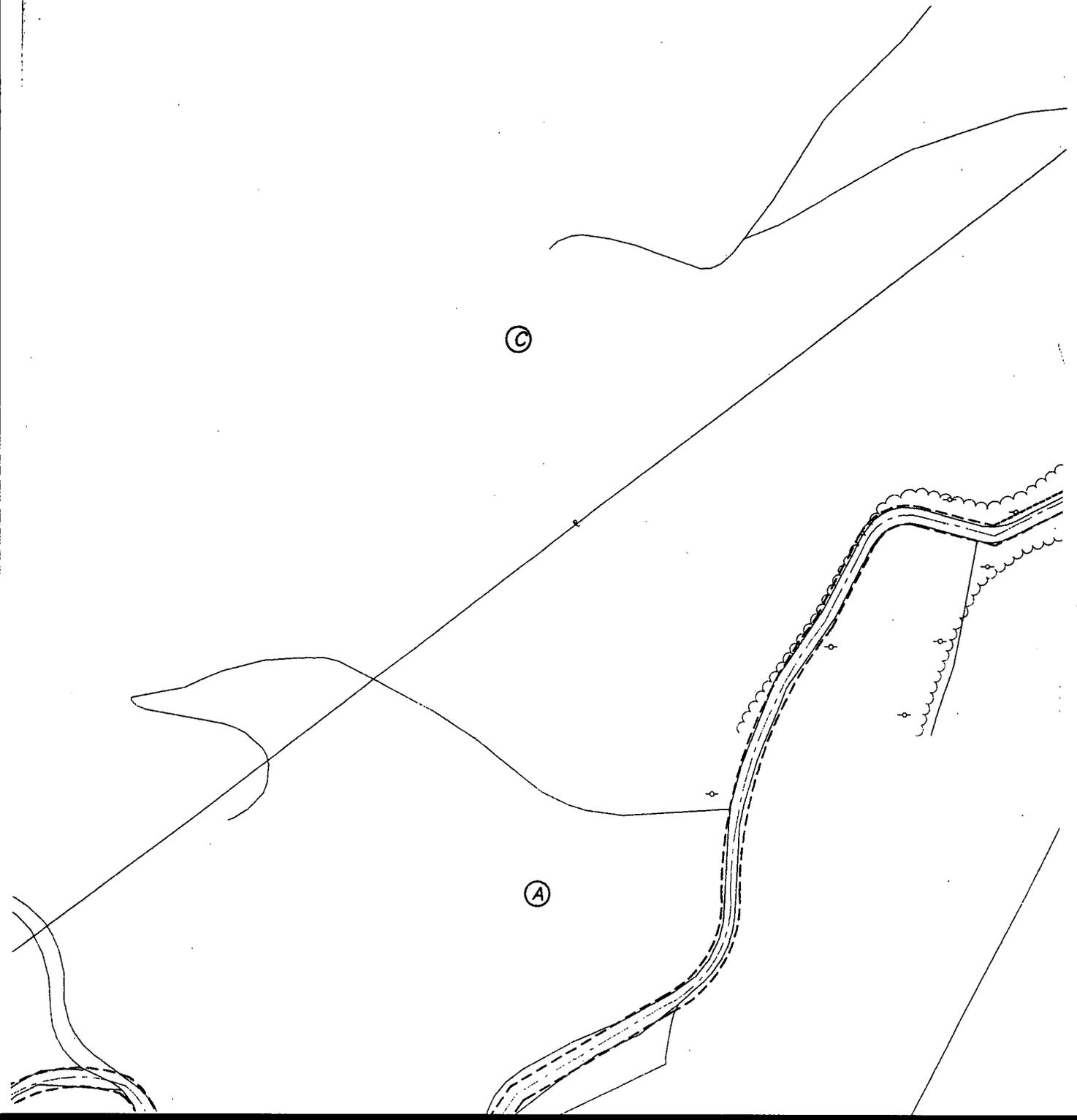
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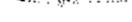
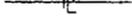
6'06"

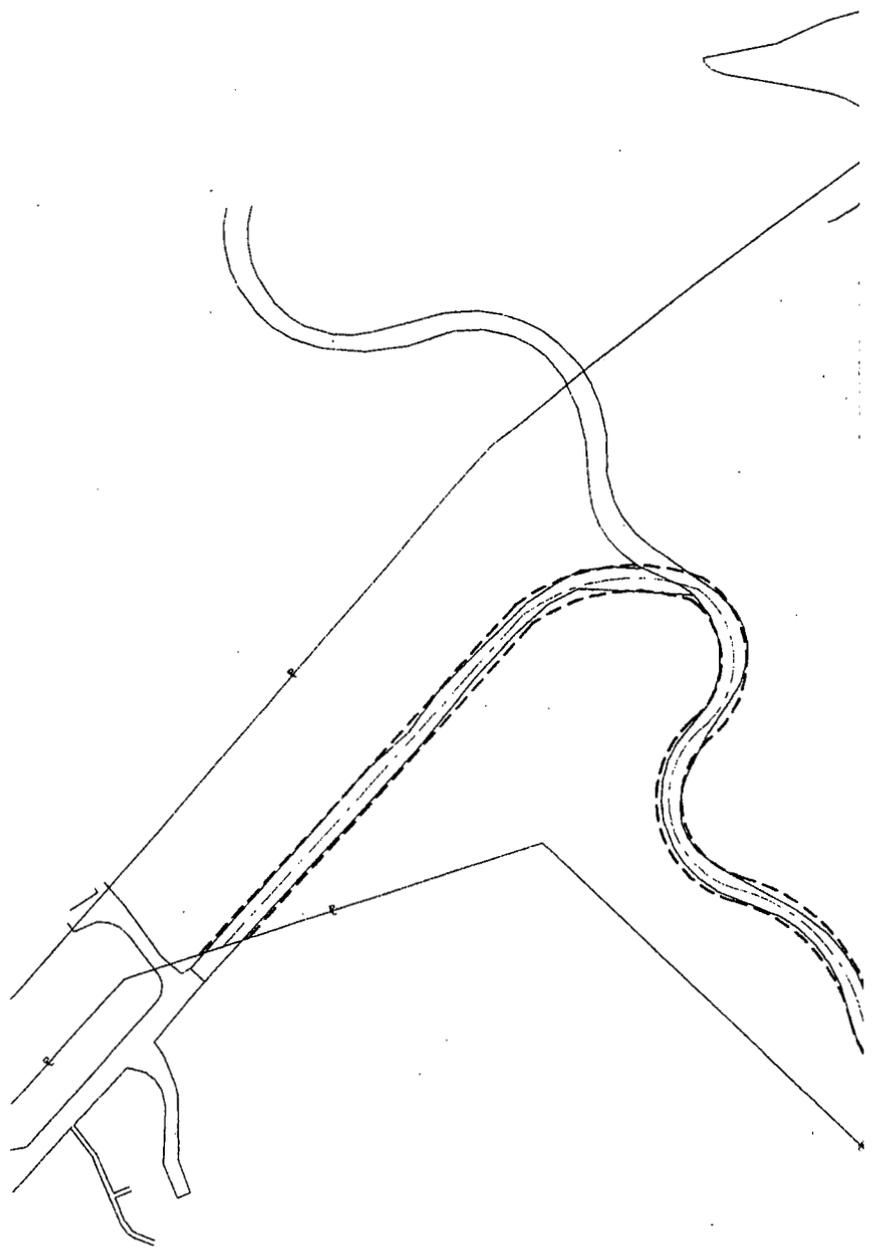
(C)

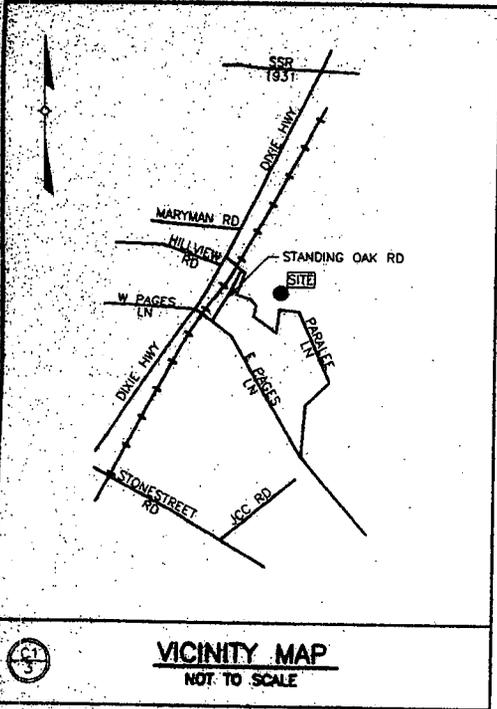
(A)



LEGEND:

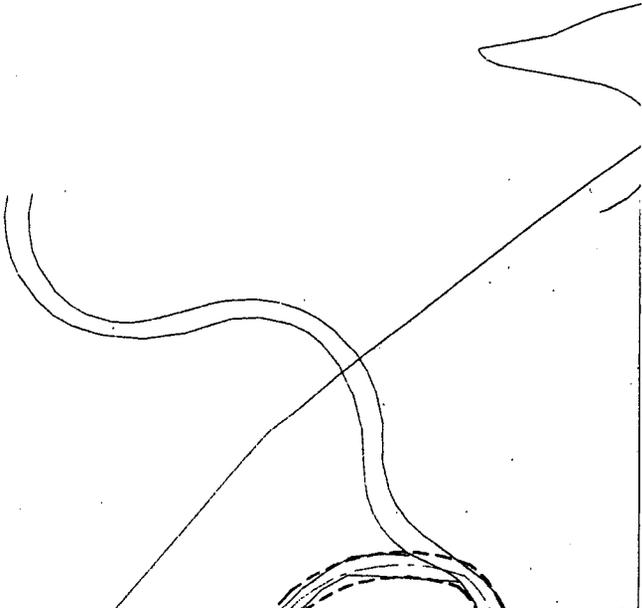
-  - EX. POWER POLE
-  - PROPOSED TOWER
-  - TRAVERSE LOCATION
-  - EX. TREE
-  - EX. TREE LINE
-  - EX. CREEK/DITCH
-  - EX. FENCE
-  - EX. CONTOUR LINE (1' INTERVAL)
-  - PROPERTY LINE
-  - LEASE AREA





MAGNETIC NORTH
DECLINATION: -3°06'06"

MAGNETIC NORTH



500' RADIUS
SCALE : 1" = 150'

LOUISVILLE, KY 40299
OFFICE: (502) 267-0700
FAX: (502) 267-5900

COORDINATE POINT LOCATION

NAD 83
AT. 38°07'46"
LONG. 85°50'27"
NAVD 88
ELEV. 601.72 AMSL
STATE PLANE COORDINATE
NORTHING 71079.0105
EASTING 360536.9398

ECHO NUMBER:

239KY-60

SITE NAME:

SOUTH PARKLAND

SITE ADDRESS:

4400 PARALEE DR.
LOUISVILLE, KY 40272

AREA:

LEASE AREA =
9991.77 S.F.
0.229 Ac.

PROPERTY OWNER:

DIXIE DEVP. CORP.
4400 PARALEE DR.
LOUISVILLE, KY 40272

TAX MAP NUMBER:

BLOCK 1041

PARCEL NUMBER:

135

SOURCE OF TITLE:

DEED BOOK 6639
PAGE 793

DWG BY:

CJS

CHKD. BY:

JH

DATE:

5/29/98

PROJECT NUMBER:

7-4312-100-0003

SHEET 2 OF 2

REVISIONS:

MINOR MARKUPS - 4/20

A

NAD 83
88

ARE AS FOLLOWS:

501.72 FEET (MSL)

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NOTES

AND FUTURE STRUCTURES ARE

THEY ARE PARALLEL TO THE

FORMED BY ME
TRAVERSE, AND
SCALES 1 : 5000,
RESERVATION



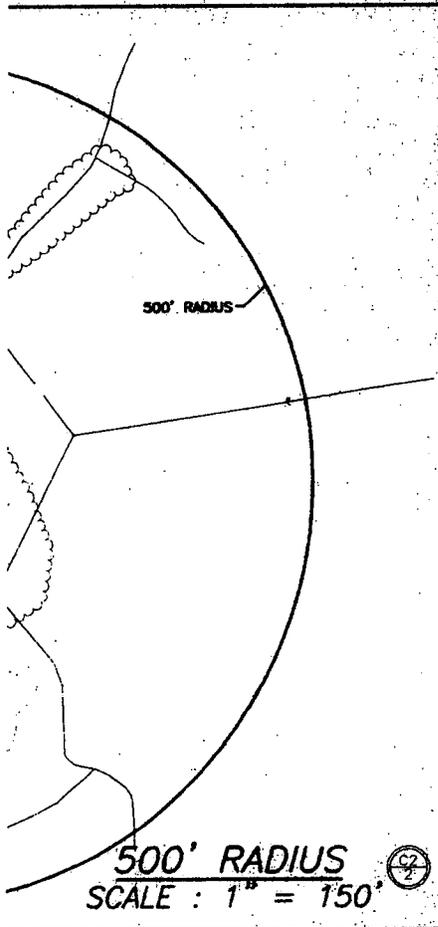
5-29-98

EXHIBIT C"

DATE: _____

DATE: _____

C2



PENN CENTER WEST III - SUITE 229
 PITTSBURGH
 PENNSYLVANIA, 115276
 OFFICE: (412) 788-0906
 FAX: (412) 788-0908

OGDEN



ENVIRONMENTAL AND ENERGY SERVICES

11003 BLUEGRASS PARKWAY #690
 LOUISVILLE, KY 40289
 OFFICE: (502) 267-0700
 FAX: (502) 267-5800

500' RADIUS
 SCALE : 1" = 150'

COORDINATE POINT LOCATION

AD 83
 T. 38°07'46"
 SNG. 85°50'27"
 NVD 88
 EY. 601.72 AMSL
 STATE PLANE COORDINATE
 ORTHING 71079.0105
 EASTING 360538.9398

ECHO NUMBER:

239KY-60

SITE NAME:

SOUTH PARKLAND

SITE ADDRESS:

4400 PARALEE DR.
 LOUISVILLE, KY 40272

AREA:

LEASE AREA =
 9991.77 S.F.
 0.229 Ac.

PROPERTY OWNER:

DIXIE DEVP. CORP.
 4400 PARALEE DR.
 LOUISVILLE, KY 40272

TAX MAP NUMBER:

BLOCK 1041

PARCEL NUMBER:

135

SOURCE OF TITLE:

DEED BOOK 6639
 PAGE 793

DWG BY:

CJS

CHKD. BY:

JH

A

NAD 83
 88

RE AS FOLLOWS:

01.72 FEET (MSL)

UES
 PAL

TES

500' RADII
SCALE : 1" =

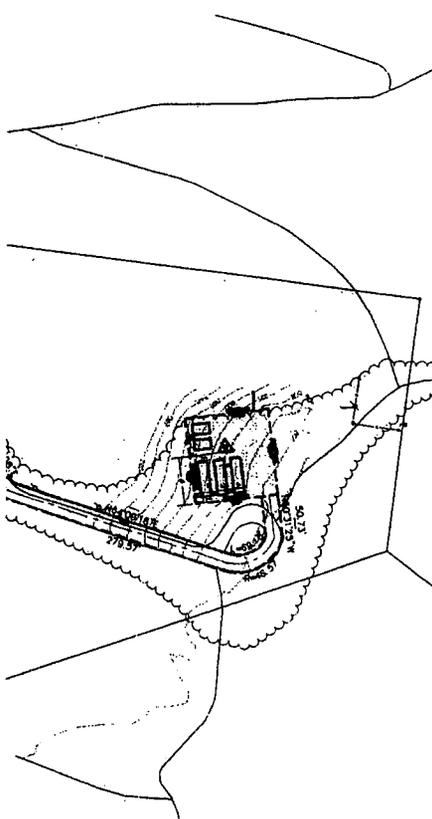
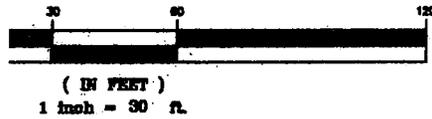
UNDERGROUND UTILITIES
CALL 2 DAYS
BEFORE YOU DIG
INDIANA 1-800-382-5544
KENTUCKY 1-800-752-6007

COORDINATE POINT LOC

NAD 83
LAT. 38°07'46"
LONG. 85°50'27"
NAVD 88
ELEV. 601.72 AMSL
STATE PLANE COORDINATE
NORTHING 71079.0105
EASTING 360536.9398

EASE AREA

GRAPHIC SCALE



F.A.A. "2-C" STATEMENT

GEOGRAPHIC POSITION AND ELEVATION WERE ESTABLISHED FROM A G.P.S. OBSERVATION ON 1/6/98.

THE BASE STATION USED IS DESCRIBED AS FOLLOWS:
KENTUCKY H.A.R.N. NETWORK STATION "HZ2638".

HORIZONTAL VALUES ARE BASED UPON THE FOLLOWING DATUM: NAD 83
VERTICAL VALUES ARE BASED ON THE FOLLOWING DATUM: NAVD 88

GEOGRAPHIC COORDINATES OF THE PROPOSED TOWER CENTER ARE AS FOLLOWS:

LATITUDE: 38°07'46" LONGITUDE: 85°50'27"

GROUND ELEVATION AT THE PROPOSED STRUCTURE CENTER IS 601.72 FEET (MSL)

THE ACCURACY OF THE STATED "PROPOSED TOWER CENTER" VALUES MEET OR EXCEED "2-C" ACCURACY AS REQUIRED BY THE FEDERAL AVIATION ADMINISTRATION (HORIZONTAL ACCURACY +/- 50 FEET, VERTICAL ACCURACY +/- 20 FEET).

SURVEYORS NOTES

SOURCE OF BEARING IS A G.P.S. OBSERVATION ON 1/6/98.

EXISTING CONTOURS ARE AT ONE FOOT INTERVALS.

DISTANCES SHOWN WITHIN THE LEASE AREA TO PROPOSED AND FUTURE STRUCTURES ARE MEASURED FROM PROPOSED FENCE LINES.

PROPOSED AND FUTURE STRUCTURES WITHIN THE LEASE AREA ARE PARALLEL TO THE NORTHEASTERN LEASE LINE.

I DO HEREBY CERTIFY THAT THE SURVEY SHOWN WAS PERFORMED BY ME OR UNDER MY SUPERVISION BY THE METHOD OF RANDOM TRAVERSE, AND THE UNADJUSTED MATHEMATICAL ERROR OF CLOSURE EXCEEDS 1 : 5000, AND THE BASIS OF BEARINGS SHOWN IS FROM A G.P.S. OBSERVATION ON 1/6/1998.

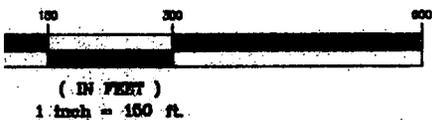
SIGNED: *James J. Cosen*

DATE: 5-29-98



SS EASEMENT

GRAPHIC SCALE

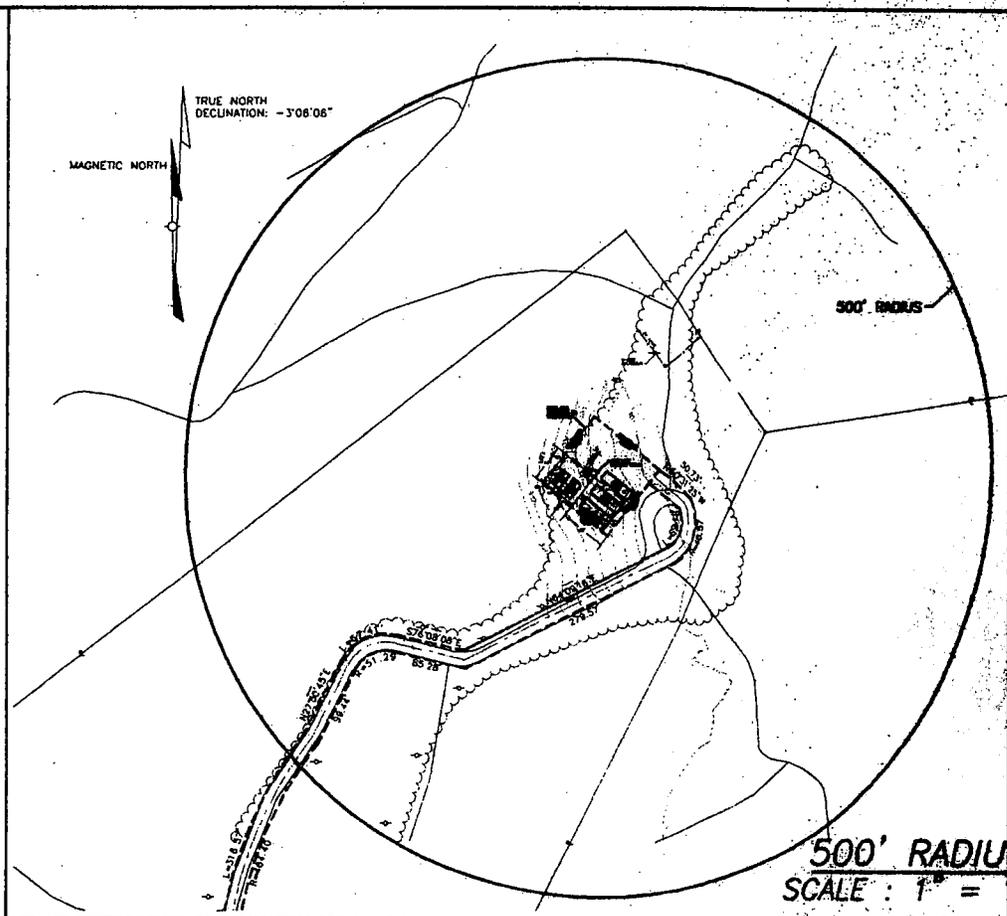


AS REFERENCED AS "EXHIBIT C"

OWNER APPROVAL: _____ DATE: _____

CROWN APPROVAL: _____ DATE: _____

JS

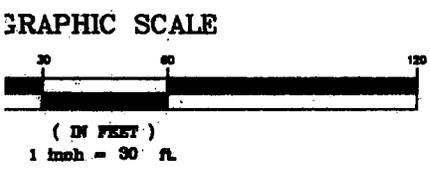


500' RADIUS
SCALE: 1" =

UNDERGROUND UTILITIES
CALL 2 DAYS
BEFORE YOU DIG
INDIANA 1-800-382-5544
KENTUCKY 1-800-752-6007

△ COORDINATE POINT LOCAL
 NAD 83
 LAT. 38°07'46"
 LONG. 85°50'27"
 NAVD 88
 ELEV. 601.72 AMSL
 STATE PLANE COORDINATE
 NORTHING 71079.0105
 EASTING 360536.9398

LEASE AREA (C2)



F.A.A. "2-C" STATEMENT

GEOGRAPHIC POSITION AND ELEVATION WERE ESTABLISHED FROM A G.P.S. OBSERVATION ON 1/6/98.

THE BASE STATION USED IS DESCRIBED AS FOLLOWS:
 KENTUCKY H.A.R.N. NETWORK STATION "H22638".

HORIZONTAL VALUES ARE BASED UPON THE FOLLOWING DATUM: NAD 83
 VERTICAL VALUES ARE BASED ON THE FOLLOWING DATUM: NAVD 88

GEOGRAPHIC COORDINATES OF THE PROPOSED TOWER CENTER ARE AS FOLLOWS:

LATITUDE: 38°07'46" LONGITUDE: 85°50'27"

GROUND ELEVATION AT THE PROPOSED STRUCTURE CENTER IS 601.72 FEET (MSL)

THE ACCURACY OF THE STATED "PROPOSED TOWER CENTER" VALUES MEET OR EXCEED "2-C" ACCURACY AS REQUIRED BY THE FEDERAL AVIATION ADMINISTRATION (HORIZONTAL ACCURACY +/- 50 FEET, VERTICAL ACCURACY +/- 20 FEET).

SURVEYORS NOTES

SOURCE OF BEARING IS A G.P.S. OBSERVATION ON 1/6/98.



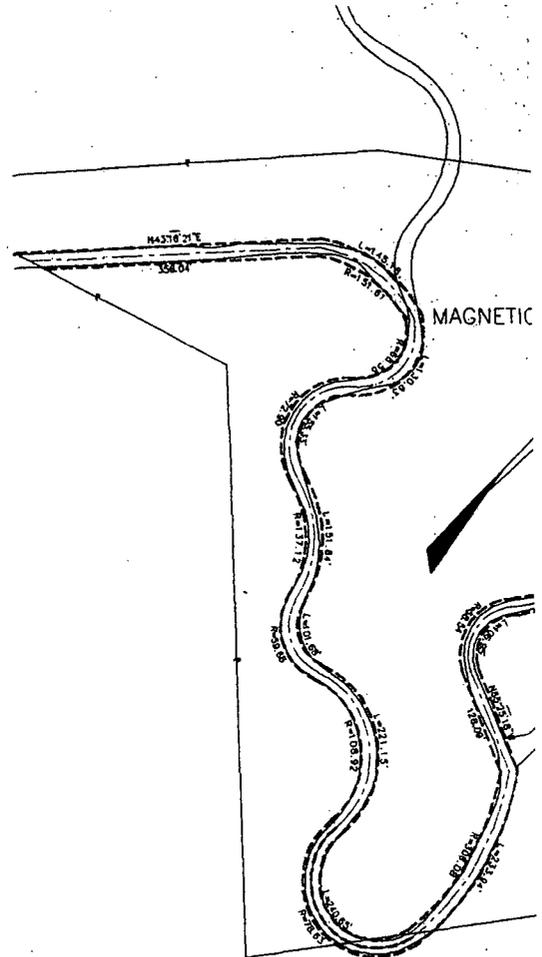
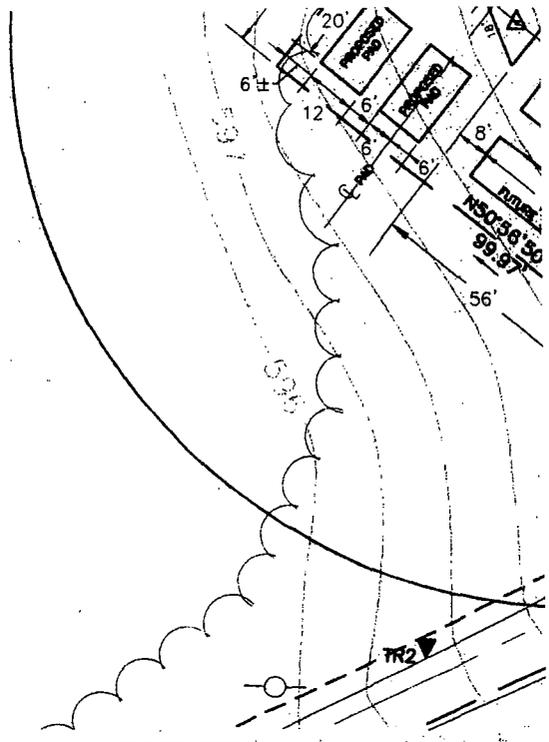
LEGAL DESCRIPTION

ACCESS EASEMENT

BEGINNING AT THE CENTERLINE OF ACCESS ROAD WHICH BEGINS AT THE SOUTHEAST END OF THE PARENT TRACT AS FOLLOWS: THENCE, NORTH 43°16'21" EAST, A DISTANCE OF 356.04 FEET; THENCE, A DISTANCE OF 145.18 FEET ALONG A 151.61 FOOT RADIUS; THENCE A DISTANCE OF 130.63 FEET ALONG A 68.55 FOOT RADIUS; THENCE A DISTANCE OF 155.33 FEET ALONG A 72.90 FOOT RADIUS; THENCE A DISTANCE OF 151.84 FEET ALONG A 137.12 FOOT RADIUS; THENCE A DISTANCE OF 101.68 FEET ALONG A 59.68 FOOT RADIUS; THENCE A DISTANCE OF 221.15 ALONG A 108.92 FOOT RADIUS; THENCE, A DISTANCE OF 240.65 FEET ALONG A 78.63 FOOT RADIUS; THENCE, A DISTANCE OF 233.94 FEET ALONG A 306.08 FOOT RADIUS; THENCE, NORTH 65°25'18" WEST, A DISTANCE OF 128.09 FEET; THENCE, A DISTANCE OF 106.95 FEET ALONG A 58.54 FOOT RADIUS; THENCE, NORTH 35°20'39" EAST, A DISTANCE OF 187.56 FEET; THENCE NORTH 60°18'25" EAST, A DISTANCE OF 189.28 FEET; THENCE A DISTANCE OF 150.21 FEET ALONG A 123.41 FOOT RADIUS; THENCE A DISTANCE OF 316.57 FEET ALONG A 464.40 FOOT RADIUS; THENCE NORTH 27°50'45" EAST, A DISTANCE OF 99.44 FEET; THENCE A DISTANCE OF 67.41 FEET ALONG A 51.29 FOOT RADIUS; THENCE SOUTH 76°08'08" EAST, A DISTANCE OF 85.28 FEET; THENCE NORTH 64°09'16" EAST, A DISTANCE OF 279.57 FEET; THENCE A DISTANCE OF 69.18 FEET ALONG A 46.57 FOOT RADIUS; THENCE NORTH 50°31'25" WEST, A DISTANCE OF 50.73 FEET TO THE END OF THE ENTERLINE AT THE EAST SIDE OF THE LEASE AREA.

LEASE AREA

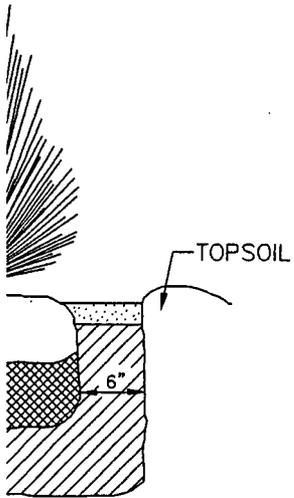
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-COMPACTED SUBSOIL BASE

TREE
PLANTING DETAIL

1' HT. OF TREE +2'



1' SOIL—3 PARTS TOPSOIL
1 PART PEATMOSS BY VOLUME

PLANTING DETAIL

3E TREES AND SHRUBS;
1E BE GROUND COVER OR

MIN. VEGETATION.
MAX. MULCH.

ES 50 SF. EACH= 900 SF.
C. 25 SF. EACH = 900 SF.

) 1800 SF.
1000 SF.

ES AT .5 UNITS EACH = 9 UNITS
= 3.45 UNITS

AC&P PROJECT NUMBER: 39825-24

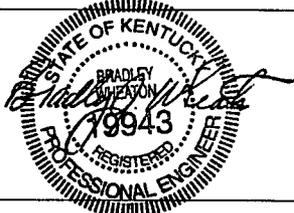
DRAWN BY: A. TAYLOR

APPROVED BY: D. DALLMAN

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NO.	DATE	REVISION

ECHO 239KY-264
SOUTH PARKLAND

4400 PARALEE DR.
LOUISVILLE, KY 40272
JEFFERSON COUNTY



SITE PLAN AND
LANDSCAPING

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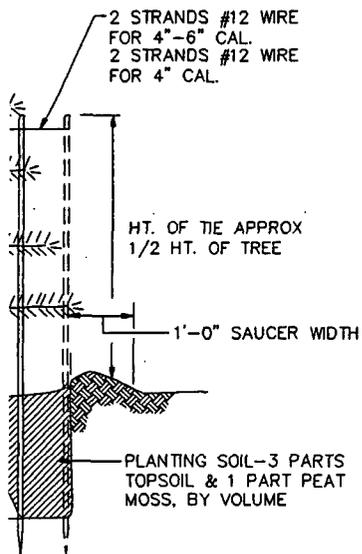
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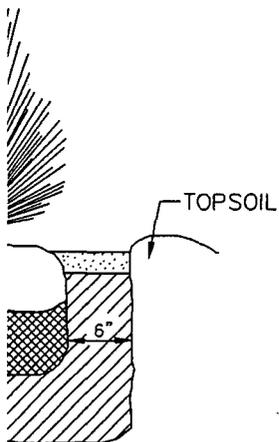
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COMPACTED SUBSOIL BASE

**TREE
PLANTING DETAIL**

HT. OF TREE +2'



SOIL-3 PARTS TOPSOIL
1 PART PEAT MOSS BY VOLUME

PLANTING DETAIL



PENN CENTER WEST III - SUITE 229
PITTSBURGH
PENNSYLVANIA, 15276

OFFICE: (412) 788-0906
FAX: (412) 788-0908

**ARMOUR
CAPE & POND**

6800 VERSAR CENTER, SUITE 234
SPRINGFIELD, VA. 22151-4177
(703) 642-5160
FAX (703) 642-0041

AC&P PROJECT NUMBER: 39825-24

DRAWN BY: A. TAYLOR

APPROVED BY: D. DALLMAN

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NO.	DATE	REVISION

**ECHO 239KY-264
SOUTH PARKLAND**

4400 PARALEE DR.
LOUISVILLE, KY 40272
JEFFERSON COUNTY

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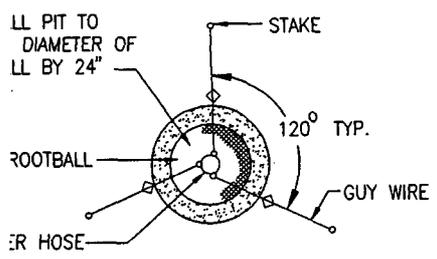
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SECTION

EVERGREEN TREE
PLANTING & STAKING DETAIL

NO SCALE

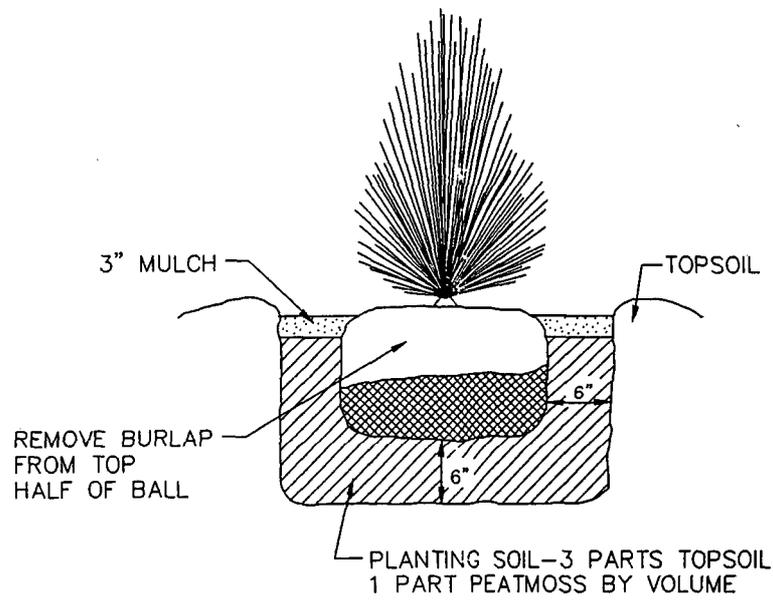
5' HT. - USE 2 STAKES, 1/2 HT. OF TREE + 2'



PLAN

DECIDUOUS TREE
PLANTING & STAKING DETAIL

NO SCALE



TYPICAL SHRUB PLANTING DETAIL

NO SCALE

LOCATION OF ALL PLANT

PLANT SHALL BE ACCLIMATED FOR TWO (2) WEEKS

BE REPLACED WITH MATERIAL OF THE SAME SPECIES,

SEE "LATEST STOCK", LATEST EDITION, REPRESENT GUIDELINE REQUIREMENTS FOR PLANT MATERIAL.

BE COMPLETED PRIOR TO THE RECORDING OF THE CERTIFICATE OF OCCUPANCY FOR THAT PHASE, PHASE.

BEFORE GRADING.

STANDARDS WHERE SPARSELY VEGETATED OR WHERE SUBJECT TO COUNTY ARBORIST APPROVAL.

RES

3.45 UNITS

F.

100 S.F.

$$15' \times 100' = 1,500 \text{ SF.}$$

$$15' \times 100' = 1,500 \text{ SF.}$$

$$3,000 \text{ SF.}$$

60% MINIMUM COVERAGE OF AREA TO BE TREES AND SHRUBS;
40% MAXIMUM COVERAGE OF AREA TO BE GROUND COVER OR MULCH.
1,500 S.F. X 0.60 = 900 S.F. TOTAL MIN. VEGETATION.
1,500 S.F. X 0.40 = 600 S.F. TOTAL MAX. MULCH.

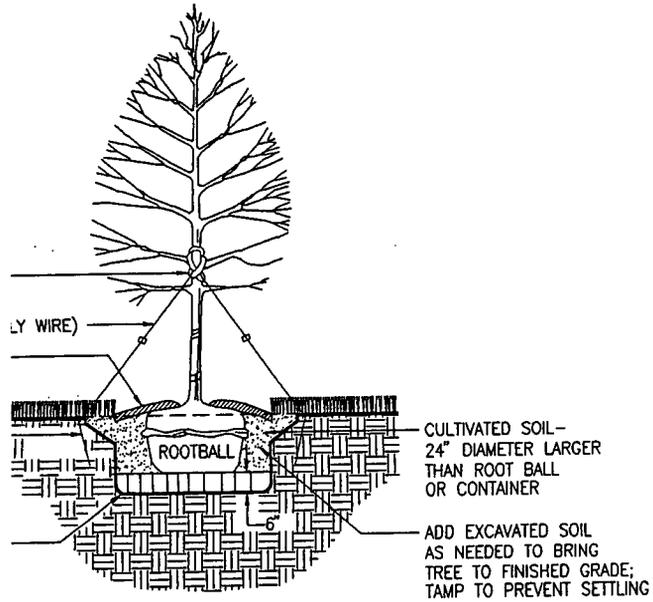
PLANT MATERIALS TO BE USED:

- 18- 5 GALLON DWARF BURFORD HOLLIES 50 SF. EACH= 900 S.F.
- 36 NICKS COMPACTA JUNIPER @ 5' O.C. 25 SF. EACH = 900 S.F.
- 4 RED MAPLE DECIDUOUS

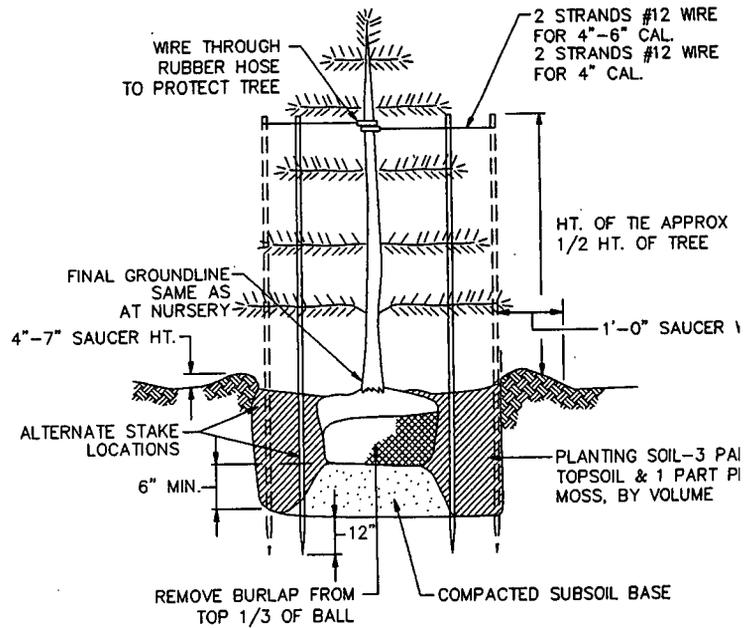
TOTALS COVERAGE (TREES AND SHRUBS) 1800 SF.
TOTAL COVERAGE (GROUNDING/MULCH) 1000 SF.

TREES USED IN LANDSCAPE STRIP=
18- 5 GALLON DWARF BURFORD HOLLIES AT .5 UNITS EACH = 9 UNITS
REQUIREMENT FOR TREE REPLACEMENT = 3.45 UNITS

APRIATE BY ZONING APPROVAL ENTITIES

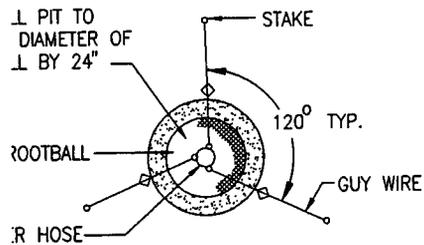


SECTION



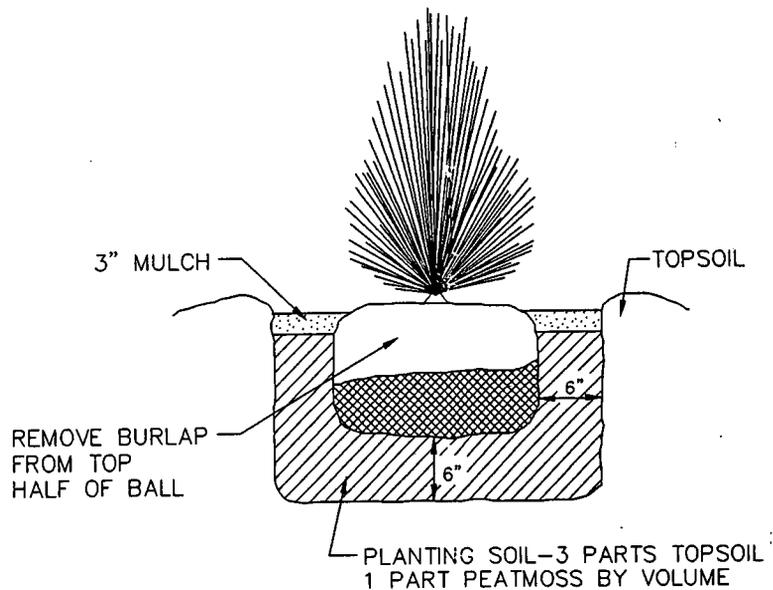
EVERGREEN TREE
PLANTING & STAKING DETAIL

NO SCALE
5' HT. - USE 2 STAKES, 1/2 HT. OF TREE + 2'



PLAN

DECIDUOUS TREE
PLANTING & STAKING DETAIL
NO SCALE



TYPICAL SHRUB PLANTING DETAIL

NO SCALE

LOCATION OF ALL PLANT

PLANT SHALL BE ACCLIMATED FOR TWO (2) WEEKS

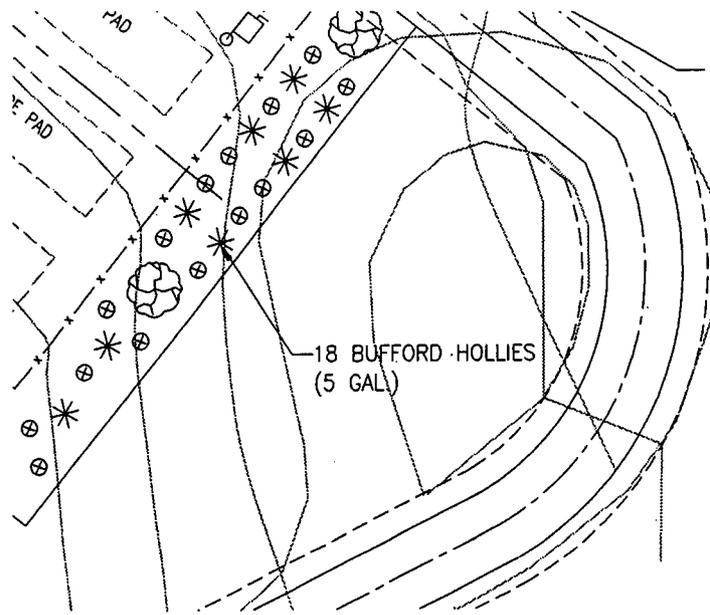
PLANTS (PRIOR TO TOTAL ACCEPTANCE OF THE PROJECT) SHALL BE PLACED WITH MATERIAL OF THE SAME SPECIES,

PLANT STOCK, LATEST EDITION, REPRESENT GUIDELINE REQUIREMENTS FOR PLANT MATERIAL.

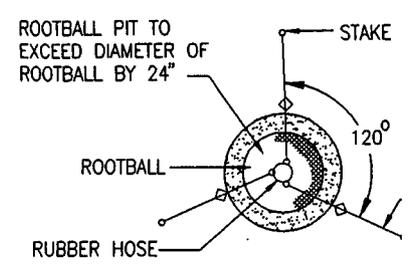
WORK SHALL BE COMPLETED PRIOR TO THE RECORDING OF

15' X 100' = 1,500 SF.

15' X 100' = 1,500 SF.



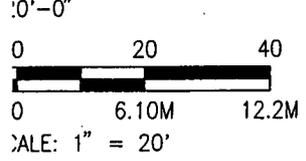
SECTION



PLAN

DECIDUOUS TREE
PLANTING & STAKING DE
NO SCALE

PLAN AND LANDSCAPING



AND DISEASE.
AS SPECIFIED.
REQUIREMENTS SPECIFIED.
REPRESENTATIVE BEFORE,

SPECIFIED.
FOR LOCATING ALL
DURING COURSE OF THE WORK.
ILITIES,
OF THE LANDSCAPE CONSTRUCTION.
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NG (INCLUDING, BUT
OF PLANTING AREAS AND LAWNS
NTATIVE.
UDING WATERING) THROUGHOUT THE

FOR A PERIOD OF ONE
ACTOR SHALL PROMPTLY
E PERIOD.

12. THE ENGINEER'S REPRESENTATIVE WILL APPROVE THE STAKED LOCATION OF ALL PLANT MATERIAL PRIOR TO INSTALLATION.
13. AFTER BEING DUG AT THE NURSERY SOURCE, ALL TREES IN LEAF SHALL BE ACCLIMATED FOR UNDER A MIST SYSTEM PRIOR TO INSTALLATION.
14. ANY PLANT MATERIAL THAT DIES, TURNS BROWN OR DEFOLIATES (PRIOR TO TOTAL ACCEPTANCE WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE QUANTITY, SIZE AND MEETING ALL SPECIFICATIONS.
15. STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK", LATEST EDITION, REPE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MA
16. ALL LANDSCAPING FOR EACH PHASE OF DEVELOPMENT SHALL BE COMPLETED PRIOR TO THE F THE FINAL PLAT FOR THAT PHASE, PRIOR TO THE ISSUANCE OF CERTIFICATE OF OCCUPANCY I OR PRIOR TO CONNECTION OF PERMANENT POWER FOR THAT PHASE.
17. ALL TREE PROTECTION MEASURES SHALL BE INSTALLED PRIOR TO GRADING.
18. UNDISTURBED BUFFERS SHALL BE REPLANTED TO BUFFER STANDARDS WHERE SPARSELY VEGE DISTURBED AT APPROVED UTILITY CROSSINGS. REPLANTING IS SUBJECT TO COUNTY ARBORIST
19. PRESERVE EXISTING TREE MASSES WHERE APPLICABLE

TOTAL AREA OF SITE: 100' X 100' = 10,000 S.F. = 0.23 ACRES
REQUIREMENTS:
TREE REPLACEMENT REQUIREMENTS:
15 UNITS PER ACRE
TOTAL UNITS REQUIRED FOR 0.23 ACRES - 3.45 UNITS

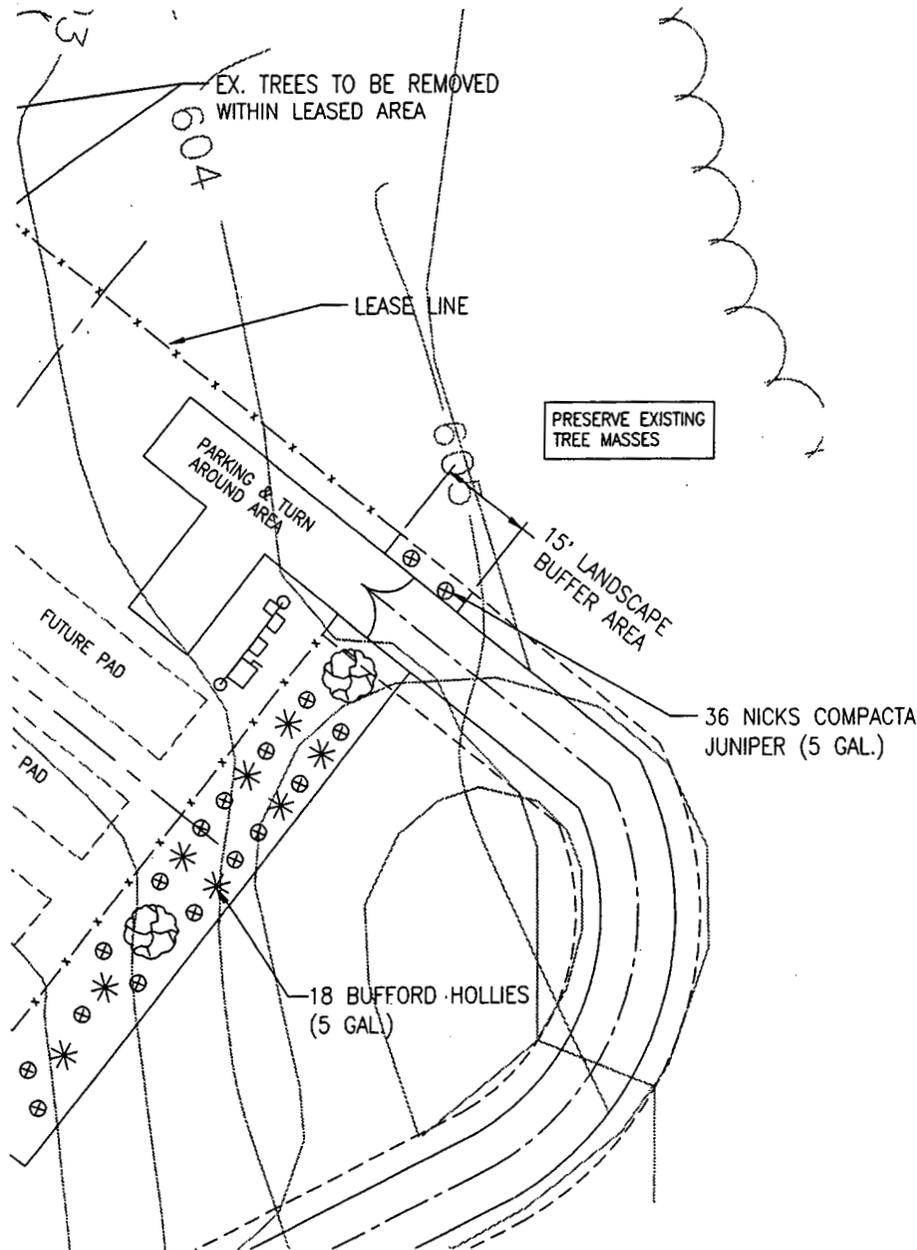
SIZE/REMARKS
6'-8' TREE 1 1/2" TO 2" CAL.
5 GAL. 3'-4' TALL 1" - 1 1/2" CAL.
18"-24" HT., 5 GAL, 4" MIN. HT. AT PLANTING FULL, HEALTHY

LANDSCAPE STRIP REQUIREMENTS:
TOTAL LENGTH OF LANDSCAPE STRIP = 200 LF.
LANDSCAPE STRIP OF 25' WIDE OR LESS -
MINIMUM ONE TREE FOR EVERY 50 LF.

100 LF. DIVIDED BY 50' = 4 TREES,
4 TREES TOTAL REQUIRED

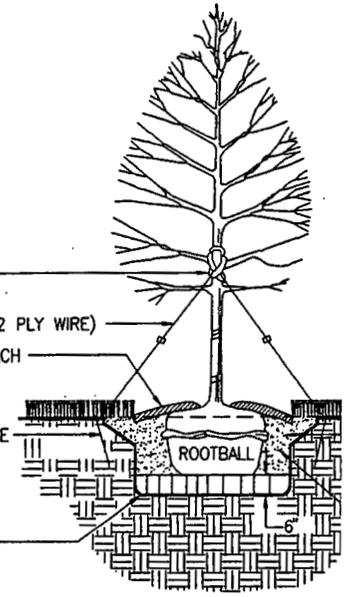
TOTAL AREA OF LANDSCAPE STRIP: 3,000 S.F.

NOTE - PROPOSED LANDSCAPE ONLY IF DEEMED APPROPRIATE BY ZON



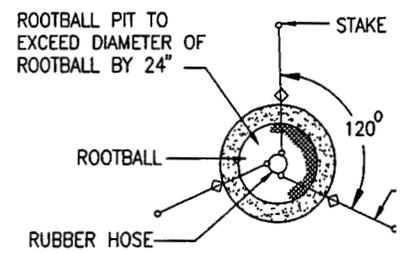
SET TREE PLUMB
PRIOR TO STAKING

RUBBER HOSE
(2 PLY GREEN)
GUY WIRE
(DOUBLE STRAND, 2 PLY WIRE)
3" PINESTRAW MULCH
#4 REBAR STAKE
36" LENGTH,
DRIVE BELOW GRADE



SCARIFY BASE
OF PLANT PIT

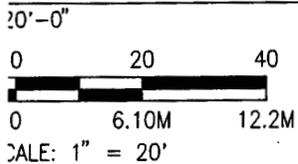
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PLAN

DECIDUOUS TREE
PLANTING & STAKING DE
NO SCALE

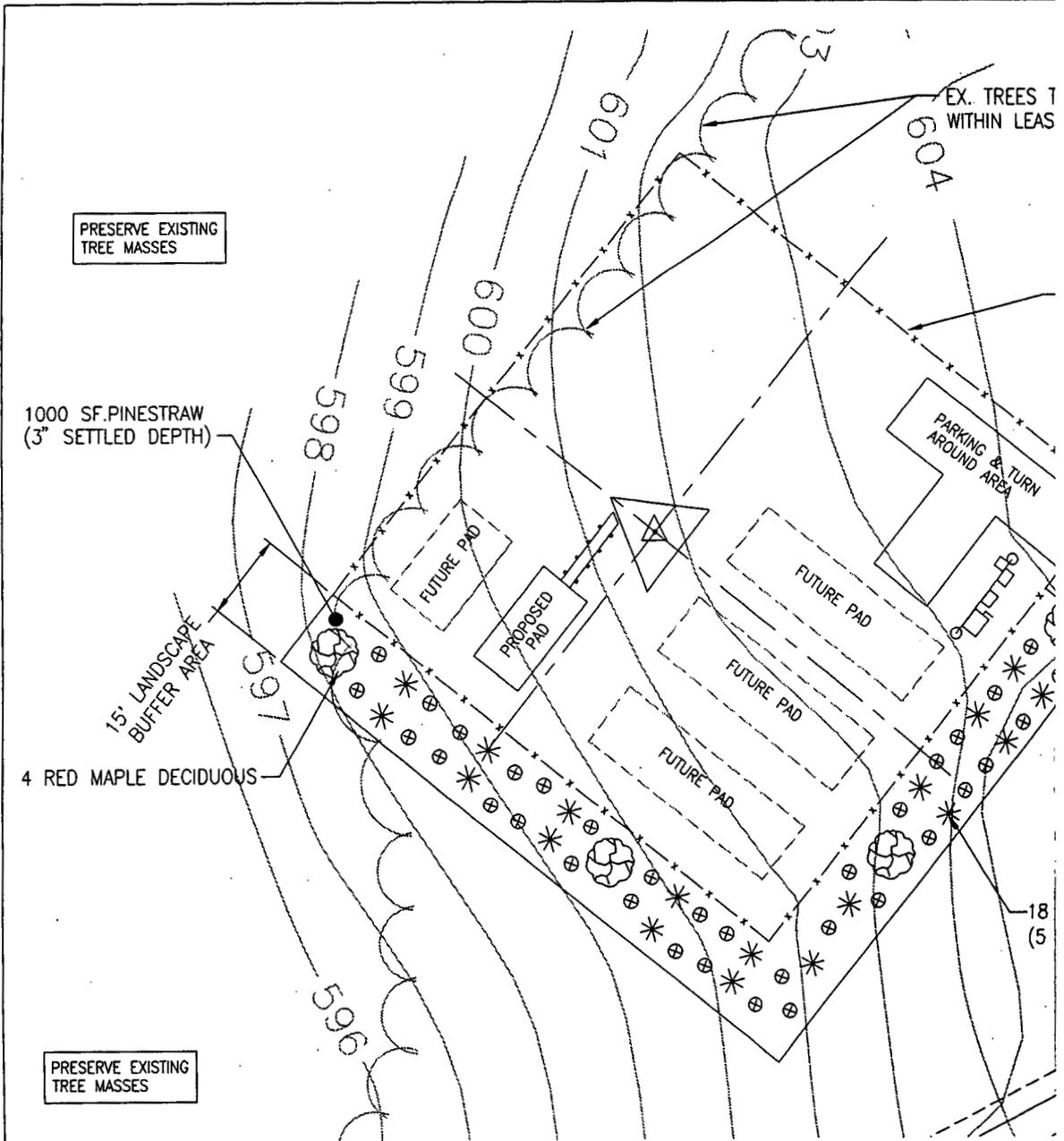
LAN AND LANDSCAPING



AND DISEASE.
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DURING COURSE OF THE WORK.
ILITIES,

12. THE ENGINEER'S REPRESENTATIVE WILL APPROVE THE STAKED LOCATION OF ALL PLANT MATERIAL PRIOR TO INSTALLATION.
13. AFTER BEING DUG AT THE NURSERY SOURCE, ALL TREES IN LEAF SHALL BE ACCLIMATED FOR UNDER A MIST SYSTEM PRIOR TO INSTALLATION.
14. ANY PLANT MATERIAL THAT DIES, TURNS BROWN OR DEFOLIATES (PRIOR TO TOTAL ACCEPTANC WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE QUANTITY, SIZE AND MEETING ALL SPECIFICATIONS.
15. STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK", LATEST EDITION, REP SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT M/
16. ALL LANDSCAPING FOR EACH PHASE OF DEVELOPMENT SHALL BE COMPLETED PRIOR TO THE I

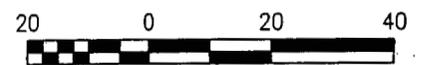
NOTE - PROPOSED



1
C-3

SITE PLAN AND LANDSCAPE

SCALE: 1" = 20'-0"



6.10M 0 6.10M 12.2M

SCALE: 1" = 20'

GENERAL PLANTING NOTES

1. ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL, FREE OF PESTS AND DISEASE.
2. ALL PLANTS MUST BE CONTAINER-GROWN OR BALLED AND BURLAPPED AS SPECIFIED.
3. ALL TREES MUST BE STRAIGHT TRUNKED, FULL HEADED AND MEET ALL REQUIREMENTS SPECIFIED.
4. ALL PLANTS ARE SUBJECT TO THE APPROVAL OF THE ENGINEER'S REPRESENTATIVE BEFORE, DURING, AND AFTER INSTALLATION.
5. ALL TREES MUST BE GUYED OR STAKED AS SHOWN.
6. ALL PLANTS AND PLANTING AREAS MUST BE COMPLETELY MULCHED AS SPECIFIED.
7. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING COURSE OF THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ALL DAMAGE TO UTILITIES.

140' TO ANTENNA CENTER

160'-0" TO ANTENNA CENTER

180'-0" TO TOP OF TOWER AND ANTENNA CENTER

AC&P PROJECT NUMBER: 39825-24

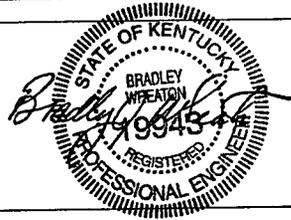
DRAWN BY: A. TAYLOR

APPROVED BY: D. DALLMAN

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NO.	DATE	REVISION

**ECHO 239KY-264
SOUTH PARKLAND**

4400 PARALEE DR.
LOUISVILLE, KY 40272
JEFFERSON COUNTY



**NORTH/SOURTH
ELEVATIONS**

C-4



CROWN

COMMUNICATION INC.

PENN CENTER WEST III - SUITE 229
PITTSBURGH
PENNSYLVANIA, 15276

OFFICE: (412) 788-0906

FAX: (412) 788-0908

**ARMOUR
CAPE & POND**

6800 VERSAR CENTER, SUITE 234
SPRINGFIELD, VA. 22151-4177
(703) 642-5160
FAX (703) 642-0041

AC&P PROJECT NUMBER: 39825-24

DRAWN BY: A. TAYLOR

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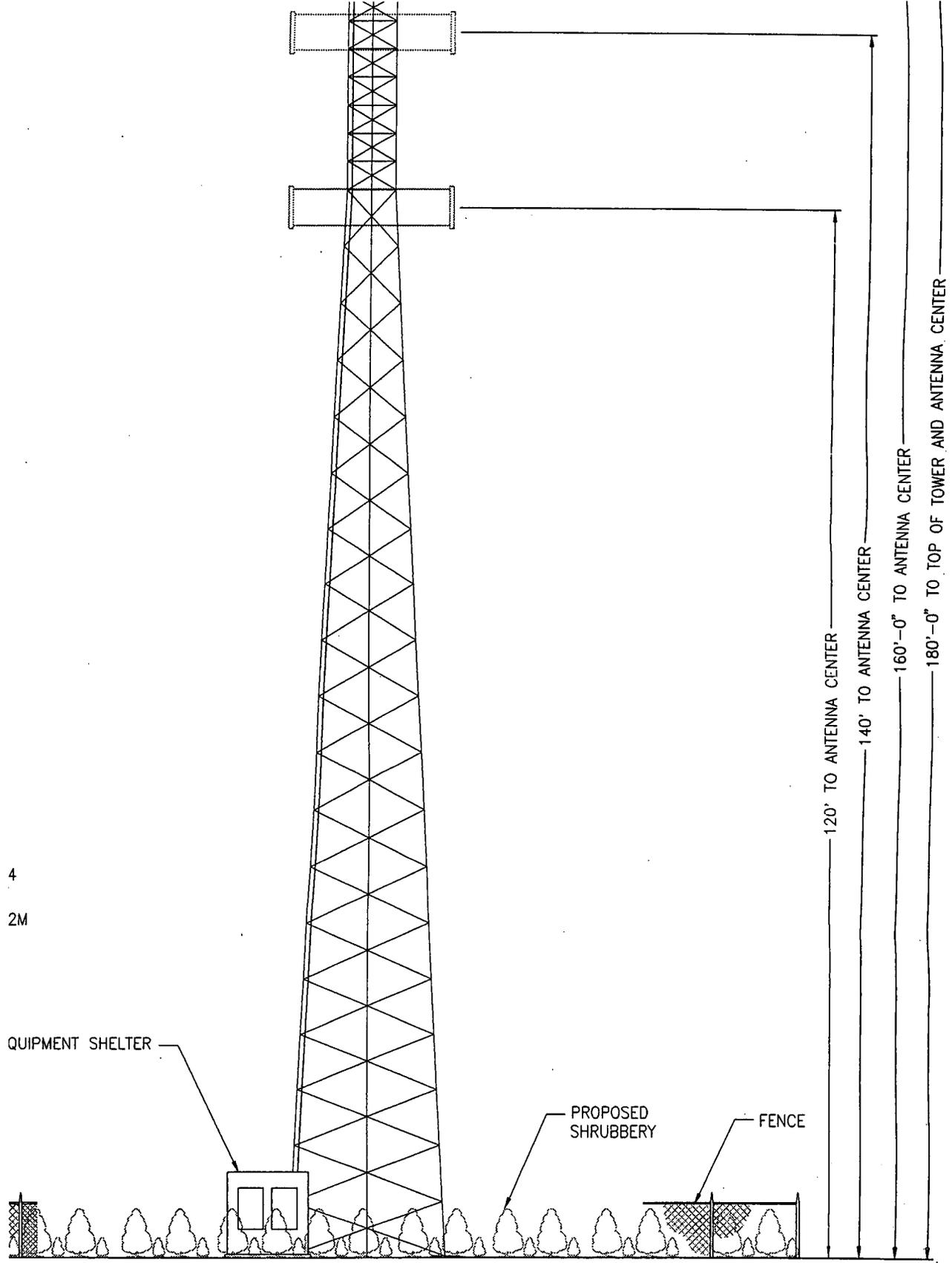
**ECHO 239KY-264
SOUTH PARKLAND**

4400 PARALEE DR.
LOUISVILLE, KY 40272
JEFFERSON COUNTY

140' TO ANTENNA CENTER

160'-0" TO ANTENNA CENTER

180'-0" TO TOP OF TOWER AND ANTENNA CENTER



4
2M

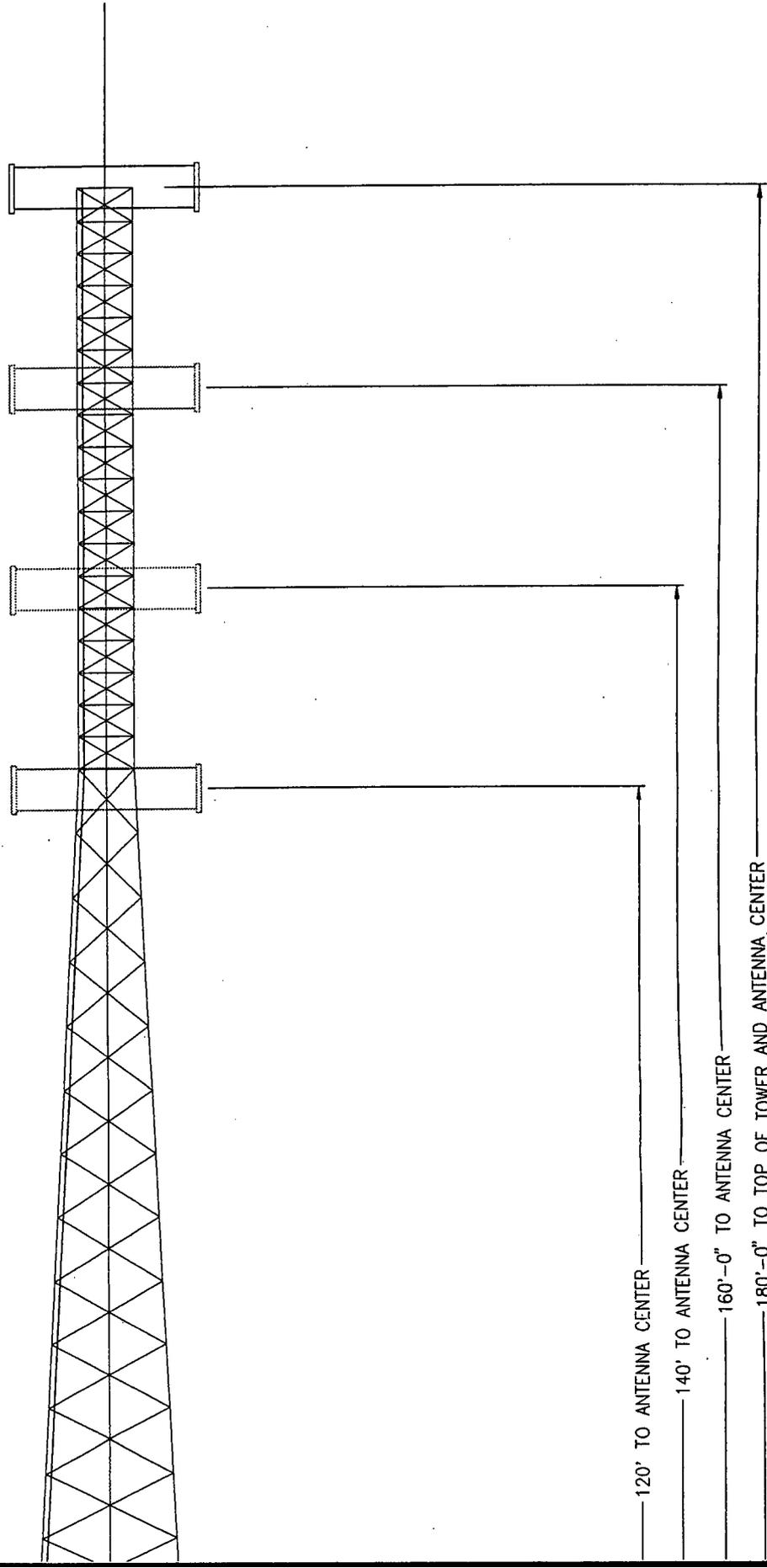
QUIPMENT SHELTER

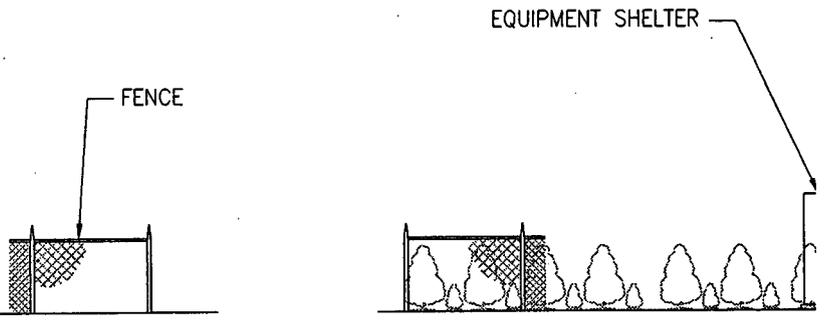
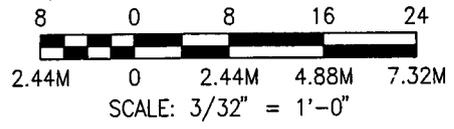
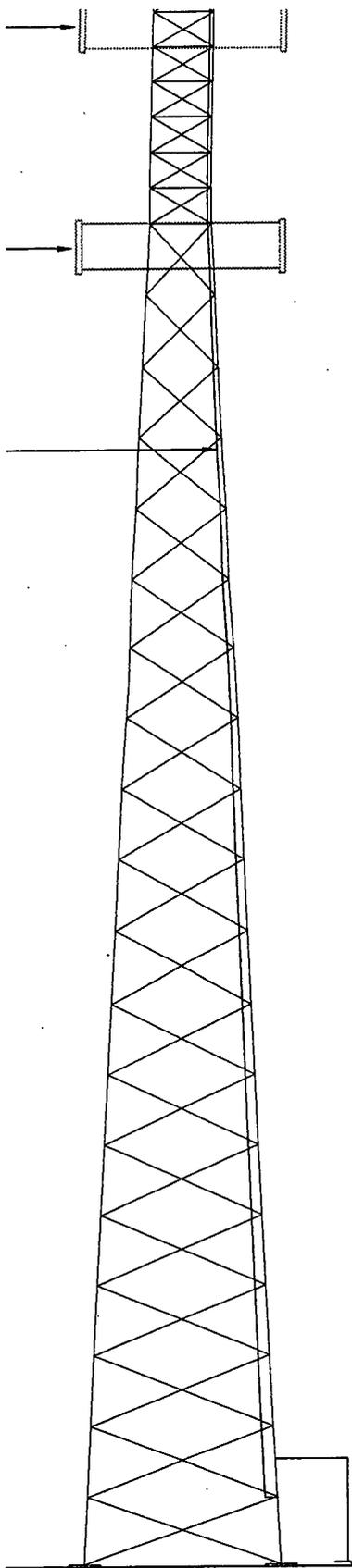
PROPOSED SHRUBBERY

FENCE

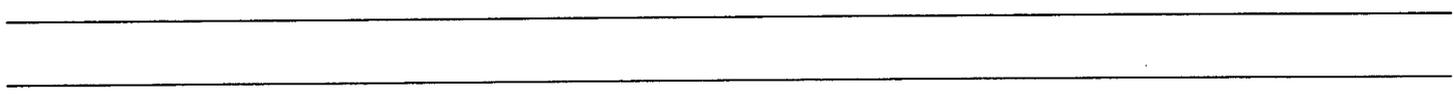
120' TO ANTENNA CENTER
 140' TO ANTENNA CENTER
 160'-0" TO ANTENNA CENTER
 180'-0" TO TOP OF TOWER AND ANTENNA CENTER

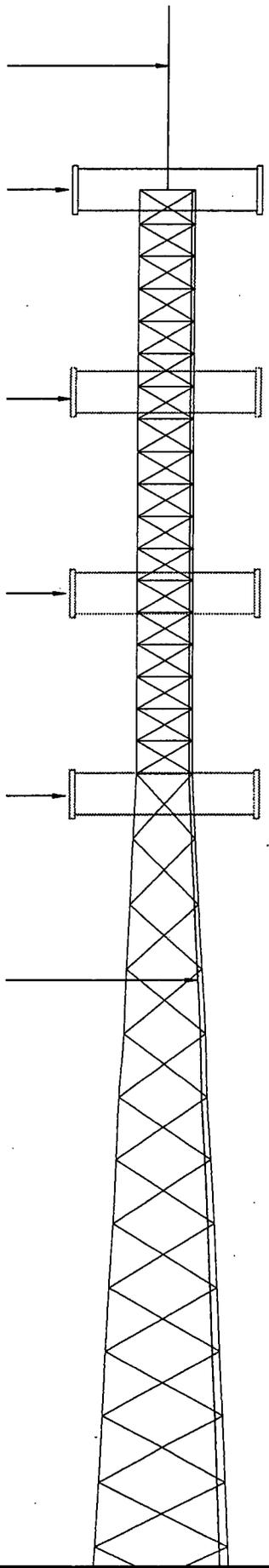
2 SOUTH ELEVATION
 C-4 SCALE: 3/32" = 1'-0"





NORTH ELEVATION
SCALE: 3/32" = 1'-0"

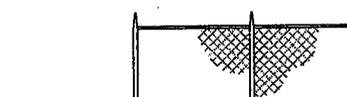




FUTURE ANTENNAS
(TYP.)

FUTURE ANTENNAS
(TYP.)

PROPOSED CABLE LADDER
(TYP.)



1 NORTH ELEVATIC
C-4 SCALE: 3/32" = 1'-0"

20' LIGHTNING ROD
(TYP.)

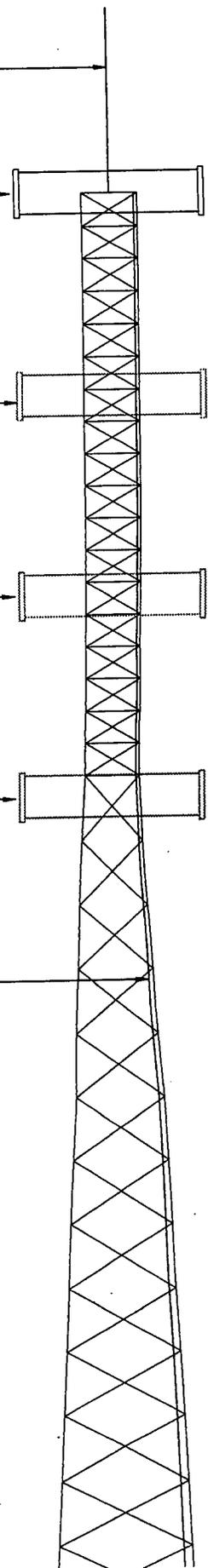
PROPOSED ANTENNAS
(TYP.)

FUTURE ANTENNAS
(TYP.)

FUTURE ANTENNAS
(TYP.)

FUTURE ANTENNAS
(TYP.)

PROPOSED CABLE LADDER
(TYP.)



240' TO ANTENNA CENTER

260' TO ANTENNA CENTER

179'-11 7/8" TO TOP OF TOWER AND ANTENNA CENTER

AC&P PROJECT NUMBER: 39825-24

DRAWN BY: A. TAYLOR

APPROVED BY: D. DALLMAN

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NO.	DATE	REVISION

**ECHO 239KY-264
SOUTH PARKLAND**

4400 PARALEE DR.
LOUISVILLE, KY 40272
JEFFERSON COUNTY



**EAST/WEST
ELEVATIONS**

C-5



CROWN
COMMUNICATION INC.

PENN CENTER WEST III - SUITE 229
PITTSBURGH
PENNSYLVANIA, 15276

OFFICE: (412) 788-0906
FAX: (412) 788-0908

ARMOUR
CAPE & POND

6800 VERSAR CENTER, SUITE 234
SPRINGFIELD, VA. 22151-4177
(703) 642-5160
FAX (703) 642-0041

AC&P PROJECT NUMBER: 39825-24

DRAWN BY: A. TAYLOR

APPROVED BY: D. DALLMAN

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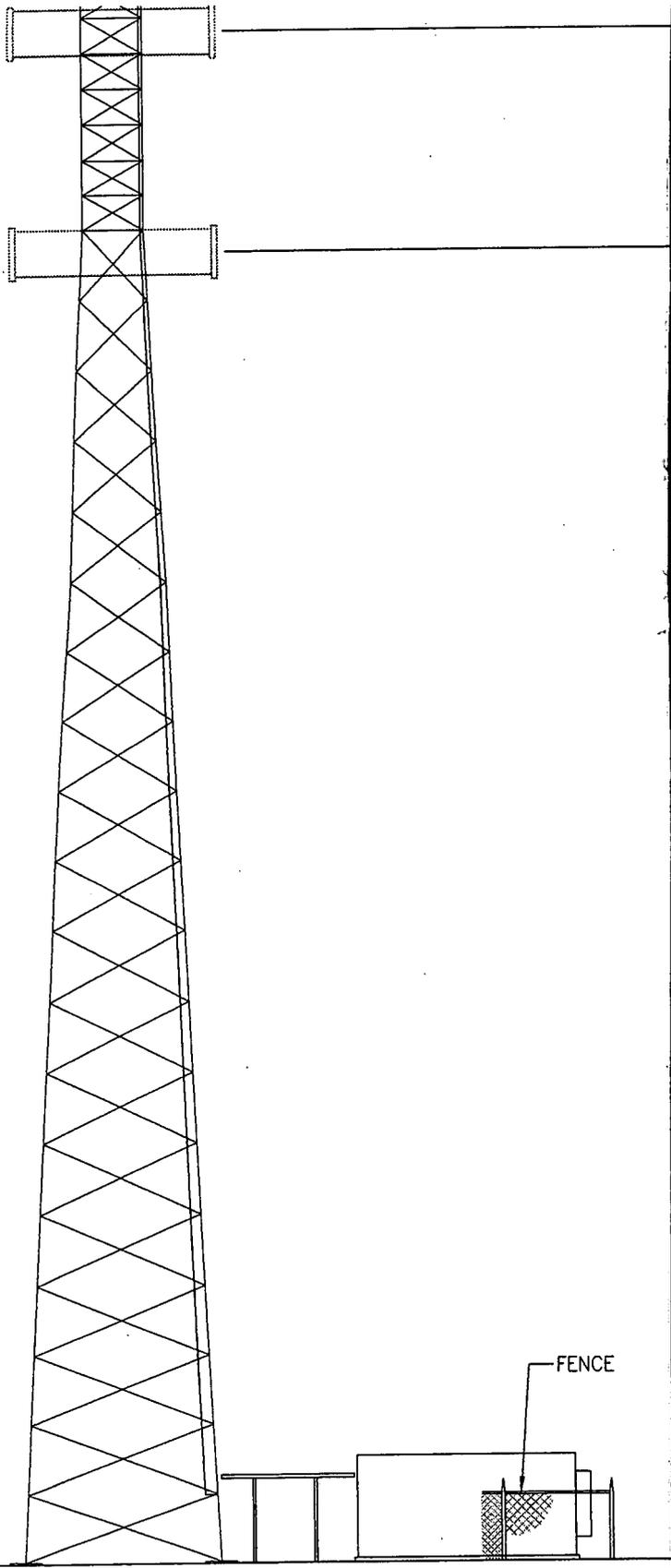
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SOUTH PARKLAND

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LOUISVILLE, KY 40272
JEFFERSON COUNTY

240' TO ANTENNA CENTER

260' TO ANTENNA CENTER

179'-11 7/8" TO TOP OF TOWER AND ANTENNA CENTER

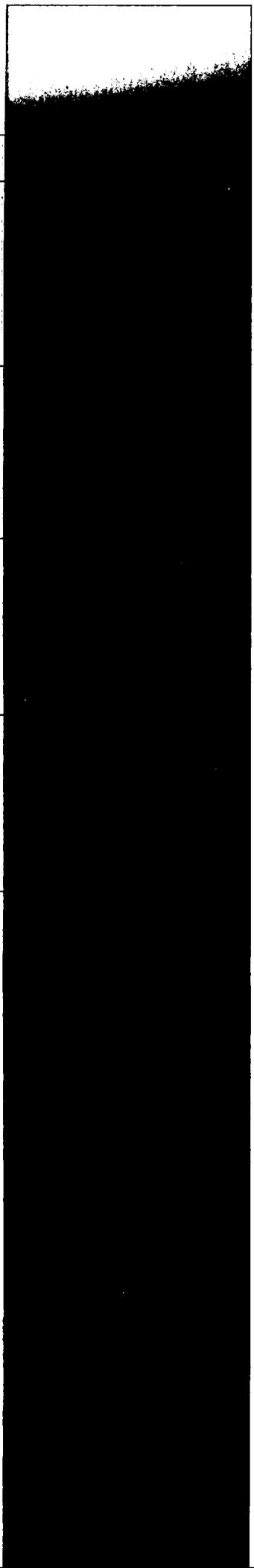
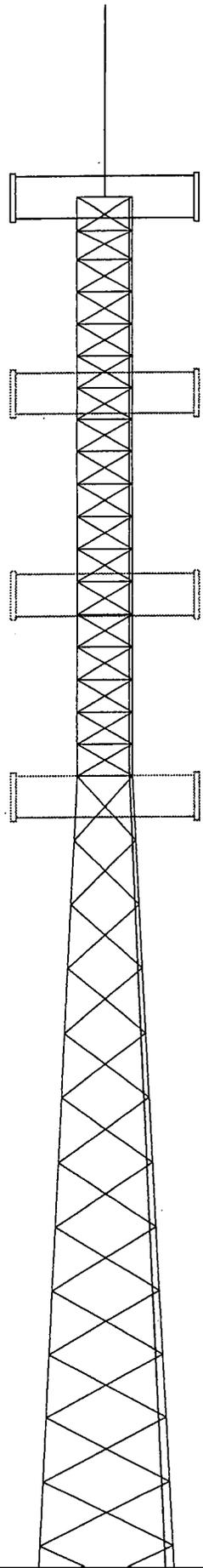


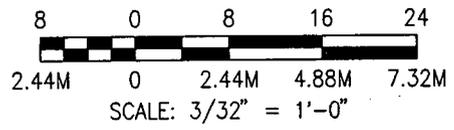
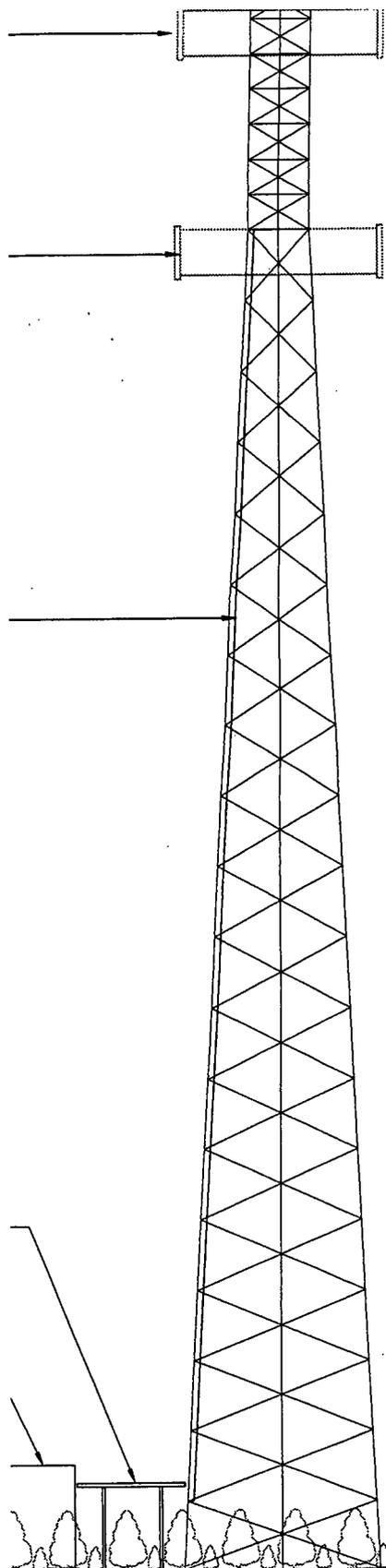
24
7.32M

2
C-5

WEST ELEVATION
SCALE: 1" = 20'

FENCE

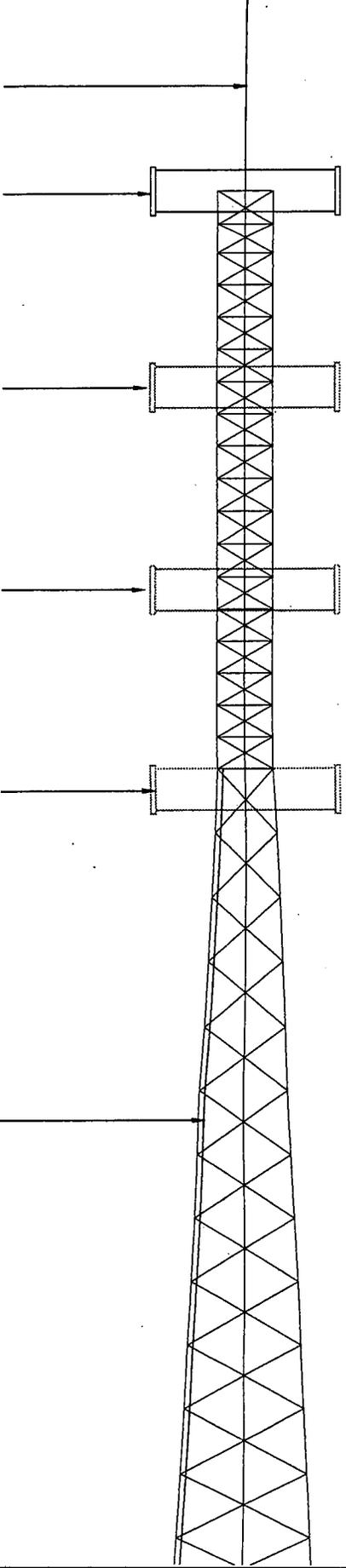




12' ACCESS GATE

EAST ELEVATION
 SCALE: 1" = 20'

2 WI
 C-5 SC



(TYP.)

FUTURE ANTENNAS
(TYP.)

PROPOSED CABLE LADDER
(TYP.)

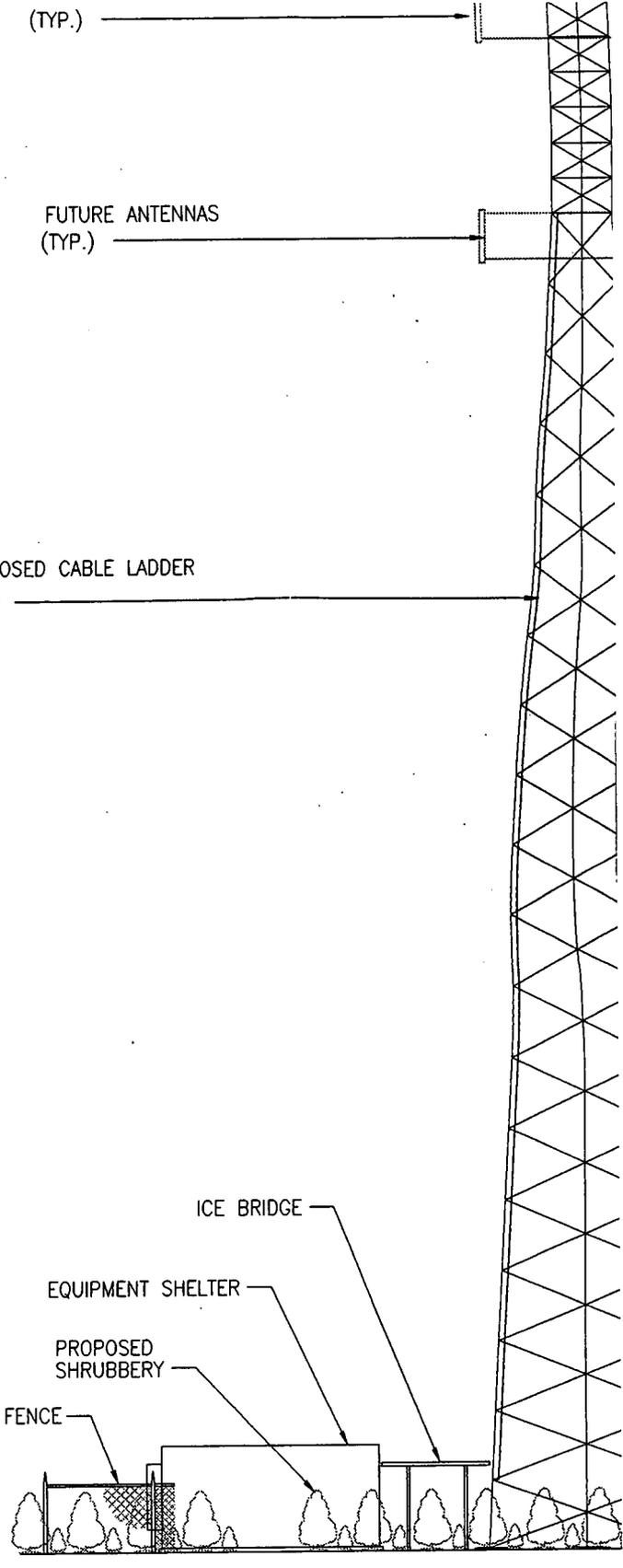
ICE BRIDGE

EQUIPMENT SHELTER

PROPOSED SHRUBBERY

FENCE

1 EAST ELEVATION
C-5 SCALE: 1" = 20'



20' LIGHTNING ROD
(TYP.)

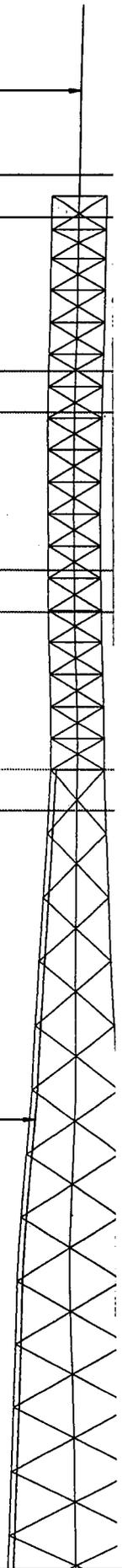
PROPOSED ANTENNAS
(TYP.)

FUTURE ANTENNAS
(TYP.)

FUTURE ANTENNAS
(TYP.)

FUTURE ANTENNAS
(TYP.)

PROPOSED CABLE LADDER
(TYP.)



AC&P PROJECT NUMBER: 39825-24

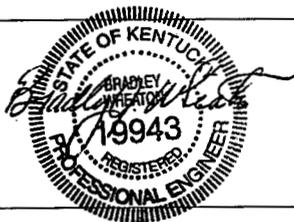
DRAWN BY: A. TAYLOR

APPROVED BY: D. DALLMAN

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SOUTH PARKLAND**

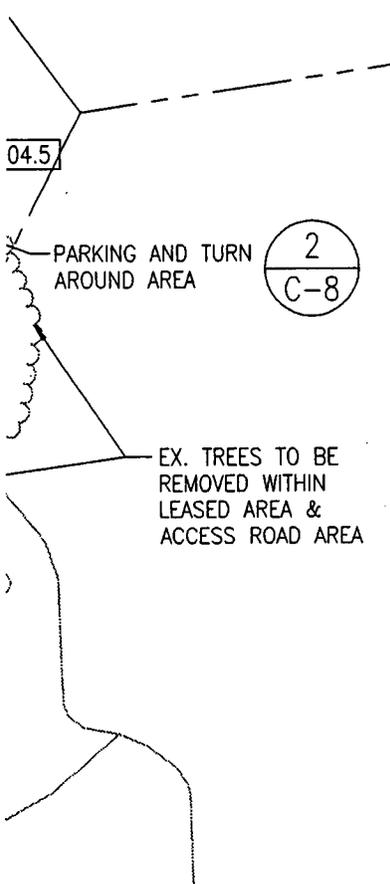
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JEFFERSON COUNTY



**GRADING AND
SEDIMENT CONTROL**

C-6

CONTROL PLAN



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COMMUNICATION INC.

PENN CENTER WEST III - SUITE 229
PITTSBURGH
PENNSYLVANIA, 15276

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ARMOUR
CAPE & POND

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SPRINGFIELD, VA. 22151-4177
(703) 642-5160
FAX (703) 642-0041

AC&P PROJECT NUMBER: 39825-24

DRAWN BY: A. TAYLOR

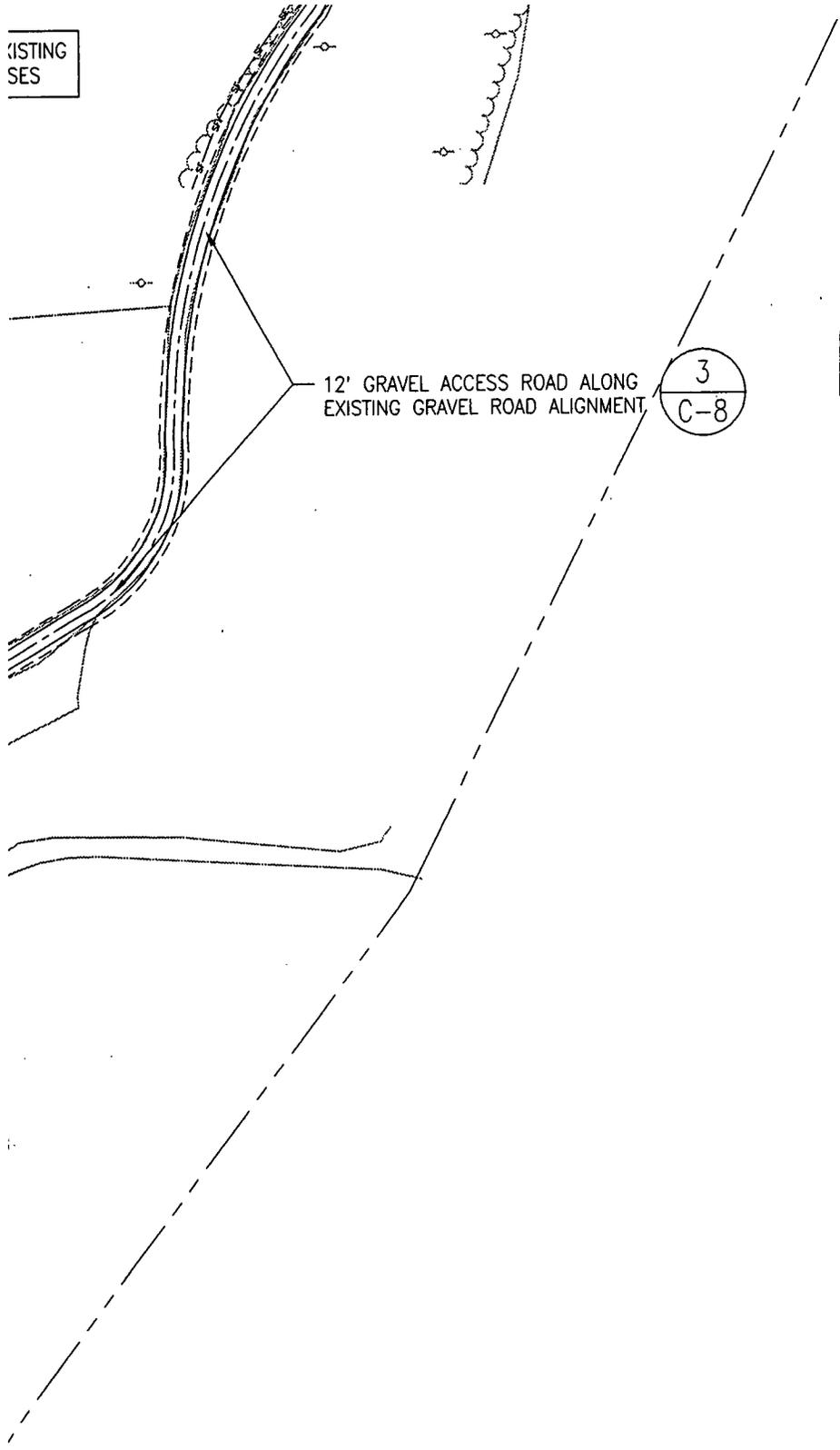
APPROVED BY: D. DALLMAN

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JEFFERSON COUNTY

EXISTING
SES



PRESERVE EXISTING
TREE MASSES

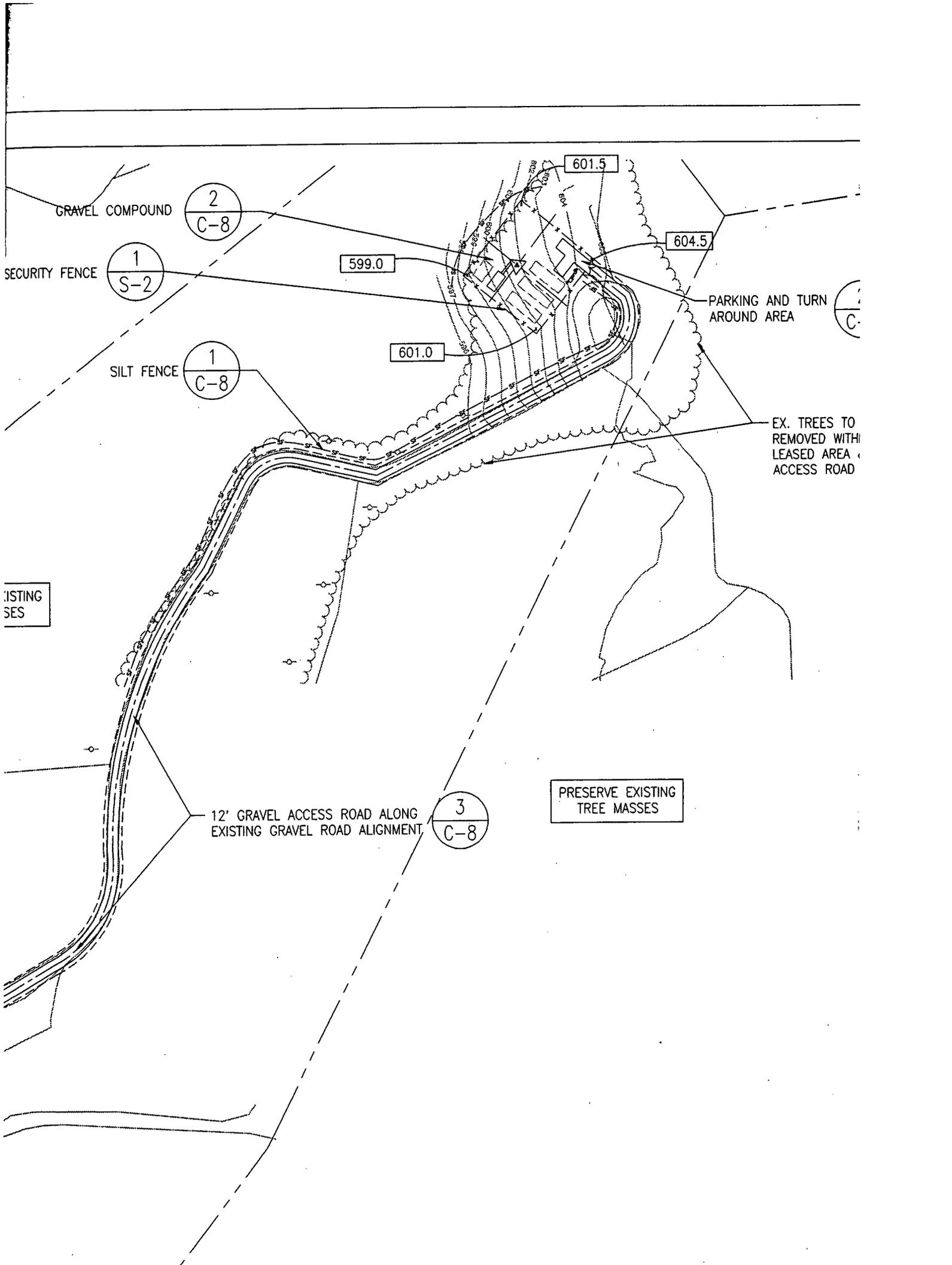
3
C-8



1
C-6

GRADING, EROSION AND SEDIMENT CONTROL PLAN

SCALE: 1" = 80'-0"



GRAVEL COMPOUND

2
C-8

SECURITY FENCE

1
S-2

599.0

601.5

604.5

PARKING AND TURN AROUND AREA

C

601.0

SILT FENCE

1
C-8

EX. TREES TO REMOVED WITH LEASED AREA ACCESS ROAD

EXISTING SES

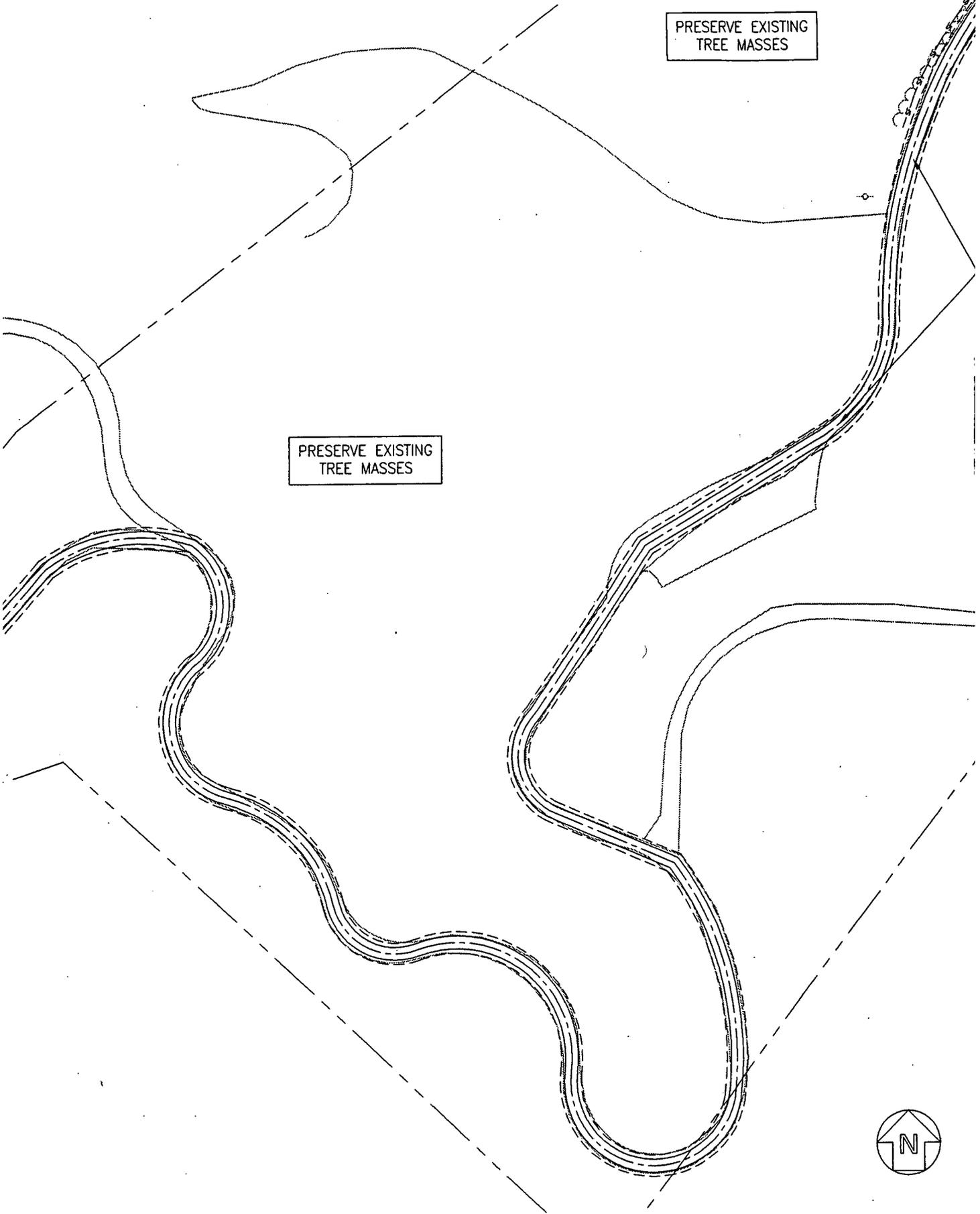
12' GRAVEL ACCESS ROAD ALONG EXISTING GRAVEL ROAD ALIGNMENT

3
C-8

PRESERVE EXISTING TREE MASSES

PRESERVE EXISTING
TREE MASSES

PRESERVE EXISTING
TREE MASSES



GRAVEL COMPOUND {

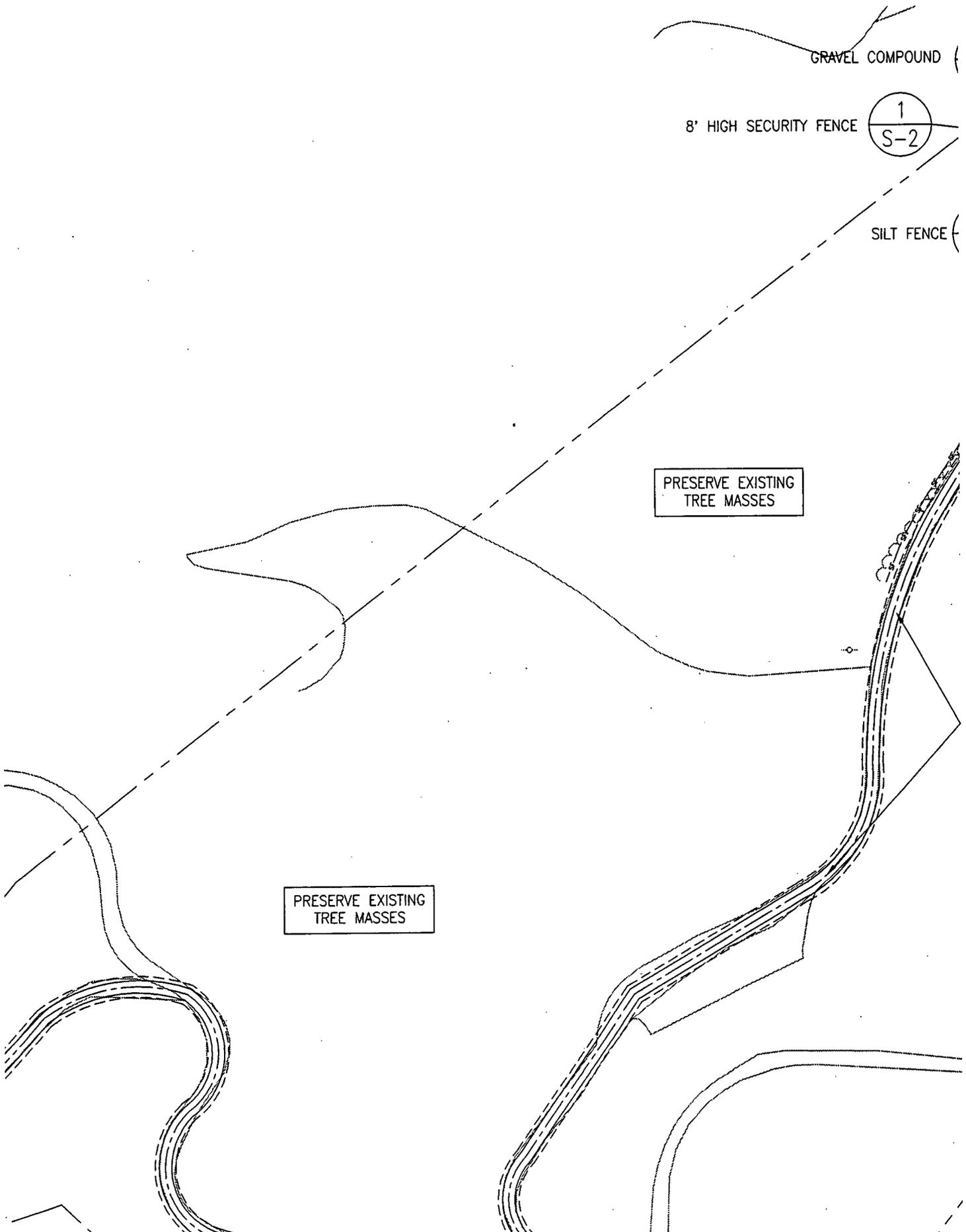
8' HIGH SECURITY FENCE



SILT FENCE {

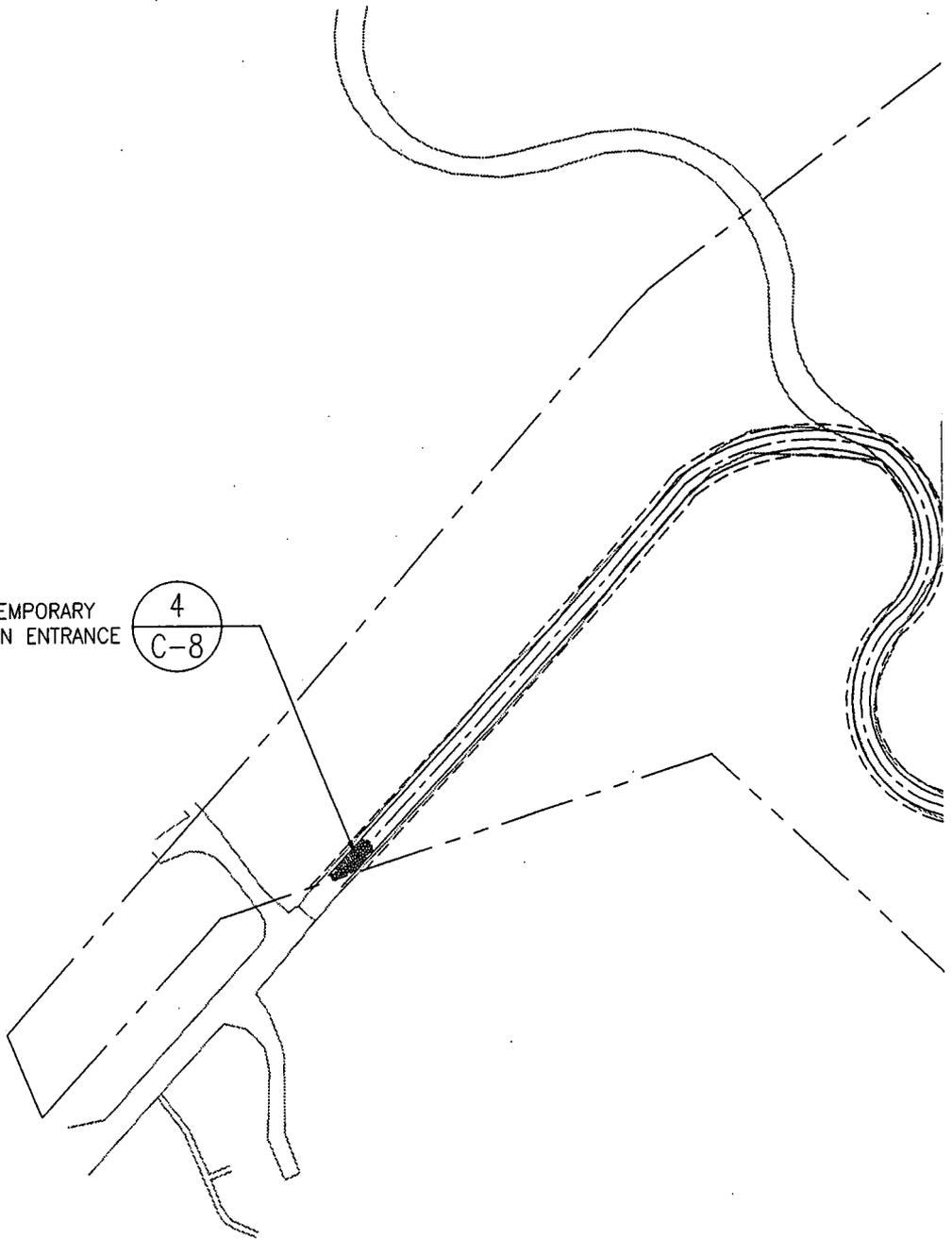
PRESERVE EXISTING
TREE MASSES

PRESERVE EXISTING
TREE MASSES

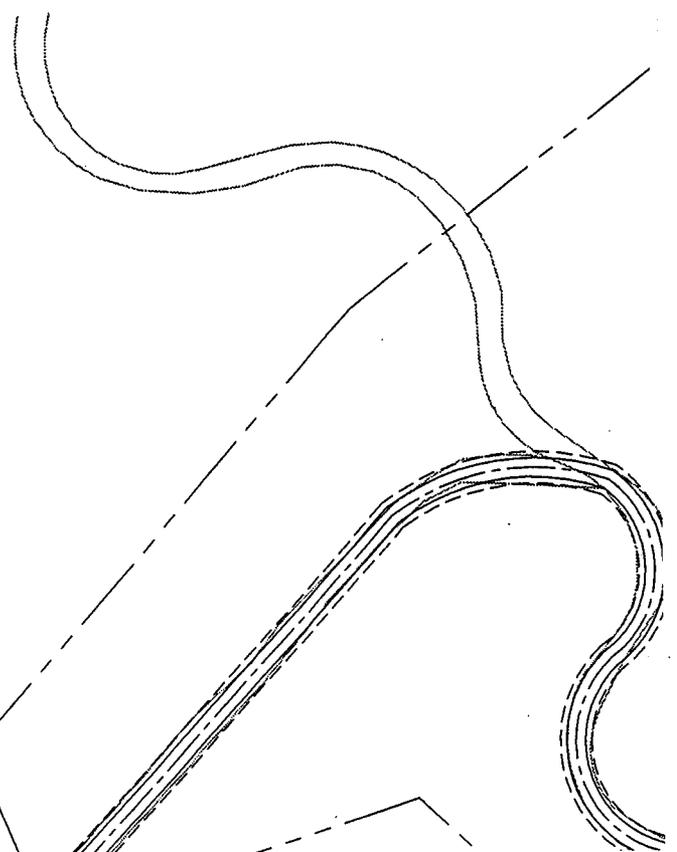
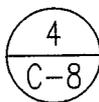


STABILIZED TEMPORARY
CONSTRUCTION ENTRANCE

4
C-8



STABILIZED TEMPORARY
CONSTRUCTION ENTRANCE



AC&P PROJECT NUMBER: 39825-24

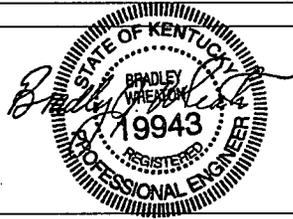
DRAWN BY: A. TAYLOR

APPROVED BY: D. DALLMAN

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SOUTH PARKLAND**

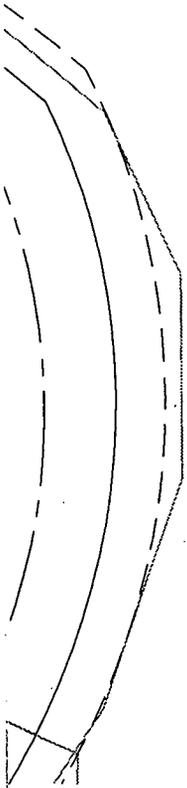
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JEFFERSON COUNTY



STAKEOUT PLAN

C-7

ACCESS AND
TY EASEMENT





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PITTSBURGH
PENNSYLVANIA, 15276
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**ARMOUR
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SPRINGFIELD, VA. 22151-4177
(703) 642-5160
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AC&P PROJECT NUMBER: 39825-24

DRAWN BY: A. TAYLOR

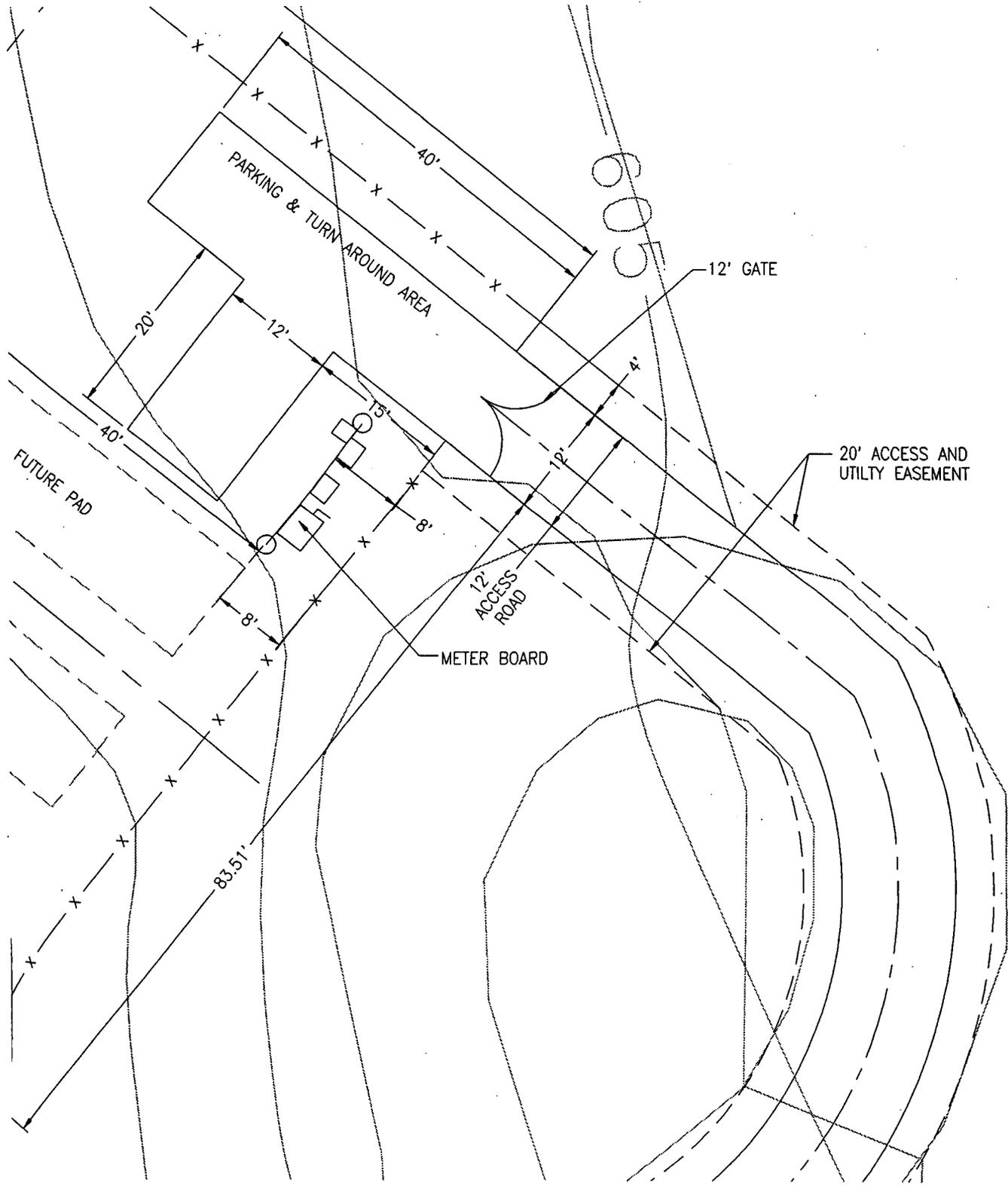
APPROVED BY: D. DALLMAN

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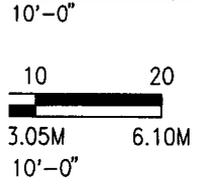
**ECHO 239KY-264
SOUTH PARKLAND**

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LOUISVILLE, KY 40272
JEFFERSON COUNTY

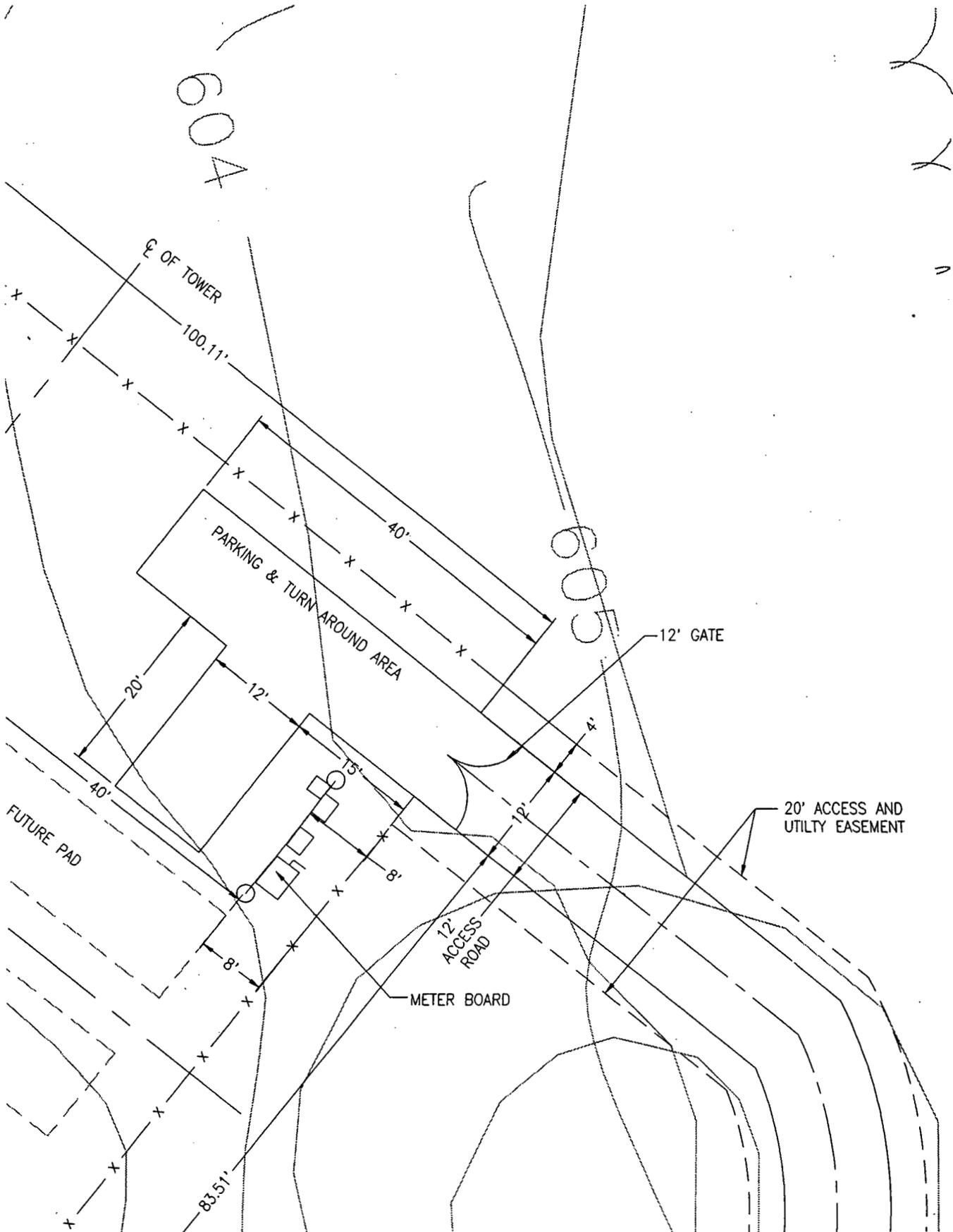
ACCESS AND
TY EASEMENT

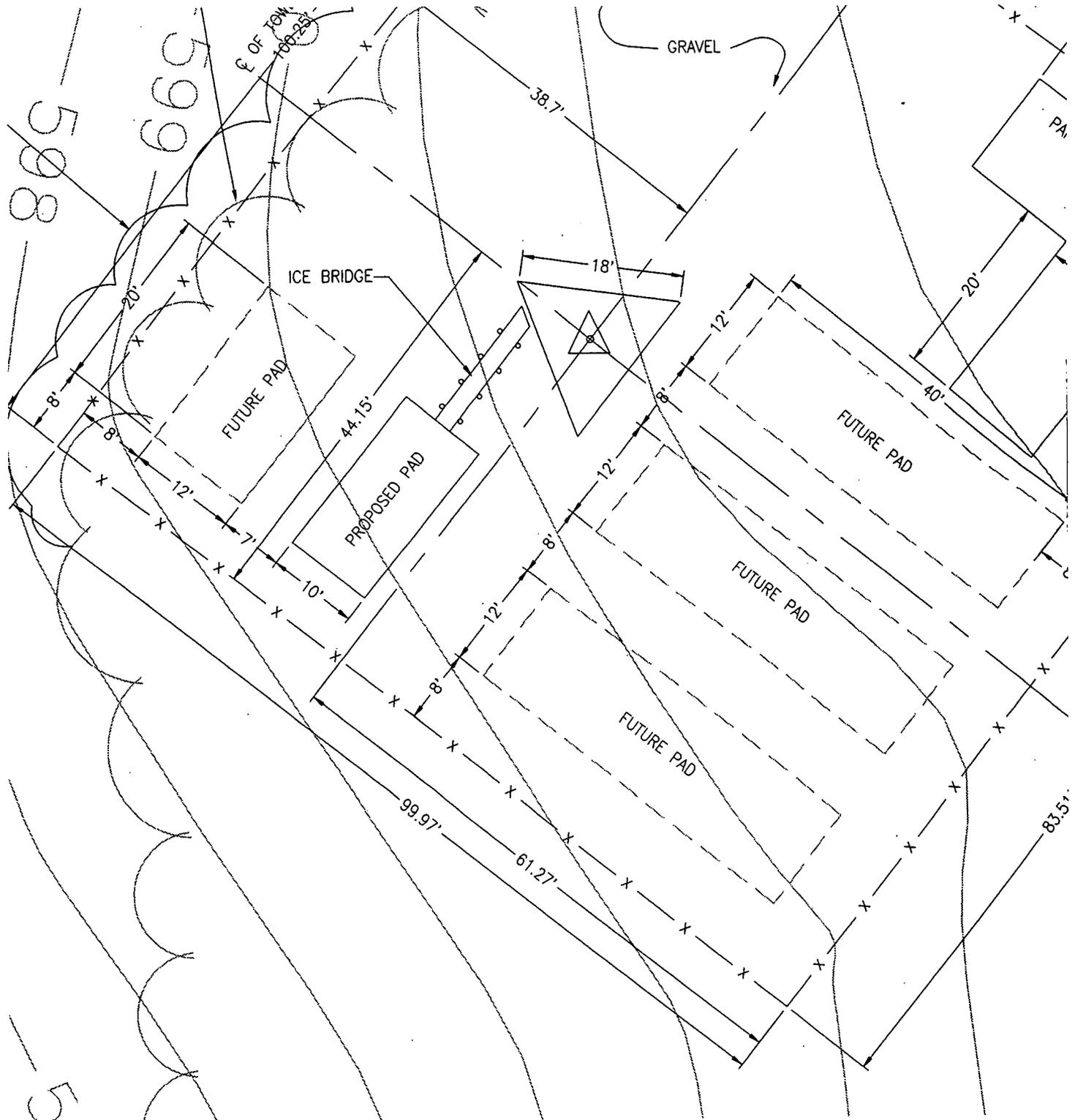


OUT PLAN

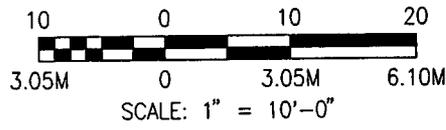


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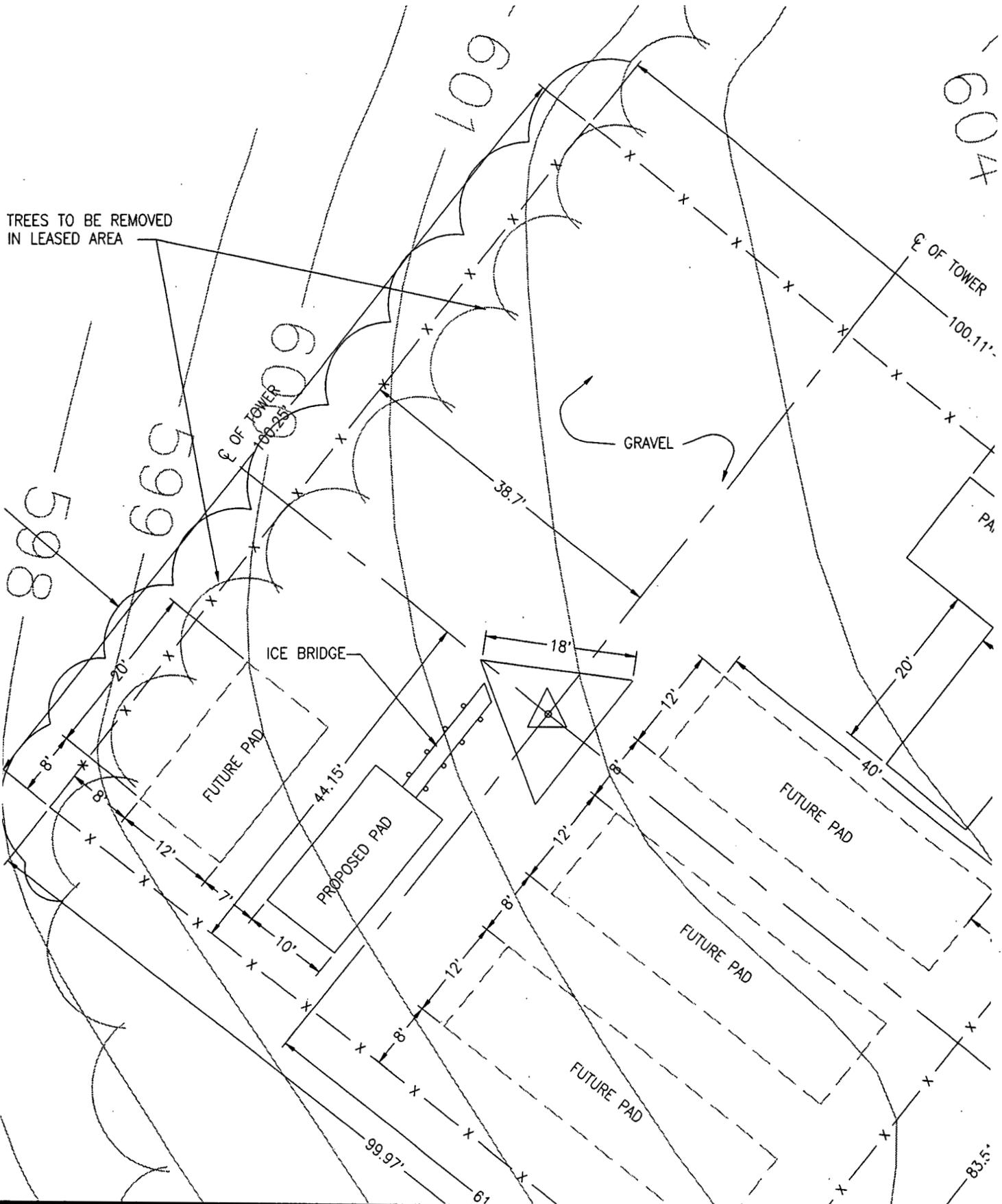




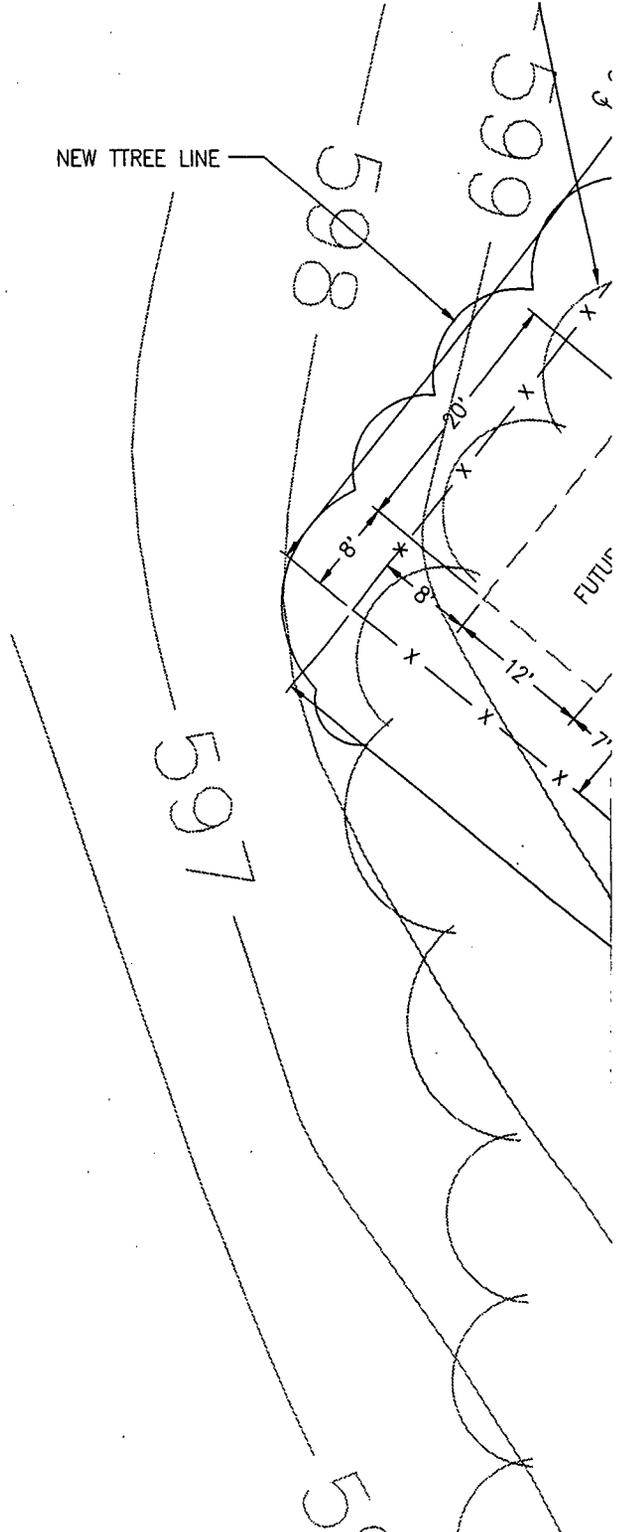
1 STAKEOUT PLAN
 C-7 SCALE: 1" = 10'-0"



TREES TO BE REMOVED
IN LEASED AREA

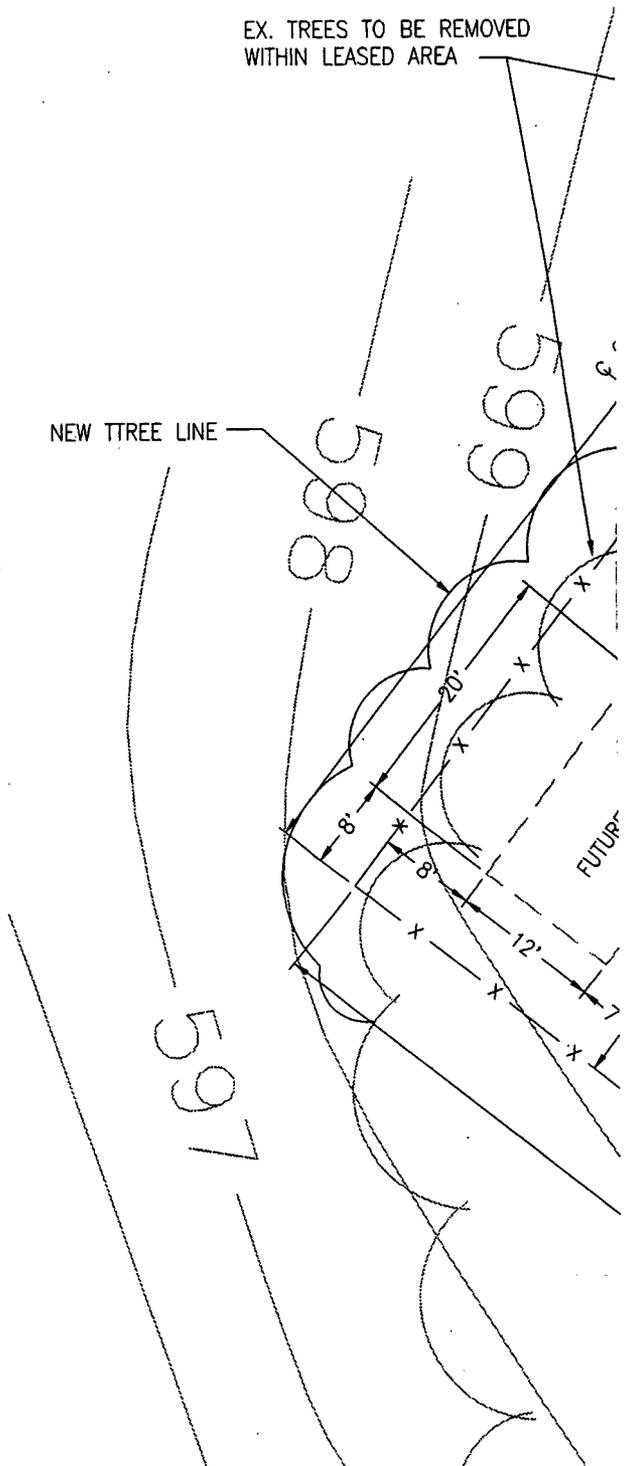


NEW TREE LINE



EX. TREES TO BE REMOVED
WITHIN LEASED AREA

NEW TREE LINE



ERIALS SHALL BE THOROUGHLY
 VD COMPACTED WITH
 BE USED
 R APPROVAL.

CONTRACTOR'S NEGLIGENCE
 ITRACTOR'S EXPENSE.
 ITH PROPERTY OWNER SO AS

OTHERWISE NOTED.
 PPING WATER.
 T (KYTC), DEPARTMENT OF
 RDUCTION, 1998 EDITION.



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AC&P PROJECT NUMBER: 39825-24

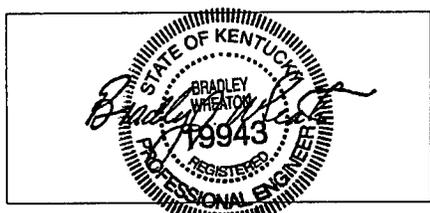
DRAWN BY: A. TAYLOR

APPROVED BY: D. DALLMAN

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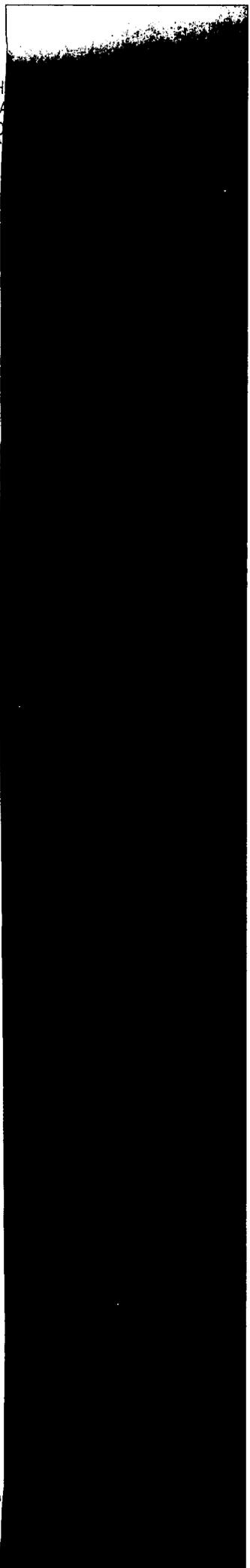
ECHO 239KY-264
SOUTH PARKLAND

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 LOUISVILLE, KY 40272
 JEFFERSON COUNTY



CIVIL DETAILS

C-8



SANDY CLAY, SAND

MINIMUM DIMENSIONS
STANDARD PROCTOR
STANDARD PROCTOR

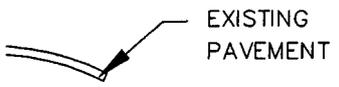
WHERE EQUIPMENT LOADS
DESIGNED TO SPREAD EQUIPMENT
GRADE WHERE SUCH
LEVEL SURFACING
LEVEL SURFACING AND

LEVEL SURFACING IS
SHALL BE REPLACED
OF THE SAME
FROM CORRUGATIONS AND WAVES.
REUSED IF INJURIOUS
MATERIALS ARE REMOVED
MATERIAL AS REQUIRED.
GRADED TO CONFORM TO
SERIALS SHALL BE THOROUGHLY
AND COMPACTED WITH
BE USED
FOR APPROVAL.

CONTRACTOR'S NEGLIGENCE
CONTRACTOR'S EXPENSE.
WITH PROPERTY OWNER SO AS

OTHERWISE NOTED.

SPRING WATER.
STATE (KYTC), DEPARTMENT OF
CONSTRUCTION, 1998 EDITION.



THING
MENT



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SOUTH PARKLAND**

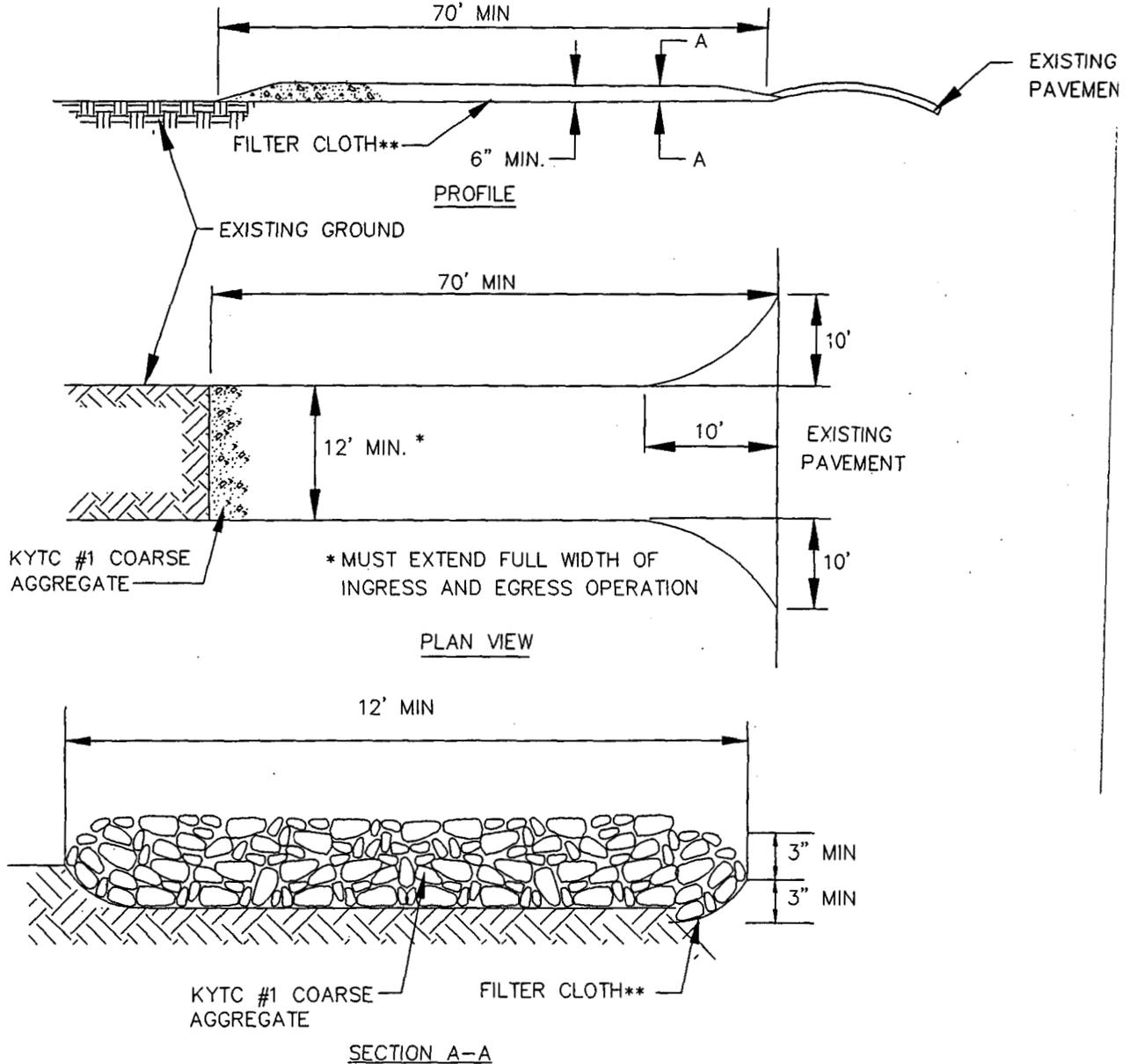
4400 PARALEE DR.
LOUISVILLE, KY 40272
JEFFERSON COUNTY

R THE

USED

COMPACTED. DEPRESSIONS IN THE SUBGRADE SHALL BE FILLED AND COMPACTED WITH APPROVED SELECTED MATERIAL. GRAVEL SURFACING MATERIAL MAY BE USED FOR FILLING DEPRESSIONS IN THE SUBGRADE, SUBJECT TO OWNER APPROVAL.

7. DAMAGE TO EXISTING STRUCTURES AND UTILITIES RESULTING FROM CONTRACTOR'S NEGLIGENCE SHALL BE REPAIRED/REPLACED TO OWNER'S SATISFACTION AT CONTRACTOR'S EXPENSE.
8. CONTRACTOR SHALL COORDINATE THE CONSTRUCTION SCHEDULE WITH PROPERTY OWNER SO TO AVOID INTERRUPTIONS TO PROPERTY OWNER'S OPERATIONS.
9. ALL CUT AND FILL SLOPES SHALL BE 2 : 1 MAXIMUM, UNLESS OTHERWISE NOTED.
10. ENSURE POSITIVE DRAINAGE FROM SITE AT ALL TIMES. AVOID TRAPPING WATER.
11. ALL WORK SHALL CONFIRM TO KENTUCKY TRANSPORTATION CABINET (KYTC), DEPARTMENT C HIGHWAY STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION, 1998 EDITION.



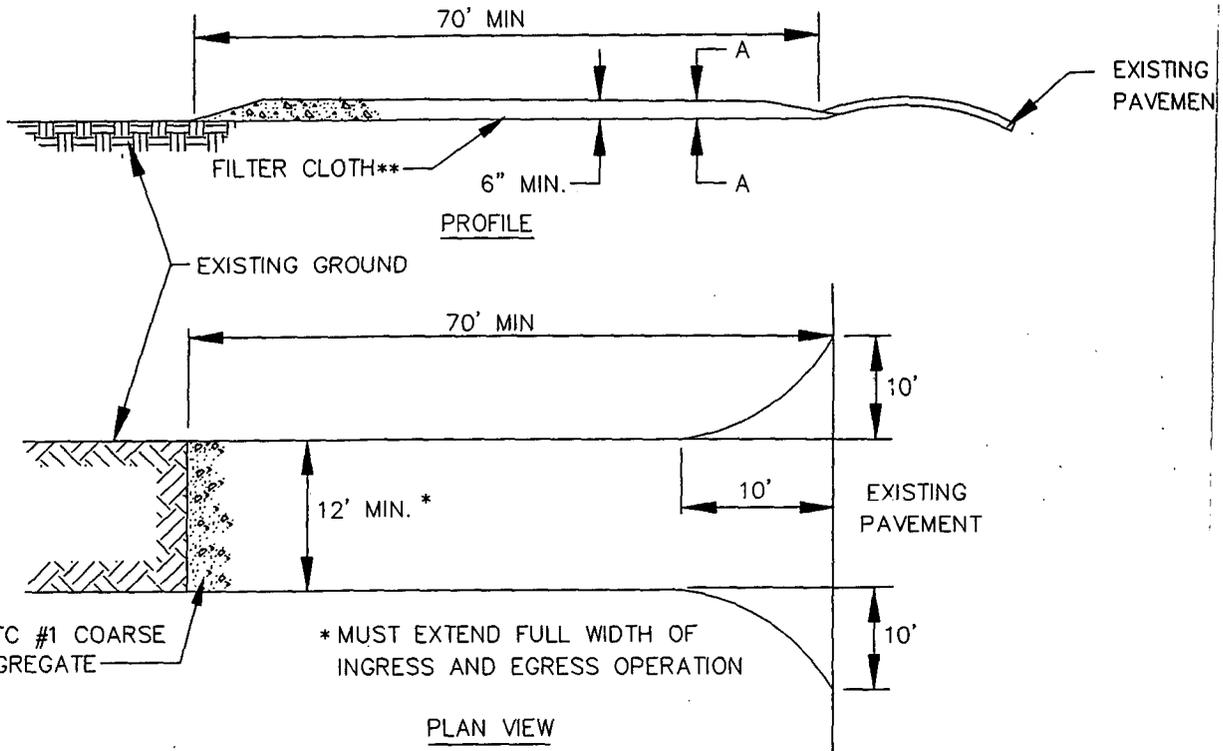
** EXAMPLES OF FILTER CLOTH CAN BE USED ARE TREVIRA SPUNBOND 1135, MIRAFI 600X OR EQUIVALENT

4 TEMPORARY CONSTRUCTION ENTRANCE
C-8 NOT TO SCALE

4. BACKFILLING SHALL:

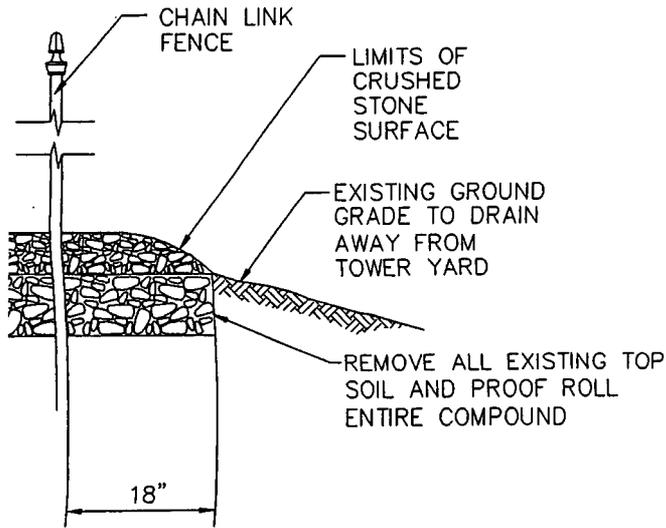
- BE APPROVED MATERIALS CONSISTING OF EARTH, LOAM, SANDY CLAY, SAND AND GRAVEL, OR SOFT SHALE;
- BE FREE FROM CLODS OR STONES OVER 2-1/2" MAXIMUM DIMENSIONS
- BE PLACED IN 6" LAYERS AND COMPACTED TO 95% STANDARD PROCTOR EXCEPT IN GRASSED/LANDSCAPED AREAS, WHERE 90% STANDARD PROCTOR IS REQUIRED.

5. PROTECT EXISTING GRAVEL SURFACING AND SUBGRADE IN AREAS WHERE EQUIPMENT LOADS WILL OPERATE. USE PLANKING OR OTHER SUITABLE MATERIALS DESIGNED TO SPREAD EQUIPMENT LOADS. REPAIR DAMAGE TO EXISTING GRAVEL SURFACING OR SUBGRADE WHERE SUCH DAMAGE IS DUE TO THE CONTRACTOR'S OPERATIONS. DAMAGED GRAVEL SURFACING SHALL BE RESTORED TO MATCH THE ADJACENT UNDAMAGED GRAVEL SURFACING AND SHALL BE OF THE SAME THICKNESS.
6. REPLACE EXISTING GRAVEL SURFACING ON AREAS FROM WHICH GRAVEL SURFACING IS REMOVED DURING CONSTRUCTION OPERATIONS. GRAVEL SURFACING SHALL BE REPLACED TO MATCH EXISTING ADJACENT GRAVEL SURFACING AND SHALL BE OF THE SAME THICKNESS. SURFACES OF GRAVEL SURFACING SHALL BE FREE FROM CORRUGATIONS AND WHERE EXISTING GRAVEL SURFACING MAY BE EXCAVATED SEPARATELY AND REUSED IF INJURIOUS AMOUNTS OF EARTH, ORGANIC MATTER, OR OTHER DELETERIOUS MATERIALS ARE REMOVED PRIOR TO REUSE. FURNISH ALL ADDITIONAL GRAVEL RESURFACING MATERIAL AS REQUIRED. BEFORE GRAVEL SURFACING IS REPLACED, SUBGRADE SHALL BE GRADED TO CONFORM TO REQUIRED SUBGRADE ELEVATIONS, AND LOOSE OR DISTURBED MATERIALS SHALL BE THOROUGHLY COMPACTED. DEPRESSIONS IN THE SUBGRADE SHALL BE FILLED AND COMPACTED WITH APPROVED SELECTED MATERIAL. GRAVEL SURFACING MATERIAL MAY BE USED FOR FILLING DEPRESSIONS IN THE SUBGRADE, SUBJECT TO OWNER APPROVAL.
7. DAMAGE TO EXISTING STRUCTURES AND UTILITIES RESULTING FROM CONTRACTOR'S NEGLIGENCE SHALL BE REPAIRED/REPLACED TO OWNER'S SATISFACTION AT CONTRACTOR'S EXPENSE.
8. CONTRACTOR SHALL COORDINATE THE CONSTRUCTION SCHEDULE WITH PROPERTY OWNER SO AS TO AVOID INTERRUPTIONS TO PROPERTY OWNER'S OPERATIONS.
9. ALL CUT AND FILL SLOPES SHALL BE 2 : 1 MAXIMUM, UNLESS OTHERWISE NOTED.
10. ENSURE POSITIVE DRAINAGE FROM SITE AT ALL TIMES. AVOID TRAPPING WATER.
11. ALL WORK SHALL CONFIRM TO KENTUCKY TRANSPORTATION CABINET (KYTC), DEPARTMENT OF HIGHWAY STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION, 1998 EDITION.



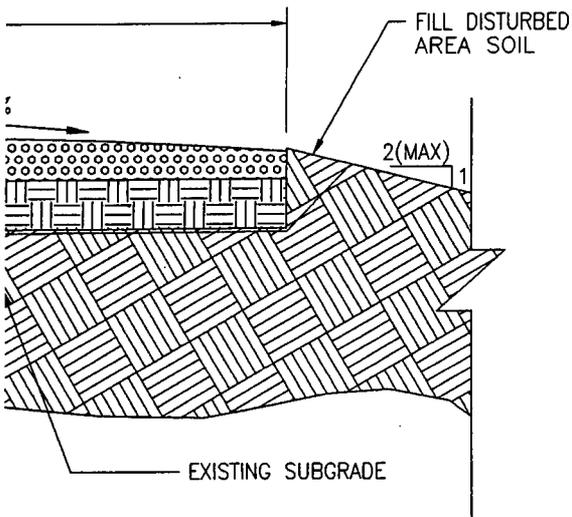
UNSATURATED SOIL SHALL BE EXCAVATED TO
 REPLACED WITH MECHANICALLY COMPACTED GRANULAR MATERIAL OR THE
 EXCAVATION BE FILLED WITH CONCRETE OF THE SAME QUALITY SPECIFIED FOR THE
 FOUNDATION.

2. ANY EXCAVATION OVER THE REQUIRED DEPTH SHALL BE FILLED WITH EITHER MECHANICALLY COMPACTED GRANULAR MATERIAL OR CONCRETE OF THE SAME QUALITY SPECIFIED FOR THE FOUNDATION. CRUSHED STONE MAY BE USED TO STABILIZE THE BOTTOM OF THE EXCAVATION. STONE, IF USED, SHALL NOT BE USED AS COMPILING CONCRETE THICKNESS. 7.
8.
3. AFTER COMPLETION OF THE FOUNDATION AND OTHER CONSTRUCTION BELOW GRADE, AND BEFORE BACKFILLING, ALL EXCAVATIONS SHALL BE CLEAN OF UNSUITABLE MATERIAL SUCH AS VEGETATION, TRASH, DEBRIS, AND SO FORTH. 9.
10.
11.



YARD AND PARKING PAD

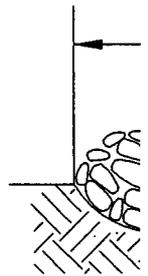
ROWN ROAD
 ROM CENTER LINE



RAVEL ACCESS ROAD



KYTC #1 C
 AGGREGATE

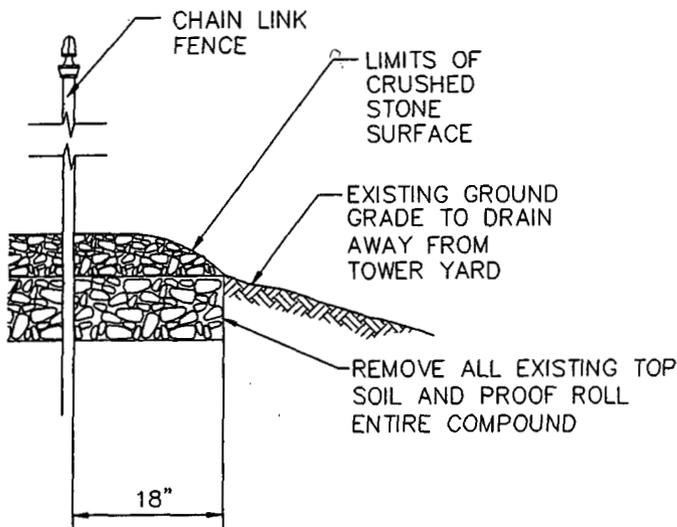


SITE WORK GENERAL NOTES:

- | | | |
|-------------------------|--|----|
| | 1. ALL SITE WORK SHALL BE AS INDICATED ON THE DRAWINGS AND STIPULATED IN THE SPECIFICATION PROJECT SUMMARY. | 4. |
| NYLON
TAKE
FILTER | 2. ALL EXISTING ACTIVE SEWER, WATER, GAS, ELECTRIC, AND OTHER UTILITIES WHERE ENCOUNTERED IN THE WORK, SHALL BE PROTECTED AT ALL TIMES, AND WHERE REQUIRED FOR THE PROPER EXECUTION OF THE WORK, SHALL BE RELOCATED AS DIRECTED BY OWNER. | |
| DUND | 3. ALL EXISTING INACTIVE SEWER, WATER, GAS, ELECTRIC, AND OTHER UTILITIES, WHICH INTERFERE WITH THE EXECUTION OF THE WORK, SHALL BE REMOVED AND/OR CAPPED, PLUGGED OR OTHERWISE DISCONTINUED AT POINTS WHICH WILL NOT INTERFERE WITH THE EXECUTION OF THE WORK, SUBJECT TO THE APPROVAL OF THE CONSTRUCTION MANAGER AND UTILITY COMPANY. | 5. |
| | 4. CONTRACTOR SHALL MINIMIZE DISTURBANCE TO EXISTING SITE DURING CONSTRUCTION. | |
| | 5. ALL WORK SHALL CONFIRM TO KENTUCKY TRANSPORTATION CABINET (KYTC), DEPARTMENT OF HIGHWAY STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION, 1998 EDITION. | 6. |
| | 6. PRESERVE EXISTING TREE MASSES WHERE APPLICABLE. | |

EXCAVATION & GRADING NOTES:

- | | | |
|--|---|------------------|
| | 1. CONCRETE FOUNDATIONS SHALL NOT BE PLACED ON ORGANIC MATERIAL. IF SOUND SOIL IS NOT REACHED AT THE DESIGNATED EXCAVATION DEPTH, THE UNSATISFACTORY SOIL SHALL BE EXCAVATED TO ITS FULL DEPTH AND EITHER BE REPLACED WITH MECHANICALLY COMPACTED GRANULAR MATERIAL OR THE EXCAVATION BE FILLED WITH CONCRETE OF THE SAME QUALITY SPECIFIED FOR THE FOUNDATION. | |
| | 2. ANY EXCAVATION OVER THE REQUIRED DEPTH SHALL BE FILLED WITH EITHER MECHANICALLY COMPACTED GRANULAR MATERIAL OR CONCRETE OF THE SAME QUALITY SPECIFIED FOR THE FOUNDATION. CRUSHED STONE MAY BE USED TO STABILIZE THE BOTTOM OF THE EXCAVATION. STONE, IF USED, SHALL NOT BE USED AS COMPILING CONCRETE THICKNESS. | 7.
8. |
| | 3. AFTER COMPLETION OF THE FOUNDATION AND OTHER CONSTRUCTION BELOW GRADE, AND BEFORE BACKFILLING, ALL EXCAVATIONS SHALL BE CLEAN OF UNSUITABLE MATERIAL SUCH AS VEGETATION, TRASH, DEBRIS, AND SO FORTH. | 9.
10.
11. |



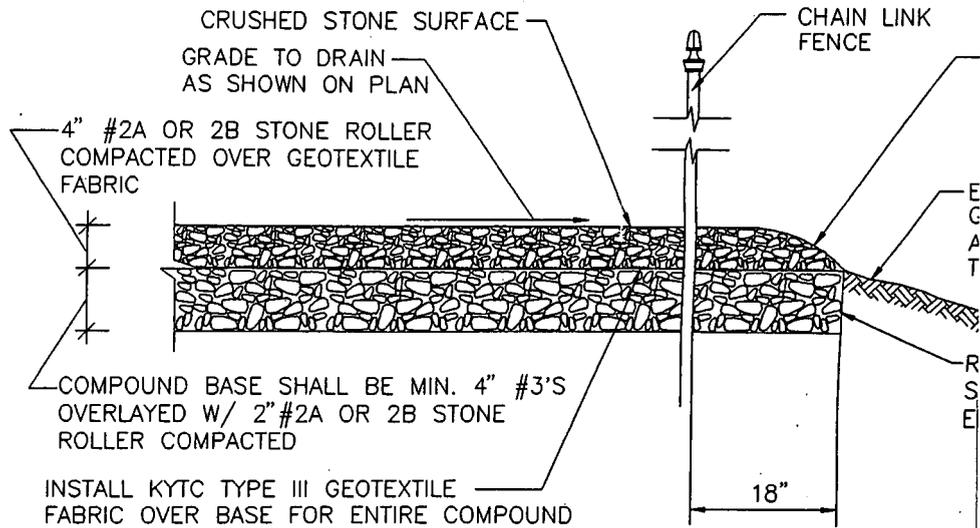
TOWER YARD AND PARKING PAD

KYTC #1
AGGREGATE

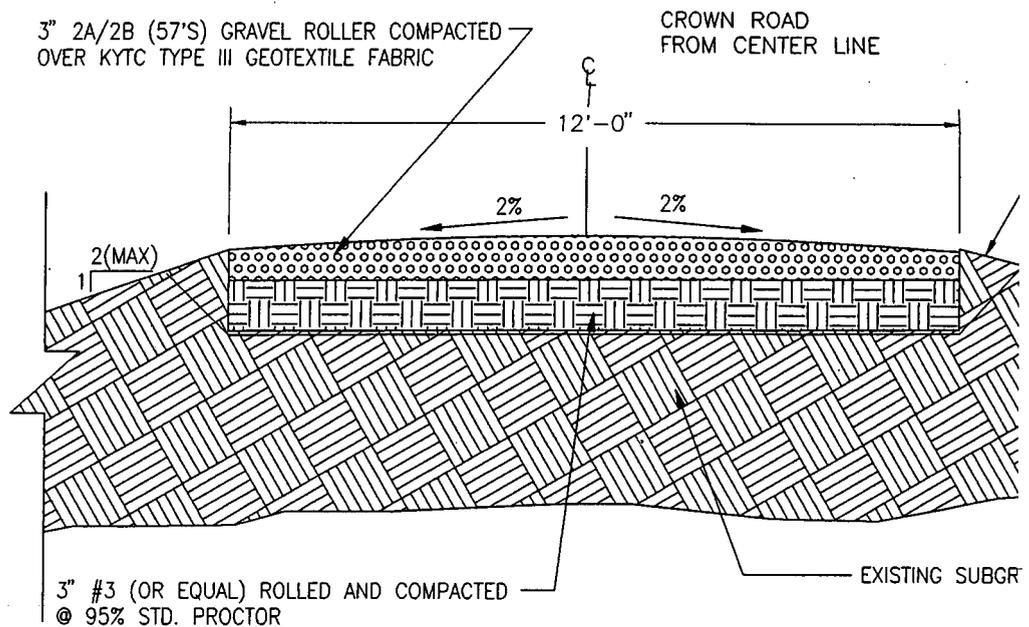
UNSATISFACTORY
 REPLACED BY
 EXCAVATION
 FOUNDATION

1 SILT FENCE DETAIL
 C-8 NOT TO SCALE

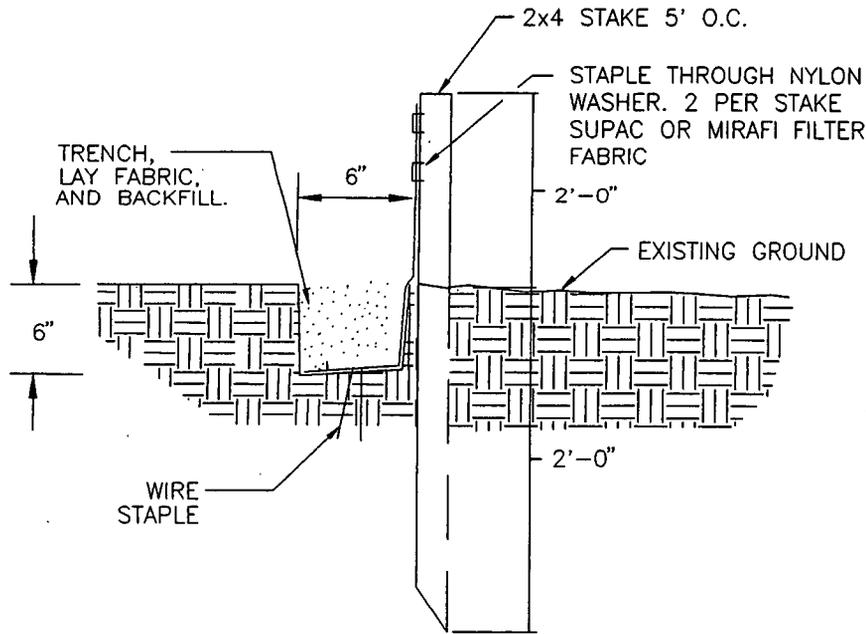
2. ANY EXCAVATION MECHANICAL QUALITY SP STABILIZE T AS COMPLI
3. AFTER COM GRADE, ANI UNSUITABLE



2 SECTION THROUGH TOWER YARD AND PARK
 C-8 NOT TO SCALE



3 SECTION THROUGH GRAVEL ACCESS ROAD
 C-8 NOT TO SCALE



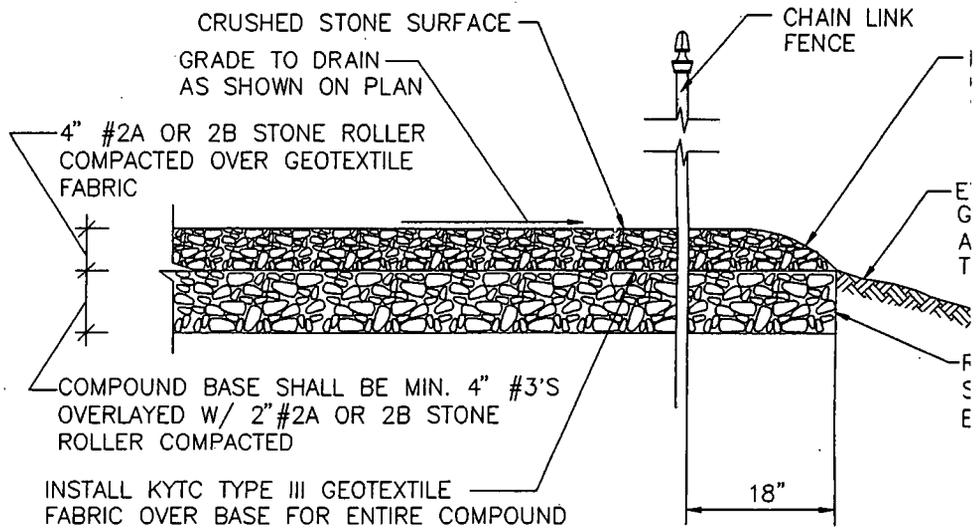
1 SILT FENCE DETAIL
C-8 NOT TO SCALE

SITE

1. ALL SITE W/ IN THE SPE
2. ALL EXISTIN WHERE ENC AND WHERE RELOCATED
3. ALL EXISTIN WHICH INTE CAPPED, PI INTERFERE OF THE CO
4. CONTRACTO
5. ALL WORK HIGHWAY S
6. PRESERVE

EXCAV

1. CONCRETE SOIL IS NO UNSATISFAC REPLACED I EXCAVATION FOUNDATION
2. ANY EXCAVA MECHANICAL QUALITY SPE STABILIZE TH AS COMPILIN
3. AFTER COMF GRADE, AND UNSUITABLE.



2 SECTION THROUGH TOWER YARD AND PARK
C-8 NOT TO SCALE

3" 2A/2B (57'S) GRAVEL ROLLER COMPACTED OVER KYTC TYPE III GEOTEXTILE FABRIC

CROWN ROAD FROM CENTER LINE

C